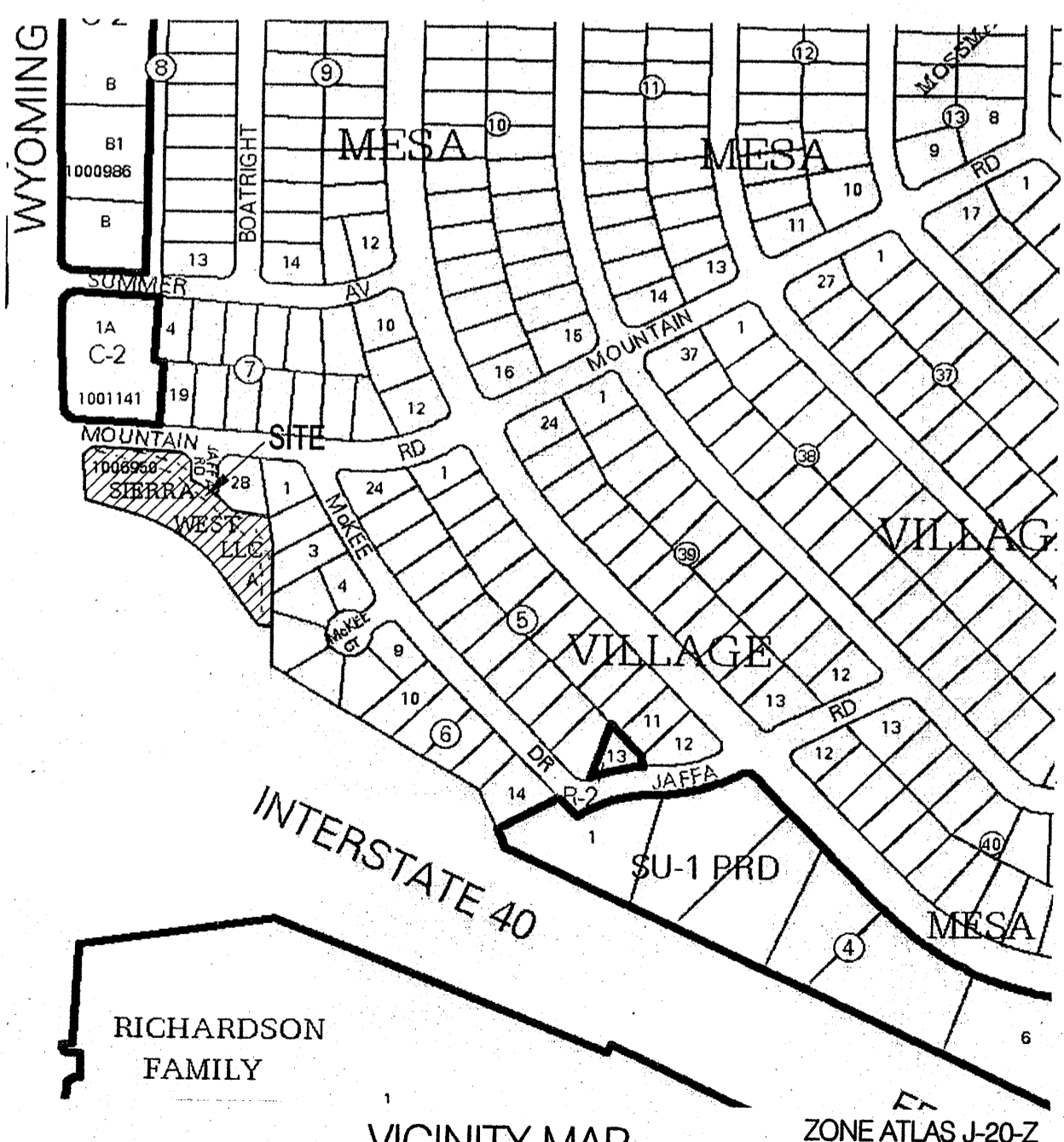
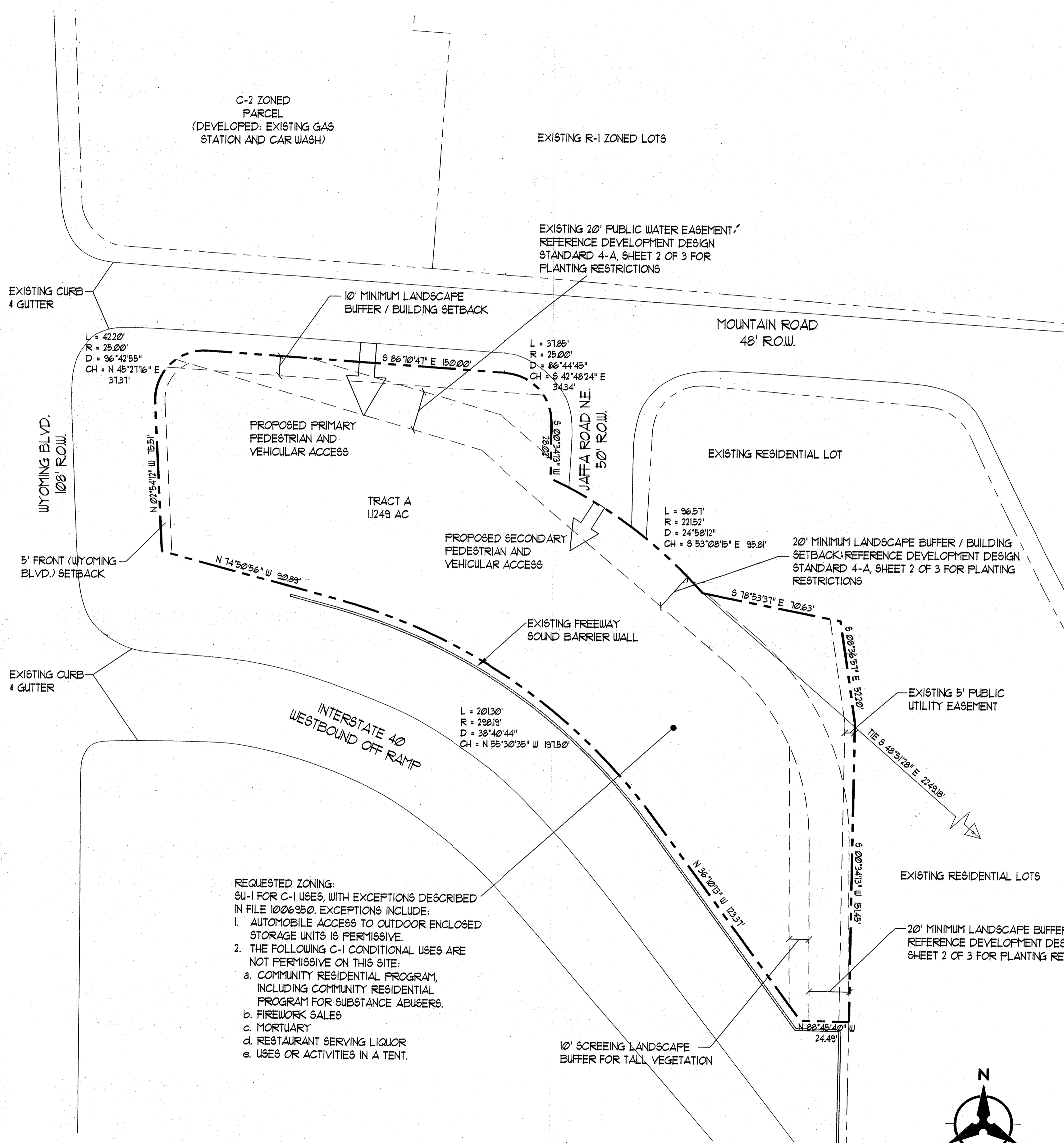




AERIAL IMAGE
SCALE: 1"=100'



VICINITY MAP
SCALE: 1"=300'



REQUESTED ZONING:
SU-1 FOR C-1 USES, WITH EXCEPTIONS DESCRIBED IN FILE 1006950. EXCEPTIONS INCLUDE:
1. AUTOMOBILE ACCESS TO OUTDOOR ENCLOSED STORAGE UNITS IS PERMISSIVE.
2. THE FOLLOWING C-1 CONDITIONAL USES ARE NOT PERMISSIVE ON THIS SITE:
a. COMMUNITY RESIDENTIAL PROGRAM, INCLUDING COMMUNITY RESIDENTIAL PROGRAM FOR SUBSTANCE ABUSERS.
b. FIREWORK SALES
c. MORTUARY
d. RESTAURANT SERVING LIQUOR
e. USES OR ACTIVITIES IN A TENT.

TRACT A SITE NOTES:

- FUTURE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT APPROVAL SHALL BE BY THE ENVIRONMENTAL PLANNING COMMISSION.
- EXISTING ZONING OF THE PARCEL IS R-1. REQUESTED ZONING IS SU-1 FOR C-1 USES, WITH EXCEPTIONS DESCRIBED IN FILE 1006950. EXCEPTIONS INCLUDE:
 - AUTOMOBILE ACCESS TO OUTDOOR ENCLOSED STORAGE UNITS IS PERMISSIVE.
 - THE FOLLOWING C-1 CONDITIONAL USES ARE NOT PERMISSIVE ON THIS SITE:
 - COMMUNITY RESIDENTIAL PROGRAM, INCLUDING COMMUNITY RESIDENTIAL PROGRAM FOR SUBSTANCE ABUSERS.
 - FIREWORK SALES
 - MORTUARY
 - RESTAURANT SERVING LIQUOR
 - USES OR ACTIVITIES IN A TENT.
- PEDESTRIAN AND VEHICULAR ACCESS WILL BE FROM MOUNTAIN ROAD. SECONDARY SITE ACCESS SHALL BE PERMITTED FROM JAFFA ROAD.
- BUILDING HEIGHTS, SETBACKS, AND FAR SHALL BE IN ACCORDANCE WITH THE DEVELOPMENT DESIGN GUIDELINES OF THIS DOCUMENT (SHEET 2 OF 3).
- LANDSCAPE, SIGNAGE, AND OFF-STREET PARKING SHALL CONFORM TO THE DEVELOPMENT DESIGN GUIDELINES (SHEET 2 OF 3) AND THE CITY OF ALBUQUERQUE COMPREHENSIVE ZONING CODE FOR C-1 ZONED PROPERTIES.
- APPLICABLE CITY OF ALBUQUERQUE PLANS:
 - ALBUQUERQUE / BERNALILLO COUNTY COMPREHENSIVE PLAN.
 - CITY OF ALBUQUERQUE ZONING CODE.
- BUILDING HEIGHT RESTRICTION: 26'
- BUILDING SETBACK RESTRICTION:
 - MOUNTAIN ROAD = 10'
 - ABUTTING RESIDENTIAL = 20'
 - WYOMING BLVD. = 5'
 - INTERSTATE 40 OFF RAMP = 0'
- FLOOR AREA RATIO RESTRICTION: LIMITED ONLY BY SETBACK RESTRICTIONS AND PROVISION OF MINIMUM PARKING AND LANDSCAPE AREA.
- ON-SITE IMPROVEMENTS SHALL CONFORM TO D.P.M. AND CURRENT ADA STANDARDS / REQUIREMENTS.
- UTILITY FACILITY SCREENING (FNM ELECTRIC): ALL SCREENING AND VEGETATION SURROUNDING GROUND MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10 FEET CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES. REFER TO THE FNM ELECTRIC SERVICE GUIDE AT WWW.FNM.COM FOR SPECIFICATIONS.

APPLICATION NUMBER: BEPC-40095	PROJECT NUMBER: 1006950
<i>MS</i>	5-08-13
Traffic Engineering / Transportation Division	
<i>Allen Patten</i>	05/08/13
Utilities Development	
<i>Bandora</i>	5/8/13
Parks and Recreation Department	
<i>Ante C. Chin</i>	5-8-13
City Engineer	
<i>Carl Chin</i>	5-8-13
Dir. Chairperson, Planning Department	

PLAN INDEX	
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SHEET 2	DEVELOPMENT DESIGN STANDARDS
SHEET 3	CONCEPTUAL UTILITY PLAN

SHEET 1 OF 3

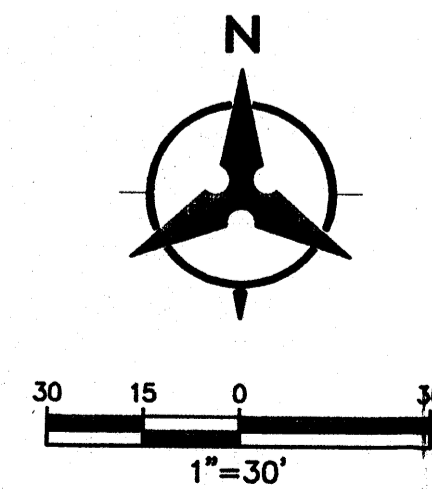
SITE PLAN FOR SUBDIVISION

Revisions	

Bohannon & Huston

Courtyard | 7500 Jefferson St. NE | Albuquerque, NM 87109-4335
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

DATE: JANUARY 31, 2013
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REV.: APRIL 5, 2013



SITE PLAN FOR SUBDIVISION

1006950

DEVELOPMENT DESIGN STANDARDS

The purpose of these Design Standards is to provide a framework to assist developers and designers to understand the Owner's goals and objectives to create a high quality commercial center. These standards address the issues of landscape, setbacks, pedestrian amenities, screening, lighting, signage, and architecture that will create the visual image desired for development. These standards are to be used as supplement to the City of Albuquerque Zone Code and other pertinent city ordinances.

Existing Zoning

The existing zoning on the subject property is R-1. Requested zoning is C-1 for C-1 uses with exceptions described in file 1026950. Exceptions include:

1. Automobile access to outdoor enclosed storage units is permissive.
2. The following C-1 conditional uses are not permissive on this site:
 - a) community residential program, including community residential program for substance abusers.
 - b) fireworks sales
 - c) mortuary
 - d) restaurant serving liquor
 - e) uses or activities in a tent.

Setbacks and Building Height Requirements

Structures shall conform to C-1 zoning regulations regarding setbacks and building heights, with the following additional restrictions:

- a. Building setbacks at all locations where the subject site abuts existing residential property shall be 20' minimum.
- b. Building setbacks from Mountain Road shall be 10' minimum.
- c. Floor area ratio shall be limited only by setback restrictions and provision of minimum parking and landscape area.

1. Site Objectives

Because the site is located on a principal arterial (Wyoming Blvd) and in an established area of the city, access to it can be achieved by many modes. Accordingly, site design shall recognize that visitors will be arriving by foot, bicycle, and mass transit, in addition to the automobile. Conflicts between these modes shall be minimized which will result in a more desirable visitor experience and encourage people to utilize alternative modes of transportation. As such it is the Owner's desire to have the parking areas linked to the public sidewalk on Mountain Road. Vehicular and Pedestrian connectivity is desirable and encouraged between buildings where grading allows, and if the Site is developed with more than one structure.

- 1-A Pedestrian connections from parking areas to building entrances shall be clearly visible and their surfaces shall be constructed of textured, colored concrete or thermoplastic when crossing drive aisles, driveways and streets.
- 1-B All parking facilities adjacent to Mountain Road and Wyoming Blvd. shall be screened. See 6-A.
- 1-C Pedestrian paths shall be designed to be accessible to the handicapped to the extent required by the American's with Disabilities Act.
- 1-D Pedestrian access and circulation shall provide direct connections from sidewalks to building entrances that minimize pedestrian/vehicular conflicts.
- 1-E All sites shall comply with Section 12-16-3-18 of the Zoning Code (general building and site design regulations for nonresidential uses).

2. Parking and Circulation Standards

Parking and circulation (vehicular and pedestrian) within the development shall be designed to meet the site objectives listed above. Large parking fields that are not divided by landscape islands or pedestrian walkways are not permitted.

- 2-A The minimum required off-street parking for the overall site shall be in accordance with Section 14-6-3-1 of the Zoning Code.

3. Pedestrian Circulation and Bicycle Standards

- 3-A Pedestrian and bicycle crossings shall match the width of the adjoining walkway and be designated by textured, colored concrete or thermoplastic pavement markings.
- 3-B Bicycle racks shall be conveniently located near building entrances but not within pedestrian pathways or landscaped areas. Bicycle parking shall be in accordance with The City of Albuquerque Zoning Code.

3-C Pedestrian features must meet the requirements for Pedestrian Connections pursuant to Off-Street Parking regulations of the Zoning Code (Section 14-16-3-1) and the regulations for sidewalks pursuant to the General Building and Site Design Regulations (Section 14-16-3-18) for this site to the extent feasible when considering grading and topographic site conditions. These regulations include:

- Minimum 6' wide pedestrian walkways.
- Shade trees @ 25' O.C. along pedestrian walkways.
- Pedestrian walkways leading from the sidewalk on Mountain Road to the customer entrance of the closest building to this street.
- All buildings on the site shall be connected to each other with pedestrian walkways, if the site is developed with multiple buildings.
- Where building facades abut parking areas, pedestrian walkways shall be 8' minimum in width along the full length of the building.
- Parking areas shall be divided in segmented smaller sub areas by landscaping and/or pedestrian walkways. No sub area shall exceed 15 parking spaces

3-D Pedestrian connections from parking areas to the street sidewalk network shall be short and direct, not circuitous.

4. Landscaping Standards

Development of an overall landscape concept shall establish a framework that will unify each of the individual sites within the development. The landscape design shall place an emphasis on the streetscape appearance. Water harvesting techniques are encouraged. Landscaping shall comply with the Zoning Code.

- 4-A Deciduous shade trees shall be used within parking areas. Buffer areas shall include primarily evergreen trees and shrubs. Parking and outdoor storage areas beneath overhead power lines shall not be permitted to contain trees that will grow to over 20 feet in height. Trees are not permitted over sewer or water lines and are discouraged within dry utility easements.
- 4-B A landscape buffer of no less than 10 feet shall be maintained between a parking area and Mountain Road. This buffer is in addition to any landscape within the right-of-way.
- 4-C A landscape buffer of no less than 20 feet shall be maintained between all areas of the subject site that abuts existing residential development. - Additional screening buffering to allow taller vegetation (Trees) shall be provided where existing utility easements prohibit these plantings.
- 4-D Trees shall be capable of reaching a mature height of a least twenty-five feet, unless they are below power lines. Parking area trees shall be deciduous and canopy-forming.
- 4-E 15% of landscaped areas over 36 square feet in size shall be covered with living vegetative material consisting of xeric and native plants or native turf. The maximum allowable native turf is 30% of the required living vegetative material.
- 4-F One tree is required for each thirty linear feet of Mountain Road Frontage on average. If clustered, trees shall be planted within not more than a fifty-foot gap between groupings.
- 4-G Off-street parking areas shall have one shade tree for every ten (10) parking spaces.
- 4-H Minimum plant sizes at time of installation shall be as follows: Trees shall have a 2" caliper and shrubs shall be a five-gallon container. Ground covers shall be a one gallon container, and turf grasses shall be capable of providing complete ground coverage within one full growing season after installation.
- 4-I Xeric principles shall be applied to all landscape areas including the use of drought tolerant plant materials and the implementation of water harvesting techniques.
- 4-J High-water-use turf shall be prohibited, except as part of a turf blend mix which does not contain more than 15% high-water-use turf.
- 4-K Away from buildings, landscaped beds shall directly receive runoff from paving by installing curb openings and depressing the landscaped beds.
- 4-L The quantity of street trees placed along Mountain Road and Wyoming Blvd. shall be in accordance with the street tree ordinance. Locations shall be coordinated with existing and proposed utilities.
- 4-M All planting areas not covered with turf shall have a ground topping of crushed rock, river rock, or similar materials, which extends completely under the plant material. All plant material, including trees, shrubs, ground-covering, turf, wild flowers, etc. shall be maintained by the owner in a living, attractive condition. All areas shall be maintained free of weeds.
- 4-N Trees and shrubs shall be irrigated by an automated drip system. Turf areas can be irrigated with spray heads and arranged with uniform coverage without runoff onto landscaped areas. All irrigation shall be in compliance with the City Water Conservation Ordinance. Irrigation components shall be checked periodically to ensure maximum efficiency.
- 4-O Areas of the site disturbed and awaiting future development shall be stabilized to control erosion and dust in accordance with EPA requirements.
- 4-P Landscaping shall not interfere with vehicular clear site requirements, therefore walls, trees, and shrubbery between 3 and 8 feet tall (As measured from the gutter pan) will not be acceptable in this area.

5. Architectural Standards

The architectural objective is to create a site that is visually coordinated through the use of architectural materials, colors, roofing, style, and scale. Stucco, EIFS, split face or masonry textured block shall be used as the primary surface treatment. Metal siding is not allowed as a primary surface but is allowed as an accent feature.

Additionally, all buildings shall conform to the following requirements:

- 5-A Buildings and structures erected within the site shall comply with all applicable zoning and building code requirements as well as other local applicable codes.
- 5-B Building design and construction shall be used to create a structure with attractive sides of high quality, rather than placing all emphasis on the front elevation of the structure and neglecting or downgrading the aesthetic appeal of the side and rear elevations, as defined in Paragraph D of Section 14-16-3-18 of the Zoning Code.
- 5-C Finished building materials must be applied to all exterior sides of buildings and structures.
- 5-D Any accessory buildings, canopies or other enclosures, whether or not they are attached to the main building, shall consist of similar design elements that are architecturally compatible with the main building.
- 5-E Entries to structures shall exhibit an aesthetically pleasing appearance while being architecturally tied into the overall mass and composition of the building.
- 5-F Wall materials shall be chosen to withstand abuse by vandals and be easily repaired when damaged.
- 5-G ATM's and drive-up service windows shall be architecturally compatible with the main building.
- 5-H Energy efficient building design shall be encouraged. Building orientation, quantity and type of windows, use of awnings or other shading device, use of energy efficient appliances and mechanical equipment, building envelope energy efficiency, etc. are ways to achieve a more energy efficient building and all are encouraged in this development.
- 5-I If the site is developed with outdoor enclosed storage units with automobile access, a 6' minimum height opaque wall shall be constructed surrounding the perimeter of the site. This wall shall incorporate design elements as required by Section 14-16-3-19 of the zoning code.

6. Screening Walls and Fencing Standards

The effective use of screening devices for parking lots, loading areas, refuse collection, and delivery/storage areas is essential to limit their adverse visual impact. Site orientation of the above service functions shall be away from pedestrian areas. The standard established in the landscape and setback sections will provide the main direction towards screening objectionable views and activities. Walls and fences will also serve a major screening and architectural function within the landscape element of the Development. The following are standards to ensure effective screening of negative site elements:

- 6-A All parking areas shall be screened from Mountain Road and Wyoming Blvd. with a combination of plant materials, walls, and / or earthen berms. Such screening shall have a height of not less than 30 inches, as measured from the elevation of the existing sidewalk on Mountain Road.
- 6-B Screen walls for parking facilities shall include wall openings to facilitate pedestrian circulation.
- 6-C All refuse containers shall be screened with a minimum 6-foot tall masonry enclosure, in accordance with City of Albuquerque Solid Waste Department requirements.
- 6-D The design and materials for refuse collection enclosures shall be compatible with the architectural theme of the building using compatible materials and colors. All refuse enclosures shall be gated.
- 6-E The use of chain-link fencing, wood, barbed or concertina wire shall not be allowed, except where existing chain-link perimeter fencing separates the subject property from the adjoining properties.
- 6-F Service functions shall be oriented away from principal street and pedestrian areas.
- 6-G If the site is developed with outdoor enclosed storage units with automobile access, a 6' minimum height opaque wall shall be constructed surrounding the perimeter of the site. This wall shall incorporate design elements as required by Section 14-16-3-19 of the zoning code.
- 6-H Utility facility screening (FNM Electric): All screening and vegetation surrounding ground mounted transformers and utility pads are to allow 10 feet clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance, and repair purposes. Refer to the FNM Electric service guide at www.pnm.com for specifications.

7. Lighting Standards

In order to enhance the safety, security and visual aesthetics of this development, careful consideration must be given to lighting design and features. To insure a quality development it is important to consider the daytime appearance of lighting fixtures. A design objective of the site lighting system must be to maximize public safety while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection. All site lighting on Tract A shall match:

- 7-A The maximum height of lighting poles (measured from top to grade) shall be 16 feet.
- 7-B Placement of fixtures and standards shall conform to state and local safety and illumination requirements.

- 7-C All light fixtures shall be fully shielded horizontally with no light, lens, or bulb protruding below the bottom of the cut-off fixture so that fugitive light will not escape beyond the property line, and the illuminating light source will not be visible from the site perimeter.
- 7-D High pressure sodium lighting shall be prohibited. Energy Efficient Lighting is encouraged, including compact fluorescent bulbs.

8. Signage Standards

The signage standards have been developed to regulate the size, location, type, and quality of sign elements within the development. A properly implemented signage standard will serve to direct and inform employees and visitors, provide circulation requirements and restrictions, provide for public safety, and complement the visual character of the development. The following are general standards for signage design and placement.

- 8-A Signs shall be limited to the requirements of C-1 zoning and the City of Albuquerque general sign regulations.
- 8-B Free standing signs:
 - Maximum sign height= 18'
 - Maximum sign area= 15 square feet
 - No off Premise sign is allowed
- 8-C All elements of a sign shall be maintained in a visually appealing manner.
- 8-D Wall signs shall be limited to 1 sign per fifty feet of building facade length, and not more than 2 on any one facade.
- 8-E Signage is not allowed to contain moving parts, make audible sounds, or exhibit blinking or flashing lights (including searchlights used for promotional events).
- 8-F Signs located on rocks, trees, or other natural features are not permitted.
- 8-G No sign shall over hang into the public right-of-way or extend above the building roof line.
- 8-H Each Business shall incorporate a numerical street address sign, as required by the Fire Marshal.
- 8-I The contrast between signage lettering and the background it is placed on shall be 10% minimum.
- 8-J Illumination of signage is permitted with Neon Lighting being encouraged, however, no illuminated signage shall face existing residential buildings.
- 8-K Electronic display panels, if utilized, shall be limited to one per business, which shall also count as one of the allowed signs. Size shall be restricted by standard 8-B. White background is not permitted. Electronic display panels may not blink, change colors, change in brightness, or rotate.
- 8-L Use of multiple tenant signage is encouraged, if applicable.
- 8-M Signage shall not interfere with vehicular clear site requirements. Therefore, signage between 3 and 8 feet tall (As measured from the gutter pan) will not be acceptable in this area.

9. Utility Standards

To mitigate the negative visual image presented by some utility equipment, and to ensure the overall aesthetic quality of the development, the following standards shall apply:

- 9-A All rooftop and ground-mounted equipment shall be screened from the public view by materials similar to the building's materials.
- 9-B The top of all rooftop equipment shall be below the top of parapet or screened from view.
- 9-C Screen walls or plant materials shall conceal all ground mounted mechanical equipment with the top of equipment below the top of screen wall.

10. Approval Process

Future Site Development plans for building permit approval shall be by the Environmental Planning Commission.

SHEET 2 OF 3

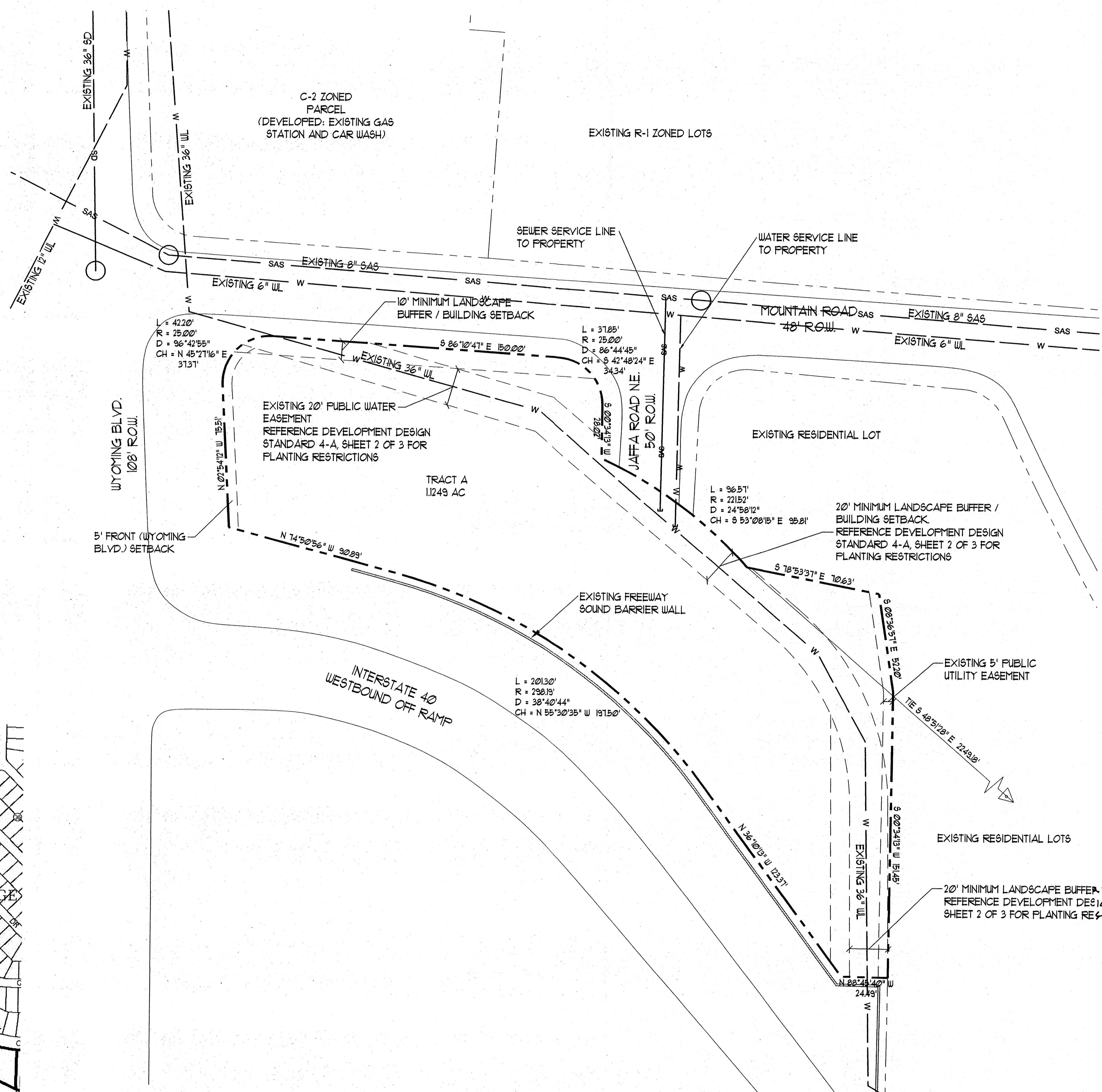
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DEVELOPMENT DESIGN STANDARDS

Revisions

Bohannon  **Huston**

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NOTE:
UTILITY FACILITY SCREENING (FNM ELECTRIC): ALL SCREENING AND VEGETATION SURROUNDING GROUND MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10 FEET CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES. REFER TO THE FNM ELECTRIC SERVICE GUIDE AT WWW.FNM.COM FOR SPECIFICATIONS

- LEGEND:
- EXISTING GAS MH
 - EXISTING SEWER LINE
 - EXISTING WATER LINE
 - EXISTING STORM DRAIN LINE
 - NEW SEWER SERVICE LINE
 - NEW WATER SERVICE LINE

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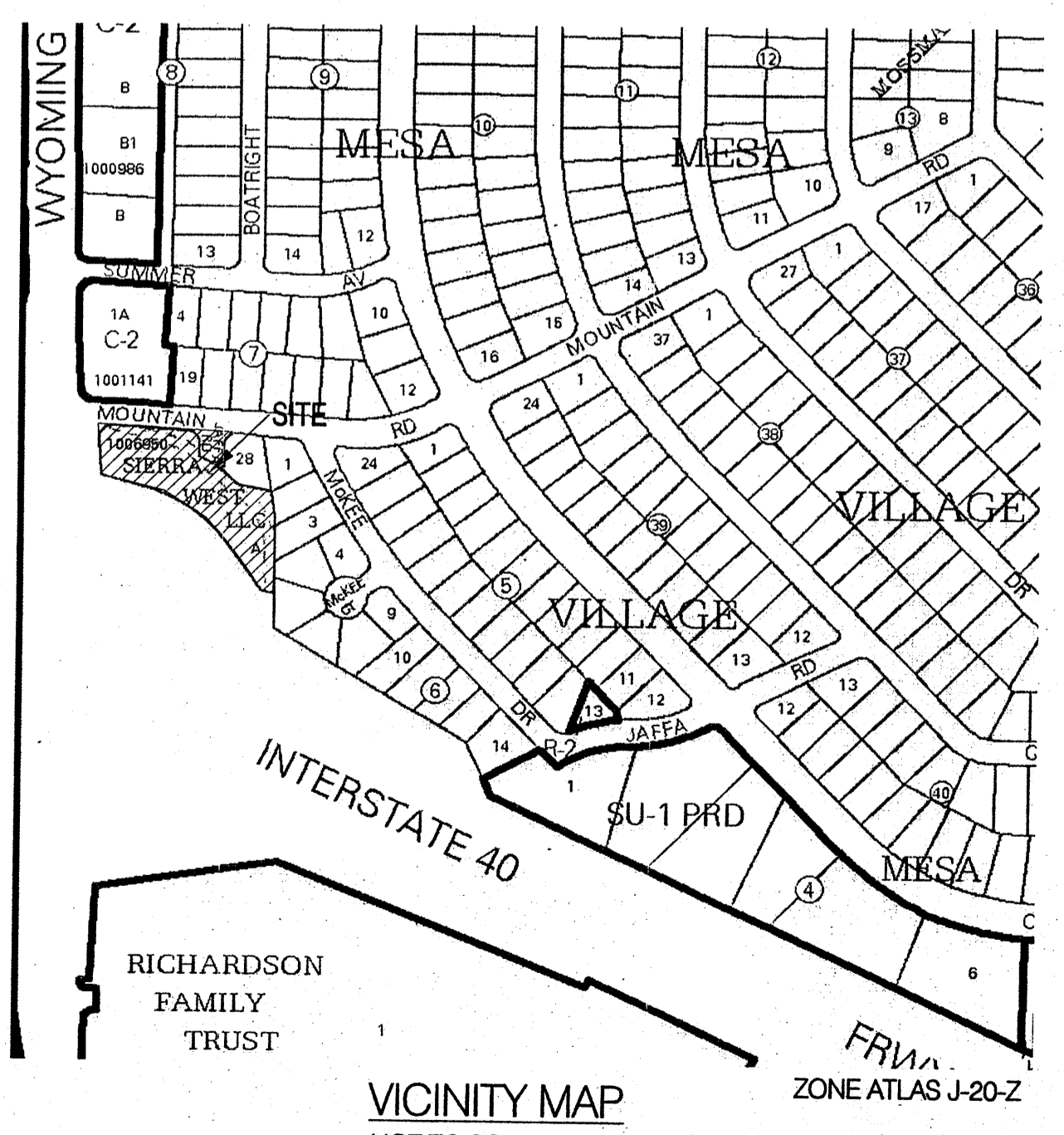
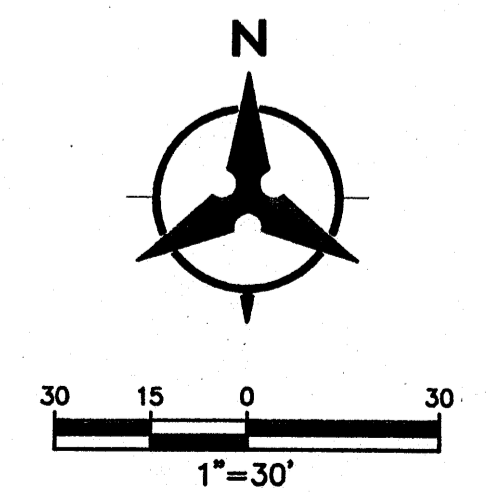
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CONCEPTUAL UTILITY PLAN

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CONCEPTUAL UTILITY PLAN

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