

PROJECT DATA

PROPERTY: THE SITE IS A PARTIALLY DEVELOPED COMMERCIAL PROPERTY WITHIN C.O.A. VICINITY MAP A-11. THE SITE IS BOUND TO THE EAST BY A PERMANENT DETENTION POND SIZED FOR THE FULLY DEVELOPED CONDITION FOR TRACTS 1, 2 AND 3, PARADISE PLAZA, TO THE WEST BY UNSER BLVD. NW, TO THE NORTH BY CROWN ROAD NW AND TO THE SOUTH BY FULLY DEVELOPED COMMERCIAL PROPERTY.

SITE AREA: 0.8990 ACRES

PROPOSED IMPROVEMENTS: TO INCLUDE A 6,889 SF COMMERCIAL BUILDING WITH ASSOCIATED PAVED PARKING, PEDESTRIAN WALKS, DRAINAGE IMPROVEMENTS, AND LANDSCAPING.

LEGAL: TRACT 1, PARADISE PLAZA, CITY OF ALBUQUERQUE, NEW MEXICO.

BENCHMARK: ACS MONUMENT "5-A11" ELEV. 5333.08 NAVD 1988

OFF-SITE: CROSS-LOT DRAINAGE EASEMENT BETWEEN TRACTS 1, 2 AND 3 IS PROVIDED BY PLAT. DRAINAGE COVENANTS FOR MAINTENANCE OF THE PRIVATE STORM DRAIN SYSTEM AND PONDS HAS BEEN ADDRESSED BY SEPARATE DOCUMENTS. EXISTING DETENTION POND WAS CONSTRUCTED AS PART OF THE TRACT 2 CONSTRUCTION.

FLOOD HAZARD: PROPERTY IS LOCATED WITHIN ZONE X, DESIGNATING AREAS DETERMINED TO BE OUTSIDE THE 100-YEAR FLOOD PLAIN ACCORDING TO THE FLOOD INSURANCE RATE MAP, BERNALILLO COUNTY, NEW MEXICO AND INCORPORATED AREAS PER MAP NO. 35001C0104H, EFFECTIVE DATE AUGUST 16, 2012.

DRAINAGE PLAN CONCEPT: THIS SITE WILL DISCHARGE ALL DEVELOPED FLOW TO THE EXISTING DETENTION POND CONSTRUCTED AS PART OF TRACT 2 DEVELOPMENT. THE DETENTION POND IS SIZED TO RELEASE THE FULLY DEVELOPED PARADISE PLAZA TRACTS (1, 2 AND 3) AT THE APPROVED RATE.

FIRST FLUSH REQUIREMENT: STORMWATER CONTROL MEASURES ARE REQUIRED TO PROVIDE MANAGEMENT OF 'FIRST FLUSH' DEFINED AS THE 90TH PERCENTILE STORM EVENT OR 0.34" [0.44" LESS 0.1" FOR INITIAL ABSTRACTION] OF STORMWATER WHICH DISCHARGES DIRECTLY TO A PUBLIC STORM DRAINAGE SYSTEM. BASED ON 50% IMPERVIOUS AREA, THE REQUIRED FIRST FLUSH VOLUME FOR TRACT 1 WILL BE 620 CF.

THE EXISTING DETENTION POND BOTTOM WILL BE LOWERED 6" TO PROVIDE FIRST FLUSH RETENTION FOR TRACT 1. ALL STORM WATER FROM THE IMPERVIOUS AREAS OF TRACT 1 SHALL BE DIRECTED TO THIS POND.

ENGINEER: FRED C. ARFMAN, NMP# 7322
ISAACSON & ARFMAN, PA
128 MONROE NE, 87111
TELEPHONE: (505) 268-8828

LEGEND

- 5297.6 — EXISTING SPOT ELEVATION
- - - - EXISTING CONTOUR
- 95 PROPOSED CONTOUR (1' INCREMENT)
- - - - 95.5 - - - PROPOSED CONTOUR (0.1' INCREMENT)
- ◆ 96.3 PROPOSED SPOT ELEVATION
- FLOW ARROW
- FF = 5296.00 FINISH FLOOR ELEVATION
- ~~~~~ PROPOSED GRADE BREAK
- ▨ PROPOSED FIRST FLUSH RETENTION PONDING AREA WITH PERCOLATION PIT
- ▨ PROPOSED EROSION CONTROL

PERMIT DRAWINGS

Advance Auto Parts
TRACT 1, PARADISE PLAZA
10800 UNSER BLVD. NW
ALBUQUERQUE, NM 87117

STORE # ---

REV	DATE	DESCRIPTION

MAIL 7-29-15 9,933 SF.
PROJECT # AA 15_002
DRAWN BY: BUB
CHECK BY: FCA
VERSION Q4-14 100x100
ALL REPORTS, PLANS, SPECIFICATIONS, FIELD DATA, NOTES AND OTHER DOCUMENTS, INCLUDING ALL DOCUMENTS ON ELECTRONIC MEDIA, PREPARED BY THE DESIGN PROFESSIONAL AS INSTRUMENTS OF SERVICE SHALL REMAIN THE PROPERTY OF THE DESIGN PROFESSIONAL. DISSEMINATION MAY NOT BE MADE WITHOUT PRIOR CONSENT OF THE DESIGN PROFESSIONAL. ALL COMMON LAW RIGHTS OF COPYRIGHT AND OTHERWISE, ARE HEREBY SPECIFICALLY RESERVED.

CONCEPTUAL GRADING & DRAINAGE PLAN

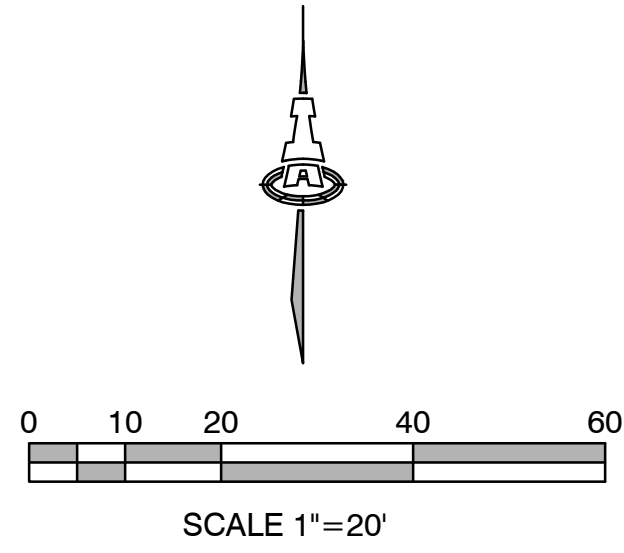
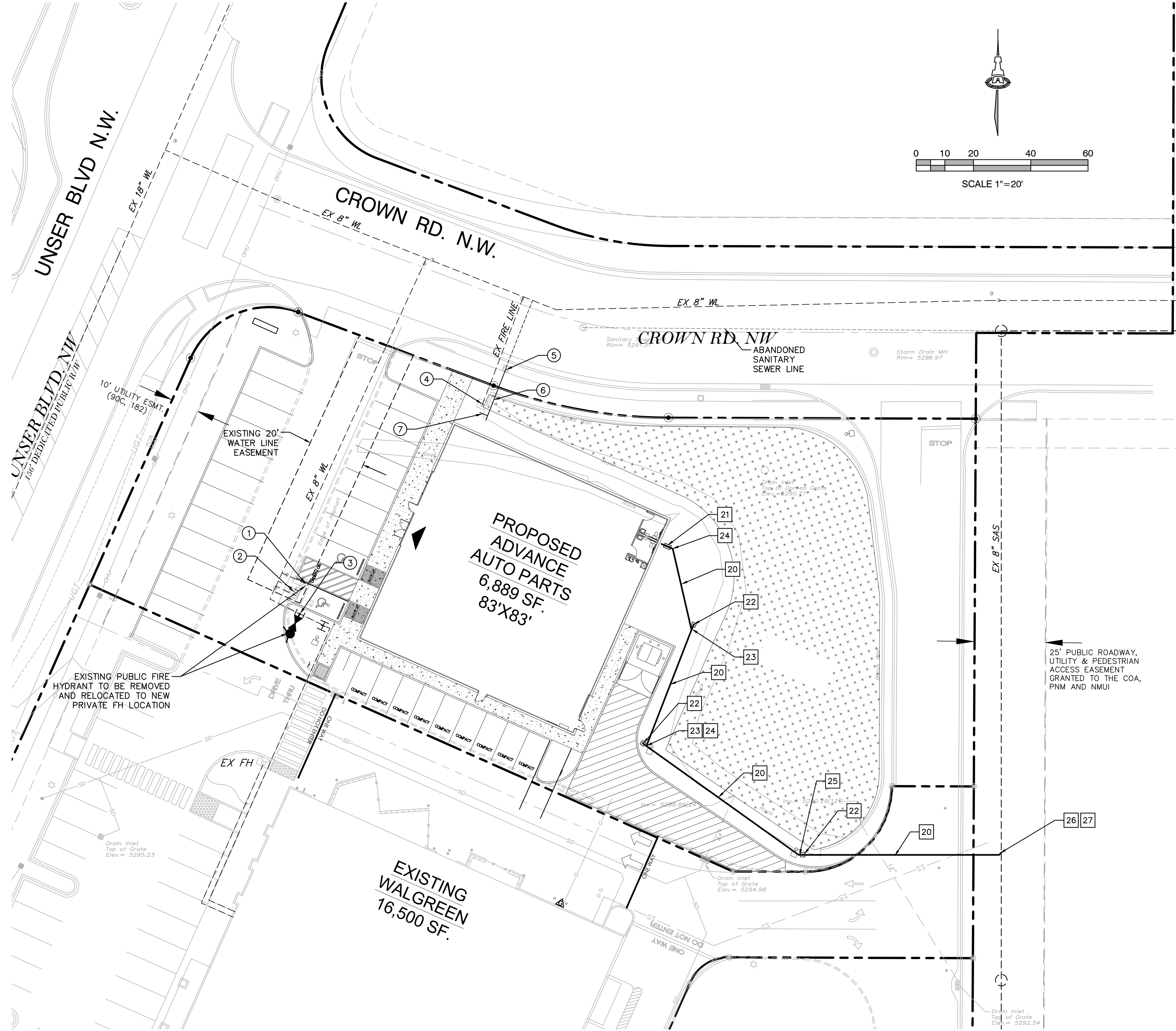
ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 www.iacivil.com
2152 CG-101.dwg Jun 28, 2016

66ARCHITECT, LLC
Clint Wilsey, Architect
clint.wilsey@gmail.com
505 280-0043

CG-101



M:\PROJECTS\100-21-099\2152DWG\2152 CG-101.dwg, 2/26/2016 11:28:41 AM, thar



GENERAL NOTES

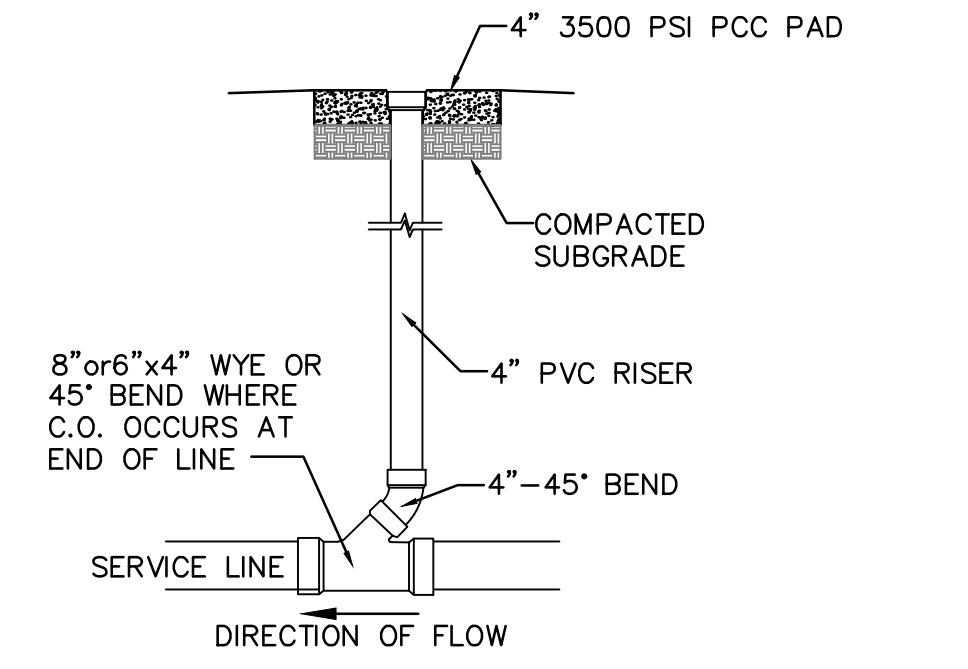
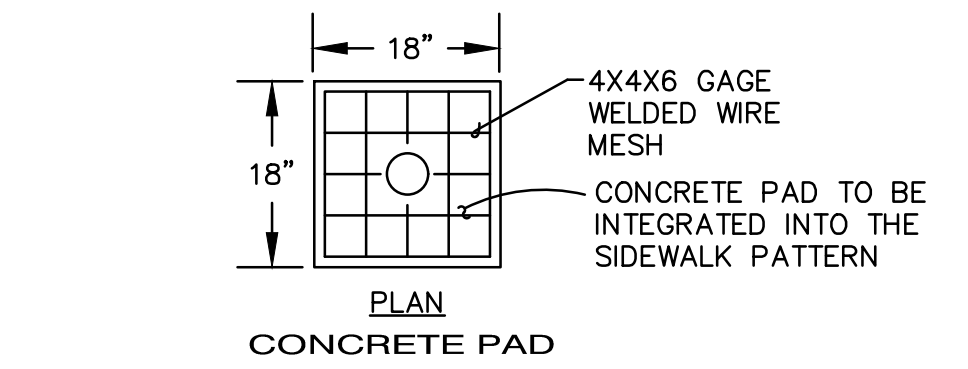
- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- CONTRACTOR SHALL NOT USE VIBRATORY COMPACTION EQUIPMENT OR HEAVY VEHICLES OVER EXISTING UTILITIES.
- SITE STORM DRAIN, ELECTRIC LINES & TRANSFORMERS AND GAS LINES ARE SHOWN FOR GENERAL INFORMATION ONLY TO PROVIDE AN OVERVIEW OF SITE UTILITIES AND POTENTIAL CONFLICTS. SEE MECHANICAL PLANS FOR GAS LINE SIZING. SEE 06-101 FOR STORM DRAIN DESIGN.
- ALL WATER FITTINGS SHALL HAVE JOINT RESTRAINTS (LT). SEE RESTRAINED JOINT CRITERIA NOTES THIS SHEET. (LT) LENGTH SHOWN ON KEYED NOTES.

KEYED NOTES

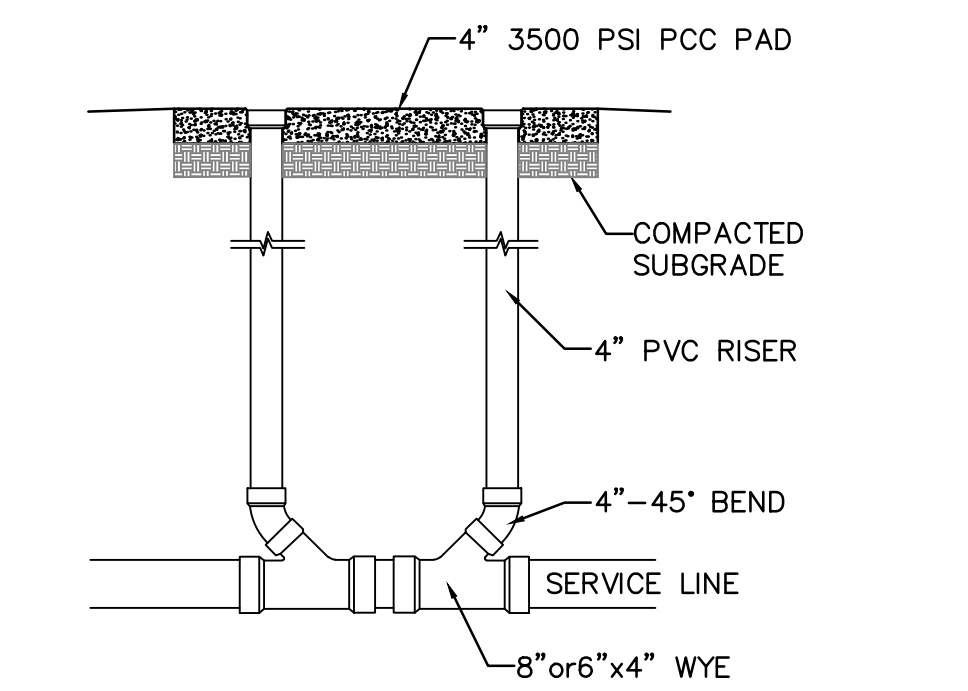
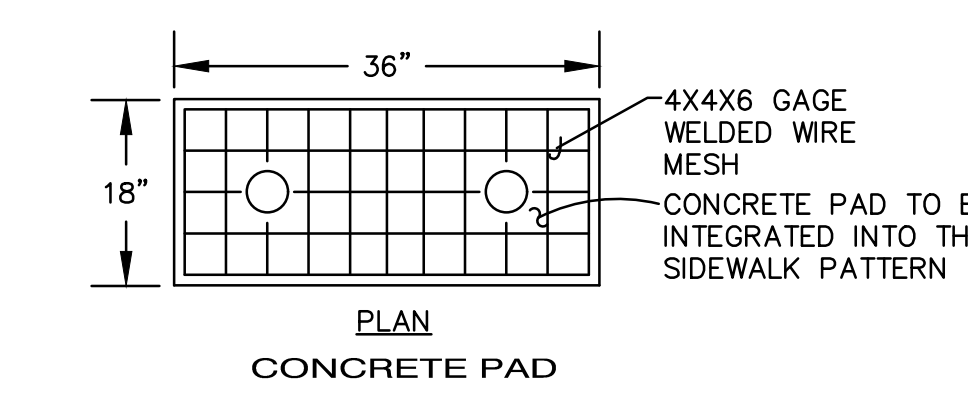
- WATER KEYED NOTES**
- REMOVE AND RELOCATE EXISTING FIRE HYDRANT. REMOVE AND DISPOSE EXISTING 6" WL. REMOVE AND RELOCATE EXISTING GATE VALVE. CAP 6" BRANCH OF EXISTING TEE.
 - REMOVE AND DISPOSE EXISTING WATER SERVICES. CLOSE CURB STOPS. REMOVE DISPOSE EXISTING SERVICE LINES. REMOVE AND DISPOSE EXISTING METER SETTINGS AND BOXES.
 - INSTALL:
8"x6" TEE
RELOCATED GATE VALVE AND BOX. (LT=46')
7 LF OF 6" WATERLINE.
RELOCATED FIRE HYDRANT. (LT=46')
BF ELEV=5297.6
 - PRIVATE VALVE OF EXISTING FIRE LINE.
 - EXISTING METER SETTING AND BOX. MODIFY TO 3/4" METER SETTING IF NECESSARY.
 - 3/4" WATER SERVICE
 - IRRIGATION STUB.
- SEWER**
- 6" SANITARY SEWER SERVICE LINE AT 2% MIN. SLOPE.
 - DOUBLE CLEANOUT.
 - SINGLE CLEANOUT.
 - 6" - WYE/TEE.
 - 6" - 45° BEND.
 - 6" - 22 1/2° & 11 1/2° BENDS .
 - 8" x 6" WYE
 - CONNECTION TO EXISTING SEWER MAIN.

LEGEND

- SAS SINGLE CLEANOUT
- SAS DOUBLE CLEANOUT
- GATE VALVE W/ BOX
- FIRE HYDRANT
- PROPOSED STORM DRAIN
- EXISTING WATERLINE
- EXISTING SEWER LINE



SINGLE CLEANOUT DETAIL
SCALE: N.T.S.



DOUBLE CLEANOUT DETAIL
SCALE: N.T.S.

- ALL MECHANICAL JOINTS SHALL BE RESTRAINED AT THE FITTING.
- THE CONTRACTOR SHALL PROVIDE A MINIMUM PIPE LENGTH OF 20 LF FROM ALL MECHANICAL JOINTS. ALL PIPE JOINTS WITHIN 20 LF OF A MECHANICAL JOINT SHALL BE RESTRAINED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL RESTRAIN ALL PIPE JOINTS IN THE SPECIFIED DISTANCE LISTED IN THE KEYED NOTES.
- THE CONTRACTOR SHALL RESTRAIN ALL FIRE HYDRANT JOINTS FROM THE TEE ON THE MAIN TO THE FIRE HYDRANT FLANGE.

- DEPTH OF BURY: 3.0 FT. MINIMUM
- 1.50 FACTOR OF SAFETY:
- MATERIAL: PVC
- SOIL TYPE: GM/SM - SILTY GRAVELS AND SILTY SANDS, GRAVEL-SAND-SILT MIXTURES.
- TEST PRESSURE: 150 PSI
- TRENCH TYPE 4: PIPE BEDDED IN SAND, GRAVEL, OR CRUSHED STONE TO DEPTH OF 1/8 PIPE DIAMETER, 4 INCH MINIMUM; BACKFILL COMPACTED TO TOP OF PIPE.

DIFFERENT CRITERIA, E.G., GREATER DEPTH OF BURY, ETC., WILL REQUIRE DIFFERENT RESTRAINED LENGTHS. THESE MUST BE CALCULATED BY A QUALIFIED PROFESSIONAL ENGINEER AND APPROVED BY ABCWA.

RESTRAINED JOINT CRITERIA FOR WATERLINE FITTINGS



PERMIT DRAWINGS



Advance Auto Parts
TRACT 1, PARADISE PLAZA
10800 UNSER BLVD., NW
ALBUQUERQUE, NM 87117
STORE # _____

REV	DATE	DESCRIPTION

DATE	7-29-15	PROJECT #	AA 18_002
DESIGNED BY		CHECK BY	
VERSION	04-14	100x100	

ALL REPORTS, PLANS, SPECIFICATIONS, FIELD DATA, NOTES AND OTHER DOCUMENTS BELONGING TO THE DESIGNER SHALL REMAIN THE PROPERTY OF THE DESIGNER. NO PARTS OF THIS DOCUMENT SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF ISAACSON & ARFMAN, P.A.

CONCEPTUAL UTILITY PLAN

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 www.iacivil.com
2152 CU-101.dwg Feb 19, 2016

66ARCHITECT, LLC
Clint Wilsey, Architect
clint.wilsey@gmail.com
505 280-0043

CU-101

M:\PROJECTS\100-21-99\21-152\DWG\2152 CONCEPTUAL SHEETS\2152 CU-101.dwg, 2/26/2016 11:29:07 AM, thor