

HOLLY SHOPPING CENTER

SITE PLAN FOR BUILDING PERMIT

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GENERAL NOTES

- PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
- PROVIDE EXPANSION JOINTS IN CONCRETE WALK @ 40' O.C. AND WHERE CONCRETE ABUTS THE BUILDING.
- PREMISE IDENTIFICATION - SHALL BE MINIMUM 10" INCHES HIGH AND SHALL CONTRAST WITH THEIR BACKGROUND AND SHALL BE VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. EACH BUILDING TO HAVE INDIVIDUAL PREMISE I.D.
- G.C. TO PROVIDE FIRE EXTINGUISHERS 2A-10-BC, 1 PER EACH 3,000 S.F., REF: FLOOR PLANS FOR QUANTITY AND LOCATIONS.

PARKING REQUIREMENTS:

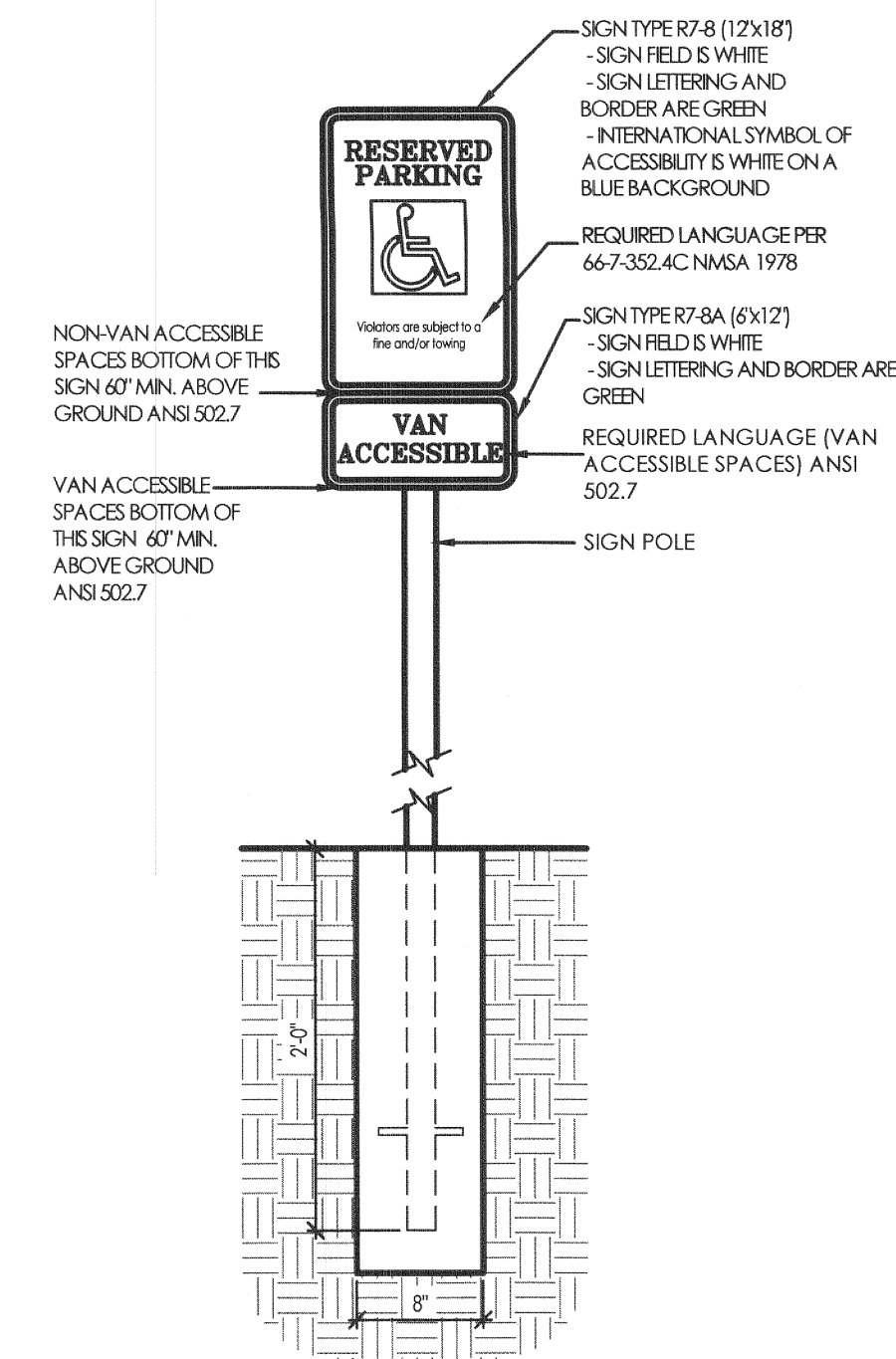
REQUIRED:	TOTAL BUILDING SQ. FT. =	24,100 S.F.
	1 SPACE PER 200 SQ. FT. =	121 SPACES REQUIRED
TOTAL PARKING PROVIDED		= 158 SPACES PROVIDED
HANDICAPPED SPACES REQUIRED =	8 HANDICAPPED SPACES INCLUDING (2) VAN ACCESSIBLE	
HANDICAPPED SPACES PROVIDED =	8 TOTAL (8 VAN ACCESSIBLE)	

KEYED NOTES

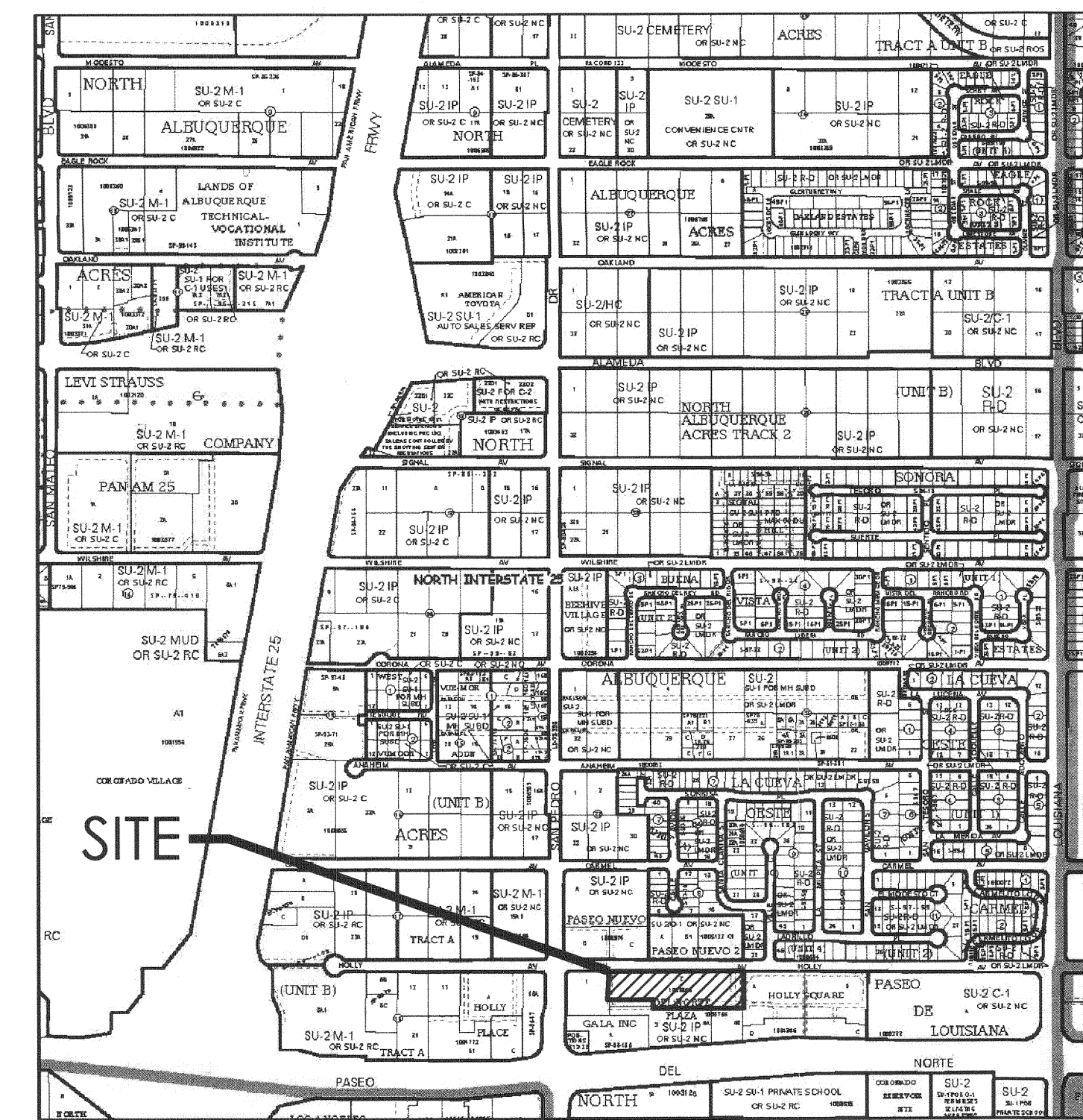
- CONSTRUCT 6" CONCRETE CURB AND GUTTER. SEE: DETAIL: 06/C-2
- ASPHALT PAVEMENT ON BASE COURSE. SEE DETAIL: 05/C-2
- 2'-0" RADIUS.
- CONSTRUCT CONCRETE SIDEWALK.
- 4" WIDE WHITE PARKING STRIPE AS SHOWN, PER LOCAL CITY CODE AND STANDARDS.
- 6'-0" WIDE MINIMUM HANDICAP ACCESSIBLE AISLE STRIPPING PER LOCAL CITY CODE AND STANDARDS.
- INTERNATIONAL SYMBOL OF ACCESSIBILITY, CENTER IN PARKING SPACE.
- ASPHALT PAVING & H.C. ACCESSIBLE AISLE TO BE FLUSH WITH CONCRETE SIDEWALK AT ALL LOCATIONS. SEE DETAIL 5/C-2
- INSTALL CONCRETE WHEEL STOP.
- INSTALL HANDICAP PARKING SIGNAGE AT ALL HANDICAP SPACES, DETAIL 2/C-1
- DUMPSTER ENCLOSURE, REF: DETAIL 08/C-2
- FIRE HYDRANT.
- EXISTING SITE LIGHT WITH CONCRETE BASE, REF: ELECTRICAL FOR DETAILS.
- C.M.U. RETAINING WALL, SEE CIVIL FOR DETAIL
- CLEAR SIGHT TRIANGLE: LANDSCAPING, FENCING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL, (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE
- EXISTING SIGHT LIGHTING TO BE RELOCATED TO THIS LOCATION

DESIGN CRITERIA

BUILDING CONSTRUCTION TYPE: 2-B NON-COMBUSTIBLE
 MAXIMUM BUILDING SIZE: 9,000 SQ. FT.
 FIRE SEPARATION: 2-HOUR SEPARATION WALLS BETWEEN SPACES
 MAXIMUM BUILDING HT: 24'-0" (NOT TO EXCEED 30'-0")

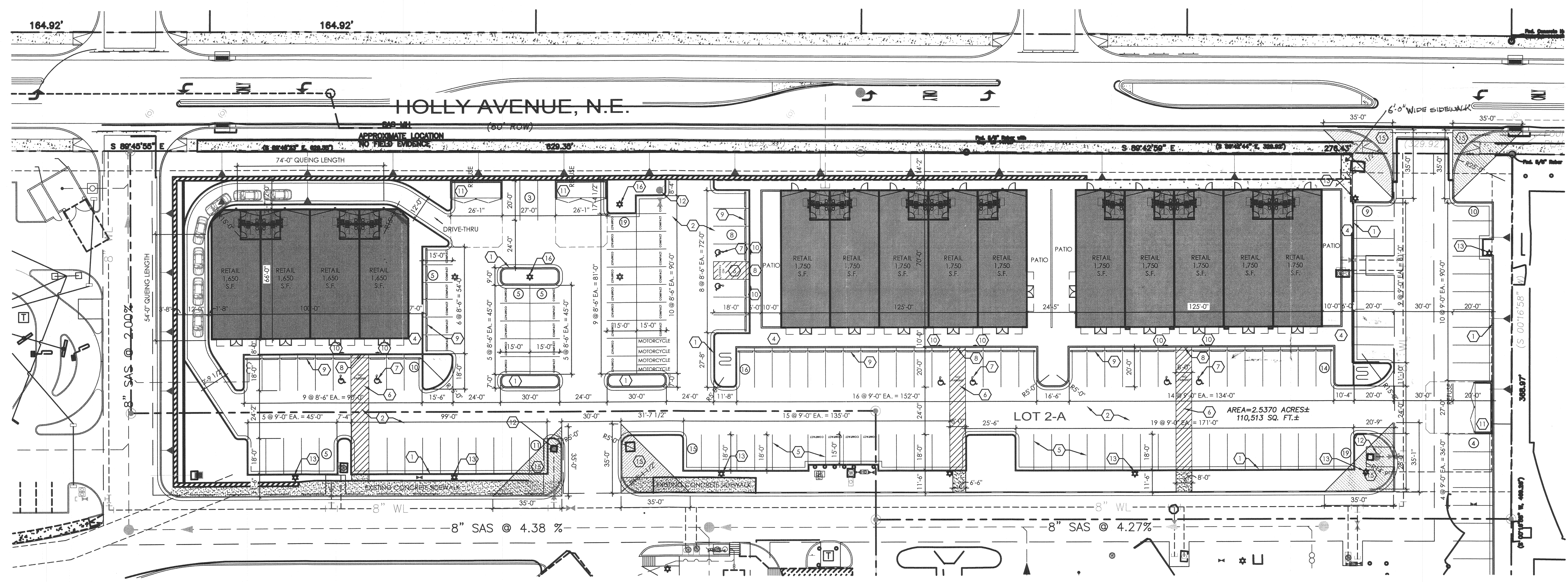


2 H.C. ACCESSIBLE SIGN DETAIL
 C-1 1" = 25'-0"

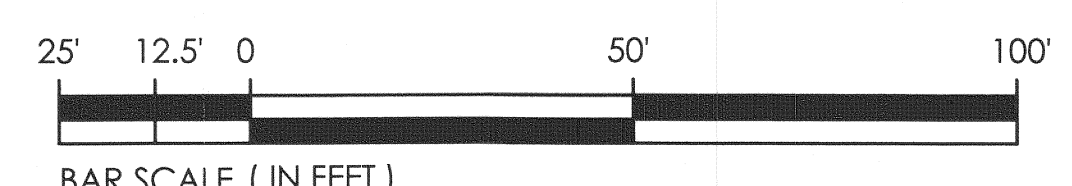


VICINITY MAP - C-18-Z
 N.T.S.

CITY APPROVALS	D.R.B. # 1006868
<i>Kaymond M. ...</i> TRAFFIC ENGINEER	3/9/16 DATE
<i>Carol S. Dumont</i> PARKS DESIGN & GENERAL DEVELOPMENT, C.I.P.	3/9/16 DATE
<i>Theresa ...</i> UTILITY DEVELOPMENT DIVISION (A&E&W&I&A)	03/17/16 DATE
<i>A.M.A.F.C.A.</i> CITY ENGINEER	3/9/16 DATE
<i>Paul ...</i> CITY PLANNER, ABQ PLANNING DIVISION	3-25-16 DATE
<i>...</i> SOLID WASTE	3-23-16 DATE



1 OVERALL SITE PLAN
 C-1 1" = 25'-0"



HOLLY SHOPPING CENTER
 SITE PLAN FOR BUILDING PERMIT
 8136 HOLLY AVE NE, ALBUQUERQUE, NM 87107
 PROJECT # 1547

REVISION DATE	03-04-2016
STATE OF NEW MEXICO REGISTERED ARCHITECT	RICHARD P. BENNETT No. 1240
RBA ARCHITECTURE ARCHITECTURE DESIGN	104 West Ave. Ste. 202 Albuquerque, NM 87102 www.rbaa.com
DATE	01-22-2016
SHEET NUMBER	C-1