

HOLLY SHOPPING CENTER

SITE PLAN FOR BUILDING PERMIT

INDEX OF DRAWINGS

| | |
|--------|-------------------------|
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GENERAL NOTES

- PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
- PROVIDE EXPANSION JOINTS IN CONCRETE WALK @ 40' O.C. AND WHERE CONCRETE ABUTS THE BUILDING.
- PREMISE IDENTIFICATION SHALL BE MINIMUM 10" INCHES HIGH AND SHALL CONTRAST WITH THEIR BACKGROUND AND SHALL BE VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. EACH BUILDING TO HAVE INDIVIDUAL PREMISE I.D.
- G.C. TO PROVIDE FIRE EXTINGUISHERS 2A-10-BC, 1 PER EACH 3,000 S.F., REF. FLOOR PLANS FOR QUANTITY AND LOCATIONS.

KEYED NOTES

- CONSTRUCT 6" CONCRETE CURB AND GUTTER. SEE DETAIL 06/C-2
- ASPHALT PAVEMENT ON BASE COURSE. SEE DETAIL 05/C-2
- 2'-0" RADIUS
- CONSTRUCT CONCRETE SIDEWALK
- 4" WIDE WHITE PARKING STRIPE AS SHOWN, PER LOCAL CITY CODE AND STANDARDS
- 6'-0" WIDE MINIMUM HANDICAP ACCESSIBLE AISLE STRIPPING PER LOCAL CITY CODE AND STANDARDS
- INTERNATIONAL SYMBOL OF ACCESSIBILITY, CENTER IN PARKING SPACE
- ASPHALT PAVING & H.C. ACCESSIBLE AISLE TO BE FLUSH WITH CONCRETE SIDEWALK AT ALL LOCATIONS, SEE DETAIL 5/C-2
- INSTALL CONCRETE WHEEL STOP
- INSTALL HANDICAP PARKING SIGNAGE AT ALL HANDICAP SPACES. DETAIL 2/C-1
- DUMPSTER ENCLOSURE. REF. DETAIL 08/C-2
- FIRE HYDRANT
- EXISTING SITE LIGHT WITH CONCRETE BASE. REF. ELECTRICAL FOR DETAILS
- C.M.U. RETAINING WALL. SEE CIVIL FOR DETAIL
- CLEAR SIGHT TRIANGLE: LANDSCAPING, FENCING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3' AND 8' FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE
- EXISTING SIGHT LIGHTING TO BE RELOCATED TO THIS LOCATION
- 6X7' TRANSFORMER CONCRETE PAD. BUILD PER PNM DRAWING

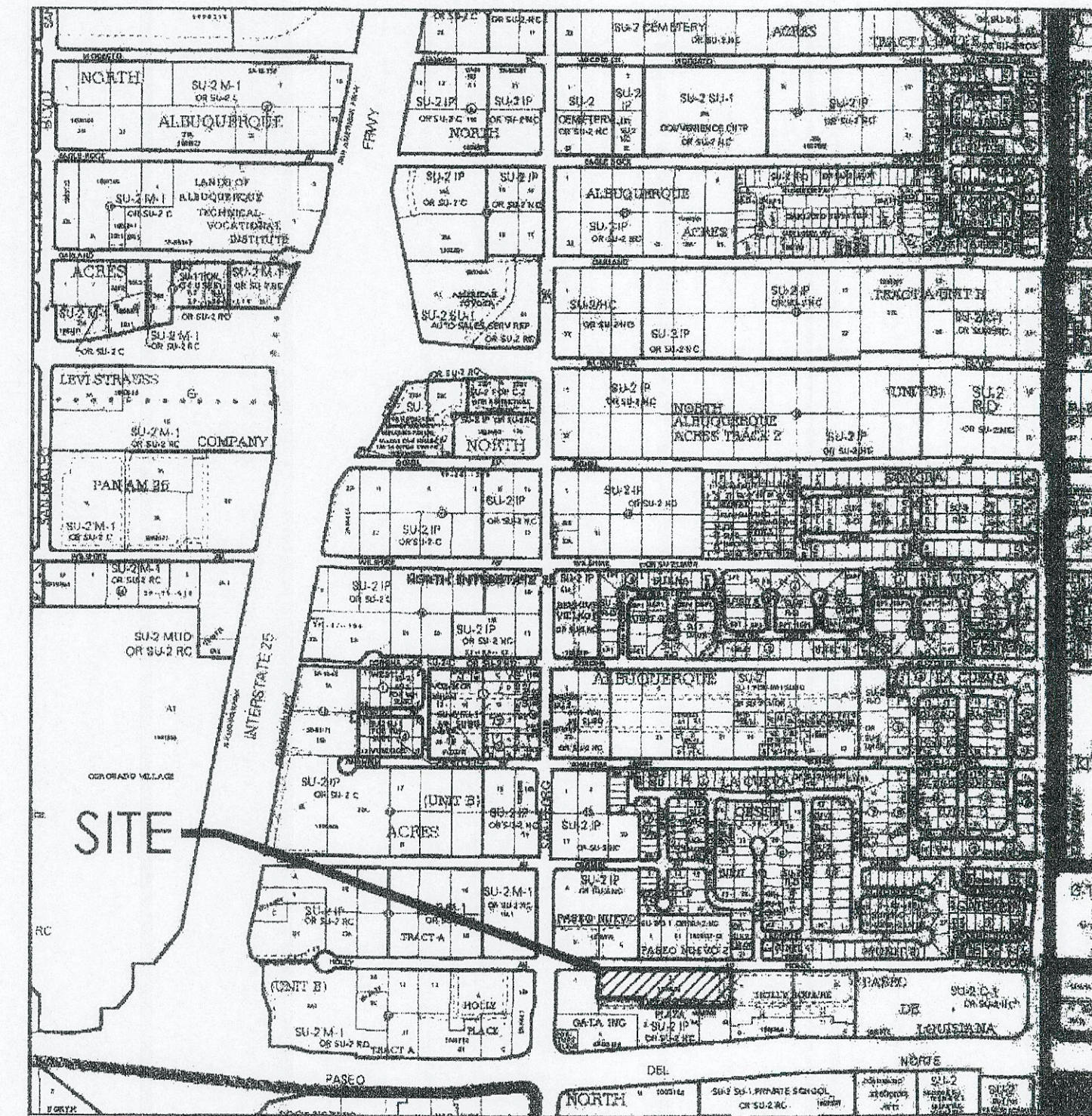
DESIGN CRITERIA

- BUILDING CONSTRUCTION TYPE: 2-B NON-COMBUSTIBLE
- MAXIMUM BUILDING SIZE: 9,000 SQ. FT.
- FIRE SEPARATION: 2-HOUR SEPARATION WALLS BETWEEN SPACES
- MAXIMUM BUILDING HT: 24'-0" (NOT TO EXCEED 30'-0")

PARKING REQUIREMENTS:

| | |
|-------------------------------|---|
| REQUIRED PARKING | 37 PARKING SPACES |
| BUILDING ONE: | 44 PARKING SPACES |
| BUILDING TWO: | 46 PARKING SPACES |
| BUILDING THREE: | 144 PARKING SPACES |
| TOTAL PARKING REQUIRED: | 144 PARKING SPACES |
| TOTAL PARKING PROVIDED: | 146 SPACES PROVIDED (INCLUDING 8 HC SPACES) |
| HANDICAPPED SPACES REQUIRED = | 8 HANDICAPPED SPACES INCLUDING (2) VAN ACCESSIBLE |
| HANDICAPPED SPACES PROVIDED = | 8 TOTAL (2 VAN ACCESSIBLE) |
| MOTORCYCLE SPACES REQUIRED = | 4 TOTAL |
| MOTORCYCLE SPACES PROVIDED = | 4 TOTAL |

H.C. ACCESSIBLE SIGN DETAIL



PROJECT NUMBER: 1006868
APPLICATION NUMBER:

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) DATED _____ AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

| | |
|--|----------|
| <i>Reginal M. ...</i> | 4/2/17 |
| TRAFFIC ENGINEERING, TRANSPORTATION DIVISION | DATE |
| <i>Thaddeus ...</i> | 05-22-17 |
| ABCWUA | DATE |
| <i>Chandorel ...</i> | 4/12/17 |
| PARKS AND RECREATION DEPARTMENT | DATE |
| <i>Renee ...</i> | 4/12/17 |
| CITE ENGINEER | DATE |
| <i>MA</i> | 5-22-17 |
| ENVIRONMENTAL HEALTH DEPARTMENT | DATE |
| <i>MA</i> | 5-22-17 |
| SOLID WASTE MANAGEMENT | DATE |
| <i>MA</i> | 5-22-17 |
| DRB CHAIRPERSON, PLANNING DEPARTMENT | DATE |

DRB ADMINISTRATIVE SITE PLAN AMENDMENT

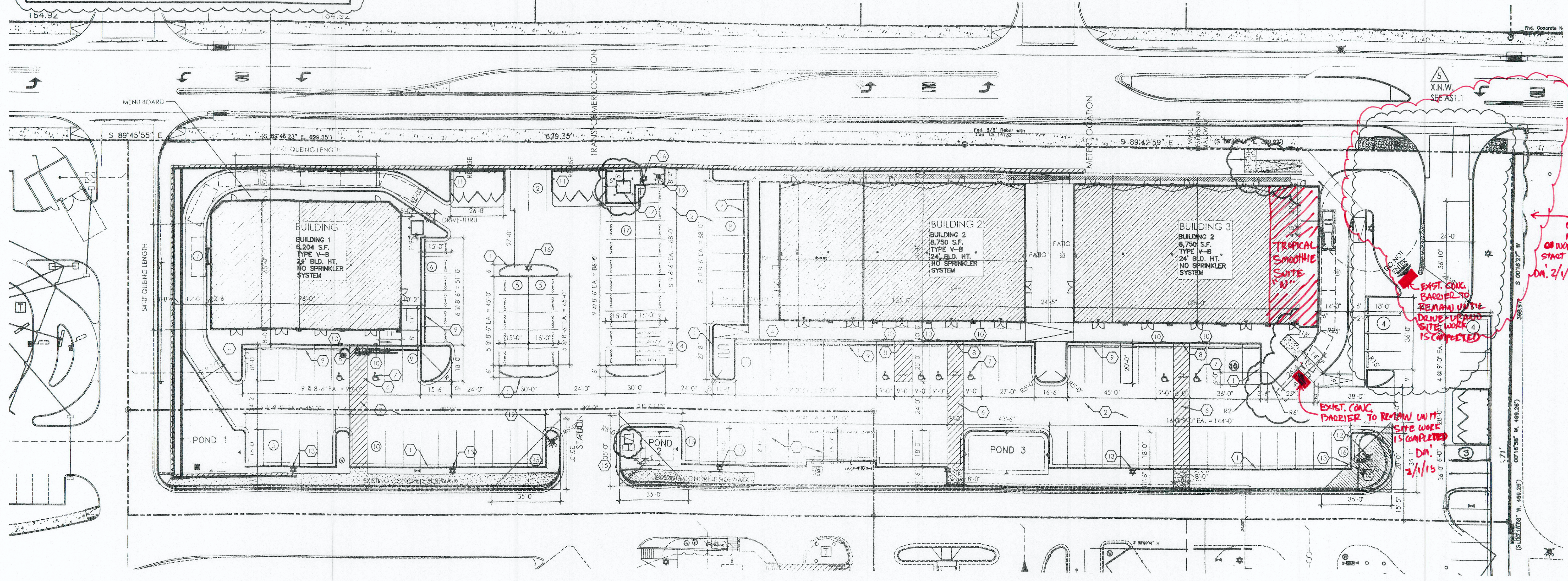
PROJECT NO. 1006868

APPLICATION NO. 17-001-10097

Handwritten notes: house 1 days 1 day, 1000 sq ft

Handwritten: 10/23/17

PLANNING DIRECTOR DATE



HOLLY SHOPPING CENTER
SITE PLAN
8136 HOLLY AVE. NW, ALBUQUERQUE, NM 87106
PROJECT # 1547

REVISION DATE

- 03-04-2016
- 08-25-2016
- 03-07-2017
- 10-25-2017

STATE OF NEW MEXICO

Richard P. ...

No. 1240
03/03/17

REGISTERED ARCHITECT

RBA

REGISTERED ARCHITECT

1100 NORTH AVENUE, SUITE 1000
ALBUQUERQUE, NM 87102
505.263.1234
www.rba.com

DATE: 05-09-2016

SHEET NUMBER: C-1

OVERALL SITE PLAN

C-1 1" = 25'-0"

