

PROJECT # 1006868

REVISION

REV	DATE	BY
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GEORGE RAINHART ARCHITECT AND ASSOCIATES PC  
 2325 SAN PEDRO N.E. SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 884-9110 FAX (505) 837-9877

PRELIMINARY  
NOT FOR  
CONSTRUCTION

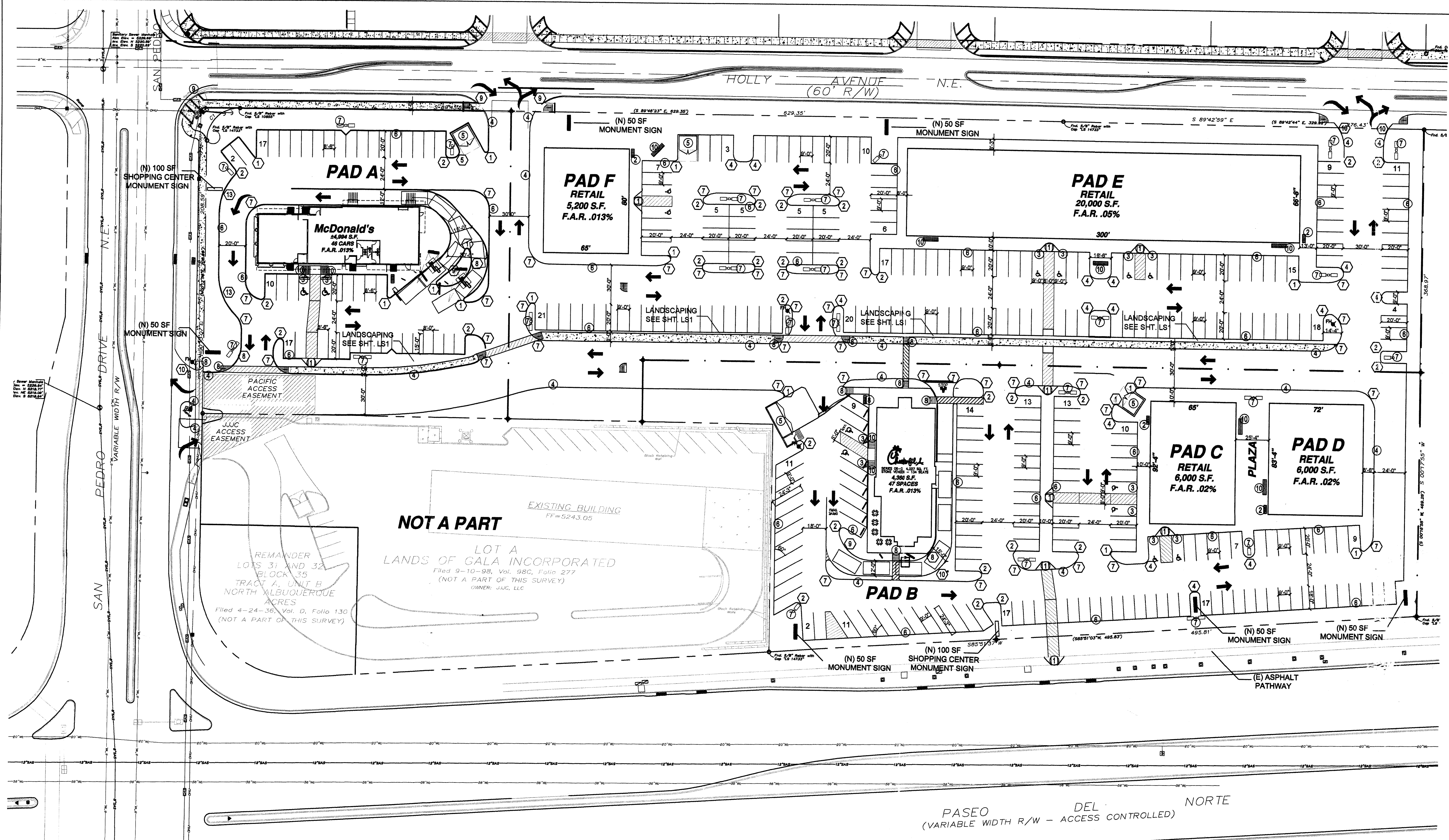
PROJECT TITLE  
**DEL NORTE PLAZA**  
SAN PEDRO & PASEO DEL NORTE  
ALBUQUERQUE, NEW MEXICO

PROJECT MANAGER  
JOB NO. 0536A

DRAWN BY  
WRS

SHEET TITLE  
**SITE PLAN FOR BLDG. PERMIT**

DATE: 11.26.2007  
SCALE: 1"=40'-0"  
sheet-  
**AS1**  
of

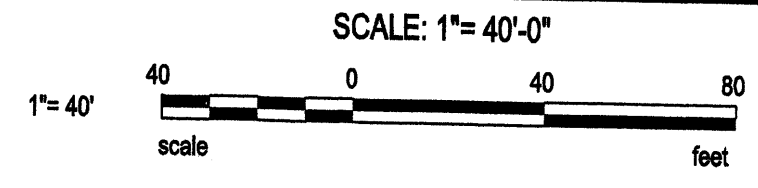


- PARKING NOTES:**  
 TYPICAL STANDARD SPACES ARE 9'-0" x 20'-0"  
 TYPICAL SMALL CAR SPACES ARE 7'-0" x 18'-0"  
 TYPICAL HANDICAP SPACES ARE 8'-0" x 20'-0"  
 WITH A WIDE ACCESSIBLE 5'-0" x 20'-0"  
 \*ALL SPACES ARE STANDARD SIZE UNLESS OTHERWISE NOTED\*
- RADIUS:**
- |                   |                   |
|-------------------|-------------------|
| ① RADIUS = 2'-0"  | ⑦ RADIUS = 15'-0" |
| ② RADIUS = 3'-0"  | ⑧ RADIUS = 20'-0" |
| ③ RADIUS = 3'-6"  | ⑨ RADIUS = 25'-0" |
| ④ RADIUS = 5'-0"  | ⑩ RADIUS = 28'-0" |
| ⑤ RADIUS = 10'-0" | ⑪ RADIUS = 30'-0" |
| ⑥ RADIUS = 12'-0" | ⑫ RADIUS = 37'-6" |

- CODE REFERENCES**
- BUILDING CODE: IBC "2003"  
 MECHANICAL CODE: UMC "2003"  
 PLUMBING CODE: UPC "2003"  
 ELECTRICAL CODE: NEC "2005"  
 ACCESSIBILITY CODE: ANSI "1998"  
 FIRE CODE: IFC "2003"

- CODE DATA**
- ADDRESS: NE CORNER OF PASEO DEL NORTE & SAN PEDRO DRIVE
- ZONING: SU-2/JP
- OCCUPANCY: A & M
- BUILDING TYPE: TYPE IIB
- SEISMIC ZONE: 2B
- # OF STORIES: ONE
- FIRE PROTECTION:
- |              |              |             |
|--------------|--------------|-------------|
| MCDONALDS:   | UN-SPRINKLED | (4,994 SF)  |
| CHICK-FIL-A: | UN-SPRINKLED | (4,360 SF)  |
| FUTURE PHASE |              |             |
| PAD C:       | UN-SPRINKLED | (6,000 SF)  |
| PAD D:       | UN-SPRINKLED | (20,000 SF) |
| PAD E:       | SPRINKLED    | (5,200 SF)  |
| PAD F:       | UN-SPRINKLED | (5,200 SF)  |

**SITE PLAN FOR BUILDING PERMIT**



- SITE LEGEND:**
- |     |                        |   |   |
|-----|------------------------|---|---|
| --- | EXISTING PROPERTY LINE |   | PROPOSED BIKE RACK                                |
| --- | PROPOSED CURB          | □ | PROPOSED PARKING LOT LIGHTING                     |
| --- | PROPOSED SIDEWALK      | ▨ | PROPOSED OUTDOOR SEATING EA. BENCH SEATS FOUR (4) |
| --- | PROPOSED CROSSWALK     | ↔ | VEHICLE INGRESS/EGRESS                            |
| FH  | PROPOSED FIRE HYDRANT  |   |   |

**SITE DATA:**

PROPOSED USAGE: C-2 USE  
 LOT AREA: 374,664 SF (8.6 ACRES)  
 LANDSCAPE REQUIRED: 6.5%  
 OCCUPANT LOAD:  
 MCDONALDS - 5,322 SF/15 = 354 PERSONS  
 CHICK-FIL-A - 4,360 SF/15 = 291 PERSONS  
 FUTURE PHASE (PROPOSED RETAIL)  
 PAD C - 6,000 SF/30 = 200 PERSONS  
 PAD D - 6,000 SF/30 = 200 PERSONS  
 PAD E - 20,000 SF/30 = 667 PERSONS  
 PAD F - 5,200 SF/30 = 173 PERSONS

**PARKING DATA:**

SITE DATA	BUILDING AREA	PARKING REQD.	PARKING PROVIDED
PAD A	4,994 S.F.	25	46
PAD B	4,360 S.F.	22	47
PAD C	6,000 S.F.	30	44
PAD D	6,000 S.F.	30	44
PAD E	20,000 S.F.	80	90
PAD F	5,200 S.F.	26	51

**PARKING DATA CONT:**

MCDONALDS - H.C. PRKNG. REQD. 1 SPACE - PROVIDED 2 SPACES  
 MOTORCYCLE PRKNG. REQD. 1 SPACE - PROVIDED 1 SPACE  
 BICYCLE SPACES REQD. 2 SPACES - PROVIDED 5 SPACES

CHICK-FIL-A - H.C. PRKNG. REQD. 1 SPACE - PROVIDED 2 SPACES  
 MOTORCYCLE PRKNG. REQD. 1 SPACE - PROVIDED 1 SPACE  
 BICYCLE SPACES REQD. 2 SPACES - PROVIDED 5 SPACES

**FUTURE PHASE (PROPOSED RETAIL)**

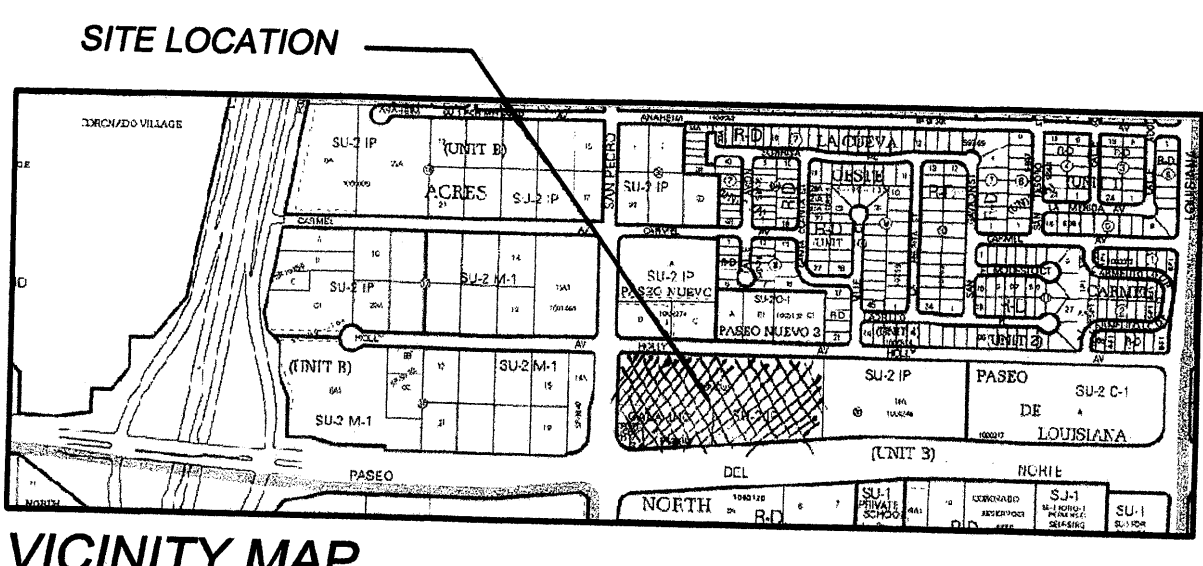
PAD C - H.C. PRKNG. REQD. 2 SPACES - PROVIDED 2 SPACES  
 MOTORCYCLE PRKNG. REQD. 1 SPACE - PROVIDED 1 SPACE  
 BICYCLE SPACES REQD. 2 SPACES - PROVIDED 5 SPACES  
 SITTING SPACES 4 SEATS - PROVIDED 1 BENCH (SEATS 4)

PAD D - H.C. PRKNG. REQD. 2 SPACES - PROVIDED 2 SPACES  
 MOTORCYCLE PRKNG. REQD. 1 SPACE - PROVIDED 1 SPACE  
 BICYCLE SPACES REQD. 2 SPACES - PROVIDED 5 SPACES  
 SITTING SPACES 4 SEATS - PROVIDED 1 BENCH (SEATS 4)

PAD E - H.C. PRKNG. REQD. 4 SPACES - PROVIDED 4 SPACES  
 MOTORCYCLE PRKNG. REQD. 3 SPACES - PROVIDED 3 SPACES  
 BICYCLE SPACES REQD. 4 SPACES - PROVIDED 5 SPACES  
 SITTING SPACES 12 SEATS - PROVIDED 3 BENCHES (1 SEATS 4)

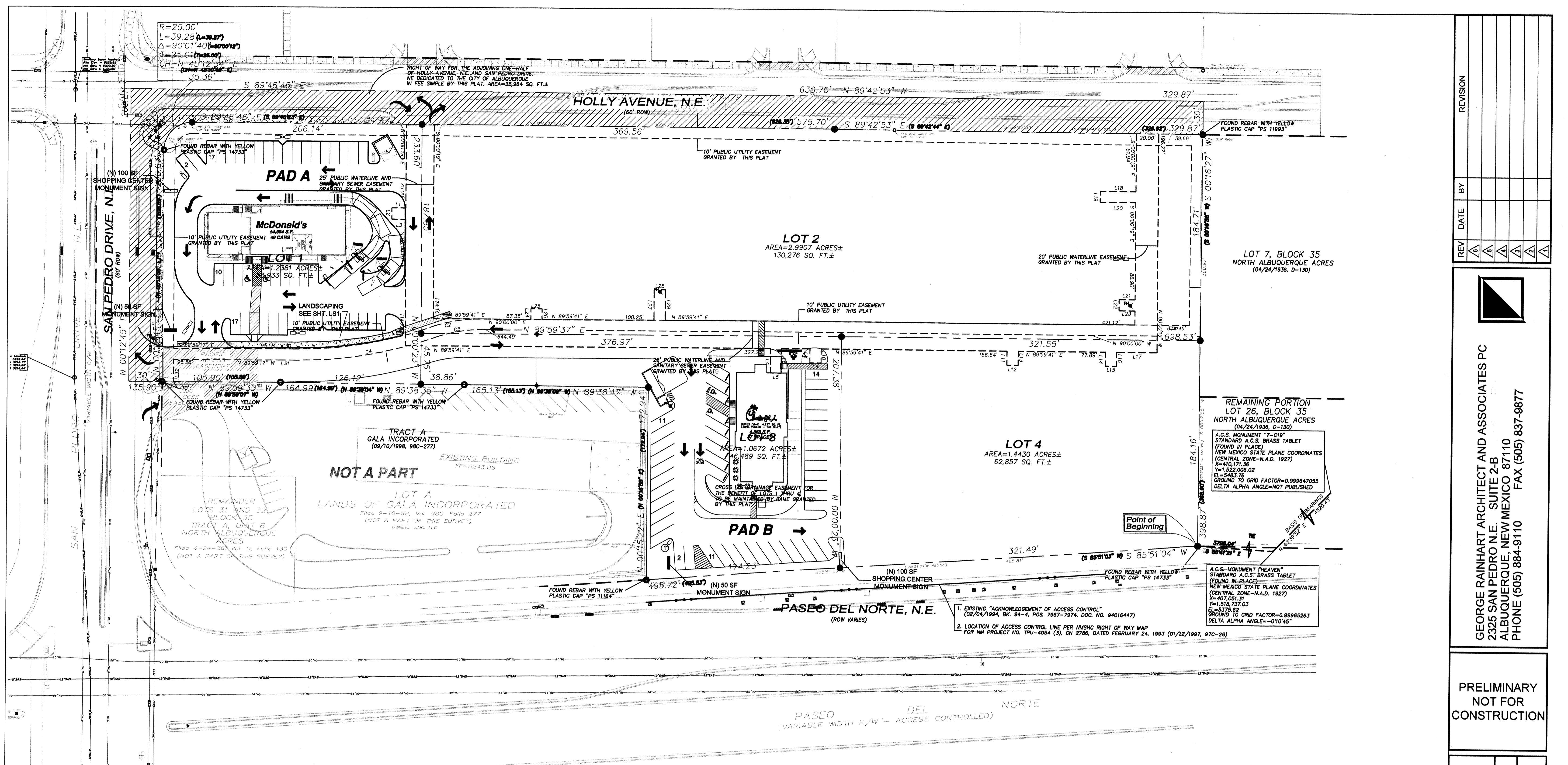
PAD F - H.C. PRKNG. REQD. 2 SPACES - PROVIDED 2 SPACES  
 MOTORCYCLE PRKNG. REQD. 3 SPACES - PROVIDED 3 SPACES  
 BICYCLE SPACES REQD. 2 SPACES - PROVIDED 5 SPACES  
 SITTING SPACES 4 SEATS - PROVIDED 1 BENCH (SEATS 4)

○ DENOTES A SITE DETAIL, REFER TO SHEET AS3

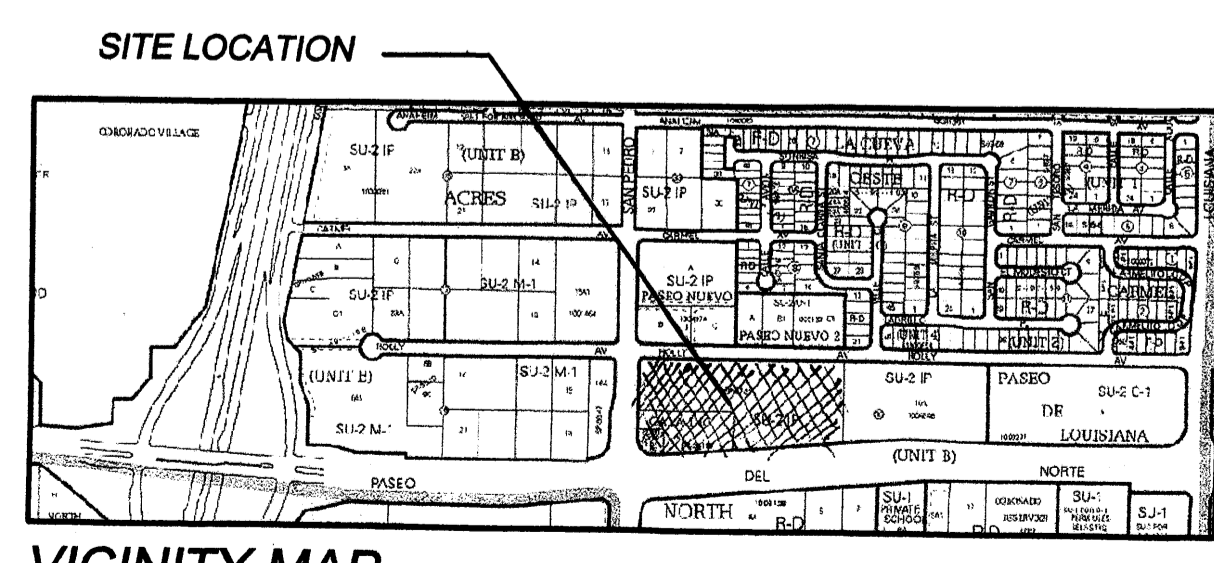
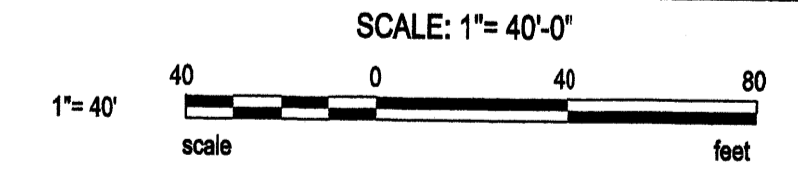


VICINITY MAP

DRB SUBMITTAL



# SITE PLAN FOR SUBDIVISION



**SITE LEGEND:**

	EXISTING PROPERTY LINE		PROPOSED BIKE RACK
	PROPOSED CURB		PROPOSED PARKING LOT LIGHTING
	PROPOSED SIDEWALK		PROPOSED OUTDOOR SEATING EA. BENCH SEATS FOUR (4)
	PROPOSED CROSSWALK		VEHICLE INGRESS/EGRESS
	PROPOSED FIRE HYDRANT		

**PARKING DATA:**

McDONALD'S - H.C. PRKNG. REQD. 1 SPACE - PROVIDED 2 SPACES  
 MOTORCYCLE PRKNG. REQD. 1 SPACE - PROVIDED 1 SPACE  
 BICYCLE SPACES REQD. 2 SPACES - PROVIDED 5 SPACES

CHICK-FIL-A - H.C. PRKNG. REQD. 1 SPACE - PROVIDED 2 SPACES  
 MOTORCYCLE PRKNG. REQD. 1 SPACE - PROVIDED 1 SPACE  
 BICYCLE SPACES REQD. 2 SPACES - PROVIDED 5 SPACES

SITE DATA	BUILDING AREA	PARKING REQD.	PARKING PROVIDED
PAD A	4,994 S.F.	25	46
PAD B	4,360 S.F.	22	47

**SITE DATA TABLE**

PROPOSED PARCEL	USE	ZONING	MAX. BLDG. HEIGHT	F.A.R.
PAD A	RESTAURANT	C-2	30 FEET	.013%
PAD B	RESTAURANT	C-2	30 FEET	.013%
PAD C	RETAIL	C-2	30 FEET	.02%
PAD D	RETAIL	C-2	30 FEET	.02%
PAD E	RETAIL	C-2	30 FEET	.05%
PAD F	RETAIL	C-2	30 FEET	.013%

**NOTES:**

- PEDESTRIAN CONNECTIONS SHALL BE PER THE OFF-STREET PARKING REQUIREMENTS OF THE ZONING CODE.

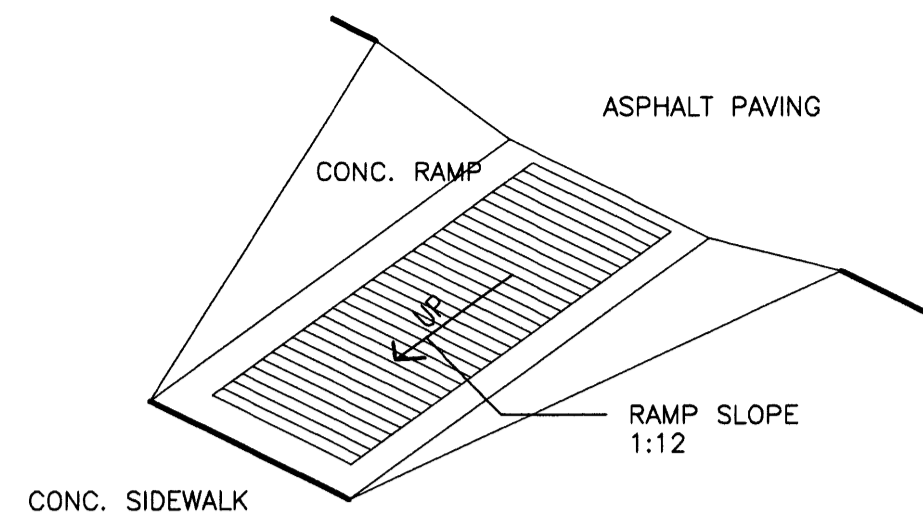
PROJECT NUMBER: 1026868  
 APPLICATION NUMBER: 01DRB-70359

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL**

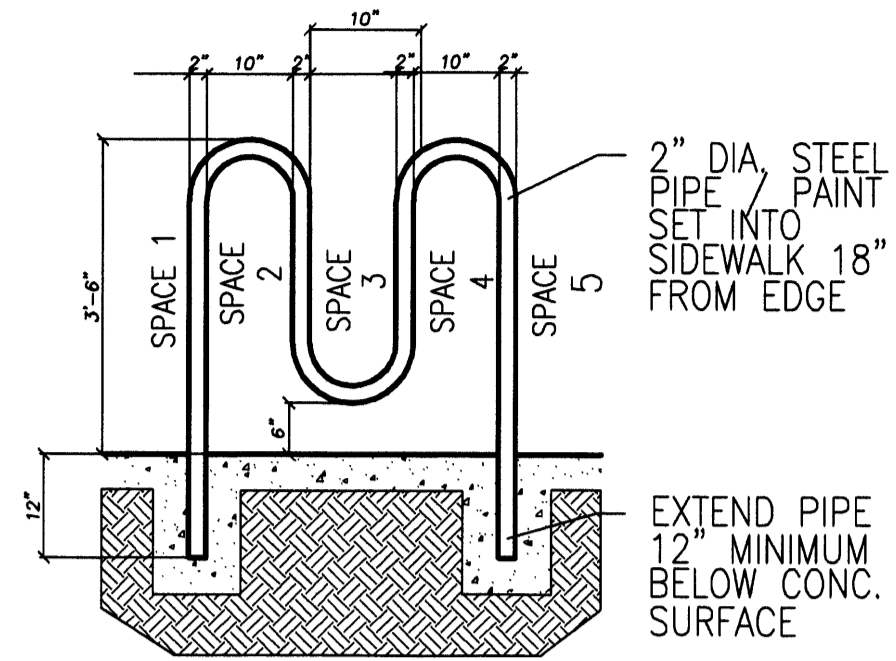
	11-28-07
Traffic Engineering, Transportation Division	Date
	11-28-07
Parks and Recreation Department	Date
	3/24/08
City Engineer	Date
	11/27/07
Environmental Health Department Solid Waste Management	Date
	3/24/08
DRB Chairperson, Planning Department	Date

\* Environmental Health, if necessary

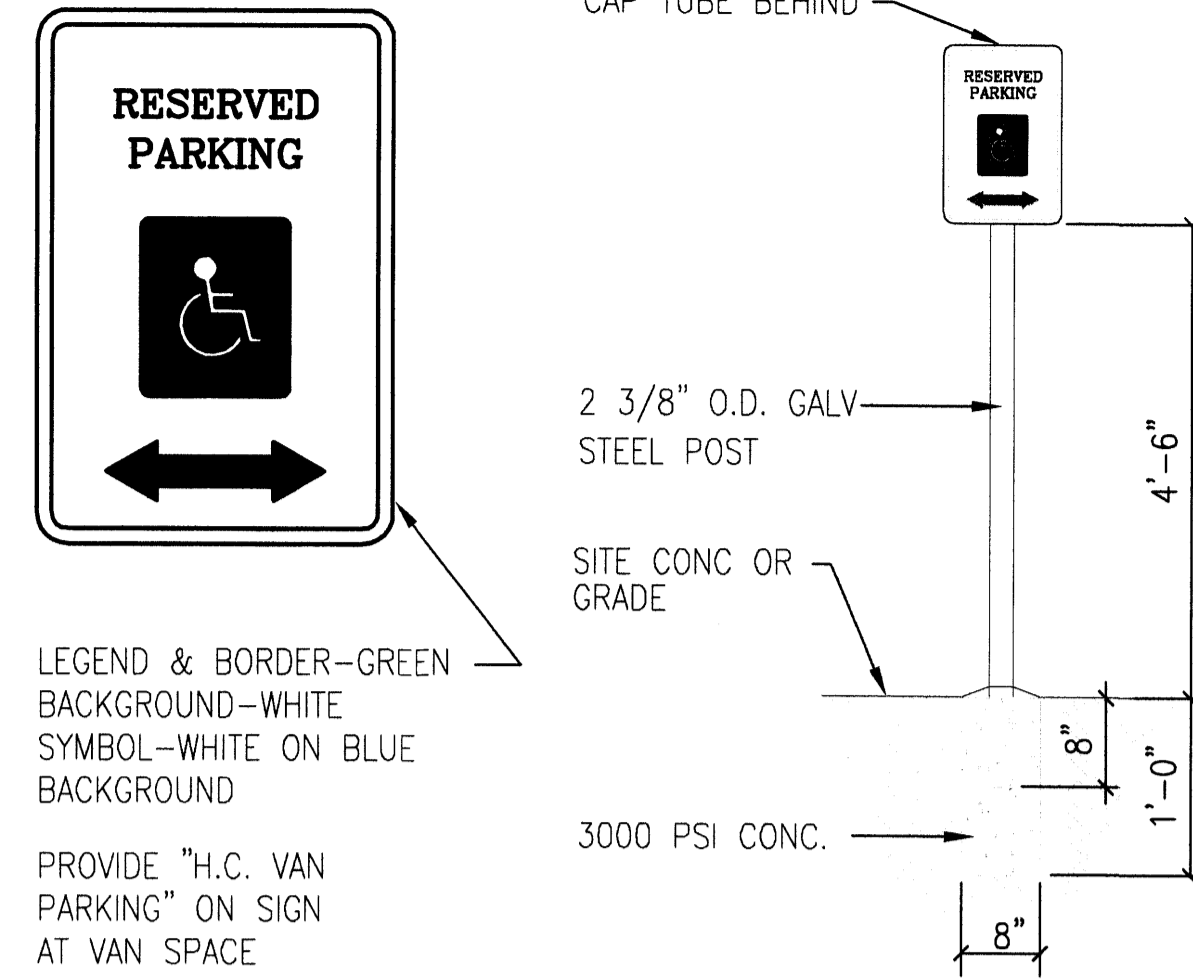
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REV	DATE	BY														
<p><b>PRELIMINARY NOT FOR CONSTRUCTION</b></p>																
<p>PROJECT TITLE <b>DEL NORTE PLAZA</b> SAN PEDRO &amp; PASEO DEL NORTE ALBUQUERQUE, NEW MEXICO</p>	<p>SHEET TITLE <b>SITE PLAN FOR SUBDIVISION</b></p>															
<p>DATE: 11.26.2007</p> <p>SCALE: 1"=40'-0"</p>	<p>DRAWN BY: WRS</p> <p>JOB NO.: 0636A</p> <p>PROJECT MANAGER</p> <p>SHEET NO.: <b>AS2</b></p> <p>of</p>															



**1 HANDICAP RAMP DETAIL**  
AS3 SCALE: N.T.S.

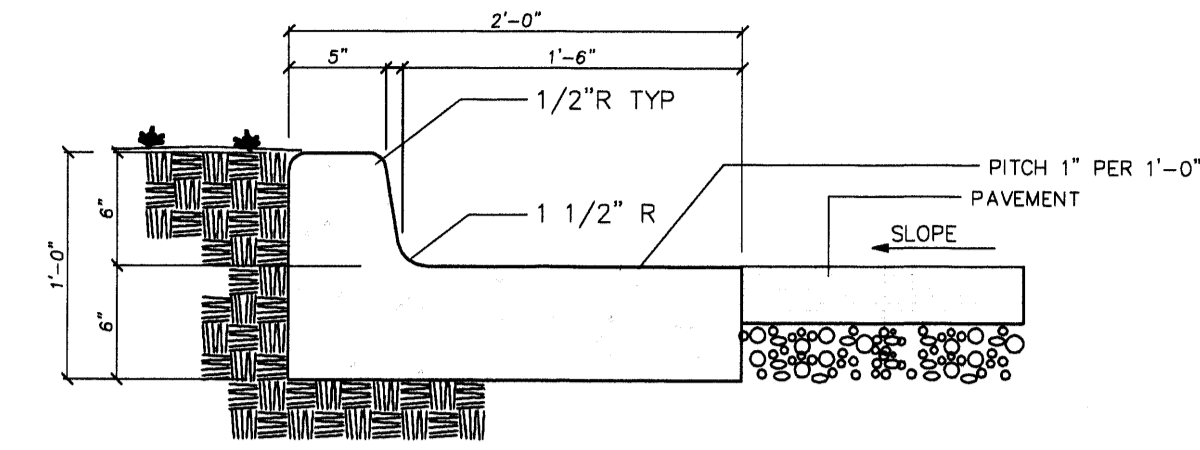


**2 BIKE RACK DETAIL**  
AS3 SCALE: N.T.S.

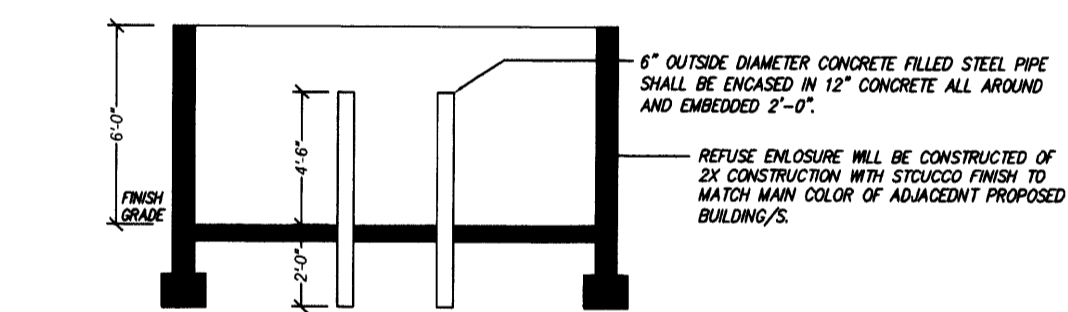
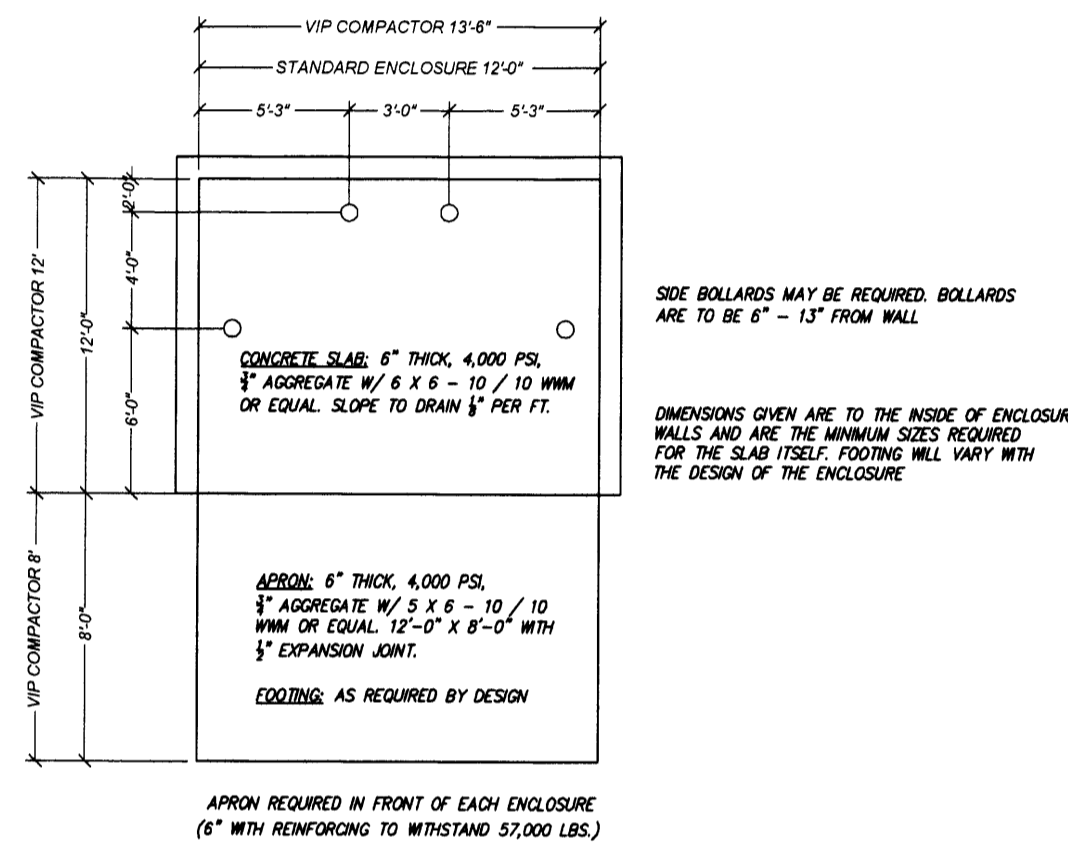


LEGEND & BORDER-GREEN BACKGROUND-WHITE SYMBOL-WHITE ON BLUE BACKGROUND

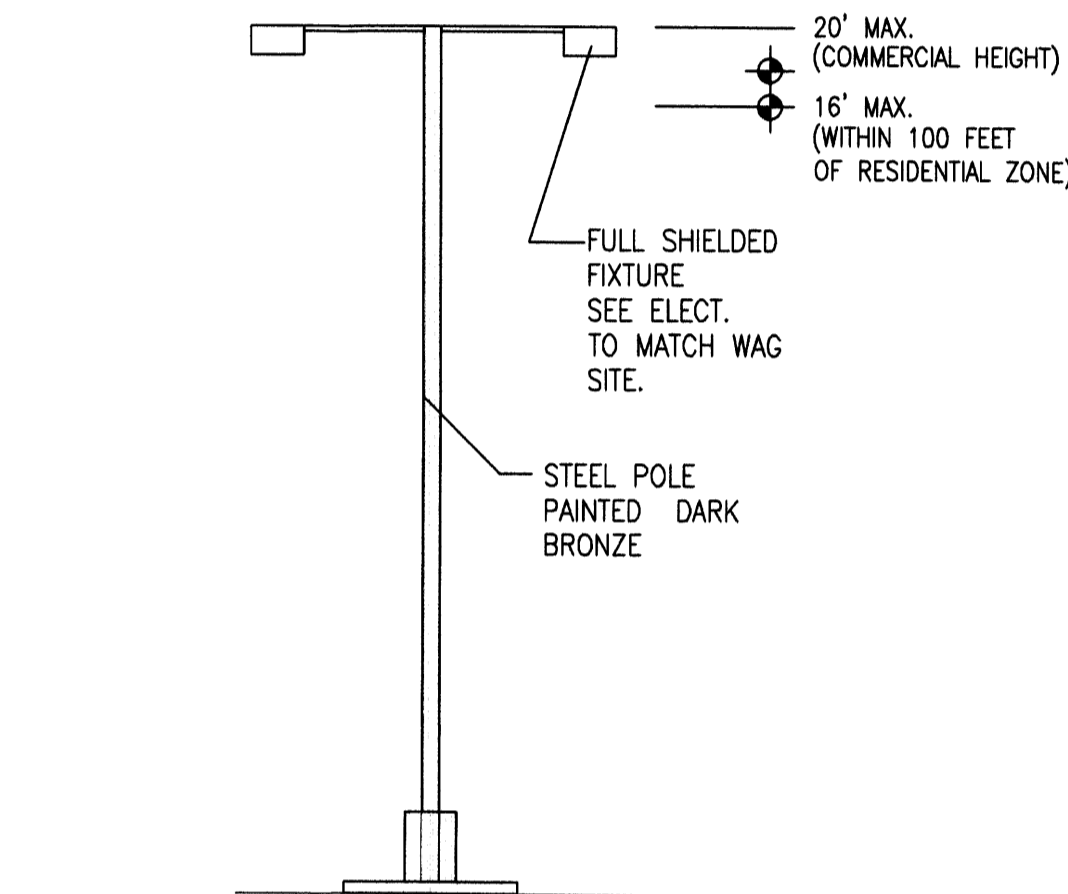
**3 ACCESSIBLE PARKING SIGN**  
AS3 SCALE: N.T.S.



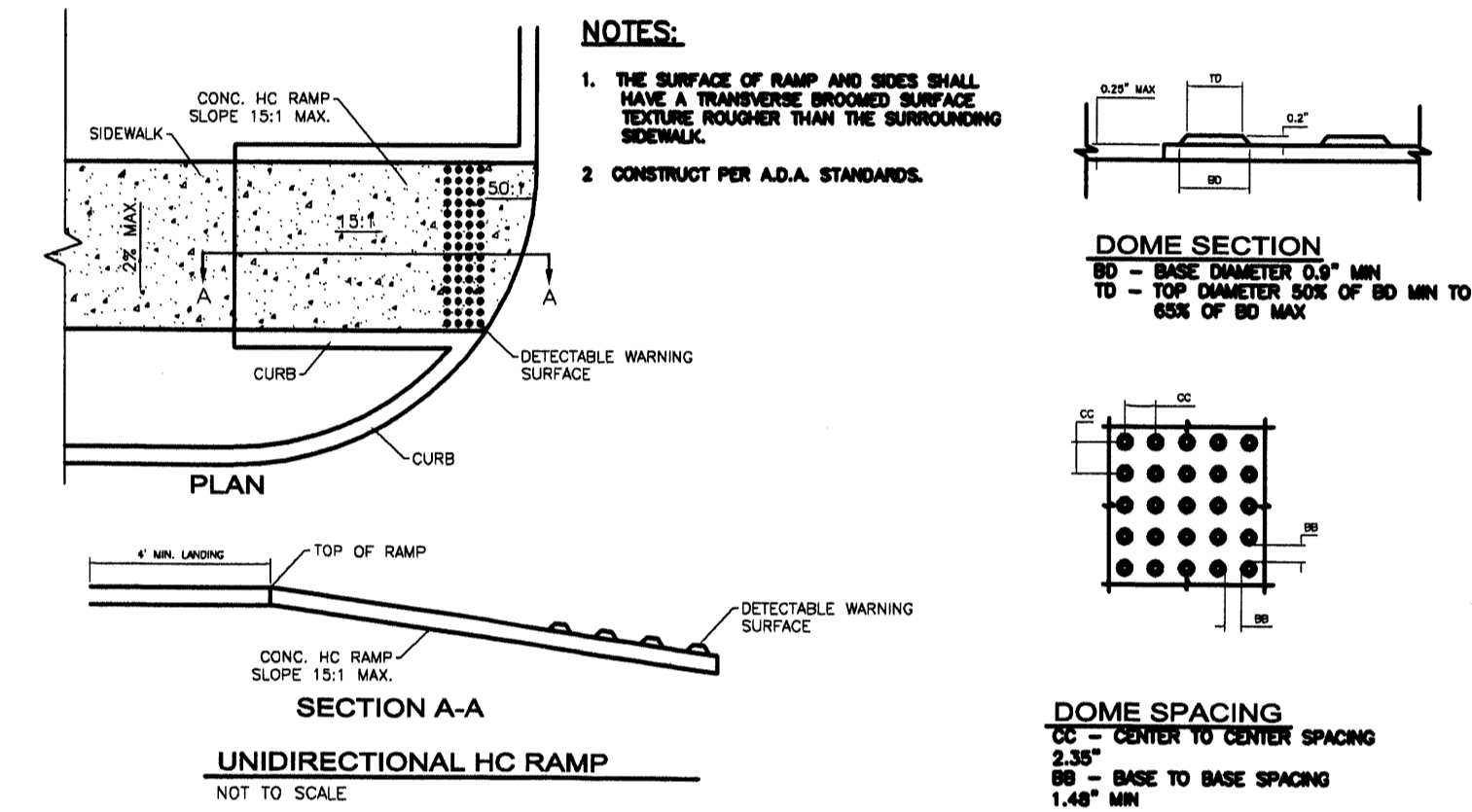
**4 CURB & GUTTER**  
AS3 SCALE: N.T.S.



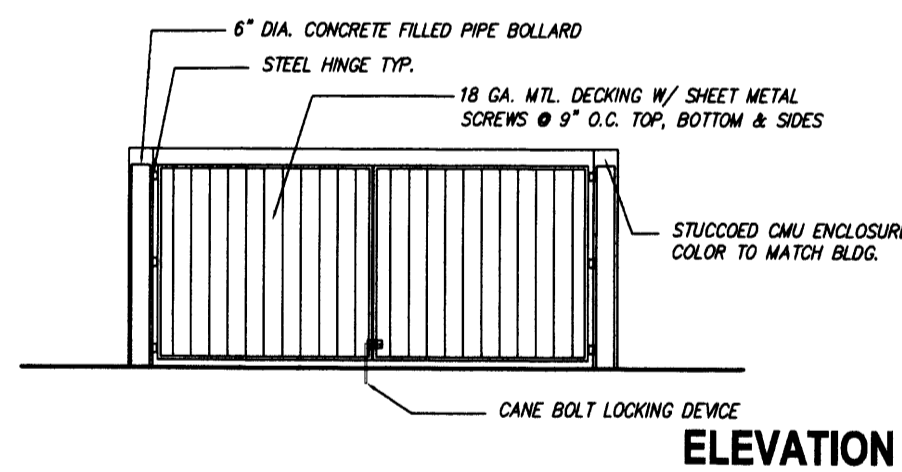
**6 CURB DETAIL**  
AS3 SCALE: N.T.S.



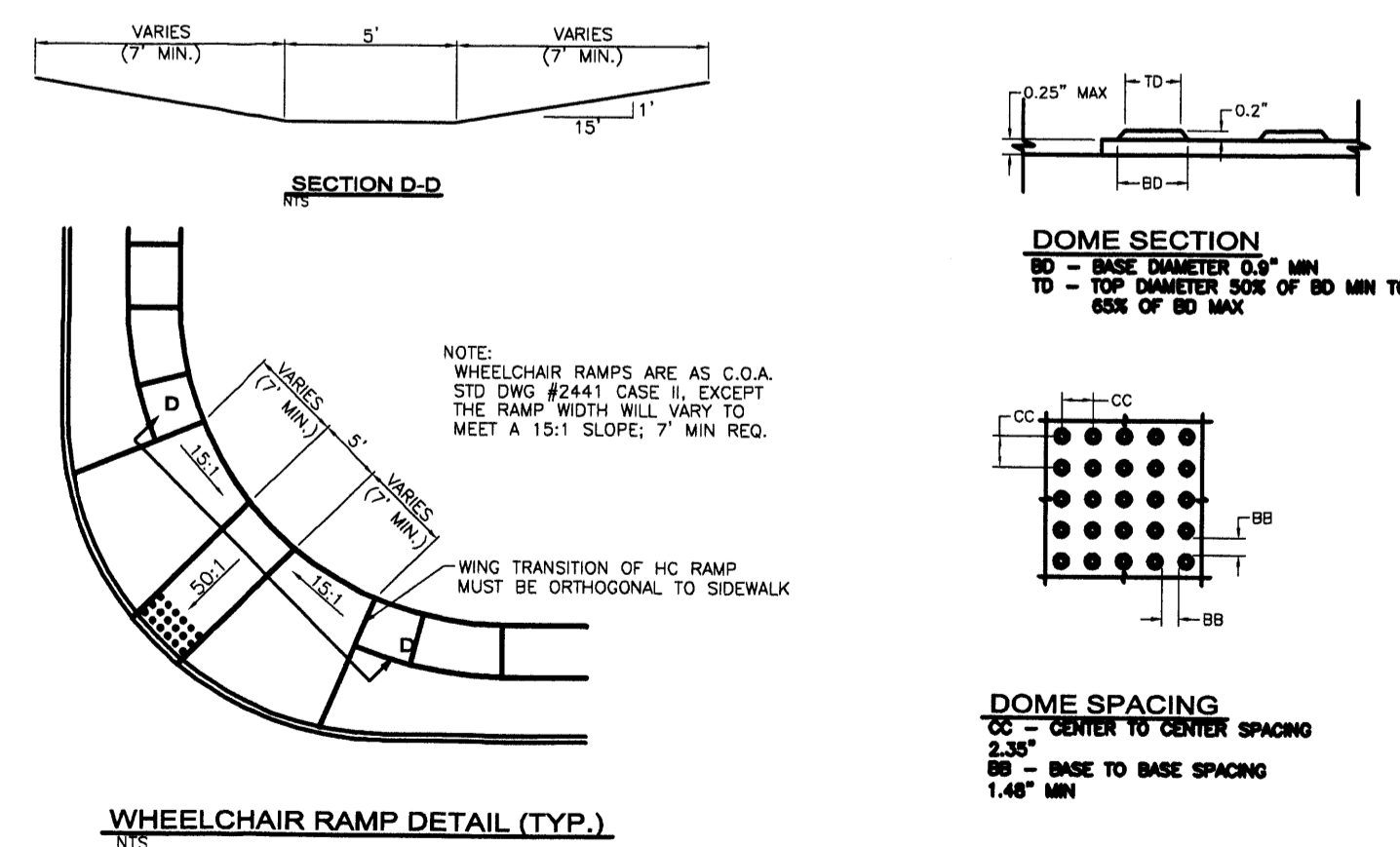
**7 SITE LIGHTING DETAIL**  
AS3 SCALE: N.T.S.



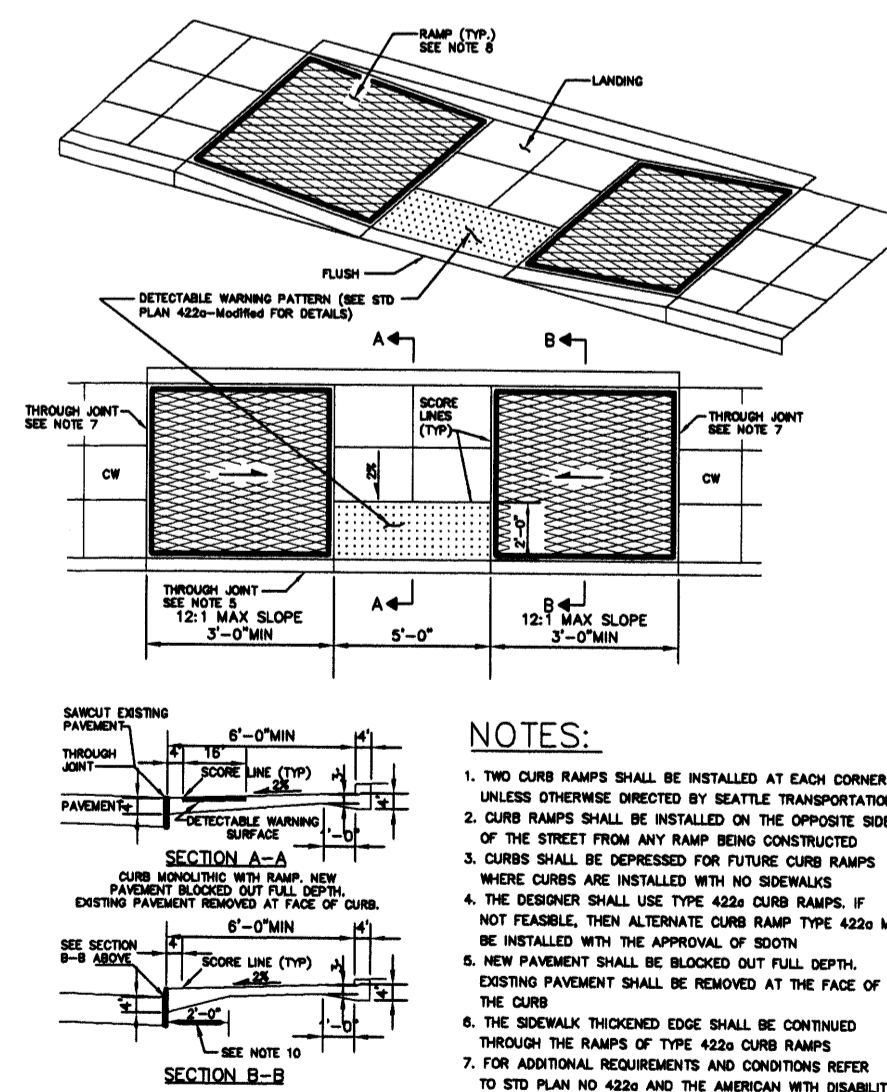
**8 RAMP DETAIL**  
AS3 SCALE: N.T.S.



**5 TRASH ENCLOSURE**  
AS3 SCALE: N.T.S.



**9 RAMP DETAIL**  
AS3 SCALE: N.T.S.

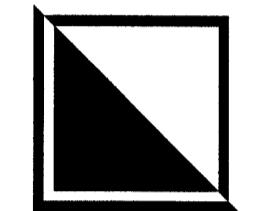


**10 RAMP DETAIL**  
AS3 SCALE: N.T.S.

NOTE: REFER TO SHEET AS1 FOR SITE DETAIL LOCATION.

- KEY NOTES**
- HANDICAP RAMP DETAIL (SEE 1/AS3)
  - BIKE RACK (SEE 2/AS3)
  - ACCESSIBLE PARKING SIGN (SEE 3/AS3)
  - CURB & GUTTER (SEE 4/AS3)
  - TRASH ENCLOSURE (SEE 5/AS3)
  - CURB /SIDEWALK DETAIL (SEE 6/AS3)
  - SITE LIGHTING, 20' MAX HEIGHT (SEE 7/AS3)
  - HANDICAP RAMP DETAIL (SEE 8/AS3)
  - HANDICAP RAMP DETAIL (SEE 9/AS3)
  - SITE BENCH SEATING (TO BE DETERMINED BY OWNER/CONTRACTOR)

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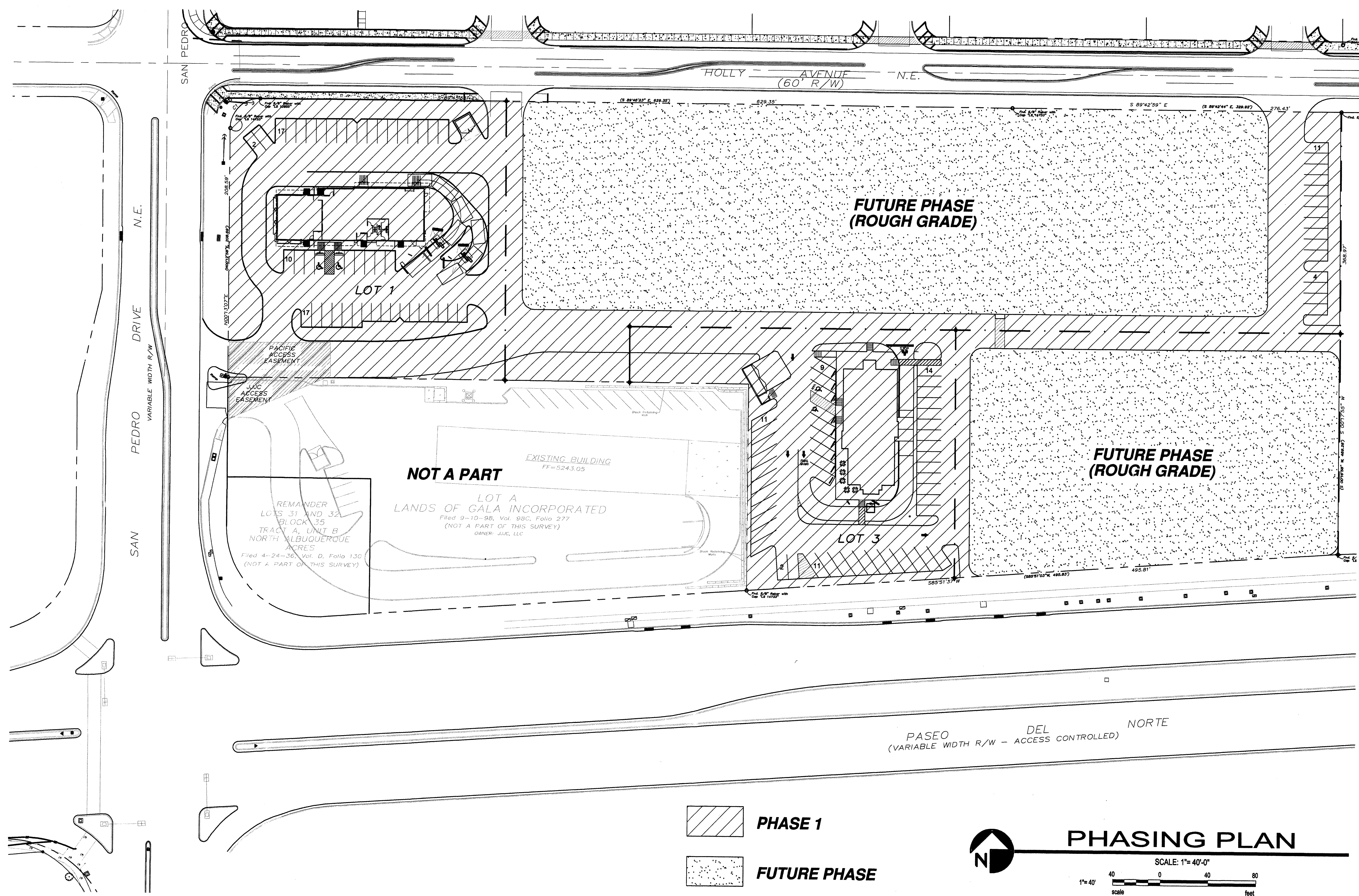
GEORGE RAINHART ARCHITECT AND ASSOCIATES PC  
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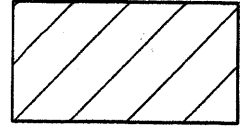
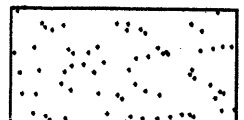
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NOT FOR  
CONSTRUCTION


PROJECT TITLE	DEL NORTE PLAZA SAN PEDRO & PASEO DEL NORTE ALBUQUERQUE, NEW MEXICO
PROJECT MANAGER	0536A
DRAWN BY:	WRS
SHEET TITLE	SITE DETAILS

DATE:	11.26.2007	sheet-
SCALE:	AS NOTED	<b>AS3</b>
		of.

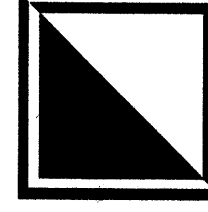
DRB SUBMITTAL



 **PHASE 1**  
 **FUTURE PHASE**

 **PHASING PLAN**  
 SCALE: 1"=40'-0"  
 1"=40' scale 0 40 80 feet

REV	DATE	BY	REVISION
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**GEORGE RAINHART ARCHITECT AND ASSOCIATES PC**  
 2325 SAN PEDRO N.E. SUITE 2-B  
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SHEET TITLE  
**PHASING PLAN**

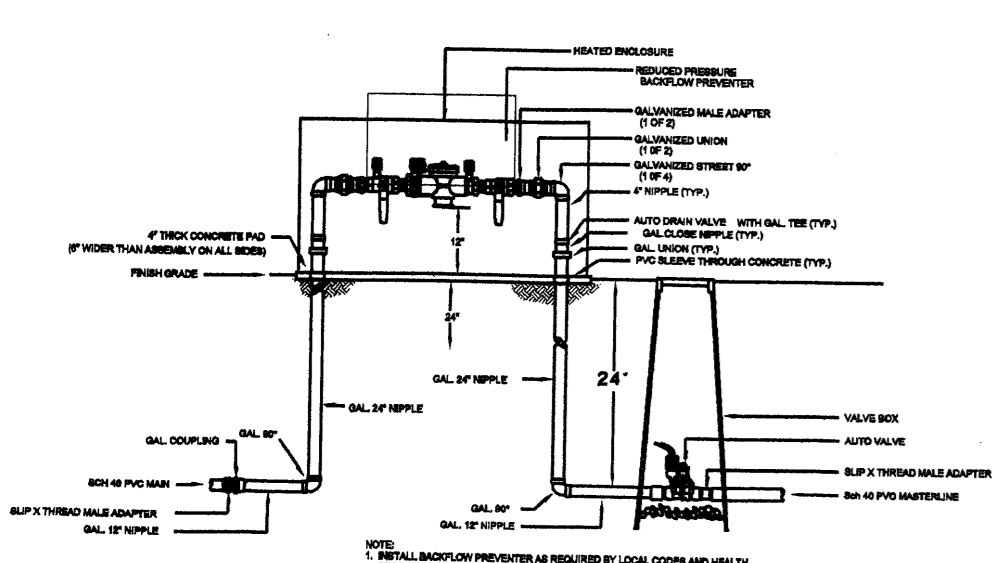
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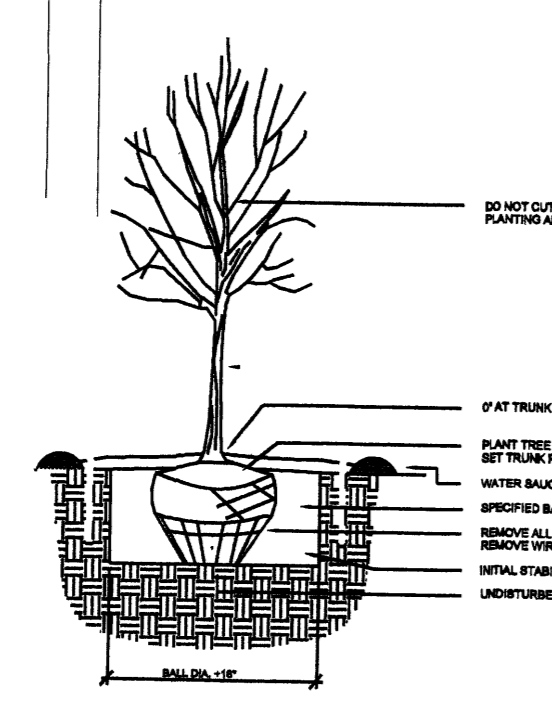
**PLANT LEGEND**

Qty.	Symbol	Scientific Name Common Name	Size	Water Use
<b>Trees</b>				
18		Chilopsis linearis Desert Willow	15-Gal	Low +
14		Crataegus phaenopyrum Washington Hawthorn	2" B&B	Medium+
22		Forestiera neomexicana New Mexico Olive	15-Gal	Medium
16		Fraxinus velutina 'Modesto' Modesto Ash	2" B&B	Medium +
11		Gleditsia triacanthos Honeylocust	2" B&B	Medium
24		Pinus nigra Austrian Pine	5'-6"	Medium
9		Pistacia chinensis Chinese Pistache	2" B&B	Medium +
25		Prunus calleryana Flowering Pear	15-Gal	Medium +
23		Quercus buckleyi Texas Red Oak	2" B&B	Medium
<b>Shrubs/Groundcovers</b>				
11		Buddleia davidii Butterfly Bush	5-Gal	Medium
67		Caryopteris clandonensis Blue Mist	1-Gal	Medium
23		Elaeagnus Silverberry	5-Gal	Low +
53		Cotoneaster parneyi Clusterberry	5-Gal	Medium
73		Ericameria laricifolia 'Aguirre' Turpentine Bush	5-Gal	Low+
24		Hesperaloe parviflora Red Yucca	5-Gal	Low+
68		Baccharis Dwarf Coyotebush	5-Gal	Low +
15		Potentilla fruticosa Shrubby Cinquefoil	5-Gal	Medium-
52		Prunus besseyi Western Sand Cherry	5-Gal	Medium
78		Rhus Gro Low Sumac	5-Gal	Low+
26		Rosmarinus officinalis Rosemary	5-Gal	Low +
32		Cornus Red Twig Dogwood	5-Gal	Low +
<b>Ornamental Grasses</b>				
35		Calamagrostis acutiflora Karl Foerster Grass	5-Gal	Medium
58		Miscanthus sinensis 'Gracillimus' Maiden Grass	5-Gal	Medium
25		Muhlenbergia capillaris 'Regal Mist' Regal Mist	1-Gal	Medium

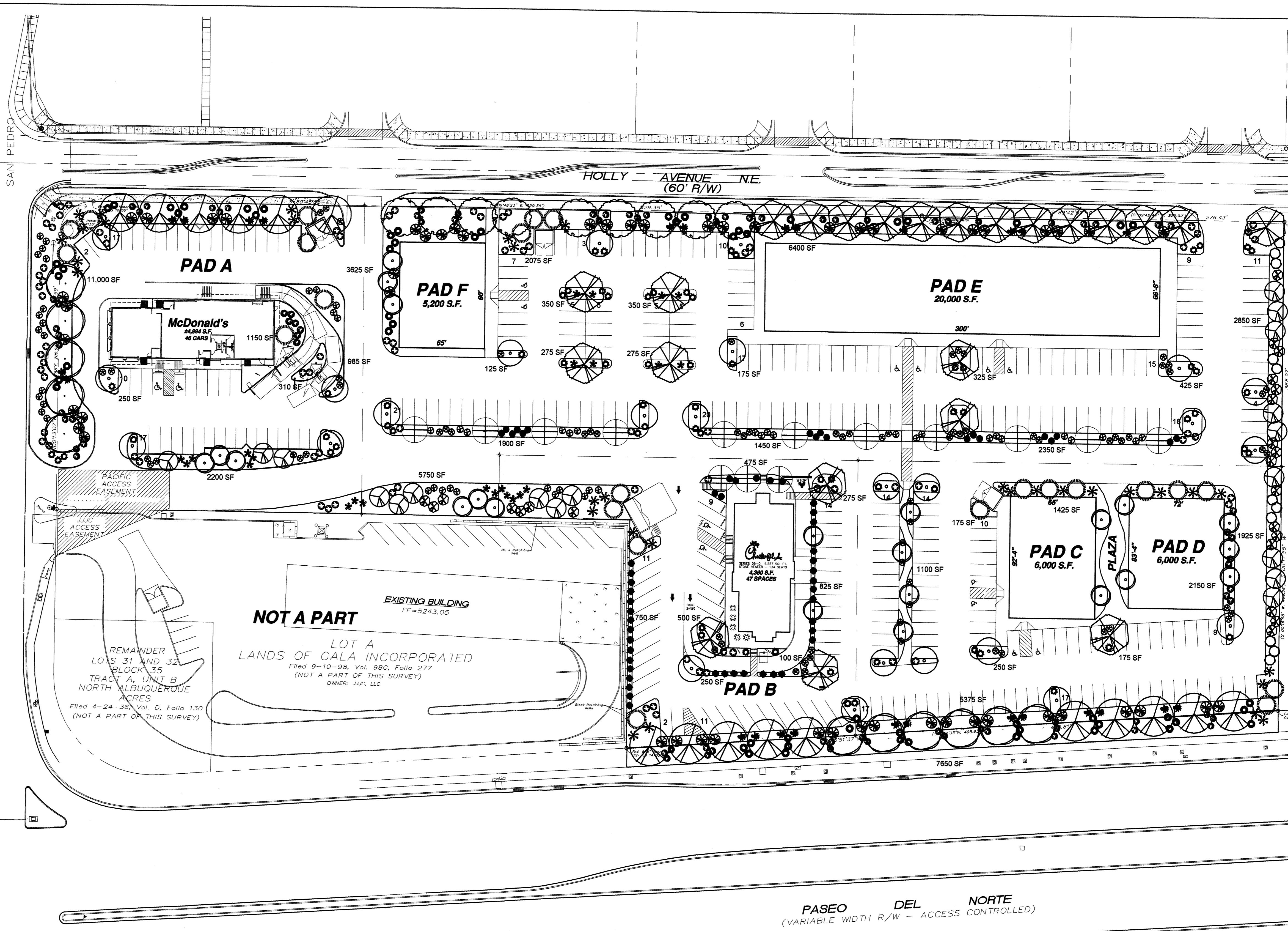
NOT TO SCALE  
DATE: 11.13.2007  
DRAWN BY: WRS  
CHECKED BY: JAC



Mastervalue w/RPBA



1  
1100 Deciduous Tree



**SITE DATA**

GROSS LOT AREA	374,684 SF
LESS BUILDING(S)	48,915 SF
NET LOT AREA	327,749 SF
REQUIRED LANDSCAPE	15% OF NET LOT AREA
15% OF NET LOT AREA	49,162 SF
PROPOSED LANDSCAPE	67,995 SF
PERCENT OF NET LOT AREA	20%
REQUIRED STREET TREES	PROVIDED AT 30' O.C. SPACING ALONG STREET
56	
REQUIRED PARKING LOT TREES	PROVIDED AT 1 PER 10 SPACES (342 SPACES/10)
34	

**NOTE**

MAINTENANCE OF LANDSCAPE AND IRRIGATION PROVIDED BY OWNER

PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER (WILKINS MODEL 975) PER CITY OF ALBUQUERQUE

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER

THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE PLANTING RESTRICTIONS APPROACH

IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUND COVER OF LANDSCAPE AREAS AT MATURITY

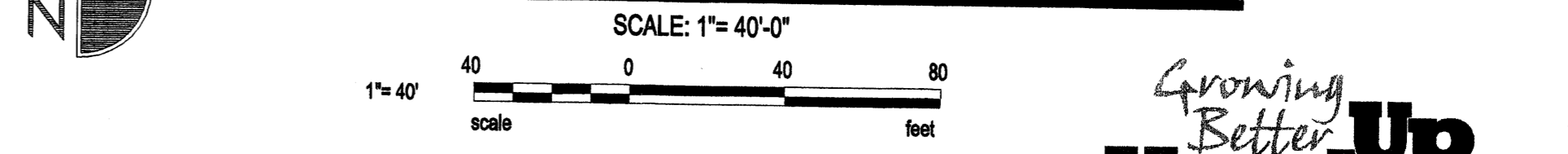
LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL MULCH AT 2"-3" DEPTH OVER FILTER FABRIC

APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE

TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS

NO PARKING SPACE SHALL BE MORE THAN 100' FROM A TREE.

**OVERALL LANDSCAPE PLAN**



Growing Better  
**HeadsUp**  
LANDSCAPE CONTRACTORS  
www.headsuplandscape.com

P.O. BOX 10597  
Albuquerque, NM 87114  
505.898.9615  
505.898.2105 (fax)  
design@hulc.com

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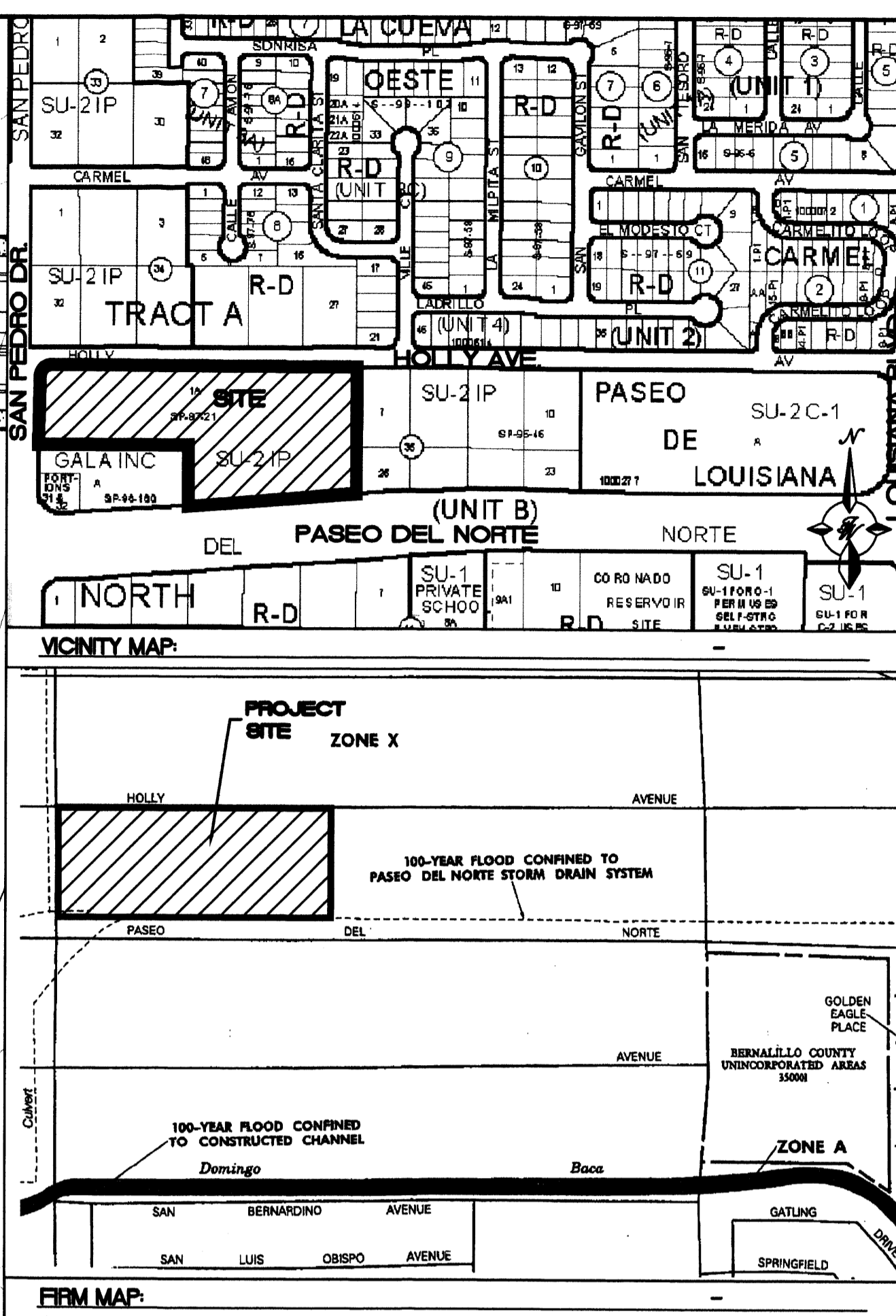
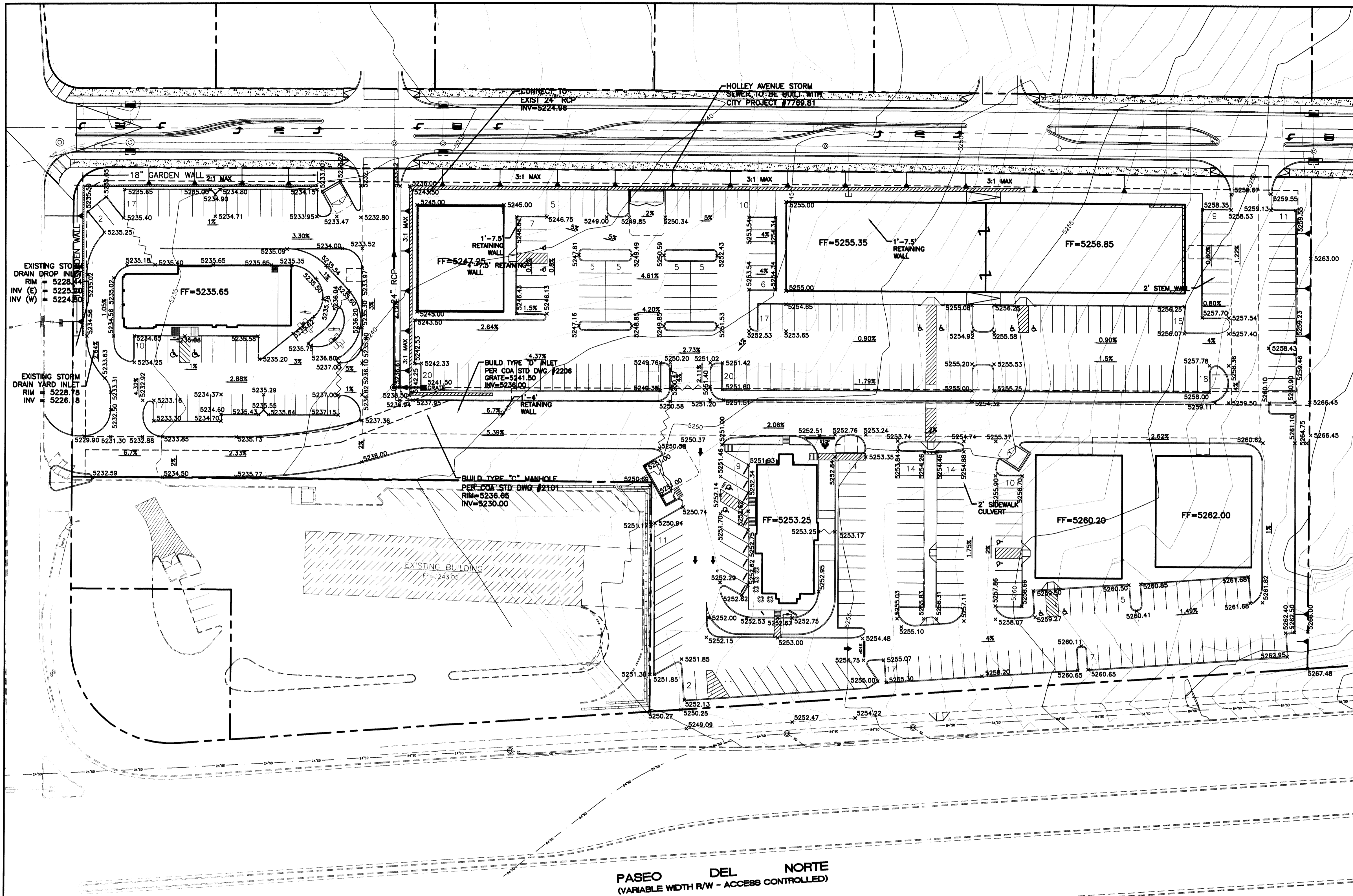
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PROJECT MANAGER	JOB NO. 0536A
DRAWN BY	WRS
OVERALL LANDSCAPE PLAN	

DATE:	11.13.2007	sheet-
SCALE:	1"=40'-0"	LS1
		of



**LEGEND**

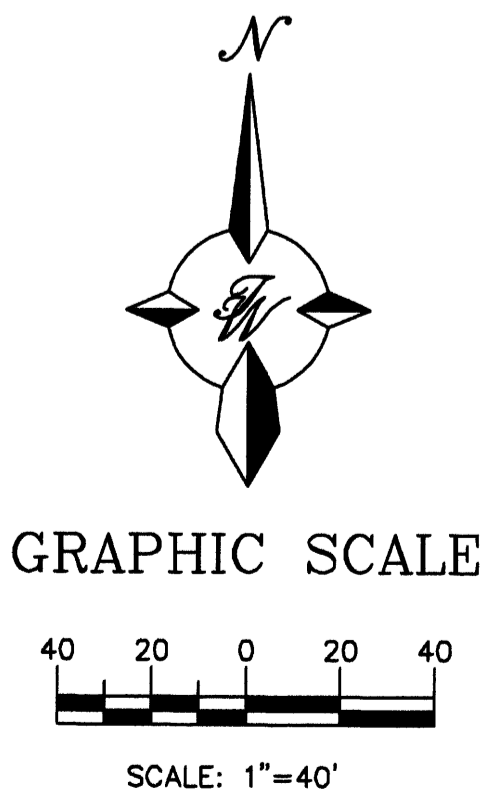
	PROPOSED CURB & GUTTER
	BOUNDARY LINE
	PROPOSED SIDEWALK
	PROPOSED RETAINING WALL
	FLOW ARROW
	SLOPE TIE
	PROPOSED SPOT ELEVATION
	PROPOSED STORM SEWER LINE
	PROPOSED STORM SEWER MANHOLE
	PROPOSED SNGL. "D" INLET
	DIRECTION OF FLOW
	CENTERLINE
	EXISTING CURB & GUTTER
	EXISTING SIDEWALK
	EASEMENT
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	EXISTING SPOT ELEVATION
	EXISTING STORM SEWER MANHOLE
	EXISTING STORM SEWER INLET
	EXISTING STORM SEWER LINE
	GRADE BREAK LOCATIONS

**EROSION CONTROL PLAN, NPDES PERMIT AND POLLUTION PREVENTION NOTES**

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
- REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
- ALL SITES OVER 1 ACRE DISTURBANCE REQUIRE FEDERAL NPDES PERMIT.

**NOTICE TO CONTRACTORS**

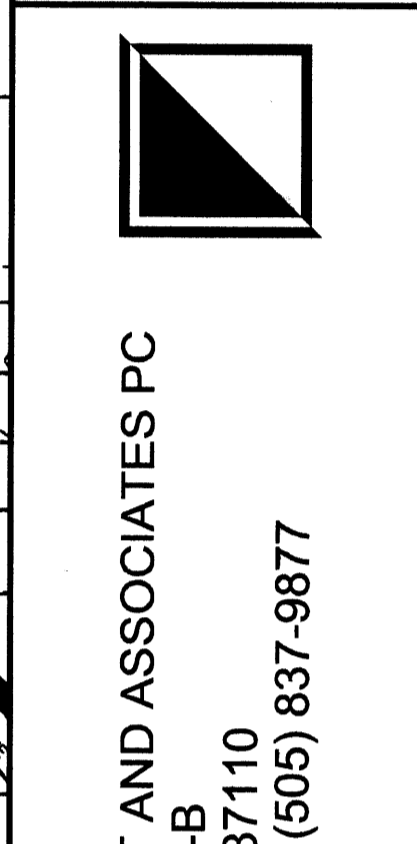
- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.



ROUGH GRADING APPROVAL \_\_\_\_\_ DATE \_\_\_\_\_

APPROVAL	NAME	DATE
INSPECTOR		

REV	DATE	BY	REVISION



GEORGE RAINHART ARCHITECT AND ASSOCIATES PC  
 2325 SAN PEDRO N.E. SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE  
**DEL NORTE PLAZA**  
 SAN PEDRO & PASEO DEL NORTE  
 ALBUQUERQUE, NEW MEXICO

JOB NO.  
 24065

PROJECT MANAGER  
 JN

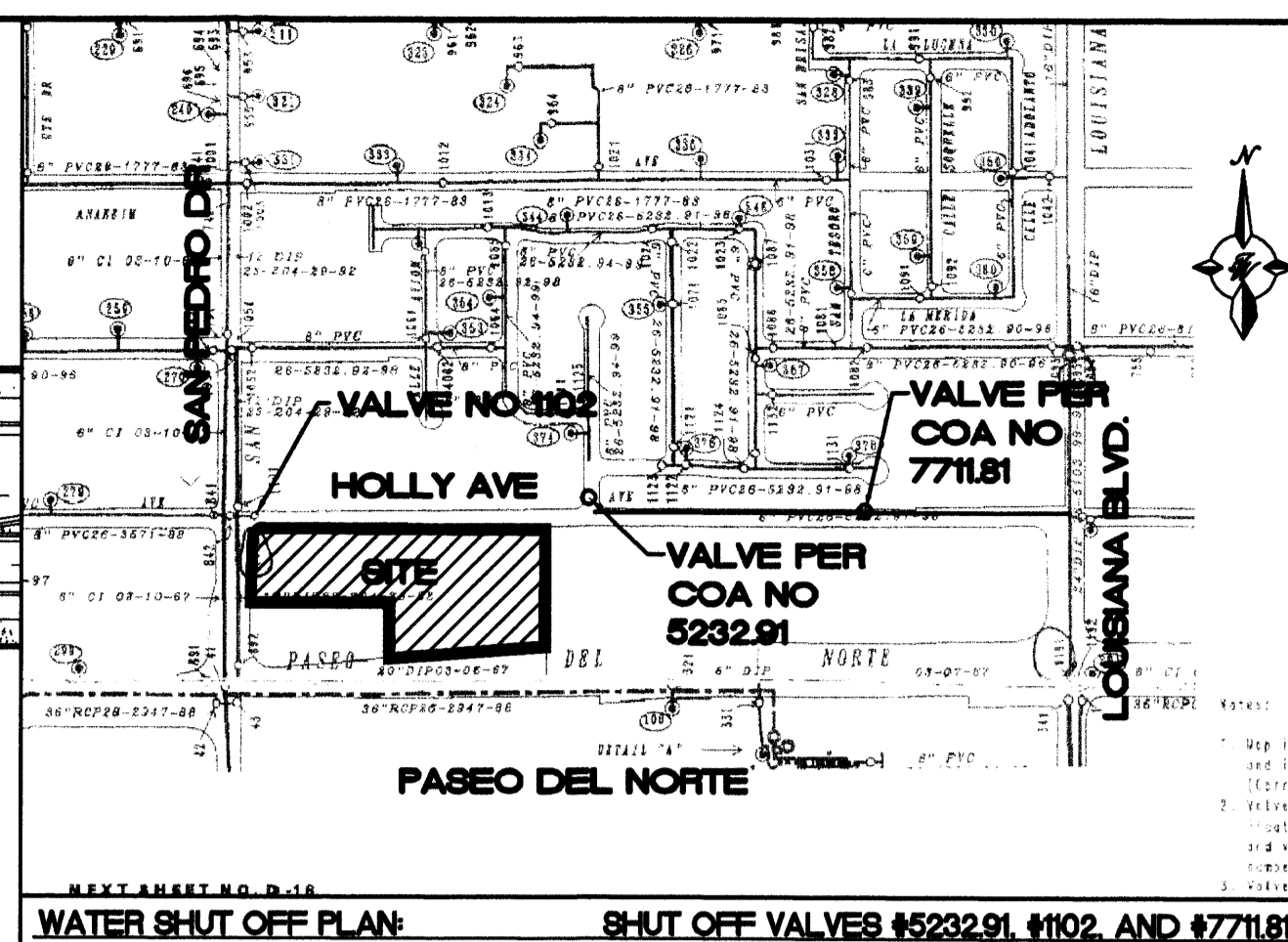
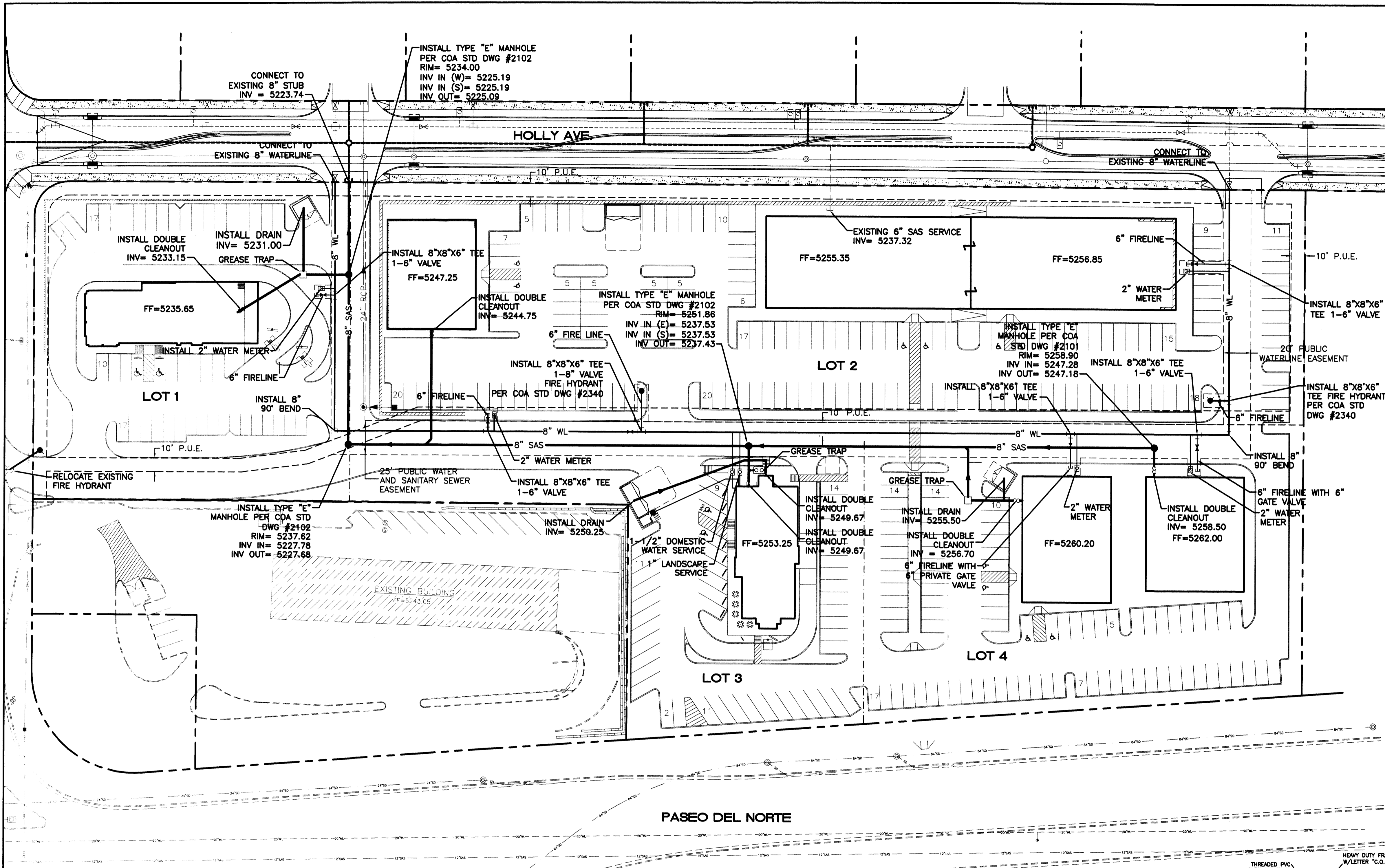
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SHEET TITLE  
**GRADING AND DRAINAGE PLAN**

DATE:  
 11.13.2007

SCALE:  
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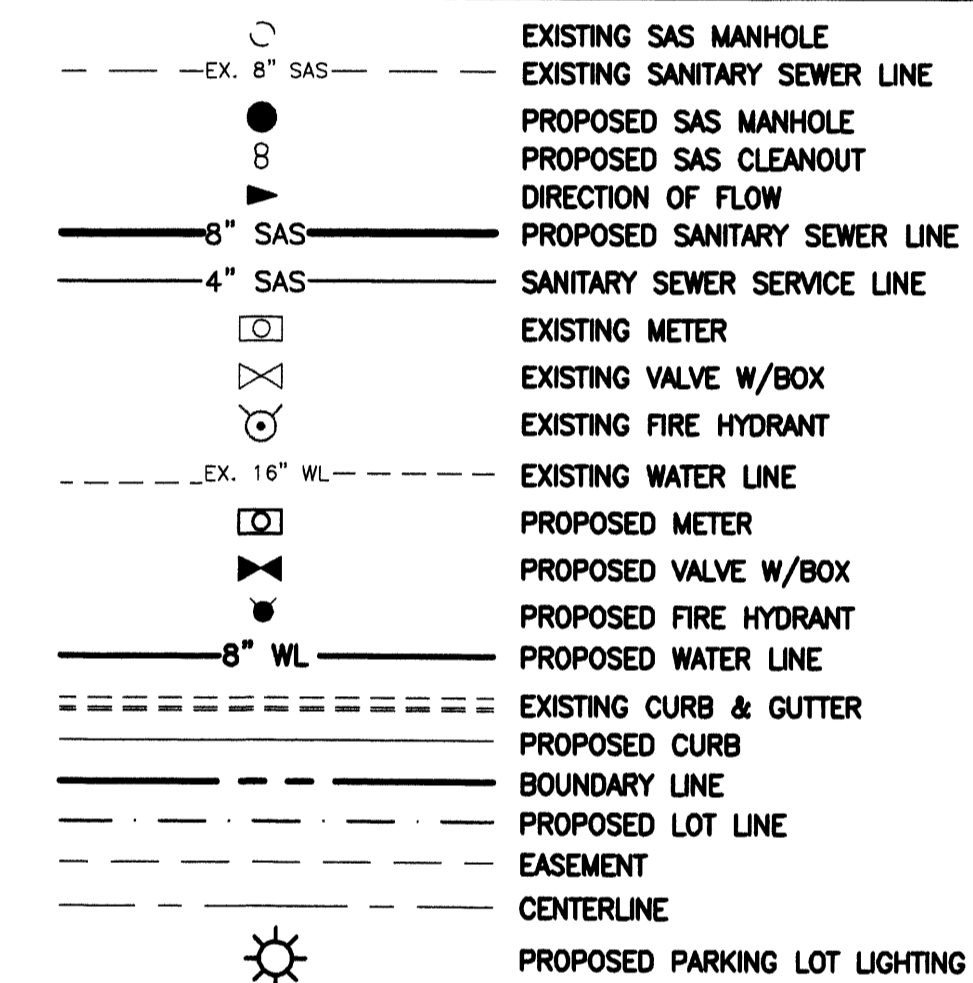
sheet:  
**C1**  
 of.



WATER SHUT OFF PLAN: SHUT OFF VALVES #5232.91, #1102, AND #77181

- WATER SHUT OFF PLAN NOTES:**
1. ONLY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
  2. NOTIFY CITY OF ALBUQUERQUE, WATER SYSTEMS DIVISION (PHONE 857-8200) SEVEN (7) WORKING DAYS IN ADVANCE OF NEEDING EXECUTION OF THE WATER SHUT OFF PLAN.
  3. APPROXIMATE SHUT OFF TIME WILL BE 24 HOURS.
  4. SHUT OFF THE VALVES INDICATED IN THE ABOVE PLAN. TO BE DONE ONLY IN THE EVENT OF EMERGENCY. CONNECTION TO EXISTING WATER LINE TO BE PRESSURIZED.

**LEGEND**



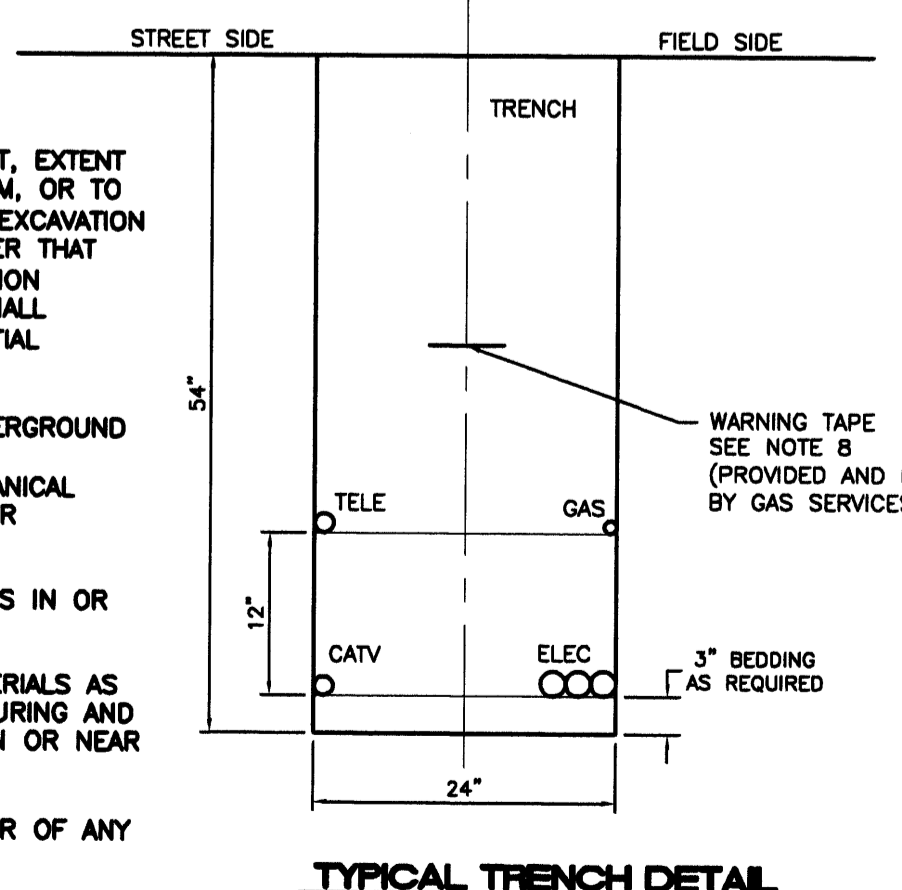
**GENERAL NOTES**

1. ALL 8" SANITARY SEWER PIPE TO BE SDR-35.
2. ALL 6" AND 8" WATERLINE PIPE TO BE C-900.
3. ALL SANITARY SEWER SERVICE PIPE TO BE 4" PVC.
4. ALL WATERLINE SERVICE PIPE TO MATCH DESIGNATED METER SIZE AND BE OF PVC MATERIAL.
5. 4" MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
6. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
7. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
8. ALL BLOCKING IS PER CITY OF ALBUQUERQUE STANDARD DWG. 2320.
9. ALL PIPE MATERIAL TO BE USED PER UPC.

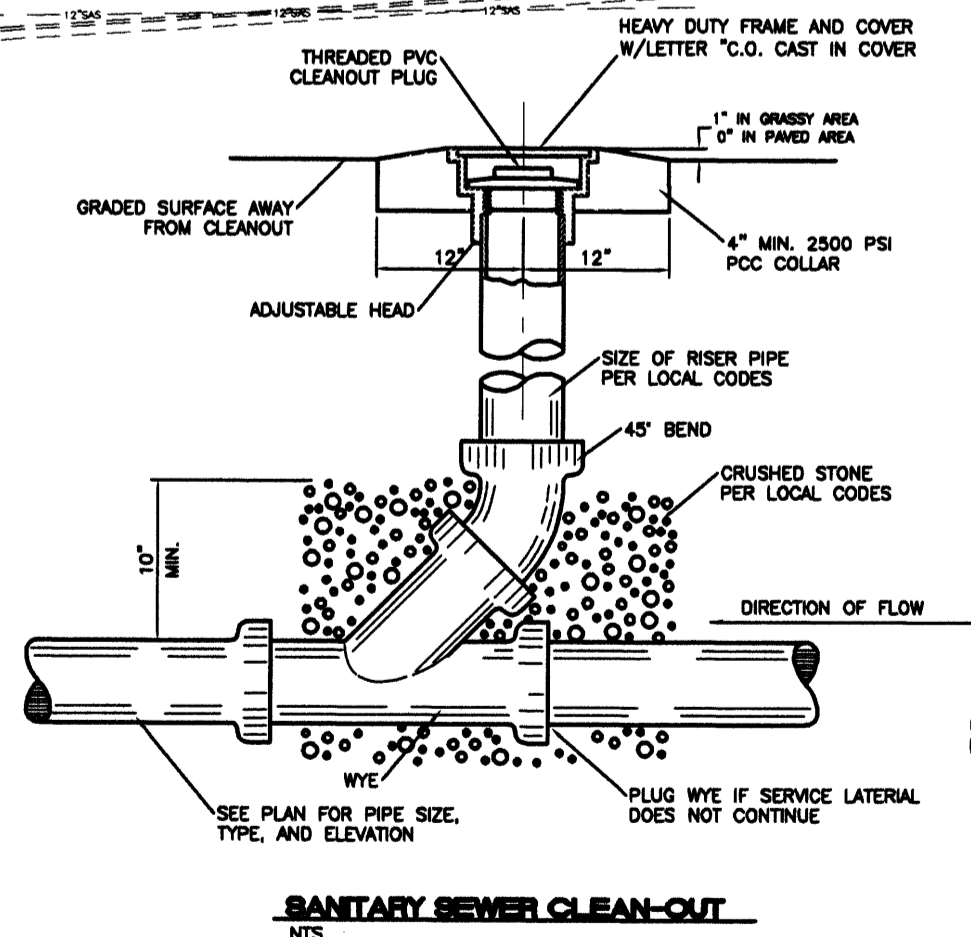
**NOTICE TO CONTRACTORS**

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. CONTRACTOR IS RESPONSIBLE TO PROVIDE UTILITY STUBS 5' FROM BUILDING
9. CONTRACTOR SHALL DETERMINE LOCATION OF ANY UNDERGROUND FACILITY IN OR NEAR WORK AREAS, INCLUDING REQUESTS TO OWNERS/OPERATORS OF SAID FACILITIES PER SECTION 62-14-5 NMSA 1978.
10. CONTRACTOR SHALL PLAN ALL EXCAVATION TO MINIMIZE INTERFERENCE OF DAMAGE OF UNDERGROUND FACILITIES.

11. CONTRACTOR SHALL PROVIDE ADVANCE TELEPHONE NOTICE OF COMMENCEMENT, EXTENT AND DURATION OF ALL EXCAVATION WORK TO THE ONE-CALL NOTIFICATION SYSTEM, OR TO OWNERS/OPERATORS OF ANY EXISTING UNDERGROUND FACILITY IN OR NEAR THE EXCAVATION AREA THAT ARE NOT MEMBERS OF THE ONE-CALL NOTIFICATION CENTER; IN ORDER THAT OWNERS/OPERATORS MAY LOCATE AND MARK UNDERGROUND FACILITIES PER SECTION 62-14-5 NMSA 1978 PRIOR TO ANY COMMENCEMENT OF WORK. CONTRACTOR SHALL REQUEST REAFFIRMATION OF LOCATING EVERY TEN (10) WORKING DAYS AFTER INITIAL REQUEST.
12. CONTRACTOR SHALL MAINTAIN EIGHTEEN (18) INCHES BETWEEN EXISTING UNDERGROUND FACILITIES FOR WHICH HAVE BEEN PREVIOUSLY IDENTIFIED AND MARKED BY THE OWNERS/OPERATORS OF SAID FACILITIES. CUTTING EDGE OR POINT OF ANY MECHANICAL EXCAVATING EQUIPMENT UTILIZED IN EXCAVATION AREA WILL BE USED IN A MANNER NECESSARY TO PREVENT DAMAGE TO EXISTING UNDERGROUND FACILITIES.
13. CONTRACTOR SHALL PROVIDE SUPPORT FOR EXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA AS NECESSARY TO PREVENT DAMAGE TO SAID FACILITIES.
14. CONTRACTOR SHALL BACKFILL ALL EXCAVATIONS IN A MANNER AND WITH MATERIALS AS MAY BE NECESSARY TO PREVENT DAMAGE TO AND PROVIDE RELIABLE SUPPORT DURING AND FOLLOWING BACK FILLING ACTIVITIES FOR PREEXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA.
15. CONTRACTOR SHALL IMMEDIATELY NOTIFY BY TELEPHONE THE OWNER/OPERATOR OF ANY UNDERGROUND FACILITY WHICH MAY HAVE BEEN DAMAGED OR DISLOGGED DURING EXCAVATION WORK.
16. CONTRACTOR SHALL NOT MOVE OR OBLITERATE MARKINGS MADE PURSUANT TO CHAPTER 62, ARTICLE 14 NMSA 1978, OR FABRICATE MARKINGS IN AN UNMARKED LOCATION FOR THE PURPOSE OF CONCEALING OR AVOIDING LIABILITY FOR VIOLATION OF OR NONCOMPLIANCE WITH THE PROVISIONS OF CHAPTER 62, ARTICLE 11 NMSA 1978.

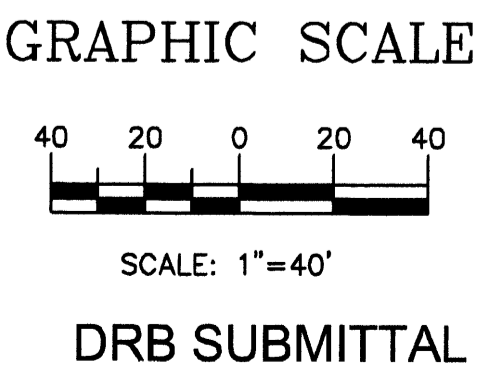


- GENERAL NOTES:**
1. COMPACTION IN CITY OR STATE RIGHT-OF-WAYS SHALL MEET OR EXCEED MINIMUM SPECIFIED REQUIREMENTS.
  2. SHADING AND BEDDING MATERIAL TO BE TYPE IV, CLASS 1 FOR DIRECT BURIED CABLE IN CONDUIT, TYPE III MATERIAL IS SUITABLE FOR EITHER TYPE OF INSTALLATION. REFER TO DS-10-12.4 FOR FILL MATERIAL REQUIREMENTS.
  3. IF TRENCH-RUN MATERIAL MEETS BACK FILL MATERIAL REQUIREMENTS TYPE REQUIREMENTS, 3" BEDDING MAY BE OMITTED PROVIDED THE TRENCH BOTTOM IS SMOOTH, FLAT AND WITHOUT SURFACE IRREGULARITIES.
  4. SEPARATION BETWEEN JACKETED PRIMARY AND COMMUNICATION CABLE SHALL BE AT LEAST 12".
  5. SPOIL PILE SHALL BE PLACED ON THE FIELD SIDE A MINIMUM OF 2' FROM TRENCH EDGE.
  6. WATER LINES SHALL MAINTAIN 12" MINIMUM HORIZONTAL SEPARATION FROM OTHER UTILITIES AND MAY BE INSTALLED EITHER ABOVE OR BELOW OTHER UTILITIES DEPENDING ON FREEZE DEPTH.
  7. LATEST OSHA TRENCH SAFETY REQUIREMENTS SHALL BE STRICTLY OBSERVED.
  8. WARNING TAPE SHALL BE PLACED A MINIMUM OF 12" ABOVE THE UPPER LEVEL OF UTILITIES AT THE CENTER OF TRENCH.



**SANITARY SEWER DOUBLE CLEAN-OUT NTS**

**CAUTION:** ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



REVISION	DATE	BY

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC  
2325 SAN PEDRO N.E., SUITE 2-B  
ALBUQUERQUE, NEW MEXICO 87110  
PHONE (505) 884-9110 FAX (505) 837-9877

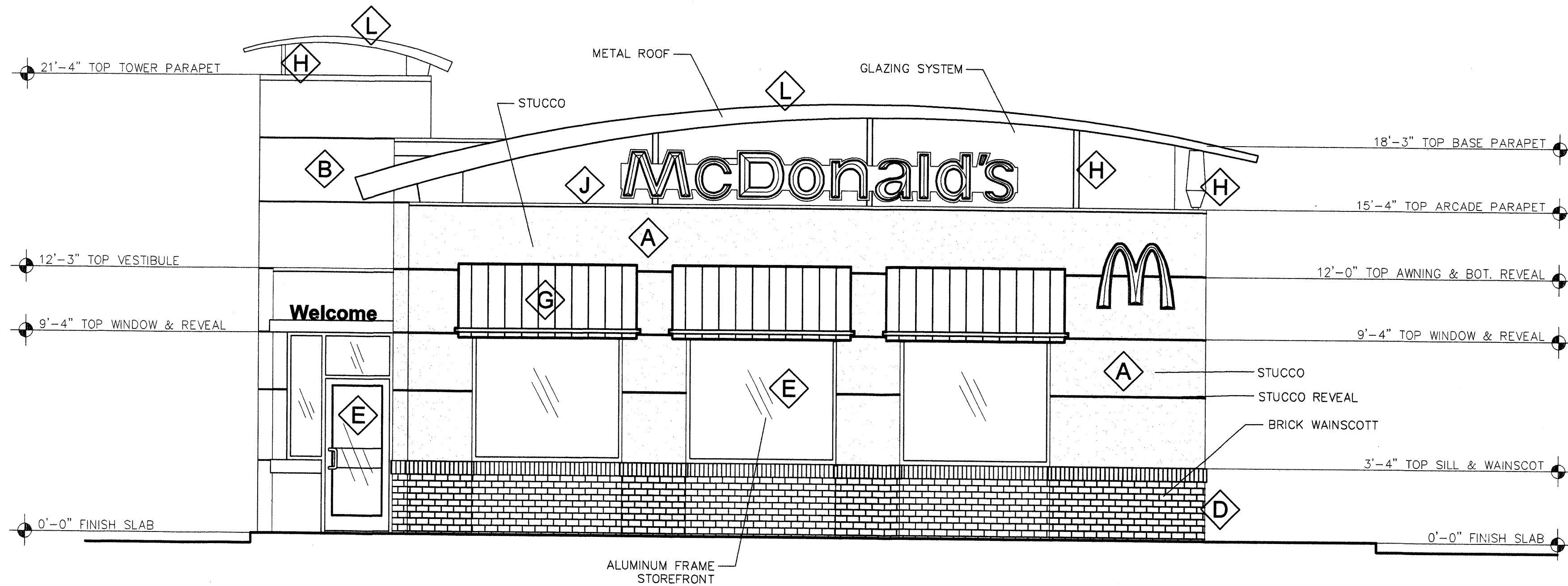
PRELIMINARY  
NOT FOR  
CONSTRUCTION

PROJECT TITLE: DEL NORTE PLAZA  
SAN PEDRO & PASEO DEL NORTE  
ALBUQUERQUE, NEW MEXICO

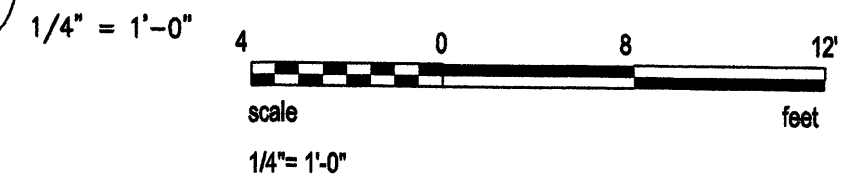
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JOB NO.: 24665  
DRAWN BY: ET  
SHEET TITLE: MASTER UTILITY PLAN

DATE: 11.13.2007  
SCALE: 1"=40'-0"  
sheet: C2 of

DRB SUBMITTAL

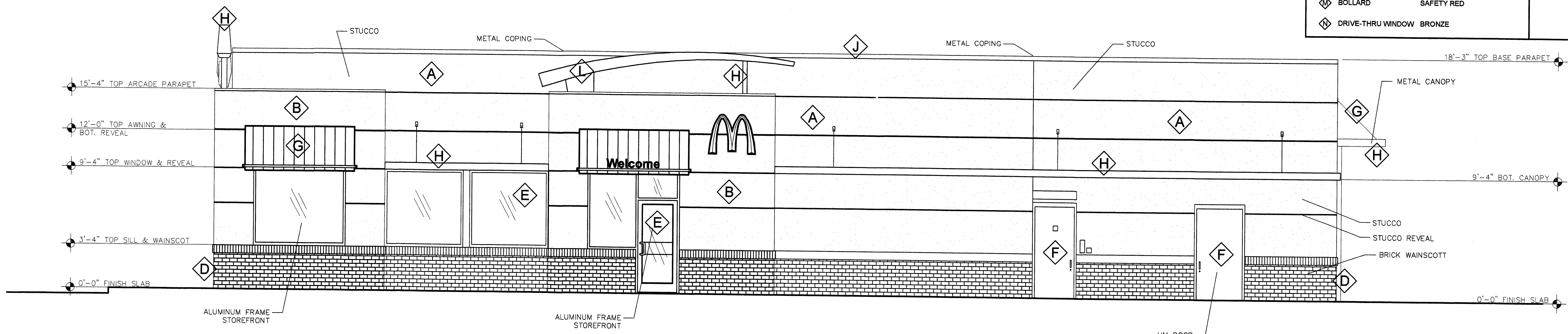


1 FRONT (WEST) ELEVATION

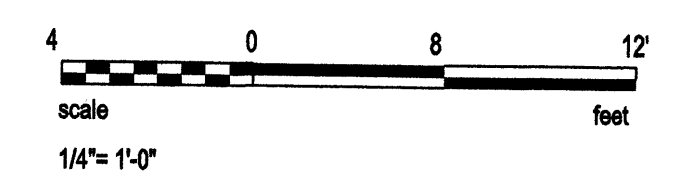


NOTES:  
 ALL MECH. EQUIP. SHALL BE SHIELDED  
 ALUM. STOREFRONT SHALL BE RECESSED 2"  
 FROM FACE OF STUCCO.  
 BUILDING SIGNAGE DETERMINED BY LOCAL  
 CODE. TENANT SIGNAGE TO BE APPROVED  
 BY ZONING AND DONE UNDER SEPARATE  
 ZONING PERMIT.  
 ALL BUILDING MATERIALS SHALL BE  
 NON-REFLECTIVE.

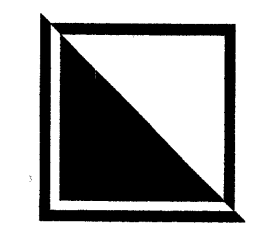
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◇	STUCCO EL REY 803 SAGE	LT. TANYELLOW
◇	STUCCO EL REY 430 PEAK	LT. GREY
◇	BRICK WAINSCOT FIRE-BRICK RED	
◇	ALUM. STOREFRONT BRONZE	
◇	HOLLOW METAL DOOR PAINT TO MATCH ADJACENT FINISH	
◇	METAL AWNING GALVALUME	
◇	TUBE STEEL PAINT TO MATCH EL REY 430 - PEAK	
◇	METAL COPING SILVER	
◇	E.F.I.S. EL REY 430 PEAK	
◇	METAL ROOFING GALVALUME	
◇	BOLLARD SAFETY RED	
◇	DRIVE-THRU WINDOW BRONZE	



4 NON DRIVE-THRU (SOUTH) ELEVATION



REV	DATE	BY	REVISION
1			
2			
3			
4			
5			



GEORGE RAINHART ARCHITECT AND ASSOCIATES PC  
 2325 SAN PEDRO N.E. SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 884-9110 FAX (505) 837-9877

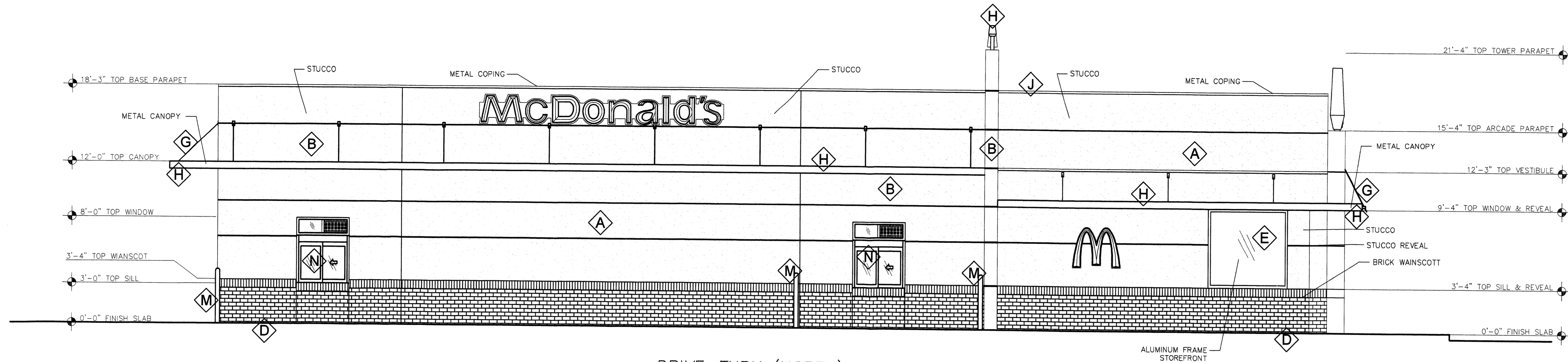
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 NOT FOR  
 CONSTRUCTION

PROJECT TITLE  
**DEL NORTE PLAZA**  
 SAN PEDRO & PASEO DEL NORTE  
 ALBUQUERQUE, NEW MEXICO  
 PROJECT MANAGER  
 JOB NO. 0538A  
 DRAWN BY: JS  
 SHEET TITLE  
**McDonald's ELEVATIONS**

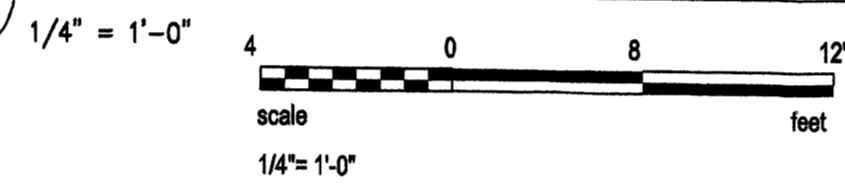
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 SCALE: AS NOTED  
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**A1**  
 of.

DRB SUBMITTAL



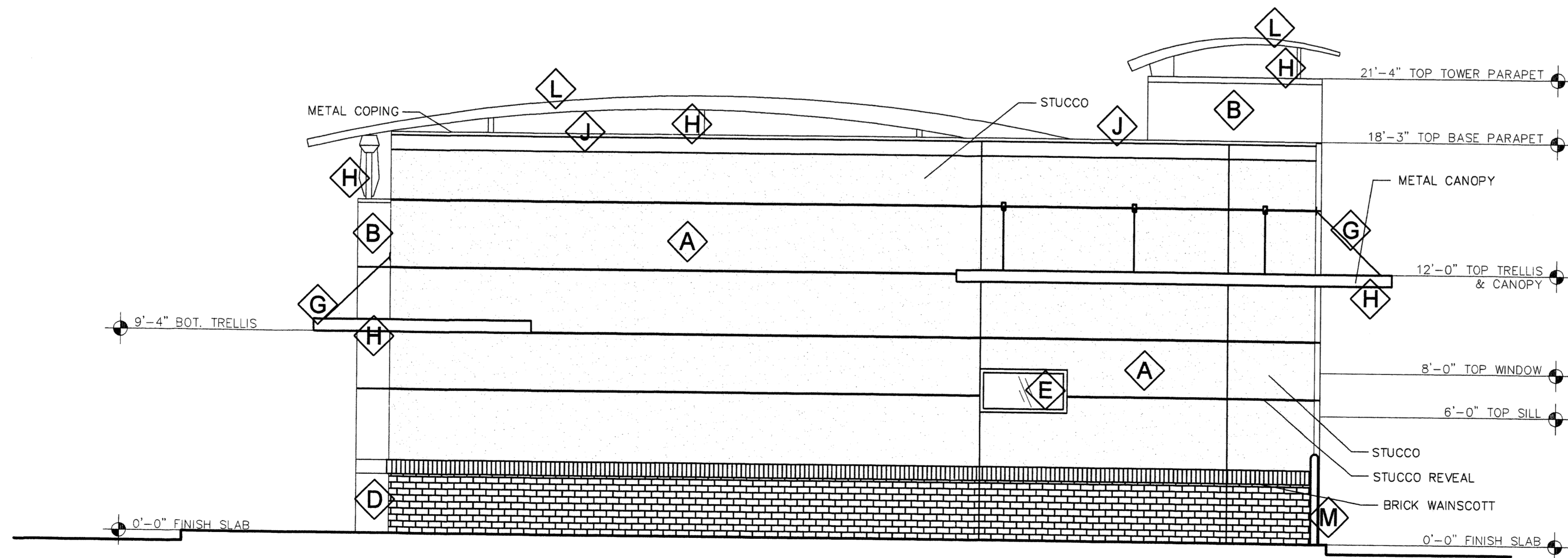


2 DRIVE-THRU (NORTH) ELEVATION

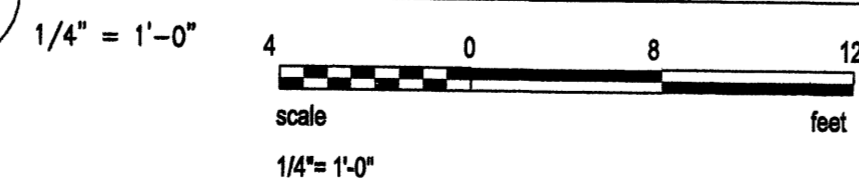


NOTES:  
 ALL MECH. EQUIP. SHALL BE SHIELDED  
 ALUM. STOREFRONT SHALL BE RECESSED 2"  
 FROM FACE OF STUCCO.  
 BUILDING SIGNAGE DETERMINED BY LOCAL  
 CODE. TENANT SIGNAGE TO BE APPROVED  
 BY ZONING AND DONE UNDER SEPARATE  
 ZONING PERMIT.  
 ALL BUILDING MATERIALS SHALL BE  
 NON-REFLECTIVE.

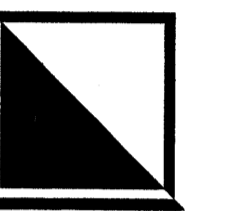
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◇	STUCCO EL REY 803 SAGE	LT. TANYELLOW
◇	STUCCO EL REY 430 PEAK	LT. GREY
◇	BRICK WAINSCOT FIRE-BRICK RED	
◇	ALUM. STOREFRONT BRONZE	
◇	HOLLOW METAL DOOR PAINT TO MATCH ADJACENT FINISH	
◇	METAL AWNING GALVALUME	
◇	TUBE STEEL PAINT TO MATCH EL REY 430 - PEAK	
◇	METAL COPING SILVER	
◇	E.F.I.S. EL REY 430 PEAK	
◇	METAL ROOFING GALVALUME	
◇	BOLLARD SAFETY RED	
◇	DRIVE-THRU WINDOW BRONZE	



3 REAR (EAST) ELEVATION



REV	DATE	BY	REVISION
1			
2			
3			
4			
5			



GEORGE RAINHART ARCHITECT AND ASSOCIATES PC  
 2325 SAN PEDRO N.E. SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 884-9110 FAX (505) 837-9877

PRELIMINARY  
 NOT FOR  
 CONSTRUCTION

PROJECT TITLE  
**DEL NORTE PLAZA**  
 SAN PEDRO & PASEO DEL NORTE  
 ALBUQUERQUE, NEW MEXICO

PROJECT MANAGER  
 JOB NO. 0536A

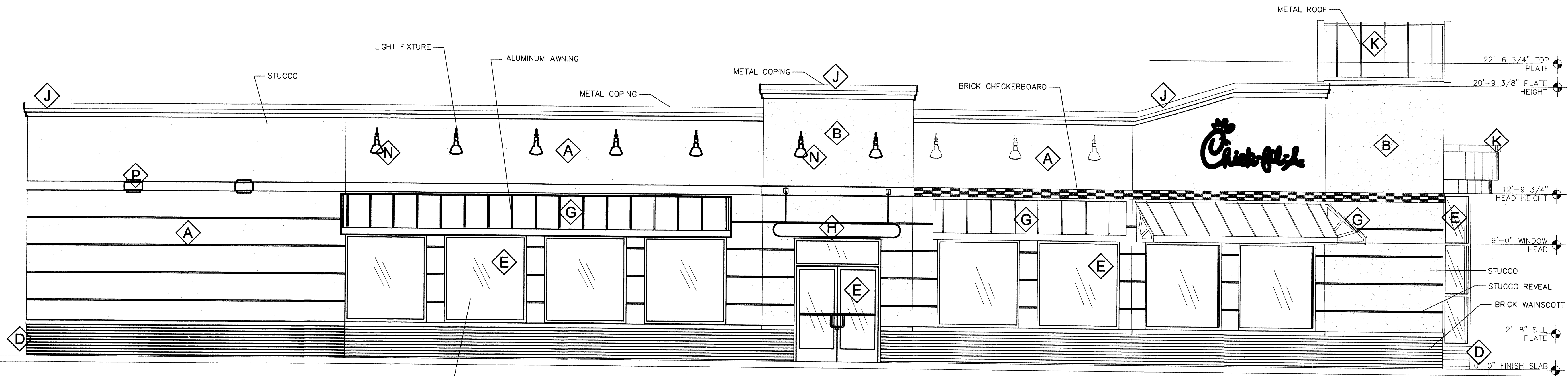
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SHEET TITLE  
**McDonald's ELEVATIONS**

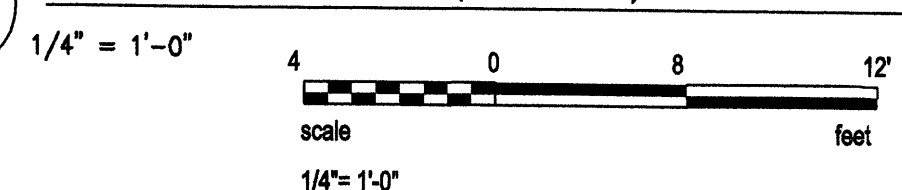
DATE:  
 11.13.2007

SCALE:  
 AS NOTED

sheet  
**A2**  
 of

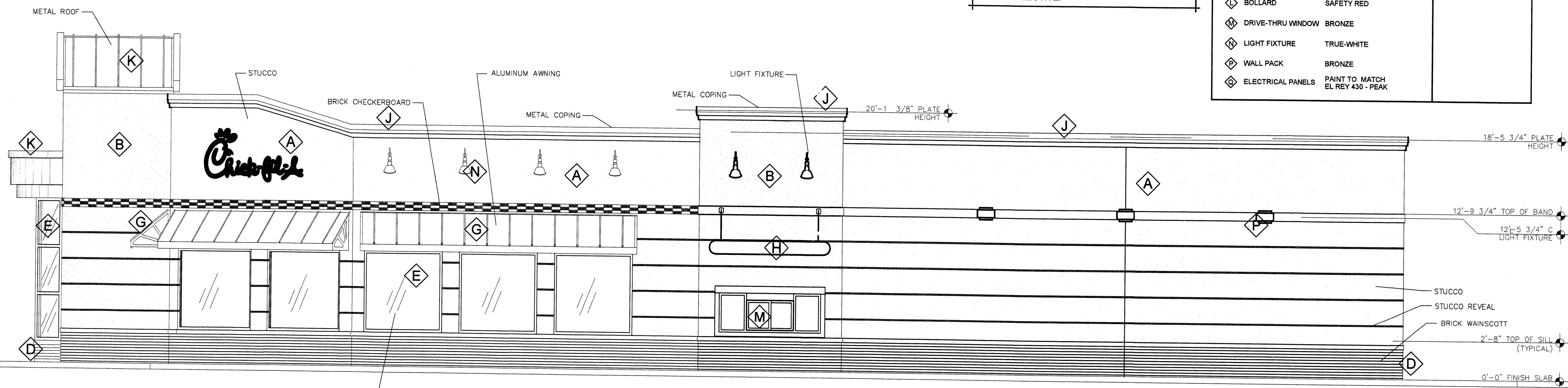


1 MAIN ENTRY (WEST) ELEVATION

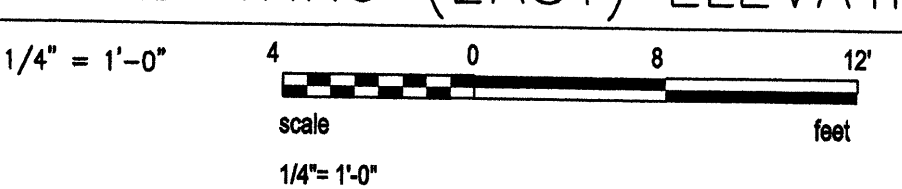


NOTES:  
 ALL MECH. EQUIP. SHALL BE SHIELDED  
 ALUM. STOREFRONT SHALL BE RECESSED 2\"/>

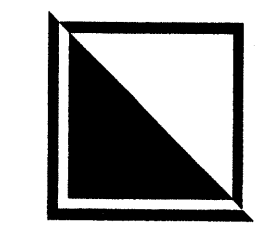
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◆	STUCCO EL REY 803 SAGE	LT. TANYELLOW
◆	STUCCO EL REY 430 PEAK	LT. GREY
◆	BRICK WAINSCOT FIRE-BRICK RED	
◆	ALUM. STOREFRONT BRONZE	
◆	HOLLOW METAL DOOR PAINT TO MATCH ADJACENT FINISH	
◆	METAL AWNING GALVALUME	
◆	TUBE STEEL PAINT TO MATCH EL REY 430 - PEAK	
◆	METAL COPING SILVER	
◆	METAL ROOFING GALVALUME	
◆	BOLLARD SAFETY RED	
◆	DRIVE-THRU WINDOW BRONZE	
◆	LIGHT FIXTURE TRUE-WHITE	
◆	WALL PACK BRONZE	
◆	ELECTRICAL PANELS PAINT TO MATCH EL REY 430 - PEAK	



2 DRIVE-THRU (EAST) ELEVATION



REV	DATE	BY	REVISION
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B			
C			
D			
E			



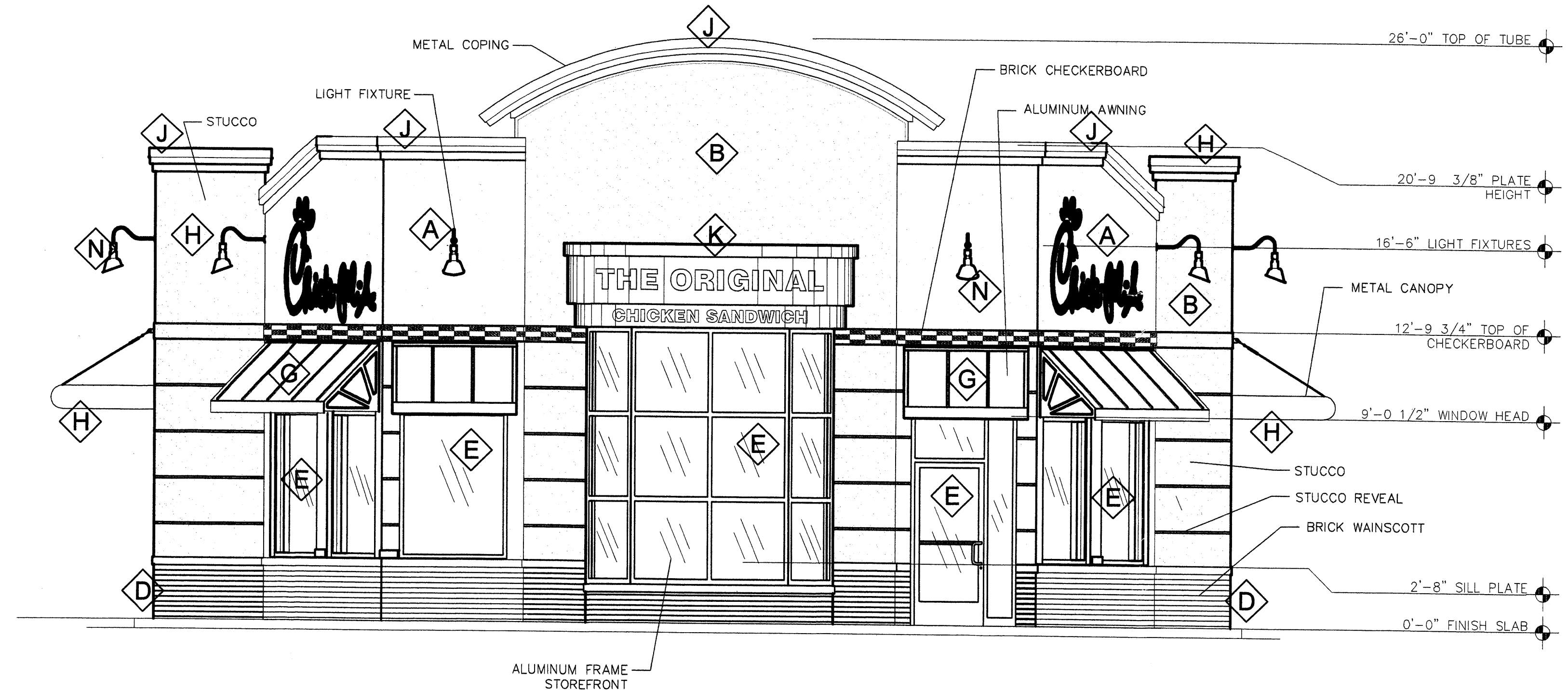
GEORGE RAINHART ARCHITECT AND ASSOCIATES PC  
 2325 SAN PEDRO N.E. SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 884-9110 FAX (505) 837-9877

PRELIMINARY  
 NOT FOR  
 CONSTRUCTION

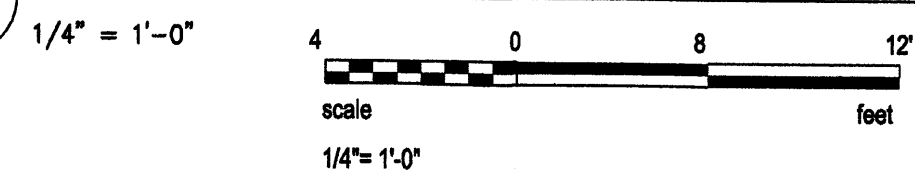
PROJECT TITLE  
**DEL NORTE PLAZA**  
 SAN PEDRO & PASO DEL NORTE  
 ALBUQUERQUE, NEW MEXICO  
 PROJECT MANAGER  
 JOB NO. 0536A  
 DRAWN BY: JS  
 SHEET TITLE  
**Chick Fil-A ELEVATIONS**

DATE: 11.13.2007 sheet-  
 SCALE: 1"=40'-0" of-  
**A3**

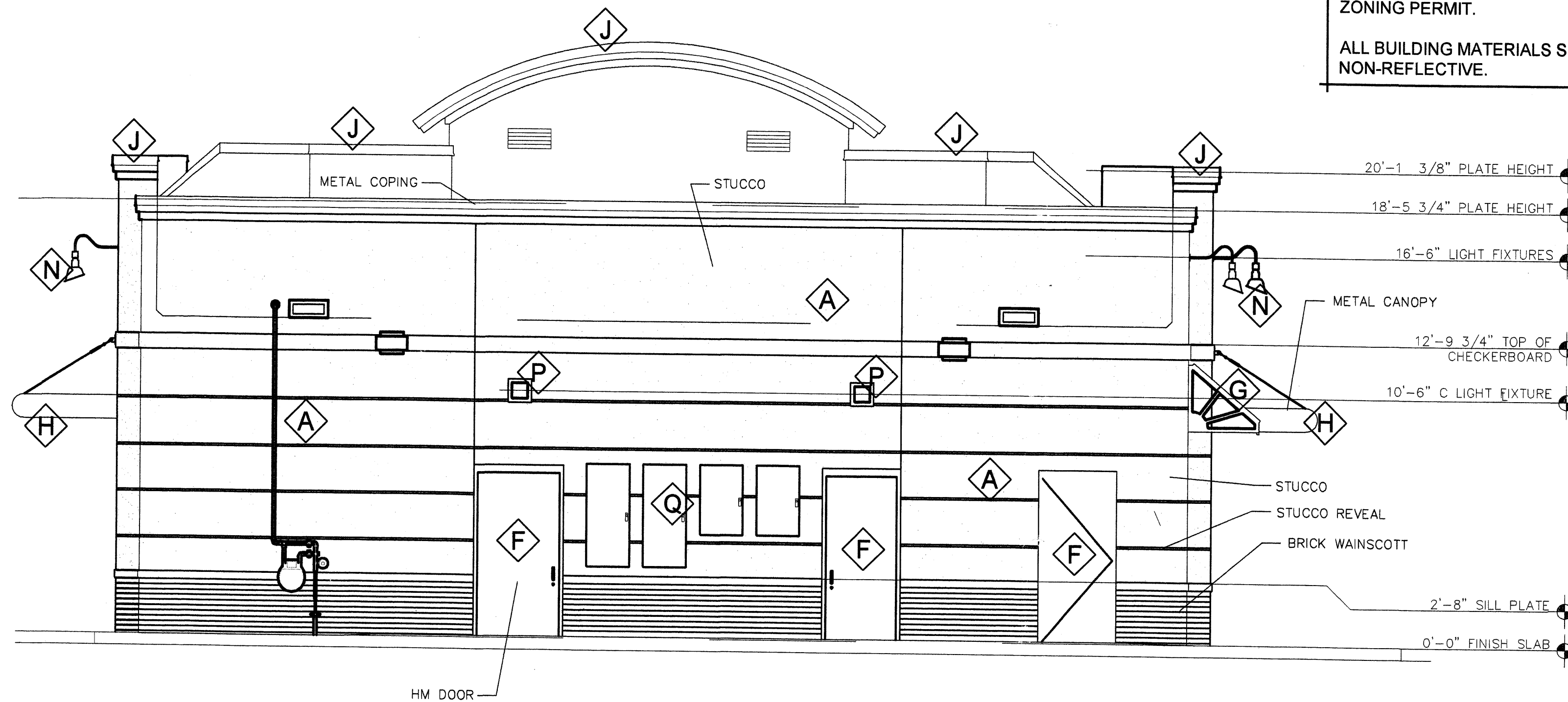
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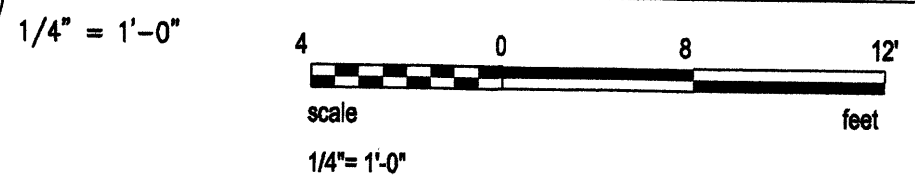
1 FRONT (NORTH) ELEVATION



**NOTES:**  
 ALL MECH. EQUIP. SHALL BE SHIELDED  
 ALUM. STOREFRONT SHALL BE RECESSED 2" FROM FACE OF STUCCO.  
 BUILDING SIGNAGE DETERMINED BY LOCAL CODE. TENANT SIGNAGE TO BE APPROVED BY ZONING AND DONE UNDER SEPARATE ZONING PERMIT.  
 ALL BUILDING MATERIALS SHALL BE NON-REFLECTIVE.

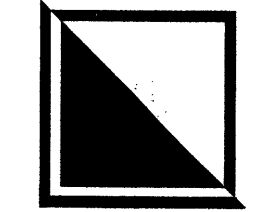


2 REAR (SOUTH) ELEVATION



Keyed Color / Material Schedule		Common Name
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◇	STUCCO EL REY 803 SAGE	LT. TANYELLOW
◇	STUCCO EL REY 430 PEAK	LT. GREY
◇	BRICK WAINSCOT FIRE-BRICK RED	
◇	ALUM. STOREFRONT BRONZE	
◇	HOLLOW METAL DOOR PAINT TO MATCH ADJACENT FINISH	
◇	METAL AWNING GALVALUME	
◇	TUBE STEEL PAINT TO MATCH EL REY 430 - PEAK	
◇	METAL COPING SILVER	
◇	METAL ROOFING GALVALUME	
◇	BOLLARD SAFETY RED	
◇	DRIVE-THRU WINDOW BRONZE	
◇	LIGHT FIXTURE TRUE-WHITE	
◇	WALL PACK BRONZE	
◇	ELECTRICAL PANELS PAINT TO MATCH EL REY 430 - PEAK	

REV	DATE	BY	REVISION
6			
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4			
3			
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GEORGE RAINHART ARCHITECT AND ASSOCIATES PC  
 2325 SAN PEDRO N.E. SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 884-9110 FAX (505) 837-9877

PRELIMINARY  
 NOT FOR  
 CONSTRUCTION

PROJECT TITLE  
**DEL NORTE PLAZA**  
 SAN PEDRO & PASSEO DEL NORTE  
 ALBUQUERQUE, NEW MEXICO  
 PROJECT MANAGER  
 JOB NO. 0538A  
 DRAWN BY:  
 JS  
 SHEET TITLE  
**Chick Fil-A ELEVATIONS**

DATE:  
 11.13.2007  
 SCALE:  
 1"=40'-0"  
 sheet:  
**A4**  
 of: