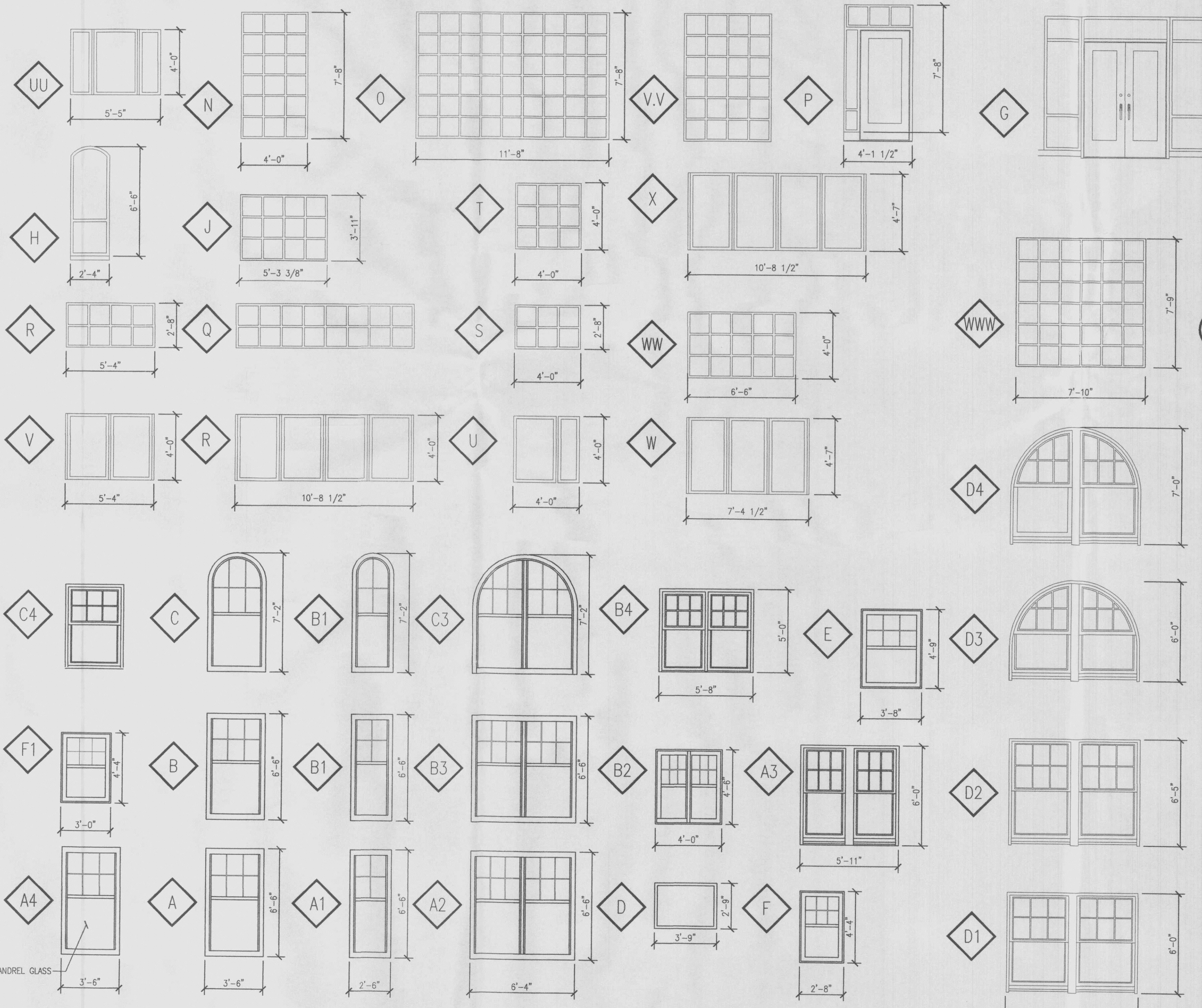
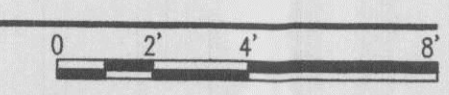
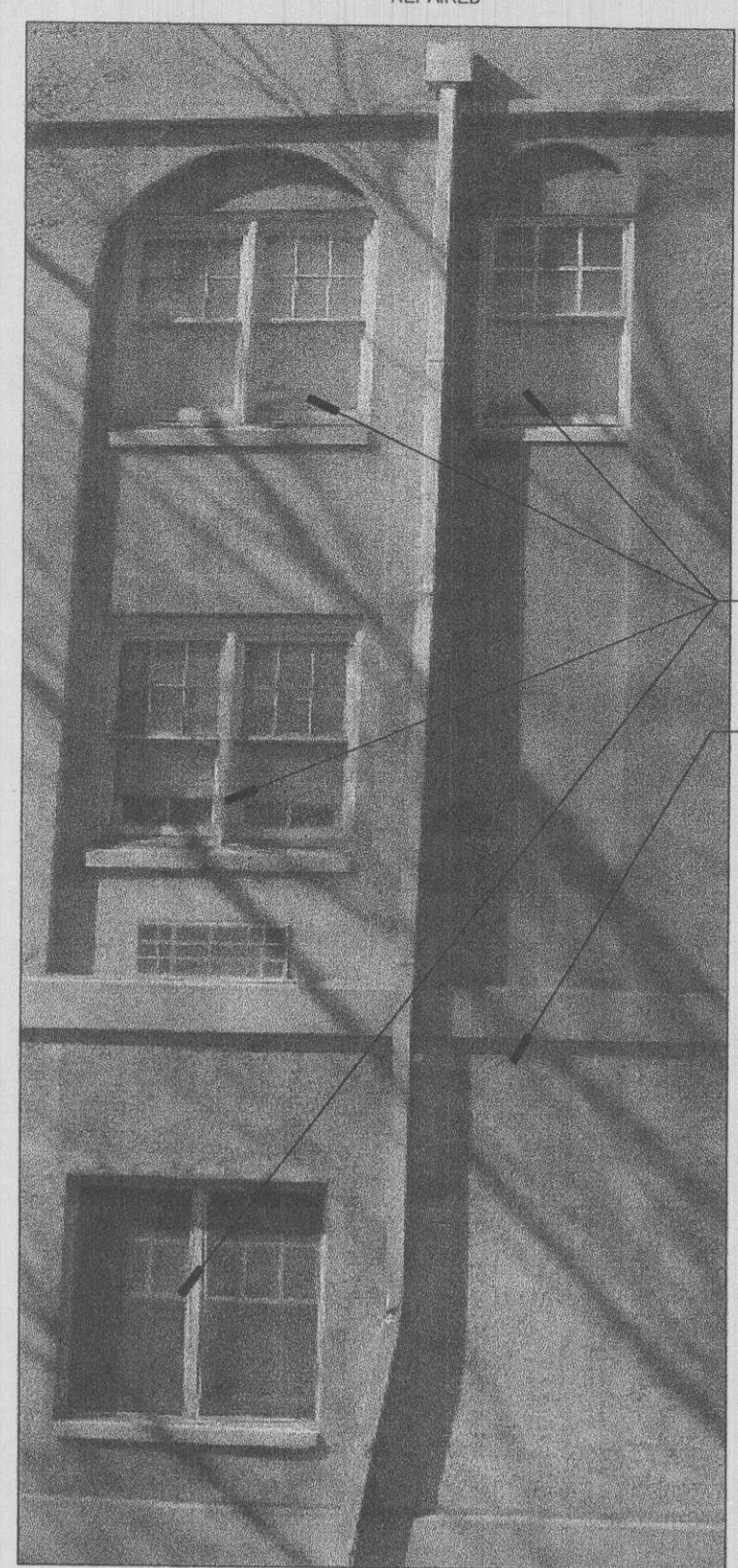


(A1) WINDOW TYPES BUILDING TWO
1/4"=1'

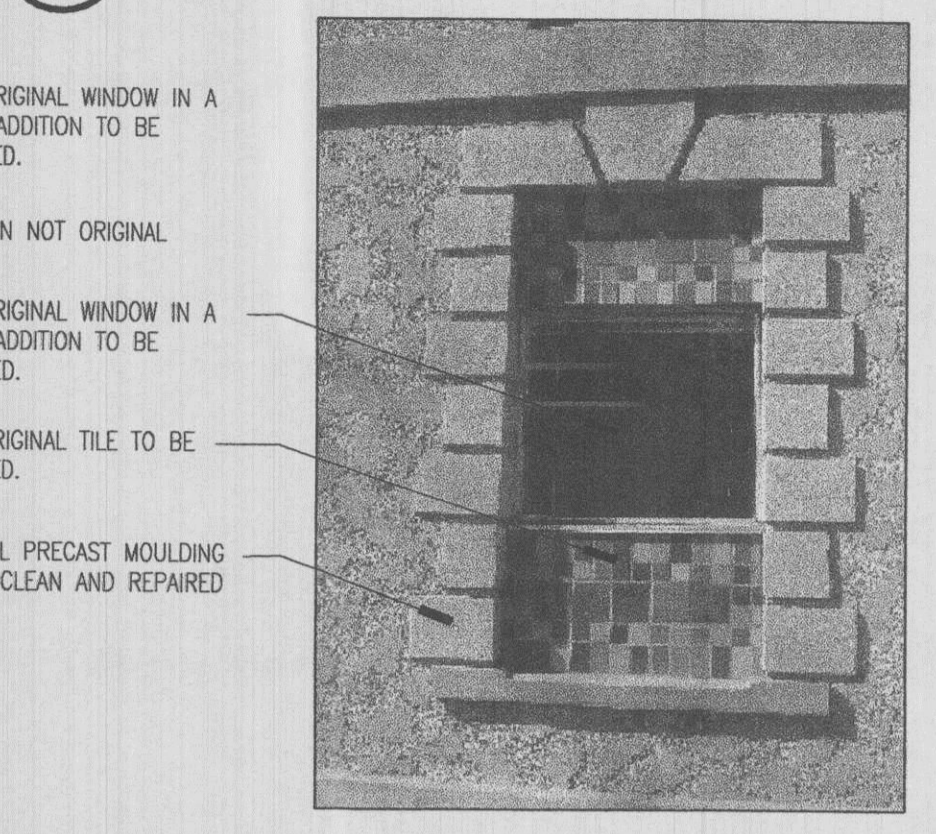


(A1) WINDOW TYPES BUILDING ONE
1/4"=1'



ADDITION NOT ORIGINAL
NON ORIGINAL WINDOW IN A LATER ADDITION TO BE REMOVED.
ORIGINAL ORNAMENT TO BE CLEANED REPAIRED

(D5) WINDOW TO BE REMOVED
NTS



NON ORIGINAL WINDOW IN A LATER ADDITION TO BE REMOVED.
ADDITION NOT ORIGINAL
NON ORIGINAL WINDOW IN A LATER ADDITION TO BE REMOVED.
NON ORIGINAL TILE TO BE REMOVED.
ORIGINAL PRECAST MOULDING TO BE CLEAN AND REPAIRED

(C5) WINDOW TO BE REMOVED
NTS

(C4) WINDOW TO BE REMOVED
NTS

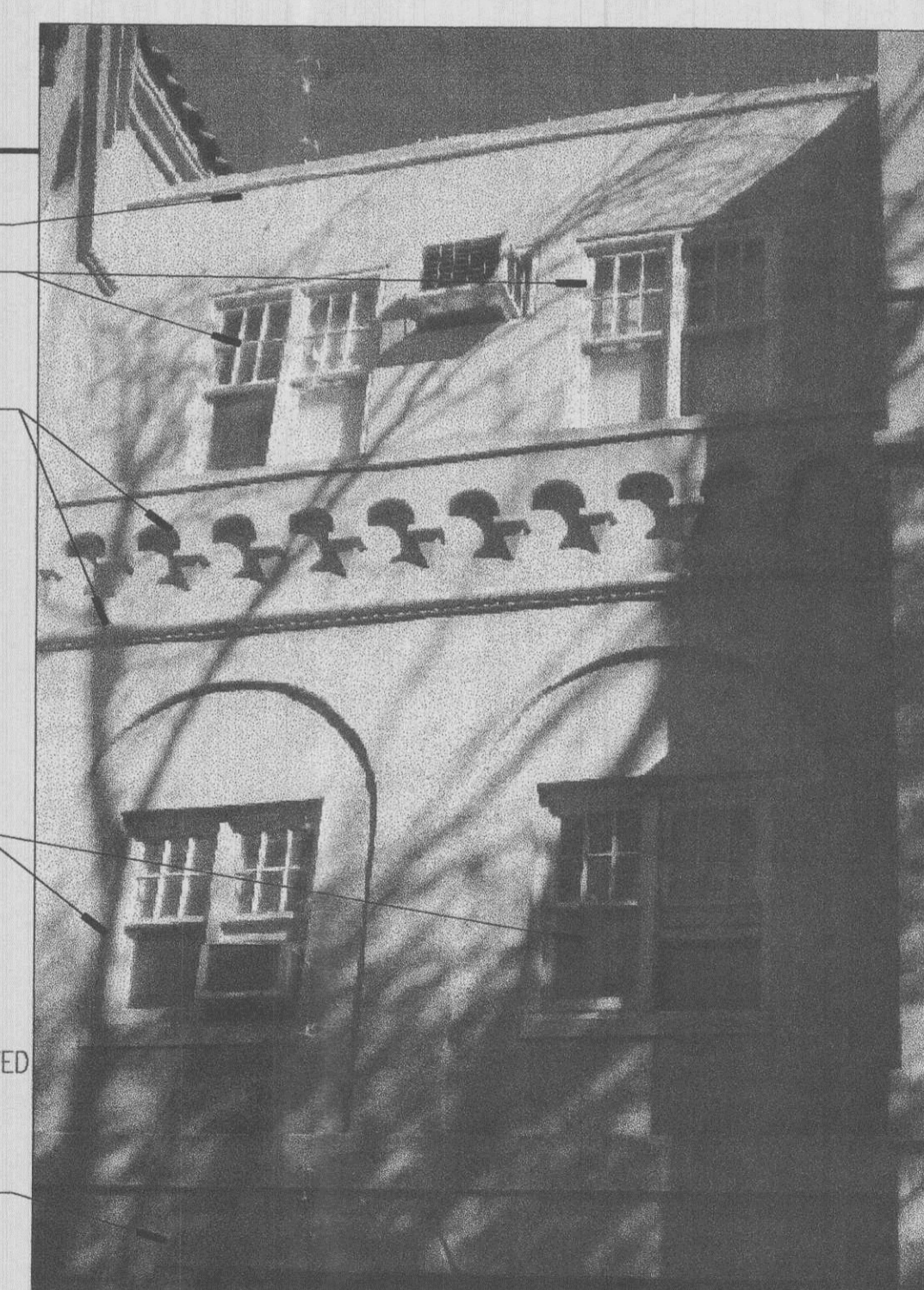
ADDITION NOT ORIGINAL
NON ORIGINAL WINDOW IN A LATER ADDITION TO BE REMOVED.
ORIGINAL ORNAMENT TO BE CLEANED REPAIRED

NON ORIGINAL WINDOW IN A FILLED IN WALL (LATER ADDITION)

NOTE: ALL AIR CONDITION WINDOW UNITS TO BE REMOVED THROUGHOUT.

ORIGINAL MOULDING TO BE CLEANED REPAIRED

(B5) WINDOW TO BE REMOVED
NTS



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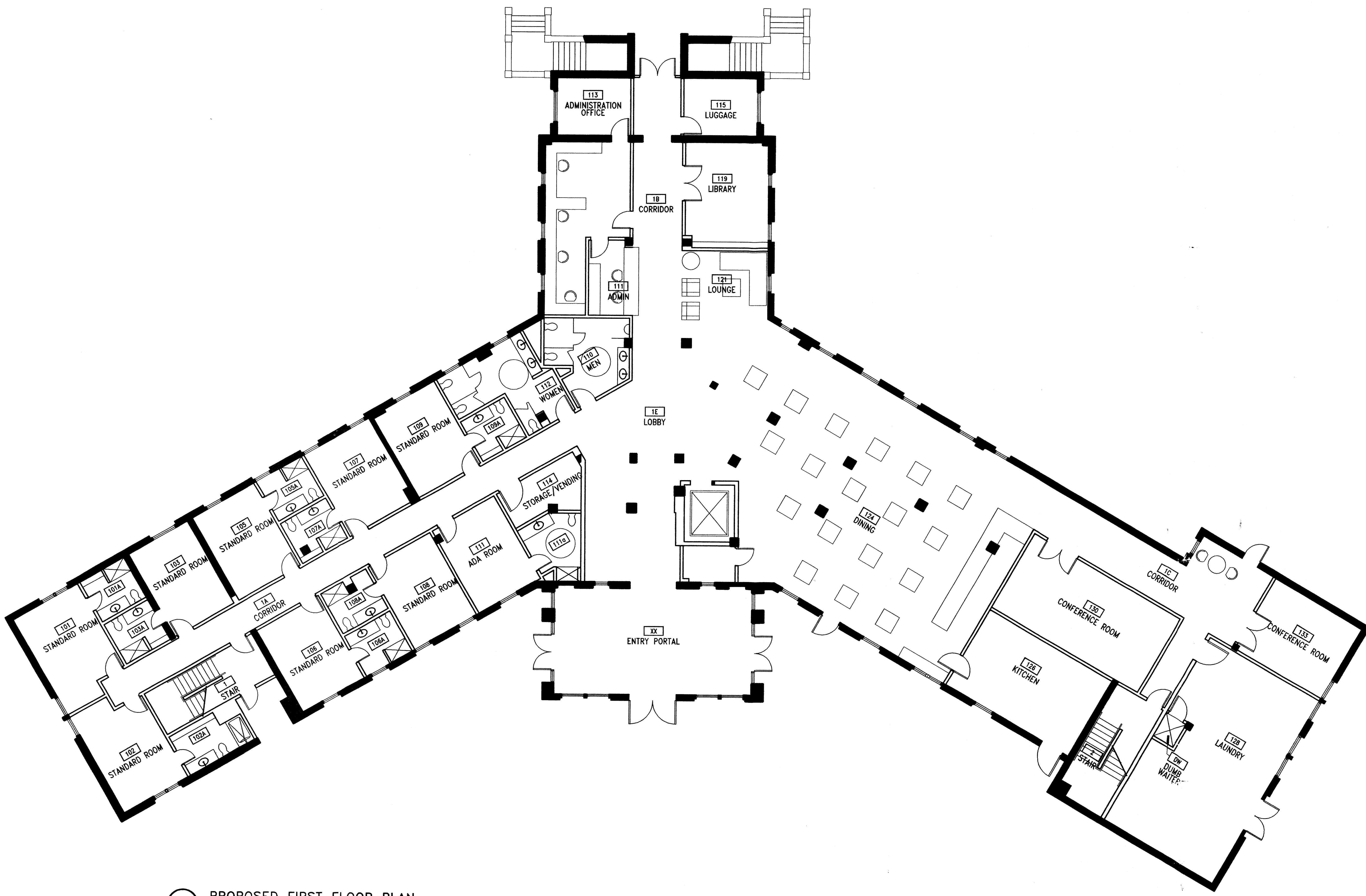
HOTEL PARQ
CENTRAL

806 CENTRAL AVE. SE
ALBUQUERQUE, NM 87102

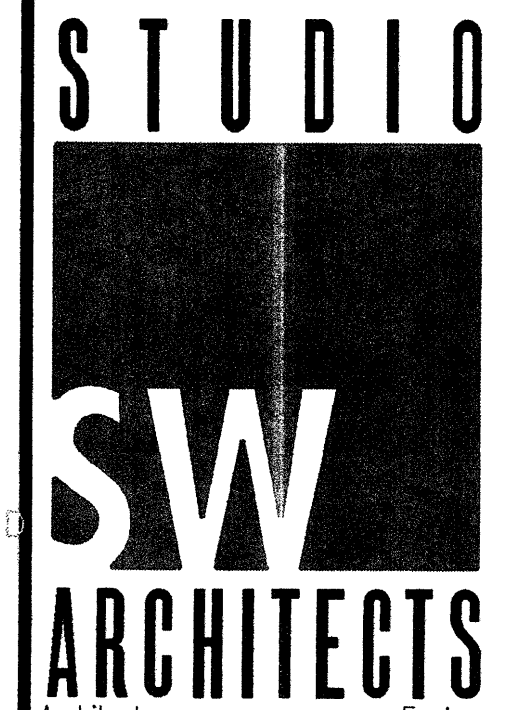
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| PROJECT NO: | | 0710 |
| CAD DWG FILE: | | 0710 A-601 |
| DRAWN BY: | | DSJ |
| CHECKED BY: | | |
| DATE: | | July 14, 2008 |

SHEET TITLE
WINDOW TYPES
REMOVAL PHOTOS

sheet **A-601** of sheets



A1 PROPOSED FIRST FLOOR PLAN
1"=1/8"



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**HOTEL PARQ
 CENTRAL**

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 ALBUQUERQUE, NM 87102

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| CHECKED BY: | | |
| DATE: | | July 14, 2008 |

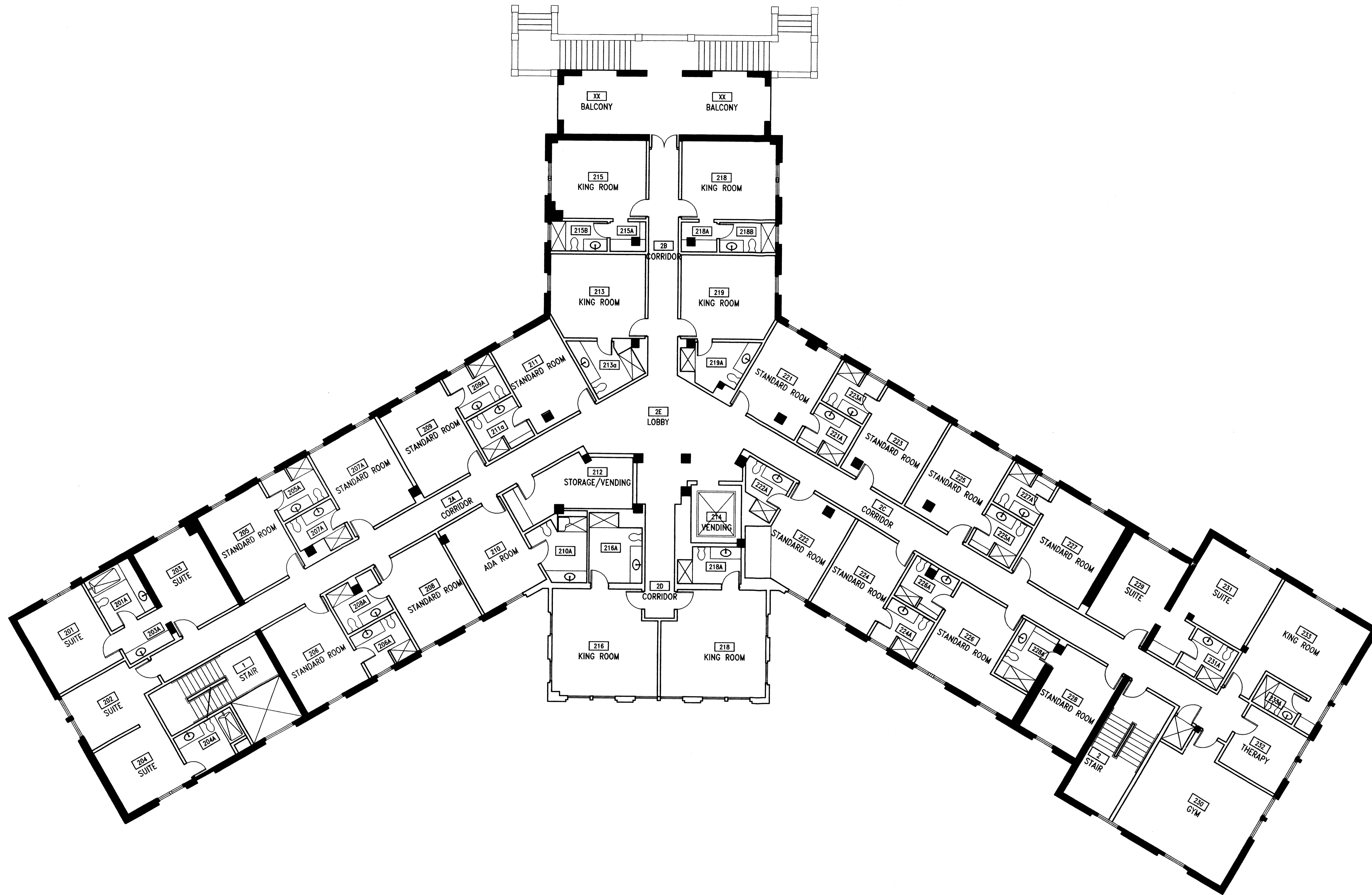
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PROPOSED
 FIRST FLOOR PLAN
 BUILDING ONE

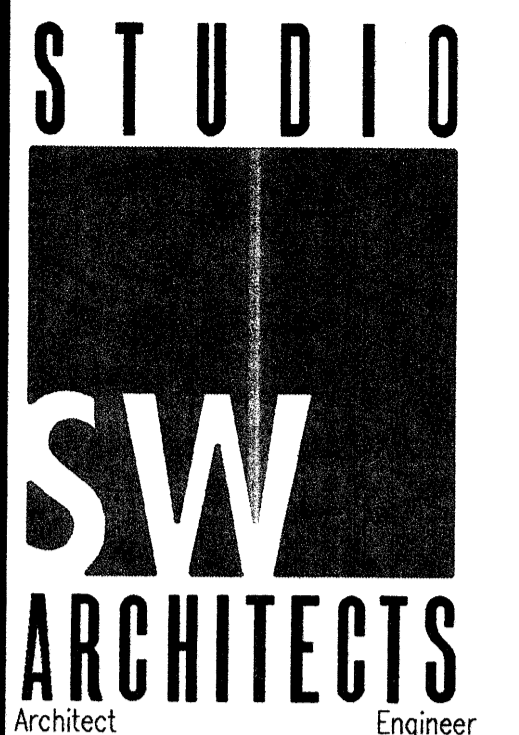
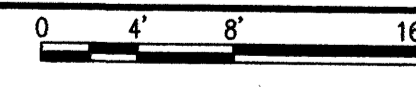
A-101

sheet of sheets

PROJECT # 1006976



A1 PROPOSED SECOND FLOOR PLAN
1"=1/8"



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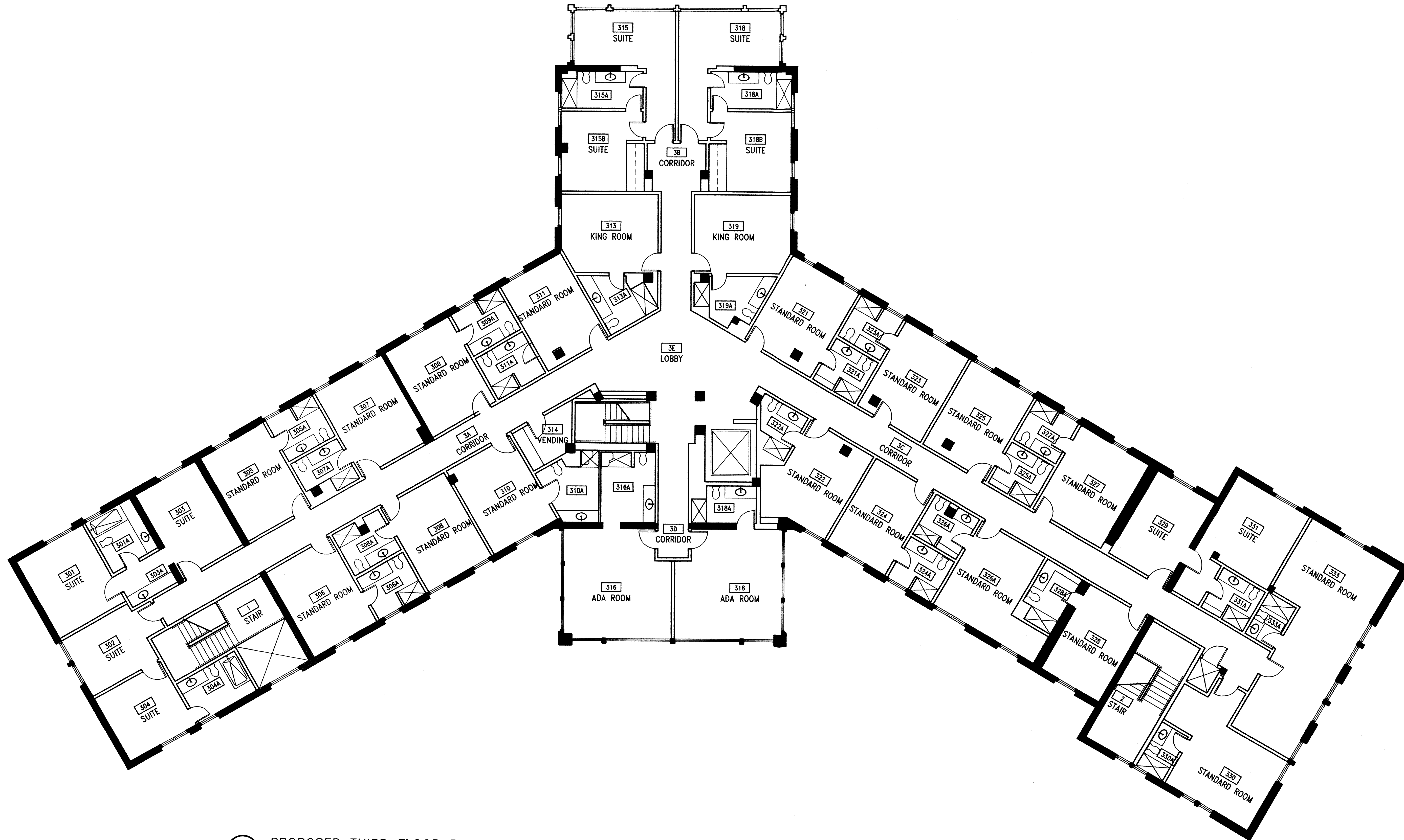
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 CENTRAL**

806 CENTRAL AVE. SE
 ALBUQUERQUE, NM 87102

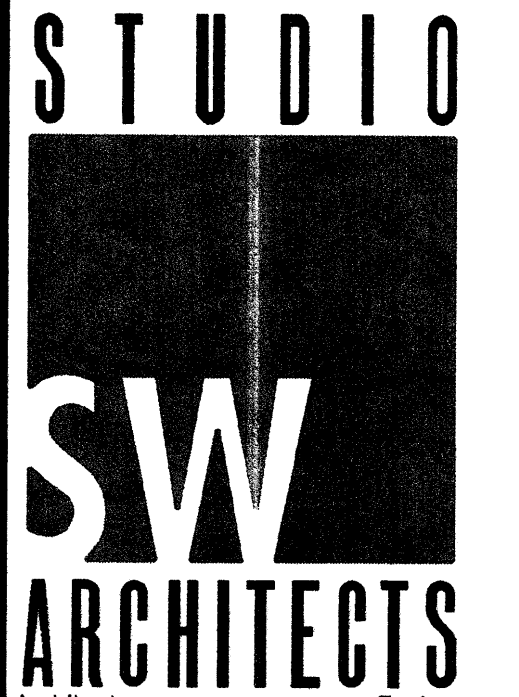
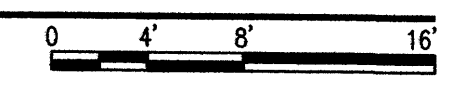
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| CAD DWG FILE: | | |
| DRAWN BY: | | |
| CHECKED BY: | | |
| DATE: | | July 14, 2008 |

SHEET TITLE
**PROPOSED
 SECOND FLOOR PLAN
 BUILDING ONE**

A-102



A1 PROPOSED THIRD FLOOR PLAN
1"=1/8"



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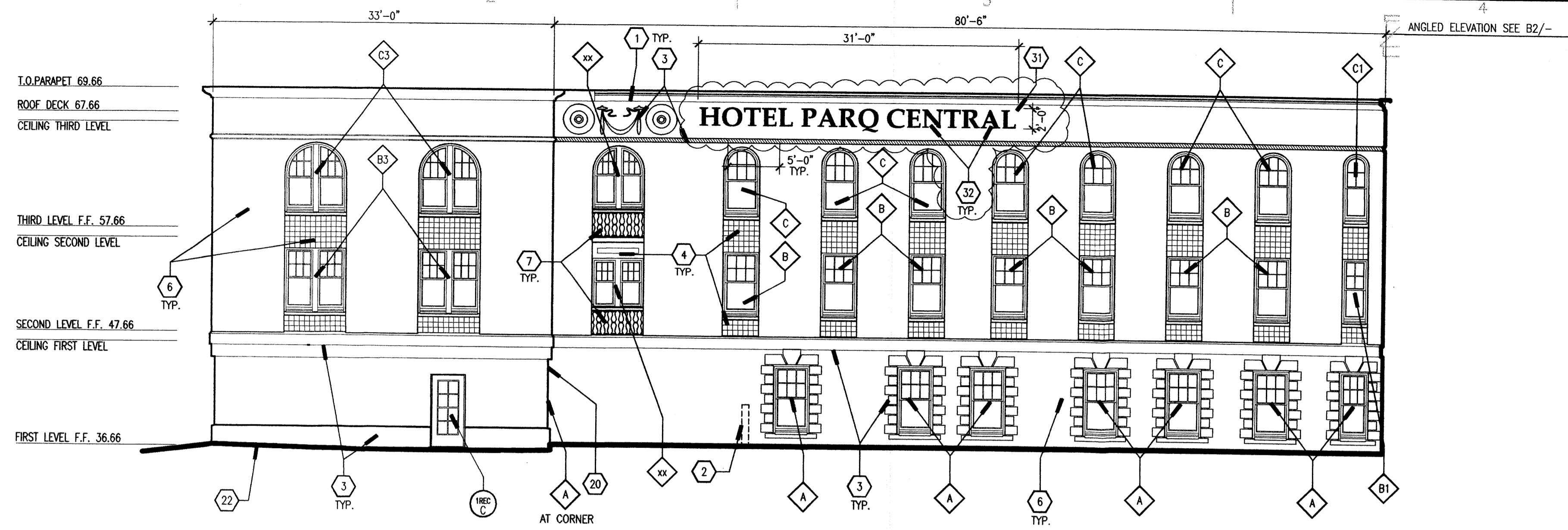
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 CENTRAL**

806 CENTRAL AVE. SE
 ALBUQUERQUE, NM 87102

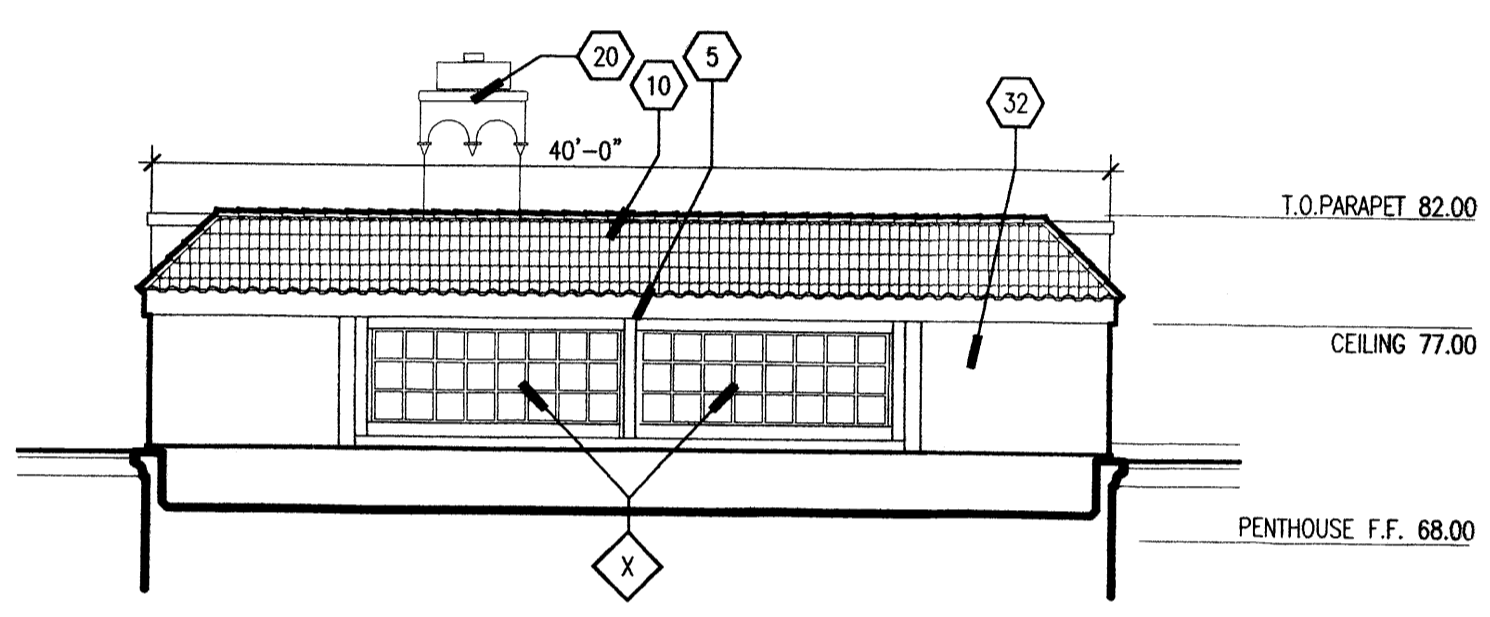
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| CHECKED BY: | | |
| DATE: | | July 14, 2008 |

SHEET TITLE

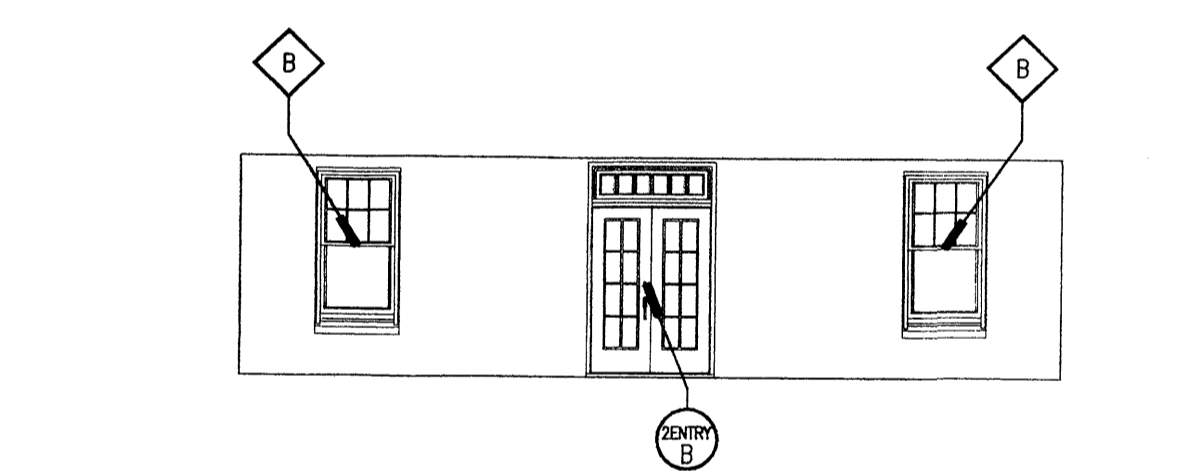
PROPOSED
 THIRD FLOOR PLAN
 BUILDING ONE



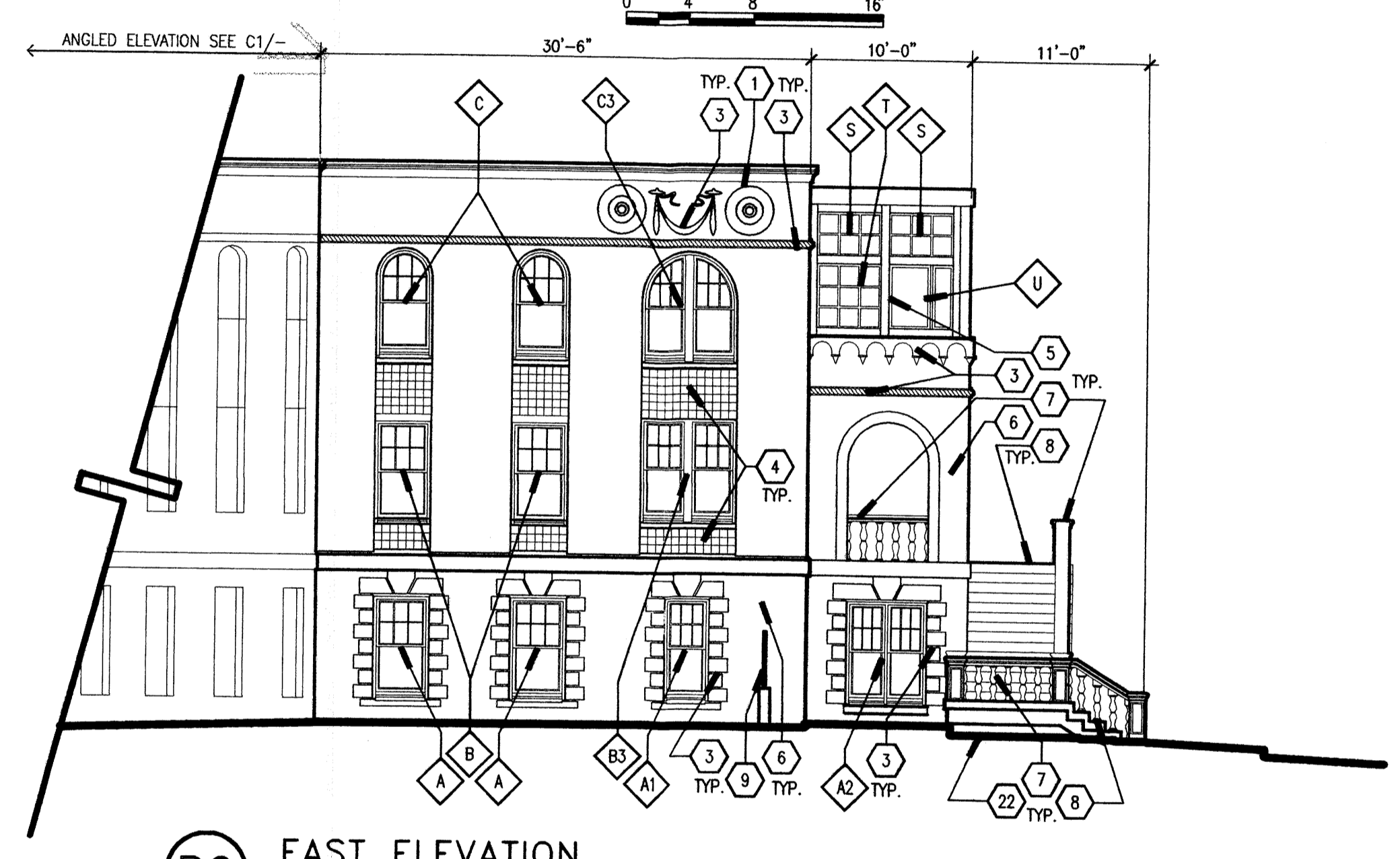
C1 NORTHEAST ELEVATION
1/8"=1'



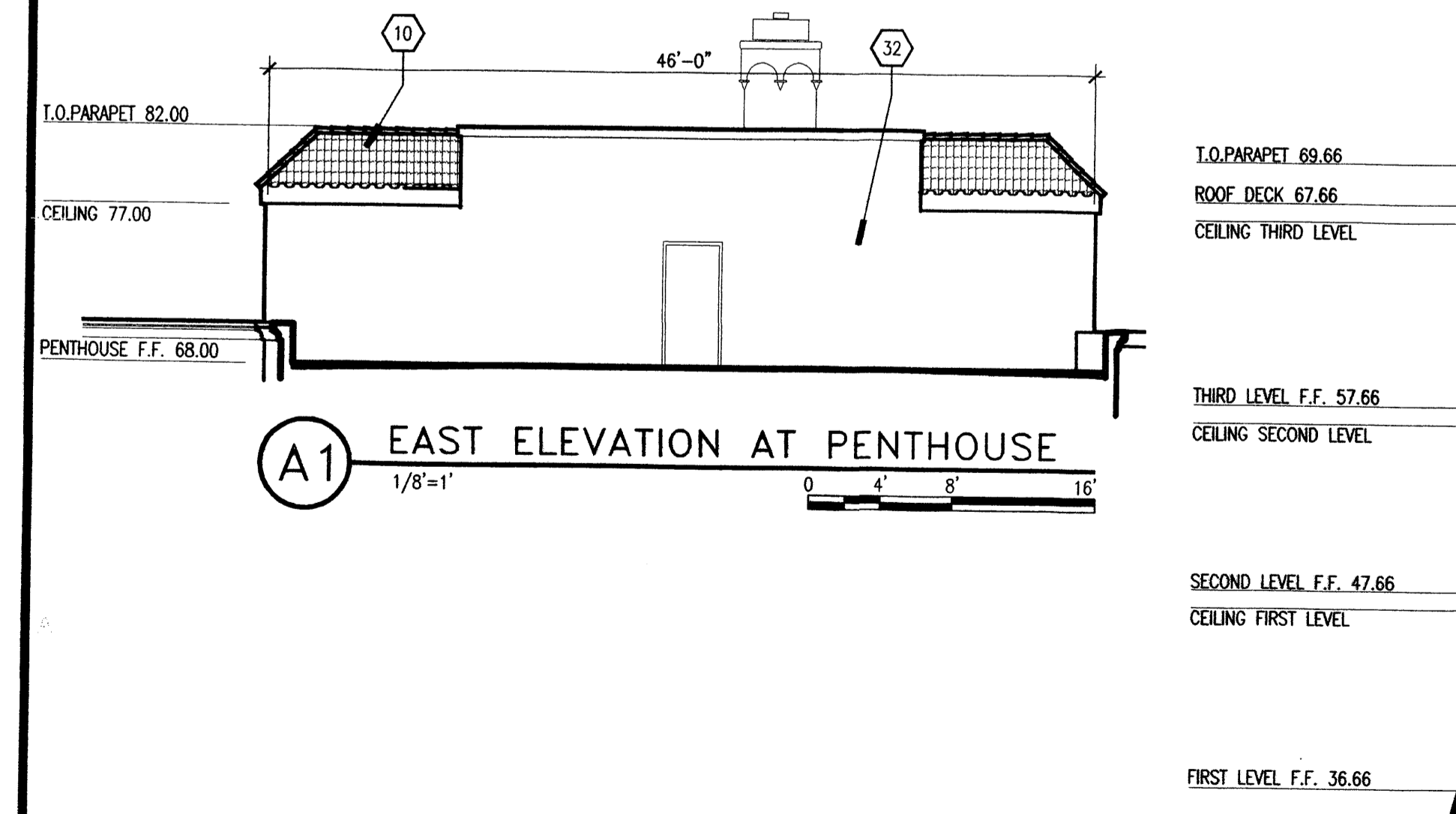
B3 NORTH ELEVATION
1/8"=1'



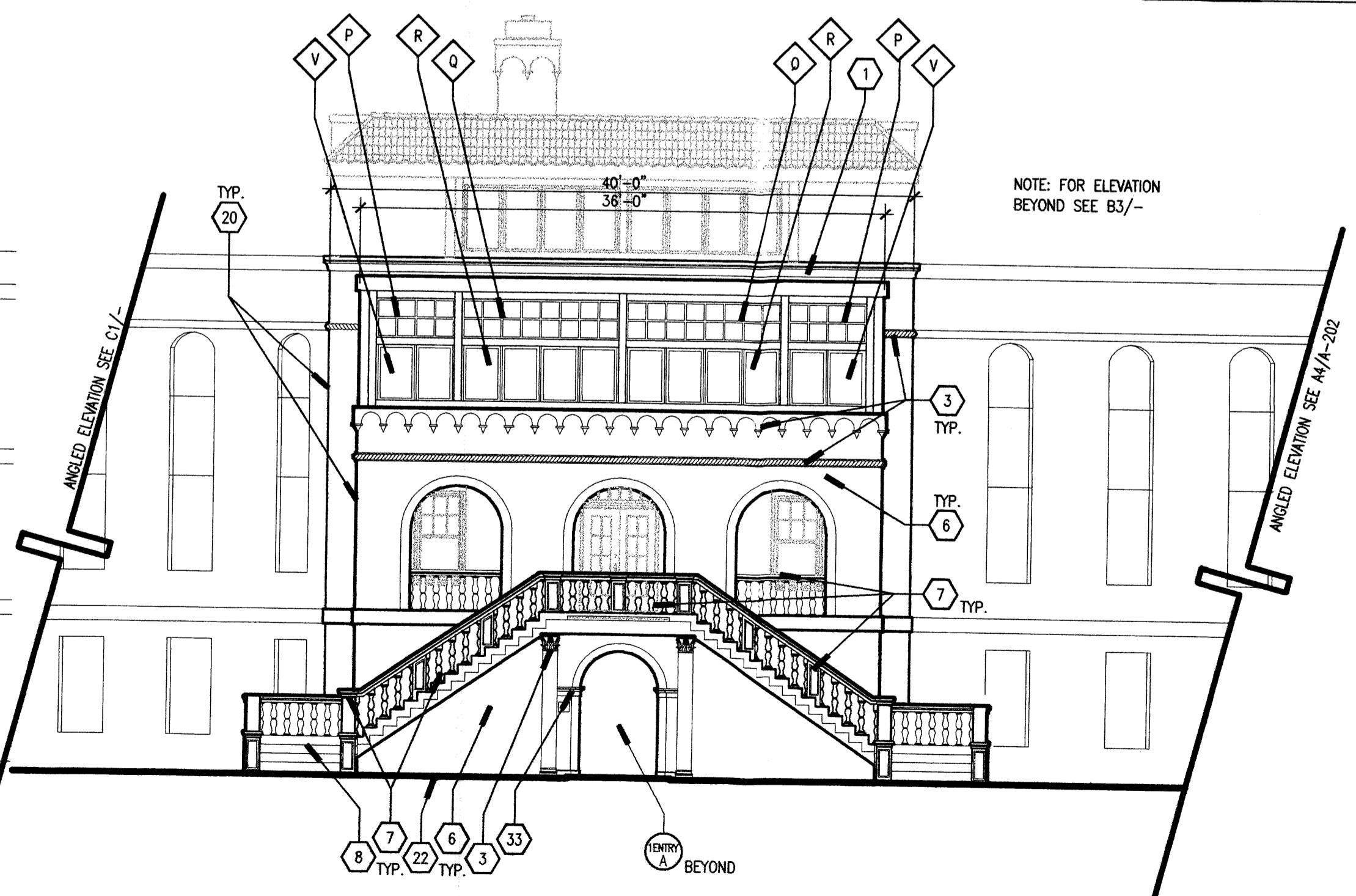
B1 NORTH ELEVATION AT PORTICO
1/8"=1'



B2 EAST ELEVATION
1/8"=1'



A1 EAST ELEVATION AT PENTHOUSE
1/8"=1'



A2 NORTH ELEVATION
1/8"=1'

GENERAL NOTES

- 1) PATCH AND REPAIR PARAPET WHERE REQUIRED.
- 2) PATCH AND REPAIR WALL WHERE WALL WAS REMOVED.
- 3) PATCH AND REPAIR PRECAST CONCRETE/STONE ORNAMENT.
- 4) CLEAN AND REPAIR TILE PER SPECIFICATION
- 5) PROPOSED REBUILT STRUCTURE. SEE PLANS FOR ADDL. INFORMATION.
- 6) PATCH AND REPAIR EXTERIOR FINISH. FOR NEW UNIFORM FINISH COAT. COLOR: WARM BEIGE.
- 7) PATCH AND REPAIR PRECAST CONCRETE GUARD RAIL TO MATCH EXISTING.
- 8) PATCH AND REPAIR CONCRETE STEPS TO MATCH EXISTING.
- 9) NEW FENCE. SEE SITE PLAN FOR ADDL. INFORMATION.
- 10) NEW MANSARD TILE ROOF. STYLE AND COLOR TO MATCH EXISTING - SEE ROOF PLAN FOR ADDL. INFORMATION.
- 11) REBUILT CHIMNEY TO MATCH EXISTING WITH NEW SPARK ARRESTOR. BRICK TYPE AND COLOR TO MATCH EXISTING
- 12) NEW CERAMIC TILE TO MATCH EXISTING ANTIQUE TILE.
- 13) RELOCATED ROOF DRAIN LOCATION. SEE PLANS.
- 14) NEW COPPER DOWNSPOUT, SCUPPER & GUTTER. WHERE OCCURS.
- 15) PATCH AND REPAIR EXISTING MANSARD TILE ROOF TO MATCH EXISTING.
- 16) PATCH AND REPAIR EXISTING CHIMNEY. BRICK TYPE AND COLOR TO MATCH EXISTING. SEE ROOF PLAN.
- 17) NEW 42" TALL GUARD RAIL. SEE ROOF PLAN.
- 18) NEW 9' TALL PLUMBING VENT STACK. SEE ROOF PLAN
- 19) NEW STAIR ENCLOSURE. SEE PLANS.
- 20) EDGE OF STRUCTURE.
- 21) NEW VENT SCREEN AT EXISTING OPENING. PAINTED TO MATCH EXTERIOR FINISH COLOR: WARM BEIGE.
- 22) SEE CIVIL DRAWINGS FOR FINISH GRADE AT WALL.
- 23) LINE INDICATES BEGINNING OF LATER ADDITION.
- 24) NEW PRECAST CONCRETE ORNAMENT TO MATCH EXISTING CAST AND COLOR.
- 25) NEW WALL AT PATIO. SEE PLANS
- 26) NEW STAIRS. SEE PLANS.
- 27) NEW ACCESSIBLE RAMP. SEE PLANS
- 28) NEW 6' TALL GUARD WALL. SEE ROOF PLAN.
- 29) NEW EXTERIOR CEMENT PLASTER OVER SHEATHING OVER METAL STUDS WITH UNIFORM FINISH FOR SEAMLESS CONSTRUCTION.
- 30) TOP OF PARAPET AT ROOF DECK.
- 31) NEW BUILDING SIGNAGE. 2' TALL, INDIVIDUALLY CUT STEEL LETTERS PRIMED AND PAINTED. ATTACH TO EXISTING STRUCTURE. SEE DETAIL E3/AS-103.
- 32) LOW VOLTAGE LIGHT FIXTURE ATTACHED BEHIND LETTERS FOR BACK LIGHTING EFFECT.
- 33) NEW ENGAGED PILASTERS AT ENTRY VESTIBULE.

SHEET KEYNOTES

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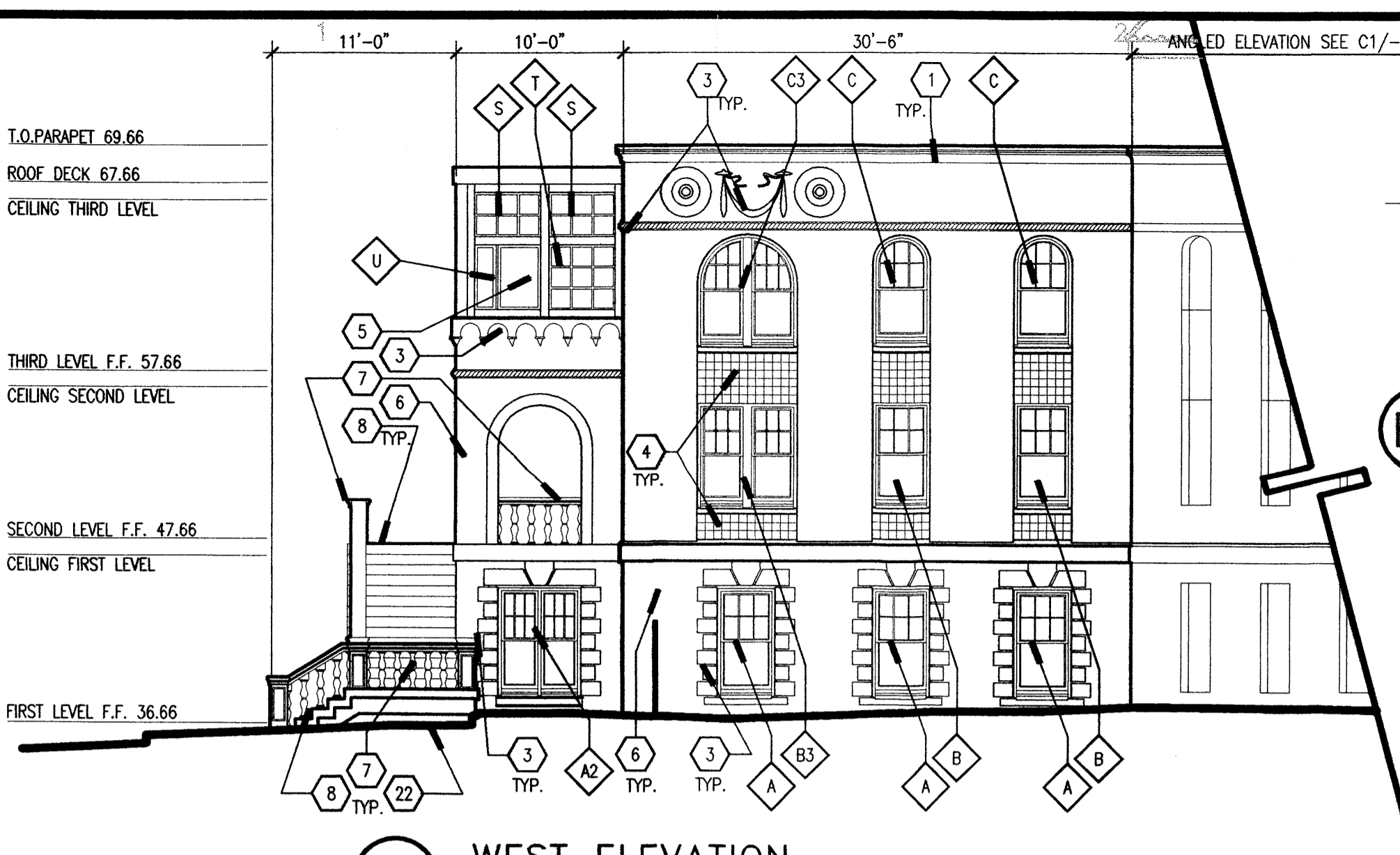
HOTEL PARQ
CENTRAL

806 CENTRAL AVE. SE
ALBUQUERQUE, NM 87102

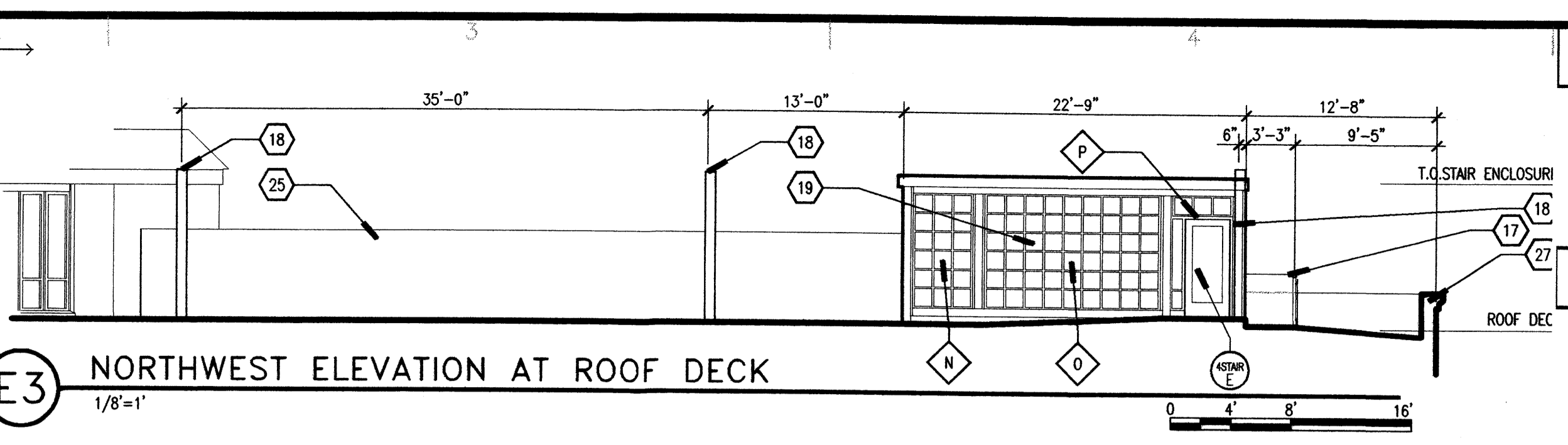
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| CAD DWG FILE: | | 0710 A-201 |
| DRAWN BY: | | DSJ |
| CHECKED BY: | | |
| DATE: | | July 14, 2008 |

SHEET TITLE
ELEVATIONS
BUILDING ONE

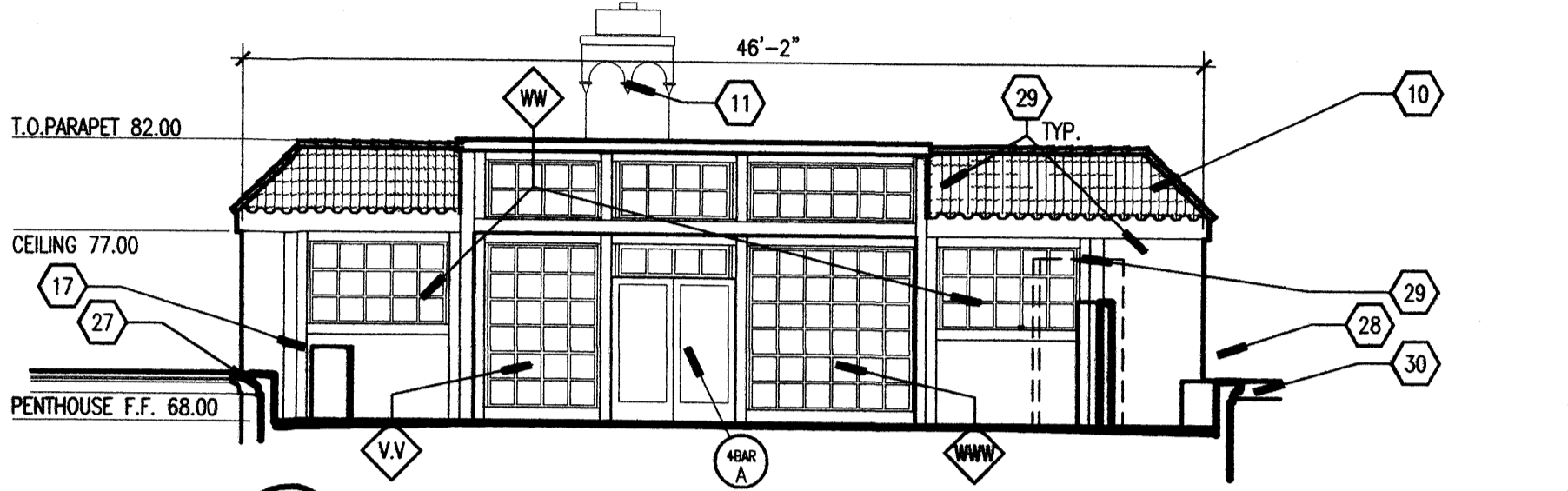
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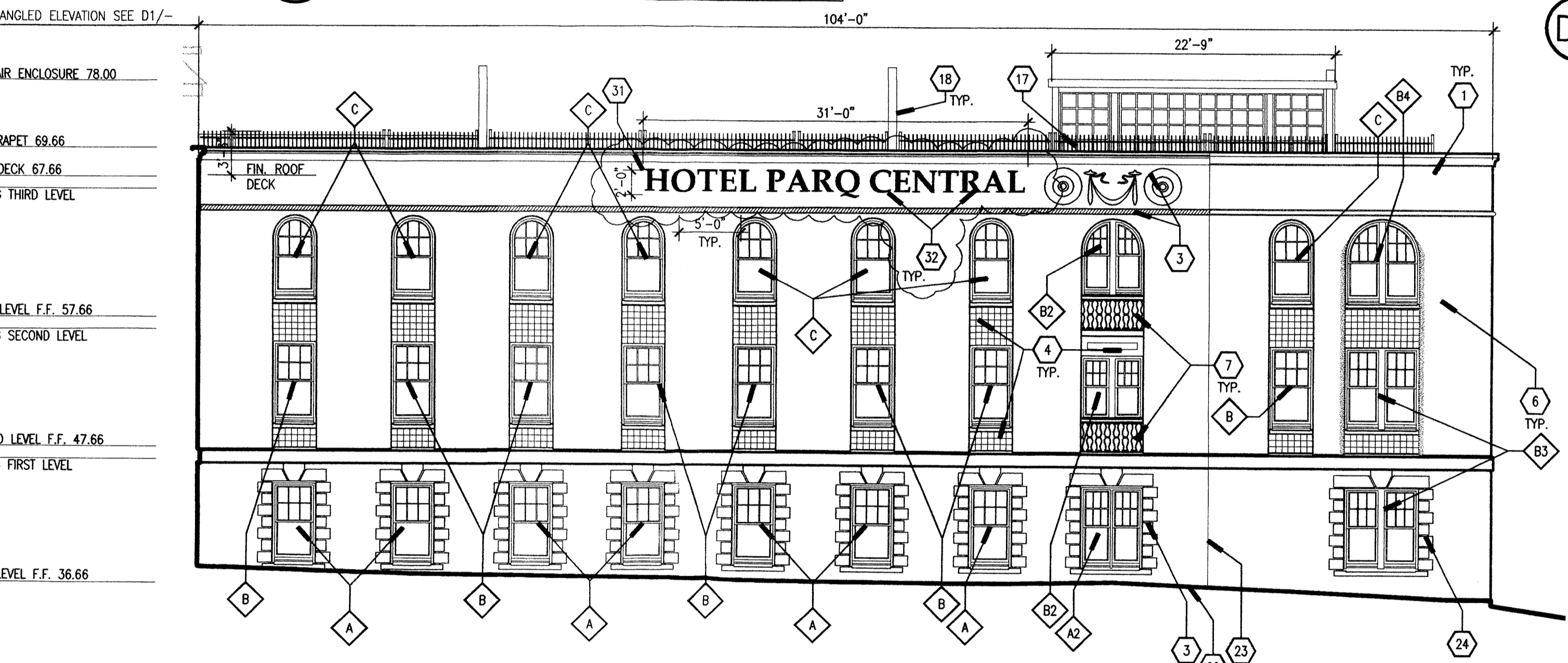
D1 WEST ELEVATION
1/8"=1'



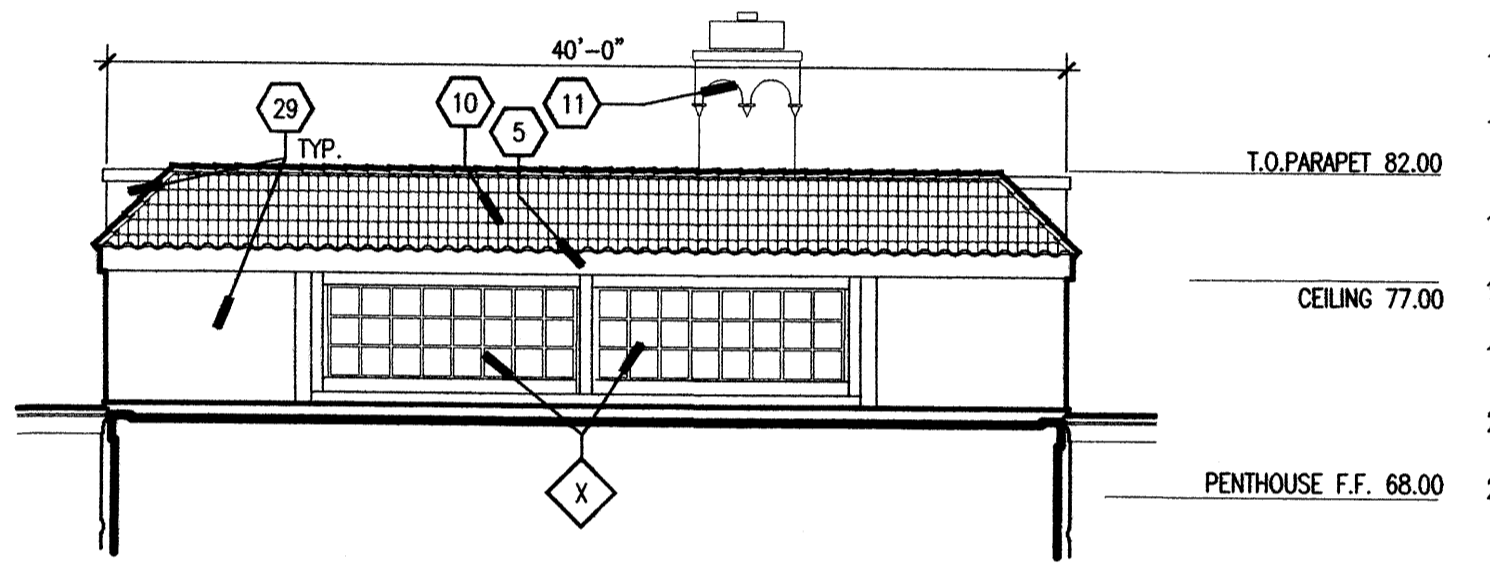
E3 NORTHWEST ELEVATION AT ROOF DECK
1/8"=1'



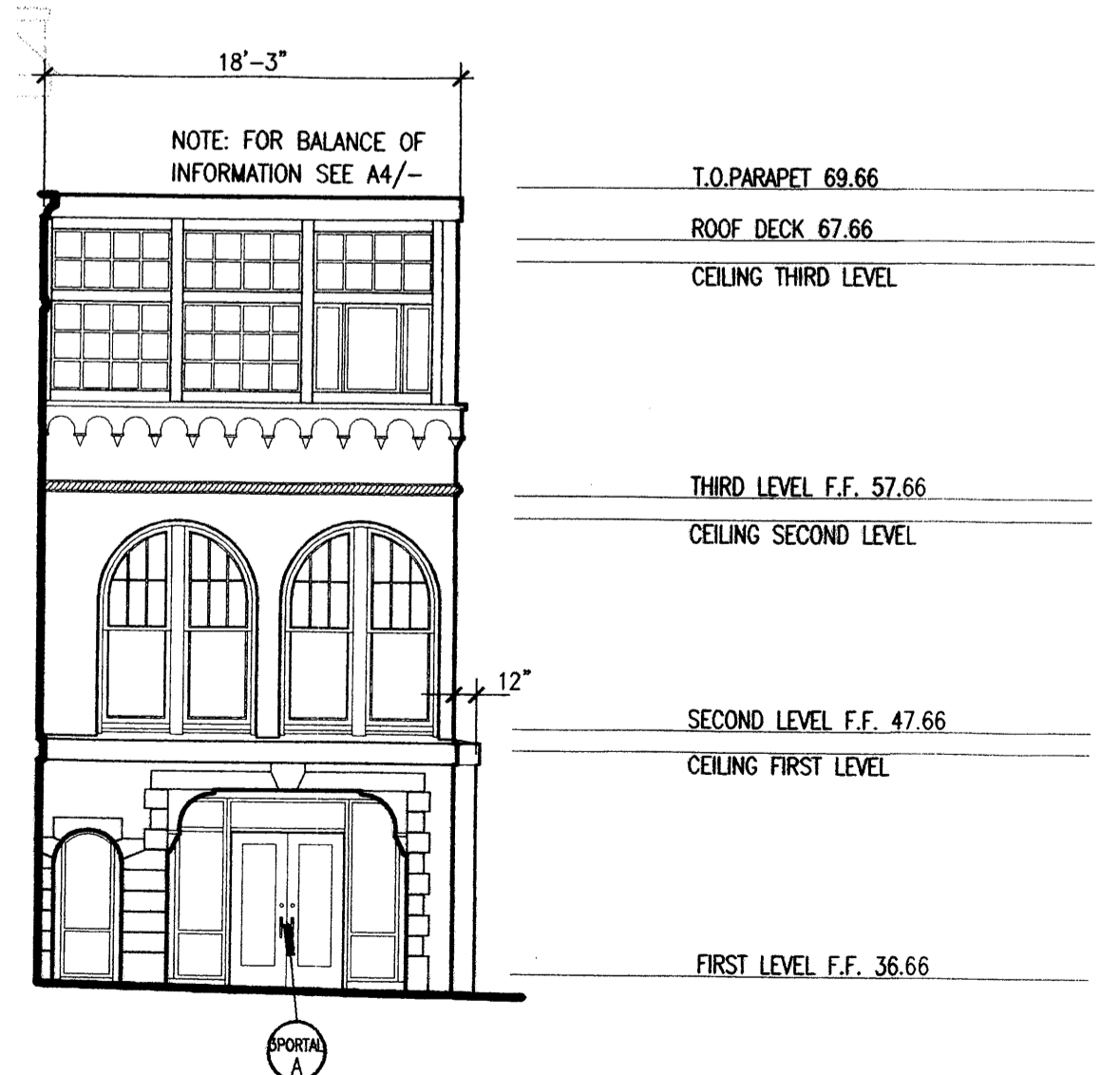
D3 WEST ELEVATION AT PENTHOUSE
1/8"=1'



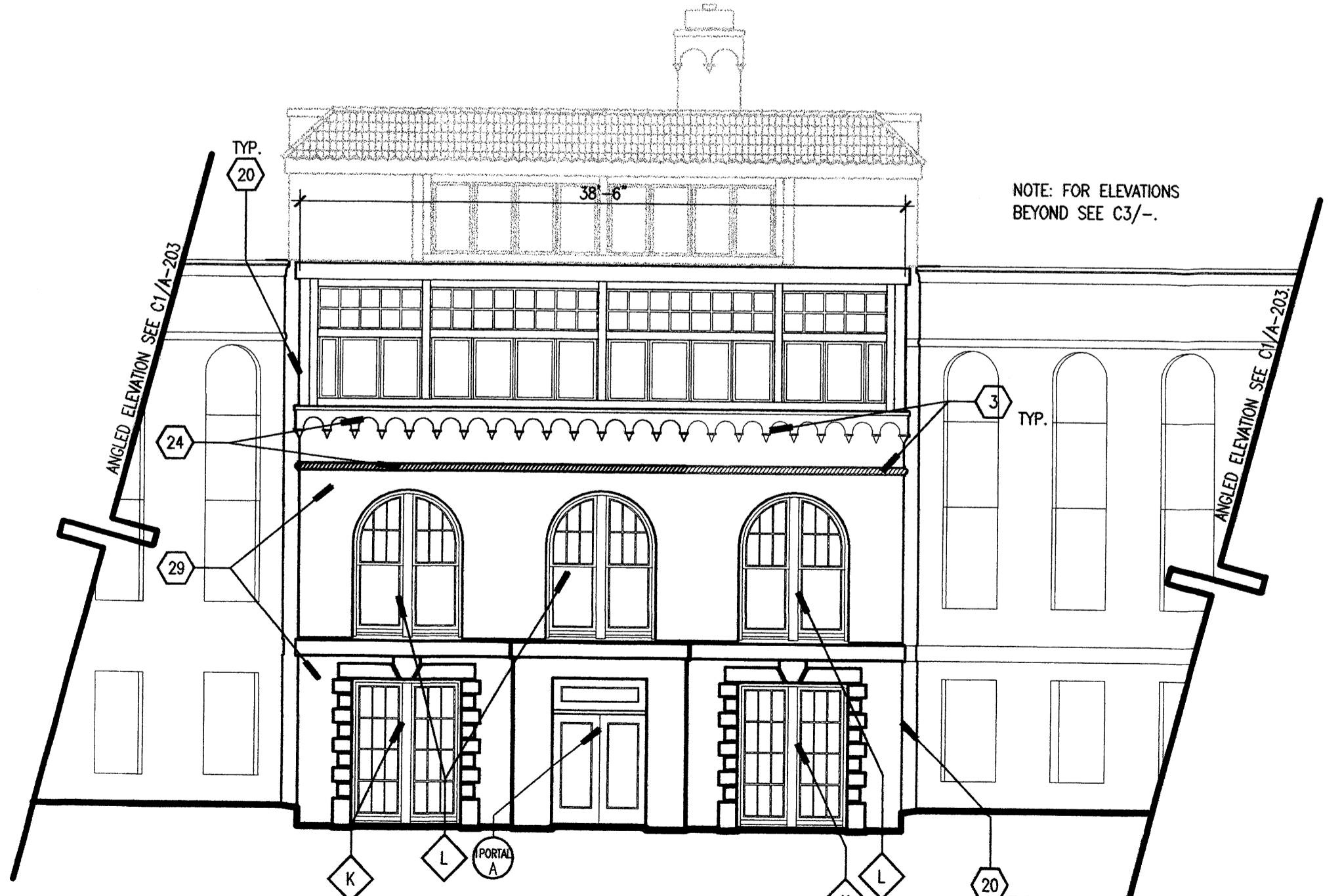
C1 NORTHWEST ELEVATION
1/8"=1'



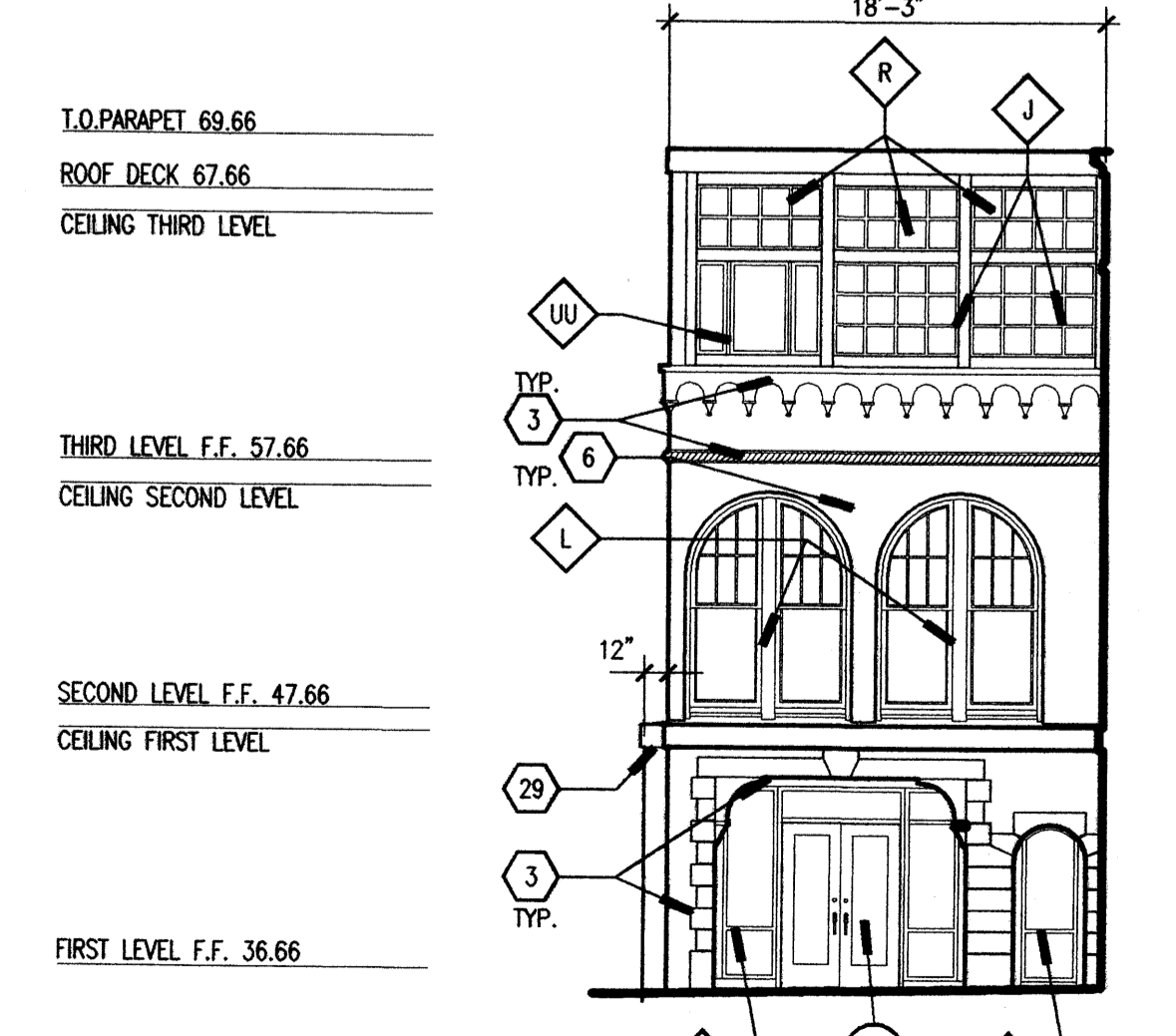
C3 SOUTH ELEVATION
1/8"=1'



A1 PARTIAL WEST ELEVATION
1/8"=1'



A2 SOUTH ELEVATION
1/8"=1'



A4 PARTIAL EAST ELEVATION
1/8"=1'

GENERAL NOTES

- 1) PATCH AND REPAIR PARAPET WHERE REQUIRED.
- 2) PATCH AND REPAIR WALL WHERE WALL WAS REMOVED.
- 3) PATCH AND REPAIR PRECAST CONCRETE/STONE ORNAMENT.
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- 5) PROPOSED REBUILT STRUCTURE. SEE PLANS FOR ADDL. INFORMATION.
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- 12) NEW CERAMIC TILE TO MATCH EXISTING ANTIQUE TILE.
- 13) RELOCATED ROOF DRAIN LOCATION. SEE PLANS.
- 14) NEW COPPER DOWNSPOUT, SCUPPER & GUTTER. WHERE OCCURS.
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- 33) NEW ENGAGED PILASTERS AT ENTRY VESTIBULE.

SHEET KEYNOTES

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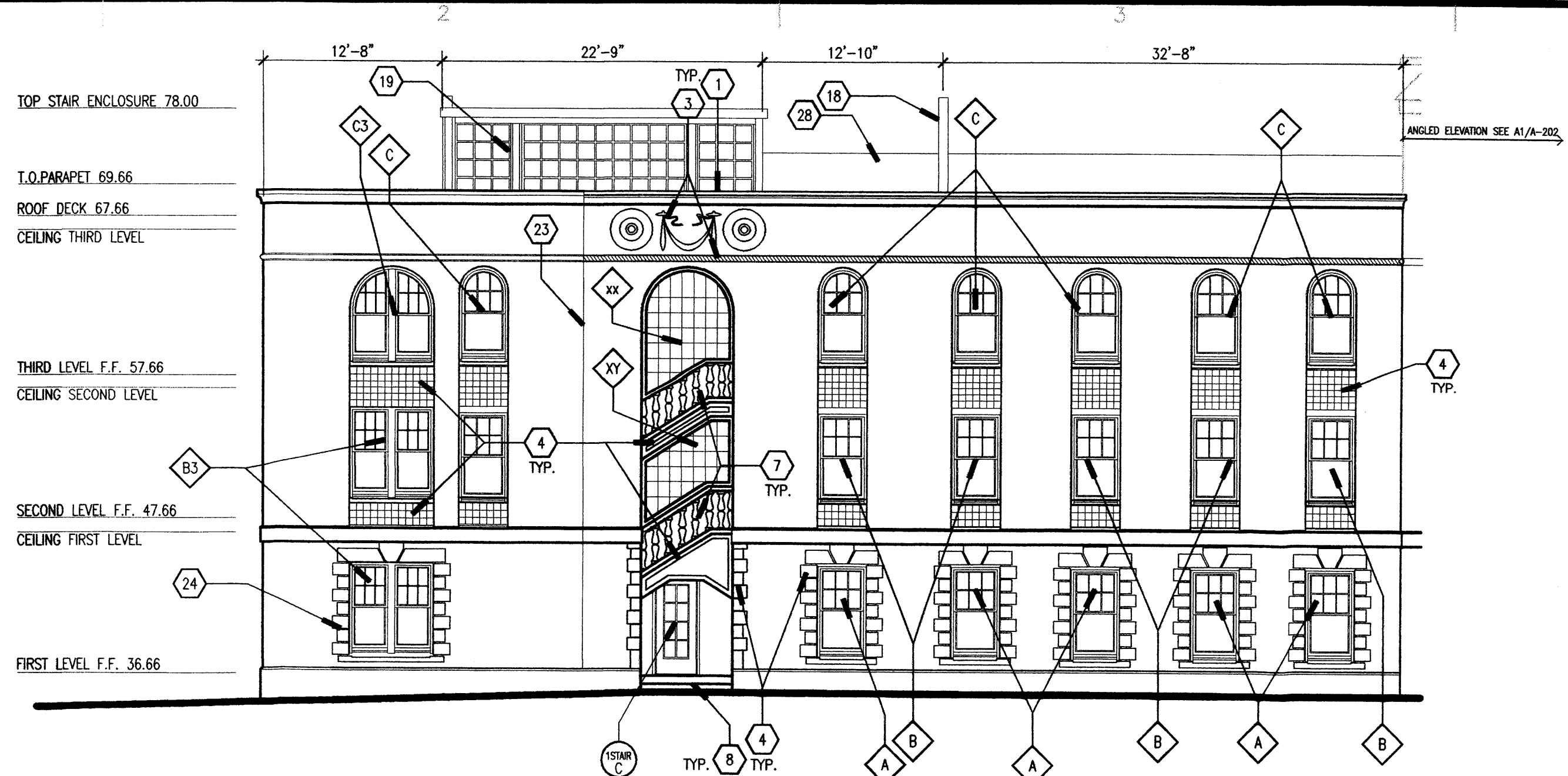
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HOTEL PARQ CENTRAL

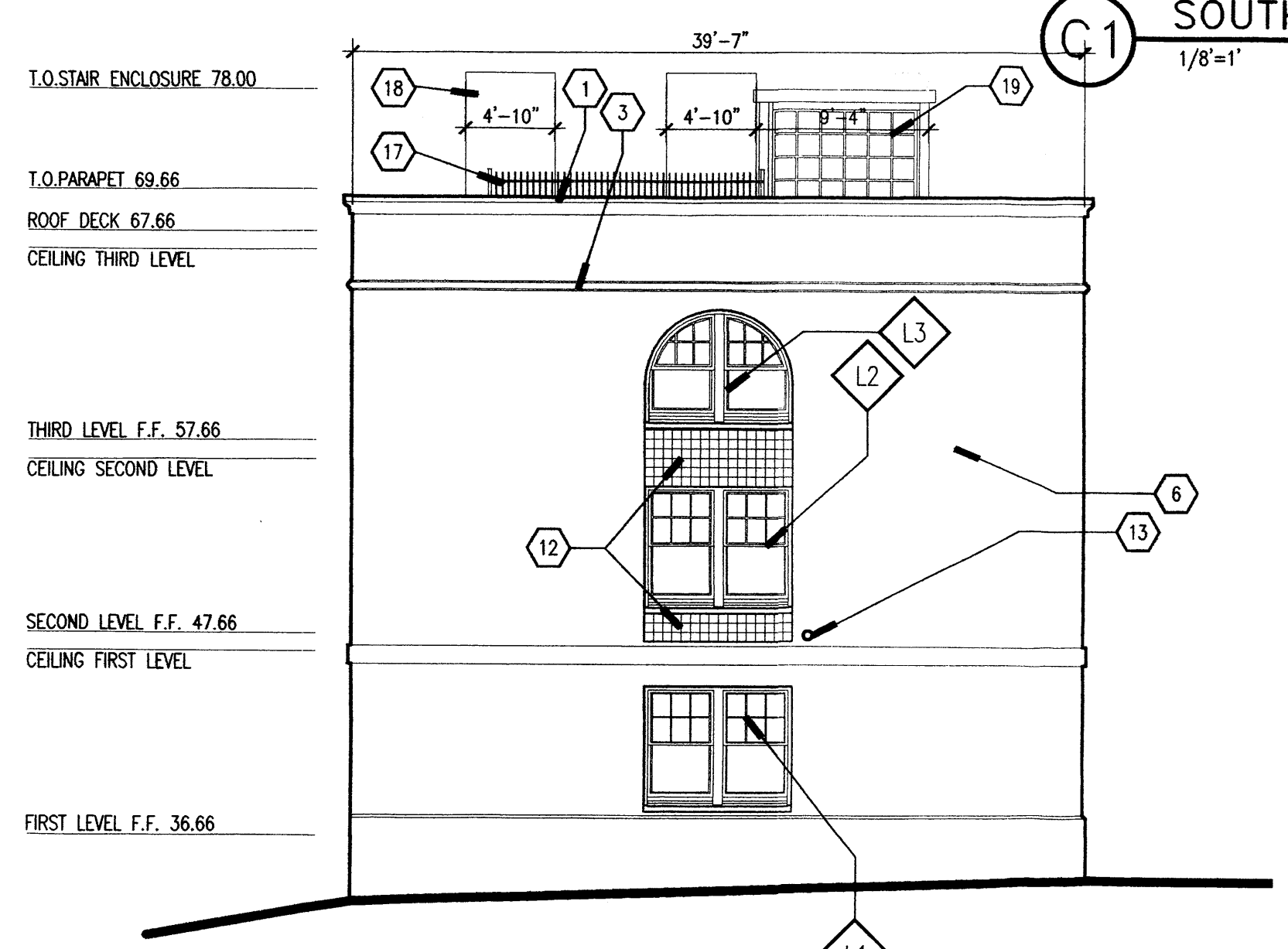
806 CENTRAL AVE. SE
ALBUQUERQUE, NM 87102

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| ISSUE: | | DRB SET |
| PROJECT NO: | | 0710 |
| CAD DWG FILE: | | |
| DRAWN BY: | | DSJ |
| CHECKED BY: | | |
| DATE: | | July 14, 2008 |

SHEET TITLE
ELEVATIONS BUILDING ONE



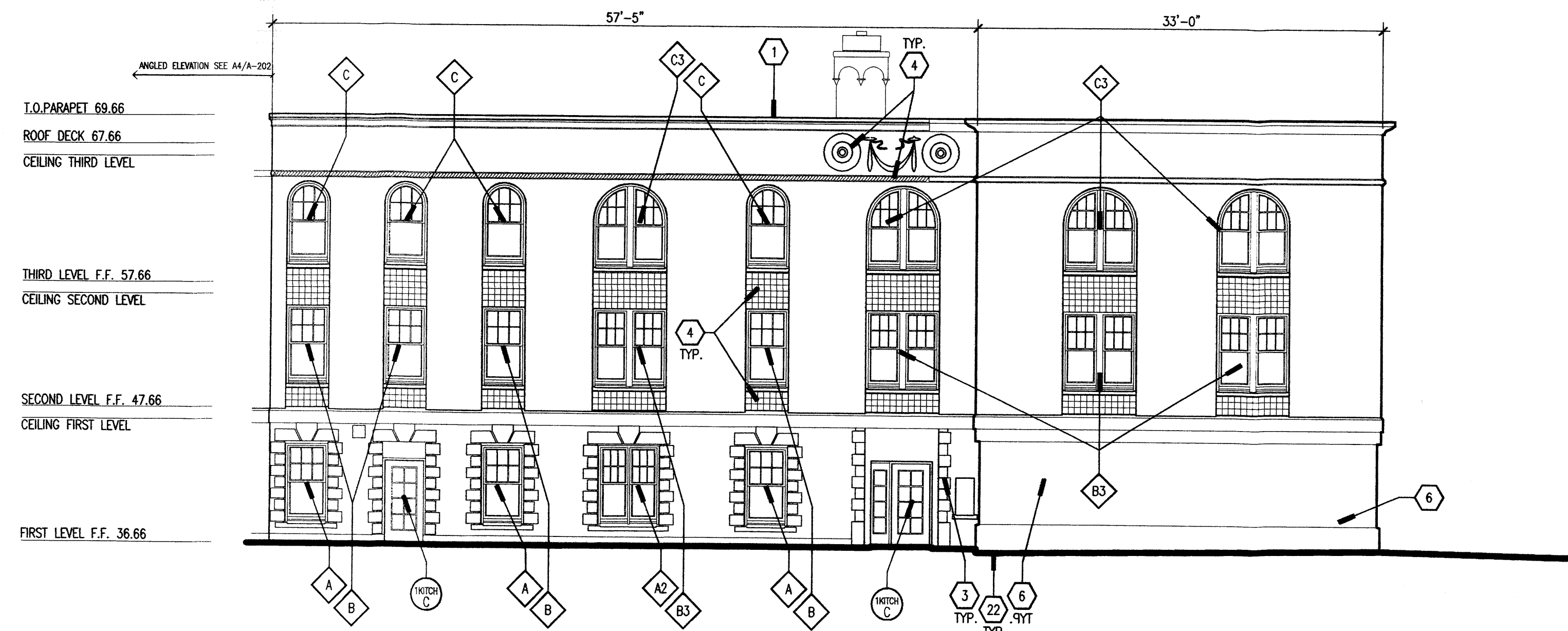
SOUTHWEST ELEVATION
1/8"=1'



WEST ELEVATION
1/8"=1'



EAST ELEVATION
1/8"=1'



SOUTHEAST ELEVATION
1/8"=1'

GENERAL NOTES

- 1) ---
- ◇ SHEET KEYNOTES**
- 1) PATCH AND REPAIR PARAPET WHERE REQUIRED.
 - 2) PATCH AND REPAIR WALL WHERE WALL WAS REMOVED.
 - 3) PATCH AND REPAIR PRECAST CONCRETE/STONE ORNAMENT.
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 - 13) RELOCATED ROOF DRAIN LOCATION. SEE PLANS.
 - 14) NEW COPPER DOWNSPOUT, SCUPPER & GUTTER. WHERE OCCURS.
 - 15) PATCH AND REPAIR EXISTING MANSARD TILE ROOF TO MATCH EXISTING.
 - 16) PATCH AND REPAIR EXISTING CHIMNEY. BRICK TYPE AND COLOR TO MATCH EXISTING. SEE ROOF PLAN.
 - 17) NEW 42" TALL GUARD RAIL. SEE ROOF PLAN.
 - 18) NEW 9' TALL PLUMBING VENT STACK. SEE ROOF PLAN
 - 19) NEW STAIR ENCLOSURE. SEE PLANS.
 - 20) EDGE OF STRUCTURE.
 - 21) NEW VENT SCREEN AT EXISTING OPENING. PAINTED TO MATCH EXTERIOR FINISH COLOR: WARM BEIGE.
 - 22) SEE CIVIL DRAWINGS FOR FINISH GRADE AT WALL.
 - 23) LINE INDICATES BEGINING OF LATER ADDITION.
 - 24) NEW PRECAST CONCRETE ORNAMENT TO MATCH EXISTING CAST AND COLOR..
 - 25) NEW WALL AT PATIO. SEE PLANS
 - 26) NEW STAIRS. SEE PLANS.
 - 27) NEW ACCESSIBLE RAMP. SEE PLANS
 - 28) NEW 6' TALL GUARD WALL. SEE ROOF PLAN.
 - 29) NEW EXTERIOR CEMENT PLASTER OVER SHEATHING OVER METAL STUDS WITH UNIFORM FINISH FOR SEAMLESS CONSTRUCTION.
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 - 32) LOW VOLTAGE LIGHT FIXTURE ATTACHED BEHIND LETTERS FOR BACK LIGHTING EFFECT.
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CONSULTANTS

Architect _____ Engineer _____

DRB
SUBMITTAL

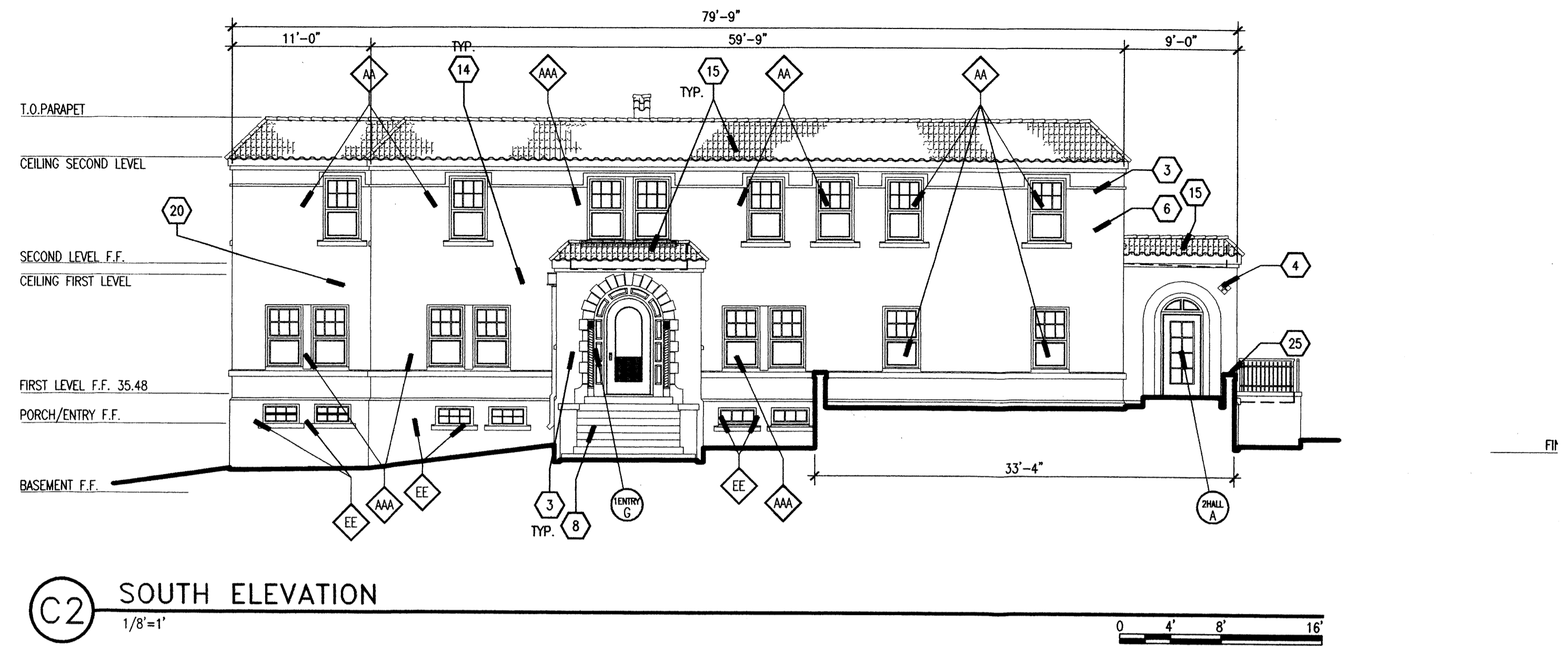
HOTEL PARQ CENTRAL

806 CENTRAL AVE. SE
ALBUQUERQUE, NM 87102

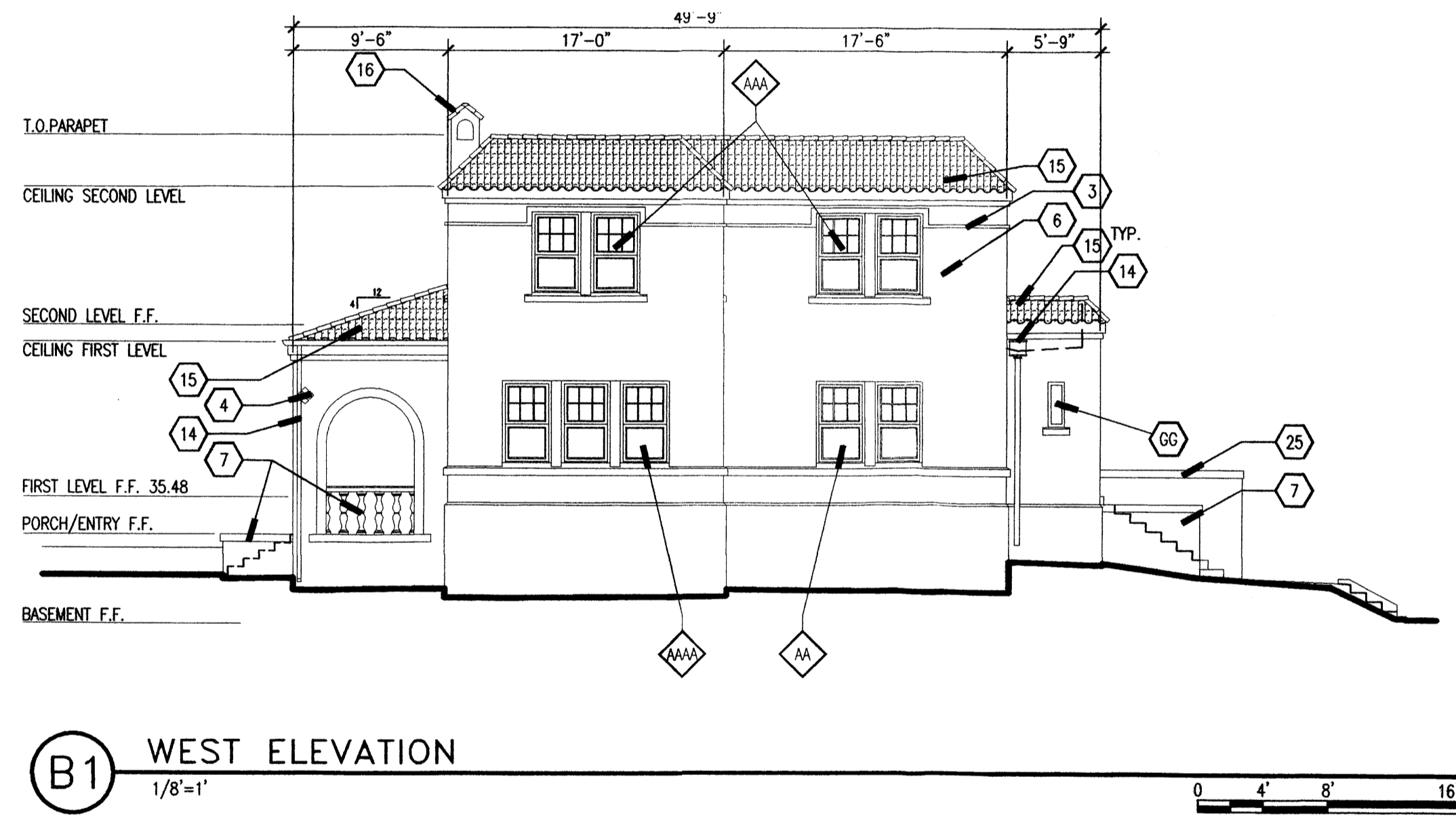
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| PROJECT NO: 0710 | | |
| CAD DWG FILE: 0710 A-203 | | |
| DRAWN BY: DSJ | | |
| CHECKED BY: | | |
| DATE: July 14, 2008 | | |

SHEET TITLE

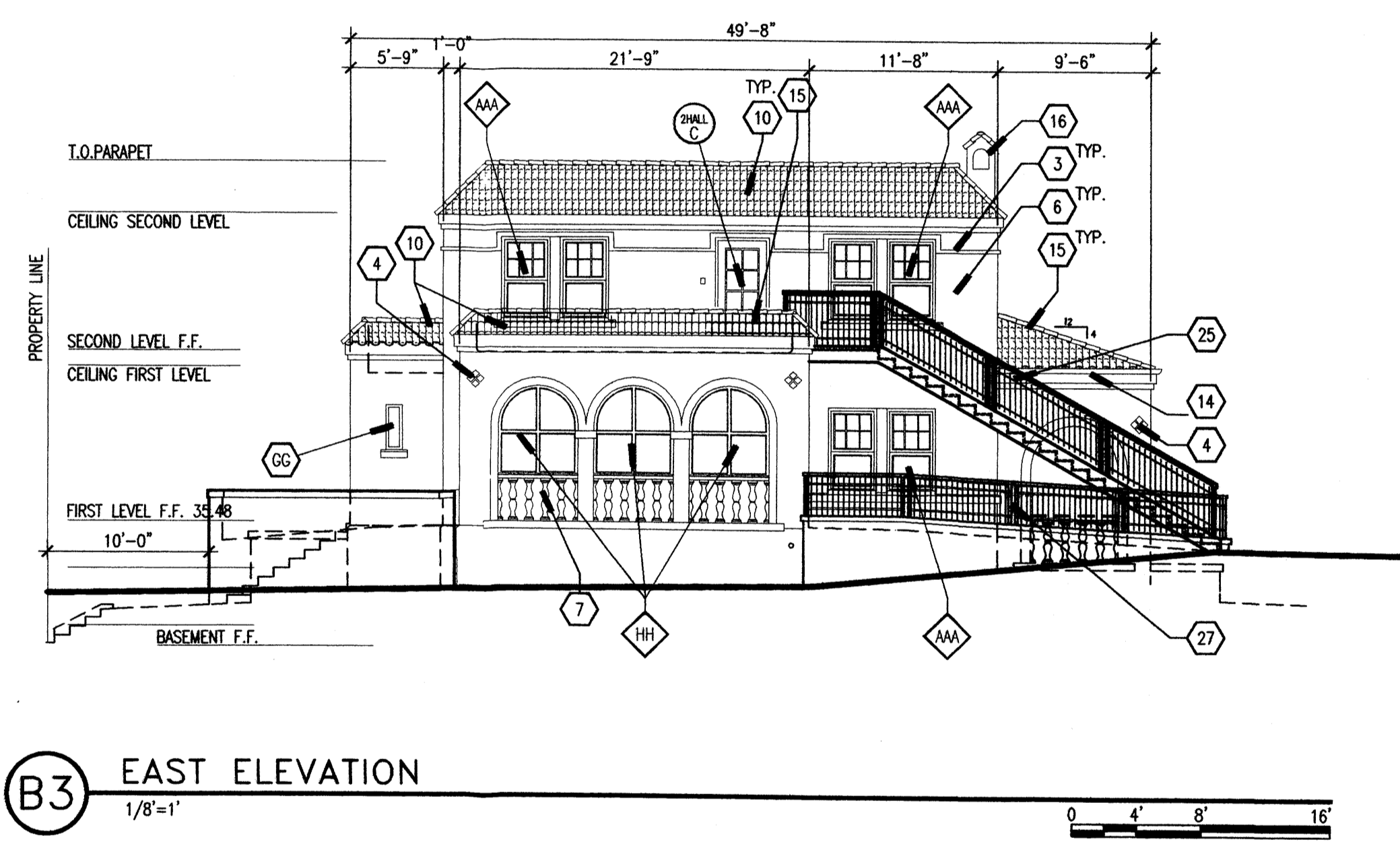
ELEVATIONS
BUILDING ONE



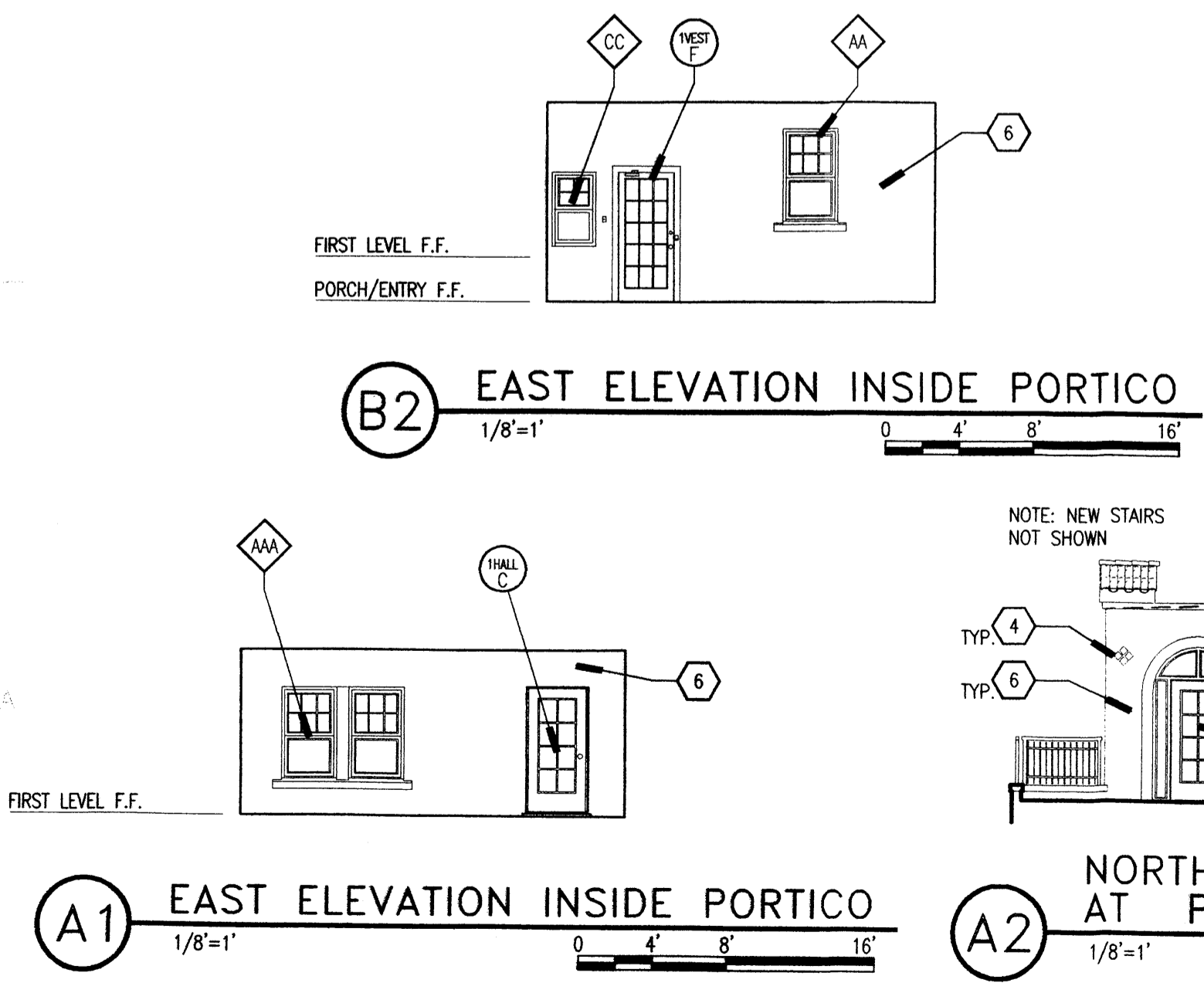
C2 SOUTH ELEVATION
1/8"=1'



B1 WEST ELEVATION
1/8"=1'

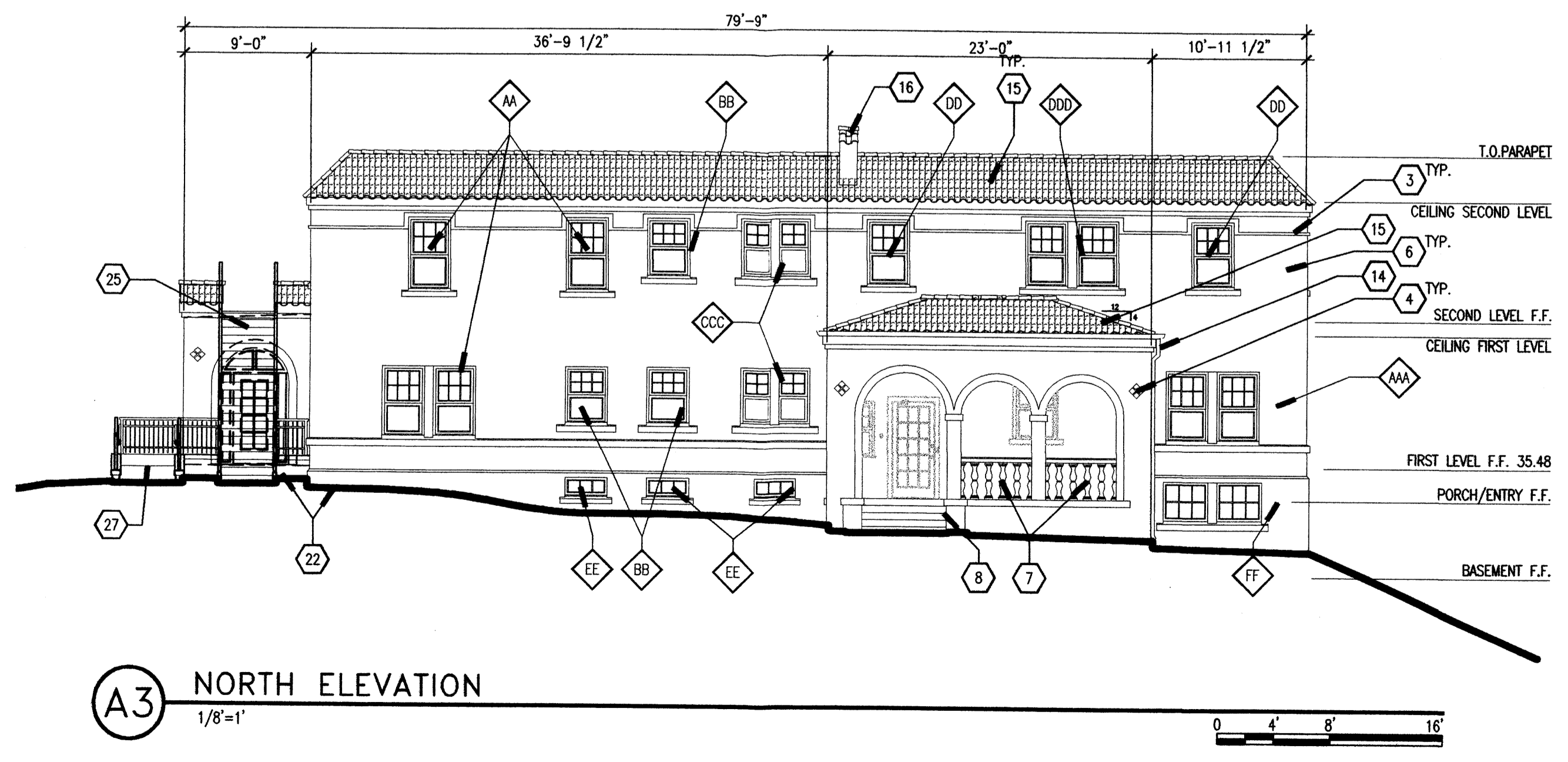


B3 EAST ELEVATION
1/8"=1'



A1 EAST ELEVATION INSIDE PORTICO
1/8"=1'

A2 NORTH ELEV. AT PORTICO
1/8"=1'

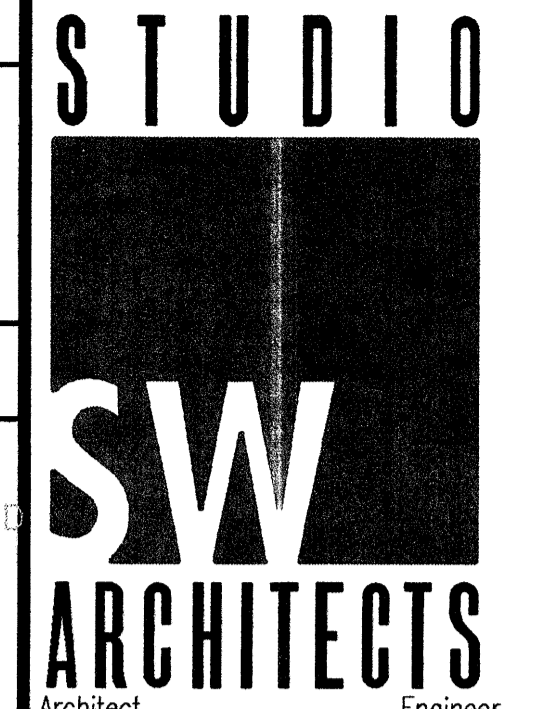


A3 NORTH ELEVATION
1/8"=1'

GENERAL NOTES

- 1) PATCH AND REPAIR PARAPET WHERE REQUIRED.
- 2) PATCH AND REPAIR WALL WHERE WALL WAS REMOVED.
- 3) PATCH AND REPAIR PRECAST CONCRETE/STONE ORNAMENT.
- 4) CLEAN AND REPAIR TILE PER SPECIFICATION
- 5) PROPOSED REBUILT STRUCTURE. SEE PLANS FOR ADDL. INFORMATOM.
- 6) PATCH AND REPAIR EXTERIOR FINISH. FOR NEW UNIFORM FINISH COAT. COLOR: WARM BEIGE.
- 7) PATCH AND REPAIR PRECAST CONCRETE GUARD RAIL TO MATCH EXISTING.
- 8) PATCH AND REPAIR CONCRETE STEPS TO MATCH EXISTING.
- 9) NEW FENCE. SEE SITE PLAN FOR ADDL. INFORMATION.
- 10) NEW MANSARD TILE ROOF. STYLE AND COLOR TO MATCH EXISTING - SEE ROOF PLAN FOR ADDL. INFORMATION.
- 11) REBUILT CHIMNEY TO MATCH EXISTING WITH NEW SPARK ARRESTOR. BRICK TYPE AND COLOR TO MATCH EXISTING
- 12) NEW CERAMIC TILE TO MATCH EXISTING ANTIQUE TILE.
- 13) RELOCATED ROOF DRAIN LOCATION. SEE PLANS.
- 14) NEW COPPER DOWNSPOUT, SCUPPER & GUTTER. WHERE OCCURS.
- 15) PATCH AND REPAIR EXISTING MANSARD TILE ROOF TO MATCH EXISTING.
- 16) PATCH AND REPAIR EXISTING CHIMNEY. BRICK TYPE AND COLOR TO MATCH EXISTING. SEE ROOF PLAN.
- 17) NEW 42" TALL GUARD RAIL. SEE ROOF PLAN.
- 18) NEW 9" TALL PLUMBING VENT STACK. SEE ROOF PLAN
- 19) NEW STAIR ENCLOSURE. SEE PLANS.
- 20) EDGE OF STRUCTURE.
- 21) NEW VENT SCREEN AT EXISTING OPENING. PAINTED TO MATCH EXTERIOR FINISH COLOR: WARM BEIGE.
- 22) SEE CIVIL DRAWINGS FOR FINISH GRADE AT WALL.
- 23) LINE INDICATES BEGINING OF LATER ADDITION.
- 24) NEW PRECAST CONCRETE ORNAMENT TO MATCH EXISTING CAST AND COLOR.
- 25) NEW WALL AT PATIO. SEE PLANS
- 26) NEW STAIRS. SEE PLANS.
- 27) NEW ACCESSIBLE RAMP. SEE PLANS
- 28) NEW 6" TALL GUARD WALL. SEE ROOF PLAN.
- 29) NEW EXTERIOR CEMENT PLASTER OVER SHEATHING OVER METAL STUDS WITH UNIFORM FINISH FOR SEEMLESS CONSTRUCTION.
- 30) TOP OF PARAPET AT ROOF DECK.
- 31) NEW BUILDING SIGNAGE. 2' TALL INDIVIDUALLY CUT STEEL LETTERS PRIMED AND PAINTED. ATTACH TO EXISTING STRUCTURE. SEE DETAIL E3/AS-103.
- 32) LOW VOLTAGE LIGHT FIXTURE ATTACHED BEHIND LETTERS FOR BACK LIGHTING EFFECT.
- 33) NEW ENGAGED PILASTERS AT ENTRY VESTIBULE.

SHEET KEYNOTES



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Architect Engineer

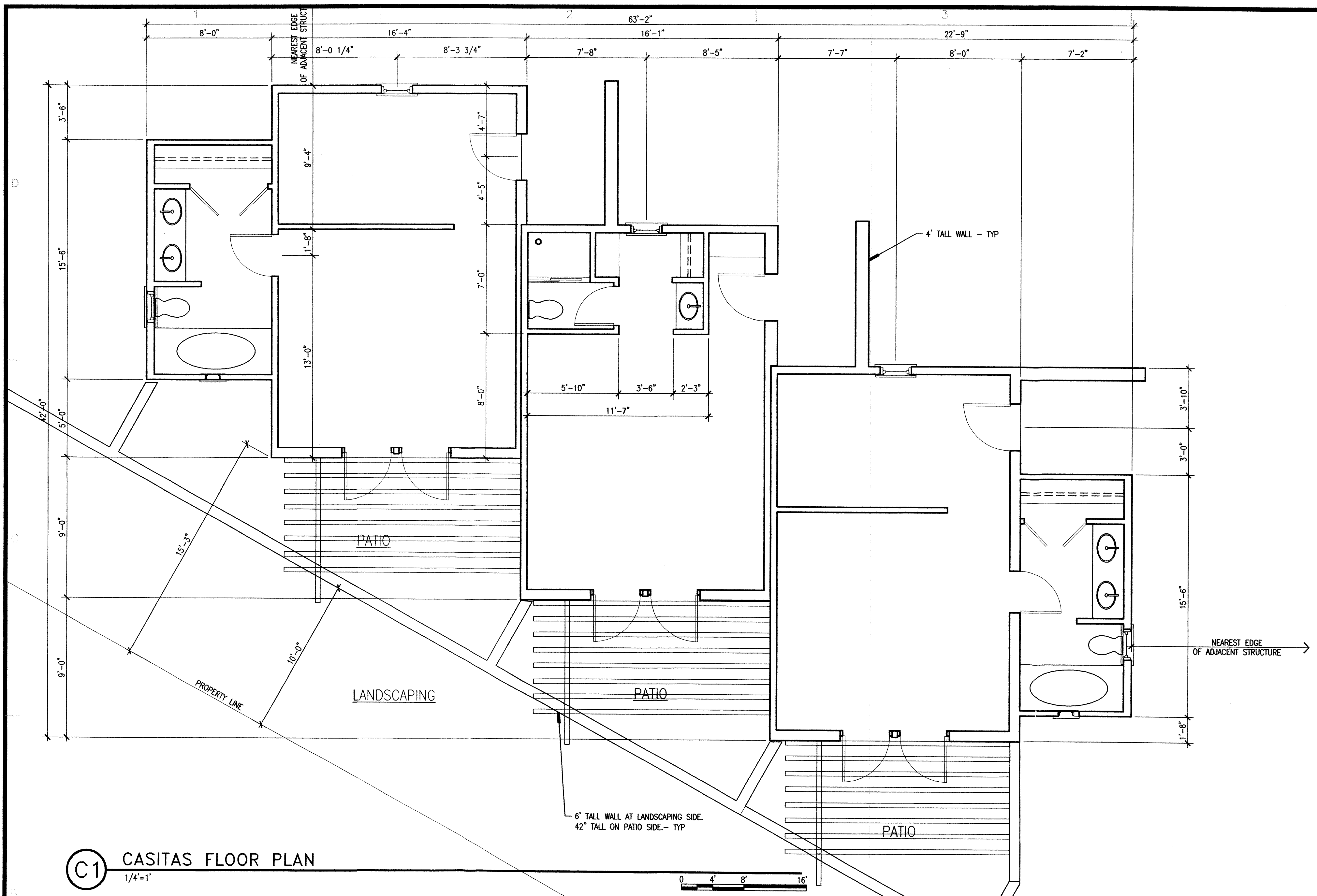
DRB SUBMITTAL

HOTEL PARQ CENTRAL

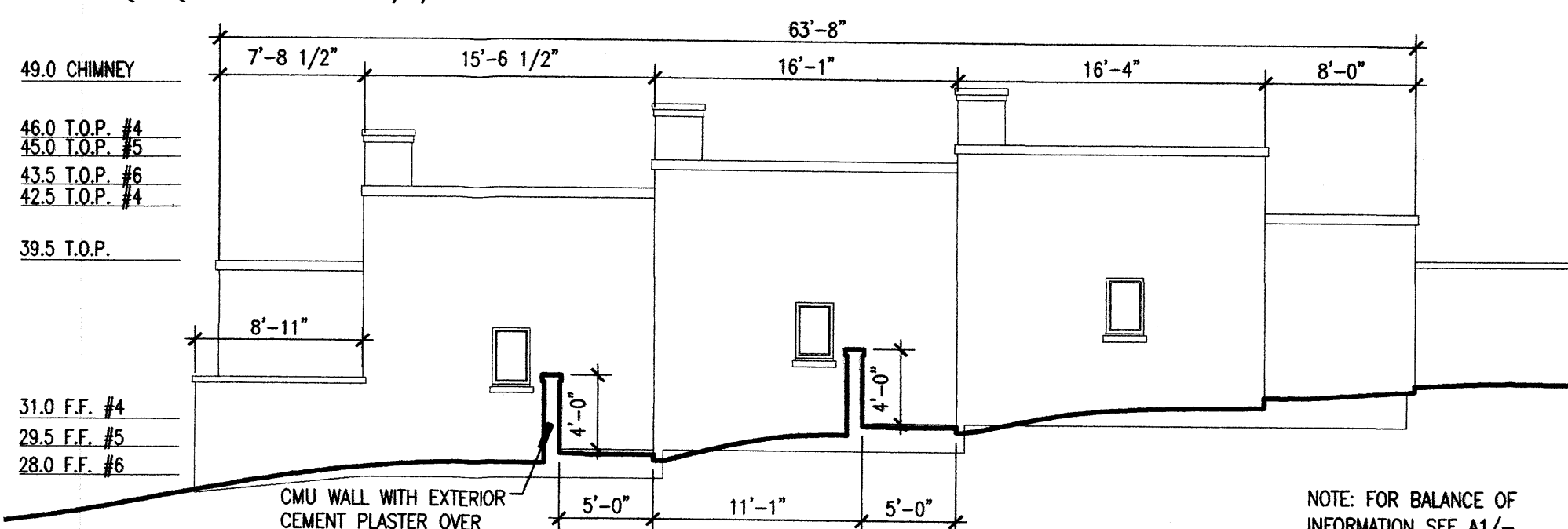
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 ALBUQUERQUE, NM 87102

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| PROJECT NO: 0710 | | |
| CAD DWG FILE: 0710 A-204 | | |
| DRAWN BY: DSJ | | |
| CHECKED BY: | | |
| DATE: July 14, 2008 | | |
| SHEET TITLE | | |
| ELEVATIONS BUILDING TWO | | |

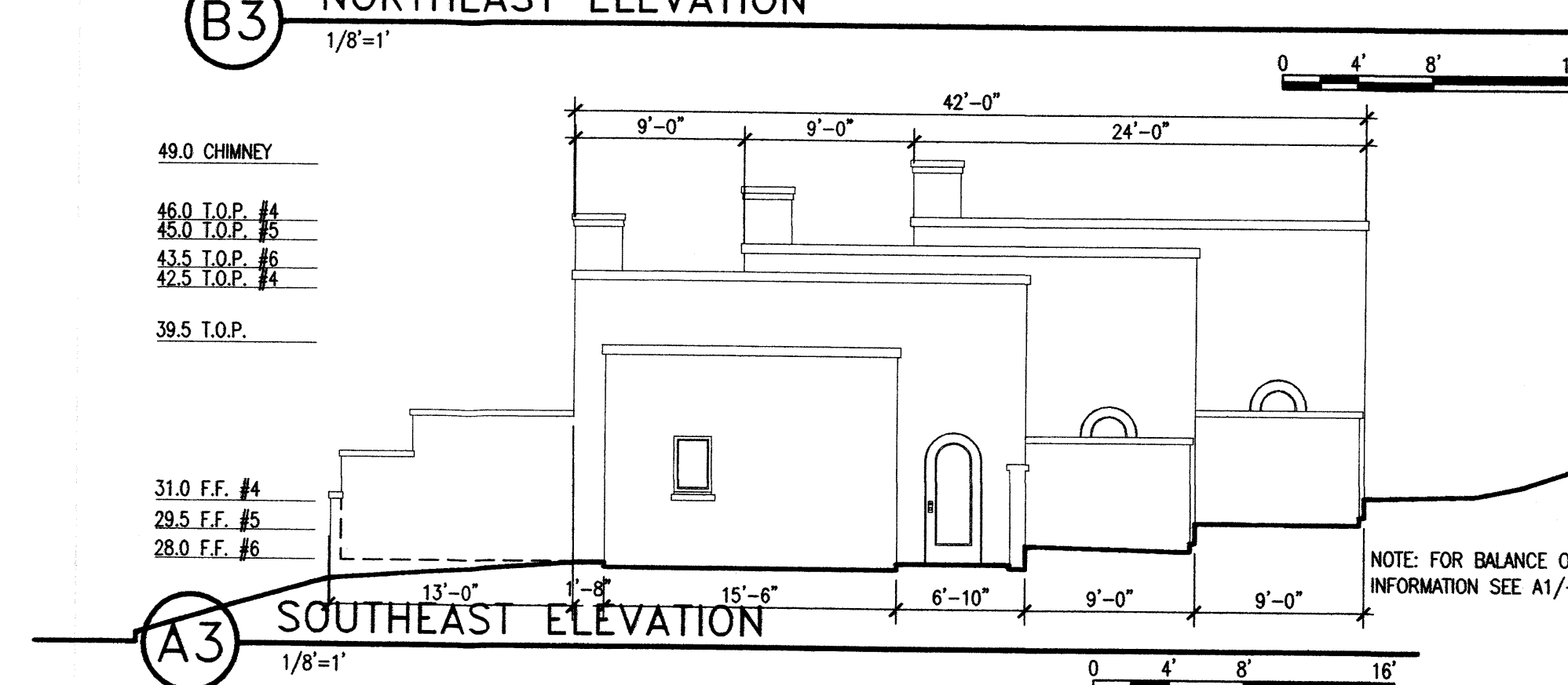
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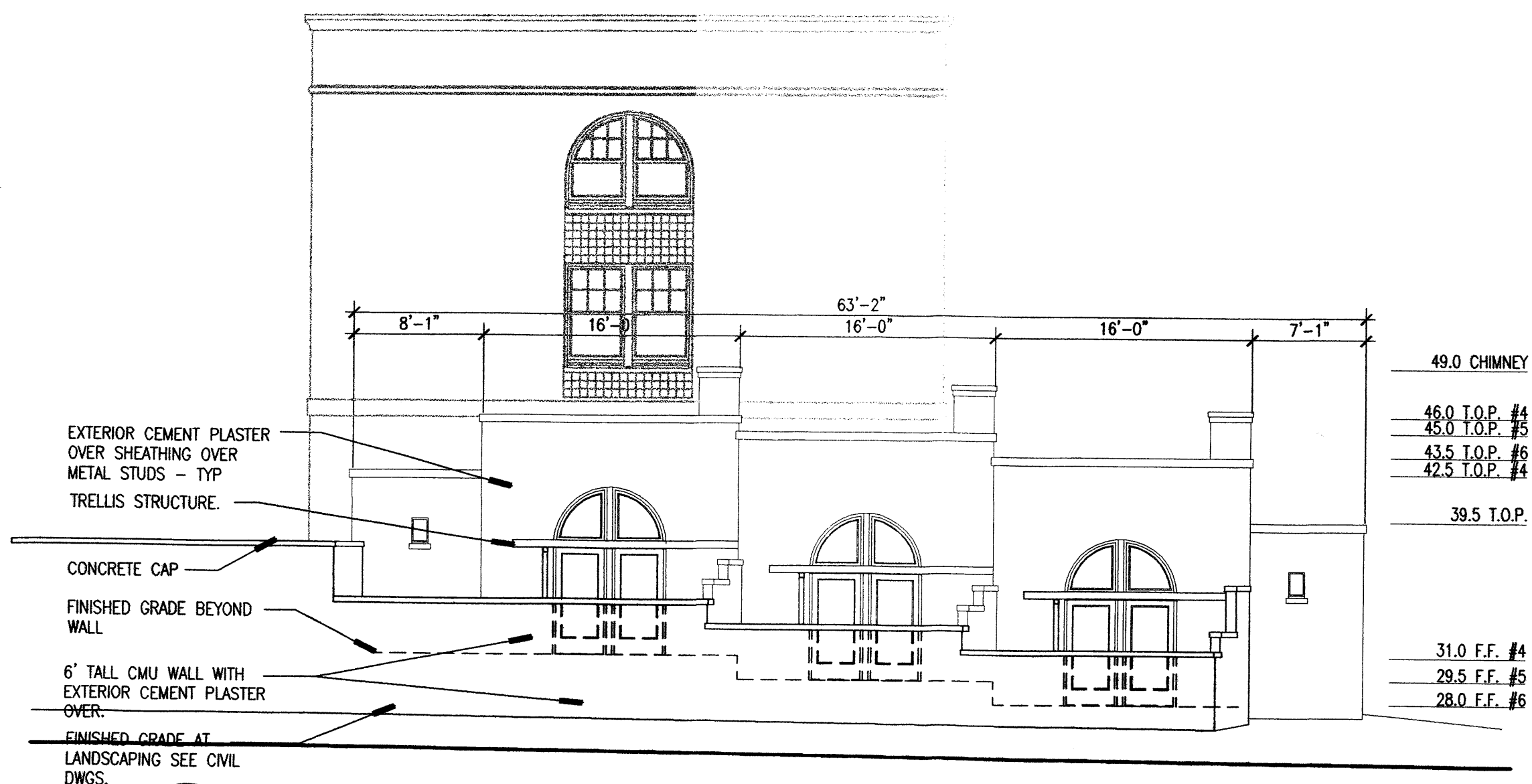
C1 CASITAS FLOOR PLAN
1/4"=1'



B3 NORTHEAST ELEVATION
1/8"=1'



A3 SOUTHEAST ELEVATION
1/8"=1'



A1 SOUTHWEST ELEVATION
1/8"=1'

GENERAL NOTES

- 1) ----
- ◇ SHEET KEYNOTES**
- 1) PATCH AND REPAIR PARAPET WHERE REQUIRED.
 - 2) PATCH AND REPAIR WALL WHERE WALL WAS REMOVED.
 - 3) PATCH AND REPAIR PRECAST CONCRETE/STONE ORNAMENT.
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 - 9) NEW FENCE. SEE SITE PLAN FOR ADDL. INFORMATION.
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CONSULTANTS

Architect Engineer

DRB SUBMITTAL

HOTEL PARQ CENTRAL

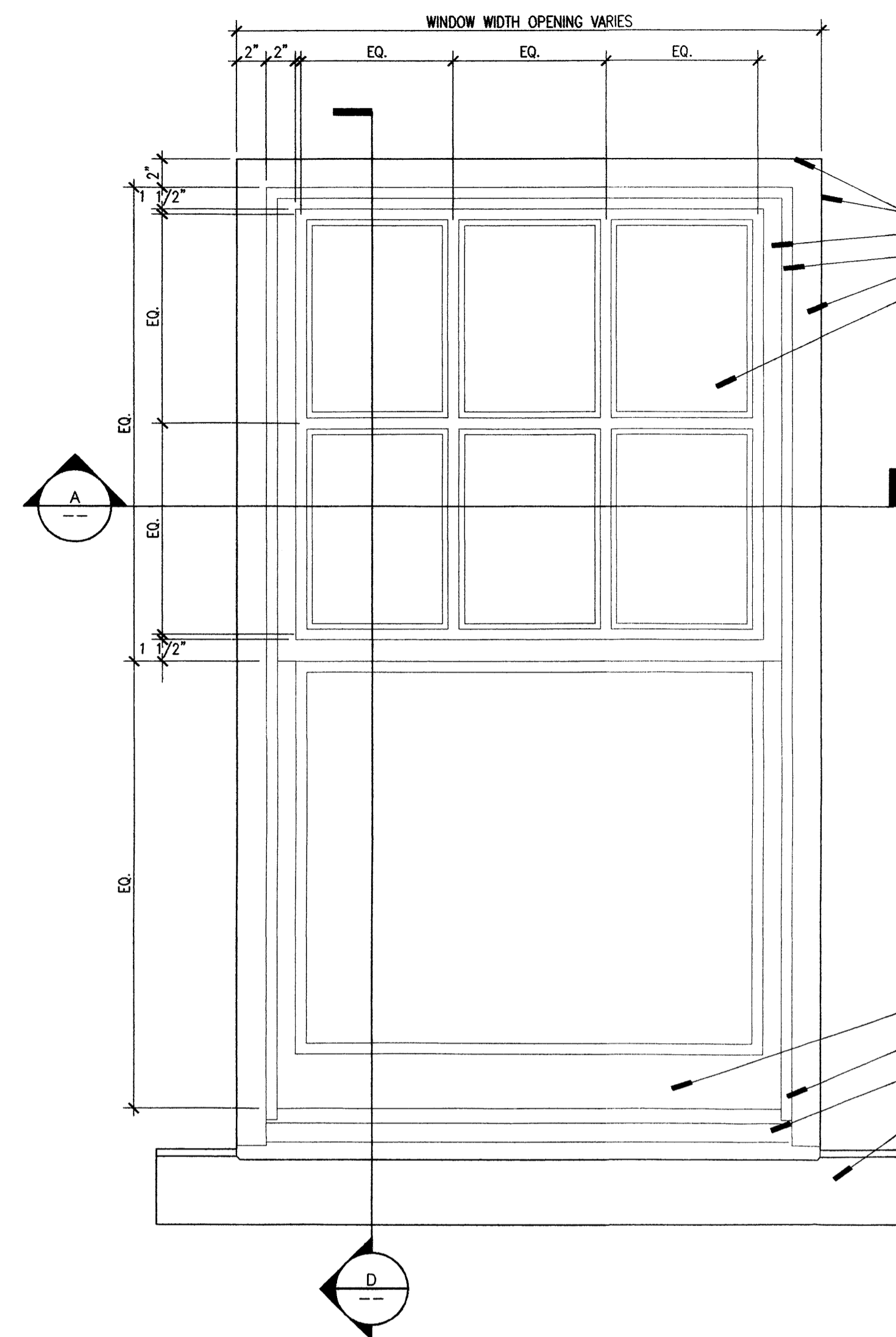
806 CENTRAL AVE. SE
ALBUQUERQUE, NM 87102

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|---------------------|----------|-------------------|
| △ | 07/10/08 | DRB MODIFICATIONS |
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| DRAWN BY: DSJ | | |
| CHECKED BY: | | |
| DATE: July 14, 2008 | | |

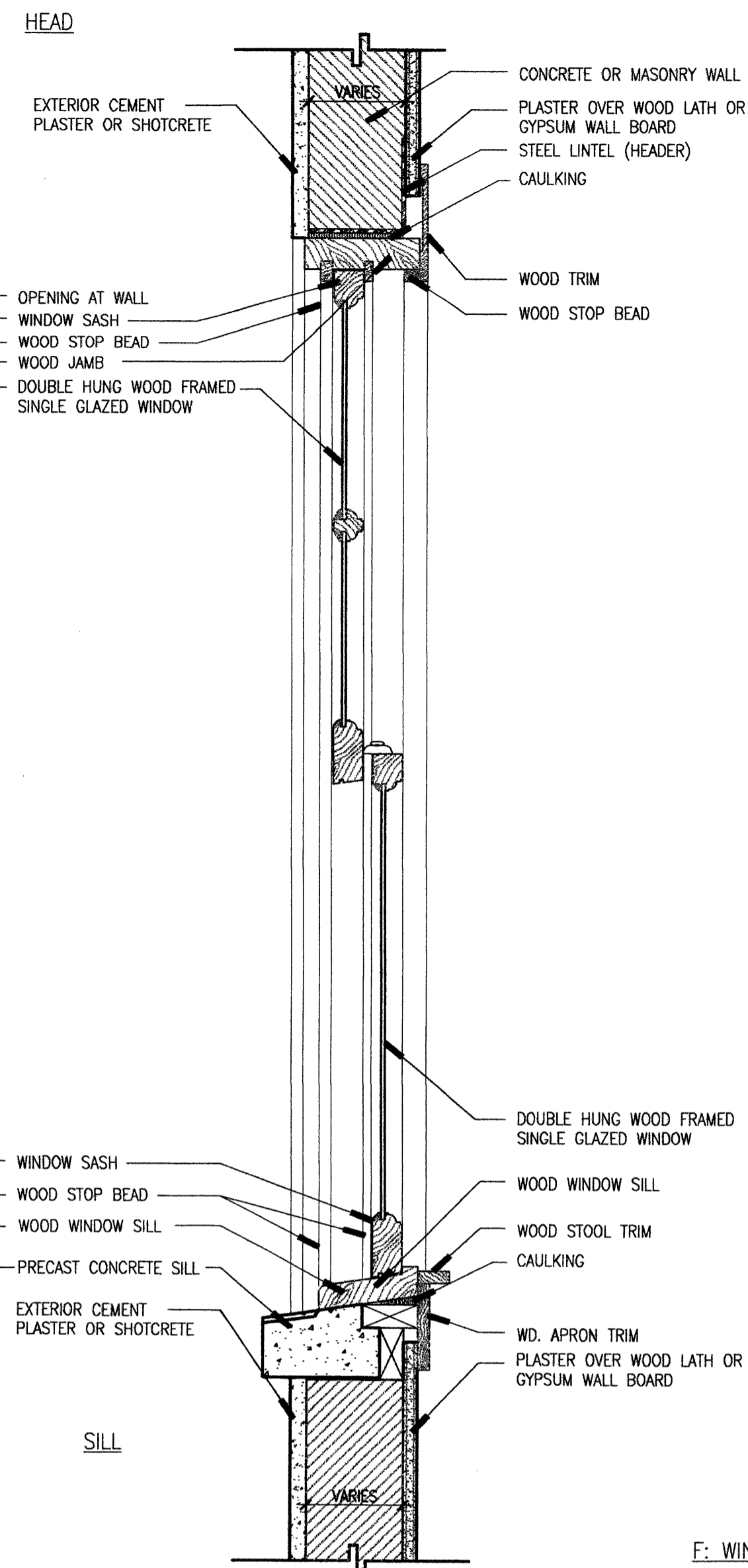
SHEET TITLE
ELEVATIONS & PLAN
BUILDING THREE
THE CASITAS

A-205

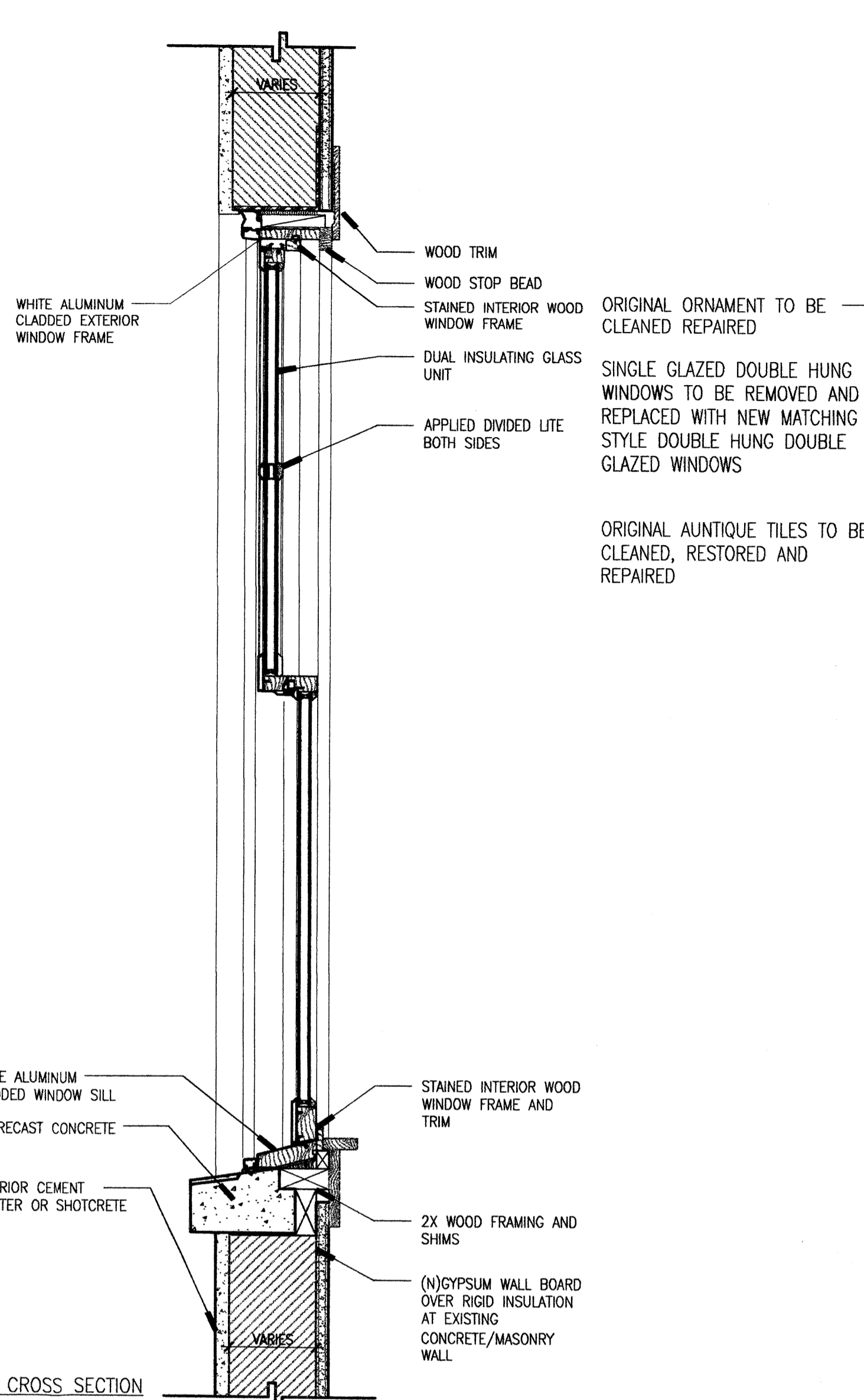
C: WINDOW ELEVATION TYPICAL



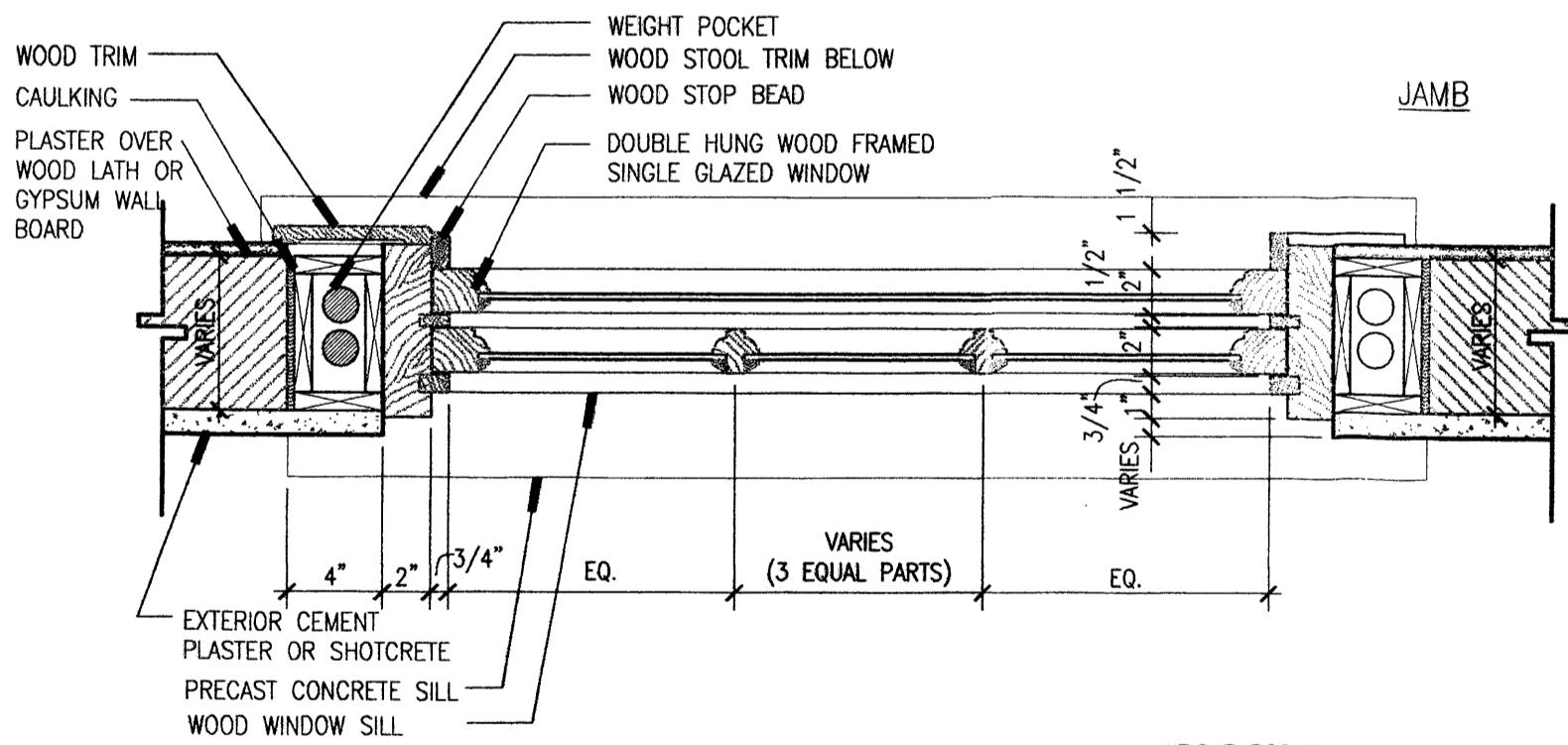
D: WINDOW VERTICAL CROSS SECTION



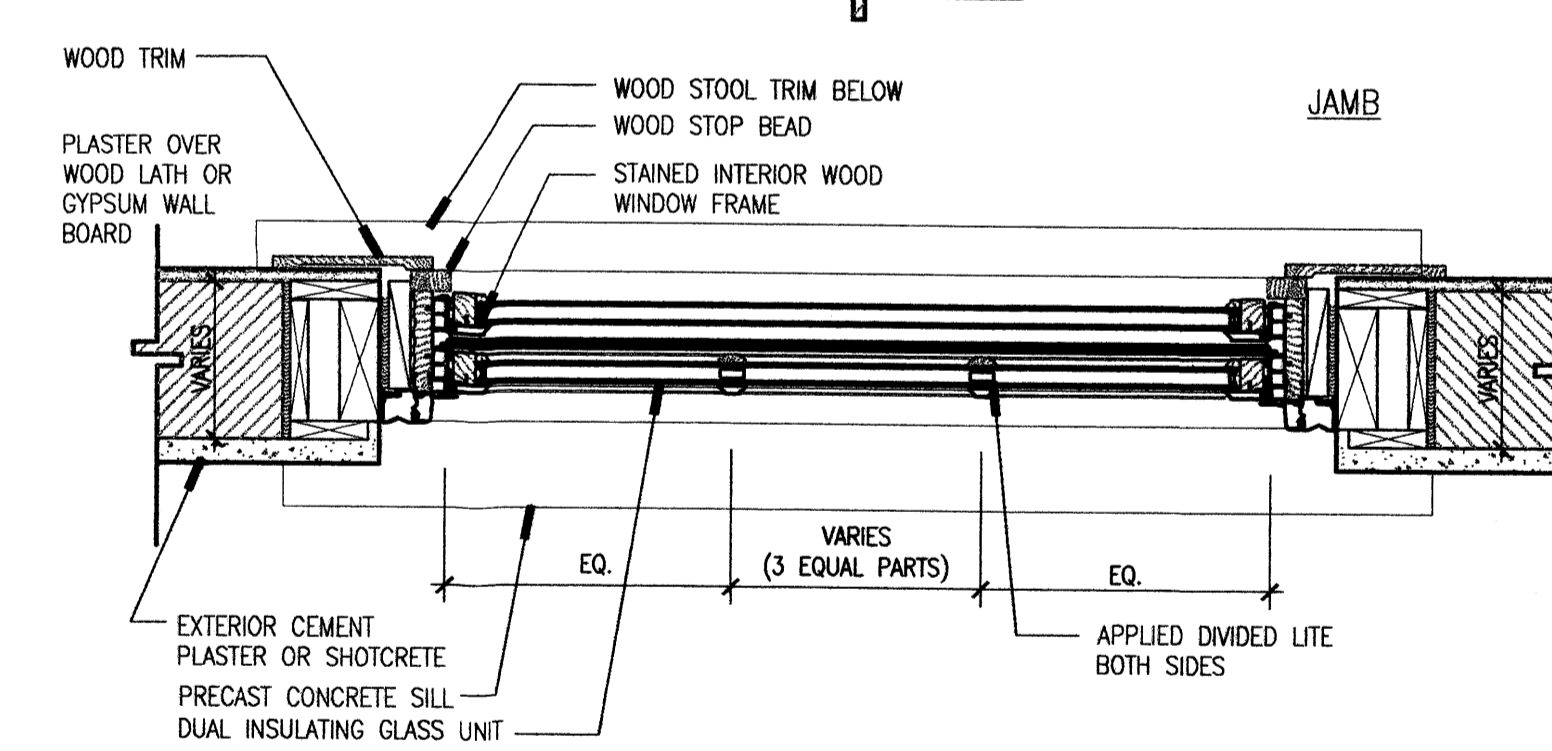
G: VERTICAL WINDOW CROSS SECTION REPLACEMENT TYPE



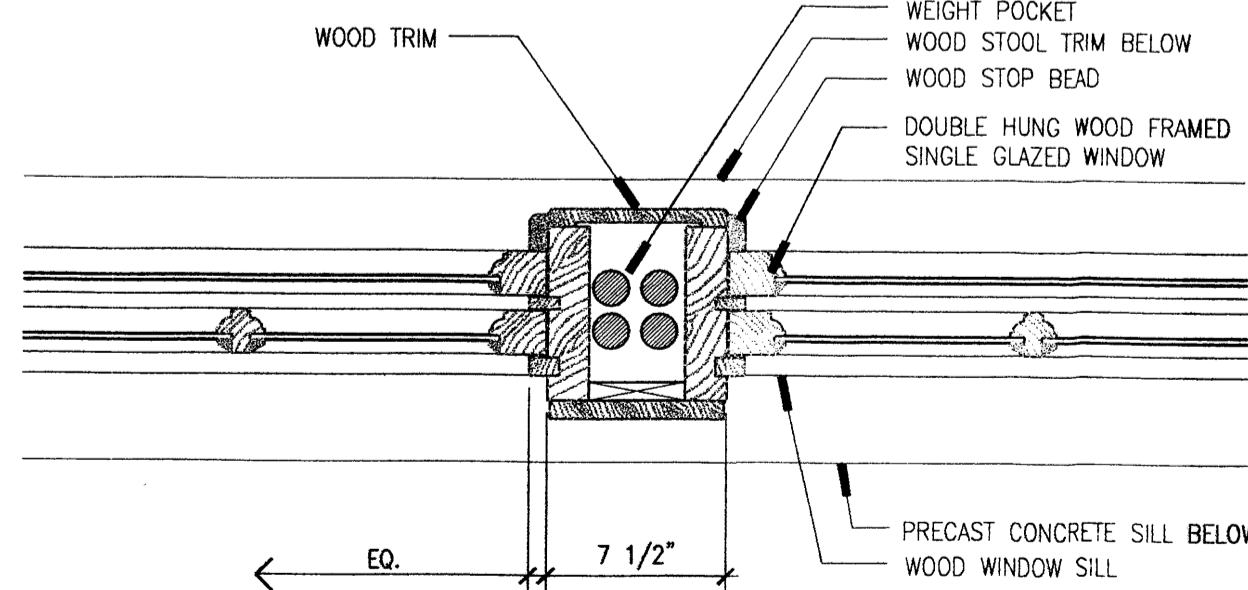
B: WINDOW HORIZONTAL CROSS SECTION



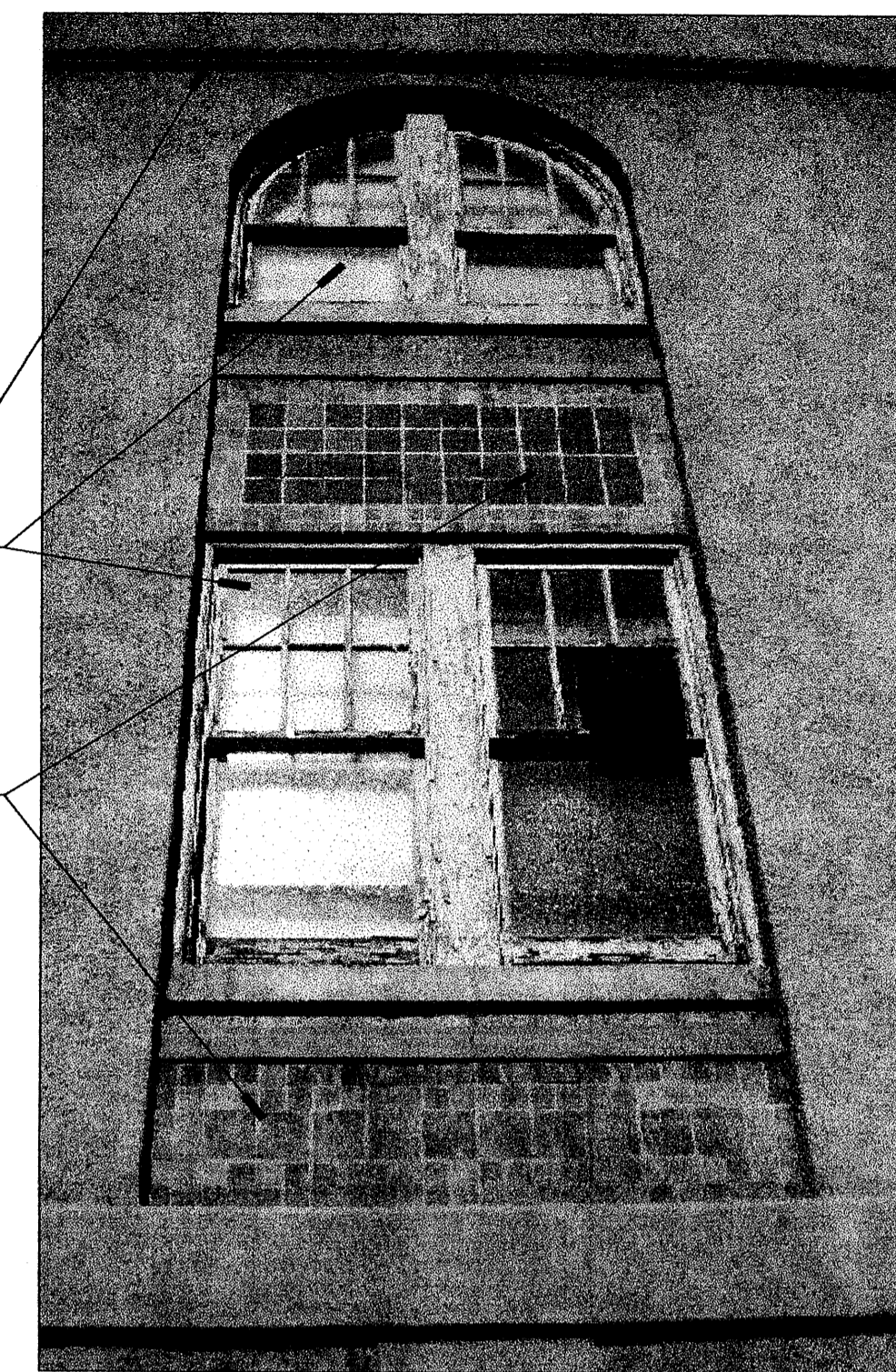
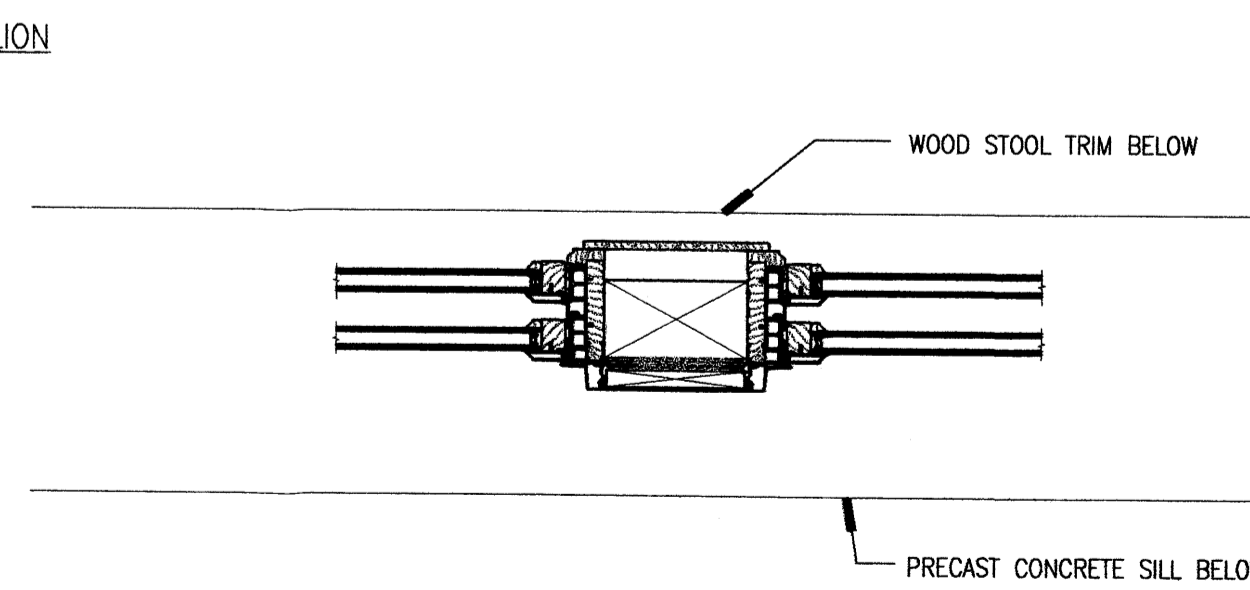
F: WINDOW HORIZONTAL CROSS SECTION



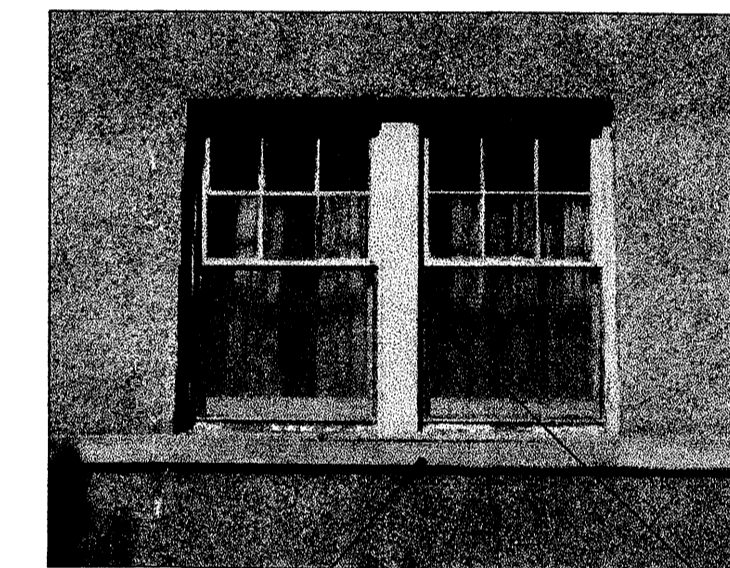
A: MULLION



E: MULLION



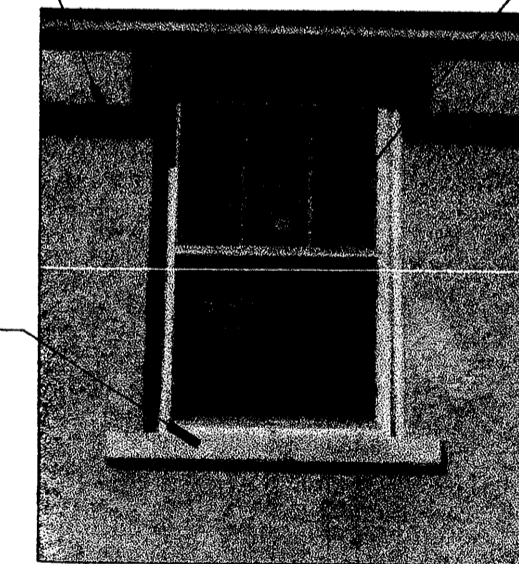
C4 WINDOW BAY TO BE RESTORED



ORIGINAL PRECAST CONCRETE HORIZONTAL MOULDING/SILL TO REMAIN

BRICK TO BE CLEANED AND REPAIRED

ORIGINAL PRECAST CONCRETE SILL TO REMAIN



B4 TYPICAL WINDOWS TO BE REPLACED

A1 EXISTING WINDOW CONSTRUCTION
1-1/2" = 1'-0"

A3 EXISTING WINDOW CONSTRUCTION
1-1/2" = 1'-0"

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ALBUQUERQUE, NM 87102

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| ISSUE: | | DRB SET |
| PROJECT NO: | | 0710 |
| CAD DWG FILE: | | Q710 A-601 |
| DRAWN BY: | | DSJ |
| CHECKED BY: | | |
| DATE: | | July 14, 2008 |

SHEET TITLE
TYPICAL WINDOW TYPE
& PHOTOS

sheet **A-602** of sheets

CONSULTANTS

Architect Engineer

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SUBMITTAL

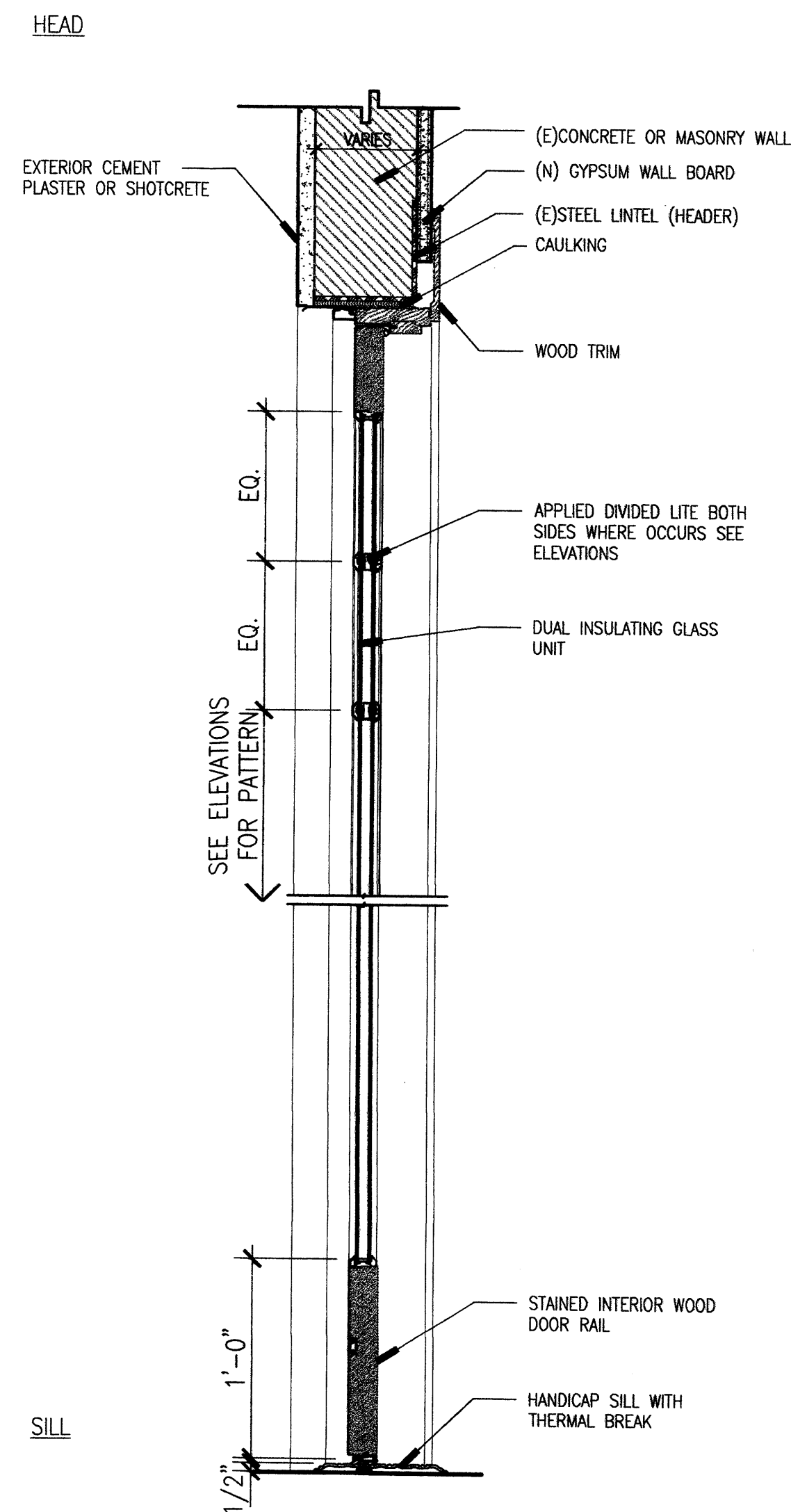
HOTEL PARQ
CENTRAL

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ALBUQUERQUE, NM 87102

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|---------------|----------|-------------------|
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| PROJECT NO: | | 0710 |
| CAD DWG FILE: | | Q710_A-603 |
| DRAWN BY: | | DSJ |
| CHECKED BY: | | |
| DATE: | | July 14, 2008 |

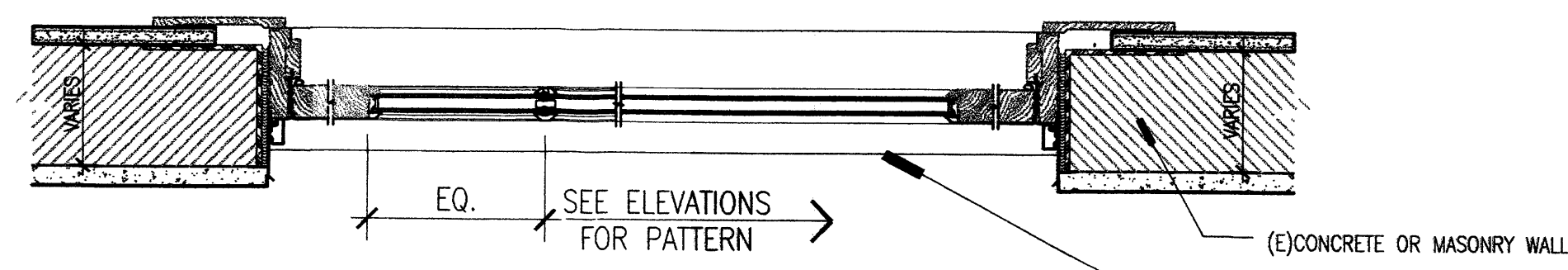
SHEET TITLE
TYPICAL DOOR TYPES
& PHOTOS

D: DOOR VERTICAL CROSS SECTION

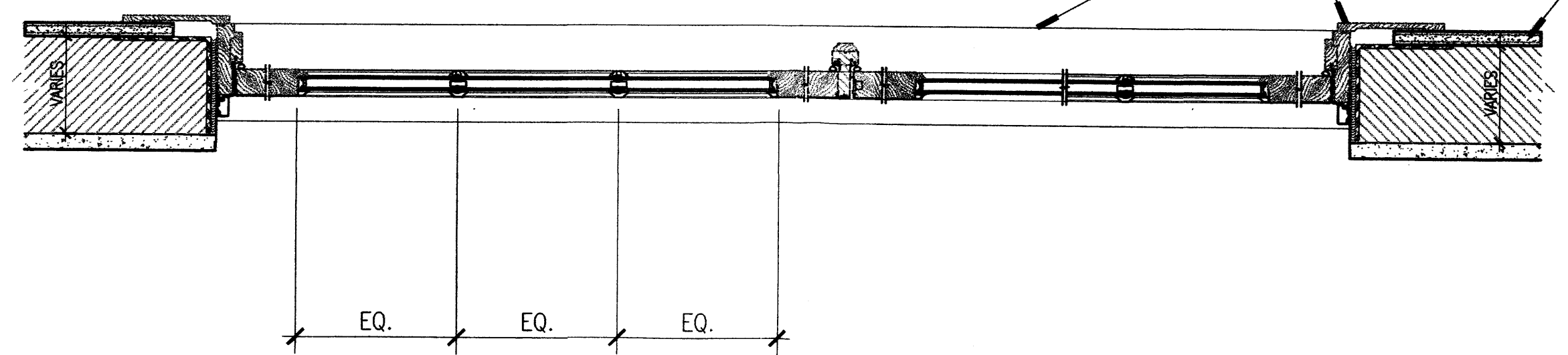


C3 PROPOSED DOOR DETAIL
1-1/2" = 1'-0"

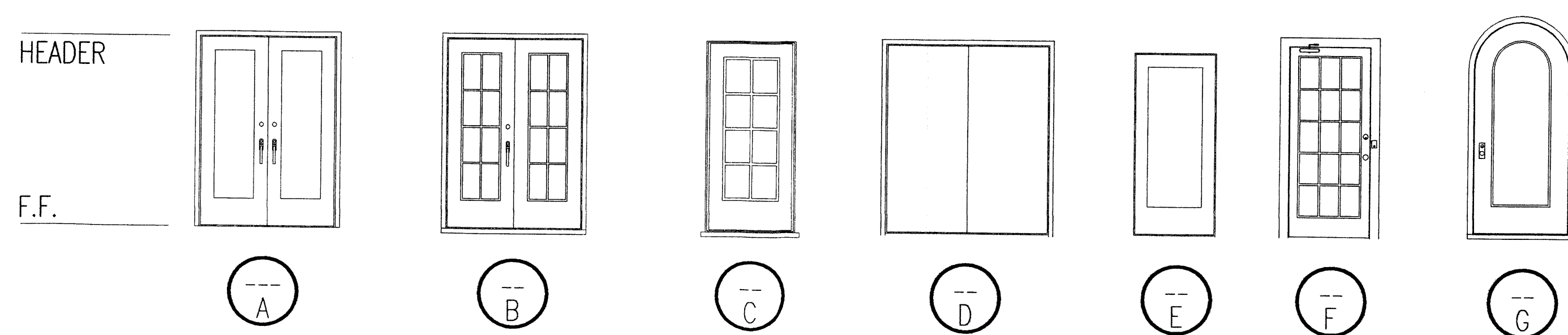
B: TYPICAL REPLACEMENT DOOR



A: OUTSWINGING FRENCH DOORS



B3 PROPOSED DOOR DETAILS
1-1/2" = 1'-0"



A1 DOOR TYPES
1/4" = 1'-0"

PRELIMINARY DRAINAGE PLAN FOR SITE PLAN APPROVAL

I. INTRODUCTION AND EXECUTIVE SUMMARY

THIS SITE IS LOCATED IN THE EASTERLY PORTION OF THE CITY OF ALBUQUERQUE DOWNTOWN AREA ALONG EAST CENTRAL AVENUE, JUST WEST OF I-25. THIS PROJECT WILL CONSIST OF THE REDEVELOPMENT AN EXISTING DEVELOPED SITE KNOWN AS MEMORIAL HOSPITAL. THIS DEVELOPMENT WILL MODIFY AN EXISTING DEVELOPED SITE THAT CONSISTS OF THREE BUILDINGS, PAVED PARKING AND NOW NEGLECTED LANDSCAPING. ONE OF THE EXISTING BUILDINGS WILL BE REMOVED. THE PAVED PARKING WILL BE REMOVED AND REPLACED WITH NEW PAVED PARKING, LANDSCAPING AND OUTDOOR PATIO AREAS. THE DRAINAGE CONCEPT FOR THIS SITE IS TO MAINTAIN THE EXISTING DRAINAGE PATTERNS OF DISCHARGING DEVELOPED RUNOFF TO THE ADJACENT CITY STREETS. WHEREVER POSSIBLE, DEVELOPED RUNOFF WILL BE DIRECTED TO EXISTING PUBLIC STORM DRAIN IMPROVEMENTS VIA DIRECT CONNECTION.

THIS DRAINAGE SUBMITTAL FOR A MODIFICATION TO AN EXISTING SITE WITHIN AN INFILL AREA IS MADE IN SUPPORT OF SITE PLAN APPROVAL AT THE EPC AND DRB.

II. PROJECT DESCRIPTION

THE SITE IS LOCATED ON THE SOUTH SIDE OF EAST CENTRAL AVENUE SE, AT THE SOUTHEAST CORNER OF THE INTERSECTION OF EAST CENTRAL AVENUE AND ELM STREET SE. THE EXISTING LEGAL DESCRIPTION IS TRACT A, MEMORIAL HOSPITAL COMPLEX. THE SITE IS CURRENTLY LOCATED IN PANEL 334 OF 825 OF THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAPS PUBLISHED BY FEMA FOR BERNALILLO COUNTY, NEW MEXICO. AS INDICATED BY THIS MAPPING, THE SITE DOES NOT LIE WITHIN A FEMA DESIGNATED FLOOD HAZARD ZONE. THE DEVELOPMENT PROPOSED WILL NOT INCREASE DOWNSTREAM FLOW AND WILL NOT ADVERSELY IMPACT DOWNSTREAM FLOW OR DOWNSTREAM PROPERTIES.

III. BACKGROUND DOCUMENTS

THE FOLLOWING ITEMS WERE REVIEWED IN THE PREPARATION OF THIS SUBMITTAL:

- A. TOPOGRAPHIC SURVEY OF THE EXISTING SITE PREPARED BY SURVEYS SOUTHWEST DATED AUGUST 08, 2007. THE SUBJECT SURVEY SHOWS THE EXISTING IMPROVEMENTS PRESENT ON THE SITE AS WELL AS EXISTING CONDITIONS.

IV. EXISTING CONDITIONS

THE SITE IS LOCATED ON THE SOUTH SIDE OF CENTRAL AVENUE SE JUST WEST OF I-25. AS SUCH, THE SITE LIES TOPOGRAPHICALLY LOWER THAN I-25 AND THE I-25 SOUTHBOUND ON-RAMP ALSO KNOWN AS LOCUST STREET SE. THE SITE CONSISTS OF THREE SEPARATE BUILDINGS WITH ADJACENT PAVED PARKING LOTS. THE EXISTING IMPROVEMENTS LIE TOPOGRAPHICALLY HIGHER THAN THE ADJACENT CITY STREETS. EAST CENTRAL AVENUE LIES TO THE NORTH, ELM STREET SE TO THE EAST AND GOLD AVENUE TO THE SOUTH. THE SITE PRESENTLY DRAINS FREELY, WITHOUT PONDING, TO THE ADJACENT CITY STREETS.

V. DEVELOPED CONDITIONS

THE PROJECT CONSISTS OF THE CONSTRUCTION OF THREE RELATIVELY SMALL CASITAS AT THE WEST EDGE OF THE PROPERTY. THE MAIN HOSPITAL BUILDING AND THE EXISTING BUILDING AT THE SOUTHWEST CORNER OF THE PROPERTY WILL BE RENOVATED. THE EXISTING BUILDING AT THE SOUTHEAST CORNER OF THE PROPERTY WILL BE DEMOLISHED. THE EXISTING PAVING WILL BE COMPLETELY REMOVED AND REPLACED WITH NEW PAVED PARKING LOTS AND LANDSCAPING. EXISTING GRADES WILL BE MATCHED AT THE PROPERTY LINES. THE EXISTING RETAINING WALL AT THE EAST EDGE OF THE PROPERTY WILL REMAIN. TWO MINOR RETAINING WALLS WILL BE ADDED: ONE AT THE NORTH EDGE OF THE SITE FRONTING EAST CENTRAL AVENUE TO MAINTAIN THE EXISTING GRADE CHANGE FROM THE STREET UP TO THE EXISTING BUILDING. THE MAXIMUM HEIGHT OF THIS PROPOSED WALL IS 3- FEET. THE SECOND NEW RETAINING WALL WILL LIE TO THE WEST OF THE CASITAS. THE MAXIMUM HEIGHT OF THIS RETAINING WALL IS 4- FEET.

THE FREE DISCHARGE OF RUNOFF TO THE ADJACENT PUBLIC RIGHT-OF-WAY IS TO BE MAINTAINED. THE EAST PARKING LOT AREA WILL COLLECT ITS RUNOFF ON THE PAVING AND DISCHARGE DIRECTLY TO AN EXISTING PUBLIC STORM INLET AT THE NORTHEAST CORNER OF THE SITE VIA SO #19 PROCESS. THE SOUTH PARKING LOT WILL DRAIN EITHER THROUGH NEW PRIVATE ENTRANCES OR A NEW 24-INCH SIDEWALK CULVERT (VIA SO #19) TO GOLD AVENUE SE. THE DRIVEWAY AND PARKING AT THE NORTHWEST CORNER OF THE SITE WILL DRAIN VIA NEW PRIVATE ENTRANCE TO ELM STREET SE.

AS A RESULT OF THESE IMPROVEMENTS, THERE WILL BE NO SIGNIFICANT CHANGE TO THE RUNOFF GENERATED BY THE WEST SITE.

VI. GRADING PLAN

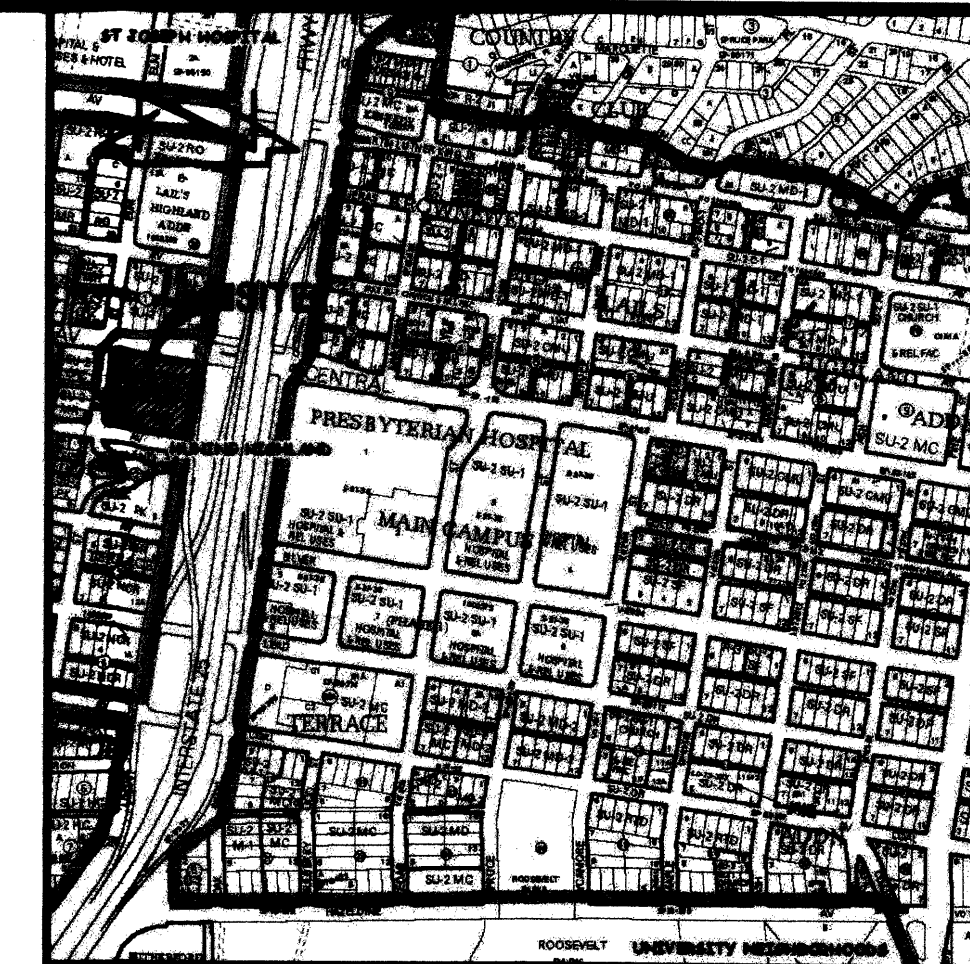
THE GRADING PLAN SHOWS: 1.) EXISTING GRADES INDICATED BY SPOT ELEVATIONS AND CONTOURS AT 1'-0" INTERVALS BASED THE TOPOGRAPHIC SURVEY PREPARED BY SURVEYS SOUTHWEST, DATED AUGUST 08, 2007, 2.) PROPOSED GRADES INDICATED BY SPOT ELEVATIONS AND CONTOURS AT 1'-0" INTERVALS, 3.) THE LIMIT AND CHARACTER OF THE EXISTING IMPROVEMENTS AS TAKEN FROM THE AFOREMENTIONED SURVEY, 4.) THE LIMIT AND CHARACTER OF THE PROPOSED IMPROVEMENTS, 5.) CONTINUITY BETWEEN EXISTING AND PROPOSED GRADES. AS SHOWN BY THIS PLAN, THE PROPOSED DEVELOPMENT WILL NOT ALTER THE GRADE AT THE PROPERTY LINE OF THIS ALREADY DEVELOPED SITE.

AT THE TIME OF CONSTRUCTION, AN EROSION CONTROL PLAN WILL BE PREPARED AND ATTACHED TO THE SEPARATE STORM WATER POLLUTION PREVENTION PLAN FOR THIS PROJECT.

VII. CONCLUSIONS

THE DRAINAGE CONCEPT SHOWN BY THE PLAN ABOVE ALLOWS FOR THE CONTINUED FREE DISCHARGE OF RUNOFF FROM THIS SITE INTO THE ADJACENT CITY STREETS:

- A. MODIFICATION TO AN EXISTING SITE WITHIN AN INFILL AREA
- B. THE SITE DOES NOT LIE WITHIN A FEMA DESIGNATED FLOOD HAZARD ZONE
- C. INSIGNIFICANT INCREASE/DECREASE IN RUNOFF VOLUME AND PEAK DISCHARGE
- D. NO PROPOSED GRADE CHANGE AT THE PROPERTY LINE/EDGE OF THE SITE
- E. NO ADVERSE IMPACT ON DOWNSTREAM CAPACITY OR DOWNSTREAM PROPERTIES
- F. THE EXISTING DRAINAGE PATTERNS (STATUS QUO) WILL NOT BE ALTERED AND HENCE MAINTAINED



VICINITY MAP
SCALE: 1"=750'



F.I.R.M.
SCALE: 1"=500'

LEGAL DESCRIPTION
TRACT A, MEMORIAL HOSPITAL COMPLEX
PROJECT BENCHMARK

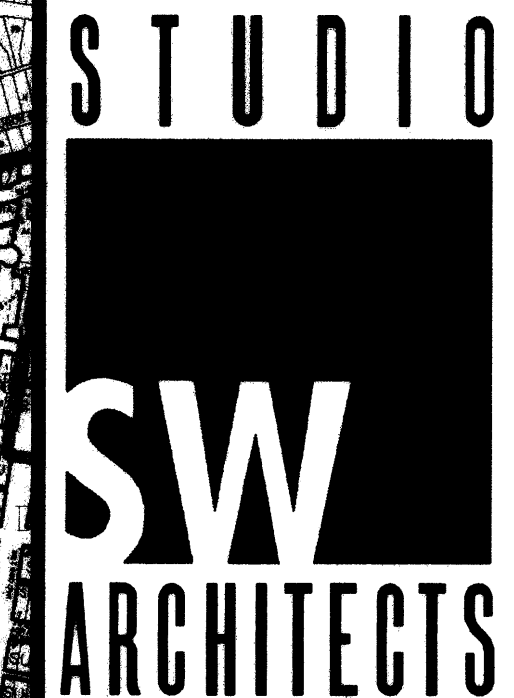
THE BASIS OF ELEVATIONS FOR THIS SURVEY IS ACS BENCHMARK 5-K158(R). THE PUBLISHED ELEVATION OF WHICH IS 5010.62. BENCHMARK IS LOCATED IN THE SIDEWALK AT THE SOUTHWEST QUADRANT OF THE INTERSECTION OF CENTRAL AVE. NE AND HIGH STREET SE.

LEGEND

- BC BACK OF CURB
- C.P. CONCRETE PAD
- F.F. FINISHED FLOOR
- FL FLOWLINE
- HGT HEIGHT
- MC MOTORCYCLE
- OHU OVERHEAD UTILITY
- RBR REBAR
- SW SIDEWALK
- TW TOP OF WALL
- WV WATER VALVE
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- PROPOSED CONCRETE
- PROPOSED ASPHALT
- PROPOSED TEXTURED ASPHALT
- PROPOSED FLOWLINE
- PROPOSED RETAINING WALL
- PROPOSED CONTOUR

EROSION CONTROL MEASURES:

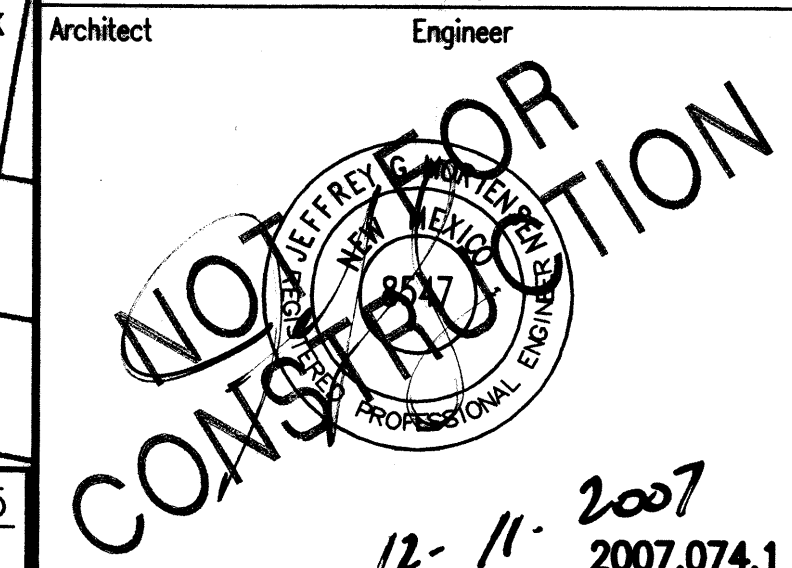
1. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY.
2. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
3. WHEN APPLICABLE, CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" FROM THE CITY AND/OR FILE A NOTICE OF INTENT (N.O.I.) WITH THE EPA PRIOR TO BEGINNING CONSTRUCTION.



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ALBUQUERQUE, NEW MEXICO 87109
PHONE: 505.345.4250 FAX: 505.345.4254
www.highmesacg.com



HOTEL PARQ CENTRAL
806 CENTRAL AVENUE SE
ALBUQUERQUE, NM 87102

| MARK | DATE | DESCRIPTION |
|---------------|-------------------|----------------|
| ▲ | 12/07 | ADD THIS SHEET |
| ISSUE: | LUCC & EPC | |
| PROJECT NO: | 0710 | |
| CAD DWG FILE: | C-101 | |
| DRAWN BY: | JLP | |
| CHECKED BY: | J.G.M. | |
| DATE: | DECEMBER 06, 2007 | |

SHEET TITLE
PRELIMINARY GRADING PLAN NARRATIVE

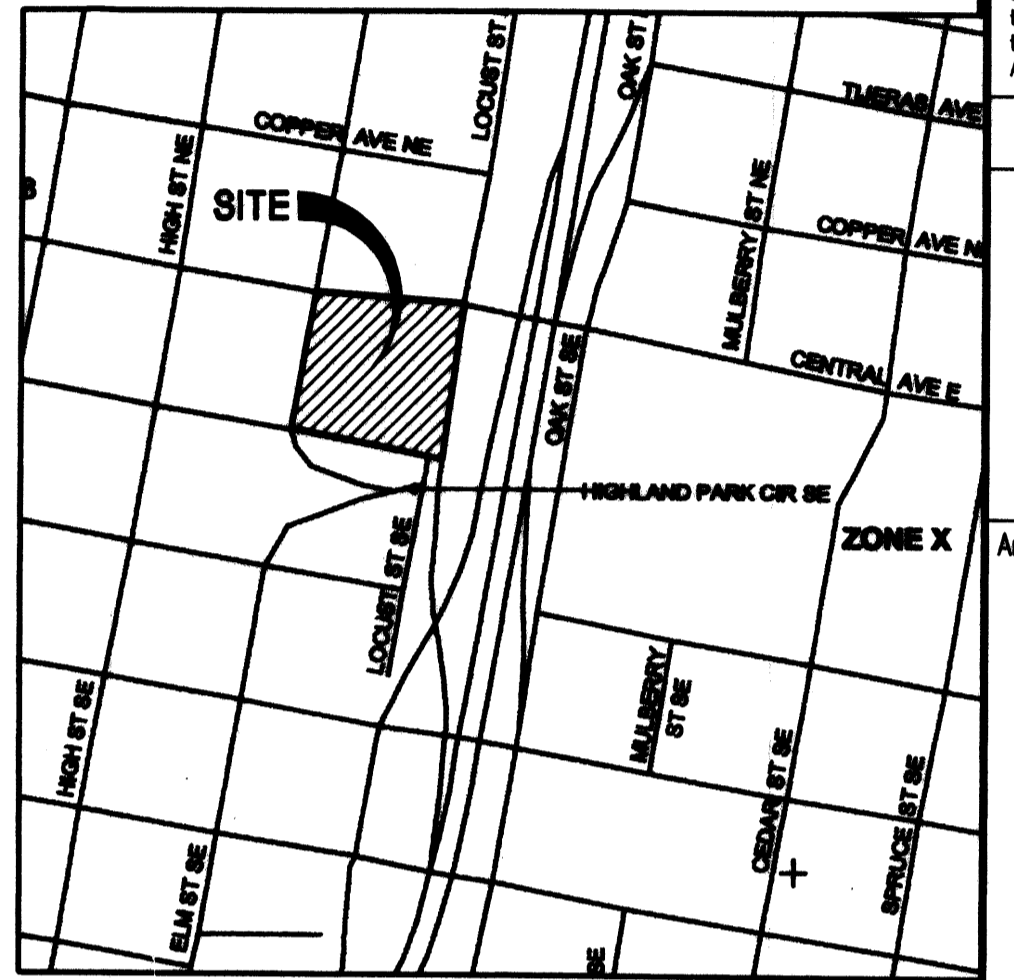
C-101A
sheet of sheets

A1 PRELIMINARY GRADING PLAN NARRATIVE

File Path: E:\WORK\A1\A1\A1.dwg
Plot Date: 12-11-2007
File Name: 70741A.DWG
Plot Time: 10:29 am



VICINITY MAP
SCALE: 1"=750'



F.I.R.M.

SCALE: 1"=500'

LEGAL DESCRIPTION

TRACT A, MEMORIAL HOSPITAL COMPLEX

PROJECT BENCHMARK

THE BASIS OF ELEVATIONS FOR THIS SURVEY IS ACS BENCHMARK 5-K15(R). THE PUBLISHED ELEVATION OF WHICH IS 5010.62. BENCHMARK IS LOCATED IN THE SIDEWALK AT THE SOUTHWEST QUADRANT OF THE INTERSECTION OF CENTRAL AVE. NE AND HIGH STREET SE.

LEGEND

- BC BACK OF CURB
- C.P. CONCRETE PAD
- F.F. FINISHED FLOOR
- FL FLOWLINE
- HGT HEIGHT
- MC MOTORCYCLE
- OHU OVERHEAD UTILITY
- RBR REBAR
- SW SIDEWALK
- TW TOP OF WALL
- TW WATER VALVE
- EXISTING SPOT ELEVATION
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CURVE TABLE

| CURVE | LENGTH | RADIUS | BEARING | CHORD | CHORD BEARING |
|-------|--------|--------|-----------|--------|---------------|
| C-1 | 23.67' | 15.00' | 90°23'40" | 21.29' | N35°52'04"W |
| C-2 | 23.44' | 15.00' | 89°31'21" | 21.12' | N54°05'27"E |
| C-3 | 23.11' | 15.00' | 88°18'35" | 20.89' | S37°00'35"E |

UTILITY INFORMATION SHOWN HEREON PER FIELD INSPECTION AND THE CITY OF ALBUQUERQUE UTILITY RECORDS. ACTUAL LOCATION SHOULD BE VERIFIED BEFORE BEGINNING CONSTRUCTION AND ANY DISCREPANCIES REPORTED.

NOTE:

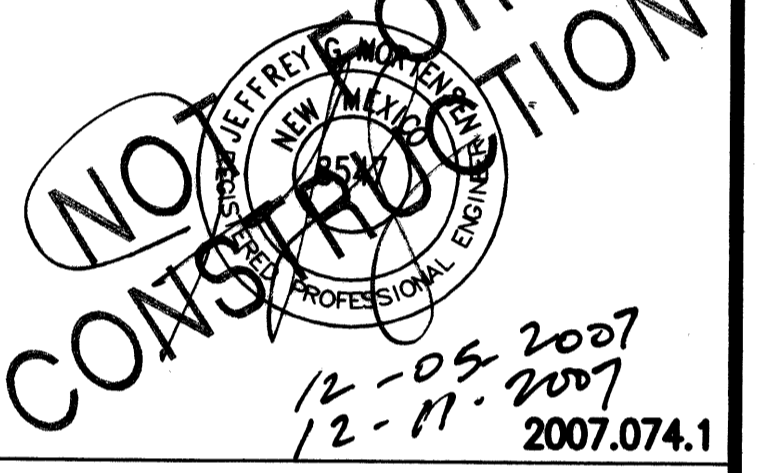
THIS IS NOT A BOUNDARY SURVEY; DATA IS SHOWN FOR ORIENTATION ONLY. THE BOUNDARY INFORMATION DEPICTED BY THIS PLAN IS BASED UPON ALTA/ACSM LAND TITLE SURVEY BY SURVEYS SOUTHWEST, LTD. (NMPS 8686) DATED FEBRUARY 12, 2003 AND REVISED APRIL 01, 2003. THE TOPOGRAPHIC INFORMATION DEPICTED HEREON IS BASED UPON TOPOGRAPHIC EXHIBIT BY SURVEYS SOUTHWEST, LTD. (NMPS 11224), DATED AUGUST 08, 2007.

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Architect

Engineer



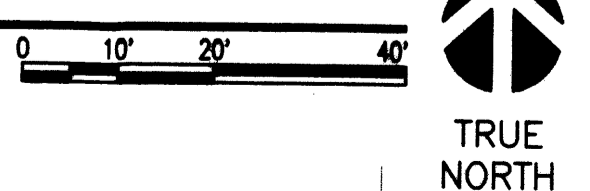
HOTEL PARQ CENTRAL

806 CENTRAL AVENUE SE
ALBUQUERQUE, NM 87102

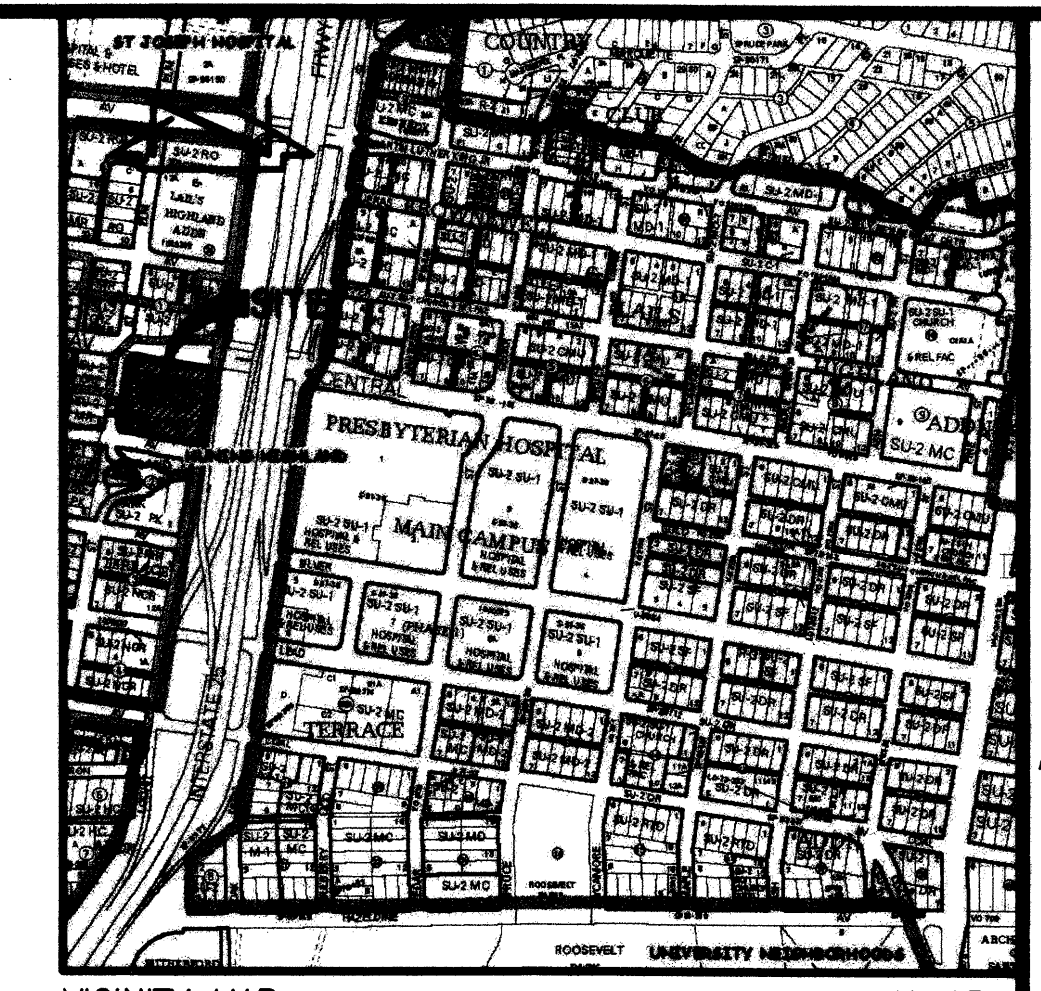
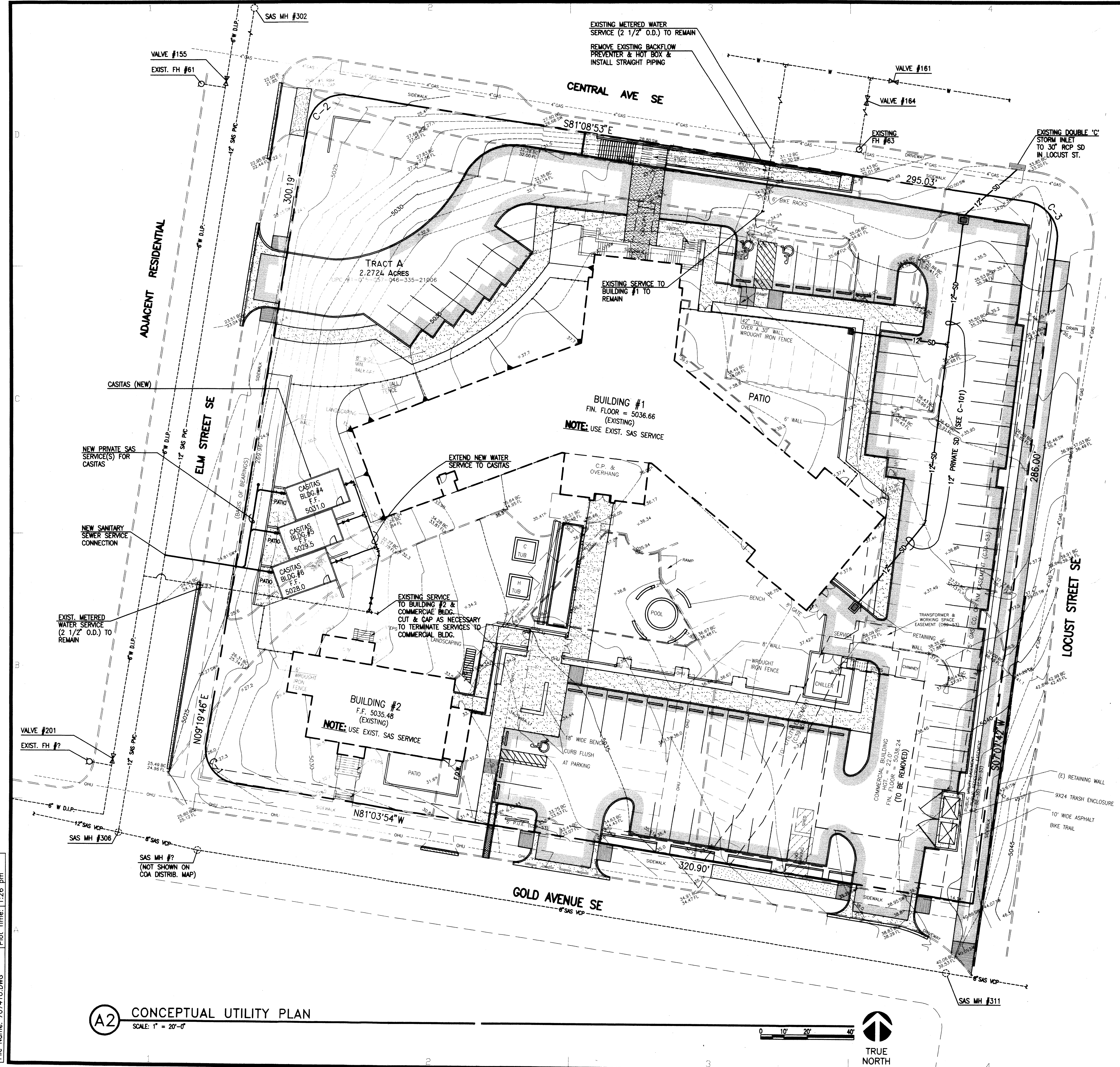
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|---------------|-------------------|-------------|
| ISSUE: | DATE | DESCRIPTION |
| ISSUE: | DATE | LUCC & EPC |
| PROJECT NO: | 0710 | |
| CAD DWG FILE: | C-101 | |
| DRAWN BY: | JLP | |
| CHECKED BY: | J.G.M. | |
| DATE: | DECEMBER 06, 2007 | |

PRELIMINARY GRADING PLAN

A1 PRELIMINARY GRADING PLAN
SCALE: 1" = 20'-0"



File Path: E:\WORK\A10701\A10701.dwg
Plot Date: 12-11-2007
File Name: 70741GR1.DWG
Plot Time: 08:10 am



VICINITY MAP
SCALE: 1" = 750'

CONCEPTUAL UTILITY PLAN
K-15

THIS PROJECT CONSISTS PRIMARILY OF RENOVATING AN EXISTING DEVELOPED SITE. INASMUCH, EXISTING WATER AND SANITARY SEWER SERVICES WILL BE RETAINED. THE CASITAS WILL REQUIRE A NEW SANITARY SEWER SERVICE CONNECTION IN ELM STREET SE. PRELIMINARY REVIEW BY THE CITY FIRE MARSHALS OFFICE (PLAN CHECK) INDICATES THAT TWO (2) FIRE HYDRANTS ARE REQUIRED. THE SITE IS CURRENTLY SERVED BY THREE (3) FIRE HYDRANTS, THEREFORE NO ADDITIONAL FIRE HYDRANTS ARE BEING REQUIRED. PUBLIC ELECTRIC, COMMUNICATIONS AND GAS SERVICE ARE AVAILABLE TO THIS SITE BASED UPON IT BEING AN EXISTING DEVELOPED SITE WITHIN A FULLY-DEVELOPED INFILL AREA.

- THE CONCEPTUAL UTILITY PLAN SHOWS THE FOLLOWING:
1. EXISTING UTILITIES AS DEPICTED BY THE SURVEY REFERENCED BELOW
 2. PIPE SIZES AND MATERIALS AS NOTED BY THE CITY OF ALBUQUERQUE WATER, SANITARY SEWER AND STORM DRAINAGE DISTRIBUTION MAPS (PLATE K-15)
 3. METERED WATER SERVICE SIZES AS DETERMINED BY SITE INSPECTION BY THE ENGINEER ON 12-01-2007
 4. FIRE HYDRANT LOCATIONS AS CONFIRMED BY SITE INSPECTION BY THE ENGINEER ON 12-01-2007

LEGAL DESCRIPTION
TRACT A, MEMORIAL HOSPITAL COMPLEX

PROJECT BENCHMARK
THE BASIS OF ELEVATIONS FOR THIS SURVEY IS ACS BENCHMARK 5-K15819). THE PUBLISHED ELEVATION OF WHICH IS 5010.62. BENCHMARK IS LOCATED IN THE SIDEWALK AT THE SOUTHWEST QUADRANT OF THE INTERSECTION OF CENTRAL AVE. NE AND HIGH STREET SE.

LEGEND

| | |
|----------|---------------------------|
| BC | BACK OF CURB |
| C.P. | CONCRETE PAD |
| F.F. | FINISHED FLOOR |
| FL | FLOWLINE |
| HGT | HEIGHT |
| MC | MOTORCYCLE |
| OHU | OVERHEAD UTILITY |
| RBR | REBAR |
| SW | SIDEWALK |
| TW | TOP OF WALL |
| WV | WATER VALVE |
| 23.8 | EXISTING SPOT ELEVATION |
| 23.8 | PROPOSED SPOT ELEVATION |
| [Symbol] | PROPOSED CONCRETE |
| [Symbol] | PROPOSED ASPHALT |
| [Symbol] | PROPOSED TEXTURED ASPHALT |
| [Symbol] | PROPOSED FLOWLINE |
| [Symbol] | PROPOSED RETAINING WALL |

CURVE TABLE

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CITY OF ALBUQUERQUE
 LANDMARKS AND URBAN
 CONSERVATION COMMISSION
 HUNING HIGHLAND HISTORIC
 OVERLAY ZONE

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Architect
 Engineer
 NOT FOR CONSTRUCTION
 12-09-2007
 2007.074.1

HOTEL PARQ CENTRAL
 806 CENTRAL AVENUE SE
 ALBUQUERQUE, NM 87102

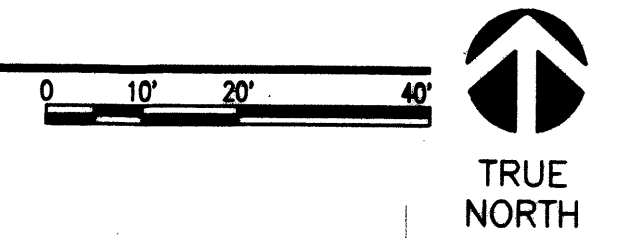
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| PROJECT NO: | | 0710 |
| CAD DWG FILE: | | C-102 |
| DRAWN BY: | | JLP |
| CHECKED BY: | | J.G.M. |
| DATE: | | DECEMBER 06, 2007 |

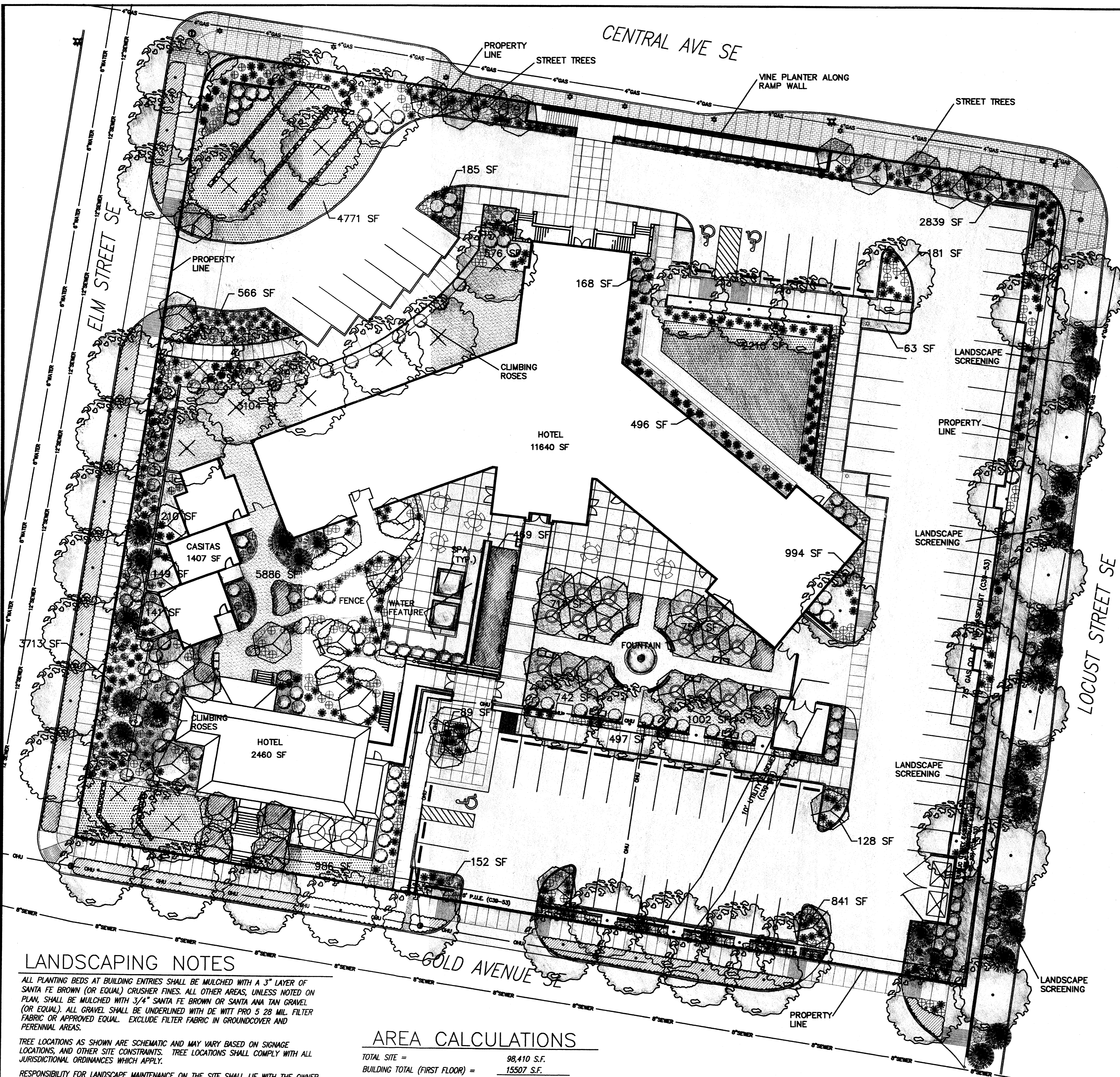
SHEET TITLE
CONCEPTUAL UTILITY PLAN

C-102
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Plot Date: 12-04-2007
 File Path: E:\MIDWAY\HOTEL\DWG
 File Name: 70741.DWG
 Plot Time: 1:26 pm

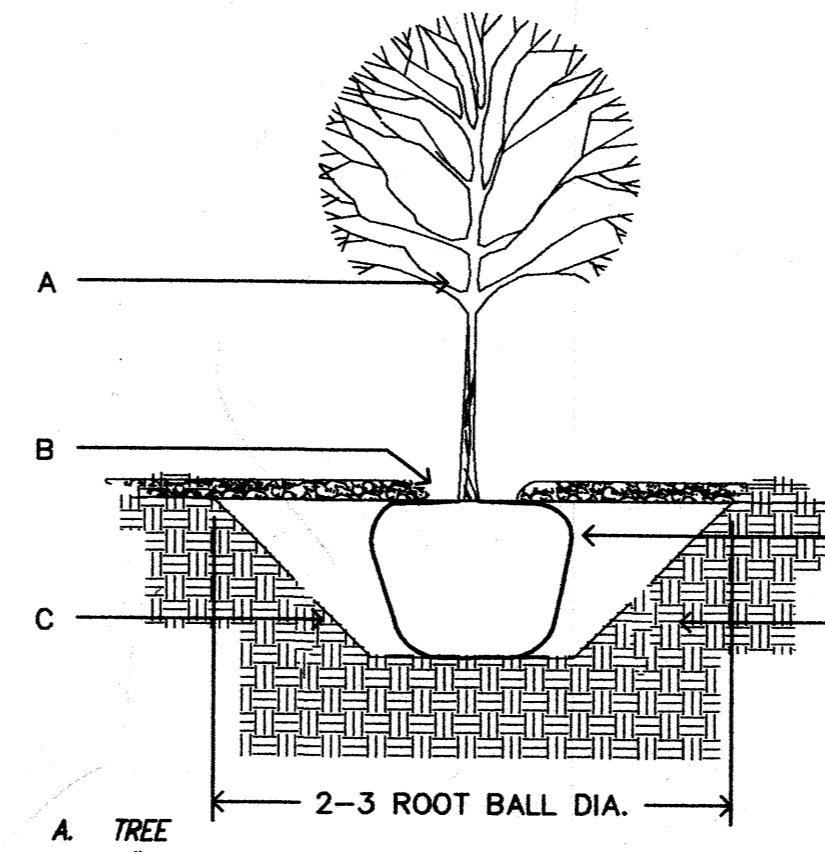
A2 CONCEPTUAL UTILITY PLAN
 SCALE: 1" = 20'-0"





PLANT LIST

| TREES | SIZE | QUANTITY |
|---|------------------------|----------|
| LARGE SHADE TREES: LACEBARK ELM, ARIZONA ASH | 4'-6" cal., 36" BOX | 14 |
| LARGE SHADE TREES: LACEBARK ELM, ARIZONA ASH | 2'-3" cal., 24" BOX | 43 |
| SMALL AND ORNAMENTAL TREES: RUSSIAN HAWTHORN, REDBUD, DESERT WILLOW, PURPLE SMOKETREE, ORNAMENTAL PEAR, ORNAMENTAL CRABAPPLE, PAGODA TREE, CHASTE TREE | 2'-3" cal., 24" BOX | 54 |
| EVERGREENS | | |
| UPRIGHT CONIFER: LIMBER PINE, SOUTHWEST WHITE PINE, BLUE ATLAS CEDAR, UPRIGHT JUNIPER, SHRUB LIVE OAK | 8'-10' ht, 8&B | 28 |
| SHRUBS | | |
| LARGE SHRUBS: ARIZONA ROSEWOOD, NEW MEXICO OLIVE, THREELEAF SUMAC, APACHE PLUME, LITTLELEAF SUMAC, WINTER JASMINE, CORAL HONEYSUCKLE, BRIDAL WREATH SPIREA, HEAVENLY BAMBOO, MUÑOZ PINE, BUTTERFLY BUSH, DESERT BROOM, CURLEAF MOUNTAIN MAHOGANY, BEARGRASS, PRICKLY PEAR, CLIMBING ROSES: RED BLAZE, AUSTRIAN COPPER | 5 gal | 138 |
| SMALL SHRUBS: COMPACT MAHONIA, LAVENDER, ROSEMARY, RAINSGAGE, ARTEMISIA SPECIES, GENISTA, SALVIA SPECIES, GOPHER PLANT, MANZANITA, FERNBUSH, GOLDEN CURRENT, AGAVE | 1 gal | 422 |
| ORNAMENTAL GRASSES: DEER GRASS, BLUE FESCUE, BLUE AVENA GRASS, RAVENNA GRASS, MISCANTHUS SPECIES, MUHLY GRASS SPECIES, BLUE GRAMA GRASS | 1 gal | 371 |
| PERENNIALS: PENSTEMON, VERBENA, IRIS, TULIP, ALLIUM, HAREBELLS, SEDUM SPECIES, SPURGE, HENS AND CHICKS, YARROW, GAURA, SPEEDWELL, ICEPLANT | 1 gal | |
| GROUNDCOVERS: MANZANITA, JUNIPER SPECIES, ENGLISH IVY, CREEPING MAHONIA, GERMANDER, ROSEMARY | 1 gal, 3' O.C. | 536 |
| GROUNDCOVERS | | |
| TURF | GRAVEL | |
| CRUSHER FINES | COBBLE | |



- KEEP SOIL BELOW ROOT BALL UNDISTURBED TO PREVENT TREE FROM SETTLING.
- REMOVE ANY EXCESS SOIL FROM TOP OF ROOTBALL TO EXPOSE ROOT FLARE (WHERE TOP MOST ROOT EMERGES FROM THE TRUNK). PLANT WITH ROOT FLARE LEVEL AT FINISH GRADE (OR 1'-2" HIGHER IN SLOWLY DRAINING SOIL).
- TAMP SOIL FIRMLY AROUND BASE OF ROOTBALL WITH FOOT PRESSURE.
- PRIOR TO BACKFILLING, REMOVE BURLAP, ROPE, TWINE, AND WIRE FROM TOP HALF OF ROOTBALL AND FROM PLANTING HOLE, CUT ANY ROOTS THAT ARE CIRCLING THE CONTAINER.
- AT TIME OF PLANTING, ONLY PRUNE CO-DOMINANT LEADERS (DOES NOT APPLY TO NATIVE OR MULTI-TRUNK SPECIMENS), CROSSOVER LIMBS, AND DEAD OR BROKEN BRANCHES.
- STAKE TREES ONLY IF TREE CANNOT STAND ALONE AND WITH APPROVAL OF THE LANDSCAPE ARCHITECT.
- DO NOT ALLOW MULCH IN CONTACT WITH TREE TRUNK, KEEP AT LEAST 4" AWAY FROM TRUNK.
- WHEN DONE, THOROUGHLY WATER TO ELIMINATE AIR POCKETS.

TREE PLANTING

NOT TO SCALE

LANDSCAPING NOTES

ALL PLANTING BEDS AT BUILDING ENTRIES SHALL BE MULCHED WITH A 3" LAYER OF SANTA FE BROWN (OR EQUAL) CRUSHER FINES. ALL OTHER AREAS, UNLESS NOTED ON PLAN, SHALL BE MULCHED WITH 3/4" SANTA FE BROWN OR SANTA ANA TAN GRAVEL (OR EQUAL). ALL GRAVEL SHALL BE UNDERLINED WITH DE WITT PRO 5 28 MIL FILTER FABRIC OR APPROVED EQUAL. EXCLUDE FILTER FABRIC IN GROUNDCOVER AND PERENNIAL AREAS.

TREE LOCATIONS AS SHOWN ARE SCHEMATIC AND MAY VARY BASED ON SIGNAGE LOCATIONS, AND OTHER SITE CONSTRAINTS. TREE LOCATIONS SHALL COMPLY WITH ALL JURISDICTIONAL ORDINANCES WHICH APPLY.

RESPONSIBILITY FOR LANDSCAPE MAINTENANCE ON THE SITE SHALL LIE WITH THE OWNER.

AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM IS TO BE DESIGNED AND CONSTRUCTED FOR ALL INSTALLED PLANT MATERIALS. TURF GRASS AREAS WILL BE SPRAY IRRIGATED, TREES WILL BE IRRIGATED WITH A LOW FLOW BUBBLER SYSTEM, AND SHRUBS AND GROUND COVERS WILL BE IRRIGATED WITH A DRIP EMITTER SYSTEM.

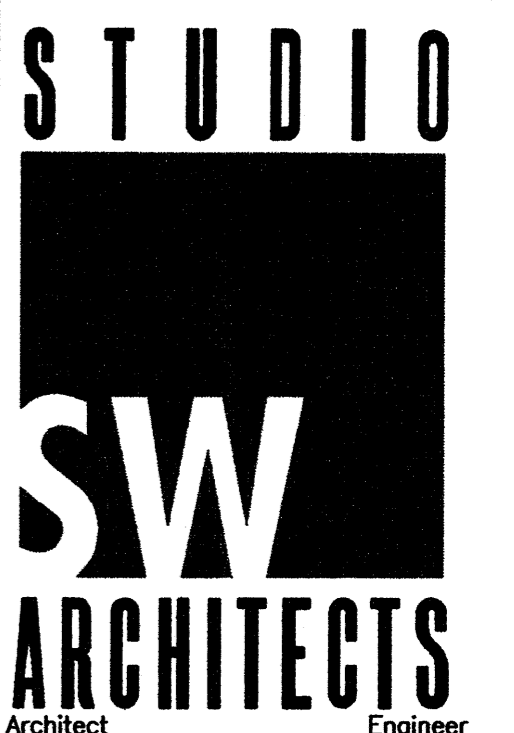
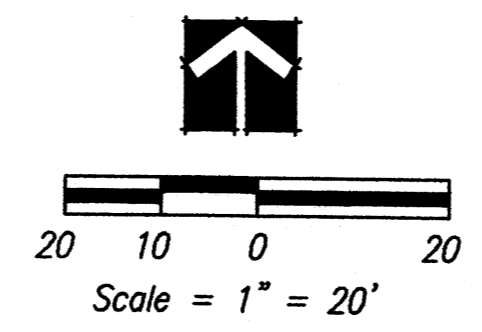
AT MATURITY, PLANTS WILL PROVIDE MINIMUM COVERAGE OF 75% OF THE LANDSCAPE AREA.

LANDSCAPE PLAN WILL MEET THE REQUIREMENTS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE C ORD 18-1995.

SITES SOUTHWEST CONFED WITH THE CITY OF ALBUQUERQUE URBAN FORESTER AND DETERMINED THAT MOST OF THE TREES EXISTANT ON SITE, ESPECIALLY ELMS, WERE NOT SUSTAINABLE AND WILL BE REPLACED. THOSE THAT ARE DETERMINED TO BE SUSTAINABLE WILL BE SAVED IF POSSIBLE GIVEN SITE GRADING CONSTRAINTS.

AREA CALCULATIONS

| | |
|---|-------------|
| TOTAL SITE = | 98,410 S.F. |
| BUILDING TOTAL (FIRST FLOOR) = | 15,507 S.F. |
| NET SITE AREA = | 82,903 S.F. |
| LANDSCAPE AREA REQUIRED = | 12,435 S.F. |
| LANDSCAPE AREA REQUIRED AS PERCENT OF NET SITE AREA = | 15% |
| LANDSCAPE AREA PROVIDED = | 32,628 S.F. |
| LANDSCAPE AREA AS PERCENT OF NET SITE AREA = | 39% |
| TURF AREA PROVIDED = | 5,841 S.F. |
| TURF AREA AS PERCENT OF LANDSCAPE AREA = | 17% |



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CONSULTANTS

Architect Engineer

EPC & LUCC
SUBMITTAL

HOTEL PARQ CENTRAL

806 CENTRAL AVE. SE
ALBUQUERQUE, NM 87102

| MARK | DATE | DESCRIPTION |
|---------------|------|-------------------|
| ISSUE: | | LUCC & EPC |
| PROJECT NO: | | 0710 |
| CAD DWG FILE: | | |
| DRAWN BY: | | |
| CHECKED BY: | | |
| DATE: | | DECEMBER 14, 2007 |

SHEET TITLE

LANDSCAPE PLAN

CITY OF ALBUQUERQUE
LANDMARKS AND URBAN
CONSERVATION COMMISSION
HUNING HIGHLAND HISTORIC
OVERLAY ZONE

