

**Subdivision Data:**  
 GROSS SUBDIVISION ACREAGE: 7.4007 ACRES ±  
 ZONE ATLAS INDEX NO: C-18-Z  
 NO. OF TRACTS CREATED: 0  
 NO. OF LOTS CREATED: 4  
 MILES OF FULL-WIDTH STREETS CREATED: 0  
 DATE OF SURVEY: OCTOBER 2006, FIELD VERIFIED JULY 2007.

**Solar Note:**  
 NO PROPERTY WITHIN THE AREA OF THIS PLAT SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OF PARCELS WITHIN THE AREA OF THIS PLAT. THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT.

**Disclosure Statement:**  
 THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING ONE TRACT INTO FOUR NEW LOTS, TO GRANT EASEMENTS AND TO DEDICATE RIGHT OF WAY.

- Notes:**
- MISC. DATA: ZONING SU-2 IP
  - BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1927).
  - ALL DISTANCES ARE GROUND DISTANCES--US SURVEY FOOT.
  - THIS PROPERTY LIES WITHIN PROJECTED SECTION 13, TOWNSHIP 11 NORTH, RANGE 3 EAST, ELENA GALLEGOS GRANT, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
  - PLAT SHOWS ALL EASEMENTS OF RECORD.
  - SP NO. 2008060555.

**Easements**  
 THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED (OWNER RESERVES RIGHT TO RELOCATE UTILITIES FROM TIME TO TIME AT THEIR SOLE COST AND EXPENSE).  
 PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:  
 1. PNM (ELECTRIC) FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.  
 2. PNM (GAS) FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.  
 3. QWEST CORPORATION FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.  
 4. COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.  
 INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHEAR DOOR AND FIVE FEET (5') ON EACH SIDE.  
 IN APPROVING THIS PLAT, PNM (ELECTRIC) AND (GAS) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.

DOCH 2008059559  
 05/28/2008 10:18 AM Page: 1 of 3  
 (L)PLAT R: \$17.00 B: 2008C P: 0112 M: Toulouse Oliviere, Bernalillo Co.

Plat of  
 Lots 1, 2, 3, and 4  
**Del Norte Plaza**  
 Albuquerque, Bernalillo County, New Mexico  
 February 2008

**Legal Description**  
 SEE SHEET 2 OF 2 FOR LEGAL DESCRIPTION

**Free Consent and Dedication**

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.  
 SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT ADDITIONAL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.  
 SAID OWNER AND/OR PROPRIETOR DOES HEREBY DEDICATE ALL STREET AND PUBLIC RIGHTS OF WAY FOR SAN PEDRO DRIVE, N.E. AND HOLLY AVENUE, NE SHOWN HEREON TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE.

PACIFIC PASEO DEVELOPMENT, L.L.C., A NEW MEXICO LIMITED LIABILITY COMPANY  
 BY: PACIFIC FISH COMPANY, A NEW MEXICO GENERAL PARTNERSHIP  
 ITS: MEMBER  
 BY: *James Schumacher*  
 JAMES SCHUMACHER  
 ITS: GENERAL PARTNER

**Acknowledgment**

STATE OF NEW MEXICO ) SS  
 COUNTY OF BERNALILLO )  
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 11th DAY OF MARCH, 2008 BY JAMES S. SCHUMACHER, GENERAL PARTNER, PACIFIC FISH COMPANY, A NEW MEXICO GENERAL PARTNERSHIP, MEMBER, PACIFIC PASEO DEVELOPMENT, L.L.C., A NEW MEXICO LIMITED LIABILITY COMPANY.  
 BY: *Nancy Bangs* MY COMMISSION EXPIRES: 11/30/09  
 NOTARY PUBLIC

BY: LEVINE INVESTMENTS LIMITED PARTNERSHIP, AN ARIZONA LIMITED PARTNERSHIP  
 ITS: MEMBER  
 BY: *William S. Levine*  
 WILLIAM S. LEVINE  
 ITS: CHAIRMAN

**Acknowledgment**

STATE OF ARIZONA ) SS  
 COUNTY OF MARICOPA )  
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 12th DAY OF MARCH, 2008 BY WILLIAM S. LEVINE, GENERAL PARTNER, LEVINE INVESTMENTS LIMITED PARTNERSHIP, AN ARIZONA LIMITED PARTNERSHIP, KEIM, INC., AN ARIZONA CORPORATION, GENERAL PARTNER.  
 BY: *Audrey A. Jones* MY COMMISSION EXPIRES: 4/13/2011  
 NOTARY PUBLIC

Project No. 1006868  
 Application No. 08018-76275 <sup>70220</sup>

**Utility Approvals**

<i>Fernando Vigil</i> PNM (ELECTRIC)	May 21, 2008 DATE
<i>Fernando Vigil</i> PNM (GAS)	May 21, 2008 DATE
<i>Natalia Armas</i> QWEST TELECOMMUNICATIONS	5-27-2008 DATE
<i>James Balon</i> COMCAST	5-22-08 DATE

**City Approvals**

<i>[Signature]</i> CITY SURVEYOR	3-18-08 DATE
<i>[Signature]</i> REAL PROPERTY DIVISION	5-21-08 DATE
<i>[Signature]</i> TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT	5-21-08 DATE
<i>[Signature]</i> ABCWA	5-21-08 DATE
<i>Christina Sandoval</i> PARKS AND RECREATION DEPARTMENT	5/21/08 DATE
<i>Bradley D. Bingham</i> AMAFCA	5/21/08 DATE
<i>Bradley D. Bingham</i> CITY ENGINEER	5/21/08 DATE
<i>[Signature]</i> DRB CHAIRPERSON, PLANNING DEPARTMENT	5/21/08 DATE

**TREASURER'S CERTIFICATE**  
 PAID ON 10/18/06 43256361018  
 PROPERTY OFFICE OF BERNALILLO COUNTY  
*Del Norte Plaza Investment*  
 BERNALILLO COUNTY TREASURER'S OFFICE  
 5/28/08

**Surveyor's Certificate**

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

*[Signature]* 3/7/08  
 LARRY W. MEDRANO  
 N.M.P.S. No. 11993  
 DATE



**PRECISION SURVEYS, INC.**

8500-A Jefferson Street, NE  
 Albuquerque, NM 87113  
 866.422.8011 TOLL FREE  
 505.856.5700 PHONE  
 505.856.7900 FAX

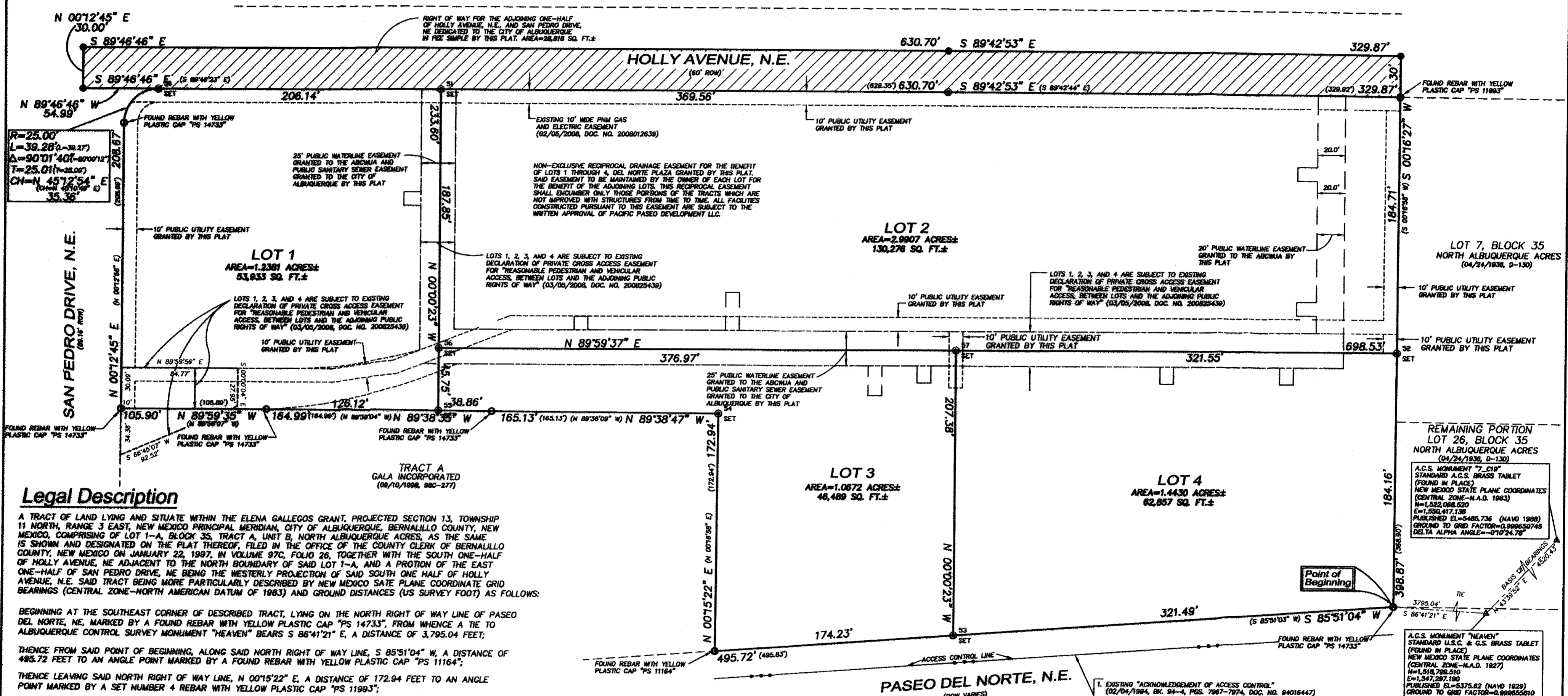
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# Legend

- (N 90°00'00" E) RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESES
- N 90°00'00" E MEASURED BEARING AND DISTANCES
- FOUND AND USED MONUMENT AS DESIGNATED
- DENOTES NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY
- DENOTES CALCULATED POINT—NOT SET

DOCH 2008059559  
 05/28/2008 10:19 AM Page: 2 of 3  
 PLAT R: \$17.00 B: 2008059559 0112 N. Toulouse Olivere, Bernalillo Co.

Plat of  
 Lots 1, 2, 3, and 4  
**Del Norte Plaza**  
 Albuquerque, Bernalillo County, New Mexico  
 February 2008



## Legal Description

A TRACT OF LAND LYING AND SITUATE WITHIN THE ELENA GALLEGOS GRANT, PROJECTED SECTION 13, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF LOT 1-A, BLOCK 35, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JANUARY 22, 1997, IN VOLUME 97C, FOLIO 26, TOGETHER WITH THE SOUTH ONE-HALF OF HOLLY AVENUE, NE ADJACENT TO THE NORTH BOUNDARY OF SAID LOT 1-A, AND A PORTION OF THE EAST ONE-HALF OF SAN PEDRO DRIVE, NE BEING THE WESTERLY PROJECTION OF SAID SOUTH ONE-HALF OF HOLLY AVENUE, N.E. SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE COORDINATE GRID BEARINGS (CENTRAL ZONE—NORTH AMERICAN DATUM OF 1983) AND GROUND DISTANCES (US SURVEY FOOT) AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF DESCRIBED TRACT, LYING ON THE NORTH RIGHT OF WAY LINE OF PASEO DEL NORTE, NE, MARKED BY A FOUND REBAR WITH YELLOW PLASTIC CAP "PS 14733", FROM WHENCE A TIE TO ALBUQUERQUE CONTROL SURVEY MONUMENT "HEAVEN" BEARS S 86°41'21" E, A DISTANCE OF 3,795.04 FEET;

THENCE FROM SAID POINT OF BEGINNING, ALONG SAID NORTH RIGHT OF WAY LINE, S 85°51'04" W, A DISTANCE OF 495.72 FEET TO AN ANGLE POINT MARKED BY A FOUND REBAR WITH YELLOW PLASTIC CAP "PS 11164";

THENCE LEAVING SAID NORTH RIGHT OF WAY LINE, N 00°15'22" E, A DISTANCE OF 172.94 FEET TO AN ANGLE POINT MARKED BY A SET NUMBER 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 89°38'47" W, A DISTANCE OF 165.13 FEET TO AN ANGLE POINT MARKED BY A FOUND REBAR WITH YELLOW PLASTIC CAP "PS 14733";

THENCE N 89°38'35" W, A DISTANCE OF 164.99 FEET TO AN ANGLE POINT MARKED BY A FOUND REBAR WITH YELLOW PLASTIC CAP "PS 14733";

THENCE N 89°59'35" W, A DISTANCE OF 105.90 FEET TO THE SOUTHWEST CORNER OF DESCRIBED TRACT LYING ON THE EAST RIGHT OF WAY LINE OF SAN PEDRO DRIVE, NE, MARKED BY A FOUND REBAR WITH YELLOW PLASTIC CAP "PS 14733";

THENCE N 00°12'45" E ALONG SAID EAST RIGHT OF WAY LINE, A DISTANCE OF 208.67 FEET TO A POINT OF CURVATURE MARKED BY A FOUND REBAR WITH YELLOW PLASTIC CAP "PS 14733";

THENCE ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 25.00 FEET, AN ARC LENGTH OF 39.28 FEET, A DELTA ANGLE OF 90°01'40", AND A CHORD BEARING OF N 45°12'54" E, A DISTANCE OF 35.36 FEET TO AN ANGLE POINT MARKED BY A SET NUMBER 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 89°46'46" W, A DISTANCE OF 54.99 FEET TO AN ANGLE POINT LYING ON THE CENTER OF SAN PEDRO DRIVE, N.E.

THENCE N 00°12'45" E, A DISTANCE OF 30.00 FEET TO AN ANGLE POINT LYING ON THE INTERSECTION OF SAID SAN PEDRO DRIVE CENTERLINE AND THE CENTERLINE OF HOLLY AVENUE, N.E., BEING THE NORTHWEST CORNER OF DESCRIBED TRACT

THENCE S 89°46'46" E ALONG SAID CENTERLINE OF HOLLY AVENUE, N.E., A DISTANCE OF 630.70 FEET TO AN ANGLE POINT;

THENCE S 89°42'53" E, A DISTANCE OF 329.87 FEET TO THE NORTHEAST CORNER OF DESCRIBED TRACT.

THENCE LEAVING SAID CENTERLINE, S 00°16'27" W, A DISTANCE OF 398.87 FEET TO THE POINT OF BEGINNING, CONTAINING 7.4007 ACRES (322,373 SQUARE FEET), MORE OR LESS, NOW COMPRISING LOTS 1, 2, 3, AND 4, DEL NORTE PLAZA.

## Line Table

LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
L1	S 89°59'41" W	12.43'	L26	N 89°59'41" E	10.00'
L2	S 00°00'19" E	10.00'	L27	N 00°00'19" W	27.54'
L3	N 89°59'41" E	12.43'	L28	S 00°00'19" E	9.56'
L4	S 00°00'19" E	22.00'	L29	N 89°59'41" E	10.00'
L5	N 89°59'41" E	10.00'	L30	N 00°00'19" W	9.56'
L6	S 00°00'19" E	22.00'	L31	S 89°20'58" W	11.28'
L7	N 89°59'41" E	25.67'	L32	S 00°00'23" E	41.01'
L8	S 00°00'19" E	12.50'	L33	N 89°59'37" E	10.00'
L9	N 89°59'41" E	10.00'	L34	S 00°00'23" E	41.01'
L10	S 00°00'19" E	12.50'			
L11	S 00°00'19" E	12.53'			
L12	N 89°59'41" E	10.00'			
L13	N 00°00'19" W	12.53'			
L14	S 00°00'19" E	12.43'			
L15	N 89°59'41" E	10.00'			
L16	N 00°00'19" W	12.43'			
L17	N 89°59'41" E	36.35'			
L18	N 89°59'41" E	14.32'			
L19	S 00°01'46" E	10.00'			
L20	S 89°59'41" W	14.31'			
L21	N 89°59'41" E	14.32'			
L22	N 00°00'19" W	10.00'			
L23	S 89°59'41" W	14.31'			
L24	N 00°00'19" W	12.51'			
L25	S 00°00'19" E	27.54'			

## Curve Table

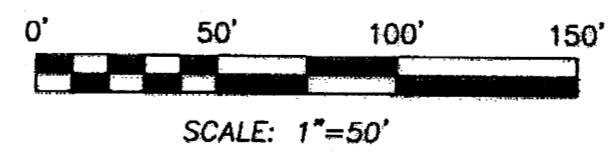
CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	TANGENT	CHORD BEARING	CHORD LENGTH
C1	342.39'	93.05'	15°34'15"	46.81'	N 81°41'54" E	92.76'
C2	368.74'	144.29'	22°21'36"	73.08'	N 76°25'50" E	143.38'

SEE SHEET 3 OF 3 FOR EASEMENT INFORMATION



8500-A Jefferson Street, NE  
 Albuquerque, NM 87113

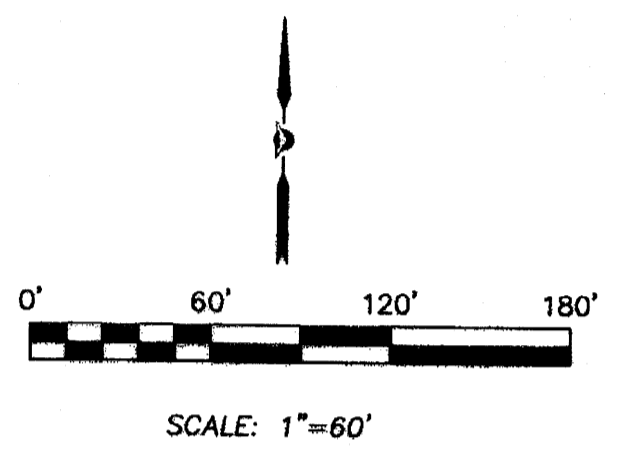
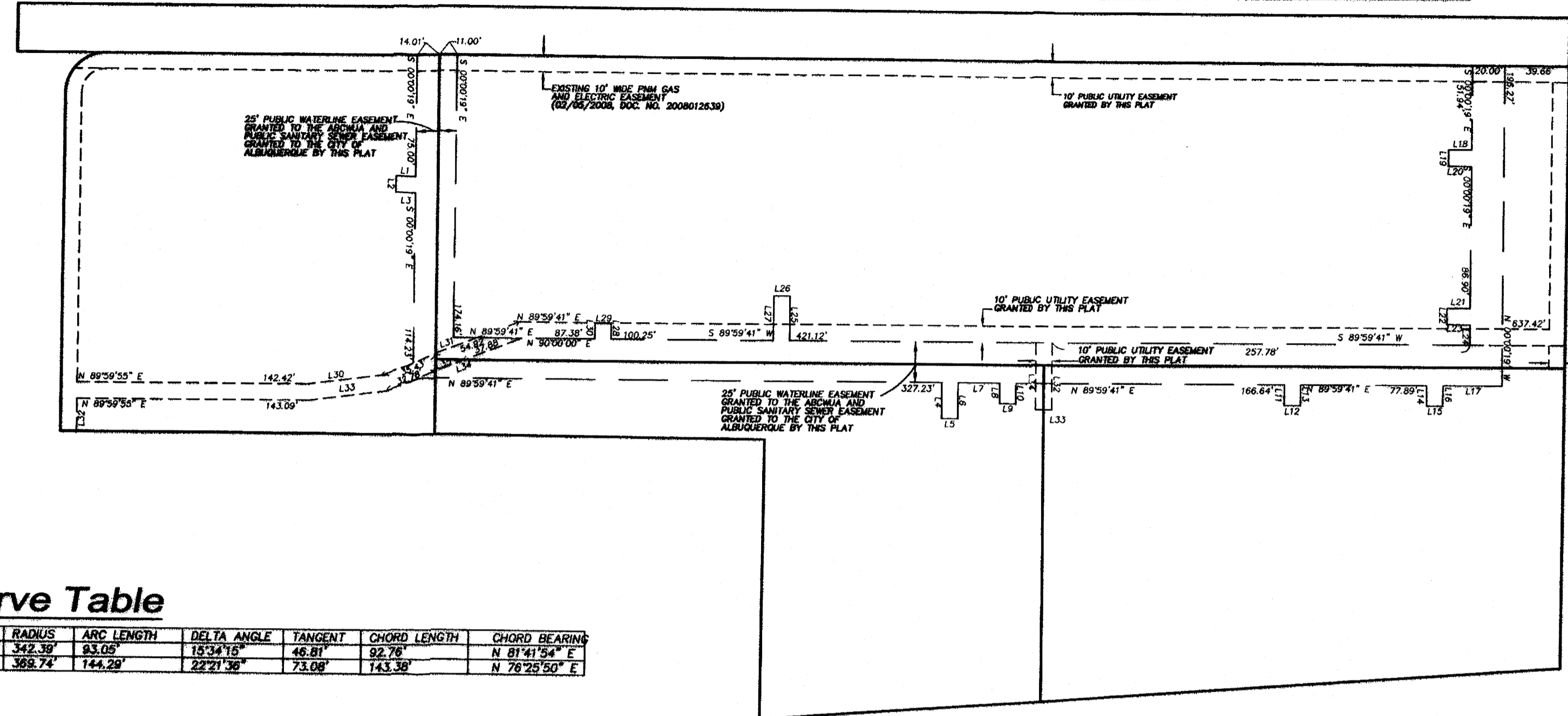
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 505.856.5700 PHONE  
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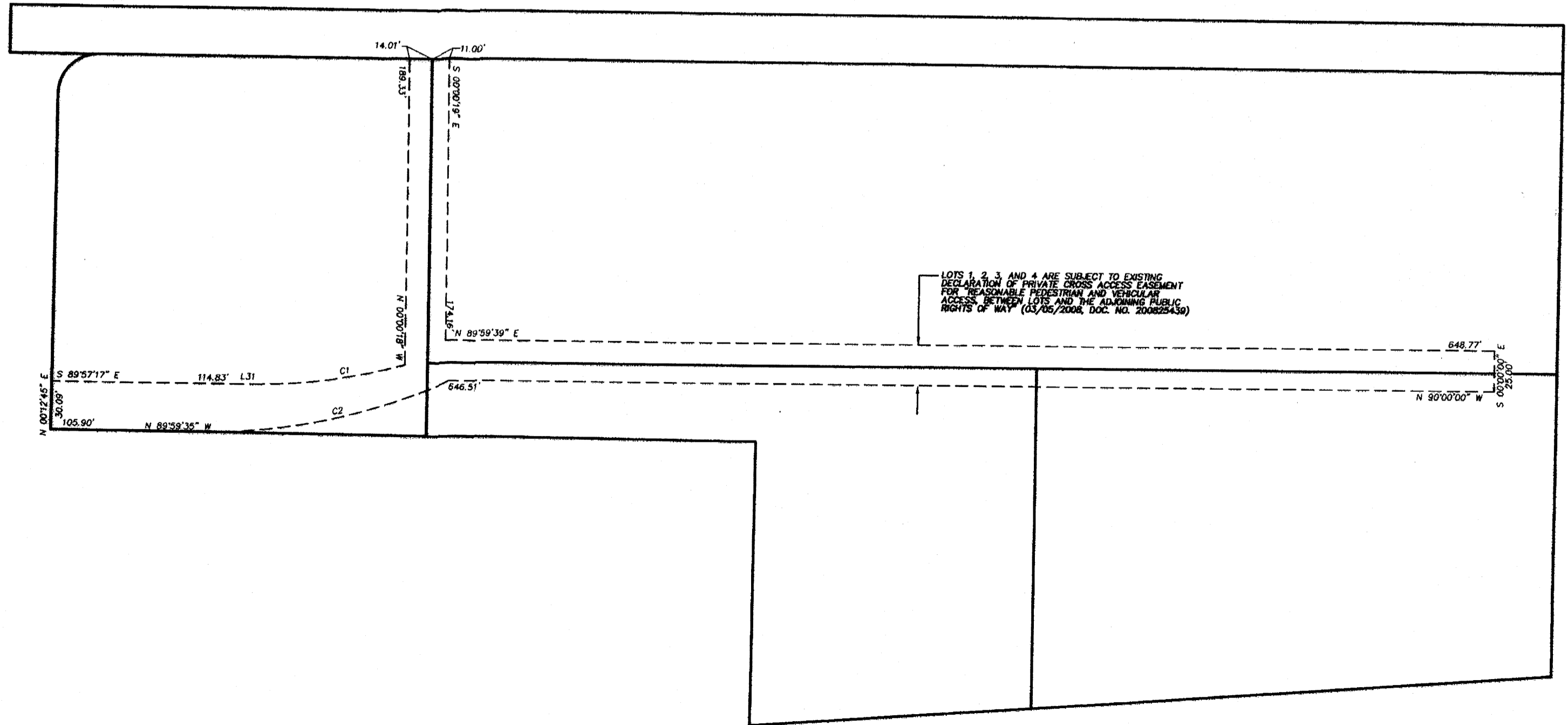
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 05/29/2008 10:18 AM Page: 3 of 3  
 PLAT R: \$17.00 B: 2008C P: 0112 M: Toulouse Olivero, Bernalillo Co

Plat of  
 Lots 1, 2, 3, and 4  
**Del Norte Plaza**  
 Albuquerque, Bernalillo County, New Mexico  
 February 2008



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**Line Table**

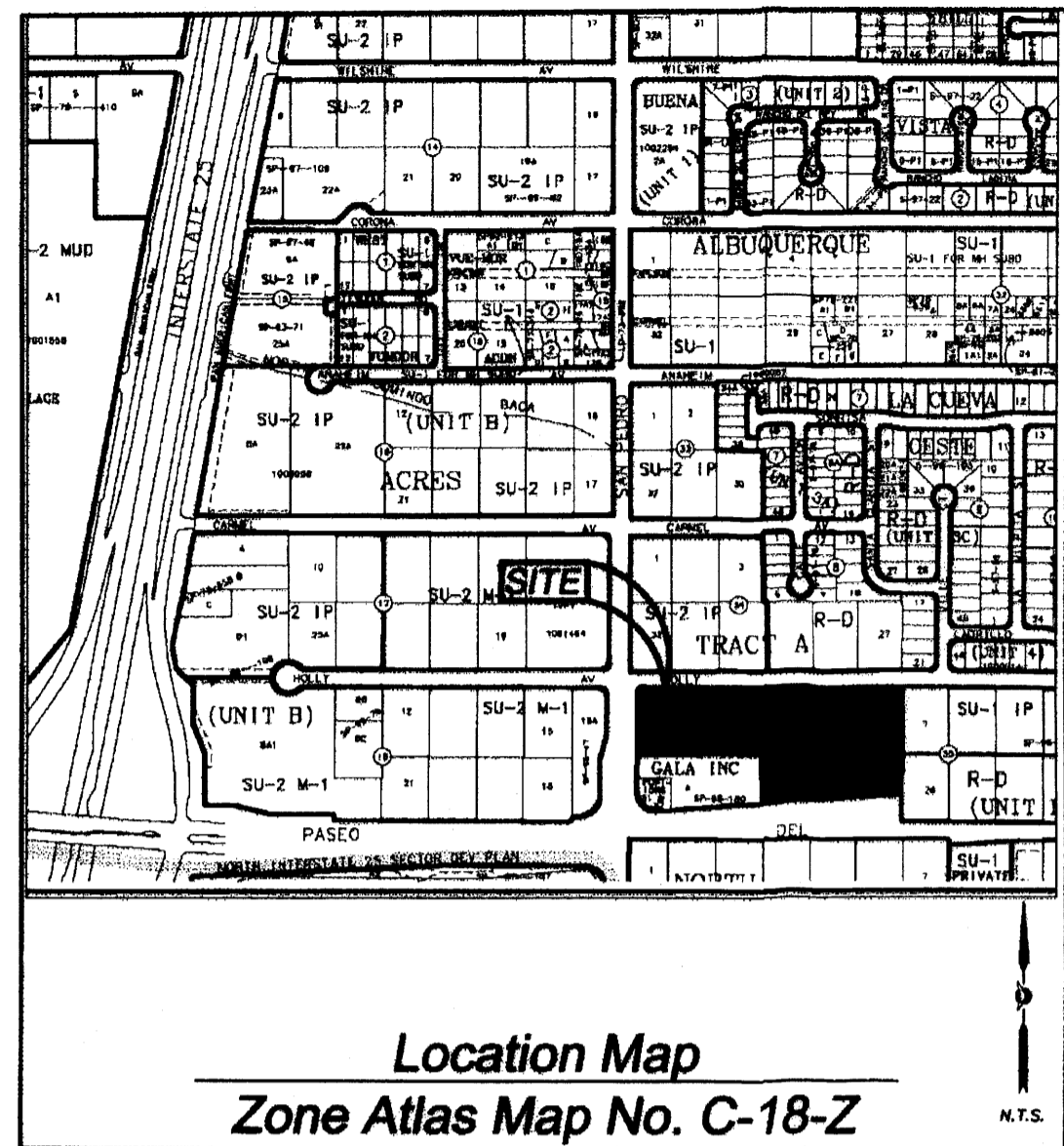
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**PRECISION**  
 SURVEYS, INC.

8500-A Jefferson Street, NE  
 Albuquerque, NM 87113

866.422.8011 TOLL FREE  
 505.856.5700 PHONE  
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Location Map  
Zone Atlas Map No. C-18-Z

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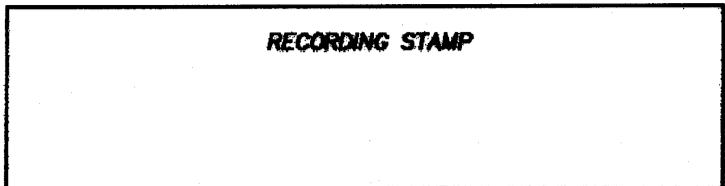
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 Lots 1, 2, 3, and 4  
**Del Norte Plaza**  
 Albuquerque, Bernalillo County, New Mexico  
 February 2008

**Legal Description**

SEE SHEET 2 OF 2 FOR LEGAL DESCRIPTION

**Free Consent and Dedication**

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT ADDITIONAL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY DEDICATE ALL STREET AND PUBLIC RIGHTS OF WAY FOR SAN PEDRO DRIVE, N.E. AND HOLLY AVENUE, NE SHOWN HEREON TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE.

PACIFIC PASEO DEVELOPMENT, L.L.C., A NEW MEXICO LIMITED LIABILITY COMPANY

BY: PACIFIC FISH COMPANY, A NEW MEXICO GENERAL PARTNERSHIP  
 ITS: MEMBER  
 BY: James Schumacher  
 JAMES SCHUMACHER  
 ITS: GENERAL PARTNER

**Acknowledgment**

STATE OF NEW MEXICO )  
 COUNTY OF BERNALILLO) SS

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 11th DAY OF MARCH, 2008 BY JAMES S. SCHUMACHER, GENERAL PARTNER, PACIFIC FISH COMPANY, A NEW MEXICO GENERAL PARTNERSHIP, MEMBER, PACIFIC PASEO DEVELOPMENT, L.L.C., A NEW MEXICO LIMITED LIABILITY COMPANY.

BY: Nancy Bangs MY COMMISSION EXPIRES: 11/30/09  
 NOTARY PUBLIC



BY: LEVINE INVESTMENTS LIMITED PARTNERSHIP, AN ARIZONA LIMITED PARTNERSHIP  
 ITS: MEMBER

BY: KEIM, INC., AN ARIZONA CORPORATION  
 ITS: GENERAL PARTNER

BY: William S. Levine  
 WILLIAM S. LEVINE  
 ITS: CHAIRMAN

**Acknowledgment**

STATE OF ARIZONA )  
 COUNTY OF MARICOPA) SS

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 12th DAY OF MARCH, 2008 BY WILLIAM S. LEVINE, GENERAL PARTNER, LEVINE INVESTMENTS LIMITED PARTNERSHIP, AN ARIZONA LIMITED PARTNERSHIP, KEIM, INC., AN ARIZONA CORPORATION, GENERAL PARTNER.

BY: Audrey A. Jones MY COMMISSION EXPIRES: 4/13/2011  
 NOTARY PUBLIC



Project No. \_\_\_\_\_  
 Application No. \_\_\_\_\_  
 Utility Approvals

PNM (ELECTRIC)	DATE
PNM (GAS)	DATE
QWEST TELECOMMUNICATIONS	DATE
COMCAST	DATE
<b>City Approvals</b>	
<u>[Signature]</u>	<u>3-18-08</u>
CITY SURVEYOR	DATE
REAL PROPERTY DIVISION	DATE
TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT	DATE
ABCWUA	DATE
PARKS AND RECREATION DEPARTMENT	DATE
AMAFCA	DATE
CITY ENGINEER	DATE

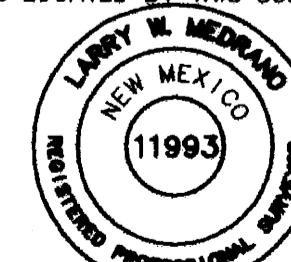
DRB CHAIRPERSON, PLANNING DEPARTMENT



**Surveyor's Certificate**

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

BY: Larry W. Medrano 3/7/08  
 LARRY W. MEDRANO  
 N.M.P.S. No. 11993  
 DATE



8500-A Jefferson Street, NE  
 Albuquerque, NM 87113

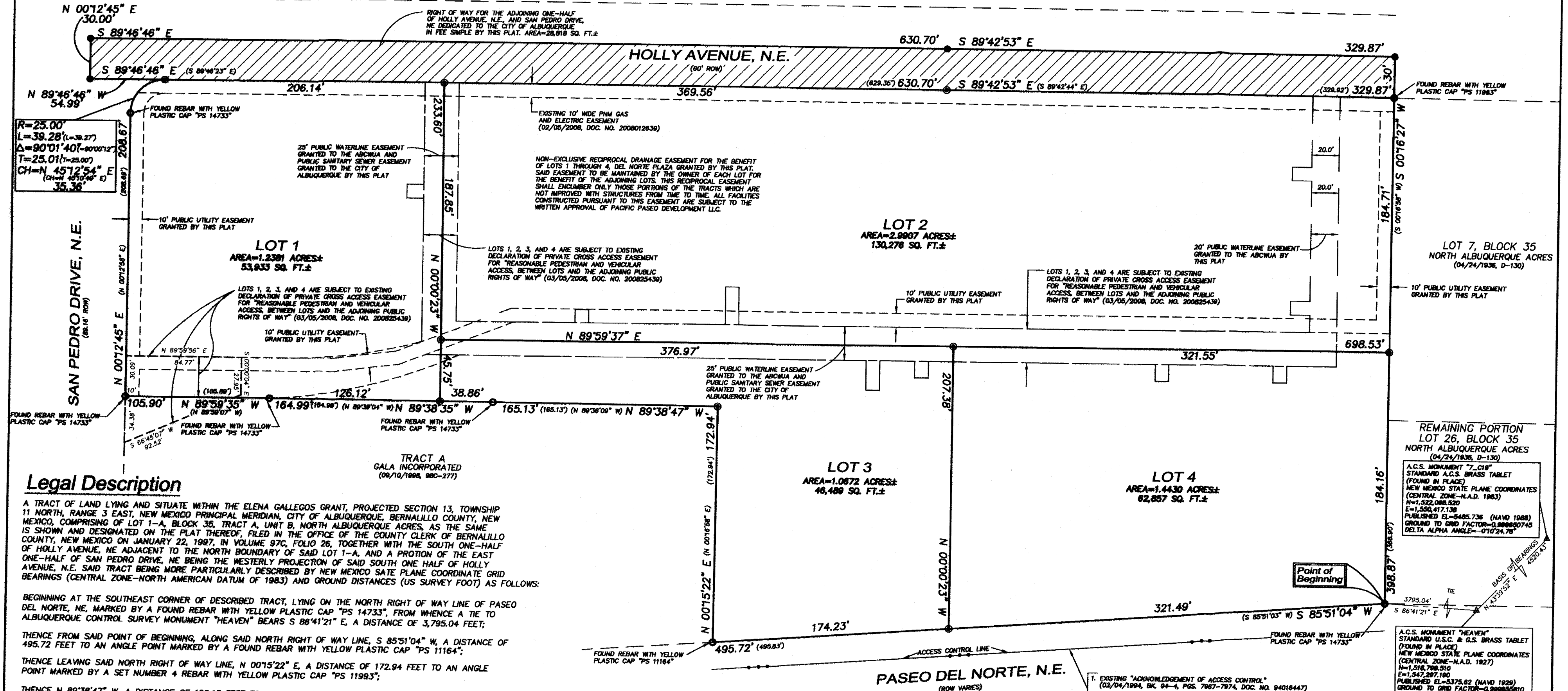
866.422.8011 TOLL FREE  
 505.856.5700 PHONE  
 505.856.7900 FAX

Plat of  
Lots 1, 2, 3, and 4  
**Del Norte Plaza**  
Albuquerque, Bernalillo County, New Mexico  
February 2008

**Legend**

- (N 90°00'00" E) RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESIS
- N 90°00'00" E MEASURED BEARING AND DISTANCES
- FOUND AND USED MONUMENT AS DESIGNATED
- ⊙ DENOTES NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY
- DENOTES CALCULATED POINT—NOT SET

RECORDING STAMP



**Legal Description**

A TRACT OF LAND LYING AND SITUATE WITHIN THE ELENA GALLEGOS GRANT, PROJECTED SECTION 13, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF LOT 1-A, BLOCK 35, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JANUARY 22, 1997, IN VOLUME 97C, FOLIO 26, TOGETHER WITH THE SOUTH ONE-HALF OF HOLLY AVENUE, NE ADJACENT TO THE NORTH BOUNDARY OF SAID LOT 1-A, AND A PORTION OF THE EAST ONE-HALF OF SAN PEDRO DRIVE, NE BEING THE WESTERLY PROJECTION OF SAID SOUTH ONE-HALF OF HOLLY AVENUE, N.E. SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE COORDINATE GRID BEARINGS (CENTRAL ZONE-NORTH AMERICAN DATUM OF 1983) AND GROUND DISTANCES (US SURVEY FOOT) AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF DESCRIBED TRACT, LYING ON THE NORTH RIGHT OF WAY LINE OF PASEO DEL NORTE, NE, MARKED BY A FOUND REBAR WITH YELLOW PLASTIC CAP "PS 14733", FROM WHENCE A TIE TO ALBUQUERQUE CONTROL SURVEY MONUMENT "HEAVEN" BEARS S 86°41'21" E, A DISTANCE OF 3,795.04 FEET;

THENCE FROM SAID POINT OF BEGINNING, ALONG SAID NORTH RIGHT OF WAY LINE, S 85°51'04" W, A DISTANCE OF 495.72 FEET TO AN ANGLE POINT MARKED BY A FOUND REBAR WITH YELLOW PLASTIC CAP "PS 11164";

THENCE LEAVING SAID NORTH RIGHT OF WAY LINE, N 00°15'22" E, A DISTANCE OF 172.94 FEET TO AN ANGLE POINT MARKED BY A SET NUMBER 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 89°38'47" W, A DISTANCE OF 165.13 FEET TO AN ANGLE POINT MARKED BY A FOUND REBAR WITH YELLOW PLASTIC CAP "PS 14733";

THENCE N 89°38'35" W, A DISTANCE OF 164.99 FEET TO AN ANGLE POINT MARKED BY A FOUND REBAR WITH YELLOW PLASTIC CAP "PS 14733";

THENCE N 89°59'35" W, A DISTANCE OF 105.90 FEET TO THE SOUTHWEST CORNER OF DESCRIBED TRACT LYING ON THE EAST RIGHT OF WAY LINE OF SAN PEDRO DRIVE, NE, MARKED BY A FOUND REBAR WITH YELLOW PLASTIC CAP "PS 14733";

THENCE N 00°12'45" E ALONG SAID EAST RIGHT OF WAY LINE, A DISTANCE OF 208.67 FEET TO A POINT OF CURVATURE MARKED BY A FOUND REBAR WITH YELLOW PLASTIC CAP "PS 14733";

THENCE ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 25.00 FEET, AN ARC LENGTH OF 39.28 FEET, A DELTA ANGLE OF 90°01'40", AND A CHORD BEARING OF N 45°12'54" E, A DISTANCE OF 35.36 FEET TO AN ANGLE POINT MARKED BY A SET NUMBER 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 89°46'46" W, A DISTANCE OF 54.99 FEET TO AN ANGLE POINT LYING ON THE CENTER OF SAN PEDRO DRIVE, N.E.

THENCE N 00°12'45" E, A DISTANCE OF 30.00 FEET TO AN ANGLE POINT LYING ON THE INTERSECTION OF SAID SAN PEDRO DRIVE CENTERLINE AND THE CENTERLINE OF HOLLY AVENUE, N.E., BEING THE NORTHWEST CORNER OF DESCRIBED TRACT

THENCE S 89°46'46" E ALONG SAID CENTERLINE OF HOLLY AVENUE, N.E., A DISTANCE OF 630.70 FEET TO AN ANGLE POINT;

THENCE S 89°42'53" E, A DISTANCE OF 329.87 FEET TO THE NORTHEAST CORNER OF DESCRIBED TRACT.

THENCE LEAVING SAID CENTERLINE, S 00°16'27" W, A DISTANCE OF 398.87 FEET TO THE POINT OF BEGINNING, CONTAINING 7.4007 ACRES (322,373 SQUARE FEET), MORE OR LESS, NOW COMPRISING LOTS 1, 2, 3, AND 4, DEL NORTE PLAZA.

**Line Table**

LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
L1	S 89°59'41" W	12.43	L26	N 89°59'41" E	10.00
L2	S 00°00'19" E	10.00	L27	N 00°00'19" W	27.54
L3	N 89°59'41" E	12.43	L28	S 00°00'19" E	9.56
L4	S 00°00'19" E	22.00	L29	N 89°59'41" E	10.00
L5	N 89°59'41" E	10.00	L30	N 00°00'19" W	9.56
L6	S 00°00'19" E	22.00	L31	S 89°20'58" W	11.28
L7	N 89°59'41" E	25.67			
L8	S 00°00'19" E	12.50			
L9	N 89°59'41" E	10.00			
L10	S 00°00'19" E	12.50			
L11	S 00°00'19" E	12.53			
L12	N 89°59'41" E	10.00			
L13	N 00°00'19" W	12.53			
L14	S 00°00'19" E	12.43			
L15	N 89°59'41" E	10.00			
L16	N 00°00'19" W	12.43			
L17	N 89°59'41" E	36.35			
L18	N 89°59'41" E	14.32			
L19	S 00°01'46" E	10.00			
L20	S 89°59'41" W	14.31			
L21	N 89°59'41" E	14.32			
L22	N 00°00'19" W	10.00			
L23	S 89°59'41" W	14.31			
L24	N 00°00'19" W	12.51			
L25	S 00°00'19" E	27.54			

**Curve Table**

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	TANGENT	CHORD LENGTH	CHORD BEARING
C1	342.39'	93.05'	15°34'15"	46.81'	92.76'	N 81°41'54" E
C2	369.74'	144.29'	22°21'36"	73.08'	143.38'	N 76°25'50" E

SEE SHEET 3 OF 3 FOR EASEMENT INFORMATION

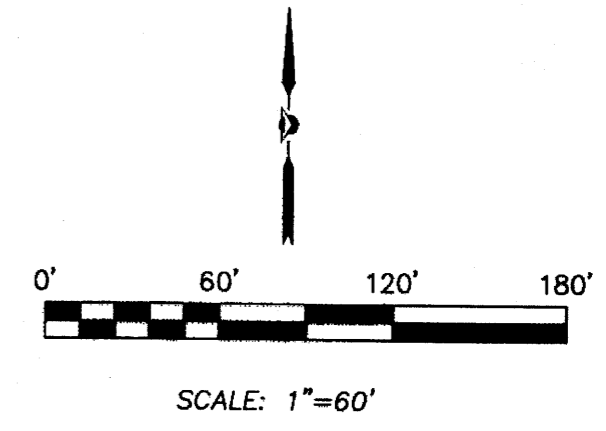
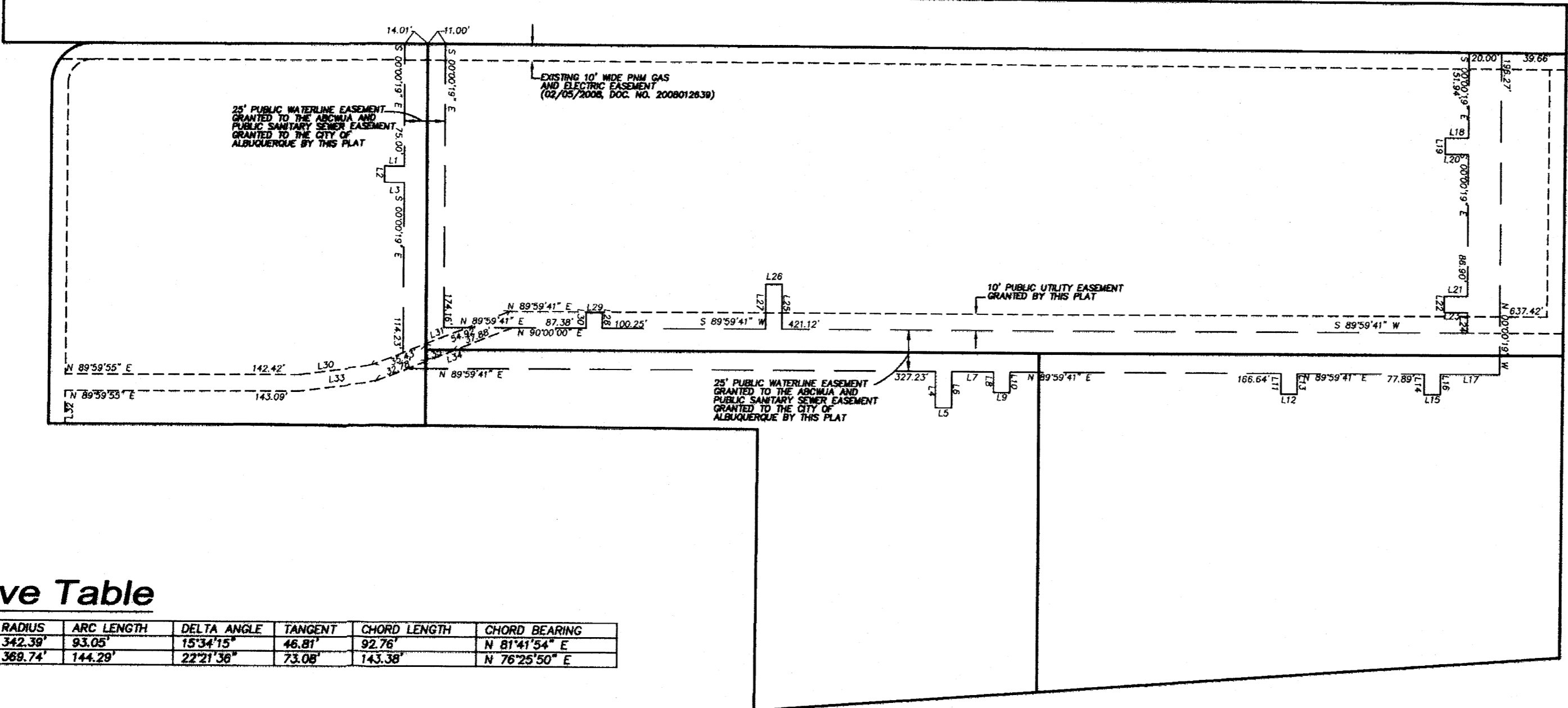


8500-A Jefferson Street, NE  
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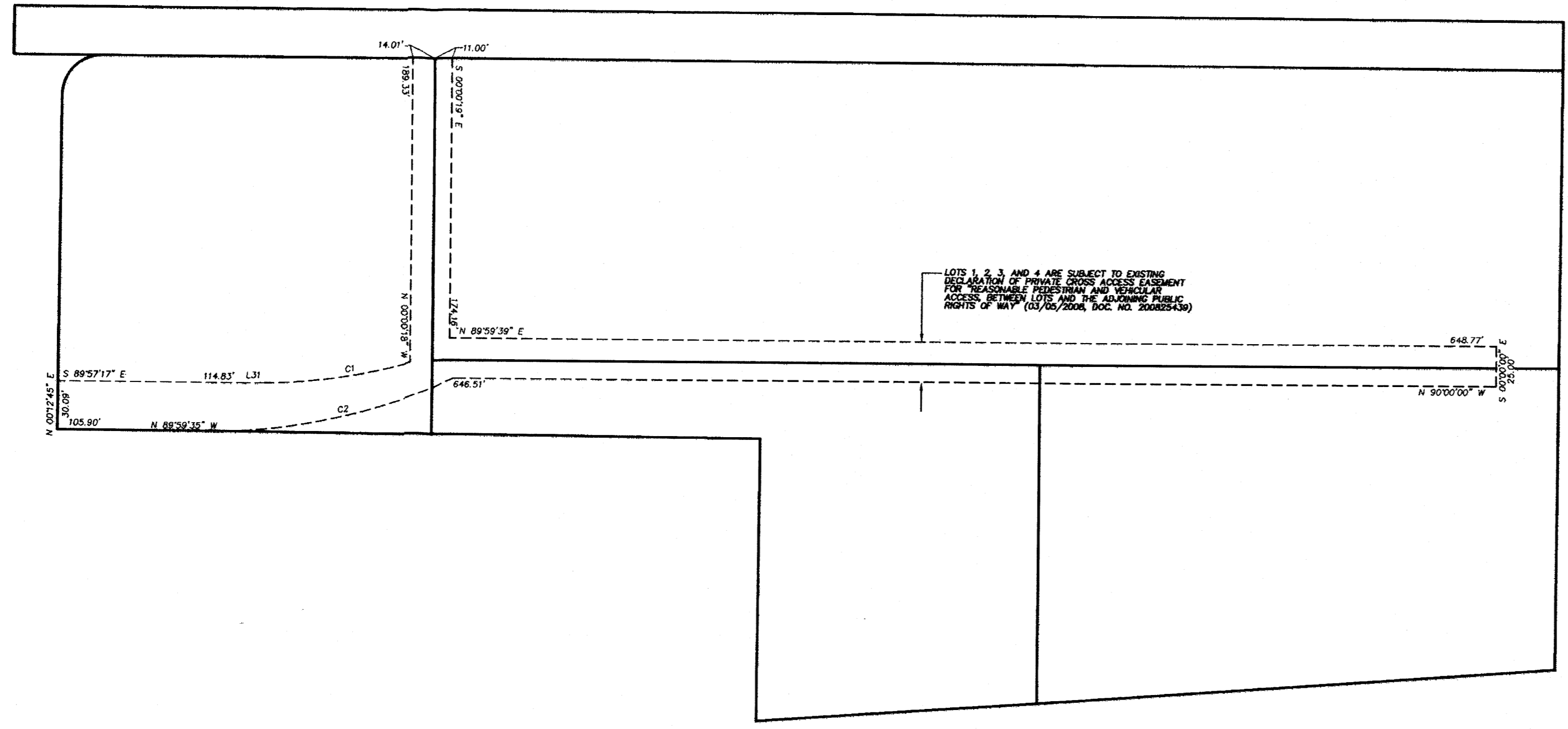
RECORDING STAMP

Plat of  
 Lots 1, 2, 3, and 4  
**Del Norte Plaza**  
 Albuquerque, Bernalillo County, New Mexico  
 February 2008



**Curve Table**

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	TANGENT	CHORD LENGTH	CHORD BEARING
C1	342.39'	93.05'	15°34'15"	46.81'	92.76'	N 81°41'54" E
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**Line Table**

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L1	S 89°59'41" W	12.43'
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L4	S 00°00'19" E	22.00'
L5	N 89°59'41" E	10.00'
L6	S 00°00'19" E	22.00'
L7	N 89°59'41" E	25.67'
L8	S 00°00'19" E	12.50'
L9	N 89°59'41" E	10.00'
L10	S 00°00'19" E	12.50'
L11	S 00°00'19" E	12.53'
L12	N 89°59'41" E	10.00'
L13	N 00°00'19" W	12.53'
L14	S 00°00'19" E	12.43'
L15	N 89°59'41" E	10.00'
L16	N 00°00'19" W	12.43'
L17	N 89°59'41" E	36.35'
L18	N 89°59'41" E	14.32'
L19	S 00°01'46" E	10.00'
L20	S 89°59'41" W	14.31'
L21	N 89°59'41" E	14.32'
L22	N 00°00'19" W	10.00'
L23	S 89°59'41" W	14.31'
L24	N 00°00'19" W	12.51'
L25	S 00°00'19" E	27.54'
L26	N 89°59'41" E	10.00'
L27	N 00°00'19" W	27.54'
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L29	N 89°59'41" E	10.00'
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L31	S 89°20'58" W	11.28'

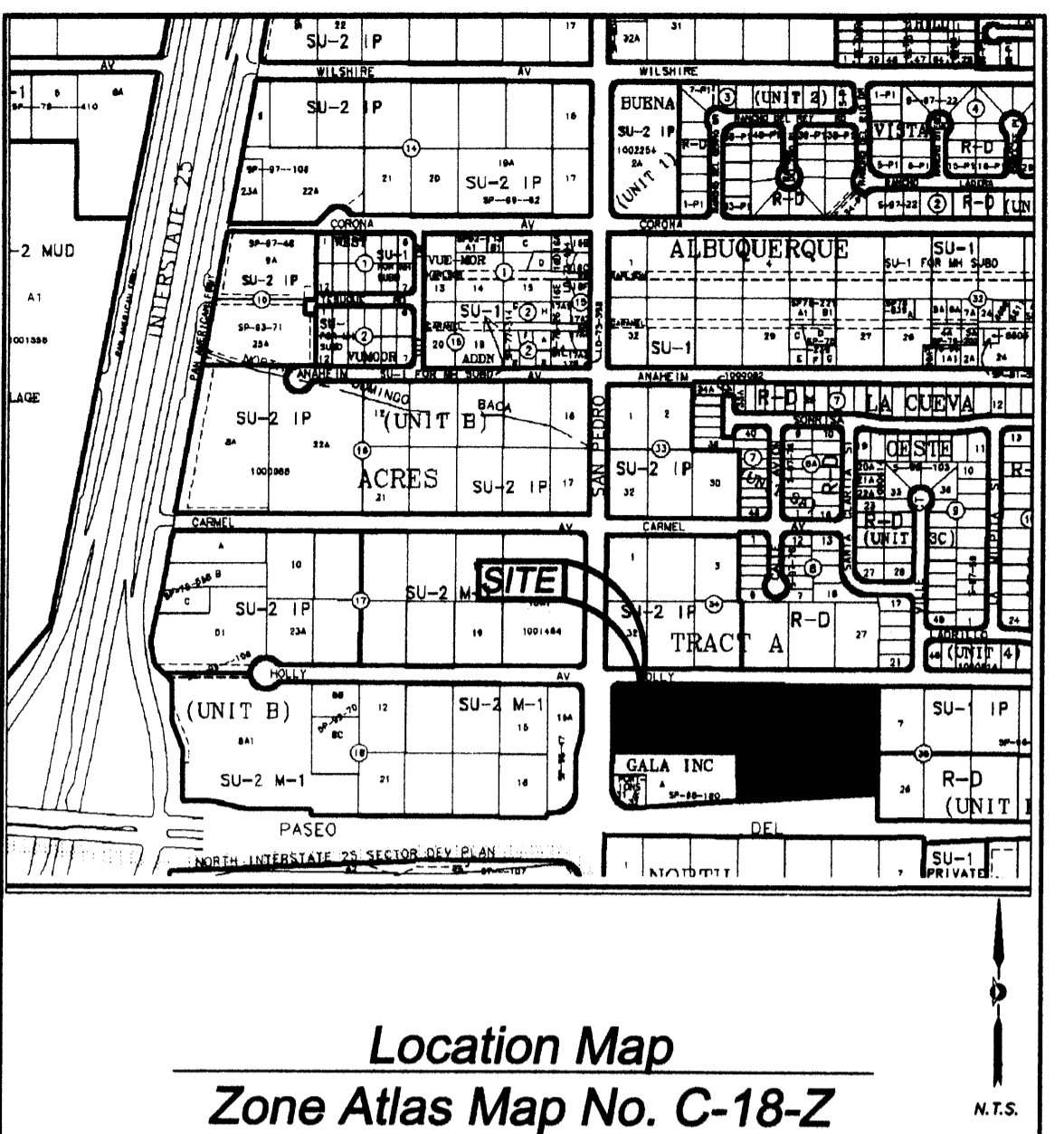
**PRECISION SURVEYS, INC.**

8500-A Jefferson Street, NE  
 Albuquerque, NM 87113

866.422.8011 TOLL FREE  
 505.856.5700 PHONE  
 505.856.7900 FAX

Preliminary Plat of  
 Lots 1, 2, 3, and 4  
**Del Norte Plaza**  
 Albuquerque, Bernalillo County, New Mexico  
 October 2007

PRELIMINARY PLAT  
 APPROVED BY DRB  
 ON 11/28/07



**Legend**

(N 90°00'00" E) RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESES

N 90°00'00" E MEASURED BEARINGS AND DISTANCES

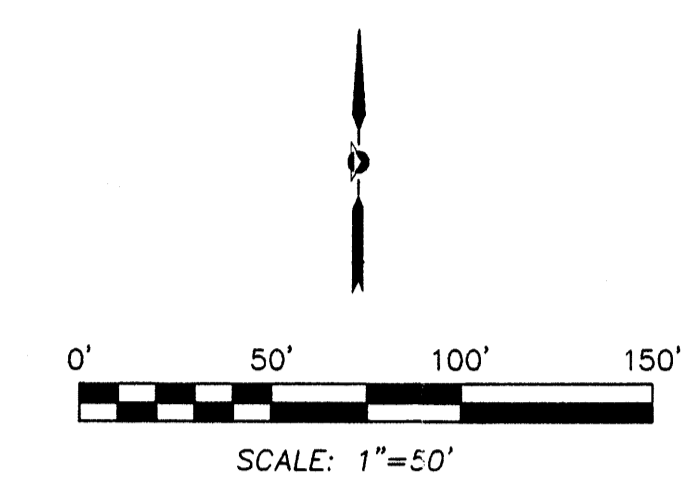
○ FOUND AND USED MONUMENT AS DESIGNATED

⊙ DENOTES REBAR WITH YELLOW PLASTIC CAP "PS 11993" TO BE SET UNLESS OTHERWISE NOTED

- Notes:**
- UNLESS OTHERWISE NOTED ALL BOUNDARY CORNERS SHOWN THUS ⊙ SHALL BE MARKED BY A #4 REBAR W/YELLOW PLASTIC CAP STAMPED "PS 11993".
  - BOUNDARY SHALL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
  - BASIS OF BEARINGS SHALL BE NEW MEXICO STATE PLANE GRID BEARINGS. (CENTRAL ZONE; NAD 1927)
  - ALL DISTANCES SHALL BE GROUND DISTANCES.
  - MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.

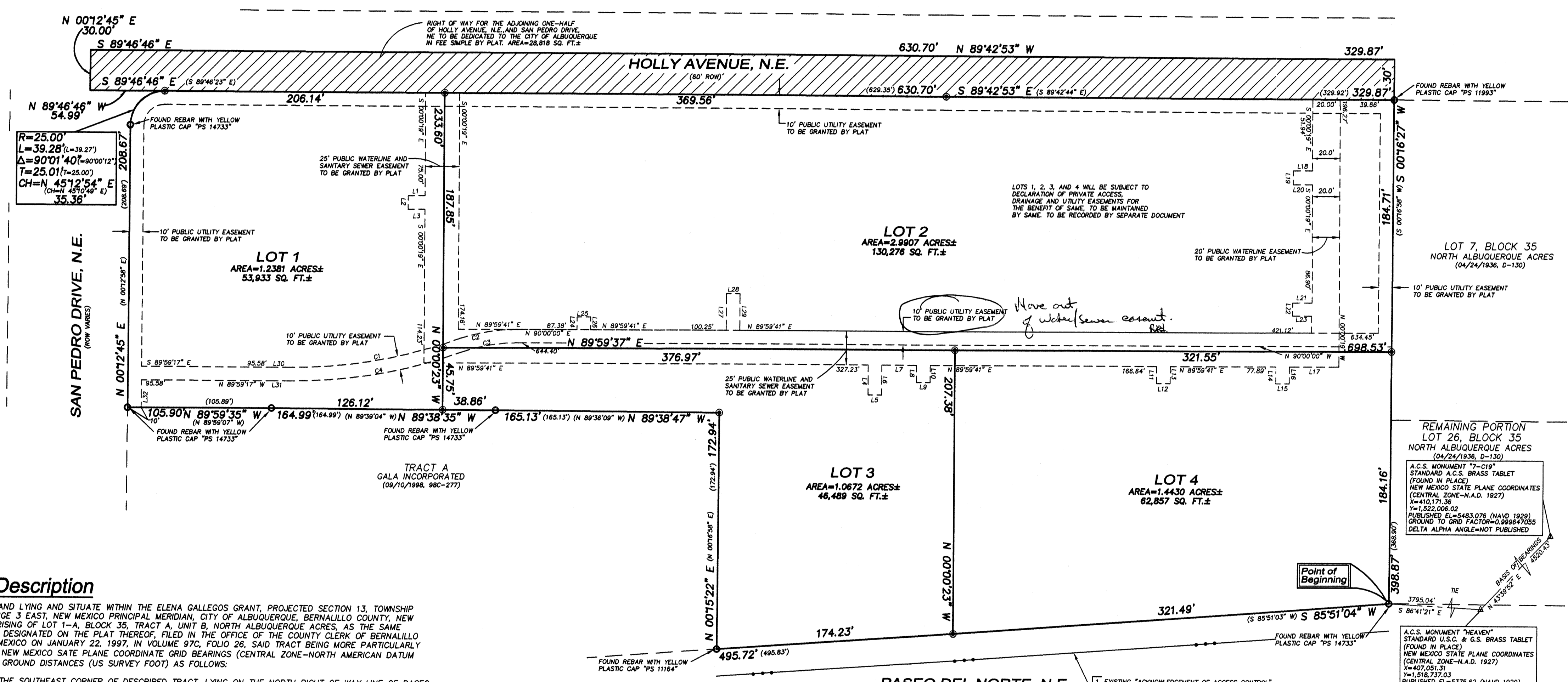
APPROVED: *[Signature]* 10-4-07  
 CITY SURVEYOR DATE

**Owner's Signature:**  
 PACIFIC PASEO DEVELOPMENT, L.L.C., A NEW MEXICO LIMITED LIABILITY COMPANY  
 BY: *[Signature]* JAMES SCHUMACHER  
 ITS: MEMBER  
 GENERAL PARTNER



**Solar Panel Note**

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OF PARCELS WITHIN THE AREA OF PROPOSED PLAT. THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT OR SITE DEVELOPMENT PLAN FOR SUBDIVISION.



**Legal Description**

A TRACT OF LAND LYING AND SITUATE WITHIN THE ELENA GALLEGOS GRANT, PROJECTED SECTION 13, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF LOT 1-A, BLOCK 35, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JANUARY 22, 1997, IN VOLUME 97C, FOLIO 26, SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE COORDINATE GRID BEARINGS (CENTRAL ZONE-NORTH AMERICAN DATUM OF 1927) AND GROUND DISTANCES (US SURVEY FOOT) AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF DESCRIBED TRACT, LYING ON THE NORTH RIGHT OF WAY LINE OF PASEO DEL NORTE, N.E. MARKED BY A FOUND REBAR WITH YELLOW PLASTIC CAP "PS 14733", FROM WHENCE A TIE TO ALBUQUERQUE CONTROL SURVEY MONUMENT "HEAVEN" BEARS S 86°41'21" E, A DISTANCE OF 3,795.04 FEET;  
 THENCE FROM SAID POINT OF BEGINNING, ALONG SAID NORTH RIGHT OF WAY LINE, S 85°51'04" W, A DISTANCE OF 495.72 FEET TO AN ANGLE POINT MARKED BY A FOUND REBAR WITH YELLOW PLASTIC CAP "PS 11164";  
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L16	N 00°00'19" W	12.43'
L17	N 89°59'41" E	36.35'
L18	N 89°59'41" E	14.32'
L19	S 00°01'48" E	10.00'
L20	S 89°59'41" W	14.31'
L21	N 89°59'41" E	14.32'
L22	N 00°00'19" W	10.00'
L23	S 89°59'41" W	14.31'
L24	N 00°00'19" W	9.82'
L25	N 89°59'41" E	10.00'
L26	S 00°00'19" E	9.56'
L27	N 00°00'19" W	27.54'
L28	N 89°59'41" E	10.00'
L29	S 00°00'19" E	27.54'
L30	S 89°59'22" E	13.04'
L31	S 89°39'22" E	13.07'
L32	N 00°12'45" E	20.09'

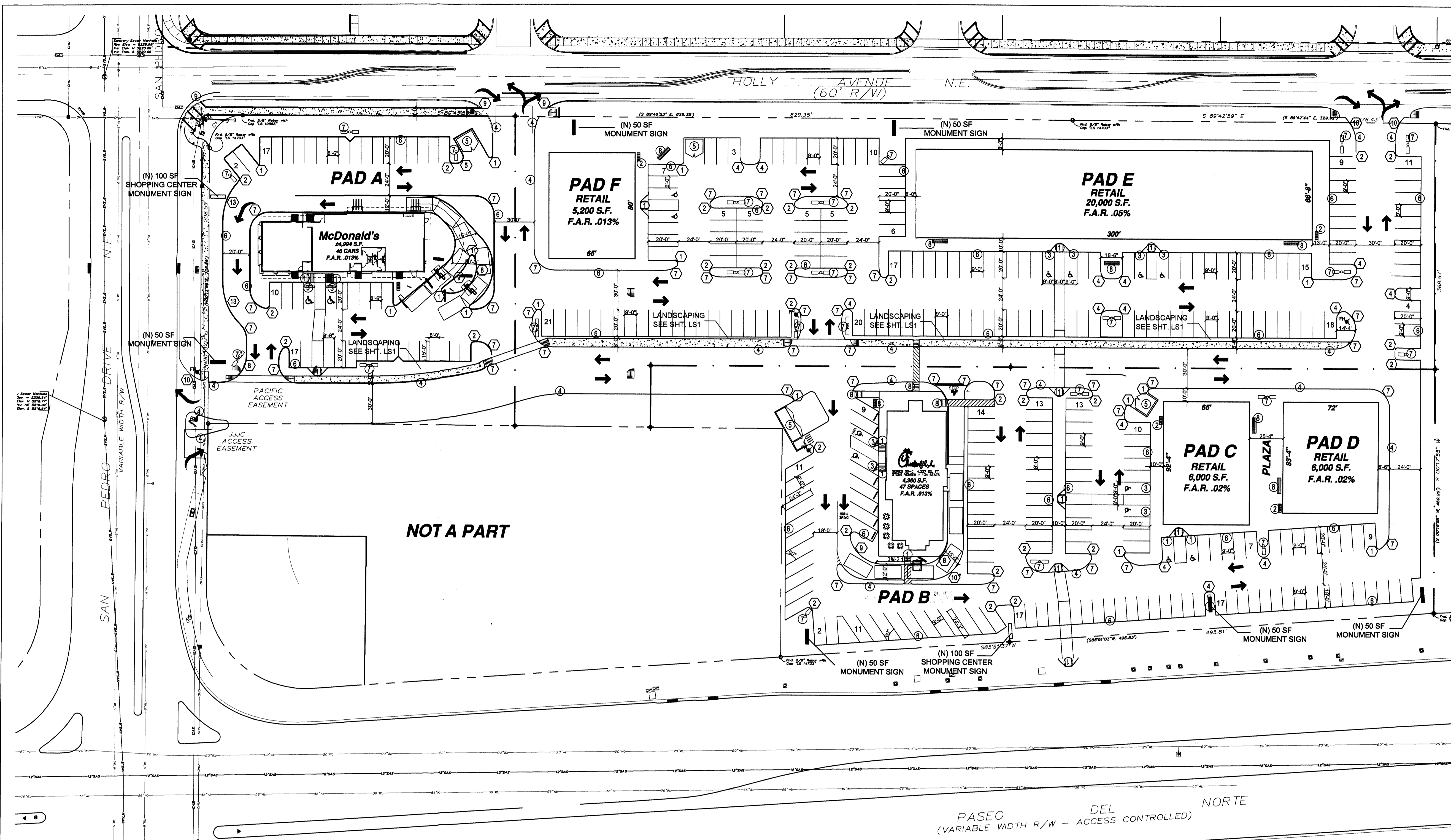
**Curve Table**

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	TANGENT	CHORD LENGTH	CHORD BEARING
C1	360.00'	128.75'	20°29'26"	65.07'	128.06'	S 80°06'03" W
C2	131.62'	41.99'	18°16'43"	21.18'	41.81'	N 80°47'59" E
C3	121.62'	38.64'	18°12'14"	19.49'	38.48'	N 80°50'05" E
C4	370.00'	132.16'	20°27'55"	66.79'	131.46'	S 80°06'48" W

**PRECISION SURVEYS, INC.**

8500-A Jefferson Street, NE  
 Albuquerque, NM 87113

866.422.8011 TOLL FREE  
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**PARKING NOTES:**  
 TYPICAL STANDARD SPACES ARE 9'-0" x 20'-0"  
 TYPICAL SMALL CAR SPACES ARE 7'-0" x 15'-0"  
 TYPICAL HANDICAP SPACES ARE 9'-0" x 20'-0"  
 WITH A 6' WIDE ACCESS AISLE 8'-0" x 20'-0"  
 \* ALL SPACES ARE STANDARD SIZE UNLESS OTHERWISE NOTED \*

**RADIUS:**

① RADIUS = 2'-0"	⑦ RADIUS = 15'-0"
② RADIUS = 3'-0"	⑧ RADIUS = 20'-0"
③ RADIUS = 3'-6"	⑨ RADIUS = 25'-0"
④ RADIUS = 5'-0"	⑩ RADIUS = 28'-0"
⑤ RADIUS = 10'-0"	⑪ RADIUS = 30'-0"
⑥ RADIUS = 12'-0"	⑫ RADIUS = 37'-6"

**CODE REFERENCES**

BUILDING CODE: IBC "2003"  
 MECHANICAL CODE: UMC "2003"  
 PLUMBING CODE: UPC "2003"  
 ELECTRICAL CODE: NEC "2003"  
 ACCESSIBILITY CODE: ANSI "1998"  
 FIRE CODE: IFC "2003"

**CODE DATA**

ADDRESS: NE CORNER OF PASEO DEL NORTE & SAN PEDRO DRIVE

ZONING: SU-2 /IP

OCCUPANCY: A & M

BUILDING TYPE: TYPE IIB

SEISMIC ZONE: 2B

# OF STORIES: ONE

FIRE PROTECTION:

McDONALDS:	UN-SPRINKLED	(4,994 SF)
CHICK-FIL-A:	UN-SPRINKLED	(4,360 SF)
FUTURE PHASE		
PAD C:	UN-SPRINKLED	(6,000 SF)
PAD D:	UN-SPRINKLED	(6,000 SF)
PAD E:	SPRINKLED	(20,000 SF)
PAD F:	UN-SPRINKLED	(5,200 SF)

NOT A PART

REVISION

REV	DATE	BY

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC  
 2325 SAN PEDRO N.E. SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 884-9110 FAX (505) 837-9877

PRELIMINARY  
 NOT FOR  
 CONSTRUCTION

PROJECT NUMBER: \_\_\_\_\_

APPLICATION NUMBER: \_\_\_\_\_

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

Traffic Engineering, Transportation Division	_____	Date
ABCWUA	_____	Date
Parks and Recreation Department	_____	Date
City Engineer	_____	Date
Environmental Health Department	_____	Date
Solid Waste Management	_____	Date
DRB Chairperson, Planning Department	_____	Date

\* Environmental Health, if necessary

PROJECT TITLE: DEL NORTE PLAZA  
 SAN PEDRO & PASEO DEL NORTE  
 ALBUQUERQUE, NEW MEXICO

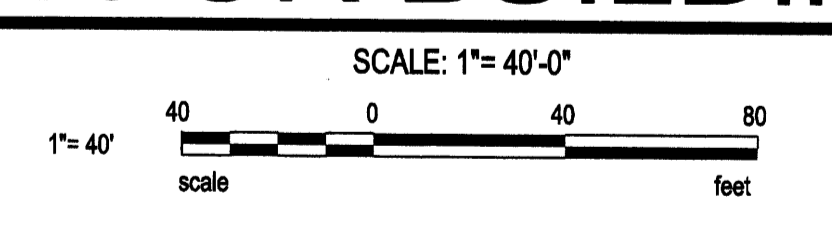
PROJECT MANAGER: \_\_\_\_\_

DRAWN BY: WRS

JOB NO. 0036A

SHEET TITLE: SITE PLAN FOR BLDG. PERMIT

**SITE PLAN FOR BUILDING PERMIT**



**SITE LEGEND:**

---	EXISTING PROPERTY LINE	▤	PROPOSED BIKE RACK
---	PROPOSED CURB	□	PROPOSED PARKING LOT LIGHTING
---	PROPOSED SIDEWALK	▨	PROPOSED OUTDOOR SEATING EA. BENCH SEATS FOUR (4)
---	PROPOSED CROSSWALK	↩	VEHICLE INGRESS/EGRESS
---	PROPOSED FIRE HYDRANT		

**SITE DATA:**

PROPOSED USAGE: C-2 USE

LOT AREA: 374,664 SF (8.6 ACRES)

LANDSCAPE REQUIRED: 6.5%

**OCCUPANT LOAD:**

McDONALDS - 5,322 SF/15 = 354 PERSONS  
 CHICK-FIL-A - 4,360 SF/15 = 291 PERSONS

**FUTURE PHASE (PROPOSED RETAIL)**

PAD C - 6,000 SF/30 = 200 PERSONS  
 PAD D - 6,000 SF/30 = 200 PERSONS  
 PAD E - 20,000 SF/30 = 667 PERSONS  
 PAD F - 5,200 SF/30 = 173 PERSONS

**PARKING DATA:**

SITE DATA	BUILDING AREA	PARKING REQD.	PARKING PROVIDED
PAD A	4,994 S.F.	25	46
PAD B	4,360 S.F.	22	47
PAD C	6,000 S.F.	30	44
PAD D	6,000 S.F.	30	44
PAD E	20,000 S.F.	80	90
PAD F	5,200 S.F.	26	51

**PARKING DATA CONT:**

McDONALDS - H.C.PKNG. REQD. 1 SPACE - PROVIDED 2 SPACES  
 MOTORCYCLE PKNG. REQD. 1 SPACE - PROVIDED 1 SPACE  
 BICYCLE SPACES REQD. 2 SPACES - PROVIDED 5 SPACES

CHICK-FIL-A - H.C.PKNG. REQD. 1 SPACE - PROVIDED 2 SPACES  
 MOTORCYCLE PKNG. REQD. 1 SPACE - PROVIDED 1 SPACE  
 BICYCLE SPACES REQD. 2 SPACES - PROVIDED 5 SPACES

**FUTURE PHASE (PROPOSED RETAIL)**

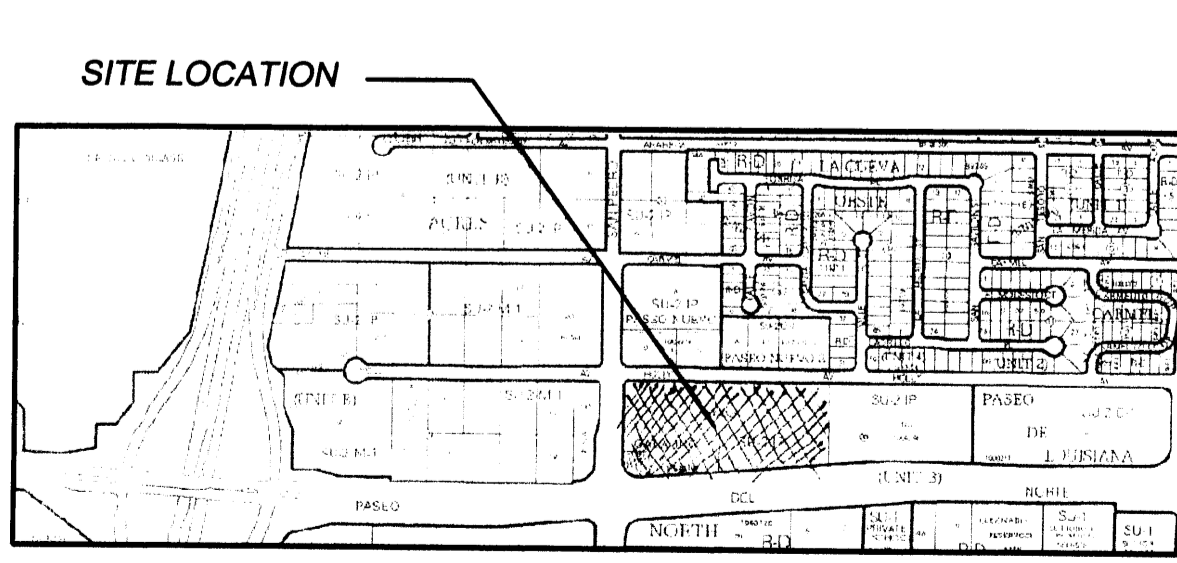
PAD C - H.C.PKNG. REQD. 2 SPACES - PROVIDED 2 SPACES  
 MOTORCYCLE PKNG. REQD. 1 SPACE - PROVIDED 1 SPACE  
 BICYCLE SPACES REQD. 2 SPACES - PROVIDED 5 SPACES  
 SITTING SPACES 4 SEATS - PROVIDED 1 BENCH (SEATS 4)

PAD D - H.C.PKNG. REQD. 2 SPACES - PROVIDED 2 SPACES  
 MOTORCYCLE PKNG. REQD. 1 SPACE - PROVIDED 1 SPACE  
 BICYCLE SPACES REQD. 2 SPACES - PROVIDED 5 SPACES  
 SITTING SPACES 4 SEATS - PROVIDED 1 BENCH (SEATS 4)

PAD E - H.C.PKNG. REQD. 4 SPACES - PROVIDED 4 SPACES  
 MOTORCYCLE PKNG. REQD. 3 SPACES - PROVIDED 3 SPACES  
 BICYCLE SPACES REQD. 4 SPACES - PROVIDED 5 SPACES  
 SITTING SPACES 12 SEATS - PROVIDED 3 BENCHES (1 SEATS 4)

PAD F - H.C.PKNG. REQD. 2 SPACES - PROVIDED 2 SPACES  
 MOTORCYCLE PKNG. REQD. 3 SPACES - PROVIDED 3 SPACES  
 BICYCLE SPACES REQD. 2 SPACES - PROVIDED 5 SPACES  
 SITTING SPACES 4 SEATS - PROVIDED 1 BENCH (SEATS 4)

○ DENOTES A SITE DETAIL, REFER TO SHEET AS3



VICINITY MAP

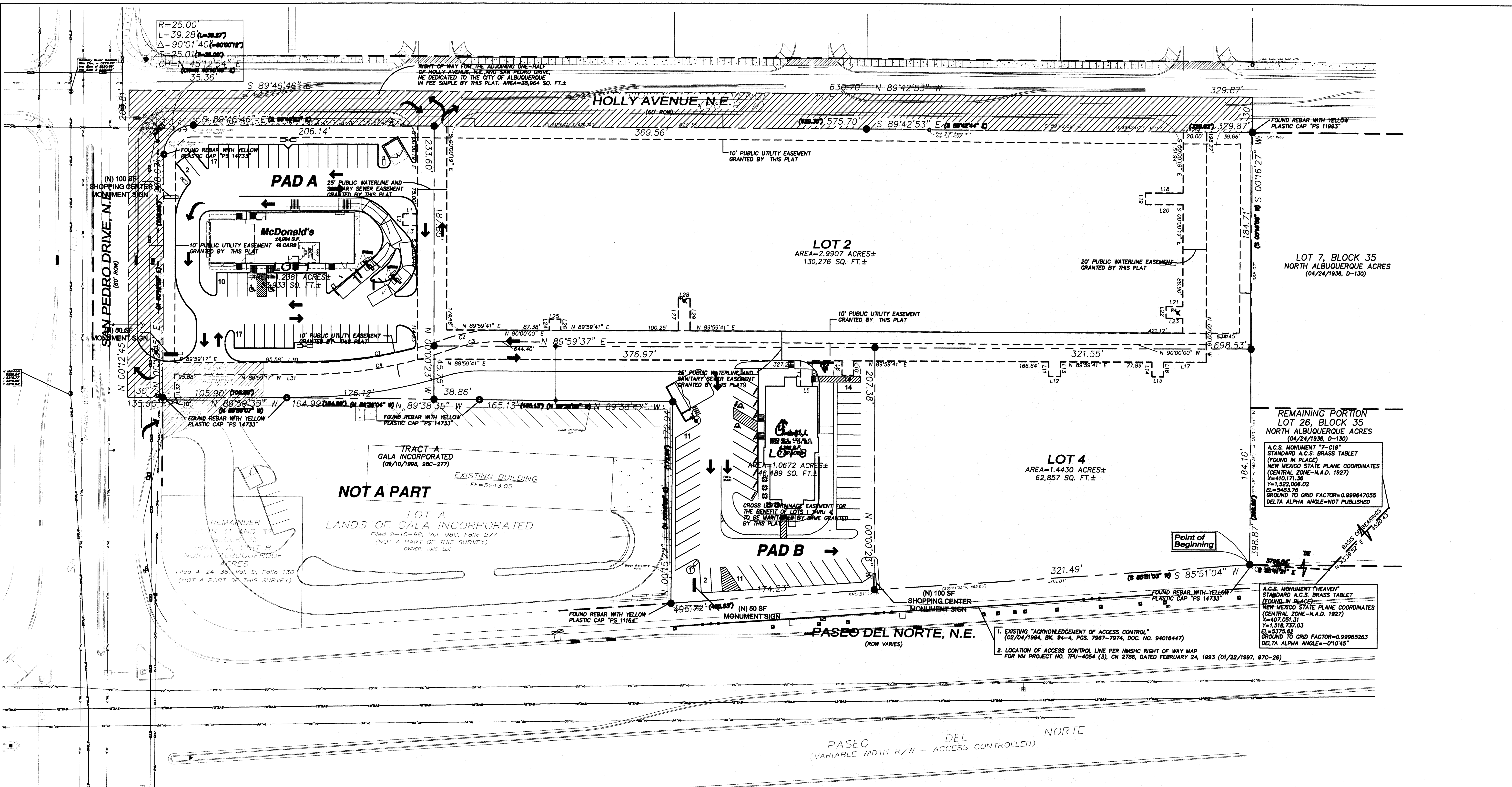
DRB SUBMITTAL

DATE: 11.26.2007

SCALE: 1" = 40'-0"

sheet- **AS1**





REV	DATE	BY	REVISION
1			
2			
3			
4			
5			

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC  
 2325 SAN PEDRO N.E., SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 884-9110 FAX (505) 837-9877

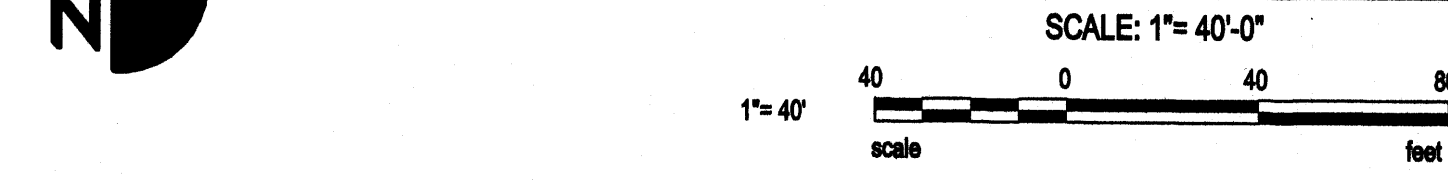
PRELIMINARY  
 NOT FOR  
 CONSTRUCTION

PROJECT TITLE  
**DEL NORTE PLAZA**  
 SAN PEDRO & PASEO DEL NORTE  
 ALBUQUERQUE, NEW MEXICO

PROJECT MANAGER  
 JOB NO. 0536A  
 DRAWN BY: WRS

SHEET TITLE  
**SITE PLAN FOR SUBDIVISION**

# SITE PLAN FOR SUBDIVISION



**SITE LEGEND:**

	EXISTING PROPERTY LINE		PROPOSED BIKE RACK
	PROPOSED CURB		PROPOSED PARKING LOT LIGHTING
	PROPOSED SIDEWALK		PROPOSED OUTDOOR SEATING EA. BENCH SEATS FOUR (4)
	PROPOSED CROSSWALK		VEHICLE INGRESS/EGRESS
	PROPOSED FIRE HYDRANT		

**PARKING DATA:**

McDONALDS - H.C. PRKING, REQD. 1 SPACE - PROVIDED 2 SPACES  
 MOTORCYCLE PRKING, REQD. 1 SPACE - PROVIDED 1 SPACE  
 BICYCLE SPACES REQD. 2 SPACES - PROVIDED 5 SPACES

CHICK-FIL-A - H.C. PRKING, REQD. 1 SPACE - PROVIDED 2 SPACES  
 MOTORCYCLE PRKING, REQD. 1 SPACE - PROVIDED 1 SPACE  
 BICYCLE SPACES REQD. 2 SPACES - PROVIDED 5 SPACES

SITE DATA	BUILDING AREA	PARKING REQD.	PARKING PROVIDED
PAD A	4,994 S.F.	25	46
PAD B	4,380 S.F.	22	47

**SITE DATA TABLE**

PROPOSED PARCEL	USE	ZONING	MAX. BLDG. HEIGHT	F.A.R.
PAD A	RESTAURANT	C-2	30 FEET	.013%
PAD B	RESTAURANT	C-2	30 FEET	.013%
PAD C	RETAIL	C-2	30 FEET	.02%
PAD D	RETAIL	C-2	30 FEET	.02%
PAD E	RETAIL	C-2	30 FEET	.05%
PAD F	RETAIL	C-2	30 FEET	.013%

**NOTES:**

- PEDESTRIAN CONNECTIONS SHALL BE PER THE OFF-STREET PARKING REQUIREMENTS OF THE ZONING CODE.
- MINIMUM BUILDING SETBACKS ARE DESIGNATED ON THE SITE PLAN FOR BUILDING PERMIT.

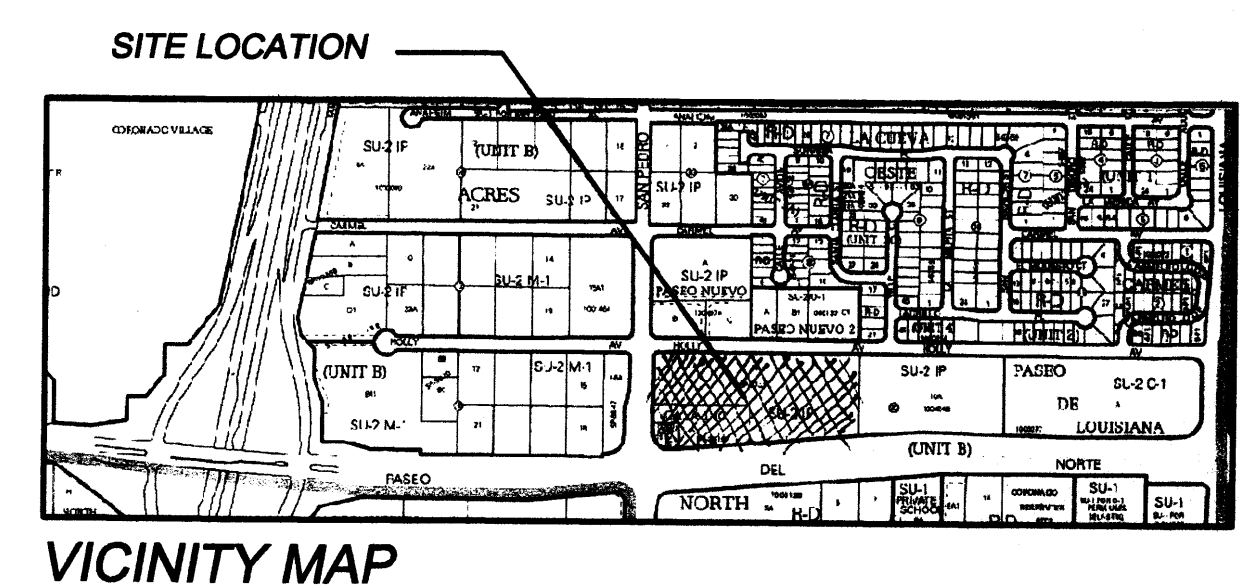
PROJECT NUMBER: \_\_\_\_\_

APPLICATION NUMBER: \_\_\_\_\_

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL**

Traffic Engineering, Transportation Division	_____	Date
ABCUWA	_____	Date
Parks and Recreation Department	_____	Date
City Engineer	_____	Date
Environmental Health Department	_____	Date
Solid Waste Management	_____	Date
DRB Chairperson, Planning Department	_____	Date

\* Environmental Health, if necessary



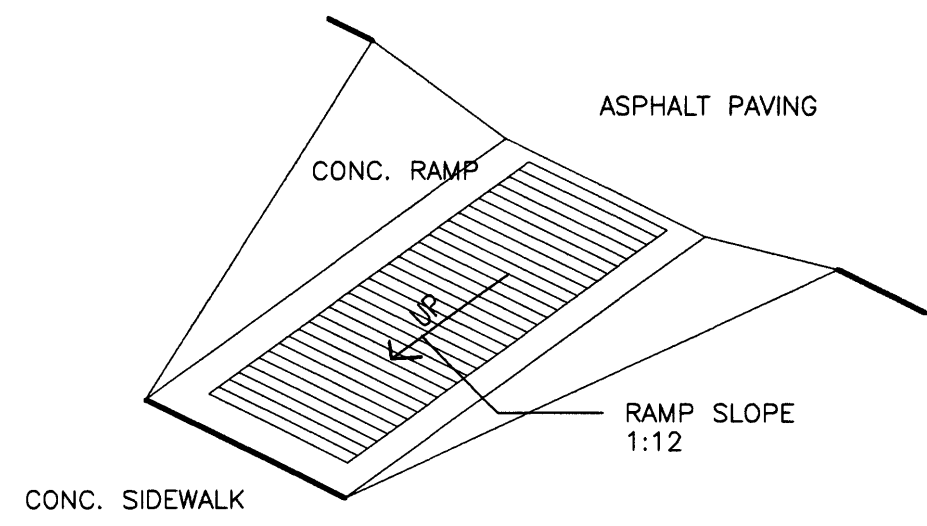
VICINITY MAP

DRB SUBMITTAL

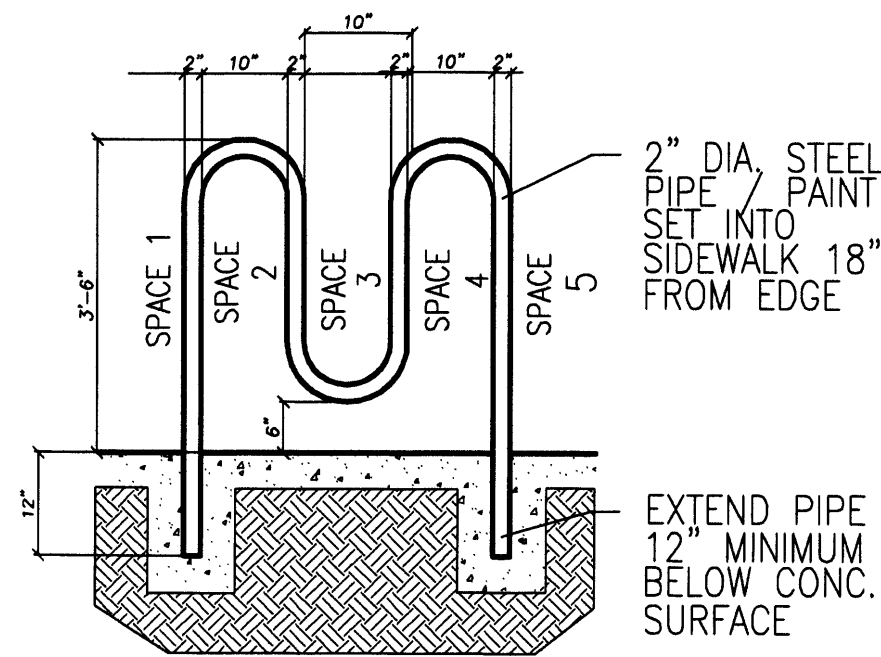
DATE: 11.26.2007

SCALE: 1"=40'-0"

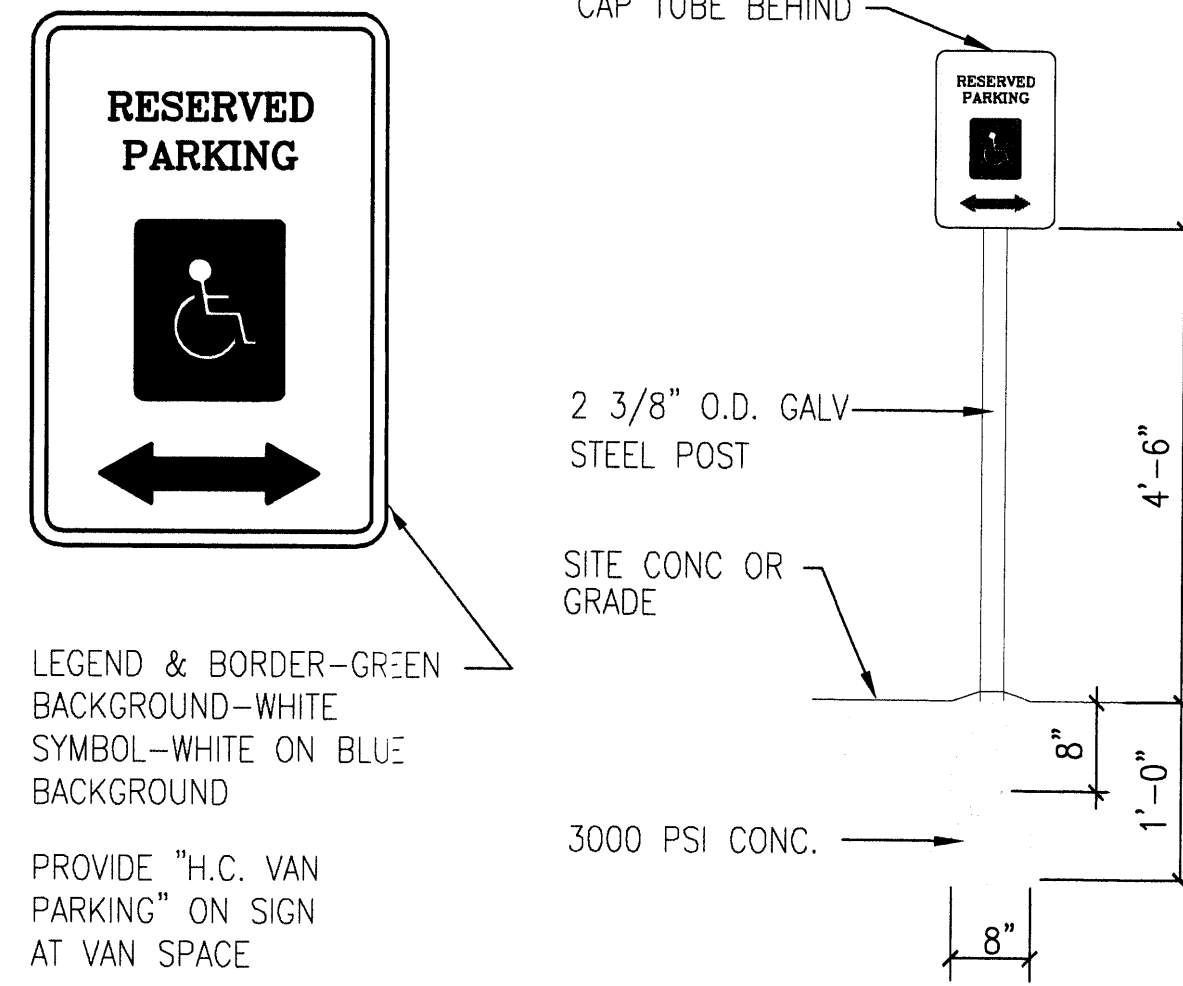
sheet: **AS2** of



**1 HANDICAP RAMP DETAIL**  
AS3 SCALE: N.T.S.

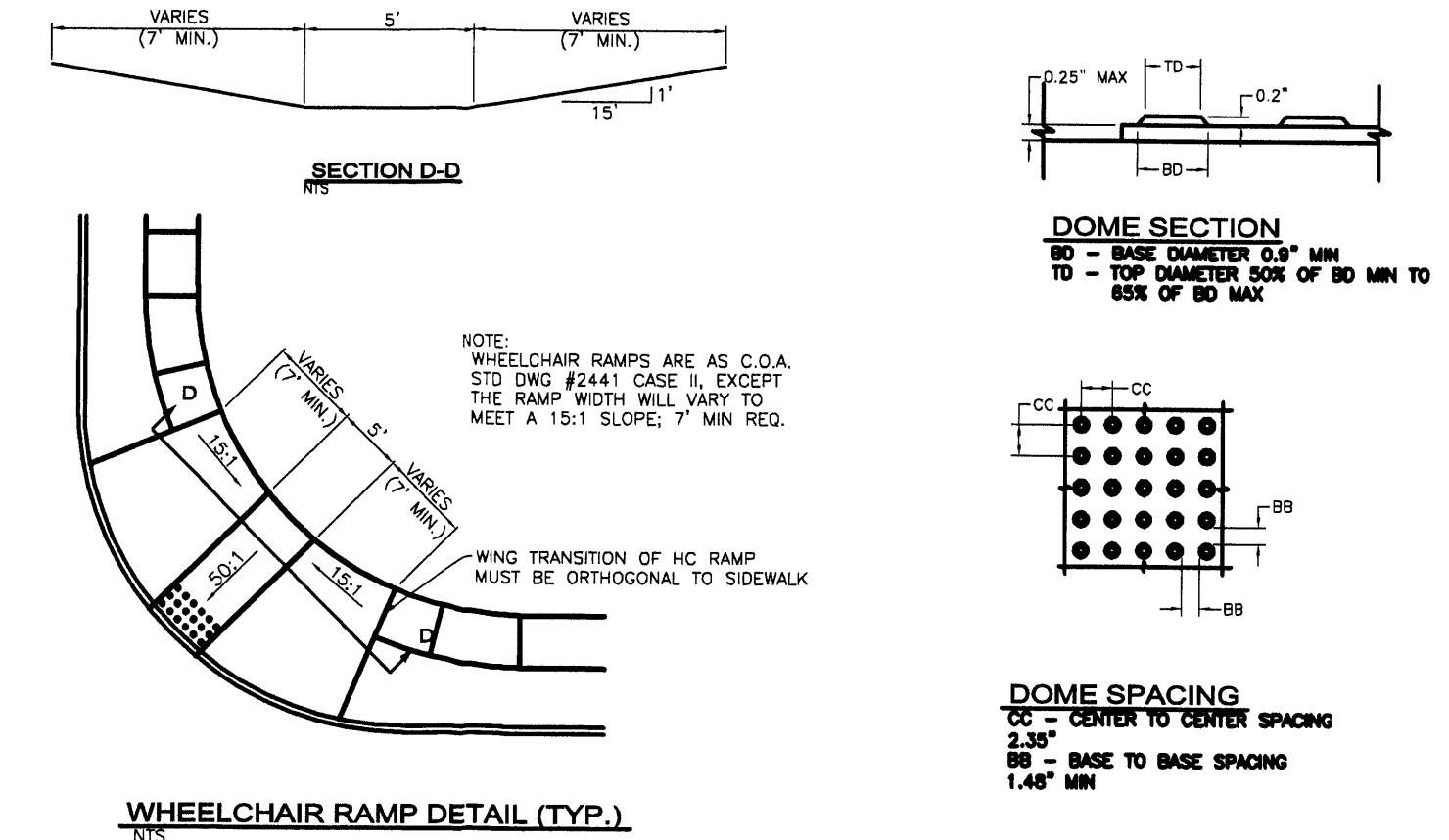


**2 BIKE RACK DETAIL**  
AS3 SCALE: N.T.S.

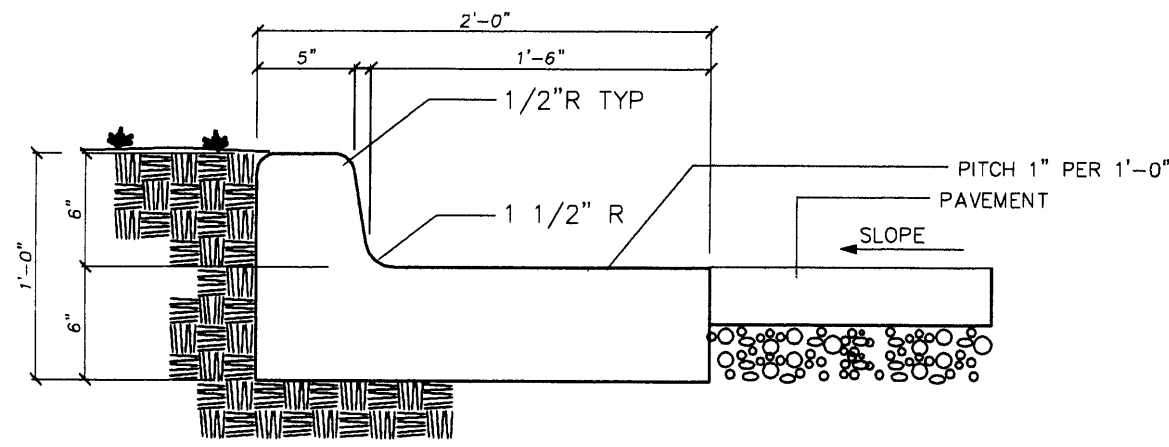


LEGEND & BORDER-GREEN  
BACKGROUND-WHITE  
SYMBOL-WHITE ON BLUE  
BACKGROUND  
PROVIDE "H.C. VAN  
PARKING" ON SIGN  
AT VAN SPACE  
\* PER ANSI REQUIREMENTS

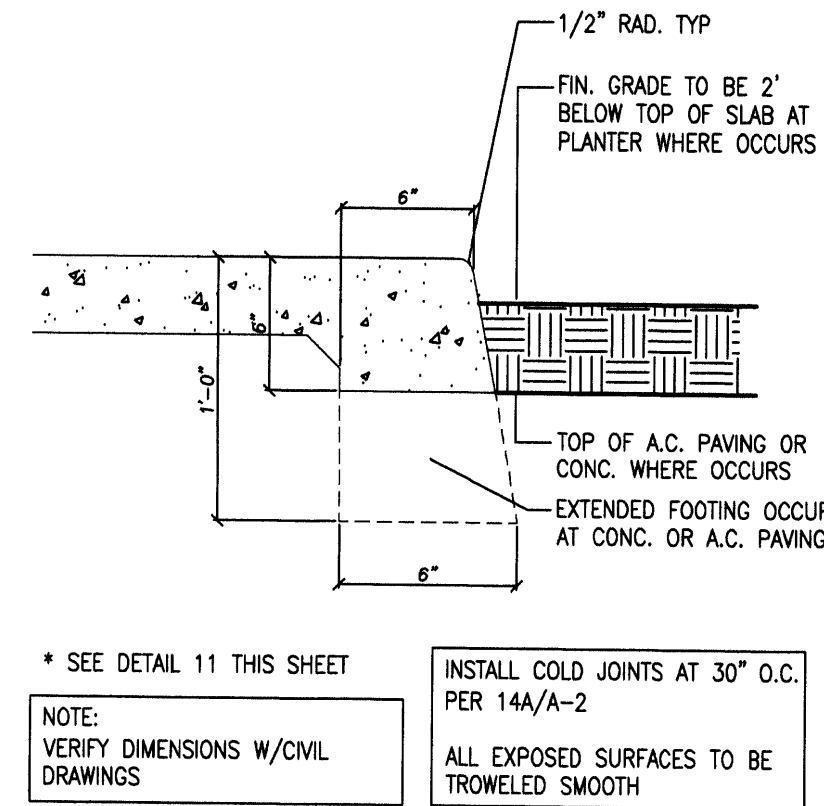
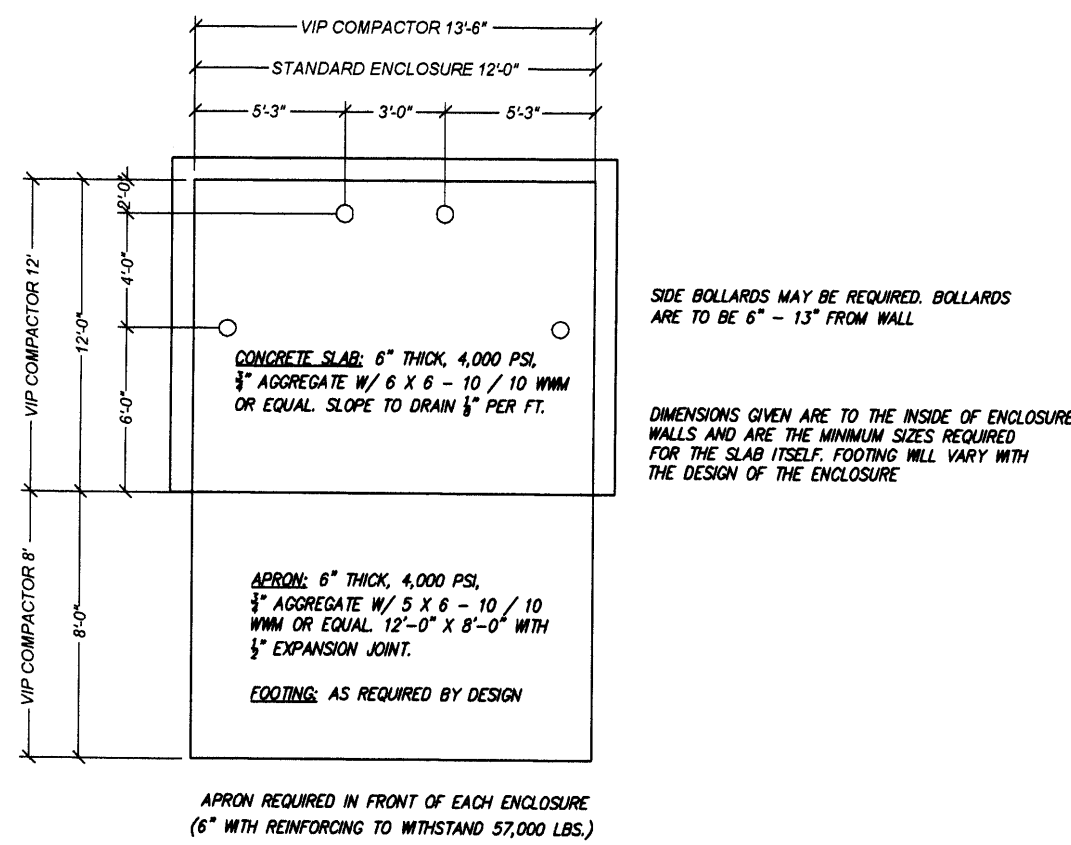
**3 ACCESSIBLE PARKING SIGN**  
AS3 SCALE: N.T.S.



**9 RAMP DETAIL**  
AS3 SCALE: N.T.S.

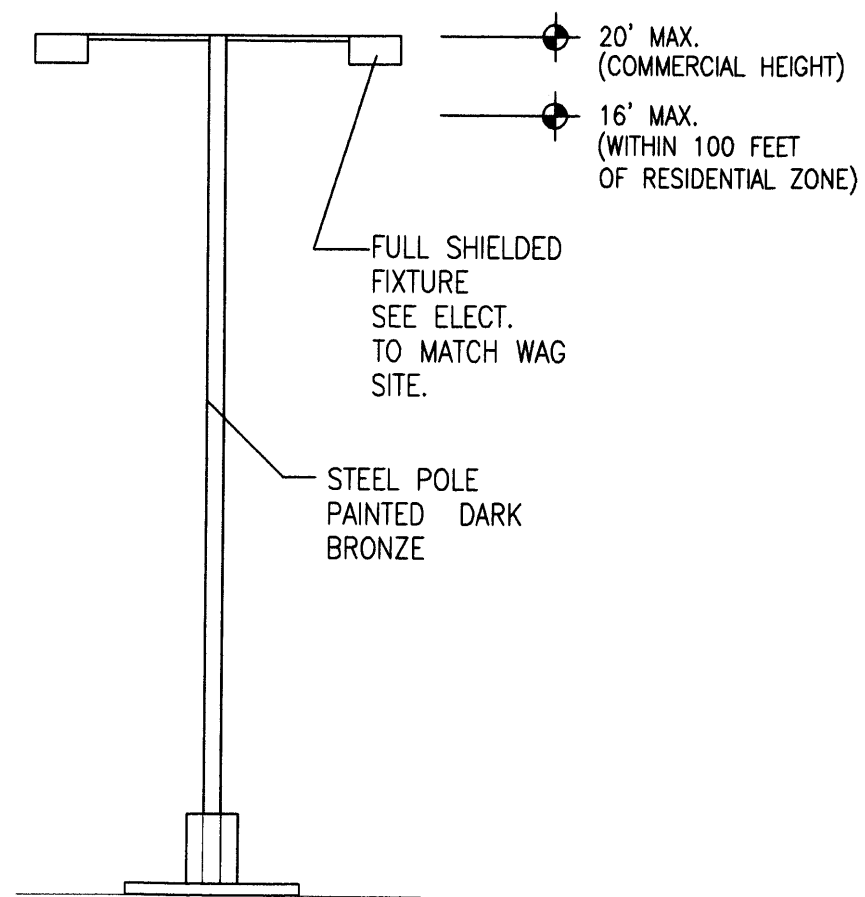


**4 CURB & GUTTER**  
AS3 SCALE: N.T.S.

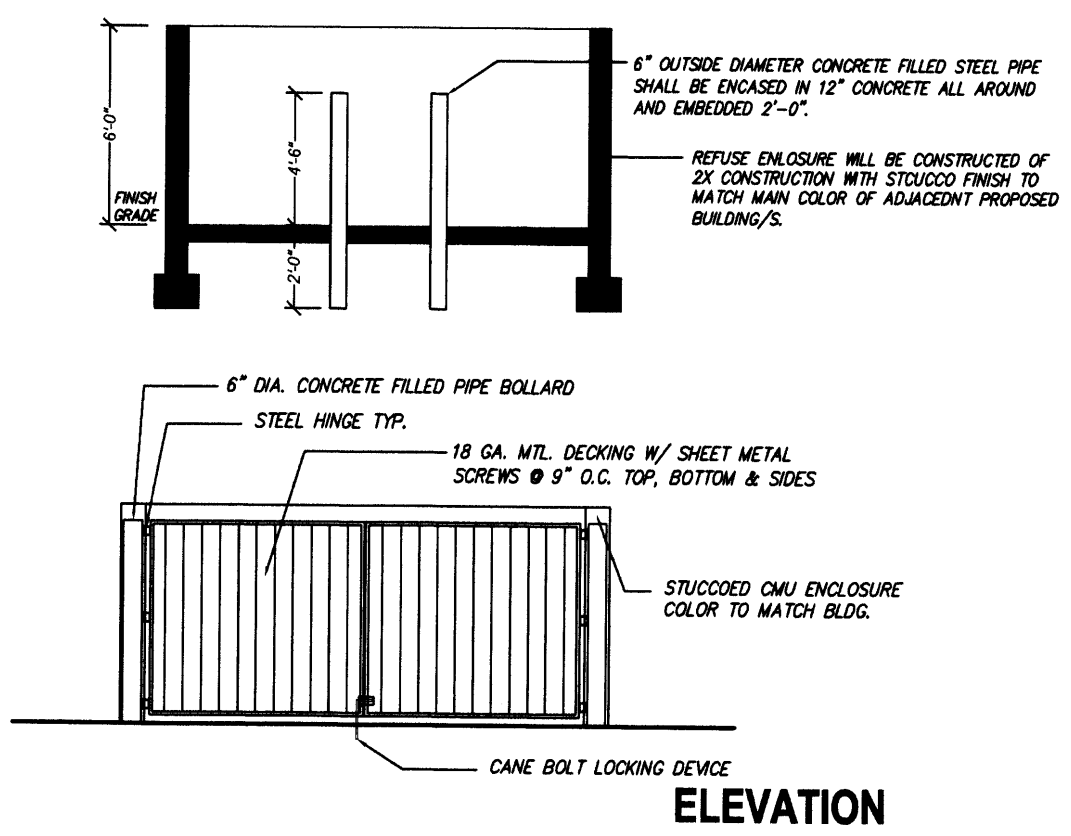


\* SEE DETAIL 11 THIS SHEET  
NOTE:  
VERIFY DIMENSIONS W/CIVIL  
DRAWINGS  
INSTALL COLD JOINTS AT 30" O.C.  
PER 14A/A-2  
ALL EXPOSED SURFACES TO BE  
TROWELED SMOOTH

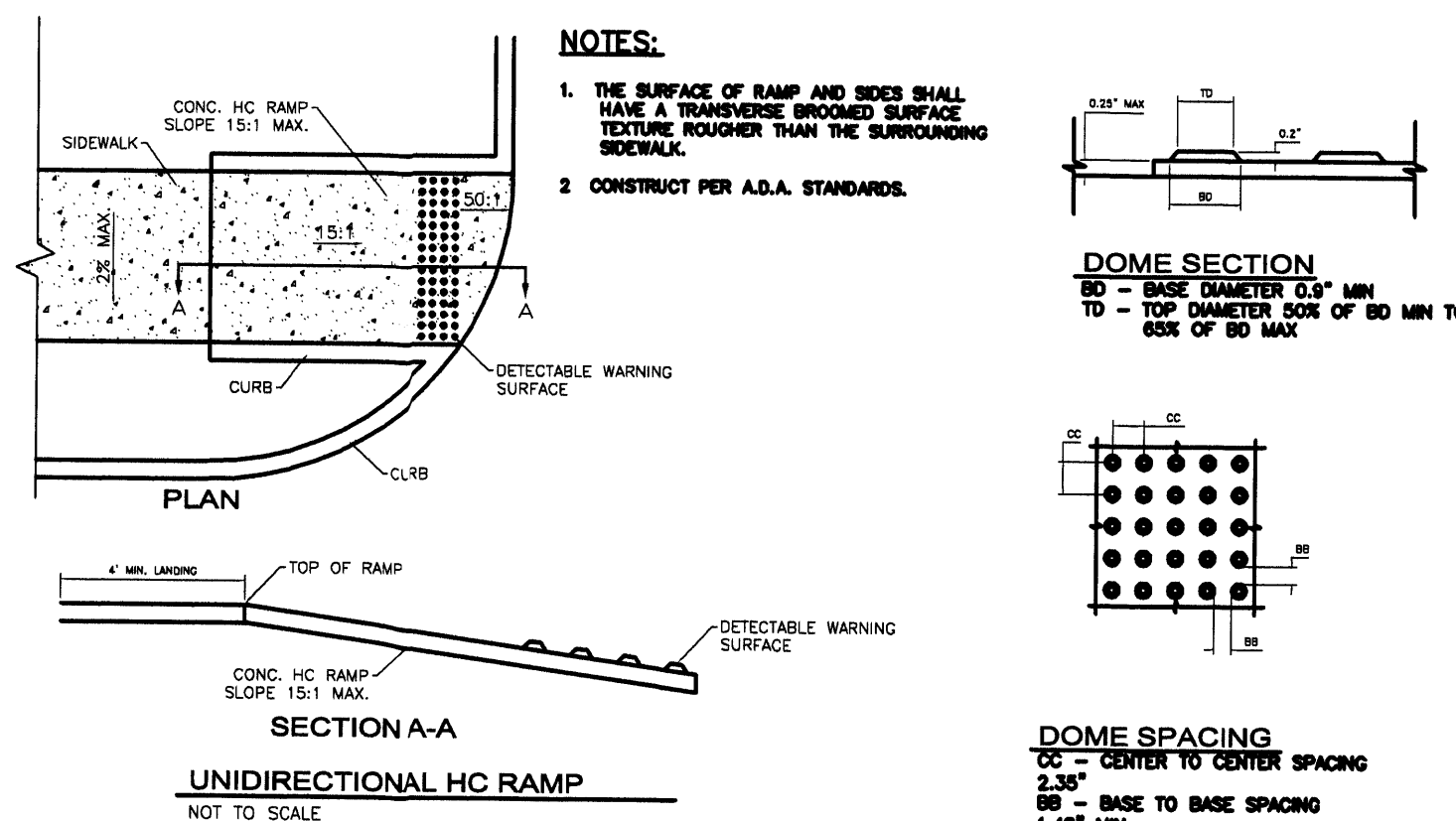
**6 CURB DETAIL**  
AS3 SCALE: N.T.S.



**7 SITE LIGHTING DETAIL**  
AS3 SCALE: N.T.S.



**5 TRASH ENCLOSURE**  
AS3 SCALE: N.T.S.



**8 RAMP DETAIL**  
AS3 SCALE: N.T.S.

NOTE:  
REFER TO SHEET AS1 FOR SITE DETAIL  
LOCATION.

**KEY NOTES**

- HANDICAP RAMP DETAIL (SEE 1/AS3)
- BIKE RACK (SEE 2/AS3)
- ACCESSIBLE PARKING SIGN (SEE 3/AS3)
- CURB & GUTTER (SEE 4/AS3)
- TRASH ENCLOSURE (SEE 5/AS3)
- CURB /SIDEWALK DETAIL (SEE 6/AS3)
- SITE LIGHTING, 20' MAX HEIGHT (SEE 7/AS3)
- SITE BENCH SEATING

REV	DATE	BY	REVISION
1			
2			
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7			
8			
9			

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC  
2325 SAN PEDRO N.E., SUITE 2-B  
ALBUQUERQUE, NEW MEXICO 87110  
PHONE (505) 884-9110 FAX (505) 837-9877

PRELIMINARY  
NOT FOR  
CONSTRUCTION

PROJECT TITLE  
**DEL NORTE PLAZA**  
SAN PEDRO & PASCO DEL NORTE  
ALBUQUERQUE, NEW MEXICO

PROJECT MANAGER  
JOB NO. 0535A

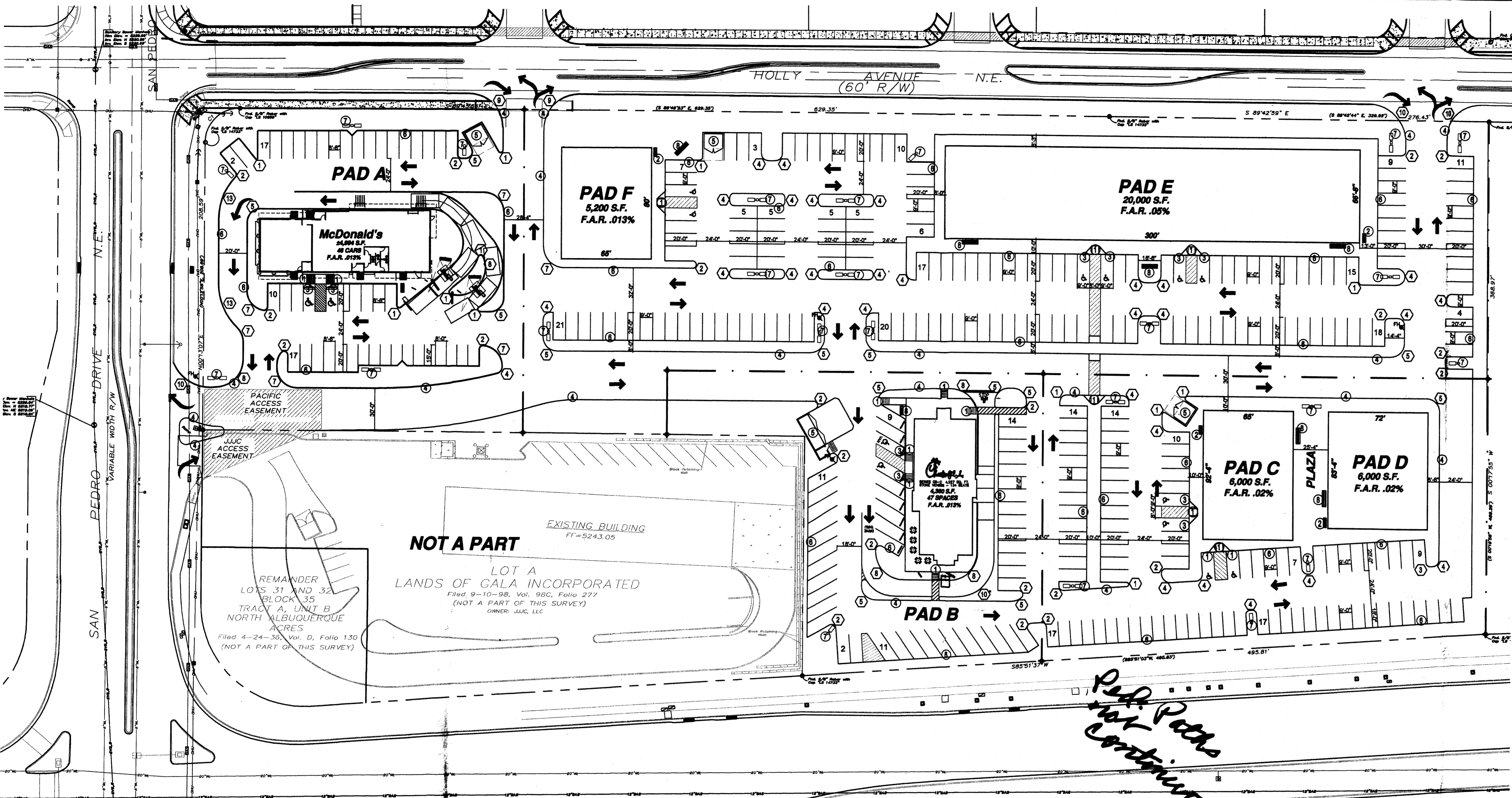
DRAWN BY:  
WRS

SHEET TITLE  
**SITE DETAILS**

DATE:  
11.26.2007

SCALE:  
AS NOTED

sheet-  
**AS3**  
of



**PARKING NOTES:**  
 TYPICAL STANDARD SPACES ARE 8'-0" x 12'-0"  
 TYPICAL SMALL CAR SPACES ARE 7'-0" x 12'-0"  
 TYPICAL HANDICAP SPACES ARE 8'-0" x 12'-0"  
 WITH A 5' WIDE ACCESSIBLE 8'-0" x 12'-0"  
 \* ALL SPACES ARE STANDARD SIZE UNLESS OTHERWISE NOTED \*

- RADIUS:**
- ① RADIUS = 2'-0"
  - ② RADIUS = 3'-0"
  - ③ RADIUS = 3'-6"
  - ④ RADIUS = 5'-0"
  - ⑤ RADIUS = 10'-0"
  - ⑥ RADIUS = 12'-0"
  - ⑦ RADIUS = 15'-0"
  - ⑧ RADIUS = 20'-0"
  - ⑨ RADIUS = 25'-0"
  - ⑩ RADIUS = 28'-0"
  - ⑪ RADIUS = 30'-0"
  - ⑫ RADIUS = 37'-0"

**CODE REFERENCES**

BUILDING CODE: IBC "2003"  
 MECHANICAL CODE: UMC "2003"  
 PLUMBING CODE: UPC "2003"  
 ELECTRICAL CODE: NEC "2005"  
 ACCESSIBILITY CODE: ANSI "1998"  
 FIRE CODE: IFC "2003"

**CODE DATA**

ADDRESS: CORNER OF PASEO DEL NORTE & SAN PEDRO DRIVE

ZONING: SU-2 FOR ~~62,000 SF~~ **IP PERMISSIVE USES**  
 with ~~retail~~ **conditional** uses  
 A & M Per **02ZHE-00185**

OCCUPANCY: TYPE IIB

SEISMIC ZONE: 2B

# OF STORIES: ONE

FIRE PROTECTION:  
 McDONALDS: UN-SPRINKLED (4,994 SF)  
 CHICK-FIL-A: UN-SPRINKLED (4,360 SF)

**FUTURE PHASE**  
 PAD C: UN-SPRINKLED (6,000 SF)  
 PAD D: UN-SPRINKLED (6,000 SF)  
 PAD E: SPRINKLED (20,000 SF)  
 PAD F: UN-SPRINKLED (5,200 SF)

**NOT A PART**

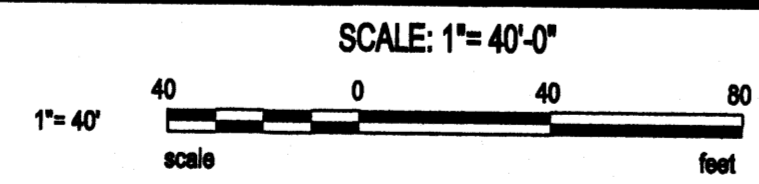
EXISTING BUILDING  
 FF=5243.05

LOT A  
 LANDS OF GALA INCORPORATED  
 Filed 9-10-98, Vol. 98C, Folio 277  
 (NOT A PART OF THIS SURVEY)  
 OWNER: JUC, LLC

REMAINDER  
 LOTS 31 AND 32  
 BLOCK 35  
 TRACT A, UNIT B  
 NORTH ALBUQUERQUE  
 ACRES  
 Filed 4-24-36, Vol. D, Folio 130  
 (NOT A PART OF THIS SURVEY)

PASEO DEL NORTE  
 (VARIABLE WIDTH R/W - ACCESS CONTROLLED)

**SITE PLAN FOR BUILDING PERMIT**



- SITE LEGEND:**
- EXISTING PROPERTY LINE
  - PROPOSED CURB
  - PROPOSED SIDEWALK
  - PROPOSED CROSSWALK
  - PROPOSED FIRE HYDRANT
  - PROPOSED BIKE RACK
  - PROPOSED PARKING LOT LIGHTING
  - PROPOSED OUTDOOR SEATING EA. BENCH SEATS FOUR (4)
  - VEHICLE INGRESS/EGRESS

**SITE DATA:**

PROPOSED USAGE: C-2 USE

LOT AREA: 374,864 SF (8.6 ACRES)

LANDSCAPE REQUIRED: 6.5%

**OCCUPANT LOAD:**

McDONALDS - 5,322 SF/15 = 354 PERSONS  
 CHICK-FIL-A - 4,360 SF/15 = 291 PERSONS

**FUTURE PHASE (PROPOSED RETAIL)**

PAD C - 6,000 SF/30 = 200 PERSONS  
 PAD D - 6,000 SF/30 = 200 PERSONS  
 PAD E - 20,000 SF/30 = 667 PERSONS  
 PAD F - 5,200 SF/30 = 173 PERSONS

**PARKING DATA:**

SITE DATA	BUILDING AREA	PARKING REQD.	PARKING PROVIDED
PAD A	4,994 S.F.	25	46
PAD B	4,360 S.F.	22	47
PAD C	6,000 S.F.	30	44
PAD D	6,000 S.F.	30	44
PAD E	20,000 S.F.	80	90
PAD F	5,200 S.F.	26	51

**PARKING DATA CONT:**

McDONALDS - H.C. PRKNG. REQD. 1 SPACE - PROVIDED 2 SPACES  
 MOTORCYCLE PRKNG. REQD. 1 SPACE - PROVIDED 1 SPACE  
 BICYCLE SPACES REQD. 2 SPACES - PROVIDED 5 SPACES

CHICK-FIL-A - H.C. PRKNG. REQD. 1 SPACE - PROVIDED 1 SPACE  
 MOTORCYCLE PRKNG. REQD. 1 SPACE - PROVIDED 1 SPACE  
 BICYCLE SPACES REQD. 2 SPACES - PROVIDED 5 SPACES

**FUTURE PHASE (PROPOSED RETAIL)**

PAD C - H.C. PRKNG. REQD. 2 SPACES - PROVIDED 2 SPACES  
 MOTORCYCLE PRKNG. REQD. 1 SPACE - PROVIDED 1 SPACE  
 BICYCLE SPACES REQD. 2 SPACES - PROVIDED 5 SPACES  
 SITTING SPACES 4 SEATS - PROVIDED 1 BENCH (SEATS 4)

PAD D - H.C. PRKNG. REQD. 2 SPACES - PROVIDED 2 SPACES  
 MOTORCYCLE PRKNG. REQD. 1 SPACE - PROVIDED 1 SPACE  
 BICYCLE SPACES REQD. 2 SPACES - PROVIDED 5 SPACES  
 SITTING SPACES 4 SEATS - PROVIDED 1 BENCH (SEATS 4)

PAD E - H.C. PRKNG. REQD. 4 SPACES - PROVIDED 4 SPACES  
 MOTORCYCLE PRKNG. REQD. 3 SPACES - PROVIDED 3 SPACES  
 BICYCLE SPACES REQD. 4 SPACES - PROVIDED 5 SPACES  
 SITTING SPACES 12 SEATS - PROVIDED 3 BENCHES (1 SEATS 4)

PAD F - H.C. PRKNG. REQD. 2 SPACES - PROVIDED 2 SPACES  
 MOTORCYCLE PRKNG. REQD. 3 SPACES - PROVIDED 3 SPACES  
 BICYCLE SPACES REQD. 2 SPACES - PROVIDED 5 SPACES  
 SITTING SPACES 4 SEATS - PROVIDED 1 BENCH (SEATS 4)

○ DENOTES A SITE DETAIL, REFER TO SHEET AS3

**APPROVED BY DRB**

PROJECT NUMBER: **SPS x SPB**

APPLICATION NUMBER: **11/28/07**

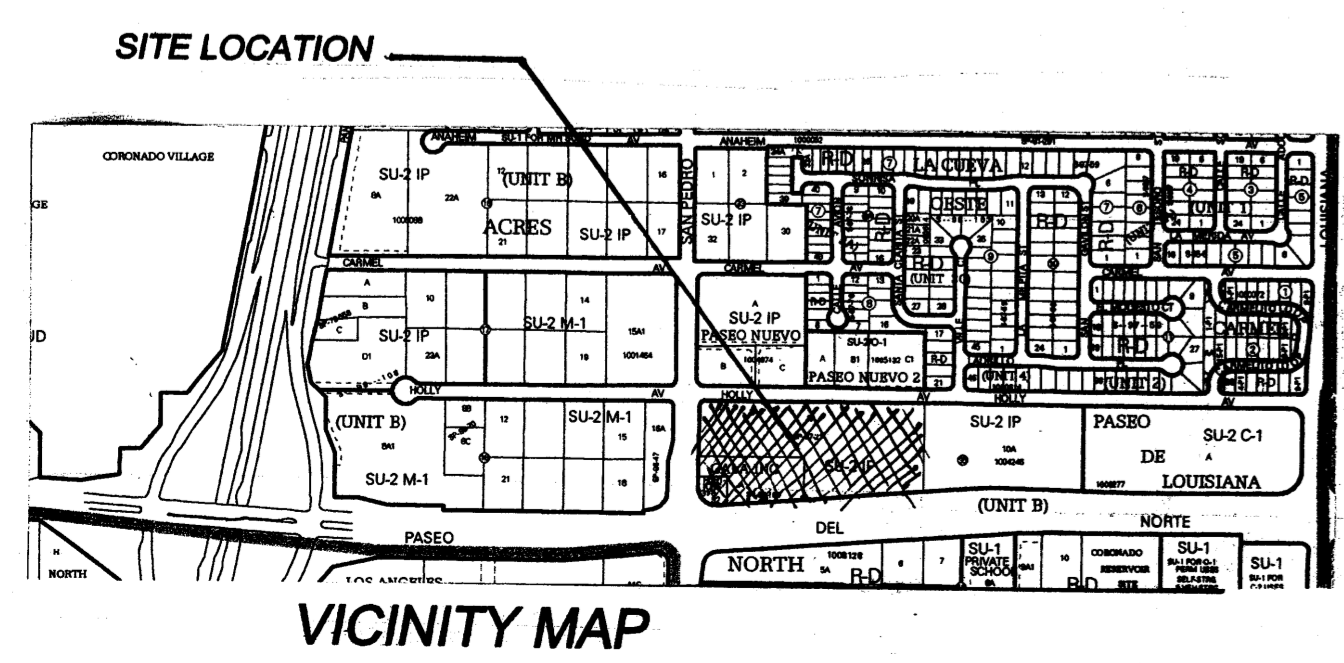
This plan is consistent with the specific site plan and site plan approval conditions in the Official Zoning Ordinance and the findings and conditions in the Official Resolution of Decision and the

is an Infrastructure List required? ( ) YES ( ) NO If yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL**

Department	Date
Traffic Engineering, Transportation Division	
Water Utility Department	
Parks and Recreation Department	
City Engineer	
Environmental Health Department	
Solid Waste Management	11/13/07
DRB Chairperson, Planning Department	

\* Environmental Health, if necessary



REVISION

BY

DATE

REV

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC  
 2325 SAN PEDRO N.E. SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 884-9110 FAX (505) 837-9877

PRELIMINARY  
 NOT FOR  
 CONSTRUCTION

PROJECT TITLE  
**DEL NORTE PLAZA**  
 SAN PEDRO & PASEO DEL NORTE  
 ALBUQUERQUE, NEW MEXICO

PROJECT MANAGER  
 JOB NO. 0538A

DRAWN BY  
 WRS

SHEET TITLE  
**SITE PLAN FOR BLDG. PERMIT**

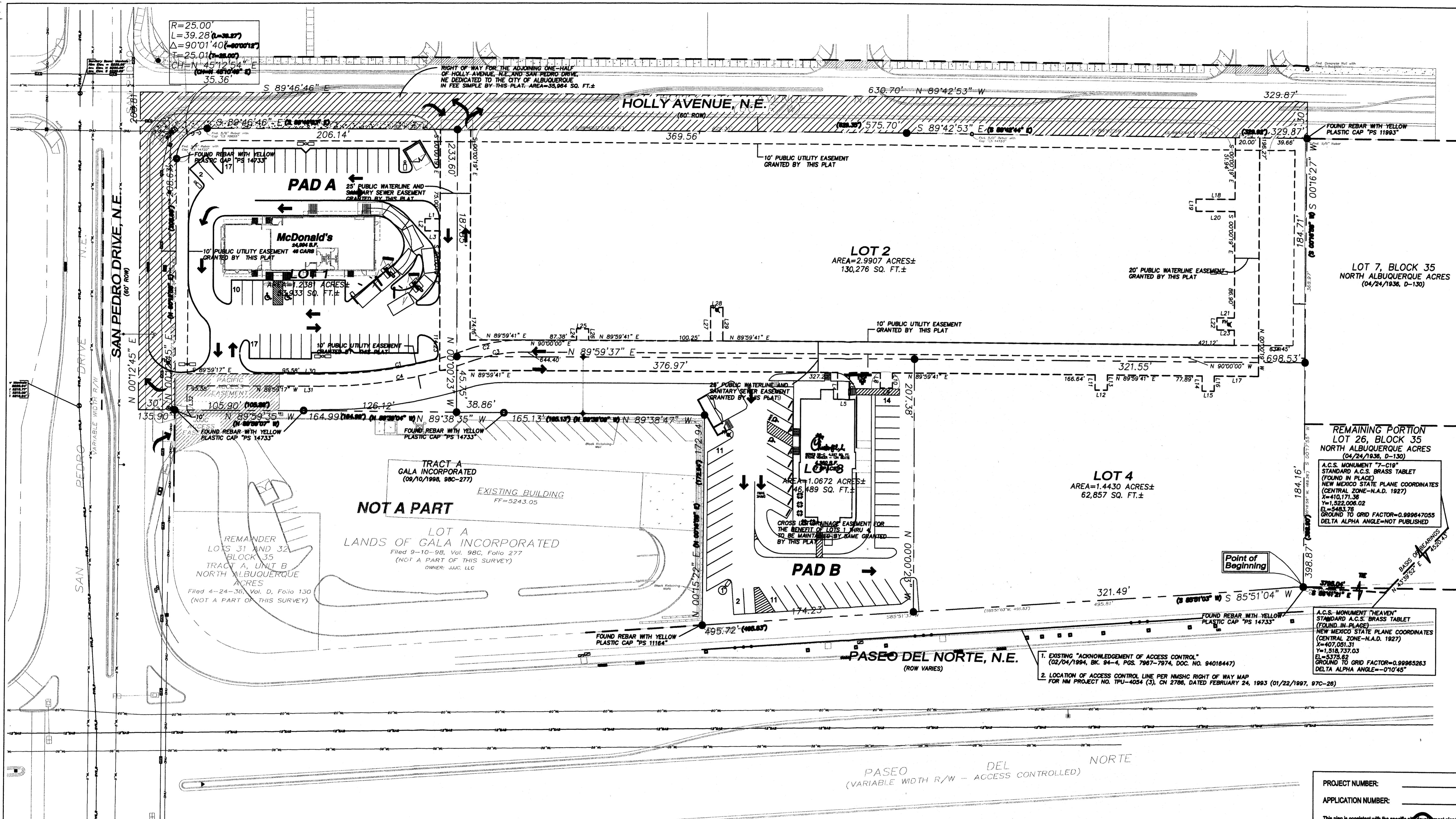
DATE: 11.13.2007

SCALE: 1"=40'-0"

sheet: **AS1**

of

DRB SUBMITTAL



REV	DATE	BY	REVISION
1			
2			
3			
4			
5			

**GEORGE RAINHART ARCHITECT AND ASSOCIATES PC**  
 2325 SAN PEDRO N.E. SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 884-9110 FAX (505) 837-9877

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

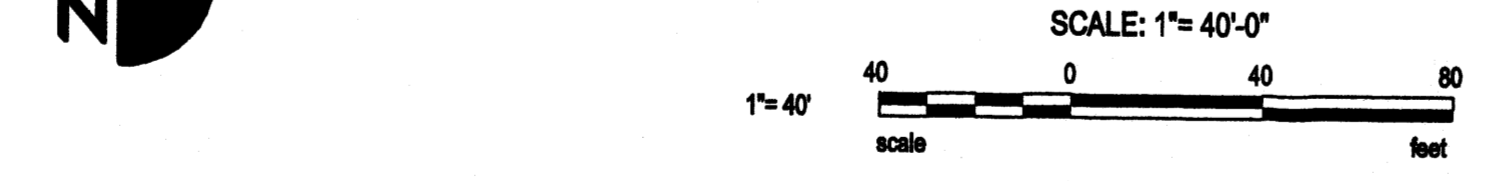
**PROJECT TITLE:** DEL NORTE PLAZA  
 SAN PEDRO & PASO DEL NORTE  
 ALBUQUERQUE, NEW MEXICO

**PROJECT MANAGER:** [Signature]  
**JOB NO.:** 0539A  
**DRAWN BY:** WRS  
**SHEET TITLE:** SITE PLAN FOR SUBDIVISION

**DATE:** 11.13.07  
**SCALE:** 1"=40'-0"

**AS2**  
of

## SITE PLAN FOR SUBDIVISION



**SITE LEGEND:**

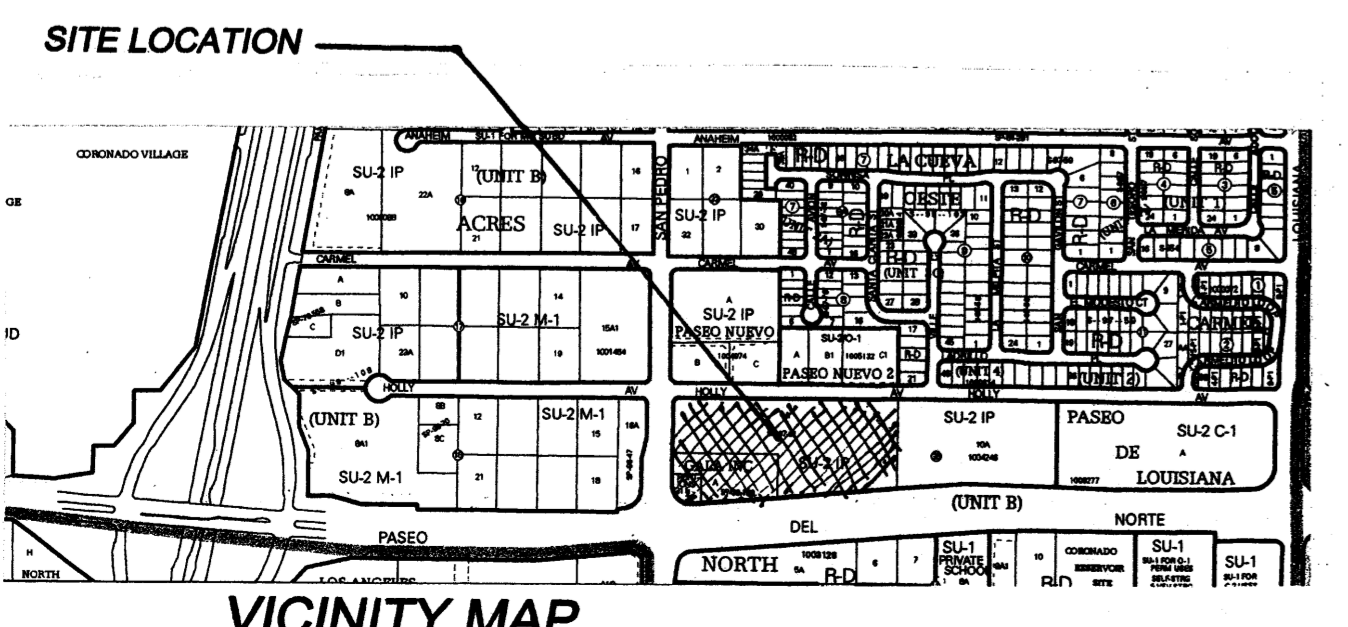
—	EXISTING PROPERTY LINE	▣	PROPOSED BIKE RACK
—	PROPOSED CURB	□	PROPOSED PARKING LOT LIGHTING
—	PROPOSED SIDEWALK	▨	PROPOSED OUTDOOR SEATING EA. BENCH SEATS FOUR (4)
▨	PROPOSED CROSSWALK	↔	VEHICLE INGRESS/EGRESS
FH	PROPOSED FIRE HYDRANT		

**PARKING DATA:**

McDONALDS - H.C. PKING. REQD. 1 SPACE - PROVIDED 2 SPACES  
 MOTORCYCLE PKING. REQD. 1 SPACE - PROVIDED 1 SPACE  
 BICYCLE SPACES REQD. 2 SPACES - PROVIDED 5 SPACES

CHICK-FIL-A - H.C. PKING. REQD. 1 SPACE - PROVIDED 2 SPACES  
 MOTORCYCLE PKING. REQD. 1 SPACE - PROVIDED 1 SPACE  
 BICYCLE SPACES REQD. 2 SPACES - PROVIDED 5 SPACES

SITE DATA	BUILDING AREA	PARKING REQD.	PARKING PROVIDED
PAD A	4,994 S.F.	25	46
PAD B	4,360 S.F.	22	47



**PROJECT NUMBER:** \_\_\_\_\_  
**APPLICATION NUMBER:** \_\_\_\_\_

This plan is consistent with the specific site development plan approved by the Engineering Commission (EC) on \_\_\_\_\_ and the findings and conditions in the Official Notification of Decision are satisfied.

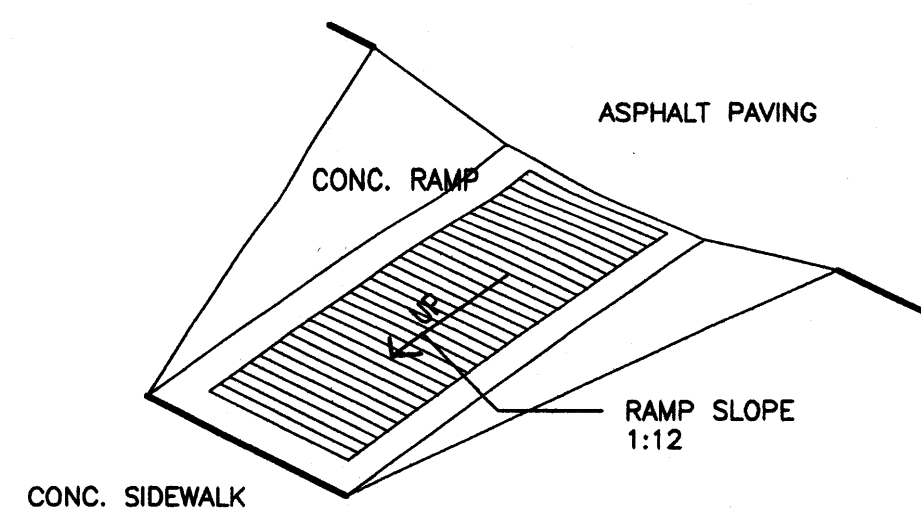
Is an Infrastructure List required? ( ) YES ( ) NO If yes, then a set of approved DRD plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL**

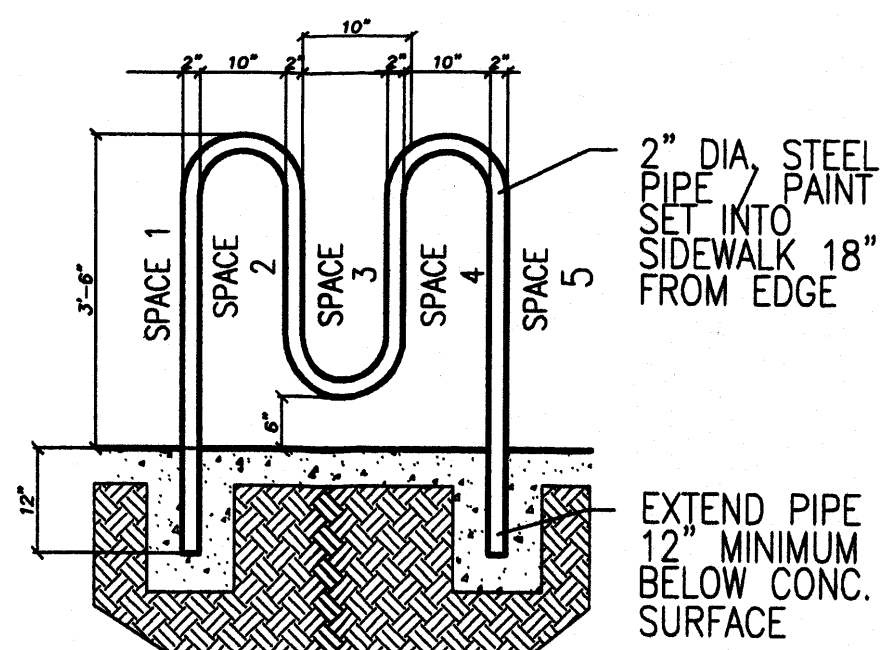
Traffic Engineering, Transportation Division	_____	Date
Water Utility Department	_____	Date
Parks and Recreation Department	_____	Date
City Engineer	_____	Date
Environmental Health Department	_____	Date
Solid Waste Management	<i>Michael Holton (angle adjustment)</i>	11/13/07
DRB Chairperson, Planning Department	_____	Date

\* Environmental Health, if necessary

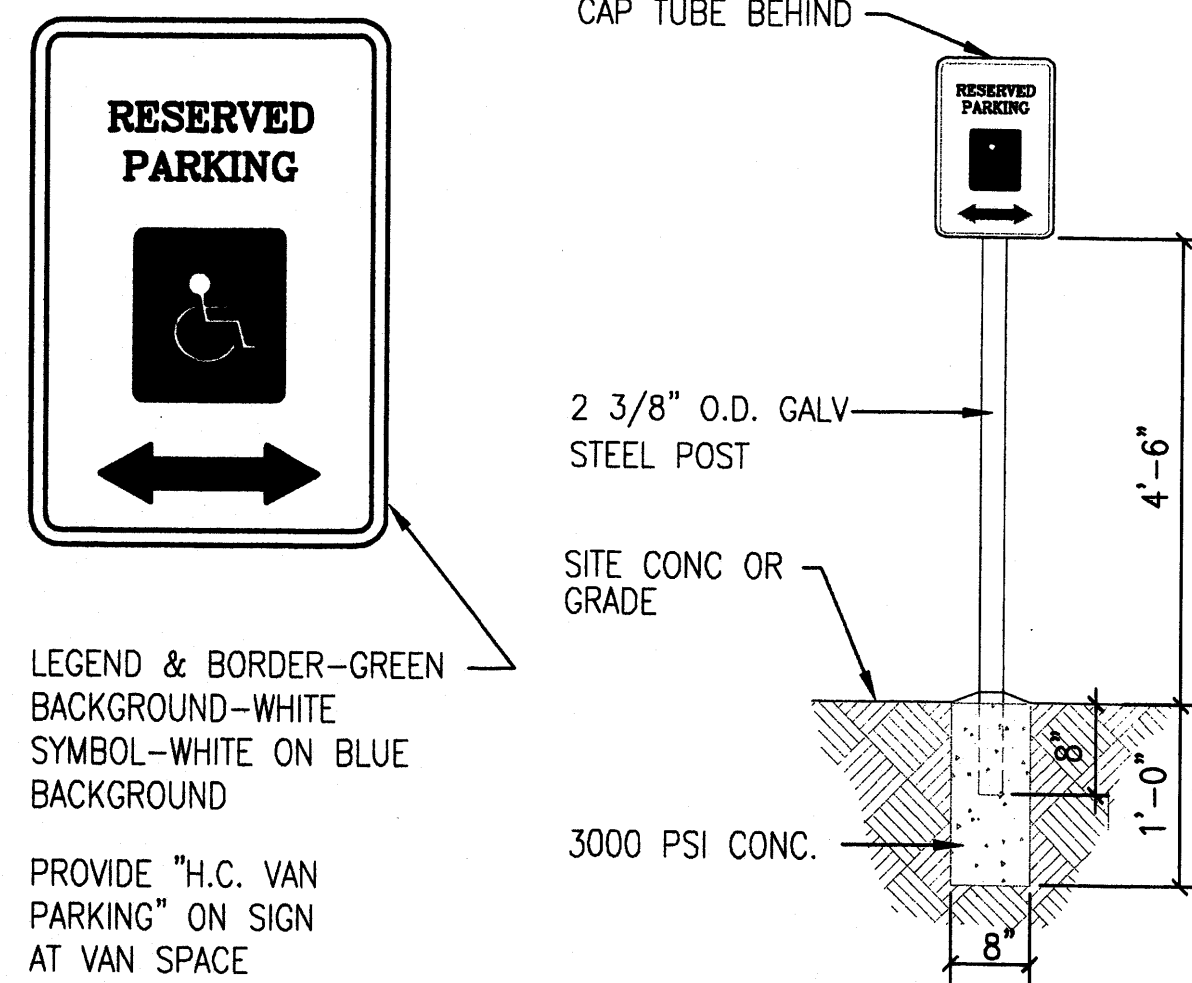
DRB SUBMITTAL



**1 HANDICAP RAMP DETAIL**  
AS3 SCALE: N.T.S.

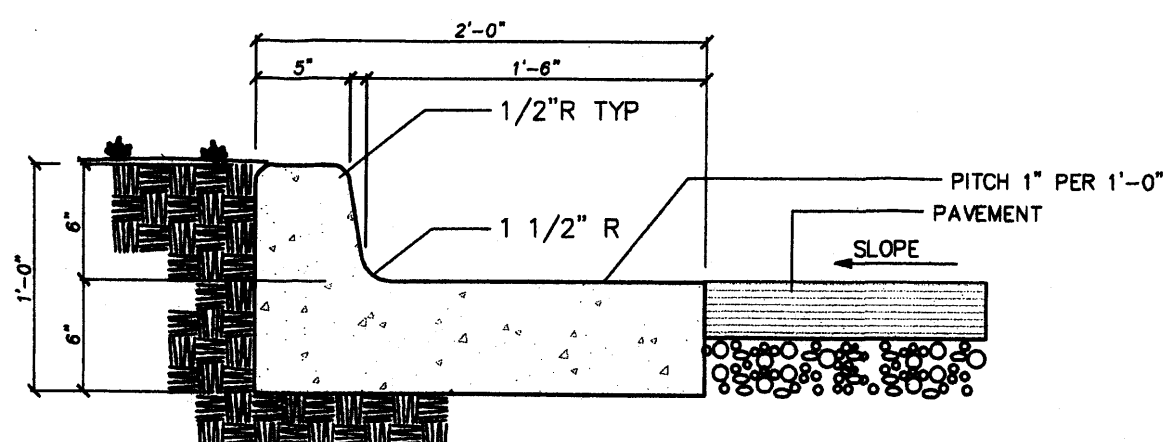


**2 BIKE RACK DETAIL**  
AS3 SCALE: N.T.S.

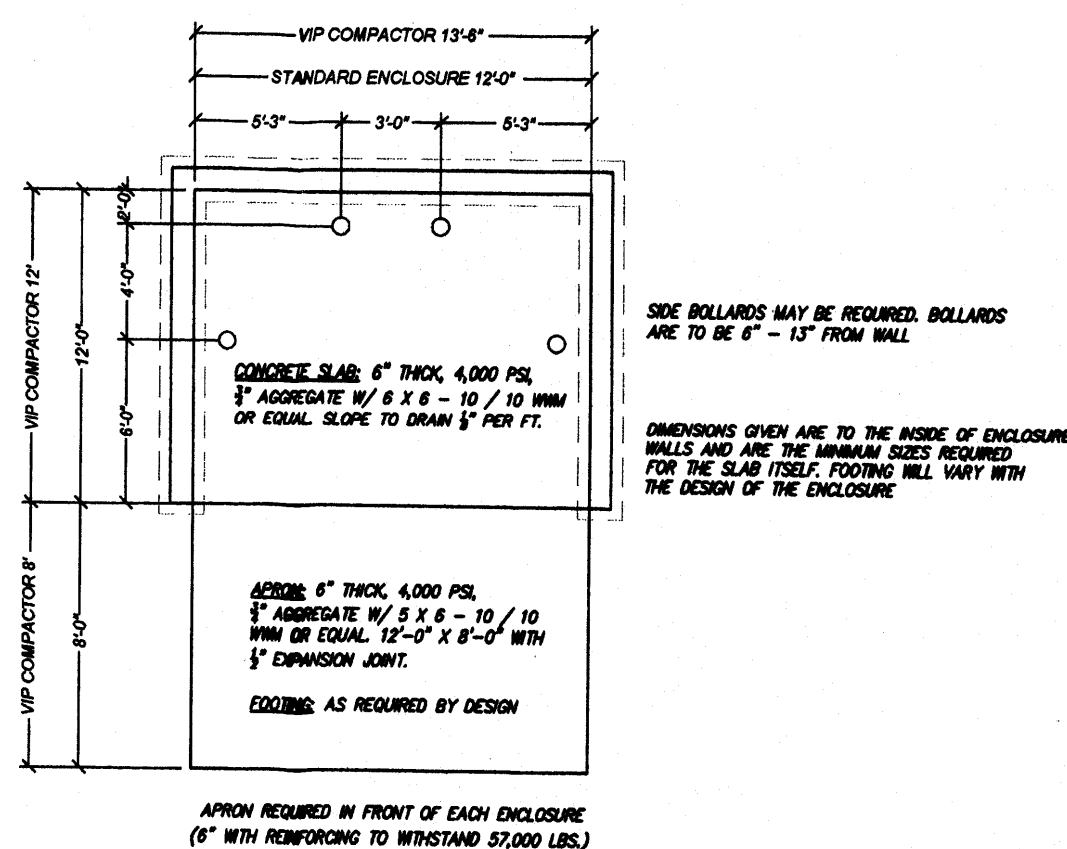


LEGEND & BORDER—GREEN  
BACKGROUND—WHITE  
SYMBOL—WHITE ON BLUE  
BACKGROUND  
PROVIDE "H.C. VAN  
PARKING" ON SIGN  
AT VAN SPACE  
\* PER ANSI REQUIREMENTS

**3 ACCESSIBLE PARKING SIGN**  
AS3 SCALE: N.T.S.

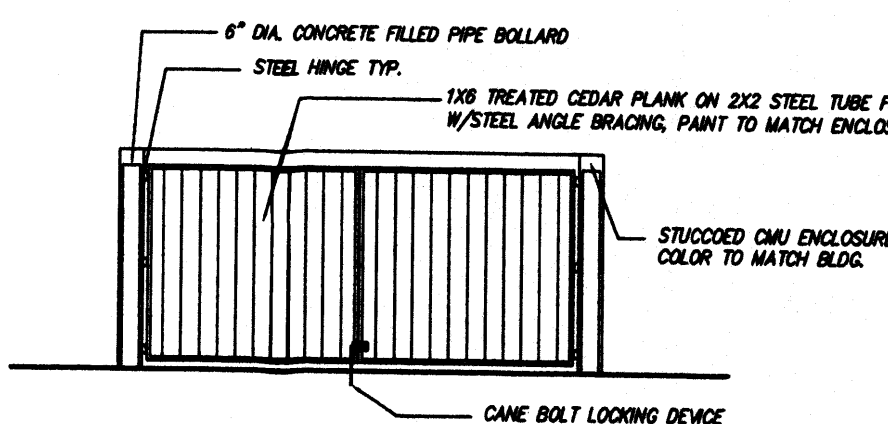
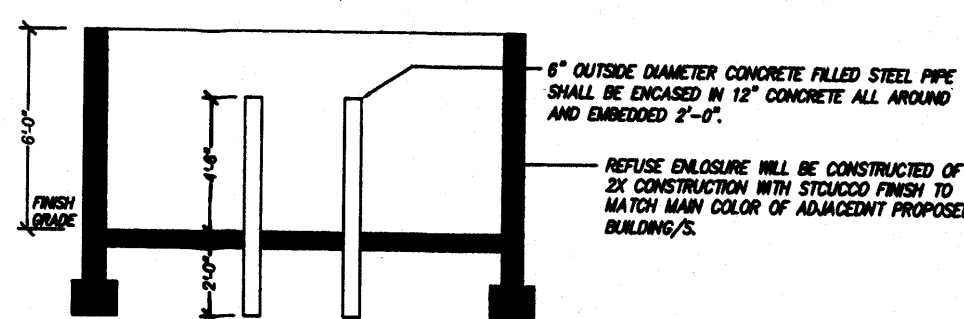


**4 CURB & GUTTER**  
AS3 SCALE: N.T.S.

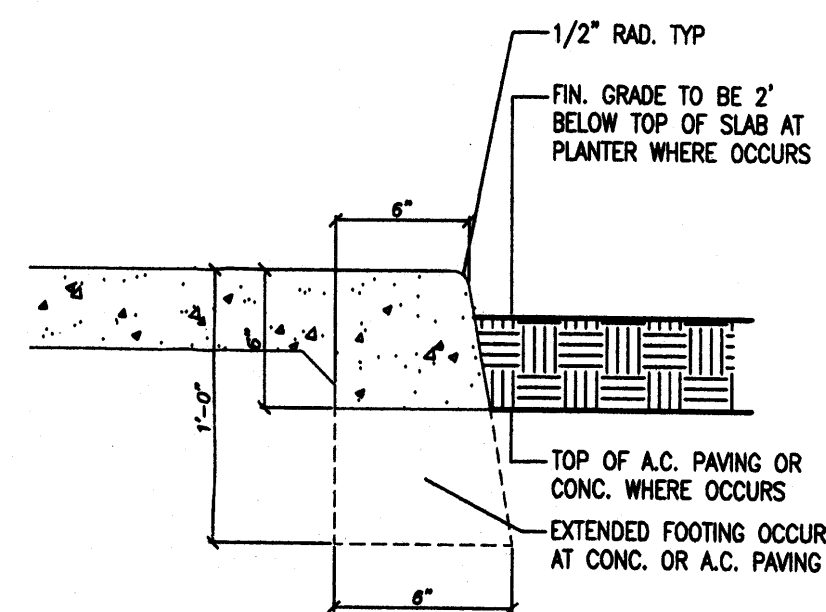


SIDE BOLLARDS MAY BE REQUIRED. BOLLARDS  
ARE TO BE 6" - 15" FROM WALL  
DIMENSIONS SHOWN ARE TO THE INSIDE OF ENCLOSURE  
WALLS AND ARE THE MINIMUM SIZES REQUIRED  
FOR THE SLAB ITSELF. FOOTING WILL VARY WITH  
THE DESIGN OF THE ENCLOSURE

APRON REQUIRED IN FRONT OF EACH ENCLOSURE  
(6" WITH REINFORCING TO WITHSTAND 52,000 LBS.)

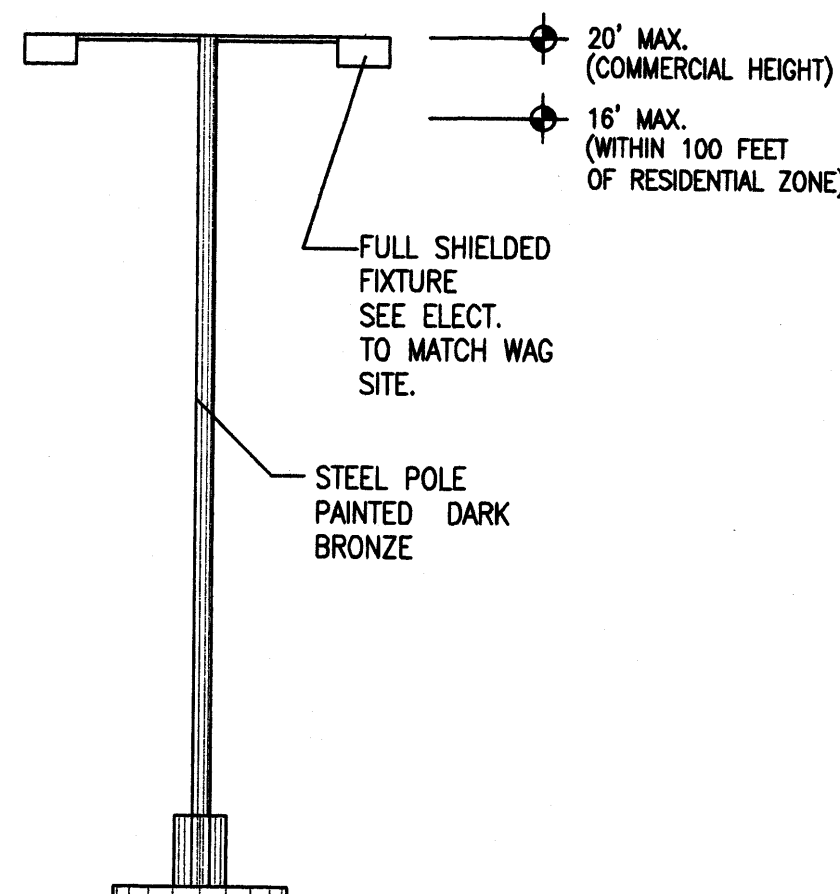


**5 TRASH ENCLOSURE**  
AS3 SCALE: N.T.S.



\* SEE DETAIL 11 THIS SHEET  
NOTE: VERIFY DIMENSIONS W/CIVIL  
DRAWINGS  
INSTALL COLD JOINTS AT 30" O.C.  
PER 144/A-2  
ALL EXPOSED SURFACES TO BE  
TROWELED SMOOTH

**6 CURB DETAIL**  
AS3 SCALE: N.T.S.

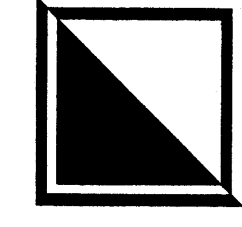


**7 SITE LIGHTING DETAIL**  
AS3 SCALE: N.T.S.

NOTE:  
REFER TO SHEET AS1 FOR SITE DETAIL  
LOCATION.

- KEY NOTES**
- HANDICAP RAMP DETAIL (SEE 1/AS3)
  - BIKE RACK (SEE 2/AS3)
  - ACCESSIBLE PARKING SIGN (SEE 3/AS3)
  - CURB & GUTTER (SEE 4/AS3)
  - TRASH ENCLOSURE (SEE 5/AS3)
  - CURB /SIDEWALK DETAIL (SEE 6/AS3)
  - SITE LIGHTING, 20' MAX HEIGHT (SEE 7/AS3)
  - SITE BENCH SEATING

REV	DATE	BY	REVISION
6			
5			
4			
3			
2			
1			



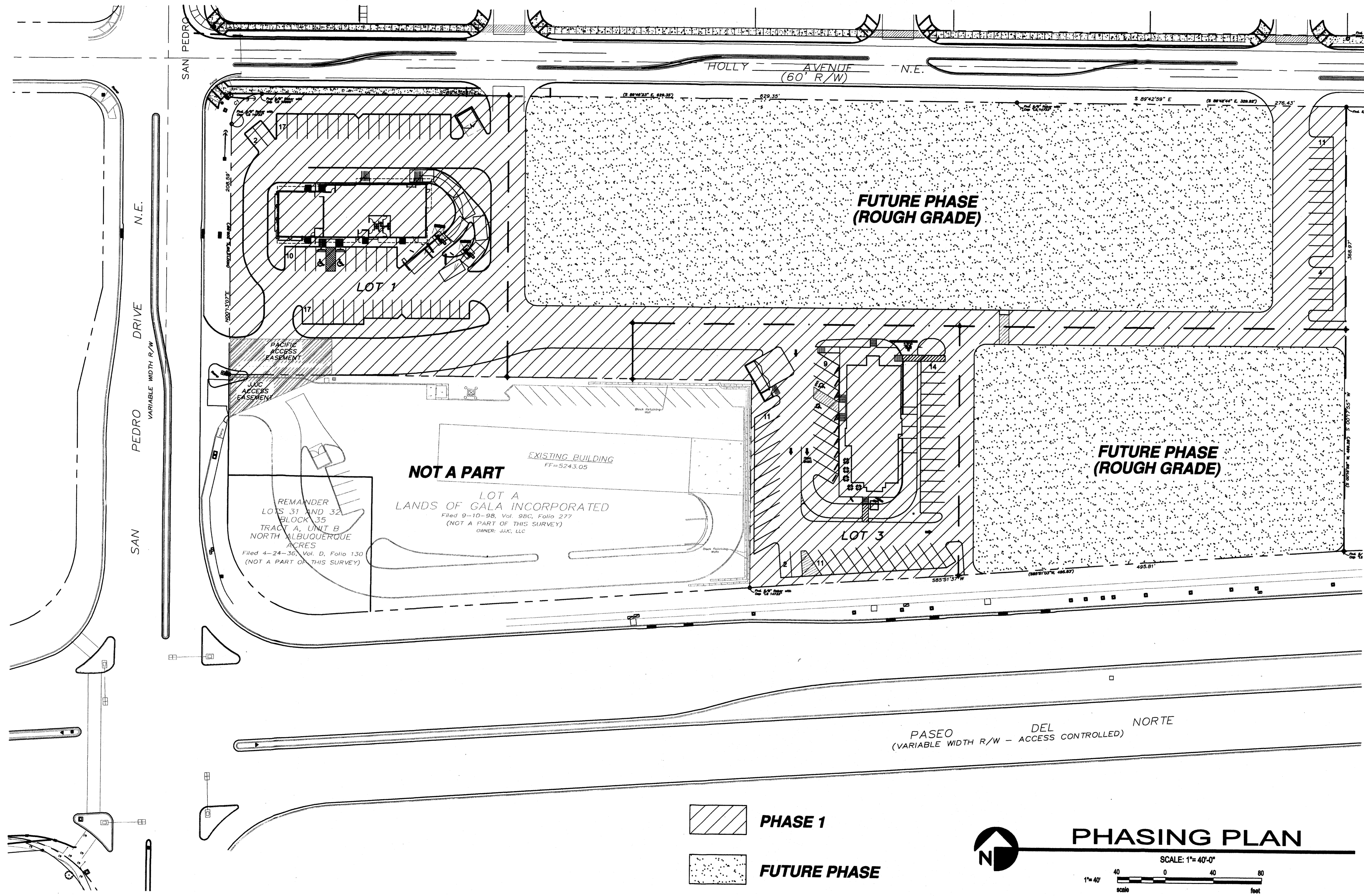
GEORGE RAINHART ARCHITECT AND ASSOCIATES PC  
2325 SAN PEDRO N.E. SUITE 2-B  
ALBUQUERQUE, NEW MEXICO 87110  
PHONE (505) 884-9110 FAX (505) 837-9877

PRELIMINARY  
NOT FOR  
CONSTRUCTION

PROJECT TITLE <b>DEL NORTE PLAZA</b> SAN PEDRO & PASEO DEL NORTE ALBUQUERQUE, NEW MEXICO	PROJECT MANAGER JOB NO. 0536A	DRAWN BY: WRS	SHEET TITLE <b>SITE DETAILS</b>
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DATE: 11.13.2007	sheet- <b>AS3</b>
SCALE: AS NOTED	of

DRB SUBMITTAL



REV	DATE	BY	REVISION
A			
A			
A			
A			
A			



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 PHONE (505) 884-9110 FAX (505) 837-9877

PRELIMINARY  
 NOT FOR  
 CONSTRUCTION

PROJECT TITLE  
**DEL NORTE PLAZA**  
 SAN PEDRO & PASEO DEL NORTE  
 ALBUQUERQUE, NEW MEXICO  
 PROJECT MANAGER  
 JOB NO. 0588A  
 DRAWN BY:  
 WRS  
 SHEET TITLE  
**PHASING PLAN**

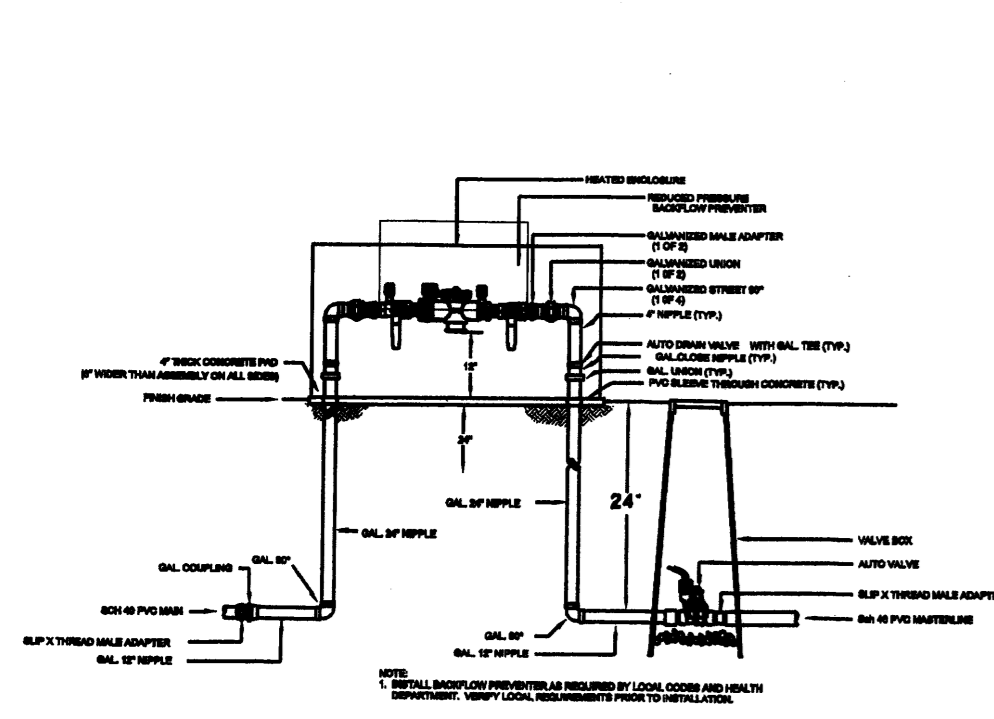
DATE: 11.13.2007 sheet-  
 SCALE: 1"=40'-0" of  
**PHP**

DRB SUBMITTAL

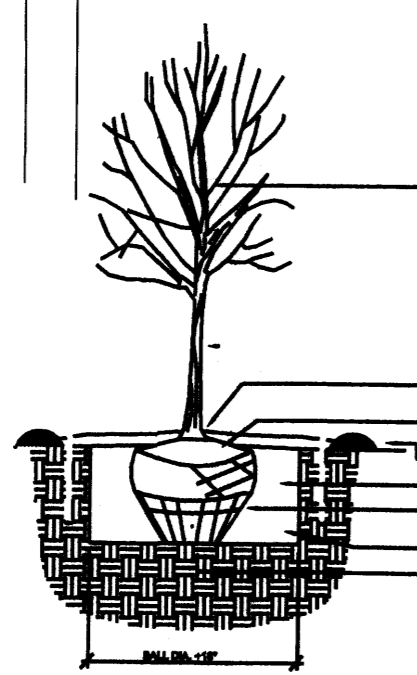
**PLANT LEGEND**

Qty.	Symbol	Scientific Name Common Name	Size	Water Use
18		Chilopsis linearis Desert Willow	15-Gal	Low +
14		Crataegus phaenopyrum Washington Hawthorn	2" B&B	Medium+
22		Forestiera neomexicana New Mexico Olive	15-Gal	Medium
16		Fraxinus velutina 'Modesto' Modesto Ash	2" B&B	Medium +
11		Gleditsia triacanthos Honeylocust	2" B&B	Medium
24		Pinus nigra Austrian Pine	5'-6"	Medium
9		Pistacia chinensis Chinese Pistache	2" B&B	Medium +
25		Prunus calleryana Flowering Pear	15-Gal	Medium +
23		Quercus buckleyi Texas Red Oak	2" B&B	Medium
<b>Shrubs/Groundcovers</b>				
11		Buddleia davidii Butterfly Bush	5-Gal	Medium
67		Caryopteris clandonensis Blue Mist	1-Gal	Medium
23		Eleaegnus Silverberry	5-Gal	Low +
53		Cotoneaster parneyi Clusterberry	5-Gal	Medium
73		Ericameria laricifolia 'Aguirre' Turpentine Bush	5-Gal	Low+
24		Hesperaloe parviflora Red Yucca	5-Gal	Low+
68		Baccharis Dwarf Coyotebush	5-Gal	Low +
15		Potentilla fruticosa Shrubby Cinquefoil	5-Gal	Medium+
52		Prunus besseyi Western Sand Cherry	5-Gal	Medium
78		Rhus Gro Low Sumac	5-Gal	Low+
26		Rosmarinus officinalis Rosemary	5-Gal	Low +
32		Cornus Red Twig Dogwood	5-Gal	Low +
<b>Ornamental Grasses</b>				
35		Calamagrostis acutiflora Karl Foerster Grass	5-Gal	Medium
58		Miscanthus sinensis 'Gracillimus' Maiden Grass	5-Gal	Medium
25		Muhlenbergia capillaris 'Regal Mist' Regal Mist	1-Gal	Medium

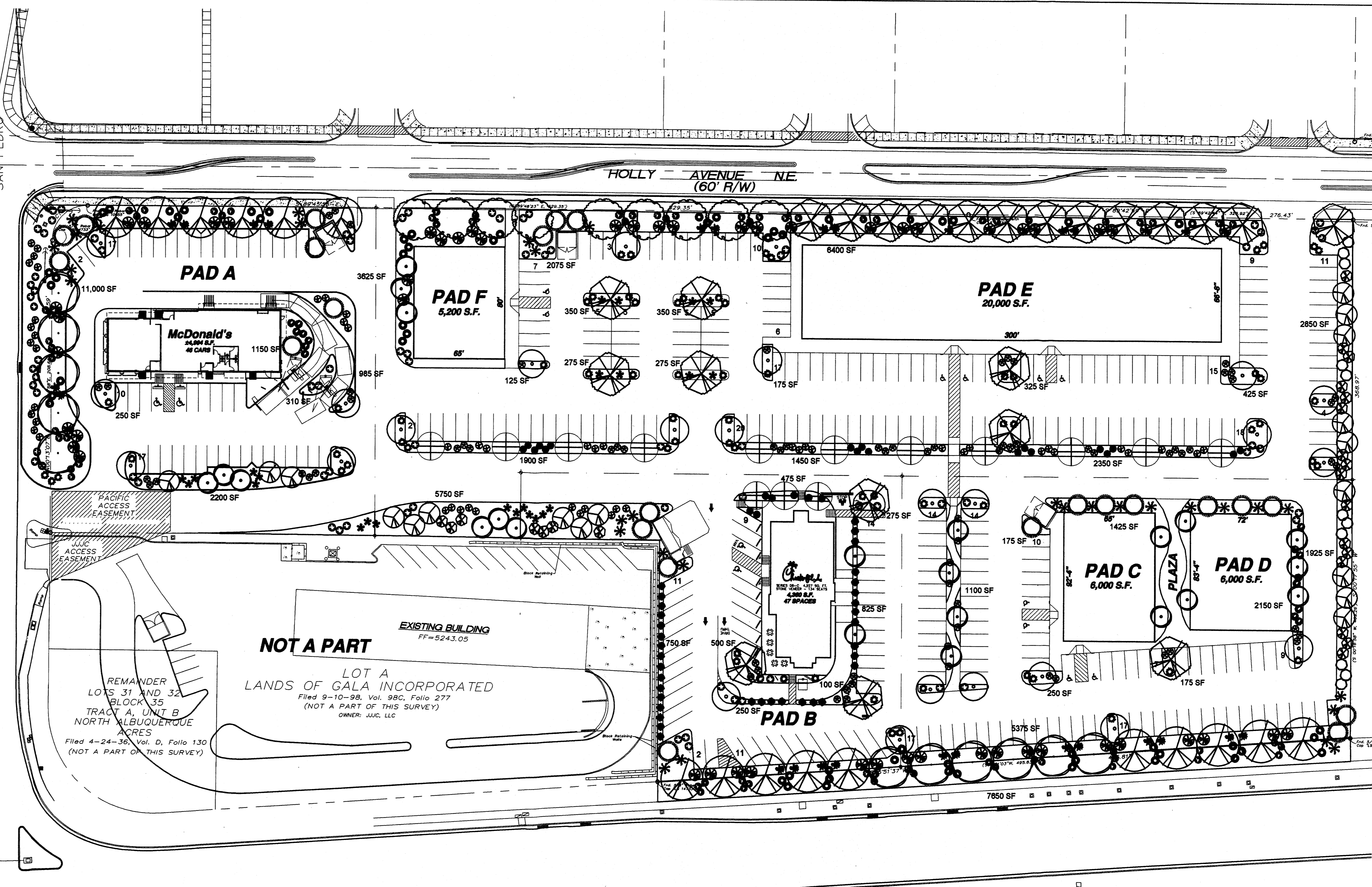
NOT PART OF THIS SURVEY



Mastervalue w/RPBA



1 Deciduous Tree



**SITE DATA**

GROSS LOT AREA	374,684 SF
LESS BUILDING(S)	46,915 SF
NET LOT AREA	327,769 SF
REQUIRED LANDSCAPE 15% OF NET LOT AREA	49,162 SF
PROPOSED LANDSCAPE PERCENT OF NET LOT AREA	67,985 SF (20%)
REQUIRED STREET TREES PROVIDED AT 30' O.C. SPACING ALONG STREET	56
REQUIRED PARKING LOT TREES PROVIDED AT 1 PER 10 SPACES (342 SPACES/10)	34

**NOTE**  
 MAINTENANCE OF LANDSCAPE AND IRRIGATION PROVIDED BY OWNER  
 PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER (WILKINS MODEL 975) PER CITY OF ALBUQUERQUE  
 WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER  
 THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE PLANTING RESTRICTIONS APPROACH  
 APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A LANDSCAPE AND WATER WASTE ORDINANCE  
 TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS  
 NO PARKING SPACE SHALL BE MORE THAN 50' FROM A TREE.  
 LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL MULCH AT 2"-3" DEPTH OVER FILTER FABRIC

**OVERALL LANDSCAPE PLAN**

SCALE: 1"= 40'-0"

1"= 40' scale

40 0 40 80 feet

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 LANDSCAPE CONTRACTORS  
 www.headsuplandscape.com

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 Albuquerque, NM 87184  
 505.898.9815  
 505.898.2105 (fax)  
 design@hulc.com

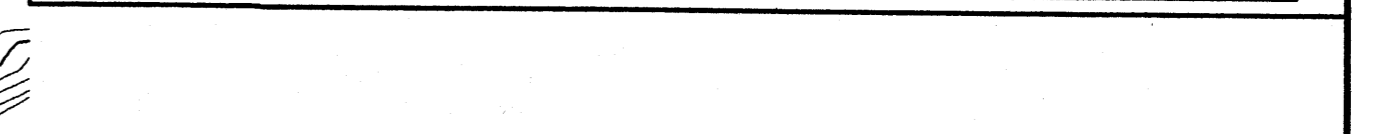
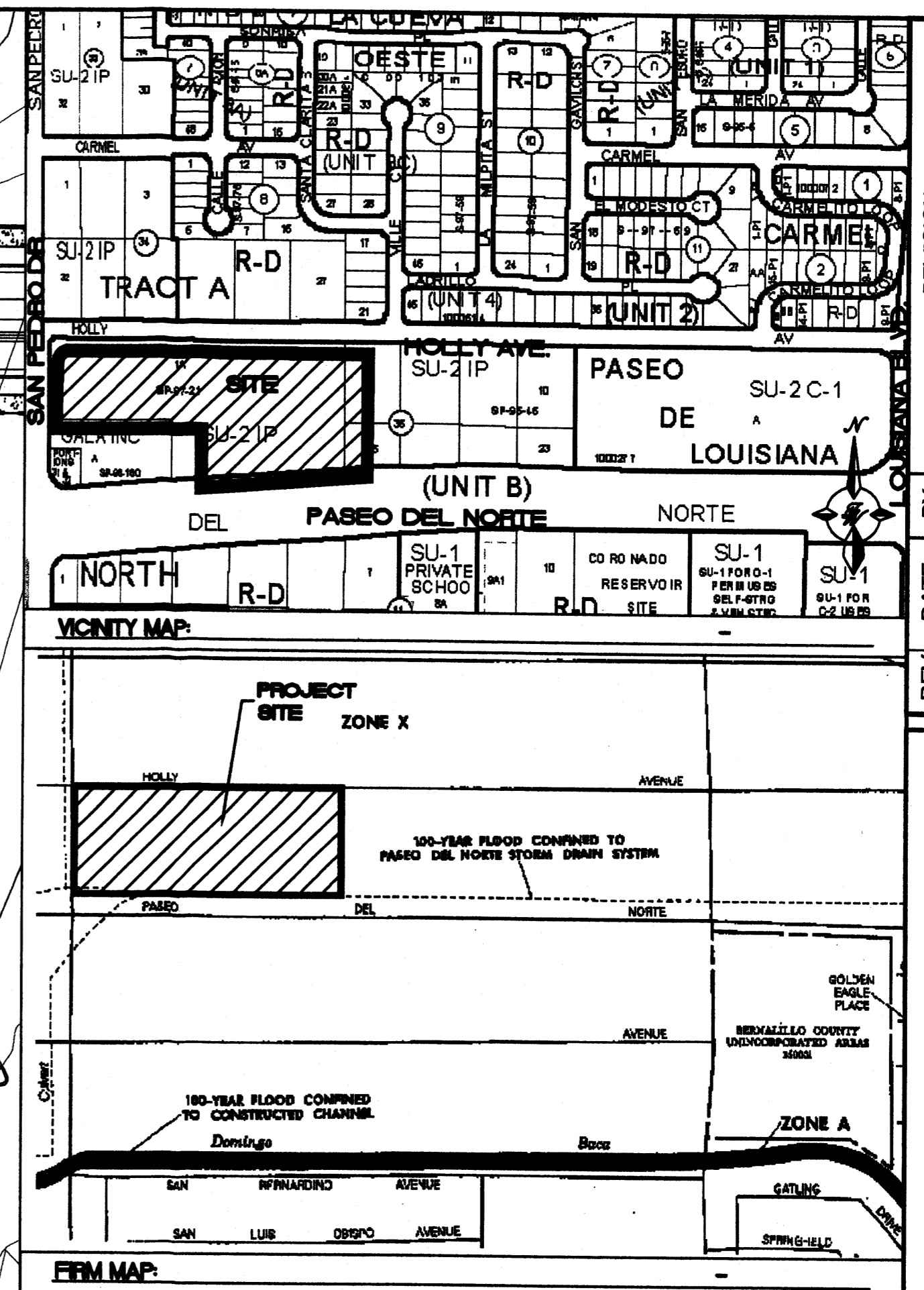
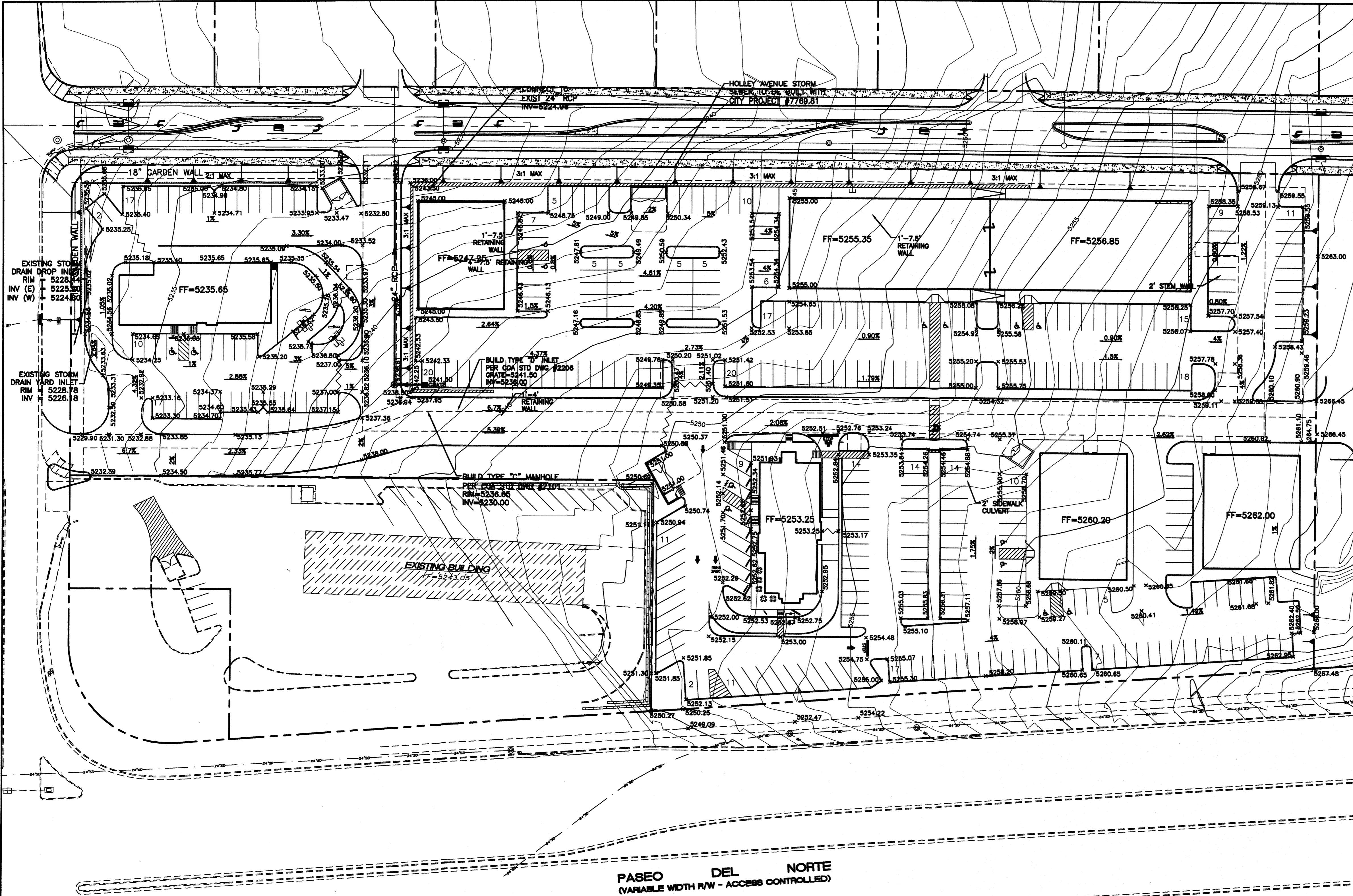
PROJECT TITLE	DEL NORTE PLAZA SAN PEDRO & PASEO DEL NORTE ALBUQUERQUE, NEW MEXICO
PROJECT MANAGER	JOSE MANUEL GONZALEZ
DRAWN BY:	WFS
DATE:	11.13.2007
SCALE:	1"=40'-0"
REVISION	BY DATE
REV 1	BY DATE
REV 2	BY DATE
REV 3	BY DATE
REV 4	BY DATE
REV 5	BY DATE
REV 6	BY DATE
sheet-	LS1
of	

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PRELIMINARY NOT FOR CONSTRUCTION

OVERALL LANDSCAPE PLAN

DRB SUBMITTAL



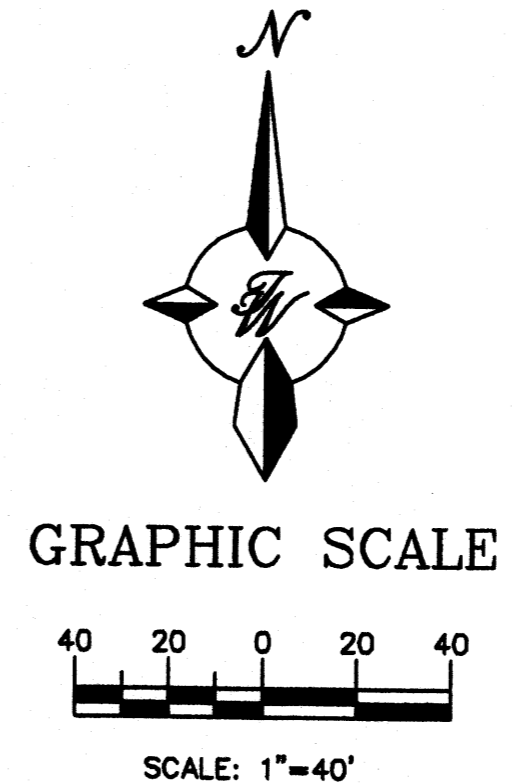
**LEGEND**

	PROPOSED CURB & GUTTER
	BOUNDARY LINE
	PROPOSED SIDEWALK
	PROPOSED RETAINING WALL
	FLOW ARROW
	SLOPE TIE
	PROPOSED SPOT ELEVATION
	PROPOSED STORM SEWER LINE
	PROPOSED STORM SEWER MANHOLE
	PROPOSED SNGL. "D" INLET
	DIRECTION OF FLOW
	CENTERLINE
	EXISTING CURB & GUTTER
	EXISTING SIDEWALK
	EASEMENT
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	EXISTING SPOT ELEVATION
	EXISTING STORM SEWER MANHOLE
	EXISTING STORM SEWER INLET
	EXISTING STORM SEWER LINE
	GRADE BREAK LOCATIONS

**PASEO DEL NORTE**  
(VARIABLE WIDTH R/W - ACCESS CONTROLLED)

**NOTICE TO CONTRACTORS**

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.



- EROSION CONTROL PLAN, NPDES PERMIT AND POLLUTION PREVENTION NOTES**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
  2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
  3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
  4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
  5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
  6. ALL SITES OVER 1 ACRE DISTURBANCE REQUIRE FEDERAL NPDES PERMIT.

**ROUGH GRADING APPROVAL** \_\_\_\_\_ DATE \_\_\_\_\_

APPROVAL	NAME	DATE
INSPECTOR		

REVISION

NO.	DATE	BY

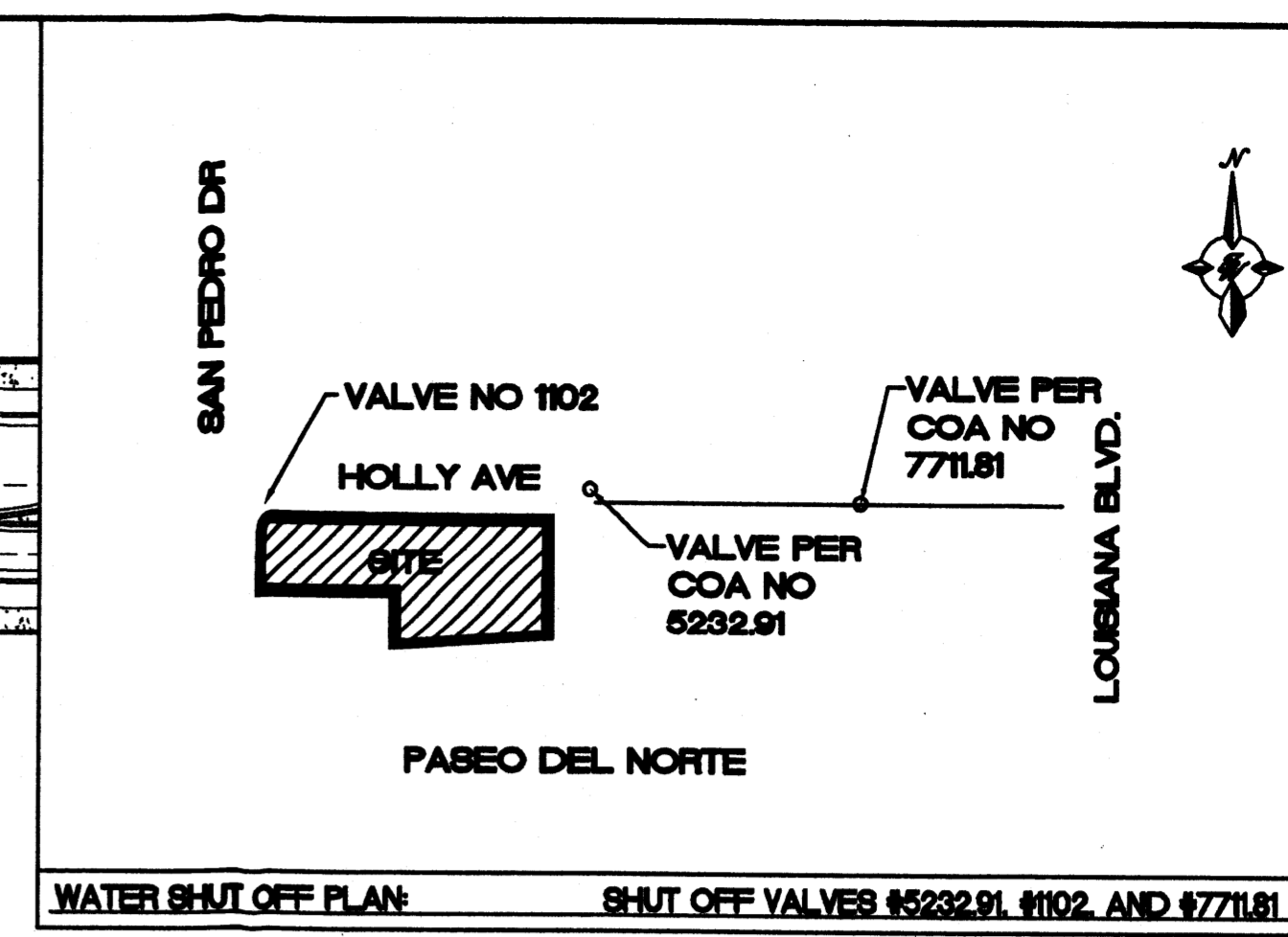
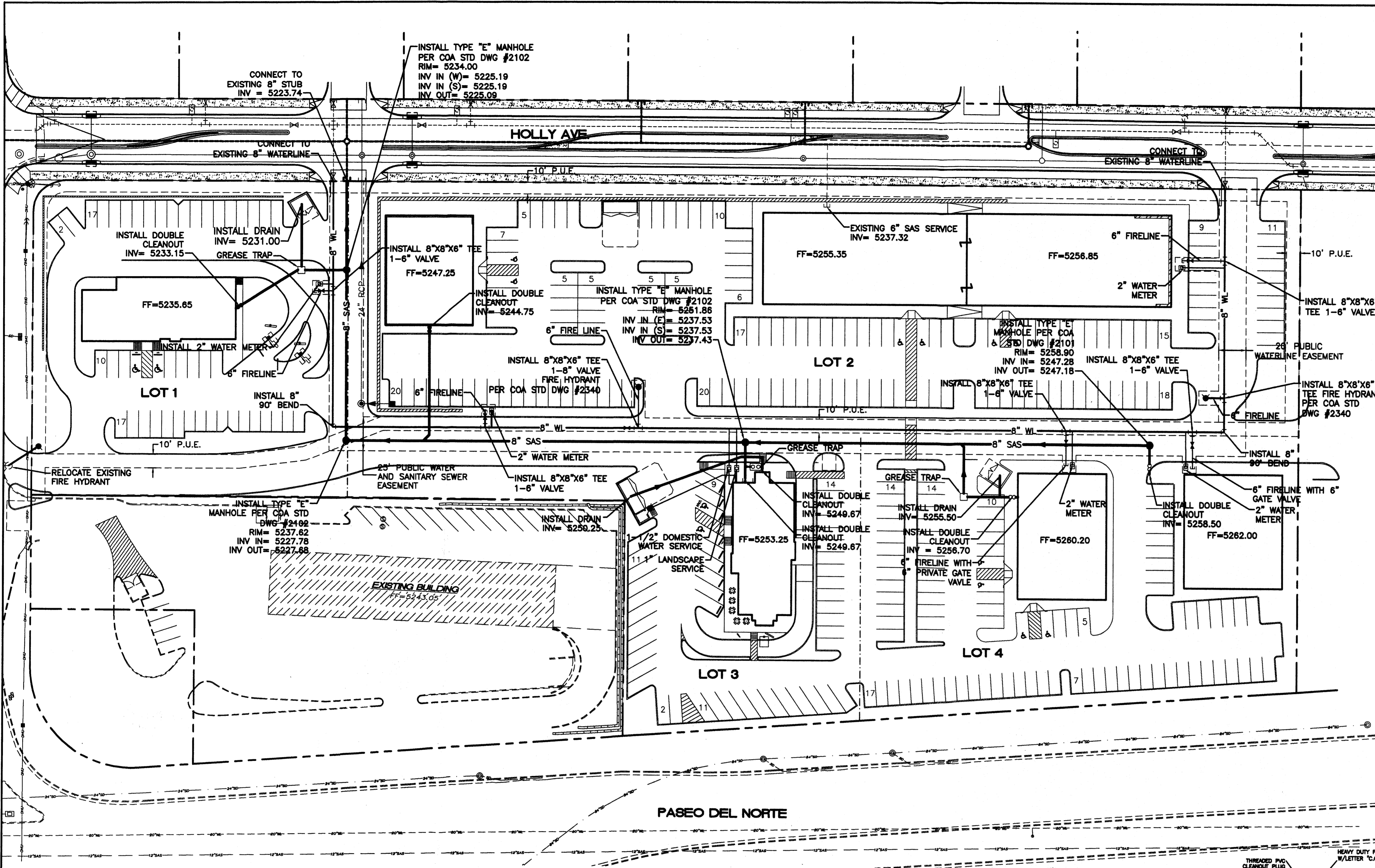
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PRELIMINARY  
NOT FOR  
CONSTRUCTION

PROJECT TITLE <b>DEL NORTE PLAZA</b> SAN PEDRO & PASEO DEL NORTE ALBUQUERQUE, NEW MEXICO	JOB NO. 24065	DRAWN BY ET
PROJECT MANAGER JIN	SHEET TITLE <b>GRADING AND DRAINAGE PLAN</b>	
DATE 11.13.2007	SHEET <b>C1</b>	
SCALE 1"=40'-0"	of.	

DRB SUBMITTAL





**WATER SHUT OFF PLAN:** SHUT OFF VALVES #5232.91, #1102, AND #771.81

**WATER SHUT OFF PLAN NOTES:**

1. ONLY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
2. NOTIFY CITY OF ALBUQUERQUE, WATER SYSTEMS DIVISION (PHONE 857-8200) SEVEN (7) WORKING DAYS IN ADVANCE OF NEEDING EXECUTION OF THE WATER SHUT OFF PLAN.
3. APPROXIMATE SHUT OFF TIME WILL BE 24 HOURS.
4. SHUT OFF THE VALVES INDICATED IN THE ABOVE PLAN. TO BE DONE ONLY IN THE EVENT OF EMERGENCY. CONNECTION TO EXISTING WATER LINE TO BE PRESSURIZED.

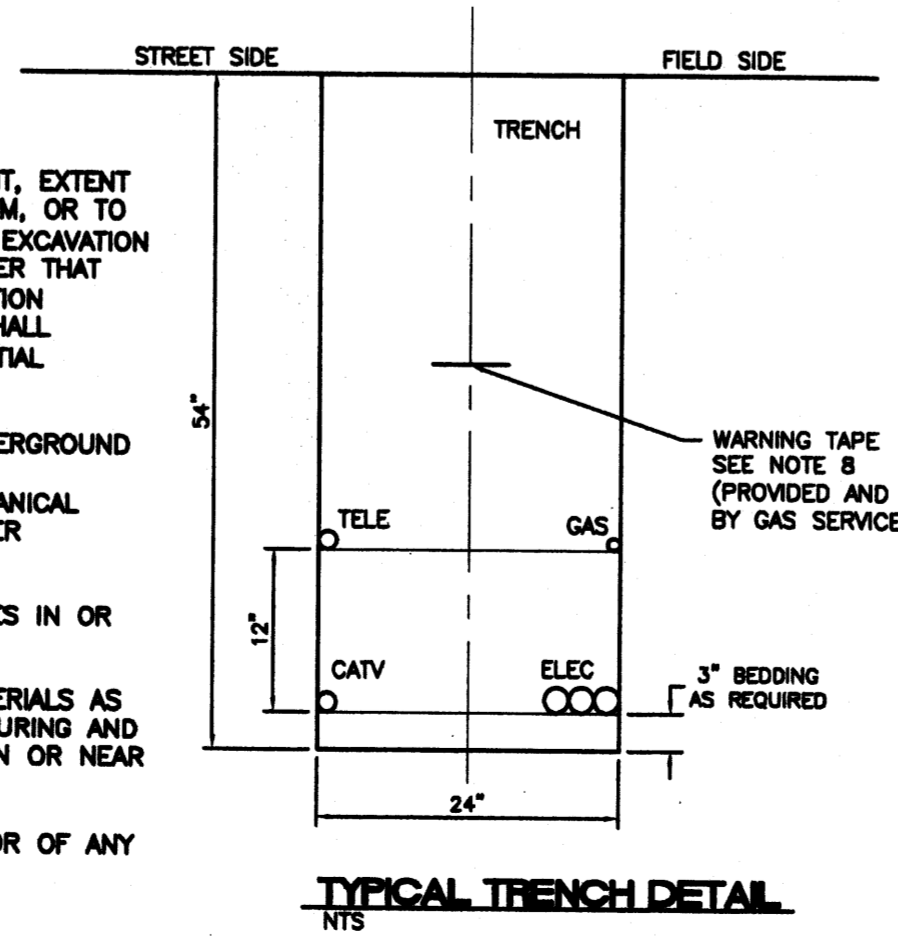
**LEGEND**

○	EXISTING SAS MANHOLE
○	EXISTING SANITARY SEWER LINE
●	PROPOSED SAS MANHOLE
○	PROPOSED SAS CLEANOUT
→	DIRECTION OF FLOW
—	PROPOSED SANITARY SEWER LINE
—	SANITARY SEWER SERVICE LINE
○	EXISTING METER
○	EXISTING VALVE W/BOX
○	EXISTING FIRE HYDRANT
○	EXISTING WATER LINE
○	PROPOSED METER
○	PROPOSED VALVE W/BOX
○	PROPOSED FIRE HYDRANT
—	PROPOSED WATER LINE
—	EXISTING CURB & GUTTER
—	PROPOSED CURB
—	BOUNDARY LINE
—	PROPOSED LOT LINE
—	EASEMENT
—	CENTERLINE
☀	PROPOSED PARKING LOT LIGHTING

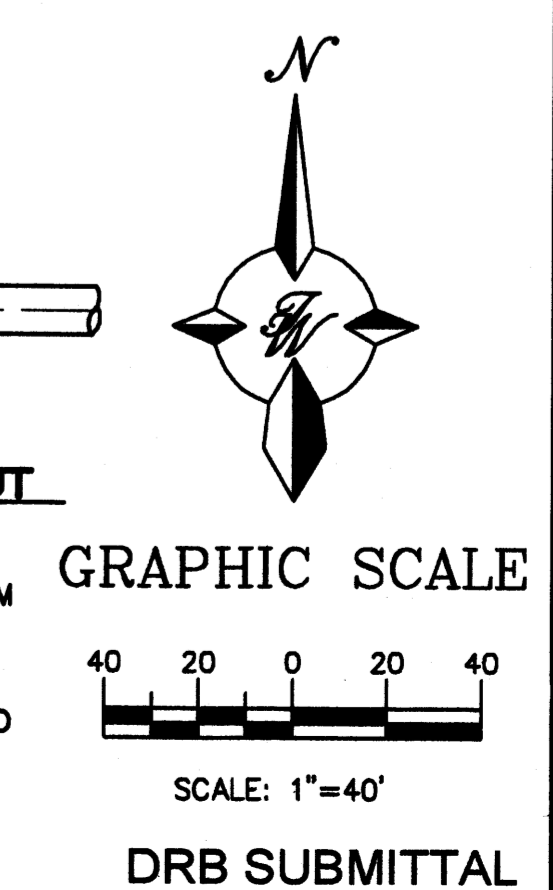
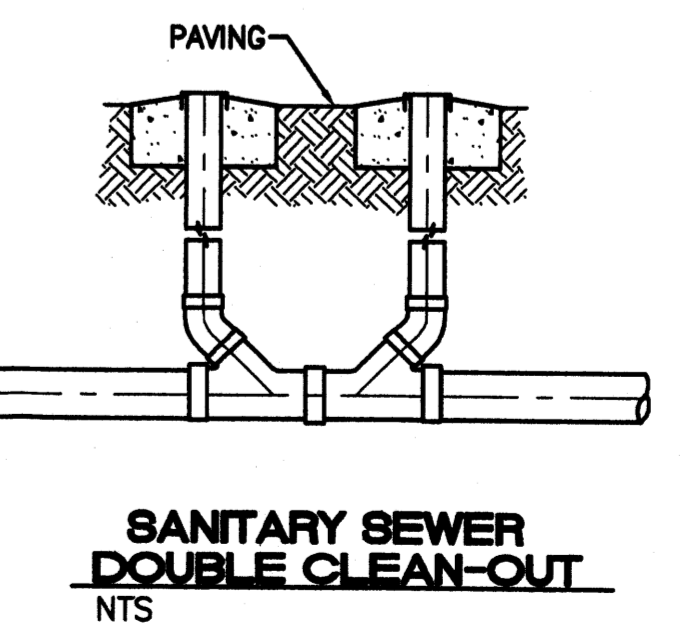
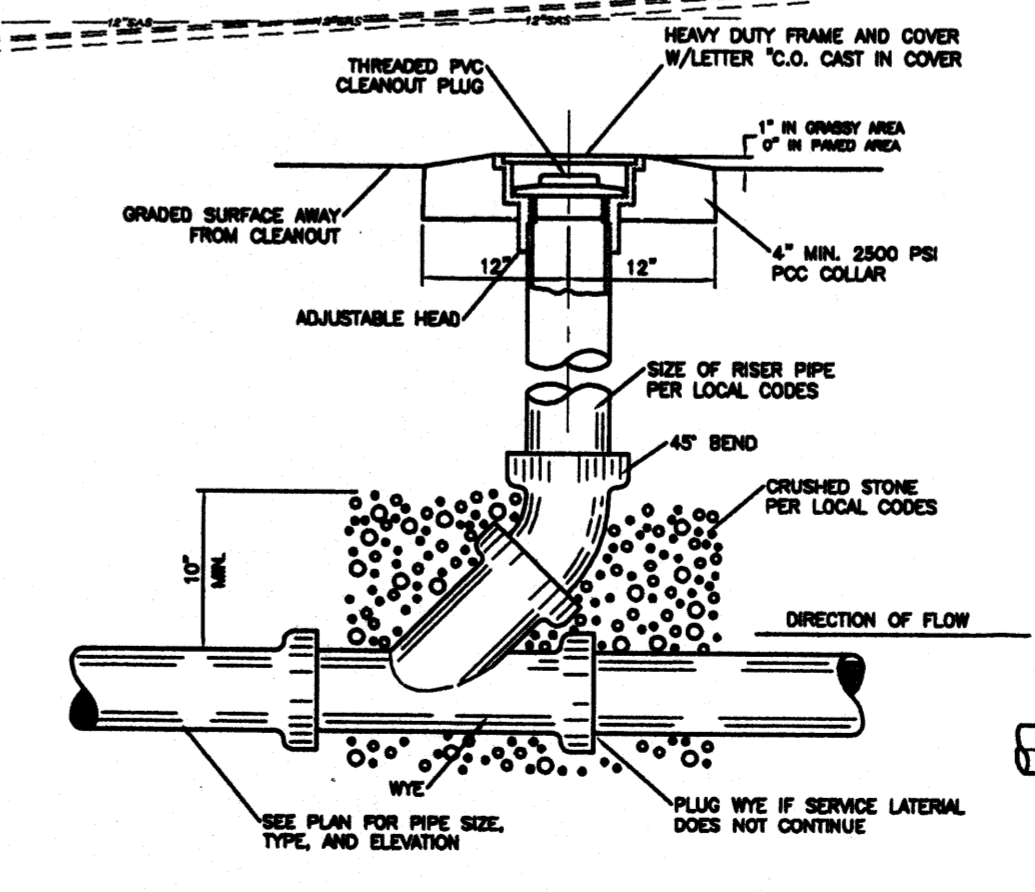
- GENERAL NOTES:**
1. ALL 8" SANITARY SEWER PIPE TO BE SDR-35.
  2. ALL 6" AND 8" WATERLINE PIPE TO BE C-900.
  3. ALL SANITARY SEWER SERVICE PIPE TO BE 4" PVC.
  4. ALL WATERLINE SERVICE PIPE TO MATCH DESIGNATED METER SIZE AND BE OF PVC MATERIAL.
  5. 4" MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
  6. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
  7. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
  8. ALL BLOCKING IS PER CITY OF ALBUQUERQUE STANDARD DWG. 2320.
  9. ALL PIPE MATERIAL TO BE USED PER UPC.

- NOTICE TO CONTRACTORS**
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
  2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
  3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
  4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
  5. BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
  6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
  7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
  8. CONTRACTOR IS RESPONSIBLE TO PROVIDE UTILITY STUBS 5' FROM BUILDING
  9. CONTRACTOR SHALL DETERMINE LOCATION OF ANY UNDERGROUND FACILITY IN OR NEAR WORK AREAS, INCLUDING REQUESTS TO OWNERS/OPERATORS OF SAID FACILITIES PER SECTION 82-14-5 NMSA 1978.
  10. CONTRACTOR SHALL PLAN ALL EXCAVATION TO MINIMIZE INTERFERENCE OF DAMAGE OF UNDERGROUND FACILITIES.

11. CONTRACTOR SHALL PROVIDE ADVANCE TELEPHONE NOTICE OF COMMENCEMENT, EXTENT AND DURATION OF ALL EXCAVATION WORK TO THE ONE-CALL NOTIFICATION SYSTEM, OR TO OWNERS/OPERATORS OF ANY EXISTING UNDERGROUND FACILITY IN OR NEAR THE EXCAVATION AREA THAT ARE NOT MEMBERS OF THE ONE-CALL NOTIFICATION CENTER. IN ORDER THAT OWNERS/OPERATORS MAY LOCATE AND MARK UNDERGROUND FACILITIES PER SECTION 82-14-5 NMSA 1978 PRIOR TO ANY COMMENCEMENT OF WORK, CONTRACTOR SHALL REQUEST REAFFIRMATION OF LOCATING EVERY TEN (10) WORKING DAYS AFTER INITIAL REQUEST.
12. CONTRACTOR SHALL MAINTAIN EIGHTEEN (18) INCHES BETWEEN EXISTING UNDERGROUND FACILITIES FOR WHICH HAVE BEEN PREVIOUSLY IDENTIFIED AND MARKED BY THE OWNERS/OPERATORS OF SAID FACILITIES. CUTTING EDGE OR POINT OF ANY MECHANICAL EXCAVATING EQUIPMENT UTILIZED IN EXCAVATION AREA WILL BE USED IN A MANNER NECESSARY TO PREVENT DAMAGE TO EXISTING UNDERGROUND FACILITIES.
13. CONTRACTOR SHALL PROVIDE SUPPORT FOR EXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA AS NECESSARY TO PREVENT DAMAGE TO SAID FACILITIES.
14. CONTRACTOR SHALL BACKFILL ALL EXCAVATIONS IN A MANNER AND WITH MATERIALS AS MAY BE NECESSARY TO PREVENT DAMAGE TO AND PROVIDE RELIABLE SUPPORT DURING AND FOLLOWING BACK FILLING ACTIVITIES FOR PREEXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA.
15. CONTRACTOR SHALL IMMEDIATELY NOTIFY BY TELEPHONE THE OWNER/OPERATOR OF ANY UNDERGROUND FACILITY WHICH MAY HAVE BEEN DAMAGED OR DISLODGED DURING EXCAVATION WORK.
16. CONTRACTOR SHALL NOT MOVE OR OBLITERATE MARKINGS MADE PURSUANT TO CHAPTER 82, ARTICLE 14, NMSA 1978, OR FABRICATE MARKINGS IN AN UNMARKED LOCATION FOR THE PURPOSE OF CONCEALING OR AVOIDING LIABILITY FOR VIOLATION OF OR NONCOMPLIANCE WITH THE PROVISIONS OF CHAPTER 82, ARTICLE 11 NMSA 1978.



- GENERAL NOTES:**
1. COMPACTION IN CITY OR STATE RIGHT-OF-WAYS SHALL MEET OR EXCEED MINIMUM SPECIFIED REQUIREMENTS
  2. SHADING AND BEDDING MATERIAL TO BE TYPE IV, CLASS 1 FOR DIRECT BURIED CABLE AND TYPE IV, CLASS 2 FOR CABLE IN CONDUIT. TYPE III MATERIAL IS SUITABLE FOR EITHER TYPE OF INSTALLATION. REFER TO DS-10-12.4 FOR FILL MATERIAL REQUIREMENTS.
  3. IF TRENCH-RUN MATERIAL MEETS BACK FILL MATERIAL REQUIREMENTS TYPE REQUIREMENTS, 3" BEDDING MAY BE OMITTED PROVIDED THE TRENCH BOTTOM IS SMOOTH, FLAT AND WITHOUT SURFACE IRREGULARITIES.
  4. SEPARATION BETWEEN JACKETED PRIMARY AND COMMUNICATION CABLE SHALL BE AT LEAST 12".
  5. SPOIL PILE SHALL BE PLACED ON THE FIELD SIDE A MINIMUM OF 2' FROM TRENCH EDGE.
  6. WATER LINES SHALL MAINTAIN 12" MINIMUM HORIZONTAL SEPARATION FROM OTHER UTILITIES AND MAY BE INSTALLED EITHER ABOVE OR BELOW OTHER UTILITIES DEPENDING ON FREEZE DEPTH.
  7. LATEST OSHA TRENCH SAFETY REQUIREMENTS SHALL BE STRICTLY OBSERVED.
  8. WARNING TAPE SHALL BE PLACED A MINIMUM OF 12" ABOVE THE UPPER LEVEL OF UTILITIES AT THE CENTER OF TRENCH.



**CAUTION:**  
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

PROJECT TITLE	DEL NORTE PLAZA SAN PEDRO & PASEO DEL NORTE ALBUQUERQUE, NEW MEXICO
PROJECT MANAGER	JIN
JOB NO.	24065
DRAWN BY	ET
SHEET TITLE	MASTER UTILITY PLAN
DATE:	11.13.2007
SCALE:	1"=40'-0"
sheet	C2
of	

DRB SUBMITTAL

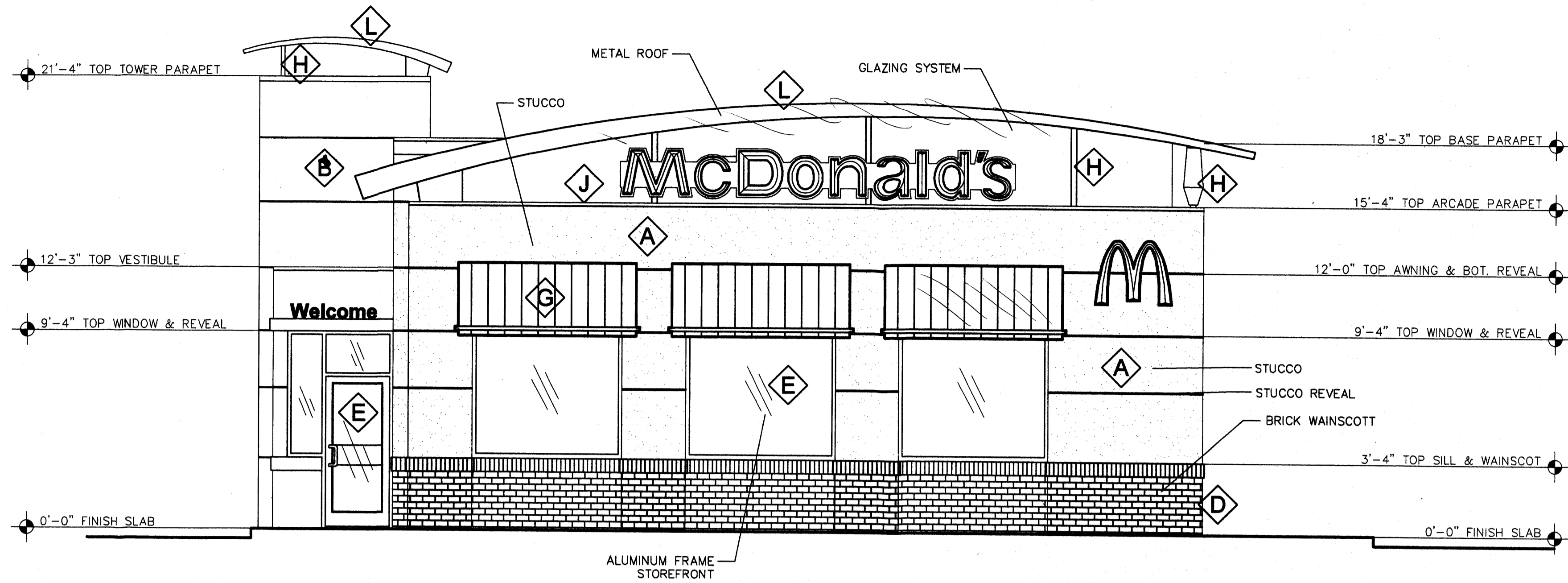
GEORGE RAINHART ARCHITECT AND ASSOCIATES PC  
2325 SAN PEDRO N.E., SUITE 2-B  
ALBUQUERQUE, NEW MEXICO 87110  
PHONE (505) 884-9110 FAX (505) 837-9877

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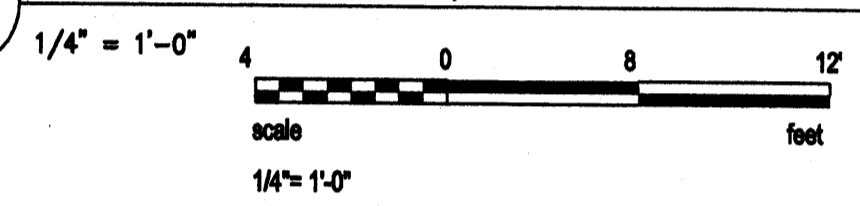
REVISION

REV	DATE	BY

of created with cadfactory trial version www.cadfactory.com

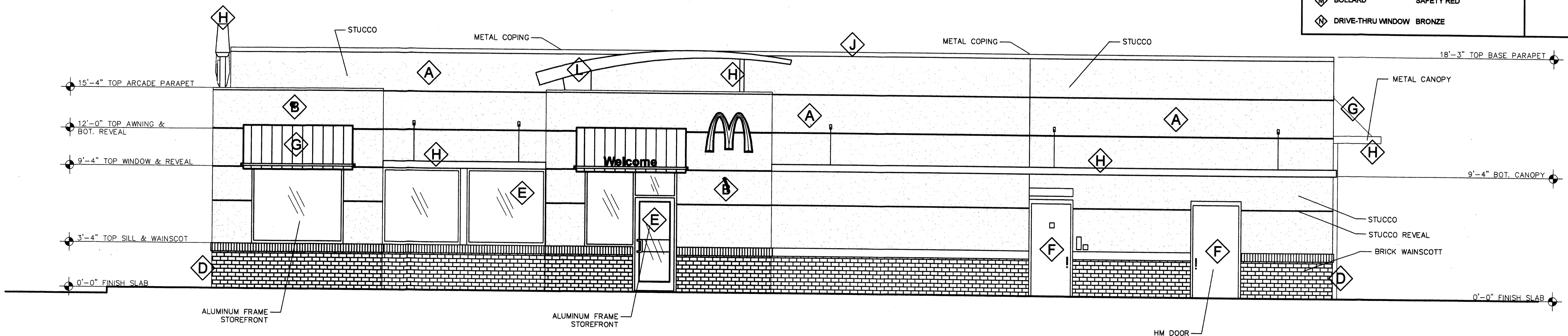


1 FRONT (WEST) ELEVATION

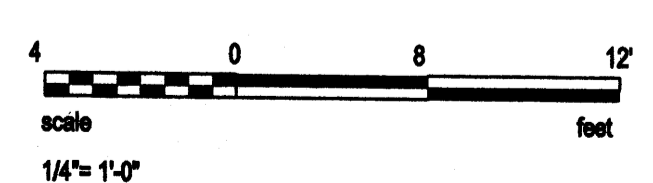


**NOTES:**  
 ALL MECH. EQUIP. SHALL BE SHIELDED  
 ALUM. STOREFRONT SHALL BE RECESSED 2" FROM FACE OF STUCCO.  
 BUILDING SIGNAGE DETERMINED BY LOCAL CODE. TENANT SIGNAGE TO BE APPROVED BY ZONING AND DONE UNDER SEPARATE ZONING PERMIT.  
 ALL BUILDING MATERIALS SHALL BE NON-REFLECTIVE.

Keyed Color / Material Schedule		Common Name
◆	STUCCO EL REY 821 LARIAT	OFF WHITE/LT.TAN
◆	STUCCO EL REY 803 SAGE	LT. TANYELLOW
◆	STUCCO EL REY 430 PEAK	LT. GREY
◆	BRICK WAINSCOT FIRE-BRICK RED	
◆	ALUM. STOREFRONT BRONZE	
◆	HOLLOW METAL DOOR PAINT TO MATCH ADJACENT FINISH	
◆	METAL AWNING GALVALUME	
◆	TUBE STEEL PAINT TO MATCH EL REY 430 - PEAK	
◆	METAL COPING SILVER	
◆	E.F.I.S. EL REY 430 PEAK	
◆	METAL ROOFING GALVALUME	
◆	BOLLARD SAFETY RED	
◆	DRIVE-THRU WINDOW BRONZE	



4 NON DRIVE-THRU (SOUTH) ELEVATION



REV	DATE	BY	REVISION
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 CONSTRUCTION

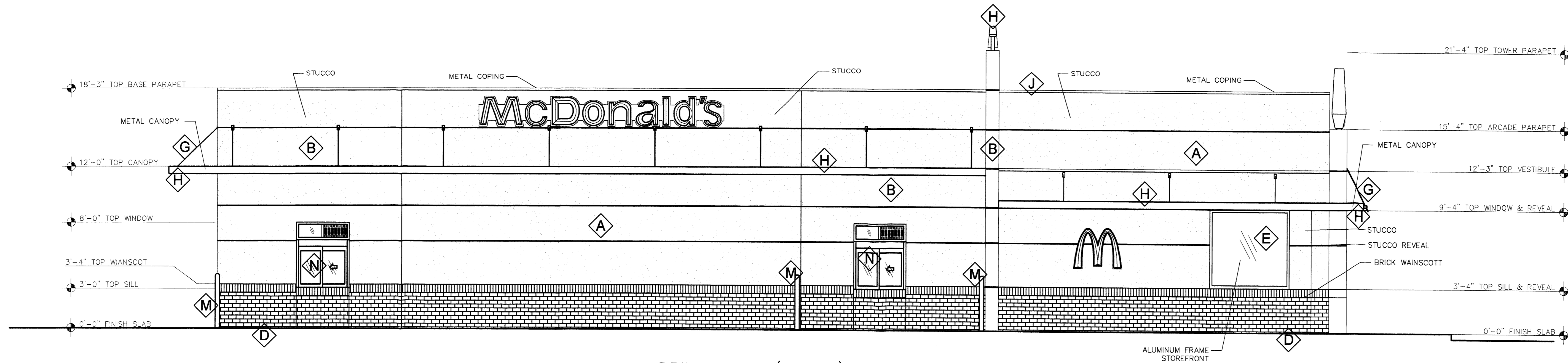
PROJECT TITLE  
**DEL NORTE PLAZA**  
 SAN PEDRO & PASEO DEL NORTE  
 ALBUQUERQUE, NEW MEXICO

PROJECT MANAGER  
 JOB NO. 0536A

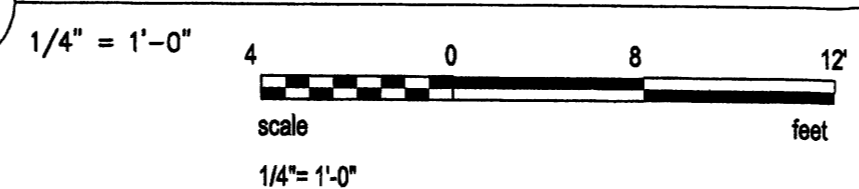
DRAWN BY:  
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SHEET TITLE  
**McDonald's ELEVATIONS**

DATE: 11.13.2007 sheet: **A1**  
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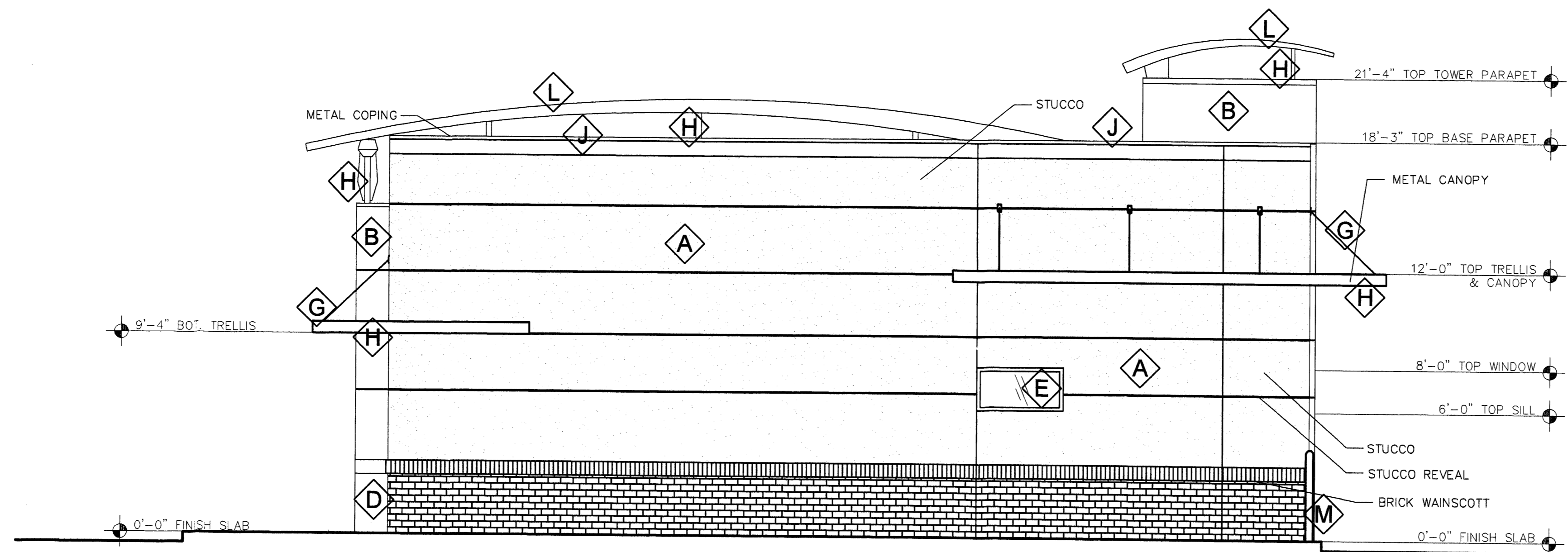


2 DRIVE-THRU (NORTH) ELEVATION

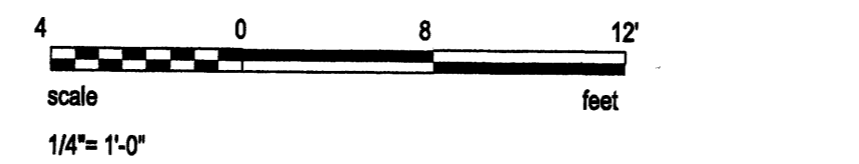


NOTES:  
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 BUILDING SIGNAGE DETERMINED BY LOCAL CODE. TENANT SIGNAGE TO BE APPROVED BY ZONING AND DONE UNDER SEPARATE ZONING PERMIT.  
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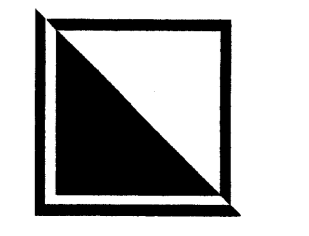
Keyed Color / Material Schedule		Common Name
◆	STUCCO EL REY 821 LARIAT	OFF WHITE/LT.TAN
◆	STUCCO EL REY 803 SAGE	LT. TANYELLOW
◆	STUCCO EL REY 430 PEAK	LT. GREY
◆	BRICK WAINSCOT FIRE-BRICK RED	
◆	ALUM. STOREFRONT BRONZE	
◆	HOLLOW METAL DOOR PAINT TO MATCH ADJACENT FINISH	
◆	METAL AWNING GALVALUME	
◆	TUBE STEEL PAINT TO MATCH EL REY 430 - PEAK	
◆	METAL COPING SILVER	
◆	E.F.I.S. EL REY 430 PEAK	
◆	METAL ROOFING GALVALUME	
◆	BOLLARD SAFETY RED	
◆	DRIVE-THRU WINDOW BRONZE	



3 REAR (EAST) ELEVATION



REV	DATE	BY	REVISION
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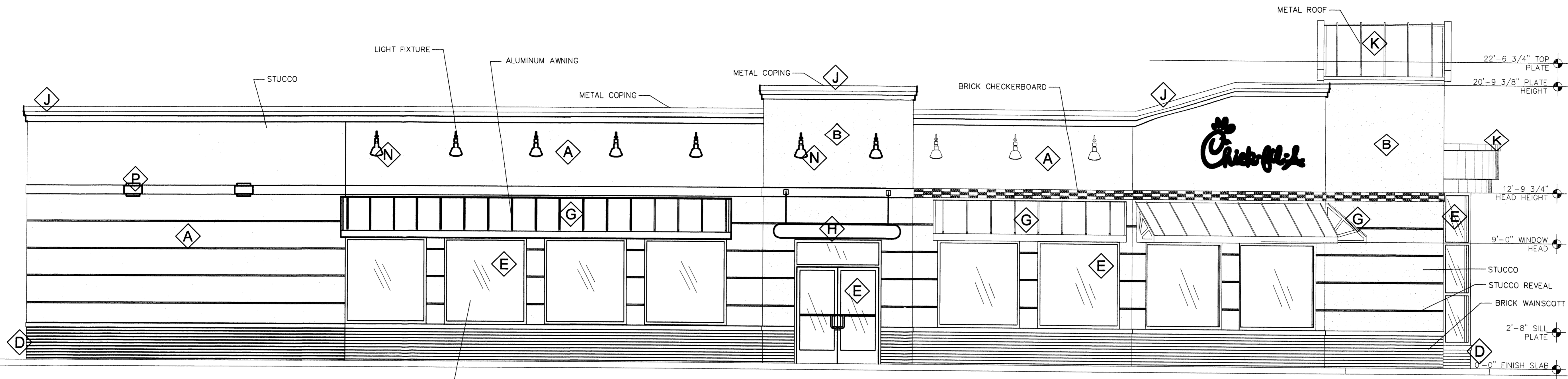


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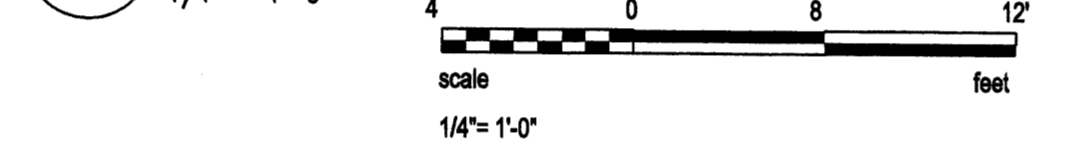
PRELIMINARY  
 NOT FOR  
 CONSTRUCTION

PROJECT TITLE	DEL NORTE PLAZA SAN PEDRO & PASO DEL NORTE ALBUQUERQUE, NEW MEXICO
PROJECT MANAGER	JOB NO. 0538A
DRAWN BY	JS
SHEET TITLE	McDonald's ELEVATIONS

DATE:	11.13.2007
SCALE:	AS NOTED
sheet:	A2
of:	

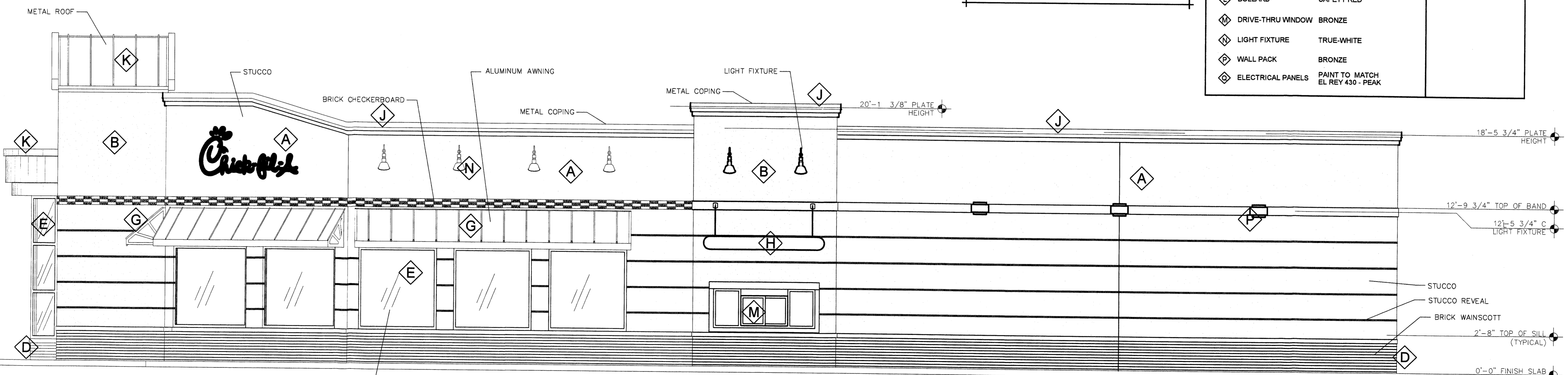


1 MAIN ENTRY (WEST) ELEVATION

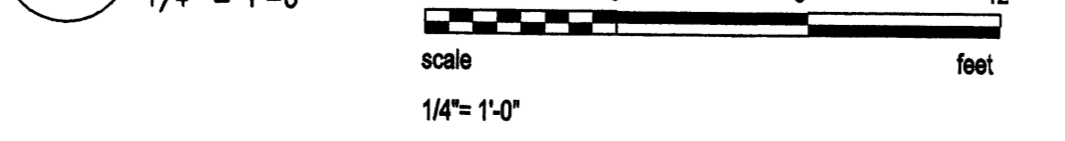


NOTES:  
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 BUILDING SIGNAGE DETERMINED BY LOCAL CODE. TENANT SIGNAGE TO BE APPROVED BY ZONING AND DONE UNDER SEPARATE ZONING PERMIT.  
 ALL BUILDING MATERIALS SHALL BE NON-REFLECTIVE.

Keyed Color / Material Schedule		Common Name
◆	STUCCO EL REY 821 LARIAT	OFF WHITE/LT.TAN
◆	STUCCO EL REY 803 SAGE	LT. TANYELLOW
◆	STUCCO EL REY 430 PEAK	LT. GREY
◆	BRICK WAINSCOT FIRE-BRICK RED	
◆	ALUM. STOREFRONT BRONZE	
◆	HOLLOW METAL DOOR PAINT TO MATCH ADJACENT FINISH	
◆	METAL AWNING GALVALUME	
◆	TUBE STEEL PAINT TO MATCH EL REY 430 - PEAK	
◆	METAL COPING SILVER	
◆	METAL ROOFING GALVALUME	
◆	BOLLARD SAFETY RED	
◆	DRIVE-THRU WINDOW BRONZE	
◆	LIGHT FIXTURE TRUE-WHITE	
◆	WALL PACK BRONZE	
◆	ELECTRICAL PANELS PAINT TO MATCH EL REY 430 - PEAK	



2 DRIVE-THRU (EAST) ELEVATION



REV	DATE	BY	REVISION
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PROJECT TITLE  
**DEL NORTE PLAZA**  
 SAN PEDRO & PASEO DEL NORTE  
 ALBUQUERQUE, NEW MEXICO

PROJECT MANAGER  
 JOB NO. 0636A

DRAWN BY:  
 JS

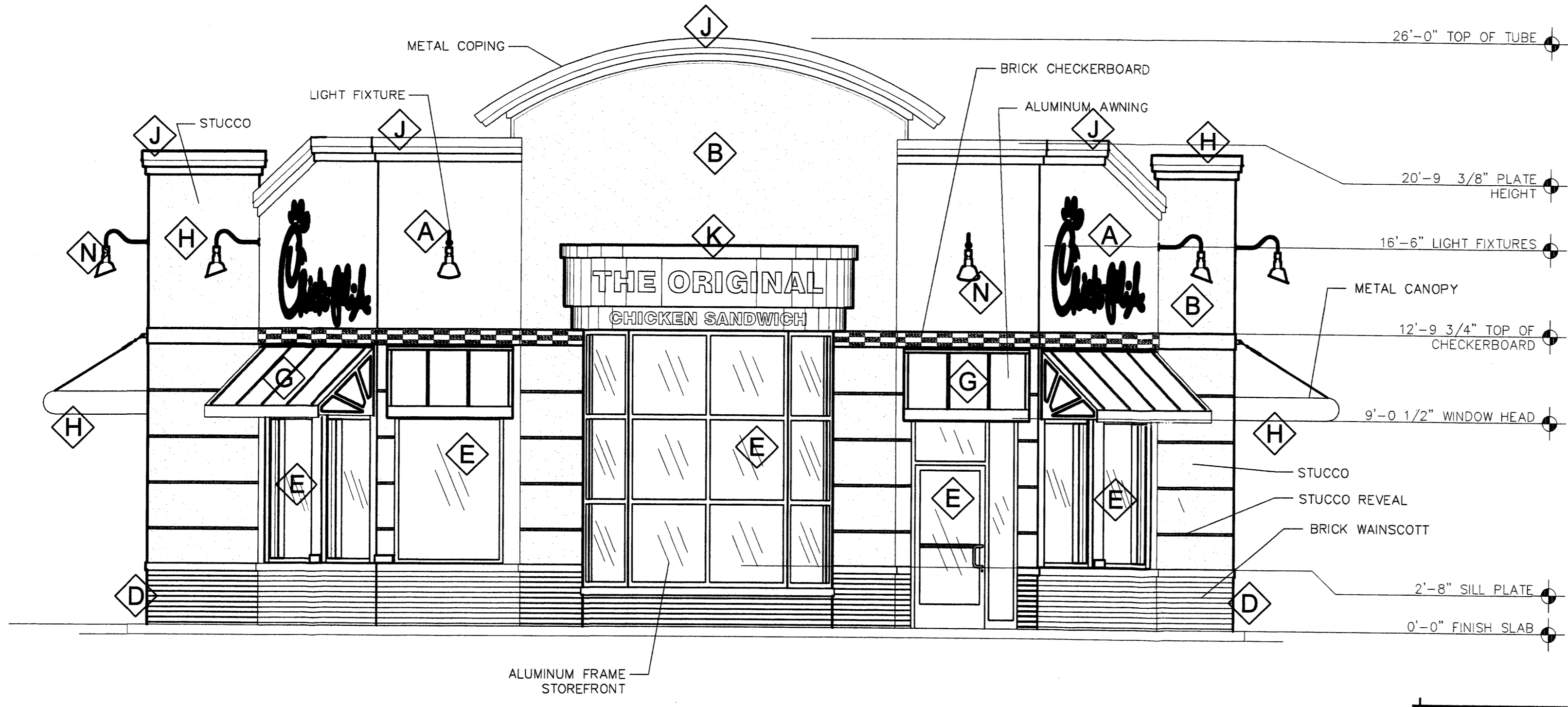
SHEET TITLE  
**Chick Fil-A ELEVATIONS**

DATE:  
 11.13.2007

SCALE:  
 1"=40'-0"

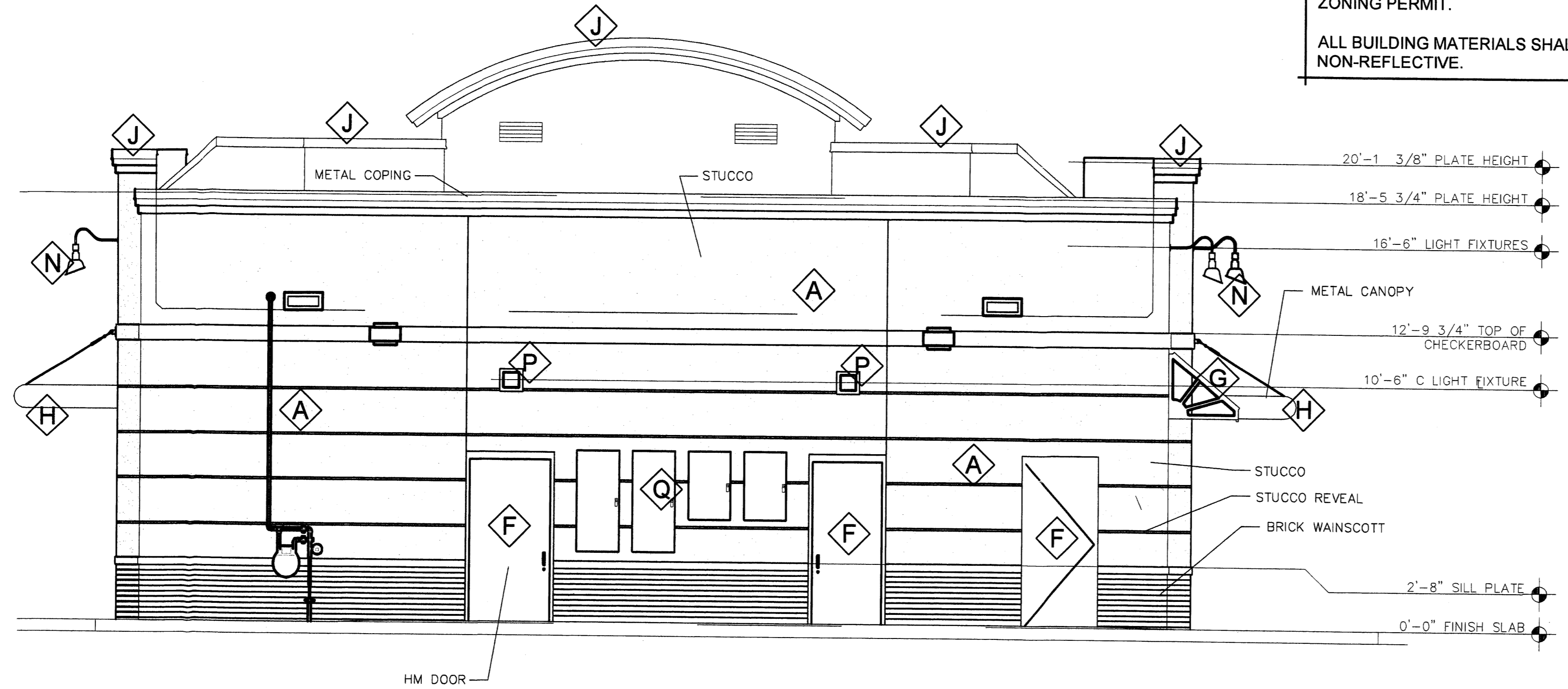
sheet-  
**A3**  
 of-

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1 FRONT (NORTH) ELEVATION  
 1/4" = 1'-0"  
 scale  
 1/4" = 1'-0"

NOTES:  
 ALL MECH. EQUIP. SHALL BE SHIELDED  
 ALUM. STOREFRONT SHALL BE RECESSED 2" FROM FACE OF STUCCO.  
 BUILDING SIGNAGE DETERMINED BY LOCAL CODE. TENANT SIGNAGE TO BE APPROVED BY ZONING AND DONE UNDER SEPARATE ZONING PERMIT.  
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2 REAR (SOUTH) ELEVATION  
 1/4" = 1'-0"  
 scale  
 1/4" = 1'-0"

Keyed Color / Material Schedule		Common Name
◇	STUCCO EL REY 821 LARIAT	OFF WHITE/ LT.TAN
◇	STUCCO EL REY 803 SAGE	LT. TANYELLOW
◇	STUCCO EL REY 430 PEAK	LT. GREY
◇	BRICK WAINSCOTT FIRE-BRICK RED	
◇	ALUM. STOREFRONT BRONZE	
◇	HOLLOW METAL DOOR PAINT TO MATCH ADJACENT FINISH	
◇	METAL AWNING GALVALUME	
◇	TUBE STEEL PAINT TO MATCH EL REY 430 - PEAK	
◇	METAL COPING SILVER	
◇	METAL ROOFING GALVALUME	
◇	BOLLARD SAFETY RED	
◇	DRIVE-THRU WINDOW BRONZE	
◇	LIGHT FIXTURE TRUE-WHITE	
◇	WALL PACK BRONZE	
◇	ELECTRICAL PANELS PAINT TO MATCH EL REY 430 - PEAK	

REV	DATE	BY	REVISION
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 SAN PEDRO & PASEO DEL NORTE  
 ALBUQUERQUE, NEW MEXICO

PROJECT MANAGER  
 JOB NO. 0636A

DRAWN BY:  
 JS

SHEET TITLE  
**Chick Fil-A ELEVATIONS**

DATE:  
 11.13.2007

SCALE:  
 1"=40'-0"

sheet:  
**A4**

of:

DRB SUBMITTAL