

Location Map
Zone Atlas Map No. C-18-Z

Subdivision Data:

GROSS SUBDIVISION ACREAGE: 7.4007 ACRES ±
 ZONE ATLAS INDEX NO: C-18-Z
 NO. OF TRACTS CREATED: 0
 NO. OF LOTS CREATED: 4
 MILES OF FULL-WIDTH STREETS CREATED: 0
 DATE OF SURVEY: OCTOBER 2006, FIELD VERIFIED JULY 2007.

Solar Note:

NO PROPERTY WITHIN THE AREA OF THIS PLAT SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERRECTED ON THE LOTS OF PARCELS WITHIN THE AREA OF THIS PLAT. THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT.

Disclosure Statement:

THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING ONE TRACT INTO FOUR NEW LOTS, TO GRANT EASEMENTS AND TO DEDICATE RIGHT OF WAY.

Notes:

- MISC. DATA: ZONING SU-2 IP
- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1927).
- ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN PROJECTED SECTION 13, TOWNSHIP 11 NORTH, RANGE 3 EAST, ELENA GALLEGOS GRANT, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- SP NO. 2008060555

Easements

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED (OWNER RESERVES RIGHT TO RELOCATE UTILITIES FROM TIME TO TIME AT THEIR SOLE COST AND EXPENSE).

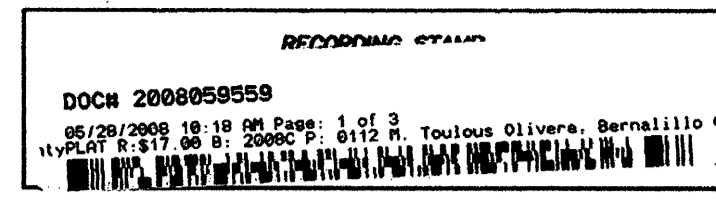
PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

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- COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

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Plat of
 Lots 1, 2, 3, and 4
Del Norte Plaza
 Albuquerque, Bernalillo County, New Mexico
 February 2008

Legal Description

SEE SHEET 2 OF 2 FOR LEGAL DESCRIPTION

Project No. 1006868

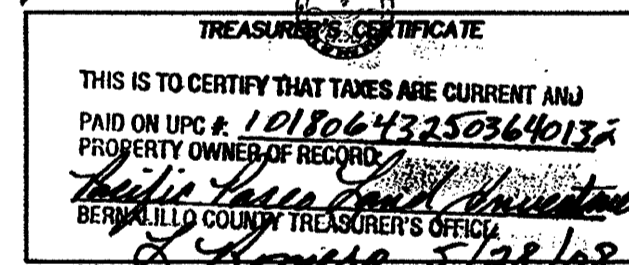
Application No. 08013-70225

Utility Approvals

<i>Fernando Vigil</i>	May 21, 2008
PNM (ELECTRIC)	DATE
<i>Fernando Vigil</i>	May 21, 2008
PNM (GAS)	DATE
<i>Natalia Delouis</i>	5-27-2008
QWEST TELECOMMUNICATIONS	DATE
<i>Kenne Babson</i>	5-22-08
COMCAST	DATE

City Approvals

<i>[Signature]</i>	3-18-08
CITY SURVEYOR	DATE
N/A	
REAL PROPERTY DIVISION	DATE
<i>[Signature]</i>	5-21-08
TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT	DATE
<i>Regen A Green</i>	5-21-08
ABCWUA	DATE
<i>Christine Dandora</i>	5/21/08
PARKS AND RECREATION DEPARTMENT	DATE
<i>Bradley L. Bingham</i>	5/21/08
AMAFCA	DATE
<i>Bradley L. Bingham</i>	5/21/08
CITY ENGINEER	DATE
<i>Jack Clark</i>	5/21/08
DRB CHAIRPERSON, PLANNING DEPARTMENT	



Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCRAGEMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

[Signature] 3/7/08
 LARRY W. MEDRANO
 N.M.P.S. No. 11993
 DATE



PRECISION SURVEYS, INC.

8500-A Jefferson Street, NE
 Albuquerque, NM 87113

866.422.8011 TOLL FREE
 505.856.5700 PHONE
 505.856.7900 FAX

Free Consent and Dedication

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT ADDITIONAL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY DEDICATE ALL STREET AND PUBLIC RIGHTS OF WAY FOR SAN PEDRO DRIVE, N.E. AND HOLLY AVENUE, NE SHOWN HEREON TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE.

PACIFIC PASEO DEVELOPMENT, L.L.C., A NEW MEXICO LIMITED LIABILITY COMPANY

BY: PACIFIC FISH COMPANY, A NEW MEXICO GENERAL PARTNERSHIP
 ITS: MEMBER

BY: *James Schumacher*
 JAMES SCHUMACHER
 ITS: GENERAL PARTNER

Acknowledgment

STATE OF NEW MEXICO) SS
 COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 14th DAY OF MARCH, 2008 BY JAMES S. SCHUMACHER, GENERAL PARTNER, PACIFIC FISH COMPANY, A NEW MEXICO GENERAL PARTNERSHIP, MEMBER, PACIFIC PASEO DEVELOPMENT, L.L.C., A NEW MEXICO LIMITED LIABILITY COMPANY.

BY: *Nancy Bangs* MY COMMISSION EXPIRES: 11/30/09
 NOTARY PUBLIC



BY: LEVINE INVESTMENTS LIMITED PARTNERSHIP, AN ARIZONA LIMITED PARTNERSHIP
 ITS: MEMBER

BY: KEIM, INC., AN ARIZONA CORPORATION
 ITS: GENERAL PARTNER

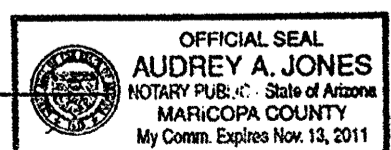
BY: *William S. Levine*
 WILLIAM S. LEVINE
 ITS: CHAIRMAN

Acknowledgment

STATE OF ARIZONA) SS
 COUNTY OF MARICOPA)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 12th DAY OF March, 2008 BY WILLIAM S. LEVINE, GENERAL PARTNER, LEVINE INVESTMENTS LIMITED PARTNERSHIP, AN ARIZONA LIMITED PARTNERSHIP, KEIM, INC., AN ARIZONA CORPORATION, GENERAL PARTNER.

BY: *Audrey A. Jones* MY COMMISSION EXPIRES: 11/13/2011
 NOTARY PUBLIC

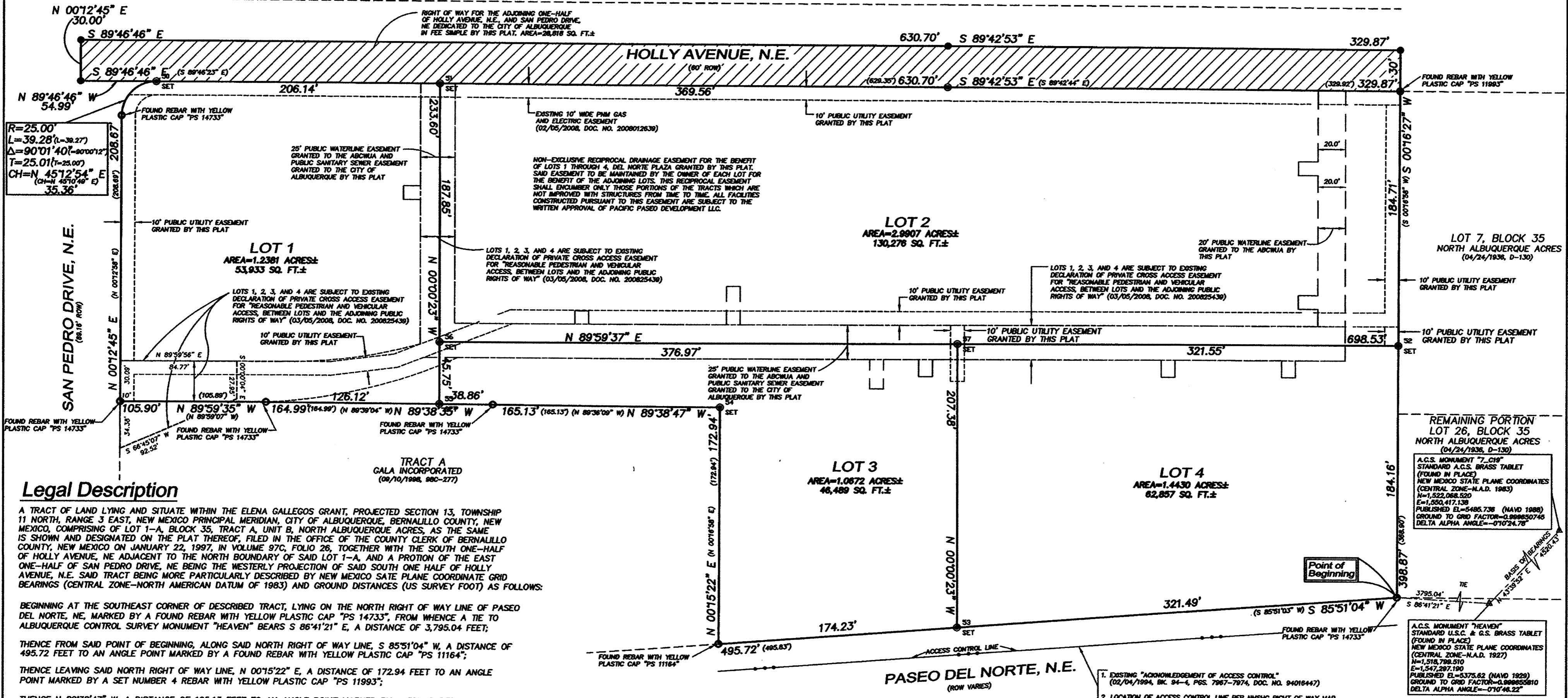


Plat of
Lots 1, 2, 3, and 4
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Albuquerque, Bernalillo County, New Mexico
February 2008

DOC# 2008059559
05/26/2008 10:18 AM Page: 2 of 3
PLAT R:17.00 B: 2896C P: 0112 M. Toulous Olivere, Bernalillo Co

Legend

(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESES
N 90°00'00" E	MEASURED BEARING AND DISTANCES
○	FOUND AND USED MONUMENT AS DESIGNATED
●	DENOTES NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY
●	DENOTES CALCULATED POINT-NOT SET



Legal Description

A TRACT OF LAND LYING AND SITUATE WITHIN THE ELENA GALLEGOS GRANT, PROJECTED SECTION 13, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF LOT 1-A, BLOCK 35, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JANUARY 22, 1997, IN VOLUME 97C, FOLIO 26, TOGETHER WITH THE SOUTH ONE-HALF OF HOLLY AVENUE, NE ADJACENT TO THE NORTH BOUNDARY OF SAID LOT 1-A, AND A PORTION OF THE EAST ONE-HALF OF SAN PEDRO DRIVE, NE BEING THE WESTERLY PROJECTION OF SAID SOUTH ONE-HALF OF HOLLY AVENUE, N.E. SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE COORDINATE GRID BEARINGS (CENTRAL ZONE-NORTH AMERICAN DATUM OF 1983) AND GROUND DISTANCES (US SURVEY FOOT) AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF DESCRIBED TRACT, LYING ON THE NORTH RIGHT OF WAY LINE OF PASEO DEL NORTE, NE, MARKED BY A FOUND REBAR WITH YELLOW PLASTIC CAP "PS 14733", FROM WHENCE A TIE TO ALBUQUERQUE CONTROL SURVEY MONUMENT "HEAVEN" BEARS S 86°41'21" E, A DISTANCE OF 3,795.04 FEET;

THENCE FROM SAID POINT OF BEGINNING, ALONG SAID NORTH RIGHT OF WAY LINE, S 85°51'04" W, A DISTANCE OF 495.72 FEET TO AN ANGLE POINT MARKED BY A FOUND REBAR WITH YELLOW PLASTIC CAP "PS 11164";

THENCE LEAVING SAID NORTH RIGHT OF WAY LINE, N 00°15'22" E, A DISTANCE OF 172.94 FEET TO AN ANGLE POINT MARKED BY A SET NUMBER 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 89°38'47" W, A DISTANCE OF 165.13 FEET TO AN ANGLE POINT MARKED BY A FOUND REBAR WITH YELLOW PLASTIC CAP "PS 14733";

THENCE N 89°38'35" W, A DISTANCE OF 164.99 FEET TO AN ANGLE POINT MARKED BY A FOUND REBAR WITH YELLOW PLASTIC CAP "PS 14733";

THENCE N 89°59'35" W, A DISTANCE OF 105.90 FEET TO THE SOUTHWEST CORNER OF DESCRIBED TRACT LYING ON THE EAST RIGHT OF WAY LINE OF SAN PEDRO DRIVE, NE, MARKED BY A FOUND REBAR WITH YELLOW PLASTIC CAP "PS 14733";

THENCE N 00°12'45" E ALONG SAID EAST RIGHT OF WAY LINE, A DISTANCE OF 208.67 FEET TO A POINT OF CURVATURE MARKED BY A FOUND REBAR WITH YELLOW PLASTIC CAP "PS 14733";

THENCE ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 25.00 FEET, AN ARC LENGTH OF 39.28 FEET, A DELTA ANGLE OF 90°01'40", AND A CHORD BEARING OF N 45°12'54" E, A DISTANCE OF 35.36 FEET TO AN ANGLE POINT MARKED BY A SET NUMBER 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 89°46'46" W, A DISTANCE OF 54.99 FEET TO AN ANGLE POINT LYING ON THE CENTER OF SAN PEDRO DRIVE, N.E.

THENCE N 00°12'45" E, A DISTANCE OF 30.00 FEET TO AN ANGLE POINT LYING ON THE INTERSECTION OF SAID SAN PEDRO DRIVE CENTERLINE AND THE CENTERLINE OF HOLLY AVENUE, N.E., BEING THE NORTHWEST CORNER OF DESCRIBED TRACT

THENCE S 89°46'46" E ALONG SAID CENTERLINE OF HOLLY AVENUE, N.E., A DISTANCE OF 630.70 FEET TO AN ANGLE POINT;

THENCE S 89°42'53" E, A DISTANCE OF 329.87 FEET TO THE NORTHEAST CORNER OF DESCRIBED TRACT.

THENCE LEAVING SAID CENTERLINE, S 00°16'27" W, A DISTANCE OF 398.87 FEET TO THE POINT OF BEGINNING, CONTAINING 7.4007 ACRES (322,373 SQUARE FEET), MORE OR LESS, NOW COMPRISING LOTS 1, 2, 3, AND 4, DEL NORTE PLAZA.

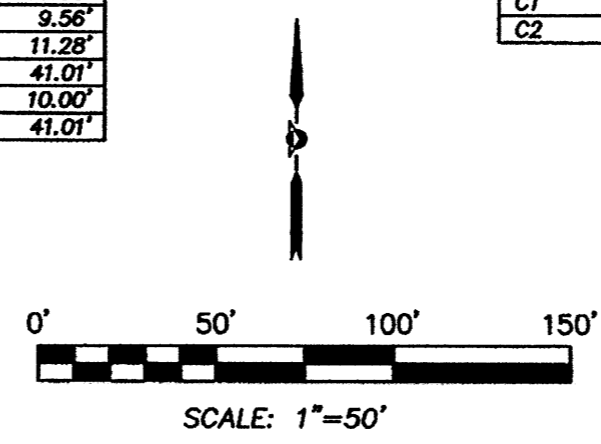
Line Table

LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
L1	S 89°59'41" W	12.43'	L26	N 89°59'41" E	10.00'
L2	S 00°00'19" E	10.00'	L27	N 00°00'19" W	27.54'
L3	N 89°59'41" E	12.43'	L28	S 00°00'19" E	9.56'
L4	S 00°00'19" E	22.00'	L29	N 89°59'41" E	10.00'
L5	N 89°59'41" E	10.00'	L30	N 00°00'19" W	9.56'
L6	S 00°00'19" E	22.00'	L31	S 89°20'58" W	11.28'
L7	N 89°59'41" E	25.67'	L32	S 00°00'23" E	41.01'
L8	S 00°00'19" E	12.50'	L33	N 89°59'37" E	10.00'
L9	N 89°59'41" E	10.00'	L34	S 00°00'23" E	41.01'
L10	S 00°00'19" E	12.50'			
L11	S 00°00'19" E	12.53'			
L12	N 89°59'41" E	10.00'			
L13	N 00°00'19" W	12.53'			
L14	S 00°00'19" E	12.43'			
L15	N 89°59'41" E	10.00'			
L16	N 00°00'19" W	12.43'			
L17	N 89°59'41" E	36.35'			
L18	N 89°59'41" E	14.32'			
L19	S 00°01'46" E	10.00'			
L20	S 89°59'41" W	14.31'			
L21	N 89°59'41" E	14.32'			
L22	N 00°00'19" W	10.00'			
L23	S 89°59'41" W	14.31'			
L24	N 00°00'19" E	12.51'			
L25	S 00°00'19" E	27.54'			

Curve Table

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	TANGENT	CHORD BEARING	CHORD LENGTH
C1	342.38'	93.05'	15°34'15"	46.81'	N 81°41'54" E	92.76'
C2	369.74'	144.29'	22°21'36"	73.08'	N 76°25'50" E	143.38'

SEE SHEET 3 OF 3 FOR EASEMENT INFORMATION



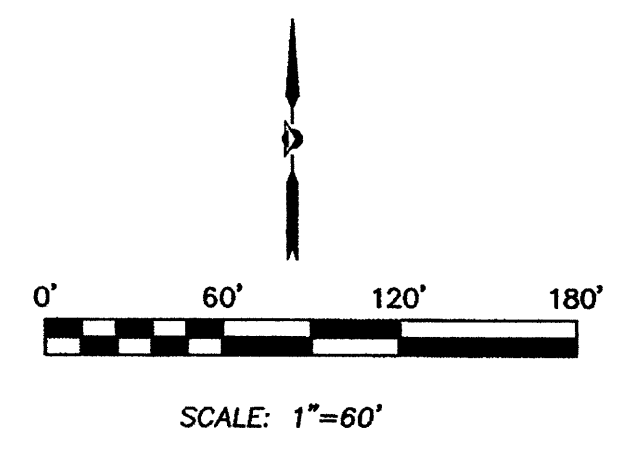
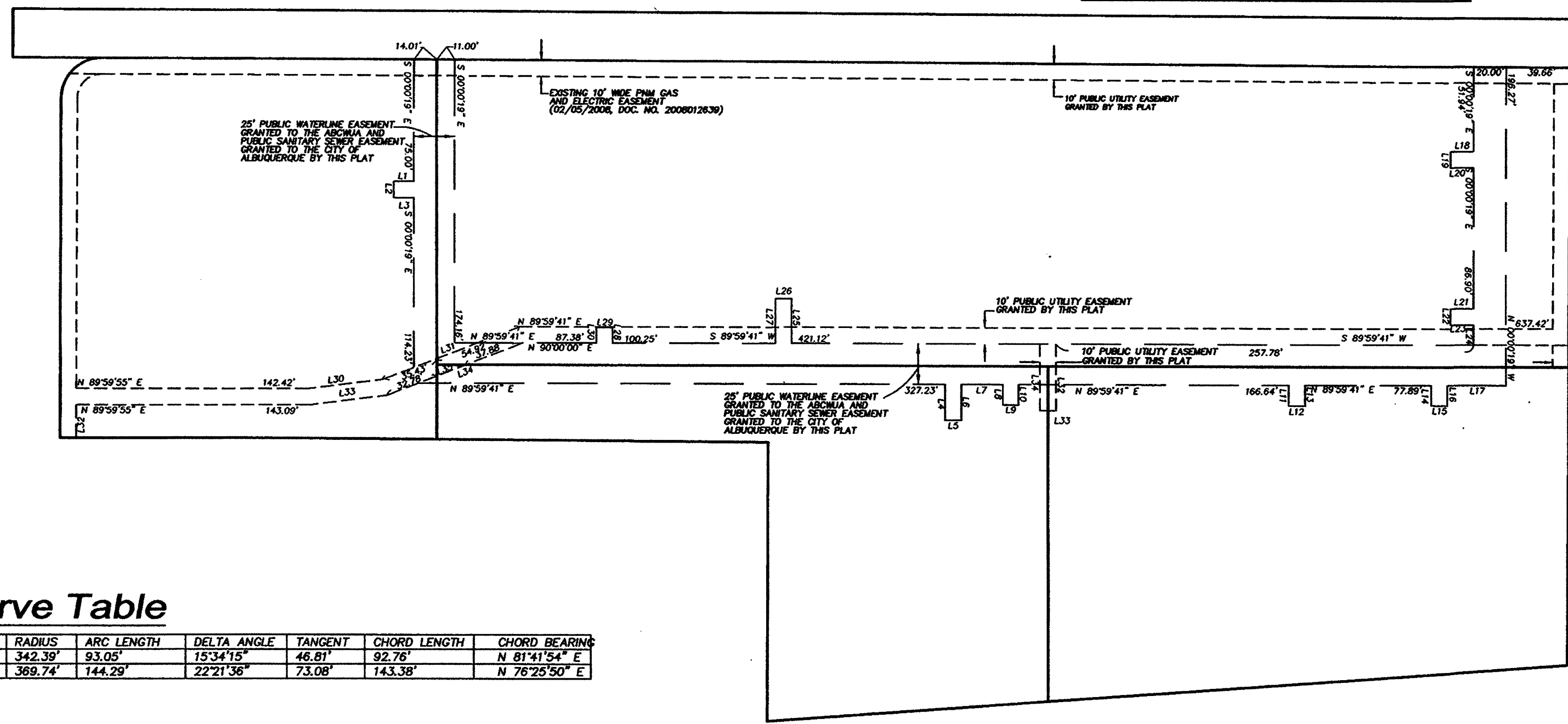
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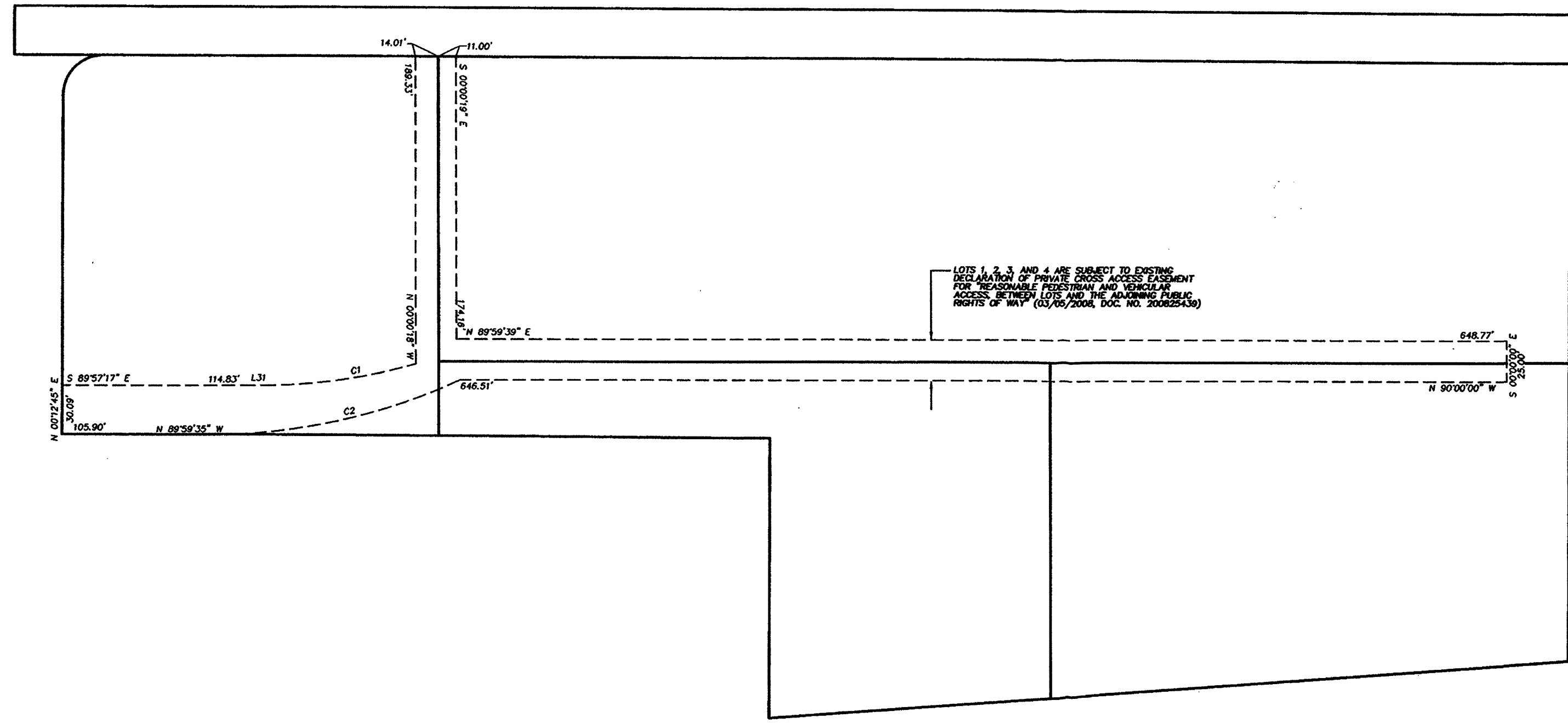


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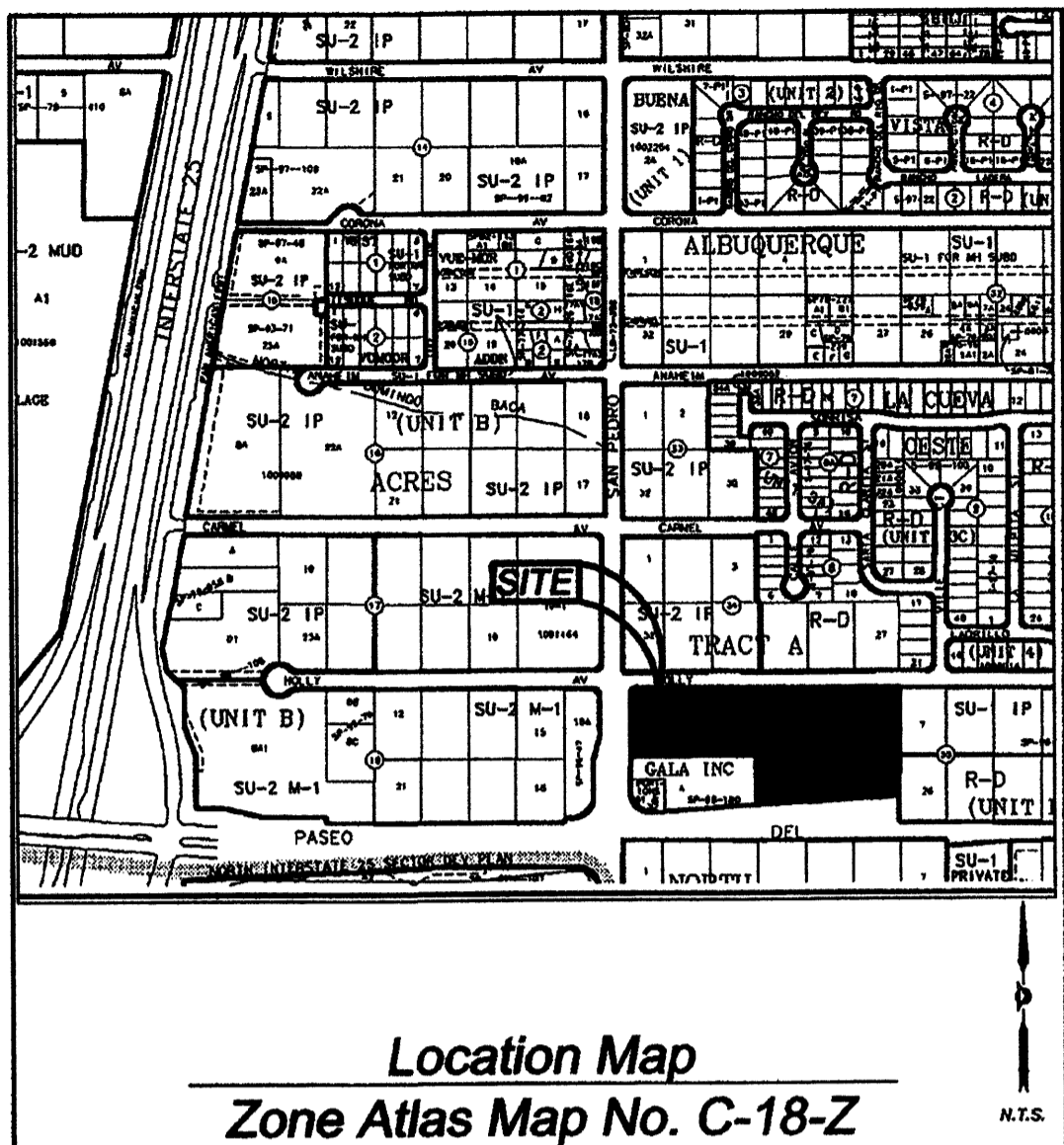
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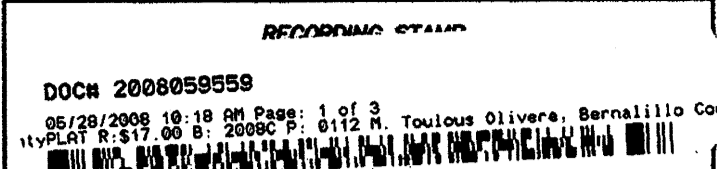
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 Lots 1, 2, 3, and 4
Del Norte Plaza
 Albuquerque, Bernalillo County, New Mexico
 February 2008

Legal Description

SEE SHEET 2 OF 2 FOR LEGAL DESCRIPTION

PROJECT: 1006868
 DATE: 2-3-16
 APP: 16-70009 (VPE)

Project No. 1006868

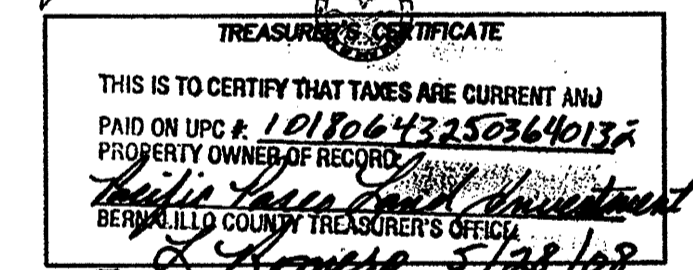
Application No. 08018-70225

Utility Approvals

Fernando Vigil PNM (ELECTRIC)	May 21, 2008 DATE
Fernando Vigil PNM (GAS)	May 21, 2008 DATE
Natalia Delouis QWEST TELECOMMUNICATIONS	5-27-2008 DATE
Donna Barber COMCAST	5-22-08 DATE

City Approvals

[Signature] CITY SURVEYOR	3-18-08 DATE
N/A REAL PROPERTY DIVISION	DATE
[Signature] TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT	5-21-08 DATE
Roger A. Heen ABCWUA	5-21-08 DATE
Christina Sandoval PARKS AND RECREATION DEPARTMENT	5/21/08 DATE
Bradley L. Bingham AMAFCA	5/21/08 DATE
Bradley L. Bingham CITY ENGINEER	5/21/08 DATE
Jack Clout DRB CHAIRPERSON, PLANNING DEPARTMENT	5/21/08 DATE



Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

[Signature]
 LARRY W. MEDRANO
 N.M.P.S. No. 11993
 DATE 3/7/08



PRECISION SURVEYS, INC.

8500-A Jefferson Street, NE
 Albuquerque, NM 87113

866.422.8011 TOLL FREE
 505.856.5700 PHONE
 505.856.7900 FAX

Free Consent and Dedication

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT ADDITIONAL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY DEDICATE ALL STREET AND PUBLIC RIGHTS OF WAY FOR SAN PEDRO DRIVE, N.E. AND HOLLY AVENUE, NE SHOWN HEREON TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE.

PACIFIC PASEO DEVELOPMENT, L.L.C., A NEW MEXICO LIMITED LIABILITY COMPANY

BY: PACIFIC FISH COMPANY, A NEW MEXICO GENERAL PARTNERSHIP
 ITS: MEMBER
 BY: James Schumacher
 JAMES SCHUMACHER
 ITS: GENERAL PARTNER

Acknowledgment

STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO) SS
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 14th DAY OF MARCH, 2008 BY JAMES S. SCHUMACHER, GENERAL PARTNER, PACIFIC FISH COMPANY, A NEW MEXICO GENERAL PARTNERSHIP, MEMBER, PACIFIC PASEO DEVELOPMENT, L.L.C., A NEW MEXICO LIMITED LIABILITY COMPANY.

BY: Nancy Bangs
 NOTARY PUBLIC
 MY COMMISSION EXPIRES: 11/30/09
 OFFICIAL SEAL
 NANCY BANGS
 NOTARY PUBLIC - STATE OF NEW MEXICO
 My Commission Expires: 11/30/09

BY: LEVINE INVESTMENTS LIMITED PARTNERSHIP, AN ARIZONA LIMITED PARTNERSHIP
 ITS: MEMBER

BY: KEIM, INC., AN ARIZONA CORPORATION
 ITS: GENERAL PARTNER
 BY: William S. Levine
 WILLIAM S. LEVINE
 ITS: CHAIRMAN

Acknowledgment

STATE OF ARIZONA)
 COUNTY OF MARICOPA) SS
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 12th DAY OF March, 2008 BY WILLIAM S. LEVINE, GENERAL PARTNER, LEVINE INVESTMENTS LIMITED PARTNERSHIP, AN ARIZONA LIMITED PARTNERSHIP, KEIM, INC., AN ARIZONA CORPORATION, GENERAL PARTNER.

BY: Audrey A. Jones
 NOTARY PUBLIC
 MY COMMISSION EXPIRES: 11/23/2011
 OFFICIAL SEAL
 AUDREY A. JONES
 NOTARY PUBLIC - State of Arizona
 MARICOPA COUNTY
 My Comm. Expires Nov. 13, 2011

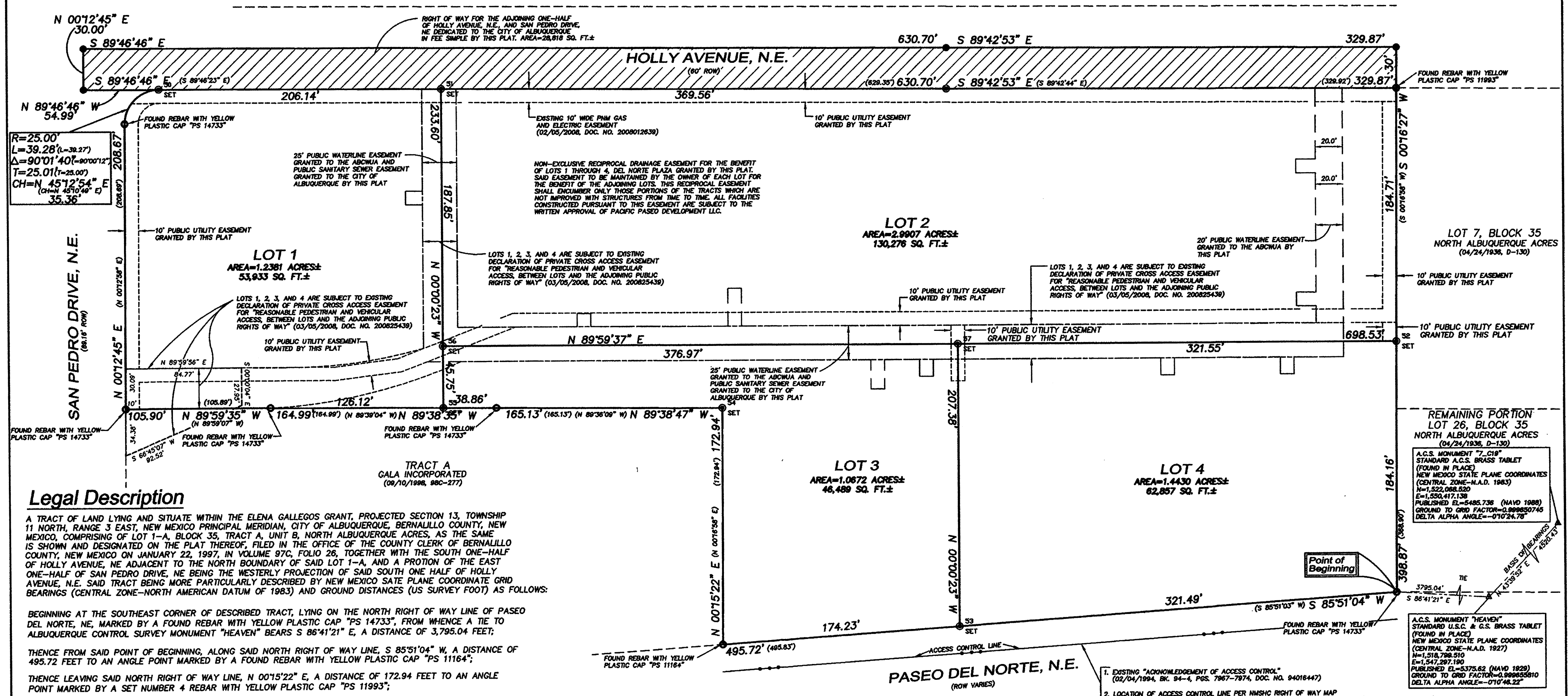
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Plat of
Lots 1, 2, 3, and 4
Del Norte Plaza
Albuquerque, Bernalillo County, New Mexico
February 2008

DOCH 2008059559
05/28/2008 10:18 AM Page: 2 of 3
PLAT R: \$17.00 B: 2008C P: 0112 M. Toulous Oliveira, Bernalillo Co.

Legend

(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESES
N 90°00'00" E	MEASURED BEARING AND DISTANCES
○	FOUND AND USED MONUMENT AS DESIGNATED
●	DENOTES NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY
●	DENOTES CALCULATED POINT-NOT SET



Legal Description

A TRACT OF LAND LYING AND SITUATE WITHIN THE ELENA GALLEGOS GRANT, PROJECTED SECTION 13, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF LOT 1-A, BLOCK 35, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JANUARY 22, 1997, IN VOLUME 97C, FOLIO 26, TOGETHER WITH THE SOUTH ONE-HALF OF HOLLY AVENUE, NE ADJACENT TO THE NORTH BOUNDARY OF SAID LOT 1-A, AND A PORTION OF THE EAST ONE-HALF OF SAN PEDRO DRIVE, NE BEING THE WESTERLY PROJECTION OF SAID SOUTH ONE HALF OF HOLLY AVENUE, N.E. SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE COORDINATE GRID BEARINGS (CENTRAL ZONE-NORTH AMERICAN DATUM OF 1983) AND GRID DISTANCES (US SURVEY FOOT) AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF DESCRIBED TRACT, LYING ON THE NORTH RIGHT OF WAY LINE OF PASEO DEL NORTE, NE, MARKED BY A FOUND REBAR WITH YELLOW PLASTIC CAP "PS 14733", FROM WHENCE A TIE TO ALBUQUERQUE CONTROL SURVEY MONUMENT "HEAVEN" BEARS S 86°41'21" E, A DISTANCE OF 3,795.04 FEET;

THENCE FROM SAID POINT OF BEGINNING, ALONG SAID NORTH RIGHT OF WAY LINE, S 85°51'04" W, A DISTANCE OF 495.72 FEET TO AN ANGLE POINT MARKED BY A FOUND REBAR WITH YELLOW PLASTIC CAP "PS 11164";

THENCE LEAVING SAID NORTH RIGHT OF WAY LINE, N 00°15'22" E, A DISTANCE OF 172.94 FEET TO AN ANGLE POINT MARKED BY A SET NUMBER 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 89°38'47" W, A DISTANCE OF 165.13 FEET TO AN ANGLE POINT MARKED BY A FOUND REBAR WITH YELLOW PLASTIC CAP "PS 14733";

THENCE N 89°38'35" W, A DISTANCE OF 164.99 FEET TO AN ANGLE POINT MARKED BY A FOUND REBAR WITH YELLOW PLASTIC CAP "PS 14733";

THENCE N 89°59'35" W, A DISTANCE OF 105.90 FEET TO THE SOUTHWEST CORNER OF DESCRIBED TRACT LYING ON THE EAST RIGHT OF WAY LINE OF SAN PEDRO DRIVE, NE, MARKED BY A FOUND REBAR WITH YELLOW PLASTIC CAP "PS 14733";

THENCE N 00°12'45" E ALONG SAID EAST RIGHT OF WAY LINE, A DISTANCE OF 208.67 FEET TO A POINT OF CURVATURE MARKED BY A FOUND REBAR WITH YELLOW PLASTIC CAP "PS 14733";

THENCE ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 25.00 FEET, AN ARC LENGTH OF 39.28 FEET, A DELTA ANGLE OF 90°01'40", AND A CHORD BEARING OF N 45°12'54" E, A DISTANCE OF 35.36 FEET TO AN ANGLE POINT MARKED BY A SET NUMBER 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 89°46'46" W, A DISTANCE OF 54.99 FEET TO AN ANGLE POINT LYING ON THE CENTER OF SAN PEDRO DRIVE, N.E.

THENCE N 00°12'45" E, A DISTANCE OF 30.00 FEET TO AN ANGLE POINT LYING ON THE INTERSECTION OF SAID SAN PEDRO DRIVE CENTERLINE AND THE CENTERLINE OF HOLLY AVENUE, N.E., BEING THE NORTHWEST CORNER OF DESCRIBED TRACT

THENCE S 89°46'46" E ALONG SAID CENTERLINE OF HOLLY AVENUE, N.E., A DISTANCE OF 630.70 FEET TO AN ANGLE POINT;

THENCE S 89°42'53" E, A DISTANCE OF 329.87 FEET TO THE NORTHEAST CORNER OF DESCRIBED TRACT.

THENCE LEAVING SAID CENTERLINE, S 00°16'27" W, A DISTANCE OF 398.87 FEET TO THE POINT OF BEGINNING, CONTAINING 7.4007 ACRES (322,373 SQUARE FEET), MORE OR LESS, NOW COMPRISING LOTS 1, 2, 3, AND 4, DEL NORTE PLAZA.

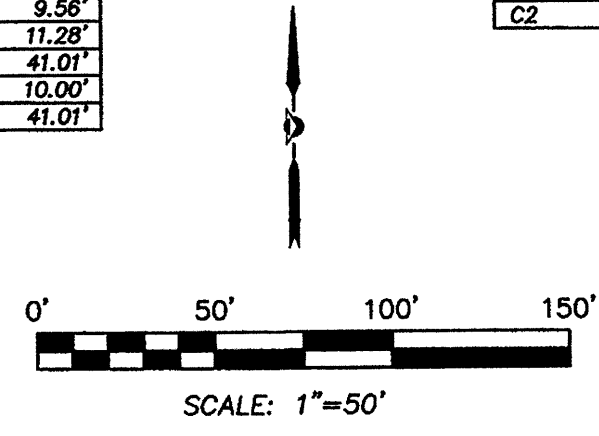
Line Table

LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
L1	S 89°59'41" W	12.43'	L26	N 89°59'41" E	10.00'
L2	S 00°00'19" E	10.00'	L27	N 00°00'19" W	27.54'
L3	N 89°59'41" E	12.43'	L28	S 00°00'19" E	9.56'
L4	S 00°00'19" E	22.00'	L29	N 89°59'41" E	10.00'
L5	N 89°59'41" E	10.00'	L30	N 00°00'19" W	9.56'
L6	S 00°00'19" E	22.00'	L31	S 89°20'58" W	11.28'
L7	N 89°59'41" E	25.67'	L32	S 00°00'23" E	41.01'
L8	S 00°00'19" E	12.50'	L33	N 89°59'37" E	10.00'
L9	N 89°59'41" E	10.00'	L34	S 00°00'23" E	41.01'
L10	S 00°00'19" E	12.50'			
L11	S 00°00'19" E	12.53'			
L12	N 89°59'41" E	10.00'			
L13	N 00°00'19" W	12.53'			
L14	S 00°00'19" E	12.43'			
L15	N 89°59'41" E	10.00'			
L16	N 00°00'19" W	12.43'			
L17	N 89°59'41" E	36.35'			
L18	N 89°59'41" E	14.32'			
L19	S 00°01'46" E	10.00'			
L20	S 89°59'41" W	14.31'			
L21	N 89°59'41" E	14.32'			
L22	N 00°00'19" W	10.00'			
L23	S 89°59'41" W	14.31'			
L24	N 00°00'19" W	12.51'			
L25	S 00°00'19" E	27.54'			

Curve Table

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	TANGENT	CHORD BEARING	CHORD LENGTH
C1	342.39'	93.05'	15°34'15"	46.81'	N 81°41'54" E	92.76'
C2	369.74'	144.29'	22°21'36"	73.08'	N 76°25'50" E	143.36'

SEE SHEET 3 OF 3 FOR EASEMENT INFORMATION



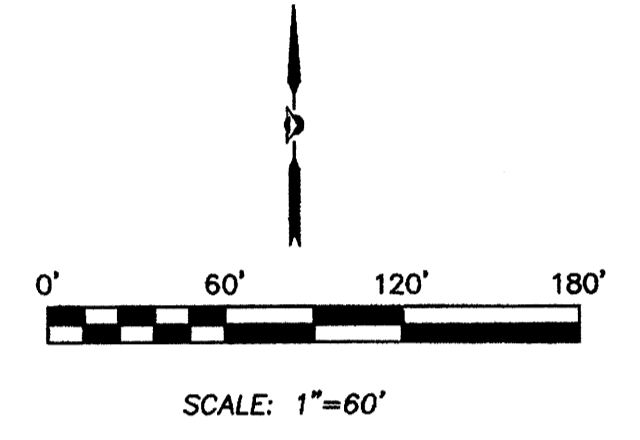
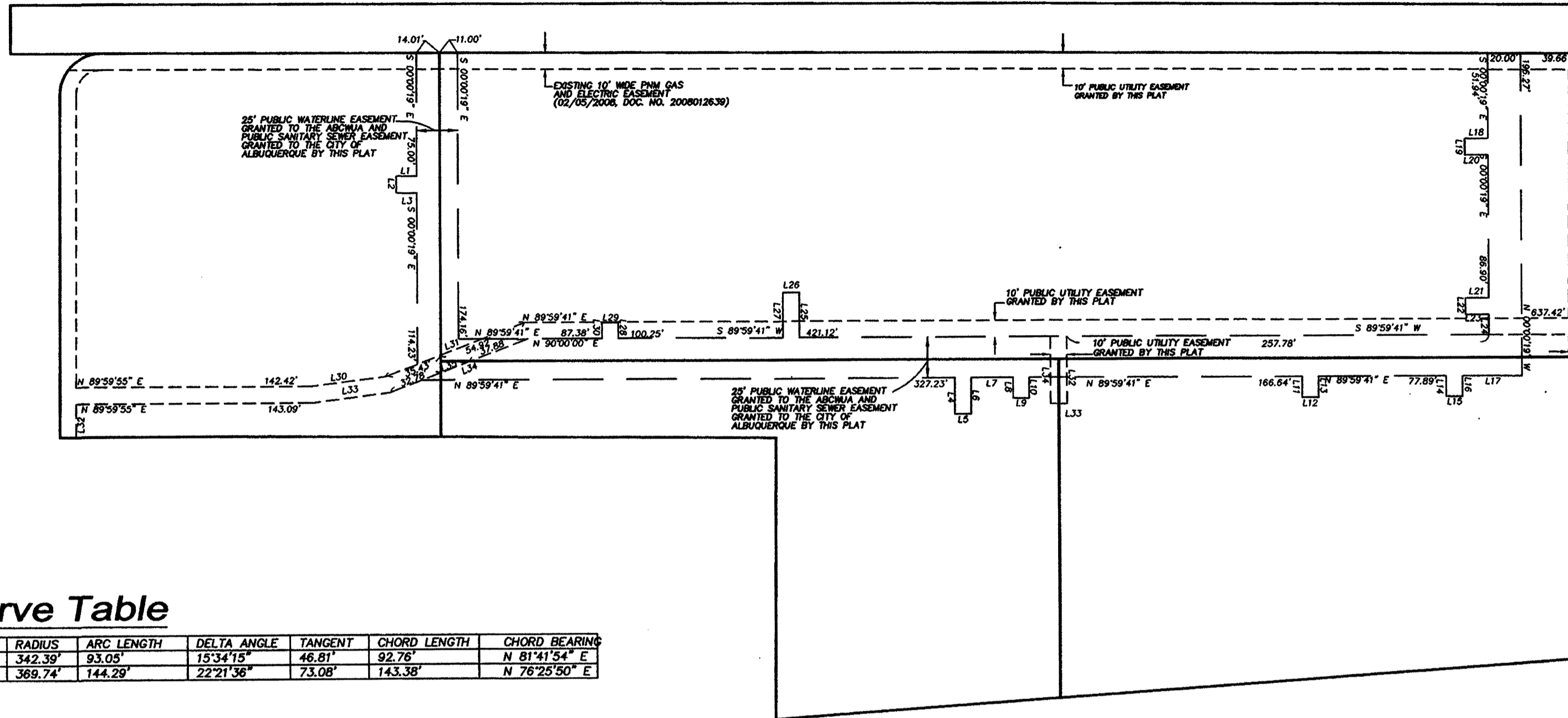
PRECISION SURVEYS, INC.

8500-A Jefferson Street, NE
Albuquerque, NM 87113
866.422.8011 TOLL FREE
505.856.5700 PHONE
505.856.7900 FAX

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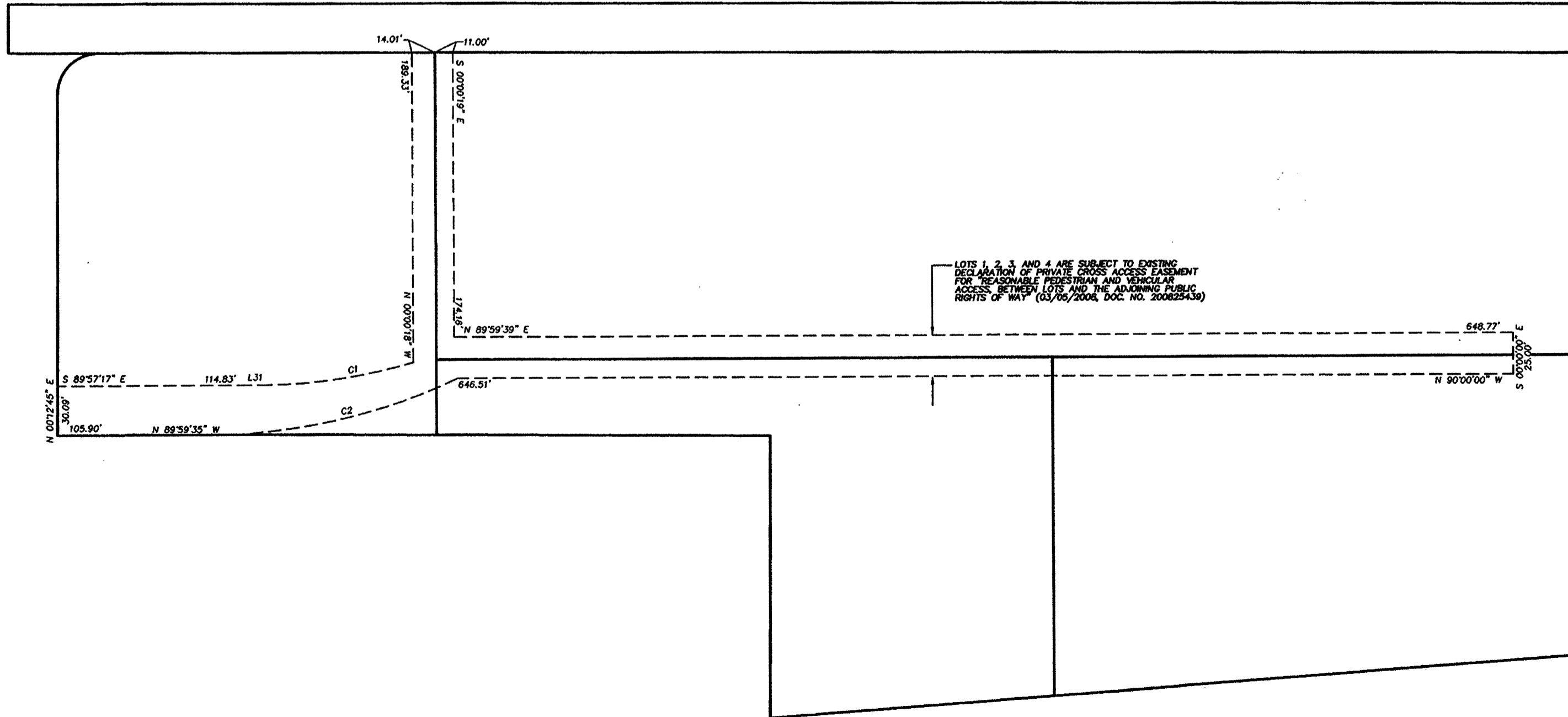
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 05/28/2008 10:18 AM Page: 3 of 3
 PLAT R: \$17.00 B: 2008C P: 0112 M. Toulous Olivere, Bernalillo Co

Plat of
 Lots 1, 2, 3, and 4
Del Norte Plaza
 Albuquerque, Bernalillo County, New Mexico
 February 2008



Curve Table

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	TANGENT	CHORD LENGTH	CHORD BEARING
C1	342.39'	93.05'	15°34'15"	46.81'	92.76'	N 81°41'54" E
C2	369.74'	144.29'	22°21'36"	73.08'	143.38'	N 76°25'50" E



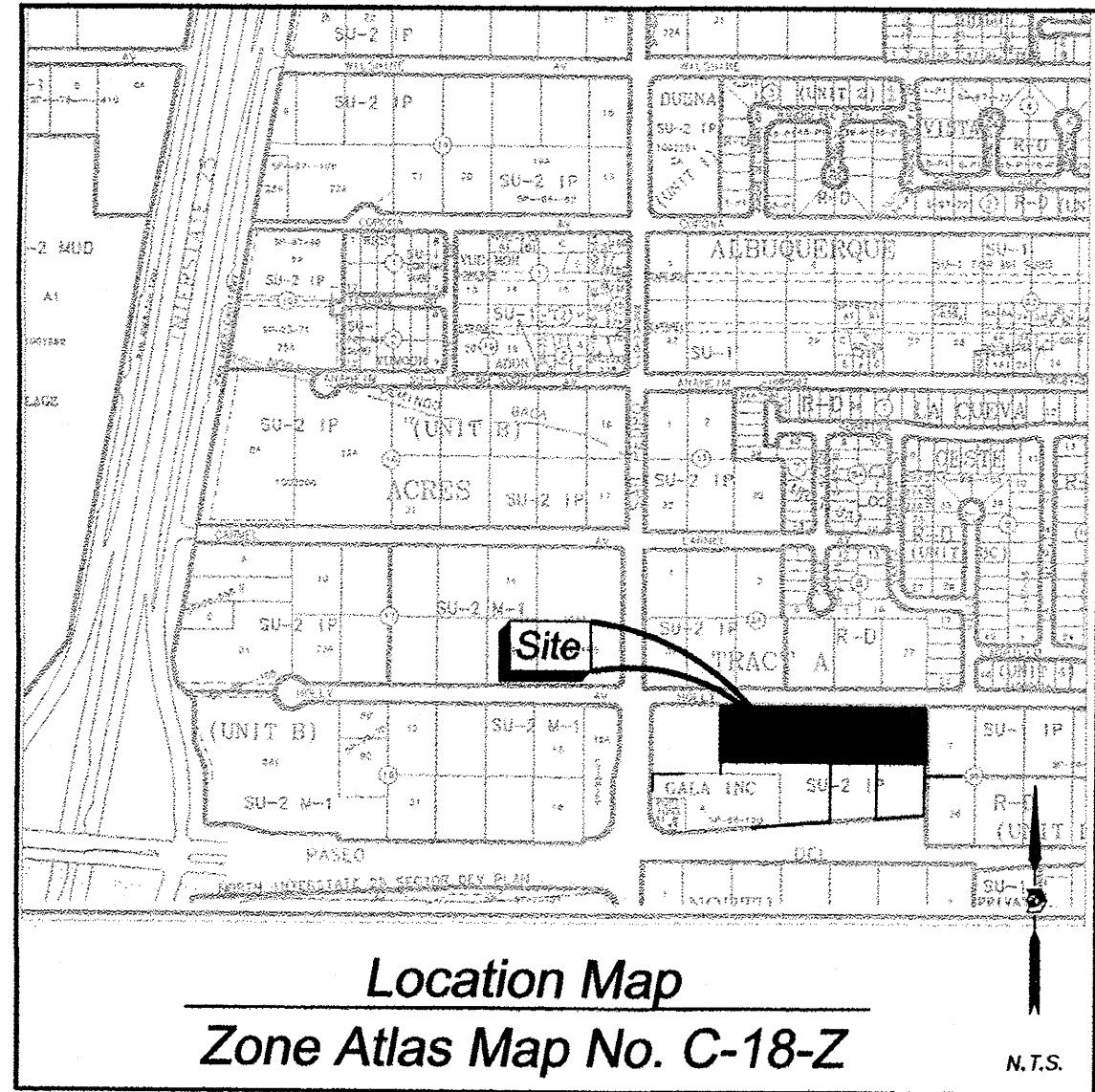
Line Table

LINE	BEARING	DISTANCE
L1	S 89°59'41" W	12.43'
L2	S 00°00'19" E	10.00'
L3	N 89°59'41" E	12.43'
L4	S 00°00'19" E	22.00'
L5	N 89°59'41" E	10.00'
L6	S 00°00'19" E	22.00'
L7	N 89°59'41" E	25.67'
L8	S 00°00'19" E	12.50'
L9	N 89°59'41" E	10.00'
L10	S 00°00'19" E	12.50'
L11	S 00°00'19" E	12.53'
L12	N 89°59'41" E	10.00'
L13	N 00°00'19" W	12.53'
L14	S 00°00'19" E	12.43'
L15	N 89°59'41" E	10.00'
L16	N 00°00'19" W	12.43'
L17	N 89°59'41" E	36.35'
L18	N 89°59'41" E	14.32'
L19	S 00°01'46" E	10.00'
L20	S 89°59'41" W	14.31'
L21	N 89°59'41" E	14.32'
L22	N 00°00'19" W	10.00'
L23	S 89°59'41" W	14.31'
L24	N 00°00'19" W	12.51'
L25	S 00°00'19" E	27.54'
L26	N 89°59'41" E	10.00'
L27	N 00°00'19" W	27.54'
L28	S 00°00'19" E	9.56'
L29	N 89°59'41" E	10.00'
L30	N 00°00'19" W	9.56'
L31	S 89°20'58" W	11.28'



8500-A Jefferson Street, NE
 Albuquerque, NM 87113
 866.422.8011 TOLL FREE
 505.856.5700 PHONE
 505.856.7900 FAX

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RECORDING STAMP

Plat of
 Lots 2-A and 2-B
Del Norte Plaza
 Albuquerque, Bernalillo County, New Mexico
 August 2015

Legal Description

LOT NUMBERED TWO (2) OF THE PLAT OF LOTS 1, 2, 3 AND 4, DEL NORTE PLAZA, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 28, 2008 IN PLAT BOOK 2008C, PAGE 112, CONTAINING 2.9914 ACRES, MORE OR LESS, NOW COMPRISING OF LOTS 2-A AND LOT 2-B.

Project No. _____

Application No. 15DRB-

Utility Approvals

PNM	DATE
NEW MEXICO GAS COMPANY	DATE
QWEST CORPORATION D/B/A CENTURYLINK QC	DATE
COMCAST	DATE

City Approvals

CITY SURVEYOR	DATE
TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT	DATE
A.B.C.W.U.A.	DATE
PARKS AND RECREATION DEPARTMENT	DATE
AMAFCA	DATE
CITY ENGINEER	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	

PROJECT: 1006868
 DATE: 8-26-15
 APP: 15-70288
 REQUEST: SKETCH

Subdivision Data:

ZONING: SU-2 IP
 GROSS SUBDIVISION ACREAGE: 2.9914 ACRES±
 ZONE ATLAS INDEX NO: C-18-Z
 NO. OF TRACTS CREATED: 0
 NO. OF LOTS CREATED: 2
 MILES OF FULL-WIDTH STREETS CREATED: 0
 DATE OF SURVEY: JULY 22, 2015

Purpose of Plat

THE PURPOSE OF THIS PLAT IS TO SUBDIVIDE THE EXISTING ONE (1) LOT INTO TWO (2) NEW LOTS.

Notes:

1. BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1983).
2. ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
3. THIS PROPERTY LIES WITHIN THE ELENA GALLEGOS GRANT, PROJECTED SECTION 13, TOWNSHIP 11 NORTH, RANGE 3 EAST, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
4. PLAT SHOWS ALL EASEMENTS OF RECORD.
5. EASEMENT BEARINGS AND DISTANCES SHOWN HEREON ARE RECORD AND EASEMENTS HAVE BEEN ROTATED TO MATCH BASIS OF BEARINGS AND BOUNDARY UNLESS OTHERWISE INDICATED.

Public Utility Easements

- PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON JOINT USE OF:
- A. PUBLIC SERVICE COMPANY OF NEW MEXICO ("PNM"), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR INSTALLATION, MAINTENANCE AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.
 - B. NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.
 - C. QWEST CORPORATION D/B/A CENTURYLINK QC FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.
 - D. CABLE TV FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE WITHIN THE EASEMENT CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM AND OVER SAID EASEMENTS, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANTOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMER/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE (5) FEET ON EACH SIDE.

Disclaimer

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM), QWEST CORPORATION D/B/A CENTURYLINK QC AND NEW MEXICO GAS COMPANY (NMGC) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM, QWEST CORPORATION D/B/A CENTURYLINK QC AND NMGC DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN SPECIFICALLY DESCRIBED AND ON THIS PLAT.

Solar Note:

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERRECTED ON THE LOTS OF PARCELS WITHIN THE AREA OF THIS PLAT.

Free Consent

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

JAMES SCHUMACHER _____ DATE
 PACIFIC PASEO DEVELOPMENT, L.L.C., A NEW MEXICO LIMITED LIABILITY COMPANY

Acknowledgment

STATE OF NEW MEXICO) SS
 COUNTY OF BERNALILLO)
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2015 BY JAMES S. SCHUMACHER, PACIFIC PASEO DEVELOPMENT, L.L.C., A NEW MEXICO LIMITED LIABILITY COMPANY.

BY _____ MY COMMISSION EXPIRES: _____
 NOTARY PUBLIC

 TREASURER CERTIFICATE

Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED NEW MEXICO PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF THE MINIMUM STANDARDS FOR LAND SURVEYS AS ADOPTED BY THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

LARRY W. MEDRANO _____ DATE
 N.M.P.S. No. 11993



OFFICE LOCATION:
 5571 Midway Park Place, NE
 Albuquerque, NM 87109
 MAILING ADDRESS:
 PO Box 90636
 Albuquerque, NM 87199
 505.856.5700 PHONE
 505.856.7900 FAX

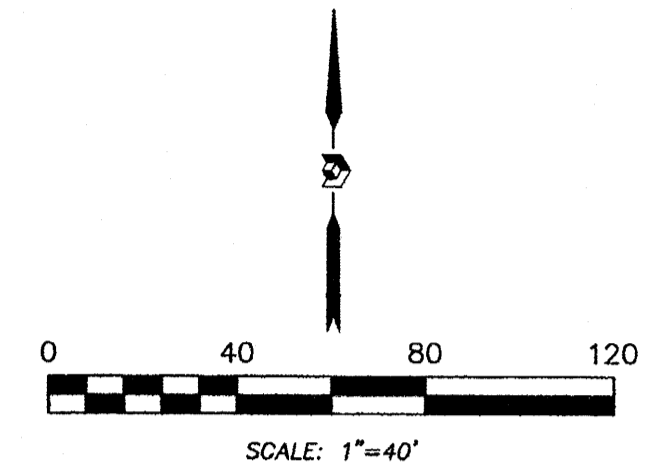
INDEXING INFORMATION FOR COUNTY CLERK
 OWNER PACIFIC PASEO DEVELOPMENT, L.L.C.
 SECTION 13, TOWNSHIP 11 N, RANGE 3 E,
 SUBDIVISION DEL NORTE PLAZA

Legend

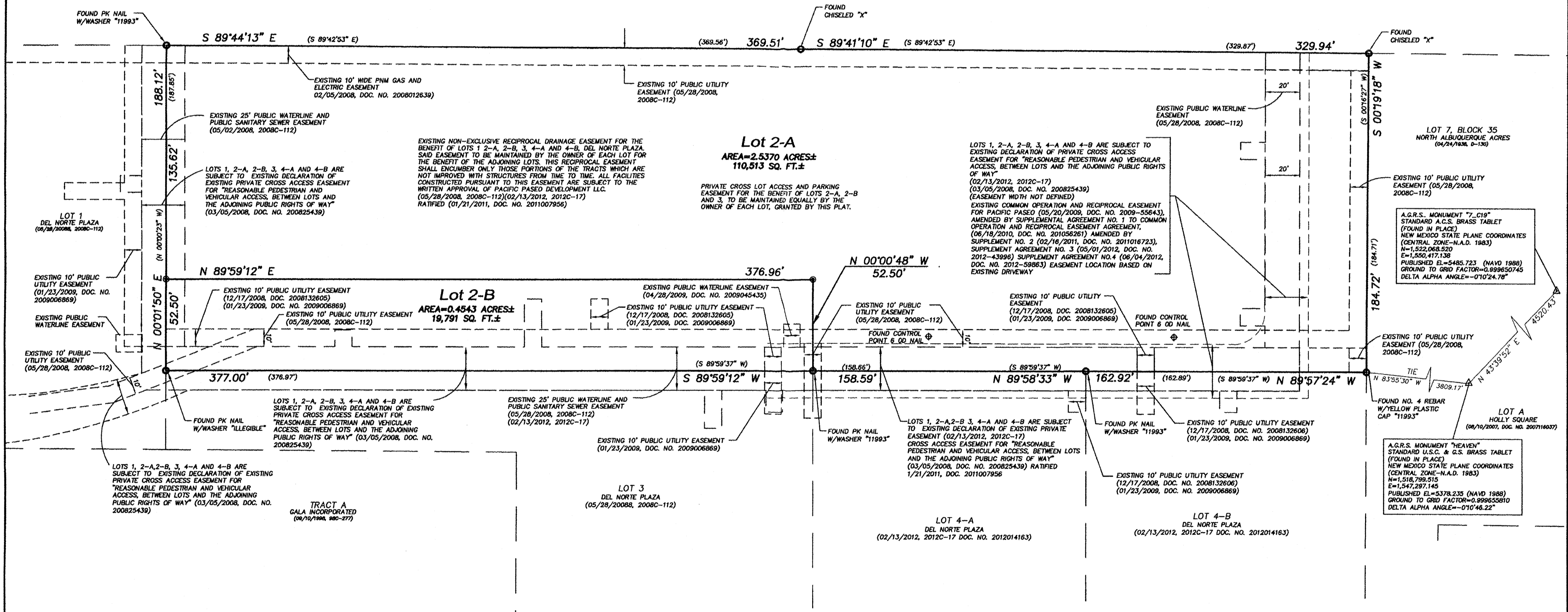
N 90°00'00" E	MEASURED BEARING AND DISTANCES
(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES
○	FOUND AND USED MONUMENT AS DESIGNATED
⊙	DENOTES NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY
△	FOUND ALUMINUM AGRS MONUMENT AS DESIGNATED

RECORDING STAMP

Plat of
Lots 2-A and 2-B
Del Norte Plaza
 Albuquerque, Bernalillo County, New Mexico
 August 2015



Holly Avenue, N.E.
 (60' ROW)



PRECISION
 SURVEYS, INC.

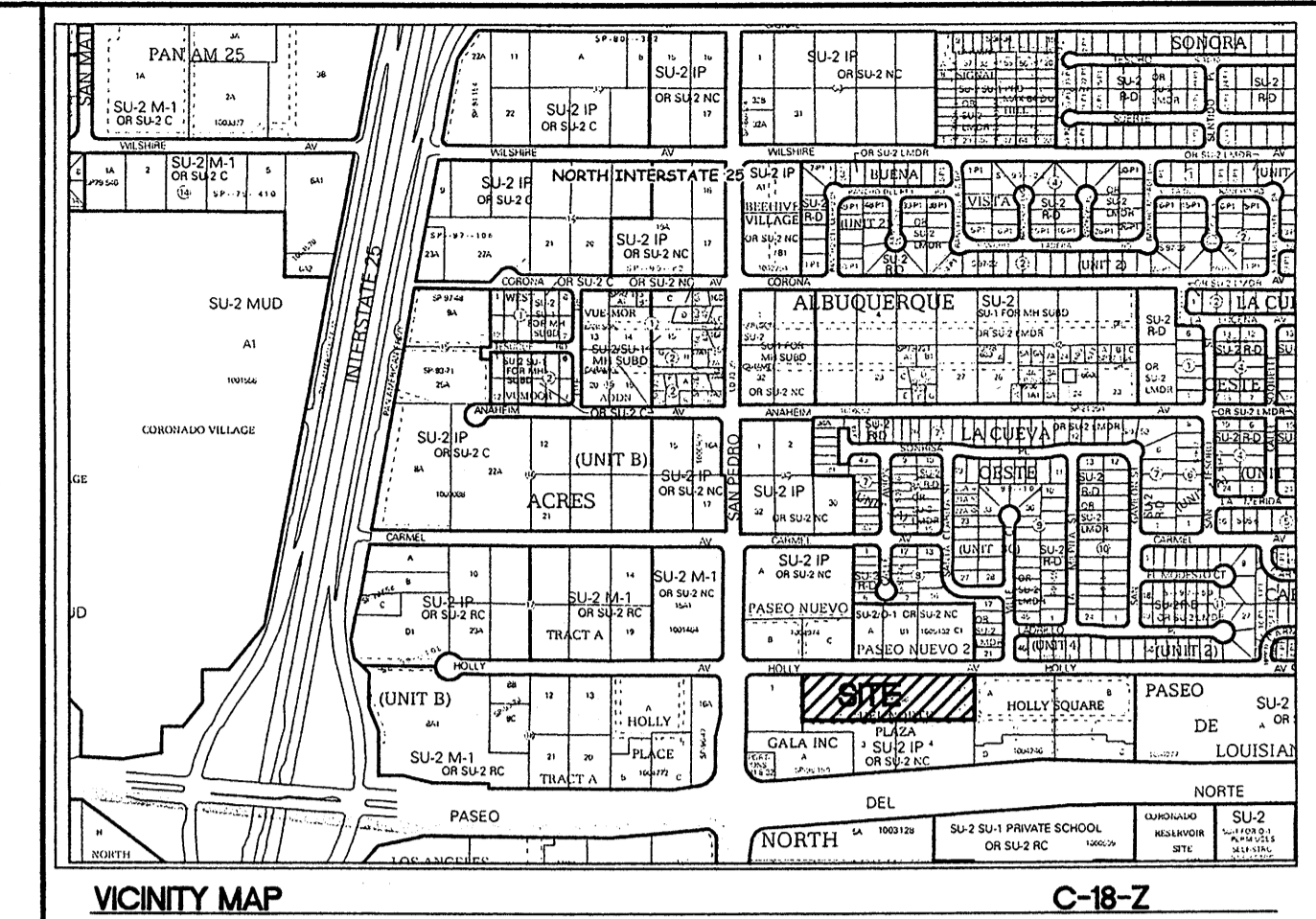
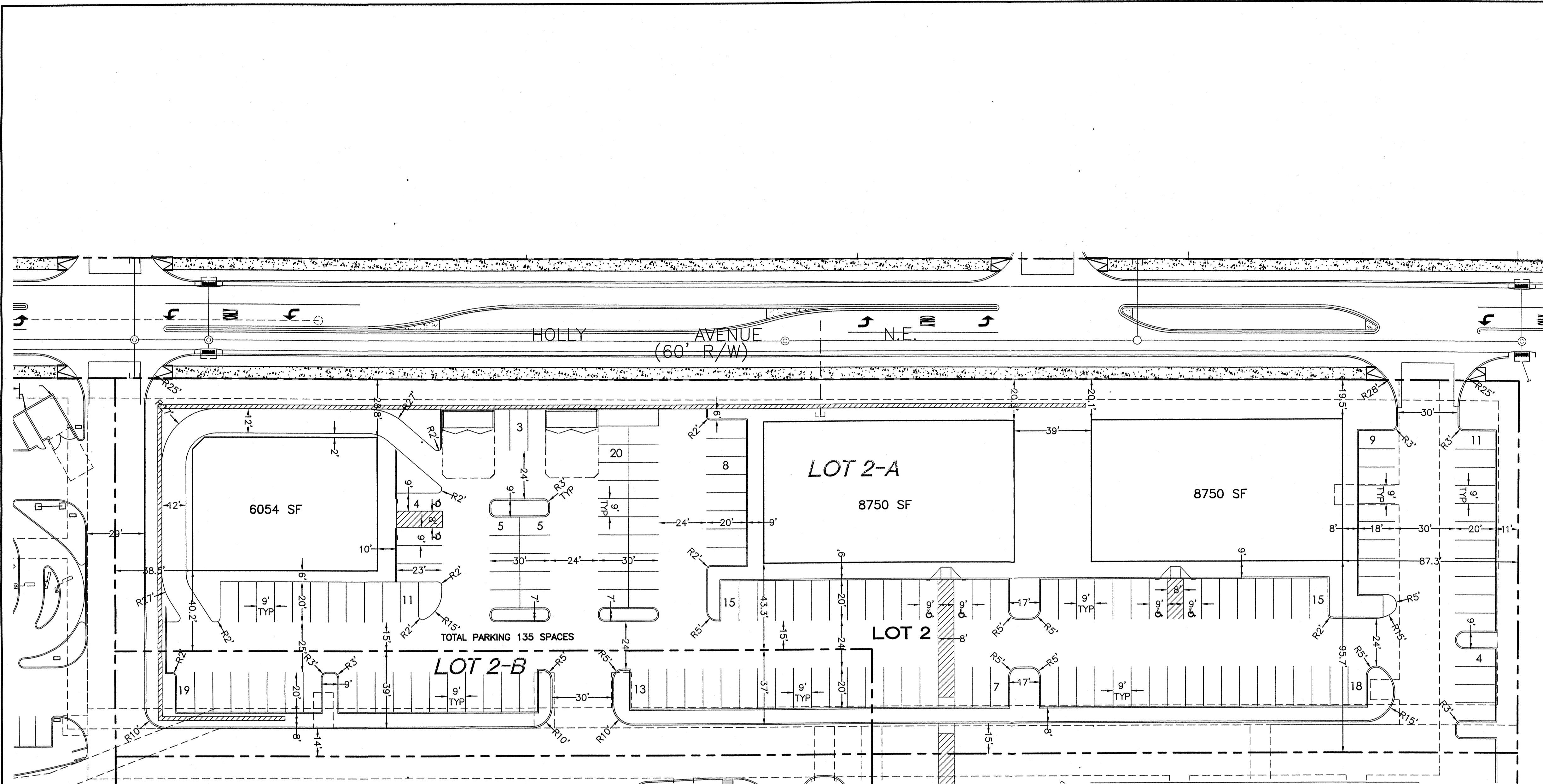
OFFICE LOCATION:
 5571 Midway Park Place, NE
 Albuquerque, NM 87109

MAILING ADDRESS:
 PO Box 90636
 Albuquerque, NM 87199

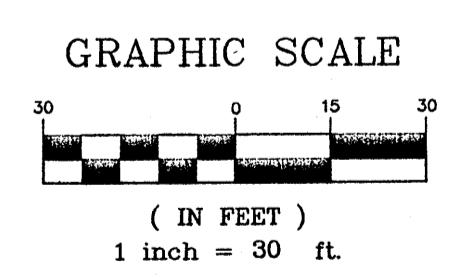
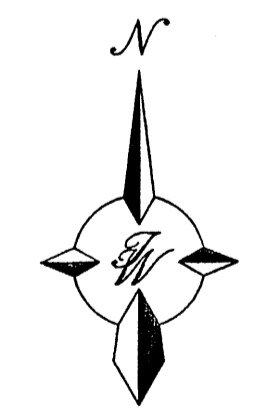
INDEXING INFORMATION FOR COUNTY CLERK
 OWNER PACIFIC PASEO DEVELOPMENT, L.L.C.
 SECTION 13, TOWNSHIP 11 N, RANGE 3 E,
 SUBDIVISION DEL NORTE PLAZA

505.856.5700 PHONE
 505.856.7900 FAX

C:\Users\jls15121\OneDrive\157118P.dwg, 8/17/2015 1:56:07 PM, HP DesignPlot 1770, 46x16x2



VICINITY MAP
LEGAL DESCRIPTION
 LOT 2-A AND 2-B DEL NORTE PLAZA



ENGINEER'S SEAL	HOLLY SHOPPING CENTER ALBUQUERQUE, NM	DRAWN BY pm
	SITE SKETCH	DATE 8-18-15
RONALD R. BOHANNAN P.E. #7868	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrowestllc.com	DRAWING SITE PLAN
		SHEET # 1
		JOB # 2015053

1006868 DRB AA

LEGEND

N 90°00'00" E MEASURED BEARING AND DISTANCES MATCH RECORD BEARINGS AND DISTANCES FOUND AND USED MONUMENT AS DESIGNATED

DENOTES NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY

POWER POLE
SANITARY SEWER MANHOLE
STORM SEWER MANHOLE
WATER METER
WATER VALVE
TELEPHONE PEDESTAL
FIRE HYDRANT
GAS VALVE
TELEPHONE CABINET
CABLE TV PEDESTAL
GUY WIRE
WATER MANHOLE
TRANSFORMER
MEDIUM INLET
CURB INLET
OVERHEAD UTILITY LINE
EXISTING CURB AND GUTTER
SPOT ELEVATIONS (CURB SPOTS ARE AT TOP/BACK)
PROPOSED CURB AND GUTTER

HERE WE GROW AGAIN SIGN

THE GENERAL CONTRACTOR SHALL DISPLAY A "HERE WE GROW AGAIN" BANNER DURING CONSTRUCTION. THESE BANNERS ARE AVAILABLE THROUGH WORLD WIDE COMPANY, OAKBROOK, IL. PH: 1-800-937-7671

LOT LIGHTING

CONTRACTOR TO REFER TO SITE UTILITY PLAN FOR PRELIMINARY DESIGN LAYOUT. FINAL LAYOUT TO BE PROVIDED BY SECURITY LIGHTING.

SLEEVING NOTICE TO CONTRACTOR

THE PAVING CONTRACTOR SHALL NOT PLACE PERMANENT PAVEMENT UNTIL ALL SLEEVING FOR ELECTRIC, GAS, TELEPHONE, CABLE TV, SITE IRRIGATION, BUILDING DOWNSPOUTS, ETC. HAS BEEN INSTALLED. IT SHALL BE THE PAVING CONTRACTOR'S RESPONSIBILITY TO INSURE THAT ALL SLEEVING IS IN PLACE PRIOR TO PLACING OF PERMANENT PAVEMENT. PRIOR TO STARTING OF CONSTRUCTION THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS FROM CITY OF ADA HAVE BEEN OBTAINED.

LOOP DETECTORS

CONTRACTOR TO REFER TO E1 ELECTRICAL ROUGH-IN PLAN FOR EXACT LOCATION OF LOOP DETECTOR AT DRIVE-THRU WINDOW. REFER TO SD2 FOR DETECTOR LOOP SPECIFICATIONS.

CONSTRUCTION SCHEDULE

MARK	MARK DESCRIPTION
(1)	6"x6" CONCRETE CURB AND GUTTER (TYP.)
(2)	6"x6" VERTICAL CURB W/GUTTER AT DRIVE-THRU SIDE ONLY
(3)	DETECTOR LOOP (LOCATION TO BE APPROVED BY McDONALD'S)
(4)	PROPOSED CONCRETE WHEELSTOP (2 TOTAL)
(5)	PROPOSED 10.5' SLOPED SIDEWALK @ 4.6% MAX.
(6)	PAVING SYMBOLS
(7)	PRETREAT FOR TERMITES CONTROL
(8)	PROPOSED ACCESSIBLE ROUTE
(9)	LANDSCAPE FINISH GRADE 1" BELOW TOP OF CURB @ ALL LAWN AREAS AND 2" BELOW TOP OF CURB AT BED AREAS
(10)	PROPOSED CONCRETE WALK
(11)	1' CURB OPENING W/ 1' TRANSITION
(12)	6' CURBED RAMP
(13)	OVERHEAD Pylon SIGN
(14)	McDONALD'S "WELCOME" ENTRY SIGN
(15)	McDONALD'S "THANK YOU" EXIT SIGN
(16)	PROPOSED DOWNSPOUT LOCATION. RE: BUILDING PLANS FOR EXIT FROM BUILDING
(17)	TRASH ENCLOSURE DRAIN
(18)	EXISTING CURB TO BE REMOVED
(19)	"DO NOT ENTER" SIGN

STANDARD ACCESSIBILITY REQUIREMENTS

PARKING:

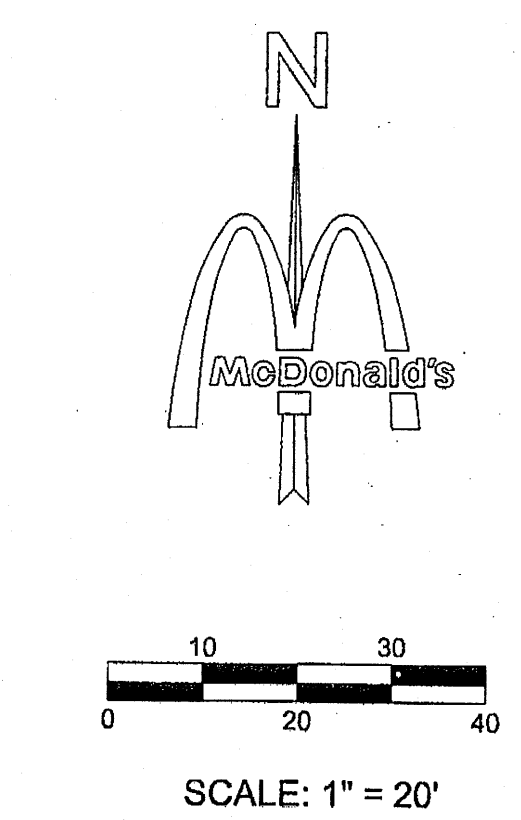
- (A) ACCESSIBLE PARKING SPACES SHALL BE A MIN. 96" WIDE WITH A MAXIMUM SLOPE OF 2% (IN ALL DIRECTIONS)
- (B) EACH ACCESSIBLE PARKING SPACE SHALL HAVE A VERTICALLY MOUNTED (OR SUSPENDED) SIGN SHOWING THE SYMBOL OF ACCESSIBILITY. AT LEAST ONE SPACE MUST HAVE AN ADDITIONAL SIGN "VAN ACCESSIBLE" MOUNTED BELOW THE SYMBOL OF ACCESSIBILITY. SIGNS SHALL BE LOCATED AT 60" ABOVE GROUND SURFACE TO BOTTOM OF TEXT.
- (C) ALL ACCESSIBLE SPACES SERVING H.C. PARKING SPACES SHALL BE 60" WIDE MINIMUM AND 96" WIDE MINIMUM FOR VAN DESIGNATED SPACES. ALL BUILDINGS SHALL CONTAIN AT LEAST ONE VAN ACCESSIBLE SPACE.

RAMP:

- (D) RAMP EXCEEDING 6" IN RISE SHALL HAVE HANDRAILS EACH SIDE AT BETWEEN 34" AND 38" AND EXTEND 12" BEYOND TOP AND BOTTOM OF RAMP AND SHALL NOT DIMINISH THE CLEAR AREA REQUIRED FOR TOP AND BOTTOM LANDINGS SERVING THE RAMP.
- (E) RAMP SHALL HAVE A ROUGH (BROOM FINISH) SURFACE OR ABRASIVE TILE. RAMP SHALL ALSO CONTAIN TRUNCATED DOMES ARRANGED SO THAT WATER WILL NOT ACCUMULATE. COLOR OF RAMP FINISH MATERIAL (INCLUDING CONCRETE) AND LIGHT AND REFLECTIVE VALUE MUST CONTRAST SIGNIFICANTLY TO DISTINGUISH IT FROM ADJACENT SURFACES. (OR PAINT STRIPE)
- (F) BOTTOM LANDINGS FOR RAMP SERVING REQUIRED EXITS SHALL BE 6'-0" LONG IN DIRECTION OF TRAVEL, MINIMUM. ALL LANDINGS SHALL BE AT LEAST AS LONG AS THE WIDTH OF THE RAMP THEY SERVE.
- (G) RETURN-CURB RAMP WITH MAX SLOPE 1:12

SIDEWALKS AND ACCESSIBLE ROUTES:

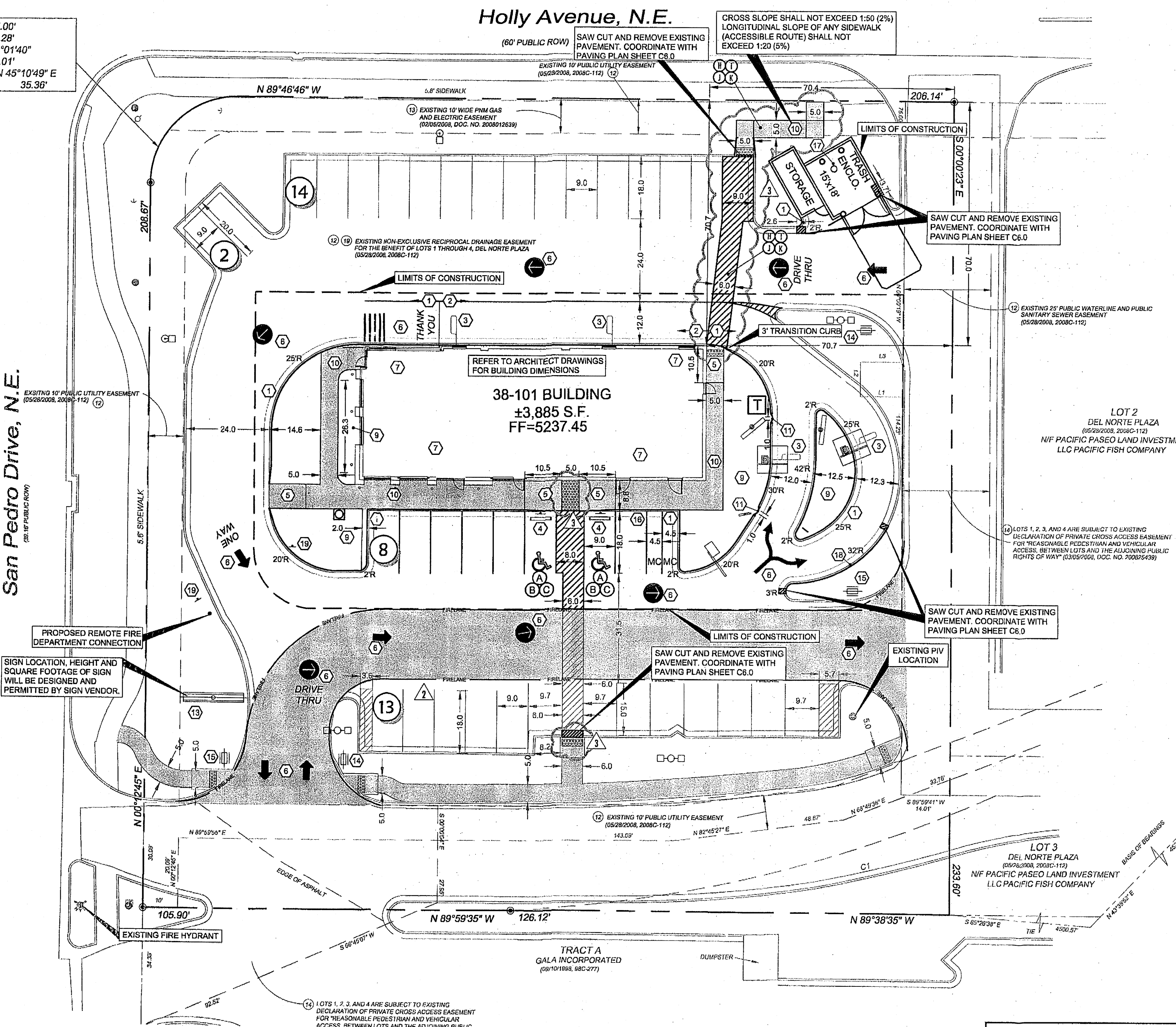
- (H) 36" MIN. ACCESS ROUTE (MAX. SLOPE 1:20)
- (I) NEW SIDEWALK (MIN 3') TO PUBLIC WALK (MIN. SLOPE 1:20)
- (J) CROSS SLOPE SHALL NOT EXCEED 1:50 (2%)
- (K) LONGITUDINAL SLOPE OF ANY SIDEWALK (ACCESSIBLE ROUTE) SHALL NOT EXCEED 1:20 (5%)



OWNER INFORMATION

McDONALD'S
511 E CARPENTER FRWY, STE. 375
IRVING, TEXAS 75062
(972) 858-5314
CONTACT: JIMMY LOPEZ

DIMENSIONAL NOTE:
ALL DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.



Line Table

LINE	BEARING	DISTANCE
L1	N 89°59'41" E	12.43'
L2	S 00°00'19" E	10.00'
L3	S 89°59'41" W	12.43'

Curve Table

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	TANGENT	CHORD LENGTH	CHORD BEARING
C1	369.74'	129.82'	20°07'32"	65.59'	129.16'	N 77°33'07" E

TRASH ENCLOSURE NOTE

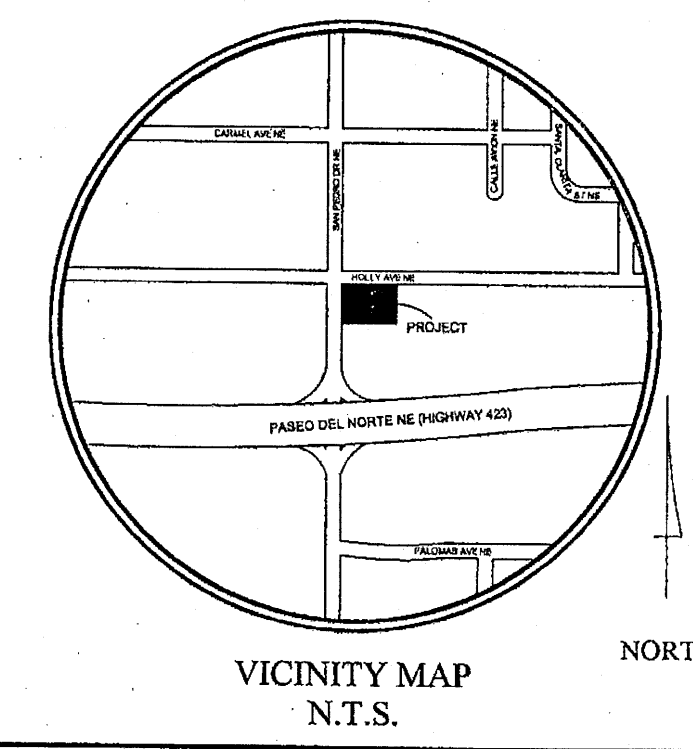
CONTRACTOR SHALL CONTACT LOCAL WASTE COLLECTION COMPANY PRIOR TO TRASH ENCLOSURE CONSTRUCTION TO VERIFY FRONT LOADING. IF THE COMPANY DOES NOT OFFER THIS TYPE OF LOADING THE CONTRACTOR IS TO NOTIFY ADAMS ENGINEERING IMMEDIATELY FOR A REVISED TRASH ENCLOSURE LAYOUT.

NOTICE TO CONTRACTOR

CONTRACTOR SHALL REFER TO ARCHITECTURAL BUILDING PLANS FOR EXACT LOCATION AND ORIENTATION OF EXTERIOR DOORS.

- INSTALLATION OF HANDRAILS SHOWN HEREON ARE OPTIONAL UNLESS DIRECTED OTHERWISE BY CITY BUILDING DEPARTMENT. CONTRACTOR SHOULD REFER TO ACCESSIBILITY NOTES AND GRADING PLAN TO VERIFY IF HANDRAILS ARE NECESSARY.
- TRASH ENCLOSURE WITH FINISH TO MATCH BUILDING AS PER McDONALD'S ENGINEER OR APPROVED EQUAL. REF. SHEET TE-1 WITH 7" THICK x 15'x15' CONCRETE PAD. (CONTRACTOR TO COORDINATE DESIGN SPECS. WITH SITES' REPORT & McDONALD'S)
- LOCATION OF I.D. SIGN IS APPROXIMATE. IT IS THE RESPONSIBILITY OF THE SIGN CONTRACTOR TO VERIFY COMPLIANCE WITH SET-BACK, SIZE/HEIGHT AND RELATED ZONING REQUIREMENTS PRIOR TO SETTING.
- THE LOCATION OF THE MENU BOARD AND PRE-SELL BOARDS ARE NOT EXACT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE DIMENSIONS AND ORIENTATION WITH THE McDONALD'S ENGINEER.
- CONTRACTOR SHALL FIELD VERIFY ELEVATIONS ON McDONALD'S SITE. IF EXISTING GRADES DO NOT MATCH THOSE SHOWN ON THIS PLAN, CONTRACTOR SHALL NOTIFY McDONALD'S PROJECT MANAGER.

THESE PLANS ARE SUBJECT TO REVIEW & APPROVAL BY JURISDICTIONAL ENTITIES.



- ### GENERAL NOTES
- McDonald's road sign and base are to be installed by contractor. Conduit and wiring are by the General Contractor.
 - Bases, anchor bolts, conduit, and wiring for all other signs are by the General Contractor.
 - 3/4" Empty conduit to locations shown at the lot perimeter for lot lighting is by the General Contractor. Lighting fixtures, bases, poles, conduit, and wiring are by the General Contractor.
 - Bases for flagpoles are by the General Contractor. Anchor bolts are by the flagpole supplier.
 - Proposed utilities are shown in schematic only. Exact locations shall be determined to allow for the most economical installation.
 - The Contractor shall coordinate with all utility companies to determine exact point of service connection at existing utility. Refer to the building electrical and plumbing drawings for utility service entrance locations, sizes, and circling.
 - General Contractor must provide "as built" information upon completion.
 - All elevations shown are in reference to the benchmark and must be verified by the General Contractor at groundbreak.
 - Finish walk and curb elevations shall be 6" above finish pavement.
 - All landscape areas shall be rough graded to 6" below top of all walks and curbs.
 - Finished grading, landscaping and sprinkler systems are by the Owner/Contractor.
 - Lot lighting concrete footings to conform with the soils report recommendations for this particular site.
 - Prior to construction, the Contractor shall request, in writing, a copy of the review report prepared by the State Department or Licensing & Regulation from the Owner or Architect. This review report may contain comments or requirements that will alter site layout/design engineering issues related to handicap accessibility.
 - It is strongly recommended that no contractual agreements of any kind be signed prior to receiving and thoroughly reviewing all approvals from all of the regulatory authorities having jurisdiction over this project.
 - Due to the nature of the work, all dimensions shown shall be considered approximate. Contractor shall field verify all dimensions prior to beginning construction. Shop drawings shall be submitted to the Architect for approval prior to fabrication or installation of any item. Failure to adhere to this procedure shall place full responsibility for any errors directly upon the Contractor.
 - All materials and construction within easements and R.O.W. shall conform to all governing authorities' jurisdictional standard construction details and specifications.

1-800-821-2557

Call Two Working Days Before You Dig!
It's Free and It's the Law!

PAVING SPECIFICATION

VERIFY W/MCDONALD'S:	ASPHALT: <input type="checkbox"/>	CONCRETE: <input type="checkbox"/>
CONTRACTOR TO BID:	ASPHALT: <input type="checkbox"/>	CONCRETE: <input type="checkbox"/>

NOTE: ALL PAVING & SUBGRADE SPECIFICATIONS TO COMPLY WITH GEOTECHNICAL REPORT AS PREPARED BY: **APEX GEOSCIENCE INC.**

SITE INFORMATION

LAND AREA:	53,933 S.F. (1.2381Ac.)
CURRENT ZONING:	SU2-IP
EXISTING USE:	VACANT
PROPOSED USE:	RESTAURANT
BUILDING AREA (APPROXIMATE):	3,885 S.F.
BUILDING TO LOT COVERAGE:	3,885 S.F./53,933 = 7.2%
BUILDING HEIGHT:	21'-0"
BUILDING REQUIRED PARKING:	1 SPACE PER 4 SEATS
PARKING PROVIDED:	119 SEATS @ SEATS = 30 SPACES
HANDICAP PARKING PROVIDED:	37 SPACES
HANDICAP PARKING REQUIRED:	2
MOTORCYCLE PARKING PROVIDED:	2

BENCHMARK

- A.G.R.S. MONUMENT "HEAVEN" STANDARD U.S.C. & G.S. BRASS TABLET (FOUND IN PLACE) NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE - N.A.D. 1983) N=1,518,799.515 E=1,547,297.145 PUBLISHED EL=5378.235 (NAVD 1988) GROUND TO GRID FACTOR=0.999655810 DELTA ALPHA ANGLE = 0°10'48.22"
- A.G.R.S. MONUMENT "7_C19" STANDARD U.S.C. & G.S. BRASS TABLET (FOUND IN PLACE) NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE - N.A.D. 1983) N=1,522,088.503 E=1,550,417.138 PUBLISHED EL=5465.736 (NAVD 1988) GROUND TO GRID FACTOR=0.999650745 DELTA ALPHA ANGLE = 0°10'24.75"

SURVEY INFORMATION

PREPARED BY:	LEGAL DESCRIPTION:
PRECISION SURVEYS, INC.	LOT 1 OF THE PLAT OF LOTS 1, 2, 3 AND 4
5500-A JEFFERSON ST., N.E.	DEL NORTE PLAZA
ALBUQUERQUE, NM 87113	ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
(505) 856-3706	BOOK 2008C, PAGE 112
DATE: DECEMBER 10, 2008	

PLAN SCALE: ---

ADDITION

DEL NORTE PLAZA

STREET ADDRESS

SEC HOLLY AVE & SAN PEDRO DR

CITY STATE

ALBUQUERQUE NEW MEXICO

COUNTY:	SURVEY:	ABSTRACT NO.
BERNALILLO	---	---
L/C NUMBER:	CORPORATE DWG. NAME	
030-0221	SITE PLAN	

REV	DATE	DESCRIPTION	ISSUE REF.
1	2/12/09	FIRST SUBMITTAL	FS
2	3/31/09	SITE PLAN REVISIONS PER AA REVIEW	RA1
3	04/08/09	REVISIONS PER CITY AND AA REVIEW	RL
3	06/02/09	PER CITY COMMENTS	RL

Adams ENGINEERING
P.O. Box 10000 • Albuquerque, New Mexico 87110 • (505) 243-1000

TED A. MURRAY
NEW MEXICO
PROFESSIONAL ENGINEER
6.2.09

McDONALD'S
THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF McDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

SEC HOLLY AVE & SAN PEDRO DR
ALBUQUERQUE, NEW MEXICO

McDONALD'S L.C. 030-0221
ADAMS ENGINEERING No. 2007-001

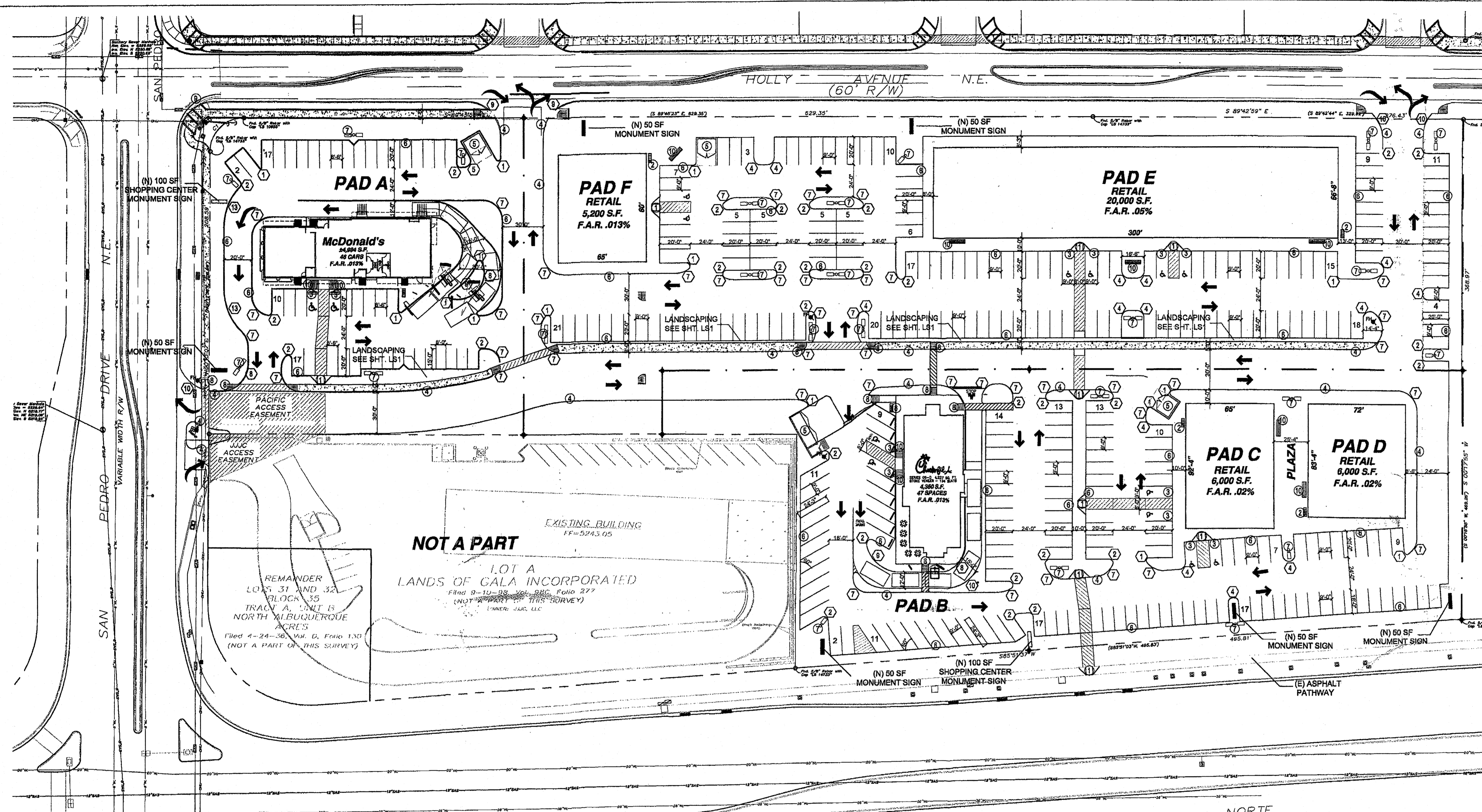
PLAN APPROVALS	DATE	SIGNATURE (2 REQUIRED)
REGIONAL MGR.		
CONS. MGR.		
OPERATIONS DEPT.		
REAL ESTATE DEPT.		

CO-SIGN SIGNATURES	DATE	BY
CONTRACTOR		
OWNER		

STATUS: DATE DRAWN: DATE BY: PLAN CHECKED: AS-BUILT

C2.1

FILED: 02/12/09 10:00 AM
 PLOTTED: 02/12/09 10:00 AM
 PLOT TIME: 1:54:51 PM
 PLOTTED BY: Adams Eng
 FILENAME: C:\S\SITE PLAN\



- PARKING NOTES:**
 TYPICAL STANDARD SPACES ARE 9'-0" x 20'-0"
 TYPICAL SMALL CAR SPACES ARE 7'-6" x 16'-0"
 TYPICAL HANDICAP SPACES ARE 9'-0" x 20'-0"
 WITH A 5' WIDE ACCESS AISLE
 ALL SPACES ARE STANDARD SIZE UNLESS OTHERWISE NOTED
- RADIUS:**
- | | |
|-------------------|-------------------|
| ① RADIUS = 2'-0" | ⑦ RADIUS = 15'-0" |
| ② RADIUS = 3'-0" | ⑧ RADIUS = 20'-0" |
| ③ RADIUS = 3'-6" | ⑨ RADIUS = 25'-0" |
| ④ RADIUS = 5'-0" | ⑩ RADIUS = 28'-0" |
| ⑤ RADIUS = 10'-0" | ⑪ RADIUS = 30'-0" |
| ⑥ RADIUS = 12'-0" | ⑫ RADIUS = 37'-6" |

- CODE REFERENCES**
- | | |
|---------------------|-------------|
| BUILDING CODE: | IBC "2003" |
| MECHANICAL CODE: | UMC "2003" |
| PLUMBING CODE: | UPC "2003" |
| ELECTRICAL CODE: | NEC "2003" |
| ACCESSIBILITY CODE: | ANSI "1988" |
| FIRE CODE: | IFC "2003" |

CODE DATA

- ADDRESS: NE CORNER OF PASEO DEL NORTE & SAN PEDRO DRIVE
- ZONING: SU-2/IF
- OCCUPANCY: A & M
- BUILDING TYPE: TYPE IIB
- SEISMIC ZONE: 2B
- # OF STORIES: ONE
- FIRE PROTECTION:
- | | | |
|--------------|--------------|-------------|
| MCDONALDS: | UN-SPRINKLED | (4,994 SF) |
| CHICK-FIL-A: | UN-SPRINKLED | (4,360 SF) |
| FUTURE PHASE | | |
| PAD C: | UN-SPRINKLED | (6,000 SF) |
| PAD D: | UN-SPRINKLED | (6,000 SF) |
| PAD E: | SPRINKLED | (20,000 SF) |
| PAD F: | UN-SPRINKLED | (5,200 SF) |

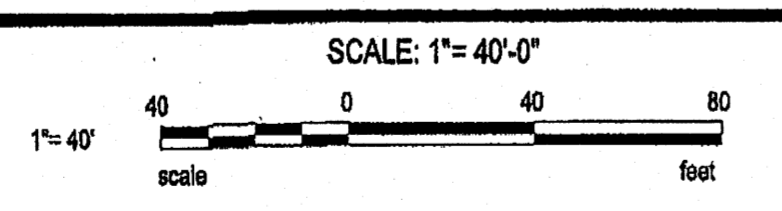
NOT A PART

EXISTING BUILDING
 FF-5243.05

REMAINDER
 LOTS 31 AND 32
 BLOCK 35
 TRACT A, UNIT 13
 NORTH ALBUQUERQUE
 ACRES
 Filed 4-24-36 Vol. G, Folio 133
 (NOT A PART OF THIS SURVEY)

PASEO DEL NORTE
 (VARIABLE WIDTH R/W - ACCESS CONTROLLED)

SITE PLAN FOR BUILDING PERMIT



- SITE LEGEND:**
- | | | | |
|-----|------------------------|---|--|
| --- | EXISTING PROPERTY LINE | | PROPOSED BIKE RACK |
| --- | PROPOSED CURB | □ | PROPOSED PARKING LOT LIGHTING |
| --- | PROPOSED SIDEWALK | ▨ | PROPOSED OUTDOOR SEATING
EA. BENCH SEATS FOUR (4) |
| ▨ | PROPOSED CROSSWALK | → | VEHICLE INGRESS/EGRESS |
| FH | PROPOSED FIRE HYDRANT | | |

SITE DATA:

- PROPOSED USAGE: C-2 USE
- LOT AREA: 374,864 SF (8.6 ACRES)
- LANDSCAPE REQUIRED: 6.5%
- OCCUPANT LOAD:**
- MCDONALDS - 5,322 SF/15 = 354 PERSONS
 CHICK-FIL-A - 4,360 SF/15 = 291 PERSONS
- FUTURE PHASE (PROPOSED RETAIL)**
- PAD C - 6,000 SF/30 = 200 PERSONS
 PAD D - 6,000 SF/30 = 200 PERSONS
 PAD E - 20,000 SF/30 = 667 PERSONS
 PAD F - 5,200 SF/30 = 173 PERSONS

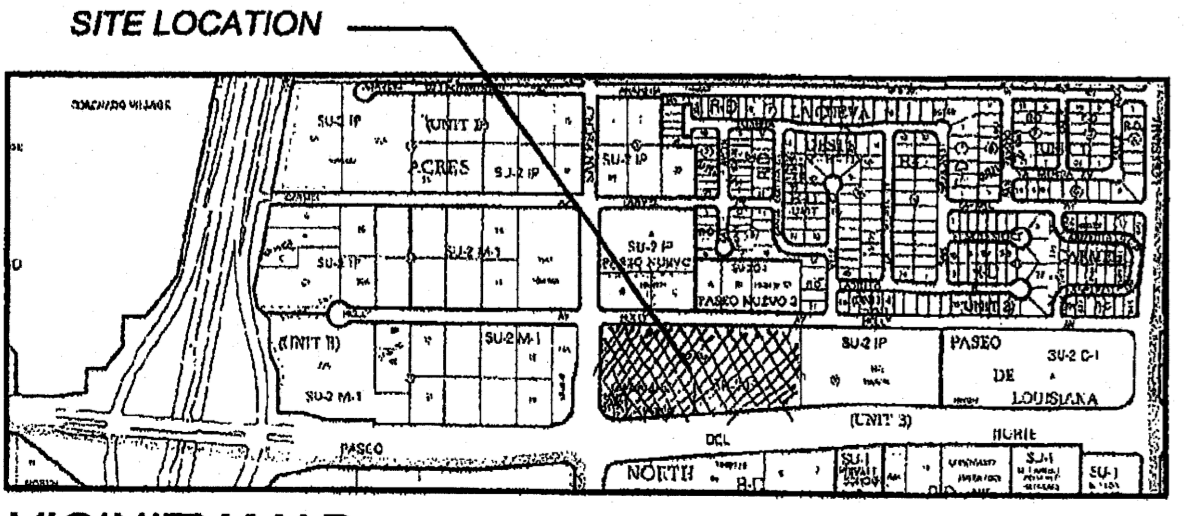
PARKING DATA:

SITE DATA	BUILDING AREA	PARKING REQD.	PARKING PROVIDED
PAD A	4,994 S.F.	25	46
PAD B	4,360 S.F.	22	47
PAD C	6,000 S.F.	30	44
PAD D	6,000 S.F.	30	44
PAD E	20,000 S.F.	80	90
PAD F	5,200 S.F.	26	51

PARKING DATA CONT:

- MCDONALDS - H.C. PRKNG. REQD. 1 SPACE - PROVIDED 2 SPACES
 MOTORCYCLE PRKNG. REQD. 1 SPACE - PROVIDED 1 SPACE
 BICYCLE SPACES REQD. 2 SPACES - PROVIDED 5 SPACES
- CHICK-FIL-A - H.C. PRKNG. REQD. 1 SPACE - PROVIDED 2 SPACES
 MOTORCYCLE PRKNG. REQD. 1 SPACE - PROVIDED 1 SPACE
 BICYCLE SPACES REQD. 2 SPACES - PROVIDED 5 SPACES
- FUTURE PHASE (PROPOSED RETAIL)**
- PAD C - H.C. PRKNG. REQD. 2 SPACES - PROVIDED 2 SPACES
 MOTORCYCLE PRKNG. REQD. 1 SPACE - PROVIDED 1 SPACE
 BICYCLE SPACES REQD. 2 SPACES - PROVIDED 5 SPACES
 SITTING SPACES 4 SEATS - PROVIDED 1 BENCH (SEATS 4)
- PAD D - H.C. PRKNG. REQD. 2 SPACES - PROVIDED 2 SPACES
 MOTORCYCLE PRKNG. REQD. 1 SPACE - PROVIDED 1 SPACE
 BICYCLE SPACES REQD. 2 SPACES - PROVIDED 5 SPACES
 SITTING SPACES 4 SEATS - PROVIDED 1 BENCH (SEATS 4)
- PAD E - H.C. PRKNG. REQD. 4 SPACES - PROVIDED 4 SPACES
 MOTORCYCLE PRKNG. REQD. 3 SPACES - PROVIDED 3 SPACES
 BICYCLE SPACES REQD. 4 SPACES - PROVIDED 5 SPACES
 SITTING SPACES 12 SEATS - PROVIDED 3 BENCHES (1 SEATS 4)
- PAD F - H.C. PRKNG. REQD. 2 SPACES - PROVIDED 2 SPACES
 MOTORCYCLE PRKNG. REQD. 3 SPACES - PROVIDED 3 SPACES
 BICYCLE SPACES REQD. 2 SPACES - PROVIDED 5 SPACES
 SITTING SPACES 4 SEATS - PROVIDED 1 BENCH (SEATS 4)

○ DENOTES A SITE DETAIL, REFER TO SHEET AS3



VICINITY MAP

PROJECT NUMBER: 1006868

APPLICATION NUMBER: 0128B-70390

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

<i>[Signature]</i>	Date	11-28-07
Traffic Engineering, Transportation Division	Date	11-28-07
<i>[Signature]</i>	Date	11-28-07
ABCWLA	Date	11-28-07
Christina Dantoral	Date	11-28-07
Parks and Recreation Department	Date	3/24/08
<i>[Signature]</i>	Date	3/24/08
City Engineer	Date	
Environmental Health Department	Date	
<i>[Signature]</i>	Date	11/27/07
Michael Helton (single adjustment)	Date	11/27/07
Solid Waste Management	Date	3/24/08
<i>[Signature]</i>	Date	3/24/08
DRB Chairperson, Planning Department	Date	

* Environmental Health, if necessary

REVISION

REV	DATE	BY

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
 2325 SAN PEDRO N.E. SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

PRELIMINARY
 NOT FOR
 CONSTRUCTION

PROJECT TITLE: DEL NORTE PLAZA
 SAN PEDRO & PASEO DEL NORTE
 ALBUQUERQUE, NEW MEXICO

DRAWN BY: WRS

JOB NO.: 0536A

PROJECT MANAGER:

SHEET TITLE: SITE PLAN FOR BLDG. PERMIT

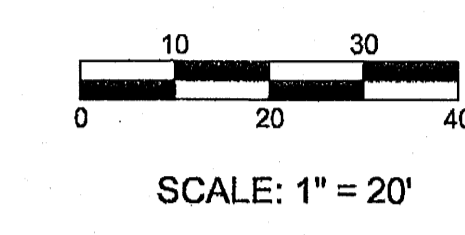
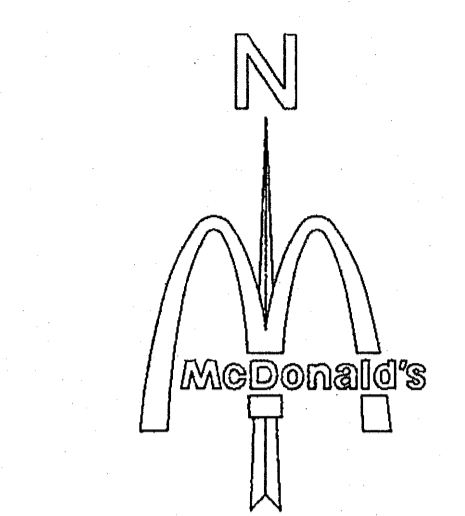
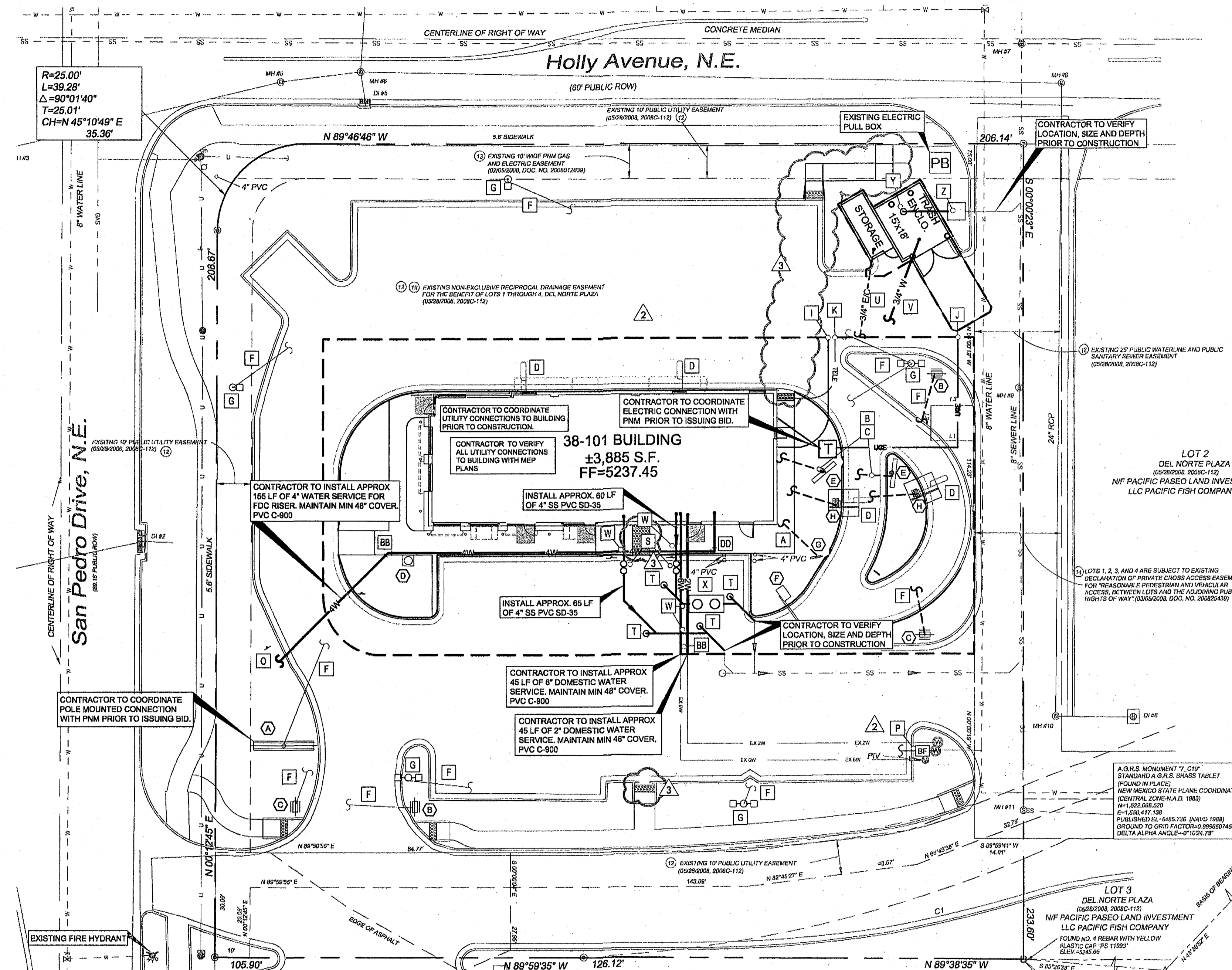
DATE: 11.28.2007

SCALE: 1"=40'-0"

sheet: AS1

of:

DRB SUBMITTAL



OWNER INFORMATION
McDONALD'S
 511 E. CARPENTER FFWY, STE. 375
 IRVING, TEXAS 75062
 (972) 869-5314
 CONTACT: JIMMY LOPEZ

UTILITY CONTACTS

PHONE: QWEST
 CONTACT: BEVERLY YOUNG
 PHONE: 505-245-5594

GAS: PNM
 CONTACT: KELLY GRAGG
 PHONE: 505-241-3490

ELECTRIC: PNM
 CONTACT: KELLY GRAGG
 PHONE: 505-241-3490



***** UTILITY DEL NOTES *****

1. ALL UTILITY AND ELECTRICAL/CONDUIT RUNS ARE SCHEMATIC ONLY. LOT LIGHTS ARE TO BE WIRED TO 2 (TWO) OR MORE CIRCUITS IN AN ALTERNATING SEQUENCE.
2. THE CONTRACTOR SHALL VERIFY LOCATION AND FLOWLINE OF EXISTING SANITARY SEWER MAIN TO BE USED, AND SHALL INSTALL SANITARY SEWER LINE AT MINIMUM SLOPES PER GOVERNING AUTHORITY'S DESIGN SPECIFICATIONS.
3. PRIVATE UTILITY CONNECTIONS SHOWN AS SCHEMATIC ONLY. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY PRIOR TO BID.

MARK	MARK DESCRIPTION	MARK	MARK DESCRIPTION	MARK	MARK DESCRIPTION	MARK	MARK DESCRIPTION
A	SERVICE TO PRESBELL BOARD	K	CONTRACTOR IS TO LOCATE & UTILIZE UNDERGROUND TELEPHONE LINE (BY OTHERS)	R	NOT USED	AA	INSTALL 2" 45° BEND
B	2" CONDUIT TO MENU BOARD FOR CONTROLS	L	CONTRACTOR IS TO LOCATE & UTILIZE 2" WATER LINE (BY OTHERS)	S	TWO-WAY SAN. SEWER CLEANOUT W/ CAST IRON COVER	BB	INSTALL 4" 45° BEND
C	1/2" CONDUIT FROM BLDG. ELECT. PANEL TO MENU BRD.	M	CONTRACTOR IS TO LOCATE & UTILIZE 6" WATER LINE (BY OTHERS)	T	SANITARY SEWER CLEANOUT W/ CAST IRON COVER	CC	INSTALL 6" 45° BEND
D	3/4" CONDUIT W/LOW VOLTAGE WIRE FROM PRE-WARNING VEHICLE LOOP DETECTION.	MM	INSTALL 1 - 4"x6" REDUCER AND 4" WYE CONNECTION.	U	3/4" CONDUIT TO STORAGE	DD	INSTALL 4" 90° BEND
E	NOT USED	N	INSTALL 1 - 6"x6" TEE	V	3/4" WATER SERVICE TO TRASH ENCLOSURE	EE	NOT USED
F	CONTRACTOR IS TO LOCATE & UTILIZE EXISTING CONDUIT (BY OTHERS)	O	REMOTE FIRE DEPARTMENT RISER CONNECTION PER PER ALBUQUERQUE SPECIFICATIONS.	W	CONTRACTOR TO MAINTAIN 2" VERTICAL CLEARANCE BETWEEN WATER AND SANITARY SEWER LINE CROSSINGS		
G	CONTRACTOR TO FURNISH & INSTALL LIGHT POLES AND LIGHT POLE BASES	P	1.25" RPZ DEVICE, MIN. 12" ABOVE GRADE PER CITY STANDARDS	X	INSTALL PARK GT-1 500 GREASE TRAP OR APPROVED EQUIVALENT PER CITY OF ALBUQUERQUE SPECIFICATIONS		
H	NOT USED	Q	NOT USED	Y	TRASH ENCLOSURE AREA DRAIN. CONTRACTOR TO ADJUST TOP OF DRAIN TO PAVEMENT FINISH GRADE. (4" PVC)		
I	CONTRACTOR IS TO LOCATE & UTILIZE GAS LINE (BY OTHERS)			Z	INSTALL COLORADO PRECAST INC. 330 GALLON GREASE TRAP OR APPROVED EQUIVALENT.		
J	CONTRACTOR IS TO LOCATE & UTILIZE UNDERGROUND ELECTRIC LINE (BY OTHERS)						

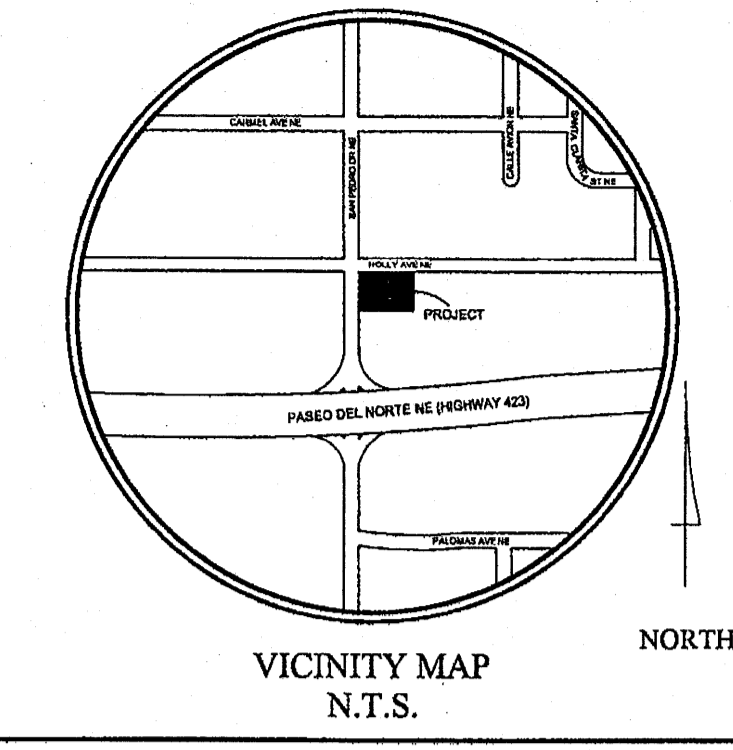
****NOTICE TO CONTRACTORS - UTILITIES****

The Contractor is specifically cautioned that the location and/or elevation of any existing utilities as shown on these plans are based on records of the various utility companies, the governing municipality, and where possible, measurements taken in the field. The information provided is not to be relied on as being exact or complete. The Contractor must call the appropriate utility company at least 48 hours before any excavation to request exact field location of utilities. It shall be the responsibility of the Contractor to relocate all existing utilities which conflict with the proposed improvements shown on these plans.

SIGN SCHEDULE
 CONTRACTOR TO FURNISH & INSTALL ALL SIGNS & SIGN FOUNDATIONS

NO.	MRK.	DESCRIPTION
1	(A)	PROPOSED POLE SIGN
2	(B)	90-5 DIR. SIGN "WELCOME" "ENTER"
2	(C)	90-5 DIR. SIGN "THANK YOU" "EXIT"
1	(D)	FLAG POLE 60" HIGH MAX.
2	(E)	FP-43 MENU BOARD ELEVATIONS
1	(F)	TWO-WAY GATEWAY
1	(G)	90-10 TRI-VIEW PRE-SELL BOARD
2	(H)	EVERBRITE-CUSTOMER ORDER DISPLAY

THESE PLANS ARE SUBJECT TO REVIEW & APPROVAL BY JURISDICTIONAL ENTITIES.



- GENERAL NOTES**
1. McDonald's road sign and base are to be installed by contractor. Conduit and wiring are by the General Contractor.
 2. Bases, anchor bolts, conduit, and wiring for all other signs are by the General Contractor.
 3. 1/2" Empty conduit to locations shown at the lot perimeter for lot lighting is by the General Contractor. Lighting fixtures, bases, poles, conduit, and wiring are by the General Contractor.
 4. Bases for flagpoles are by the General Contractor. Anchor bolts are by the flagpole supplier.
 5. Proposed utilities are shown in schematic only. Exact locations shall be determined to allow for the most economical installation.
 6. The Contractor shall coordinate with all utility companies to determine exact point of service connection at existing utility. Refer to the building electrical and plumbing drawings for utility service entrance locations, sizes, and circling.
 7. General Contractor must provide exact "as built" information upon completion.
 8. All elevations shown are in reference to the benchmark and must be verified by the General Contractor at groundbreak.
 9. Finish walk and curb elevations shall be 6" above finish pavement.
 10. All landscape areas shall be rough graded to 6" below top of all walks and curbs. Finished grading, landscaping and sprinkler systems are by the Owner / Operator.
 11. Lot lighting concrete footings to conform with the soils report recommendations for this particular site.
 12. Prior to construction, the Contractor shall request, in writing, a copy of the review report prepared by the State Department of Licensing & Regulation from the Owner or Architect. This review report may contain comments or requirements that will affect site layout/design regarding issues related to handicap accessibility.
 13. It is strongly recommended that no contractual agreements of any kind be signed prior to receiving and thoroughly reviewing all approvals from all of the regulatory authorities having jurisdiction over this project.
 14. Due to the nature of the work, all dimensions shown shall be considered approximate. Contractor shall field verify all dimensions prior to beginning construction. Shop drawings shall be submitted to the Architect for approval prior to fabrication or installation of any item. Failure to adhere to this procedure shall place full responsibility for any errors directly upon the Contractor.
 15. All materials and construction within easements and R.O.W. shall conform to all governing authorities' jurisdictional standard construction details and specifications.

PAVING SPECIFICATION

VERIFY W/CDONALD'S: ASPHALT: CONCRETE:

CONTRACTOR TO BID: ASPHALT: CONCRETE:

NOTE: ALL PAVING & SUBGRADE SPECIFICATIONS TO COMPLY WITH GEOTECHNICAL REPORT SEPTEMBER 2007 PROJECT NO. 107133 AS PREPARED BY:

APEX GEOSCIENCE INC.

SITE INFORMATION

LAND AREA: 63,933 S.F. (1.2381ac)
 CURRENT ZONING: SL2-IP
 EXISTING USE: VACANT
 PROPOSED USE: RESTAURANT
 BUILDING AREA (APPROXIMATE): RETAIL: 3,885 S.F.
 BUILDING TO LOT COVERAGE: 3,885 SF/63,933 = 7.2%
 BUILDING HEIGHT: 21'-6"
 BUILDING REQUIRED PARKING: 118 SEATS / 4 SEATS = 30 SPACES
 PARKING PROVIDED: 37 SPACES
 HANDICAP PARKING PROVIDED: 2
 MOTORCYCLE PARKING PROVIDED: 2

BENCHMARK

1. A.G.R.S. MONUMENT "HEAVEN" STANDARD U.S.C. & G.S. BRASS TABLET (FOUND IN PLACE) NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE - N.A.D. 1983) N=1,518,769.515 E=1,547,297.145 PUBLISHED EL.=578.236 (NAVD 1988) GROUND TO GRID FACTOR=0.99955510 DELTA ALPHA ANGLE = 0°10'46.22"
2. A.G.R.S. MONUMENT "T" C19" STANDARD U.S.C. & G.S. BRASS TABLET (FOUND IN PLACE) NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE - N.A.D. 1983) N=1,522,088.520 E=1,550,417.138 PUBLISHED EL.=578.736 (NAVD 1988) GROUND TO GRID FACTOR=0.999550745 DELTA ALPHA ANGLE = 0°10'24.78"

SURVEY INFORMATION

PREPARED BY: PRECISION SURVEYS, INC. 8500-A JEFFERSON ST, N.E. ALBUQUERQUE, NM 87113 (505) 856-5700 DATE: DECEMBER 10, 2008

LEGAL DESCRIPTION: LOT 1 OF THE PLAT OF LOTS 1, 2, 3 AND 4 DEL NORTE PLAZA ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO BOOK 2008C, PAGE 112

PLAN SCALE: 1"=20'

DEL NORTE PLAZA
 STREET ADDRESS
SEC HOLLY AVE & SAN PEDRO DR
 CITY STATE
ALBUQUERQUE NEW MEXICO

COUNTY: BERNALILLO SURVEY: ABSTRACT NO. _____

L/C NUMBER: 030-0221 CORPORATE DWG. NAME: UTILITY PLAN

Adams ENGINEERING
 17884
 PROFESSIONAL ENGINEER
 6-2-09

McDONALD'S
 SEC HOLLY AVE & SAN PEDRO DR
 ALBUQUERQUE, NEW MEXICO

McDONALD'S
 THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF McDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

REV	DATE	DESCRIPTION	BY	ISSUE REF
1	05/19/09	FIRST SUBMITTAL	RL	FS
2	06/02/09	REVISIONS PER CITY AND AA REVIEW	RL	---
3	06/02/09	PER CITY COMMENTS	RL	---

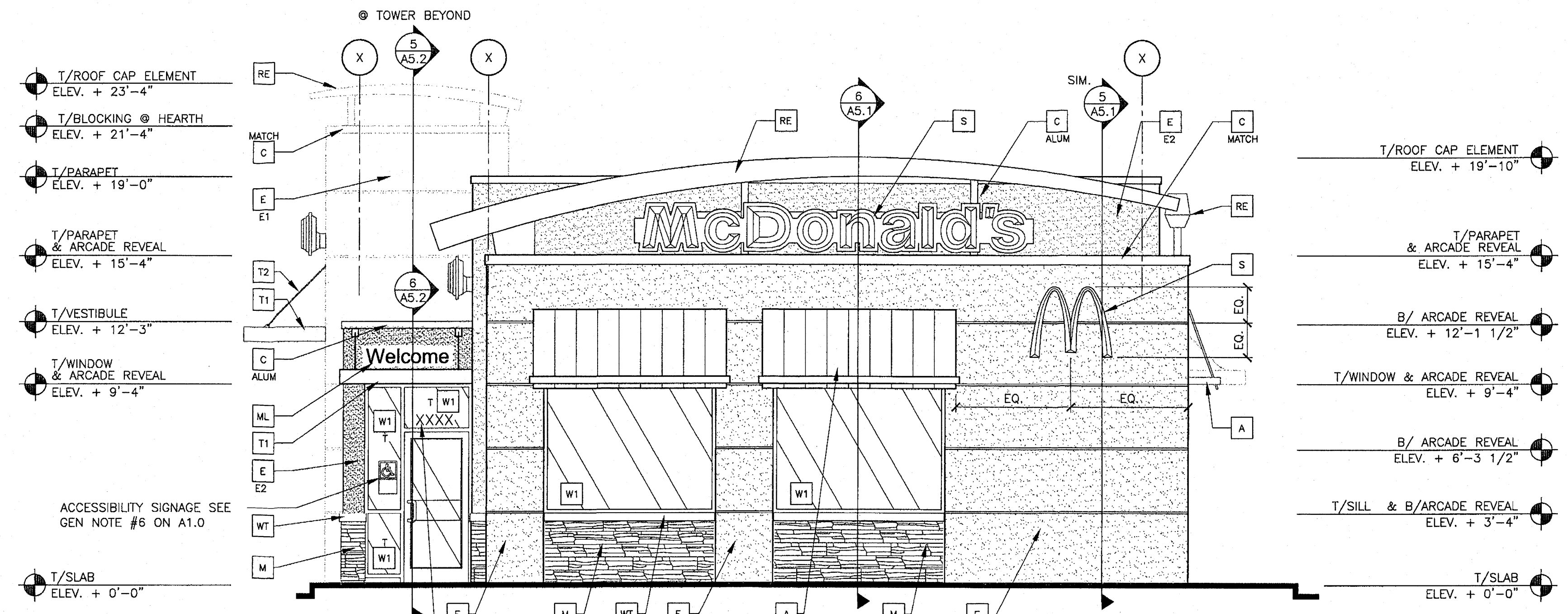
PLAN APPROVALS

REGIONAL MGR.	CONSTR. MGR.	OPERATIONS DEPT.	REAL ESTATE DEPT.	CONTRACTOR	OWNER

COSIGN SIGNATURES

STATUS	DATE	BY
DATE DRAWN	02/12/09	RL
PLAN CHECKED	6-2-09	Jm
AS-BUILT		

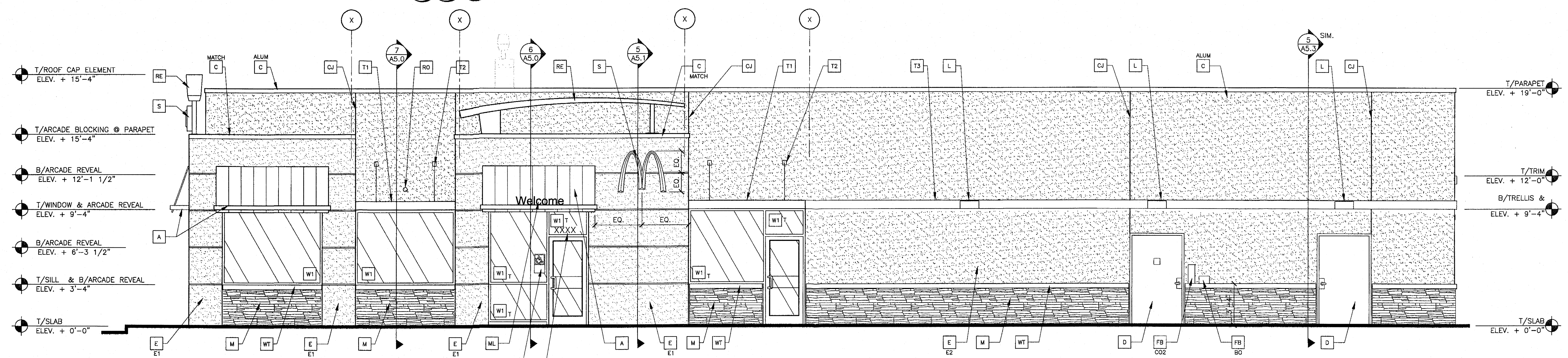
C7.0



1 FRONT ELEVATION
 1/4" = 1'-0"

NOTE:
 COLOR DESIGNATIONS INDICATED FOR FINISH [E] MUST BE VERIFIED W/ ACM PRIOR TO CONSTRUCTION. FAILURE TO COMPLY WITH THIS REQUIREMENT WILL PLACE FULL RESPONSIBILITY FOR SUBSEQUENT CHANGES DIRECTLY UPON THE G.C.

NOTE:
 VERIFY W/ ACM BLEND & SELECTION FOR WAINSCOT & WATER TABLE PRIOR TO CONSTRUCTION. FAILURE TO COMPLY WITH THIS REQUIREMENT WILL PLACE FULL RESPONSIBILITY FOR SUBSEQUENT CHANGES DIRECTLY UPON THE G.C.



2 NON-DRIVE-THRU ELEVATION
 1/4" = 1'-0"

KEY NOTES:

- [A] METAL AWNING - UNDER SEPARATE PERMIT. COLOR TO BE ALTERNATING STRIPES TO MATCH PANTONE 123C AND 109C
- [C] METAL COPING - COLOR = ALUMINUM
- [C] METAL COPING - COLOR TO MATCH SURROUNDING MATERIAL
- [CJ] CONTROL JOINT, SEE DETAIL 7/A4.1
- [D] HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL.
- [E] EXT. FINISH SYSTEM COLOR =
- COLOR E1 = EL REY 821 LARIAT, OFF WHITE/LI.TAN
- COLOR E2 = EL REY 803 SAGE, LT. TAN/YELLOW
- COLOR E3 = EL REY 1566 POTTERY, TAN
- [FB] CO2 FILL BOX (EQPM SCHEDULE ITEM 49.00)
- [FB] CO2 FILL BOX (EQPM SCHEDULE ITEM 700.18) - CONFIRM USE WITH MCD PROJECT MANAGER
- [BO] CORONADO HONEY LEDGE DAKOTA BROWN OR APPROVED EQUAL.
- [L] LIGHT FIXTURE (WALL SCONCE) - SEE ELECTRICAL
- [M] MFG. STONE AS MFG BY CORONADO STONE PRODUCTS.
- [ML] METAL LETTERING - BY OTHERS
- [PB] PIPE BOLLARD - PAINTED YELLOW
- [PT] PASS-THRU COIN COLLECTOR - OPTIONAL (RMHC)
- [RE] ROOF CAP ELEMENT BY OTHERS
- [RO] ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL
- [S] McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT. SEE SIGNAGE SUPPORT NOTE ON THIS SHEET.
- [T1] ALUMINUM TRELLIS BY SECURITY LIGHTING
- [T2] TRELLIS TIE-BACK BY SECURITY LIGHTING
- [T3] 2" x 8" WALL FASCIA - REFER TO SIM. DETAIL 3 ON SHEET A5.1
- [WT] MFG STONE WATER TABLE
- [W1] EXTERIOR WINDOW ASSEMBLY - SEE ASSEMBLY NOTES ON SHEET A5.0 T = TEMPERED GLASS
- [W2] DRIVE-THRU WINDOW BY READY ACCESS - CONFIRM MODEL, OPTIONS, AND SIZE WITH MCD PROJECT MANAGER. OPTIONS INCLUDE: TRANSOM (SHOWN); AIR CURTAIN; FLYFAN/TRANSOM & 432 SQ IN MAX SERVICE OPENING (WHERE REQ'D BY CODE)
- [XX] SLIDE DIRECTION: RL = RIGHT TO LEFT LR = LEFT TO RIGHT

STRUCTURAL NOTE:
 UNIBODY FASCIA SIGN WALL SUPPORTS TO BE VERIFIED WITH McDONALD'S AREA CONSTRUCTION MANAGER AND COORDINATED WITH SIGN MANUFACTURER.

ALL RIGHTS RESERVED. THESE DRAWINGS, SPECIFICATIONS, NOTES, CONDITIONS, OR DIMENSIONS ARE THE PROPERTY OF THE ARCHITECT AND OWNER. NO PART THEREOF SHALL BE REPRODUCED, COPIED, ADAPTED, MODIFIED, OR DISTRIBUTED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT AND OWNER. VISUAL CONCEPTS WITH THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF THESE RESTRICTIONS.

PREPARED FOR: **McDonald's USA, LLC**
 © 2008 McDonald's USA, LLC
 EXP. 12/31/2009

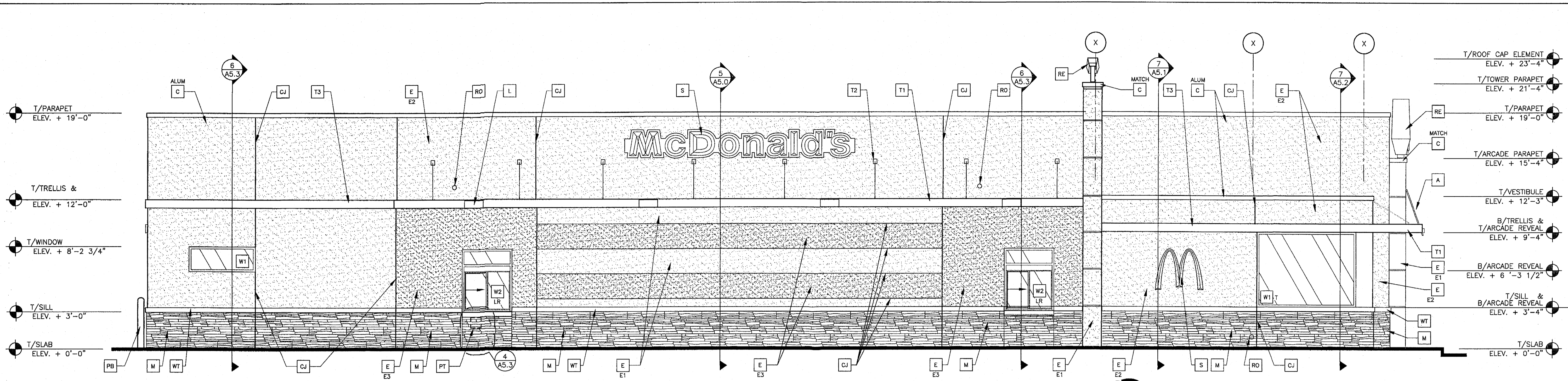
DESIGNER: **D. E. LARSEN, ARCHITECT**
 3311 BURNING TREE BLVD., SUITE 200, DALLAS, TEXAS 75228
 TEL: (214) 939-3000 FAX: (214) 939-3007
 EMAIL: dellen@delarsen.com

DATE: 5.14.09
 PER DEVELOPMENT REVIEW

REV	DATE	DESCRIPTION
1		
2	5.14.09	PER DEVELOPMENT REVIEW

2008 STANDARD BUILDING
 38-101-WOOD/WOOD BUILDING
 DESCRIPTION: WOOD BEARING WALLS W/ CL.F.S.
 WOOD ROOF TRUSS FRAMING
 E.I.F.S. EXTERIOR FINISH ARCADE/ENTRY
 SITE ID: 030-0221
 SEC OF HOLLEY AVE. & SAN PEDRO DRIVE
 ALBUQUERQUE, NM

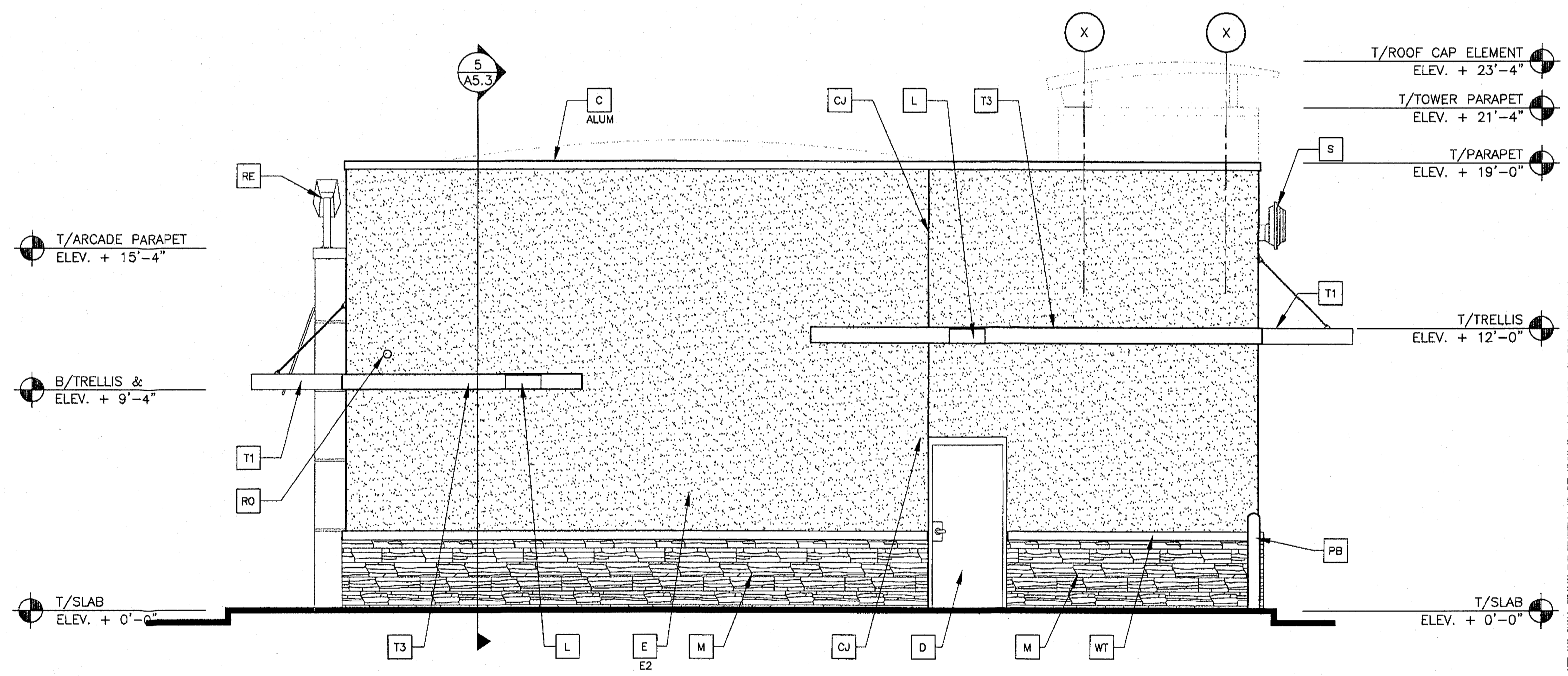
00-0000.00.0
A2.0
 ELEVATIONS



1 DRIVE THRU ELEVATION
 A2.1 1/4" = 1'-0"

NOTE:
 COLOR DESIGNATIONS INDICATED FOR FINISH (E) MUST BE VERIFIED W/ ACM PRIOR TO CONSTRUCTION. FAILURE TO COMPLY WITH THIS REQUIREMENT WILL PLACE FULL RESPONSIBILITY FOR SUBSEQUENT CHANGES DIRECTLY UPON THE G.C.

NOTE:
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2 REAR ELEVATION
 A2.1 1/4" = 1'-0"

KEY NOTES:

- A METAL AWNING - UNDER SEPARATE PERMIT. COLOR TO BE ALTERNATING STRIPES TO MATCH PANTONE 123C AND 109C
- C METAL COPING - COLOR = ALUMINUM
- CJ CONTROL JOINT, SEE DETAIL 7/A4.1
- D HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL
- E EXT. FINISH SYSTEM COLOR =
- E1 = EL REY 821 LARIAT. OFF WHITE/LT.TAN
- E2 = EL REY 803 SAGE. LT. TAN/YELLOW
- E3 = EL REY 1566 POTTERY. TAN
- FB 002 FILL BOX (EQPM SCHEDULE ITEM 49.00)
- FB 002Z OPTIONAL BULK OIL FILL BOX (EQPM SCHEDULE ITEM 700.18) - CONFIRM USE WITH MCD PROJECT MANAGER
- FB BO
- L LIGHT FIXTURE (WALL SCONCE) - SEE ELECTRICAL
- M MFG. STONE AS MFG BY CORONADO STONE PRODUCTS. CORONADO HONEY LEDGE DAKOTA BROWN OR APPROVED EQUAL.
- ML METAL LETTERING - BY OTHERS
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- W1 EXTERIOR WINDOW ASSEMBLY - SEE ASSEMBLY NOTES ON SHEET A5.0 T = TEMPERED GLASS
- W2 DRIVE-THRU WINDOW BY READY ACCESS - CONFIRM MODEL, OPTIONS, AND SIZE WITH MCD PROJECT MANAGER OPTIONS INCLUDE: TRANSOM (SHOWN); AIR CURTAIN; FLYFAN/TRANSOM & 432 SQ IN MAX SERVICE OPENING (WHERE REQD BY CODE)
- XX SLIDE DIRECTION: RL = RIGHT TO LEFT LR = LEFT TO RIGHT

STRUCTURAL NOTE:
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ALL RIGHTS RESERVED. THESE DRAWINGS, DESIGN, METHOD, AND MANUFACTURE REPRESENTED HEREIN ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT AND OWNER. NO PARTS THEREOF SHALL BE REPRODUCED, COPIED, ADAPTED, OR DISTRIBUTED TO OTHERS. SUCH REUSE, REPRODUCTION OR OTHERWISE USED WITHOUT THEIR WRITTEN CONSENT. VISUAL CONTACT WITH THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF THESE RESTRICTIONS.

PREPARED FOR: **McDonald's USA, LLC**
 DRAWN BY: ALBUQUERQUE, NM
 STD ISSUE DATE: NOV 2008
 REVIEWED BY: DEL.
 DATE ISSUED: JAN 2008
 DEL 200849
 ALBUQUERQUE, NM

TITLE: 2008 STANDARD BUILDING
 38-101-WOOD/WOOD BUILDING
 DESCRIPTION: WOOD BEARING WALLS W/ E.I.F.S. WOOD ROOF TRUSS FRAMING E.I.F.S EXTERIOR FINISH ARCADE/ENTRY
 SHEET NO: 00-0000.00.0
A2.1
 ELEVATIONS

D. E. LARSEN, ARCHITECT
 8911 ELM STREET STE. 201, DALLAS, TEXAS 75228
 Tel: (214) 838-3828 Fax: (214) 838-3827 Email: d@delarsen.com

REV	DATE	DESCRIPTION	BY
1	5.14.09	PER DEVELOPMENT REVIEW	
2			

Landscape Project Notes

Refer to Sitework Specifications for all information needed for landscape work. Notify Landscape Architect or designated representative of any layout discrepancies or any condition which may prohibit the installation as shown.

Verify and locate all utilities and site lighting conduits before landscape construction begins. Protection of all utilities is the responsibility of the Contractor.

All slopes and areas disturbed by construction, except those occupied by buildings, structures, or paving shall be graded smooth and four (4) inches of topsoil applied.

Quantities shown on these plans are for reference only. Plant spacing is as indicated in the Plant Material List unless otherwise noted.

All trees and shrubs shall be installed per planting details.

Trees shall be planted at least five (5) feet from any utility line or sidewalk, and to the outside of utility easements with a clear ten (10) feet around fire hydrants.

All plant material shall be maintained in a healthy and growing condition, and must be replaced with similar variety and size if damaged or removed.

All planting beds as designated shall be bordered by Owner approved four (4) inch steel edging unless bed is bordered by concrete.

Fertilize all plants at the time of planting with 10-10-10 time release fertilizer.

Boundaries labeled on plan shall vary in size according to symbol size. Smaller boundaries shall have a minimum height of 12 inches.

Decomposed Granite, as locally available, shall contrast with the color of the boulers. Contractor shall install to a compacted depth of three inches (3") and one inch (1") below top of curb or paved surface.

Areas labeled and identified as Rock shall be gravel, beige/tan in color as locally available and have a diameter not to exceed one and one-half inches (1 1/2").

Compliance With Water Conservation

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planning restriction approach.

Landscape Requirements for the City of Albuquerque, NM

Section 14-16-3-10

(E) Landscaping Area Requirements

- 1. The total landscaped area required for each development shall equal not less than 15% of the net lot area.

(G) Special Landscaping Standards

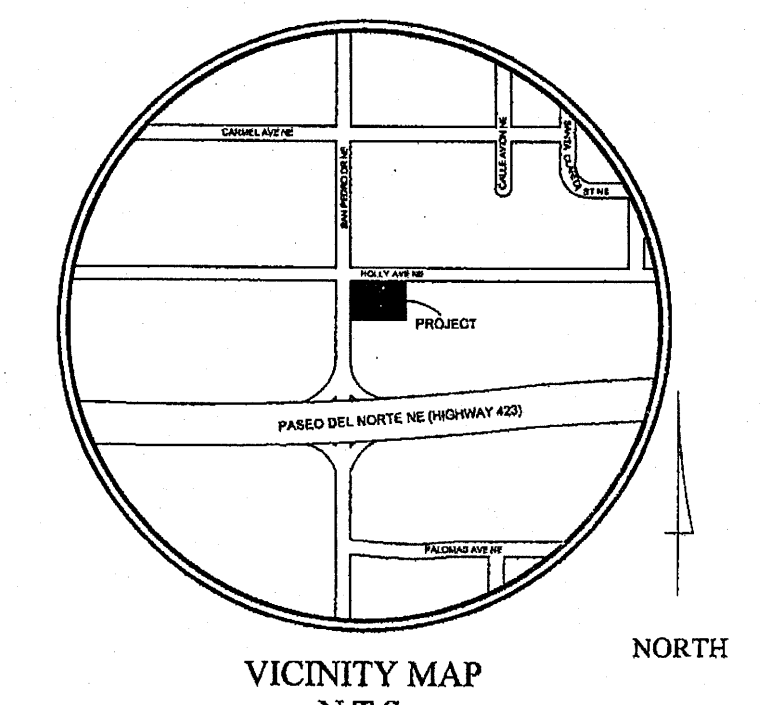
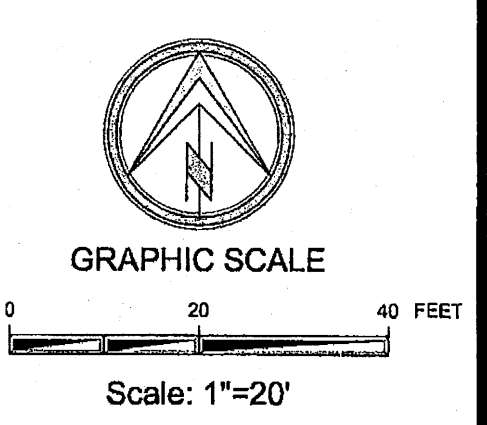
- 1. Off-Street Parking Area Landscaping. Trees are required in and around off-street parking areas to provide shade and relieve the adverse visual impact of large expanses of pavement and parked cars.

Sod Specifications

All disturbed areas, including shrub and groundcover areas, shall be dressed to typical sections and plowed to a depth of five (5) inches.

Plant Material List

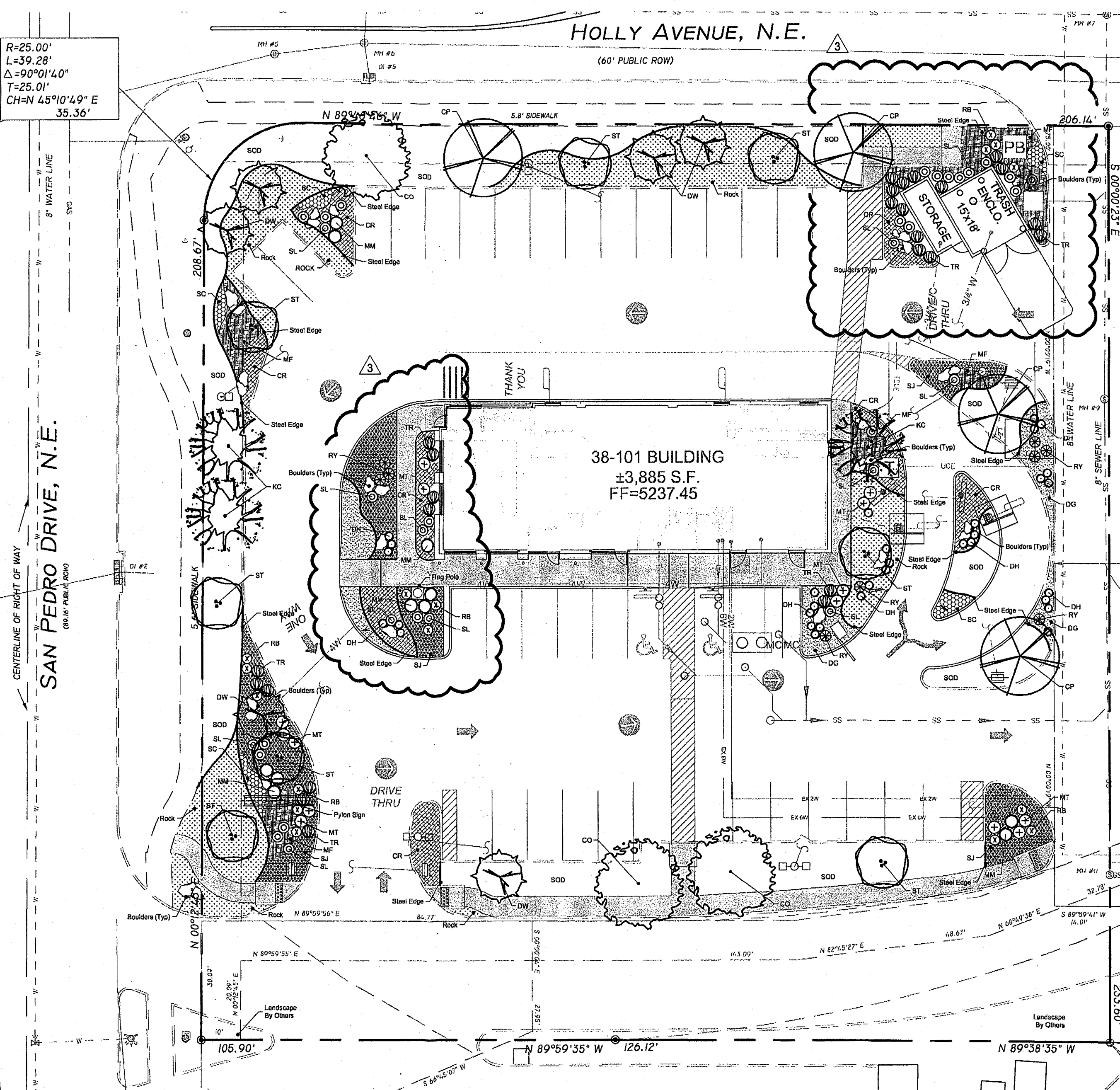
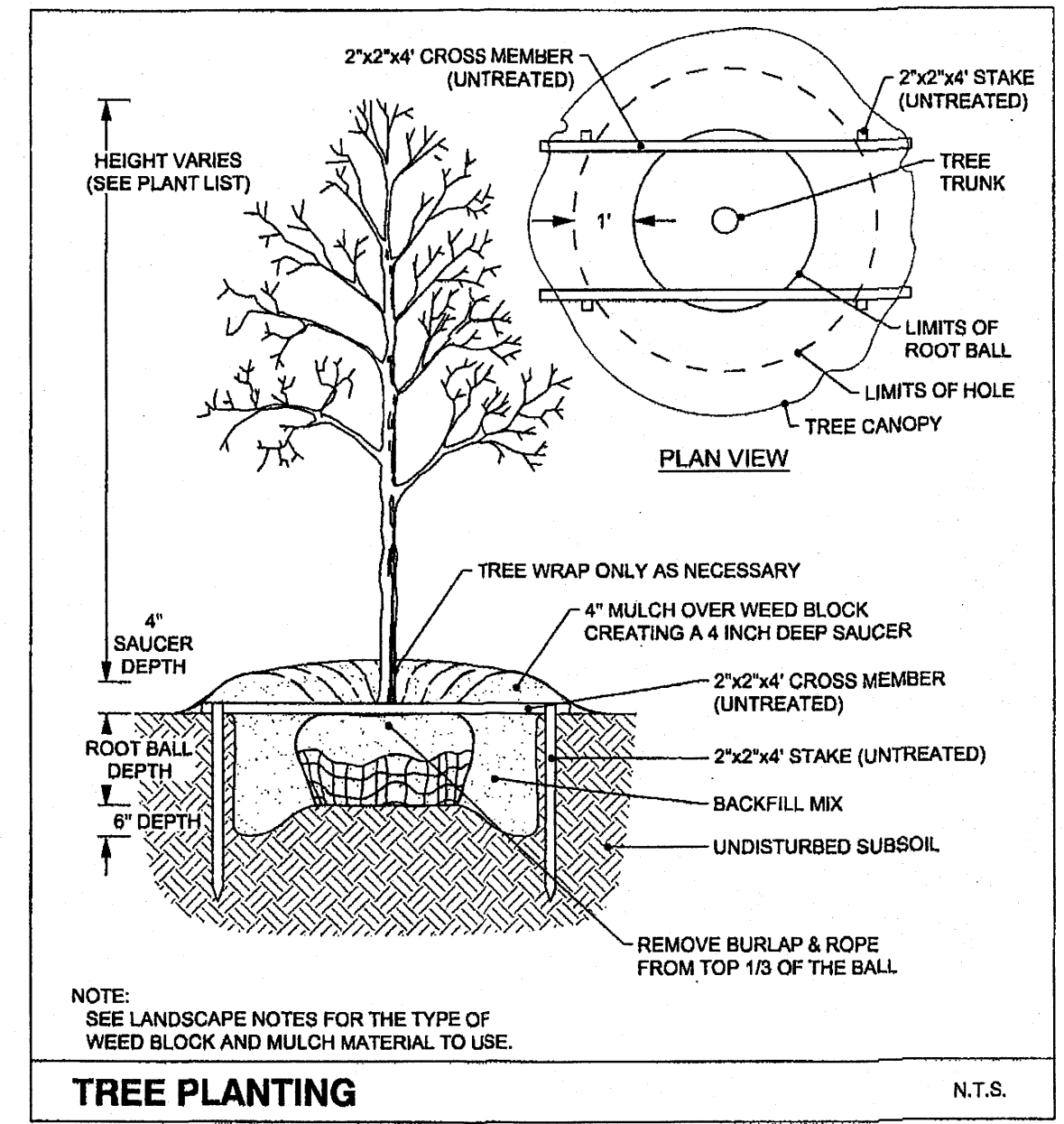
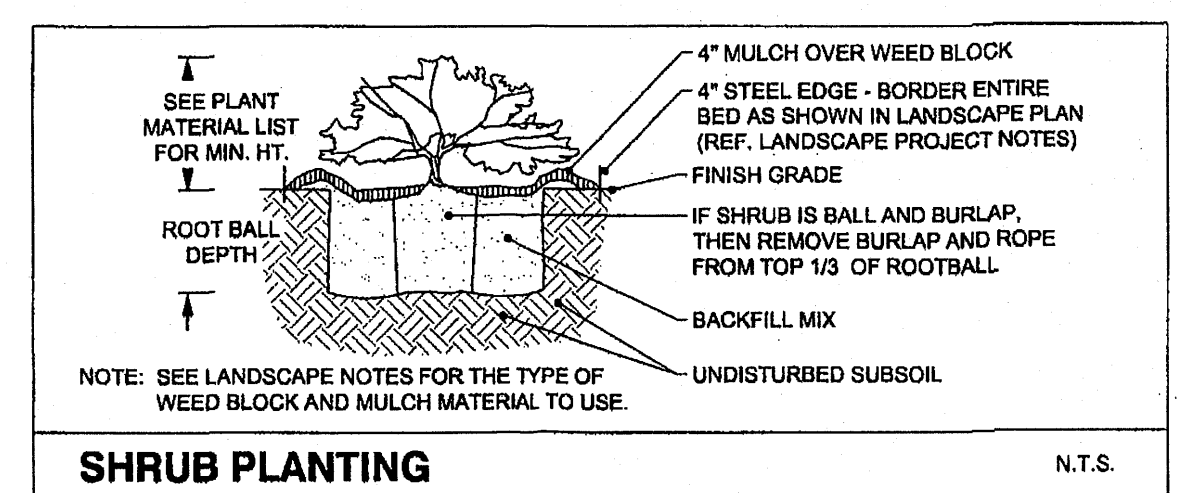
Table with columns: SYM, KEY, QTY, COMMON NAME, SCIENTIFIC NAME, O.C., ROOT, SIZE, HEIGHT, SPREAD, COMMENT. Lists various plants like Chinese Platane, Kentucky Coffee Tree, Chinquapin Oak, etc.



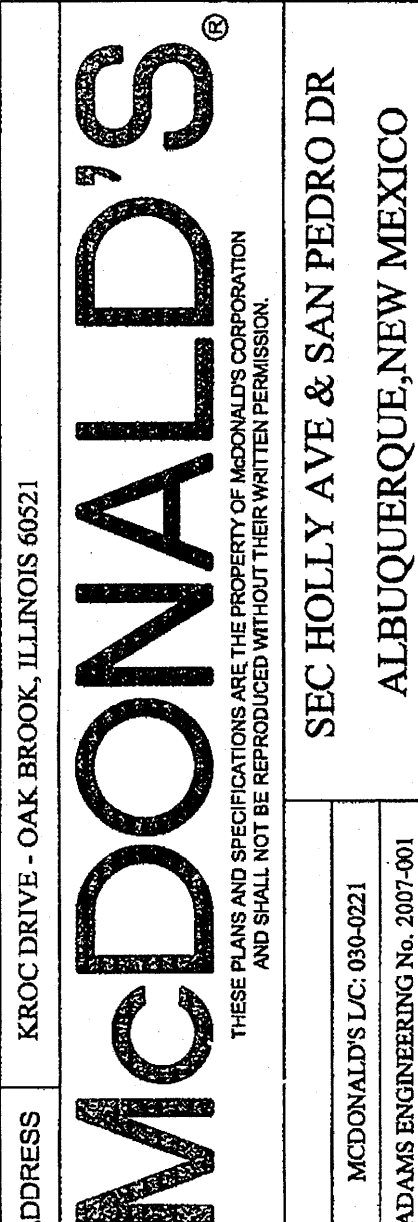
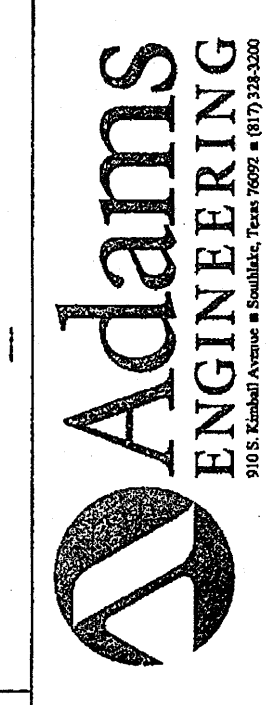
GENERAL NOTES

- 1. McDonald's road sign and base are to be installed by contractor. Conduit and wiring are by the General Contractor.

LANDSCAPE CALCULATIONS for the City of Albuquerque. Table with columns: CATEGORY, REQUIRED, PROVIDED. Rows include NET LOT AREA, LANDSCAPE AREA, PARKING TREES, STREET TREES, VEGETATIVE GROUND COVER.



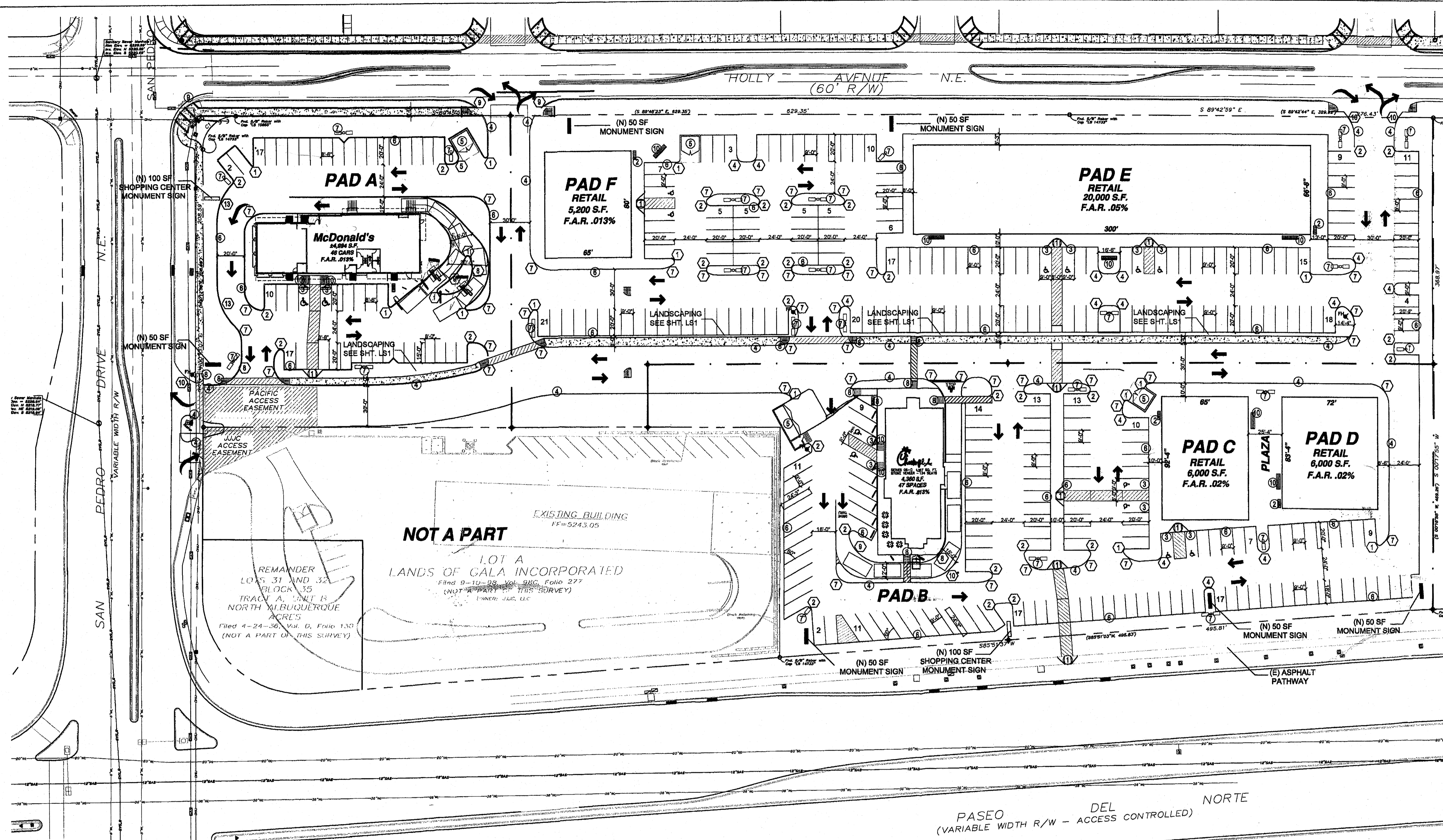
McDONALD'S project information including PAVING SPECIFICATION, SITE INFORMATION, BENCHMARK, SURVEY INFORMATION, and project address: SEC HOLLY AVE & SAN PEDRO DR, ALBUQUERQUE, NEW MEXICO.



Revision table with columns: REV, DATE, DESCRIPTION, BY, ISSUE REF. Shows three revisions.

Approval table with columns: REGIONAL MGR, CONST. MGR, OPERATIONS DEPT., REAL ESTATE DEPT., CONTRACTOR, OWNER. Includes signature lines for PLAN APPROVALS and CO-SIGN SIGNATURES.

Project summary table with columns: STATUS, DATE, BY, PLAN CHECKED, AS-BUILT, L/C NUMBER, CORPORATE DWG. NAME, L1.0.



- PARKING NOTES:**
 TYPICAL STANDARD SPACES ARE — 4'-0" x 20'-0"
 TYPICAL SMALL CAR SPACES ARE — 7'-0" x 18'-0"
 TYPICAL HANDICAP SPACES ARE — 8'-0" x 20'-0"
 WITH 4' WIDE ACCESSIBLE — 8'-0" x 30'-0"
 ALL SPACES ARE STANDARD SIZE UNLESS OTHERWISE NOTED
- RADIUS:**
- | | |
|-------------------|-------------------|
| ① RADIUS = 2'-0" | ⑦ RADIUS = 15'-0" |
| ② RADIUS = 3'-0" | ⑧ RADIUS = 20'-0" |
| ③ RADIUS = 4'-0" | ⑨ RADIUS = 25'-0" |
| ④ RADIUS = 5'-0" | ⑩ RADIUS = 28'-0" |
| ⑤ RADIUS = 10'-0" | ⑪ RADIUS = 30'-0" |
| ⑥ RADIUS = 12'-0" | ⑫ RADIUS = 37'-6" |

- CODE REFERENCES**
- BUILDING CODE: IBC "2003"
 MECHANICAL CODE: UMC "2003"
 PLUMBING CODE: UPC "2003"
 ELECTRICAL CODE: NEC "2003"
 ACCESSIBILITY CODE: ANSI "1998"
 FIRE CODE: IFC "2003"

- CODE DATA**
- ADDRESS: NE CORNER OF PASEO DEL NORTE & SAN PEDRO DRIVE
- ZONING: SU-2/1P
- OCCUPANCY: A & M
- BUILDING TYPE: TYPE IIB
- SEISMIC ZONE: 2B
- # OF STORIES: ONE
- FIRE PROTECTION:
- | | | |
|---------------------|--------------|-------------|
| MCDONALD'S: | UN-SPRINKLED | (4,994 SF) |
| CHICK-FIL-A: | UN-SPRINKLED | (4,360 SF) |
| FUTURE PHASE | | |
| PAD C: | UN-SPRINKLED | (6,000 SF) |
| PAD D: | UN-SPRINKLED | (6,000 SF) |
| PAD E: | SPRINKLED | (20,000 SF) |
| PAD F: | UN-SPRINKLED | (5,200 SF) |

NOT A PART

EXISTING BUILDING
FF=5243.05

LOT A
LANDS OF GALA INCORPORATED
PLANS 9-112-35, 304, 585, Folio 277
(NOT A PART OF THIS SURVEY)
OWNER: JLD, LLC

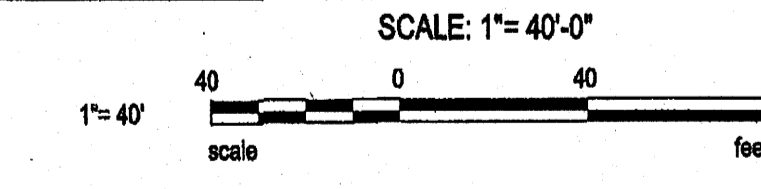
REMAINDER
LOTS 31 AND 32
BLOCK 35
TRACY A, UNIT B
NORTH ALBUQUERQUE
ACRES
Filed 4-24-36 Vol. 0, Folio 130
(NOT A PART OF THIS SURVEY)

REV	DATE	BY	REVISION

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
 2325 SAN PEDRO N.E. SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

PRELIMINARY
NOT FOR
CONSTRUCTION

SITE PLAN FOR BUILDING PERMIT



- SITE LEGEND:**
- | | | | |
|---|------------------------|---|--|
| — | EXISTING PROPERTY LINE | ▣ | PROPOSED BIKE RACK |
| — | PROPOSED CURB | □ | PROPOSED PARKING LOT LIGHTING |
| — | PROPOSED SIDEWALK | ▨ | PROPOSED OUTDOOR SEATING EA BENCH SEATS FOUR (4) |
| — | PROPOSED CROSSWALK | ↔ | VEHICLE INGRESS/EGRESS |
| — | PROPOSED FIRE HYDRANT | | |

SITE DATA:

- PROPOSED USAGE: C-2 USE
- LOT AREA: 374,664 SF (8.6 ACRES)
- LANDSCAPE REQUIRED: 6.5%
- OCCUPANT LOAD:
- MCDONALD'S - 5,322 SF/15 = 354 PERSONS
 CHICK-FIL-A - 4,360 SF/15 = 291 PERSONS
- FUTURE PHASE (PROPOSED RETAIL)**
- PAD C - 6,000 SF/30 = 200 PERSONS
 PAD D - 6,000 SF/30 = 200 PERSONS
 PAD E - 20,000 SF/30 = 667 PERSONS
 PAD F - 5,200 SF/30 = 173 PERSONS

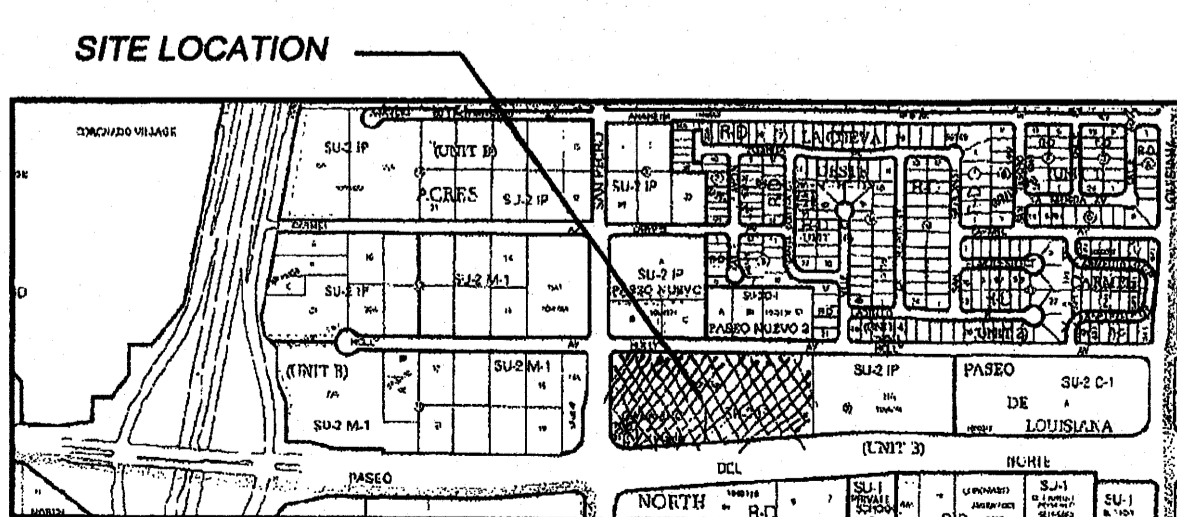
PARKING DATA:

SITE DATA	BUILDING AREA	PARKING REQD.	PARKING PROVIDED
PAD A	4,994 S.F.	25	46
PAD B	4,360 S.F.	22	47
PAD C	6,000 S.F.	30	44
PAD D	6,000 S.F.	30	44
PAD E	20,000 S.F.	80	90
PAD F	5,200 S.F.	26	51

PARKING DATA CONT:

- MCDONALD'S - H.C. PRKNG. REQD. 1 SPACE - PROVIDED 2 SPACES
 MOTORCYCLE PRKNG. REQD. 1 SPACE - PROVIDED 1 SPACE
 BICYCLE SPACES REQD. 2 SPACES - PROVIDED 5 SPACES
- CHICK-FIL-A - H.C. PRKNG. REQD. 1 SPACE - PROVIDED 2 SPACES
 MOTORCYCLE PRKNG. REQD. 1 SPACE - PROVIDED 1 SPACE
 BICYCLE SPACES REQD. 2 SPACES - PROVIDED 5 SPACES
- FUTURE PHASE (PROPOSED RETAIL)**
- PAD C - H.C. PRKNG. REQD. 2 SPACES - PROVIDED 2 SPACES
 MOTORCYCLE PRKNG. REQD. 1 SPACE - PROVIDED 1 SPACE
 BICYCLE SPACES REQD. 2 SPACES - PROVIDED 5 SPACES
 SITTING SPACES 4 SEATS - PROVIDED 1 BENCH (SEATS 4)
- PAD D - H.C. PRKNG. REQD. 2 SPACES - PROVIDED 2 SPACES
 MOTORCYCLE PRKNG. REQD. 1 SPACE - PROVIDED 1 SPACE
 BICYCLE SPACES REQD. 2 SPACES - PROVIDED 5 SPACES
 SITTING SPACES 4 SEATS - PROVIDED 1 BENCH (SEATS 4)
- PAD E - H.C. PRKNG. REQD. 4 SPACES - PROVIDED 4 SPACES
 MOTORCYCLE PRKNG. REQD. 3 SPACES - PROVIDED 3 SPACES
 BICYCLE SPACES REQD. 4 SPACES - PROVIDED 5 SPACES
 SITTING SPACES 12 SEATS - PROVIDED 3 BENCHES (1 SEATS 4)
- PAD F - H.C. PRKNG. REQD. 2 SPACES - PROVIDED 2 SPACES
 MOTORCYCLE PRKNG. REQD. 3 SPACES - PROVIDED 3 SPACES
 BICYCLE SPACES REQD. 2 SPACES - PROVIDED 5 SPACES
 SITTING SPACES 4 SEATS - PROVIDED 1 BENCH (SEATS 4)

○ DENOTES A SITE DETAIL, REFER TO SHEET AS3



VICINITY MAP

PROJECT NUMBER: 1006868

APPLICATION NUMBER: 01DEB-70390

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

<i>[Signature]</i>	Date	11-28-07
<i>[Signature]</i>	Date	11-28-07
<i>[Signature]</i>	Date	11/28/07
<i>[Signature]</i>	Date	3/24/08
<i>[Signature]</i>	Date	11/27/07
<i>[Signature]</i>	Date	3/24/08

DRB Chairperson, Planning Department

* Environmental Health, if necessary

DRB SUBMITTAL

PROJECT TITLE: DEL NORTE PLAZA
 SAN PEDRO & PASEO DEL NORTE
 ALBUQUERQUE, NEW MEXICO

DRAWN BY: WRS

JOB NO. 0556A

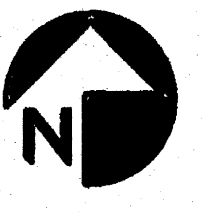
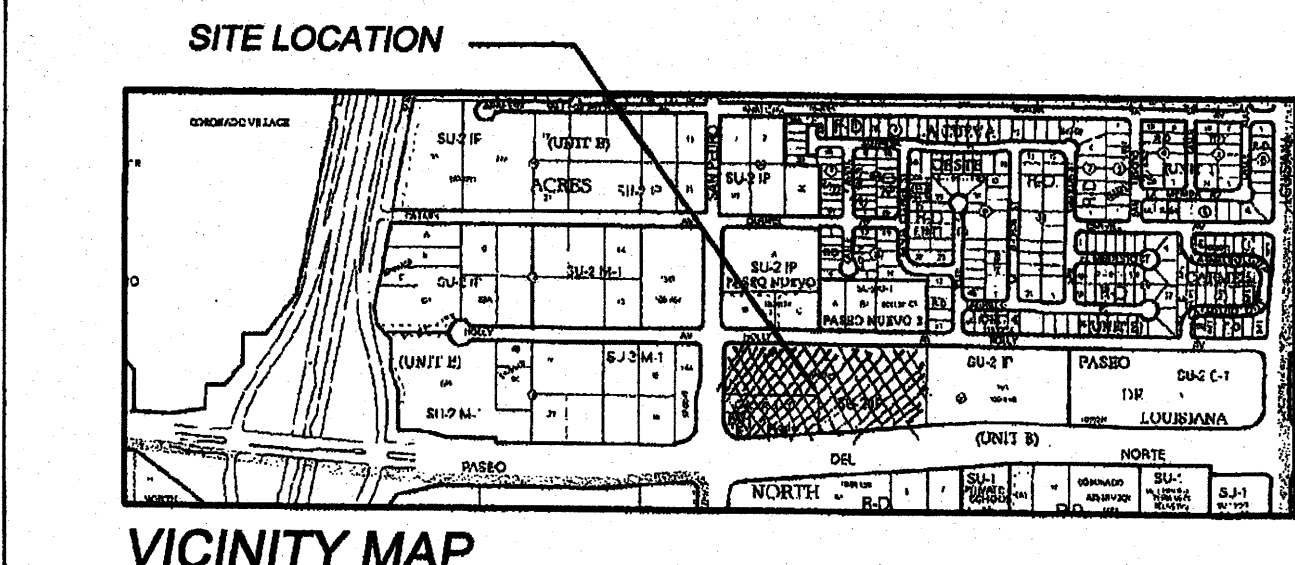
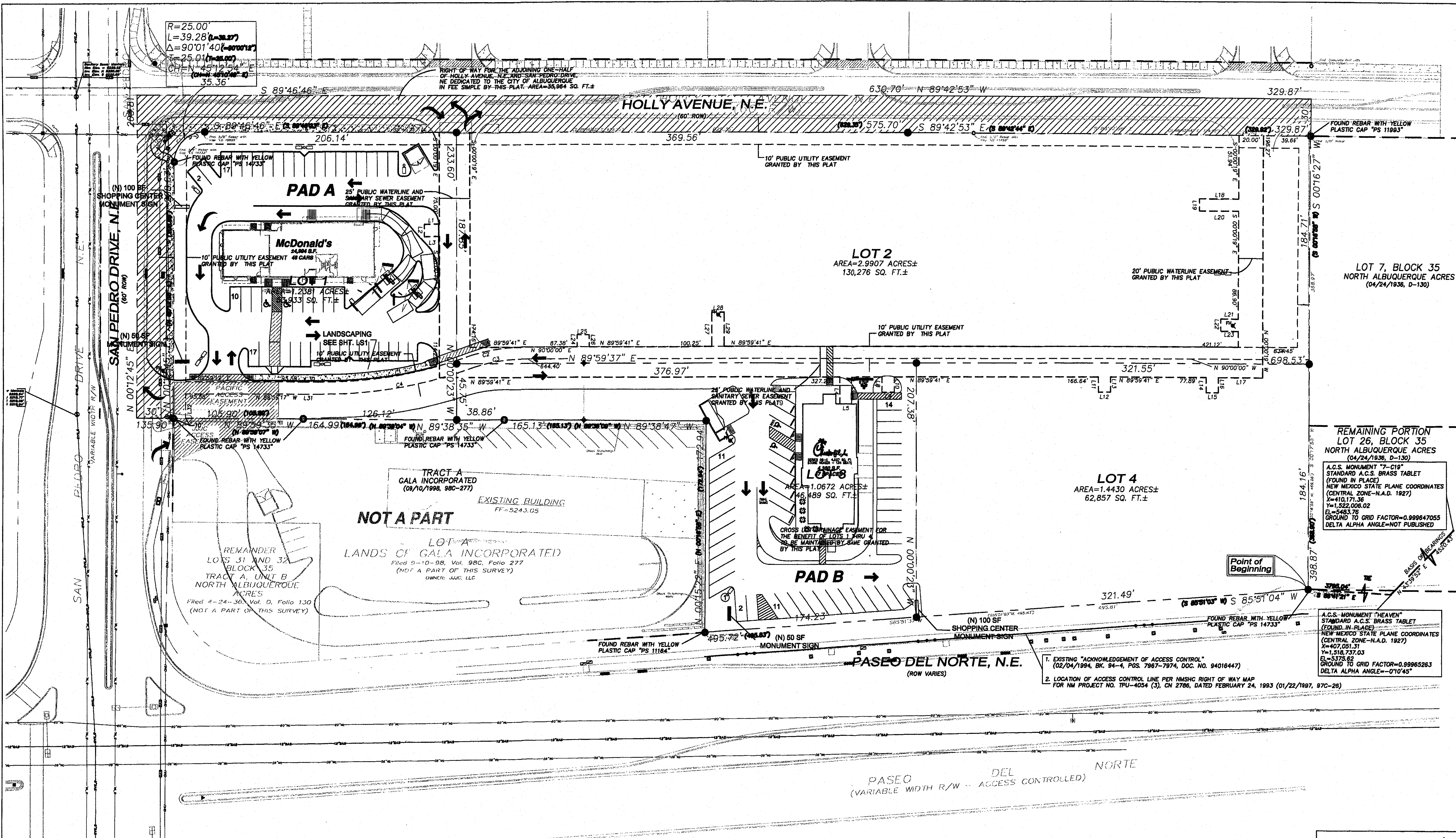
PROJECT MANAGER

SHEET TITLE: SITE PLAN FOR BLDG. PERMIT

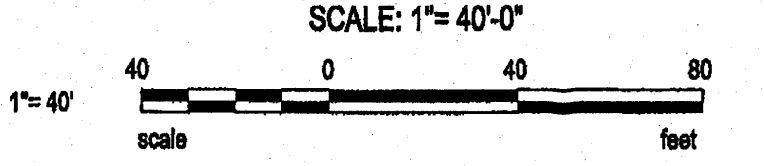
DATE: 11.26.2007

SCALE: 1"=40'-0"

sheet- AS1 of-



SITE PLAN FOR SUBDIVISION



- SITE LEGEND:**
- EXISTING PROPERTY LINE
 - PROPOSED CURB
 - PROPOSED SIDEWALK
 - PROPOSED CROSSWALK
 - PROPOSED FIRE HYDRANT
 - ▤ PROPOSED BIKE RACK
 - PROPOSED PARKING LOT LIGHTING
 - ▨ PROPOSED OUTDOOR SEATING EA. BENCH SEATS FOUR (4)
 - ↔ VEHICLE INGRESS/EGRESS

PARKING DATA:

McDONALD'S - H.C. PRKNG. REQD. 1 SPACE - PROVIDED 2 SPACES
 MOTORCYCLE PRKNG. REQD. 1 SPACE - PROVIDED 1 SPACE
 BICYCLE SPACES REQD. 2 SPACES - PROVIDED 5 SPACES

CHICK-FLA - H.C. PRKNG. REQD. 1 SPACE - PROVIDED 2 SPACES
 MOTORCYCLE PRKNG. REQD. 1 SPACE - PROVIDED 1 SPACE
 BICYCLE SPACES REQD. 2 SPACES - PROVIDED 5 SPACES

SITE DATA	BUILDING AREA	PARKING REQD.	PARKING PROVIDED
PAD A	4,984 S.F.	25	48
PAD B	4,360 S.F.	22	47

SITE DATA TABLE

PROPOSED PARCEL	USE	ZONING	MAX. BLDG. HEIGHT	F.A.R.
PAD A	RESTAURANT	C-2	30 FEET	.013%
PAD B	RESTAURANT	C-2	30 FEET	.013%
PAD C	RETAIL	C-2	30 FEET	.02%
PAD D	RETAIL	C-2	30 FEET	.02%
PAD E	RETAIL	C-2	30 FEET	.05%
PAD F	RETAIL	C-2	30 FEET	.013%

NOTES:
 1. PEDESTRIAN CONNECTIONS SHALL BE PER THE OFF-STREET PARKING REQUIREMENTS OF THE ZONING CODE.

PROJECT NUMBER: 1006868
 APPLICATION NUMBER: 07DRB-70389

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

Traffic Engineering, Transportation Division: 11/28/07
 Date

ABCWUA: 11/28/07
 Date

Planning and Recreation Department: 11/28/07
 Date

City Engineer: 3/24/08
 Date

Environmental Health Department: _____
 Date

Solid Waste Management: 11/27/07
 Date

DRB Chairperson, Planning Department: 3/24/08
 Date

* Environmental Health, if necessary

REV	DATE	BY	REVISION

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
 2925 SAN PEDRO N.E. SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

PRELIMINARY
 NOT FOR
 CONSTRUCTION

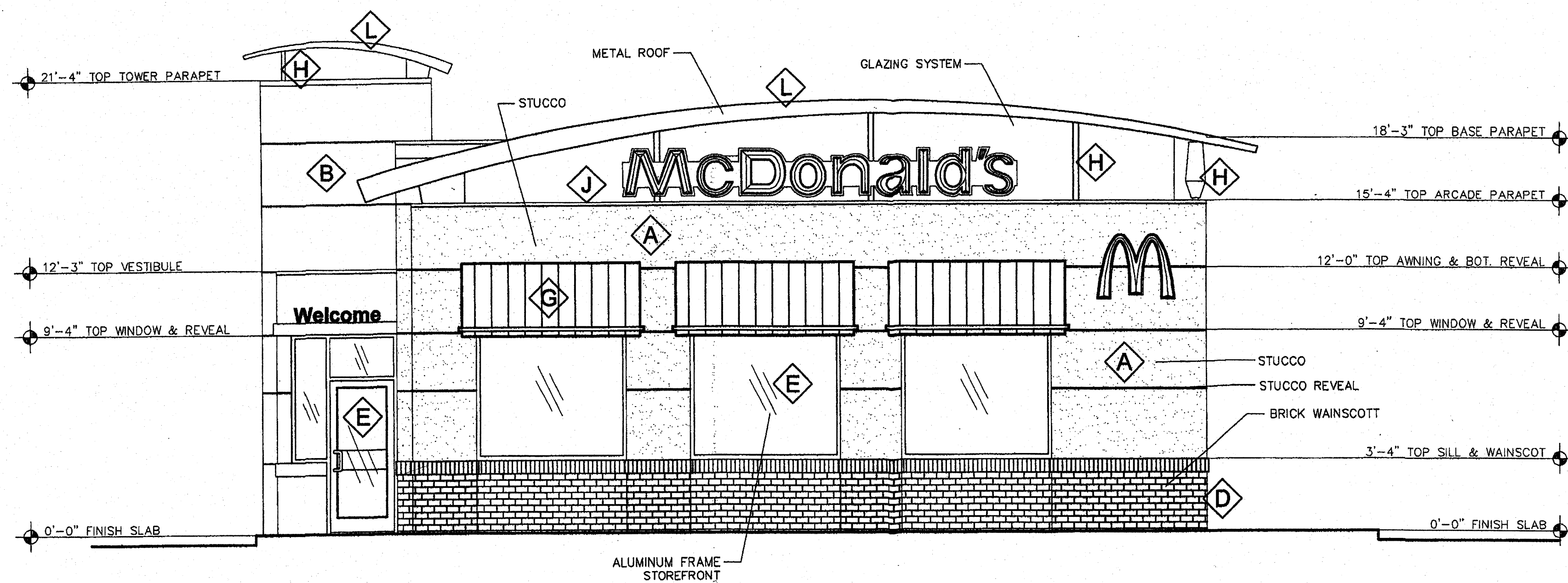
PROJECT TITLE
DEL NORTE PLAZA
 SAN PEDRO & PASEO DEL NORTE
 ALBUQUERQUE, NEW MEXICO

DRAWN BY: WRS
 PROJECT MANAGER: JCSA

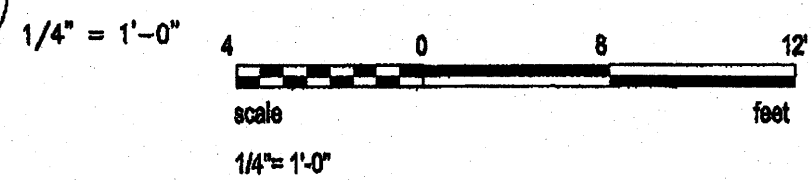
SHEET TITLE
SITE PLAN FOR SUBDIVISION

DATE: 11.28.2007
 SCALE: 1"=40'-0"
 sheet-
AS2
 of

DRB SUBMITTAL

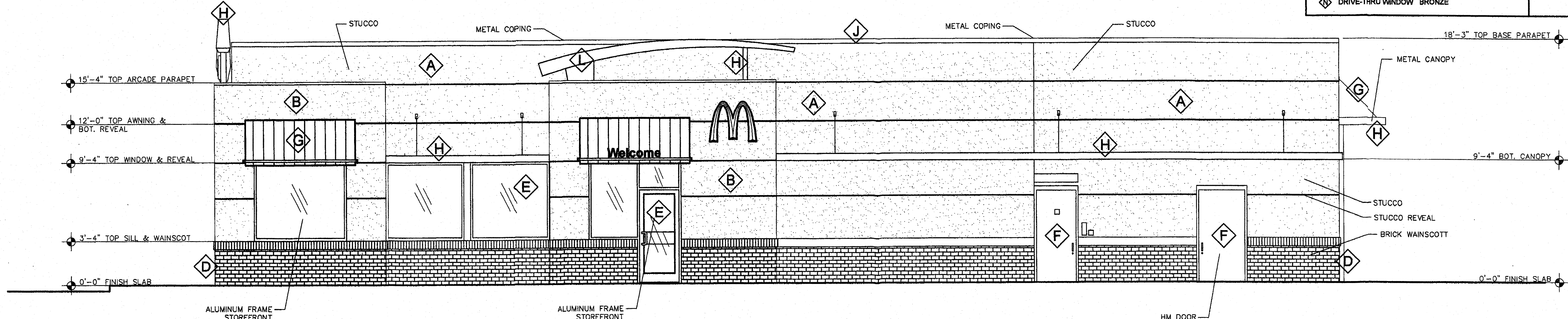


1 FRONT (WEST) ELEVATION

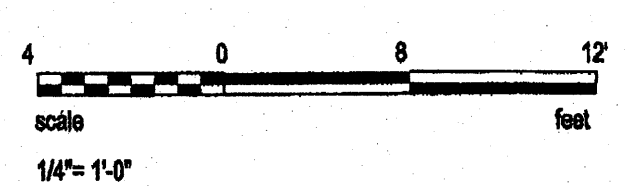


NOTES:
 ALL MECH. EQUIP. SHALL BE SHIELDED
 ALUM. STOREFRONT SHALL BE RECESSED 2"
 FROM FACE OF STUCCO.
 BUILDING SIGNAGE DETERMINED BY LOCAL
 CODE. TENANT SIGNAGE TO BE APPROVED
 BY ZONING AND DONE UNDER SEPARATE
 ZONING PERMIT.
 ALL BUILDING MATERIALS SHALL BE
 NON-REFLECTIVE.

Keyed Color / Material Schedule		Common Name
◆	STUCCO EL REY 821 LARIAT	OFF WHITE/ LT.TAN
◆	STUCCO EL REY 803 SAGE	LT. TANYELLOW
◆	STUCCO EL REY 430 PEAK	LT. GREY
◆	BRICK WAINSCOT FIRE-BRICK RED	
◆	ALUM. STOREFRONT BRONZE	
◆	HOLLOW METAL DOOR PAINT TO MATCH ADJACENT FINISH	
◆	METAL AWNING GALVALUME	
◆	TUBE STEEL PAINT TO MATCH EL REY 430 - PEAK	
◆	METAL COPING SILVER	
◆	E.F.I.S. EL REY 430 PEAK	
◆	METAL ROOFING GALVALUME	
◆	BOLLARD SAFETY RED	
◆	DRIVE-THRU WINDOW BRONZE	



4 NON DRIVE-THRU (SOUTH) ELEVATION



REV	DATE	BY	REVISION
▲			
▲			
▲			
▲			
▲			

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
 2325 SAN PEDRO N.E. SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

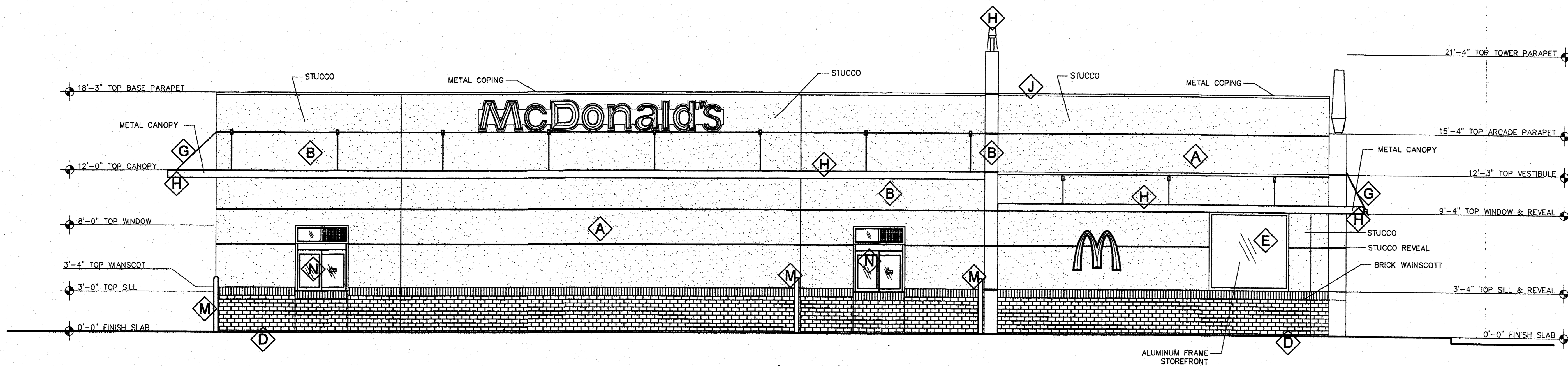
PRELIMINARY
 NOT FOR
 CONSTRUCTION

PROJECT TITLE
DEL NORTE PLAZA
 SAN PEDRO & PHOENIX DEL NORTE
 ALBUQUERQUE, NEW MEXICO
 PROJECT MANAGER
 JOB NO. 0538A
 DRAWN BY: JS

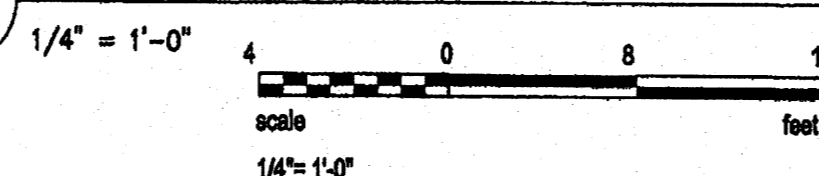
SHEET TITLE
McDonald's ELEVATIONS

DATE: 11.13.2007
 SCALE: AS NOTED
 sheet: **A1**
 of:

DRB SUBMITTAL

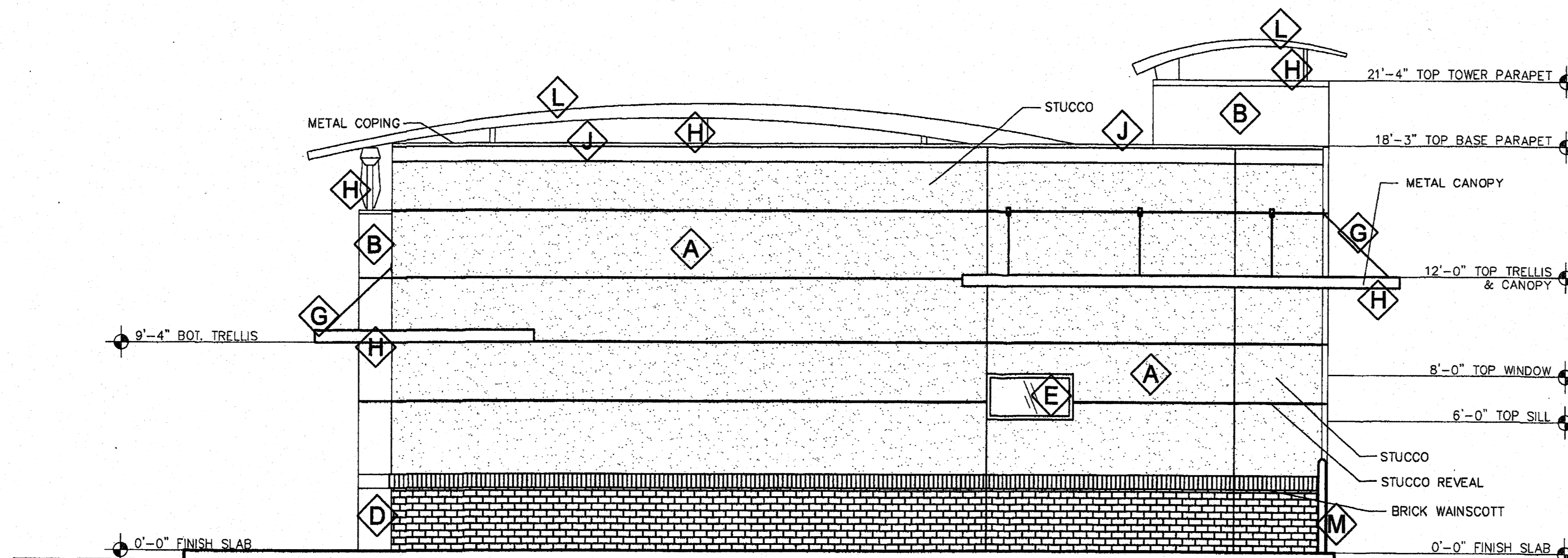


2 DRIVE-THRU (NORTH) ELEVATION

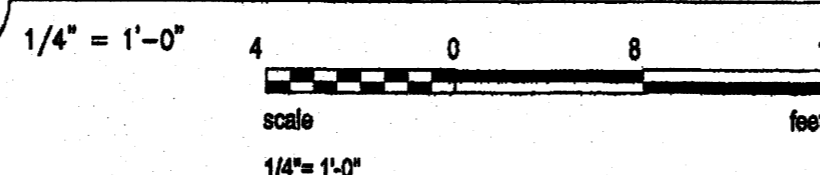


NOTES:
 ALL MECH. EQUIP. SHALL BE SHIELDED
 ALUM. STOREFRONT SHALL BE RECESSED 2"
 FROM FACE OF STUCCO.
 BUILDING SIGNAGE DETERMINED BY LOCAL
 CODE. TENANT SIGNAGE TO BE APPROVED
 BY ZONING AND DONE UNDER SEPARATE
 ZONING PERMIT.
 ALL BUILDING MATERIALS SHALL BE
 NON-REFLECTIVE.

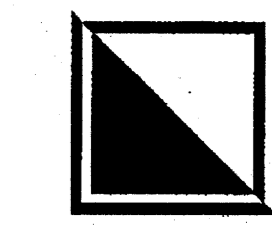
Keyed Color / Material Schedule		Common Name
◆	STUCCO EL REY 821 LARIAT	OFF WHITE/LT.TAN
◆	STUCCO EL REY 803 SAGE	LT. TANYELLOW
◆	STUCCO EL REY 430 PEAK	LT. GREY
◆	BRICK WAINSCOT FIRE-BRICK RED	
◆	ALUM. STOREFRONT BRONZE	
◆	HOLLOW METAL DOOR PAINT TO MATCH ADJACENT FINISH	
◆	METAL AWNING GALVALUME	
◆	TUBE STEEL PAINT TO MATCH EL REY 430 - PEAK	
◆	METAL COPING SILVER	
◆	E.F.I.S. EL REY 430 PEAK	
◆	METAL ROOFING GALVALUME	
◆	BOLLARD SAFETY RED	
◆	DRIVE-THRU WINDOW BRONZE	



3 REAR (EAST) ELEVATION



REV	DATE	BY	REVISION
A			
A			
A			
A			
A			



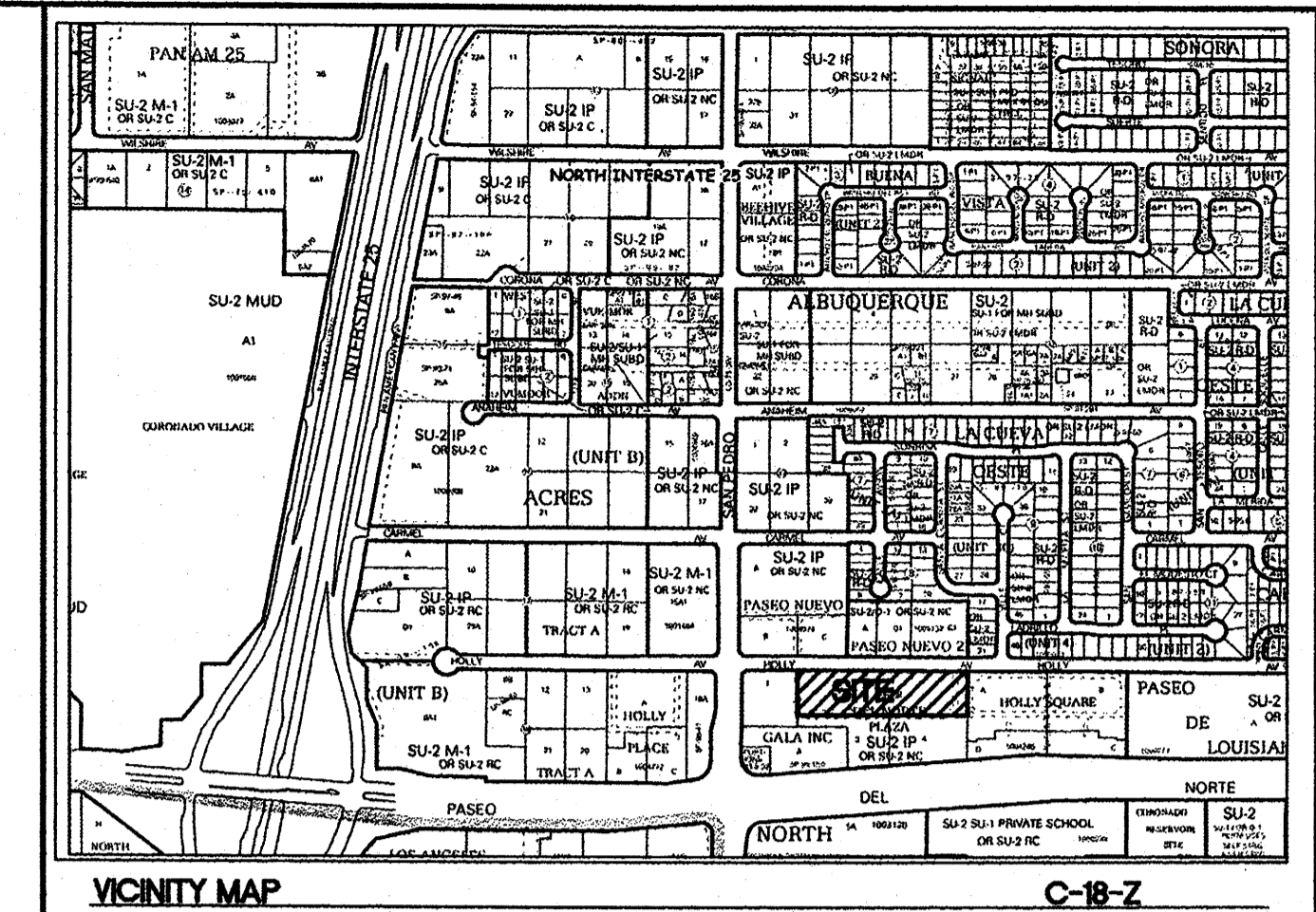
GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
 2325 SAN PEDRO N.E. SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

PRELIMINARY
 NOT FOR
 CONSTRUCTION

PROJECT TITLE
DEL NORTE PLAZA
 SAN PEDRO & PASO DEL NORTE
 ALBUQUERQUE, NEW MEXICO
 PROJECT MANAGER
 JOB NO. 0536A
 DRAWN BY: JS
 SHEET TITLE
McDonald's ELEVATIONS

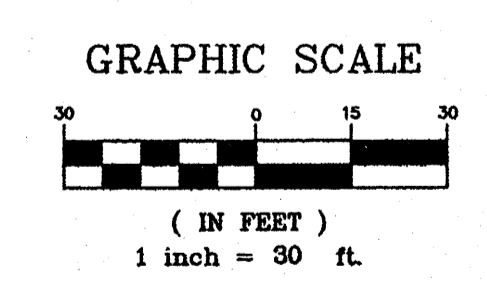
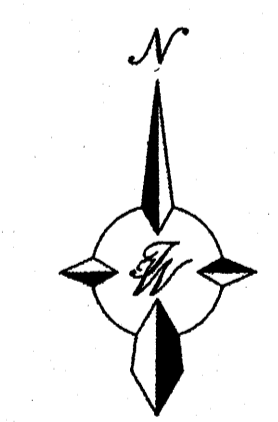
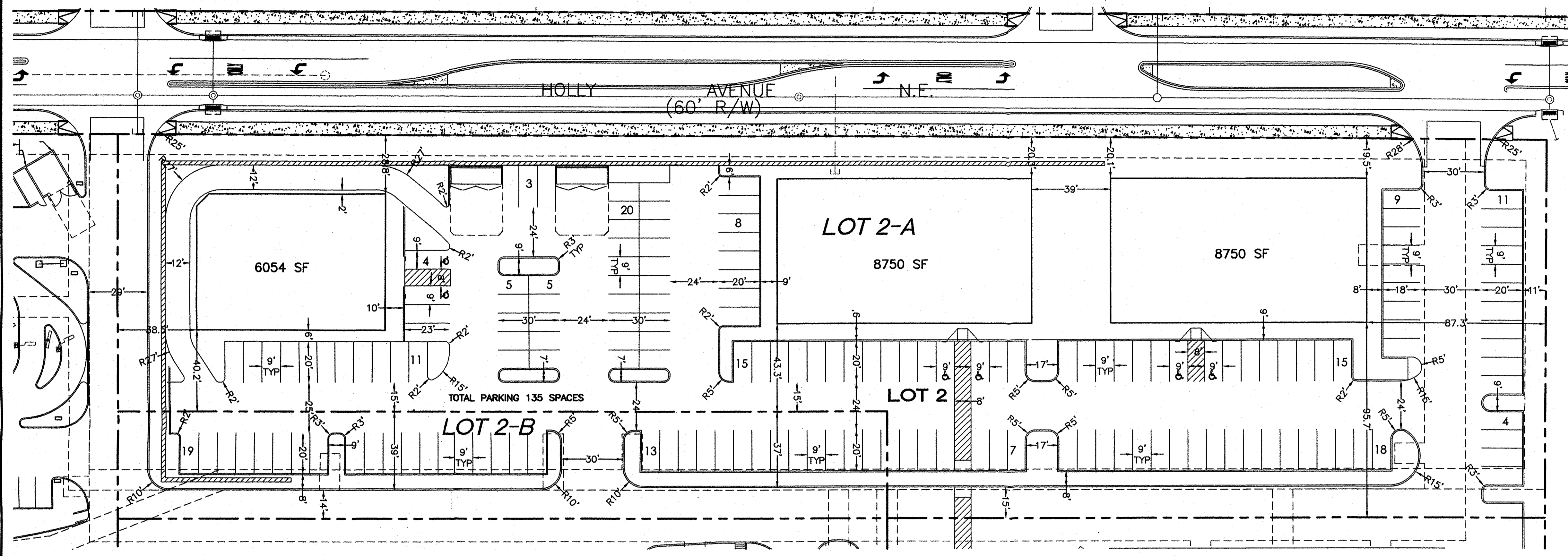
DATE:
 11.13.2007
 SCALE:
 AS NOTED
 sheet:
A2
 of:

DRB SUBMITTAL



VICINITY MAP
 LEGAL DESCRIPTION
 LOT 2-A AND 2-B DEL NORTE PLAZA

PROJECT: 1006868
 DATE: 9-30-15
 APP: 15-70841 (P/F)
 REQUEST:

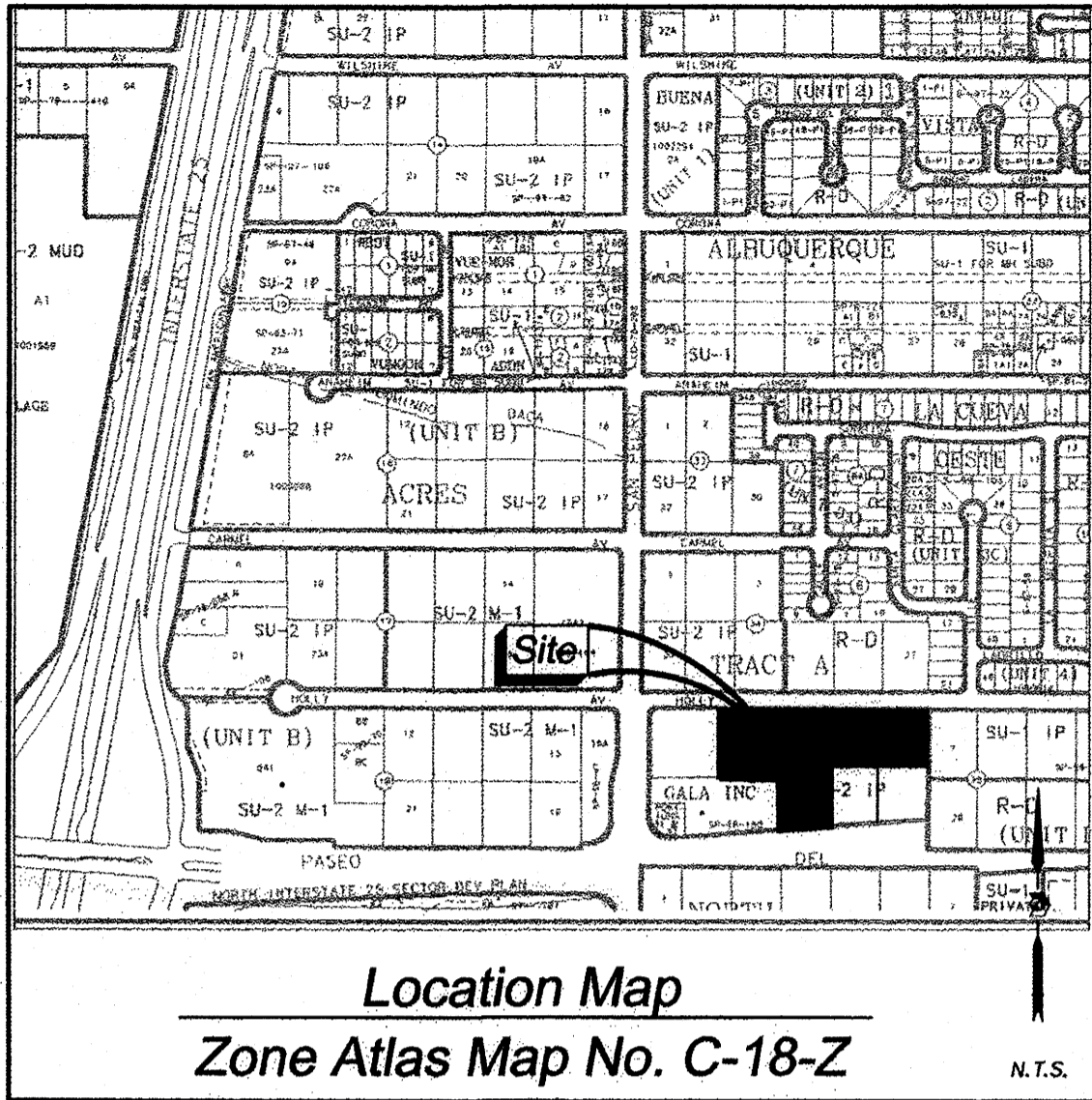


ENGINEER'S SEAL	HOLLY SHOPPING CENTER ALBUQUERQUE, NM	DRAWN BY pm
	SITE SKETCH	DATE 8-18-15
RONALD R. BOHANNAN P.E. #7868	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING SITE PLAN
		SHEET # 1
		JOB # 2015053

RECORDING STAMP

Plat of
Lots 2-A and 3-A
Del Norte Plaza

A Portion of the
Elena Gallegos Grant, Projected Section 13, Township 11 North, Range 8 East, N.M.P.M.
City of Albuquerque, Bernalillo County, New Mexico
September 2015



Legal Description

A TRACT OF LAND LYING AND SITUATE WITHIN THE ELENA GALLEGOS GRANT, PROJECTED SECTION 13, TOWNSHIP 11 NORTH, RANGE 8 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPROMISING OF LOTS NUMBERED 2 (TWO) AND 3 (THREE) OF THE PLAT OF LOTS 1, 2, 3, AND 4, DEL NORTE PLAZA, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 28, 2008 IN PLAT BOOK 2008C, PAGE 112, CONTAINING 4.0583 ACRES (176,779 SQUARE FEET) MORE OR LESS, NOW COMPROMISING OF LOTS 2-A AND LOT 3-4.

PROJECT: 1006868
DATE 9-30-15
APP: 15-70341 (P&F)
REQUEST:

Project No. _____

Application No. 15DRB- _____

Utility Approvals

PNM	DATE
NEW MEXICO GAS COMPANY	DATE
QWEST CORPORATION D/B/A CENTURYLINK QC	DATE
COMCAST	DATE

City Approvals

Soren M. Rainwater P.S. 9/22/15
CITY SURVEYOR DATE

TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT DATE

A.B.C.W.U.A. DATE

PARKS AND RECREATION DEPARTMENT DATE

AMAFCA DATE

CITY ENGINEER DATE

DRB CHAIRPERSON, PLANNING DEPARTMENT

TREASURER CERTIFICATE

Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED NEW MEXICO PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF THE MINIMUM STANDARDS FOR LAND SURVEYS AS ADOPTED BY THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

Larry W. Medrano 9/14/15
LARRY W. MEDRANO DATE
N.M.P.S. No. 11993



OFFICE LOCATION:
5571 Midway Park Place, NE
Albuquerque, NM 87109
MAILING ADDRESS:
PO Box 90636
Albuquerque, NM 87199
505.856.5700 PHONE
505.856.7900 FAX

Subdivision Data:

ZONING: SU-2 IP
GROSS SUBDIVISION ACREAGE: 4.0583 ACRES±
ZONE ATLAS INDEX NO: C-18-Z
NO. OF TRACTS CREATED: 0
NO. OF LOTS CREATED: 1
MILES OF FULL-WIDTH STREETS CREATED: 0
DATE OF SURVEY: SEPTEMBER 10, 2015

Purpose of Plat

THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING TWO (2) LOTS INTO TWO (2) NEW LOTS.

Notes:

- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1983).
- ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN THE ELENA GALLEGOS GRANT, PROJECTED SECTION 13, TOWNSHIP 11 NORTH, RANGE 3 EAST, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- EASEMENT BEARINGS AND DISTANCES SHOWN HEREON ARE RECORD AND EASEMENTS HAVE BEEN ROTATED TO MATCH BASIS OF BEARINGS AND BOUNDARY UNLESS OTHERWISE INDICATED.

Public Utility Easements

- PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON JOINT USE OF:
- PUBLIC SERVICE COMPANY OF NEW MEXICO ("PNM"), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR INSTALLATION, MAINTENANCE AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.
 - NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.
 - QWEST CORPORATION D/B/A CENTURYLINK QC FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.
 - CABLE TV FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE WITHIN THE EASEMENT CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM AND OVER SAID EASEMENTS, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANTOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMER/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE (5) FEET ON EACH SIDE.

Disclaimer

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM), QWEST CORPORATION D/B/A CENTURYLINK QC AND NEW MEXICO GAS COMPANY (NMGC) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM, QWEST CORPORATION D/B/A CENTURYLINK QC AND NMGC DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN SPECIFICALLY DESCRIBED AND ON THIS PLAT.

Solar Note:

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERRECTED ON THE LOTS OF PARCELS WITHIN THE AREA OF THIS PLAT.

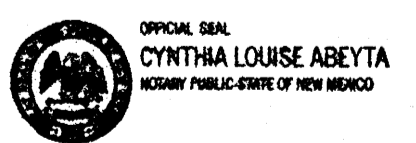
Free Consent

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

James Schumacher 9/14/15
JAMES SCHUMACHER DATE
PACIFIC PASEO DEVELOPMENT, L.L.C., A NEW MEXICO LIMITED LIABILITY COMPANY

Acknowledgment

STATE OF NEW MEXICO) SS
COUNTY OF BERNALILLO)



THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 14th DAY OF September, 2015 BY JAMES S. SCHUMACHER, PACIFIC PASEO DEVELOPMENT, L.L.C., A NEW MEXICO LIMITED LIABILITY COMPANY.

BY [Signature] MY COMMISSION EXPIRES: November 30, 2016
NOTARY PUBLIC

INDEXING INFORMATION FOR COUNTY CLERK
OWNER PACIFIC PASEO DEVELOPMENT, L.L.C.
SECTION 13, TOWNSHIP 11 N, RANGE 3 E,
SUBDIVISION DEL NORTE PLAZA

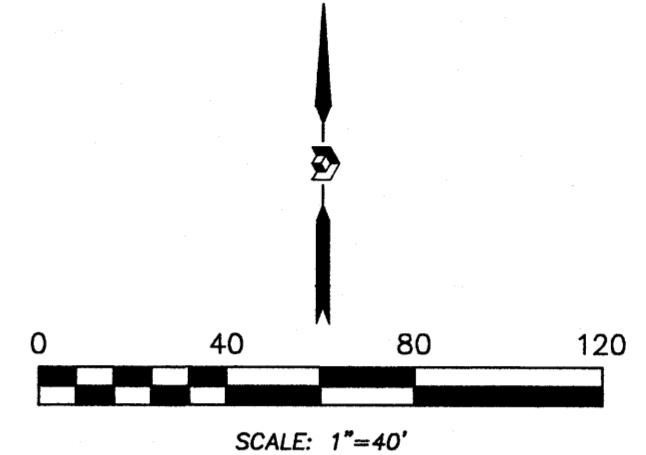
Legend

- N 90°00'00" E MEASURED BEARING AND DISTANCES
(N 90°00'00" E)
- RECORD BEARINGS AND DISTANCES
- FOUND AND USED MONUMENT AS DESIGNATED
- ⊙ DENOTES NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY
- △ FOUND ALUMINUM AGRS MONUMENT AS DESIGNATED

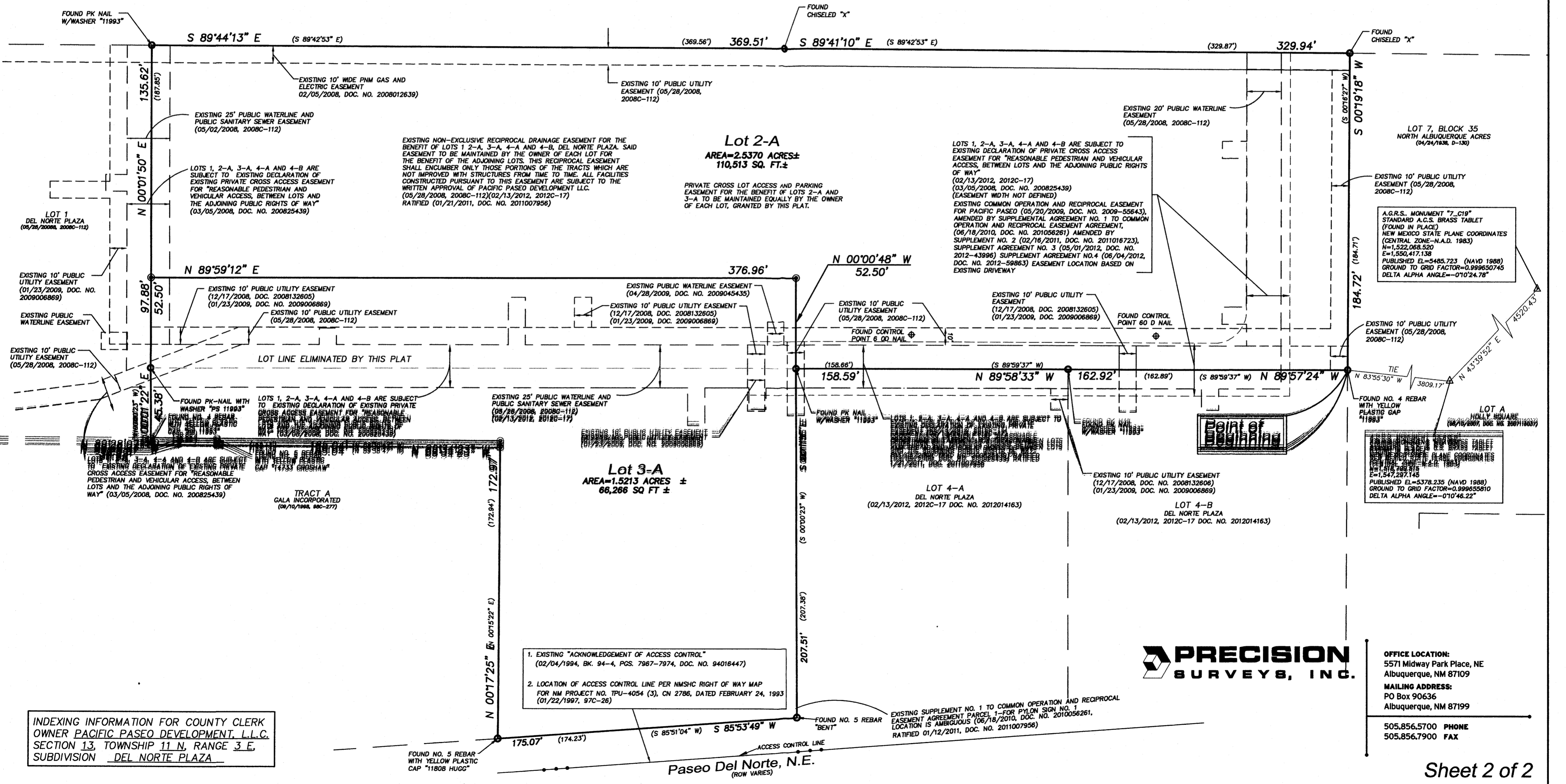
RECORDING STAMP

Plat of
Lots 2-A and 3-A
Del Norte Plaza

A Portion of the
Elena Gallegos Grant, Projected Section 13, Township 11 North, Range 8 East, N.M.P.M
City of Albuquerque, Bernalillo County, New Mexico
September 2015



Holly Avenue, N.E.
(60' ROW)



Lot 2-A
AREA=2.5370 ACRES±
110,513 SQ. FT.±

Lot 3-A
AREA=1.5213 ACRES ±
66,266 SQ FT ±

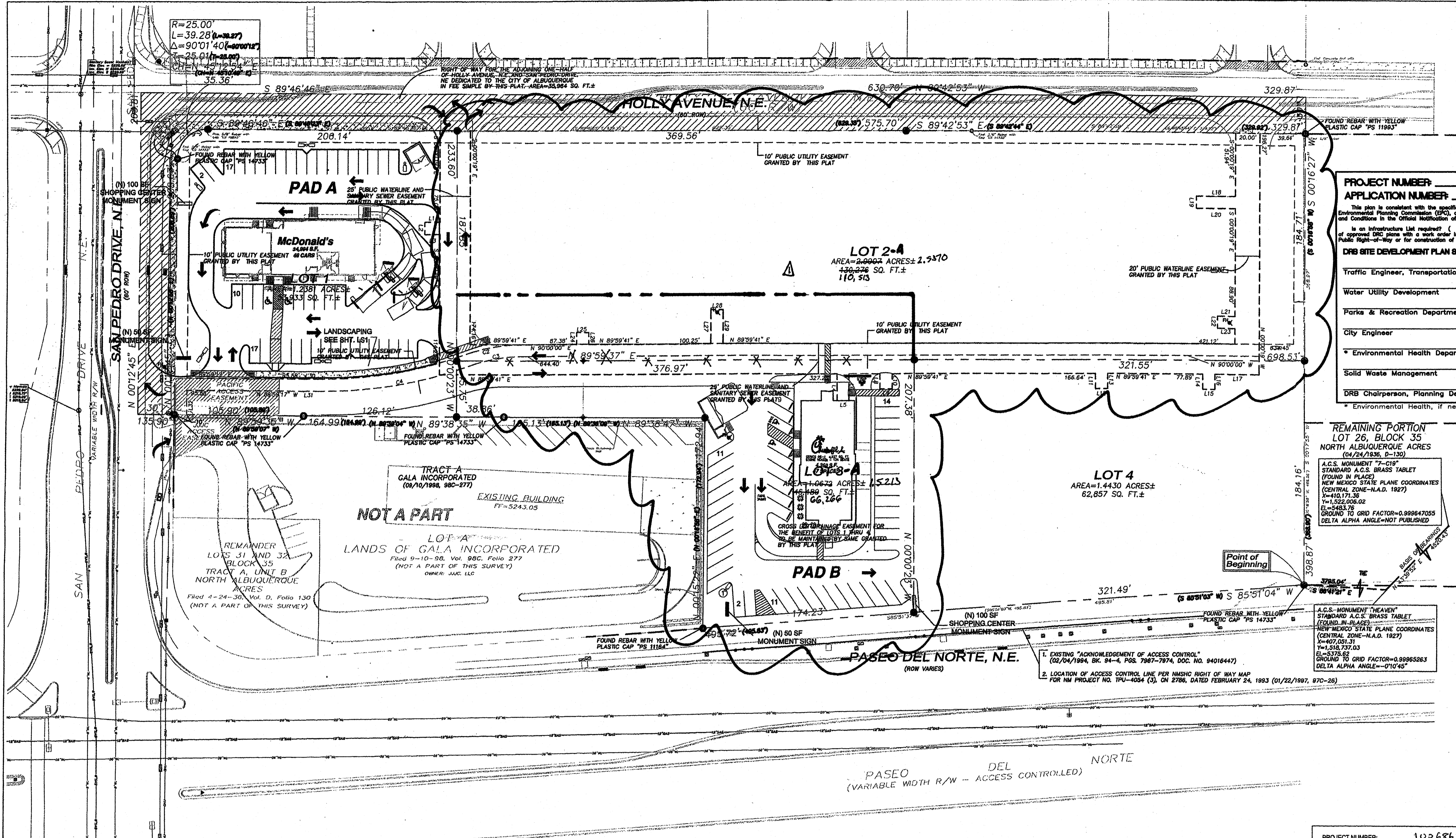
1. EXISTING "ACKNOWLEDGEMENT OF ACCESS CONTROL"
(02/04/1994, Bk. 94-4, PGS. 7967-7974, DOC. NO. 94016447)
2. LOCATION OF ACCESS CONTROL LINE PER NMSHC RIGHT OF WAY MAP
FOR NM PROJECT NO. TPU-4054 (3), CN 2786, DATED FEBRUARY 24, 1993
(01/22/1997, 97C-26)

PRECISION SURVEYS, INC.

OFFICE LOCATION:
5571 Midway Park Place, NE
Albuquerque, NM 87109
MAILING ADDRESS:
PO Box 90636
Albuquerque, NM 87199
505.856.5700 PHONE
505.856.7900 FAX

INDEXING INFORMATION FOR COUNTY CLERK
OWNER PACIFIC PASEO DEVELOPMENT, L.L.C.
SECTION 13, TOWNSHIP 11 N, RANGE 3 E,
SUBDIVISION DEL NORTE PLAZA

PROJECT: 1006868
 DATE: 9/23/15
 APP: 15-10336 (ASPS)
 REVISION:



PROJECT NUMBER: 1006868
APPLICATION NUMBER: 01DRB-70389

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date
* Environmental Health, if necessary	

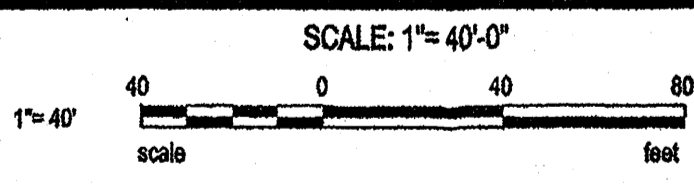
REMAINING PORTION LOT 26, BLOCK 35 NORTH ALBUQUERQUE ACRES
 (02/24/1936, P-130)
 A.C.S. MONUMENT "7-C19" STANDARD A.C.S. BRASS TABLE (FOUND IN PLACE)
 NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE-N.A.D. 1927)
 X=410,171.36
 Y=1,522,008.02
 EL=5483.76
 GROUND TO GRID FACTOR=0.999647055
 DELTA ALPHA ANGLE=NOT PUBLISHED

A.C.S. MONUMENT "HEAVEN" STANDARD A.C.S. BRASS TABLE (FOUND IN PLACE)
 NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE-N.A.D. 1927)
 X=407,053.31
 Y=1,516,737.03
 EL=5375.62
 GROUND TO GRID FACTOR=0.99965263
 DELTA ALPHA ANGLE=0°10'45"

- EXISTING "ACKNOWLEDGEMENT OF ACCESS CONTROL" (02/04/1994, BK 24-4, PGS. 7967-7974, DOC. NO. 94016447)
- LOCATION OF ACCESS CONTROL LINE PER NMSHC RIGHT OF WAY MAP FOR NM PROJECT NO. TRU-4034 (3), ON 2706, DATED FEBRUARY 24, 1993 (01/22/1997, 97C-26)



SITE PLAN FOR SUBDIVISION



PARKING DATA:

MCDONALD'S - H-C PRKING. REQD. 1 SPACE - PROVIDED 2 SPACES
 MOTORCYCLE PRKING. REQD. 1 SPACE - PROVIDED 1 SPACE
 BICYCLE SPACES REQD. 2 SPACES - PROVIDED 5 SPACES

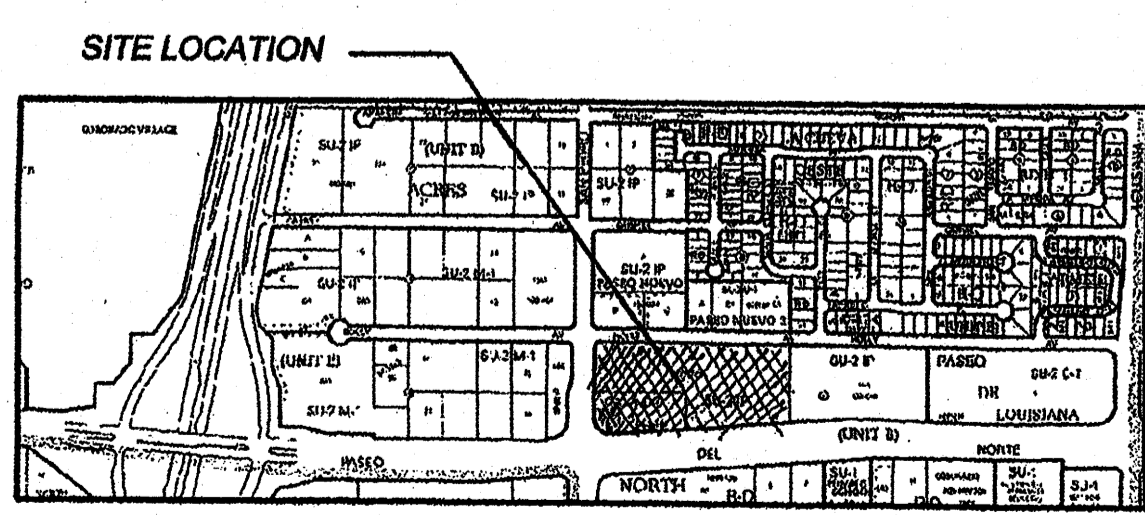
CHICK-FIL-A - H-C PRKING. REQD. 1 SPACE - PROVIDED 2 SPACES
 MOTORCYCLE PRKING. REQD. 1 SPACE - PROVIDED 1 SPACE
 BICYCLE SPACES REQD. 2 SPACES - PROVIDED 5 SPACES

SITE DATA	BUILDING AREA	PARKING REQD.	PARKING PROVIDED
PAD A	4,994 S.F.	25	46
PAD B	4,300 S.F.	22	47

SITE DATA TABLE

PROPOSED PARCEL	USE	ZONING	MAX.BLDG. HEIGHT	F.A.R.
PAD A	RESTAURANT	C-2	30 FEET	.013%
PAD B	RESTAURANT	C-2	30 FEET	.013%
PAD C	RETAIL	C-2	30 FEET	.02%
PAD D	RETAIL	C-2	30 FEET	.02%
PAD E	RETAIL	C-2	30 FEET	.05%
PAD F	RETAIL	C-2	30 FEET	.013%

NOTES:
 1. PEDESTRIAN CONNECTIONS SHALL BE PER THE OFF-STREET PARKING REQUIREMENTS OF THE ZONING CODE.



VICINITY MAP

SITE LEGEND:

EXISTING PROPERTY LINE	PROPOSED BIKE RACK
PROPOSED CURB	PROPOSED PARKING LOT LIGHTING
PROPOSED SIDEWALK	PROPOSED OUTDOOR SEATING EA. BENCH SEATS FOUR (4)
PROPOSED CROSSWALK	VEHICLE INGRESS/EGRESS
PROPOSED FIRE HYDRANT	

PROJECT NUMBER: 1006868
APPLICATION NUMBER: 01DRB-70389

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division	Date
11/28/07	
11/28/07	
11/28/07	
3/24/08	
11/27/07	
7/24/08	

DRB Chairperson, Planning Department
 * Environmental Health, if necessary

REV	DATE	BY	REVISION
1	9/15/15		30M SHIPIT LOT'S PROPERTY LINE 52.50' AG-14

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
 2325 SAN PEDRO N.E. SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

PRELIMINARY
 NOT FOR
 CONSTRUCTION

PROJECT TITLE: DEL NORTE PLAZA
 SAN PEDRO & PASEO DEL NORTE
 ALBUQUERQUE, NEW MEXICO

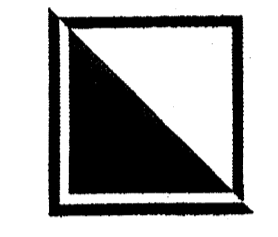
PROJECT MANAGER: JOSHUA W. WRS
DRAWN BY: WRS

DATE: 11.26.2007
SCALE: 1"=40'-0"
SHEET TITLE: SITE PLAN FOR SUBDIVISION
SHEET NO.: AS2
OF: 06

DRB SUBMITTAL

PROJECT: 1006868
 DATE: 9-23-15
 APP: 15-10386 (ASPS)
 REGULAR

REV	DATE	BY
1		
2		
3		
4		
5		



GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
 2325 SAN PEDRO N.E. SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

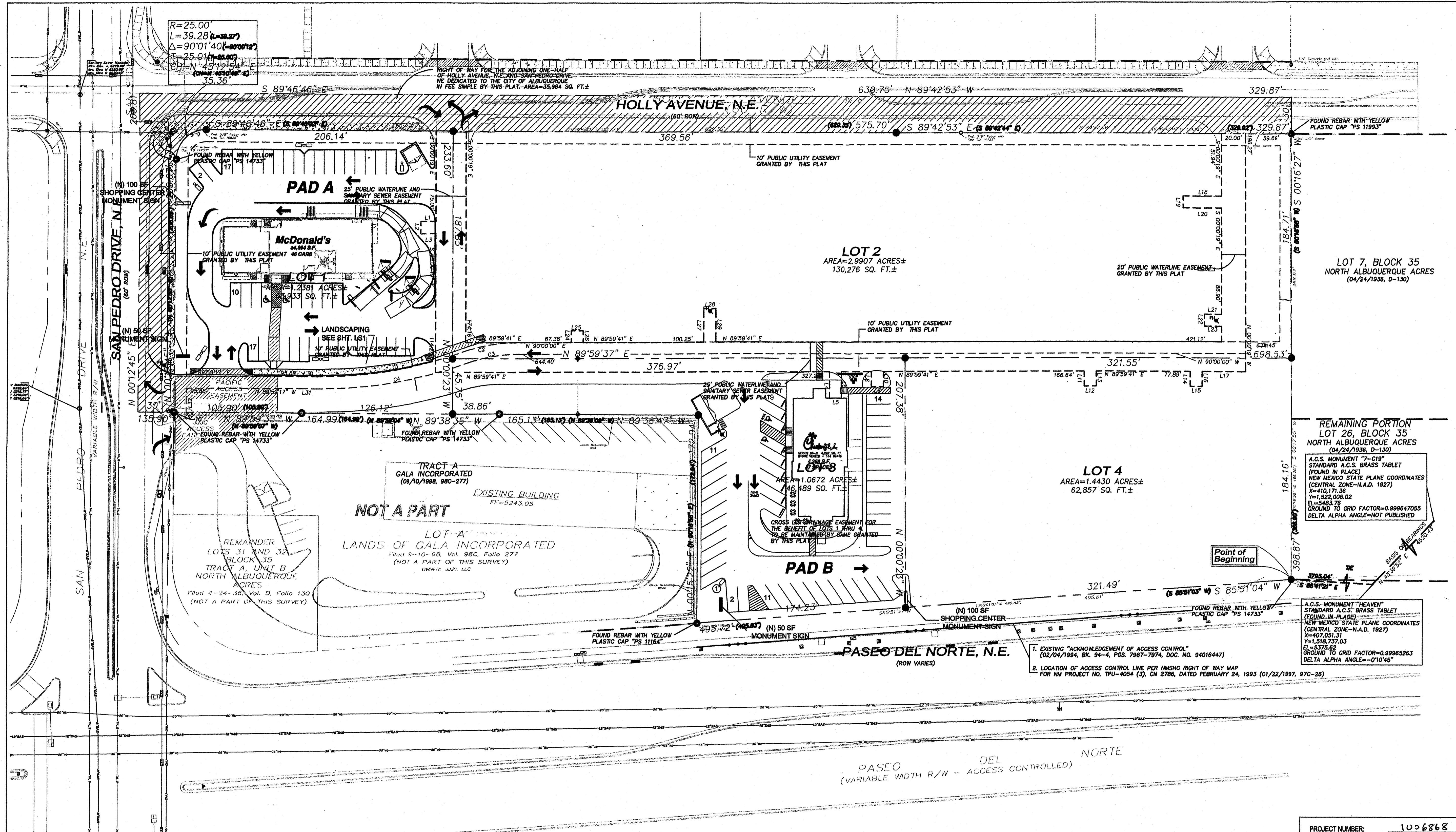
PRELIMINARY
 NOT FOR
 CONSTRUCTION

PROJECT TITLE: DEL NORTE PLAZA
 SAN PEDRO & PASEO DEL NORTE
 ALBUQUERQUE, NEW MEXICO

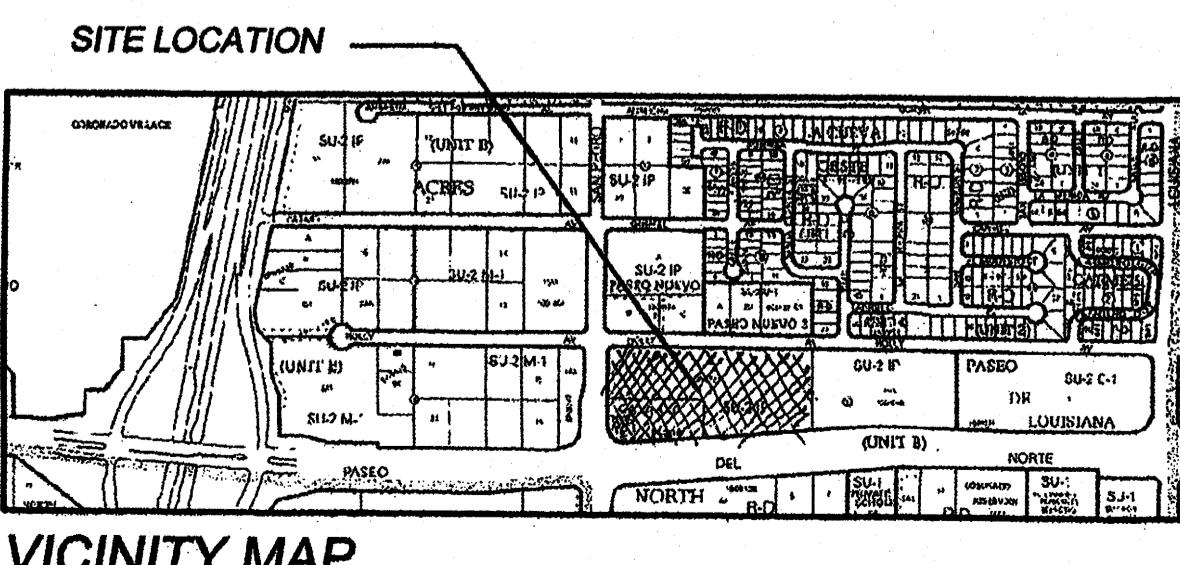
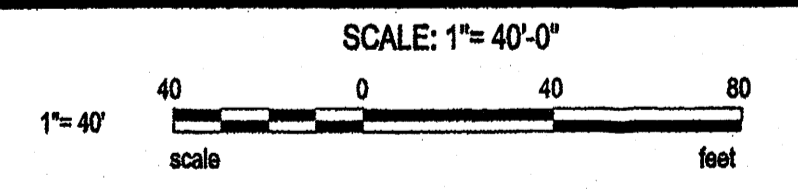
PROJECT MANAGER: [Signature]
 DRAWN BY: WRS
 JOB NO: 05384

SHEET TITLE: SITE PLAN FOR SUBDIVISION

DATE: 11.26.2007
 SCALE: 1"=40'-0"
 SHEET: AS2
 of



SITE PLAN FOR SUBDIVISION



SITE LEGEND:

EXISTING PROPERTY LINE	PROPOSED BIKE RACK
PROPOSED CURB	PROPOSED PARKING LOT LIGHTING
PROPOSED SIDEWALK	PROPOSED OUTDOOR SEATING EA. BENCH SEATS FOUR (4)
PROPOSED CROSSWALK	VEHICLE INGRESS/EGRESS
PROPOSED FIRE HYDRANT	

PARKING DATA:

McDONALD'S - H.C. PRKING. REQD. 1 SPACE - PROVIDED 2 SPACES
 MOTORCYCLE PRKING. REQD. 1 SPACE - PROVIDED 1 SPACE
 BICYCLE SPACES REQD. 2 SPACES - PROVIDED 5 SPACES

CHICK-FIL-A - H.C. PRKING. REQD. 1 SPACE - PROVIDED 2 SPACES
 MOTORCYCLE PRKING. REQD. 1 SPACE - PROVIDED 1 SPACE
 BICYCLE SPACES REQD. 2 SPACES - PROVIDED 5 SPACES

SITE DATA	BUILDING AREA	PARKING REQD.	PARKING PROVIDED
PAD A	4,984 S.F.	25	46
PAD B	4,360 S.F.	22	47

SITE DATA TABLE

PROPOSED PARCEL	USE	ZONING	MAX. BLDG. HEIGHT	F.A.R.
PAD A	RESTAURANT	C-2	30 FEET	.013%
PAD B	RESTAURANT	C-2	30 FEET	.013%
PAD C	RETAIL	C-2	30 FEET	.02%
PAD D	RETAIL	C-2	30 FEET	.02%
PAD E	RETAIL	C-2	30 FEET	.05%
PAD F	RETAIL	C-2	30 FEET	.013%

NOTES:

- PEDESTRIAN CONNECTIONS SHALL BE PER THE OFF-STREET PARKING REQUIREMENTS OF THE ZONING CODE.

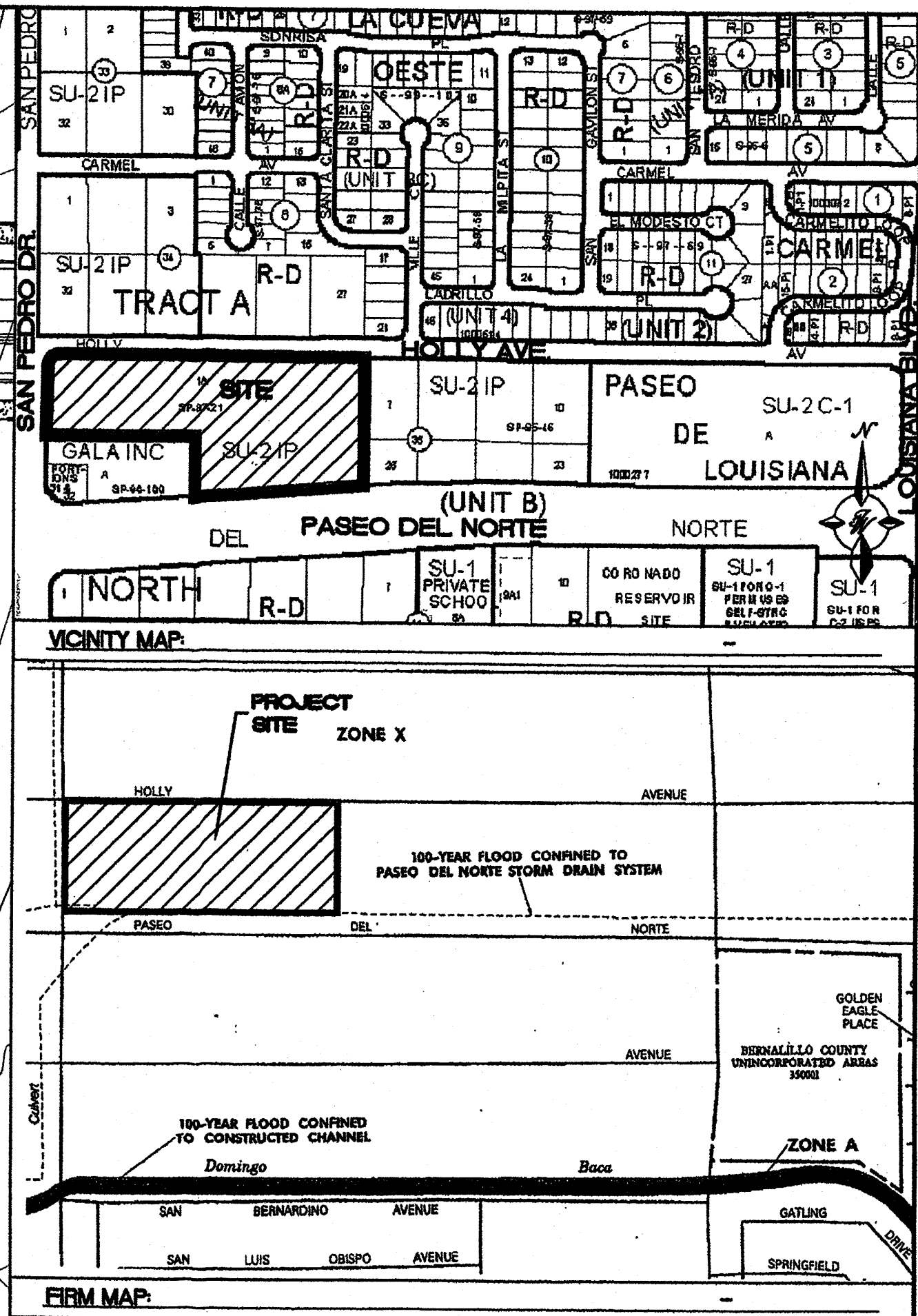
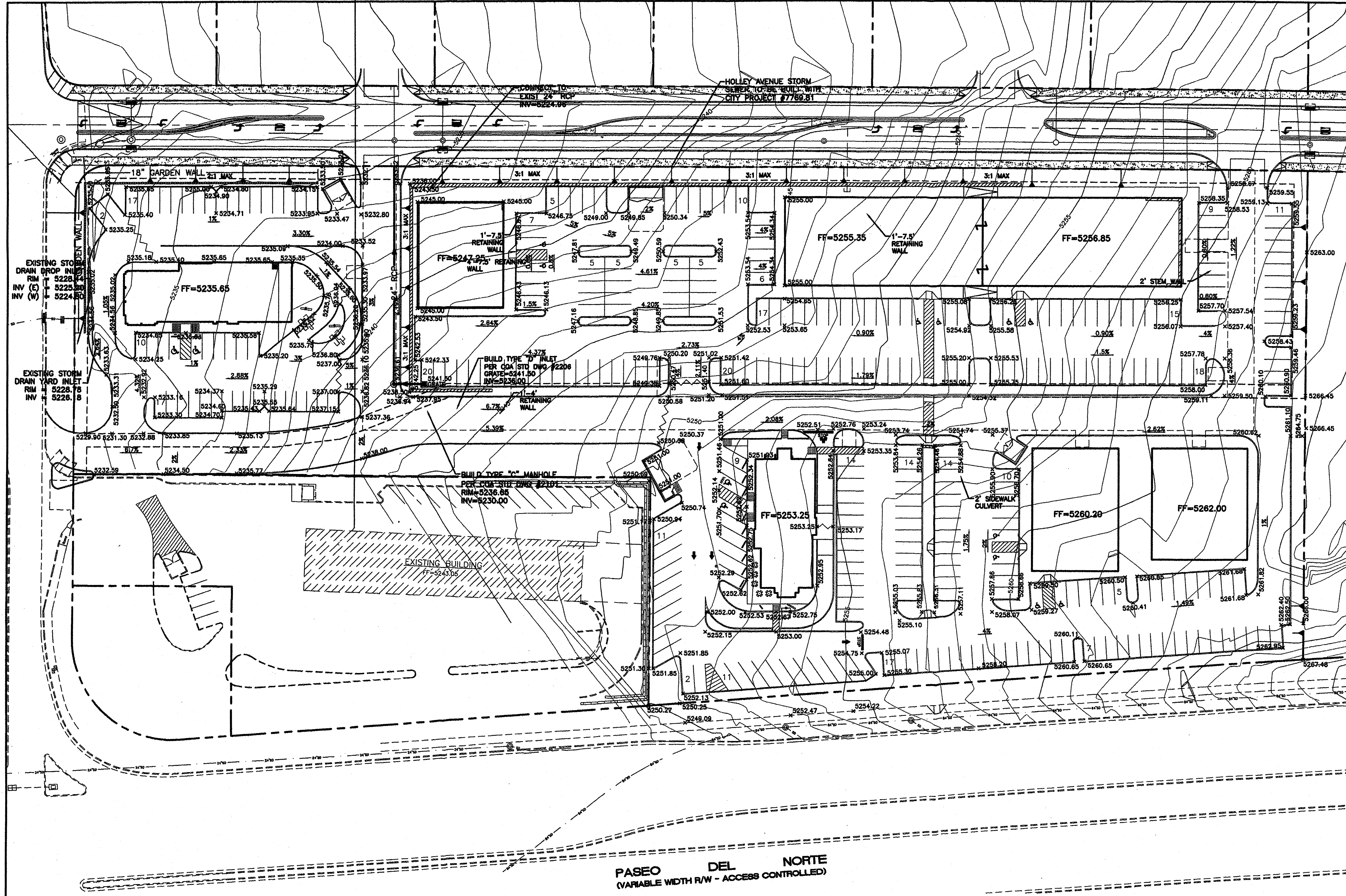
PROJECT NUMBER: 1006868
 APPLICATION NUMBER: 07022-70359

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

Traffic Engineering, Transportation Division [Signature]	11-28-07 Date
ABCHWA [Signature]	11-28-07 Date
Parks and Recreation Department [Signature]	11/27/07 Date
City Engineer [Signature]	3/24/08 Date
Environmental Health Department [Signature]	Date
Solid Waste Management [Signature]	11/27/07 Date
DRB Chairperson, Planning Department [Signature]	3/24/08 Date

* Environmental Health, if necessary

DRB SUBMITTAL



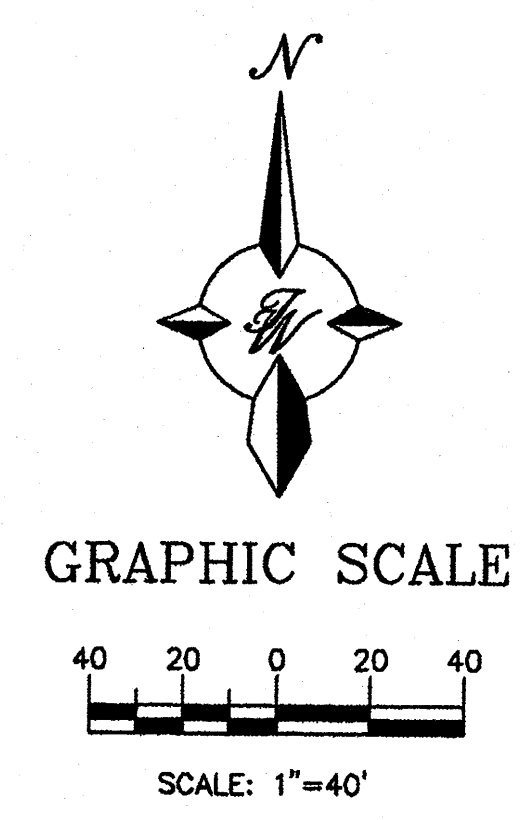
LEGEND

	PROPOSED CURB & GUTTER
	BOUNDARY LINE
	PROPOSED SIDEWALK
	PROPOSED RETAINING WALL
	FLOW ARROW
	SLOPE TIE
	PROPOSED SPOT ELEVATION
	PROPOSED STORM SEWER LINE
	PROPOSED STORM SEWER MANHOLE
	PROPOSED SNGL. "D" INLET
	DIRECTION OF FLOW
	CENTERLINE
	EXISTING CURB & GUTTER
	EXISTING SIDEWALK
	EASEMENT
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	EXISTING SPOT ELEVATION
	EXISTING STORM SEWER MANHOLE
	EXISTING STORM SEWER INLET
	EXISTING STORM SEWER LINE
	GRADE BREAK LOCATIONS

- EROSION CONTROL PLAN, NPDES PERMIT AND POLLUTION PREVENTION NOTES**
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 - CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
 - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
 - REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 - ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
 - ALL SITES OVER 1 ACRE DISTURBANCE REQUIRE FEDERAL NPDES PERMIT.

- NOTICE TO CONTRACTORS**
- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
 - ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
 - TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 - BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
 - MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
 - WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		



ROUGH GRADING APPROVAL _____ DATE _____

REV	DATE	BY	REVISION

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
 2325 SAN PEDRO N.E. SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE
DEL NORTE PLAZA
 SAN PEDRO & PASEO DEL NORTE
 ALBUQUERQUE, NEW MEXICO

JOB NO.
 24065

PROJECT MANAGER
 JIN

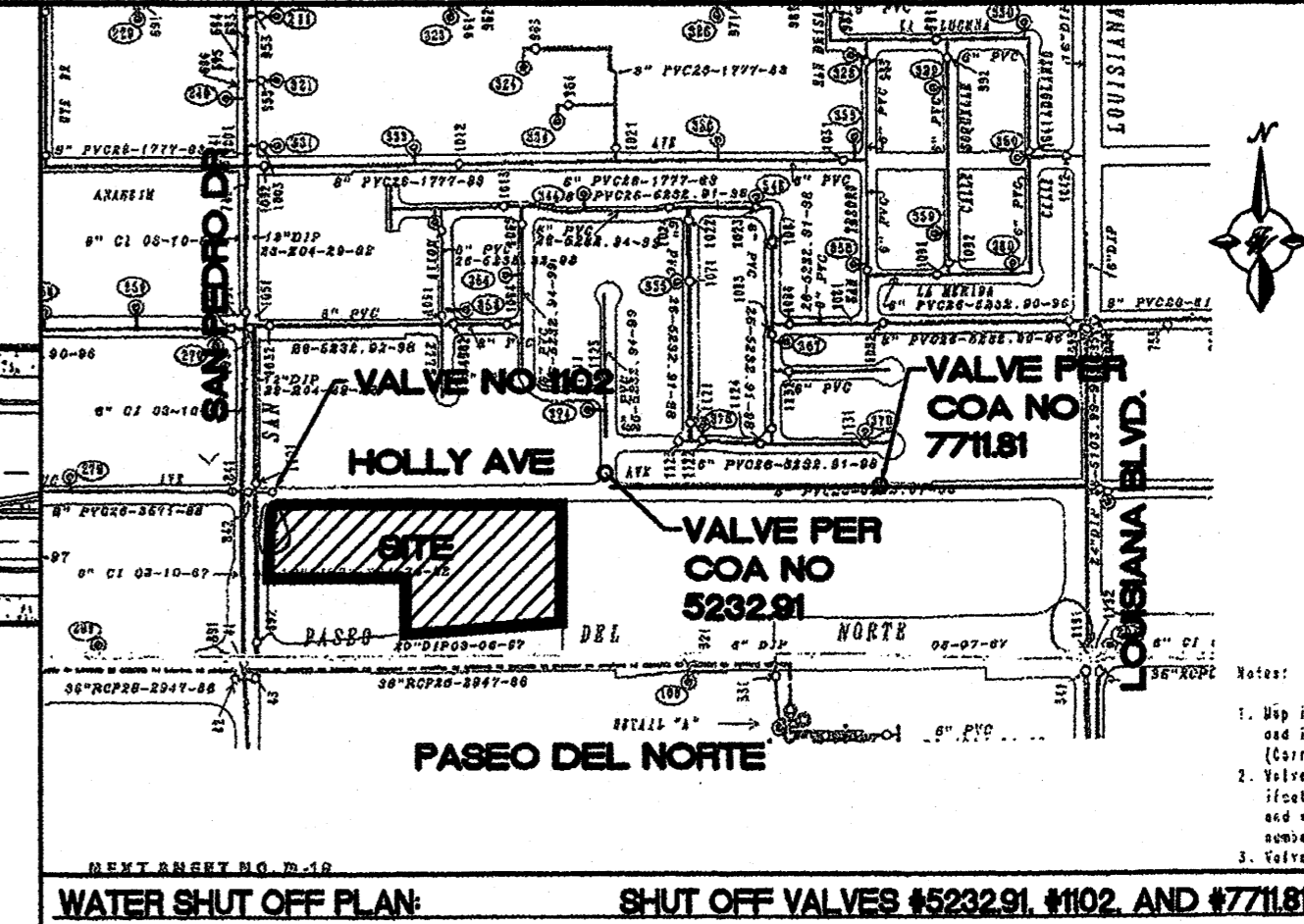
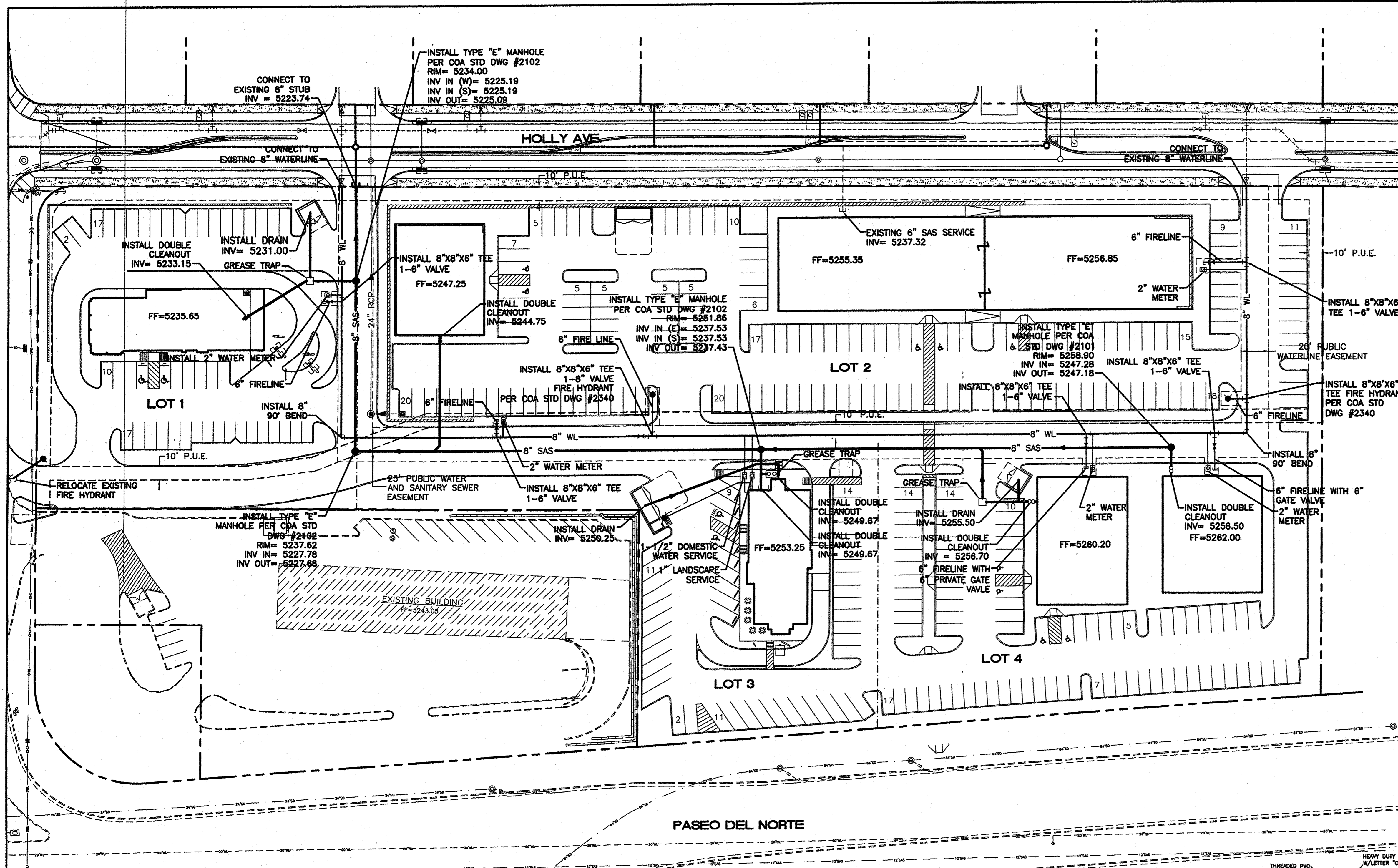
DRAWN BY
 ET

SHEET TITLE
GRADING AND DRAINAGE PLAN

DATE:
 11.13.2007

SCALE:
 1"=40'-0"

sheet-
C1
 of



WATER SHUT OFF PLAN: SHUT OFF VALVES #5232.91, #102, AND #77181

WATER SHUT OFF PLAN NOTES:

- ONLY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
- NOTIFY CITY OF ALBUQUERQUE, WATER SYSTEMS DIVISION (PHONE 857-8200) SEVEN (7) WORKING DAYS IN ADVANCE OF NEEDING EXECUTION OF THE WATER SHUT OFF PLAN.
- APPROXIMATE SHUT OFF TIME WILL BE 24 HOURS.
- SHUT OFF THE VALVES INDICATED IN THE ABOVE PLAN. TO BE DONE ONLY IN THE EVENT OF EMERGENCY. CONNECTION TO EXISTING WATER LINE TO BE PRESSURIZED.

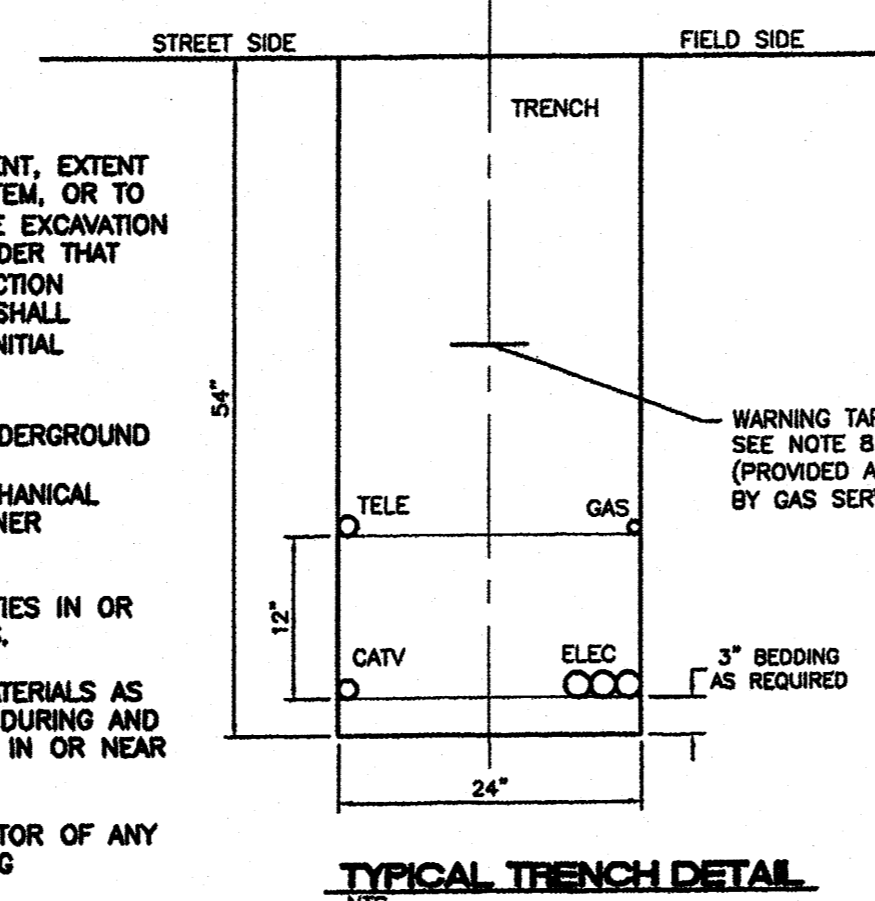
LEGEND

○	EXISTING SAS MANHOLE
○	EXISTING SANITARY SEWER LINE
○	PROPOSED SAS MANHOLE
○	PROPOSED SAS CLEANOUT
→	DIRECTION OF FLOW
—	PROPOSED SANITARY SEWER LINE
—	SANITARY SEWER SERVICE LINE
○	EXISTING METER
○	EXISTING VALVE W/BOX
○	EXISTING FIRE HYDRANT
○	EXISTING WATER LINE
○	PROPOSED METER
○	PROPOSED VALVE W/BOX
○	PROPOSED FIRE HYDRANT
—	PROPOSED WATER LINE
—	EXISTING CURB & GUTTER
—	PROPOSED CURB
—	BOUNDARY LINE
—	PROPOSED LOT LINE
—	EASEMENT
—	CENTERLINE
☼	PROPOSED PARKING LOT LIGHTING

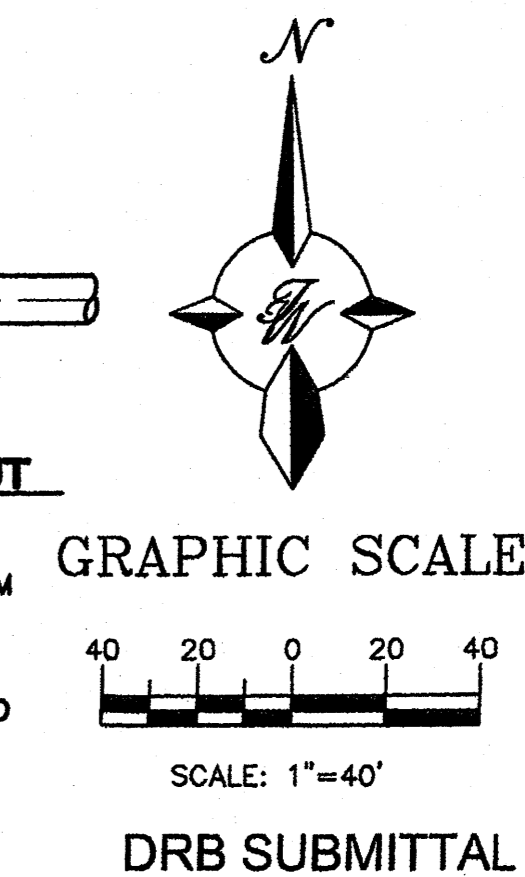
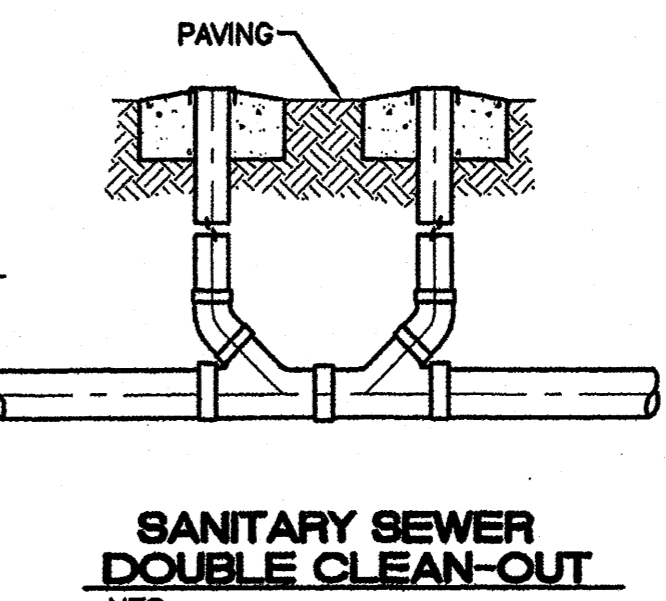
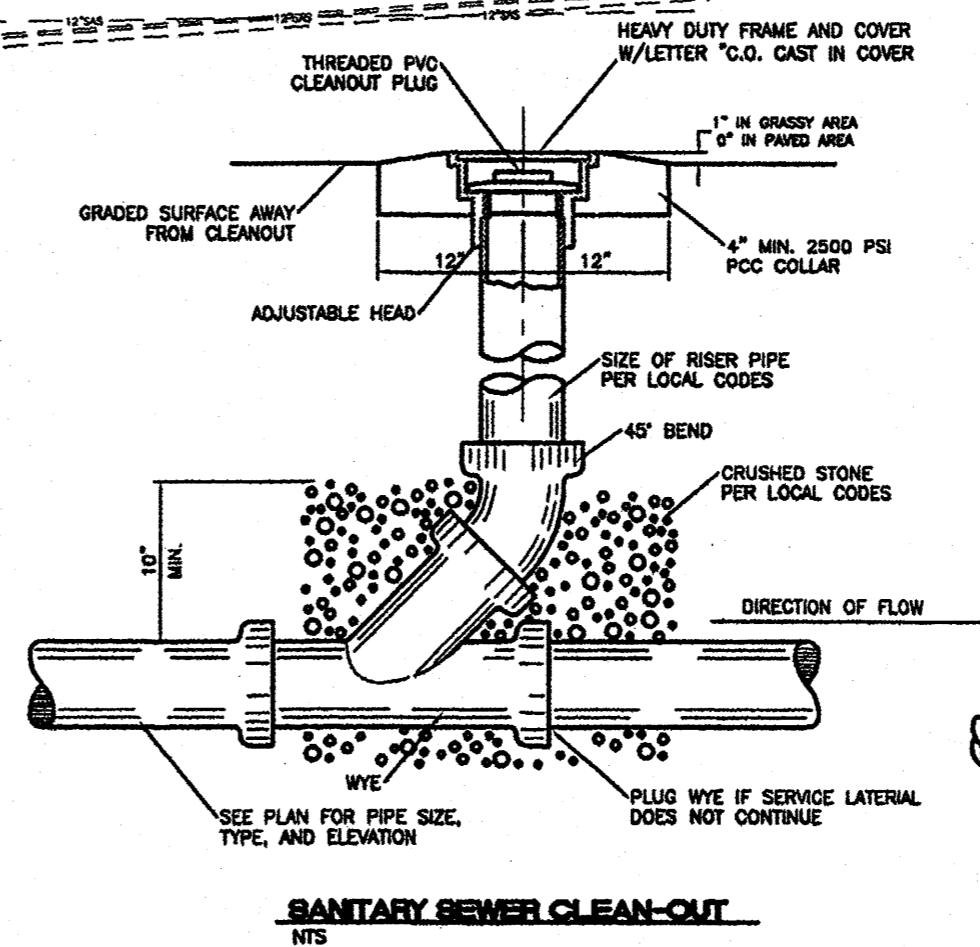
- GENERAL NOTES:**
- ALL 8" SANITARY SEWER PIPE TO BE SDR-35.
 - ALL 6" AND 8" WATERLINE PIPE TO BE C-900.
 - ALL SANITARY SEWER SERVICE PIPE TO BE 4" PVC.
 - ALL WATERLINE SERVICE PIPE TO MATCH DESIGNATED METER SIZE AND BE OF PVC MATERIAL.
 - 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
 - REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
 - CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
 - ALL BLOCKING IS PER CITY OF ALBUQUERQUE STANDARD DWG. 2320.
 - ALL PIPE MATERIAL TO BE USED PER UPC.

NOTICE TO CONTRACTORS

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
- CONTRACTOR IS RESPONSIBLE TO PROVIDE UTILITY STUBS 5' FROM BUILDING
- CONTRACTOR SHALL DETERMINE LOCATION OF ANY UNDERGROUND FACILITY IN OR NEAR WORK AREAS, INCLUDING REQUESTS TO OWNERS/OPERATORS OF SAID FACILITIES PER SECTION 62-14-5 NMSA 1978.
- CONTRACTOR SHALL PLAN ALL EXCAVATION TO MINIMIZE INTERFERENCE OF DAMAGE OF UNDERGROUND FACILITIES.
- CONTRACTOR SHALL PROVIDE ADVANCE TELEPHONE NOTICE OF COMMENCEMENT, EXTENT AND DURATION OF ALL EXCAVATION WORK TO THE ONE-CALL NOTIFICATION SYSTEM, OR TO OWNERS/OPERATORS OF ANY EXISTING UNDERGROUND FACILITY IN OR NEAR THE EXCAVATION AREA THAT ARE NOT MEMBERS OF THE ONE-CALL NOTIFICATION CENTER; IN ORDER THAT OWNERS/OPERATORS MAY LOCATE AND MARK UNDERGROUND FACILITIES PER SECTION 62-14-5 NMSA 1978 PRIOR TO ANY COMMENCEMENT OF WORK. CONTRACTOR SHALL REQUEST REAFFIRMATION OF LOCATING EVERY TEN (10) WORKING DAYS AFTER INITIAL REQUEST.
- CONTRACTOR SHALL MAINTAIN EIGHTEEN (18) INCHES BETWEEN EXISTING UNDERGROUND FACILITIES FOR WHICH HAVE BEEN PREVIOUSLY IDENTIFIED AND MARKED BY THE OWNERS/OPERATORS OF SAID FACILITIES. CUTTING EDGE OR POINT OF ANY MECHANICAL EXCAVATING EQUIPMENT UTILIZED IN EXCAVATION AREA WILL BE USED IN A MANNER NECESSARY TO PREVENT DAMAGE TO EXISTING UNDERGROUND FACILITIES.
- CONTRACTOR SHALL PROVIDE SUPPORT FOR EXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA AS NECESSARY TO PREVENT DAMAGE TO SAID FACILITIES.
- CONTRACTOR SHALL BACKFILL ALL EXCAVATIONS IN A MANNED AND WITH MATERIALS AS MAY BE NECESSARY TO PREVENT DAMAGE TO AND PROVIDE RELIABLE SUPPORT DURING AND FOLLOWING BACK FILLING ACTIVITIES FOR PREEXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA.
- CONTRACTOR SHALL IMMEDIATELY NOTIFY BY TELEPHONE THE OWNER/OPERATOR OF ANY UNDERGROUND FACILITY WHICH MAY HAVE BEEN DAMAGED OR DISLODGED DURING EXCAVATION WORK.
- CONTRACTOR SHALL NOT MOVE OR OBLITERATE MARKINGS MADE PURSUANT TO CHAPTER 62, ARTICLE 14 NMSA 1978, OR FABRICATE MARKINGS IN AN UNMARKED LOCATION FOR THE PURPOSE OF CONCEALING OR AVOIDING LIABILITY FOR VIOLATION OF OR NONCOMPLIANCE WITH THE PROVISIONS OF CHAPTER 62, ARTICLE 11 NMSA 1978.



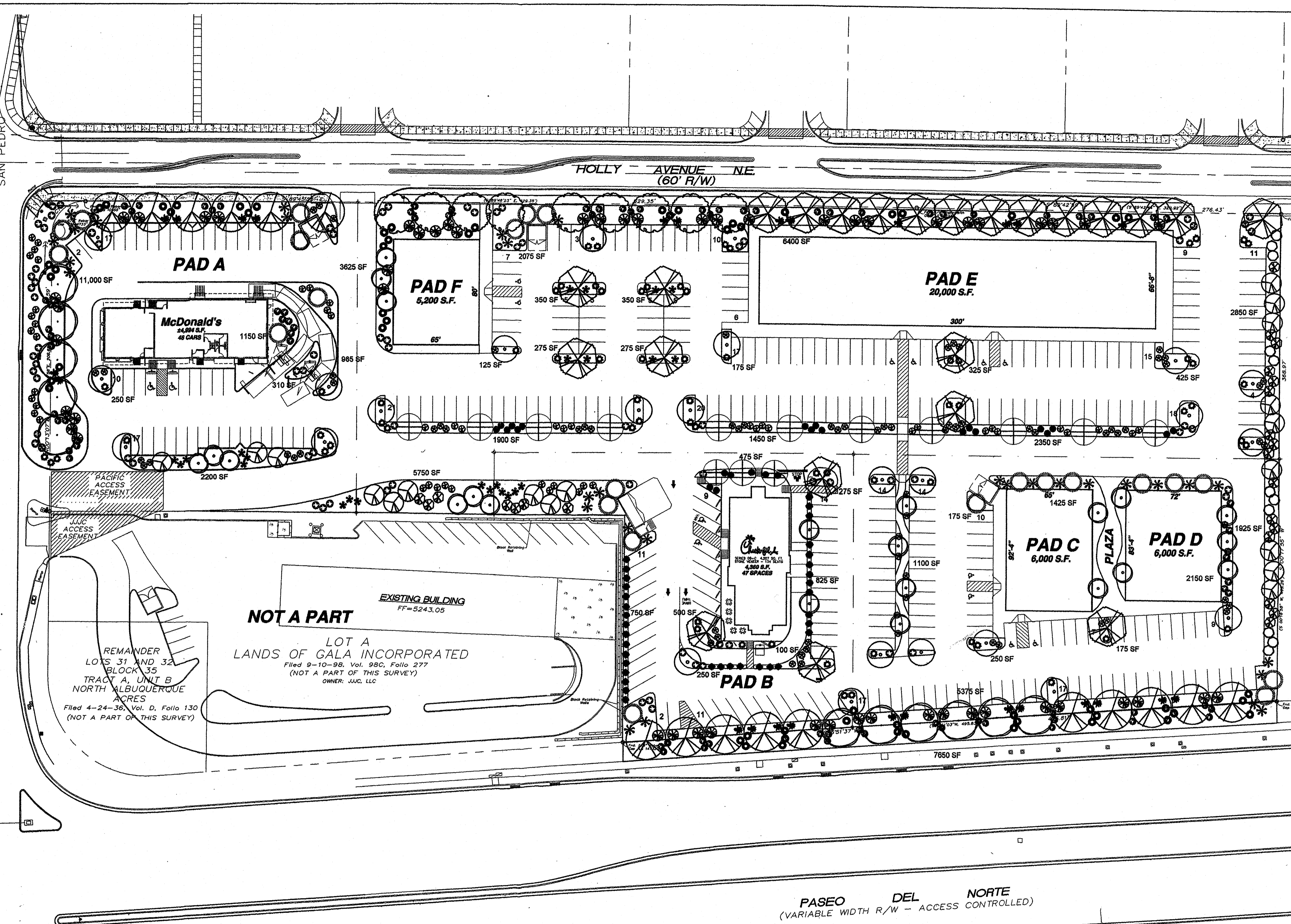
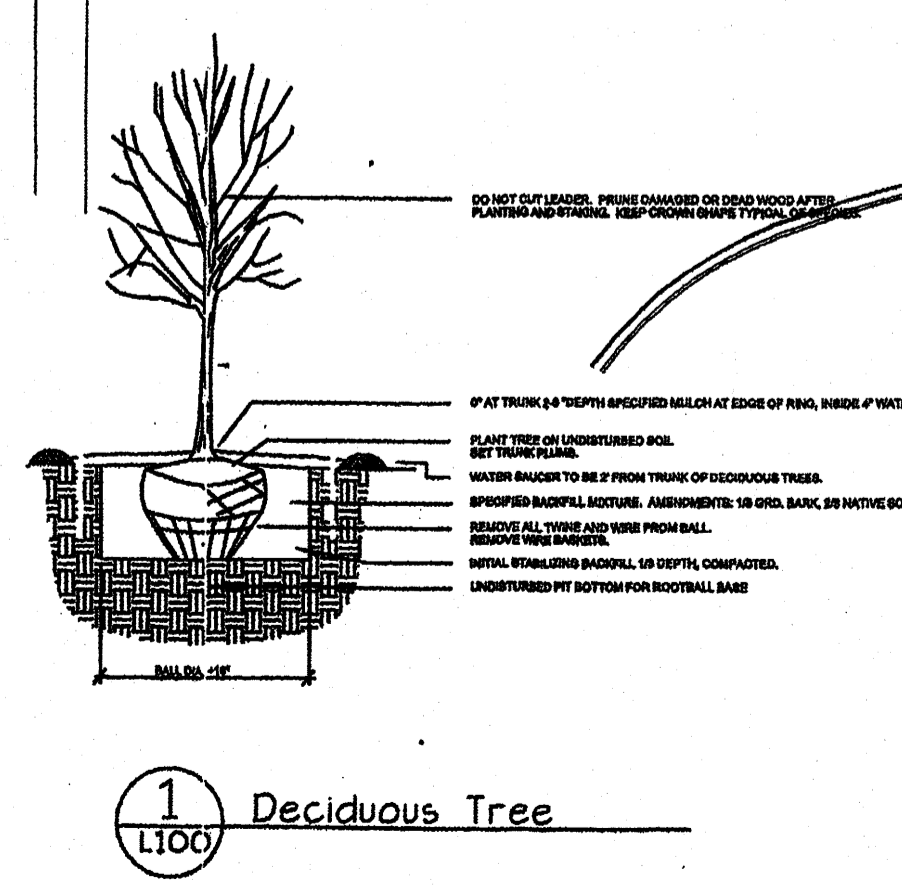
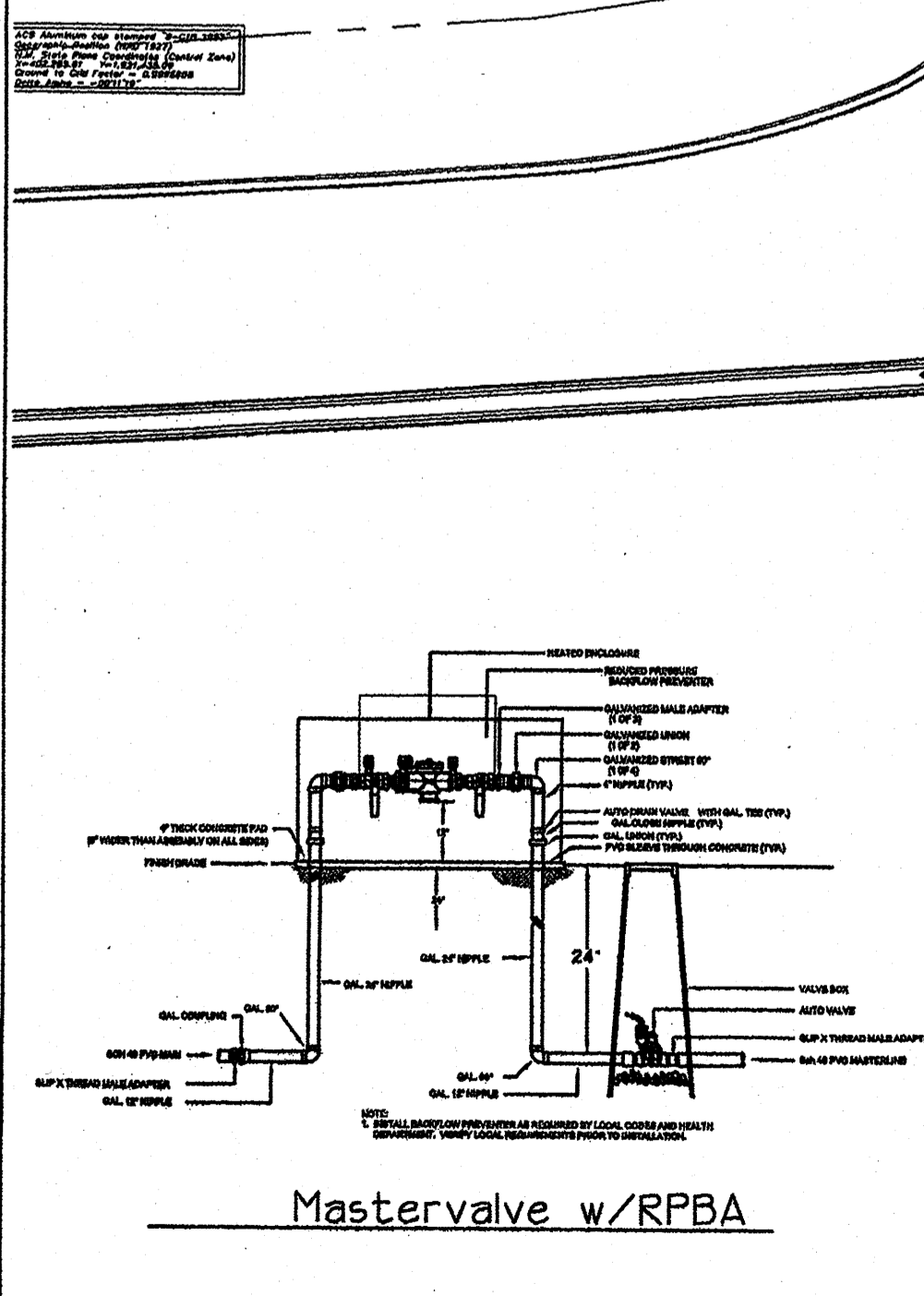
- GENERAL NOTES:**
- COMPACTION IN CITY OR STATE RIGHT-OF-WAYS SHALL MEET OR EXCEED MINIMUM SPECIFIED REQUIREMENTS. SHADING AND BEDDING MATERIAL TO BE TYPE IV, CLASS 1 FOR DIRECT BURIED CABLE AND TYPE IV, CLASS 2 FOR CABLE IN CONDUIT. TYPE III MATERIAL IS SUITABLE FOR EITHER TYPE OF INSTALLATION. REFER TO DS-10-12.4 FOR FILL MATERIAL REQUIREMENTS.
 - IF TRENCH-RUN MATERIAL MEETS BACK FILL MATERIAL REQUIREMENTS TYPE REQUIREMENTS, 3" BEDDING MAY BE OMITTED PROVIDED THE TRENCH BOTTOM IS SMOOTH, FLAT AND WITHOUT SURFACE IRREGULARITIES.
 - SEPARATION BETWEEN JACKETED PRIMARY AND COMMUNICATION CABLE SHALL BE AT LEAST 12".
 - SPOIL PILE SHALL BE PLACED ON THE FIELD SIDE A MINIMUM OF 2' FROM TRENCH EDGE.
 - WATER LINES SHALL MAINTAIN 12" MINIMUM HORIZONTAL SEPARATION FROM OTHER UTILITIES AND MAY BE INSTALLED EITHER ABOVE OR BELOW OTHER UTILITIES DEPENDING ON FREEZE DEPTH.
 - LATEST OSHA TRENCH SAFETY REQUIREMENTS SHALL BE STRICTLY OBSERVED.
 - WARNING TAPE SHALL BE PLACED A MINIMUM OF 12" ABOVE THE UPPER LEVEL OF UTILITIES AT THE CENTER OF TRENCH.



REVISION	DATE	BY	REV
<p>GEORGE RAINHART ARCHITECT AND ASSOCIATES PC 2325 SAN PEDRO N.E., SUITE 2-B ALBUQUERQUE, NEW MEXICO 87110 PHONE (505) 884-9110 FAX (505) 837-9877</p>			
<p>PRELIMINARY NOT FOR CONSTRUCTION</p>			
PROJECT TITLE	JOB NO.	DRAWN BY:	SHEET TITLE
DEL NORTE PLAZA SAN PEDRO & PASEO DEL NORTE ALBUQUERQUE, NEW MEXICO	24065	ET	MASTER UTILITY PLAN
DATE:	11.13.2007	SHEET:	C2
SCALE:	1"=40'-0"	DRB SUBMITTAL	of

PLANT LEGEND

Qty.	Symbol	Scientific Name Common Name	Size	Water Use
Trees				
18	(Symbol)	Chilopsis linearis Desert Willow	15-Gal	Low +
14	(Symbol)	Crataegus phaenopynum Washington Hawthorn	2" B&B	Medium+
22	(Symbol)	Forestiera neomexicana New Mexico Olive	15-Gal	Medium
16	(Symbol)	Fraxinus velutina 'Modesto' Modesto Ash	2" B&B	Medium +
11	(Symbol)	Gleditsia triacanthos Honeylocust	2" B&B	Medium
24	(Symbol)	Pinus nigra Austrian Pine	5'-6"	Medium
9	(Symbol)	Pistacia chinensis Chinese Pistache	2" B&B	Medium +
25	(Symbol)	Pyrus calleryana Flowering Pear	15-Gal	Medium +
23	(Symbol)	Quercus buckleyi Texas Red Oak	2" B&B	Medium
Shrubs/Groundcovers				
11	(Symbol)	Buddleia davidii Butterfly Bush	5-Gal	Medium
67	(Symbol)	Caryopteris clandonensis Blue Mist	1-Gal	Medium
23	(Symbol)	Elaeagnus Silverberry	5-Gal	Low +
53	(Symbol)	Cotoneaster parneyi Clusterberry	5-Gal	Medium
73	(Symbol)	Ericameria laurifolia 'Aguirre' Turpentine Bush	5-Gal	Low+
24	(Symbol)	Hesperaloe parviflora Red Yucca	5-Gal	Low+
68	(Symbol)	Baccharis Dwarf Coyotebush	5-Gal	Low +
15	(Symbol)	Potentilla fruticosa Shrubby Cinquefoil	5-Gal	Medium+
52	(Symbol)	Prunus besseyi Western Sand Cherry	5-Gal	Medium
78	(Symbol)	Rhus Gro Low Sumac	5-Gal	Low+
26	(Symbol)	Rosmarinus officinalis Rosemary	5-Gal	Low +
32	(Symbol)	Cornus Red Twig Dogwood	5-Gal	Low +
Ornamental Grasses				
35	(Symbol)	Calamagrostis acutiflora Karl Foerster Grass	5-Gal	Medium
58	(Symbol)	Miscanthus sinensis 'Gracillimus' Maiden Grass	5-Gal	Medium
25	(Symbol)	Muhlenbergia capillaris 'Regal Mist' Regal Mist	1-Gal	Medium



OVERALL LANDSCAPE PLAN

SCALE: 1"= 40'-0"

1"= 40' scale

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PRELIMINARY
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CONSTRUCTION

PROJECT TITLE
DEL NORTE PLAZA
SAN PEDRO & PASEO DEL NORTE
ALBUQUERQUE, NEW MEXICO

DRAWN BY:
WRS

JOB NO.
0386A

PROJECT MANAGER

SHEET TITLE
OVERALL LANDSCAPE PLAN

DATE:
11.13.2007

SCALE:
1"=40'-0"

sheet:
LS1

of

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