

# HOLLY SHOPPING CENTER

## SITE PLAN FOR BUILDING PERMIT

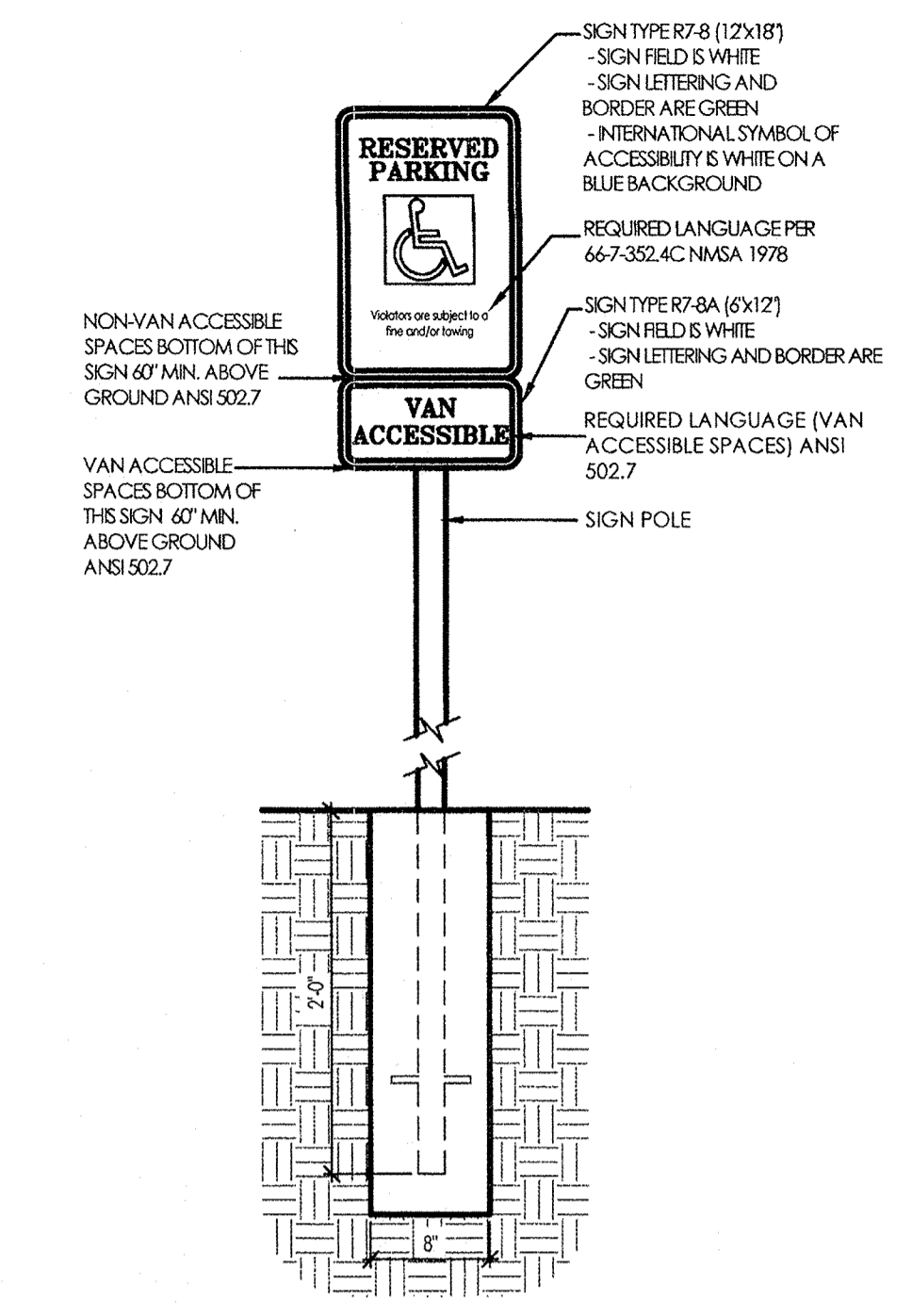
INDEX OF DRAWINGS	
C-1.0	SITE PLAN, INDEX, COVER
C-2.0	SITE DETAILS
CG-101	GRADING & DRAINAGE PLAN
CG-501	GRADING DETAILS
CU-101	UTILITY PLAN
LS-1	LANDSCAPING PLAN
A-3.0	EXTERIOR ELEVATIONS

GENERAL NOTES	
A.	PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
B.	PROVIDE EXPANSION JOINTS IN CONCRETE WALK @ 40' O.C. AND WHERE CONCRETE ABUTS THE BUILDING.
C.	PREMISE IDENTIFICATION - SHALL BE MINIMUM 10" INCHES HIGH AND SHALL CONTRAST WITH THEIR BACKGROUND AND SHALL BE VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. EACH BUILDING TO HAVE INDIVIDUAL PREMISE I.D.
D.	G.C. TO PROVIDE FIRE EXTINGUISHERS 2A-10-BC, 1 PER EACH 3,000 S.F., REF. FLOOR PLANS FOR QUANTITY AND LOCATIONS.

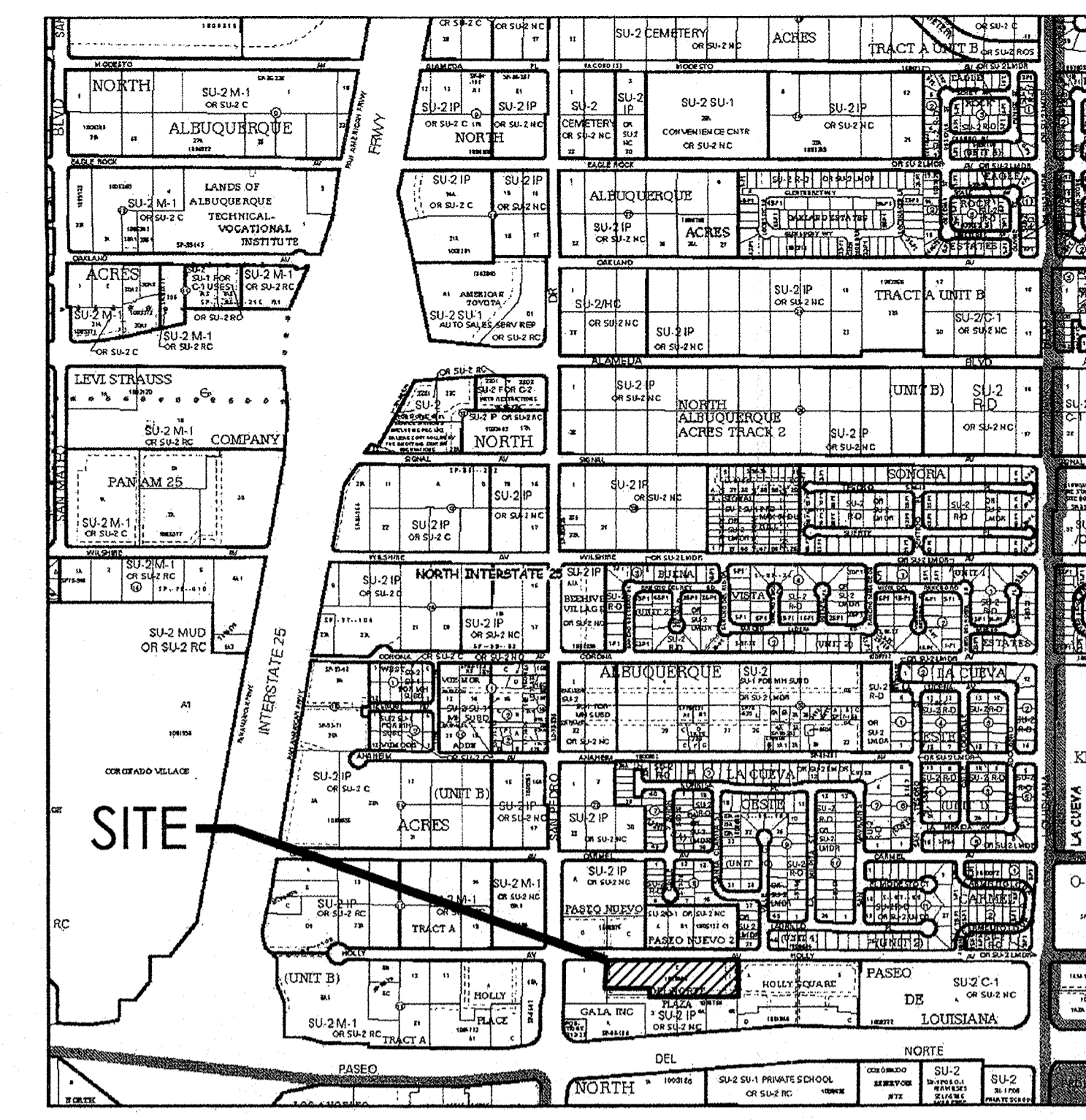
PARKING REQUIREMENTS:	
REQUIRED:	TOTAL BUILDING SQ. FT. = 24,100 S.F. 1 SPACE PER 200 SQ. FT. = 121 SPACES REQUIRED
TOTAL PARKING PROVIDED	= 158 SPACES PROVIDED
HANDICAPPED SPACES REQUIRED =	8 HANDICAPPED SPACES INCLUDING (2) VAN ACCESSIBLE
HANDICAPPED SPACES PROVIDED =	8 TOTAL (8 VAN ACCESSIBLE)

KEYED NOTES	
1.	CONSTRUCT 6" CONCRETE CURB AND GUTTER, SEE: DETAIL: 06/C-2
2.	ASPHALT PAVEMENT ON BASE COURSE, SEE DETAIL: 05/C-2
3.	2'-0" RADIUS.
4.	CONSTRUCT CONCRETE SIDEWALK.
5.	4" WIDE WHITE PARKING STRIPE AS SHOWN, PER LOCAL CITY CODE AND STANDARDS.
6.	6'-0" WIDE MINIMUM HANDICAP ACCESSIBLE AISLE STRIPPING PER LOCAL CITY CODE AND STANDARDS.
7.	INTERNATIONAL SYMBOL OF ACCESSIBILITY, CENTER IN PARKING SPACE.
8.	ASPHALT PAVING & H.C. ACCESSIBLE AISLE TO BE FLUSH WITH CONCRETE SIDEWALK AT ALL LOCATIONS, SEE DETAIL 5/C-2
9.	INSTALL CONCRETE WHEEL STOP.
10.	INSTALL HANDICAP PARKING SIGNAGE AT ALL HANDICAP SPACES, DETAIL 2/C-1
11.	DUMPSTER ENCLOSURE, REF: DETAIL 08/C-2
12.	FIRE HYDRANT.
13.	EXISTING SITE LIGHT WITH CONCRETE BASE, REF. ELECTRICAL FOR DETAILS.
14.	C.M.U. RETAINING WALL, SEE CIVIL FOR DETAIL
15.	CLEAR SIGHT TRIANGLE: LANDSCAPING, FENCING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE
16.	EXISTING SIGHT LIGHTING TO BE RELOCATED TO THIS LOCATION

DESIGN CRITERIA	
BUILDING CONSTRUCTION TYPE:	2-8 NON-COMBUSTIBLE
MAXIMUM BUILDING SIZE:	9,000 SQ. FT.
FIRE SEPARATION:	2-HOUR SEPARATION WALLS BETWEEN SPACES
MAXIMUM BUILDING HT:	24'-0" (NOT TO EXCEED 30'-0")

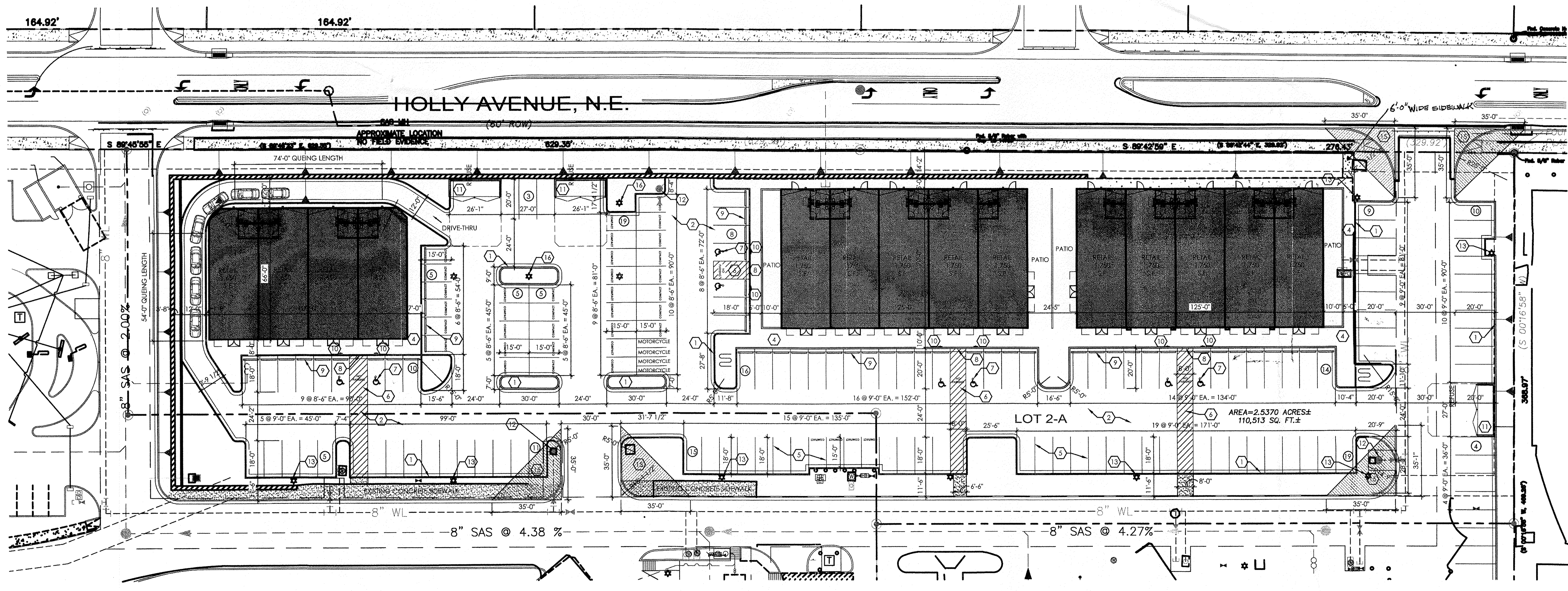


2 H.C. ACCESSIBLE SIGN DETAIL  
C-1 1" = 25'-0"

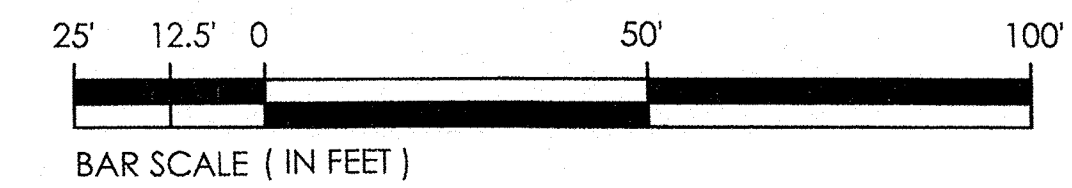


VICINITY MAP - C-18-Z  
N.T.S.

*Kay W. Miller* 3/9/16 DATE  
 TRAFFIC ENGINEER  
*Carol S. Dumont* 3/9/16 DATE  
 PARK'S DESIGN & GENERAL DEVELOPMENT, C.I.P.  
*Therese Adams* 03/17/16 DATE  
 UTILITY DEVELOPMENT DIVISION (A-ECW414)  
  
*AMMFC* 3/9/16 DATE  
 CITY ENGINEER  
*Paul Chis* 3-23-16 DATE  
 CITY PLANNER, ABQ PLANNING DIVISION  
  
 SOLID WASTE 3-23-16 DATE



1 OVERALL SITE PLAN  
C-1 1" = 25'-0"

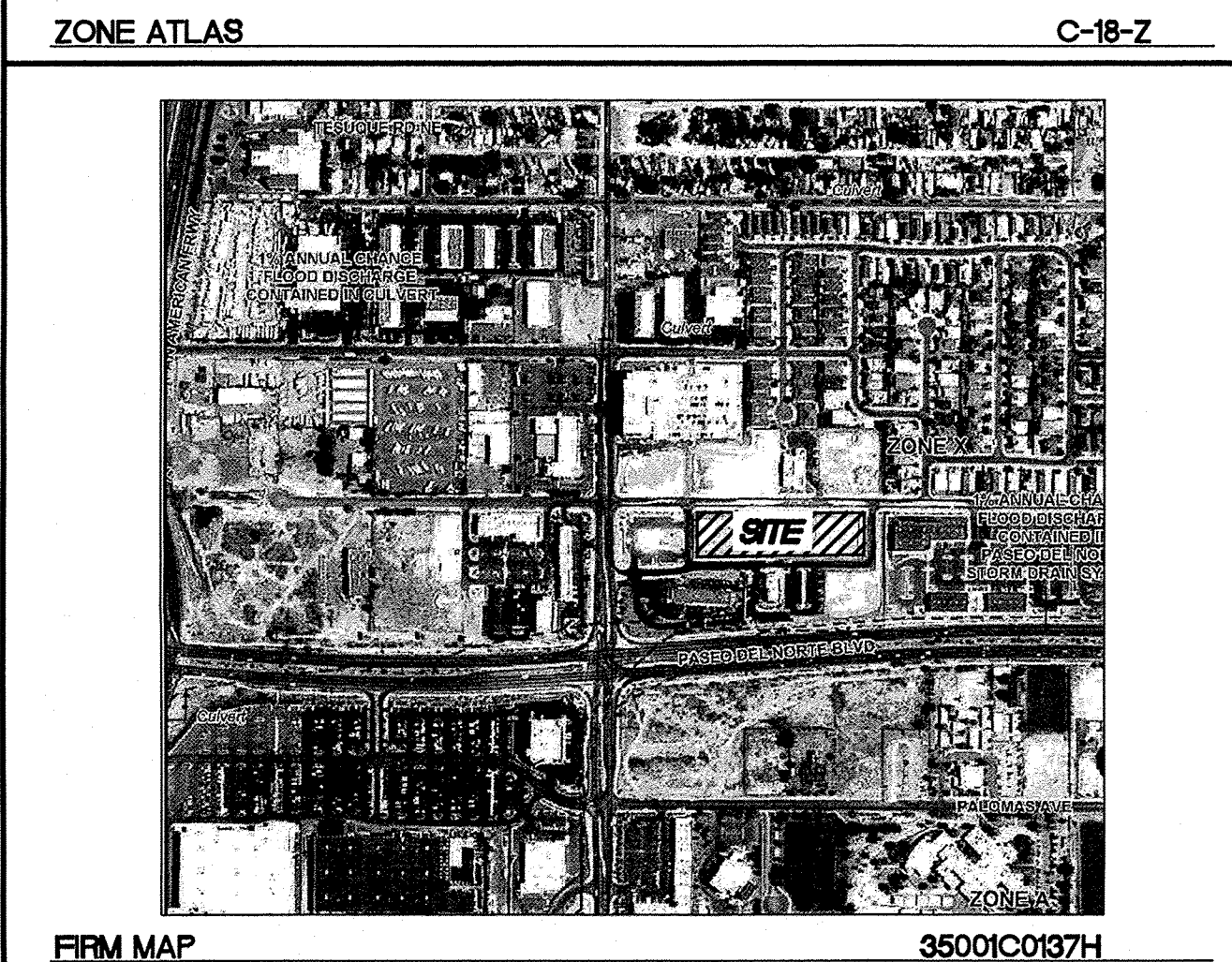
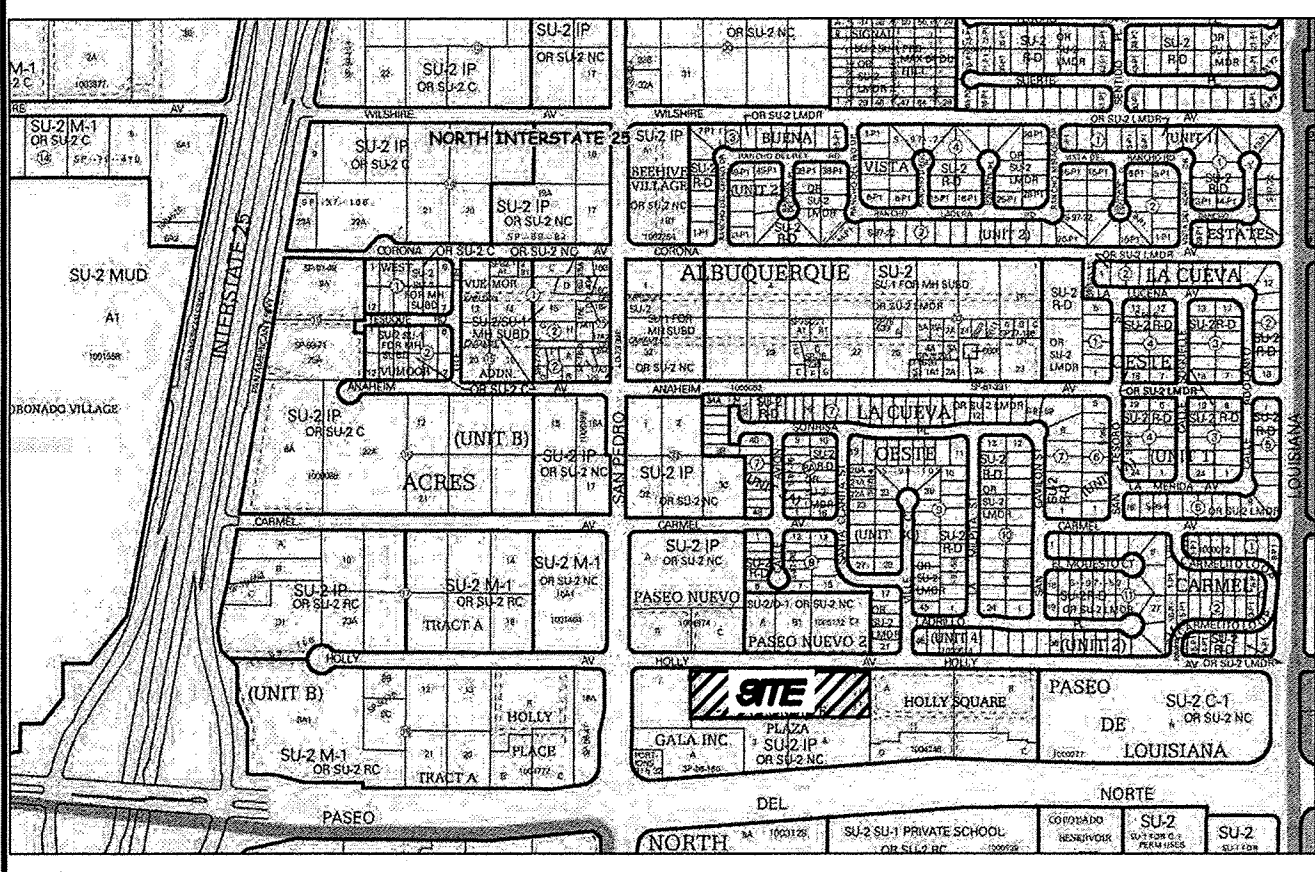
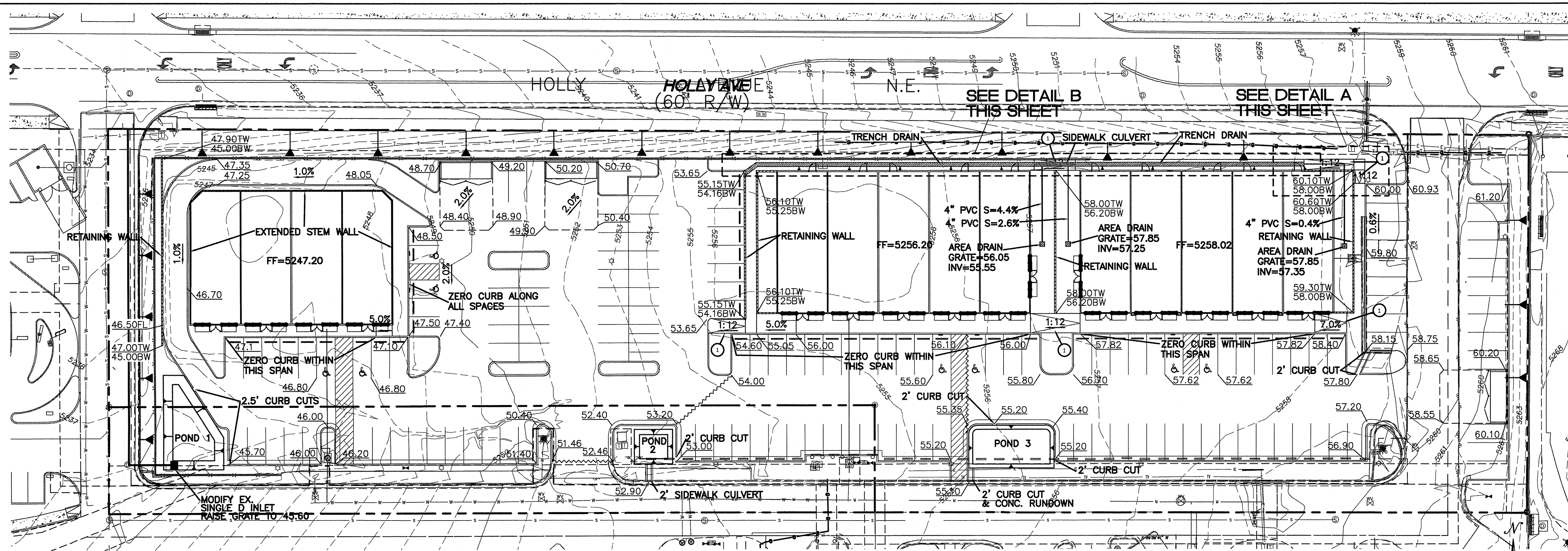


HOLLY SHOPPING CENTER  
 SITE PLAN FOR BUILDING PERMIT  
 8136 HOLLY AVENUE, ALBUQUERQUE, NM 87107  
 PROJECT # 1547

REVISION DATE	03-04-2016
DATE	01-22-2016
SHEET NUMBER	C-1

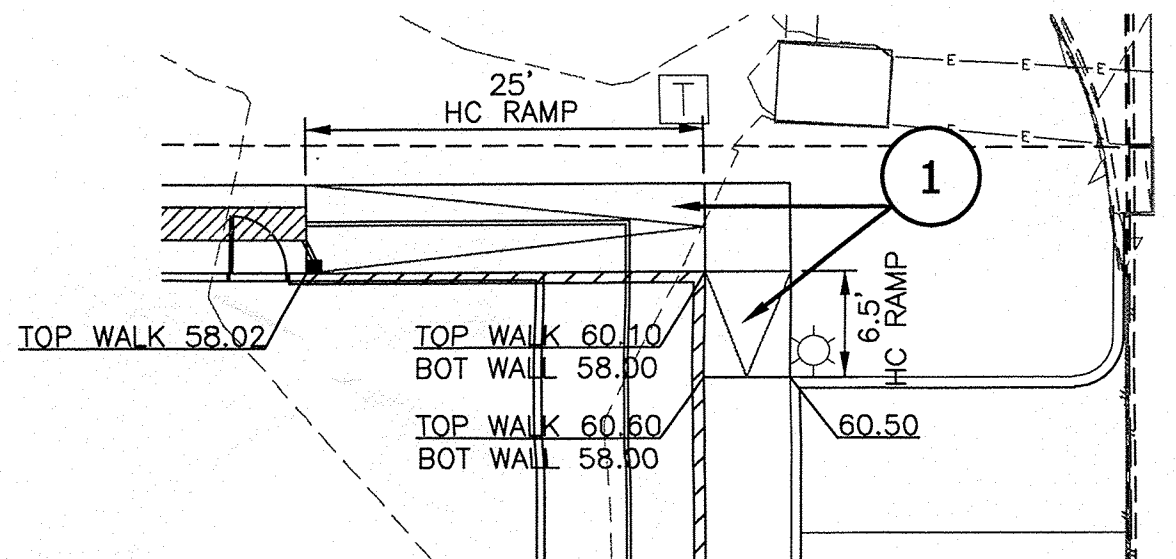
898900





DET POND	VOL. REQUIRED	VOL. PROVIDED	TOP ELEV.	BOT ELEV.
1	1665.73 CF	1731.20 CF	5245.70	5243.45
2	282.93 CF	301.84 CF	5253.00	5251.75
3	734.98 CF	737.08 CF	5255.20	5254.20

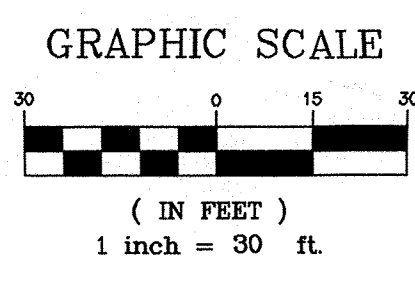
NOTE - 2:1 MAX SIDE SLOPES ON ALL PONDS



**DETAIL A - HC RAMP**  
NTS

**KEYED NOTES**

- 1 ADA RAMP WITH GUARDRAIL



**NOTICE TO CONTRACTORS**

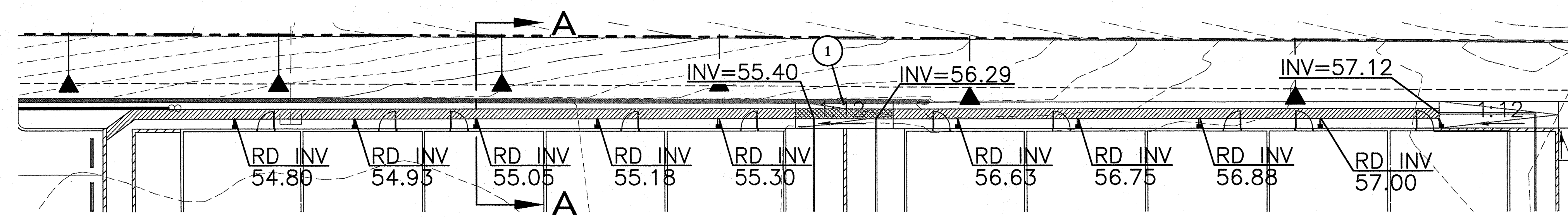
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- SOURCE OF TOPO IS ALTA/ACSM LAND TITLE SURVEY OF LOT 2 HARMS INDUSTRIAL PARK PREPARED BY PRECISION SURVEYS, INC DATED JUNE, 2014.

**EROSION CONTROL NOTES**

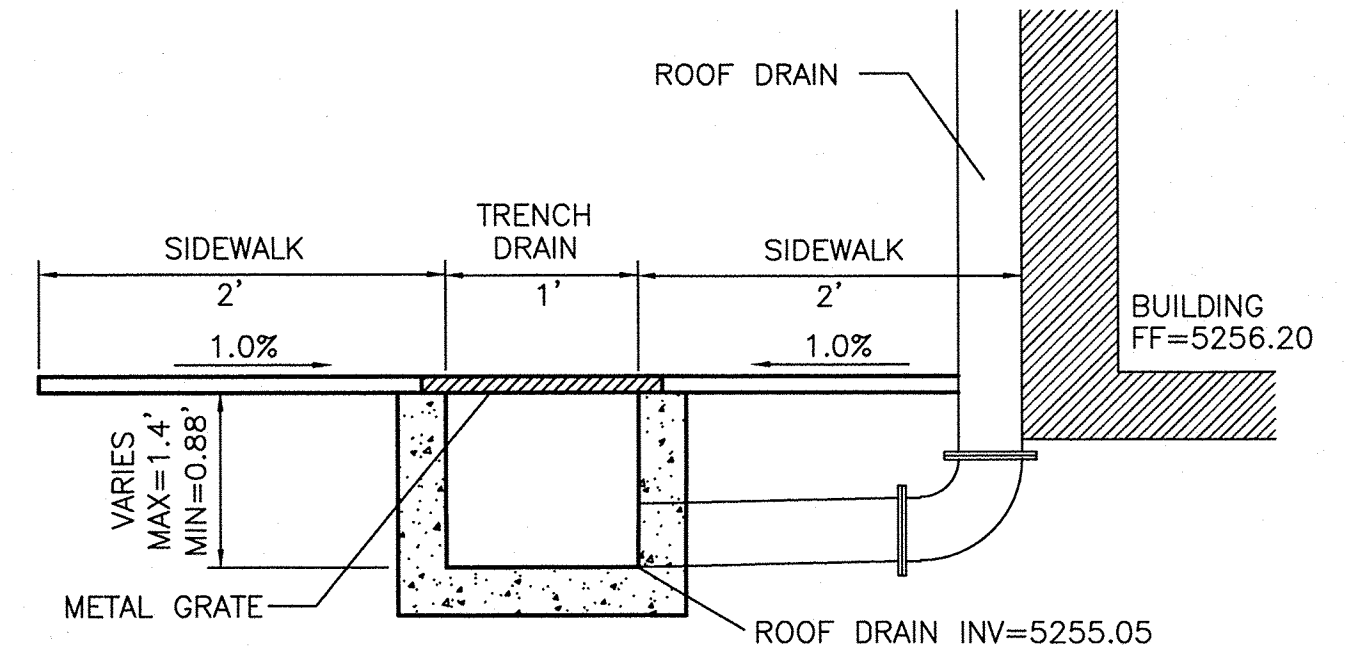
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

**CAUTION:**

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS. PRIOR TO STARTING THE WORK, ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



**DETAIL B - TRENCH DRAIN DETAIL**  
NTS



**SECTION A-A**  
NTS

**NOTICE TO CONTRACTORS**

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		

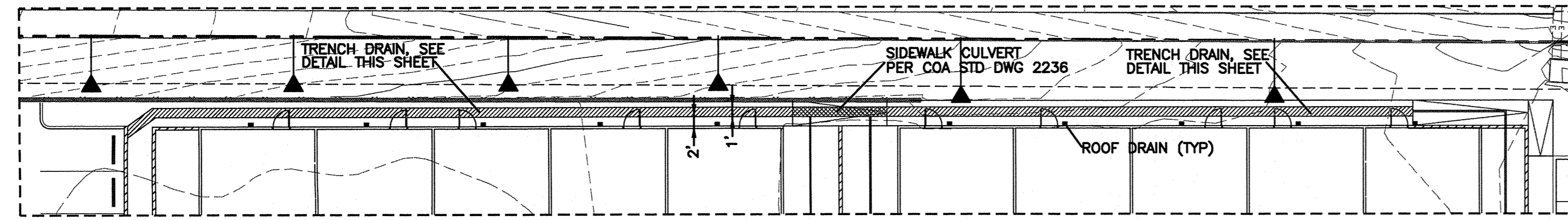
**LEGEND**

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- SIDEWALK
- EXISTING CURB & GUTTER
- SINGLE CLEAN OUT
- DOUBLE CLEAN OUT
- EXISTING SD MANHOLE
- EXISTING SAS MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER METER
- EXISTING POWER POLE
- EXISTING GAS VALVE
- EXISTING OVERHEAD UTILITIES
- EXISTING GAS
- EX. 8" SAS
- EXISTING SANITARY SEWER LINE
- EXISTING WATER LINE
- EX. RCP
- EXISTING STORM SEWER LINE
- EXISTING INDEX CONTOUR
- EXISTING CONTOUR
- WATER BLOCK

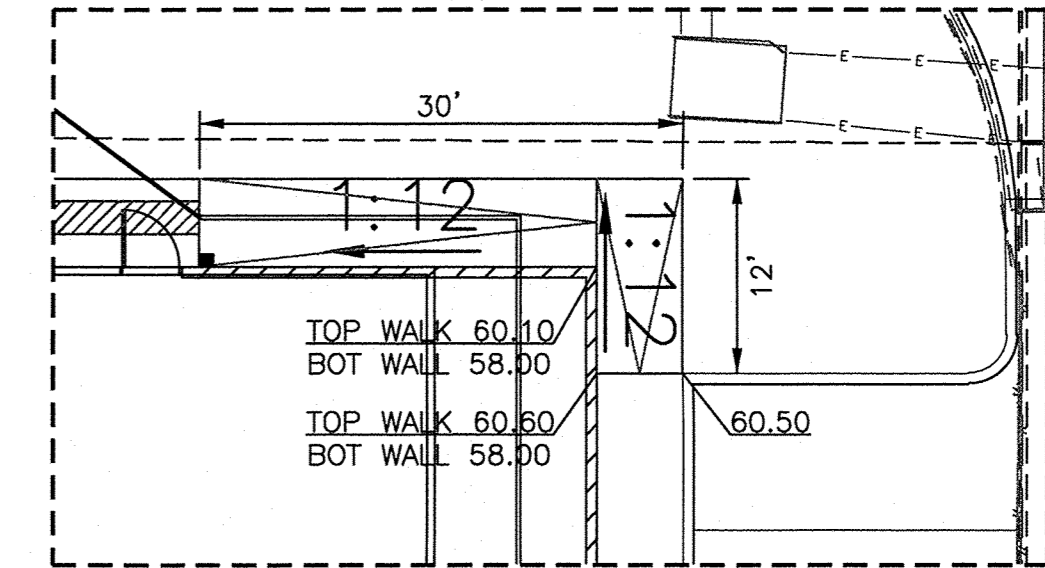
**ROUGH GRADING APPROVAL**

ENGINEER'S SEAL	LOT 2 DEL NORTE PLAZA ALBUQUERQUE, NM	DRAWN BY pm
	GRADING AND DRAINAGE PLAN	DATE 3-14-16
RONALD R. BOHANNAN P.E. #7868	TERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrowestllc.com	DRAWING 2015064-GR
		SHEET # <b>GR-1</b>
		JOB # 2015064



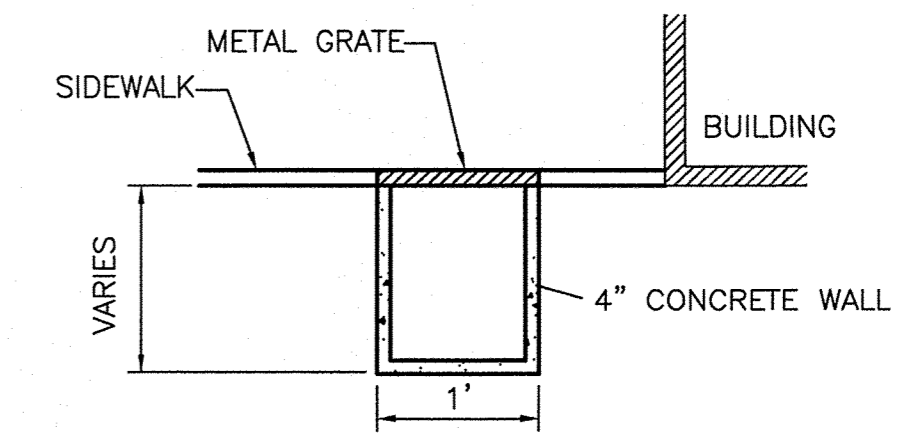
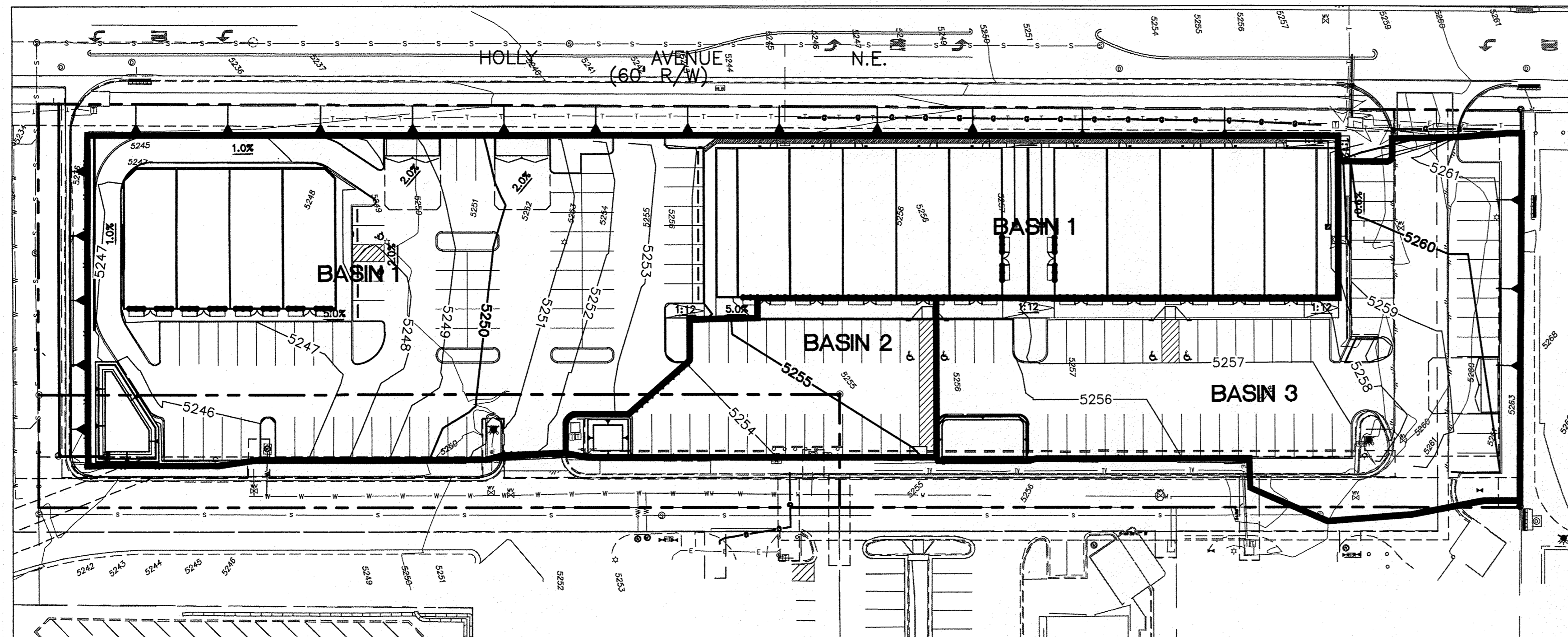


DETAIL B




DETAIL A

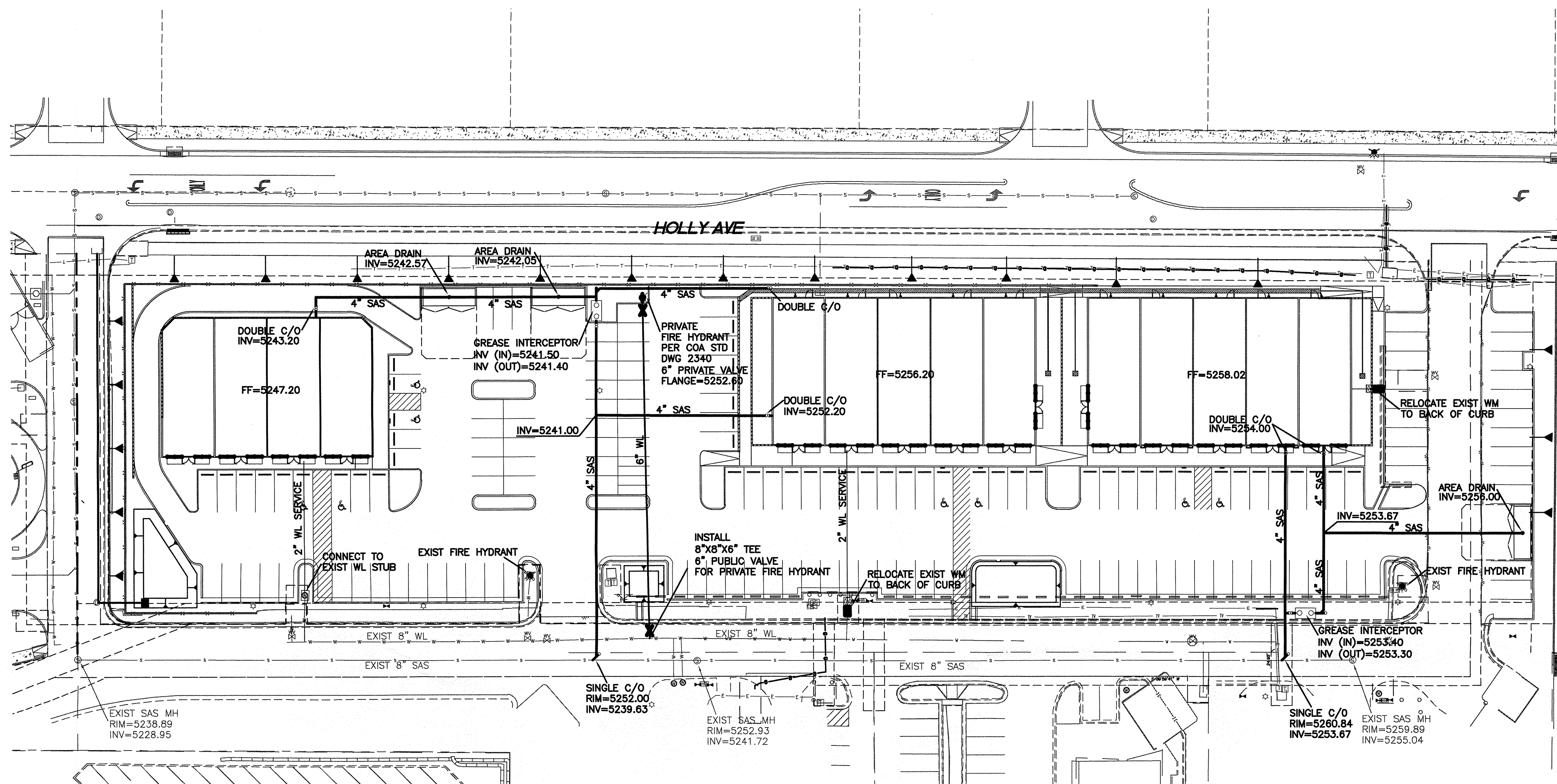
DEVELOPED DRAINAGE BASIN MAP



TRENCH DRAIN DETAIL  
NTS

ENGINEER'S SEAL	LOT 2 DEL NORTE PLAZA ALBUQUERQUE, NM	DRAWN BY pjm
	GRADING AND DRAINAGE DETAILS	DATE 1-20-16
RONALD R. BOHANNAN P.E. #7868	 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING 2015064-GR
		SHEET # <b>GR-2</b>
		JOB # 2015064





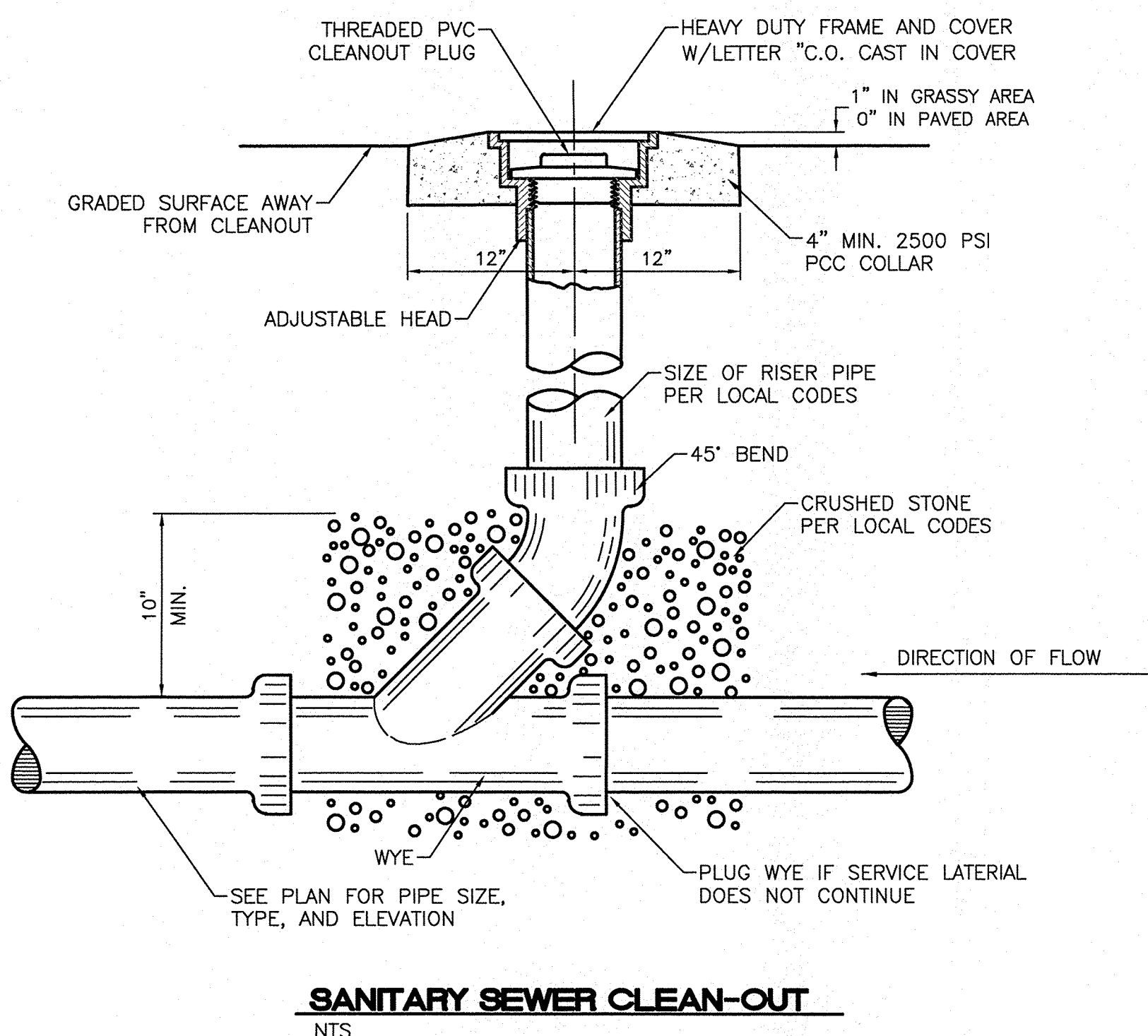
**LEGEND**

- CURB & GUTTER
- BOUNDARY LINE
- - - EASEMENT
- SIDEWALK
- EXISTING CURB & GUTTER
- SINGLE CLEAN OUT
- ⊖ DOUBLE CLEAN OUT
- ⊙ EXISTING SD MANHOLE
- ⊙ EXISTING SAS MANHOLE
- ⊙ EXISTING FIRE HYDRANT
- ⊙ EXISTING WATER METER
- ⊙ EXISTING POWER POLE
- ⊙ EXISTING GAS VALVE
- EX. 8" SAS — EXISTING SANITARY SEWER LINE
- EX. WL — EXISTING WATER LINE
- EX. RCP — EXISTING STORM SEWER LINE
- 4900 — EXISTING INDEX CONTOUR
- EXISTING CONTOUR

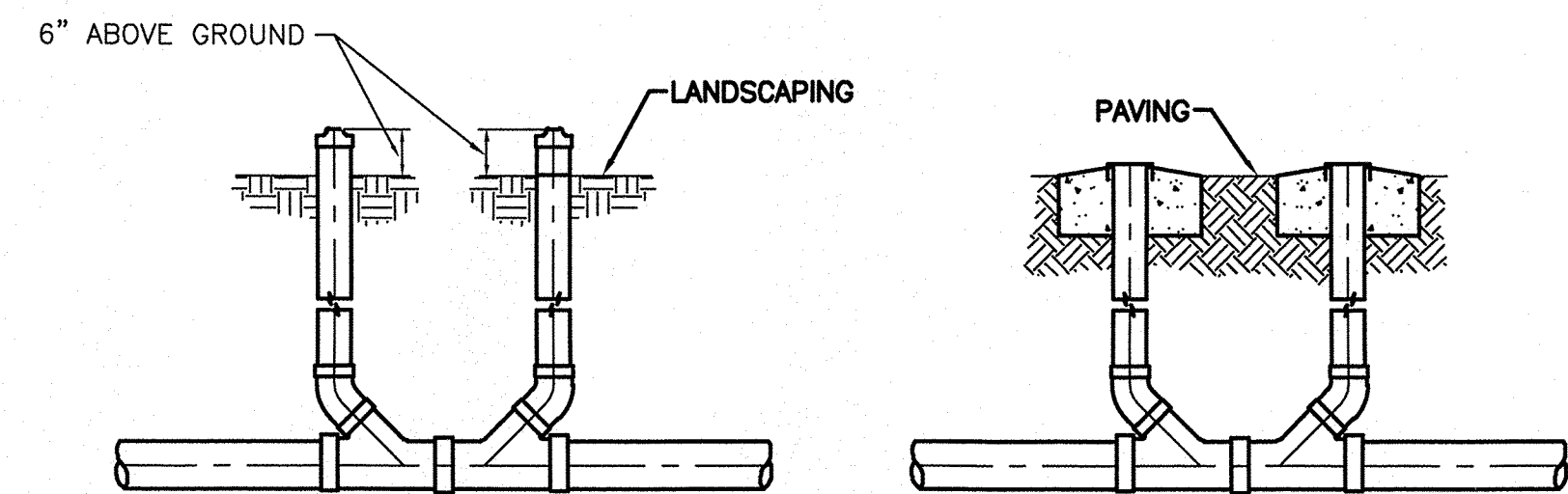
**NOTE**  
ALL PROPOSED UTILITIES AND APPURTENANCES ARE PRIVATE

**GENERAL UTILITY NOTES**

1. ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH CITY OF ALBUQUERQUE SPECIFICATIONS FOR PUBLIC UTILITY CONSTRUCTION, 1986 EDITION (UPDATE NO 8) INCLUDING AMENDMENT NO 1..
2. 4" MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
3. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
4. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
5. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
6. IRRIGATION AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. IF BACKFLOW PREVENTOR IS INSTALLED EXTERIOR OF BUILDING A HOT BOX SHALL BE INSTALLED AND USED.
7. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
8. ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.
9. PNM HAS NUMEROUS ELECTRIC FACILITIES AT THIS SITE CURRENTLY SERVING EXISTING CUSTOMERS. THE APPLICANT SHALL COORDINATE WITH PNM REGARDING THESE EXISTING FACILITIES. ANY RELOCATION, CHANGES OR REALIGNMENT OF EXISTING ELECTRIC UTILITIES WILL BE THE DEVELOPER EXPENSE. IN SOME CASES, RELOCATION OR CHANGES TO EXISTING FACILITIES MAY NOT BE FEASIBLE DUE TO PHYSICAL, USE OR SAFETY CLEARANCE CONSTRAINTS.
10. PNM WILL REVIEW ALL TECHNICAL NEEDS, ISSUES AND SAFETY CLEARANCES FOR ITS ELECTRIC POWER SYSTEMS. ANY EXISTING AND PROPOSED PUBLIC UTILITY EASEMENTS SHALL BE INDICATED ON THE SITE PLAN UTILITY SHEET PRIOR TO DRB REVIEW. PNM'S STANDARD FOR PUBLIC UTILITY EASEMENTS IS 10 FEET IN WIDTH TO ENSURE ADEQUATE, SAFE CLEARANCES.
11. SCREENING SHALL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET SURROUNDING ALL GROUND-MOUNTED UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

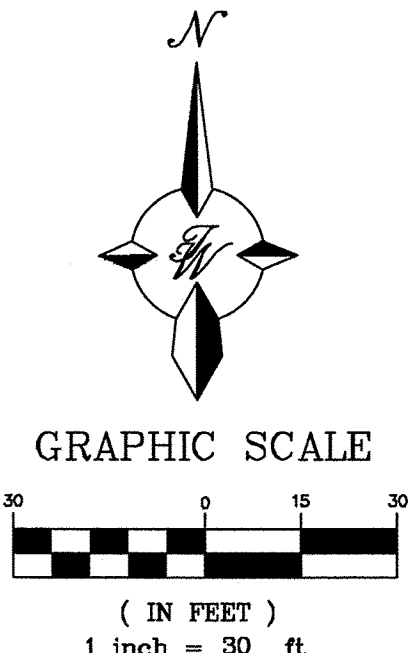


**SANITARY SEWER CLEAN-OUT**  
NTS



**SANITARY SEWER DOUBLE CLEAN-OUTS**  
NTS

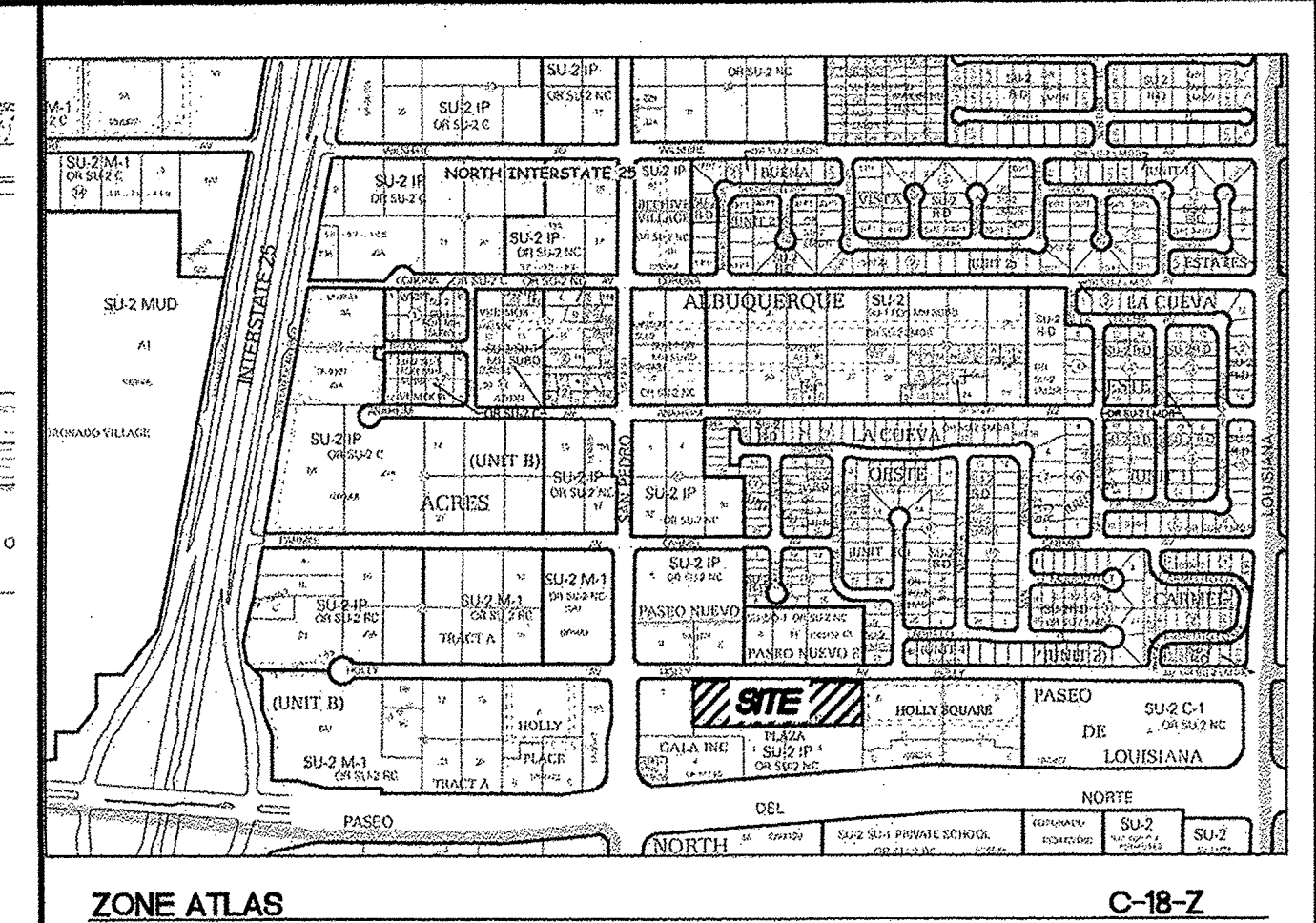
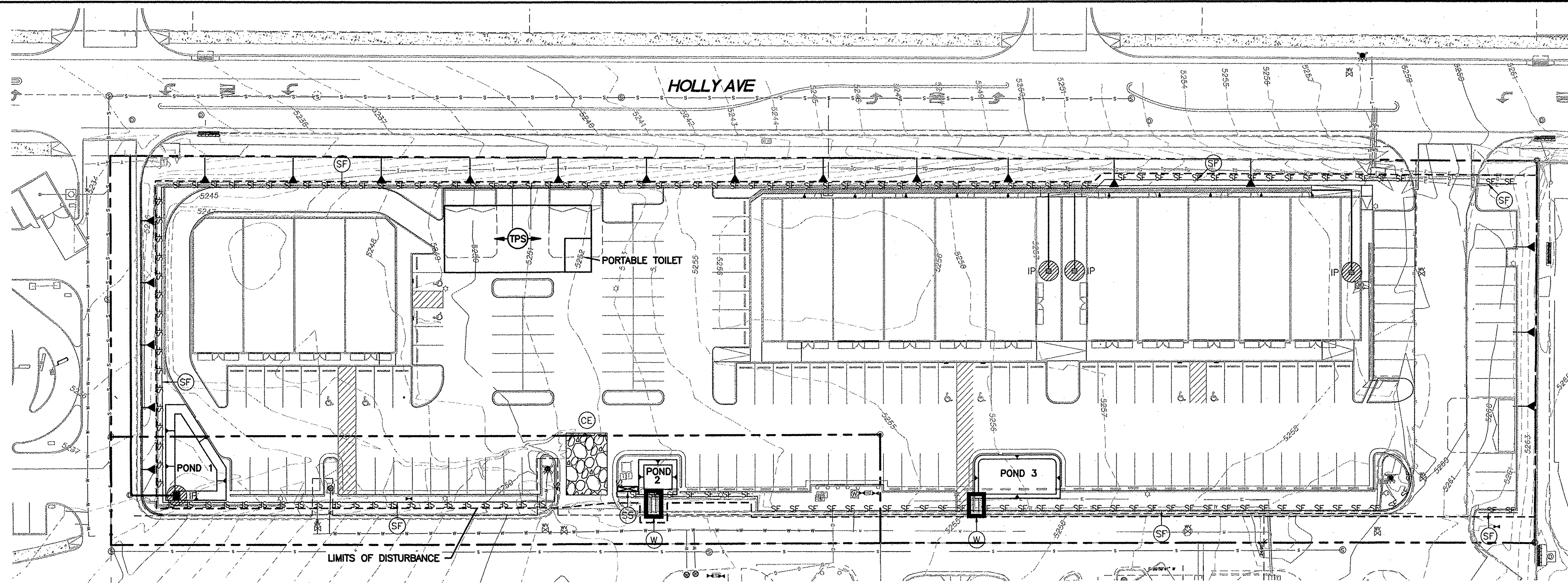
**CAUTION:**  
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ENGINEER'S SEAL  RONALD R. BOHANNAN P.E. #7868	LOT 2 DEL NORTE PLAZA ALBUQUERQUE, NM	DRAWN BY pm
	MASTER UTILITY PLAN	DATE 3-17-16
		DRAWING 2015064-GR
		SHEET # <b>MU-1</b>
		JOB # 2015064

**TERRA WEST, LLC**  
5571 MIDWAY PARK PL NE  
ALBUQUERQUE, NEW MEXICO 87109  
(505) 858-3100  
www.tierrawestllc.com





ZONE ATLAS C-18-Z

**EROSION NOTES**

- TPS TEMPORARY PARKING AND STORAGE
- LIMITS OF DISTURBANCE
- WATTLE

**EROSION DETAILS**

- CE TEMPORARY STONE CONSTRUCTION EXIT
- SF TEMPORARY SILT FENCE
- ST TEMPORARY SEDIMENT TRAP
- SS SWPPP SIGN
- W WATTLE
- IP INLET PROTECTION

**SEQUENCE OF CONSTRUCTION**

1. INSTALL STABILIZED CONSTRUCTION ENTRANCE.
2. INSTALL SWPPP BOARD.
3. INSTALL PERIMETER SILT FENCES ON THE SITE.
4. CONSTRUCT POND #1 WITH INLET PROTECTION.
5. CONSTRUCT POND #2 & #3 WITH OVERFLOW OR WATTLE.
6. INSTALL AREA DRAIN PROTECTION UPON INSTALLATION.
7. COMPLETE FINAL STABILIZATION.

**GENERAL EROSION NOTES**

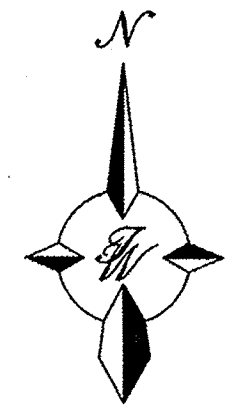
- A. THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IS COMPRISED OF THIS DRAWING ("SITE MAP"), THE STANDARD DETAILS, THE PLAN NARRATIVE, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
- B. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OF NEW MEXICO NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
- C. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
- D. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
- E. SITE MAP MUST CLEARLY DELINEATE ALL STATE WATERS. PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
- F. CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
- G. GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
- H. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
- I. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- J. DUST ON THE SITE SHALL BE CONTROLLED THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- K. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORMWATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- L. ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THIS PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE INITIATED AS SOON AS PRACTICABLE.
- M. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS STOPPED FOR AT LEAST 21 DAYS, SHALL BE TEMPORARILY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 14 DAYS FROM THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. PROVIDE ADEQUATE TEMPORARY IRRIGATION FOR GERMINATION.
- N. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN.
- O. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.
- P. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- Q. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
- R. ON-SITE & OFFSITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES, AS REQUIRED PER THE CONSTRUCTION GENERAL PERMIT. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
- S. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
- T. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, STRAW BALES, ETC.) TO PREVENT EROSION.
- U. ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY, THIS INCLUDES BACKFILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD CONSTRUCTION.

**MAINTENANCE**

- ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A 0.5" RAINFALL EVENT, AND CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:
1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.
  2. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEEDED AS NEEDED.
  3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
  4. THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
  5. ANY TEMPORARY PARKING AND STORAGE AREAS SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND, ONCE IDENTIFIED, NOTE ON THE SWPPP PLAN.
  6. OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 50%.

**CAUTION:**

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



GRAPHIC SCALE

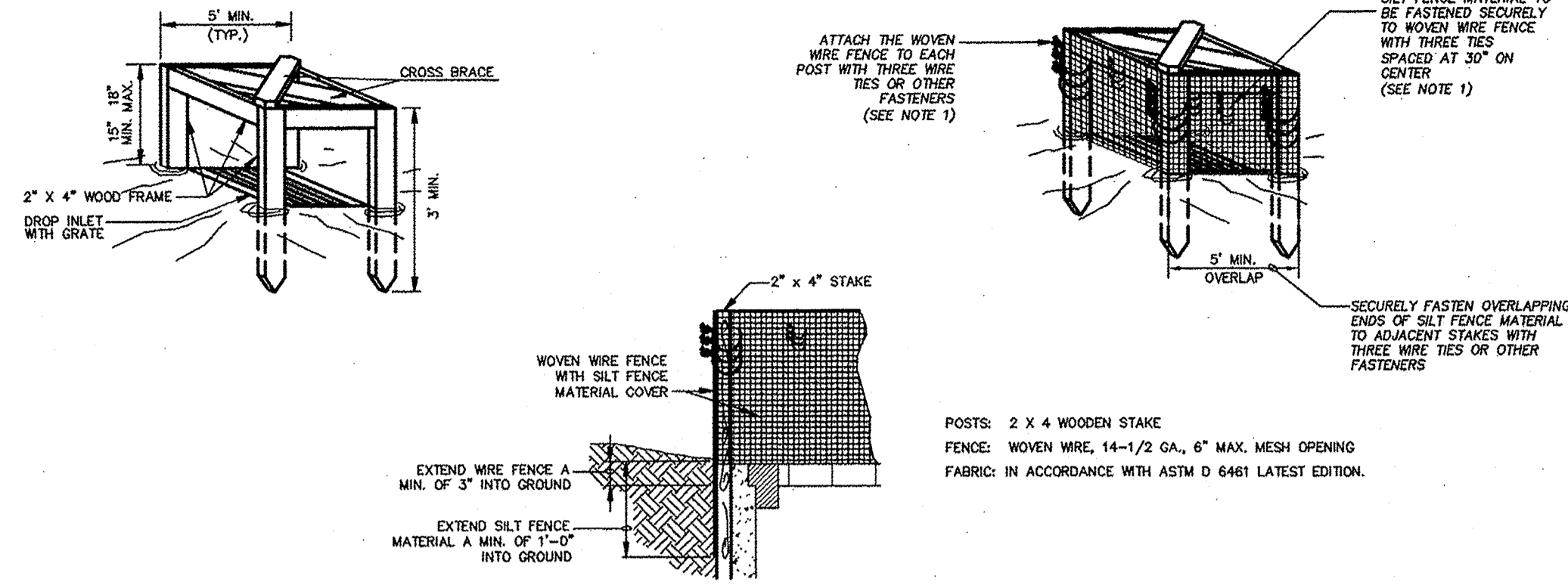
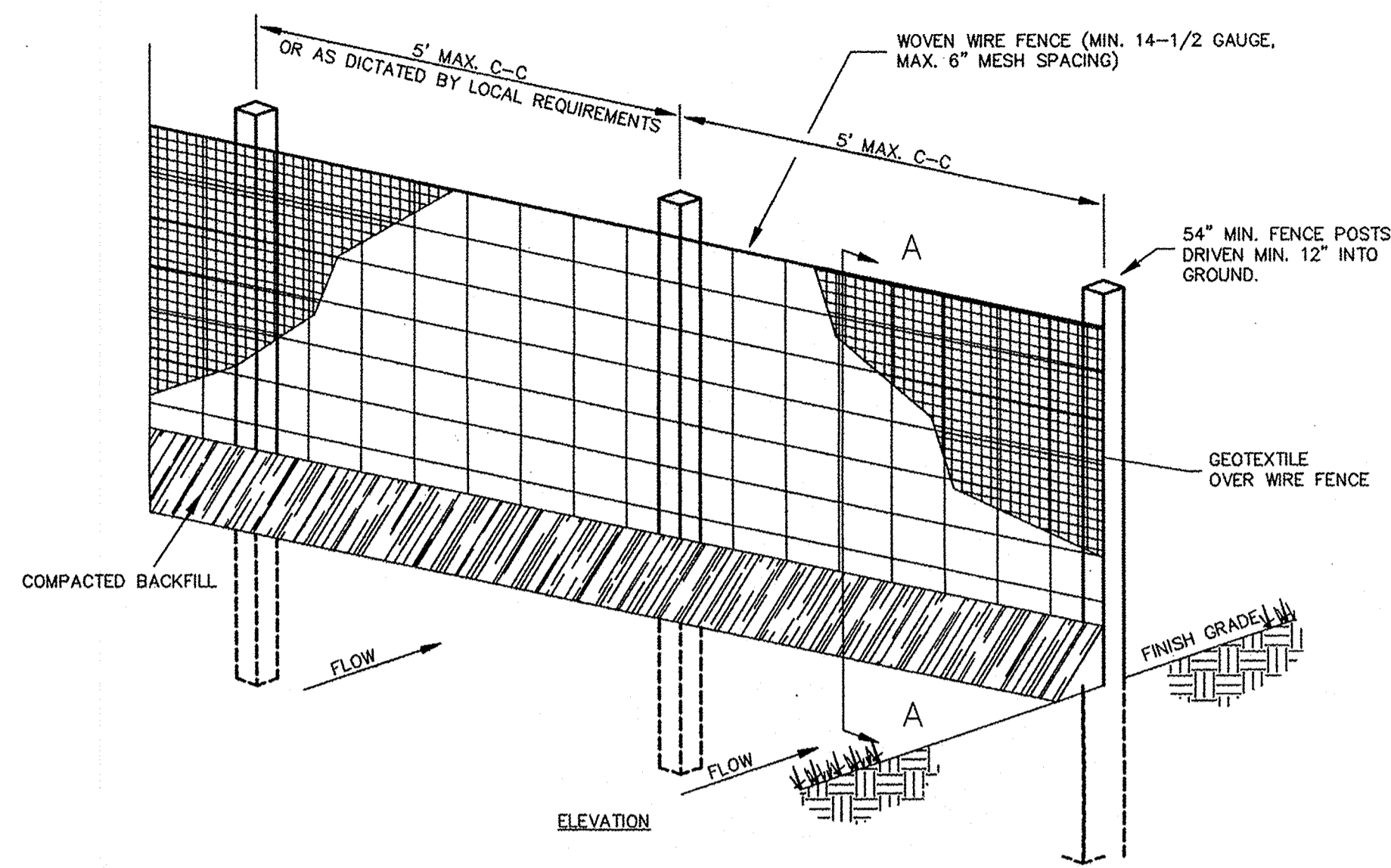
( IN FEET )  
1 inch = 30 ft.

**EROSION CONTROL NOTES**

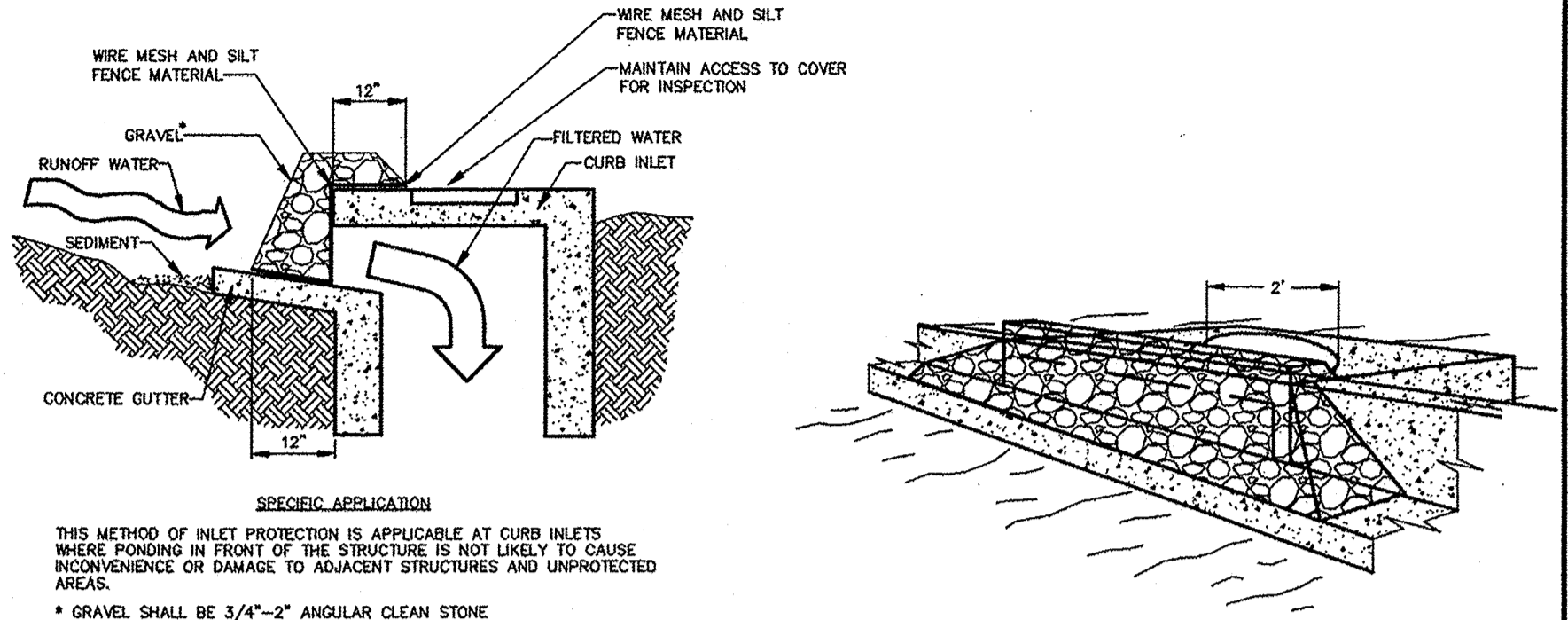
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

ENGINEER'S SEAL	LOT 2 DEL NORTE PLAZA ALBUQUERQUE, NM	DRAWN BY pm
	TEMPORARY EROSION CONTROL AND SEDIMENTATION PLAN	DATE 3-17-16
		DRAWING 2015064-SWPPP
		SHEET # EC-1
	<b>TIERRA WEST, LLC</b> 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	JOB # 2015064

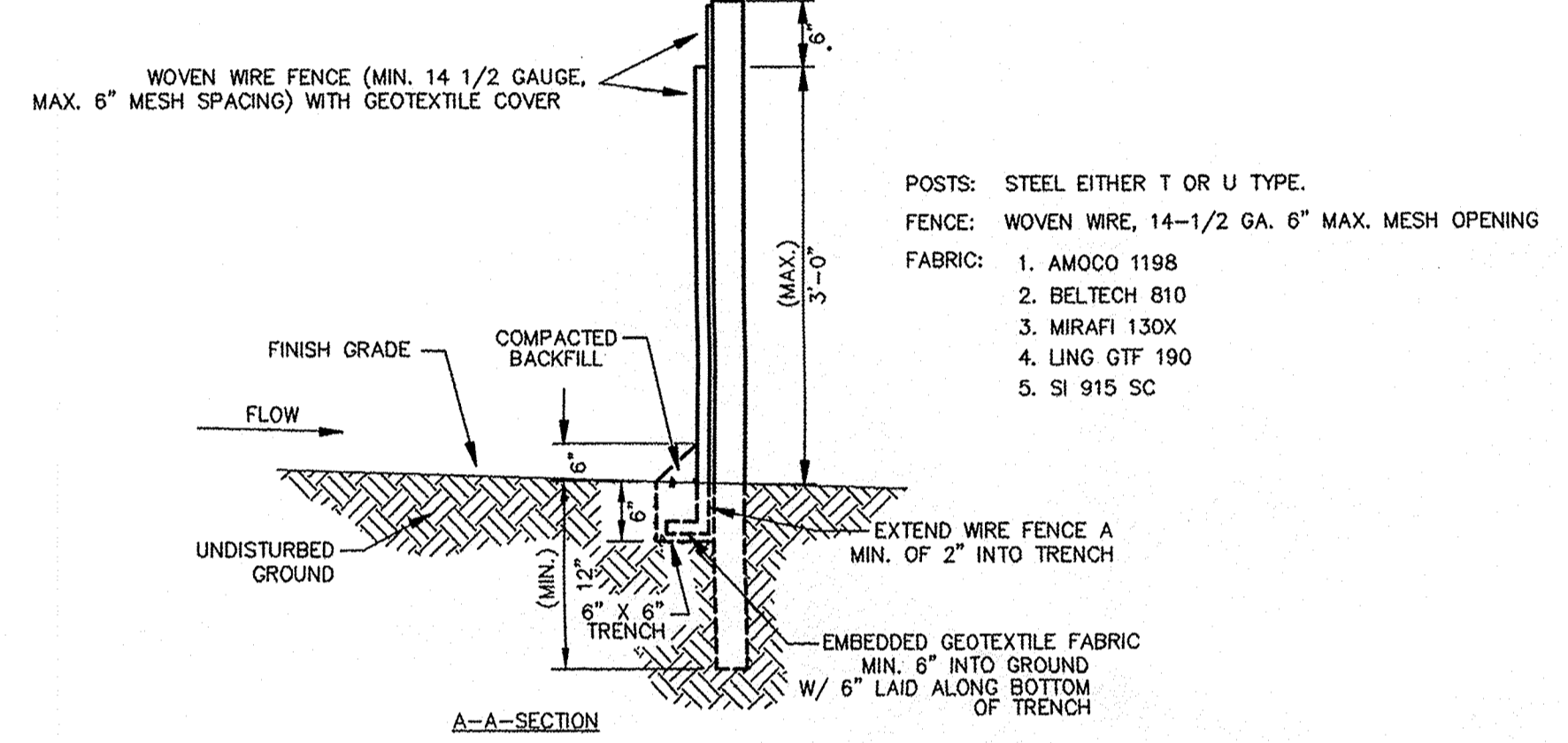




1. ATTACH THE WOVEN WIRE FENCE TO EACH POST AND THE GEOTEXTILE TO THE WOVEN WIRE FENCE (SPACED EVERY 30") WITH THREE WIRE TIES OR OTHER FASTENERS. ALL SPACED WITHIN THE TOP 6" OF THE FABRIC. ATTACH EACH BE DIAGONALLY AS DEGREES THROUGH THE FABRIC, WITH EACH PUNCTURE AT LEAST 1" VERTICALLY APART.
2. WHEN TWO SECTIONS OF SILT FENCE MATERIAL ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED ACROSS TWO POSTS.
3. MAINTENANCE SHALL BE PERFORMED AS NOTED IN THE SWPPP. DEPTH OF ACCUMULATED SEDIMENTS MAY NOT EXCEED ONE-HALF THE HEIGHT OF THE FABRIC. MAINTENANCE CLEANTOUT MUST BE CONDUCTED REGULARLY TO PREVENT ACCUMULATED SEDIMENTS FROM REACHING ONE-HALF THE HEIGHT OF THE SILT FENCE MATERIAL ABOVE GRADE.
4. ALL SILT FENCE INLETS SHALL INCLUDE WIRE SUPPORT.



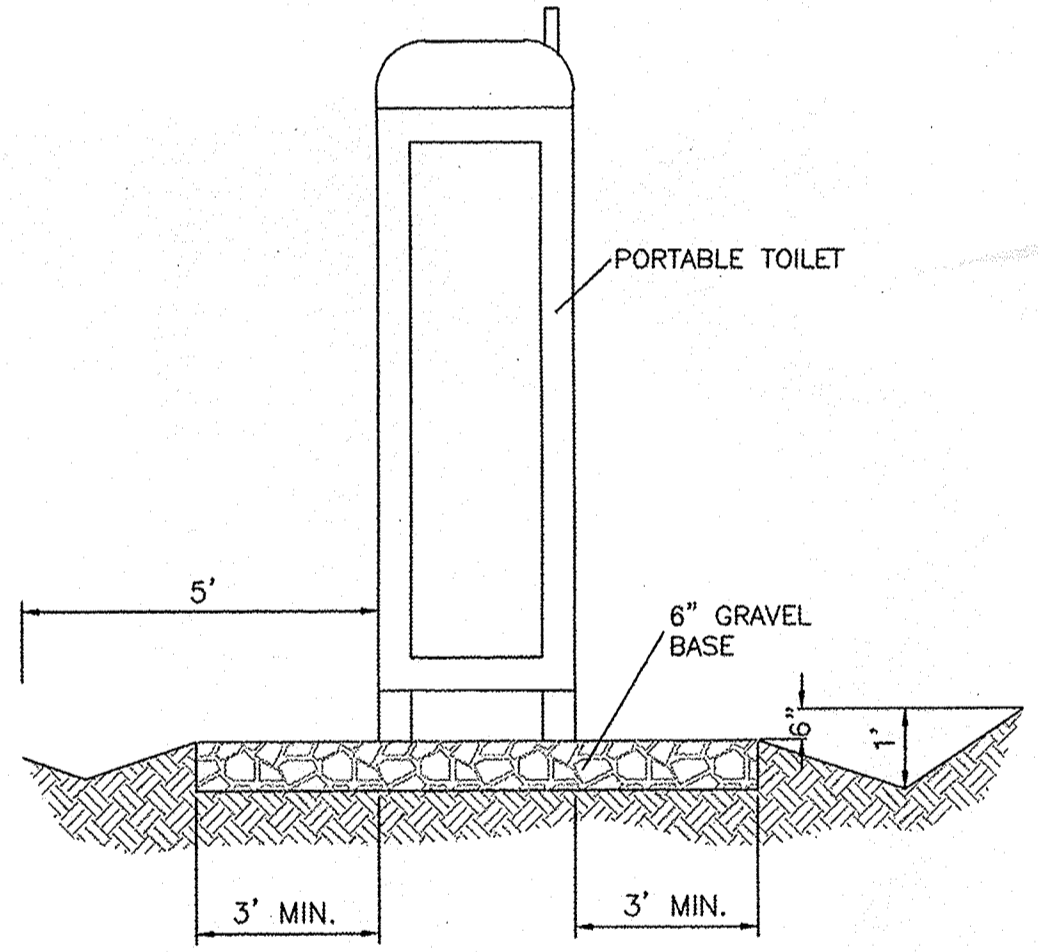
**GRAVEL CURB INLET SEDIMENT FILTER** (P5)  
N.T.S.



1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES.
2. GEOTEXTILE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
3. WHEN TWO SECTIONS OF GEOTEXTILE ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
4. MAINTENANCE SHALL BE PERFORMED AS NOTED IN THE EROSION CONTROL PLAN. COLLECTED MATERIAL SHALL BE REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
5. ALL SILT FENCE SHALL INCLUDE WIRE SUPPORT UNLESS INDICATED OTHERWISE.

**SEDIMENTATION/SILT FENCE WITH WIRE SUPPORT** (SF)  
N.T.S.

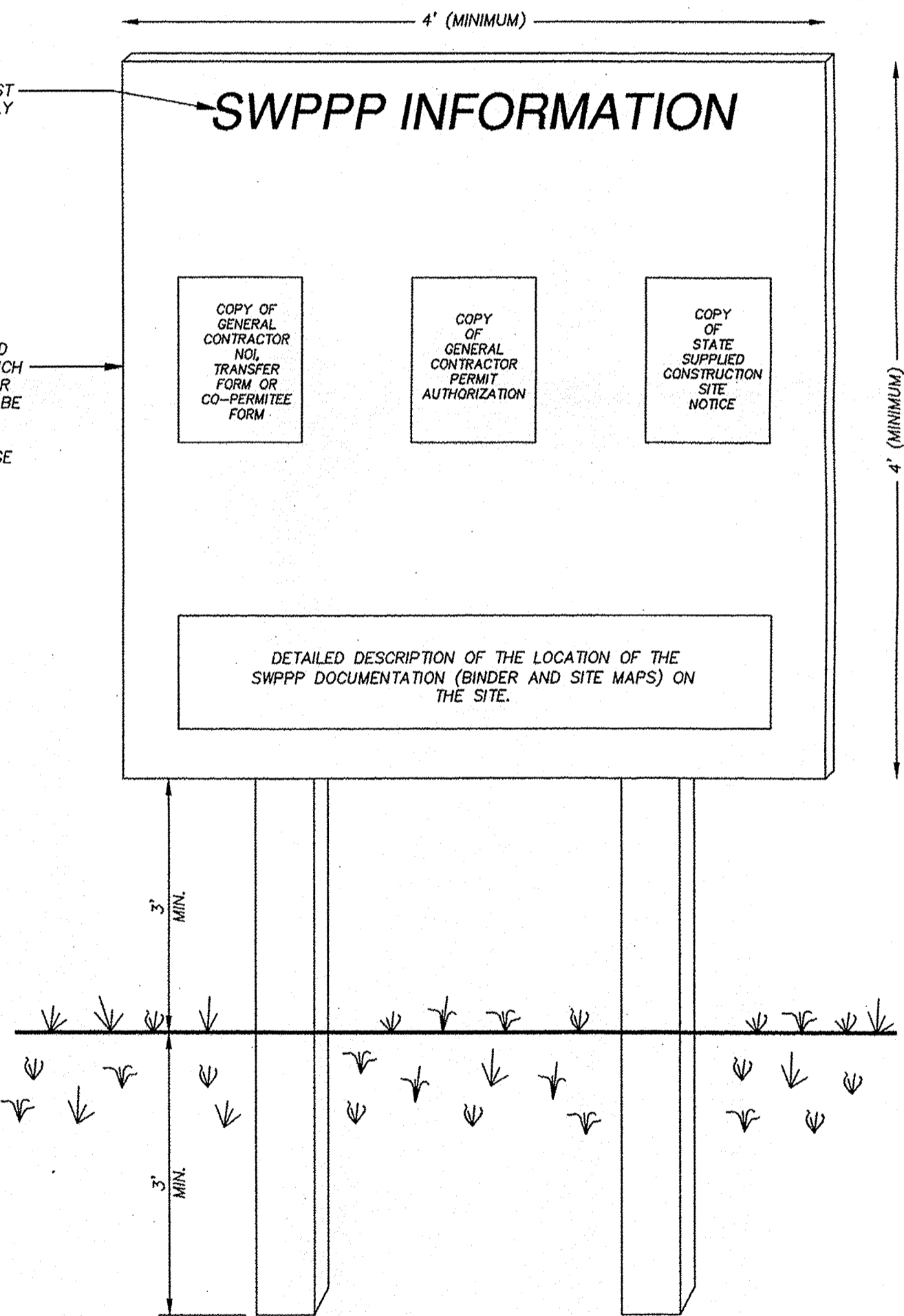
**SILT FENCE INLET PROTECTION** (IP6)  
N.T.S.



**PORTABLE TOILET CONTAINMENT DETAIL**

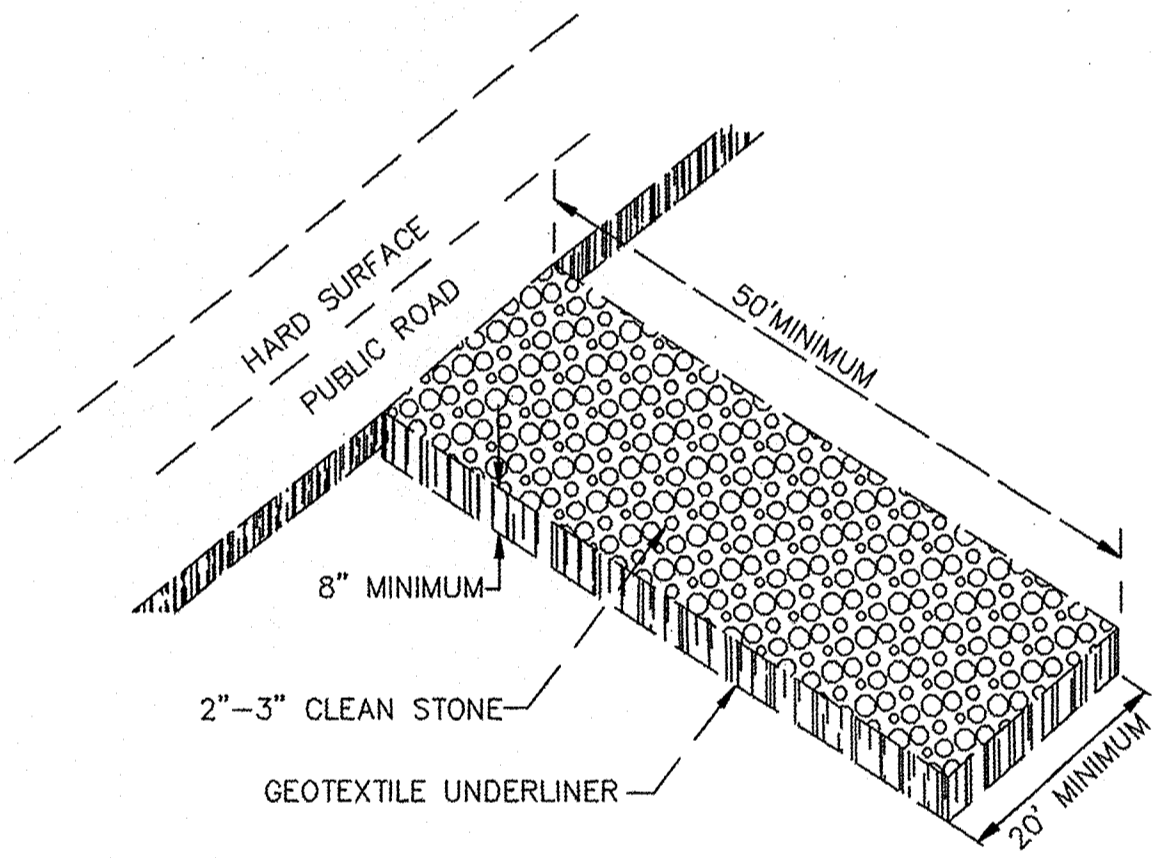
"SWPPP INFORMATION" MUST BE DISPLAYED PROMINENTLY ACROSS THE TOP OF THE SIGN, AS SHOWN IN THE DETAIL.

SIGN TO BE CONSTRUCTED OF A RIGID MATERIAL, SUCH AS PLYWOOD OR OUTDOOR SIGN BOARD. SIGN MUST BE CONSTRUCTED IN A MANNER TO PROTECT DOCUMENTS FROM DAMAGE DUE TO WEATHER (WIND, SUN, MOISTURE, ETC.).

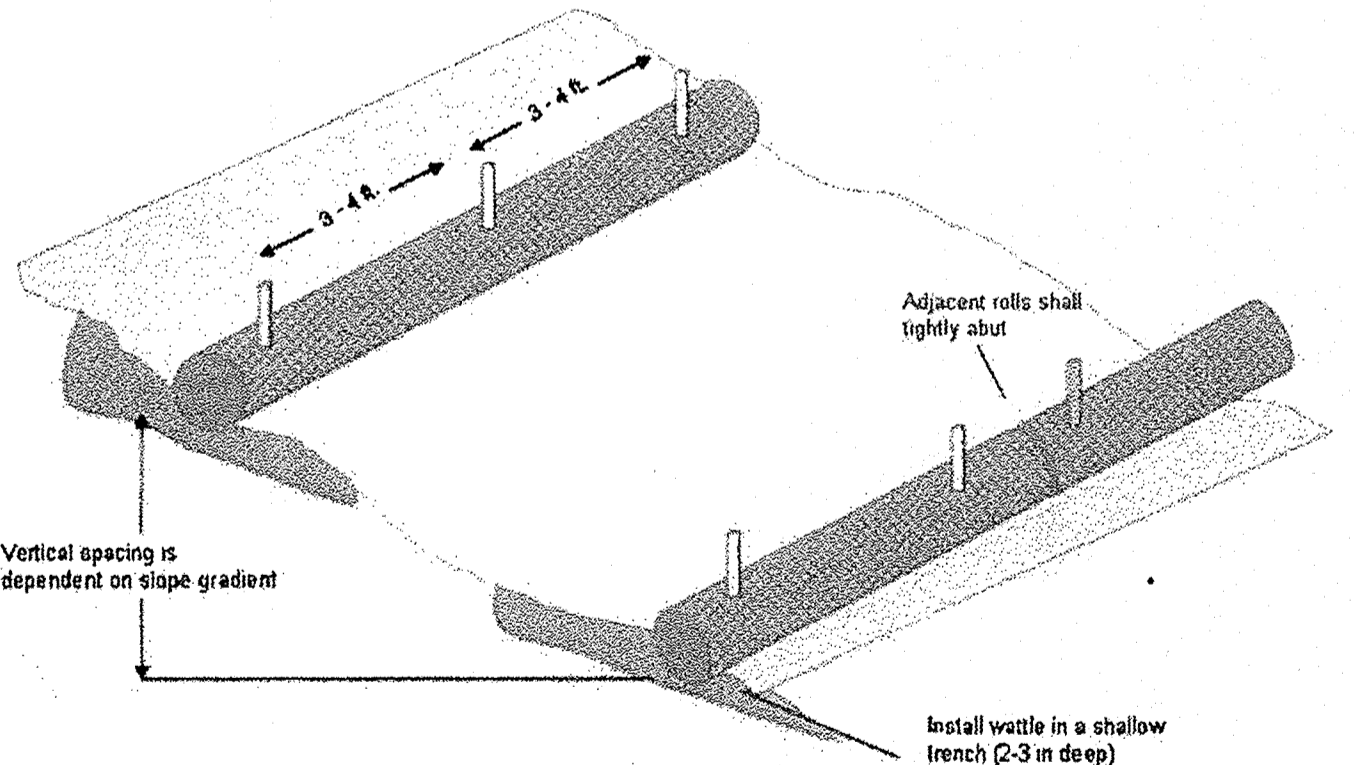


- NOTES:
- 1) THE SWPPP INFORMATION SIGN MUST BE LOCATED NEAR THE CONSTRUCTION EXIT OF THE SITE, SUCH THAT IT IS ACCESSIBLE AND VIEWABLE BY THE GENERAL PUBLIC, BUT NOT OBSTRUCTING VIEWS AS TO CAUSE A SAFETY HAZARD.
  - 2) ALL POSTED DOCUMENTS MUST BE MAINTAINED IN A CLEARLY READABLE CONDITION AT ALL TIMES THROUGHOUT CONSTRUCTION AND UNTIL THE NOTICE-OF-TERMINATION (NOT) IS FILED FOR THE PERMIT.
  - 3) CONTRACTOR SHALL POST OTHER STORM WATER AND/OR EROSION AND SEDIMENT CONTROL RELATED PERMITS ON THE SIGN AS REQUIRED BY THE GOVERNING AGENCY.
  - 4) SIGN SHALL BE LOCATED OUTSIDE OF PUBLIC RIGHT-OF-WAY AND EASEMENTS UNLESS APPROVED BY THE GOVERNING AGENCY.
  - 5) CONTRACTOR IS RESPONSIBLE FOR ENSURING STABILITY OF THE SWPPP INFORMATION SIGN.

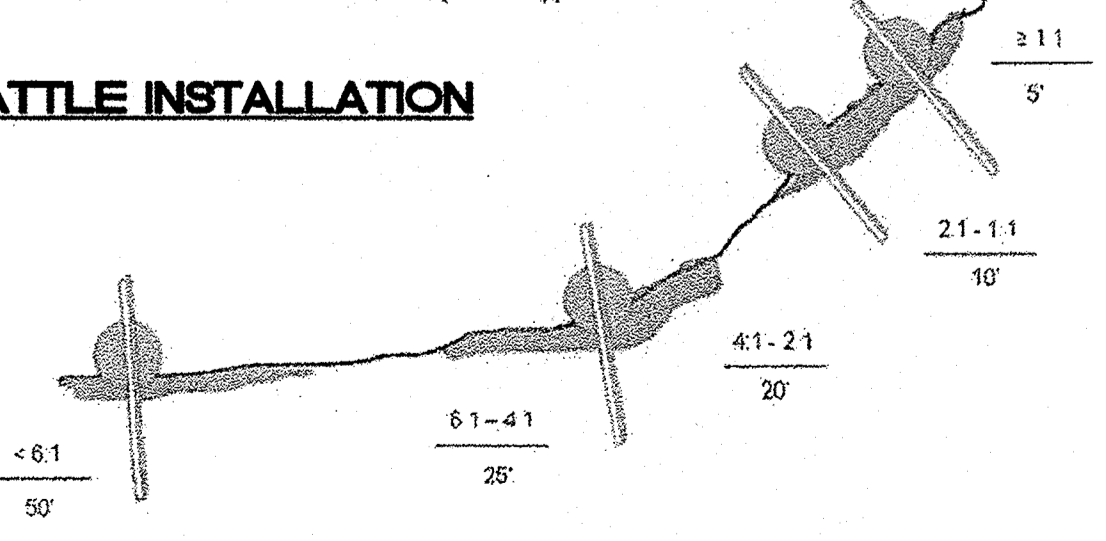
**SWPPP INFORMATION SIGN** (SS)  
N.T.S.



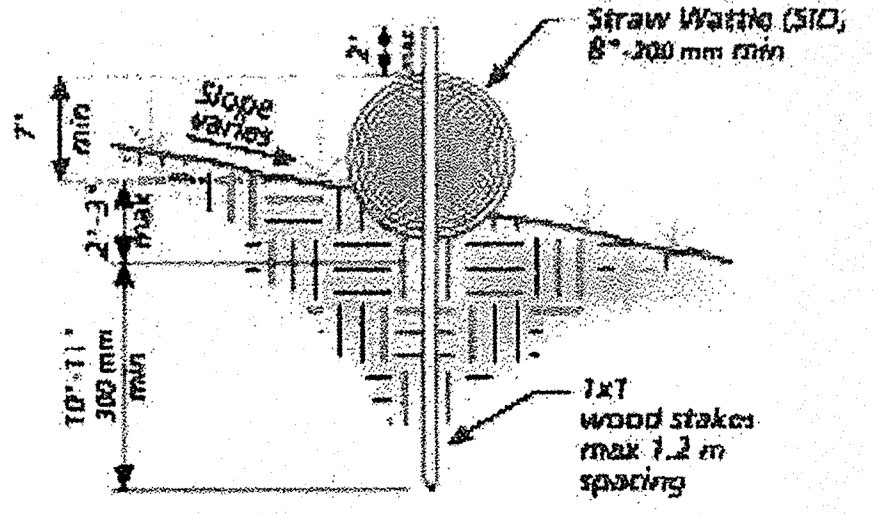
**CONSTRUCTION EXIT** (CE)  
N.T.S.



**TYPICAL WATTLE INSTALLATION**  
N.T.S.



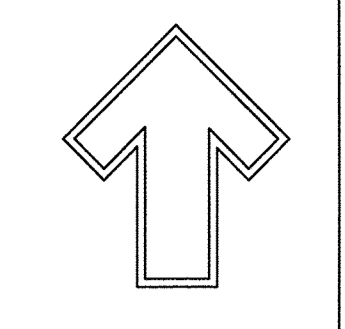
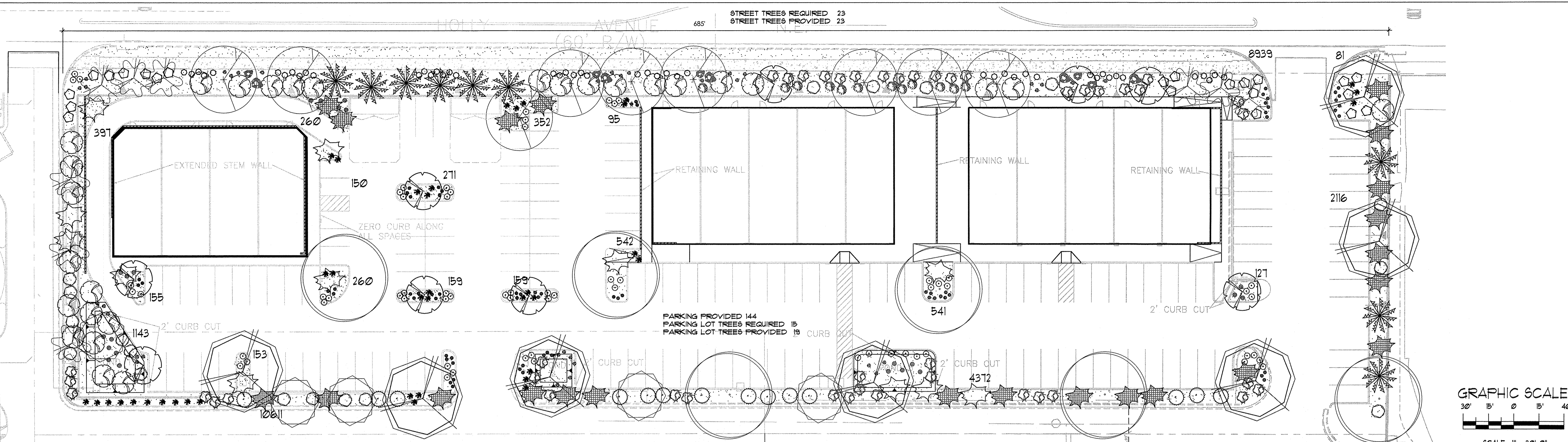
**TYPICAL WATTLE SPACING BASED ON SLOPE GRADIENT**  
N.T.S.



**TRENCHMENT DETAIL**  
N.T.S.

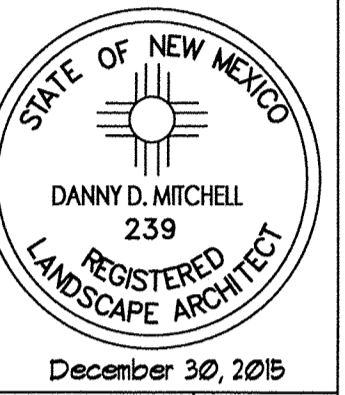
ENGINEER'S SEAL	<b>LOT 2 DEL NORTE PLAZA ALBUQUERQUE, NM</b>	DRAWN BY pm
	<b>TEMPORARY EROSION CONTROL AND SEDIMENTATION DETAILS</b>	DATE 3-17-16
	<b>TIERRA WEST, LLC</b> 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrowestllc.com	DRAWING 2015064-SWPPP
		SHEET # <b>EC-2</b>
		JOB # 2015064



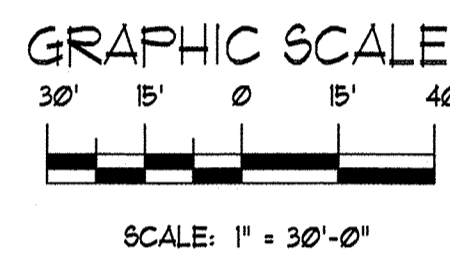


The Hilltop  
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Landscape Architect



December 30, 2015



PARKING PROVIDED 144  
PARKING LOT TREES REQUIRED 15  
PARKING LOT TREES PROVIDED 19

**LANDSCAPE NOTES:**  
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees and shrubs in a living, healthy, and attractive condition.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas.

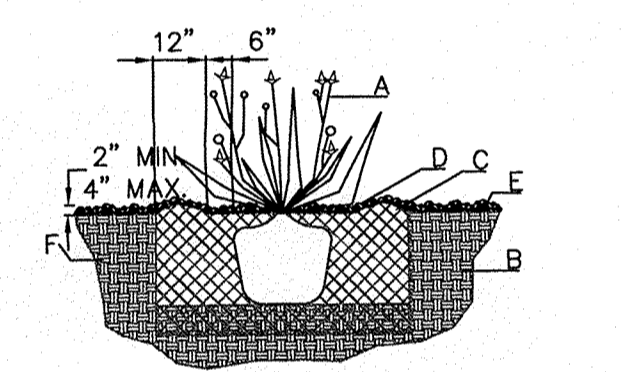
**IRRIGATION NOTES:**  
Irrigation system maintenance and operation shall be the sole responsibility of the owner. It shall be the owners responsibility to ensure that fugitive water does not leave the site due to overwatering.

Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 45' from tree trunk, primed in place. Netafim shall have emitters 12" o.c. with a flow of 6 gph. Shrubs to receive (2) 1/2 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" polytipe with flush caps at each end.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 15 hours, 3 times per week. Run time will be adjusted according to the season.

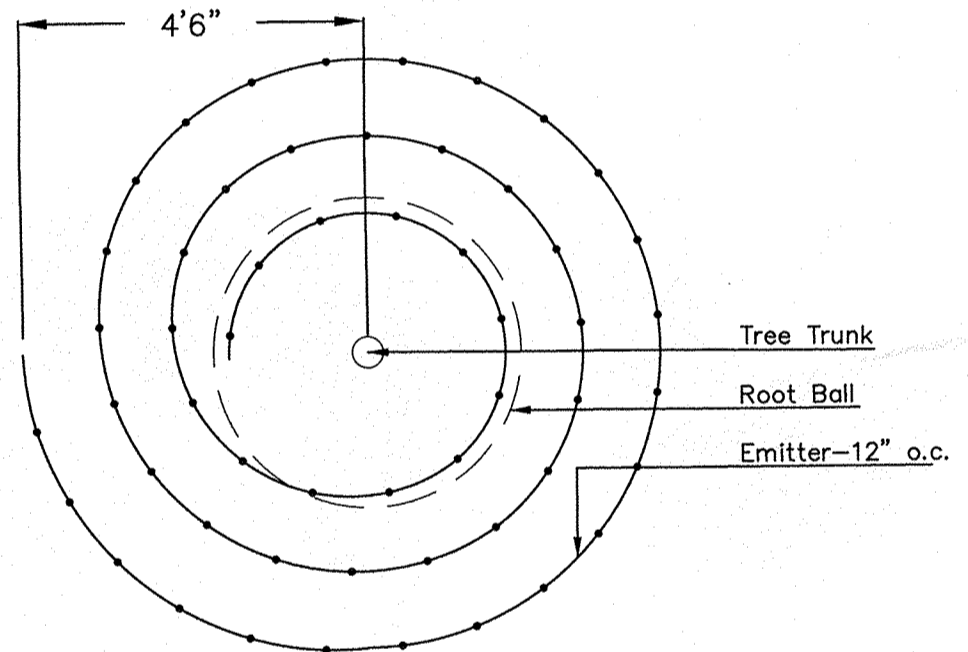
Point of connection for Irrigation system is known at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others. Irrigation maintenance shall be the responsibility of the Property Owner. Water and Power source shall be the responsibility of the Developer/Builder.

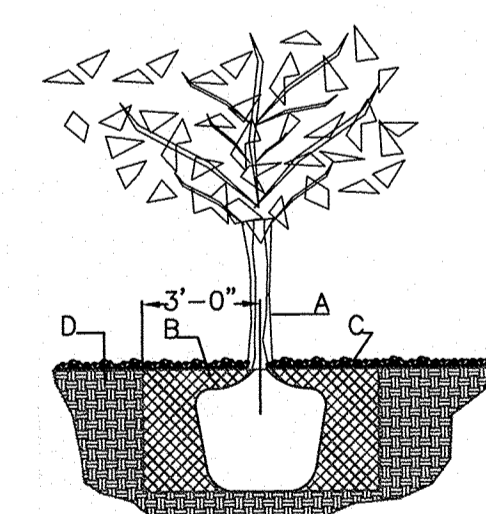


SHRUB PLANTING DETAIL  
NTS

- GENERAL NOTES:**
1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.
- CONSTRUCTION NOTES:**
- A. SHRUB.
  - B. BACKFILL WITH EXISTING SOIL.
  - C. EARTH BERM AROUND WATER RETENTION BASIN.
  - D. 3" DEPTH OF GRAVEL MULCH.
  - E. FINISH GRADE.
  - F. UNDISTURBED SOIL.



Netafim Spiral Detail

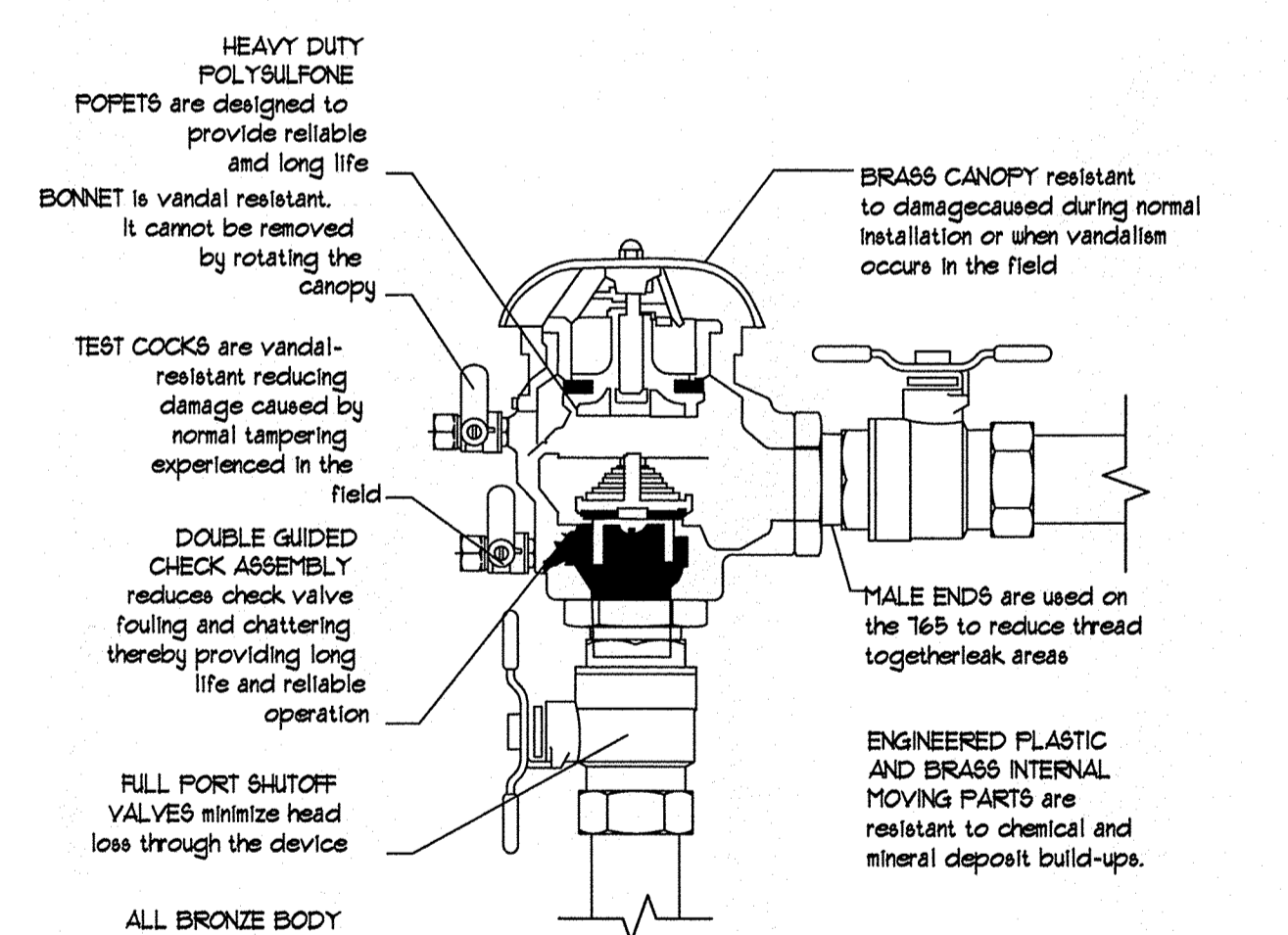


TREE PLANTING DETAIL  
NTS

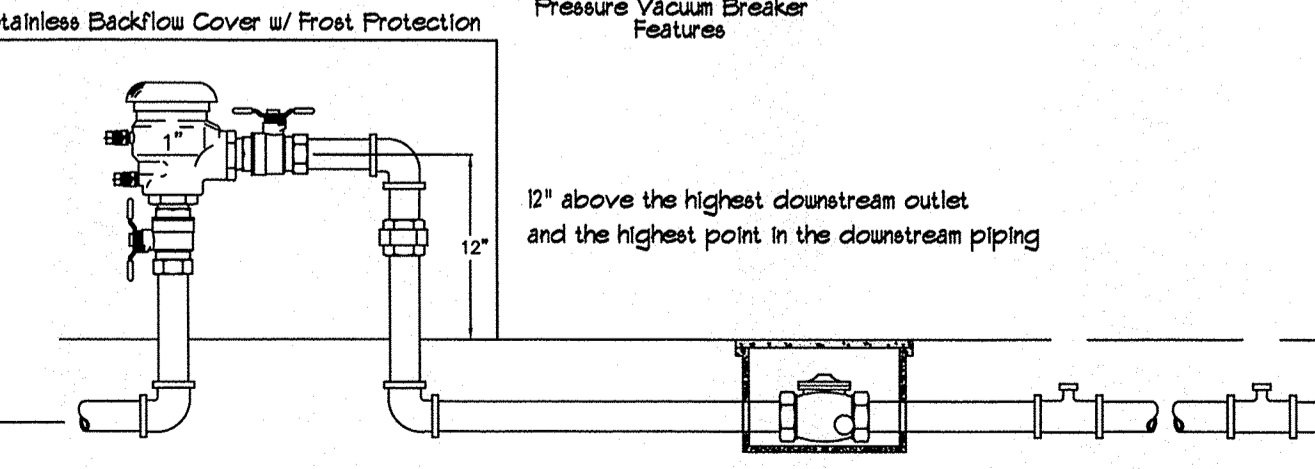
- GENERAL NOTES:**
1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
  2. TOP OF ROOTCOLLAR INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
  3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
  4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.
- CONSTRUCTION NOTES:**
- A. TREE
  - B. BACKFILL WITH EXISTING SOIL.
  - C. 3" DEPTH OF GRAVEL MULCH.
  - D. UNDISTURBED SOIL.

**LANDSCAPE CALCULATIONS**

TOTAL LOT AREA (sf)	110513
TOTAL BUILDING AREA PHASE ONE	24050
NET LOT AREA PHASE ONE	86463
TOTAL REQUIRED LANDSCAPE AREA	15%
TOTAL REQUIRED LANDSCAPE AREA	12363
TOTAL PROVIDED LANDSCAPE AREA	30883
TOTAL REQUIRED LIVE GROUNDCOVER 75%	23167
TOTAL PROVIDED LIVE GROUNDCOVER	23301
TOTAL PROVIDED LIVE PLANT MATERIAL	30262



FEBCO MODEL 765  
Pressure Vacuum Breaker  
Features



FEBCO MODEL 765  
Pressure Vacuum Breaker  
Outside Installation

**LANDSCAPE LEGEND**

QTY	SIZE	COMMON/BOTANICAL	Height x spread	H2O USE
<b>Trees</b>				
9	2" cal	Chinese Flatlace <i>Fistacia chinensis</i>	40x35 1225 11025	M+
6	2" cal	Honey Locust <i>Gleditsia triacanthos 'Inermis'</i>	50x45 2025 12150	M
1	2" cal	Bur Oak <i>Quercus macrocarpa</i>	60x70 4900 34300	M
9	4 - 6'	Pinon <i>Pinus edulis</i>	30x20 400 3600	M
9	15 Gal	Washington Hawthorn <i>Crataegus phaenopynum</i>	20x20 400 5200	M
			66275	
<b>Shrubs &amp; Groundcovers</b>				
5	15 Gal	Desert Willow <i>Chilopsis linearis</i>	20x25 625 3125	M
9	15 Gal	Vitex <i>Multi-Trunked agnus-castus</i>	20x20 625 5601	M
12	5 Gal	India Hawthorne <i>Rapanea indica</i>	3x5 25 300	M
18	5 Gal	Purple Leaf Sand Cherry <i>Prunus cistena</i>	6x6 36 648	M
44	5 Gal	Low Grow Sumac <i>Rhus aromatica</i>	6x6 36 1512	L
22	5 Gal	Rock Cotoneaster <i>Cotoneaster dammeri</i>	2x1 49 1078	M
39	1 Gal	Karl Foerster Grass <i>Calamagrostis arundinacea</i>	25x3 9 351	M
12	5 Gal	Winter Jasmine <i>Jasminum nudiflorum</i>	4x12 144 1728	M
23	5 Gal	Buffalo Juniper <i>Juniperus sibirica 'Buffalo'</i>	1x12 144 3312	M
28	1 Gal	Halls Honeysuckle vine <i>Lonicera japonica Halliana</i>	12x12 144 4032	L
64	1 Gal	Blue Mist <i>Caryopteris x clandonensis</i>	3x3 9 576	M
14	1 Gal	Apache Plume <i>Fallugia paradoxa</i>	6x7 49 686	L
47	1 Gal	Cherry Sage <i>Salvia greggii</i>	2x3 9 423	M
68	1 Gal	Day Lilly <i>Hemerocallis 'Stella d'Oro'</i>	15x15 3 228	L
30	1 Gal	Maiden Hair Grass <i>Miscanthus sinensis 'gracillimus'</i>	3x2 4 84	L
22	1 Gal	Shenandoah Switch Grass <i>Panicum virgatum 'Shenandoah'</i>	3x2 9 111	L
			Live Ground Cover	23807
15	2-3cf	Boulders To be placed at contractor discretion		
30708		Landscape Gravel / Filter Fabric 3/4" Crushed Gray Filter Fabric		
		Live Veg. Cover	13258	

HOLLY SHOPPING CENTER  
HOLLY & SAN PEDRO DR.  
Albuquerque, NM 87106

LANDSCAPE PLAN

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DRAWN BY: U  
REVISION: 12-30-15  
DATE: 1/2/2016

SHEET \*  
LS-101

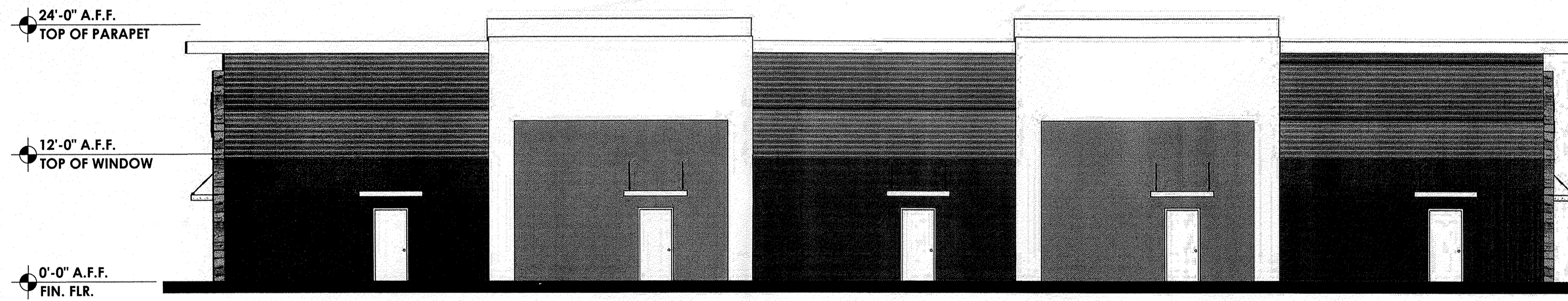




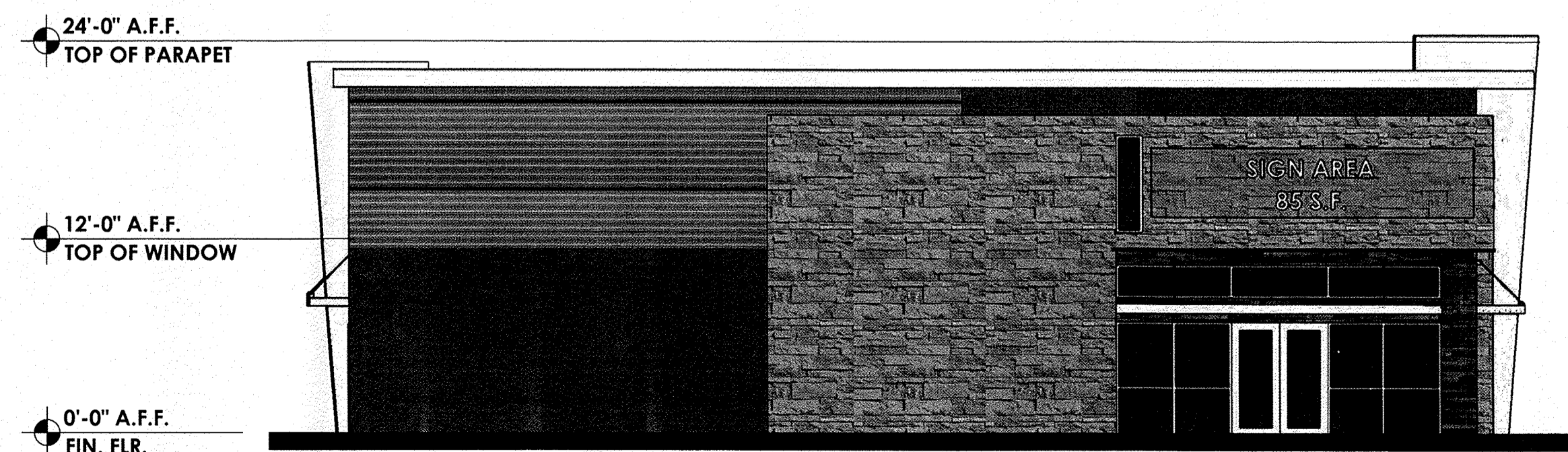
SOUTH ELEVATION  
1/8" = 1'-0"



EAST ELEVATION  
1/8" = 1'-0"



NORTH ELEVATION  
1/8" = 1'-0"



WEST ELEVATION  
1/8" = 1'-0"

HOLLY SHOPPING CENTER  
EXTERIOR ELEVATIONS  
HOLLY & SAN PEDRO DR. ALBUQUERQUE, NM 87106  
PROJECT # 1547

REVISION DATE
DATE
11-09-2015
SHEET NUMBER
A-2