

**DEVELOPMENT REVIEW BOARD**  
**Action Sheet**

**Plaza del Sol Hearing Room, Basement, Plaza del Sol Building**

May 8, 2013 9:00 AM  
MEMBERS:

**Jack Cloud, DRB Chair**  
**Angela Gomez, Administrative Assistant**

**Kristal Metro, Transportation Development**  
**Curtis Cherne, City Engineer**

**Allan Porter, ABCWUA**  
**Carol Dumont, Parks & Recreation**

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**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND**  
**MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

- 1. Project# 1006950**  
13DRB-70529 EPC APPROVED SDP  
FOR SUBDIVISION  
BOHANNAN HUSTON INC agent(s) for TPCB, LLC request(s) the above action(s) for all or a portion of Lot(s) A, **PLAT OF TRACT A, LAND OF SIERRA WEST, LLC** zoned R-1, located on WYOMING BETWEEN MOUNTAIN AND WEST BOUND I-40 containing approximately 1.13 acre(s). (J-20) **THE SITE DEVELOPMENT PLAN FOR SUBDIVISION WAS APPROVED.**

**CASES WHICH REQUIRE PUBLIC NOTIFICATION**  
**MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

- 2. Project# 1007140/1007139**  
13DRB-70511 VACATION OF PUBLIC  
EASEMENTS  
13DRB-70534  
MARK GOODWIN AND ASSOCIATES, P.A. agent(s) for JUAN TABO HILLS LLC request(s) the referenced/ above action(s) for all or a portion of Lot(s) 2A, 3A, 4A, 1-C, **JUAN TABO HILLS UNIT 1**, zoned RD/SU-1, located on the east side of JUAN TABO BLVD SE south of the TIJERAS ARROYO containing approximately 81 acre(s). (M-21 & 22) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A) (1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE. CONDITIONS OF VACATION: EASEMENT MUST BE RECORDED CONCURRENTLY, BLANKET EASEMENTS FOR LOTS 2A AND 4A ONLY, AND MUST BE REPLATTED WITHIN ONE YEAR.**

DRB CASE ACTION LOG - BLUE SHEET

- Preliminary/Final Plat [FP]
- Site Plan - Subdivision [SPS]
- Site Plan - Building Permit [SBP]

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

Project #: 1006950

Application #: 13DRB-70529

Project Name: PLAT OF TRACT A, LAND OF SIERRA WEST, LLC

Agent: BOHANNAN HUSTON INC

Phone #:

\*\*Your request was approved on 5-2-13 by the DRB with delegation of signature(s) to the following departments - outstanding comments to be addressed\*\*

TRANSPORTATION:

ABCWUA:

CITY ENGINEER / AMAFCA:

PARKS / CIP:

PLANNING (Last to sign): ALL SIGNED

**PLATS:**

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). RECORDED DATE: \_\_\_\_\_
- Tax printout from the County Assessor.
- County Treasurer's signature must be obtained prior to the recording of the plat with County Clerk.

- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

**ALL SITE PLANS:**

13 copies of the approved site plan. Include all pages.

**City of Albuquerque  
Planning Department  
Inter-Office Memorandum**

TO: Jack Cloud, DRB Chair

FROM: Carrie Barkhurst, Planner

SUBJECT: Project # 1006950

DATE: May 7, 2013

On March 14, 2013, the Environmental Planning Commission approved Project 1006950, 13EPC-40095, a request for a Zone Map Amendment and 13EPC-40096, a request for a Site Development Plan for Subdivision, for Lot A, Plat of Tract A, Land of Sierra West, LLC, located on Wyoming between Mountain Rd. and I-40, containing approximately 1.13 acres.

The applicant has satisfied the EPC Conditions of Approval 1 - 5 and 7 of the Site Plan for Subdivision. Compliance with City Engineer Condition of Approval 6.a – 6.e should be verified with the City Engineer. If you should have any questions regarding this case, please do not hesitate to call me at 924-3879.

Thank you.

**CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
HYDROLOGY DEVELOPMENT SECTION**

**DEVELOPMENT REVIEW BOARD--SPEED MEMO**

**DRB CASE NO/PROJECT NO: 1006950**

**AGENDA ITEM NO: 18**

**SUBJECT:**

Sketch Plat/Plan

**ACTION REQUESTED:**

REV/CMT:(x) APP:() SIGN-OFF:() EXTN:() AMEND:()

**ENGINEERING COMMENTS:**

Need platting action to create lot designation.

**RESOLUTION:**

APPROVED \_\_\_\_; DENIED \_\_\_\_; DEFERRED \_\_\_\_; COMMENTS PROVIDED *discussed* X; WITHDRAWN

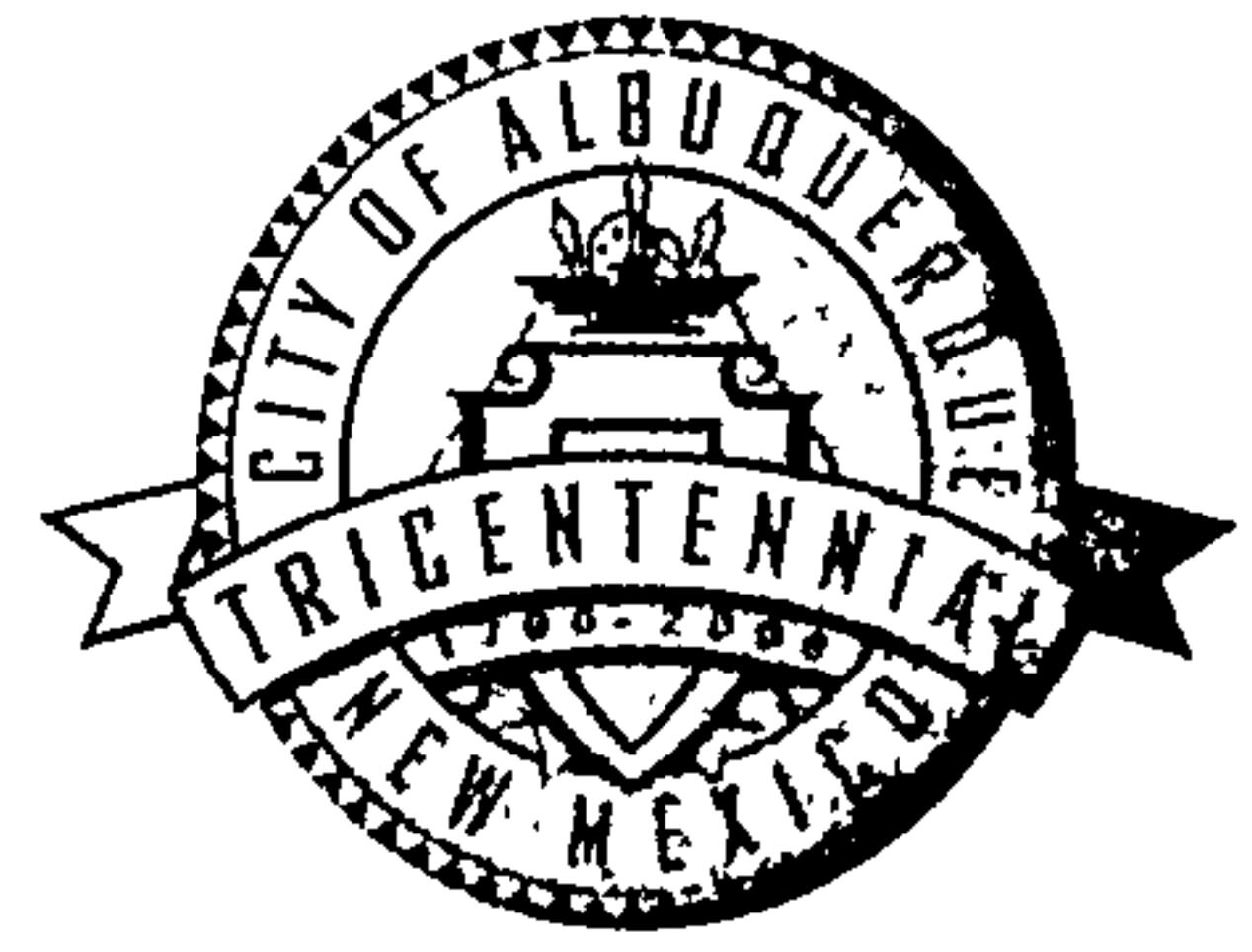
SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

**SIGNED:** Bradley L. Bingham  
City Engineer/AMAFCA Designee  
924-3986

**DATE:** December 5, 2007



**CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
HYDROLOGY DEVELOPMENT SECTION**

**DEVELOPMENT REVIEW BOARD--SPEED MEMO**

**DRB CASE NO/PROJECT NO: 1006950**

**AGENDA ITEM NO: 11**

**SUBJECT:**

Final Plat  
Preliminary Plat

**ACTION REQUESTED:**

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

P.O. Box 1293

**ENGINEERING COMMENTS:**

Albuquerque

No adverse comments.

New Mexico 87103

**RESOLUTION:**

www.cabq.gov

APPROVED \_\_\_\_; DENIED \_\_\_\_; DEFERRED \_\_\_\_; COMMENTS PROVIDED \_\_\_\_; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

**SIGNED:** Bradley L. Bingham  
City Engineer/AMAFCA Designee  
924-3986

**DATE:** March 12, 2008



## IMPACT FEES – # 1006950

Development Review Board 12/5/07 Agenda Item #18  
Sketch Plat: NMDOT Land on Wyoming Bd. between  
Mountain Rd. and the I-40 Northbound Off-Ramp

Impact Fees will be assessed at the time a building permit is issued. These fees are available on the city's website- [www.cabq.gov](http://www.cabq.gov). Go to the "A-Z" feature and under the letter "I" the first item in this list will be Impact Fees. The area for which these will be assessed is the Eastside for Public Safety on commercial properties. For residential properties, Eastside for public safety and Foothills for Parks & Recreation.

JACK CLOUD  
IMPACT FEE ADMINISTRATOR



# DRB CASE ACTION LOG (PREL/FINAL)

REVISED 10/08/07

Completed sup AG  
3/13/08

**This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.**

DRB Application No.: 08DRB-70115	Project # 1006950
Project Name: PORTIONS OF TRACTS B-B NMDOT ROW to be known as TRACT A LANDS OF SIERRA WEST LLC	
Agent: WAYJOHN SURVEYING	Phone No.:

Your request was approved on 03/12/08 by the DRB with delegation of signature(s) to the following departments.

### OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

UTILITIES: VERIFY STATUS OF EX ESMT  
 \_\_\_\_\_  
 \_\_\_\_\_

CITY ENGINEER / AMAFCA: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

PARKS / CIP: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

PLANNING (Last to sign): \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

- Planning must record this plat. Please submit the following items:**
- The original plat and a mylar copy for the County Clerk.
  - Tax certificate from the County Treasurer.
  - Recording fee (checks payable to the County Clerk). **RECORDED DATE:** \_\_\_\_\_
  - Tax printout from the County Assessor.
    - 3 copies of the approved site plan. Include all pages.**
    - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
    - Property Management's signature must be obtained prior to Planning Department's signature.**
    - AGIS DXF File approval required.**
    - Copy of recorded plat for Planning.**

Created On:

# City of Albuquerque Planning Department

## DEVELOPMENT AND BUILDING SERVICES

STANDARD APPLICATION, Paper Plans Required

### DEVELOPMENT REVIEW BOARD

04/30/2013 Issued By: E08375 188887

Category Code **910**  
**2013 070 529**

**Application Number:** 13DRB-70529, Epc Approved Sdp For Subdivision

**Address:**

**Location Description:** WYOMING BETWEEN MOUNTAIN AND WEST BOUND I-40

**Project Number:** 1006950

**Applicant**  
TPCB, LLC

PO BOX 7480  
KINGSPORT TN 37664

**Agent / Contact**

BOHANNAN HUSTON INC  
PAUL M WYMER  
7500 JEFFERSON NE  
ALBUQUERQUE NM 87109  
5058231000  
KPATTON@BHINC.COM

Application Fees

APN Fee

Conflict Mgmt Fee **\$20.00**

DRB Actions

**TOTAL: \$20.00**

City of Albuquerque Treasury  
Date: 4/30/2013 Office: ANNEX  
Stat ID: W5000009 Cashier: TRSKMS  
Batch: 1869 Trans #: 17  
Permit: 2013070529  
Receipt Num 00122390  
Payment Total: \$20.00  
0901 Conflict Manag. Fee  
VISA Tendered :

\$20.00  
\$20.00





**DEVELOPMENT REVIEW BOARD  
ACTION SHEET**

**Plaza del Sol Hearing Room, Basement, Plaza del Sol Building**

March 12, 2008 9:00AM

MEMBERS:

**Jack Cloud, AICP, DRB Chairman, Planning Department**

**Angela Gomez, Administrative Assistant**

**Kristal Metro, P.E. , Transportation Development  
Brad Bingham, P.E., Hydrology/ Alternate City Engineer**

**Roger Green, P.E., Albuquerque/ Bernalillo Co.WUA  
Christina Sandoval, Parks/Municipal Development**

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**CASES WHICH REQUIRE PUBLIC NOTIFICATION**

**MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

1. **Project# 1005108**  
08DRB-70059 MAJOR - PRELIMINARY  
PLAT APPROVAL  
08DRB-70105 SIDEWALK WAIVER

THE DESIGN GROUP agent(s) for RALPH CORRIZ request(s) the above/ referenced action(s) for all or a portion of Tract(s) 67-A-1 AND 67-A-2, **MRGCD MAP #29**, zoned R-1 and C-1, located on the east side of 4TH ST NW BETWEEN VINEYARD RD NW AND WILLOW RD NW containing approximately 2.4 acre(s). (E-15) [Deferred from 2/27/08]. **DEFERRED TO 3/26/08 AT THE AGENT'S REQUEST.**

2. **Project# 1007051**  
08DRB-70014 VACATION OF PUBLIC  
RIGHT-OF-WAY

JOSEPH B. GARCIA agent(s) for JOE M. CRUZ request(s) the above action(s) for all or a portion of **THE AMOLE DEL NORTE DIVERSION**, adjacent to Tract 398-B, Town of Atrisco Grant Unit 3, zoned A-1 (County), located on the north side of SAGE RD SW BETWEEN 75<sup>th</sup> ST AND RAEL ST SW containing approximately 0.83 acre(s). (L-10) [February 13, 2008]. **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A) (1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE. CONDITION OF FINAL PLAT IS FOR ALL AS-BUILTS OF RECORD BE SUBMITTED CONCURRENTLY WITH THE PLATTING ACTION.**

3. **Project# 1001562**  
08DRB-70071 VACATION OF PUBLIC  
EASEMENT  
08DRB-70089 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL

MARK GOODWIN AND ASSOCIATES PA agent(s) for PULTE HOMES OF NEW MEXICO INC request(s) the above action(s) for all or a portion of Lot(s) 11-P1, 12-P1, & 13-P1, Block(s) 1, Tract(s) 1-A, **RESERVE AT FOUR HILLS SUBDIVISION** zoned R-D, located on SEA BISCUIT DRIVE BETWEEN SECRETARIAT AV AND SEATTLE SLEW AVE containing approximately .7208 acre(s). (M-22) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A) (1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE. THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR CERTIFICATION OF GRADING PLAN ON THE PLAT, AND TO PLANNING FOR EXHIBIT INDICATING LOCATION OF SIDEWALK AND DISTANCE OF FACE OF CURB TO PROPERTY LINE AND TO RECORD.**

4. **Project# 1003684**  
08DRB-70074 MAJOR - 2YR SUBD IMP  
AGMT EXT (2YR SIA)

MARK GOODWIN AND ASSOCIATES PA agent(s) for CAPITAL ALLIANCE INVESTMENT/COLLATZ request(s) the above action(s) for all or a portion of **ANASAZI Unit(s) 1**, zoned R-1, located on MCMAHON BLVD NE BETWEEN ANASAZI RIDGE AVE NW AND WESTSIDE BLVD NW containing approximately 40.3491 acre(s). (A-10) **AN 18 MONTH EXTENSION OF THE SUBDIVISION IMPROVEMENT AGREEMENT (SIA) WAS APPROVED.**

5. **Project# 1004354**  
08DRB-70048 SITE DEVELOPMENT  
PLAN FOR BUILDING PERMIT

TIERRA WEST LLC agent(s) for MCDONALD'S CORPORATION request(s) the above action(s) for all or a portion of Lot 2, **KRANIA ADDITION**, zoned SU-2 PCA, located on the SE corner of 98TH ST NW AND VOLCANO RD NW containing approximately 1.1172 acre(s). (K-9) [*Deferred from 2/20/08 & 3/5/08*] **DEFERRED TO 3/19/08 AT THE AGENT'S REQUEST.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND  
MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

6. **Project# 1006865**  
08DRB-70117 EPC APPROVED SDP  
FOR BUILD PERMIT

TIERRA WEST LLC agent(s) for SOUTHWEST REGIONAL COUNCIL OF CARPENTERS request(s) the above action(s) for all or a portion of Tract(s) A-1, **COMANCHE BUSINESS PARK** zoned M-1, located on PAN AMERICAN FREEWAY NE BETWEEN COMANCHE NE AND VASSAR DR NE containing approximately 15.701 acre(s). (G-16) **DEFERRED TO 3/26/08 AT THE AGENT'S REQUEST.**

7. **Project# 1006973**  
08DRB-70119 EPC APPROVED SDP  
FOR BUILD PERMIT  
08DRB-70120 EPC APPROVED SDP  
FOR SUBDIVISION

CONSENSUS PLANNING agent(s) for MIDWEST PHILLIPS EDISON AND COMPANY request(s) the above action(s) for all or a portion of Lot(s) 19 A-1, **PARADISE NORTH** zoned SU-1 FOR C-1 USES, located on UNSER BLVD NW BETWEEN MCMAHON BLVD NW AND SUMMER REDGE NW containing approximately 3.6 acre(s). (A-11) **DEFERRED TO 3/26/08 AT THE AGENT'S REQUEST.**

8. **Project# 1006824**  
08DRB-70100 EPC APPROVED SDP  
FOR BUILD PERMIT

DEKKER PERICH SABATINI agent(s) for YMCA OF CENTRAL NEW MEXICO request(s) the above action(s) for all or a portion of Tract(s) A, **R P TINNIN**, zoned SU-1 FOR PLANNED RESIDENTIAL AND RECREATIONAL DEVELOPMENT, located on COMANCHE NE BETWEEN TRAMWAY NE AND JUAN TABO NE containing approximately 3.01 acre(s). (G-22) *[Deferred from 3/5/08]* **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO ABCWUA TO CLOSE OUT MINI WORK ORDER, ACCOUNT SET-UP, AND TO CALL OUT EXISTING/PROPOSED SERVICES AND TO PLANNING FOR STAFF PLANNERS INITIALS ON PLAT OR REVISED MEMO.**

**MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS**

9. **Project# 1000523**  
08DRB-70085 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL

MARK GOODWIN AND ASSOCIATES PA agent(s) for BROADWAY VISTA PARTNERS request(s) the above action(s) for all or a portion of Block 19, Tract(s) A, B, C, D, E, & F TRACT 3, **NORTH ALBUQUERQUE ACRES Unit(s) 3**, zoned SU-1, C-1, located on PASEO DEL NORTE BETWEEN VENTURA AND HOLBROOK containing approximately 4.7776 acre(s). (C-20) *[Deferred from 3/5/08]* **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 3/12/08, THE PRELIMINARY PLAT WAS APPROVED. FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

10. **Project# 1006939**  
08DRB-70078 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL

WAYJOHN SURVEYING INC agent(s) for E&J INVESTMENTS LLC request(s) the above action(s) for all or a portion of Tract(s) 1, **BRUNACINI INDUSTRIAL PARK Unit 3**, zoned M-1, located on PHOENIX AVE NE BETWEEN VASSAR DR NE AND GIRARD BLVD NE containing approximately 1.9085 acre(s). (H-16) *[Deferred from 2/27/08 & 3/5/08]* **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 3/12/08 AND WITH AN APPROVED GRADING AND DRAINAGE PLAN DATED 3/7/08, THE PRELIMINARY PLAT WAS APPROVED. FINAL PLAT WAS DEFERRED FOR THE SIA.**

11. ~~Project# 1006950~~  
08DRB-70115 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL

WAYJOHN SURVEYING INC agent(s) for SIERRA WEST LLC request(s) the above action(s) for all or a portion of Tract(s) B-B NMDOT ROW TBKA TRACT A LANDS OF SIERRA WEST LLC, zoned R-1, located on WYOMING BLVD NE BETWEEN MOUNTAIN RD NE AND INTERSTATE 40 NE containing approximately 1.1249 acre(s). (J-20)

**THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO ABCWUA FOR VERIFICATION OF EXISTING EASEMENT STATUS AND TO PLANNING TO RECORD.**

12. **Project# 1005403**  
08DRB-70092 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL

INTEGRATED DESIGN & ARCHITECTURE agent(s) for J & J REAL ESTATE LLC request(s) the above action(s) for all or a portion of Tract(s) 12-A1-A & 12-A-1B, **HACIENDAS DON VILLEGAS**, zoned RLT, located on RIO GRANDE BLVD NW BETWEEN INDIAN SCHOOL NW AND CONTEREAS PL NW containing approximately 1.2084 acre(s). (H-13) [*Deferrd from 3/5/08*] **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 3/12/08, AND WITH AN APPROVED GRADING AND DRAINAGE PLAN DATED 12/6/07, THE PRELIMINARY PLAT WAS APPROVED. FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT 'C' IN THE PLANNING FILE WITH THE CONDITION THAT THE SIDEWALK MUST EXTEND TO DRIVE PAD ON LOT 4 PER TRANSPORTATION DEVELOPMENT. THE SIDEWALK WAIVER WAS APPROVED AS SHOWN ON EXHIBIT 'C' IN THE PLANNING FILE.**

**NO ACTION IS TAKEN ON THESE CASES:**  
**APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING**

13. **Project# 1006571**  
08DRB-70118 SKETCH PLAT REVIEW  
AND COMMENT

DOUG SMITH agent(s) for JIO RANCESORD request(s) the above action(s) for all or a portion of Tract(s) 309-B-2, zoned RA-2, located on MOUNTAIN RD NW BETWEEN MONTOYA RD NW AND LULAC AVE NW containing approximately .5326 acre(s). (J-12) **THE ABOVE ITEM WAS REVIEWED AND COMMENTS WERE GIVEN.**

14. **Project# 1007147**  
08DRB-70113 SKETCH PLAT REVIEW  
AND COMMENT

JOSE ARMAS agent(s) for JOSE ARMAS request(s) the above action(s) for all or a portion of Lot(s) 28-A, Block(s) 39, **MESA VERDE ADDITION** zoned R-3, located on WESCONSIN NE BETWEEN MARQUETTE NE AND COPPER NE containing approximately .2662 acre(s). (K-19) **THE ABOVE ITEM WAS REVIEWED AND COMMENTS WERE GIVEN.**

15. **Project# 1007149**  
08DRB-70114 SKETCH PLAT REVIEW  
AND COMMENT

PLAZA SURVEYS, LLC agent(s) for YOLANDA SANCHEZ request(s) the above action(s) for all or a portion of Tract(s) 122B, zoned RA-2, located on ELFEGO NW BETWEEN TEODORO NW AND GRIEGOS RD NW containing approximately .9709 acre(s). (F-13) **THE ABOVE ITEM WAS REVIEWED AND COMMENTS WERE GIVEN.**

16. **Project# 1007150**  
08DRB-70116 SKETCH PLAT REVIEW  
AND COMMENT

SURVEYS SOUTHWEST LTD agent(s) for WILLIAM O'CONNELL request(s) the above action(s) for all or a portion of Lot(s) 3, **FLAMINGO HEIGHTS** zoned O-1, located on ST JOSEPHS CT NW BETWEEN LADERA DR NW AND ATRISCO DR NW containing approximately .48 acre(s). (G-11) **THE ABOVE ITEM WAS REVIEWED AND COMMENTS WERE GIVEN.**

17. Other Matters: None.

ADJOURNED: 10:24

**CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
March 12, 2008  
DRB Comments**

**ITEM # 11**

**PROJECT # 10006950      APPLICATION # 08-70115**

**RE: Tract A, Land of Sierra West LLC**

For future reference, please revise solar note to be specific to this type of request, i.e. replace the words "REQUESTED FINAL ACTION" with the word "THIS PLAT" at the beginning of the note.

  
\_\_\_\_\_  
Jack Cloud AICP, DRB Chairman  
924-3880/ jcloud@cabq.gov



Item#11  
Project# 1006950  
Hearing Date: Mar. 12, 2008



**DEVELOPMENT REVIEW BOARD  
ACTION SHEET**

**Plaza del Sol Hearing Room, Basement, Plaza del Sol Building**

December 5, 2007 9:00 AM

MEMBERS:

Angela Gomez, Administrative Assistant

Kristal Metro, Transportation Development  
Brad Bingham, Alternate City Engineer

Roger Green, ABCWUA  
Christina Sandoval, Parks & Recreation

\*\*\*\*\*

**CASES WHICH REQUIRE PUBLIC NOTIFICATION**

**MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

- 1. Project# 1004428**  
07DRB-70378 VACATION OF PUBLIC  
EASEMENT

MARK GOODWIN AND ASSOCIATES PA agent(s) for ALBUQUERQUE RIO BRAVO PARTNERS LLC request(s) the above action(s) for all or a portion of Lot(s) RR-3B & RR-3D, **CEJA VISTA /TOWN OF ATRISCO GRANT**, zoned SU-1/C-1, RLT, located on DENNIS CHAVIS BLVD SW BETWEEN MEADE AVE SW AND 118TH ST SW (P-9) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A) (1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE.**
  
- 2. Project# 1001449**  
07DRB-70379 VACATION OF PUBLIC  
RIGHT-OF-WAY  
07DRB-70380 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL

ABQ ENGINEERING agent(s) for CV LAND DEVELOPMENT request(s) the above action(s) for all or a portion of Lot(s) 9, Block(s) A, **KIRTLAND ADDITION Unit(s) 2**, located on GIBSON SE BETWEEN UNIVERSITY SE AND YALE SE containing approximately 3.254 acre(s). (M-15) **DEFERRED TO 12/19/07 AT THE AGENT'S REQUEST.**



3. **Project# 1006854**  
 07DRB-70340 VACATION OF PUBLIC EASEMENT  
 07DRB-70341 VACATION OF PUBLIC RIGHT-OF-WAY  
 07DRB-70342 BULK LAND VARIANCE  
 07DRB-70343 MINOR - PRELIMINARY/FINAL PLAT APPROVAL
- BOHANNAN HUSTON INC agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of **UNPLATTED LAND SECTION 15 (to be known as THE TRAILS UNIT 4)**, zoned SU2-UR35, SU2-SRLL18, SU-1 FOR OPEN SPACE, SU2-TC65 & SU2-NMU35, located on UNIVERSE BLVD NW BETWEEN AVENIDA DE JAIMITO NW AND WOODMONT AVE NW containing approximately 34.85 acre(s). (C-10) [*Deferred from 11/21/07*] **DEFERRED TO 12/12/07 AT THE AGENT'S REQUEST.**
4. **Project# 1004707**  
 07DRB-70123 VACATION OF PRIVATE EASEMENT  
 07DRB-70124 MINOR - PRELIMINARY/FINAL PLAT APPROVAL
- SURVEYS SOUTHWEST LTD agent(s) for JOHN LORENTZEN request(s) the above action(s) for all or a portion of Tract(s) 269 & 270 together with 68<sup>th</sup> St tract, **TOWN OF ATRISCO LAND GRANT**, zoned C-2, located on HANOVER RD NW BETWEEN 68<sup>TH</sup> ST NW & I-40 containing approximately 4.0714 acre(s). (J-10) [*Deferred from 7/18/07*] **THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

5. **Project# 1006726**  
 07DRB-70173 MAJOR – AMENDED SDP FOR BUILDING PERMIT
- BRAD KILLMAN AND/OR MAX KILLMAN agent(s) for ALLSTAR MOVING & STORAGE INC A NEW MEXICO CORP request(s) the above action(s) for all or a portion of Lot(s) 31, Tract(s) D-1, **RICHFIELD PARK**, zoned IP, located on WASHINGTON ST NE BETWEEN ALAMEDA NE AND PASEO DEL NORTE NE containing approximately 0.89 acre(s). (C-17) [*Deferred from 8/29/07 & 10/24/07*] **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**
6. **Project# 1004875**  
 07DRB-70382 EPC/ SDP FOR BUILDING PERMIT  
 07DRB-70383 MINOR - PRELIMINARY/FINAL PLAT APPROVAL
- ALBUQUERQUE MONTHLY MEETING OF THE RELIGIOUS SOCIETY OF FRIENDS request(s) the above action(s) for all or a portion of Lot(s) 19-25, Block(s) 2, **IVES ADDITION**, zoned SU2 FOR S-R, located on 5TH ST NW BETWEEN BELLAMAH NW AND ASPEN AVE NW containing approximately 0.57 acre(s). [REF: 06EPC00627/00628] (J-14) [*Catalina Lehner – EPC Planner*] [*Deferred from 11/21/07*] **DEFERRED TO 12/19/07 AT THE AGENT'S REQUEST.**

7. **Project# 1003714**  
07DRB-70364 EPC/SDP FOR BUILDING PERMIT
- ALEXANDER FINALE agent(s) for ASSOCIATED HOME & RV SALES, INC request(s) the above action(s) for all or a portion of Tract(s) C-3-A, **ADOBE WELLS SUBDIVISION**, zoned SU1 FOR IPC-2/R-2, located on EAGLE RANCH NE BETWEEN WESTSIDE NE AND COORS BYPASS BLVD NE containing approximately 2.29 acre(s). (B-13) [*EPC Planner – Carol Toffaleti*] [*Deferred from 11/14/07, 11/21/07 & 11/28/07*] **DEFERRED TO 12/12/07 AT THE AGENT'S REQUEST.**
8. **Project# 1006721**  
07DRB-70373 EPC/ SDP FOR BUILDING PERMIT  
07DRB-70374 EPC APPROVED SDP FOR SUBDIVISION
- RMKM ARCHITECTURE agent(s) for ALBUQUERQUE POLICE DEPARTMENT request(s) the above action(s) for all or a portion of Tract(s) B-9E-2-A, **SEVEN BAR RANCH**, zoned SU1 FOR R-2, located on CIBOLA LOOP RD NW BETWEEN ELLISON NW AND CIBOLA LOOP NW containing approximately 3.4 acre(s). (A-13) [*Anna DiMambro – EPC Planner*] [*Def. from 11/14/07 & 11/28/07*] **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 12/5/07, THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES AND TO TRANSPORTATION FOR WRITTEN COMMENTS. THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES.**
9. **Project# 1006520**  
07DRB-70386 EPC APPROVED SDP FOR BUILD PERMIT  
07DRB-70387 EPC APPROVED SDP FOR SUBDIVISION
- BILL FANNING/FBT ARCHITECTS agent(s) for EPISCOPAL DIOCESE OF THE RIO GRANDE/HOPE EPISCOPAL CHURCH request(s) the above action(s) for all or a portion of Lot(s) 5-8 & 25-28, Block(s) 4, Tract(s) 3, **NORTH ALBUQUERQUE ACRES Unit(s) 3**, zoned SU-2 FOR O-1 & R-T, located on ALAMEDA BLVD NE BETWEEN BARSTOW NE AND VENTURA NE containing approximately 6.1928 acre(s). (C-20) [*Anna DiMambro – EPC Planner*] [*Def. from 11/28/07*] **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 12/5/07 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO THE CITY ENGINEER FOR THE SIA AND TO PLANNING FOR 3 COPIES. THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES .**

**MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS**

10. **Project# 1004039**  
07DRB-70410 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL  
07DRB-70411 VACATION OF PRIVATE  
EASEMENT

ISAACSON & ARFMAN PA agent(s) for RUTLEDGE INVESTMENT CO INC request(s) the above action(s) for all or a portion of Lot(s) 45, Tract(s) 1, **THE LEDGENDS @ HIGH DESERT to be known as LOT 45-A & TRACT 1-A**, zoned SU-2 HD/C-1, located on ACADEMY ROAD NE BETWEEN CORTADERIA ST NE AND IMPERATA ST NE containing approximately 0.406 acre(s). (E-23) **THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR LETTER OF HOME OWNER'S APPROVAL, AGIS DXF, AND TO RECORD.**
11. **Project# 1006955**  
07DRB-70407 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL

GEORGE RODRIGUEZ agent(s) for JEROME ECKSTEIN request(s) the above action(s) for all or a portion of Lot(s) 1-4, Block(s) 14, **CLAYTON HEIGHTS**, zoned C-2, located on WILMOORE DRIVE SE BETWEEN ROSS AVE SE AND GIBSON BLVD SE containing approximately 0.5739 acre(s). (L-15) **THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF AND TO FILE, AND TO TRANSPORTATION FOR A SEPERATE EXHIBIT FOR ROSS AVENUE AND WILMOORE DRIVE SHOWING LOCATION OF SIDEWALK AND DEFINING THE DISTANCE FROM FACE OF CURB TO PROPERTY LINE.**
12. **Project# 1001409**  
07DRB-70412 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL

ADVANCED ENGR. AND CONSULT. LLC agent(s) for KIAN SAADAT request(s) the above action(s) for all or a portion of Lot(s) 20.A, Block(s) 1, **CANDLELIGHT FOOTHILLS Unit(s) 1**, zoned R-1, located on LOMAS BLVD NE BETWEEN MONTE LARGO DR NE AND SUMMIT HILLS DR NE containing approximately 1.1 acre(s). (J-23) **THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR LOT LINE REVISION BETWEEN A-2 AND A-3, AND THE SOLAR COLLECTOR LANGUAGE.**
13. **Project# 1006956**  
07DRB-70408 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL

ADVANCED ENGR. AND CONSULT. LLC agent(s) for FELIX RABADI request(s) the above action(s) for all or a portion of Tract(s) 2 & 4, **NORTH CARLISLE ADDITION**, zoned P & C-1, located on CARLISLE BLVD NE BETWEEN COMANCHE RD NE AND PALO DURO AVE NE containing approximately 0.7872 acre(s). (G-17) **THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION FOR 30 FOOT RADIUS DEDICATION AT CARLISLE AND PALO DURO AND TO PLANNING FOR VERIFICATION OF COMPLIANCE WITH BUILDING CODE AND ZONING REQUIREMENTS AND FOR SOLAR COLLECTOR LANGUAGE.**

14. **Project# 1004820**  
07DRB-70409 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL

SURV-TEK INC agent(s) for ACI MANAGEMENT LLC request(s) the above action(s) for all or a portion of Tract(s) D-1 -B-1, **ADOBE WELLS**, zoned C-2, located on EAGLE RANCH RD NW BETWEEN IRVING BLVD NW AND COORS BLVD BYPASS NW containing approximately 1.708 acre(s). (B-13) **THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**

15. **Project# 1006573**  
07DRB-70413 MAJOR - FINAL PLAT  
APPROVAL

LARRY READ & ASSOCIATES INC agent(s) for DESERT HILLS JEHOVA'S WITNESSES request(s) the above action(s) for all or a portion of Lot(s) 12 & 21, Block(s) 29, Tract(s) A, NAA Unit(s) B, zoned SU-2 IP, located on ALAMEDA NE BETWEEN LOUISIANA NE AND SAN PEDRO NE containing approximately 1.8 acre(s). (C-18) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA AND TO PLANNING FOR PLAT REVISIONS, AGIS DXF AND FOR SUZANNE BUSH SIGNATURE.**

16. **Project# 1006926**  
07DRB-70414 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL

ART MARSHALL agent(s) for MERCEDES R MARSHALL request(s) the above action(s) for all or a portion of Lot(s) 27 & 28, Block(s) 3, **SUNSHINE ADDITION** zoned SU-2 MR, located on EDITH BLVD SE BETWEEN SMITH SE AND ANDERSON SE containing approximately .33 acre(s). (L-14) **THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR SOLAR COLLECTOR LANGUAGE AND AGIS DXF.**

17. **Project# 1000085**  
07DRB-70264 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL

HALL SURVEYING CO agent(s) for BERNARD WEINER request(s) the above action(s) for all or a portion of Lot(s) M-1-A-2-A, **TANOAN PROPERTIES**, zoned SU-1 FOR C-1, located on ACADEMY RD BETWEEN TENNYSON AND TRAMWAY NE containing approximately 1.2174 acre(s). (E-22) *[Def. from 10-3-07]* **THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO ABCWUA FOR INDICATION OF EASEMENTS FOR EXISTING PRIVATE SEWER AND/OR WATER SERVICE LINES AND TO PLANNING FOR RECIPROCAL EASEMENTS, BUILDING CODE COMPLIANCE, AGIS DXF AND TO RECORD.**

**NO ACTION IS TAKEN ON THESE CASES:**

**APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING**

18. ~~**Project# 1006950**~~  
07DRB-70404 SKETCH PLAT REVIEW  
AND COMMENT

GINA SCHMIDT/SIERRA WEST, LLC agent(s) for GINA SCHMIDT/SIERRA WEST, LLC request(s) the above action(s) for all or a portion of zoned none, located on WYOMING AND I-40 BETWEEN NORTHBOUND OFF-RAMP AND MOUNTAIN ROAD NE containing approximately 1.2 acre(s). (J-20) **THE ABOVE ACTION WAS REVIEWED AND COMMENTS GIVEN.**

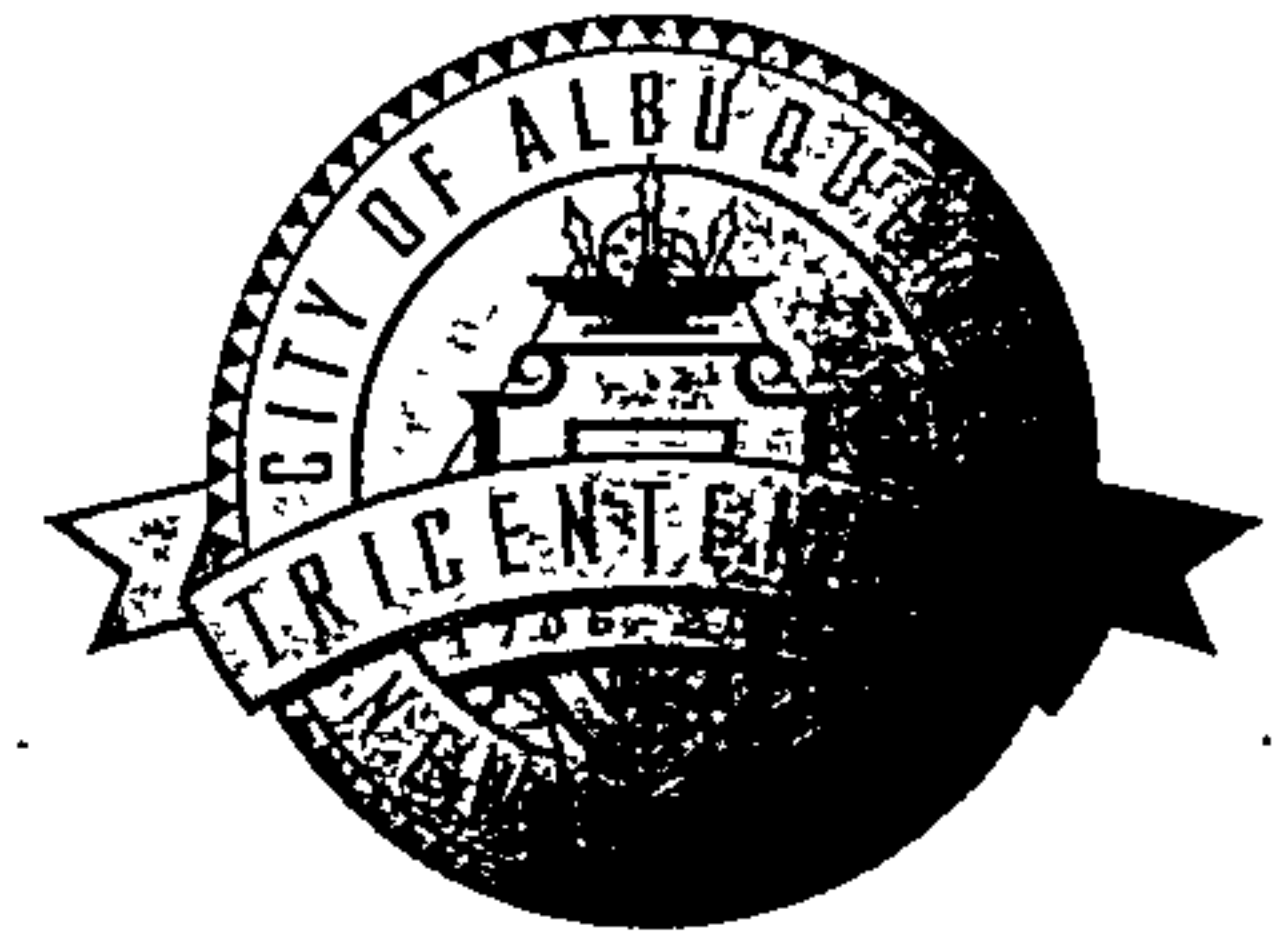
19. **Project# 1006951**  
07DRB-70405 SKETCH PLAT REVIEW  
AND COMMENT

FORSTBAUER SURVEYING LLC agent(s) for GEORGE P & EILEEN P SANDOVAL request(s) the above action(s) for all or a portion of Lot(s) 1A, **LANDS OF GEORGE SANDOVAL**, zoned RA-2, located on AVENIDA CRISTO REY NW BETWEEN SAN ISIDRO ST NW AND GRIEGOS LATERAL containing approximately 2.8 acre(s). (F-13) **THE ABOVE ACTION WAS REVIEWED AND COMMENTS GIVEN.**

20. Other Matters: Project # 1003570 was heard concurrently with Item # 8. The Preliminary plat for said project was approved with delegation to Transportation for easements, and to Planning for Solar Collector Language, AGIS DXF, and to Record.

Adjourned: 11:05

# CITY OF ALBUQUERQUE



PLANNING DEPARTMENT  
DEVELOPMENT AND BUILDING SERVICES  
TRANSPORTATION SECTION

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1006950

AGENDA ITEM NO: 18

SUBJECT:

SKETCH PLAT

ENGINEERING COMMENTS:

Exhibit does not define the layout of the site  
Has Jaffa Road been vacated? A vacation would need to take place prior to development

P.O. Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

RESOLUTION:

APPROVED \_\_\_; DENIED \_\_\_; DEFERRED \_\_\_; COMMENTS PROVIDED \_\_\_; WITHDRAWN \_\_\_

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED:

Kristal D. Metro  
Transportation Development

505-924-3991

DATE: DECEMBER 5, 2007

**CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
December 5, 2007  
DRB Comments**

**ITEM # 18**

**PROJECT # 1006950**

**APPLICATION # 07-70404**

**RE: NMDOT Parcel, I-40 at Wyoming**

This property would have to be platted per the Subdivision ordinance prior to development. Per the Zoning Code, this property is considered to be zoned R-1; an application for rezoning would have to be made to the Environmental Planning Commission to develop as a retail/ office center.



---

Jack Cloud, Planning Alternate  
924-3934/ jcloud@cabq.gov



## IMPACT FEES – # 1006950

Development Review Board 12/5/07 Agenda Item #18  
Sketch Plat: NMDOT Land on Wyoming Bd. between  
Mountain Rd. and the I-40 Northbound Off-Ramp

Impact Fees will be assessed at the time a building permit is issued. These fees are available on the city's website- [www.cabq.gov](http://www.cabq.gov). Go to the "A-Z" feature and under the letter "I" the first item in this list will be Impact Fees. The area for which these will be assessed is the Eastside for Public Safety on commercial properties. For residential properties, Eastside for public safety and Foothills for Parks & Recreation.

JACK CLOUD  
IMPACT FEE ADMINISTRATOR



Complete

DRB CASE ACTION LOG - BLUE SHEET

- Preliminary/Final Plat [FP]
- Site Plan - Subdivision [SPS]
- Site Plan - Building Permit [SBP]

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

Project #: 1006950

Application #: 13DRB-70529

Project Name: PLAT OF TRACT A, LAND OF SIERRA WEST, LLC

Agent: BOHANNAN HUSTON INC

Phone #:

\*\*Your request was approved on 5-8-13 by the DRB with delegation of signature(s) to the following departments - outstanding comments to be addressed\*\*

TRANSPORTATION:  
\_\_\_\_\_  
\_\_\_\_\_

ABCWUA:  
\_\_\_\_\_  
\_\_\_\_\_

CITY ENGINEER / AMAFCA:  
\_\_\_\_\_  
\_\_\_\_\_

PARKS / CIP:  
\_\_\_\_\_  
\_\_\_\_\_

PLANNING (Last to sign): ALL SIGNED  
\_\_\_\_\_  
\_\_\_\_\_

**PLATS:**

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). RECORDED DATE: \_\_\_\_\_
- Tax printout from the County Assessor.
- County Treasurer's signature must be obtained prior to the recording of the plat with County Clerk.

- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

**ALL SITE PLANS:**

3 copies of the approved site plan. Include all pages.



Supplemental Form (SF)

**SUBDIVISION**

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

**STORM DRAINAGE (Form D)**

- Storm Drainage Cost Allocation Plan

**S Z ZONING & PLANNING**

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
  - Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICATION INFORMATION:**

Professional/Agent (if any): BOHANNAN HUSTON, INC. PHONE: 823-1000  
 ADDRESS: 7500 JEFFERSON ST. FAX: \_\_\_\_\_  
 CITY: ALBUQUERQUE STATE NM ZIP 87109 E-MAIL: PWYMER@BHINC.COM  
 APPLICANT: TPCB, LLC PHONE: 423-279-0655  
 ADDRESS: P.O. BOX 7480 FAX: \_\_\_\_\_  
 CITY: KINGSFORD STATE NM ZIP 37664 E-MAIL: CBCEX6@GMAIL.COM  
 Proprietary interest in site: OWNER List all owners: \_\_\_\_\_

DESCRIPTION OF REQUEST: ZONE MAP AMENDMENT AND SITE DEVELOPMENT PLAN FOR SUBDIVISION

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. A Block: \_\_\_\_\_ Unit: \_\_\_\_\_  
 Subdiv/Addn/TBKA: PLAT OF TRACT A, LAND OF SIERRA WEST, LLC  
 Existing Zoning: R-1 Proposed zoning: \* MRGCD Map No \_\_\_\_\_  
 Zone Atlas page(s): J-20-2 UPC Code: 1020058028140300430

\*SUI-C-1 USES WITH EXCEPTIONS DESCRIBED IN FILE 1006950

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX\_Z, V, S, etc.):  
1006950

**CASE INFORMATION:**

Within city limits?  Yes Within 1000FT of a landfill? NO  
 No. of existing lots: 1 No. of proposed lots: 1 Total site area (acres): 1.13 +/-

LOCATION OF PROPERTY BY STREETS: On or Near: WYOMING BLVD.  
 Between: MOUNTAIN RD and WESTBOUND I-40 OFF-RAMP

Check if project was previously reviewed by: Sketch Plat/Plan  or Pre-application Review Team(PRT)  Review Date: \_\_\_\_\_

SIGNATURE [Signature] DATE 4/30/13  
 (Print Name) PAUL M. WYMER Applicant:  Agent:

**FOR OFFICIAL USE ONLY**

Revised: 4/2012

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>13 ORB - 70529</u>	<u>FSPS</u>	_____	\$ <u>0</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>CMF</u>	_____	\$ <u>20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
				Total
				\$ <u>20.00</u>

Hearing date May 8, 2013

4-30-13  
 Staff signature & Date

Project # 1006950

**FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)**

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** **Maximum Size: 24" x 36"**
  - Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)** **Maximum Size: 24" x 36"**
  - 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
  - Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Copy of the document delegating approval authority to the DRB
  - Completed Site Plan for Subdivision Checklist
  - Infrastructure List, if relevant to the site plan
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)** **Maximum Size: 24" x 36"**
  - 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
  - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
  - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
  - Solid Waste Management Department signature on Site Plan
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Copy of the document delegating approval authority to the DRB
  - Infrastructure List, if relevant to the site plan
  - Completed Site Plan for Building Permit Checklist
  - Copy of Site Plan with Fire Marshal's stamp
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01)** **Maximum Size: 24" x 36"**
- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02)** **Maximum Size: 24" x 36"**
  - Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
  - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) 6 copies
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Infrastructure List, if relevant to the site plan
  - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)**
- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)**
  - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
  - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
  - Solid Waste Management Department signature on Site Plan for Building Permit
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
  - Infrastructure List, if relevant to the site plan
  - Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
  - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

PAUL M. WYMER  
 Applicant name (print)  
[Signature] 4/30/13  
 Applicant signature / date



Form revised October 2007

- Checklists complete
  - Fees collected
  - Case #s assigned
  - Related #s listed
- Application case numbers  
13 - DRB - 70529

[Signature] 4-30-13  
 Planner signature / date  
 Project # 1006950



Supplemental Form (SF)

**SUBDIVISION**

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

**STORM DRAINAGE (Form D)**

- Storm Drainage Cost Allocation Plan

**S Z ZONING & PLANNING**

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
  - Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICATION INFORMATION:**

Professional/Agent (if any): BOLANMAN HUSTON, INC. PHONE: 823-1000  
 ADDRESS: 7500 JEFFERSON ST. FAX: \_\_\_\_\_  
 CITY: ALBUQUERQUE STATE NM ZIP 87109 E-MAIL: PWYMER@BHMC.COM

APPLICANT: TPCB, LLC PHONE: 423-279-0655  
 ADDRESS: P.O. BOX 7480 FAX: \_\_\_\_\_  
 CITY: KINGSFORD STATE NM ZIP 37664 E-MAIL: CB2846@GMAIL.COM

Proprietary interest in site: OWNER List all owners: \_\_\_\_\_

DESCRIPTION OF REQUEST: ZONE MAP AMENDMENT AND SITE DEVELOPMENT PLAN FOR SUBDIVISION

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. A Block: \_\_\_\_\_ Unit: \_\_\_\_\_  
 Subdiv/Addn/TBKA: PLAT OF TRACT A, LAND OF SIERRA WEST, LLC  
 Existing Zoning: R-1 Proposed zoning: \* MRGCD Map No \_\_\_\_\_  
 Zone Atlas page(s): J-20-Z UPC Code: 1020058028140300430

\*SUJ - C-1 USES WITH EXCEPTIONS DESCRIBED IN FILE 1006950

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX\_Z\_, V\_, S\_, etc.):  
1006950

**CASE INFORMATION:**

Within city limits?  Yes Within 1000FT of a landfill? NO  
 No. of existing lots: 1 No. of proposed lots: 1 Total site area (acres): 1.13 +/-

LOCATION OF PROPERTY BY STREETS: On or Near: WYOMING BLVD.  
 Between: MOUNTAIN RD and WESTBOUND I-40 OFF-RAMP

Check if project was previously reviewed by: Sketch Plat/Plan  or Pre-application Review Team(PRT)  Review Date: \_\_\_\_\_

SIGNATURE [Signature] DATE 4/30/13  
 (Print Name) PAUL H. WYMER Applicant:  Agent:

**FOR OFFICIAL USE ONLY**

<input checked="" type="checkbox"/> INTERNAL ROUTING <input checked="" type="checkbox"/> All checklists are complete <input checked="" type="checkbox"/> All fees have been collected <input checked="" type="checkbox"/> All case #s are assigned <input checked="" type="checkbox"/> AGIS copy has been sent <input type="checkbox"/> Case history #s are listed <input type="checkbox"/> Site is within 1000ft of a landfill <input type="checkbox"/> F.H.D.P. density bonus <input type="checkbox"/> F.H.D.P. fee rebate	Application case numbers	Action	S.F.	Fees
	<u>13 ORB - 70529</u>	<u>ESPS</u>	_____	\$ <u>0</u>
	_____	<u>CMF</u>	_____	\$ <u>20.00</u>
	_____	_____	_____	\$ _____
	_____	_____	_____	\$ _____
	_____	_____	_____	\$ _____
Hearing date <u>May 8, 2013</u>			Total	\$ <u>20.00</u>
Staff signature & Date <u>4-30-13</u>		Project # <u>1006950</u>		

Revised: 4/2012

**FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)**

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** **Maximum Size: 24" x 36"**
  - \_\_\_ Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
  - \_\_\_ Letter briefly describing, explaining, and justifying the request
  - \_\_\_ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)** **Maximum Size: 24" x 36"**
  - \_\_\_ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
  - \_\_\_ Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
  - \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
  - \_\_\_ Letter briefly describing, explaining, and justifying the request
  - \_\_\_ Letter of authorization from the property owner if application is submitted by an agent
  - \_\_\_ Copy of the document delegating approval authority to the DRB
  - \_\_\_ Completed Site Plan for Subdivision Checklist
  - \_\_\_ Infrastructure List, if relevant to the site plan
  - \_\_\_ Fee (see schedule)
  - \_\_\_ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)** **Maximum Size: 24" x 36"**
  - \_\_\_ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
  - \_\_\_ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
  - \_\_\_ Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
  - \_\_\_ Solid Waste Management Department signature on Site Plan
  - \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
  - \_\_\_ Letter briefly describing, explaining, and justifying the request
  - \_\_\_ Letter of authorization from the property owner if application is submitted by an agent
  - \_\_\_ Copy of the document delegating approval authority to the DRB
  - \_\_\_ Infrastructure List, if relevant to the site plan
  - \_\_\_ Completed Site Plan for Building Permit Checklist
  - \_\_\_ Copy of Site Plan with Fire Marshal's stamp
  - \_\_\_ Fee (see schedule)
  - \_\_\_ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01)** **Maximum Size: 24" x 36"**
- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02)** **Maximum Size: 24" x 36"**
  - \_\_\_ Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
  - \_\_\_ DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) 6 copies
  - \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
  - \_\_\_ Letter briefly describing, explaining, and justifying the request
  - \_\_\_ Letter of authorization from the property owner if application is submitted by an agent
  - \_\_\_ Infrastructure List, if relevant to the site plan
  - \_\_\_ Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
  - \_\_\_ Fee (see schedule)
  - \_\_\_ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)**
- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)**
  - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
  - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
  - Solid Waste Management Department signature on Site Plan for Building Permit
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
  - Infrastructure List, if relevant to the site plan
  - Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
  - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

PAUL M. WYMER  
 Applicant name (print)  
[Signature] 4/30/13  
 Applicant signature / date



Form revised October 2007

<input checked="" type="checkbox"/> Checklists complete	Application case numbers	<u>13 - DRB - 70529</u>	<u>[Signature]</u> 4-30-13
<input checked="" type="checkbox"/> Fees collected			Planner signature / date
<input checked="" type="checkbox"/> Case #s assigned			Project # <u>1006950</u>
<input checked="" type="checkbox"/> Related #s listed			

# CITY OF ALBUQUERQUE

PLANNING DEPARTMENT  
URBAN DESIGN & DEVELOPMENT DIVISION  
600 2nd Street NW, 3rd Floor, 87102  
P.O. Box 1293, Albuquerque, NM 87103  
Office (505) 924-3860 Fax (505) 924-3339



## OFFICIAL NOTIFICATION OF DECISION

March 15, 2013

TPCB, LLC  
PO Box 7480  
Kingsport, TN 37664

**Project# 1006950**  
13EPC-40095 Amendment to Zone Map (Zone Change)  
13EPC-40096 Site Development Plan for Subdivision

### LEGAL DESCRIPTION:

For all or a portion of Lot A, Plat of Tract A, Land of Sierra West, LLC, located on Wyoming Blvd Between Mountain Rd and I-40 containing approximately 1.13 acres.

Staff Planner: Carrie Barkhurst

PO Box 1293

Albuquerque

On March 14, 2013, the Environmental Planning Commission voted to APPROVE Project 1006950, 13EPC-40095, a request for an Amendment to the Zone Map (Zone Change) and 13EPC-40096, a Site Development Plan for Subidivison, based on the following Findings and Conditions:

NM 87103

### FINDINGS – 13EPC-40095 – Zone Map Amendment

[www.cabq.gov](http://www.cabq.gov)

1. This is a request for a zone map amendment for Lot A, Plat of Tract A, Land of Sierra West, LLC, located on Wyoming Blvd Between Mountain Rd and I-40 containing approximately 1.13 acres.
2. The applicant request a zone change from R-1 to *SU-1 for C-1 Uses with Exceptions Described in File 1006950* in order to develop a vehicular accessed storage business or other C-1 use. The following C-1 Conditional Uses are not allowed: community residential program, dwelling unit, fireworks sales, mortuary, and uses or activities in a tent.
3. The request is accompanied by a site development plan for subdivision, 12EPC-40096.

OFFICIAL NOTICE OF DECISION

PROJECT #1006950

March 14, 2013

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4. The subject site is located within the Established Urban Area of the Comprehensive Plan. No area or sector plans apply to this site.
5. The Albuquerque/Bernalillo County Comprehensive Plan and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
6. The request furthers the following Comprehensive Plan policies of the Established Urban Area:
  - i. Policy II.B.5.j – new commercial development/location: The subject site is located on Wyoming Blvd. and is adjacent to existing commercial properties along the major arterial road. Developing the subject site with neighborhood-scale commercial or office development will provide new business/service opportunities for residents within a close walking or biking distance.
  - ii. Policy II.B.5.o – redevelopment of neighborhoods: Rezoning the subject site to allow for neighborhood-scale commercial and service uses would create new redevelopment opportunities on an infill site that has remained vacant for many years due to its current zoning and proximity to high traffic roadways. It is highly unlikely that the site will be developed with R-1 permissive uses for these same reasons.
  - iii. Policy II.C.1.b – air quality: This site is a prime example of an infill site in the Established Urban Area of the City. Providing new commercial and service opportunities near those who can benefit from them will result in less need to drive to them.
7. The request partially furthers the following applicable Comprehensive Plan Goal and policies:
  - i. Policy II.B.5.d – neighborhood/environmental/resources: The zone change could allow neighborhood-serving businesses to develop in a convenient location and would buffer the neighborhood from I-40, which benefits the neighborhood. However, the requested zoning would allow some C-1 Conditional Uses that may be too intense or inappropriate at this location. There could be conflict with neighborhood values, depending on the site layout and access.
  - ii. Policy II.B.5.e – infill development/neighborhood integrity: The zone change will likely facilitate development at this vacant, infill location. However, as mentioned above, the allowed uses should be restricted to C-1 Permissive Uses

OFFICIAL NOTICE OF DECISION

PROJECT #1006950

March 14, 2013

Page 3 of 8

and “automobile access to outdoor enclosed storage units,” which has design controls to minimize any adverse effects and is a use that can serve the adjacent neighborhood.

- iii. Policy II.B.5.i – employment/service use location: The requested zone could buffer the residential neighborhood from noise and traffic. However, commercial uses also have higher traffic generation than residential uses and could impact the residential area. The design standards require landscape buffers, privacy walls, and shielded lights, which will minimize adverse effects of a commercial use adjacent to residential uses.

8. The applicant has adequately justified the zone map amendment request pursuant to *Resolution 270-1980*:

- i. Section 1.A: Consistency with the City’s health, safety, morals and general welfare is demonstrated because the request furthers a preponderance of Goals and policies of the Comprehensive Plan. The proposed zoning is not likely to have an adverse impact on the welfare of the neighborhood or the City.
- ii. Section 1.B: The requested change will not destabilize adjacent land uses and zoning because it is consistent and compatible with adjacent uses and it is controlled through a site development plan. The request would result in development consistent with the Site Development Plan, which is a more restrictive development process than the current zoning and therefore should not contribute to destabilization of land use and zoning in the area.
- iii. Section 1.C: The applicant has adequately justified how the requested zone change furthers a preponderance of the Goals and Policies that are presented in the Comprehensive Plan. There is no “significant conflict” with these adopted Plans.
- iv. Section 1.D: Development at this site is more advantageous to the community because it will provide neighborhood-scaled commercial services in close proximity to neighborhoods as well as increasing the tax base, relative to a vacant parcel.
- v. Section 1.E: The permissive uses allowed under the proposed zone are similar to those available to other adjacent properties. If the Conditional Uses are restricted from the list of permissive uses, the zone change would not harm adjacent property, the neighborhood, or the community as compared to the current zoning.
- vi. Section 1.F: The proposed zone change requires no major or unprogrammed capital expenditures by the City.



OFFICIAL NOTICE OF DECISION

PROJECT #1006950

March 14, 2013

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- vii. Section 1.G: The cost of land or other economic considerations are not the determining factor for this request. The applicant has demonstrated that the proposed zone change furthers a preponderance of relevant policies in the Comprehensive Plan.
  - viii. Section 1.H: Location on a collector or major street is not used as justification for the proposed zone change.
  - ix. Section 1.I: SU-1 zoning is considered a justifiable "spot zone" because it would result in the realization of policies in applicable plans as demonstrated in this case.
  - x. Section 1.J: The request does not create a strip zone.
9. Staff has not received any phone calls or inquiries regarding this request. There is no known support or opposition to this request.

**CONDITIONS OF APPROVAL – 13EPC-40095 – Zone Map Amendment**

1. The zone map amendment does not become effective until the accompanying site development plan is approved by the DRB pursuant to §14-16-4-1(C)(11) of the Zoning Code. If such requirement is not met within six months after the date of EPC approval, the zone map amendment is void. The Planning Director may extend this time limit up to an additional six months upon request by the applicant.

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**FINDINGS – 13EPC-40096 – Site Development Plan for Subdivision**

1. This is a request for a site development plan for subdivision for Lot A, Plat of Tract A, Land of Sierra West, LLC, located on Wyoming Blvd Between Mountain Rd and I-40 containing approximately 1.13 acres.
2. The applicant proposes to develop a vehicular accessed storage business or other C-1 permissive or conditional use, with limitations.

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PROJECT #1006950

March 14, 2013

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3. The request is accompanied by a zone map amendment request, 12EPC-40095, for R-1 to SU-1 for C-1 Uses with Exceptions Described in File 1006950. A site development plan is a condition of approval for the SU-1 zone.
4. The subject site is located within the Established Urban Area of the Comprehensive Plan. No area or sector plans apply to this site.
5. The Albuquerque/Bernalillo County Comprehensive Plan and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
6. The request generally furthers the following applicable Comprehensive Plan policies:
  - a. Policy II.B.5.d – neighborhood/environmental/resources: The proposal would result in development of neighborhood-scale commercial uses at the long-vacant subject site. The site's location on Wyoming Blvd. and adjacent to I-40 is generally appropriate for a commercial area. The intensity and layout of development will be guided by the extensive Design Standards provided. Natural environmental conditions and scenic resources do not apply in this case.
  - b. Policy II.B.5.e – infill development/neighborhood integrity: The proposed site development plan will guide appropriate development at this site, which is vacant land contiguous to existing facilities and services.
  - c. Policy II.B.5.j – new commercial development/location: The proposed commercial use would be located in freestanding retail building(s). It has access to mass transit and is generally where new commercial development should be located.
  - d. Policy II.B.5.l – quality/innovation: The site development plan for subdivision has extensive design standards that go beyond the Zoning Code design regulations. They require architectural integration of all structures on the site, encourage energy efficient design, require improved pedestrian walkways and connections, and require additional landscaping quantity and quality.
7. The request partially furthers the following applicable Comprehensive Plan policy:
  - a. Policy II.B.5.i – employment/service location: Because of the location of the access, off two local streets, increased traffic from the new use may impact the area and could affect the nearby residential environment. The design standards and uses should be well-defined to prevent any negative impacts.

OFFICIAL NOTICE OF DECISION

PROJECT #1006950

March 14, 2013

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8. The site plan specifies that future Site Development Plan for Building Permit will return to the EPC for review.
9. Staff has not received any phone calls or inquiries regarding this request. There is no known support or opposition to this request.

**CONDITIONS OF APPROVAL – 13EPC-40096 – Site Development Plan for Subdivision**

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. The zone map amendment does not become effective until the accompanying site development plan is approved by the DRB pursuant to §14-16-4-1(C)(11) of the Zoning Code. If such requirement is not met within six months after the date of EPC approval, the zone map amendment is void. The Planning Director may extend this time limit up to an additional six months upon request by the applicant.
4. The requested zoning description shall be revised to be: "SU-1 for C-1 Uses with Exceptions Described in File 1006950" On the site plan, the list of excluded uses needs to identify the uses, and not the number the use is currently itemized as because the list changes over time.
5. C-1 Conditional Use (18) Restaurant serving liquor shall be removed from the permissive use list because this use is only allowed within a shopping center site, which is a premise of 5 acres or more, therefore it cannot apply to this site.

OFFICIAL NOTICE OF DECISION

PROJECT #1006950

March 14, 2013

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6. Conditions of Approval from the City Engineer, Municipal Development, and NMDOT:
  - a. All easements and access agreements need to be shown and labeled on Site Plan. Provide recording information.
  - b. Label and show all COA ROW infrastructures on site plan: existing and proposed.
  - c. Clearly show the heavy vehicle pathway for this site. The pathway cannot cross into incoming traffic.
  - d. Correct discrepancy regarding the length of the NMDOT ROW Sound Barrier Wall on the submitted site plan and show the wall in its entirety.
  - e. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan, as may be required by the Development Review Board (DRB).
  
7. Conditions of approval from PNM:
  - a. It is the applicant's obligation to determine if existing utility easements cross the property and to abide by any conditions or terms of those easements.
  - b. There is an existing overhead electric distribution line at the back lot line. It will be necessary for the applicant to contact PNM's New Service Delivery Department to coordinate electric service for this project.
  - c. Screening should be designed to allow for access to utility facilities. All screening and vegetation surrounding ground-mounted transformers and utility pads are to allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance and repair purposes. Please refer to the PNM Electric Service Guide at [www.pnm.com](http://www.pnm.com) for specifications.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY **MARCH 29, 2013** IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

Persons aggrieved with any determination of the Environmental Planning Commission (EPC) and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department **within 15 days** of the

OFFICIAL NOTICE OF DECISION

PROJECT #1006950

March 14, 2013

Page 8 of 8

Planning Commission's decision. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday, the next working day is considered as the deadline for filing the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY ZONING CODE MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

ZONE MAP AMENDMENTS: Pursuant to Zoning Code Section 14-16-4-1(C)(11), a change to the zone map does not become official until the Certification of Zoning is sent to the applicant and any other person who requests it. Such certification shall be signed by the Planning Director after appeal possibilities have been concluded and after all requirements prerequisite to this certification are met. If such requirements are not met within six months after the date of final City approval, the approval is void. The Planning Director may extend this time limit up to an additional six months.

SITE DEVELOPMENT PLANS: Pursuant to Zoning Code Section 14-16-3-11(C)(1), if less than one-half of the approved square footage of a site development plan has been built or less than one-half of the site has been developed, the plan for the undeveloped areas shall terminate automatically seven years after adoption or major amendment of the plan: within six months prior to the seven-year deadline, the property owners shall request in writing thorough the Planning Director that the Planning Commission extend the plan's life an additional five years.

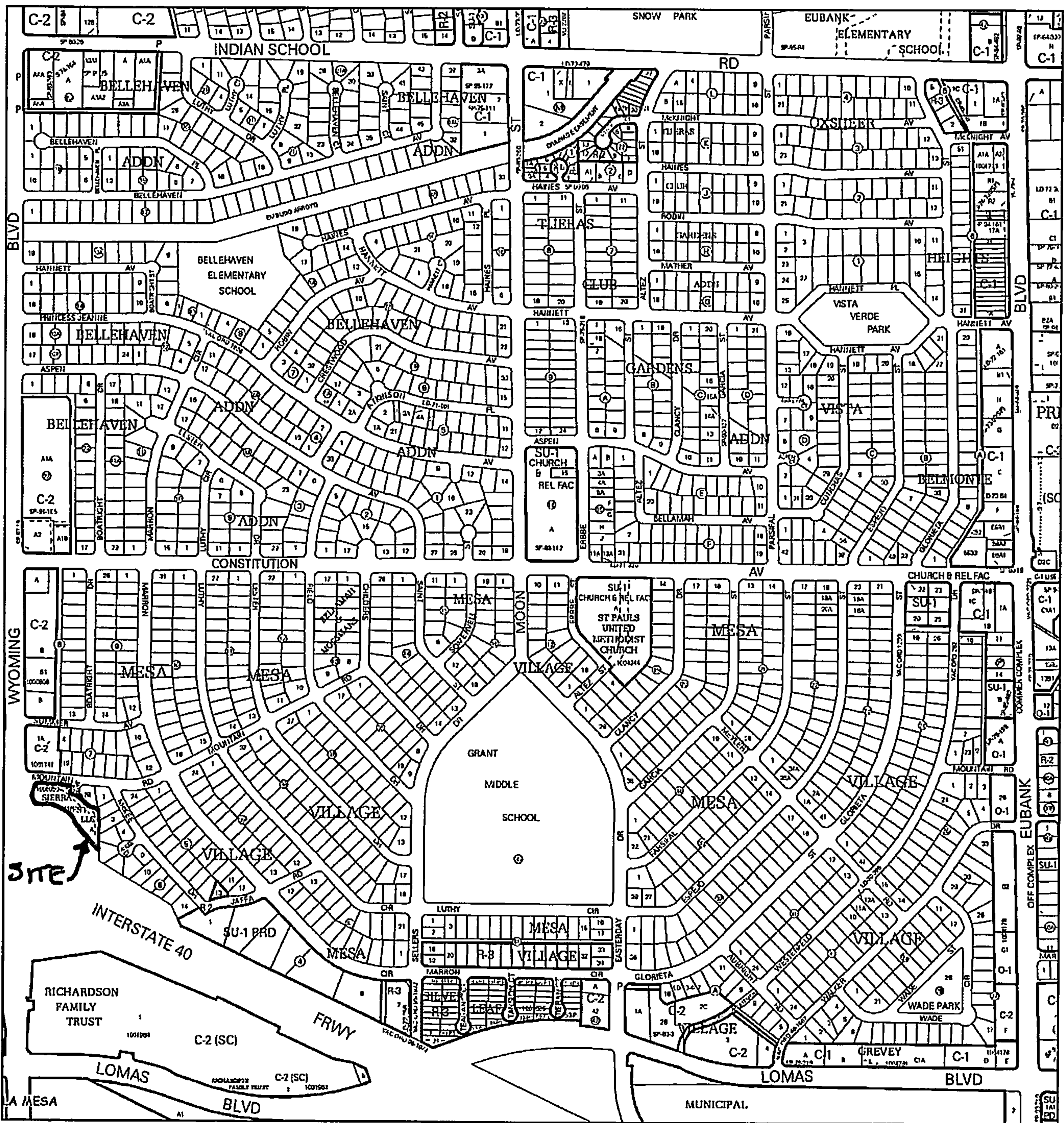
Sincerely,



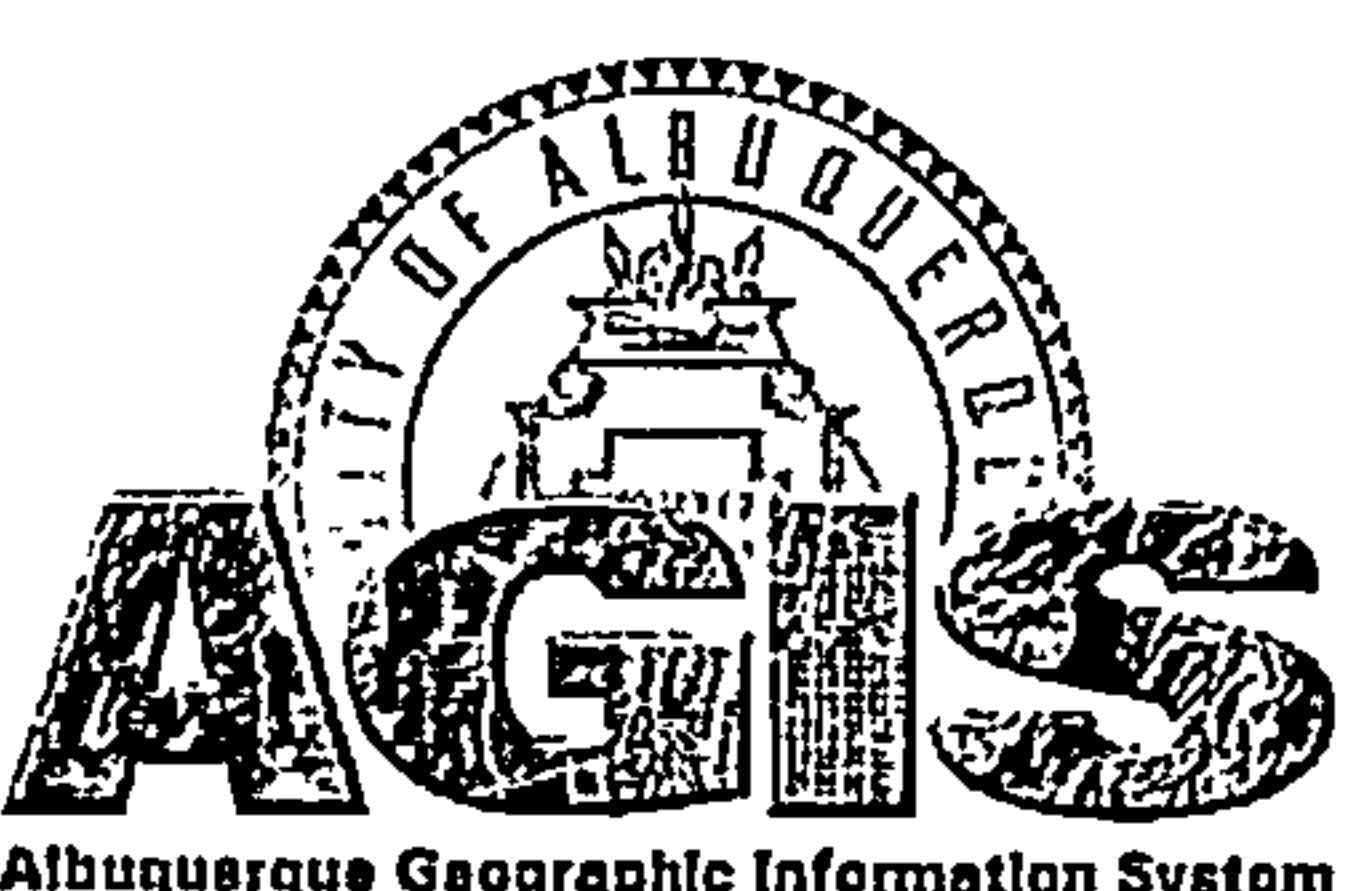
*for* Suzanne Lubar  
Acting Director, Planning Department

SL/CB/mc

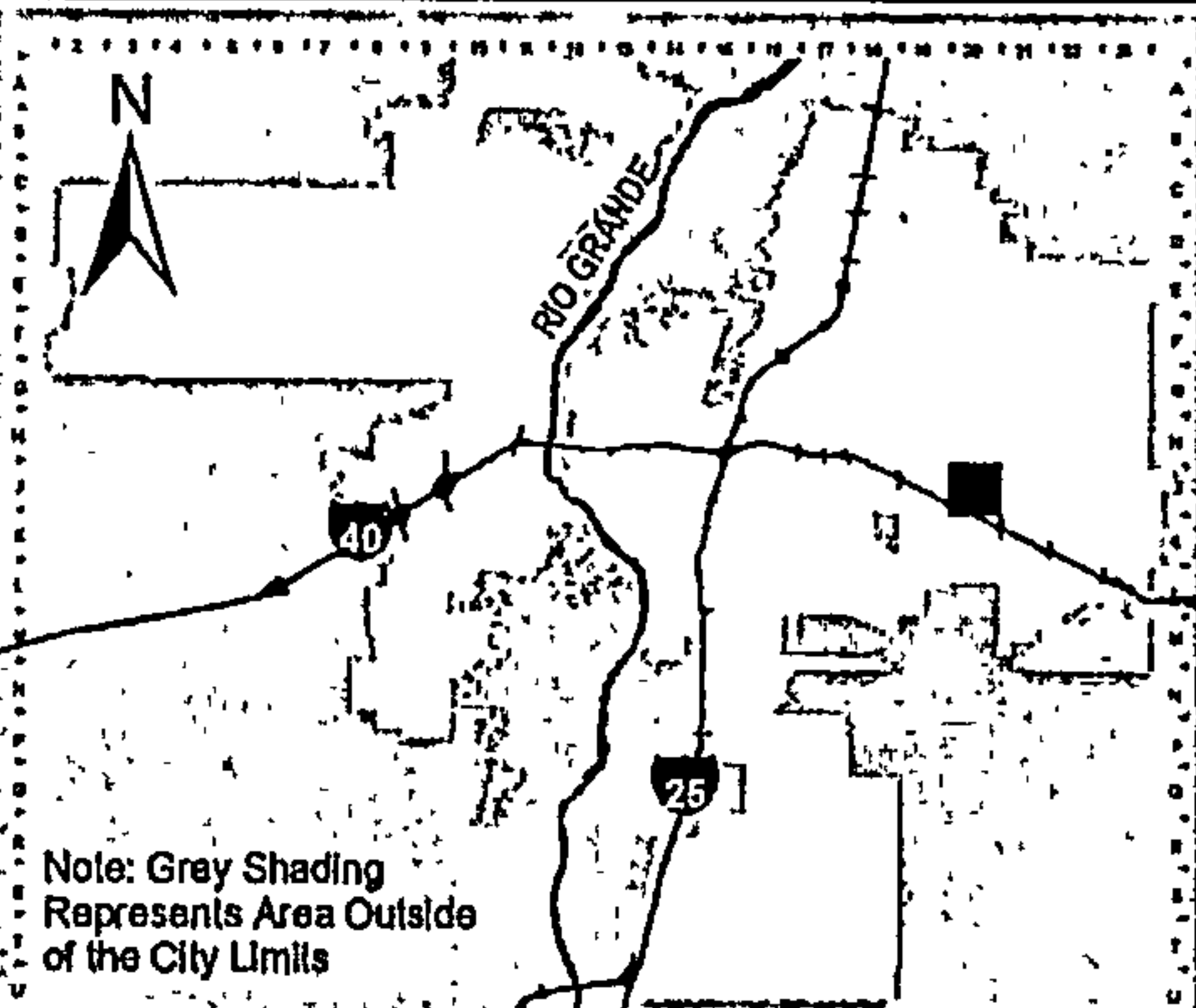
cc: Bohannan Huston, Inc., 7500 Jefferson St. Courtyard I, Albuquerque, NM 87109  
Laura Heitman, 8011 Princess Jeanne NE, Albuquerque, NM 87110  
Shirley Marquez, 7905 Hannett NE, Albuquerque, NM 87110  
Bill Hoch, 813 Calle del Corte NE, Albuquerque, NM 87110  
Lynne Martin, 1531 Espejo NE, Albuquerque, NM 87112



For more current information and details visit: <http://www.cabq.gov/gis>



Map amended through: 4/2/2012



Zone Atlas Page:  
**J-20-Z**

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone

0 750 1,500 Feet

# Bohannon Huston

Courtyard I  
7500 Jefferson St. NE  
Albuquerque, NM  
87109-4335

[www.bhinc.com](http://www.bhinc.com)

voice: 505.823.1000  
facsimile: 505.798.7988  
toll free: 800.877.5332

April 30, 2013

Mr. Jack Cloud  
Chair  
Development Review Board  
City of Albuquerque  
P.O. Box 1293  
Albuquerque, NM 87103

Re: DRB sign off of City project number 1006950, 13EPC-40096: TPCB Zone Map  
Amendment and Site Development Plan for Subdivision.

Dear Mr. Cloud:

This letter is to serve as the required description of changes made to the subject project to address EPC conditions of approval. The following numbered paragraphs correspond to the Official Notification of Decision dated March 14, 2013 (included):

1. This letter is the required response to Condition 1.
2. On April 24, 2013, a meeting was held with the Case Planner, Ms. Carrie Barkhurst to discuss changes made to the plan sheets to address the EPC Conditions of Approval. Ms. Barkhurst's initials are affixed to the Site Plan Sheet indicating her approval of the changes.
3. Acknowledged.
4. Sheets 1 and 2 of the Site Development Plan for Subdivision have been modified to list the uses which are a part of the zoning designation. The "Tract A Site Notes", Note number 2 on Sheet 1 and the "Existing Zoning" paragraph on Sheet 2 have been modified accordingly.
5. Restaurant serving liquor has been removed as a permissive use from the text as described in item 4 above.
6. See the attached E-mail message from Ms. Cynthia Beck, Associate Engineer with the Transportation Development Department, dated April 22, 2013, indicating conformance to all items listed under Condition of approval 6.
7. See the attached E-mail message from Ms. Laurie Moyer with PNM, dated April 16, 2013, indicating conformance to all items listed under Condition of approval 7.

Please review this response letter and the enclosed submittal documents and call with comments and questions. Please schedule this request to be heard at the May 8, 2013 DRB hearing.

Sincerely,



Paul M. Wymer, AIA  
Project Manager  
Community Development & Planning

PMW/tms  
Enclosures

**Engineering ▲**

**Spatial Data ▲**

**Advanced Technologies ▲**

# CITY OF ALBUQUERQUE

PLANNING DEPARTMENT  
URBAN DESIGN & DEVELOPMENT DIVISION  
600 2nd Street NW, 3rd Floor, 87102  
P.O. Box 1293, Albuquerque, NM 87103  
Office (505) 924-3860 Fax (505) 924-3339



## OFFICIAL NOTIFICATION OF DECISION

March 15, 2013

TPCB, LLC  
PO Box 7480  
Kingsport, TN 37664

**Project# 1006950**  
13EPC-40095 Amendment to Zone Map (Zone Change)  
13EPC-40096 Site Development Plan for Subdivision

### LEGAL DESCRIPTION:

For all or a portion of Lot A, Plat of Tract A, Land of Sierra West, LLC, located on Wyoming Blvd Between Mountain Rd and I-40 containing approximately 1.13 acres.

Staff Planner: Carrie Barkhurst

PO Box 1293

Albuquerque

On March 14, 2013, the Environmental Planning Commission voted to APPROVE Project 1006950, 13EPC-40095, a request for an Amendment to the Zone Map (Zone Change) and 13EPC-40096, a Site Development Plan for Subidivison, based on the following Findings and Conditions:

NM 87103

[www.cabq.gov](http://www.cabq.gov)

### FINDINGS – 13EPC-40095 – Zone Map Amendment

1. This is a request for a zone map amendment for Lot A, Plat of Tract A, Land of Sierra West, LLC, located on Wyoming Blvd Between Mountain Rd and I-40 containing approximately 1.13 acres.
2. The applicant request a zone change from R-1 to *SU-1 for C-1 Uses with Exceptions Described in File 1006950* in order to develop a vehicular accessed storage business or other C-1 use. The following C-1 Conditional Uses are not allowed: community residential program, dwelling unit, fireworks sales, mortuary, and uses or activities in a tent.
3. The request is accompanied by a site development plan for subdivision, 12EPC-40096.



OFFICIAL NOTICE OF DECISION

PROJECT #1006950

March 14, 2013

Page 2 of 8

4. The subject site is located within the Established Urban Area of the Comprehensive Plan. No area or sector plans apply to this site.
5. The Albuquerque/Bernalillo County Comprehensive Plan and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
6. The request furthers the following Comprehensive Plan policies of the Established Urban Area:
  - i. Policy II.B.5.j – new commercial development/location: The subject site is located on Wyoming Blvd. and is adjacent to existing commercial properties along the major arterial road. Developing the subject site with neighborhood-scale commercial or office development will provide new business/service opportunities for residents within a close walking or biking distance.
  - ii. Policy II.B.5.o – redevelopment of neighborhoods: Rezoning the subject site to allow for neighborhood-scale commercial and service uses would create new redevelopment opportunities on an infill site that has remained vacant for many years due to its current zoning and proximity to high traffic roadways. It is highly unlikely that the site will be developed with R-1 permissive uses for these same reasons.
  - iii. Policy II.C.1.b – air quality: This site is a prime example of an infill site in the Established Urban Area of the City. Providing new commercial and service opportunities near those who can benefit from them will result in less need to drive to them.
7. The request partially furthers the following applicable Comprehensive Plan Goal and policies:
  - i. Policy II.B.5.d – neighborhood/environmental/resources: The zone change could allow neighborhood-serving businesses to develop in a convenient location and would buffer the neighborhood from I-40, which benefits the neighborhood. However, the requested zoning would allow some C-1 Conditional Uses that may be too intense or inappropriate at this location. There could be conflict with neighborhood values, depending on the site layout and access.
  - ii. Policy II.B.5.e – infill development/neighborhood integrity: The zone change will likely facilitate development at this vacant, infill location. However, as mentioned above, the allowed uses should be restricted to C-1 Permissive Uses

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PROJECT #1006950

March 14, 2013

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and “automobile access to outdoor enclosed storage units,” which has design controls to minimize any adverse effects and is a use that can serve the adjacent neighborhood.

- iii. Policy II.B.5.i – employment/service use location: The requested zone could buffer the residential neighborhood from noise and traffic. However, commercial uses also have higher traffic generation than residential uses and could impact the residential area. The design standards require landscape buffers, privacy walls, and shielded lights, which will minimize adverse effects of a commercial use adjacent to residential uses.

8. The applicant has adequately justified the zone map amendment request pursuant to *Resolution 270-1980*:

- i. Section 1.A: Consistency with the City’s health, safety, morals and general welfare is demonstrated because the request furthers a preponderance of Goals and policies of the Comprehensive Plan. The proposed zoning is not likely to have an adverse impact on the welfare of the neighborhood or the City.
- ii. Section 1.B: The requested change will not destabilize adjacent land uses and zoning because it is consistent and compatible with adjacent uses and it is controlled through a site development plan. The request would result in development consistent with the Site Development Plan, which is a more restrictive development process than the current zoning and therefore should not contribute to destabilization of land use and zoning in the area.
- iii. Section 1.C: The applicant has adequately justified how the requested zone change furthers a preponderance of the Goals and Policies that are presented in the Comprehensive Plan. There is no “significant conflict” with these adopted Plans.
- iv. Section 1.D: Development at this site is more advantageous to the community because it will provide neighborhood-scaled commercial services in close proximity to neighborhoods as well as increasing the tax base, relative to a vacant parcel.
- v. Section 1.E: The permissive uses allowed under the proposed zone are similar to those available to other adjacent properties. If the Conditional Uses are restricted from the list of permissive uses, the zone change would not harm adjacent property, the neighborhood, or the community as compared to the current zoning.
- vi. Section 1.F: The proposed zone change requires no major or unprogrammed capital expenditures by the City.

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PROJECT #1006950

March 14, 2013

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- vii. Section 1.G: The cost of land or other economic considerations are not the determining factor for this request. The applicant has demonstrated that the proposed zone change furthers a preponderance of relevant policies in the Comprehensive Plan.
  - viii. Section 1.H: Location on a collector or major street is not used as justification for the proposed zone change.
  - ix. Section 1.I: SU-1 zoning is considered a justifiable "spot zone" because it would result in the realization of policies in applicable plans as demonstrated in this case.
  - x. Section 1.J: The request does not create a strip zone.
9. Staff has not received any phone calls or inquiries regarding this request. There is no known support or opposition to this request.

**CONDITIONS OF APPROVAL – 13EPC-40095 – Zone Map Amendment**

1. The zone map amendment does not become effective until the accompanying site development plan is approved by the DRB pursuant to §14-16-4-1(C)(11) of the Zoning Code. If such requirement is not met within six months after the date of EPC approval, the zone map amendment is void. The Planning Director may extend this time limit up to an additional six months upon request by the applicant.

---

**FINDINGS – 13EPC-40096 – Site Development Plan for Subdivision**

1. This is a request for a site development plan for subdivision for Lot A, Plat of Tract A, Land of Sierra West, LLC, located on Wyoming Blvd Between Mountain Rd and I-40 containing approximately 1.13 acres.
2. The applicant proposes to develop a vehicular accessed storage business or other C-1 permissive or conditional use, with limitations.

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PROJECT #1006950

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3. The request is accompanied by a zone map amendment request, 12EPC-40095, for R-1 to SU-1 for C-1 Uses with Exceptions Described in File 1006950. A site development plan is a condition of approval for the SU-1 zone.
4. The subject site is located within the Established Urban Area of the Comprehensive Plan. No area or sector plans apply to this site.
5. The Albuquerque/Bernalillo County Comprehensive Plan and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
6. The request generally furthers the following applicable Comprehensive Plan policies:
  - a. Policy II.B.5.d – neighborhood/environmental/resources: The proposal would result in development of neighborhood-scale commercial uses at the long-vacant subject site. The site's location on Wyoming Blvd. and adjacent to I-40 is generally appropriate for a commercial area. The intensity and layout of development will be guided by the extensive Design Standards provided. Natural environmental conditions and scenic resources do not apply in this case.
  - b. Policy II.B.5.e – infill development/neighborhood integrity: The proposed site development plan will guide appropriate development at this site, which is vacant land contiguous to existing facilities and services.
  - c. Policy II.B.5.j – new commercial development/location: The proposed commercial use would be located in freestanding retail building(s). It has access to mass transit and is generally where new commercial development should be located.
  - d. Policy II.B.5.l – quality/innovation: The site development plan for subdivision has extensive design standards that go beyond the Zoning Code design regulations. They require architectural integration of all structures on the site, encourage energy efficient design, require improved pedestrian walkways and connections, and require additional landscaping quantity and quality.
7. The request partially furthers the following applicable Comprehensive Plan policy:
  - a. Policy II.B.5.i – employment/service location: Because of the location of the access, off two local streets, increased traffic from the new use may impact the area and could affect the nearby residential environment. The design standards and uses should be well-defined to prevent any negative impacts.

8. The site plan specifies that future Site Development Plan for Building Permit will return to the EPC for review.
9. Staff has not received any phone calls or inquiries regarding this request. There is no known support or opposition to this request.

**CONDITIONS OF APPROVAL – 13EPC-40096 – Site Development Plan for Subdivision**

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. The zone map amendment does not become effective until the accompanying site development plan is approved by the DRB pursuant to §14-16-4-1(C)(11) of the Zoning Code. If such requirement is not met within six months after the date of EPC approval, the zone map amendment is void. The Planning Director may extend this time limit up to an additional six months upon request by the applicant.
4. The requested zoning description shall be revised to be: “SU-1 for C-1 Uses with Exceptions Described in File 1006950” On the site plan, the list of excluded uses needs to identify the uses, and not the number the use is currently itemized as because the list changes over time.
5. C-1 Conditional Use (18) Restaurant serving liquor shall be removed from the permissive use list because this use is only allowed within a shopping center site, which is a premise of 5 acres or more, therefore it cannot apply to this site.

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PROJECT #1006950

March 14, 2013

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6. Conditions of Approval from the City Engineer, Municipal Development, and NMDOT:
  - a. All easements and access agreements need to be shown and labeled on Site Plan. Provide recording information.
  - b. Label and show all COA ROW infrastructures on site plan: existing and proposed.
  - c. Clearly show the heavy vehicle pathway for this site. The pathway cannot cross into incoming traffic.
  - d. Correct discrepancy regarding the length of the NMDOT ROW Sound Barrier Wall on the submitted site plan and show the wall in its entirety.
  - e. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan, as may be required by the Development Review Board (DRB).
  
7. Conditions of approval from PNM:
  - a. It is the applicant's obligation to determine if existing utility easements cross the property and to abide by any conditions or terms of those easements.
  - b. There is an existing overhead electric distribution line at the back lot line. It will be necessary for the applicant to contact PNM's New Service Delivery Department to coordinate electric service for this project.
  - c. Screening should be designed to allow for access to utility facilities. All screening and vegetation surrounding ground-mounted transformers and utility pads are to allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance and repair purposes. Please refer to the PNM Electric Service Guide at [www.pnm.com](http://www.pnm.com) for specifications.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY **MARCH 29, 2013** IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

Persons aggrieved with any determination of the Environmental Planning Commission (EPC) and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department **within 15 days** of the

OFFICIAL NOTICE OF DECISION  
PROJECT #1006950  
March 14, 2013  
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Planning Commission's decision. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday, the next working day is considered as the deadline for filing the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY ZONING CODE MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

ZONE MAP AMENDMENTS: Pursuant to Zoning Code Section 14-16-4-1(C)(11), a change to the zone map does not become official until the Certification of Zoning is sent to the applicant and any other person who requests it. Such certification shall be signed by the Planning Director after appeal possibilities have been concluded and after all requirements prerequisite to this certification are met. If such requirements are not met within six months after the date of final City approval, the approval is void. The Planning Director may extend this time limit up to an additional six months.

SITE DEVELOPMENT PLANS: Pursuant to Zoning Code Section 14-16-3-11(C)(1), if less than one-half of the approved square footage of a site development plan has been built or less than one-half of the site has been developed, the plan for the undeveloped areas shall terminate automatically seven years after adoption or major amendment of the plan: within six months prior to the seven-year deadline, the property owners shall request in writing thorough the Planning Director that the Planning Commission extend the plan's life an additional five years.

Sincerely,

  
for Suzanne Lubar  
Acting Director, Planning Department

SL/CB/mc

cc: Bohannon Huston, Inc., 7500 Jefferson St. Courtyard I, Albuquerque, NM 87109  
Laura Heitman, 8011 Princess Jeanne NE, Albuquerque, NM 87110  
Shirley Marquez, 7905 Hannett NE, Albuquerque, NM 87110  
Bill Hoch, 813 Calle del Corte NE, Albuquerque, NM 87110  
Lynne Martin, 1531 Espejo NE, Albuquerque, NM 87112

## Paul Wymer

---

**From:** Beck, Cynthia <cbeck@cabq.gov>  
**Sent:** Monday, April 22, 2013 10:13 AM  
**To:** Paul Wymer  
**Subject:** RE: TPCB Zone Map Amendment and Site Development Plan for Subdivision; COA Project Number 1006950

Good Morning Paul,

Just returned from San Francisco and immediately reviewed your submittal on EPC project #1006950. The revised SDP for Subdivision meets the Transportation/Planning conditions based on submitted material.

Sincerely,  
Cynthia Beck  
Associate Engineer  
Transportation Development  
505-924-3924

---

**From:** Paul Wymer [<mailto:Pwymer@bhinc.com>]  
**Sent:** Tuesday, April 16, 2013 11:32 AM  
**To:** Beck, Cynthia; Moye, Laurie ([Laurie.Moye@pnm.com](mailto:Laurie.Moye@pnm.com))  
**Cc:** Barkhurst, Kathryn Carrie  
**Subject:** TPCB Zone Map Amendment and Site Development Plan for Subdivision; COA Project Number 1006950

Hi Cynthia and Laurie,

Attached are .pdf copies of the revised Site Development Plan for Subdivision sheets associated with the subject EPC case. I've also attached the Conditions of approval pages from the EPC Official Notification of Decision for your information. Please review the revised sheets and let me know if we've satisfied your Conditions of approval. Specifically, the following changes were made:

**City Engineer Conditions:**

Condition 6a.: All easements are shown on Sheet 1 of 3

Condition 6b: Existing curb located on Wyoming Blvd. and Mountain Rd. are depicted on Sheet 1 of 3.

Condition 6c: We discussed deferring this condition until the future Site Development Plan for Building permit is submitted for EPC review and approval.

Condition 6d: The NMDOT sound barrier wall location and configuration has been corrected on Sheet 1 of 3.

Condition 6e: The applicant concurs with this requirement. Permanent improvements, if applicable, will be defined by a future Site Development Plan for Building permit request.

**PNM Conditions:**

Condition 7a: Existing easements are shown on Sheet 1 of 3. Coordination with PNM easements will also be associated with a future Site Development Plan for Building permit request.

Condition 7b: Coordination with PNM New Service Delivery will occur associated with a future Site Development Plan for Building permit request.

Condition 7c: New notes discussing screening and clearance requirements have been added to Sheet 1 (Site Note 11), Sheet 2 (Note 6h), and Sheet 3, upper right hand corner.



Thank you for your assistance.

Paul M. Wymer, AIA, AICP  
Project Manager  
Community Development and Planning  
Direct line: 505-798-7895

**Bohannon  Huston**

Courtyard I  
7500 Jefferson St. NE  
Albuquerque, NM 87109-4335  
[www.bhinc.com](http://www.bhinc.com)

voice: 505.823.1000 facsimile: 505.798.7988 toll free: 800.877.5332

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## Paul Wymer

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**From:** Moye, Laurie <Laurie.Moye@pnm.com>  
**Sent:** Tuesday, April 16, 2013 12:11 PM  
**To:** Paul Wymer; cbeck@cabq.gov  
**Cc:** Barkhurst, Kathryn Carrie (kcbarkhurst@cabq.gov); Moye, Laurie  
**Subject:** RE: TPCB Zone Map Amendment and Site Development Plan for Subdivision; COA Project Number 1006950

Paul,  
It appears to me from reviewing these drawings that you have met PNM conditions for the Site Development Plan. I look forward to seeing the Site Development Plan for Building Permit when you are ready.

Laurie

*Laurie W. Moye  
PNM  
Public Participation and Regulatory Relations  
System Engineering  
Aztec Building A  
2401 Aztec NE  
Albuquerque, New Mexico 87107  
505-241-2792  
505-241-2363 fax*

---

**From:** Paul Wymer [<mailto:Pwymer@bhinc.com>]  
**Sent:** Tuesday, April 16, 2013 11:32 AM  
**To:** [cbeck@cabq.gov](mailto:cbeck@cabq.gov); Moye, Laurie  
**Cc:** Barkhurst, Kathryn Carrie ([kcbarkhurst@cabq.gov](mailto:kcbarkhurst@cabq.gov))  
**Subject:** TPCB Zone Map Amendment and Site Development Plan for Subdivision; COA Project Number 1006950

Hi Cynthia and Laurie,

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Condition 6e: The applicant concurs with this requirement. Permanent improvements, if applicable, will be defined by a future Site Development Plan for Building permit request.

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Condition 7c: New notes discussing screening and clearance requirements have been added to Sheet 1 (Site Note 11), Sheet 2 (Note 6h), and Sheet 3, upper right hand corner.

Thank you for your assistance.

Paul M. Wymer, AIA, AICP  
Project Manager  
Community Development and Planning  
Direct line: 505-798-7895

## **Bohannon Huston**

Courtyard I  
7500 Jefferson St. NE  
Albuquerque, NM 87109-4335  
[www.bhinc.com](http://www.bhinc.com)

**voice:** 505.823.1000 **facsimile:** 505.798.7988 **toll free:** 800.877.5332

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## Paul Wymer

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**From:** Cherne, Curtis <CCherne@cabq.gov>  
**Sent:** Monday, April 29, 2013 1:24 PM  
**To:** Paul Wymer  
**Subject:** RE: DRB final sign off for TPCB COA Project number 1006950

Paul,  
I concur with your summarization.

Curtis

---

**From:** Paul Wymer [<mailto:Pwymer@bhinc.com>]  
**Sent:** Monday, April 29, 2013 10:17 AM  
**To:** Cherne, Curtis  
**Subject:** DRB final sign off for TPCB COA Project number 1006950

Hi Curtis,

Per our discussion this morning, I will be submitting the subject project for DRB final sign off of the EPC plans for Site Development Plan for Subdivision tomorrow. The check list indicates I need an approved Grading and Drainage Plan to accompany the submittal. Since the end user for the site has yet to be determined, and since a Site Development Plan for Building Permit must be prepared and reviewed by the EPC and DRB at a future date, you stated that a Grading and Drainage Plan will not be required at this time. Let me know if you concur with my summarization.

Thanks for your help.

Paul M. Wymer, AIA  
Project Manager  
Community Development and Planning  
Direct line: 505-798-7895

## Bohannon Huston

Courtyard I  
7500 Jefferson St. NE  
Albuquerque, NM 87109-4335  
[www.bhinc.com](http://www.bhinc.com)  
voice: 505.823.1000 facsimile: 505.798.7988 toll free: 800.877.5332

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**TPCB, LLC**  
**PO Box 7480**  
**Kingsport, TN 37664**  
**Cell 575-644-7515**  
**Off 423-279-0655**

December 20, 2012

Re: Zone Map Amendment and Site Development Plan Submittal: Tract A, Plat of Tract A, Land of **TPCB, LLC**, a NM limited liability company, containing approximately 1.1249 acres.

**To Whom It May Concern:**

I C. C. Bess, Managing Member of **TPCB, LLC** hereby authorize Bohannan Huston, Inc. staff to act as my agent in all matters associated with the Zone Map Amendment and Site Development Plan Submittal for the subject project.

Sincerely,  
**TPCB, LLC**



C. C. Bess  
Managing Member

MAY 8. 2013

...

**6950**

### DXF Electronic Approval Form

DRB Project Case #: 1006950

Subdivision Name: SIERRA WEST LLC--TRACT A

Surveyor: THOMAS D JOHNSTON

Contact Person: THOMAS D JOHNSTON

Contact Information: 255-2052

DXF Received: 3/3/2008

Hard Copy Received: 3/3/2008

Coordinate System: Ground rotated to NMSP Grid

  
Approved

03.04.2008  
Date

\* The DXF file cannot be accepted (at this time) for the following reason(s):

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**AGIS Use Only**  
Copied fc 6950 to agiscov on 3/4/2008 Contact person notified on 3/4/2008

# City of Albuquerque Planning Department

## One Stop Shop – Development and Building Services

03/03/2008 Issued By: PLNABG

**Permit Number:** 2008 070 115 **Category Code 910**

**Application Number:** 08DRB-70115, Minor - Preliminary/ Final Plat Approval

**Address:**

**Location Description:** WYOMING BLVD NE BETWEEN MOUNTAIN RD NE AND INTERSTATE 40 NE

**Project Number:** 1006950

**Applicant**  
Sierra West Llc  
Gina Schmidt  
8600 Briardiff Ne  
Albuquerque NM 87111  
304-8445

**Agent / Contact**  
Wayjohn Surveying Inc  
  
3300 Louisiana Blvd Ne  
Albuquerque NM 87108  
255-2052  
wayjonsurv@aol.com

**Application Fees**

441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	\$20.00
441008/4983000	DRB Actions	\$215.00
<b>TOTAL:</b>		<b>\$235.00</b>

City Of Albuquerque  
Treasury Division

3/3/2008      3:11PM      LOC: ANNX  
 RSH 003      TRANSH 0037  
 RECEIPT# 00050191-00088191  
 PERMIT# 2008070115      TRSDMT  
 Trans Amt      \$235.00  
 Conflict Manag. Fee      \$20.00  
 DRB Actions      \$215.00  
 CK      \$235.00  
 CHANGE      \$0.00

Thank You





Supplemental form

**SUBDIVISION**

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

**STORM DRAINAGE (Form D)**

- Storm Drainage Cost Allocation Plan

**S Z ZONING & PLANNING**

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICATION INFORMATION:**

Professional/Agent (if any): WAYJOHN SURVEYING INC. PHONE: 255-2052  
 ADDRESS: 330 LOUISIANA BLVD NE FAX: 255-2897  
 CITY: ALBUQUERQUE STATE NM ZIP 87108 E-MAIL: WAYJOHNSURV@AOL.COM

APPLICANT: SIERRA WEST LLC (GINA SCHMIDT) PHONE: 304-8445  
 ADDRESS: 6600 BRIARCLIFF NE FAX: 828-4875  
 CITY: ALBUQUERQUE STATE NM ZIP 87111 E-MAIL: \_\_\_\_\_

Proprietary interest in site: OWNER List all owners: \_\_\_\_\_

DESCRIPTION OF REQUEST: MINOR PRELIMINARY/FINAL PLAT TO CREATE ONE LOT

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. PORTIONS OF TRACTS B-B NMDOT ROW Block: \_\_\_\_\_ Unit: \_\_\_\_\_  
 Subdiv/Addr/TBKA: TRACT A, LANDS OF SIERRA WEST LLC  
 Existing Zoning: R-1 Proposed zoning: C-2 MRGCD Map No \_\_\_\_\_  
 Zone Atlas page(s): J-20 UPC Code: N/A

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): N/A  
1006950

**CASE INFORMATION:**

Within city limits?  Yes Within 1000FT of a landfill? NO  
 No. of existing lots: 1 No. of proposed lots: 1 Total area of site (acres): 1.1249  
 LOCATION OF PROPERTY BY STREETS: On or Near: WYOMING BLVD NE  
 Between: MOUNTAIN ROAD NE and INTERSTATE 40  
 Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: 12/5/07

SIGNATURE [Signature] DATE 3/03/08

(Print) THOMAS D. JOHNSTON Applicant:  Agent:

**FOR OFFICIAL USE ONLY**

Form revised 4/07

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>08 DRB - 70115</u>	<u>P F</u>	<u>5(3)</u>	<u>\$ 215.<sup>00</sup></u>
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>CMF</u>	_____	<u>\$ 20.<sup>00</sup></u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
	Hearing date <u>March 12, 2008</u>			Total <u>\$ 235.<sup>00</sup></u>

[Signature] 3/3/08

Project #

1006950

**FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING**

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

**SKETCH PLAT REVIEW AND COMMENT (DRB22)** **Your attendance is required.**

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

**EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08)** **Your attendance is required.**

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Copy of DRB approved infrastructure list
- Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
- List any original and/or related file numbers on the cover application

**Extension of preliminary plat approval expires after one year.**

**MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12)** **Your attendance is required.**

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations & cross sections of perimeter walls **3 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- List any original and/or related file numbers on the cover application
- DXF file and hard copy of final plat data for AGIS is required.

**MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16)** **Your attendance is required.**

- N/A 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings
- N/A Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- N/A Design elevations and cross sections of perimeter walls (11" by 17" maximum) **3 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- N/A Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- Fee (see schedule)
- List any original and/or related file numbers on the cover application
- N/A Infrastructure list if required (**verify with DRB Engineer**)
- DXF file and hard copy of final plat data for AGIS is required.

**AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03)** **Your attendance is required.**

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- List any original and/or related file numbers on the cover application

**Amended preliminary plat approval expires after one year**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

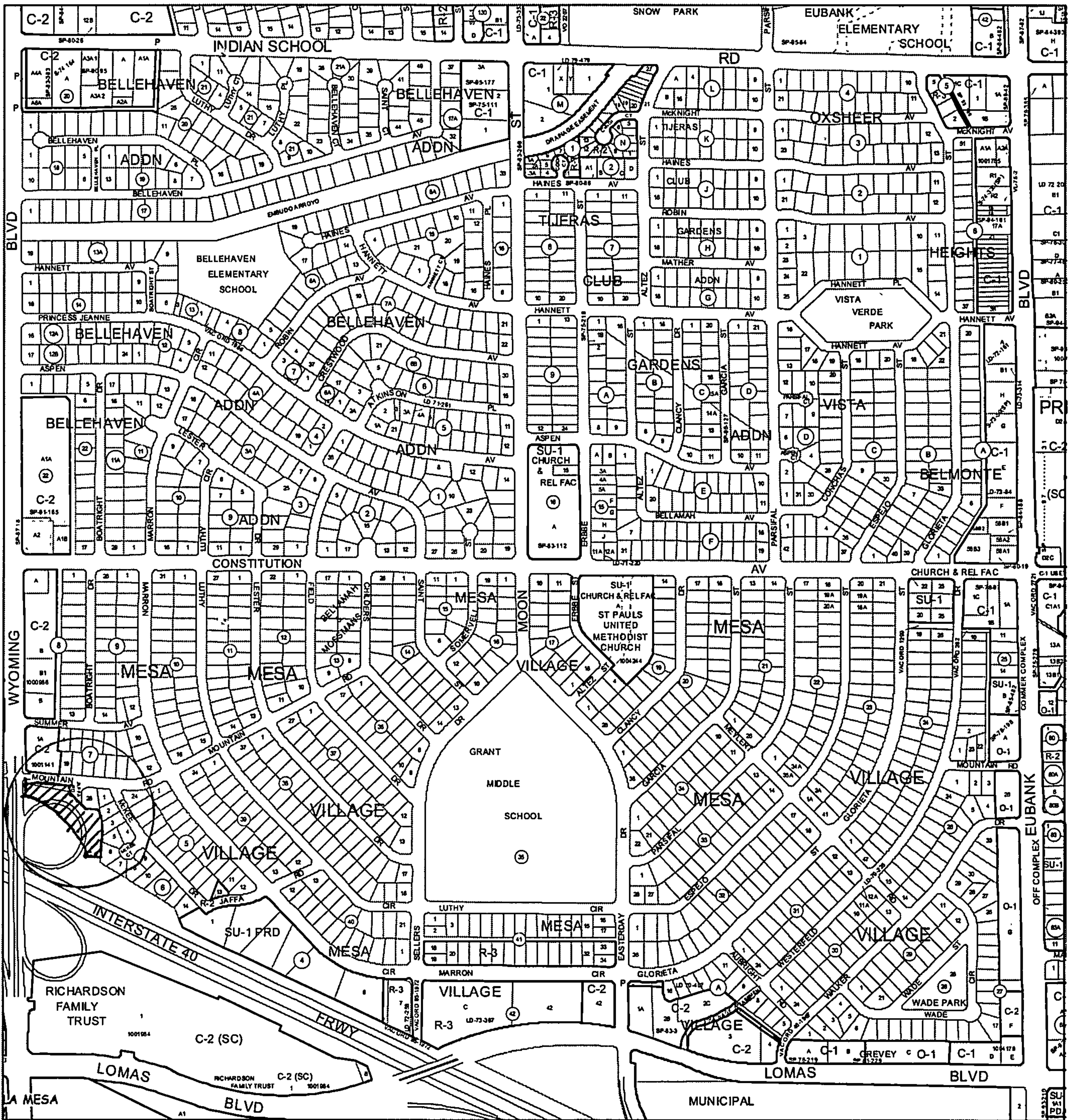
THOMAS D. JONNSTON  
Applicant name (print)  
[Signature] 3-03-0  
Applicant signature / date




Form revised October 2007

- Checklists complete
  - Fees collected
  - Case #s assigned
  - Related #s listed
- Application case numbers  
08 DRB- \_\_\_\_\_ - 70115

[Signature] 3/3/08  
Planner signature / date  
Project # 1006950

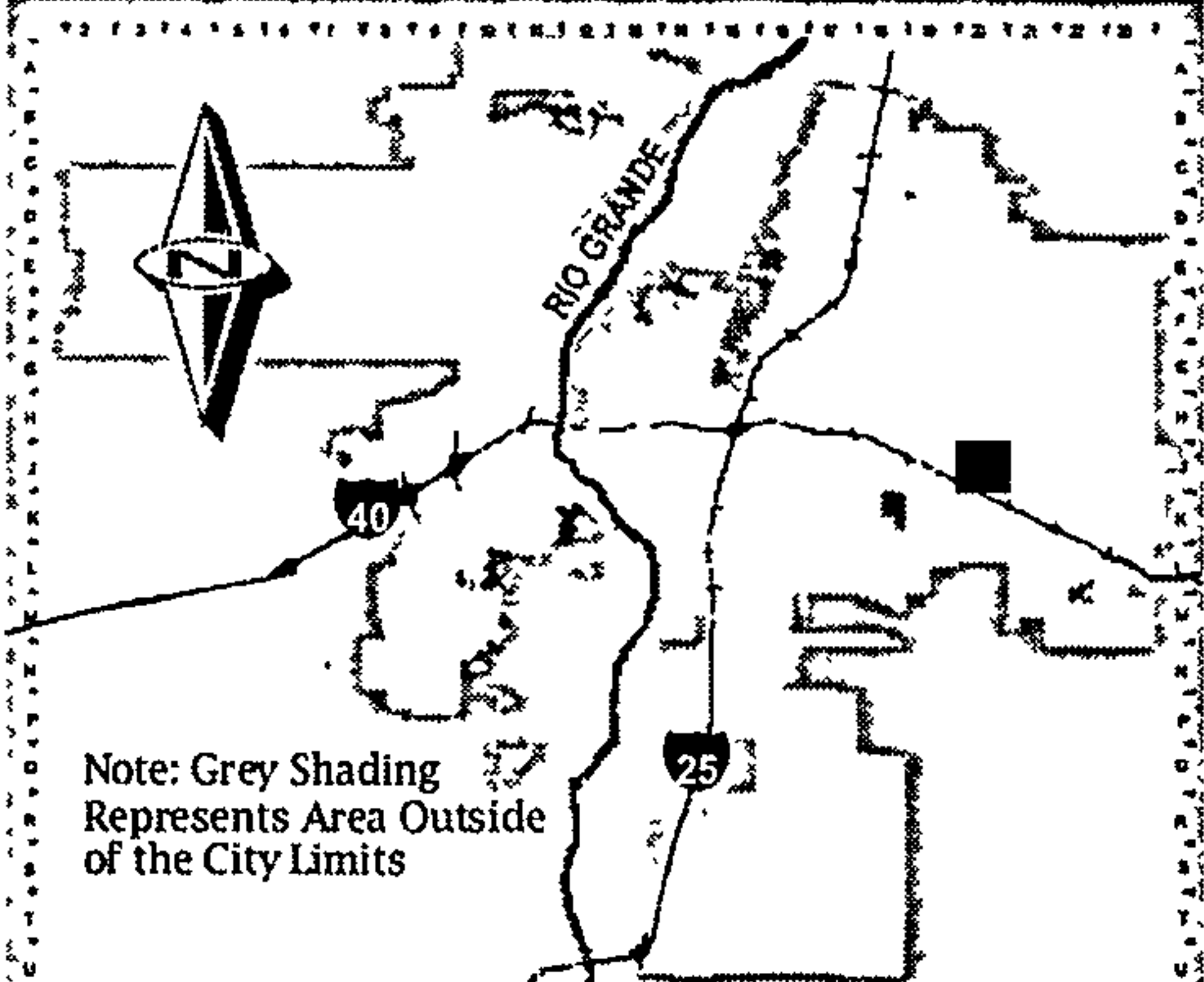


For more current information and more details visit: <http://www.cabq.gov/gis>



Albuquerque Geographic Information System

Map amended through: 3/14/2006



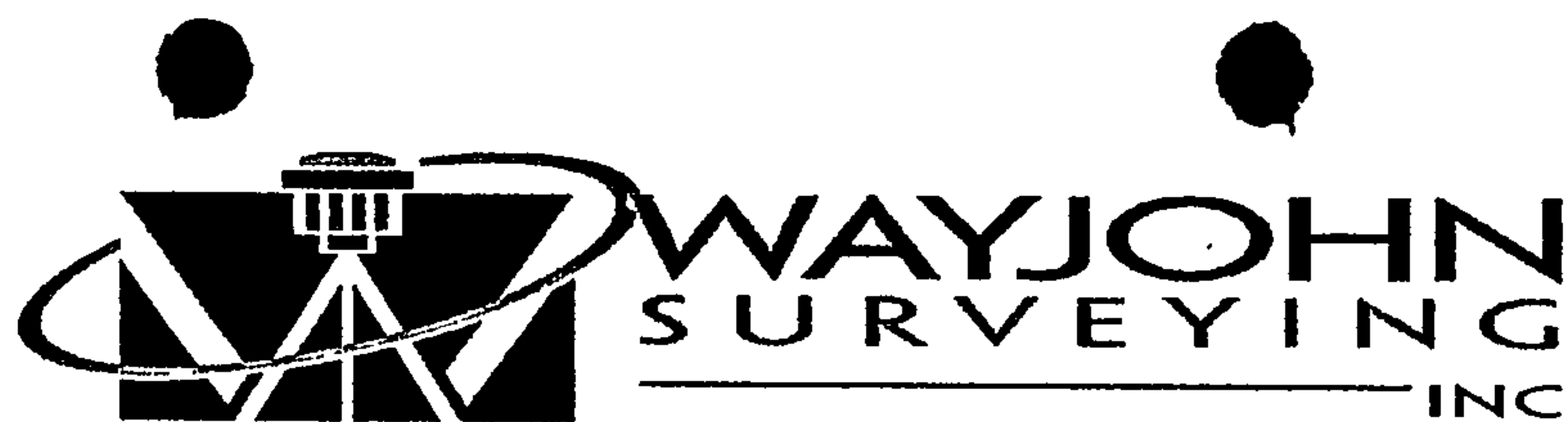
Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:  
**J-20-Z**

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet



330 Louisiana Blvd., N.E. ♦ Albuquerque, NM 87108 ♦ Phone: (505) 255-2052 ♦ Fax: (505) 255-2887

March 3, 2008

Planning Department  
City of Albuquerque  
PO Box 1293  
Albuquerque, NM 87103

RE: Minor Preliminary/Final Plat of Tract A, Lands of Sierra West LLC

To Whom It May Concern:

I am submitting a request for a minor preliminary/final plat to create Tract "A", Lands of Sierra West LLC. This parcel was acquired by auction from the New Mexico Department of Transportation. It is excess land that was not needed by NMDOT upon completion of the reconfiguration of the Wyoming Blvd. NE interchange. This replat is required by the City of Albuquerque in order to allow it to be acknowledged as an existing parcel. This replat is also a requirement for rezoning the parcel from R-1 to C-2. This parcel is currently vacant.

Thank you for your time in considering this matter. If you have any questions, please give me a call at the above number.

Regards,

Thomas D. Johnston, PS, PE  
President, Wayjohn Surveying Inc.



Supplemental form

**SUBDIVISION**

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

**STORM DRAINAGE (Form D)**

- Storm Drainage Cost Allocation Plan

**S Z ZONING & PLANNING**

- Annexation.
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICATION INFORMATION:**

Professional/Agent (if any): none at this time PHONE: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ FAX: \_\_\_\_\_

CITY: \_\_\_\_\_ STATE \_\_\_\_\_ ZIP \_\_\_\_\_ E-MAIL: \_\_\_\_\_

APPLICANT: Gina Schmidt / Sierra West, LLC PHONE: 304-8445

ADDRESS: 6600 Briarcliff NE FAX: 828-4875

CITY: Albuq STATE NM ZIP 87111 E-MAIL: gs558@comcast.net

Proprietary interest in site: owner List all owners: Sierra West / Gina Schmidt, Harry Wishinski

DESCRIPTION OF REQUEST: obtain zoning Ron Henze

Is the applicant seeking incentives pursuant to the Family Housing Development Program? \_\_\_ Yes.  No.

**SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. See attached Block: \_\_\_\_\_ Unit: \_\_\_\_\_

Subdiv/Addn/TBKA: \_\_\_\_\_

Existing Zoning: none Proposed zoning: C2 MRGCD Map No. \_\_\_\_\_

Zone Atlas page(s): J-20 UPC Code: \_\_\_\_\_

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.): \_\_\_\_\_

**CASE INFORMATION:**

Within city limits?  Yes Within 1000FT of a landfill? NO

No. of existing lots: 1 No. of proposed lots: 1 Total area of site (acres): 1.2

LOCATION OF PROPERTY BY STREETS: On or Near: Wyoming and I-40

Between: Northbound Offramp and Mountain Road

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: \_\_\_\_\_

SIGNATURE: [Signature] DATE 11/20/07

(Print) Gina Schmidt Applicant:  Agent:

**FOR OFFICIAL USE ONLY**

Form revised 4/07

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers

07DRB-70404

Action

SK

S.F.

\_\_\_\_\_

Fees

\$ 0

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Total

\$ 0

Hearing date December 5, 2007

[Signature]

11/21/07  
Planner signature / date

Project # 1006950

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

**SKETCH PLAT REVIEW AND COMMENT (DRB22)** Your attendance is required.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies ✓
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

**EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08)** Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Copy of DRB approved infrastructure list
  - Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
  - List any original and/or related file numbers on the cover application
- Extension of preliminary plat approval expires after one year.

**MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12)** Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations & cross sections of perimeter walls 3 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- List any original and/or related file numbers on the cover application
- DXF file and hard copy of final plat data for AGIS is required.

**MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16)** Your attendance is required.

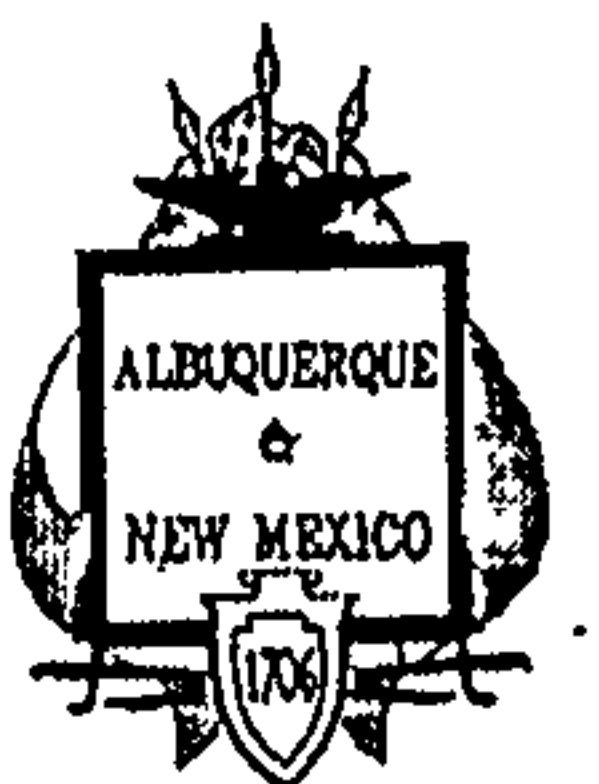
- 5 Acres or more: Certificate of No Effect or Approval
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- Zone Atlas map with the entire property(ies) clearly outlined
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- Fee (see schedule)
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- Infrastructure list if required (verify with DRB Engineer)
- DXF file and hard copy of final plat data for AGIS is required.

**AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03)** Your attendance is required.

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- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
  - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
  - List any original and/or related file numbers on the cover application
- Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

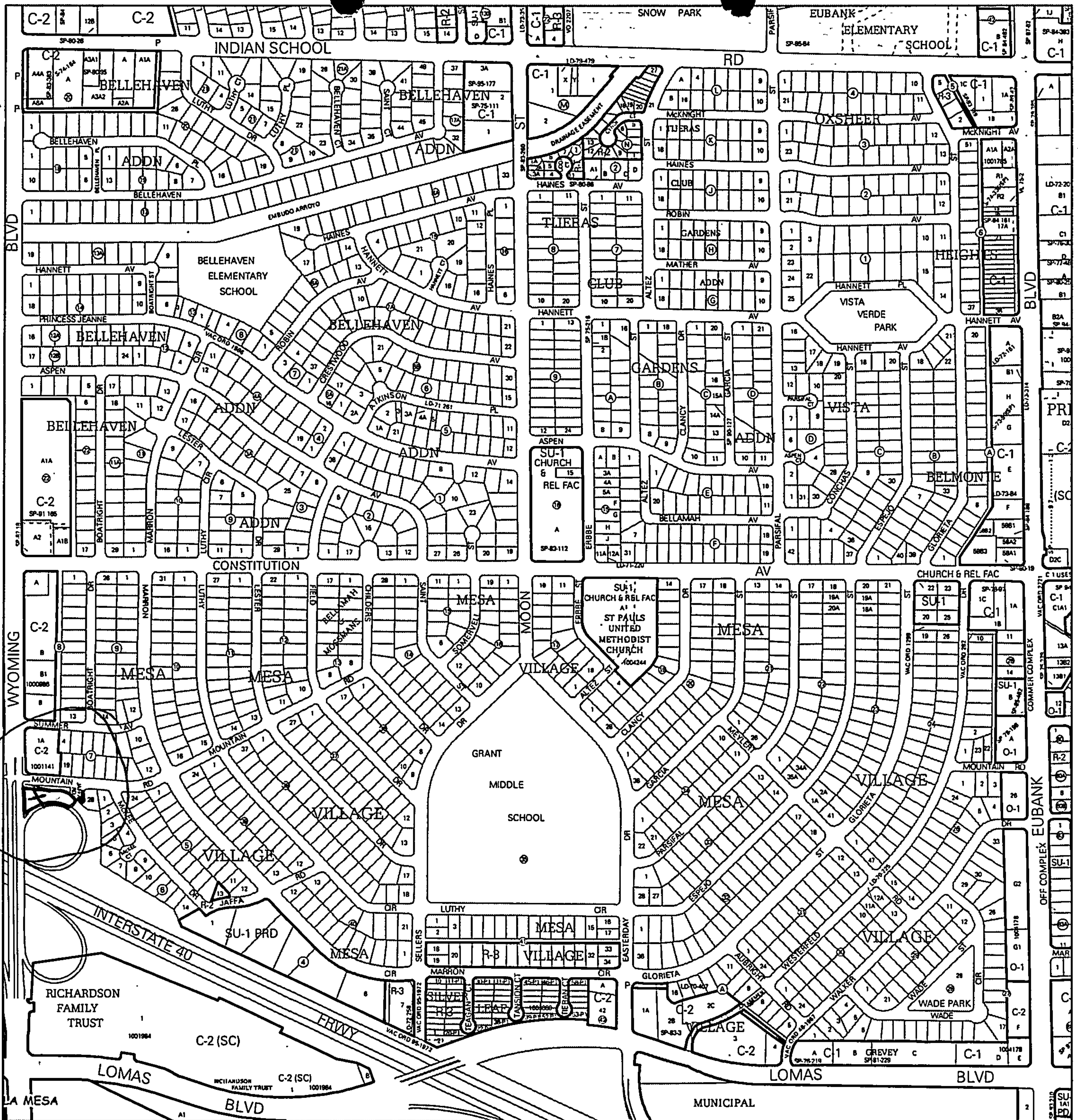
Gina Schmidt  
 Applicant name (print)  
[Signature] 11/20/07  
 Applicant signature / date




Form revised October 2007

- Checklists complete
  - Fees collected
  - Case #s assigned
  - Related #s listed
- Application case numbers  
 97DRB - - 70404

[Signature] 11/21/07  
 Planner signature / date  
 Project # 1006950

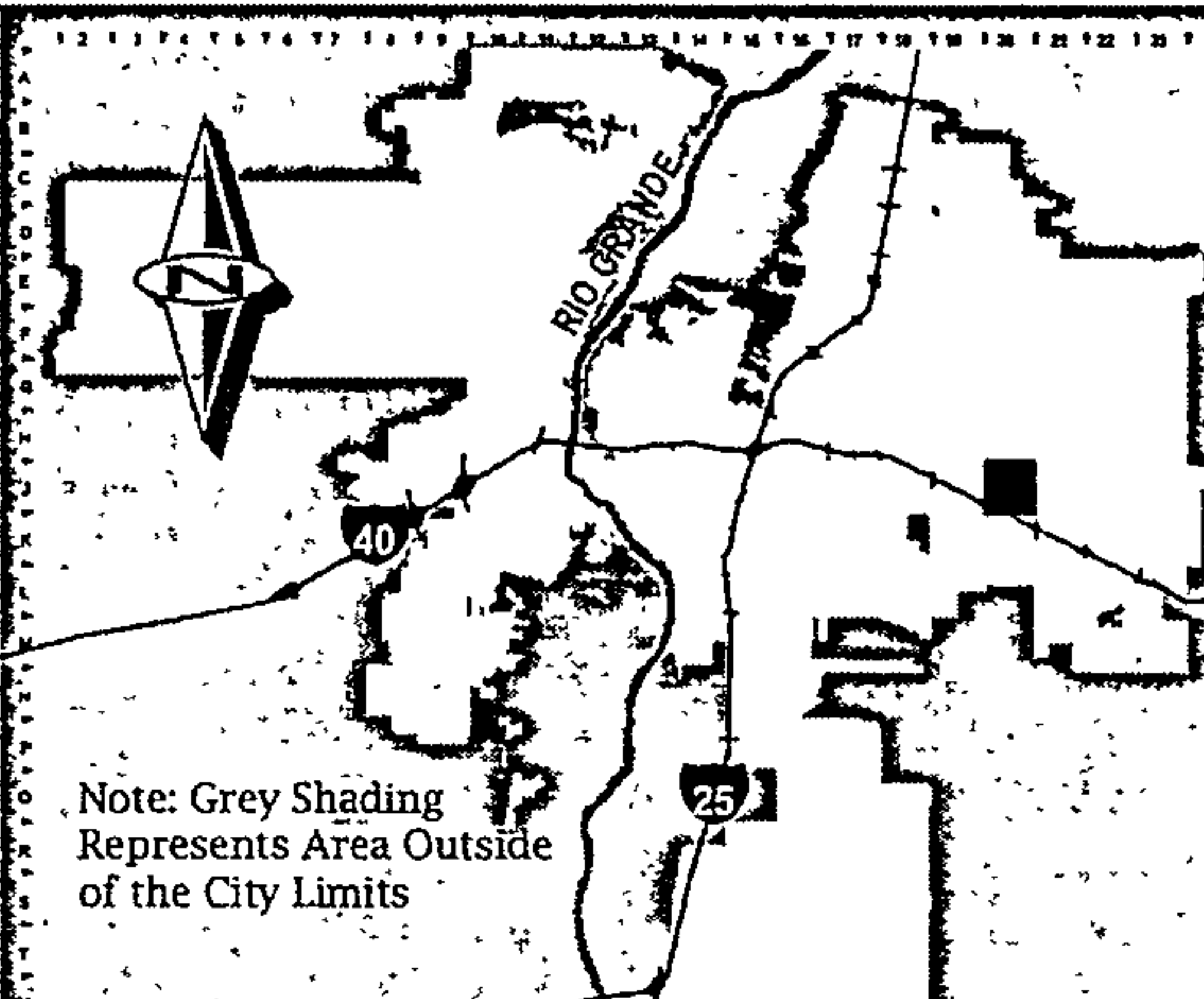


For more current information and more details visit: <http://www.cabq.gov/gis>



**AGIS**  
Albuquerque Geographic Information System










Map amended through: 5/17/2007




Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:  
**J-20-Z**

Selected Symbols

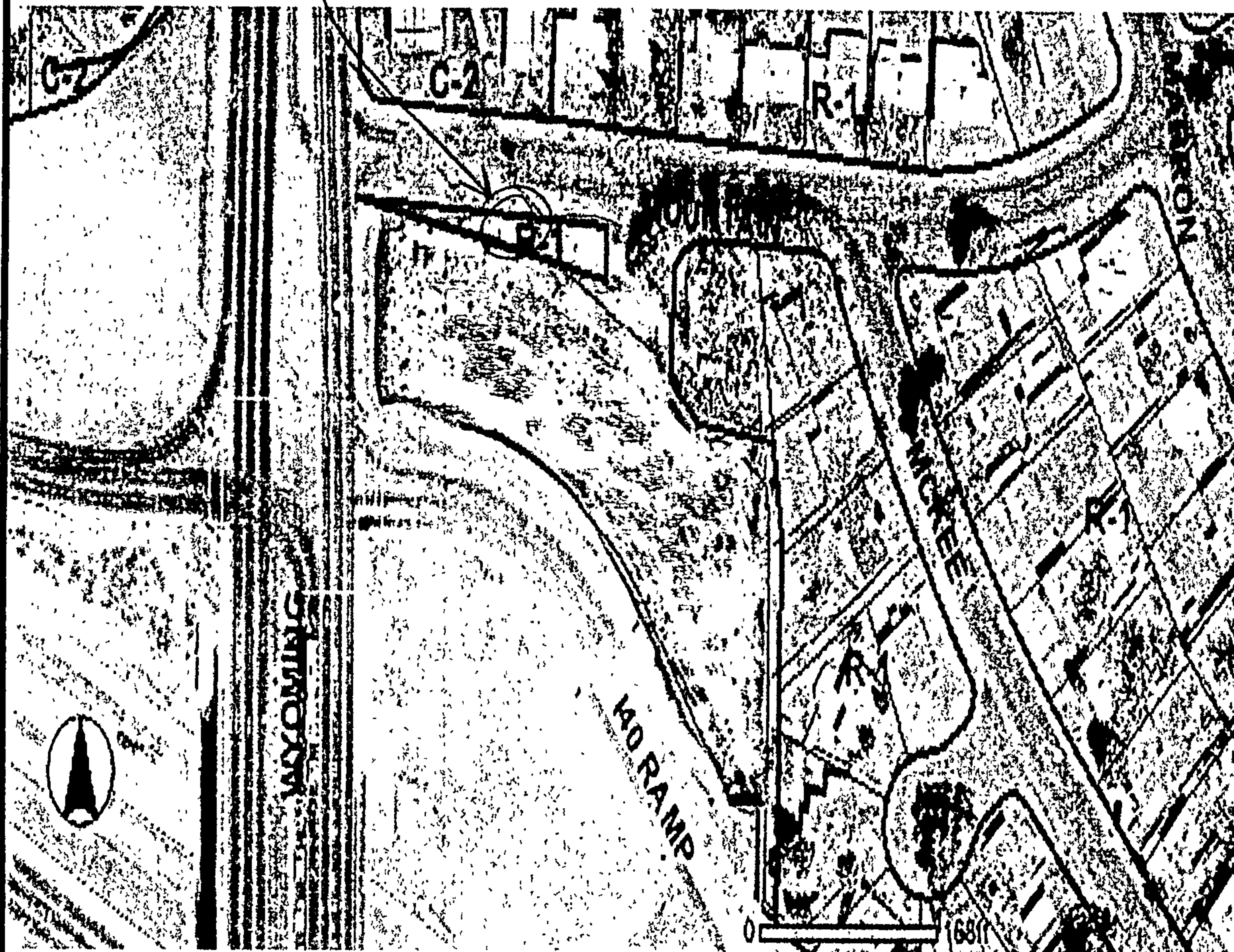
	SECTOR PLANS		Escarpment
	Design Overlay Zones		2 Mile Airport Zone
	City Historic Zones		Airport Noise Contours
	H-1 Buffer Zone		Wall Overlay Zone
	Petroglyph Mon.		



*what is this?*

NEEDS TO BE INCLUDED IN ZONE CHANGE

# ArcIMS HTML Viewer Map



Overview

## Legend

### Legend LATERALS



AMAFCA Ditches  
MRGCD Ditches

### STREET NAMES



ZONING  
PARCELS

2006 AIR PHOTO

MUNICIPAL LIMITS

ALBUQUERQUE

CORRALES

LOS RANCHOS

RIO RANCHO

TUERAS

UNINCORPORATED AREAS



**LEGAL DESCRIPTION OF PARCEL AT THE NORTHEASTERLY  
QUADRANT OF THE WYOMING BOULEVARD/INTERSTATE 40  
INTERCHANGE**

A certain parcel of land being situate in the Southwest Quarter of Section 17, Township 10 North, Range 4 East, N.M.P.M., City of Albuquerque, County of Bernalillo, State of New Mexico, being all of parcels B-13-13 and B-13-14 and portions of parcels B-13-9, B-13-10, B-13-11 and B-13-12 as shown on the New Mexico State Highway Commission Right Of Way Map N.M.P. I-040-3(1)163, being more particularly described as follows:

The point of beginning being a found railroad rail right of way marker, and being the southeasterly corner of said parcel B-13-14 and being a point on the existing northerly right of way line of said N.M.P. I-040-3(1)163, whence the New Mexico State Highway Commission Control Station 2743-14 bears S 48°51'28" E a distance of 2249.18 feet, Thence

S78°53'37"E a distance of 70.63 feet along said existing northerly right of way line of N.M.P. I-040-3(1)163 to a set MagNail with aluminum tag marked P.S. 11255, said point being on top of a cinder block wall and being also the point of intersection with the existing easterly right of way line of said N.M.P. I-040-3(1)163 ; Thence,

S08°36'57"E a distance of 52.26 feet along said existing easterly right of way line of N.M.P. I-040-3(1)163 to a set MagNail with aluminum tag marked P.S. 11255, said point being on top of a cinder block wall; Thence,

S00°34'13"W a distance of 151.45 feet along said existing easterly right of way line of N.M.P. I-040-3(1)163 to a set MagNail with aluminum tag marked P.S. 11255, said point being on top of a cinder block wall and being also the point of intersection with the new southerly right of way line of said N.M.P. I-040-3(1)163 created by this conveyance; Thence,

N88°45'40"W a distance of 24.49 feet along said new southerly right of way line of N.M.P. I-040-3(1)163 to a set 5/8" rebar with plastic cap stamped L.S. 11255; Thence,

N36°10'13"W a distance of 123.37 feet along said new southerly right of way line of N.M.P. I-040-3(1)163 to a set 5/8" rebar with plastic cap stamped L.S. 11255; Thence,

Northwesterly along said new southerly right of way line of N.M.P.I-040-3(1)163 a distance of 201.30 feet along the arc of a curve to the left having a radius of 298.19 feet, a central angle of 38°40'43" and chord which bears N55°30'34"W a distance of 197.50 feet to a set 5/8" rebar with plastic cap stamped L.S. 11255; Thence,

N74°50'56"W a distance of 90.89 feet along said new southerly right of way line of N.M.P. I-040-3(1)163 to a set 5/8" rebar with plastic cap stamped L.S. 11255, said point being the point of intersection with the new westerly right of way line of said N.M.P.I-040-3(1)163 created by this conveyance; Thence,

N02°54'12"W a distance of 75.51 feet along said new westerly right of way line of N.M.P. I-040-3(1)163 to a set 5/8" rebar with plastic cap stamped L.S. 11255; Thence,

Northeasterly along said new westerly right of way line of N.M.P.I-040-3(1)163 a distance of 42.20 feet along the arc of a curve to the right having a radius of 25.00 feet, a central angle of 96°43'25" and chord which bears N45°27'31"E a distance of 37.37 feet to a set 5/8" rebar with plastic cap stamped L.S. 11255, said point being the point of intersection with the said existing northerly right of way line of N.M.P. I-040-3(1)163 said line also being the existing southerly right of way line of Mountain Road; Thence,

S86°10'47"E a distance of 150.00 feet along said existing northerly right of way line of N.M.P. I-040-3(1)163 to a set 5/8" rebar with plastic cap stamped L.S. 11255; Thence,

Southeasterly along said northerly right of way line of N.M.P.I-040-3(1)163 a distance of 37.85 feet along the arc of a curve to the right having a radius of 25.00 feet, a central angle of 86°45'00" and chord which bears S42°48'17"E a distance of 34.34 feet to a set 5/8" rebar with plastic cap stamped L.S. 11255; Thence,

S00°34'13"W a distance of 28.02 feet along said existing northerly right of way line of N.M.P. I-040-3(1)163 to a set 5/8" rebar with plastic cap stamped L.S. 11255; Thence,

Southeasterly along said existing northerly right of way line of N.M.P.I-040-3(1)163 a distance of 96.54 feet along the arc of a curve to the right having a radius of 221.52 feet, a central angle of 24°58'12" and chord which bears S53°08'15"E a distance of 95.78 feet to the point and place of beginning, containing 51,001.07 square feet, 1.1708 acres, subject to a 5 feet wide utility easement parallel to the existing easterly right of way line of N.M.P. I-040-3(1)163.

*Gina Schmidt*  
*6600 Briarcliff NE*  
*Albuquerque, NM 87111*  
*(505) 828-0344*

**November 20, 2007**

**To: City of Albuquerque**

**Re: Vacant land @ I-40 & Wyoming Blvd NE**

**I recently purchased the subject property from the New Mexico Department of Transportation, through my company, Sierra West, LLC.**

**Subsequent to my purchase, Harry Wishinski and Ron Heinze became partners in the proposed project.**

**The property became State property in 1960, and currently has no zoning. We would like to obtain C-2 zoning and develop a nice neighborhood retail/office center on this lot.**

**I have spoken with a few of the neighbors and would like to contact the neighborhood representatives for input on what they would like to see at this location.**

**Thank you in advance for your consideration and assistance.**

**Sincerely,**

  
**Gina Schmidt**  
**304-8445 (cell)**