

### LEGEND

N 90°00'00" E  
MEASURED BEARINGS AND DISTANCES MATCH RECORD DRAWINGS AND DISTANCES AS DESIGNATED

FOUND AND USED MONUMENT AS DESIGNATED

DENOTES NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 1088" SET THIS SURVEY

POWER POLE

SANITARY SEWER MANHOLE

STORM SEWER MANHOLE

WATER METER

WATER VALVE

TELEPHONE PEDESTAL

FIRE HYDRANT

GAS VALVE

TELEPHONE CABINET

CABLE TV PEDESTAL

GUY WIRE

WATER MANHOLE

TRANSFORMER

MEDIAN INLET

CURB INLET

OVERHEAD UTILITY LINE

EXISTING CURB AND GUTTER

\* 5242.72

SPOT ELEVATIONS (CURB SPOTS ARE AT TOP/BACK)

PROPOSED CURB AND GUTTER

### HERE WE GROW AGAIN SIGN

THE GENERAL CONTRACTOR SHALL DISPLAY A "HERE WE GROW AGAIN" BANNER DURING CONSTRUCTION. THESE BANNERS ARE AVAILABLE THROUGH WORLD WIDE COMPANY, OAKBROOK, IL. PH# 1-800-937-7671

### LOT LIGHTING

CONTRACTOR TO REFER TO SITE UTILITY PLAN FOR PRELIMINARY DESIGN LAYOUT. FINAL LAYOUT TO BE PROVIDED BY SECURITY LIGHTING.

### SLEEVING NOTICE TO CONTRACTOR

THE PAVING CONTRACTOR SHALL NOT PLACE PERMANENT PAVEMENT UNTIL ALL SLEEVING FOR ELECTRIC, GAS, TELEPHONE, CABLE TV, SITE IRRIGATION, BUILDING DOWNSPOUTS, ETC. HAS BEEN INSTALLED. IT SHALL BE THE PAVING CONTRACTOR'S RESPONSIBILITY TO INSURE THAT ALL SLEEVING IS IN PLACE PRIOR TO PLACING OF PERMANENT PAVEMENT. PRIOR TO STARTING OF CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS FROM CITY OF ADA HAVE BEEN OBTAINED.

### LOOP DETECTORS

CONTRACTOR TO REFER TO E1 ELECTRICAL ROUGH-IN PLAN FOR EXACT LOCATION OF LOOP DETECTOR AT DRIVE-THRU WINDOW. REFER TO SD2 FOR DETECTOR LOOP SPECIFICATIONS.

### CONSTRUCTION SCHEDULE

MARK	MARK DESCRIPTION
(1)	6"x6" CONCRETE CURB AND GUTTER (TYP.)
(2)	6"x6" VERTICAL CURB W/GUTTER AT DRIVE-THRU SIDE ONLY
(3)	DETECTOR LOOP (LOCATION TO BE APPROVED BY McDONALD'S)
(4)	PROPOSED CONCRETE WHEELSTOP (2 TOTAL)
(5)	PROPOSED 10.5' SLOPED SIDEWALK @ 4.8% MAX.
(6)	PAVING SYMBOLS
(7)	PRETREAT FOR TERMITE CONTROL
(8)	PROPOSED ACCESSIBLE ROUTE
(9)	LANDSCAPE FINISH GRADE 1" BELOW TOP OF CURB @ ALL LAWN AREAS AND 2" BELOW TOP OF CURB AT BED AREAS.
(10)	PROPOSED CONCRETE WALK
(11)	1" CURB OPENING W/ 1" TRANSITION
(12)	6" CURBED RAMP
(13)	OVERHEAD Pylon SIGN
(14)	McDONALD'S "WELCOME" ENTRY SIGN
(15)	McDONALD'S "THANK YOU" EXIT SIGN
(16)	PROPOSED DOWNSPOUT LOCATION. RE: BUILDING PLANS FOR EXIT FROM BUILDING
(17)	TRASH ENCLOSURE DRAIN
(18)	EXISTING CURB TO BE REMOVED.
(19)	"DO NOT ENTER" SIGN

### STANDARD ACCESSIBILITY REQUIREMENTS

**PARKING:**

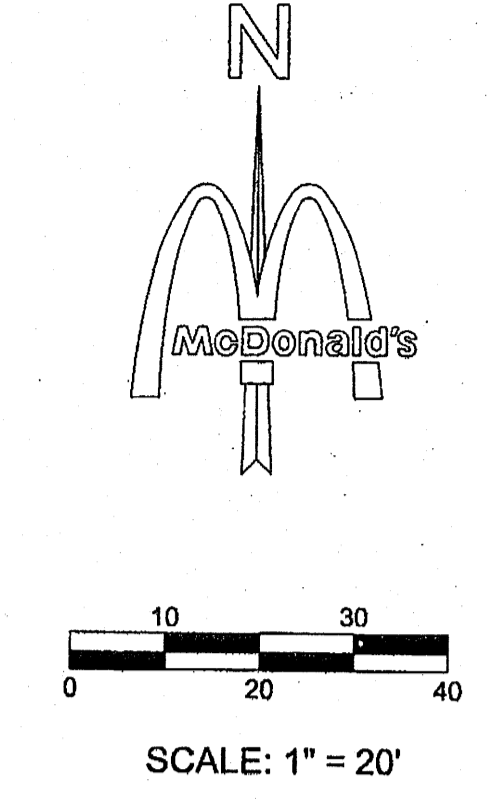
- (A) ACCESSIBLE PARKING SPACES SHALL BE A MIN. 96" WIDE WITH A MAXIMUM SLOPE OF 2% IN ALL DIRECTIONS.
- (B) EACH ACCESSIBLE PARKING SPACE SHALL HAVE A VERTICALLY MOUNTED (OR SUSPENDED) SIGN SHOWING THE SYMBOL OF ACCESSIBILITY. AT LEAST ONE SPACE MUST HAVE AN ADDITIONAL SIGN "VAN-ACCESSIBLE" MOUNTED BELOW THE SYMBOL OF ACCESSIBILITY. SIGNS SHALL BE LOCATED AT 80" ABOVE GROUND SURFACE TO BOTTOM OF TEXT.
- (C) ALL ACCESSIBLE SPACES SERVING H.C. PARKING SPACES SHALL BE 60" WIDE MINIMUM AND 96" WIDE MINIMUM FOR VAN DESIGNATED SPACES. ALL BUILDINGS SHALL CONTAIN AT LEAST ONE VAN ACCESSIBLE SPACE.

**RAMPS:**

- (D) RAMPS EXCEEDING 6" IN RISE SHALL HAVE HANDRAILS EACH SIDE AT BETWEEN 34" AND 38" AND EXTEND 12" BEYOND TOP AND BOTTOM OF RAMP AND SHALL NOT DIMINISH THE CLEAR AREA REQUIRED FOR TOP AND BOTTOM LANDINGS SERVING THE RAMPS.
- (E) RAMPS SHALL HAVE A ROUGH (BROOM FINISH) SURFACE OR ABRASIVE TILE. RAMPS SHALL ALSO CONTAIN TRUNCATED DOMES ARRANGED SO THAT WATER WILL NOT ACCUMULATE. COLOR OF RAMP FINISH MATERIAL (INCLUDING CONCRETE) AND LIGHT AND REFLECTIVE VALUE MUST CONTRAST SIGNIFICANTLY TO ADJACENT SURFACES - (OR PAINT STRIPE)
- (F) BOTTOM LANDINGS FOR RAMPS SERVING REQUIRED EXITS SHALL BE 6'-0" LONG IN DIRECTION OF TRAVEL. MINIMUM. ALL LANDINGS SHALL BE AT LEAST AS LONG AS THE WIDTH OF THE RAMP THEY SERVE.
- (G) RETURN-CURB RAMP WITH MAX SLOPE 1:12

**SIDEWALKS AND ACCESSIBLE ROUTES:**

- (H) 38" MIN. ACCESS ROUTE (MAX. SLOPE 1:20)
- (I) NEW SIDEWALK (MIN 3') TO PUBLIC WALK (MIN. SLOPE 1:20)
- (J) CROSS SLOPE SHALL NOT EXCEED 1:50 (2%)
- (K) LONGITUDINAL SLOPE OF ANY SIDEWALK (ACCESSIBLE ROUTE) SHALL NOT EXCEED 1:20 (5%)



### OWNER INFORMATION

**McDONALD'S**  
511 E. CARPENTER FRWY, STE. 375  
IRVING, TEXAS 75062  
(972) 868-5314  
CONTACT: JIMMY LOPEZ

### DIMENSIONAL NOTE:

ALL DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.



### Line Table

LINE	BEARING	DISTANCE
L1	N 89°59'41" E	12.43'
L2	S 00°00'17" E	10.00'
L3	S 89°59'41" W	12.43'

### Curve Table

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	TANGENT	CHORD LENGTH	CHORD BEARING
C1	369.74'	129.82'	20°07'02"	65.98'	129.16'	N 77°33'07" E

### TRASH ENCLOSURE NOTE

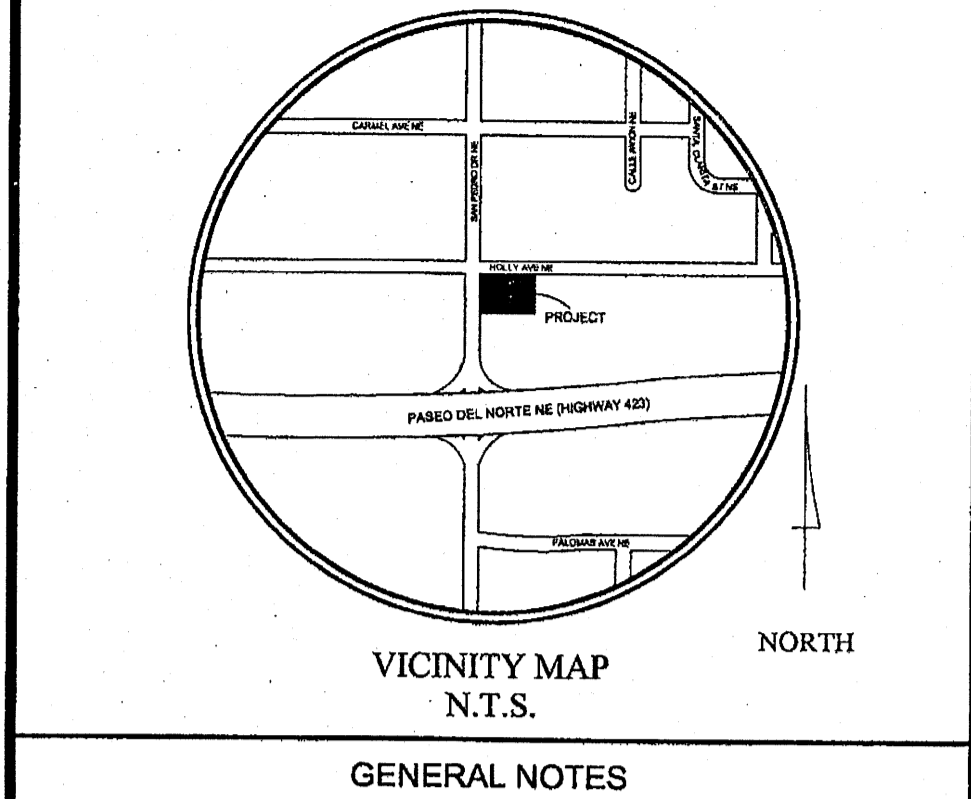
CONTRACTOR SHALL CONTACT LOCAL WASTE COLLECTION COMPANY PRIOR TO TRASH ENCLOSURE CONSTRUCTION TO VERIFY FRONT LOADING. IF THE COMPANY DOES NOT OFFER THIS TYPE OF LOADING THE CONTRACTOR IS TO NOTIFY ADAMS ENGINEERING IMMEDIATELY FOR A REVISED TRASH ENCLOSURE LAYOUT.

### NOTICE TO CONTRACTOR

CONTRACTOR SHALL REFER TO ARCHITECTURAL BUILDING PLANS FOR EXACT LOCATION AND ORIENTATION OF EXTERIOR DOORS.

- INSTALLATION OF HANDRAILS SHOWN HEREON ARE OPTIONAL UNLESS DIRECTED OTHERWISE BY CITY BUILDING OFFICIAL. CONTRACTOR SHOULD REFER TO ACCESSIBILITY NOTES AND GRADING PLAN TO VERIFY IF HANDRAILS ARE NECESSARY.
- TRASH ENCLOSURE WITH FINISH TO MATCH BUILDING AS PER McDONALD'S ENGINEER OR APPROVED EQUAL. REF: SHEET TE-1 WITH 7" THICK x 15'x18' CONCRETE PAD. (CONTRACTOR TO COORDINATE DESIGN SPECS. WITH SOILS REPORT & McDONALD'S).
- LOCATION OF I.D. SIGN IS APPROXIMATE. IT IS THE RESPONSIBILITY OF THE SIGN CONTRACTOR TO VERIFY COMPLIANCE WITH SET-BACK, SIGN HEIGHT AND RELATED ZONING REQUIREMENTS PRIOR TO SETTING.
- THE LOCATION OF THE MENU BOARD AND PRE-SELL BOARDS ARE NOT EXACT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE DIMENSIONS AND ORIENTATION WITH THE McDONALD'S ENGINEER.
- CONTRACTOR SHALL FIELD VERIFY ELEVATIONS ON McDONALD'S SITE. IF EXISTING GRADES DO NOT MATCH THOSE SHOWN ON THIS PLAN, CONTRACTOR SHALL NOTIFY McDONALD'S PROJECT MANAGER.

THESE PLANS ARE SUBJECT TO REVIEW & APPROVAL BY JURISDICTIONAL ENTITIES.



- ### GENERAL NOTES
- McDonald's road sign and base are to be installed by contractor. Conduit and wiring are by the General Contractor.
  - Bases, anchor bolts, conduit, and wiring for all other signs are by the General Contractor.
  - 3/4" Empty conduit to locations shown at the lot perimeter for lot lighting is by the General Contractor. Lighting fixtures, bases, poles, conduit, and wiring are by the General Contractor.
  - Bases for flagpoles are by the General Contractor. Anchor bolts are by the flagpole supplier.
  - Proposed utilities are shown in schematic only. Exact locations shall be determined to allow for the most economical installation.
  - The Contractor shall coordinate with all utility companies to determine exact point of service connection at existing utility. Refer to the building electrical and plumbing drawings for utility service entrance locations, sizes, and cabling.
  - General Contractor must provide exact "as built" information upon completion.
  - All elevations shown are in reference to the benchmark and must be verified by the General Contractor at groundbreak.
  - Finish walk and curb elevations shall be 6" above finish pavement.
  - At landscape areas shall be rough graded to 6" below top of all walks and curbs. Finished grading, landscaping and sprinkler systems are by the Owner / Operator.
  - Lot lighting concrete footings to conform with the soils report recommendations for this particular site.
  - Prior to construction, the Contractor shall request, in writing, a copy of the review report prepared by the State Department or Licensing & Regulation from the Owner or Architect. This review report may contain comments or requirements that will alter site layout/design regarding issues related to handicap accessibility.
  - It is strongly recommended that no contractual agreements of any kind be signed prior to receiving and thoroughly reviewing all approvals from all of the regulatory authorities having jurisdiction over this project.
  - Due to the nature of the work, all dimensions shown shall be considered approximate. Contractor shall field verify all dimensions prior to beginning construction. Shop drawings shall be submitted to the Architect for approval prior to fabrication or installation of any item. Failure to adhere to this procedure shall place full responsibility for any errors directly upon the Contractor.
  - All materials and construction with easements and R.O.W. shall conform to all governing authorities' jurisdictional standard construction details and specifications.

DRB ADMINISTRATIVE  
PROJECT NO. 1006860  
APPLICATION NO. 0722-7027  
DATE 06-02-09  
PLANNING DIRECTOR

### PAVING SPECIFICATION

VERIFY W/MCDONALD'S: ASPHALT:  CONCRETE:   
CONTRACTOR TO BID: ASPHALT:  CONCRETE:

NOTE: ALL PAVING & SURFACE SPECIFICATIONS TO COMPLY WITH GEOTECHNICAL REPORT AS PREPARED BY:  
APEX GOESENCHE INC.  
SEPTEMBER 2007  
PROJECT NO. 107-213

### SITE INFORMATION

LAND AREA: 53,333 S.F. (1.2381 Ac.)  
CURRENT ZONING: SUZ-1P  
EXISTING USE: VACANT  
PROPOSED USE: RESTAURANT  
BUILDING AREA (APPROXIMATE): RETAIL: 3,885 S.F.  
BUILDING TO LOT COVERAGE: 3,885 SF/53,333 = 7.2%  
BUILDING HEIGHT: 21'-8"  
BUILDING REQUIRED PARKING: 1 SPACE PER 4 SEATS  
119 SEATS / 4 SEATS = 30 SPACES  
37 SPACES  
PARKING PROVIDED: 3  
HANDICAP PARKING PROVIDED: 2  
HANDICAP PARKING REQUIRED: 2  
MOTORCYCLE PARKING PROVIDED: 2

### BENCHMARK

- A.G.R.S. MONUMENT "HEAVEN" STANDARD U.S.C. & G.S. BRASS TABLET (FOUND IN PLACE) NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE - N.A.D. 1983) N=1,518,729.615 E=1,547,297.145 PUBLISHED EL=5378.225 (NAVD 1988) GROUND TO GRID FACTOR=0.999655810 DELTA ALPHA ANGLE = 0°10'46.22"
- A.G.R.S. MONUMENT "7, C19" STANDARD U.S.C. & G.S. BRASS TABLET (FOUND IN PLACE) NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE - N.A.D. 1983) N=1,522,088.520 E=1,550,417.138 PUBLISHED EL=5485.736 (NAVD 1988) GROUND TO GRID FACTOR=0.999650745 DELTA ALPHA ANGLE = 0°10'24.76"

### SURVEY INFORMATION

PREPARED BY: PRECISION SURVEYS, INC.  
LEGAL DESCRIPTION: LOT 1 OF THE PLAT OF LOTS 1, 2, 3 AND 4 DEL NORTE PLAZA ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO (095) 856-5700 DATE: DECEMBER 10, 2008 BOOK 2008C, PAGE 112

### DEL NORTE PLAZA

STREET ADDRESS  
SEC HOLLY AVE & SAN PEDRO DR  
CITY STATE  
ALBUQUERQUE NEW MEXICO  
COUNTY: BERNALILLO SURVEY: ABSTRACT NO. 030-0221 CORPORATE DWG. NAME  
SITE PLAN

REV. DATE DESCRIPTION BY ISSUE REF.

1	2/12/09	FIRST SUBMITTAL	RL	FS
2	3/31/09	SITE PLAN REVISIONS PER AA REVIEW	RL	---
3	04/08/09	REVISIONS PER CITY AND AA REVIEW	RL	---
4	05/02/09	PER CITY COMMENTS	RL	---

**Adams ENGINEERING**  
P.E. Robert Adams • B.S. in Civil • License No. 10713

6-2-09

TED A. MURPHY  
NEW MEXICO  
17984  
PROFESSIONAL ENGINEER

# McDONALD'S

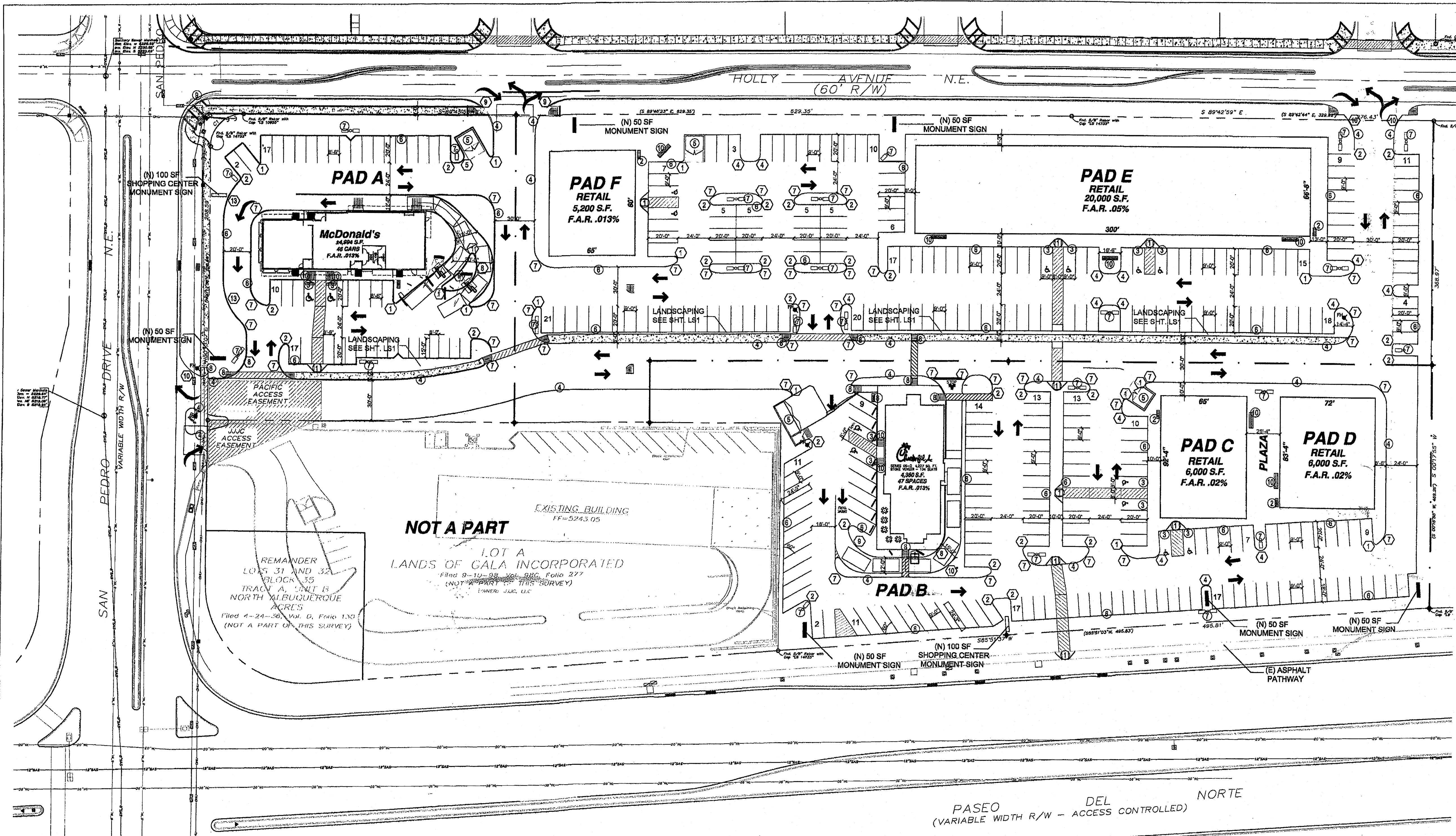
SEC HOLLY AVE & SAN PEDRO DR  
ALBUQUERQUE, NEW MEXICO

ADAMS ENGINEERING NO. 2007-401

100686068  
DRB AA

C2.1

FULL PLOT: 10:00:00 AM 06/02/09  
 PLOTTED: 10:00:00 AM 06/02/09  
 PLOT TIME: 10:00:00 AM  
 PLOT DATE: Tuesday, June 02, 2009  
 PLOT BY: RALPH L. ADAMS  
 PLOT FILE: C:\SITE PLANS\



- PARKING NOTES:**  
 TYPICAL STANDARD SPACES ARE — 9'-0" x 30'-0"  
 TYPICAL SMALL CAR SPACES ARE — 7'-0" x 18'-0"  
 TYPICAL HANDICAP SPACES ARE — 9'-0" x 30'-0"  
 WITH A 5' WIDE ACCESSIBLE — 9'-0" x 20'-0"  
 \*ALL SPACES ARE STANDARD SIZE UNLESS OTHERWISE NOTED\*
- RADIUS:**
- ① RADIUS = 2'-0"
  - ② RADIUS = 3'-0"
  - ③ RADIUS = 4'-0"
  - ④ RADIUS = 5'-0"
  - ⑤ RADIUS = 10'-0"
  - ⑥ RADIUS = 12'-0"
  - ⑦ RADIUS = 15'-0"
  - ⑧ RADIUS = 20'-0"
  - ⑨ RADIUS = 25'-0"
  - ⑩ RADIUS = 28'-0"
  - ⑪ RADIUS = 30'-0"
  - ⑫ RADIUS = 37'-6"

- CODE REFERENCES**
- BUILDING CODE: IBC "2003"
  - MECHANICAL CODE: UMC "2003"
  - PLUMBING CODE: UPC "2003"
  - ELECTRICAL CODE: NEC "2005"
  - ACCESSIBILITY CODE: ANSI "1998"
  - FIRE CODE: IFC "2003"

- CODE DATA**
- ADDRESS: NE CORNER OF PASEO DEL NORTE & SAN PEDRO DRIVE
- ZONING: SU-2/RP
- OCCUPANCY: A & M
- BUILDING TYPE: TYPE IIB
- SEISMIC ZONE: 2B
- # OF STORIES: ONE
- FIRE PROTECTION:
- MCDONALDS: UN-SPRINKLED (4,994 SF)
  - CHICK-FIL-A: UN-SPRINKLED (4,360 SF)
- FUTURE PHASE:
- PAD C: UN-SPRINKLED (6,000 SF)
  - PAD D: UN-SPRINKLED (6,000 SF)
  - PAD E: SPRINKLED (20,000 SF)
  - PAD F: UN-SPRINKLED (5,200 SF)

**NOT A PART**

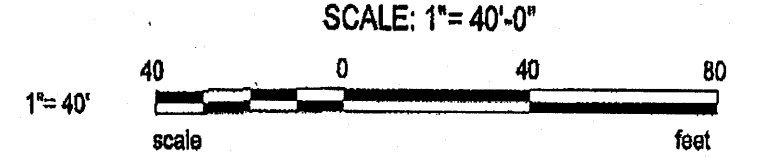
EXISTING BUILDING  
 1F-5243.05

REMAINDER  
 LOTS 31 AND 32  
 BLOCK 35  
 TRACT A, S&T IS  
 NORTH ALBUQUERQUE  
 ACRES  
 Filed 4-24-30, Vol. 0, Page 130  
 (NOT A PART OF THIS SURVEY)

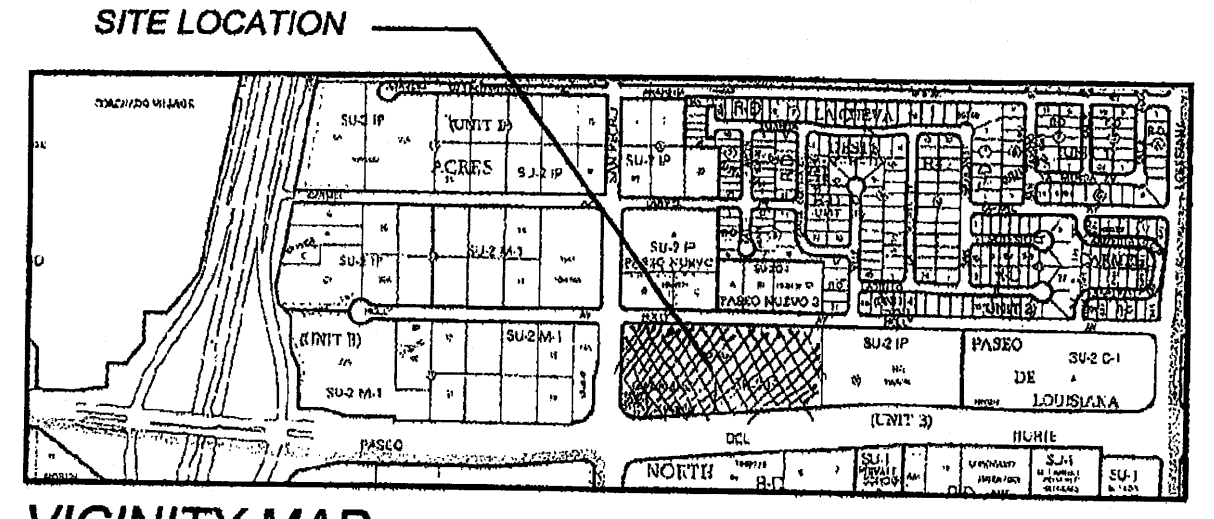
LOT A  
 LANDS OF GALA INCORPORATED  
 Filed 9-10-98, Vol. 98C, Page 277  
 (NOT A PART OF THIS SURVEY)

PASEO DEL NORTE  
 (VARIABLE WIDTH R/W - ACCESS CONTROLLED)

**SITE PLAN FOR BUILDING PERMIT**



- SITE LEGEND:**
- EXISTING PROPERTY LINE
  - PROPOSED CURB
  - PROPOSED SIDEWALK
  - PROPOSED CROSSWALK
  - PROPOSED FIRE HYDRANT
  - PROPOSED BIKE RACK
  - PROPOSED PARKING LOT LIGHTING
  - PROPOSED OUTDOOR SEATING EA. BENCH SEATS FOUR (4)
  - VEHICLE INGRESS/EGRESS



VICINITY MAP

**SITE DATA:**

- PROPOSED USAGE: C-2 USE
- LOT AREA: 374,664 SF (8.6 ACRES)
- LANDSCAPE REQUIRED: 6.5%
- OCCUPANT LOAD:
- MCDONALDS - 5,322 SF/15 = 354 PERSONS
- CHICK-FIL-A - 4,360 SF/15 = 291 PERSONS
- FUTURE PHASE (PROPOSED RETAIL):
- PAD C - 6,000 SF/30 = 200 PERSONS
- PAD D - 6,000 SF/30 = 200 PERSONS
- PAD E - 20,000 SF/30 = 667 PERSONS
- PAD F - 5,200 SF/30 = 173 PERSONS

**PARKING DATA:**

SITE DATA	BUILDING AREA	PARKING REQD.	PARKING PROVIDED
PAD A	4,994 S.F.	25	46
PAD B	4,360 S.F.	22	47
PAD C	6,000 S.F.	30	44
PAD D	6,000 S.F.	30	44
PAD E	20,000 S.F.	80	90
PAD F	5,200 S.F.	26	51

**PARKING DATA CONT:**

- MCDONALDS - H.C. PRKNG. REQD. 1 SPACE - PROVIDED 2 SPACES
- MOTORCYCLE PRKNG. REQD. 1 SPACE - PROVIDED 1 SPACE
- BICYCLE SPACES REQD. 2 SPACES - PROVIDED 5 SPACES
- CHICK-FIL-A - H.C. PRKNG. REQD. 1 SPACE - PROVIDED 2 SPACES
- MOTORCYCLE PRKNG. REQD. 1 SPACE - PROVIDED 1 SPACE
- BICYCLE SPACES REQD. 2 SPACES - PROVIDED 5 SPACES
- FUTURE PHASE (PROPOSED RETAIL):
- PAD C - H.C. PRKNG. REQD. 2 SPACES - PROVIDED 2 SPACES
- MOTORCYCLE PRKNG. REQD. 1 SPACE - PROVIDED 1 SPACE
- BICYCLE SPACES REQD. 2 SPACES - PROVIDED 5 SPACES
- SITTING SPACES 4 SEATS - PROVIDED 1 BENCH (SEATS 4)
- PAD D - H.C. PRKNG. REQD. 2 SPACES - PROVIDED 2 SPACES
- MOTORCYCLE PRKNG. REQD. 1 SPACE - PROVIDED 1 SPACE
- BICYCLE SPACES REQD. 2 SPACES - PROVIDED 5 SPACES
- SITTING SPACES 4 SEATS - PROVIDED 1 BENCH (SEATS 4)
- PAD E - H.C. PRKNG. REQD. 4 SPACES - PROVIDED 4 SPACES
- MOTORCYCLE PRKNG. REQD. 3 SPACES - PROVIDED 3 SPACES
- BICYCLE SPACES REQD. 4 SPACES - PROVIDED 5 SPACES
- SITTING SPACES 12 SEATS - PROVIDED 3 BENCHES (1 SEATS 4)
- PAD F - H.C. PRKNG. REQD. 2 SPACES - PROVIDED 2 SPACES
- MOTORCYCLE PRKNG. REQD. 3 SPACES - PROVIDED 3 SPACES
- BICYCLE SPACES REQD. 2 SPACES - PROVIDED 5 SPACES
- SITTING SPACES 4 SEATS - PROVIDED 1 BENCH (SEATS 4)

○ DENOTES A SITE DETAIL, REFER TO SHEET AS3

PROJECT NUMBER: 1006868

APPLICATION NUMBER: 01DRB-70390

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

Traffic Engineering, Transportation Division  
 Date: 11-28-07

ABCDWA  
 Date: 11-28-07

City Engineer  
 Date: 11/28/07

Environmental Health Department  
 Date: 11/27/07

DRB Chairperson, Planning Department  
 Date: 3/24/08

\* Environmental Health, if necessary

REVISION

DATE BY

REV. DATE BY

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC  
 2325 SAN PEDRO N.E. SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 884-9110 FAX (505) 837-9877

PRELIMINARY  
 NOT FOR  
 CONSTRUCTION

PROJECT TITLE: DEL NORTE PLAZA  
 SAN PEDRO & PASEO DEL NORTE  
 ALBUQUERQUE, NEW MEXICO

PROJECT MANAGER: MICHAEL HARTON

DRAWN BY: WRS

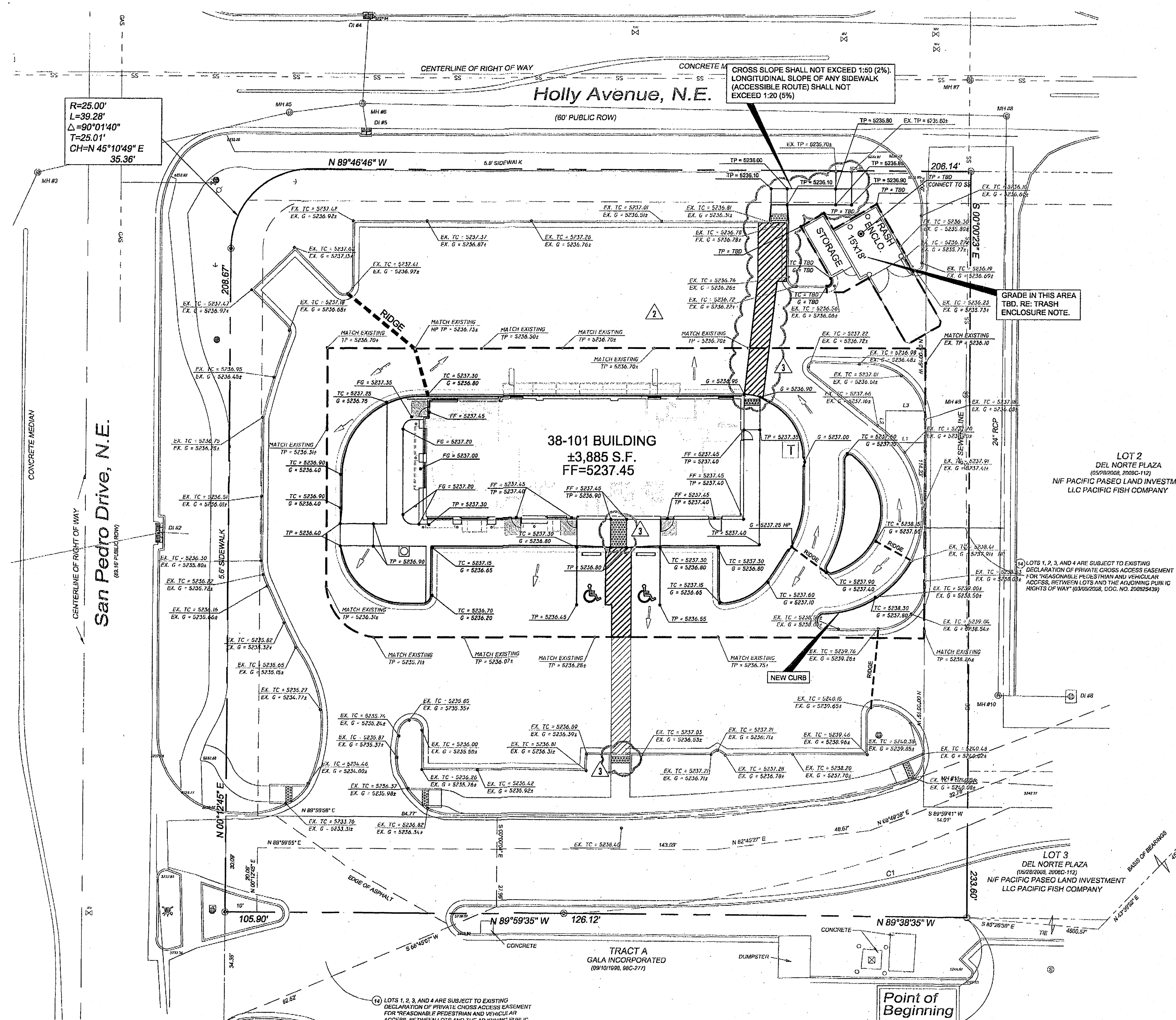
JOB NO. 0536A

SHEET TITLE: SITE PLAN FOR BLDG. PERMIT

DATE: 11.26.2007 sheet-

SCALE: 1"=40'-0" AS1

DRB SUBMITTAL



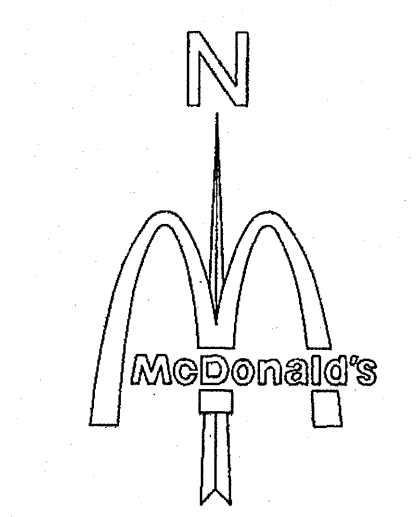
R=25.00'  
L=39.28'  
Δ=90°01'40"  
T=28.01'  
CH=N 45°10'49" E  
35.36'

San Pedro Drive, N.E.  
(66' Public Right of Way)

Holly Avenue, N.E.  
(60' PUBLIC ROW)

CROSS SLOPE SHALL NOT EXCEED 1:80 (2%)  
LONGITUDINAL SLOPE OF ANY SIDEWALK  
(ACCESSIBLE ROUTE) SHALL NOT  
EXCEED 1:20 (5%)

38-101 BUILDING  
±3,885 S.F.  
FF=5237.45



SCALE: 1" = 20'

**OWNER INFORMATION**  
**McDONALD'S**  
511 E. CARPENTER FRWY, STE. 375  
IRVING, TEXAS 75062  
(972) 999-5314  
CONTACT: JIMMY LOPEZ

**SITE LEGEND**  
TC= PROPOSED TOP OF CURB ELEVATION  
G= PROPOSED FLOWLINE ELEVATION AT GUTTER  
FP= PROPOSED TOP OF PAVEMENT ELEVATION  
FF= PROPOSED FINISHED FLOOR ELEVATION  
TW= PROPOSED TOP OF WALL ELEVATION  
EX. TC= EXISTING TOP OF CURB ELEVATION  
EX. G= EXISTING GUTTER ELEVATION  
EX. FP= EXISTING HIGH POINT ELEVATION  
TC TBD= TO BE DETERMINED  
G TBD= TO BE DETERMINED  
--- 5235 --- EXISTING CONTOUR  
--- 5235 --- PROPOSED CONTOUR  
→ PROPOSED DRAINAGE DIRECTION

**\*\*TRASH ENCLOSURE NOTE\*\***  
CONTRACTOR IS TO COORDINATE WITH ADAMS ENGINEERING FOR FINAL GRADES PRIOR TO CONSTRUCTION. GRADES IN THIS AREA WERE BEING REVISED AT THE TIME THESE PLANS WERE ISSUED.

Point of Beginning

**\*\*RETAINING WALL NOTE\*\***  
Retaining walls and screening walls shown hereon are approximate locations and are shown for graphical representation purposes only. The actual design, location, selection of materials, structural engineering, geotechnical engineering, construction observation, staking, testing and structural or geotechnical review shall be performed by others as selected by the owner and/or developer. ADAMS Engineering shall in no way have any responsibility as it relates to the retaining walls or screening walls associated with this project.

**\*\*NOTICE TO CONTRACTOR\*\***

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- LOCATION OF I.D. SIGN IS APPROXIMATE. IT IS THE RESPONSIBILITY OF THE SIGN CONTRACTOR TO VERIFY COMPLIANCE WITH SETBACK, SIZE, HEIGHT AND RELATED ZONING REQUIREMENTS PRIOR TO SETTINGS.
- THE LOCATION OF THE MENU BOARD AND PRE SELL BOARDS ARE NOT EXACT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE DIMENSIONS AND ORIENTATION WITH THE McDONALD'S ENGINEER.
- THE CONTRACTOR SHALL MAINTAIN DUST CONTROL ON SITE AT ALL TIMES BY WATERING SITE AS OFTEN AS NEEDED.
- CONTRACTOR SHALL FIELD VERIFY ELEVATIONS OF ADJACENT PROPERTIES TO McDONALD'S SITE. IF EXISTING GRADES DO NOT MATCH THOSE SHOWN ON THIS PLAN, CONTRACTOR SHALL NOTIFY McDONALD'S PROJECT MANAGER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY TRAFFIC CONTROL NECESSARY FOR DRIVE DEMOLITION/CONSTRUCTION.

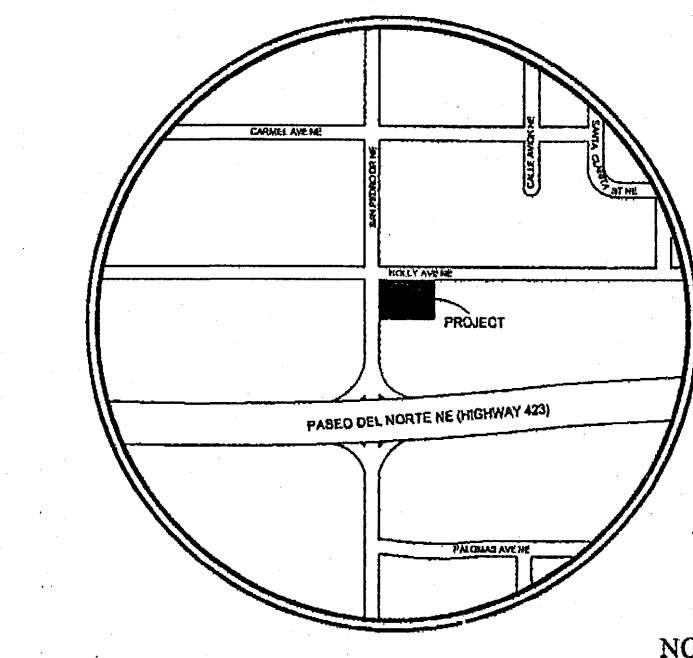
**\*\*\* CONSTRUCTION NOTES \*\*\***

- THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH ARCHITECTURAL BUILDING PLANS AND SPECIFICATIONS.
- ADJUST PAVEMENT AND/OR CURB ELEVATIONS AS NECESSARY TO ASSURE AS SMOOTH FIT AND CONTINUOUS GRADE WITH EXISTING.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES AND NOTIFYING THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING STORM SEWER STRUCTURES, PIPES, AND ALL UTILITIES PRIOR TO CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURBS, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
- PROPOSED SPOT GRADES SHOWN ARE TO TOP OF PAVEMENT UNLESS OTHERWISE NOTED.
- EXISTING AND PROPOSED GRADE CONTOUR INTERVALS SHOWN AT ONE FOOT (1')
- ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE FOUR (4) INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3:1 V OR STEEPER. CONTRACTOR SHALL GRASS DISTURBED AREAS IN ACCORDANCE WITH STANDARD SPECIFICATIONS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- FOR LOCATION OF ALL UTILITY ENTRANCES, SEE ARCHITECTURAL PLANS AND SPECIFICATIONS.
- CONTRACTOR SHALL COORDINATE WITH ARCHITECTURAL PLANS, POWER COMPANY, TELEPHONE COMPANY & GAS COMPANY FOR ACTUAL ROUTING OF POWER AND SERVICES TO BUILDING.
- CONSTRUCTION SHALL COMPLY WITH ALL GOVERNING CODES AND BE CONSTRUCTED TO SAME.
- AFTER PERMITS HAVE BEEN OBTAINED & EROSION CONTROL MEASURES INSTALLED, THE CONTRACTOR SHALL GRADE BUILDING PAD TO 0 TO 1/2" OF SUBGRADE.



ALL HANDICAP ACCESSIBLE RAMPS MUST BE DESIGNED AND BUILT PER ADA STANDARDS.

THESE PLANS ARE SUBJECT TO REVIEW & APPROVAL BY JURISDICTIONAL ENTITIES.



GENERAL NOTES

- McDonald's road sign and base are to be installed by contractor. Conduit and wiring are by the General Contractor.
- Bases, anchor bolts, conduit, and wiring for all other signs are by the General Contractor.
- 3/4" Empty conduit to locations shown at the lot perimeter for lighting is by the General Contractor. Lighting fixtures, bases, poles, conduit, and wiring are by the General Contractor.
- Bases for flagpoles are by the General Contractor. Anchor bolts are by the flagpole supplier.
- Proposed utilities are shown in schematic only. Exact locations shall be determined to allow for the most economical installation.
- The Contractor shall coordinate with all utility companies to determine exact point of service connection at existing utility. Refer to the building electrical and plumbing drawings for utility service entrance locations, sizes, and circling.
- General Contractor must provide exact "as built" information upon completion.
- All elevations shown are in reference to the benchmark and must be verified by the General Contractor at groundbreak.
- Finish walk and curb elevations shall be 6" above finish pavement.
- All landscape areas shall be rough graded to 6" below top of all walks and curbs. Finished grading, landscaping and sprinkler systems are by the Owner / Operator.
- Lot lighting concrete footings to conform with the soils report recommendations for this particular site.
- Prior to construction, the Contractor shall request, in writing, a copy of the review report prepared by the State Department of Licensing & Regulation from the Owner or Architect. This review report may contain comments or requirements that will alter site layout/design regarding issues related to handicapped accessibility.
- It is strongly recommended that no contractual agreements of any kind be signed prior to receiving and thoroughly reviewing all approvals from all of the regulatory authorities having jurisdiction over this project.
- Due to the nature of the work, all dimensions shown shall be considered approximate. Contractor shall field verify all dimensions prior to beginning construction. Shop drawings shall be submitted to the Architect for approval prior to fabrication or installation of any item. Failure to adhere to this procedure shall place full responsibility for any errors directly upon the Contractor.
- All materials and construction within easements and R.O.W. shall conform to all governing authorities' jurisdictional standard construction details and specifications.

**PAVING SPECIFICATION**  
VERIFY W/MCDONALD'S: ASPHALT:  CONCRETE:   
CONTRACTOR TO BID: ASPHALT:  CONCRETE:

**SITE INFORMATION**  
LAND AREA: 53,933 S.F. (1.2381Ac.)  
CURRENT ZONING: S-U2-IP  
EXISTING USE: VACANT  
PROPOSED USE: RESTAURANT  
BUILDING AREA (APPROXIMATE): RETAIL: 3,885 S.F.  
BUILDING TO LOT COVERAGE: 3,885 SF/53,933 = 7.2%  
BUILDING HEIGHT: 21'-6"  
BUILDING REQUIRED PARKING: 1 SPACE PER 4 SEATS  
PARKING PROVIDED: 119 SEATS / 4 SEATS = 30 SPACES  
HANDICAP PARKING PROVIDED: 2 SPACES  
MOTORCYCLE PARKING PROVIDED: 2

**BENCHMARK**  
1. A.G.R.S. MONUMENT "HEAVEN" STANDARD U.S.C. & G.S. BRASS TABLET (FOUND IN PLACE) NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE - N.A.D. 1983) N=1,516,799.515 E=1,547,297.145 PUBLISHED EL=5278.258 (NAVD 1988) GROUND TO GRID FACTOR=0.99965810 DELTA ALPHA ANGLE = 0°10'45.22"  
2. A.G.R.S. MONUMENT "7\_C19" STANDARD U.S.C. & G.S. BRASS TABLET (FOUND IN PLACE) NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE - N.A.D. 1983) N=1,522,268.520 E=1,550,417.138 PUBLISHED EL=5466.738 (NAVD 1988) GROUND TO GRID FACTOR=0.99965045 DELTA ALPHA ANGLE = 0°10'24.78"

**SURVEY INFORMATION**  
PREPARED BY: PRECISION SURVEYS, INC.  
5500-A SPRINGFIELD AVE. ALBUQUERQUE, NM 87113  
(505) 856-5700  
DATE: DECEMBER 10, 2008

**DEL NORTE PLAZA**  
STREET ADDRESS  
SEC HOLLY AVE & SAN PEDRO DR  
CITY STATE  
ALBUQUERQUE NEW MEXICO  
COUNTY: BERNALILLO SURVEY: ABSTRACT NO.  
L/C NUMBER: 030-0221 CORPORATE DWG. NAME: GRADING PLAN

REV	DATE	DESCRIPTION	BY	ISSUE REF
1	2/12/09	FIRST SUBMITTAL	RL	FS
2	04/09/09	REVISIONS PER CITY AND AA REVIEW	RL	RL
3	06/02/09	PER CITY COMMENTS	RL	RL

	<p><b>McDONALD'S</b></p> <p>SEC HOLLY AVE &amp; SAN PEDRO DR ALBUQUERQUE, NEW MEXICO</p>
--	--

PLAN APPROVALS	DATE	SIGNATURE (2 REQUIRED)	CO-SIGN SIGNATURES
REGIONAL MGR.			CONTRACTOR
CONST. MGR.			OWNER
OPERATIONS DEPT.			
REAL ESTATE DEPT.			

STATUS	DATE	BY
DATE DRAWN	02/12/09	RL
PLAN CHECKED	6-2-09	Jm
AS-BUILT		

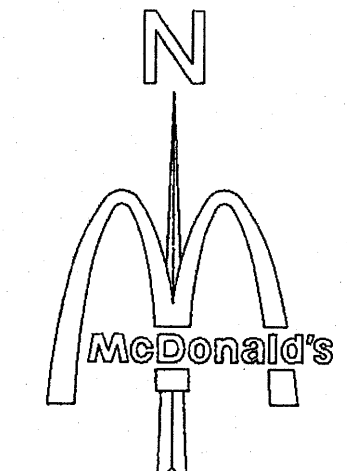
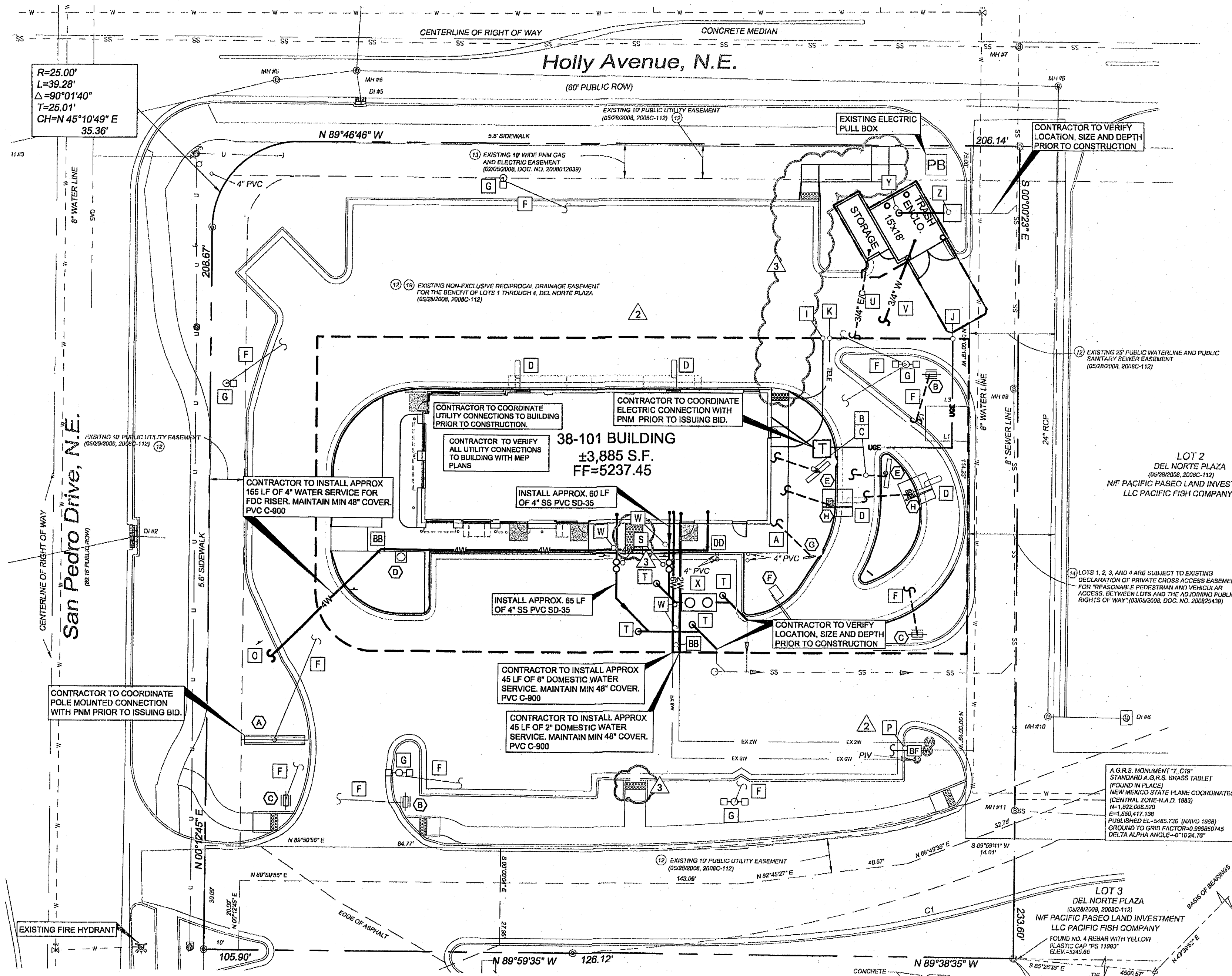


**McDONALD'S**

SEC HOLLY AVE & SAN PEDRO DR  
ALBUQUERQUE, NEW MEXICO

McDONALD'S L/C: 030-0221  
ADAMS ENGINEERING No. 2007-001

**C5.0**



SCALE: 1" = 20'

**OWNER INFORMATION**  
**McDONALD'S**  
 611 E. CARPENTER FRWY, STE. 375  
 IRVING, TEXAS 75062  
 (972) 898-6314  
 CONTACT: JIMMY LOPEZ

**UTILITY CONTACTS**

PHONE: QWEST  
 CONTACT: BEVERLY YOUNG  
 PHONE: 505-245-5954

GAS: PNM  
 CONTACT: KELLY GRAGG  
 PHONE: 505-241-3490

ELECTRIC PNM  
 CONTACT: KELLY GRAGG  
 PHONE: 505-241-3490



**\*\*\* UTILITY GENERAL NOTES \*\*\***

- ALL UTILITY AND ELECTRICAL/CONDUIT RUNS ARE SCHEMATIC ONLY. LOT LIGHTS ARE TO BE WIRED TO 2 (TWO) OR MORE CIRCUITS IN AN ALTERNATING SEQUENCE.
- THE CONTRACTOR SHALL VERIFY LOCATION AND FLOWLINE OF EXISTING SANITARY SEWER MAIN TO BE USED, AND SHALL INSTALL SANITARY SEWER LINE AT MINIMUM SLOPES PER GOVERNING AUTHORITY'S DESIGN SPECIFICATIONS.
- PRIVATE UTILITY CONNECTIONS SHOWN AS SCHEMATIC ONLY. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY PRIOR TO BID.

UTILITY NOTE SCHEDULE		UTILITY NOTE SCHEDULE		UTILITY NOTE SCHEDULE		UTILITY NOTE SCHEDULE	
MARK	MARK DESCRIPTION	MARK	MARK DESCRIPTION	MARK	MARK DESCRIPTION	MARK	MARK DESCRIPTION
A	SERVICE TO PRESSELL BOARD	K	CONTRACTOR IS TO LOCATE & UTILIZE UNDERGROUND TELEPHONE LINE (BY OTHERS)	R	NOT USED	AA	INSTALL 2" 45° BEND
B	2" CONDUIT TO MENU BOARD FOR CONTROLS	L	CONTRACTOR IS TO LOCATE & UTILIZE 2" WATER LINE (BY OTHERS)	S	TWO-WAY SAN. SEWER CLEANOUT W/ CAST IRON COVER	BB	INSTALL 4" 45° BEND
C	1/2" CONDUIT FROM BLDG. ELECT. PANEL TO MENU BRD.	M	CONTRACTOR IS TO LOCATE & UTILIZE 6" WATER LINE (BY OTHERS)	T	SANITARY SEWER CLEANOUT W/ CAST IRON COVER	CC	INSTALL 6" 45° BEND
D	3/4" CONDUIT W/LOW VOLTAGE WIRE FROM PRE-WARNING VEHICLE LOOP DETECTION.	MM	INSTALL 1 - 4"x6" REDUCER AND 4" WYE CONNECTION.	U	3/4" CONDUIT TO STORAGE	DD	INSTALL 4" 90° BEND
E	NOT USED	N	INSTALL 1 - 6"x6" TEE	V	3/4" WATER SERVICE TO TRASH ENCLOSURE	EE	NOT USED
F	CONTRACTOR IS TO LOCATE & UTILIZE EXISTING CONDUIT (BY OTHERS)	O	INSTALL 1 - 6"x6" TEE	W	CONTRACTOR TO MAINTAIN 2' VERTICAL CLEARANCE BETWEEN WATER AND SANITARY SEWER LINE CROSSINGS		
G	CONTRACTOR TO FURNISH & INSTALL LIGHT POLES AND LIGHT POLE BASES	P	REMOVE FIRE DEPARTMENT RISER CONNECTION PER PER ALBUQUERQUE SPECIFICATIONS.	X	INSTALL PARK GT-1,500 GREASE TRAP OR APPROVED EQUIVALENT PER CITY OF ALBUQUERQUE SPECIFICATIONS		
H	NOT USED	Q	1.25" RPZ DEVICE, MIN. 12" ABOVE GRADE PER CITY STANDARDS	Y	TRASH ENCLOSURE AREA DRAIN. CONTRACTOR TO ADJUST TOP OF DRAIN TO PAVEMENT FINISH GRADE. (BY P.V.C.)		
I	CONTRACTOR IS TO LOCATE & UTILIZE GAS LINE (BY OTHERS)			Z	INSTALL COLORADO PRECAST INC. 330 GALLON GREASE TRAP OR APPROVED EQUIVALENT.		
J	CONTRACTOR IS TO LOCATE & UTILIZE UNDERGROUND ELECTRIC LINE (BY OTHERS)						

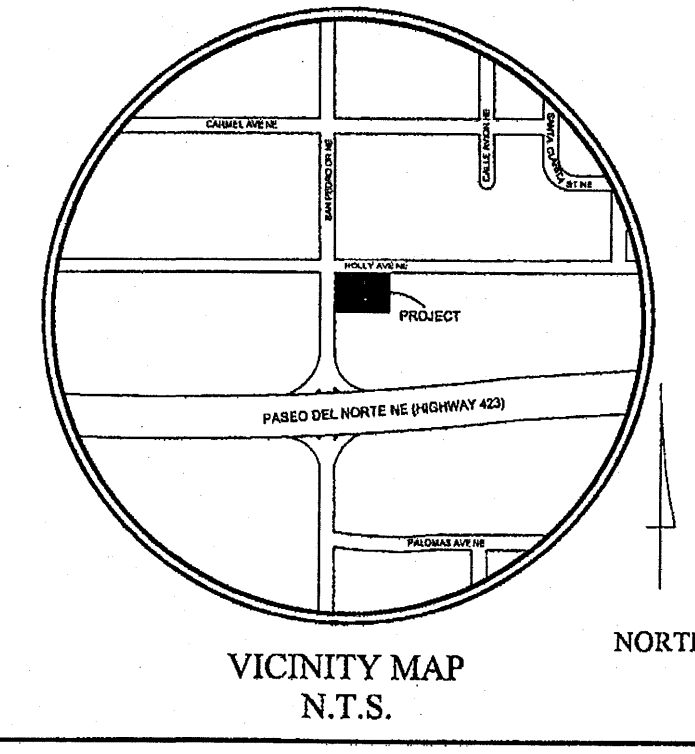
**\*\*NOTICE TO CONTRACTORS - UTILITIES\*\***

The Contractor is specifically cautioned that the location and/or elevation of any existing utilities as shown on these plans are based on records of the various utility companies, the governing municipality, and where possible, measurements taken in the field. The information provided is not to be relied on as being exact or complete. The Contractor must call the appropriate utility company at least 48 hours before any excavation to request exact field location of utilities. It shall be the responsibility of the Contractor to relocate all existing utilities which conflict with the proposed improvements shown on these plans.

**SIGN SCHEDULE**  
 CONTRACTOR TO FURNISH & INSTALL ALL SIGNS & SIGN FOUNDATIONS

NO.	MARK	DESCRIPTION
1	(A)	PROPOSED POLE SIGN
2	(B)	90-5 DIR. SIGN "WELCOME/ENTER"
2	(C)	90-5 DIR. SIGN "THANK YOU/EXIT"
1	(D)	FLAG POLE 50" HIGH MAX.
2	(E)	FP-43 MENU BOARD ELEVATIONS
1	(F)	TWO-WAY GATEWAY
1	(G)	90-10 TRI-VIEW PRE-SELL BOARD
2	(H)	EVERBRITE-CUSTOMER ORDER DISPLAY

THESE PLANS ARE SUBJECT TO REVIEW & APPROVAL BY JURISDICTIONAL ENTITIES.



- GENERAL NOTES**
- McDonald's road sign and base are to be installed by contractor. Conduit and wiring are by the General Contractor.
  - Bases, anchor bolts, conduit, and wiring for all other signs are by the General Contractor.
  - 3/4" Empty conduit to locations shown at lot perimeter for all lighting is by the General Contractor. Lighting fixtures, bases, poles, conduit, and wiring are by the General Contractor.
  - Bases for flagpoles are by the General Contractor. Anchor bolts are by the flagpole supplier.
  - Proposed utilities are shown in schematic only. Exact locations shall be determined to allow for the most economical installation.
  - The Contractor shall coordinate with all utility companies to determine exact point of service connection at existing utility. Refer to the building electrical and plumbing drawings for utility service entrance locations, sizes, and circuiting.
  - General Contractor must provide "as built" information upon completion.
  - All elevations shown are in reference to the benchmark and must be verified by the General Contractor at groundbreak.
  - Finish walk and curb elevations shall be 6" above finish pavement.
  - All landscape areas shall be rough graded to 6" below top of all walks and curbs. Finished grading, landscaping and sprinkler systems are by the Owner/Operator.
  - Lot lighting concrete footings to conform with the soils report recommendations for this particular site.
  - Prior to construction, the Contractor shall request, in writing, a copy of the review report prepared by the State Department of Licensing & Regulation from the Owner or Architect. This review report may contain comments or requirements that will alter site layout/design regarding issues related to handicap accessibility.
  - It is strongly recommended that no contractual agreements of any kind be signed prior to receiving and thoroughly reviewing all approvals from all of the regulatory authorities having jurisdiction over this project.
  - Due to the nature of the work, all dimensions shown shall be considered approximate. Contractor shall field verify all dimensions prior to beginning construction. Shop drawings shall be submitted to the Architect for approval prior to fabrication or installation of any item. Failure to adhere to this procedure shall place full responsibility for any errors directly upon the Contractor.
  - All materials and construction methods shall conform to all applicable codes and all governing authorities' jurisdictional standard construction details and specifications.

**PAVING SPECIFICATION**

VERIFY W/MCDONALD'S: ASPHALT:  CONCRETE:   
 CONTRACTOR TO BID: ASPHALT:  CONCRETE:

NOTE: ALL PAVING & SUBGRADE SPECIFICATIONS TO COMPLY WITH GEOTECHNICAL REPORT AS PREPARED BY:  
 APEX GOESCIENCE INC.  
 SEPTEMBER 2007  
 PROJECT NO. 107-213

**SITE INFORMATION**

LAND AREA: 53,833 S.F. (1.2381Ac)  
 CURRENT ZONING: SL2-1P  
 EXISTING USE: VACANT  
 PROPOSED USE: RESTAURANT  
 BUILDING AREA (APPROXIMATE): RETAIL: 3,885 S.F.  
 BUILDING TO LOT COVERAGE: 3,885 SF/63,939 = 7.2%  
 BUILDING HEIGHT: 21'-8"  
 BUILDING REQUIRED PARKING: 1 SPACE PER 4 SEATS  
 118 SEATS 4 SEATS = 30 SPACES  
 PARKING PROVIDED: 37 SPACES  
 HANDICAP PARKING PROVIDED: 2  
 MOTORCYCLE PARKING PROVIDED: 2

**BENCHMARK**

- A.G.R.S. MONUMENT "HEAVEN" STANDARD U.S.C. & G.S. BRASS TABLET (FOUND IN PLACE) NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE - N.A.D. 1983)  
 N=1,518,708.615 E=1,547,297.148 PUBLISHED EL.=578.235 (NAVD 1988) GROUND TO GRID FACTOR=0.999655810 DELTA ALPHA ANGLE = 0°10'48.22"
- A.G.R.S. MONUMENT "7" C19" STANDARD U.S.C. & G.S. BRASS TABLET (FOUND IN PLACE) NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE - N.A.D. 1983)  
 N=1,522,069.520 E=1,550,417.138 PUBLISHED EL.=546.738 (NAVD 1988) GROUND TO GRID FACTOR=0.999650745 DELTA ALPHA ANGLE = 0°10'24.78"

**SURVEY INFORMATION**

PREPARED BY: PRECISION SURVEYS, INC. LEGAL DESCRIPTION: LOT 1 OF THE PLAT OF LOTS 1, 2, 3 AND 4 DEL NORTE PLAZA

**DEL NORTE PLAZA**  
 STREET ADDRESS  
 SEC HOLLY AVE & SAN PEDRO DR  
 CITY: ALBUQUERQUE STATE: NEW MEXICO

COUNTY: BERNALILLO SURVEY: ABSTRACT NO. 030-0221 CORPORATE DWG. NAME: UTILITY PLAN

**Adams ENGINEERING**  
 915 E. 24th Avenue • Suite 100 • Albuquerque, NM 87106 • (505) 262-1111

**McDONALD'S**  
 SEC HOLLY AVE & SAN PEDRO DR  
 ALBUQUERQUE, NEW MEXICO

**McDONALD'S**  
 1788A  
 PROFESSIONAL ENGINEER  
 6-2-09

REV.	DATE	DESCRIPTION	BY	ISSUE REF.
1	05/19/09	REVISIONS PER CITY AND AA REVIEW	RL	FS
2	06/02/09	PER CITY COMMENTS	RL	---

PLAN APPROVALS

SIGNATURE (IF REQUIRED)	DATE

CO-SIGN SIGNATURES

REGIONAL MGR.	CONST. MGR.	OPERATIONS DEPT.	REAL ESTATE DEPT.	CONTRACTOR	OWNER

STATUS: AS-BUILT

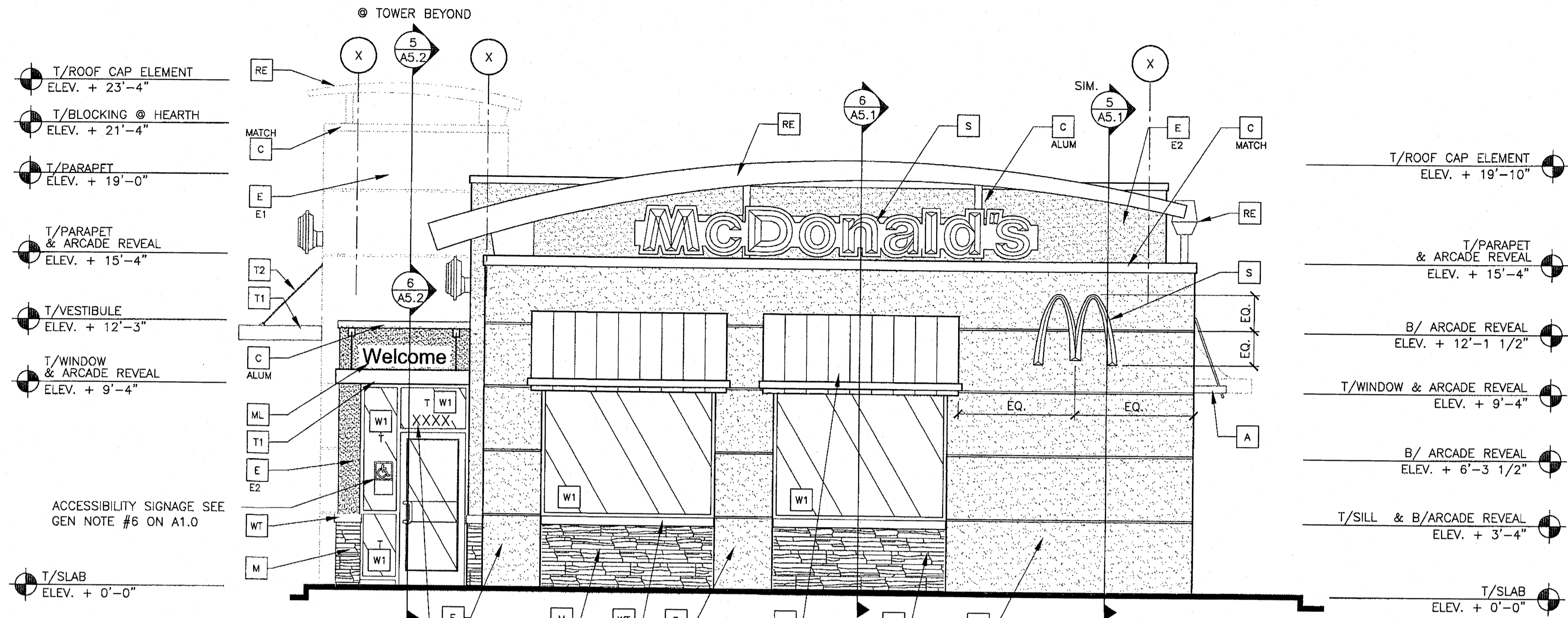
DATE DRAWN: 02/12/09

PLAN CHECKED: 6-2-09

DATE: 02/12/09

BY: RL

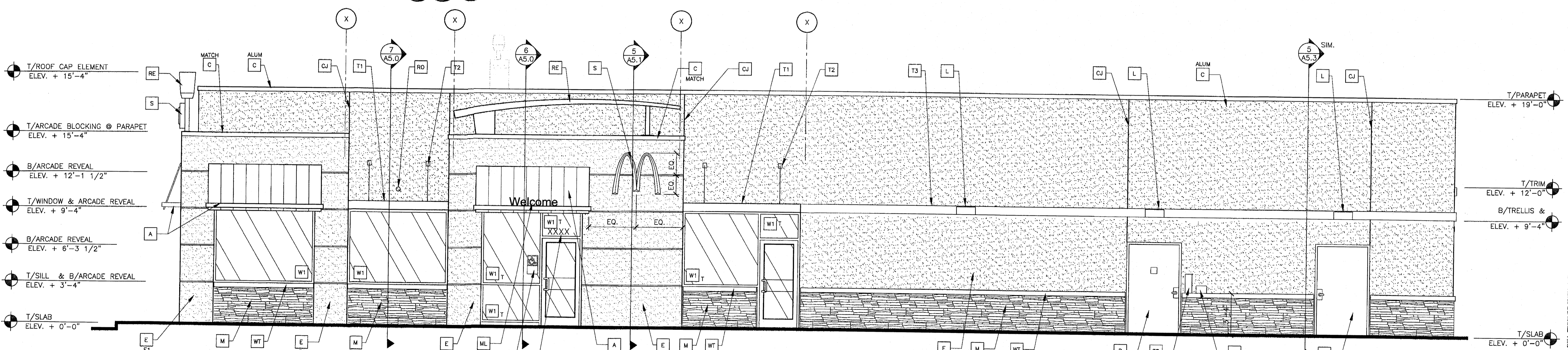
**C7.0**



1 FRONT ELEVATION  
1/4" = 1'-0"

NOTE:  
COLOR DESIGNATIONS INDICATED FOR FINISH (E) MUST BE VERIFIED W/ ACM PRIOR TO CONSTRUCTION. FAILURE TO COMPLY WITH THIS REQUIREMENT WILL PLACE FULL RESPONSIBILITY FOR SUBSEQUENT CHANGES DIRECTLY UPON THE G.C.

NOTE:  
VERIFY W/ ACM BLEND & SELECTION FOR WAINSCOT & WATER TABLE PRIOR TO CONSTRUCTION. FAILURE TO COMPLY WITH THIS REQUIREMENT WILL PLACE FULL RESPONSIBILITY FOR SUBSEQUENT CHANGES DIRECTLY UPON THE G.C.



2 NON-DRIVE-THRU ELEVATION  
1/4" = 1'-0"

KEY NOTES:

- |   |   |  |   |
|---|---|--|---|
| <b>A</b> METAL AWNING - UNDER SEPARATE PERMIT. COLOR TO BE ALTERNATING STRIPES TO MATCH PANTONE 123C AND 109C | <b>D</b> HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL   | <b>FB</b> CO2 FILL BOX (EQPM SCHEDULE ITEM 49.00)  | <b>PB</b> PIPE BOLLARD - PAINTED YELLOW   |
| <b>C</b> METAL COPING - COLOR = ALUMINUM  | <b>E</b> EXT. FINISH SYSTEM COLOR =   | <b>CO2</b> OPTIONAL BULK OIL FILL BOX (EQPM SCHEDULE ITEM 700.18) - CONFIRM USE WITH MCD PROJECT MANAGER | <b>PT</b> PASS-THRU COIN COLLECTOR - OPTIONAL (RMHC)  |
| <b>ALUM</b> METAL COPING - COLOR TO MATCH SURROUNDING MATERIAL  | COLOR E1 = EL REY 821 LARIAT, OFF WHITE/LT.TAN<br>COLOR E2 = EL REY 803 SAGE, LT. TAN/YELLOW<br>COLOR E3 = EL REY 1568 POTTERY, TAN | <b>BO</b> LIGHT FIXTURE (WALL SCONCE) - SEE ELECTRICAL   | <b>RE</b> ROOF CAP ELEMENT BY OTHERS  |
| <b>MATCH</b>  | <b>M</b> MFG. STONE AS MFG BY CORONADO STONE PRODUCTS. CORONADO HONEY LEDGE DAKOTA BROWN OR APPROVED EQUAL.                         | <b>L</b> METAL LETTERING - BY OTHERS   | <b>RO</b> ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL  |
| <b>CJ</b> CONTROL JOINT, SEE DETAIL 7/A4.1  |   | <b>ML</b>  | <b>S</b> McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT. SEE SIGNAGE SUPPORT NOTE ON THIS SHEET.  |
|   |   |  | <b>T1</b> ALUMINUM TRELLIS BY SECURITY LIGHTING   |
|   |   |  | <b>T2</b> TRELLIS TIE-BACK BY SECURITY LIGHTING   |
|   |   |  | <b>T3</b> 2" x 8" WALL FASCIA - REFER TO SIM. DETAIL 3 ON SHEET A5.1  |
|   |   |  | <b>WT</b> MFG STONE WATER TABLE   |
|   |   |  | <b>W1</b> EXTERIOR WINDOW ASSEMBLY - SEE ASSEMBLY NOTES ON SHEET A5.0 T = TEMPERED GLASS  |
|   |   |  | <b>W2</b> DRIVE-THRU WINDOW BY READY ACCESS - CONFIRM MODEL, OPTIONS, AND SIZE WITH MCD PROJECT MANAGER. OPTIONS INCLUDE: TRANSOM (SHOWN); AIR CURTAIN; FLYFAN/TRANSOM & 432 SQ IN MAX SERVICE OPENING (WHERE REQD BY CODE) |
|   |   |  | <b>XX</b> SLIDE DIRECTION: RL = RIGHT TO LEFT LR = LEFT TO RIGHT  |

STRUCTURAL NOTE:  
UNIBODY FASCIA SIGN WALL SUPPORTS TO BE VERIFIED WITH McDONALD'S AREA CONSTRUCTION MANAGER AND COORDINATED WITH SIGN MANUFACTURER.

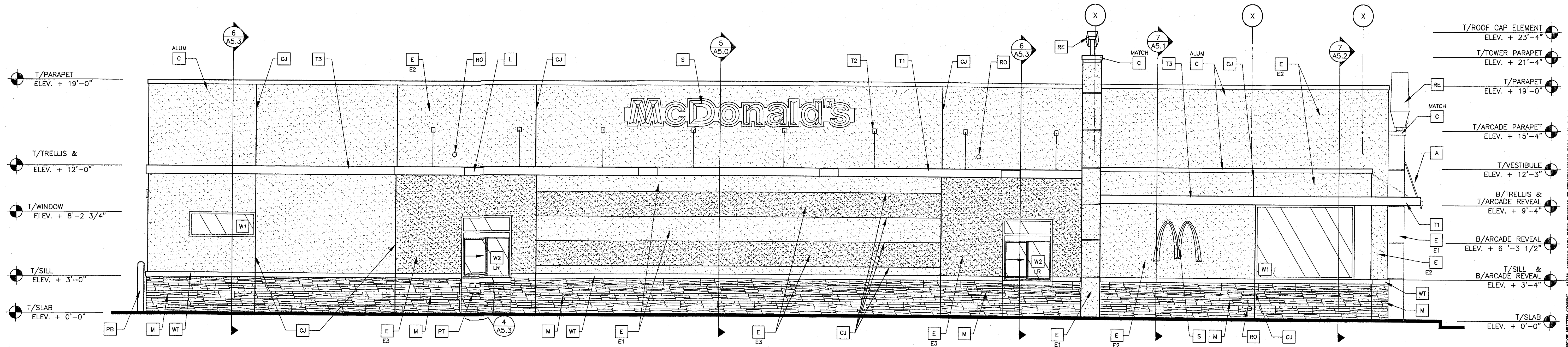
ALL RIGHTS RESERVED. THESE DRAWINGS, DESIGNS, DETAILS, AND AMENDMENTS REPRESENTED HEREBY ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT AND OWNER. NO PART THEREOF SHALL BE REPRODUCED, COPIED, ADAPTED, DISCLOSED, OR DISTRIBUTED TO OTHERS, SOLE, UNLESS, AS OTHERWISE USED WITHOUT WRITTEN CONSENT. VISUAL CONTACT WITH THESE DRAWINGS OR REPRODUCTIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF THESE RESTRICTIONS. EXP. 12/31/2009

© 2008 McDonald's USA, LLC  
 PREPARED FOR: McDonald's USA, LLC  
 DRAWN BY: [Redacted]  
 STD. ISSUE DATE: NOV. 2008  
 REVIEWED BY: DEL  
 DATE ISSUED: JAN. 2008  
 DEL 200849  
 ALBUQUERQUE, NM

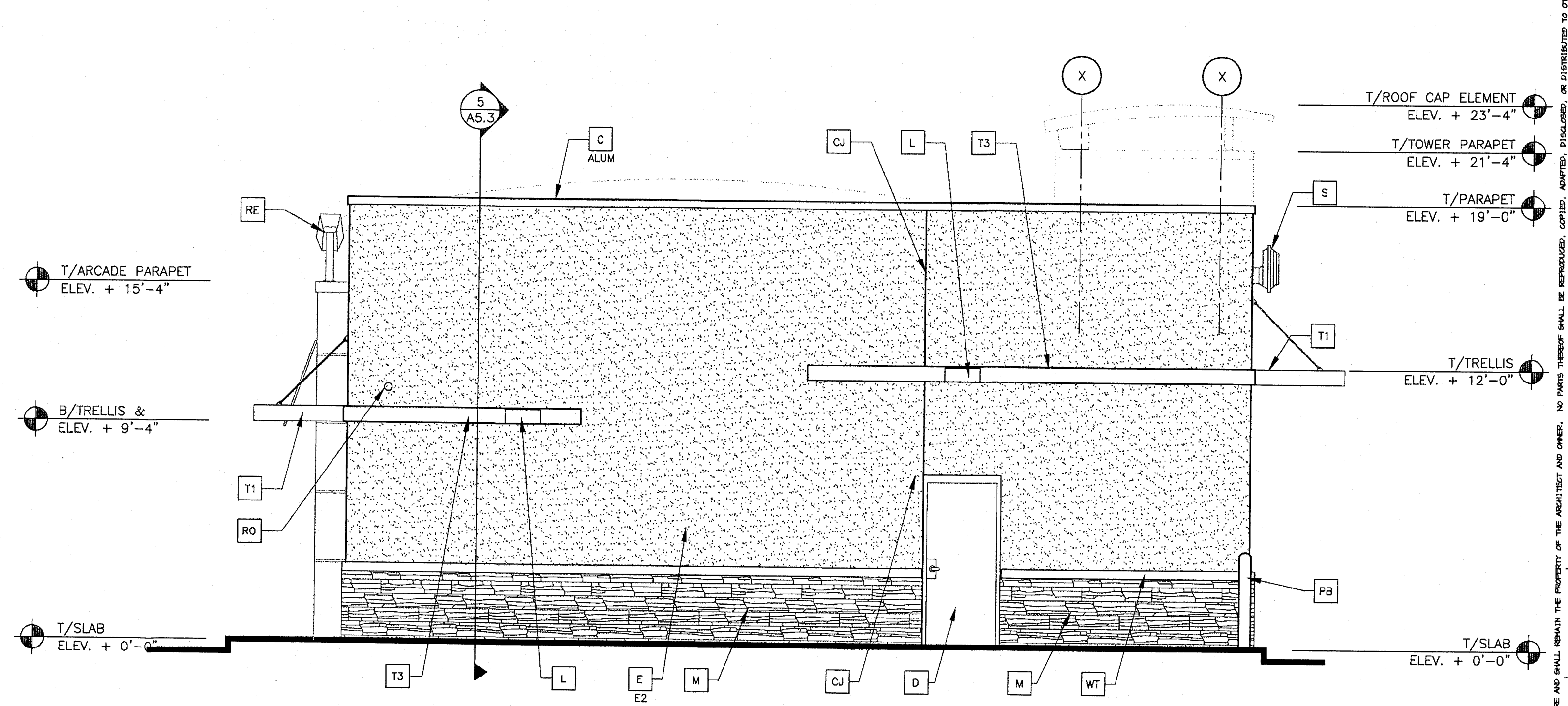
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 38-101 WOOD/WOOD BUILDING  
 DESCRIPTION: WOOD BEARING WALLS W/ EL.F.S.  
 WOOD ROOF TRUSS FRAMING  
 EL.F.S. EXTERIOR FINISH ARCADE/ENTRY  
 SITE ID: SEC OF HOLLEY AVE. & SAN PEDRO DRIVE  
 00-0000.00.0  
 SHEET NO. **A2.0**  
 ELEVATIONS

REV	DATE	DESCRIPTION	BY
2	5.14.09	PER DEVELOPMENT REVIEW	

**D. E. LARSEN, ARCHITECT**  
 3311 ELM STREET STE. 201, DALLAS TEXAS 75226  
 Tel: (214) 939-8808 Fax: (214) 939-3807 Email: dlar@delarsenarchitect.com



**1 DRIVE THRU ELEVATION**  
 A2.1 1/4" = 1'-0"



**2 REAR ELEVATION**  
 A2.1 1/4" = 1'-0"

NOTE:  
 COLOR DESIGNATIONS INDICATED FOR FINISH [E] MUST BE VERIFIED W/ ACM PRIOR TO CONSTRUCTION. FAILURE TO COMPLY WITH THIS REQUIREMENT WILL PLACE FULL RESPONSIBILITY FOR SUBSEQUENT CHANGES DIRECTLY UPON THE G.C.

NOTE:  
 VERIFY W/ ACM BLEND & SELECTION FOR WAINSCOT & WATER TABLE PRIOR TO CONSTRUCTION. FAILURE TO COMPLY WITH THIS REQUIREMENT WILL PLACE FULL RESPONSIBILITY FOR SUBSEQUENT CHANGES DIRECTLY UPON THE G.C.

**KEY NOTES:**

- [A] METAL ANNING - UNDER SEPARATE PERMIT. COLOR TO BE ALTERNATING STRIPES TO MATCH PANTONE 123C AND 109C
- [C] METAL COPING - COLOR = ALUMINUM
- [C] METAL COPING - COLOR TO MATCH SURROUNDING MATERIAL
- [CJ] CONTROL JOINT, SEE DETAIL 7/A4.1
- [D] HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL
- [E] EXT. FINISH SYSTEM  
 COLOR E1 = EL REY 821 LARIAT, OFF WHITE/LT.TAN  
 COLOR E2 = EL REY 803 SAGE, LT. TAN/YELLOW  
 COLOR E3 = EL REY 1566 POTTERY, TAN
- [FB] CO2 FILL BOX (EQPM SCHEDULE ITEM 49.00)
- [FB] BO OPTIONAL BULK OIL FILL BOX (EQPM SCHEDULE ITEM 700.18) - CONFIRM USE WITH MCD PROJECT MANAGER
- [L] LIGHT FIXTURE (WALL SCONCE) - SEE ELECTRICAL
- [M] MFG. STONE AS MFG BY CORONADO STONE PRODUCTS, CORONADO HONEY LEDGE DAKOTA BROWN OR APPROVED EQUAL.
- [ML] METAL LETTERING - BY OTHERS
- [PB] PIPE BOLLARD - PAINTED YELLOW
- [PT] PASS-THRU COIN COLLECTOR - OPTIONAL (RMHC)
- [RE] ROOF CAP ELEMENT BY OTHERS
- [RO] ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL
- [S] McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT. SEE SIGNAGE SUPPORT NOTE ON THIS SHEET.
- [T1] ALUMINUM TRELLIS BY SECURITY LIGHTING
- [T2] TRELLIS TIE-BACK BY SECURITY LIGHTING
- [T3] 2" x 8" WALL FASCIA - REFER TO SIM. DETAIL 3 ON SHEET AS.1
- [WT] MFG STONE WATER TABLE
- [W1] EXTERIOR WINDOW ASSEMBLY - SEE ASSEMBLY NOTES ON SHEET AS.0 T = TEMPERED GLASS
- [W2] DRIVE-THRU WINDOW BY READY ACCESS - CONFIRM MODEL, OPTIONS, AND SIZE WITH MCD PROJECT MANAGER. OPTIONS INCLUDE: TRANSOM (SHOWN); AIR CURTAIN; FLYFAN/TRANSOM & 432 SQ IN MAX SERVICE OPENING (WHERE REQD BY CODE)
- [XX] SLIDE DIRECTION: RL = RIGHT TO LEFT LR = LEFT TO RIGHT

**STRUCTURAL NOTE:**  
 UNIBODY FASCIA SIGN WALL SUPPORTS TO BE VERIFIED WITH McDONALD'S AREA CONSTRUCTION MANAGER AND COORDINATED WITH SIGN MANUFACTURER.

PREPARED FOR: **McDonald's USA, LLC**  
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 These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared for use on a different site or at a later time. Use of these drawings for reference or example on another project requires the contractor to verify the accuracy of the information and the contract documents for use on another project is not authorized.

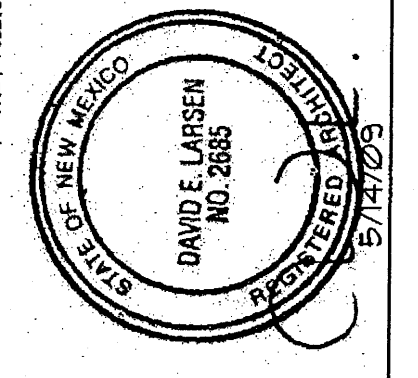
DATE: NOV 2008  
 REVIEWED BY: DEL  
 DATE ISSUED: JAN 2008  
 SITE ADDRESS: 38-101 HOLLEY AVE. & SAN PEDRO DRIVE ALBUQUERQUE, NM 87102

TITLE: **2008 STANDARD BUILDING 38-101 WOOD/WOOD BUILDING**  
 DESCRIPTION: WOOD BEARING WALLS W/ E.I.F.S. WOOD ROOF TRUSS FRAMING E.I.F.S. EXTERIOR FINISH ARCADE/ENTRY

NO. 00-0000.00.0  
**A2.1**  
 ELEVATIONS

DATE: 5.14.09  
 PER DEVELOPMENT REVIEW

**D. E. LARSEN, ARCHITECT**  
 3311 ELM STREET, STE. 201, DALLAS, TEXAS 75226  
 TEL: (214) 959-3688 FAX: (214) 959-3697 Email: densen@delarsenarchitect.com



**Landscape Project Notes**

Refer to Sitework Specifications for all information needed for landscape work.  
Notify Landscape Architect or designated representative of any layout discrepancies or any condition which may prohibit the installation as shown.  
Verify and locate all utilities and site lighting conduits before landscape construction begins. Protection of all utilities is the responsibility of the Contractor.  
All slopes and areas disturbed by construction, except those occupied by buildings, structures, or paving shall be graded smooth and four (4") inches of topsoil applied. If adequate topsoil is not available onsite, the Contractor shall provide topsoil as approved by the Owner. The area shall then be seeded, fertilized, mulched, watered, and maintained until hardy grass growth is established in all areas. Any areas disturbed for any reason prior to final acceptance of the project shall be corrected by the Contractor at no additional cost to the Owner.  
All landscaped areas will be irrigated with an underground automatic system. Refer to the irrigation plans and details for the location of the controller, irrigation meter, and valves. Disturbed areas not covered by the permanent irrigation system shall be watered by the Contractor until a healthy stand of grass is established and accepted. Accepted grass without water will go dormant and not die.  
Quantities shown on these plans are for reference only. Plant spacing is as indicated in the Plant Material List unless otherwise noted. The Contractor has full responsibility to provide coverage in all planting areas as specified.  
All trees and shrubs shall be installed per planting details.  
Trees shall be planted at least five (5') feet from any utility line or sidewalk, and to the outside of utility easements with a clear ten (10') feet around fire hydrants. Shrubs, regardless of type, shall not be planted within thirty (30') inches of bed perimeters.  
All plant material shall be maintained in a healthy and growing condition, and must be replaced with similar variety and size if damaged or removed. Container grown plant material is preferred, however ball and burlap material may be substituted as indicated in the plant material list.  
All planting beds as designated shall be bordered by Owner approved four (4") inch steel edging unless bed is bordered by concrete. Terminate edging flush with paved surface with no sharp corners exposed.  
A four (4") dressing of shredded hardwood mulch over a 4.1 oz. woven polypropylene, needle-punched fabric or equal weed barrier shall be used in all plant beds and around all trees. Single trees or shrubs shall be mulched to the outside edge of the saucer or landscape island (See planting details).  
Fertilize all plants at the time of planting with 10-10-10 time release fertilizer.  
Boulders labeled on plan shall vary in size according to symbol size. Smaller boulders shall have a minimum height of 12", a minimum width of 24" and a minimum depth of 18". Larger boulders shall have a minimum height of 18", minimum width of 36" and a minimum depth of 24". Boulders shall be recessed into the grade not to exceed 1/3 of the total height of the boulder.  
Decomposed Granite, as locally available, shall contrast with the color of the boulders. Contractor shall install to a compacted depth of three inches (3") and one inch (1") below top of curb or paved surface, half an inch below the top of steel edge.  
Areas labeled and identified as Rock shall be gravel, beige/tan in color as locally available and have a diameter not to exceed one and one-half inches (1 1/2"). Contractor shall install to a uniform depth of three inches (3").

**Compliance With Water Conservation**

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provision of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

**Landscape Requirements for the City of Albuquerque, NM**

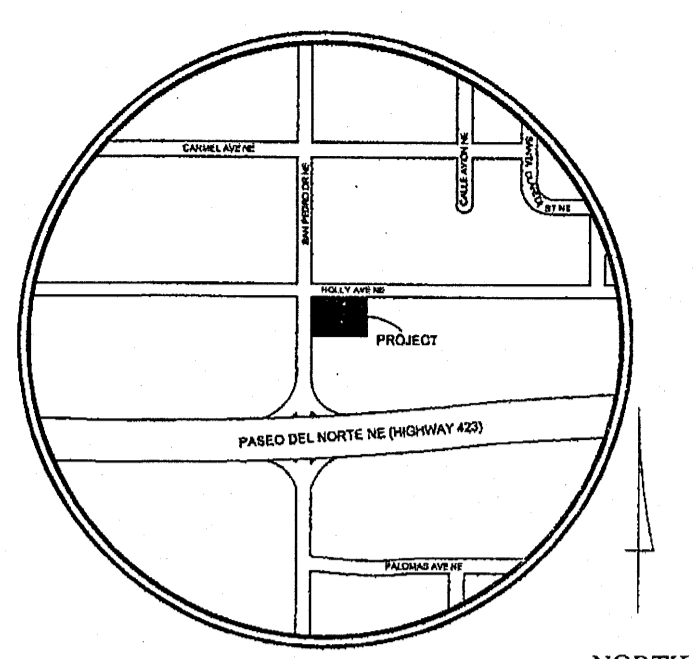
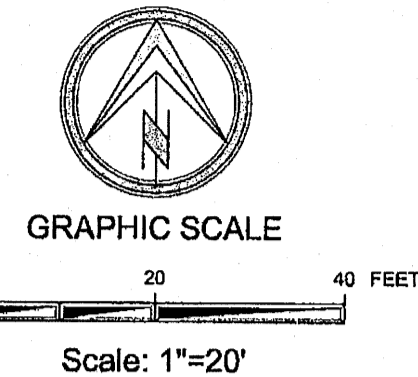
- Section 14-16-3-10  
(E) Landscaping Area Requirements  
1. The total landscape area required for each development shall equal not less than 10% of the net lot area.  
2. Clear sight areas satisfactory to the Planning Director shall be maintained at all exits of parking areas.  
(G) Special Landscaping Standards  
1. Off-Street Parking Area Landscaping. Trees are required in and around off-street parking areas to provide shade and reduce the adverse visual impact of large expanses of pavement and parked cars. Quantity and distribution of trees shall be as follows:  
a. One tree is required per ten parking spaces;  
b. No parking space may be more than 100 feet from a tree trunk;  
c. The minimum size of tree planters within off-street parking areas shall be 36 square feet per tree;  
d. At least 75% of the required parking areas shall be deciduous canopy-type shade trees, capable of achieving a mature canopy diameter of at least 25 feet.  
2. Street Trees. Reference 6-6-2-5 Street Tree Policies.  
3. Required Vegetative Ground Cover. All required landscape areas 36 square feet in size or larger shall be covered with living, vegetative materials, such as grasses, vines, spreading shrubs, or flowers, over at least 80% of the required landscape area. Coverage will be calculated from the mature spread of the plants.

**Sod Specifications**

All disturbed areas, including shrub and groundcover areas, shall be dressed to typical sections and plowed to a depth of five (5") inches. The top two (2") inches shall be pulverized to provide a uniform bed for Bermuda or Kentucky Bluegrass sod.

**Plant Material List**

SYM.	KEY	QTY.	COMMON NAME SCIENTIFIC NAME	O.C.	ROOT	SIZE	HEIGHT	SPREAD	COMMENT
CP	4		Chinese Pistache <i>Pistacia chinensis</i>	N/A	Cont.	3" cal.	12' min.	8' min.	Full Canopy, Healthy, Good Form Strong Single Leader
KC	3		Kentucky Coffee Tree <i>Gymnocladia dioica</i>	N/A	Cont.	3" cal.	10' min.	5' min.	Full Canopy, Healthy, Good Form Strong Single Leader
CO	3		Chinquapin Oak <i>Quercus muhlenbergii</i>	N/A	Cont.	2" cal.	10' min.	4' min.	Full Canopy, Healthy, Good Form Strong Single Leader
DW	8		Desert Willow <i>Quercus linearis</i>	N/A	Cont.	30 gal.	8-10' min.	4' min.	Full Canopy, Healthy, Good Form 3 Cane Max.
ST	8		Smoke Tree <i>Cotinus coggygria</i>	N/A	Cont.	2" cal.	8-10' min.	4' min.	Full Canopy, Healthy, Good Form 3 Cane Min.
MM	11		Maiden Miscanthus <i>Miscanthus sinensis</i>	N/A	Cont.	5 gal.	30" min.	24" min.	Full, Healthy
TR	28		Texas Ranger <i>Leucophyllum frutescens</i>	N/A	Cont.	5 gal.	30" min.	24" min.	Full, Round, Healthy
MT	14		Mormon Tea <i>Ephedra spp.</i>	N/A	Cont.	5 gal.	24" min.	18" min.	Full, Round, Healthy
SL	32		Spanish Lavender <i>Lavandula stoechas</i>	N/A	Cont.	5 gal.	32" min.	24" min.	Full, Round, Healthy
RB	16		Redleaf Barberry <i>Berberis thunbergii</i> 'Atrorubra'	N/A	Cont.	5 gal.	26" min.	18" min.	Full, Round, Healthy
RY	9		Red Yucca <i>Hesperaloe parviflora</i>	N/A	Cont.	5 gal.	24" min.	18" min.	Full, Good Form, No Broken Spines
DH	32		Dwarf Hamelin <i>Pennisetum alopecuroides</i> 'Hamelin'	18"	Cont.	1 gal.	12" min.	8" min.	Full, Healthy
SJ	1500 sf		Shore Juniper <i>Juniperus conferta</i>	18"	Cont.	1 gal.	8" min.	12" min.	
MF	600 sf		Mexican Feather Grass <i>Stipa tenuissima</i>	18"	Cont.	1 gal.	8" min.	8" min.	
CR	940 sf		Creeping Rosemary <i>Rosmarinus officinalis</i> 'Prostrata'	18"	Cont.	4" pot	8" min.	10" min.	
SC	180 sf		Seasonal Color	N/A	Cont.	4" pot			
DG	500 sf		Decomposed Granite (Reference Landscape Project Notes)						
Rock	2500 sf		Rock (Reference Landscape Project Notes)						

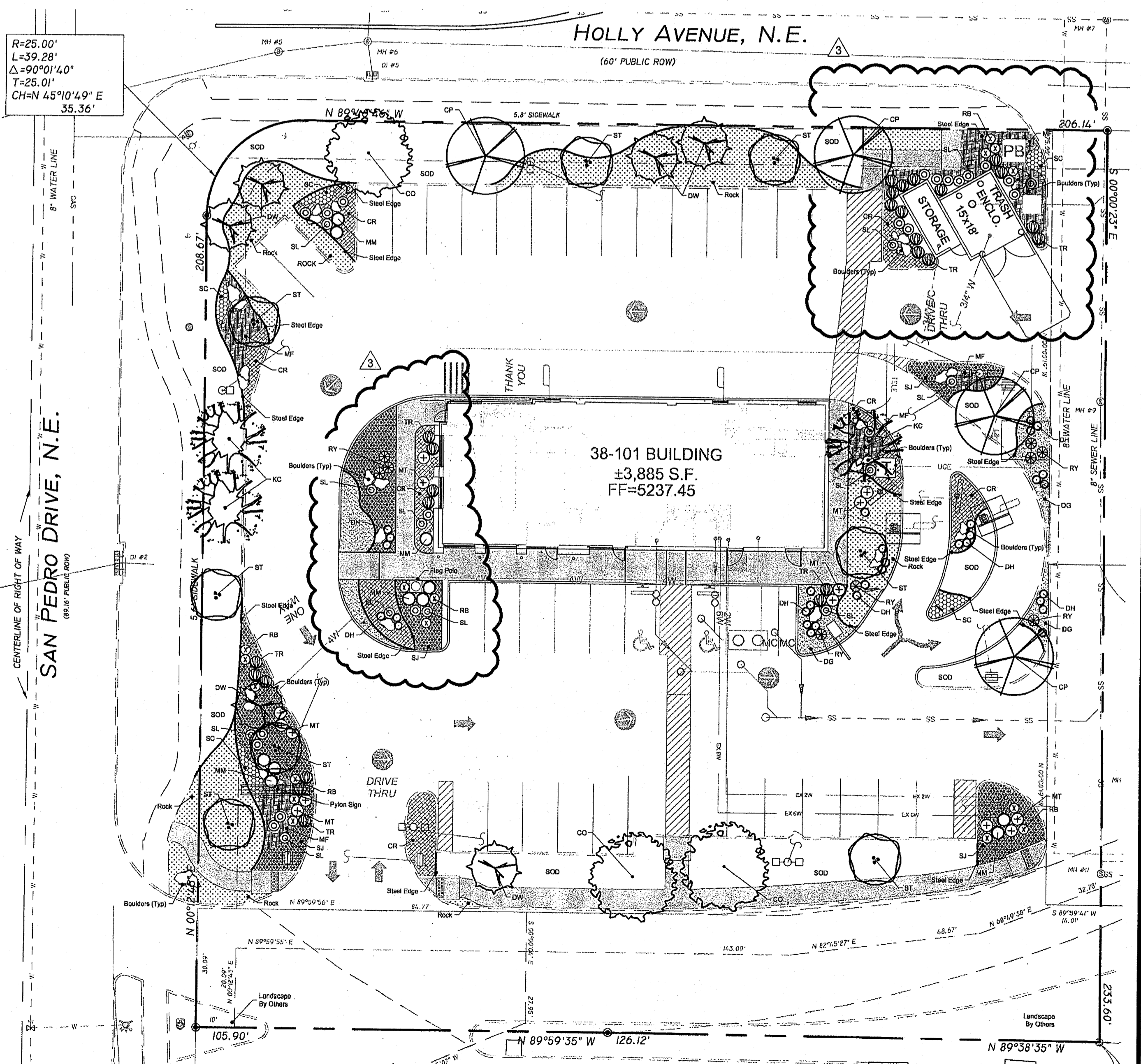
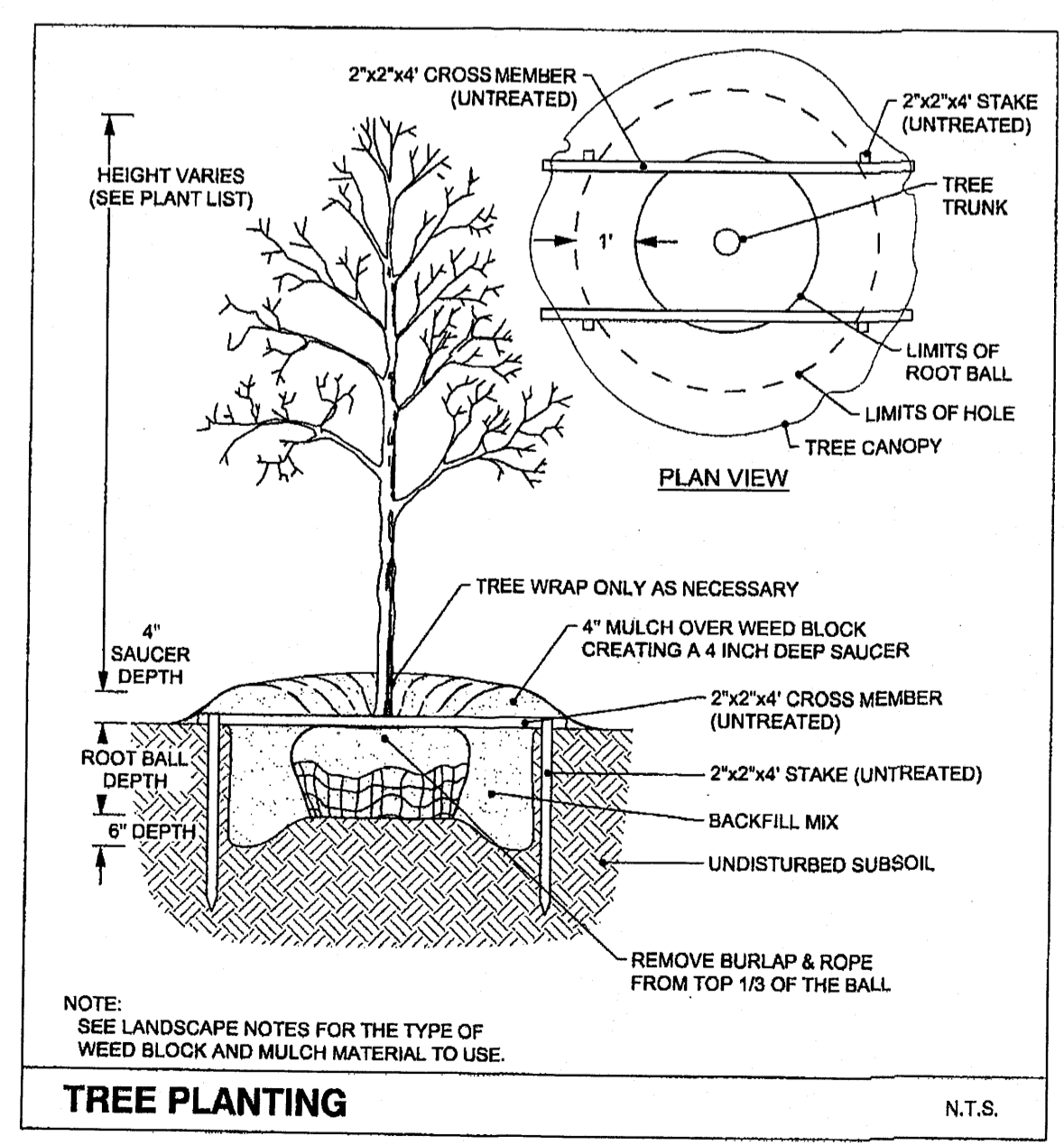
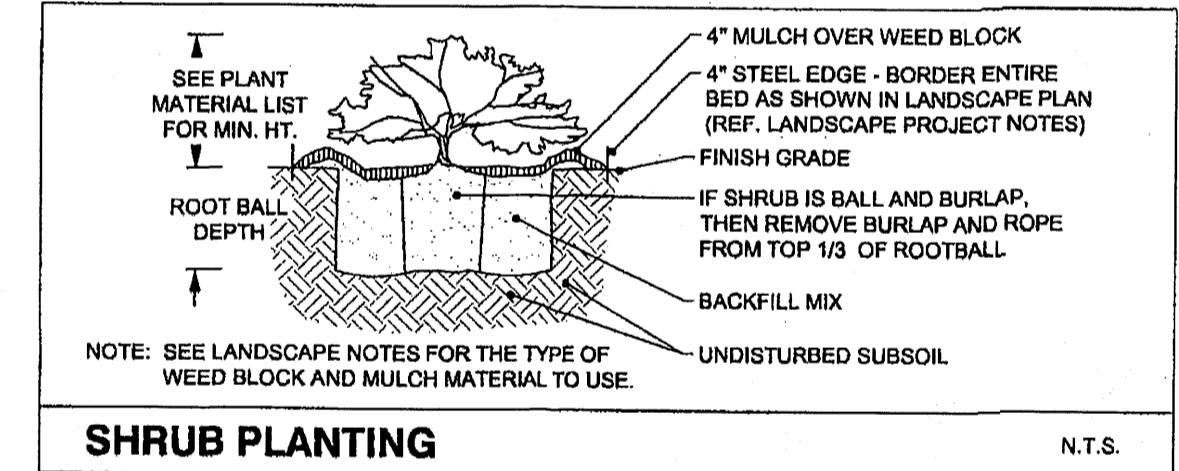


**GENERAL NOTES**

- McDonald's road sign and base are to be installed by contractor. Conduit and wiring are by the General Contractor.
- Bases, anchor bolts, conduit, and wiring for all other signs are by the General Contractor.
- 3/4" Empty conduit to locations shown at the lot perimeter for lighting is by the General Contractor. Lighting fixtures, bases, poles, conduit, and wiring are by the General Contractor.
- Bases for flagpoles are by the General Contractor. Anchor bolts are by the flagpole supplier.
- Proposed utilities are shown in schematic only. Exact locations shall be determined to allow for the most economical installation.
- The Contractor shall coordinate with all utility companies to determine exact point of service connection at existing utility. Refer to the building electrical and plumbing drawings for utility service entrance locations, sizes, and circling.
- General Contractor must provide exact "as built" information upon completion.
- All elevations shown are in reference to the benchmark and must be verified by the General Contractor at groundbreak.
- Finish walk and curb elevations shall be 6" above finish pavement.
- All landscape areas shall be rough graded to 6" below top of all walks and curbs.
- Finished grading, landscaping and sprinkler systems are by the Owner / Operator.
- Lot lighting concrete footings to conform with the soils report recommendations for this particular site.
- Prior to construction, the Contractor shall request, in writing, a copy of the review report prepared by the State Department of Licensing & Regulation from the Owner or Architect. This review report may contain comments or requirements that will alter site layout/design regarding issues related to handicap accessibility.
- It is strongly recommended that no contractual agreements of any kind be signed prior to receiving and thoroughly reviewing all approvals from all of the regulatory authorities having jurisdiction over this project.
- Due to the nature of the work, all dimensions shown shall be considered approximate. Contractor shall field verify all dimensions prior to beginning construction. Shop drawings shall be submitted to the Architect for approval prior to fabrication or installation of any item. Failure to adhere to this procedure shall place full responsibility for any errors directly upon the Contractor.
- All materials and construction within easements and R.O.W. shall conform to all governing authorities' jurisdictional standard construction details and specifications.

**LANDSCAPE CALCULATIONS for the City of Albuquerque**

	REQUIRED	PROVIDED
NET LOT AREA	N/A	53,874 SF
LANDSCAPE AREA (15% of Net Lot Area)	8,086 SF	11,612 SF
PARKING TREES (1 Tree per 10 Spaces) (44/10)	4.4	8
STREET TREES (1 PER 30 L.F.) (454L.F./30)	15.1	16
VEGETATIVE GROUND COVER (80% of Req. Landscape)	6,477 SF	9,057 SF



**PAVING SPECIFICATION**  
VERIFY W/MCDONALD'S: ASPHALT:  CONCRETE:   
CONTRACTOR TO BID: ASPHALT:  CONCRETE:

**SITE INFORMATION**  
LAND AREA: 53,883 S.F. (1.2381Ac.)  
CURRENT ZONING: S12-IP  
EXISTING USE: VACANT  
PROPOSED USE: RESTAURANT  
BUILDING AREA (APPROXIMATE): RETAIL: 3,885 S.F.  
BUILDING TO LOT COVERAGE: 7.2%  
BUILDING HEIGHT: 21'-6"  
BUILDING REQUIRED PARKING: 1 SPACE PER 4 SEATS  
PARKING PROVIDED: 37 SPACES  
HANDICAP PARKING PROVIDED: 2 SPACES  
MOTORCYCLE PARKING PROVIDED: 2

**BENCHMARK**  
1. A.G.R.S. MONUMENT "HEAVEN" STANDARD U.S.C. & G.S. BRASS TABLET (FOUND IN PLACE) NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE - N.A.D. 1983) N=1,578,789.516 E=1,547,297.145 PUBLISHED EL.=5378.235 (NAVD 1988) GROUND TO GRID FACTOR=0.999655810 DELTA ALPHA ANGLE = 0°10'48.22"  
2. A.G.R.S. MONUMENT "7 C19" STANDARD U.S.C. & G.S. BRASS TABLET (FOUND IN PLACE) NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE - N.A.D. 1983) N=1,522,068.520 E=1,550,417.138 PUBLISHED EL.=5465.738 (NAVD 1988) GROUND TO GRID FACTOR=0.999650745 DELTA ALPHA ANGLE = 0°10'24.78"

**SURVEY INFORMATION**  
PREPARED BY: PRECISION SURVEYS, INC.  
LEGAL DESCRIPTION: LOT 1 OF THE PLAT OF LOTS 1, 2, 3 AND 4 5500-A JEFFERSON ST., N.E. DEL NORTE PLAZA ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
DATE: DECEMBER 10, 2008 BOOK 2069C, PAGE 112

**PLAN SCALE: 1" = 20'**  
ADDITION  
**DEL NORTE PLAZA**  
STREET ADDRESS  
**SEC HOLLY AVE & SAN PEDRO DR**  
CITY: ALBUQUERQUE STATE: NEW MEXICO  
COUNTY: BERNALILLO SURVEY: ABSTRACT NO.  
LIC NUMBER: 030-0221 CORPORATE DWG. NAME: LANDSCAPE PLAN

**McDONALD'S**  
SEC HOLLY AVE & SAN PEDRO DR  
ALBUQUERQUE, NEW MEXICO

**Adams ENGINEERING**

STATE OF NEW MEXICO  
BEN R. HENRY  
REGISTERED LANDSCAPE ARCHITECT  
6.1.09

OFFICE: GREATER SOUTHWEST REGION  
ADDRESS: KROC DRIVE - OAK BROOK, ILLINOIS 60521

DATE: [ ]  
SIGNATURE (2 REQUIRED): [ ]  
CO-SIGN SIGNATURES: [ ]

STATUS: [ ] DATE DRAWN: 1.23.2009  
DATE CHECKED: 1.23.2009  
AS-BUILT: [ ]

L1.0