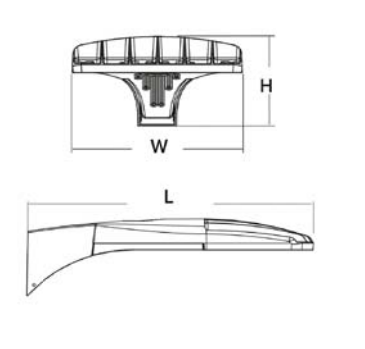




**D-Series Size 0 LED Area Luminaire**

**Specifications**

EPA: 0.95 ft (29m)  
 Length: 26" (660mm)  
 Width: 13" (330mm)  
 Height: 7" (178mm)  
 Weight (max): 16 lbs (7.3kg)



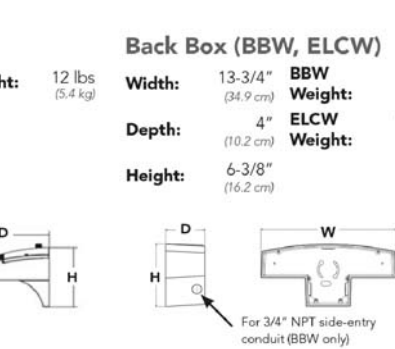
DSX2 LED 800 1000 50K T3M  
 MVOLT HS DBLXD (BLACK)



**D-Series Size 1 LED Wall Luminaire**

**Specifications Luminaire**

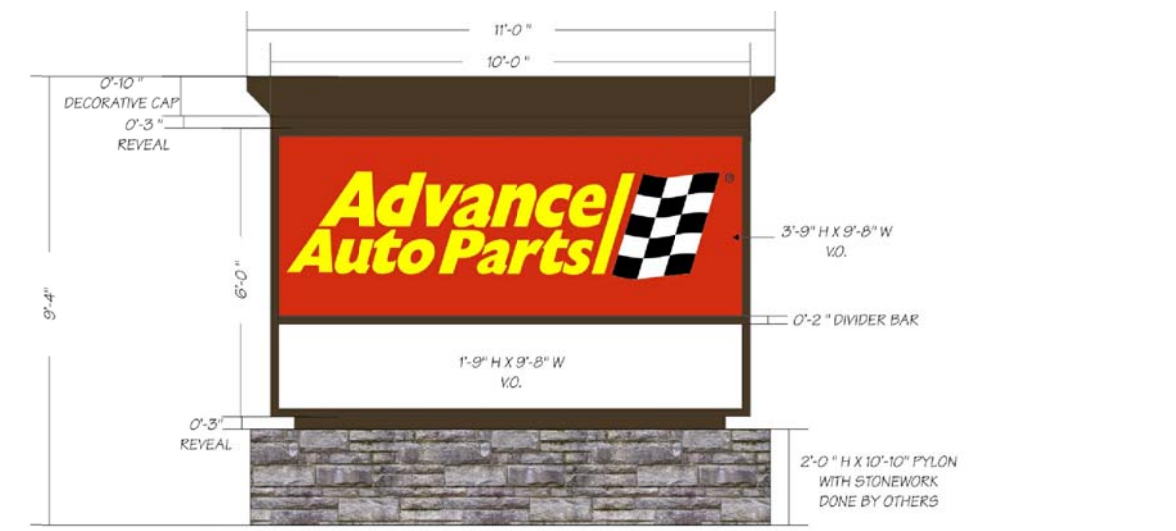
Width: 13.314" (338mm)  
 Depth: 10" (254mm)  
 Height: 6.318" (160mm)



DSXW1 LED 10C 350 50K T3M 120 PE  
 DSSXD

**SITE LIGHTING NOTES:**

1. THE LOCATION OF THE LIGHTING FIXTURES TOGETHER WITH ITS CUT-OFF ANGLES SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY OR ADJACENT RESIDENTIAL PROPERTIES
2. THE MAXIMUM HEIGHT OF A LIGHT POLE MEASURED FROM THE FINISH GRADE TO THE TOP SHALL BE 20'.
3. LIGHTING SHALL BE PROVIDED ON BUILDING FACADE SHALL BE MOUNTED AT 12'A.F.G. MAX.



\*NOTE: ALL SIGNAGE SHALL COMPLY WITH THE UNSER BLVD. DESIGN OVERLAY ZONE

**SITE GENERAL NOTES:**

1. THE PROJECT WILL BE CONSTRUCTED IN 1 PHASE.
2. WALGREEN SITE TO SOUTH SHOWN FOR REFERENCE ONLY
3. ALL MEDIANS, CURB CUTS, STRIPING, TURN LANES ON UNSER BLVD & CROWN ROAD ARE EXISTING TO REMAIN
4. ALL SIGNAGE SHALL COMPLY WITH THE UNSER BLVD. DESIGN OVERLAY ZONE

**SITE ARCHITECTURAL KEY NOTES:**

- 1 DUMPSTER ENCLOSURE. SEE DETAIL 8/A6
- 2 EXISTING SITE LIGHTING
- 3 NEW SITE LIGHTING
- 4 NEW LOADING ZONE. APPROX. 1400SF.
- 5 NEW BIKE RACK
- 6 EXISTING SIDEWALK, PEDESTRIAN/BIKE PATH
- 7 EXISTING ACCESS DRIVE
- 8 EXISTING RIGHT-IN DECEL. LANE
- 9 EXISTING SHARED ONE-WAY DRIVE
- 10 NEW SIDEWALK
- 11 LANDSCAPE AREA
- 12 (2) DESIGNATED ADA PARKING SPACES @ 8'-6"x20'-0", W/ 8' WIDE VAN ACCESS ISLE. PROVIDE ADA CURB RAMPS AT SIDEWALK
- 13 (2) DESIGNATED MOTORCYCLE PARKING SPACES @ 4'-0"x8'-0"
- 14 EXISTING CURB CUT & 24"W ASPHALT DRIVE
- 15 PROPOSED MONUMENT SIGN. 9'4"W X 11'0"H
- 16 EXISTING CONC. MEDIAN TO REMAIN
- 17 EXISTING CURB AND GUTTER
- 18 EXISTING ADA SIDEWALK RAMP
- 19 NEW CURB & GUTTER
- 20 LOT LINE
- 21 'ONE WAY DO NOT ENTER' PAVEMENT STRIPING
- 22 'ONE WAY DO NOT ENTER' SIGN
- 23 NEW ADA CURB RAMP. 4'-6"WIDE
- 24 EXISTING DIRECTIONAL STRIPING
- 25 NEW DIRECTIONAL STRIPING
- 26 NEW PAD MOUNTED TRANSFORMER W/BOLLARDS
- 27 EXISTING PAD MOUNTED TRANSFORMER FOR WALGREENS
- 28 CLEAR SIGHT TRIANGLE PER CITY OF ABQ DEVELOPMENT PROCESS MANUAL, CHAPTER 23, SECT. 3, PART. DS INTERSECTION SIGHT DISTANCE. NOTE\* LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
- 29 HANDICAP PARKING ONLY SIGN. SIGN SHALL STATE: 66-7-352.4C NMSA 1978 "Violators Are Subject to a Fine and/or Towing."
- 30 NEW FIRE HYDRANT
- 31 EXISTING FIRE HYDRANT TO BE RELOCATED AND REUSED

**FIRE DEPT. DATA**

**A. BUILDING CRITERIA**  
 BUILDING CODE: 2009 IBC  
 FIRE CODE: 2009 IFC  
 OCCUPANCY: MERCANTILE  
 BUILDING/CONSTRUCTION TYPE: II-B  
 SPRINKLERED: NO

**B. BUILDING AREA**  
 SALES AREA: 2092 SF.  
 SUPPORT AREA: 4797 SF.

**C. OCCUPANT LOADING**  
 SALES AREA @ 30/PERSON = 70  
 STORAGE/STOCK AREA @ 300/PERSON = 16

**D. GENERAL FIRE NOTES**  
 HYDRANTS PROVIDED = 1 EXISTING + 1 NEW

1. APPARATUS ACCESS EXTENDS TO WITHIN 150' OF ALL PARTS OF THE BUILDING
2. FIRE APPARATUS ROAD DIMENSIONS HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FEET AND AN UNOBSTRUCTED HEIGHT OF NOT LESS THAN 26 FEET.
3. PREMISE ID: BUILDING SHALL HAVE APPROVED ADDRESS NUMBERS OR BUILDING IDENTIFICATION PLACED IN A POSITION PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR THE ROAD FRONTING THE PROPERTY.

**3 SITE LIGHTING DETAILS & SCHEDULE**

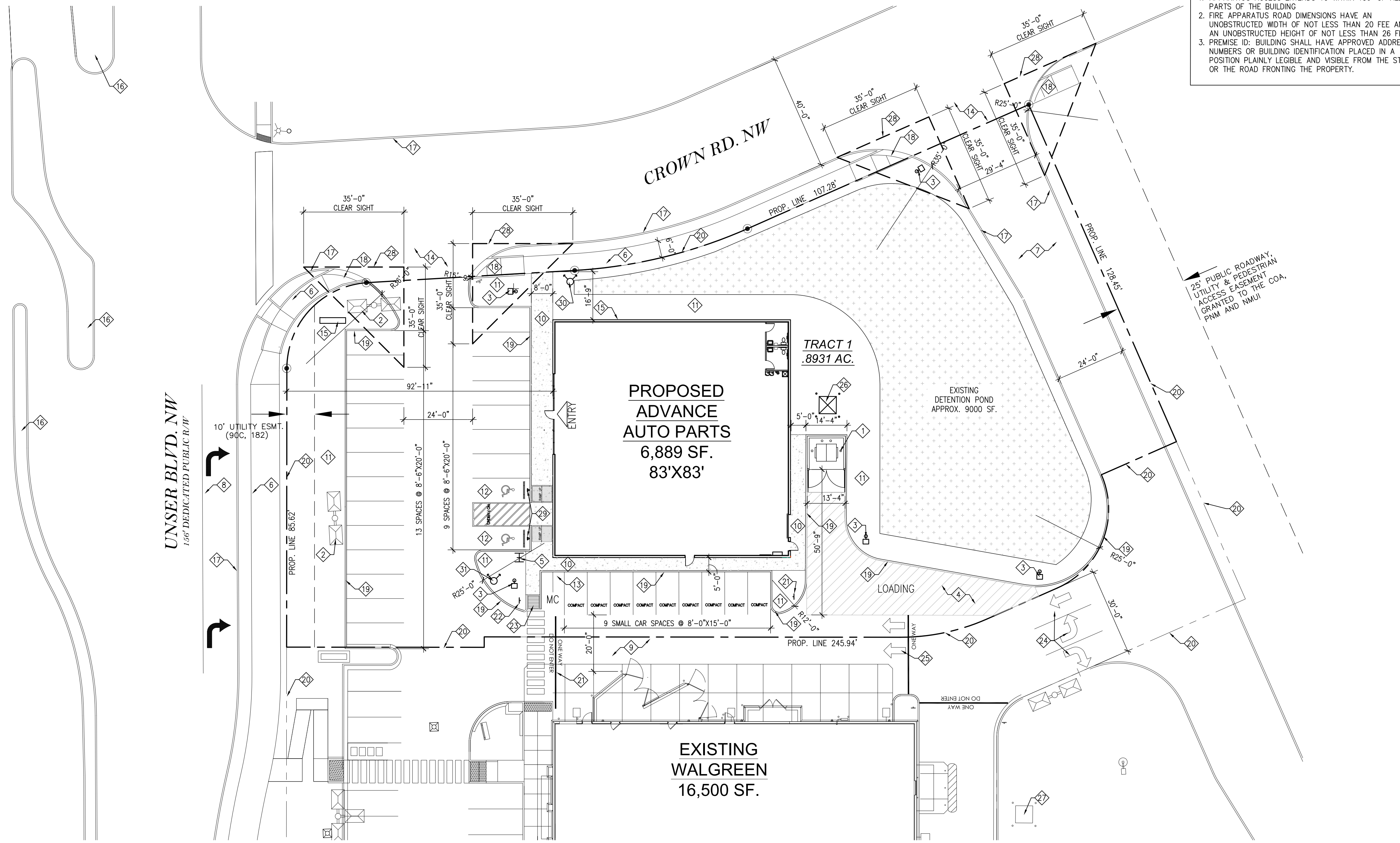
C1 SCALE: N.T.S.

**LUMINAIRE SCHEDULE**

| TYPE | QTY. | MANUFACTURER | MODEL NUMBER                                     | LAMPS PER FIXTURE |                     |       |         | COLOR     | MOUNTING   |
|------|------|--------------|--|-------------------|---------------------|-------|---------|-----------|--|
|      |      |              |  | NO.               | OSRAM/SYLVANIA TYPE | WATTS | VOLTAGE |           |  |
| ⊙    | 13   | LITHONIA     | DSXW1 LED 10C 350 50K T3M 120 PE                 | 10                | LED                 | 13.21 | 120     | SANDSTONE | SEE ELEVATIONS SHT. A6 FOR LOCATIONS & MOUNT HT. |
| □-○  | 5    | LITHONIA     | DSX2 LED 800 1000 50K T3M MVOLT HS DBLXD (BLACK) | 80                | LEDs (FOUR ENGINES) | 275   | MVOLT   | BLACK     | POLE MOUNT MAX HT. 20'                           |

**2 SIGN ELEVATION**

C1 SCALE: 1/4" = 1'-0"



**1 SITE PLAN**

C1 SCALE: 1" = 20'-0"



**SITE DATA**

**SITE AREA**  
 TOTAL LOT SQ. FT. = 38,903 SF./CONST. AREA = 38,903 SF  
 TOTAL LOT ACRES = .8931 ACRES/CONST. AREA = .8931 ACRES  
 BUILDING 6,889 SF 17% OF TOTAL AREA  
 PAVEMENT 11,460 SF 29% OF TOTAL AREA  
 GREEN/OPEN SPACE 20,554 SF 54% OF TOTAL AREA

**BUILDING SETBACKS**

|       | REQUIRED | PROVIDED    |
|-------|----------|-------------|
| FRONT | 5' MIN.  | 92'-11" FT. |
| REAR  | 0'       | 106'-4" FT. |
| SIDE  | 5' MIN.  | 16'-9" FT.  |
| SIDE  | 5' MIN.  | 27'-8" FT.  |

\* FRONT & SIDE SETBACK TO BE 11' MIN FROM DRIVEWAY ALLEY OR SIDEWALK. REQUIREMENT MET

**MAXIMUM BUILDING HEIGHT**  
 26 FT.

**PARKING**  
 1 PER 200F @ 6889 SF = 34 SPACES  
 \* W/10% PARKING REDUCTION FOR PROXIMITY TO BUS ROUTE = 31 SPACES REQ'D

**TOTAL PROVIDED** 31 SPACES  
 \* PROJECT LOCATED <300' TO COA TRANSIT ROUTE @ UNSER BLVD.

HANDICAP PARKING 2 SPACES REQ'D, 2 PROVIDED  
 MOTORCYCLE PARKING 2 SPACES REQ'D, 2 PROVIDED  
 BICYCLE PARKING 2 SPACES REQ'D, 2 PROVIDED

**VICINITY MAP**



**Advance Auto Parts**  
 STORE # \_\_\_\_\_  
 TRACT 1, PARADISE PLAZA  
 10800 UNSER BLVD. NW  
 ALBUQUERQUE, NM 87117

| REV | DATE | DESCRIPTION |
|-----|------|-------------|
|     |      |             |
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**VERSION Q4- 83x83**  
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66ARCHITECT, LLC  
 Clint Wilsey, Architect  
 clint.wilsey@gmail.com  
 505 280-0043

**SITE PLAN**

**C1**