

HOLLY SHOPPING CENTER

SITE PLAN FOR BUILDING PERMIT

INDEX OF DRAWINGS

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C-2.0	SITE DETAILS
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CU-101	UTILITY PLAN
LS-1	LANDSCAPING PLAN
A.3.0	EXTERIOR ELEVATIONS

GENERAL NOTES

- PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
- PROVIDE EXPANSION JOINTS IN CONCRETE WALK @ 40' O.C. AND WHERE CONCRETE ABUTS THE BUILDING.
- PREMISE IDENTIFICATION - SHALL BE MINIMUM 10" INCHES HIGH AND SHALL CONTRAST WITH THEIR BACKGROUND AND SHALL BE VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. EACH BUILDING TO HAVE INDIVIDUAL PREMISE I.D.
- G.C. TO PROVIDE FIRE EXTINGUISHERS 2A-10 BC, 1 PER EACH 3,000 S.F., REF: FLOOR PLANS FOR QUANTITY AND LOCATIONS.

PARKING REQUIREMENTS:

REQUIRED PARKING	32 PARKING SPACES
BUILDING ONE:	66 PARKING SPACES
BUILDING TWO:	46 PARKING SPACES
BUILDING THREE:	144 PARKING SPACES
TOTAL PARKING REQUIRED:	146 SPACES PROVIDED (INCLUDING 8 HC SPACES)
TOTAL PARKING PROVIDED:	
HANDICAPPED SPACES REQUIRED =	8 HANDICAPPED SPACES
HANDICAPPED SPACES PROVIDED=	INCLUDING (2) VAN ACCESSIBLE
MOTORCYCLE SPACES REQUIRED=	8 TOTAL (2 VAN ACCESSIBLE)
MOTORCYCLE SPACES PROVIDED=	4 TOTAL
	4 TOTAL

- KEYED NOTES**
- CONSTRUCT 6" CONCRETE CURB AND GUTTER, SEE: DETAIL: 06/C-2
 - ASPHALT PAVEMENT ON BASE COURSE, SEE DETAIL: 05/C-2
 - 7'-0" RADIUS
 - CONSTRUCT CONCRETE SIDEWALK
 - 4" WIDE WHITE PARKING STRIPE AS SHOWN, PER LOCAL CITY CODE AND STANDARDS
 - 4'-0" WIDE MINIMUM HANDICAP ACCESSIBLE AISLE STRIPPING PER LOCAL CITY CODE AND STANDARDS
 - INTERNATIONAL SYMBOL OF ACCESSIBILITY, CENTER IN PARKING SPACE
 - ASPHALT PAVING & H.C. ACCESSIBLE AISLE TO BE FLUSH WITH CONCRETE SIDEWALK AT ALL LOCATIONS, SEE DETAIL: 5/C-2
 - INSTALL CONCRETE WHEEL STOP
 - INSTALL HANDICAP PARKING SIGNAGE AT ALL HANDICAP SPACES, DETAIL 2/C-1
 - DUMPSTER ENCLOSURE, REF: DETAIL 08/C-2
 - FIRE HYDRANT
 - EXISTING SITE LIGHT WITH CONCRETE BASE, REF: ELECTRICAL FOR DETAILS
 - C.M.W. RETAINING WALL, SEE CIVIL FOR DETAIL
 - CLEAR SIGHT TRIANGLE: LANDSCAPING, FENCING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS, THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE
 - EXISTING SIGHT LIGHTING TO BE RELOCATED TO THIS LOCATION
 - 6x7' TRANSFORMER CONCRETE PAD, BUILD PER PNM DRAWING

DESIGN CRITERIA

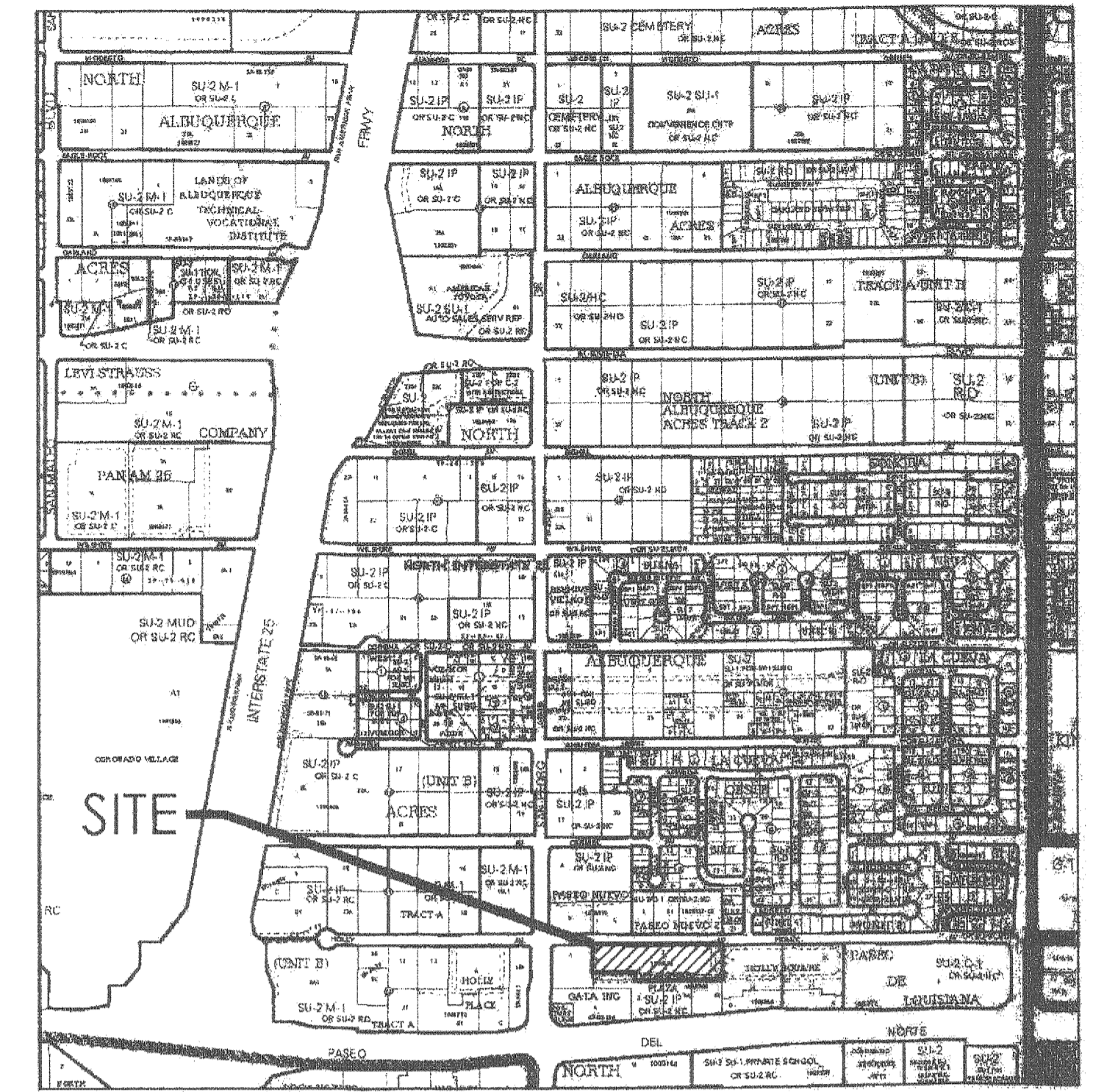
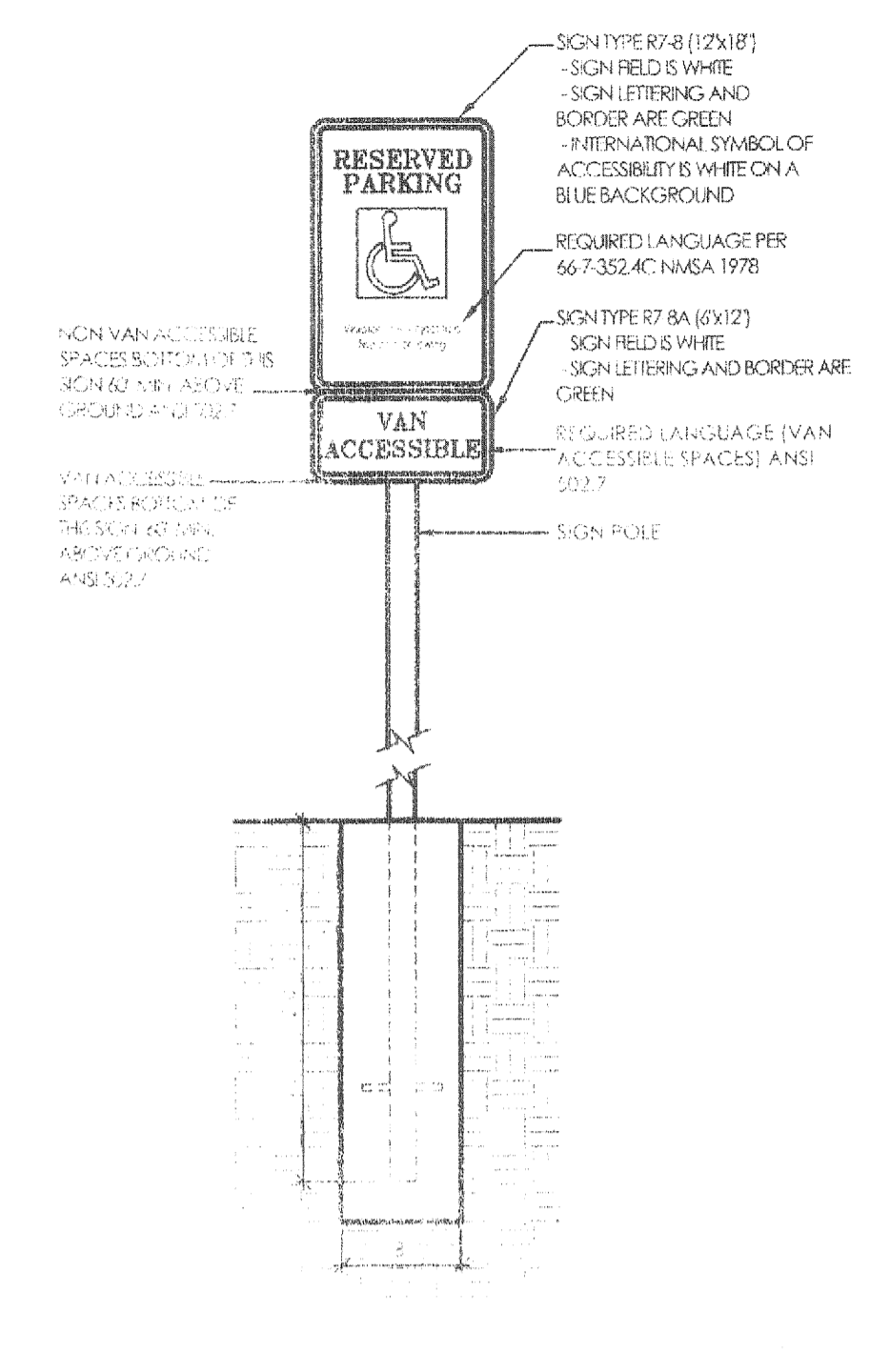
BUILDING CONSTRUCTION TYPL: 2-B NON-COMBUSTIBLE

MAXIMUM BUILDING SIZE: 9,000 SQ. FT.

FIRE SEPARATION: 2-HOUR SEPARATION WALLS BETWEEN SPACES

MAXIMUM BUILDING HT: 24'-0" (NOT TO EXCEED 30'-0")

H.C. ACCESSIBLE SIGN DETAIL



VICINITY MAP - C-18-Z
N.T.S.

PROJECT NUMBER: 1006868
APPLICATION NUMBER:

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) DATED _____ AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

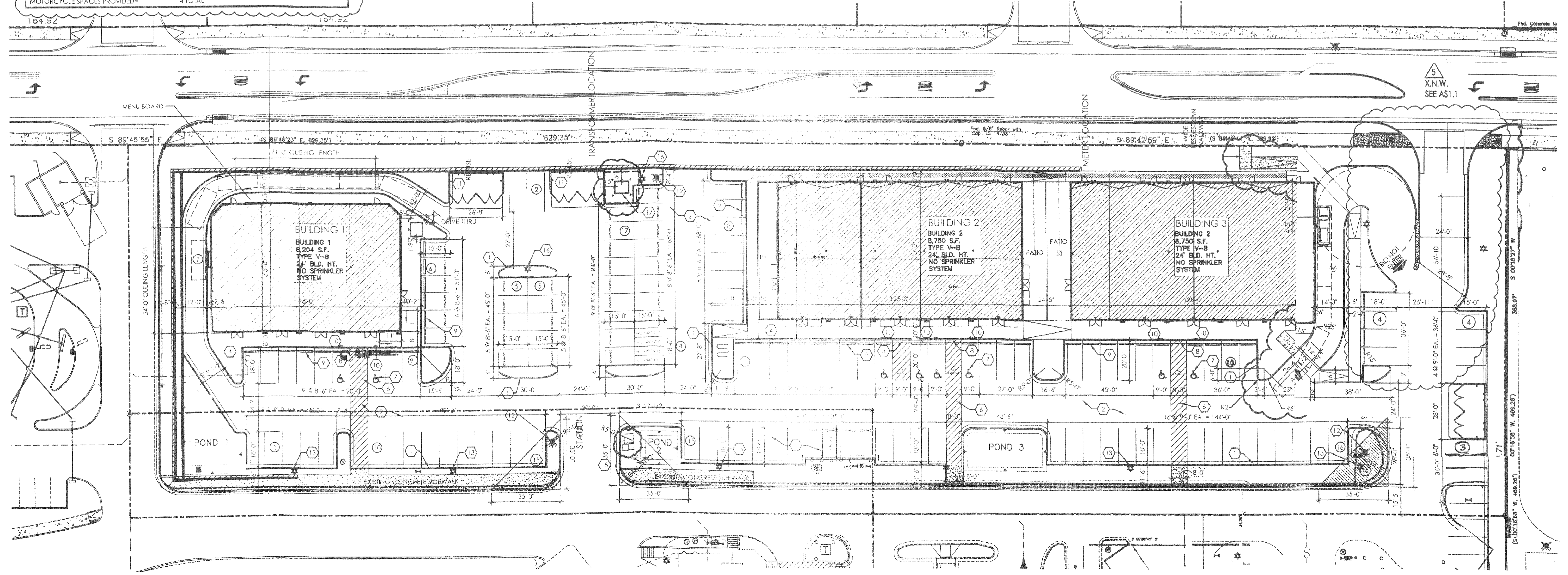
IS AN INFRASTRUCTURE LIST REQUIRED? () YES () NO IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT OF WAY OF FOR THE CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

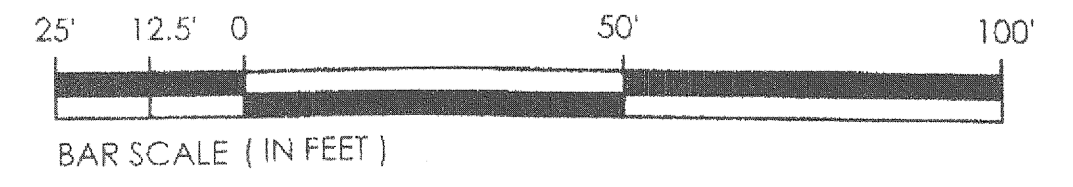
<i>Roguel M. Mail</i>	4/12/17
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
<i>Thaila Cade</i>	05-22-17
ABCWUA	DATE
<i>Osandora</i>	4/12/17
PARKS AND RECREATION DEPARTMENT	DATE
<i>Kenee Brissett</i>	4/12/17
CITE ENGINEER	DATE
<i>M</i>	5-22-17
*ENVIRONMENTAL HEALTH DEPARTMENT	DATE
<i>M</i>	5-22-17
SOLID WASTE MANAGEMENT	DATE
<i>J. J. [unclear]</i>	5-22-17
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

DRB ADMINISTRATIVE SITE PLAN AMENDMENT

PROJECT NO. 1006868
APPLICATION NO. 17-001-10536
DATE 10-25-2017
PLANNING DIRECTOR



OVERALL SITE PLAN
C-1 1" = 25'-0"



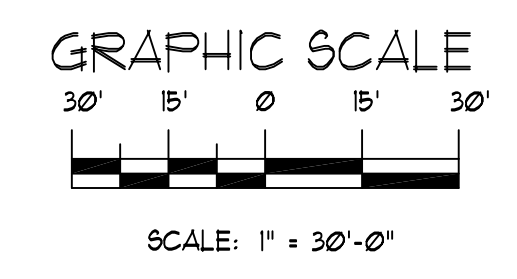
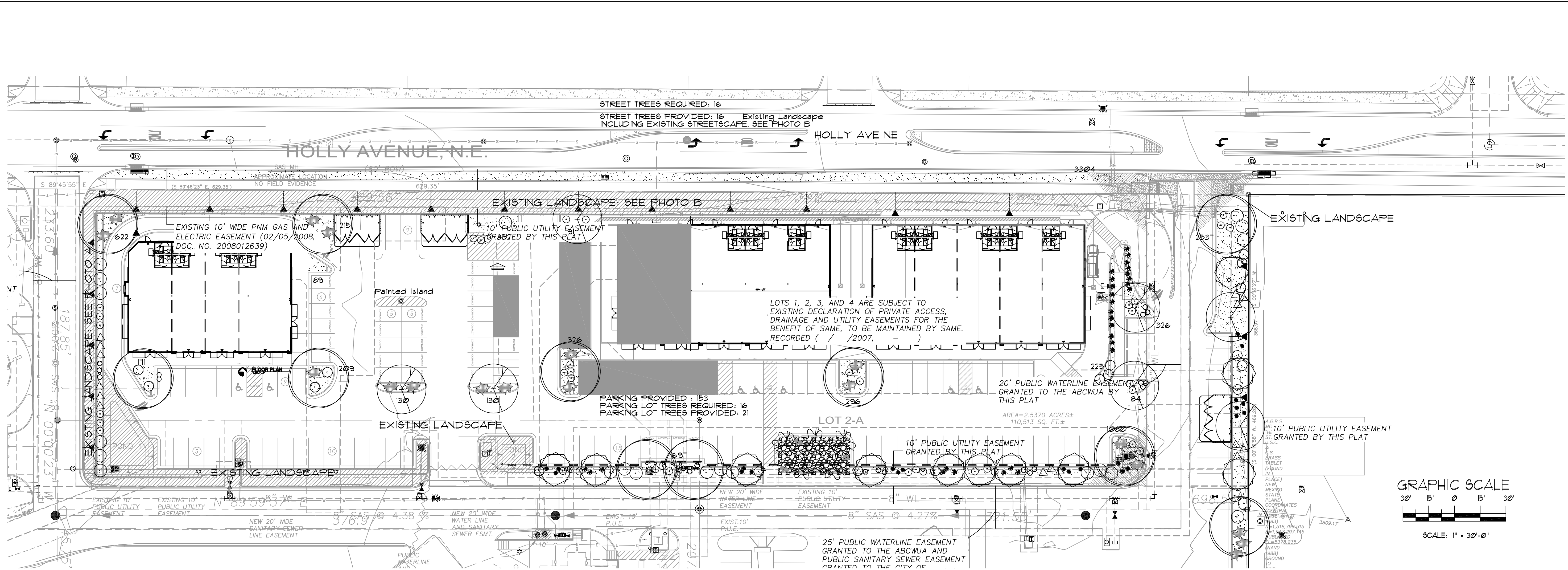
HOLLY SHOPPING CENTER
SITE PLAN
8136 HOLLY AVE. NW, Albuquerque, NM 87106
PROJECT # 1547

REVISION DATE
03-04-2016
08-25-2016
03-07-2017
10-25-2017

STATE OF NEW MEXICO
RICHARD P. BENNETT
No. 1240
03/03/17
REGISTERED ARCHITECT

RBA ARCHITECTURE
ARCHITECTURE
PLANNING
DESIGN
INTERIOR DESIGN
1000 UNIVERSITY BLVD. SW
ALBUQUERQUE, NM 87102
www.rbaarch.com

DATE: 05-09-2016
SHEET NUMBER: C-1



LANDSCAPE LEGEND

QTY	SIZE	COMMON/BOTANICAL	H2O USE
Trees			
1	2" cal	Chinese Pistache <i>Pistacia chinensis</i>	900 1200 M
11	2" cal	Honey Locust <i>Gleditsia triacanthos</i>	48x35 1225 14700 M
5	15 Gal	Vitex Multi-Trunk Vitex <i>agnus-castus</i>	20x20 400 6000 M 27900
Shrubs & Groundcovers			
11	15 Gal	Desert Willow <i>Chilopsis linearis</i>	20x25 625 6875 L
28	5 Gal	Maidenhair Grass <i>Miscanthus sinensis 'Gracillimus'</i>	7x4 16 288 M
23	5 Gal	Feather Reed Grass <i>Calamagrostis arudinacea</i>	25x2 4 92 M
15	5 Gal	Butterfly Bush <i>Buddleia davidii</i>	5x5 25 375 M
18	5 Gal	Gro-Low Sumac <i>Cotoneaster glaucophyllus</i>	3x8 64 1216 M
31	5 Gal	Blue Mist <i>Caryopteris x clandonensis</i>	3x3 9 333 M
11	5 Gal	Grayleaf Cotoneaster <i>Cotoneaster glaucophyllus</i>	4x6 36 612 M
22	5 Gal	Redtwig Dogwood <i>Cornus sericea 'Bailey'</i>	3x8 64 1408 M
18	1 Gal	Cherry Sage <i>Salvia greggii</i>	2x3 9 162 M
12	2-3cf	Boulders	TOTAL GROUNDCOVER 11861 To be placed at contractor discretion
10589		Landscape Gravel / Filter Fabric 3/4" Crushed Gray	
934		San Lazarus Gold Rip Rap 6-8"	
11810		Existing Landscape	
23333			



PHOTO "A"



PHOTO "B"

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Follen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Brown Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, primed in place. Netafim shall have emitters 12" o.c. with a flow of 6 gph. Shrubs to receive (2) 1/2" GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

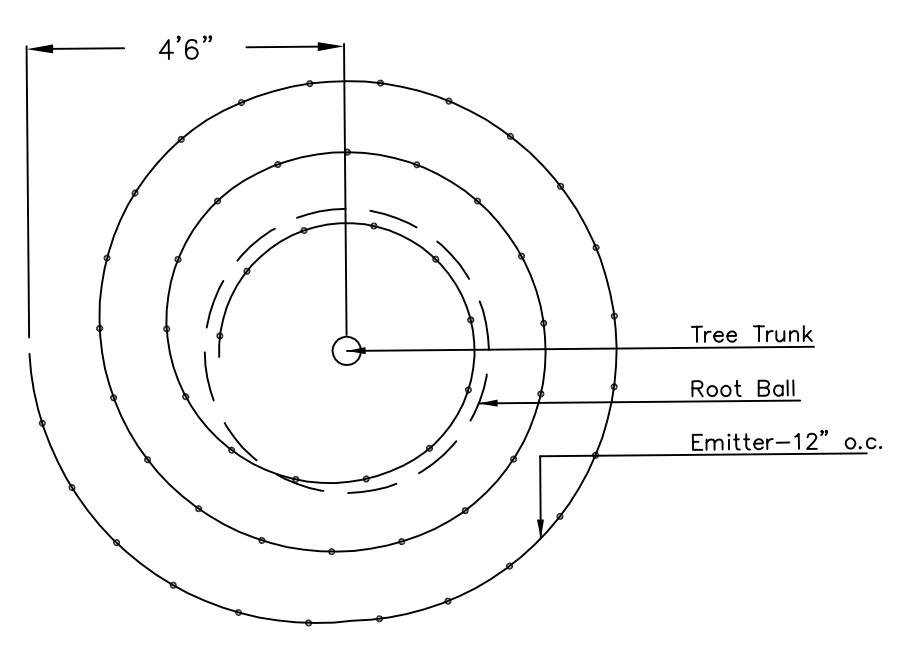
Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 15 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

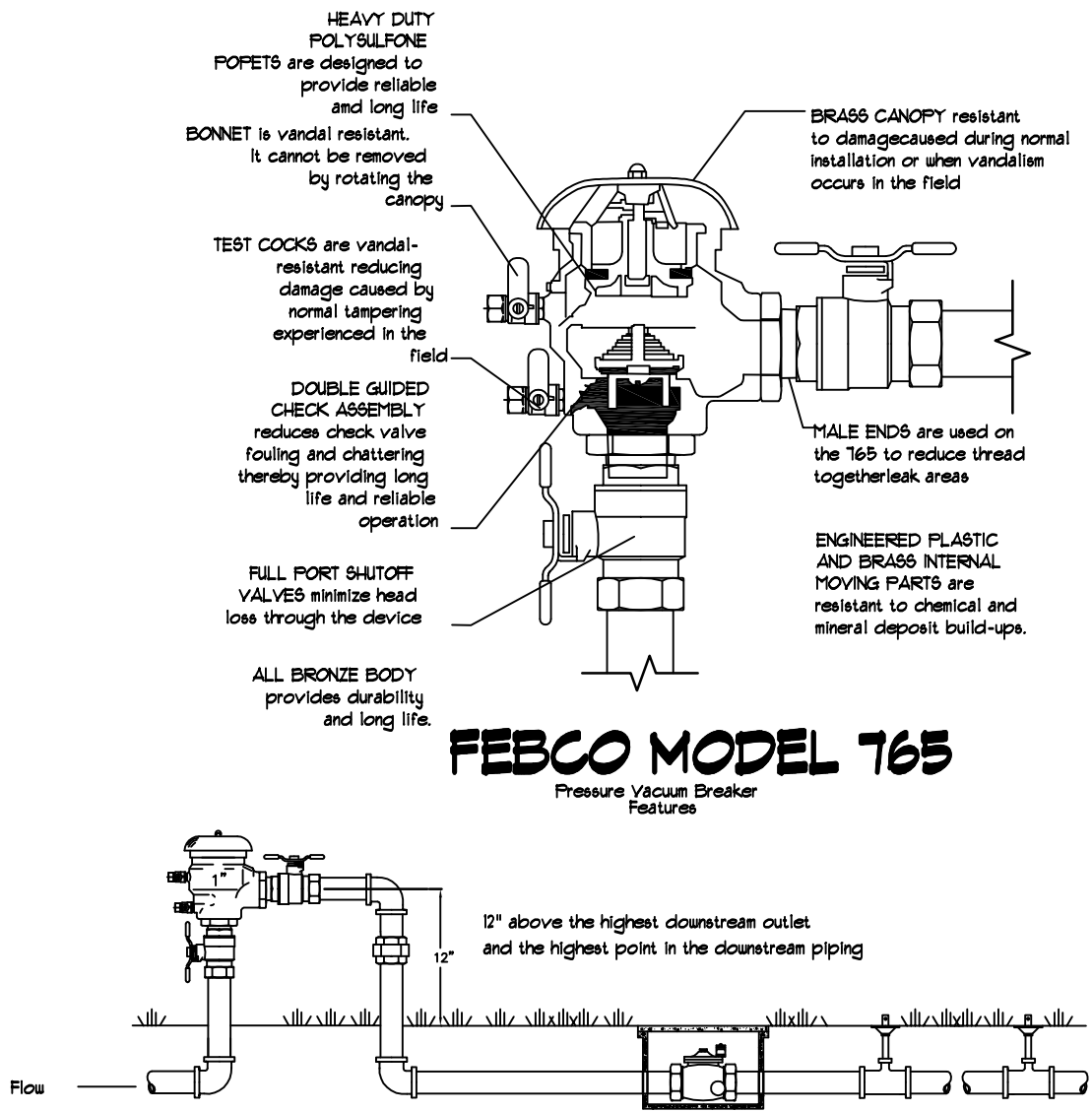
Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

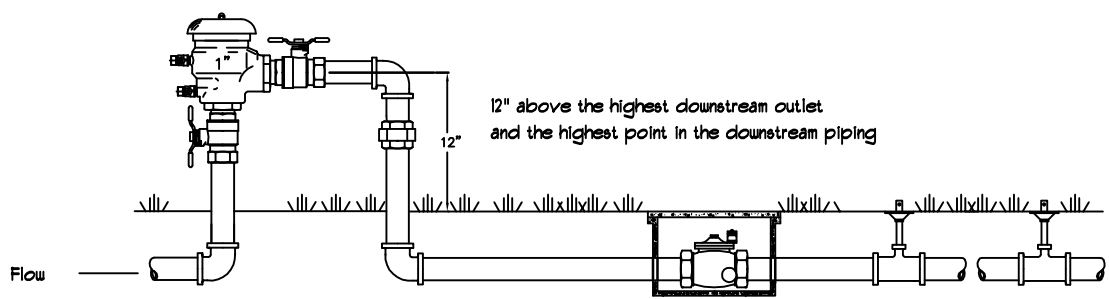
Water and Power source shall be the responsibility of the Developer/Builder.



Netafim Spiral Detail



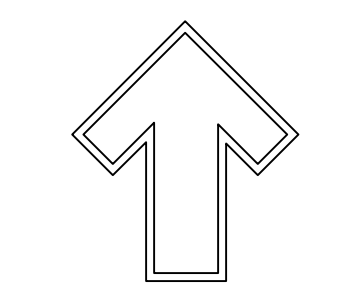
FEBCO MODEL 765
Pressure Vacuum Breaker Features



FEBCO MODEL 765
Pressure Vacuum Breaker Outside Installation

LANDSCAPE CALCULATIONS

TOTAL LOT AREA (sf)	110513
TOTAL BUILDING AREA (sf)	23704
TOTAL LOT AREA (sf)	86809
LANDSCAPE REQUIREMENT	X .15
TOTAL LANDSCAPE REQUIRED (15%)	13021
TOTAL LANDSCAPE PROVIDED	23333
TOTAL LIVE GROUNDCOVER REQUIRED (30%)	10000
TOTAL LIVE GROUNDCOVER PROVIDED	11561
TOTAL LIVE PLANT MATERIAL	39261



The Hilltop
1929 Edith NE
Albuquerque, NM 87113
Cont. Lic. #16-453
Ph: (505) 898-9690
Fax: (505) 898-1131
danny@hilltoplandscaping.com

Landscape Architect



Holly Shopping Center
Holly + San Pedro Dr.
Albuquerque, NM

LANDSCAPE PLAN

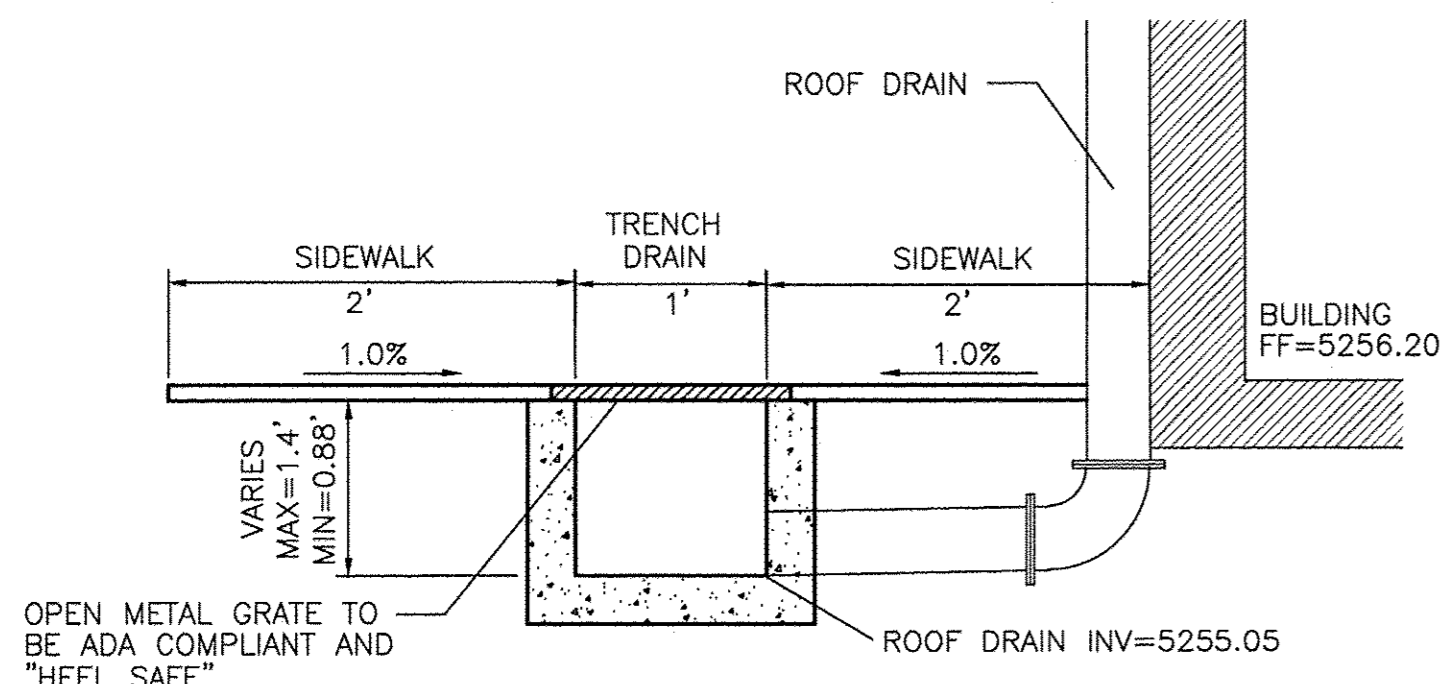
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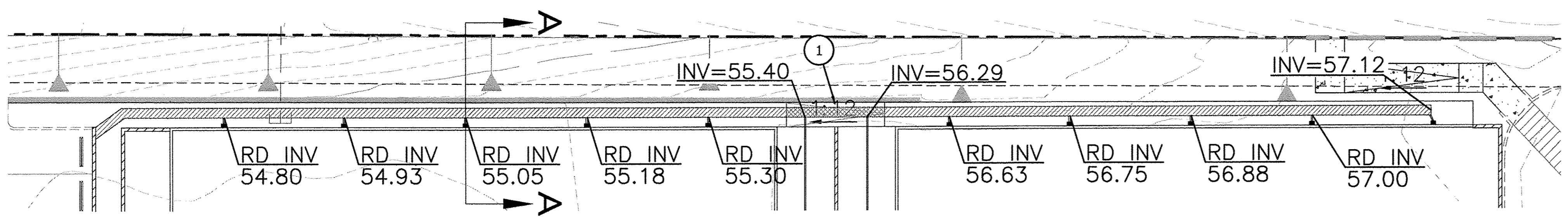
REVISION	DATE
1	12/20/15
2	1/13/16
3	6/29/16
4	10/26/16
5	1/16/2017
6	3/17/2017
7	10/16/2017

DRAWN BY: [Name]

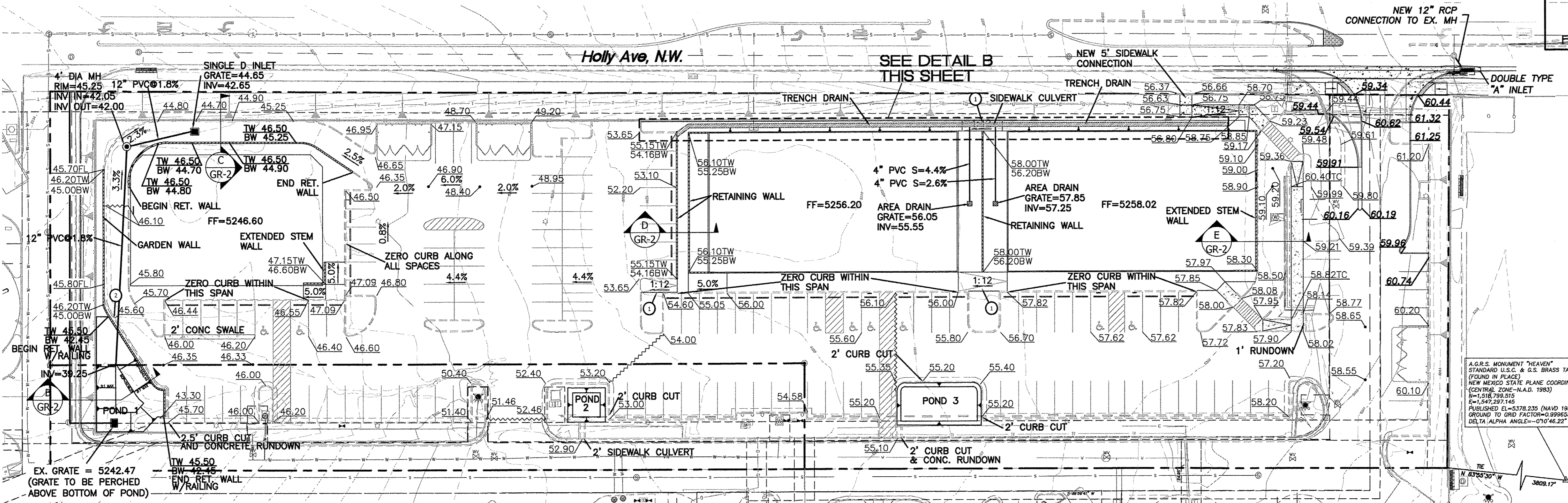
SHEET #
LS-101



SECTION A-A
NTS



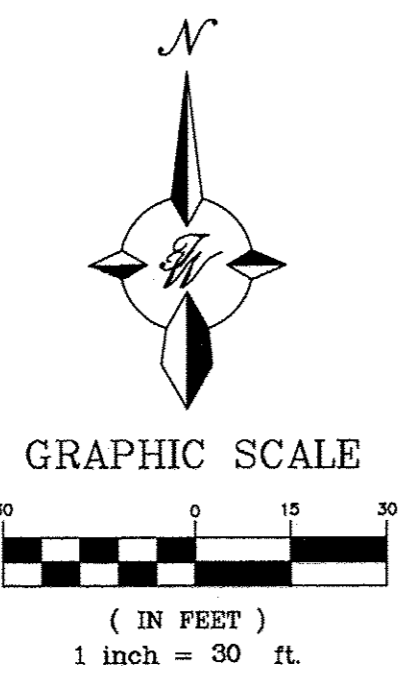
DETAIL B - TRENCH DRAIN DETAIL
NTS



DET POND	VOL. REQUIRED	VOL. PROVIDED	TOP ELEV.	BOT ELEV.
1	1665.73 CF	1667.15 CF	5242.45	5239.25
2	282.93 CF	301.84 CF	5253.00	5251.75
3	734.98 CF	737.08 CF	5255.20	5254.20

NOTE - 2:1 SIDE SLOPES FROM CURB TO TOP OF POND 1
3:1 MAX SIDE SLOPES FROM TOP TO BOTTOM OF POND 1
2:1 MAX SIDE SLOPES ON PONDS 2 AND 3

- KEYED NOTES**
- ① ADA RAMP WITH RAILING
 - ② 2 FT CURB CUT



NOTICE TO CONTRACTORS

1. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
3. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
4. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
5. SOURCE OF TOPO IS ALTA/ACSM LAND TITLE SURVEY OF LOT 2 HARMS INDUSTRIAL PARK PREPARED BY PRECISION SURVEYS, INC DATED JUNE, 2014.

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

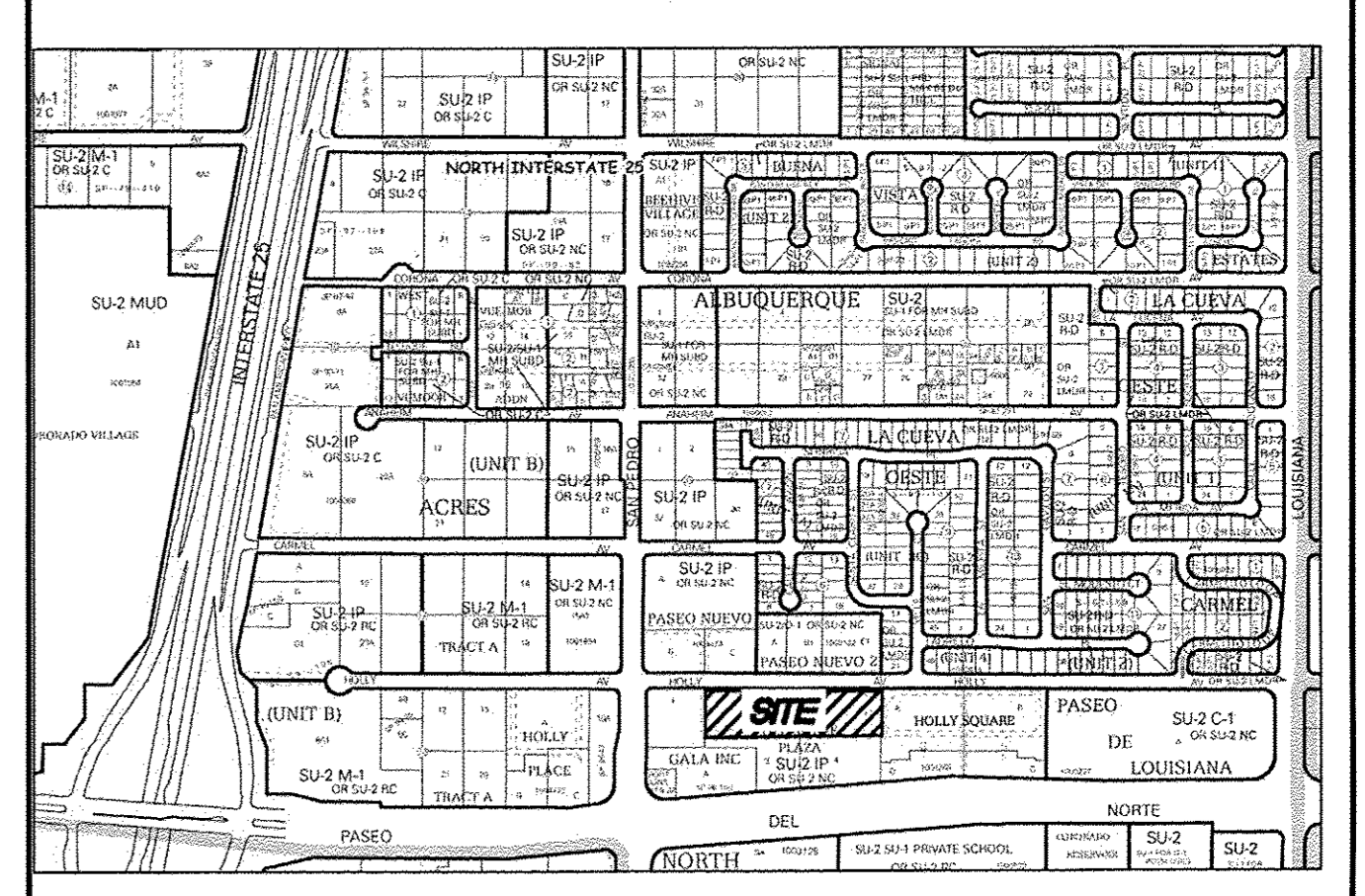
CAUTION:

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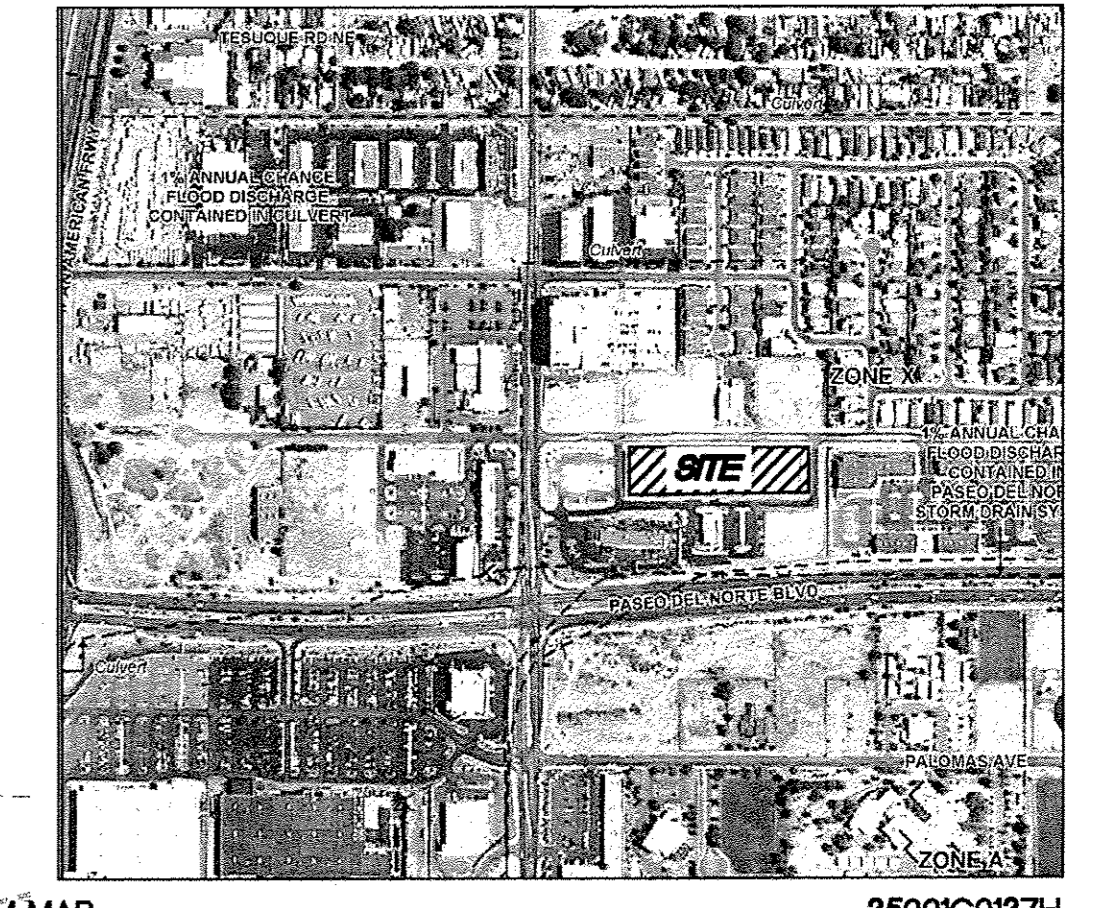
NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		



ZONE ATLAS C-18-Z



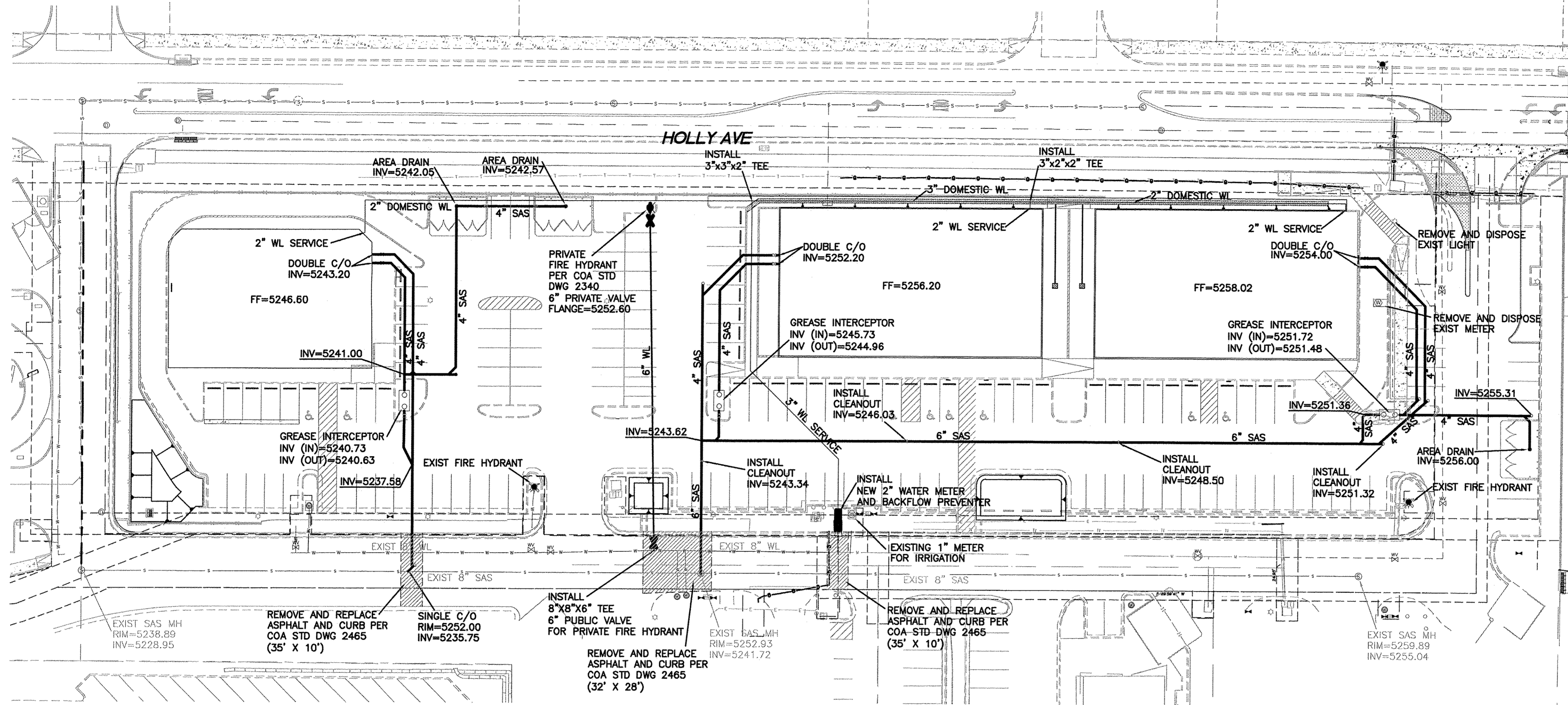
FIRM MAP 3500C0137H

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- SIDEWALK
- EXISTING CURB & GUTTER
- SINGLE CLEAN OUT
- ∞ DOUBLE CLEAN OUT
- EXISTING SD MANHOLE
- EXISTING SAS MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER METER
- EXISTING POWER POLE
- EXISTING GAS VALVE
- EXISTING OVERHEAD UTILITIES
- EXISTING GAS
- EX. 8" SAS — EXISTING SANITARY SEWER LINE
- EX. WL — EXISTING WATER LINE
- EX. RCP — EXISTING STORM SEWER LINE
- 4950 — EXISTING INDEX CONTOUR
- EXISTING CONTOUR
- WATER BLOCK

ROUGH GRADING APPROVAL

	LOT 2 DEL NORTE PLAZA ALBUQUERQUE, NM	DRAWN BY pm
	GRADING AND DRAINAGE PLAN	DATE 10-26-17
	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING 2015064-GR
JOEL D. HERNANDEZ P.E. #17893		SHEET # GR-1
		JOB # 2015064

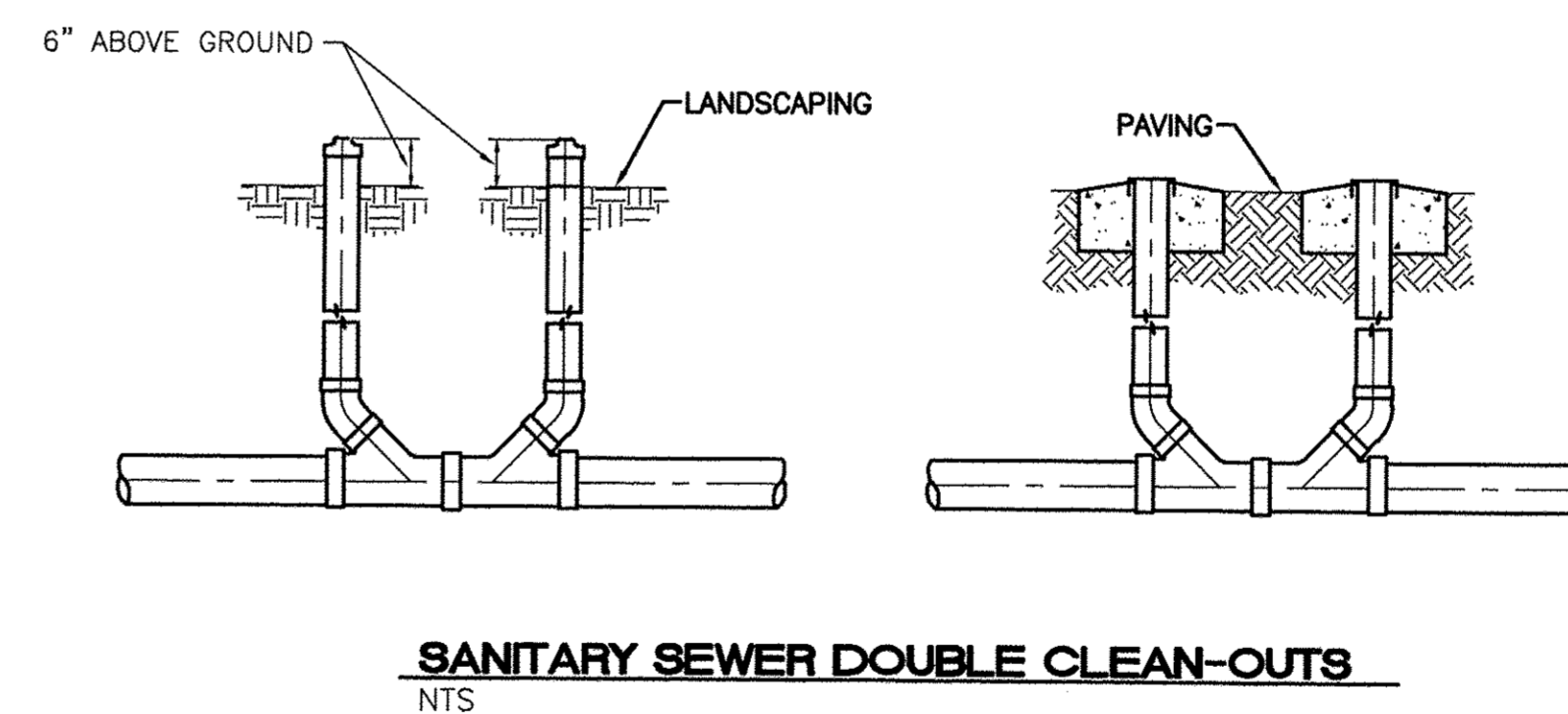
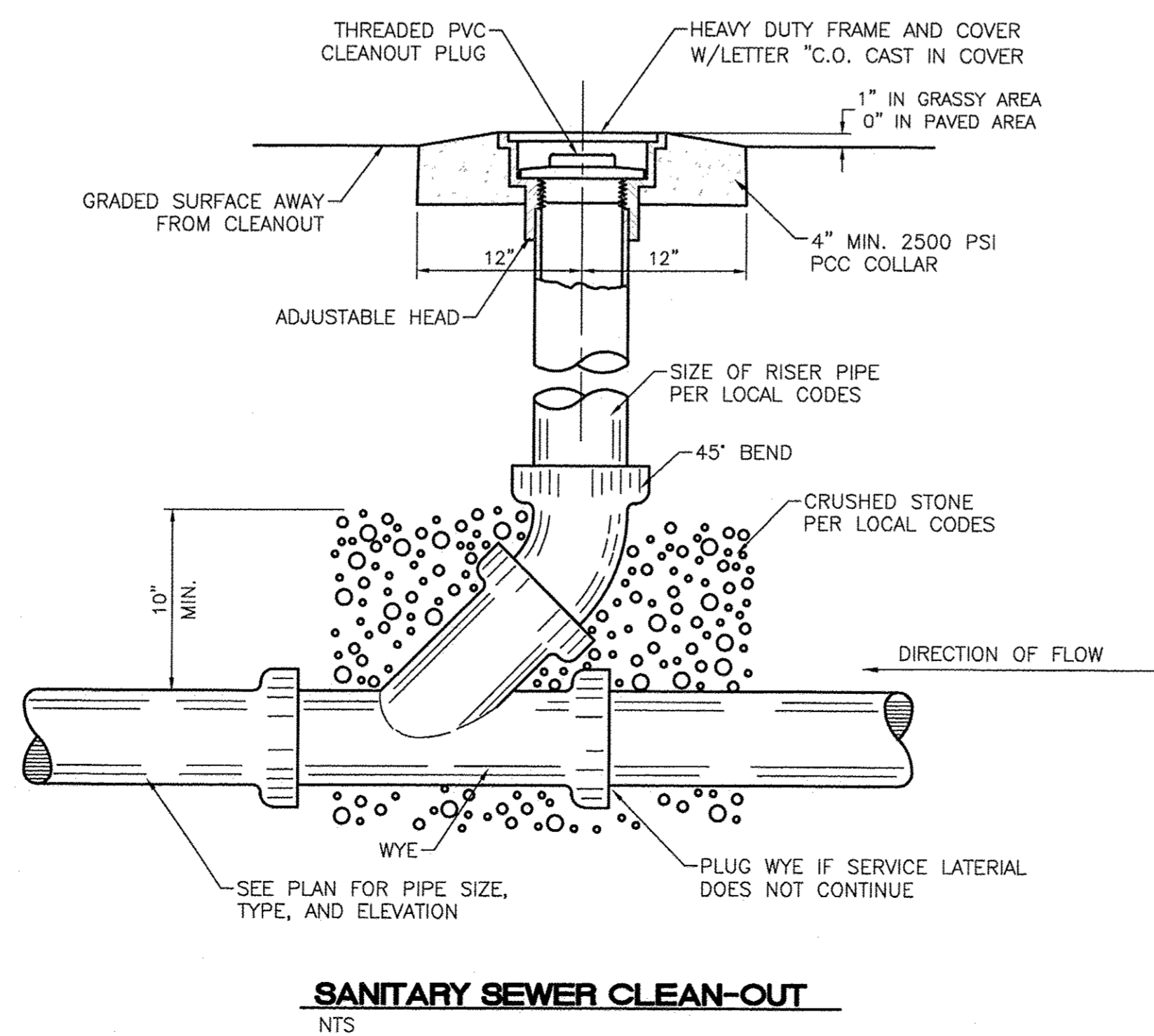


LEGEND	
	CURB & GUTTER
	BOUNDARY LINE
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	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING STORM SEWER LINE
	EXISTING INDEX CONTOUR
	EXISTING CONTOUR

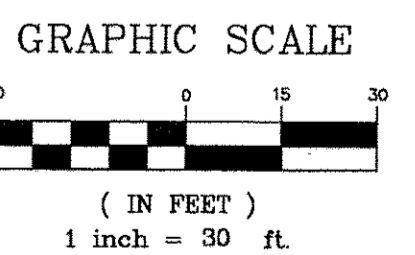
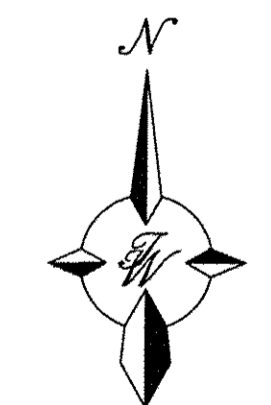
NOTE
ALL PROPOSED UTILITIES AND APPURTENANCES ARE PRIVATE

GENERAL UTILITY NOTES:

- ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH CITY OF ALBUQUERQUE SPECIFICATIONS FOR PUBLIC UTILITY CONSTRUCTION, 1986 EDITION (UPDATE NO 8) INCLUDING AMENDMENT NO 1..
- 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
- REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
- CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
- ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
- IRRIGATION AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. IF BACKFLOW PREVENTOR IS INSTALLED EXTERIOR OF BUILDING A HOT BOX SHALL BE INSTALLED AND USED.
- ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
- ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.
- PNM HAS NUMEROUS ELECTRIC FACILITIES AT THIS SITE CURRENTLY SERVING EXISTING CUSTOMERS. THE APPLICANT SHALL COORDINATE WITH PNM REGARDING THESE EXISTING FACILITIES. ANY RELOCATION, CHANGES OR REALIGNMENT OF EXISTING ELECTRIC UTILITIES WILL BE THE DEVELOPER EXPENSE. IN SOME CASES, RELOCATION OR CHANGES TO EXISTING FACILITIES MAY NOT BE FEASIBLE DUE TO PHYSICAL, USE OR SAFETY CLEARANCE CONSTRAINTS.
- PNM WILL REVIEW ALL TECHNICAL NEEDS, ISSUES AND SAFETY CLEARANCES FOR ITS ELECTRIC POWER SYSTEMS. ANY EXISTING AND PROPOSED PUBLIC UTILITY EASEMENTS SHALL BE INDICATED ON THE SITE PLAN UTILITY SHEET PRIOR TO DRB REVIEW. PNM'S STANDARD FOR PUBLIC UTILITY EASEMENTS IS 10 FEET IN WIDTH TO ENSURE ADEQUATE, SAFE CLEARANCES.
- SCREENING SHALL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET SURROUNDING ALL GROUND-MOUNTED UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.



SANITARY SEWER DOUBLE CLEAN-OUTS
NTS



CAUTION:

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 ENGINEER'S SEAL RONALD R. BOHANNON NEW MEXICO 17893 PROFESSIONAL ENGINEER	LOT 2 DEL NORTE PLAZA ALBUQUERQUE, NM	DRAWN BY pm
	MASTER UTILITY PLAN	DATE 4-10-17
 TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrowestllc.com	SHEET # MU-1	DRAWING 2015064-GR
	JOEL D. HERNANDEZ P.E. #17893	JOB # 2015064