

PARKING SPACES:

NET LEASABLE BUILDING AREA: 26,658 SF
 REQUIREMENT: 1 OFF STREET PARKING SPACE PER 200 SF NET
 26,658 / 200 = 134 SPACES
 SPACES PROVIDED = 131
 HC SPACES REQUIRED = 8
 HC SPACES PROVIDED = 8
 MC SPACES REQUIRED = 4
 MC SPACES PROVIDED = 4
 BICYCLE PARKING REQUIRED = 1 SPACE PER 20 CAR SPACES
 131 / 20 = 7 SPACES
 PROVIDED = (4) 6'-0" RACKS (SPACES) = 24 SPACES

BUILDING AREAS:

ACTUAL GROSS PROPOSED BUILDING AREA: 28,220 SF
 NON-LEASABLE AREA:
 834 SF (PERIMETER WALL)
 128 SF (RESTROOMS)
 1562 SF
 NET LEASABLE BUILDING AREA: 26,658 SF

KEYED NOTES

1. POWER POLE
2. PAD MOUNTED ELECTRICAL TRANSFORMER
3. WATER METER / SERVICE BOX - MINIMUM 1" WATER SERVICE LINE
4. TELEPHONE PEDESTAL
5. ELECTRICAL SERVICE PANEL
6. EXISTING 6' HIGH CHAIN LINK FENCE
7. WALL PAK SITE LIGHT WITH DIRECTIONAL SHROUD
8. BICYCLE PARKING
9. MOTORCYCLE PARKING
10. DESIGNATED ACCESSIBLE ROUTE
11. REFUSE ENCLOSURE - SEE A/3.0 FOR ELEVATIONS
12. EXISTING SIDEWALK
13. EXISTING FIRE HYDRANT
14. PROPERTY MONUMENT SIGN - SEE A/3.0 FOR ELEVATIONS/COLORS/AND LETTERING
15. EXISTING LANDSCAPE ZONE
16. EXISTING CURB EDGE
17. PAINTED ACCESS AISLE W/ STRIPING
18. UTVB PER ATTACHED DRAWING
19. UNDERDIRECTIONAL ACCESSIBLE RAMP PER STANDARD DRAWING 2440
20. BUILD PRIVATE ENTRANCE PER STANDARD DRAWING 2430
21. ACCESSIBLE RAMP PER ADA STANDARDS - CURB RAMP. MAX SLOPE 1:12. MAX CROSS SLOPE 1:48. CURB RAMP SHALL BE CONSTRUCTED TO CONFIRM WITH ANSI A117.1 1998 AND IBC CHAPTER 11 REQUIREMENTS
22. PARKING BUMPER TYPICAL
23. PEDESTRIAN PATH

The Subject Property is located near an existing/former landfill. Due to the Subject Property being near an existing/former landfill, certain Preliminary Measures may need to be taken to ensure the Health & Safety of the Public. Recommendations made by a Professional Engineer with Landfills and Landfill Gas issues, (as required by "later in Guidelines for Development Within City Designated Landfill Buffer Zones") shall be constructed prior to 180'-0" development of the site.

PROJECT NUMBER: 1006922

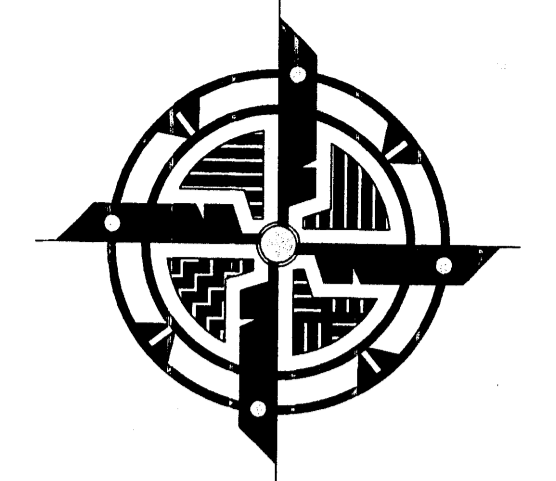
APPLICATION NUMBER: 07 DRB-70351

Is an Infrastructure List Required () Yes (X) No. If yes, then a set of approved DRC plans with a work order is required for any construction within the Public Right-of-Way

DRB SITE DEVELOPMENT PLAN APPROVAL:

[Signature] 11/14/07 date
 Traffic Engineering, Transportation Division
[Signature] 11-14-07 date
 ABCWA
[Signature] 11/14/07 date
 Parks and Recreation Department

[Signature] 11/14/07 date
 City Engineer
[Signature] 11/14/07 date
 Environmental Health Department (conditional)
[Signature] 11/14/07 date
 Solid Waste Management
[Signature] 11/20/07 date
 DRE Chairperson, Planning Department



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 SUITE A
 ALBUQUERQUE, NM
 87113

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 F: 505-796-0896

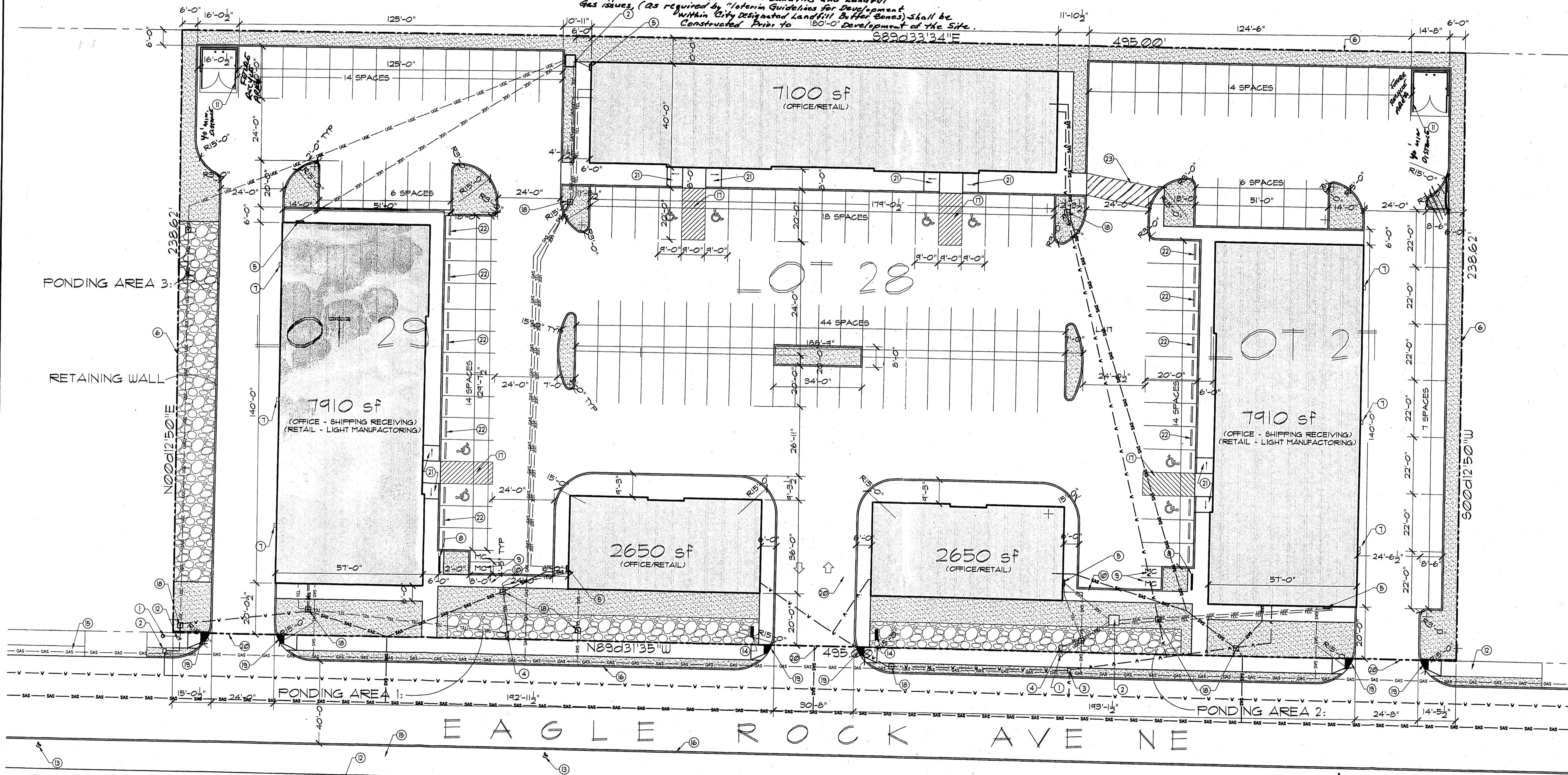
Job no:
 acad file:
 drawn by: CORE, LTD
 checked: JDH/EB
 date: 10/22/07

revisions:

THE COMMONS AT EAGLE ROCK
 EAGLE ROCK NE,
 ALBUQUERQUE, NM 87113

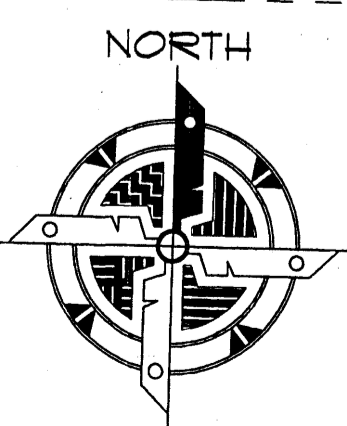
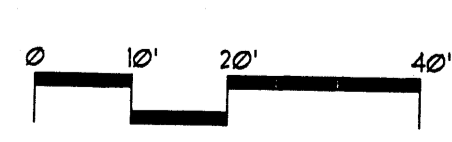
sheet no:
S-1.0

1006922



SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

SCALE: 1" = 20'-0"



GENERAL NOTES

ALL STRUCTURES ARE PROPOSED NEW. NO STRUCTURES EXIST ON THE PROPERTY.

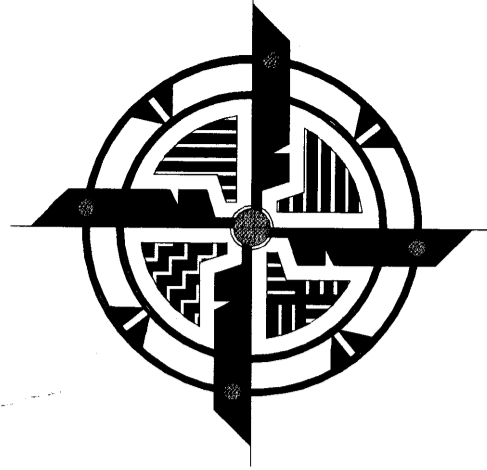
ALL SITE LIGHTING TO BE MOUNTED ON BUILDINGS. LIGHTS NOT INDICATED AS WALL SURFACE MOUNTED SHALL BE CEILING MOUNTED IN BUILDING OVERHANGS OR COVERED WALKS.

SITE LIGHTING SHALL CONFORM TO NIGHT SKY ORDINANCE.

North Interstate 25 Sector Development Plan... Zoning "E. Industrial Uses"
 "4. The SU-2/M-1 zone allowing uses permissible in the M-1 zone as regulated by the M-1 zone with the exception that all new industrial development zoned SU-2/M-1 shall require a landscape plan incorporating the design standards contained in Section VI."

THE COMMONS AT EAGLE ROCK SITE DEVELOPMENT PLAN

FOR CONSTRUCTION PERMIT



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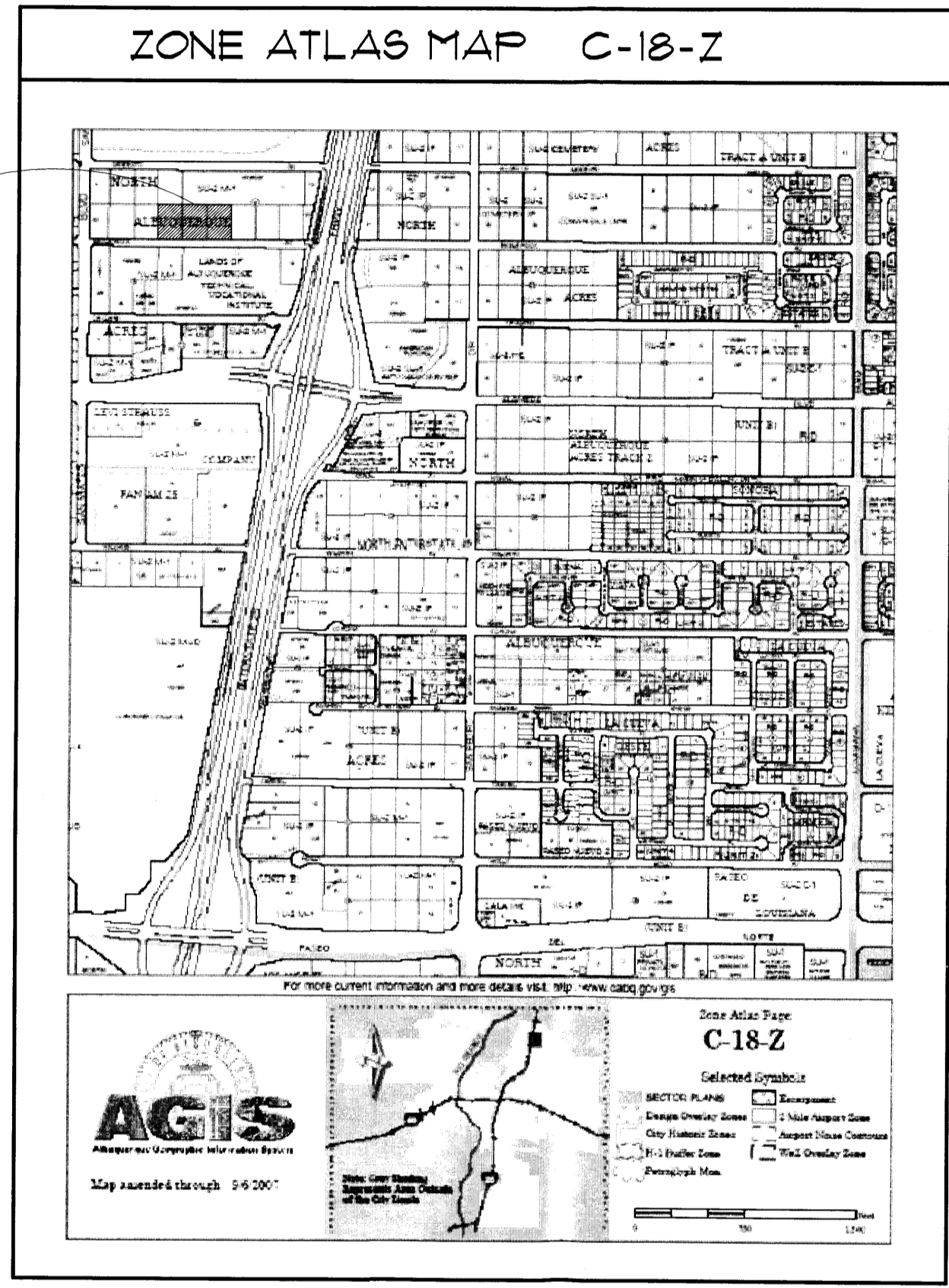
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job no:
acad file:
drawn by: CORE, LTD
checked: JDH/EB
date: 10/22/07

revisions:
11/6/07

THE COMMONS AT EAGLE ROCK
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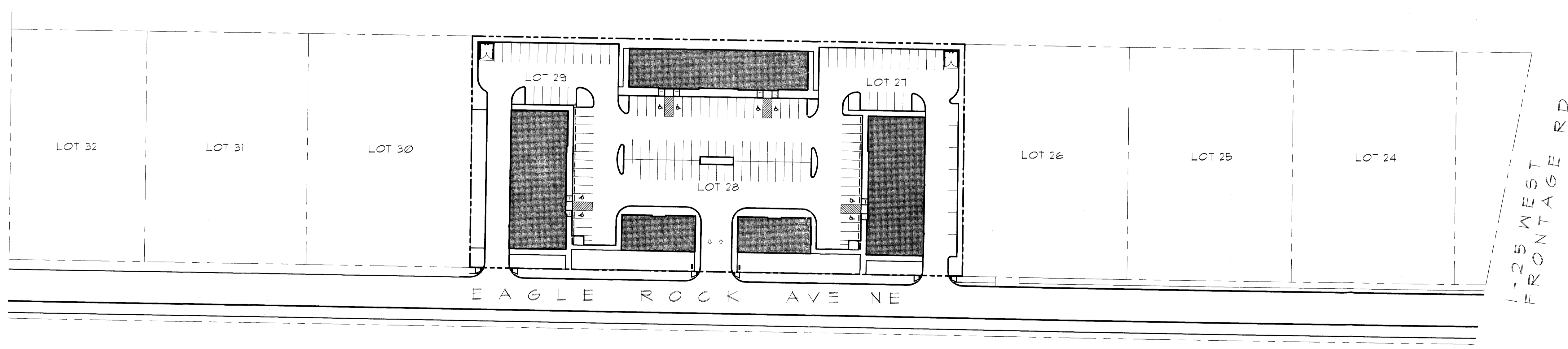
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CVR



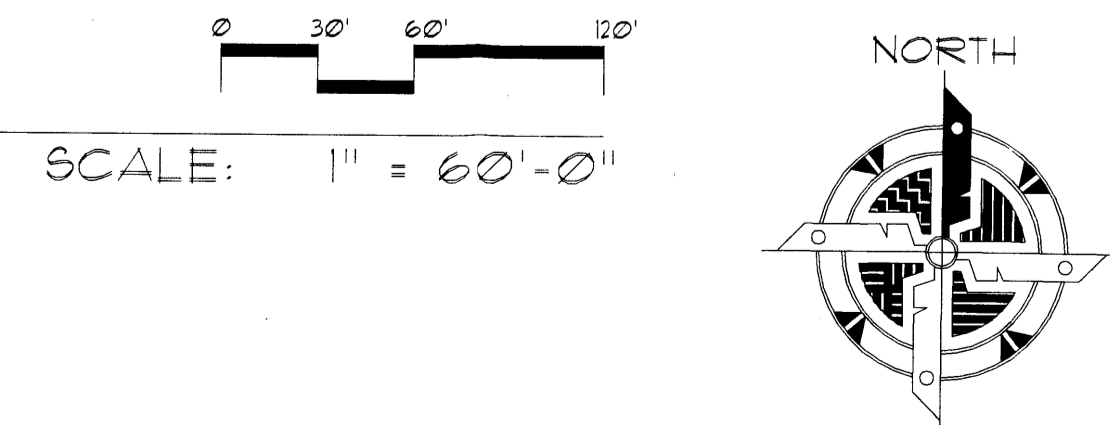
PROJECT SCHEDULE				
1. EXISTING ZONING DESIGNATION: M-1				
2. LEGAL DESCRIPTION: NORTH ALBUQUERQUE ACRES TRACT A, UNIT B, BLOCK 9, LOTS 27, 28, AND 29 WITHIN THE ELENA GALLEGOS GRANT PROJECTED SECTION 13 TOWNSHIP 11 NORTH, RANGE 3 EAST NMPM CITY OF ALBUQUERQUE, NEW MEXICO				
3. ZONE ATLAS MAP: C-18				
4. BUILDING SCHEDULE:				
TYPE	AREA	USED	TOTAL	OCCUPANCY
A	7,100 SF	1	7,100 SF	OFFICE - RETAIL
B	7,910 SF	2	15,820 SF	OFFICE - SHIPPING/RECEIVING RETAIL - LIGHT MANUFACTURING
C	2,650 SF	2	5,300 SF	OFFICE - RETAIL
TOTAL BUILDING AREA			28,220 SF	
5. TOTAL LAND AREA: = 118,111 SF OR 2.71 ACRES				
6. NET LOT AREA: = 89,891 SF.				
7. NET LEASABLE BUILDING AREA: = 26,658 SF.				

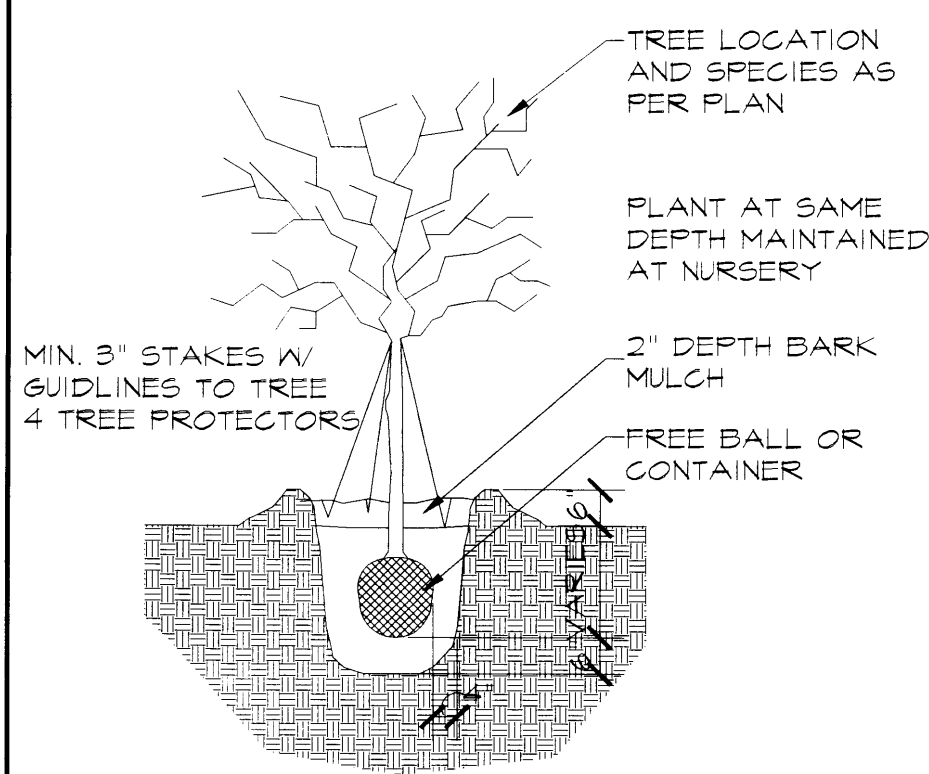
DRAWING INDEX	
CVR	COVER SHEET
S-1.0	SITE PLAN
LA-1.0	LANDSCAPE PLAN
C-1	GRADING PLAN
A-1.0	BUILDING "A" - ELEVATIONS
A-2.0	BUILDING "B" - ELEVATIONS
A-3.0	BUILDING "C" - ELEVATIONS
A-4.0	RENDERED ELEVATIONS
UT-1.0	CONCEPTUAL UTILITY PLAN

THE SUBJECT PROPERTY IS LOCATED NEAR A FORMER LANDFILL. DUE TO THE SUBJECT PROPERTY BEING NEAR A FORMER LANDFILL, CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILLS AND LANDFILL GAS ISSUES (AS REQUIRED BY THE MOST CURRENT VERSION OF THE INTERIM GUIDELINES FOR DEVELOPMENT WITHIN THE CITY DESIGNATED LANDFILL BUFFER ZONES) SHALL BE CONSULTED PRIOR TO DEVELOPMENT OF THE SITE.

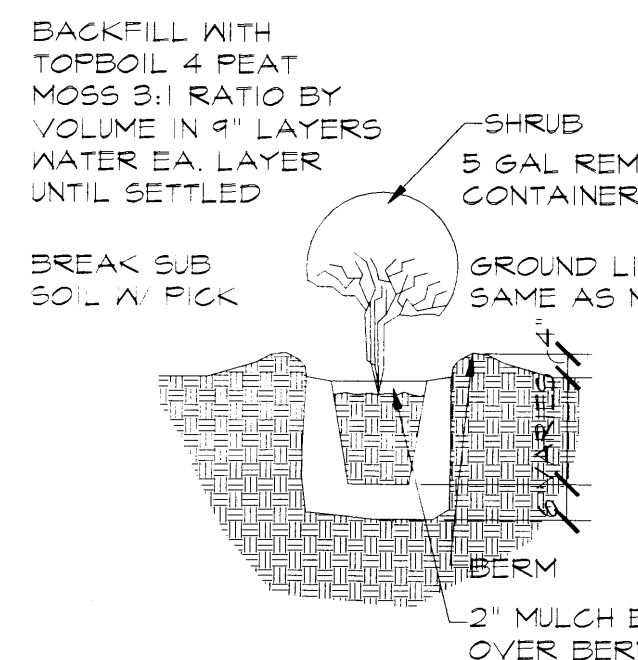


VICINITY PLAN





TREE PLANTING



SHRUB PLANTING

SYM	BOTANICAL NAME	COMMON NAME	WATER USAGE	SIZE	QUANTITY
TREES:					
HL	Gleditsia triacanthos Inermis "Imperial"	Imperial Honey Locust	Medium	12' Tall	8
BRAP	Fyrus celleryana "Bradford"	Bradford Pear	Medium	10' Tall	28
SM	Acer saccharinum	Silver Maple	Medium+	10' Tall	8
SHRUBS:					
GL9	Rhus aromatica "Glow-Low"	Glow-Low Sumac	Low	5 Gal	4
R6	Perovskia Atriplicifolia	Russian Sage	Medium	5 Gal	6
F	Photinia Fraseri	Photinia Red Tip	Medium	5 Gal	21
SU	Artemisia Abrotanum	Southernwood	Medium	5 Gal	21
GROUND COVER:					
G4	Mirabilis multiflora	Giant Four-o'clock	Low	1 Gal	24
CR	Rosmarinus officinalis "Prostrata"	Creeping Rosemary	Low	1 Gal	105

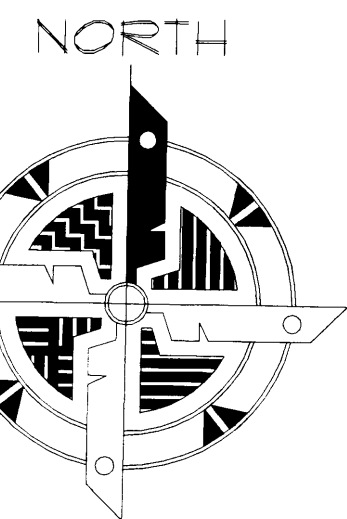
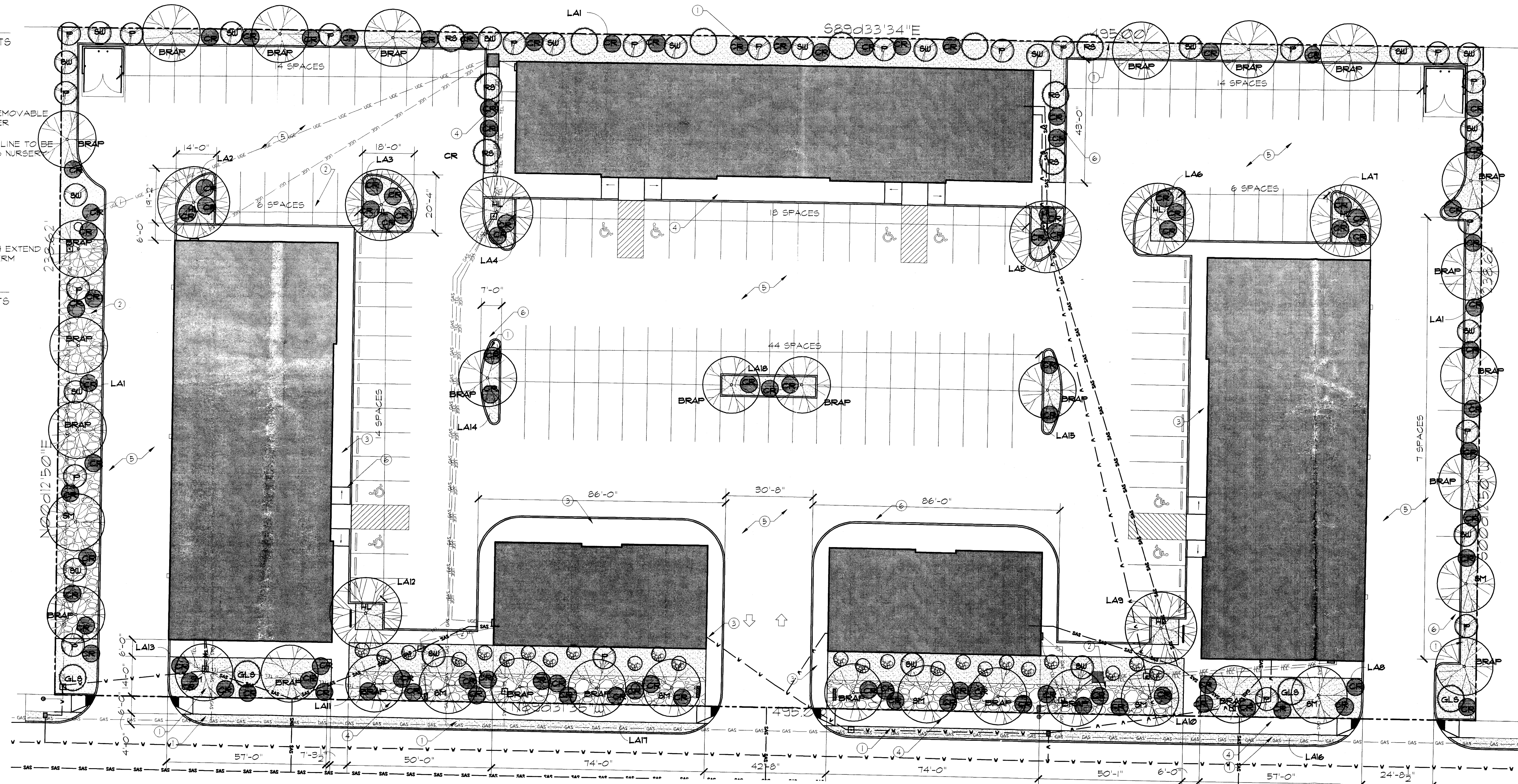
LANDSCAPE AREAS:

LA1 = 2329 SF
 LA2 = 208 SF
 LA3 = 282 SF
 LA4 = 156 SF
 LA5 = 173 SF
 LA6 = 191 SF
 LA7 = 209 SF
 LA8 = 791 SF
 LA9 = 86 SF
 LA10 = 2483 SF
 LA11 = 2480 SF
 LA12 = 86 SF
 LA13 = 791 SF
 LA14 = 140 SF
 LA15 = 140 SF
 LA16 = 616 SF
 LA17 = 616 SF
 LA18 = 294 SF
 TOTAL AREA LANDSCAPE: 18066 SF

TOTAL LAND AREA = 15967 SF
 BUILDING AREA = 28220 SF
 NET LOT AREA = 81,741 SF
 15% NET LOT AREA = 13162 SF
 REQUIRED LANDSCAPE AREA
 13162 SF
 ACTUAL LANDSCAPE AREA
 18066 SF

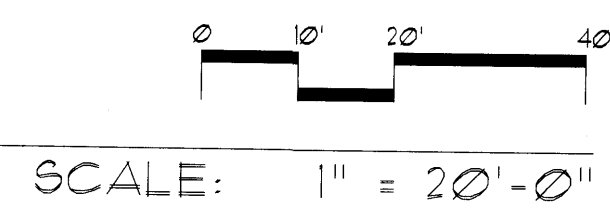
KEYED NOTES

1. CRUSHED ROCK (1/2" - 1" - SANTA FE BROWN) 3" DEEP - (TYPICAL)
2. RIVER ROCK (4" - 8")
3. CONCRETE SIDEWALK - SALT FINISH
4. CONCRETE SIDEWALK - BROOM FINISH
5. ASPHALT PAVING
6. 6" RAISED CURB EDGE (TYPICAL)



EAGLE ROCK AVENUE

LANDSCAPE PLAN



GENERAL NOTES:

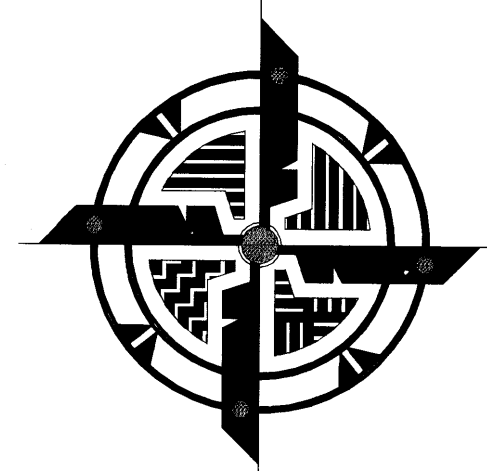
CONTRACTOR SHALL PROVIDE AND INSTALL A MULTIZONE DRIP IRRIGATION SYSTEM COMPLETE WITH ALL CONTROLS, VALVE BOXES, MANIFOLDS, BACKFLOW PREVENTERS, SHUT OFFS, TIMERS, PIPING AND BUBBLERS, EMITTERS AND DRIP LINES REQUIRED FOR A COMPLETE SYSTEM WHICH ALLOWS ADEQUATE WATER COVERAGE FOR THE PLANTS AS DESCRIBED.

IRRIGATION SYSTEM SHALL MEET ALL REQUIREMENTS OF THE 2003 UNIFORM PLUMBING CODE.

THE WORK DESCRIBED ON THIS LANDSCAPING PLAN SHALL BE COMPLETED WITHIN 60 DAYS OF OCCUPANCY OF THE PROJECT.

THE LANDSCAPING (INCLUDING PLANTINGS AND IRRIGATION SYSTEM) SHALL BE MAINTAINED BY THE OWNERS OF THE PROPERTY. PLANTS WHICH DIE SHALL BE REPLACED BY THE OWNERS AS EXPEDITIOUSLY AS POSSIBLE. THE REPLACEMENT TIME SHALL NOT EXCEED 60 DAYS.

LANDSCAPING SHALL MEET THE REQUIREMENTS OF ARTICLE 6-1.1 WATER CONSERVATION LANDSCAPING AND WASTE WATER ORDINANCE: MEDIUM & LOW WATER USE PLANTS SHALL BE 80% MIN OF TOTAL PLANTINGS



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 date: 10/22/07

revisions:

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 ALBUQUERQUE, NM 87113

sheet no:
LA-1.0

GRADING & DRAINAGE PLAN

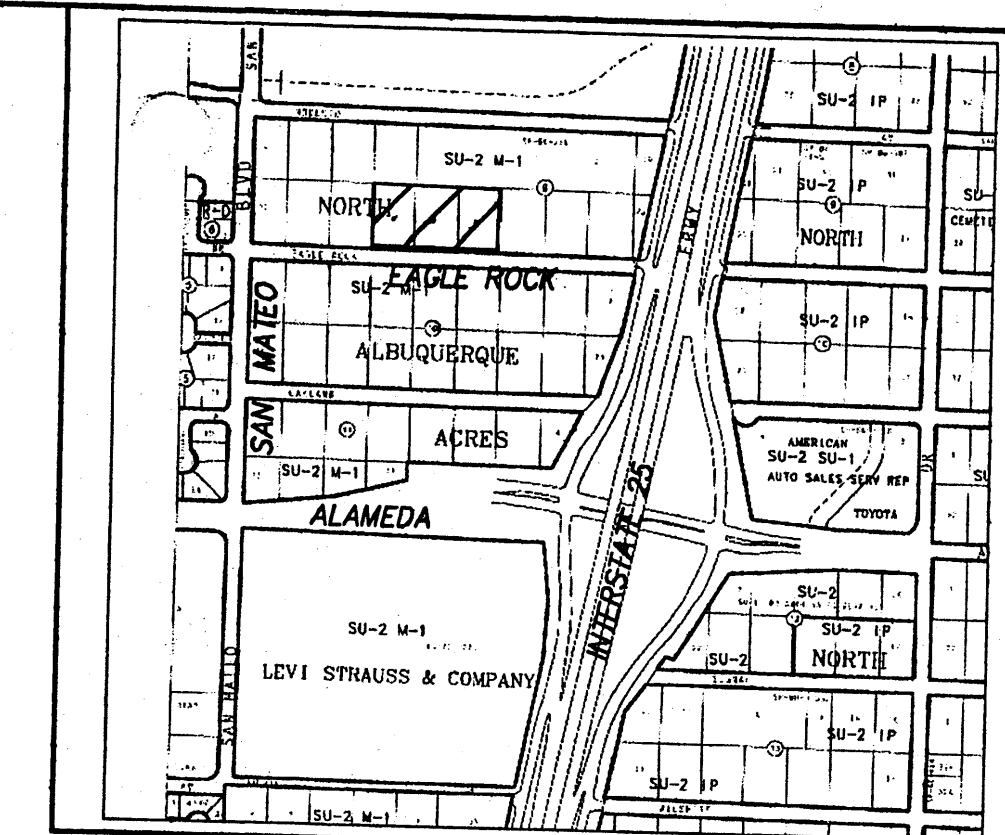
THE PROPOSED COMMERCIAL RETAIL PROJECT IS LOCATED IN THE NORTH ALBUQ. ACRES AREA OF ALBUQUERQUE ON EAGLE ROCK AVENUE IMMEDIATELY WEST OF I-25. THE GRADING AND DRAINAGE SCHEME HEREON IS IN COMPLIANCE WITH THE BERNALILLO COUNTY FLOOD HAZARD ORDINANCE, NO. 08-46, AND THE CITY STORM DRAINAGE ORDINANCE. THE PLAN IS REQUIRED IN ORDER TO FACILITATE THE OWNER'S REQUEST FOR SITE DEVELOPMENT & BUILDING PERMIT. THE PLAN SHOWS:

1. EXISTING CONTOURS, AND SPOT ELEVATIONS AND EXISTING DRAINAGE PATTERNS AND IMPROVEMENTS.
2. PROPOSED IMPROVEMENTS: 28220 SF OF OFFICE BUILDING, ASPHALT DRIVE/PARKING, CONCRETE FLAT WORK, NEW GRADE ELEVATIONS, REFUSE LOCATIONS, AND LANDSCAPING.
3. CONTINUITY BETWEEN EXISTING AND PROPOSED ELEVATIONS.
4. QUANTIFICATION OF DEVELOPED FLOWS GENERATED BY THE IMPROVEMENTS WHICH CONTRIBUTE TO THE EXISTING FLOWS.

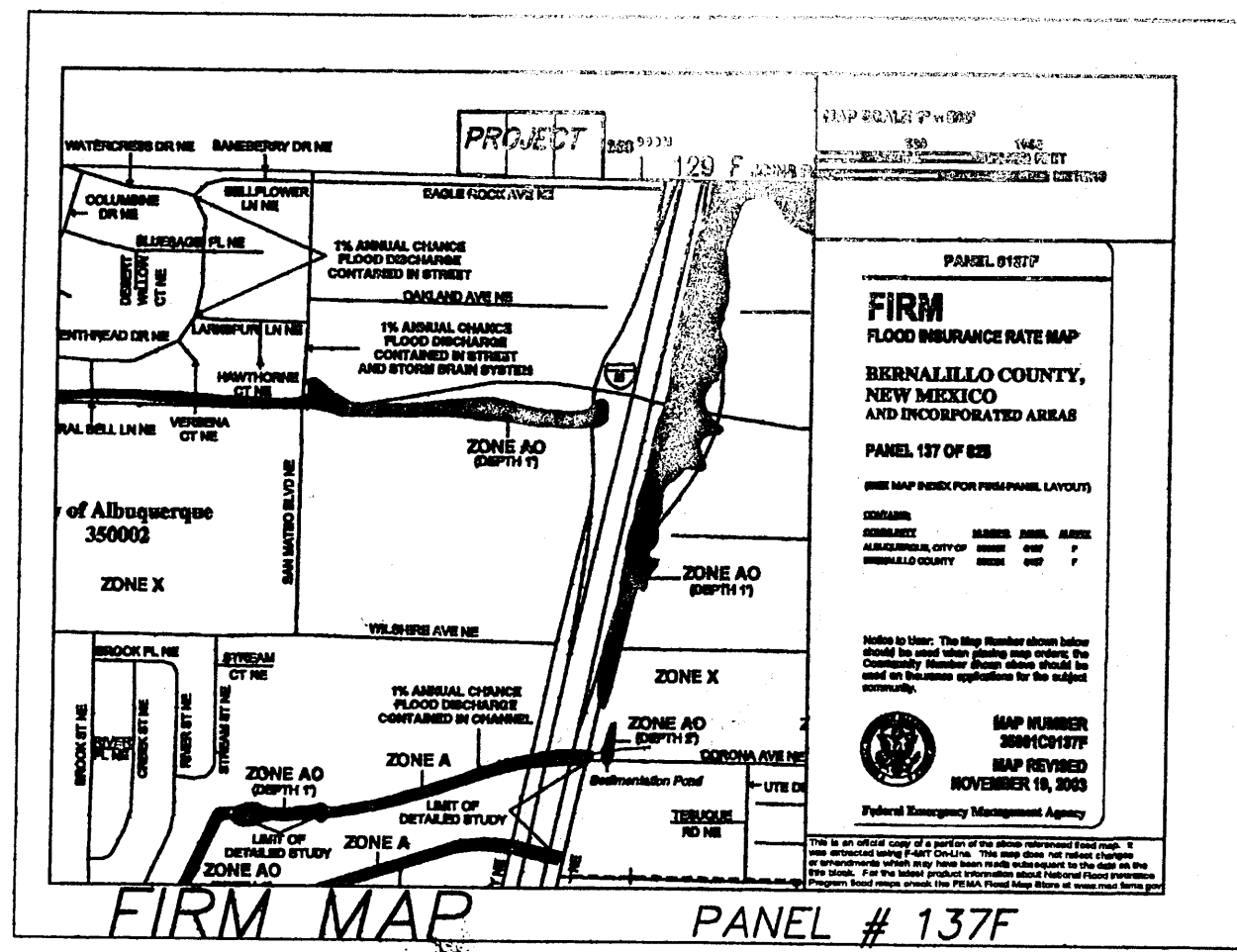
PRESENTLY, THE SITE IS A DIRT-VEGETATED SURFACE. THE SITE IS BOUNDED BY DEVELOPED COMMERCIAL/INDUSTRY ZONED FACILITIES. THE SITE FALLS APPROXIMATELY 3% FROM EAST TO WEST.

EAGLE ROCK AVENUE IS A MAJOR LOCAL STREET WITH 2 LANES, WITH CURB, GUTTER AND DETACHED SIDEWALKS (EXCLUDING FRONTAGE). SITE RUNOFF WILL BE ALLOWED TO DRAIN THROUGH THE SITE, AND PONDED IN DEPRESSED LANDSCAPE AREAS. THE SITE HAS HISTORICALLY DRAINED TO THE WEST VIA A COMBINATION OF OVERLAND SHEET AND GULLIED FLOW.

HISTORICAL DOWNSTREAM OUTFALL LOCATIONS WILL REMAIN UNCHANGED WITH DEVELOPMENT. FREE DISCHARGE OF A PORTION OF SITE RUNOFF IS ACCEPTABLE SINCE PARTIAL DOWNSTREAM CAPACITY EXISTS. A PORTION OF SITE RUNOFF IS ROUTED THROUGH PROPOSED LANDSCAPING.



Scale: 1" = 20'



LOT 4 (DEVELOPED)

(DEVELOPED)

TRACT 1

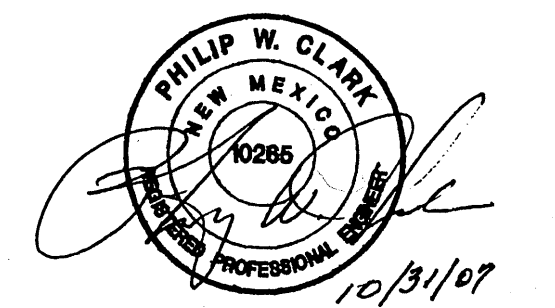
VICINITY MAP ZONE C-18 Scale: 1" = 780'

NOTES

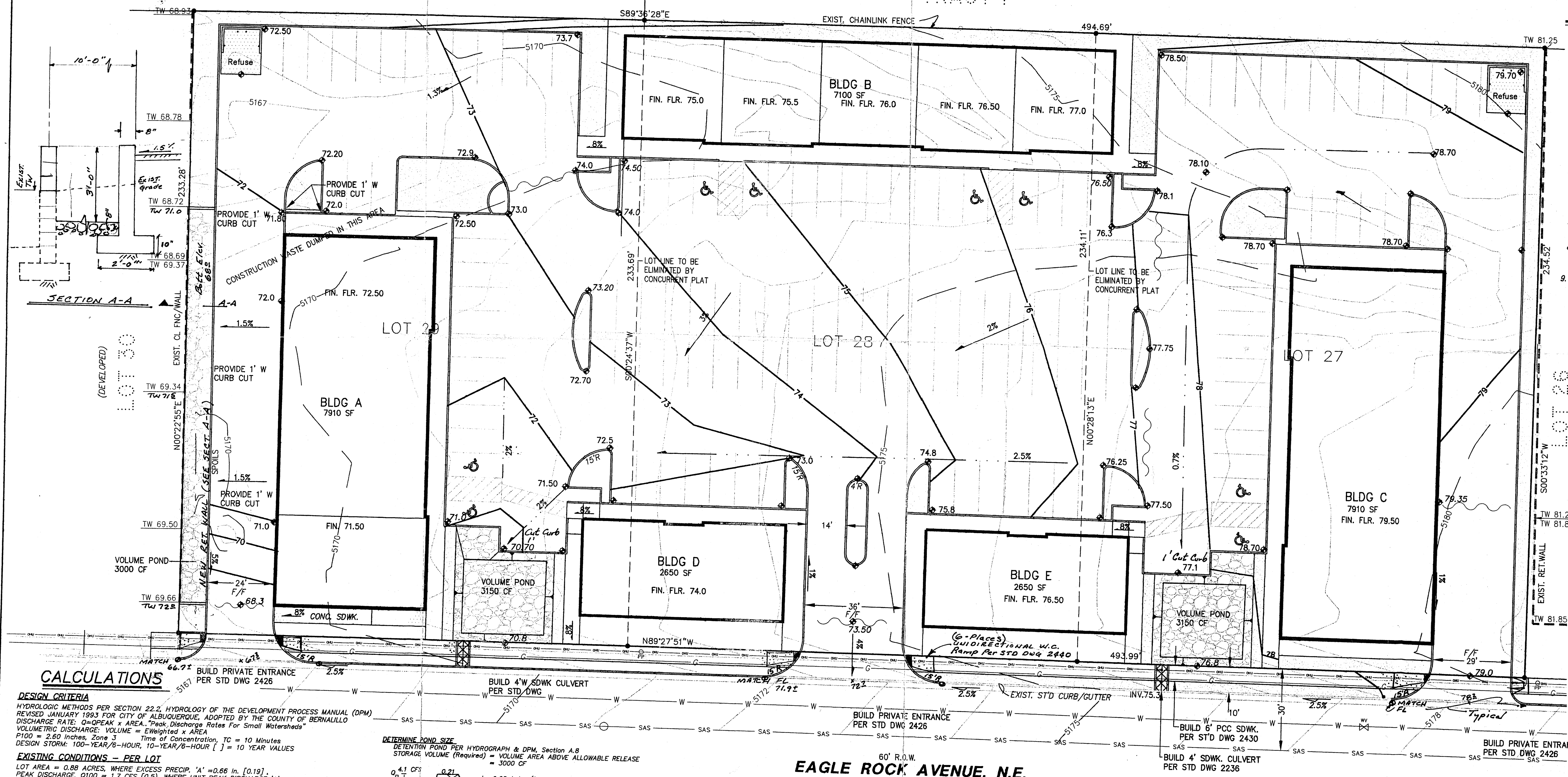
1. ALL WORK WITHIN THE RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECS. FOR PUBLIC WORKS CONSTRUCTION, 7TH EDITION W/ UPDATES.
2. AN EXCAVATION/CONSTRUCTION PERMIT IS REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY R.O.W. AN APPROVED COPY OF THIS PLAN MUST BE SUBMITTED AT THE TIME OF APPLICATION.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. ALL LANDSCAPING AREA SHALL BE SOFT-LINED WITH NATIVE VEGETATION AND/OR GRAVEL. ASPHALT PARKING AREA SHALL DRAIN DIRECTLY TO EXISTING CURB CUT.
5. LANDSCAPING IRRIGATION SYSTEM SHALL BE DRIP-TYPE. CONTRACTOR SHALL INSTALL SYSTEM PRIOR TO PLACEMENT OF PAVING.
6. CONTRACTOR SHALL ENSURE THAT NO SITE SOILS/SEDIMENT OR SILT ENTER THE RIGHT-OF-WAYS DURING CONSTRUCTION.
7. REVEGETATE ALL AREAS DISTURBED DUE TO CONSTRUCTION PER CITY OF ALBUQ. SPEC. 1011, NATIVE SEED MIX.
8. MAXIMUM SITE GRADING WITHOUT EROSION PROTECTION: 3 HORIZONTAL TO 1 VERTICAL, 3:1. ALL DIMENSIONS TO FACE OF CURB, UNLESS NOTED OTHERWISE.
9. REMOVE/REPLACE EXISTING CURB WITH STD. 8" COA CURB/GUTTER. PER DWG. 2415A.

LEGEND

EXIST. SPOT ELEVATION	+24.0
EXIST. CONTOUR	-10
NEW SPOT ELEVATION	◆ 24.0
NEW CONTOUR	-12
NEW SWALE	—
DRAINAGE DIRECTION, EXISTING	→
NEW CONCRETE CURB (0.5' HEIGHT)	—
NEW P.C.C., CONCRETE	—
TOP OF CURB, EXISTING	TBC
FLOWLINE	FL
FACE OF CURB/FACE OF CURB	F-F
EXISTING TOP OF ASPHALT CURB	TAC
EXIST. TOP OF ASPHALT	TA
EXIST. GROUND	G
EXIST. EDGE OF CONCRETE	EC



Brad Lyle
Approved for Rough Grading 11/7/07



CALCULATIONS

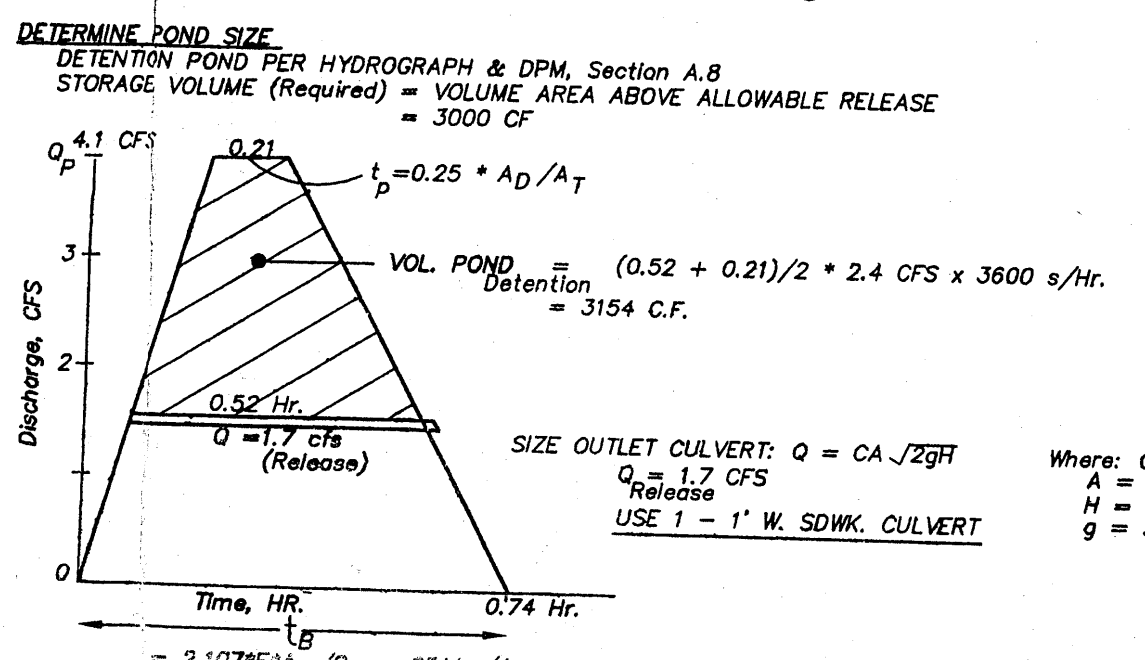
DESIGN CRITERIA
HYDROLOGIC METHODS PER SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL (DPM) REVISED JANUARY 1993 FOR CITY OF ALBUQUERQUE, ADOPTED BY THE COUNTY OF BERNALILLO
DISCHARGE RATE: $Q = \text{PEAK} \times \text{AREA}$, "Peak Discharge Rates For Small Watersheds"
VOLUMETRIC DISCHARGE: $VOLUME = E_{\text{weighted}} \times \text{AREA}$
P100 = 2.60 inches, Zone 3
DESIGN STORM: 100-YEAR/6-HOUR, 10-YEAR/6-HOUR [] = 10 YEAR VALUES

EXISTING CONDITIONS - PER LOT
LOT AREA = 0.88 ACRES, WHERE EXCESS PRECIP. 'A' = 0.66 in. [0.19]
PEAK DISCHARGE, Q100 = 1.7 CFS [0.5], WHERE UNIT PEAK DISCHARGE 'A' = 1.87 CFS/AC. [0.58]
THEREFORE: VOLUME 100 = 2108 CF [607]

DEVELOPED CONDITIONS
DETERMINE LAND TREATMENTS, PEAK DISCHARGE AND VOLUMETRIC DISCHARGE FOR STUDY AREA

UNDEVELOPED	AREA	LAND TREATM'T	Q Peak	E
LANDSCAPING - POND	0.13 Ac. (15%)	A	1.87(0.58)	0.66(0.19)
COMPACTED SOIL & Slopes >	— Ac. (0%)	B	2.60(1.19)	0.92(0.36)
ROOF - PAVEMENT	0.75 Ac. (85%)	D	3.45(2.90)	1.29(0.82)
	0.88 Ac.		5.02(3.39)	2.36(1.50)

THEREFORE: $E_{\text{weighted}} = 2.14 \text{ in. [1.33]}$ & $VOLUME 100 = 6836 \text{ CF}$
Q100 = 4.1 CFS
Q10 = 2.7 CFS



EAGLE ROCK AVENUE, N.E.

I, PHILIP W. CLARK, A PROFESSIONAL ENGINEER LICENSED IN ACCORDANCE WITH THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT I HAVE VISITED THE SITE SHOWN HEREON, AND THAT THE CONTOURS SHOWN REPRESENT THE EXISTING GROUND CONDITIONS, AND DO FURTHER CERTIFY THAT NO EARTHWORK OF ANY KIND, NOR ANY DISTURBANCE OF THE EXISTING GROUND HAS OCCURRED ON THIS SITE SINCE THE CONTOURS WERE DETERMINED.

PHILIP W. CLARK
N.M.P.E. #10285

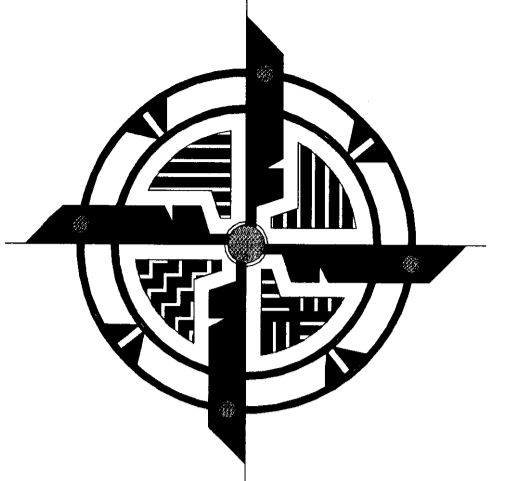
PROJECT DATA

LEGAL DESCRIPTION (Existing Platting)
LOTS 27-29, BLOCK 9, UNIT B, TRACT A, NORTH ALBUQUERQUE ACRES, Albuquerque, Bernalillo County, New Mexico

PROJECT BENCHMARK
GPS, TO ACS, NAVD 88 DATUM

TOPOGRAPHIC DESIGN SURVEY
Compiled by Clark Consulting Engineers From Design Survey Performed by TERRAMETRICS (PHIL TURNER, PS), 10/07

Clark Consulting Engineers		19 Ryan Road Edgewood, New Mexico 87015	
Tel: (505) 281-2444		Fax: (505) 281-2444	
DATE	REVISION	LOTS 27-29, BLOCK 9, UNIT B, TRACT A NORTH ALBUQUERQUE ACRES	
		THE COMMONS AT EAGLE ROCK EAGLE ROCK AVENUE NE	
		Grading & Drainage Plan	
DESIGNED BY: PWC	DRAWN BY: CGE	JOB #: Schiffer_01	C1 OF 1
CHECKED BY: PWC	DATE: 9/3/07	FILE #: G/D	



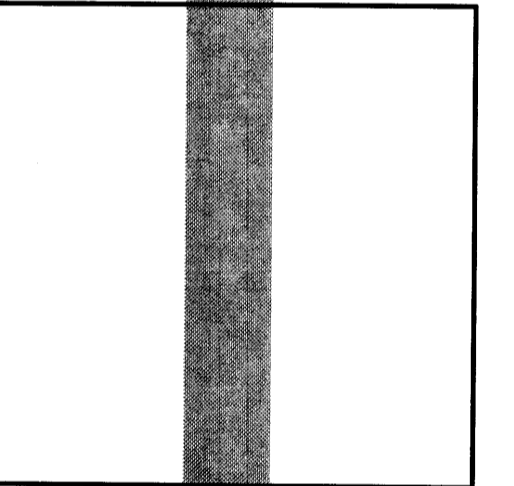
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revisions:



THE COMMONS AT EAGLE ROCK
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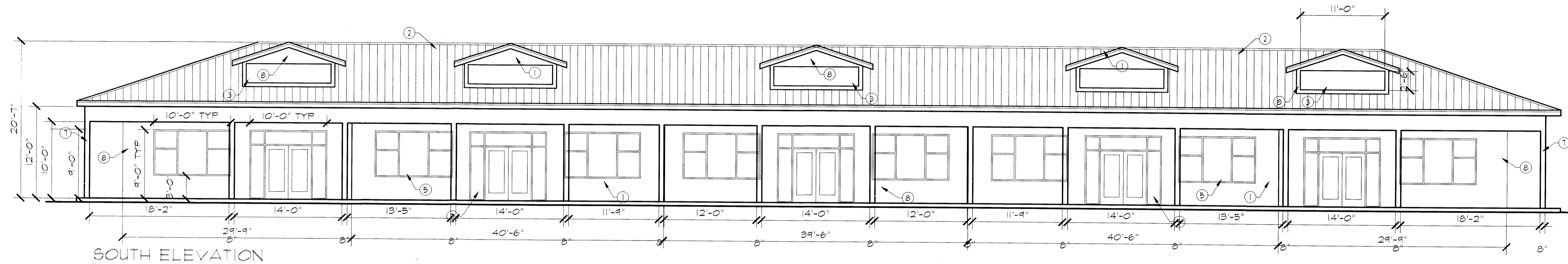
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A-1.0

GENERAL NOTES

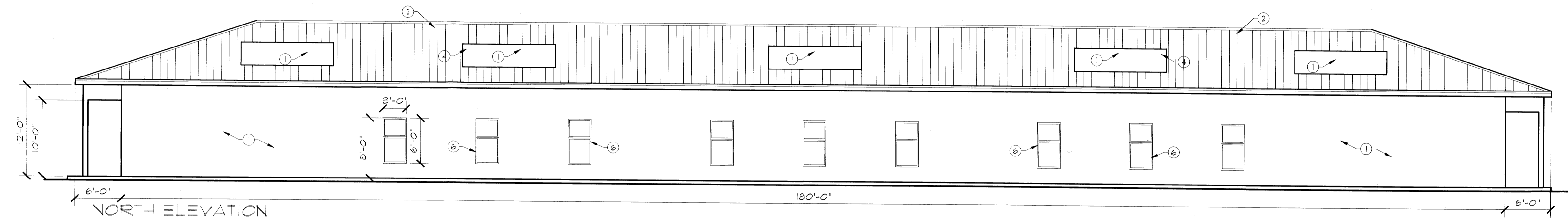
- BUILDING STUCCO COLORS TO BE SELECTED FROM STUCCO MANUFACTURER'S STANDARD COLORS.
- METAL ROOFING COLOR TO BE "COPPER" OR "TIN".
- SIGNS SHALL BE BACK LIT SELF ILLUMINATING.

KEYED NOTES

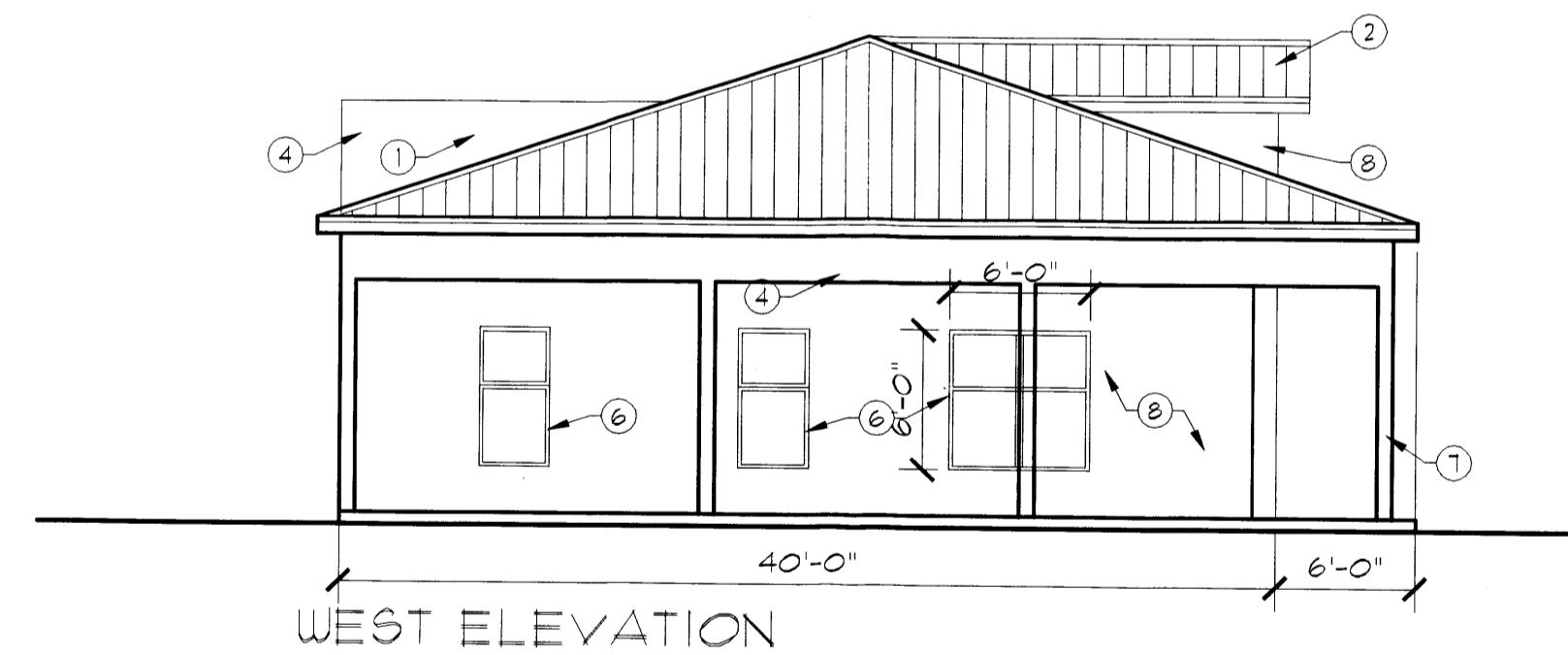
- STUCCO - COLOR TAN
- METAL ROOFING
- TENANT SIGN LOCATION
- MECHANICAL UNITS LOCATION
- STOREFRONT GLAZING SYSTEM
- METAL FRAME WINDOWS TO MATCH ROOF COLOR
- STUCCO COLOR ASH
- STUCCO COLOR SAGE
- STUCCO COLOR ROSE



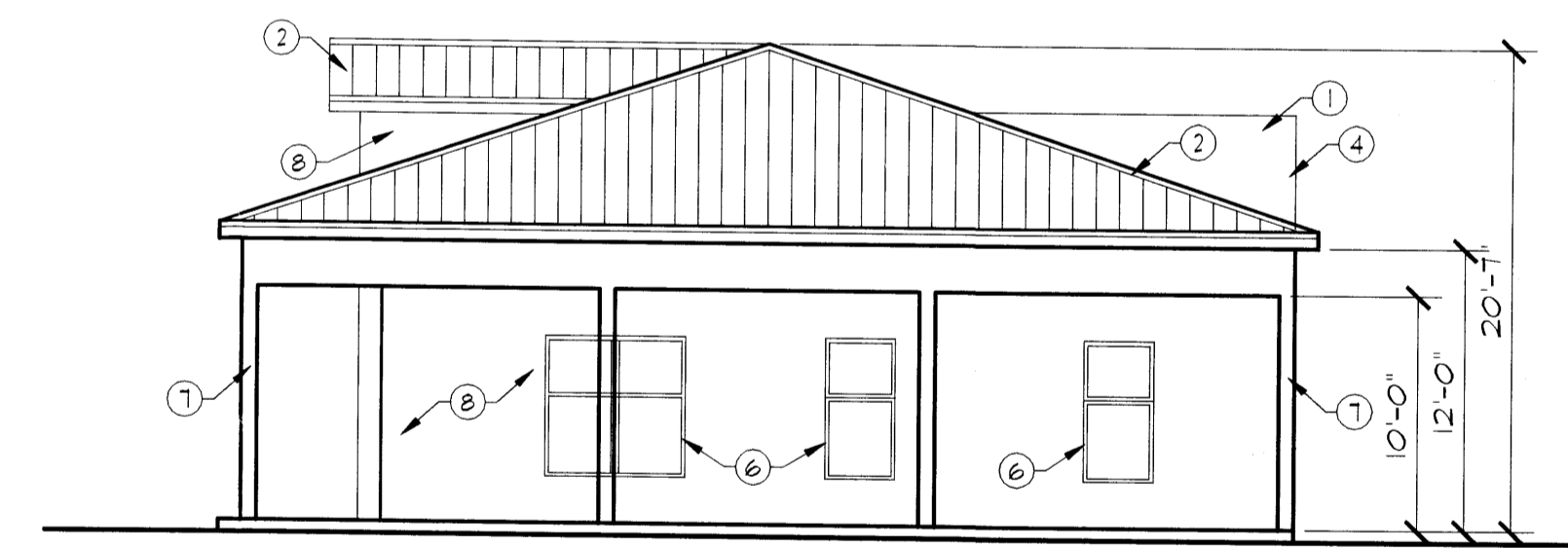
SCALE 1/8" = 1'-0"



SCALE 1/8" = 1'-0"

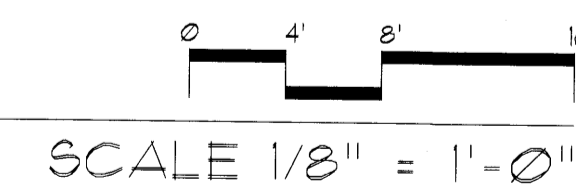


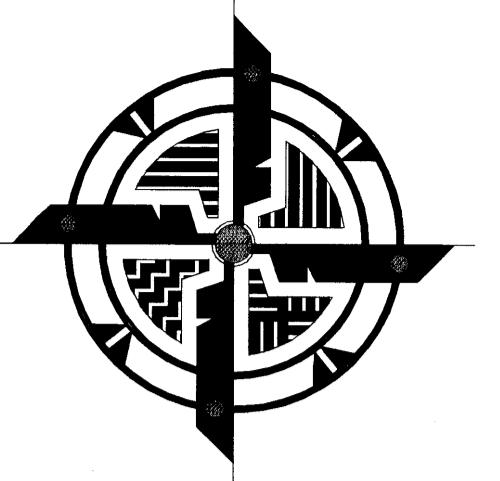
SCALE 1/8" = 1'-0"



SCALE 1/8" = 1'-0"

BUILDING A (7,100 SF)





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LTD

5924 ANAHEIM AVE. NE
SUITE A
ALBUQUERQUE, NM
87113

P: 505-796-0894
F: 505-796-0896

job no:
acad file:
drawn by: CORE, LTD
checked: JDH/EB
date: 10/22/07

revisions:

THE COMMONS AT EAGLE ROCK
EAGLE ROCK NE.
ALBUQUERQUE, NM 87113

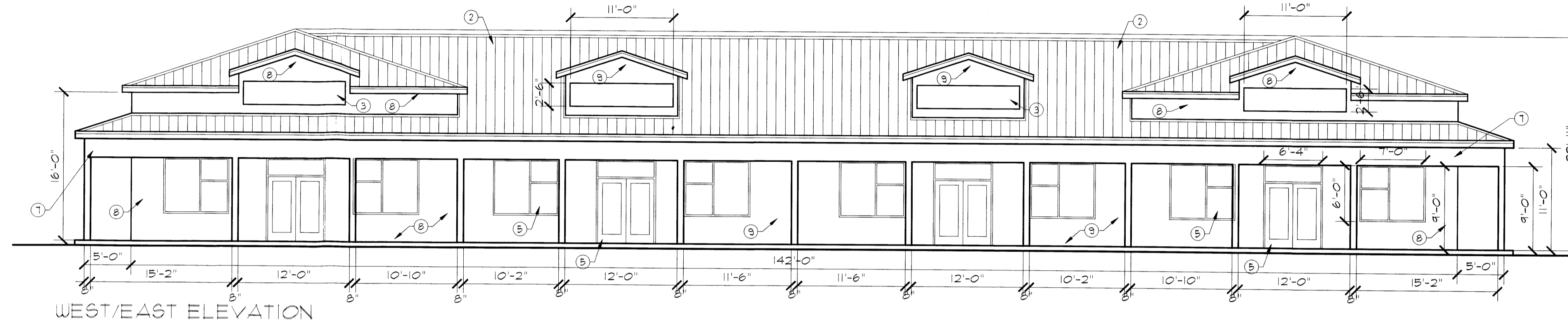
sheet no:
A-2.0

GENERAL NOTES

- BUILDING STUCCO COLORS TO BE SELECTED FROM STUCCO MANUFACTURER'S STANDARD COLORS.
- METAL ROOFING COLOR TO BE "COPPER" OR "TIN".
- SIGNS SHALL BE BACK LIT SELF ILLUMINATING.

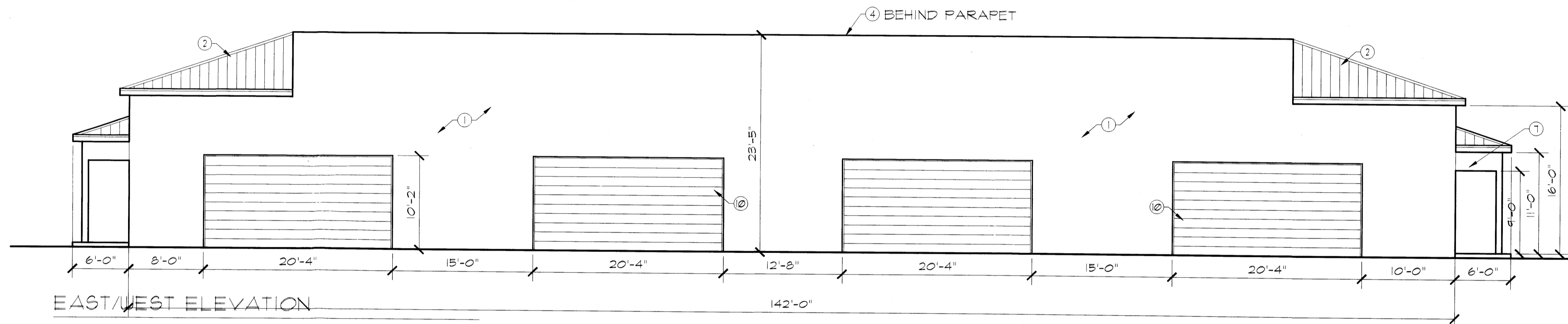
KEYED NOTES

- STUCCO - COLOR TAN
- METAL ROOFING.
- TENANT SIGN LOCATION.
- MECHANICAL UNITS LOCATION.
- STOREFRONT GLAZING SYSTEM.
- METAL FRAME WINDOWS TO MATCH ROOF COLOR
- STUCCO COLOR ASH
- STUCCO COLOR SAGE
- STUCCO COLOR ROSE
- METAL OVERHEAD DOOR - COLOR - WHITE



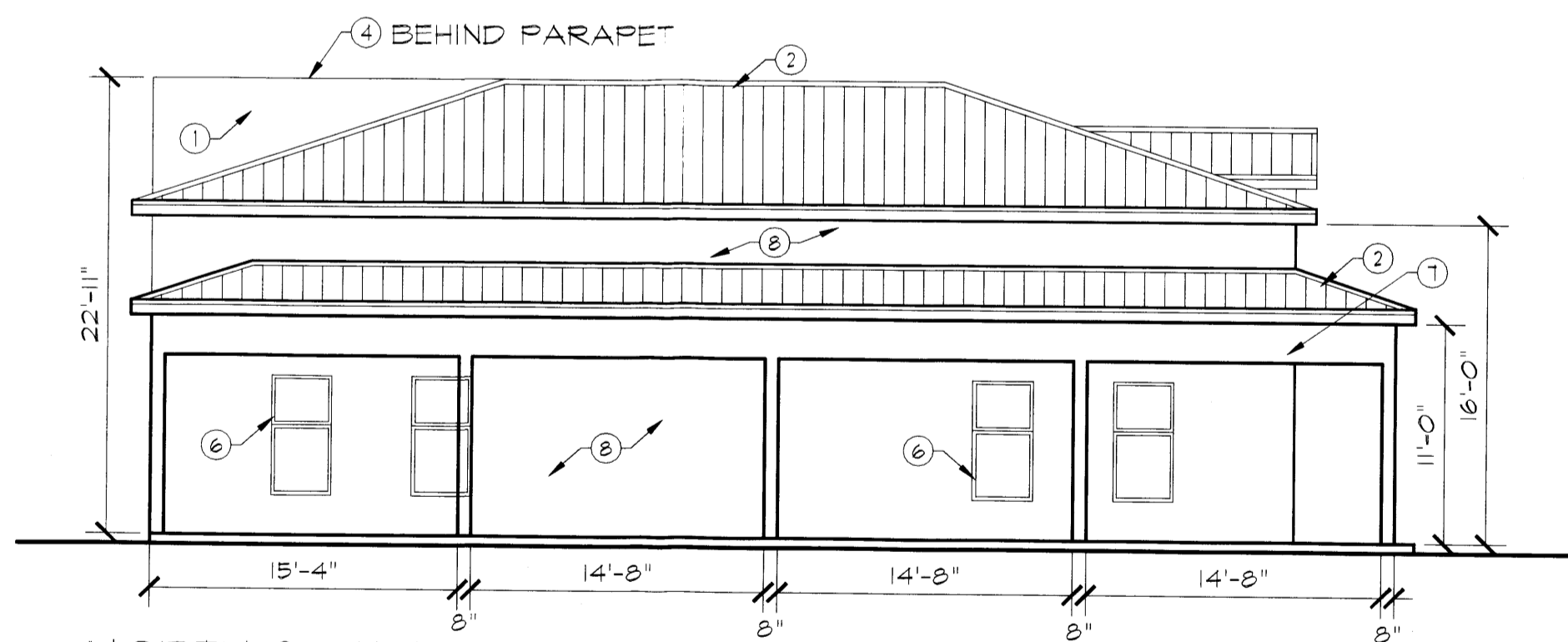
WEST/EAST ELEVATION

SCALE 1/8" = 1'-0"



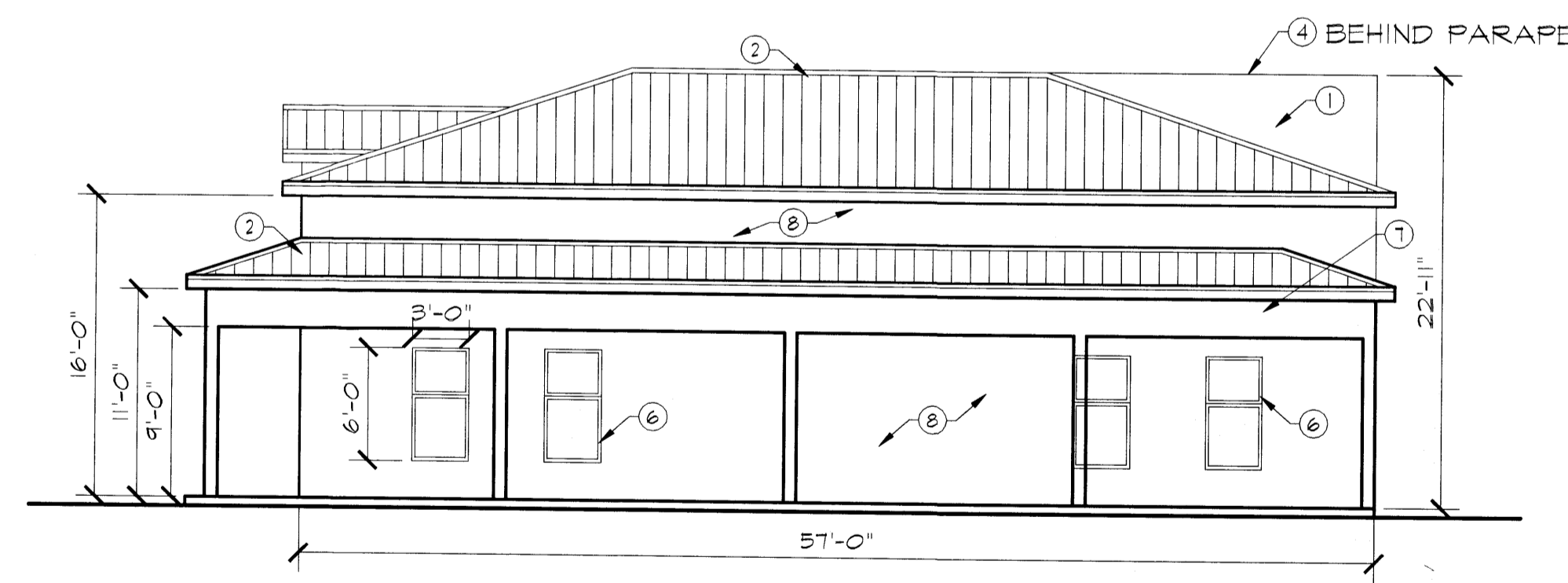
EAST/WEST ELEVATION

SCALE 1/8" = 1'-0"



NORTH/SOUTH ELEVATION

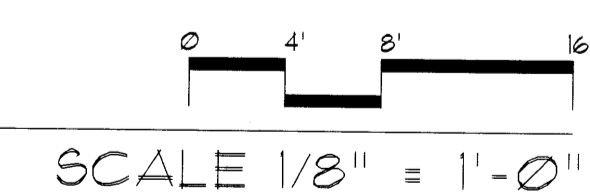
SCALE 1/8" = 1'-0"



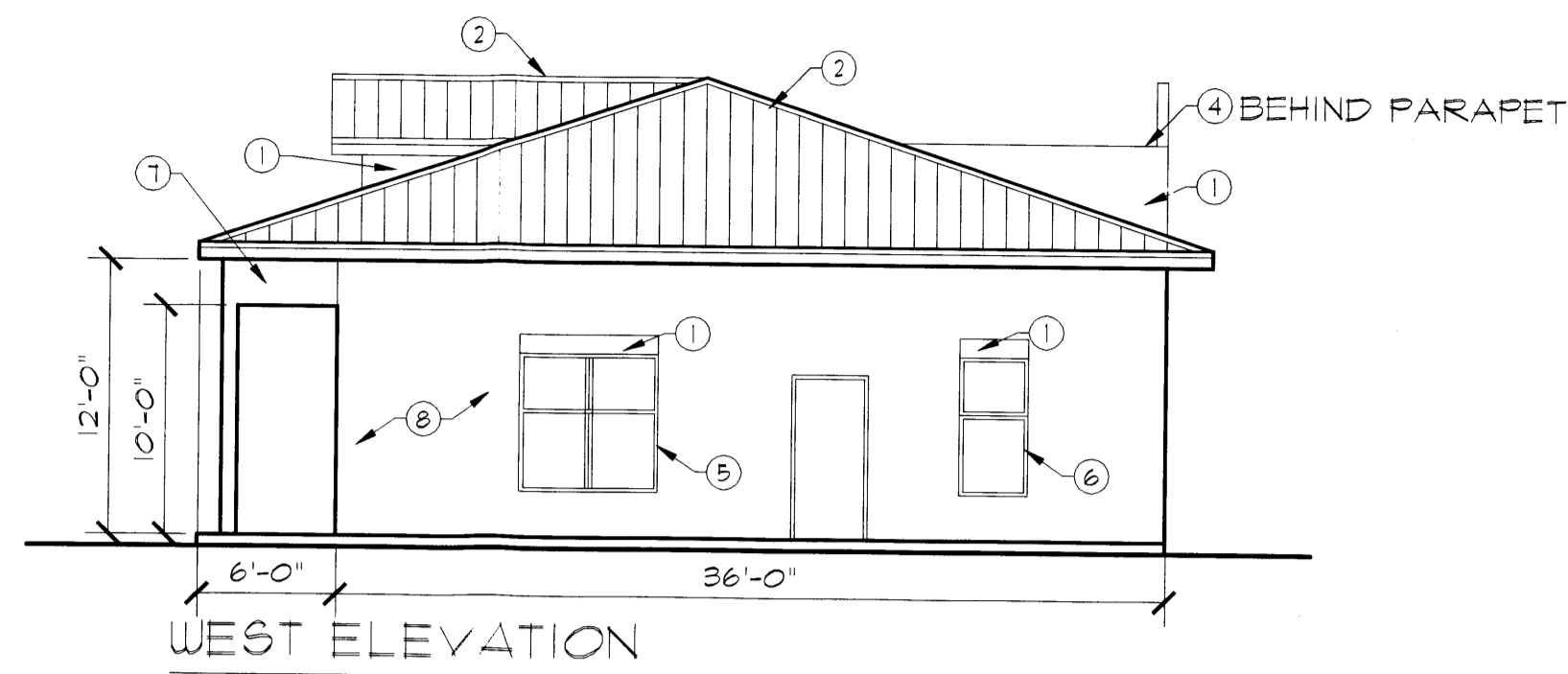
SOUTH/NORTH ELEVATION

SCALE 1/8" = 1'-0"

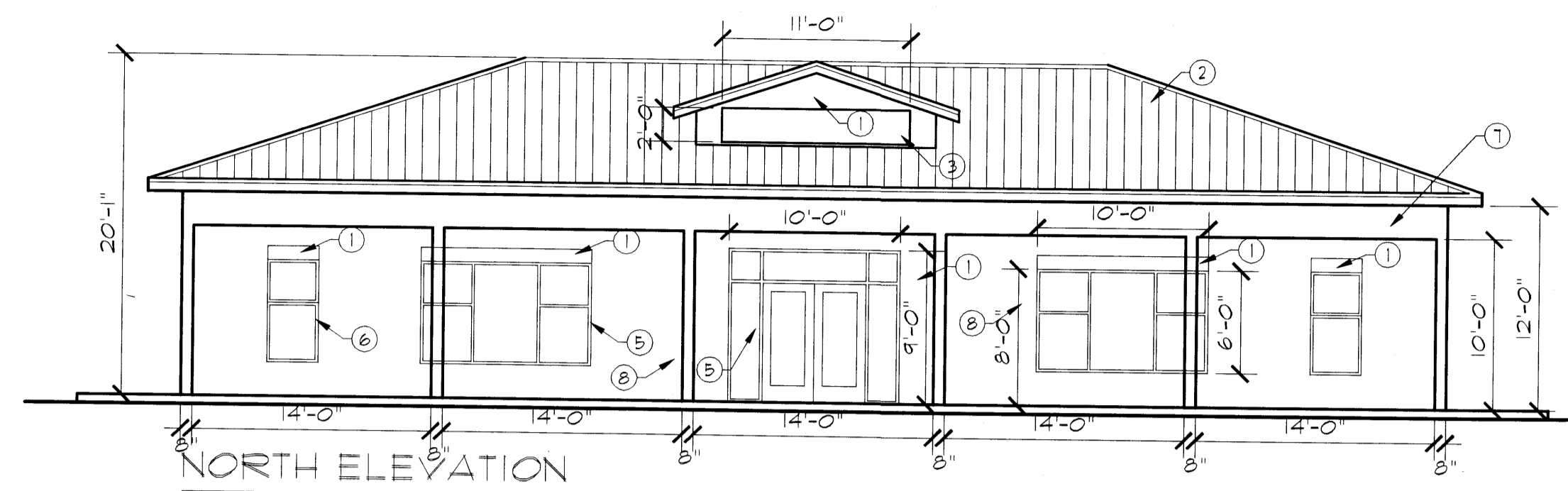
BUILDING B (7,910 SF)



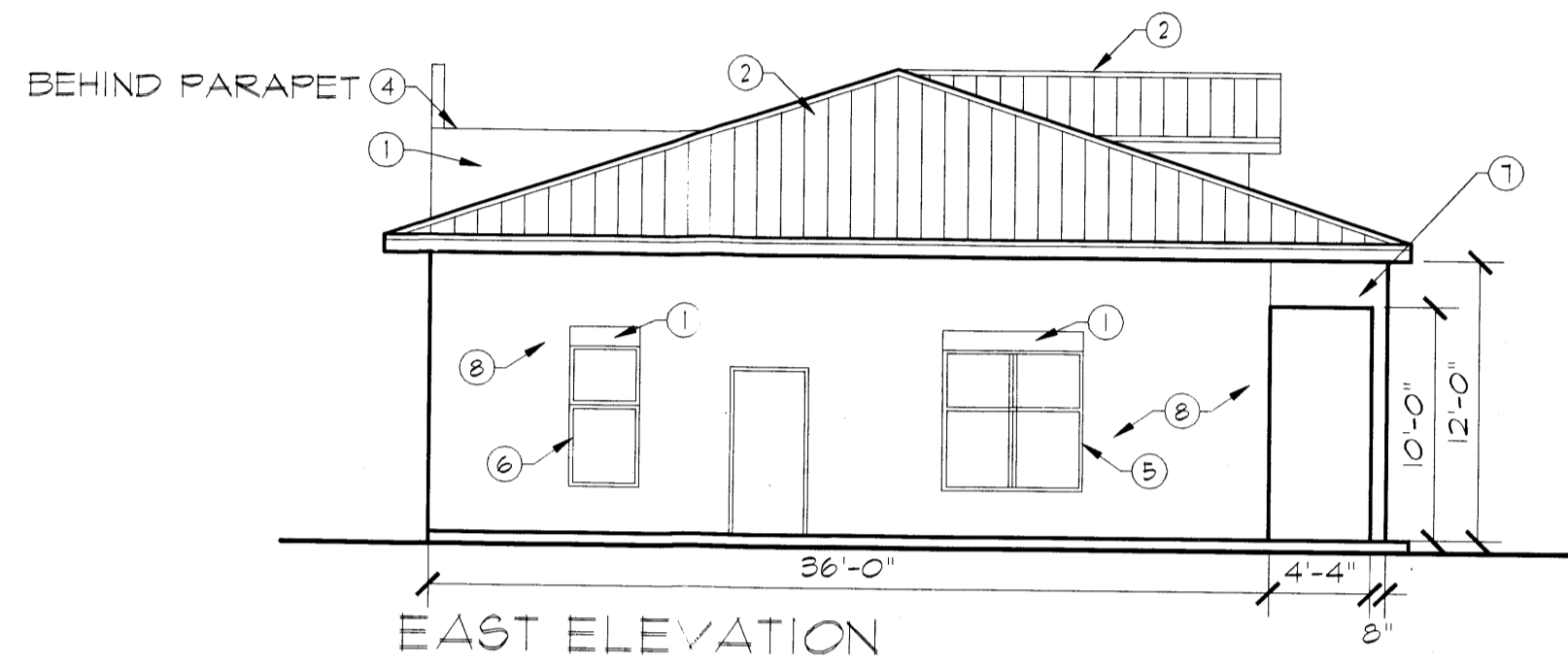
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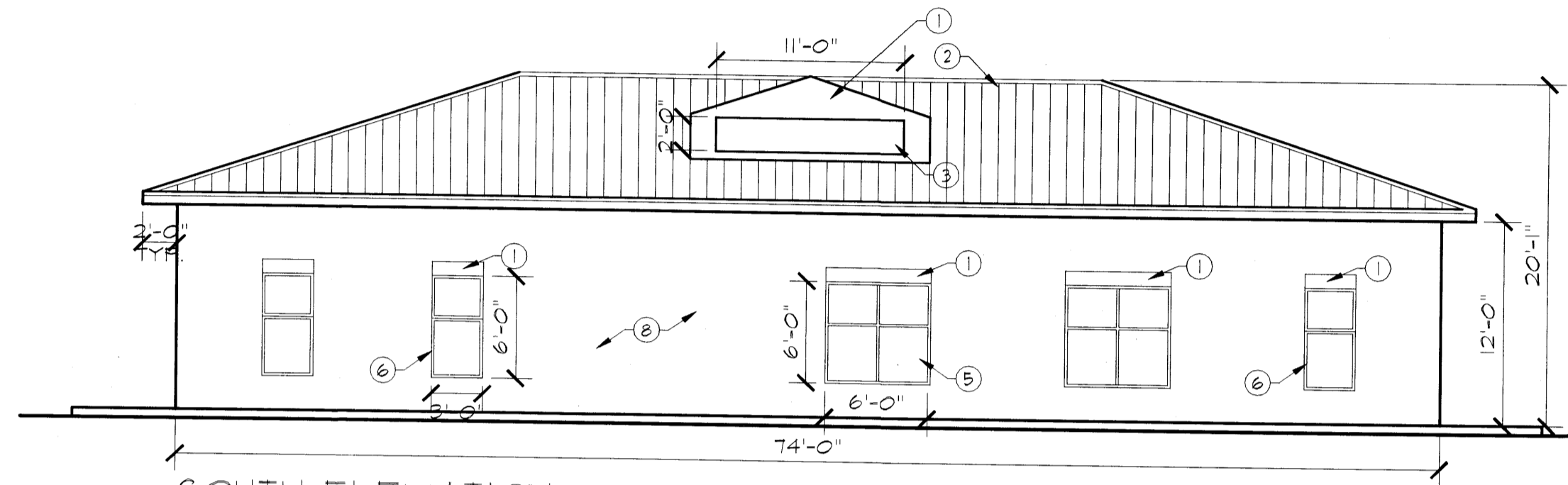
SCALE 1/8" = 1'-0"



SCALE 1/8" = 1'-0"

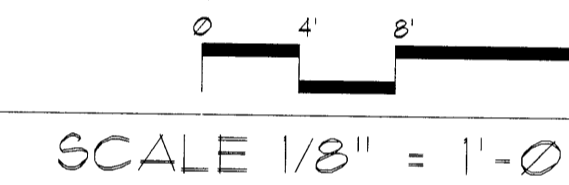


SCALE 1/8" = 1'-0"



SCALE 1/8" = 1'-0"

BUILDING C (2,650 SF)

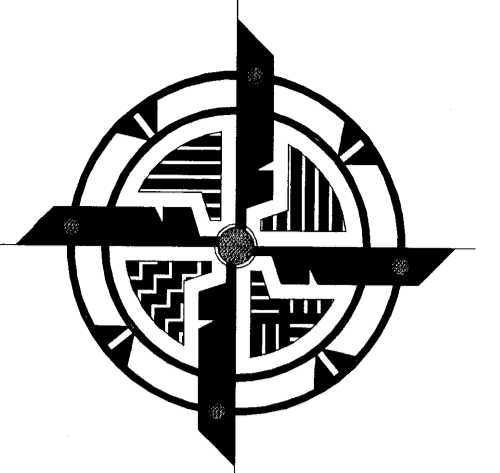


GENERAL NOTES

- BUILDING STUCCO COLORS TO BE SELECTED FROM STUCCO MANUFACTURER'S STANDARD COLORS.
- METAL ROOFING COLOR TO BE "COPPER" OR "TIN".
- SIGNS SHALL BE BACK LIT SELF ILLUMINATING.

KEYED NOTES

- STUCCO - COLOR TAN
- METAL ROOFING
- TENANT SIGN LOCATION
- MECHANICAL UNITS LOCATION
- STOREFRONT GLAZING SYSTEM
- METAL FRAME WINDOWS TO MATCH ROOF COLOR
- STUCCO COLOR ASH
- STUCCO COLOR SAGE
- STUCCO COLOR ROSE
- METAL FRAME / METAL SIDING ENCLOSURE GATE - COLOR TO MATCH ROOFING
- BUSINESS OCCUPANT SIGN: BACK LIGHT WHITE PLEXIGLASS FRONT WITH 5" MAX BLACK BLOCK LETTERING DESCRIBING EACH BUILDING OCCUPANT
- "COMMONS AND EAGLE ROCK" MONUMENT SIGN LETTERING - LETTERS TO BE SURFACE MOUNTED 3 DIMENSIONAL METAL 6" MIN-COLORS TO MATCH METAL ROOFING



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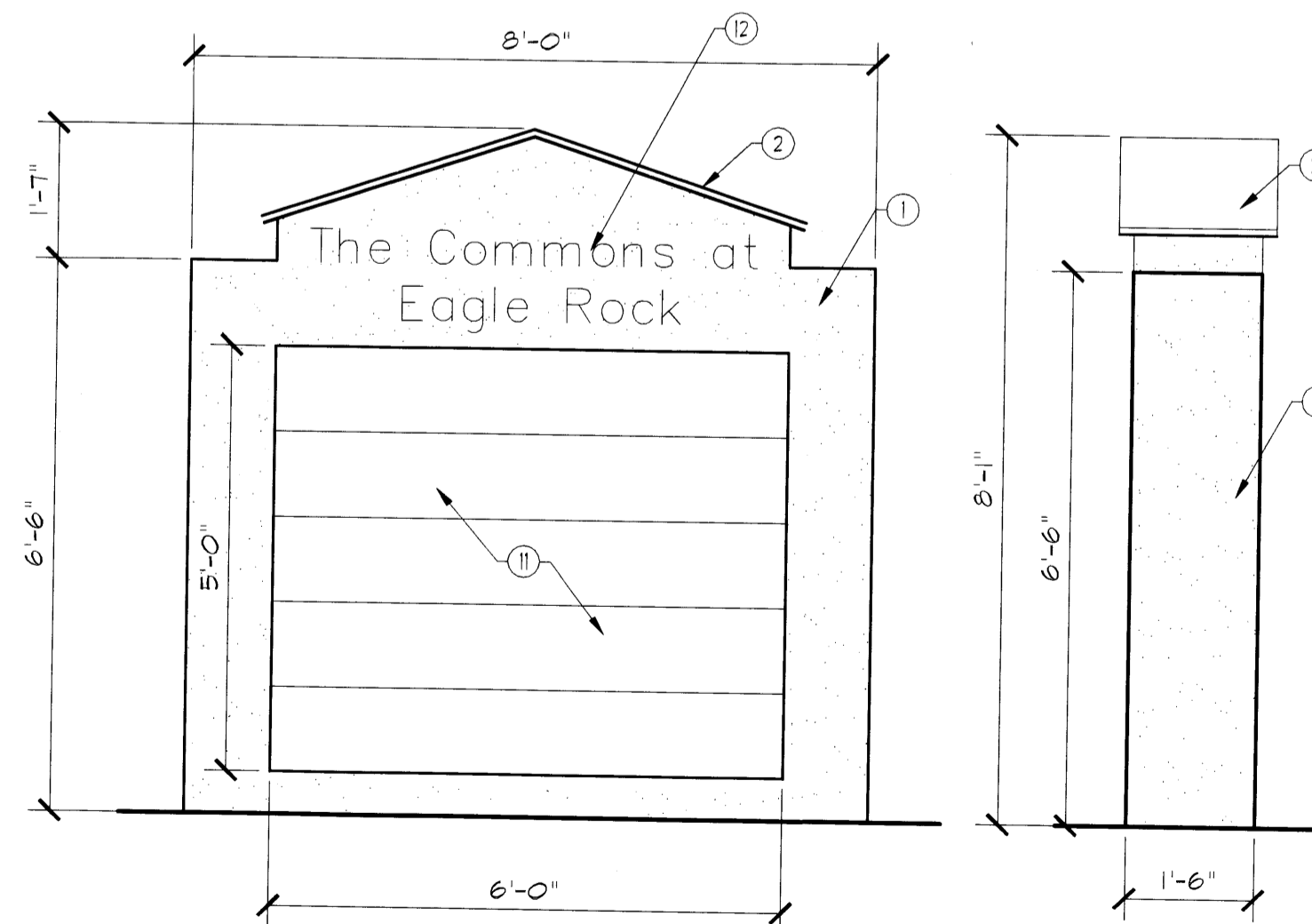
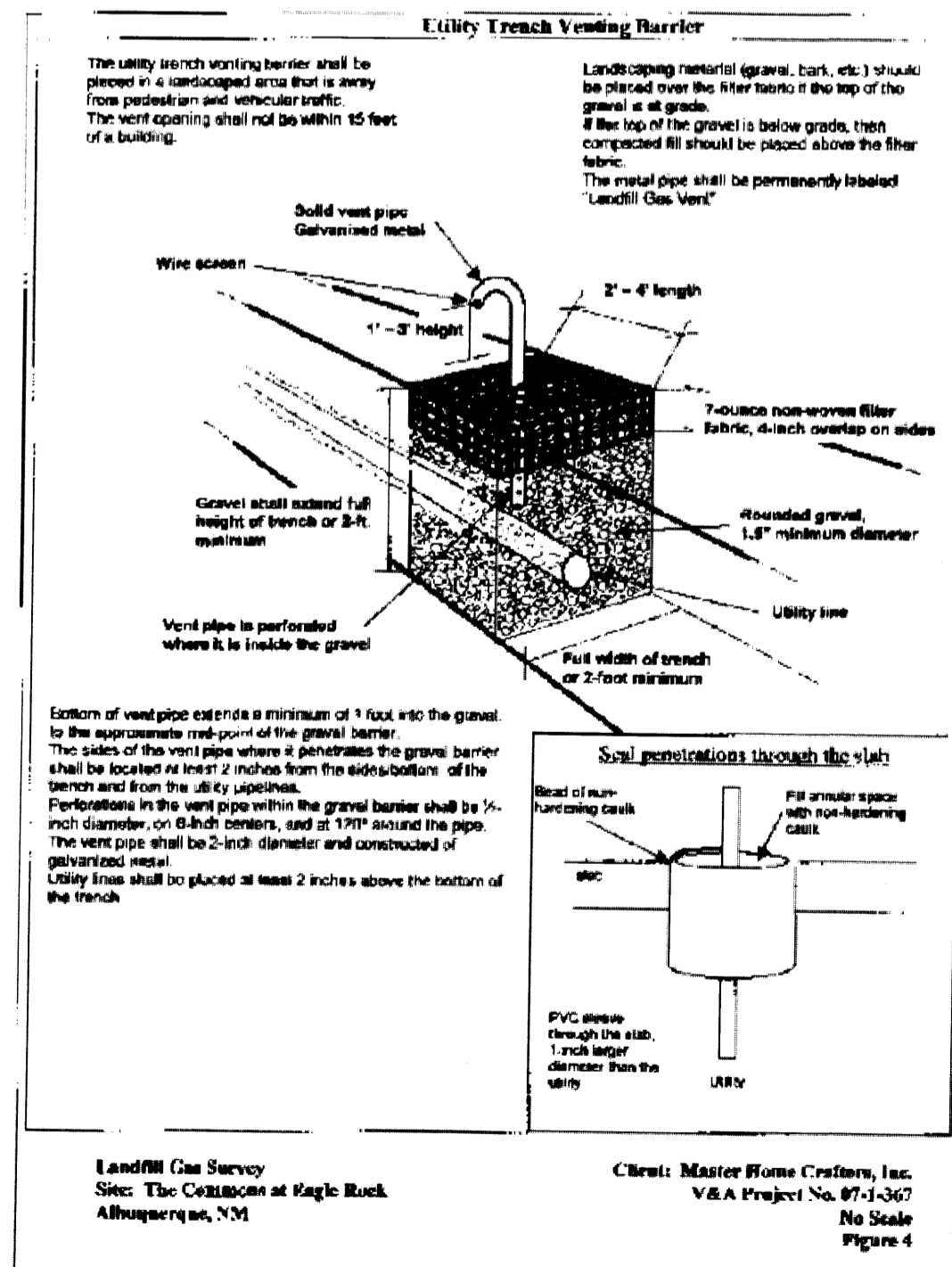
5924 ANAHEIM AVE. NE
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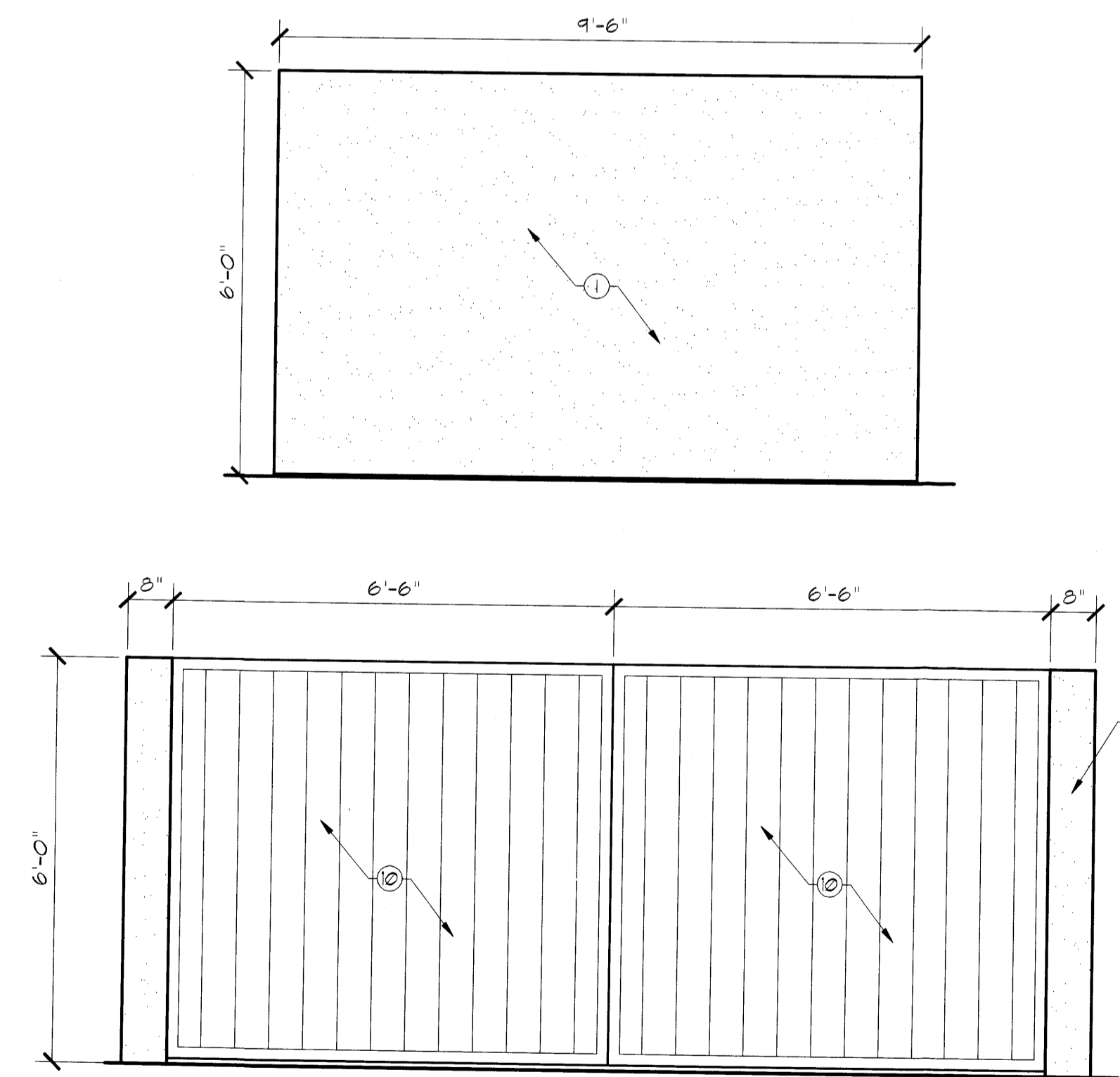
revision

THE COMMONS AT EAGLE ROCK
EAGLE ROCK NE,
ALBUQUERQUE, NM 87113



MONUMENT SIGN

SCALE 1/2" = 1'-0"



REFUSE ENCLOSER

SCALE 1/2" = 1'-0"

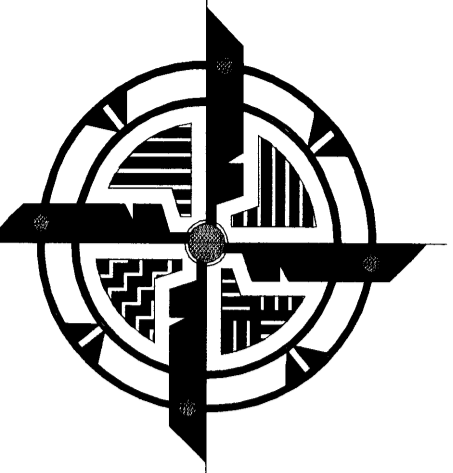
UTILITY TRENCH VENTING BARRIER

sheet no:
A-0.0

THE SUBJECT PROPERTY IS LOCATED NEAR A FORMER LANDFILL. DUE TO THE SUBJECT PROPERTY BEING NEAR A FORMER LANDFILL, CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILLS AND LANDFILL GAS ISSUES (AS REQUIRED BY THE MOST CURRENT VERSION OF THE INTERIM GUIDELINES FOR DEVELOPMENT WITHIN THE CITY DESIGNATED LANDFILL BUFFER ZONES) SHALL BE CONSULTED PRIOR TO DEVELOPMENT OF THE SITE.

KEYED NOTES

1. POWER POLE
2. PAD MOUNTED ELECTRICAL TRANSFORMER
3. WATER METER / SERVICE BOX
4. TELEPHONE PEDESTAL
5. ELECTRICAL SERVICE PANEL
6. EXISTING SANITARY SEWER MAIN LINE
7. EXISTING WATER MAIN
8. UTVB PER ATTACHED DRAWING



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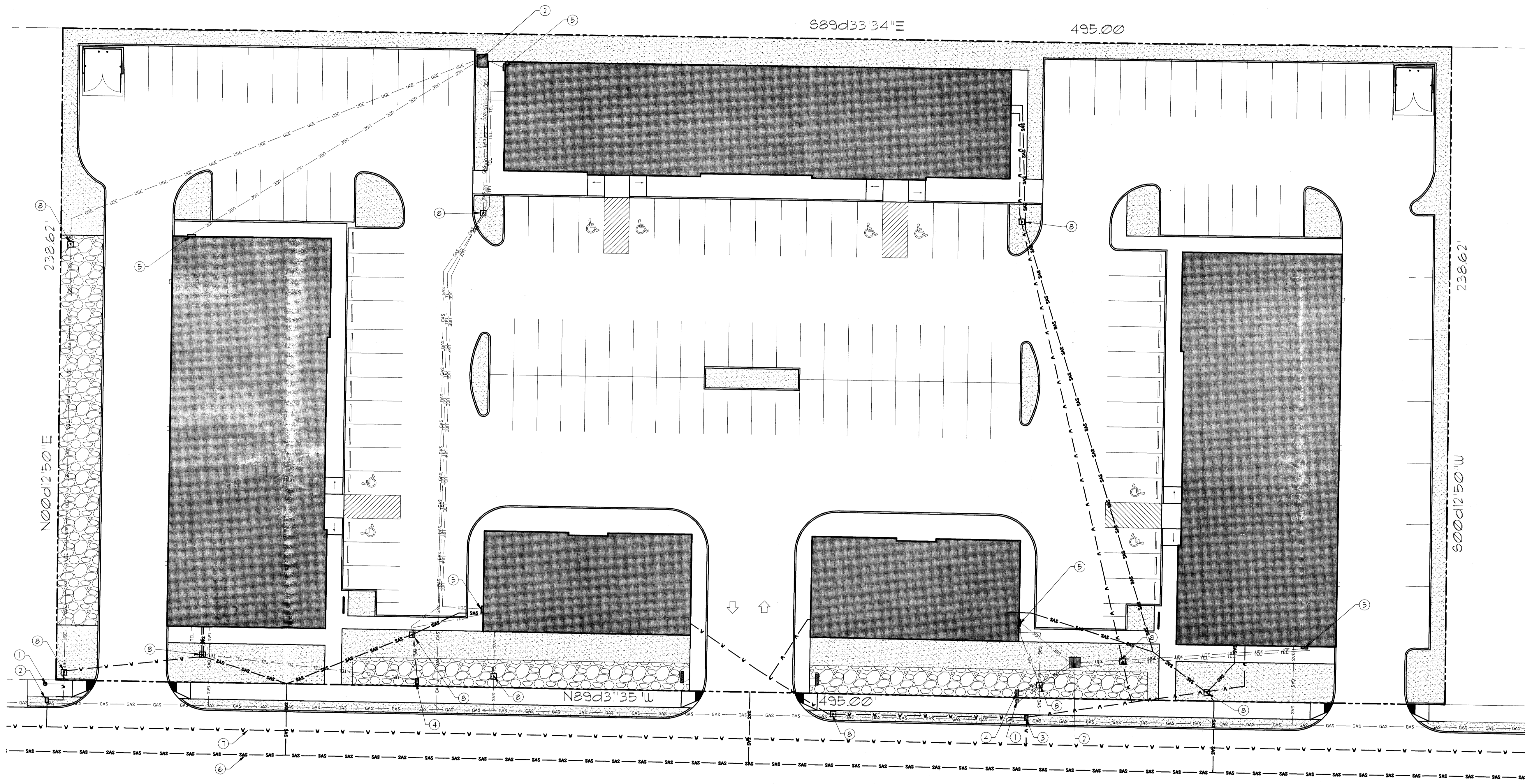
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THE COMMONS AT EAGLE ROCK

EAGLE ROCK NE,
ALBUQUERQUE, NM 87113

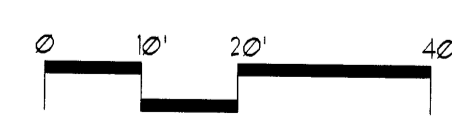
sheet no:
UT-1.0



EAGLE ROCK AVE NE

CONCEPTUAL UTILITY PLAN

SCALE: 1" = 20'-0"



GENERAL NOTES:

- CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF WORK.
- CONTRACTOR SHALL PAY ALL HOOK-UP FEES, PERMITS, AND PLAN REVIEW FEES IN ASSOCIATION WITH THE CONSTRUCTION AND EXTENSION OF UTILITY SERVICE LINES TO THE PROJECT SITE.
- CONTRACTOR SHALL COORDINATE GAS AND ELECTRICAL SERVICE EXTENSIONS WITH PNM. SERVICE ENTRANCES, METERS, METER BOXES AND SERVICE LINES SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH PNM, NEC 2005, UPC 2003, AND ALL STATE OF NEW MEXICO BUILDING CODE REQUIREMENTS.
- CONTRACTOR SHALL COORDINATE SEWER AND WATER UTILITY LINE EXTENSIONS WITH THE ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY AND SHALL MEET ALL REQUIREMENTS OF THAT AGENCY.
- CONTRACTOR SHALL CONSTRUCT TRASH ENCLOSURES TO MEET CITY OF ALBUQUERQUE SOLID WASTE MANAGEMENT DEPARTMENT REQUIREMENTS.
- CONTRACTOR SHALL COORDINATE TELECOMMUNICATIONS CONNECTIONS TO THE PROJECT SITE AND EACH INDIVIDUAL BUILDING WITH TELECOMMUNICATIONS VENDORS AS APPLICABLE.

