

PLAT OF
TRACT A, HOTEL PARQ CENTRAL

ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
SEPTEMBER, 2009

MEMORIAL VENTURES L.L.C.
OWNER
PROJECTED
SEC. 21, T 10 N, R 3 E, N.M.P.M.
LOCATION
HOTEL PARQ CENTRAL
SUBDIVISION

DOC# 2009128907
11/23/2009 02:37 PM Page: 1 of 3
tyPLAT R: \$17.00 B: 2009C P: 0169 H: Tulous Olivares, Bernalillo Cour

COUNTY CLERK FILING DATA

DRB PROJECT NUMBER 1006976
APPLICATION NUMBER 09DRB-70294, 09DRB-70295

DESCRIPTION

Tract A, Memorial Hospital Complex, Albuquerque, New Mexico, as the same is shown and designated on the plat filed in the Office of the County Clerk of Bernalillo County, New Mexico on May 22, 1989, Book C39, Page 53.

APPROVALS:

- Jack Clark* 11-17-09
DRB CHAIRPERSON, PLANNING DEPARTMENT, CITY OF ALBUQUERQUE, NEW MEXICO DATE
- Roger A. Heen* 10-14-09
ABCWUA DATE
- Bradley D. Bingham* 10/14/09
CITY ENGINEER, CITY OF ALBUQUERQUE, NEW MEXICO DATE
- Bradley D. Bingham* 10/14/09
A.M.A.F.C.A. DATE
- JLS* 10/14/09
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION, CITY OF ALBUQUERQUE, NEW MEXICO DATE
- Christina Sandoral* 10/14/09
PARKS AND RECREATION DEPARTMENT, CITY OF ALBUQUERQUE, NEW MEXICO DATE
- W. B. Hart* 9-29-09
CITY SURVEYOR, CITY OF ALBUQUERQUE, NEW MEXICO DATE
- N/A
REAL PROPERTY DIVISION, CITY OF ALBUQUERQUE, NEW MEXICO DATE
- Josmaria Vial* 10-13-2009
PUBLIC SERVICE COMPANY OF NEW MEXICO DATE
- Daniel D. Dilil* 10/8/09
QWEST TELECOMMUNICATIONS DATE
- Jim A. R...* 10/13/2009
NEW MEXICO GAS COMPANY DATE
- Robert Mauton* 10-13-09
COMCAST CABLE VISION OF NEW MEXICO, INC. DATE

VICINITY MAP

K-15

SCALE: 1" = 750'

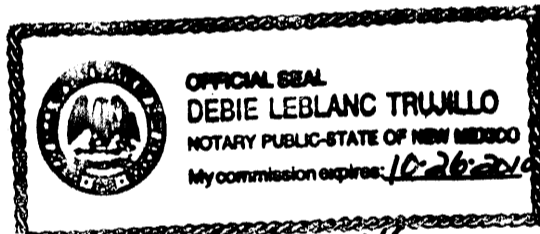
DEDICATION AND FREE CONSENT

The subdivision hereon is with the free consent and in accordance with the desires of the undersigned owner and does hereby dedicate to the City of Albuquerque in fee simple with warranty covenants the public bike trail right-of-way and grant the easement as shown, including the rights of ingress and egress and the right to trim interfering trees. I hereby warrant that I hold complete and infeasible title in fee simple to the land subdivided, hereon.

David Oberstein 09/29/09
David Oberstein, Manager
Memorial Ventures L.L.C. Date

ACKNOWLEDGMENT

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) SS

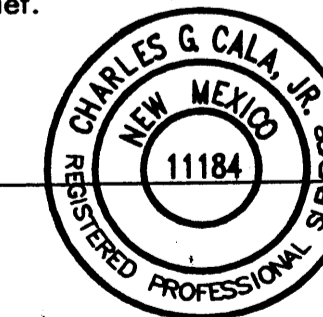


This instrument was acknowledged before me on this 29th day of September, 2009, by David Oberstein, Manager, Memorial Ventures L.L.C.
Debbe LeBlanc Trujillo
Notary Public

SURVEYORS CERTIFICATION

I, Charles G. Cala, Jr., New Mexico Professional Surveyor No. 11184, do hereby certify; that this Plat and the actual survey on the ground upon which it is based were performed by me or under my direct supervision; that the survey shows all easements made known to me by this owner, utility companies, or other parties expressing an interest; that this survey complies with the minimum requirements for Monumentation and Surveys of the Albuquerque Subdivision Ordinance; that this survey meets the Minimum Standards for Surveying in New Mexico, and that it is true and correct to the best of my knowledge and belief.

Charles G. Cala, Jr.
Charles G. Cala, Jr., NMP# 11184



9-29-2009
Date

PAID TO CERTAIN TAXES ARE CURRENT AND
THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND
PAID ON UPC # 1015-057-046335-212-06
PROPERTY OWNER OF RECORD: MEMORIAL VENTURES L.L.C.
Heather Stone
COUNTY TREASURER'S OFFICE

HIGH MESA Consulting Group

6010-B MIDWAY PARK BLVD. NE • ALBUQUERQUE, NEW MEXICO 87109
PHONE: 505.346.4250 • FAX: 505.346.4254 • www.highmesacg.com
JOB #2007.074.5 PLATBASE

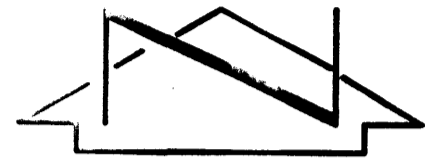
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SEPTEMBER, 2009

DOCH 2009128907
11/23/2009 02:37 PM Page: 3 of 3
PLAT R: \$17.00 B: 2009C P: 0169 M: Toulouse Olivere, Bernalillo Cour

NEW MEXICO CENTRAL ZONE-NAD 83
A.G.R.S. STA. "S_K15BR"
X=1,523,768.861
Y=1,485,713.773
COMBINED FACTOR=0.999679809
DELTA ALPHA=-00°13'26.78"
ELEVATION=5010.623' (NAVD 88)



SCALE: 1" = 30'



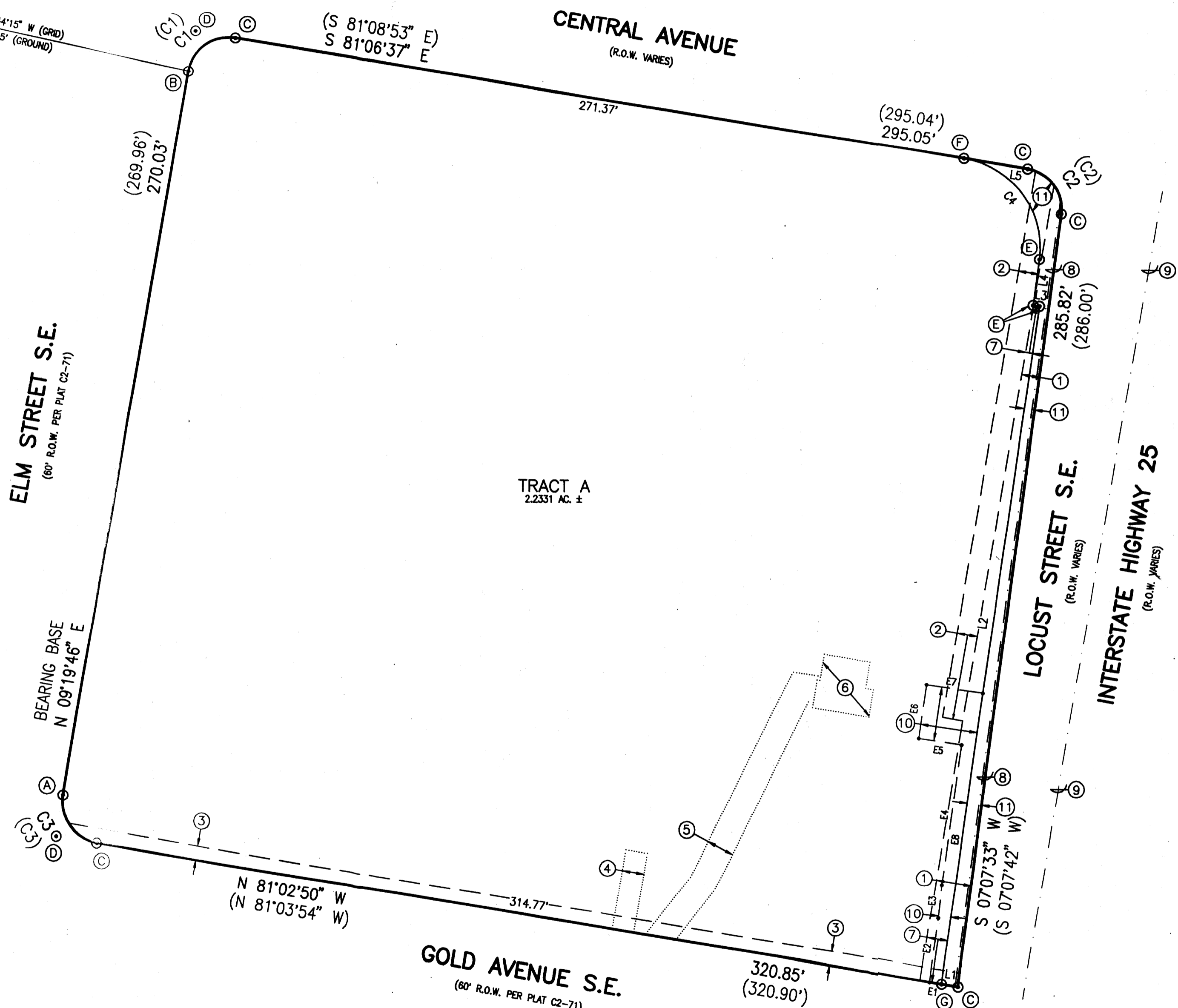
BOUNDARY TABLES

LINE	DIRECTION	DISTANCE
L1	N 81°02'50" W	6.08'
L2	S 07°44'05" W	251.03'
L3	S 82°15'55" E	2.36'
L4	S 07°10'31" W	16.97'
L5	S 81°06'37" E	23.69'

CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA
C1	15.00'	23.55'	N 53°48'34" E	21.20'	89°56'16"
(C1)	15.00'	23.44'	N 54°05'26" E	21.12'	89°31'21"
C2	15.00'	23.05'	S 36°40'04" E	20.85'	88°03'15"
(C2)	15.00'	23.11'	S 37°00'35" E	20.89'	88°16'35"
C3	15.00'	23.38'	N 36°10'10" W	21.09'	89°19'13"
(C3)	15.00'	23.67'	N 35°52'04" W	21.29'	90°23'40"
C4	33.38'	51.43'	S 36°58'03" E	46.49'	88°17'08"

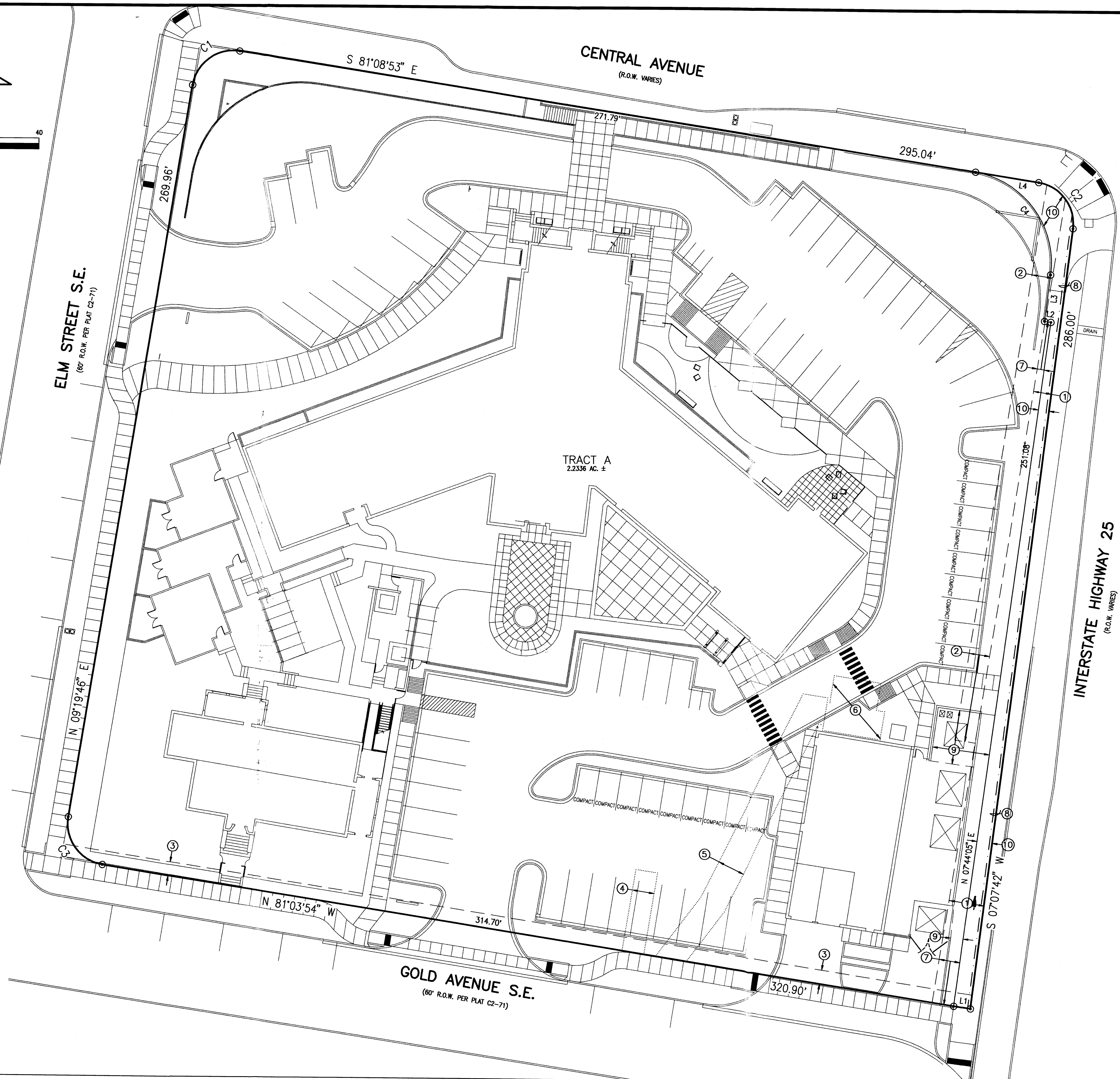
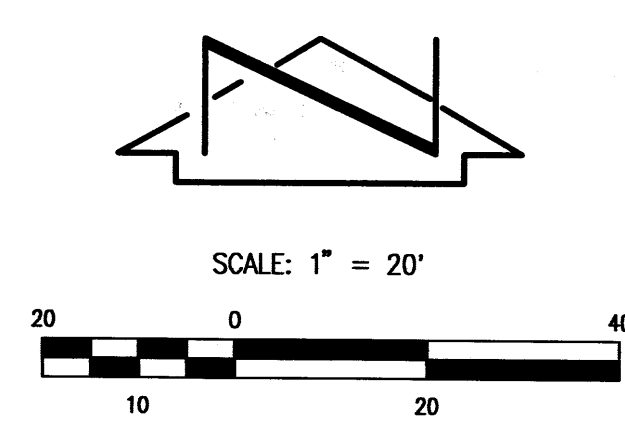
EASEMENT TABLE

LINE	DIRECTION	DISTANCE
E1	N 81°43'12" W	4.51'
E2	N 07°44'51" E	23.54'
E3	N 05°29'13" E	12.68'
E4	N 07°44'51" E	50.66'
E5	N 82°11'23" W	15.90'
E6	N 07°44'51" E	19.67'
E7	S 82°11'23" E	20.89'
E8	S 07°44'05" W	106.57'

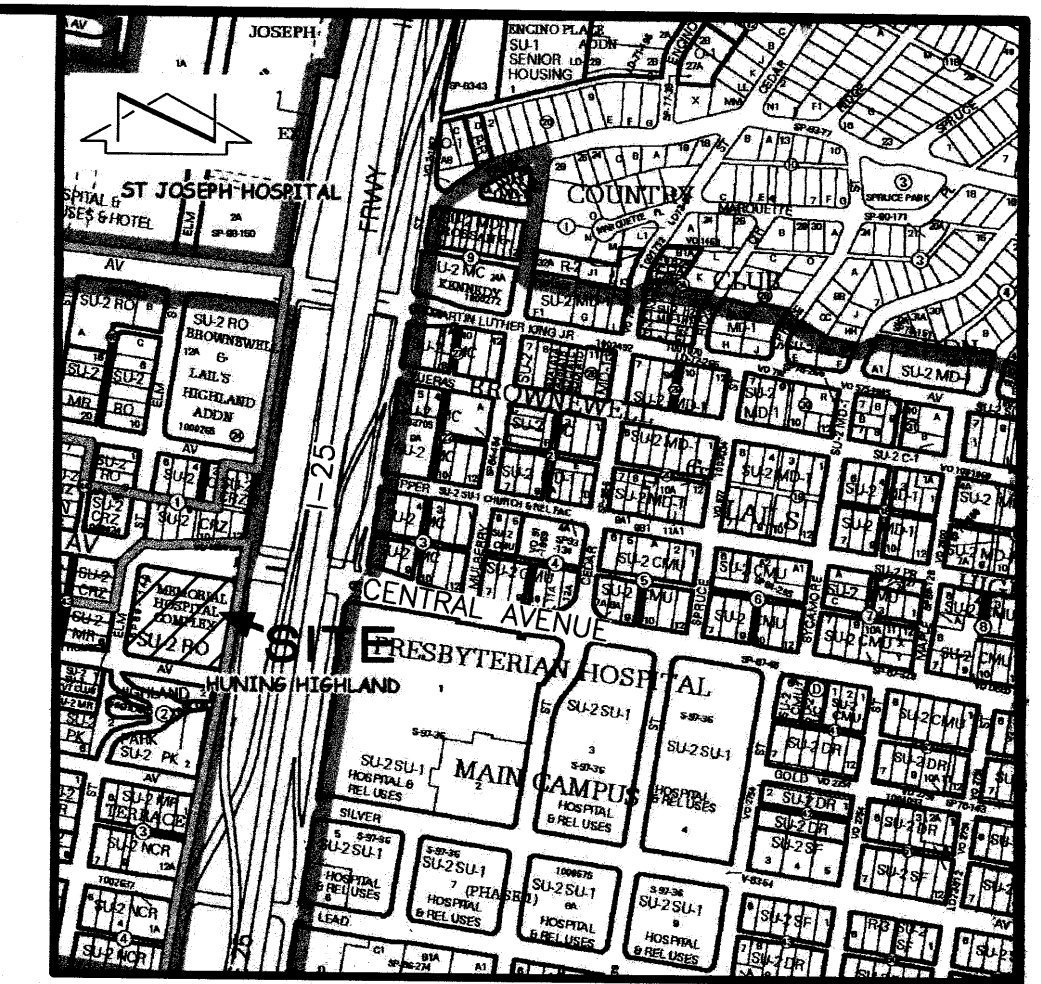


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JOB #2007.074.5 PLATBASE



Color copy of sketch plat & vacation request for use as an exhibit, please



VICINITY MAP
SCALE: 1" = 750'
K-15

KEYED NOTES

- PREVIOUSLY VACATED PUBLIC RIGHT-OF-WAY EASEMENTS RETAINED
- 1 PUBLIC UTILITY AND PUBLIC PEDESTRIAN EASEMENTS RETAINED IN PORTION OF VACATED LOCUST STREET BY VACATION ORDINANCE V-88-35 (DRB-88-0246)
- EXISTING EASEMENTS
- 2 7.5' GAS COMPANY OF NEW MEXICO EASEMENT GRANTED BY PLAT C39-53
 - 3 5' PNM EASEMENT GRANTED BY PLAT C39-53
- EXISTING EASEMENTS TO BE VACATED BY THIS REQUEST
- 4 APPROXIMATE LOCATION OF 8' PNM AND MST&T EASEMENT GRANTED BY DOCUMENT FILED 03-27-1968, BOOK MISC. 98, PAGE 428 TO BE VACATED BY THIS REQUEST
 - 5 APPROXIMATE LOCATION OF 10' PNM EASEMENT GRANTED BY PLAT C39-53 TO BE VACATED BY THIS REQUEST
 - 6 APPROXIMATE LOCATION OF PNM TRANSFORMER AND WORKING SPACE EASEMENT GRANTED BY PLAT C39-53 TO BE VACATED BY THIS REQUEST
 - 7 PORTION OF PUBLIC UTILITY AND PUBLIC PEDESTRIAN EASEMENTS TO BE VACATED BY THIS REQUEST PUBLIC UTILITY EASEMENTS TO REMAIN.
- ACCESS CONTROL
- 8 EAST PROPERTY LINE OF TRACT A ACCESS CONTROLLED BY DOCUMENT FILED 10-11-1989, BOOK D371A, PAGE 135, DOCUMENT NO. 8987206
- NEW EASEMENT
- 9 PNM ELECTRIC EASEMENT GRANTED BY FORTHCOMING PLATTING ACTION
- NEW RIGHT-OF-WAY
- 10 PUBLIC BIKE TRAIL RIGHT-OF-WAY TO BE DEDICATED TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS. SUBSEQUENT MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE CITY OF ALBUQUERQUE. AREA = 0.0388 ACRES.

BOUNDARY TABLES

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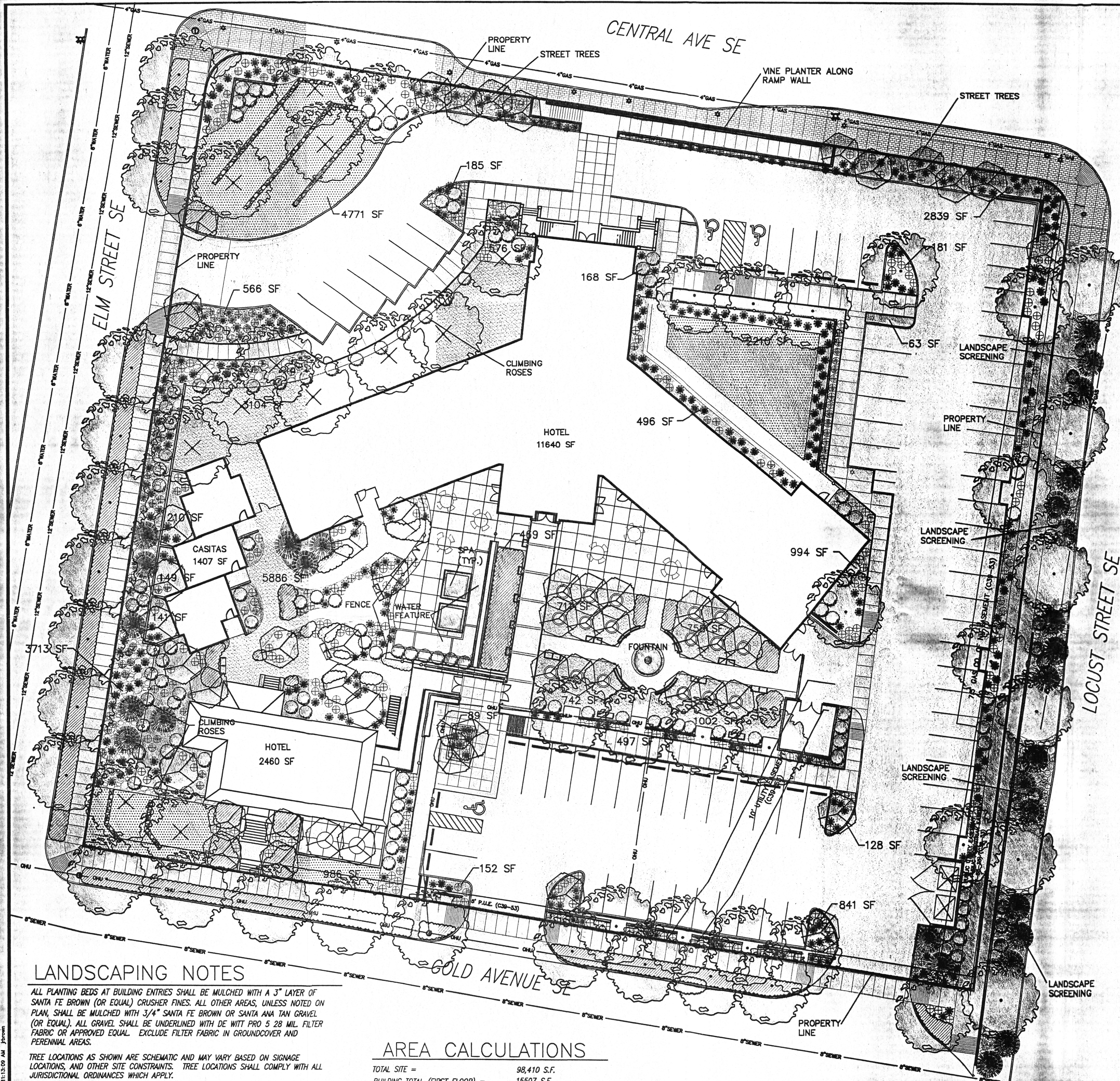
THE PURPOSE OF THIS REQUEST IS TO DEMONSTRATE: THE VACATION OF PNM, MST&T AND PUBLIC PEDESTRIAN EASEMENTS; THE DEDICATION OF A PUBLIC BIKE TRAIL RIGHT-OF-WAY; THE GRANTING OF AN EASEMENT TO PNM ELECTRIC; AND THE CREATION OF TRACT A, AS SHOWN OR NOTED ON THIS DRAWING

File Path: \\MESA\WORKSPACE\Projects\09-04-2009\70744\SKETCH.DWG | Plot Date: 09-04-2009 | Plot Time: 07:42 AM

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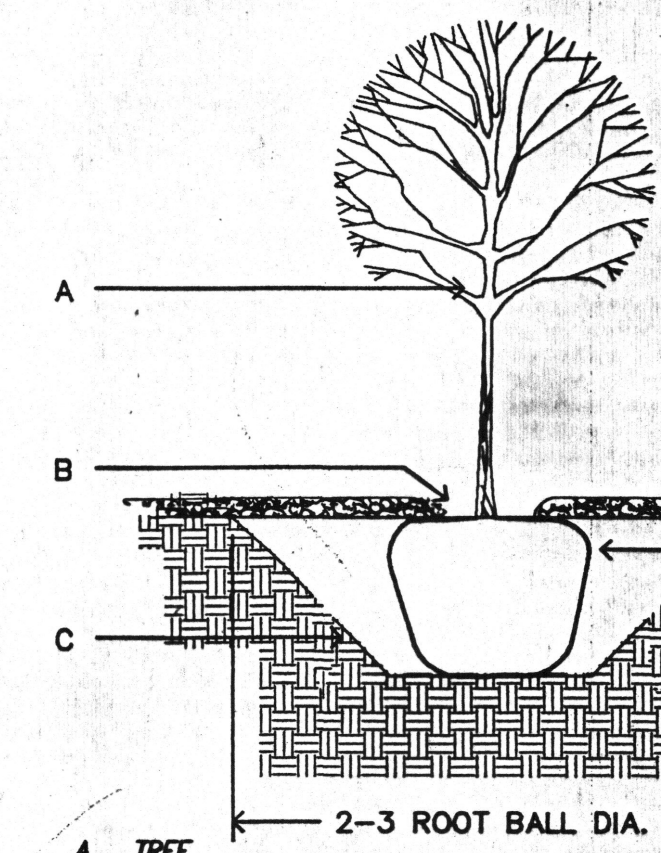
**SKETCH PLAT AND VACATION REQUEST
TRACT A, HOTEL PARQ CENTRAL**

SURVEYED BY	J.M.S.	NO.	DATE	BY	REVISIONS	JOB NO.	2007.074.4
DRAWN BY	T.N.T.					DATE	09-2009
APPROVED BY	C.G.C.					SHEET	1 OF 1



PLANT LIST

TREES	SIZE	QUANTITY
LARGE SHADE TREES: LACEBARK ELM, ARIZONA ASH	4"-6" cal., 36" BOX	14
LARGE SHADE TREES: LACEBARK ELM, ARIZONA ASH	2"-3" cal., 24" BOX	43
SMALL AND ORNAMENTAL TREES: RUSSIAN HAWTHORN, REDBUD, DESERT WILLOW, PURPLE SWOONETREE, ORNAMENTAL PEAR, ORNAMENTAL CRABAPPLE, PAGODA TREE, CHASTE TREE	2"-3" cal., 24" BOX	54
EVERGREENS		
UPRIGHT CONIFER: LIMBER PINE, SOUTHWEST WHITE PINE, BLUE ATLAS CEDAR, UPRIGHT JUNIPER, SHRUB LIVE OAK	8'-10' ht, B&B	28
SHRUBS		
LARGE SHRUBS: ARIZONA ROSEWOOD, NEW MEXICO OLIVE, THREELEAF SUMAC, APACHE PLUME, LITTLELEAF SUMAC, WINTER JASMINE, CORAL HONEYSUCKLE, BRIDAL WREATH SPIREA, HEAVENLY BAMBOO, MUGO PINE, BUTTERFLY BUSH, DESERT BROOM, CURLEAF MOUNTAIN MAHOGANY, BEARGRASS, PRICKLY PEAR, CLIMBING ROSES: RED BLAZE, AUSTRIAN COPPER	5 gal	138
SMALL SHRUBS: COMPACT MAHONIA, LAVENDER, ROSEMARY, RAISINAGE, ARTEMISIA SPECIES, GENISTA, SALVIA SPECIES, GOPHER PLANT, MANZANTIA, FERNBUSH, GOLDEN CURRENT, AGAVE	1 gal	422
ORNAMENTAL GRASSES: DEER GRASS, BLUE FESCUE, BLUE AVENA GRASS, RAVENNA GRASS, MISCANTHUS SPECIES, MUHLY GRASS SPECIES, BLUE GRAMA GRASS	1 gal	371
PERENNIALS: PENSTEMON, VERBENA, IRIS, TULIP, ALLIUM, HAREBELLS, SEDUM SPECIES, SPURGE, HENS AND CHICKS, YARROW, GAURA, SPEEDWELL, ICEPLANT	1 gal	
GROUNDCOVERS: MANZANTIA, JUNIPER SPECIES, ENGLISH IVY, CREEPING MAHONIA, GERMANDER, ROSEMARY	1 gal, 3' O.C.	536
GROUNDCOVERS		
TURF	GRAVEL	
CRUSHER FINES	COBBLE	



- KEEP SOIL BELOW ROOT BALL UNDISTURBED TO PREVENT TREE FROM SETTLING.
- REMOVE ANY EXCESS SOIL FROM TOP OF ROOTBALL TO EXPOSE ROOT FLARE (WHERE TOP MOST ROOT EMERGES FROM THE TRUNK). PLANT WITH ROOT FLARE LEVEL AT FINISH GRADE (OR 1"-2" HIGHER IN SLOWLY DRAINING SOIL).
- TAMP SOIL FIRMLY AROUND BASE OF ROOTBALL WITH FOOT PRESSURE.
- PRIOR TO BACKFILLING, REMOVE BURLAP, ROPE, TWINE, AND WIRE FROM TOP HALF OF ROOTBALL AND FROM PLANTING HOLE, CUT ANY ROOTS THAT ARE CIRCILING THE CONTAINER.
- AT TIME OF PLANTING, ONLY PRUNE CO-DOMINANT LEADERS (DOES NOT APPLY TO NATIVE OR MULTI-TRUNK SPECIMENS), CROSSOVER LIMBS, AND DEAD OR BROKEN BRANCHES.
- STAKE TREES ONLY IF TREE CANNOT STAND ALONE AND WITH APPROVAL OF THE LANDSCAPE ARCHITECT.
- DO NOT ALLOW MULCH IN CONTACT WITH TREE TRUNK, KEEP AT LEAST 4" AWAY FROM TRUNK.
- WHEN DONE, THOROUGHLY WATER TO ELIMINATE AIR POCKETS.

TREE PLANTING

NOT TO SCALE

LANDSCAPING NOTES

ALL PLANTING BEDS AT BUILDING ENTRIES SHALL BE MULCHED WITH A 3" LAYER OF SANTA FE BROWN (OR EQUAL) CRUSHER FINES. ALL OTHER AREAS, UNLESS NOTED ON PLAN, SHALL BE MULCHED WITH 3/4" SANTA FE BROWN OR SANTA ANA TAN GRAVEL (OR EQUAL). ALL GRAVEL SHALL BE UNDERLINED WITH DE WITT PRO 5 28 MIL FILTER FABRIC OR APPROVED EQUAL. EXCLUDE FILTER FABRIC IN GROUNDCOVER AND PERENNIAL AREAS.

TREE LOCATIONS AS SHOWN ARE SCHEMATIC AND MAY VARY BASED ON SIGNAGE LOCATIONS, AND OTHER SITE CONSTRAINTS. TREE LOCATIONS SHALL COMPLY WITH ALL JURISDICTIONAL ORDINANCES WHICH APPLY.

RESPONSIBILITY FOR LANDSCAPE MAINTENANCE ON THE SITE SHALL LIE WITH THE OWNER.

AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM IS TO BE DESIGNED AND CONSTRUCTED FOR ALL INSTALLED PLANT MATERIALS. TURF GRASS AREAS WILL BE SPRAY IRRIGATED, TREES WILL BE IRRIGATED WITH A LOW FLOW BUBBLER SYSTEM, AND SHRUBS AND GROUND COVERS WILL BE IRRIGATED WITH A DRIP EMITTER SYSTEM.

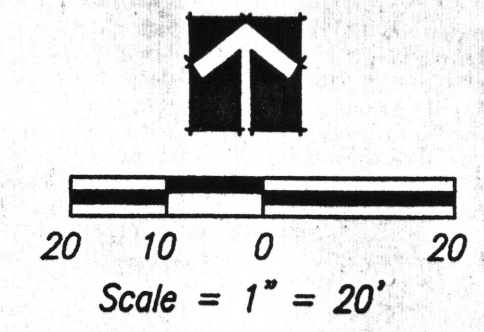
AT MATURITY, PLANTS WILL PROVIDE MINIMUM COVERAGE OF 75% OF THE LANDSCAPE AREA.

LANDSCAPE PLAN WILL MEET THE REQUIREMENTS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE C ORD 18-1995.

SITES SOUTHWEST CONFERRED WITH THE CITY OF ALBUQUERQUE URBAN FORESTER AND DETERMINED THAT MOST OF THE TREES EXISTANT ON SITE, ESPECIALLY ELMS, WERE NOT SUSTAINABLE AND WILL BE REPLACED. THOSE THAT ARE DETERMINED TO BE SUSTAINABLE WILL BE SAVED IF POSSIBLE GIVEN SITE GRADING CONSTRAINTS.

AREA CALCULATIONS

TOTAL SITE =	98,410 S.F.
BUILDING TOTAL (FIRST FLOOR) =	15,507 S.F.
NET SITE AREA =	82,903 S.F.
LANDSCAPE AREA REQUIRED =	12,435 S.F.
LANDSCAPE AREA PROVIDED AS PERCENT OF NET SITE AREA =	15%
LANDSCAPE AREA PROVIDED =	32,628 S.F.
LANDSCAPE AREA AS PERCENT OF NET SITE AREA =	39%
TURF AREA PROVIDED =	5,641 S.F.
TURF AREA AS PERCENT OF LANDSCAPE AREA =	17%



STUDIO SW ARCHITECTS

Architect Engineer
STUDIO SOUTHWEST ARCHITECTS, INC.
 2101 Mountain Rd. NW, Albuquerque, NM 87104
 505.843.9639 fax 505.843.9683
 Web Site: www.studioswarch.com
 E-Mail: mail@studioswarch.com

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CONSULTANTS

Architect: **EPC & LUCC**
 Engineer: **LUCC**

SUBMITTAL

HOTEL PARQ CENTRAL

806 CENTRAL AVE. SE
 ALBUQUERQUE, NM 87102

MARK	DATE	DESCRIPTION
ISSUE:		LUCC & EPC
PROJECT NO:		0710
CAD DWG FILE:		
DRAWN BY:		
CHECKED BY:		
DATE:		DECEMBER 14, 2007

SHEET TITLE

LANDSCAPE PLAN

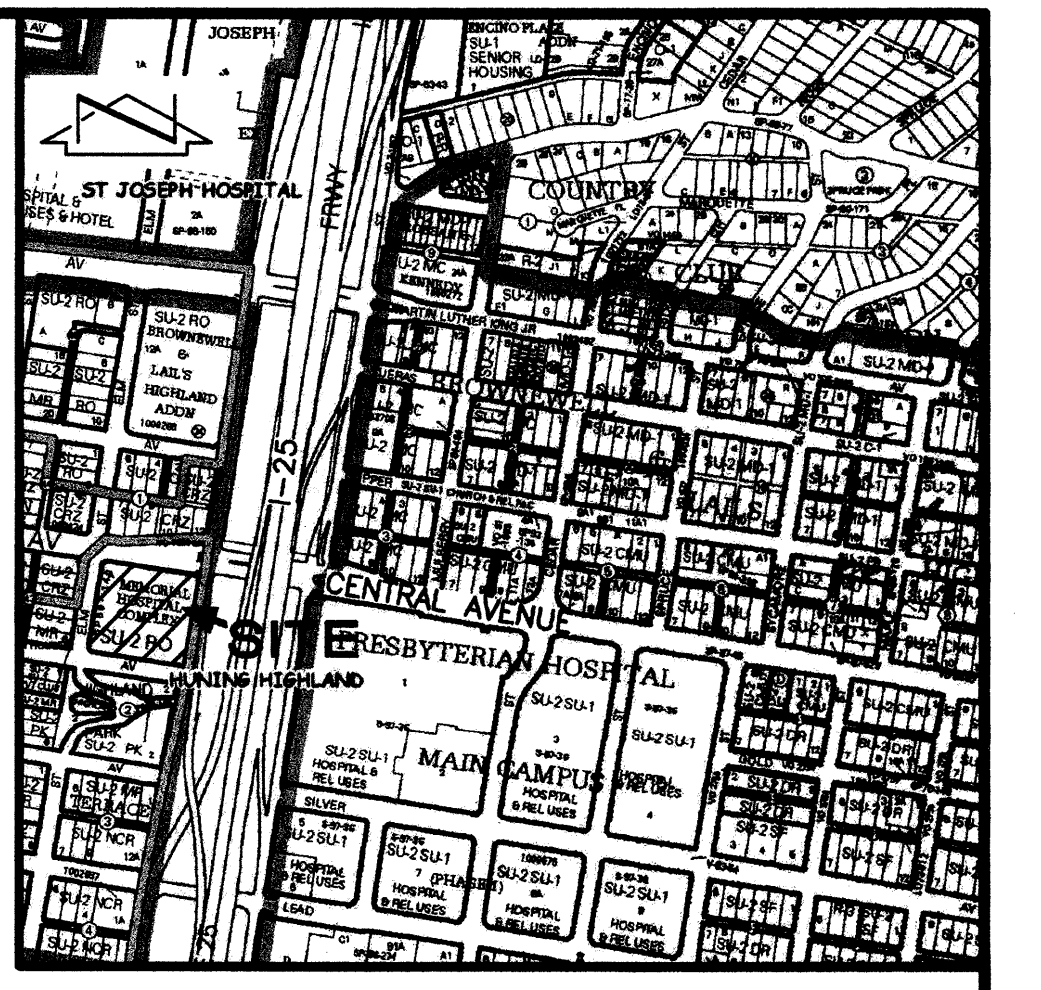
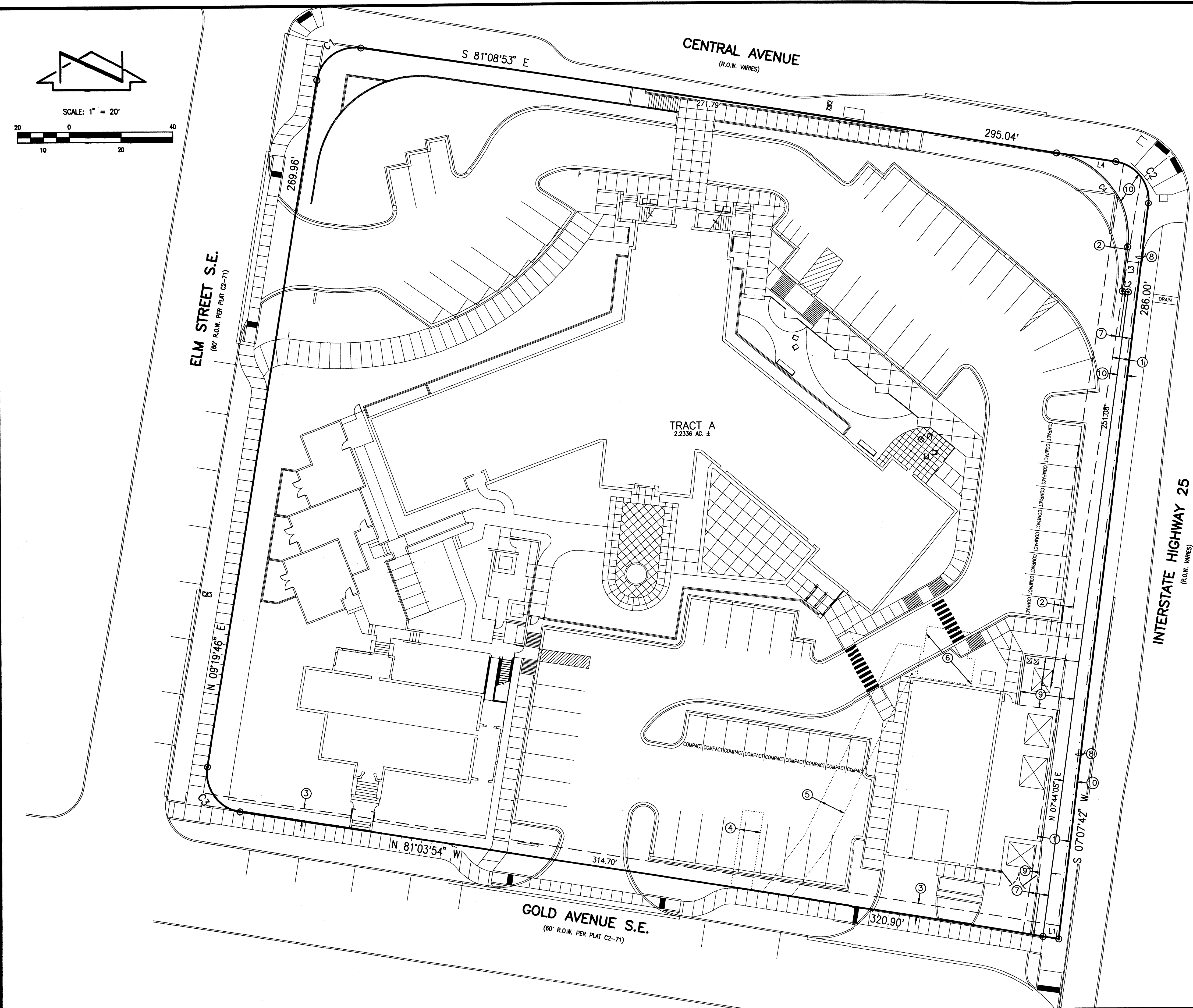
sheet L-101 of sheets



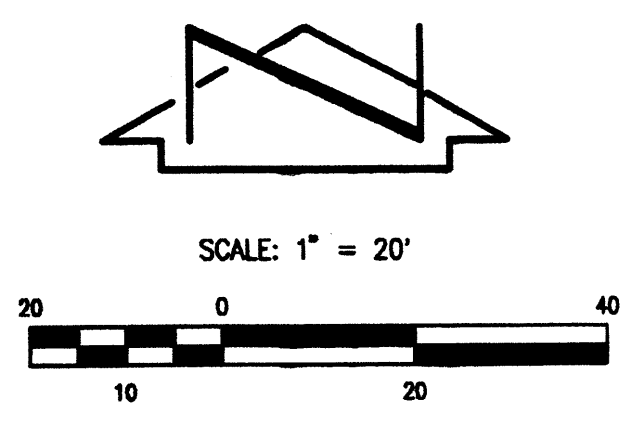
CITY OF ALBUQUERQUE

LANDMARKS AND URBAN CONSERVATION COMMISSION

HUNING HIGHLAND HISTORIC OVERLAY ZONE



VICINITY MAP
SCALE: 1" = 750'
K-15



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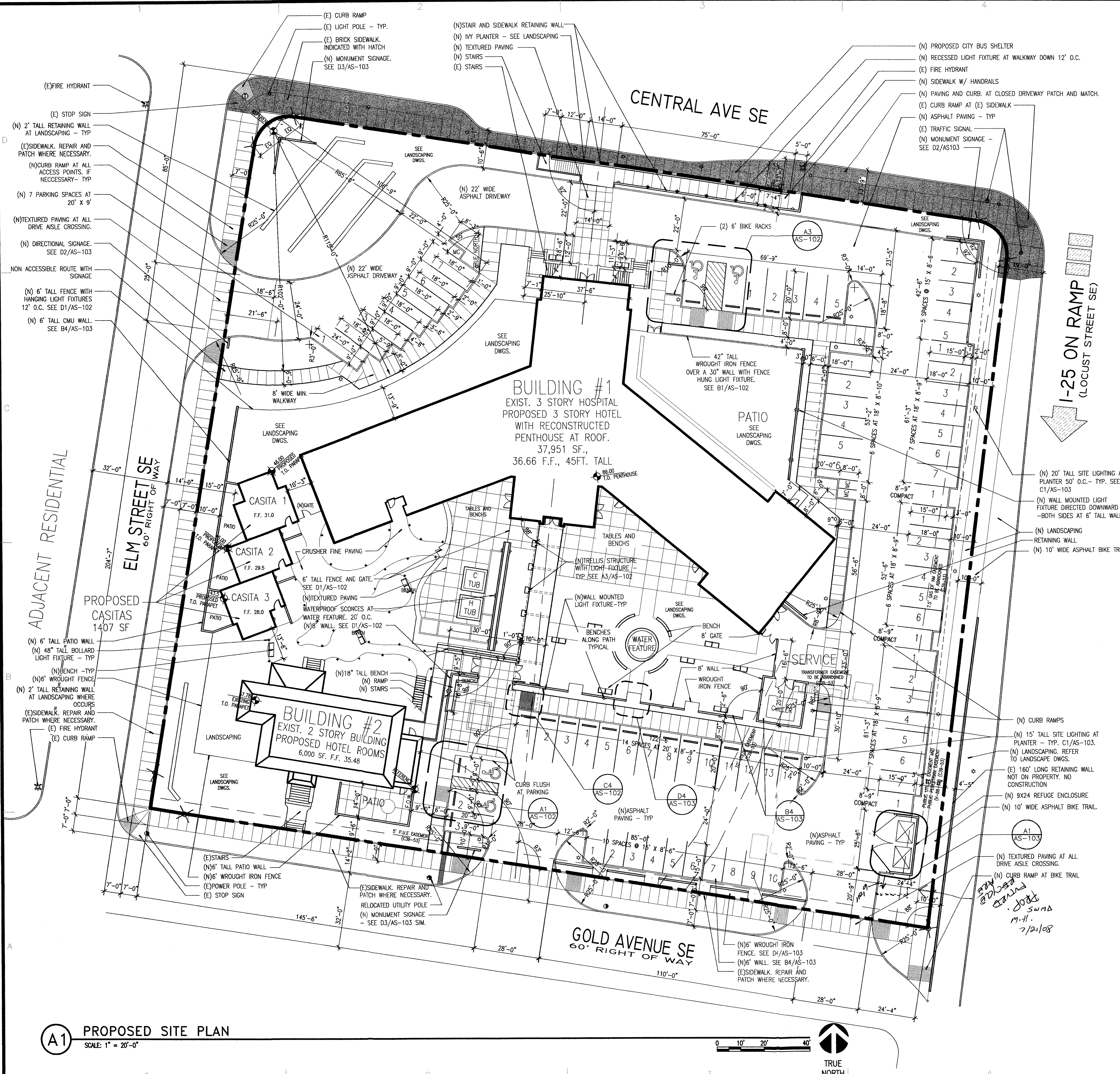
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File Path: \\highmesa\work\2009\20070744\SKETCH.DWG Plot Date: 09-04-2009 Plot Time: 07:42 am
 File Name: 70744SKETCH.DWG

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 4010-B MIDWAY PARK BLVD. NE • ALBUQUERQUE, NEW MEXICO 87109
 PHONE: 505.346.4250 • FAX: 505.346.4254 • www.highmesacg.com

**SKETCH PLAT AND VACATION REQUEST
 TRACT A, HOTEL PARQ CENTRAL**

SURVEYED BY	J.M.S.	NO.	DATE	BY	REVISIONS		JOB NO.
					NO.	DATE	
DRAWN BY	T.N.T.						2007.074.4
APPROVED BY	C.G.C.						DATE 09-2009
							SHEET 1 OF 1



GENERAL NOTES

- 1) SEE SHEETS AS-102, AS-103 & AS-104 FOR SITE DETAILS.
- 2) ALL LIGHTING WILL BE IN COMPLIANCE WITH ZONING CODE SECTION 14-16-3-9, AREA LIGHTING REGULATIONS.
- 3) ALL PEDESTRIAN SIDEWALKS WILL BE CONCRETE. SEE PLAN FOR WIDTH.
- 4) ALL PEDESTRIAN CROSSWALKS WILL BE COLORED, TEXTURED AND PATTERNED CONCRETE. SEE PLAN FOR WIDTH.
- 5) ALL VEHICULAR TRAFFIC AREAS WILL HAVE ASPHALTIC CONCRETE PAVING UNLESS NOTED OTHERWISE.
- 6) IDENTIFY ALL SMALL CAR SPACES WITH "SMALL CAR" PAINTED ON THE PAVEMENT.
- 7) FOR BUILDING SIGNAGE AND SITE SIGNAGE SEE SHEET AS-103.

VICINITY MAP



PARKING TABULATIONS

- 2 ACCESSIBLE SPACES AT 20' X 8'-9"
- 1 ACCESSIBLE SPACES AT 20' X 9'-0"
- 3 SPACES AT 15' X 8'-9" (COMPACT)
- 10 SPACES AT 15' X 8'-6" (COMPACT)
- 5 SPACES @ 15' X 8'-6" (COMPACT)
- 6 SPACES AT 18' X 8'-10"
- 7 SPACES AT 18' X 8'-9"
- 6 SPACES AT 18' X 8'-9"
- 7 SPACES AT 18' X 8'-9"
- 2 SPACES AT 20' X 9'-0"
- 5 SPACES AT 20' X 9'-0"
- 7 SPACES AT 20' X 9'-0"
- 14 SPACES AT 20' X 8'-9"

TOTAL 75 SPACES

PROJECT NUMBER: _____

APPLICATION NUMBER: _____

Is an infrastructure list required? () Yes () No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Michael Holton (recycle area ok'd)	7/21/08
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date
* Environmental Health, if necessary	

STUDIO
SW ARCHITECTS
Architect
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505.843.9639 fax 505.843.9683
Web Site: www.studioswarch.com
E-Mail: mail@studioswarch.com

CONSULTANTS

Architect Engineer

DRB SUBMITTAL

HOTEL PARQ CENTRAL

806 CENTRAL AVE. SE
ALBUQUERQUE, NM 87102

MARK	DATE	DESCRIPTION
07/10/08	DRB MODIFICATIONS	

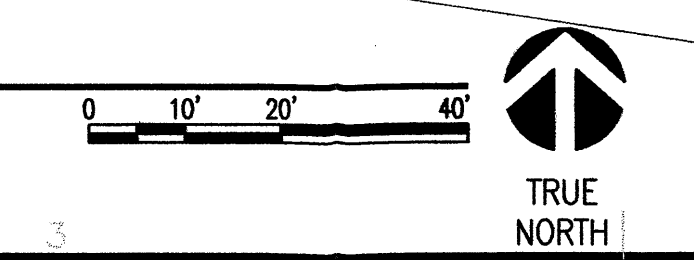
ISSUE:	DRB SET
PROJECT NO:	0710
CAD DWG FILE:	AS-101
DRAWN BY:	PSV/DSJ
CHECKED BY:	BH
DATE:	July 14, 2008

SHEET TITLE

PROPOSED SITE PLAN

AS-101
sheet of sheets

(A1) PROPOSED SITE PLAN
SCALE: 1" = 20'-0"



PRELIMINARY DRAINAGE PLAN FOR SITE PLAN APPROVAL

I. INTRODUCTION AND EXECUTIVE SUMMARY

THIS SITE IS LOCATED IN THE EASTERLY PORTION OF THE CITY OF ALBUQUERQUE DOWNTOWN AREA ALONG EAST CENTRAL AVENUE, JUST WEST OF I-25. THIS PROJECT WILL CONSIST OF THE REDEVELOPMENT AN EXISTING DEVELOPED SITE KNOWN AS MEMORIAL HOSPITAL. THIS DEVELOPMENT WILL MODIFY AN EXISTING DEVELOPED SITE THAT CONSISTS OF THREE BUILDINGS, PAVED PARKING AND NOW NEGLECTED LANDSCAPING. ONE OF THE EXISTING BUILDINGS WILL BE REMOVED. THE PAVED PARKING WILL BE REMOVED AND REPLACED WITH NEW PAVED PARKING, LANDSCAPING AND OUTDOOR PATIO AREAS. THE DRAINAGE CONCEPT FOR THIS SITE IS TO MAINTAIN THE EXISTING DRAINAGE PATTERNS OF DISCHARGING DEVELOPED RUNOFF TO THE ADJACENT CITY STREETS. WHEREVER POSSIBLE, DEVELOPED RUNOFF WILL BE DIRECTED TO EXISTING PUBLIC STORM DRAIN IMPROVEMENTS VIA DIRECT CONNECTION.

THIS DRAINAGE SUBMITTAL FOR A MODIFICATION TO AN EXISTING SITE WITHIN AN INFILL AREA IS MADE IN SUPPORT OF SITE PLAN APPROVAL AT THE EPC AND DRB.

II. PROJECT DESCRIPTION

THE SITE IS LOCATED ON THE SOUTH SIDE OF EAST CENTRAL AVENUE SE, AT THE SOUTHEAST CORNER OF THE INTERSECTION OF EAST CENTRAL AVENUE AND ELM STREET SE. THE EXISTING LEGAL DESCRIPTION IS TRACT A, MEMORIAL HOSPITAL COMPLEX. THE SITE IS CURRENTLY LOCATED IN PANEL 334 OF 825 OF THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAPS PUBLISHED BY FEMA FOR BERNALILLO COUNTY, NEW MEXICO. AS INDICATED BY THIS MAPPING, THE SITE DOES NOT LIE WITHIN A FEMA DESIGNATED FLOOD HAZARD ZONE. THE DEVELOPMENT PROPOSED WILL NOT INCREASE DOWNSTREAM FLOW AND WILL NOT ADVERSELY IMPACT DOWNSTREAM FLOW OR DOWNSTREAM PROPERTIES.

III. BACKGROUND DOCUMENTS

THE FOLLOWING ITEMS WERE REVIEWED IN THE PREPARATION OF THIS SUBMITTAL:

- A. TOPOGRAPHIC SURVEY OF THE EXISTING SITE PREPARED BY SURVEYS SOUTHWEST DATED AUGUST 08, 2007. THE SUBJECT SURVEY SHOWS THE EXISTING IMPROVEMENTS PRESENT ON THE SITE AS WELL AS EXISTING CONDITIONS.

IV. EXISTING CONDITIONS

THE SITE IS LOCATED ON THE SOUTH SIDE OF CENTRAL AVENUE SE JUST WEST OF I-25. AS SUCH, THE SITE LIES TOPOGRAPHICALLY LOWER THAN I-25 AND THE I-25 SOUTHBOUND ON-RAMP ALSO KNOWN AS LOCUST STREET SE. THE SITE CONSISTS OF THREE SEPARATE BUILDINGS WITH ADJACENT PAVED PARKING LOTS. THE EXISTING IMPROVEMENTS LIE TOPOGRAPHICALLY HIGHER THAN THE ADJACENT CITY STREETS. EAST CENTRAL AVENUE LIES TO THE NORTH, ELM STREET SE TO THE EAST AND GOLD AVENUE TO THE SOUTH. THE SITE PRESENTLY DRAINS FREELY, WITHOUT PONDING, TO THE ADJACENT CITY STREETS.

V. DEVELOPED CONDITIONS

THE PROJECT CONSISTS OF THE CONSTRUCTION OF THREE RELATIVELY SMALL CASITAS AT THE WEST EDGE OF THE PROPERTY. THE MAIN HOSPITAL BUILDING AND THE EXISTING BUILDING AT THE SOUTHWEST CORNER OF THE PROPERTY WILL BE RENOVATED. THE EXISTING BUILDING AT THE SOUTHEAST CORNER OF THE PROPERTY WILL BE DEMOLISHED. THE EXISTING PAVING WILL BE COMPLETELY REMOVED AND REPLACED WITH NEW PAVED PARKING LOTS AND LANDSCAPING. EXISTING GRADES WILL BE MATCHED AT THE PROPERTY LINES. THE EXISTING RETAINING WALL AT THE EAST EDGE OF THE PROPERTY WILL REMAIN. TWO MINOR RETAINING WALLS WILL BE ADDED. ONE AT THE NORTH EDGE OF THE SITE FRONTING EAST CENTRAL AVENUE TO MAINTAIN THE EXISTING GRADE CHANGE FROM THE STREET UP TO THE EXISTING BUILDING. THE MAXIMUM HEIGHT OF THIS PROPOSED WALL IS 3- FEET. THE SECOND NEW RETAINING WALL WILL LIE TO THE WEST OF THE CASITAS. THE MAXIMUM HEIGHT OF THIS RETAINING WALL IS 4- FEET.

THE FREE DISCHARGE OF RUNOFF TO THE ADJACENT PUBLIC RIGHT-OF-WAY IS TO BE MAINTAINED. THE EAST PARKING LOT AREA WILL COLLECT ITS RUNOFF ON THE PAVING AND DISCHARGE DIRECTLY TO AN EXISTING PUBLIC STORM INLET AT THE NORTHEAST CORNER OF THE SITE VIA SO #19 PROCESS. THE SOUTH PARKING LOT WILL DRAIN EITHER THROUGH NEW PRIVATE ENTRANCES OR A NEW 24-INCH SIDEWALK CULVERT (VIA SO #19) TO GOLD AVENUE SE. THE DRIVEWAY AND PARKING AT THE NORTHWEST CORNER OF THE SITE WILL DRAIN VIA NEW PRIVATE ENTRANCE TO ELM STREET SE.

AS A RESULT OF THESE IMPROVEMENTS, THERE WILL BE NO SIGNIFICANT CHANGE TO THE RUNOFF GENERATED BY THE WEST SITE.

VI. GRADING PLAN

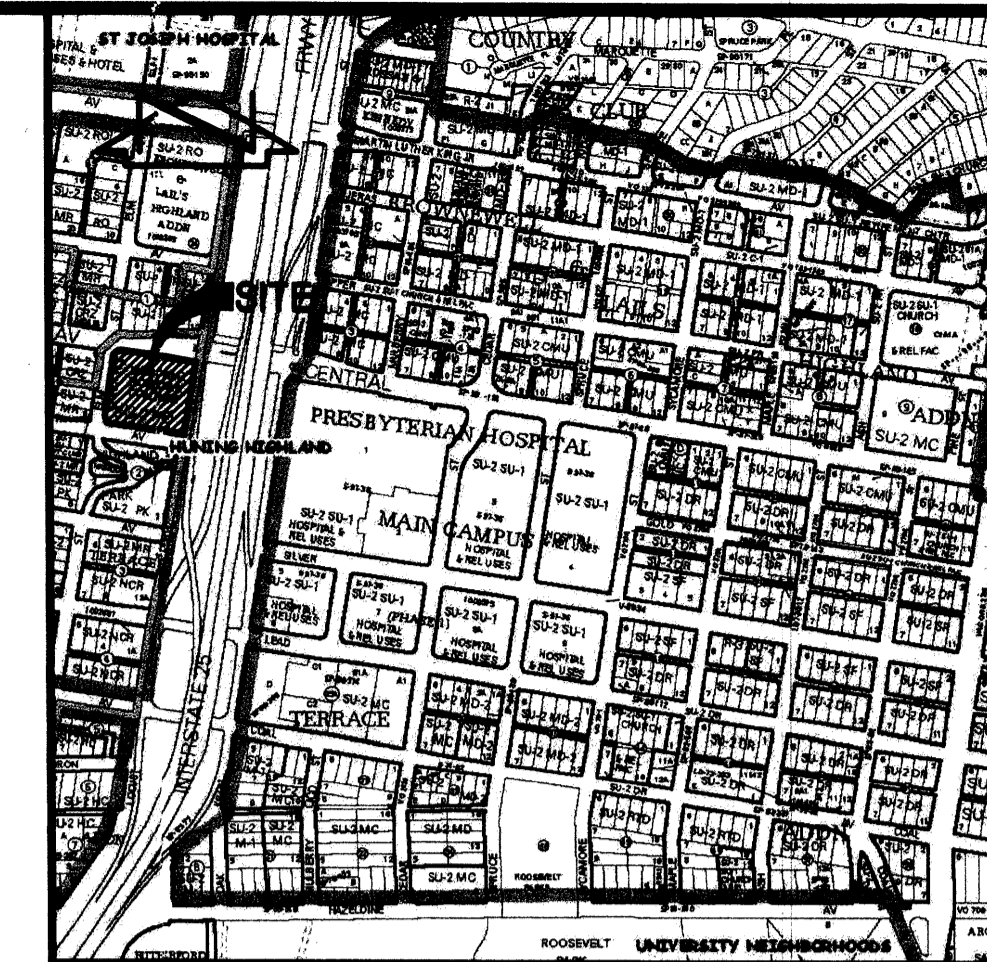
THE GRADING PLAN SHOWS: 1.) EXISTING GRADES INDICATED BY SPOT ELEVATIONS AND CONTOURS AT 1'-0" INTERVALS BASED THE TOPOGRAPHIC SURVEY PREPARED BY SURVEYS SOUTHWEST, DATED AUGUST 08, 2007, 2.) PROPOSED GRADES INDICATED BY SPOT ELEVATIONS AND CONTOURS AT 1'-0" INTERVALS, 3.) THE LIMIT AND CHARACTER OF THE EXISTING IMPROVEMENTS AS TAKEN FROM THE AFOREMENTIONED SURVEY, 4.) THE LIMIT AND CHARACTER OF THE PROPOSED IMPROVEMENTS, 5.) CONTINUITY BETWEEN EXISTING AND PROPOSED GRADES. AS SHOWN BY THIS PLAN, THE PROPOSED DEVELOPMENT WILL NOT ALTER THE GRADE AT THE PROPERTY LINE OF THIS ALREADY DEVELOPED SITE.

AT THE TIME OF CONSTRUCTION, AN EROSION CONTROL PLAN WILL BE PREPARED AND ATTACHED TO THE SEPARATE STORM WATER POLLUTION PREVENTION PLAN FOR THIS PROJECT.

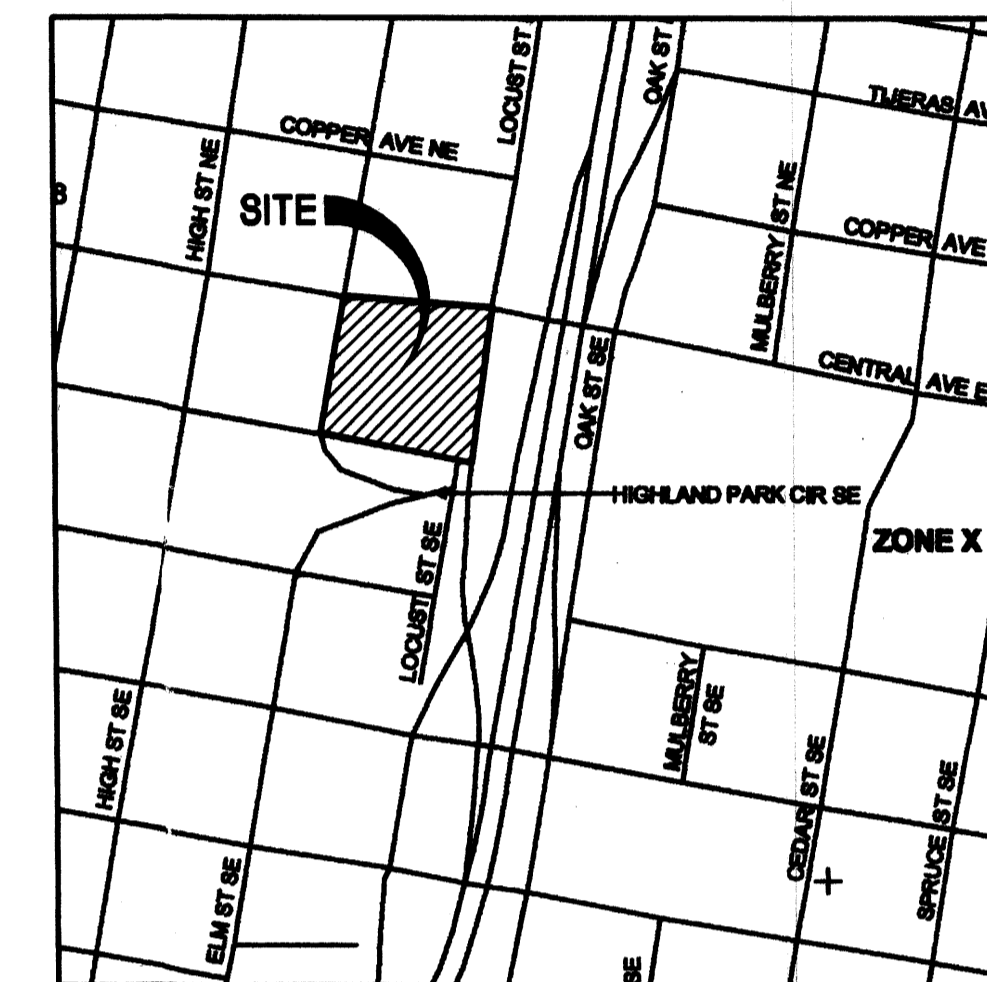
VII. CONCLUSIONS

THE DRAINAGE CONCEPT SHOWN BY THE PLAN ABOVE ALLOWS FOR THE CONTINUED FREE DISCHARGE OF RUNOFF FROM THIS SITE INTO THE ADJACENT CITY STREETS:

- A. MODIFICATION TO AN EXISTING SITE WITHIN AN INFILL AREA
- B. THE SITE DOES NOT LIE WITHIN A FEMA DESIGNATED FLOOD HAZARD ZONE
- C. INSIGNIFICANT INCREASE/DECREASE IN RUNOFF VOLUME AND PEAK DISCHARGE
- D. NO PROPOSED GRADE CHANGE AT THE PROPERTY LINE/EDGE OF THE SITE
- E. NO ADVERSE IMPACT ON DOWNSTREAM CAPACITY OR DOWNSTREAM PROPERTIES
- F. THE EXISTING DRAINAGE PATTERNS (STATUS QUO) WILL NOT BE ALTERED AND HENCE MAINTAINED



VICINITY MAP SCALE: 1"=750'



F.I.R.M. 334 OF 825 SCALE: 1"=500'

LEGAL DESCRIPTION

TRACT A, MEMORIAL HOSPITAL COMPLEX

PROJECT BENCHMARK

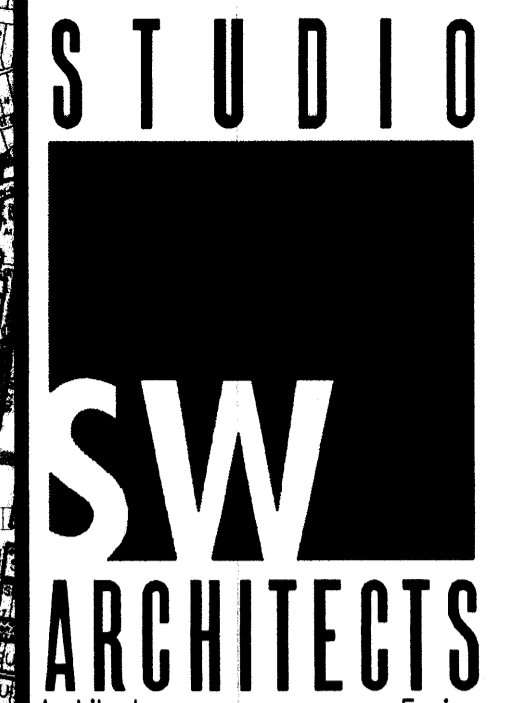
THE BASIS OF ELEVATIONS FOR THIS SURVEY IS ACS BENCHMARK 5-K15(BD). THE PUBLISHED ELEVATION OF WHICH IS 5010.62. BENCHMARK IS LOCATED IN THE SIDEWALK AT THE SOUTHWEST QUADRANT OF THE INTERSECTION OF CENTRAL AVE. NE AND HIGH STREET SE.

LEGEND

- BC BACK OF CURB
- C.P. CONCRETE PAD
- F.F. FINISHED FLOOR
- FL FLOWLINE
- HGT HEIGHT
- MC MOTORCYCLE
- OHU OVERHEAD UTILITY
- RBR REBAR
- SW SIDEWALK
- TW TOP OF WALL
- WV WATER VALVE
- +29.99 BC EXISTING SPOT ELEVATION
- +29.45 FC
- 23.8 PROPOSED SPOT ELEVATION
- PROPOSED CONCRETE
- PROPOSED ASPHALT
- PROPOSED TEXTURED ASPHALT
- PROPOSED FLOWLINE
- PROPOSED RETAINING WALL
- 37 PROPOSED CONTOUR

EROSION CONTROL MEASURES:

1. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY.
2. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
3. WHEN APPLICABLE, CONTRACTOR SHALL SECURE TOPSOIL DISTURBANCE PERMIT FROM THE CITY AND/OR FILE A NOTICE OF INTENT (N.O.I.) WITH THE EPA PRIOR TO BEGINNING CONSTRUCTION.



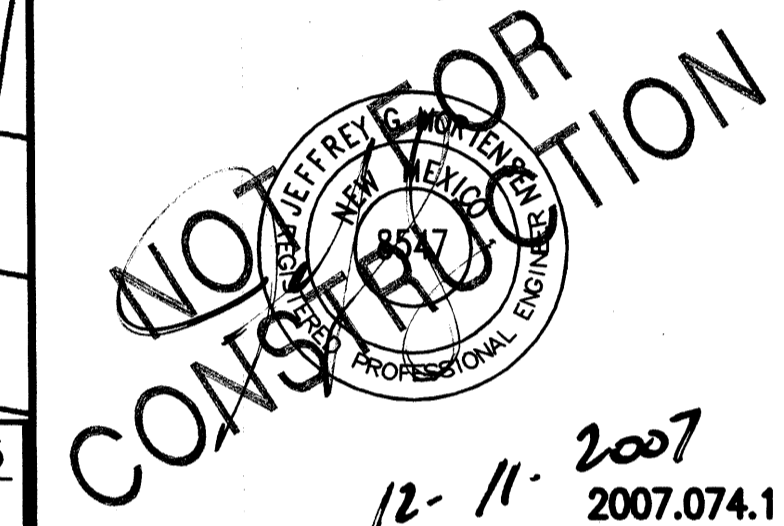
Architect Engineer
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CONSULTANTS



Architect Engineer



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ALBUQUERQUE, NM 87102

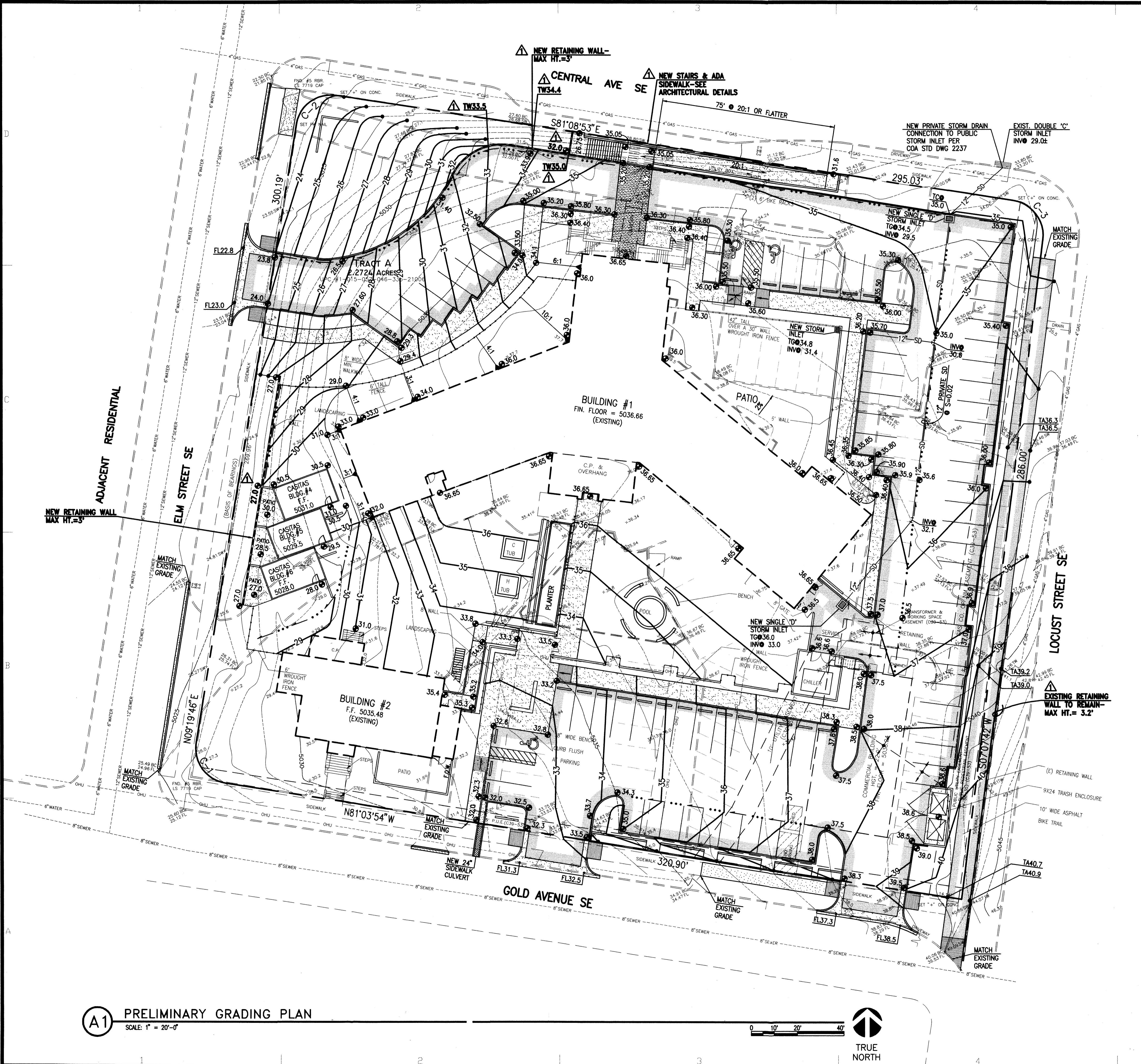
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DATE	DATE	DESCRIPTION
ISSUE:	LUCC & EPC	
PROJECT NO:	0710	
CAD DWG FILE:	C-101	
DRAWN BY:	JLP	
CHECKED BY:	J.G.M.	
DATE:	DECEMBER 06, 2007	

SHEET TITLE
PRELIMINARY GRADING PLAN NARRATIVE

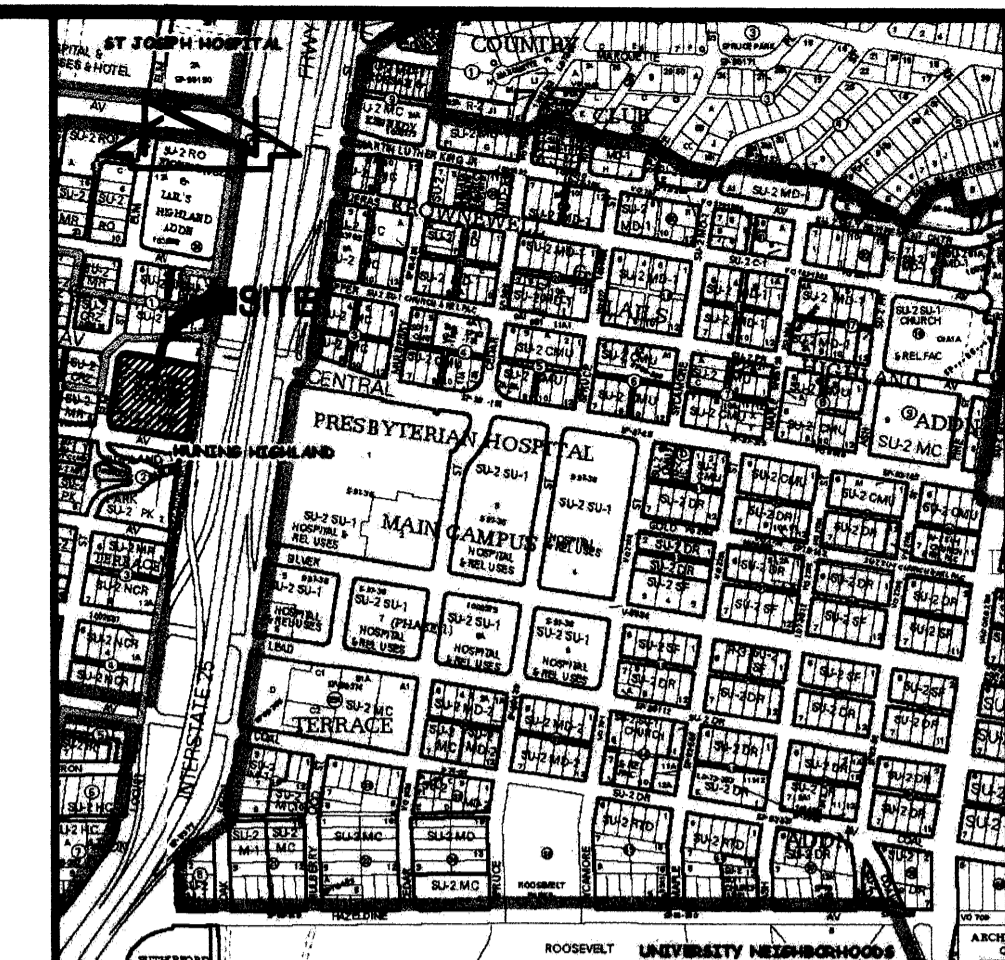
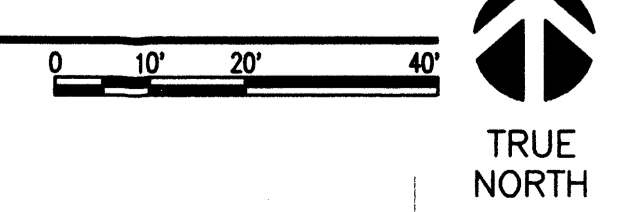
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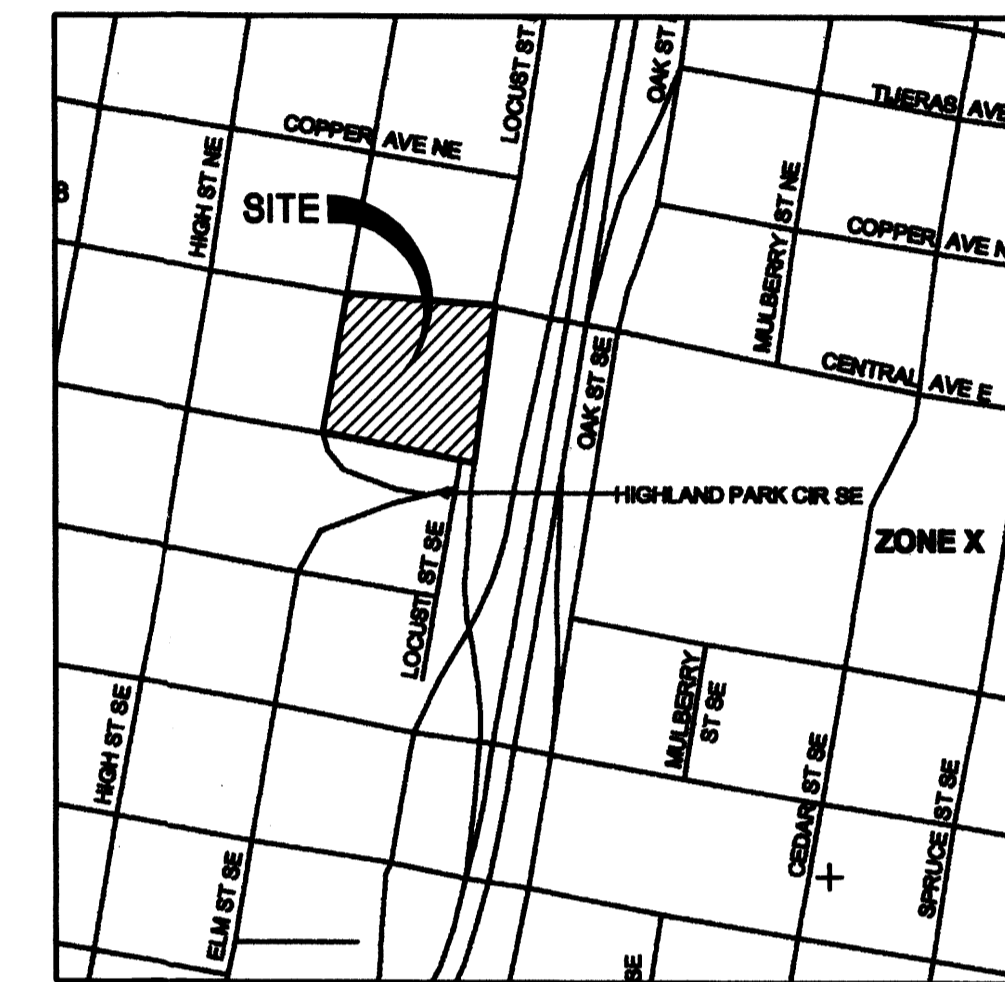
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A1 PRELIMINARY GRADING PLAN
 SCALE: 1" = 20'-0"



VICINITY MAP
 SCALE: 1" = 750'



F.I.R.M. 334 OF 825
 SCALE: 1" = 500'

LEGAL DESCRIPTION
 TRACT A, MEMORIAL HOSPITAL COMPLEX
PROJECT BENCHMARK
 THE BASIS OF ELEVATIONS FOR THIS SURVEY IS ACS BENCHMARK 5-K15B(R). THE PUBLISHED ELEVATION OF WHICH IS 5010.62. BENCHMARK IS LOCATED IN THE SIDEWALK AT THE SOUTHWEST QUADRANT OF THE INTERSECTION OF CENTRAL AVE. NE AND HIGH STREET SE.

- LEGEND**
- BC BACK OF CURB
 - C.P. CONCRETE PAD
 - F.F. FINISHED FLOOR
 - FL FLOWLINE
 - HGT HEIGHT
 - MC MOTORCYCLE
 - OHU OVERHEAD UTILITY
 - RBR REBAR
 - SW SIDEWALK
 - TW TOP OF WALL
 - WV WATER VALVE
 - +23.8 EXISTING SPOT ELEVATION
 - 23.8 PROPOSED SPOT ELEVATION
 - PROPOSED CONCRETE
 - PROPOSED ASPHALT
 - PROPOSED TEXTURED ASPHALT
 - PROPOSED FLOWLINE
 - PROPOSED RETAINING WALL
 - PROPOSED CONTOUR

- EROSION CONTROL MEASURES:**
- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY.
 - THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
 - WHEN APPLICABLE, CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" FROM THE CITY AND/OR FILE A NOTICE OF INTENT (N.O.I.) WITH THE EPA PRIOR TO BEGINNING CONSTRUCTION.

CURVE TABLE

CURVE	LENGTH	RADIUS	BEARING	CHORD	CHORD BEARING
C-1	23.67'	15.00'	90°23'40"	21.29'	N35°52'04"W
C-2	23.44'	15.00'	89°31'21"	21.12'	N54°05'27"E
C-3	23.11'	15.00'	88°16'35"	20.89'	S37°00'35"E

UTILITY INFORMATION SHOWN HEREON PER FIELD INSPECTION AND THE CITY OF ALBUQUERQUE. UTILITY RECORDS. ACTUAL LOCATION SHOULD BE VERIFIED BEFORE BEGINNING CONSTRUCTION AND ANY DISCREPANCIES REPORTED.

NOTE:
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 PHONE: 505.345.4250 FAX: 505.345.4254
 www.highmesacg.com

Architect: _____ Engineer: _____

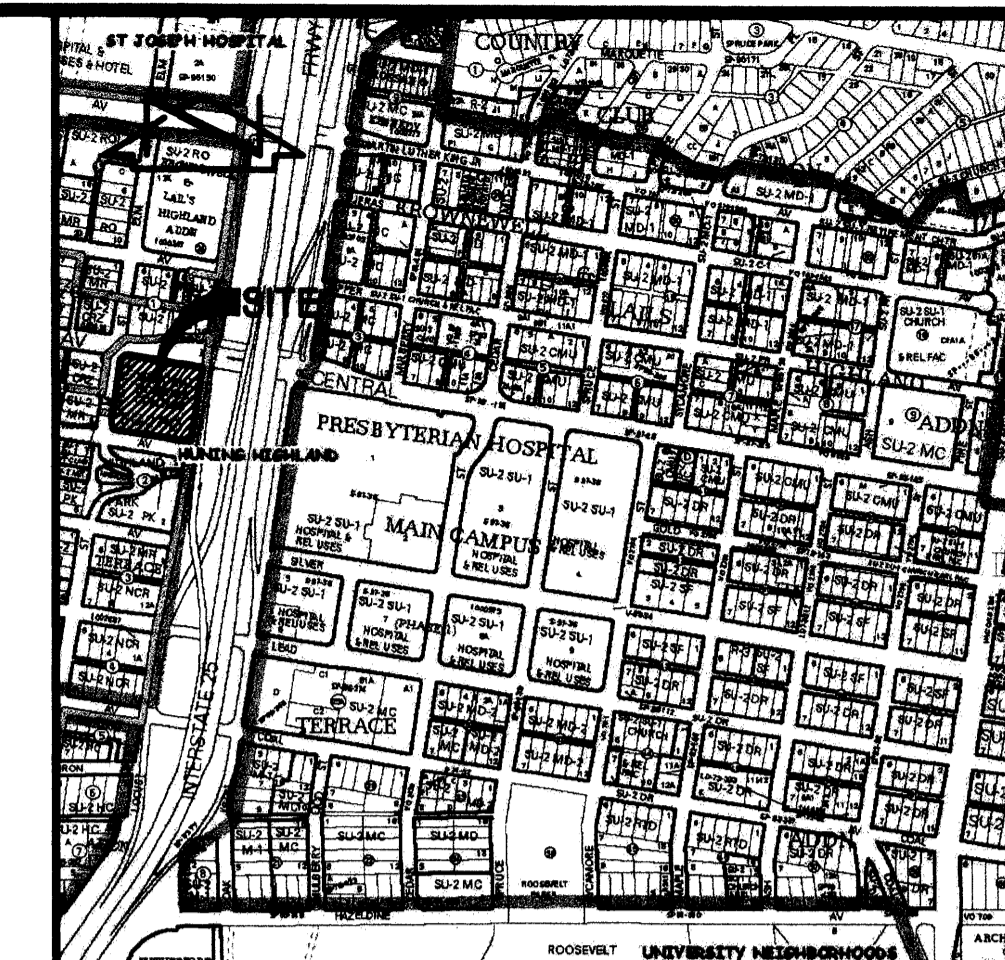
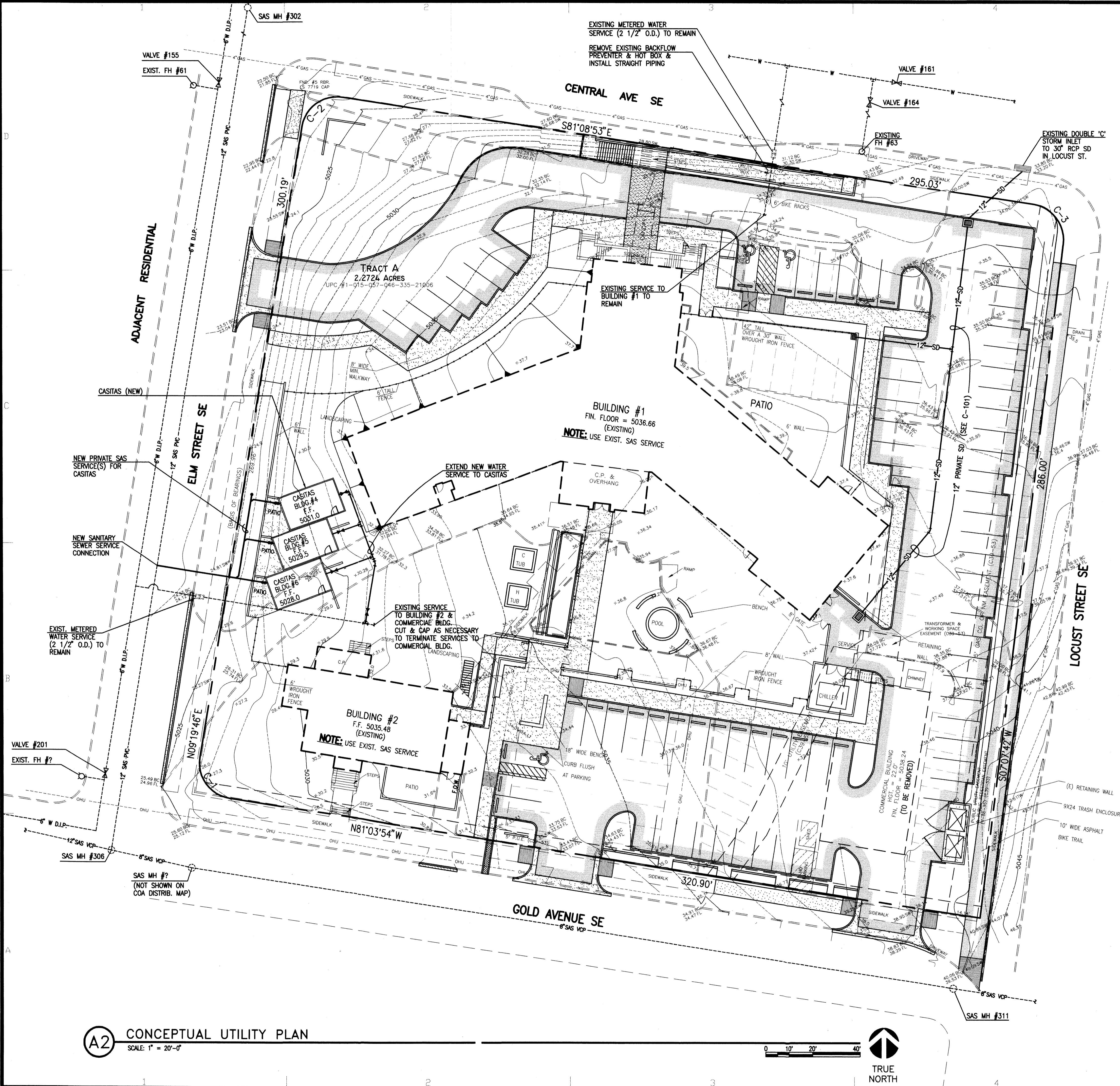
NOT FOR CONSTRUCTION
 12-05-2007
 12-11-2007 2007.074.1

HOTEL PARQ CENTRAL
 806 CENTRAL AVENUE SE
 ALBUQUERQUE, NM 87102

MARK	12/07	WALL NOTES
DATE	DESCRIPTION	
ISSUE:	LUCC & EPC	
PROJECT NO:	0710	
CAD DWG FILE:	C-101	
DRAWN BY:	JLP	
CHECKED BY:	J.G.M.	
DATE:	DECEMBER 06, 2007	

SHEET TITLE
PRELIMINARY GRADING PLAN

File Path: E:\WORK\2007\12-04-2007
 Plot Name: 20741UDWG
 Plot Date: 12-04-2007
 Plot Time: 1:26 pm



VICINITY MAP
 SCALE: 1" = 750'

CONCEPTUAL UTILITY PLAN

THIS PROJECT CONSISTS PRIMARILY OF RENOVATING AN EXISTING DEVELOPED SITE. INASMUCH, EXISTING WATER AND SANITARY SEWER SERVICES WILL BE RETAINED. THE CASITAS WILL REQUIRE A NEW SANITARY SEWER SERVICE CONNECTION IN ELM STREET SE. PRELIMINARY REVIEW BY THE CITY FIRE MARSHALS OFFICE (PLAN CHECK) INDICATES THAT TWO (2) FIRE HYDRANTS ARE REQUIRED. THE SITE IS CURRENTLY SERVED BY THREE (3) FIRE HYDRANTS, THEREFORE NO ADDITIONAL FIRE HYDRANTS ARE BEING REQUIRED. PUBLIC ELECTRIC, COMMUNICATIONS AND GAS SERVICE ARE AVAILABLE TO THIS SITE. BASED UPON IT BEING AN EXISTING DEVELOPED SITE WITHIN A FULLY-DEVELOPED INFILL AREA.

- THE CONCEPTUAL UTILITY PLAN SHOWS THE FOLLOWING:
1. EXISTING UTILITIES AS DEPICTED BY THE SURVEY REFERENCED BELOW
 2. PIPE SIZES AND MATERIALS AS NOTED BY THE CITY OF ALBUQUERQUE WATER, SANITARY SEWER AND STORM DRAINAGE DISTRIBUTION MAPS (PLATE K-15)
 3. METERED WATER SERVICE SIZES AS DETERMINED BY SITE INSPECTION BY THE ENGINEER ON 12-01-2007
 4. FIRE HYDRANT LOCATIONS AS CONFIRMED BY SITE INSPECTION BY THE ENGINEER ON 12-01-2007

LEGAL DESCRIPTION

TRACT A, MEMORIAL HOSPITAL COMPLEX

PROJECT BENCHMARK

THE BASIS OF ELEVATIONS FOR THIS SURVEY IS ACS BENCHMARK 5-K15B(R). THE PUBLISHED ELEVATION OF WHICH IS 5010.62. BENCHMARK IS LOCATED IN THE SIDEWALK AT THE SOUTHWEST QUADRANT OF THE INTERSECTION OF CENTRAL AVE. NE AND HIGH STREET SE.

LEGEND

- BC BACK OF CURB
- C.P. CONCRETE PAD
- F.F. FINISHED FLOOR
- FL FLOWLINE
- HGT HEIGHT
- MC MOTORCYCLE
- OHU OVERHEAD UTILITY
- R/R REBAR
- SW SIDEWALK
- T/W TOP OF WALL
- WV WATER VALVE
- WV EXISTING SPOT ELEVATION
- 23.8 PROPOSED SPOT ELEVATION
- PROPOSED CONCRETE
- PROPOSED ASPHALT
- PROPOSED TEXTURED ASPHALT
- PROPOSED FLOWLINE
- PROPOSED RETAINING WALL

CURVE TABLE

CURVE	LENGTH	RADIUS	BEARING	CHORD	CHORD BEARING
C-1	23.67'	15.00'	90°23'40"	21.29'	N35°52'04"W
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CITY OF ALBUQUERQUE
 LANDMARKS AND URBAN
 CONSERVATION COMMISSION
 HUNING HIGHLAND HISTORIC
 OVERLAY ZONE

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SW ARCHITECTS
 Architect
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Architect
 Engineer

NOT FOR CONSTRUCTION
 12-09-2007
 2007.074.1

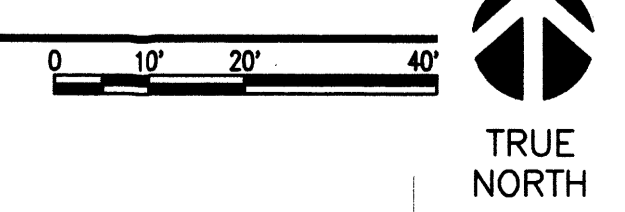
HOTEL PARQ CENTRAL
 806 CENTRAL AVENUE SE
 ALBUQUERQUE, NM 87102

MARK	DATE	DESCRIPTION
ISSUE:		LUCC & EPC
PROJECT NO:		0710
CAD DWG FILE:		C-102
DRAWN BY:		JLP
CHECKED BY:		J.G.M.
DATE:		DECEMBER 06, 2007

SHEET TITLE
CONCEPTUAL UTILITY PLAN

C-102
 sheet of sheets

A2 CONCEPTUAL UTILITY PLAN
 SCALE: 1" = 20'-0"



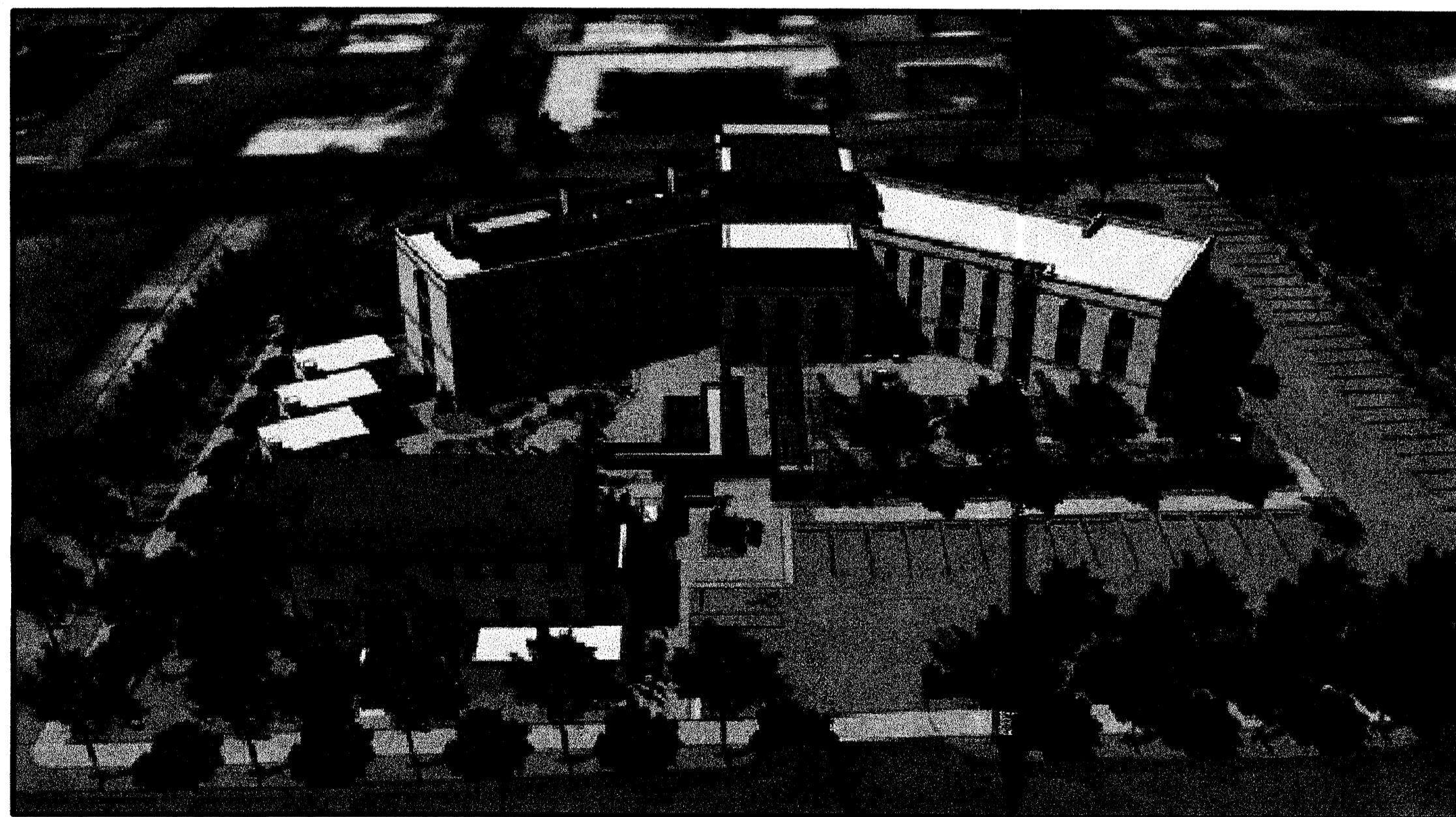
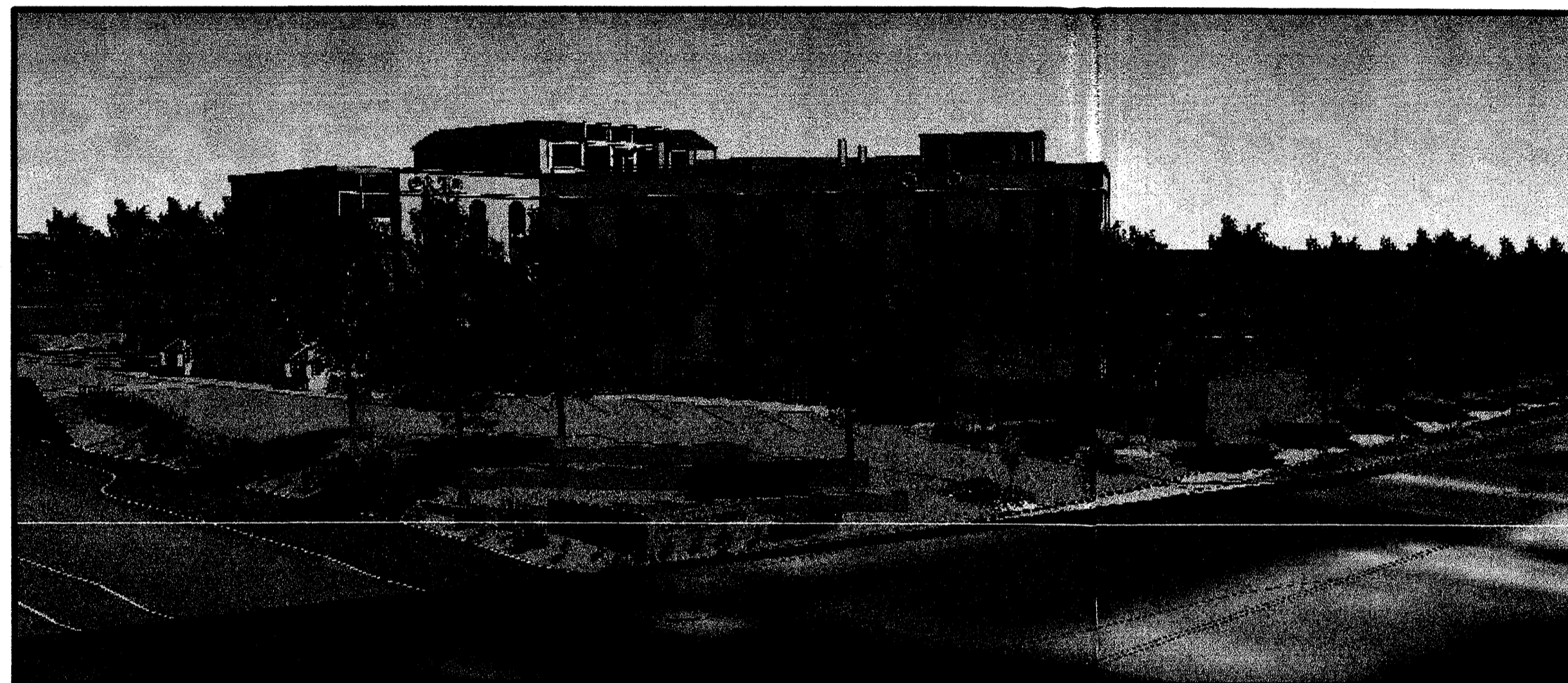
HOTEL PARQ CENTRAL

ALBUQUERQUE, NEW MEXICO

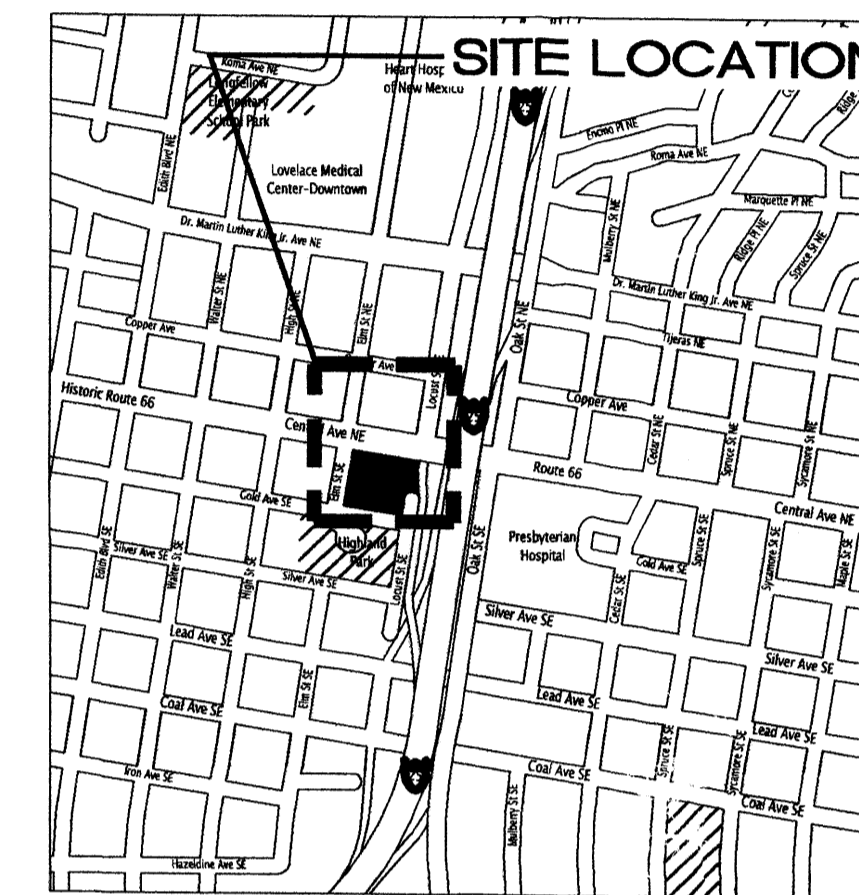
DRB SUBMITTAL

SITE PLAN FOR BUILDING PERMIT

PROPOSED RENDERINGS



VICINITY MAP



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G-001 TITLE SHEET, INDEX OF DRAWINGS, PROJECT DIRECTORY

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- AS-102 ARCHITECTURAL SITE PLAN DETAILS
- AS-103 ARCHITECTURAL SITE PLAN DETAILS
- AS-104 ARCHITECTURAL SITE PLAN DETAILS
- AD-100 DEMOLITION SITE PLAN
- AD-101 DEMOLITION FIRST FLOOR PLAN BUILDING 1
- AD-102 DEMOLITION SECOND FLOOR PLAN BUILDING 1
- AD-103 DEMOLITION THIRD FLOOR PLAN BUILDING 1
- AD-104 DEMOLITION ROOF PLAN BUILDING 1
- AD-201 DEMOLITION ELEVATIONS BUILDING 1
- AD-202 DEMOLITION ELEVATIONS BUILDING 1
- AD-203 DEMOLITION ELEVATIONS BUILDING 1
- AD-204 DEMOLITION ELEVATIONS BUILDING 2
- A-101 PROPOSED FIRST FLOOR PLAN BUILDING 1
- A-102 PROPOSED SECOND FLOOR PLAN BUILDING 1
- A-103 PROPOSED THIRD FLOOR PLAN BUILDING 1
- A-104 PROPOSED ROOF PLAN BUILDING 1
- A-201 PROPOSED ELEVATIONS BUILDING 1 (MAIN)
- A-202 PROPOSED ELEVATIONS BUILDING 1 (MAIN)
- A-203 PROPOSED ELEVATIONS BUILDING 1 (MAIN)
- A-204 PROPOSED ELEVATIONS BUILDING 2 (SANS)
- A-205 PROPOSED ELEVATIONS BUILDING 3 (CASITAS)
- A-601 WINDOW AND FRAME TYPES
- A-602 WINDOW AND FRAME TYPES
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CIVIL

- C-101A PRELIMINARY GRADING PLAN NARRATIVE
- C-101 GRADING AND DRAINAGE PLAN
- C-102 UTILITY PLAN

LANDSCAPE

- L-101 LANDSCAPE PLAN

LAND USE CALCULATIONS

LEGAL DESCRIPTION:

TRACT A MEMORIAL HOSPITAL COMPLEX
SECTION 21, T. 10 N., R. 3 E., N.M.P.M.
CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO

PROPOSED USE: HOTEL

BUILDING ONE:
GROUND FLOOR 11,640 GSF
SECOND FLOOR 12,075
THIRD FLOOR 12,450
ROOF (MECH PENTHOUSE) 1,786
37,951

ORIGINAL CONSTRUCTION 1926: 24,000
4 ADDITIONS: 14,000

BUILDING TWO:
SANS BUILDING (FNA CHIEF PHYSICIAN'S RESIDENCE)

BASEMENT 1,080 GSF
GROUND FLOOR 2,460
SECOND FLOOR 2,460
6,000

CASITAS: 1,407 GSF
(NEW CONSTRUCTION)

TOTAL BUILDING GSF: 43,572 GSF

EXISTING & TOTAL LAND AREA: 98,410 SF (2.27 ACRES)

BUILDING COVERAGE: 11,640 + 2,460 + 1,407 = 15,507 SF

TOTAL LOT AREA LESS BUILDING AREA: 98,410 - 15,507 = 82,903 SF

TOTAL PARKING LOT AREA: 30,305 SF

REFUGE AREA: (TRASH) 360 SF
SERVICE AREA: (INCLUDES COOLER) 1068 SF

LANDSCAPE AREA: REFER TO LANDSCAPE DWGS.
(INCLUDES HARDSCAPE)
ON-RAMP (1-25 ROW)
LANDSCAPING AT BIKE TRAIL: 3,744 SF

TOTAL LANDSCAPE PERCENTAGE: REFER TO LANDSCAPE DWGS.
(NOT INCLUDING ON RAMP LANDSCAPING)

TOTAL REQUIRED SPACES:

HOTEL HAS 73 TOTAL GUEST ROOMS
1 REQUIRED PARKING SPACE FOR EACH GUEST ROOM
73 PARKING SPACES REQUIRED BEFORE DISCOUNTS.

PROXIMITY TOWARDS BUS STOP: 10% DISCOUNT
7 SPACE DISCOUNT

BUS SHELTER: 5% DISCOUNT
3 SPACE DISCOUNT

TOTAL REQUIRED: 73 - 10 = 63 SPACES

TOTAL PROVIDED SPACES:

STANDARD SPACES: 54
SMALL CAR SPACES: 18 (24%)
HANDICAP SPACES: 4

TOTAL PROVIDED: 75 SPACES

MOTORCYCLES SPACES: 3 REQUIRED

BIKE SPACES:
1 BIKE SPACE PER 20 PARKING = 4 SPACES
SPACES PROVIDED: 10

PROJECT DIRECTORY

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505-843-9639
CONTACT: BOB HEISER/DANIEL SOLARES

CIVIL ENGINEER
High Mesa Consulting Group
6010-B Midway Park Blvd. NE
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505-345-4250
CONTACT: Jeffrey Mortensen

LANDSCAPE ARCHITECT
Sites Southwest
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Suite 3100
ALBUQUERQUE, NM 87109
505-344-4080
CONTACT: George Randovich

CLIENT
Oberstein Properties, Inc.
PO Box 1477
1409 Luisa Street, Ste F
Santa Fe, NM 87505
CONTACT: Mr. David Oberstein

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SW
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CONSULTANTS

Architect Engineer

**DRB
SUBMITTAL**

**HOTEL PARQ
CENTRAL**

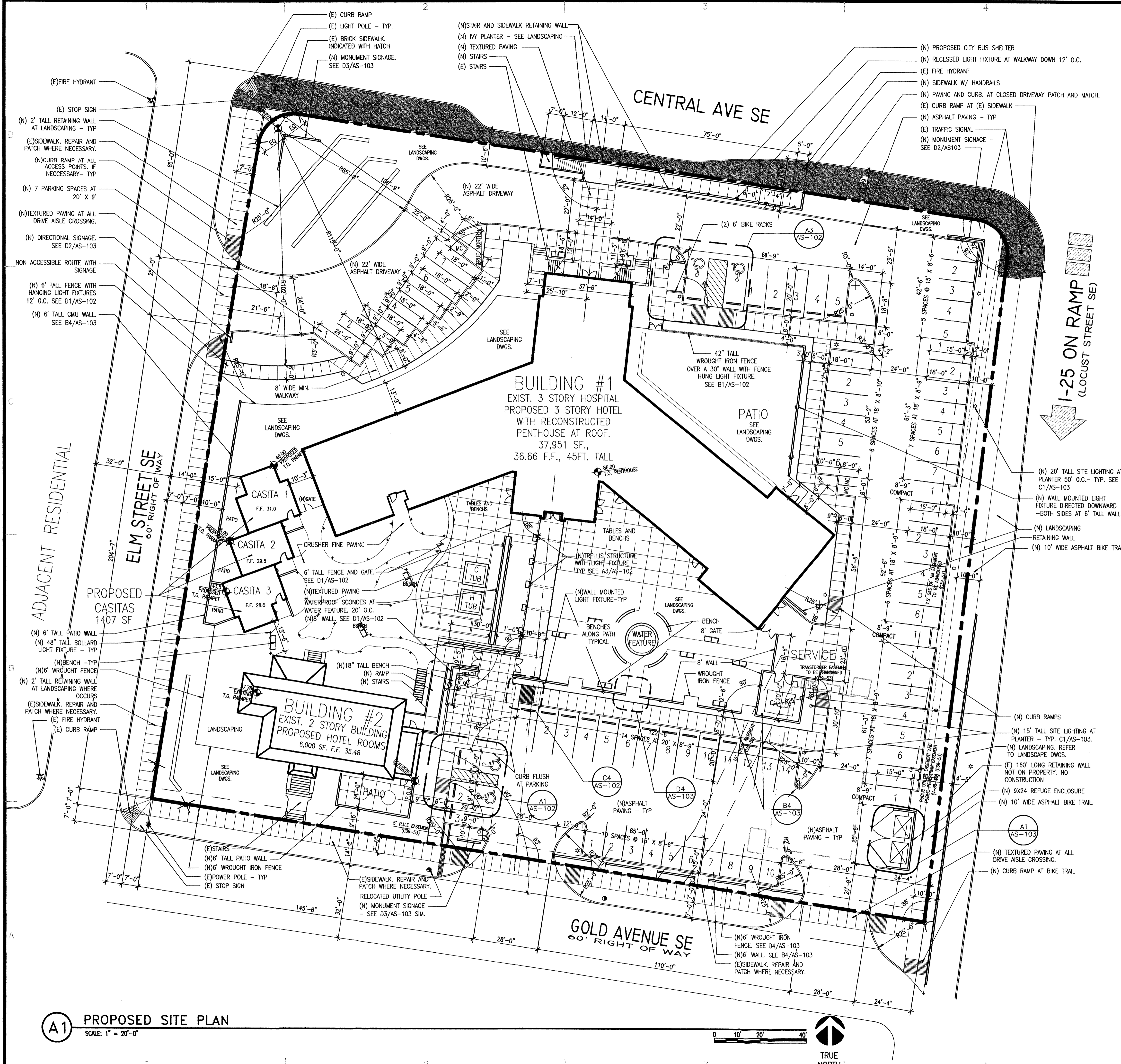
806 CENTRAL AVE. SE
ALBUQUERQUE, NM 87102

MARK	DATE	DESCRIPTION
△	07/10/08	DRB MODIFICATIONS
ISSUE:	DRB SET	
PROJECT NO:	0710	
CAD DWG FILE:	0725 G-01	
DRAWN BY:	DSJ	
CHECKED BY:	-	
DATE:	July 14, 2008	

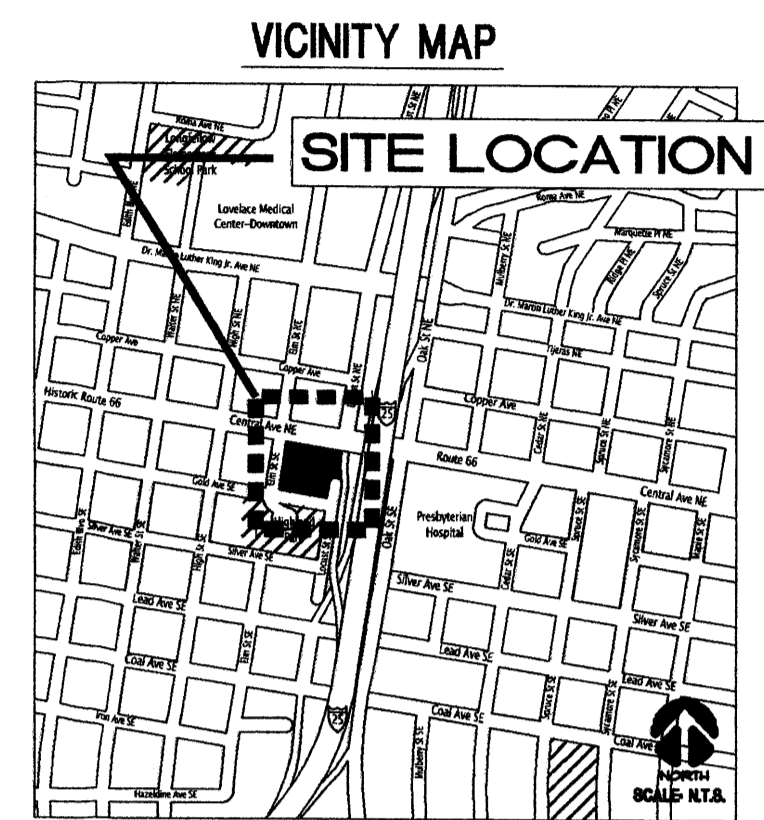
SHEET TITLE

COVER SHEET

G-001
sheet of sheets



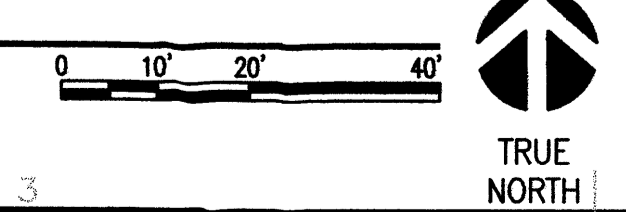
- GENERAL NOTES**
- SEE SHEETS AS-102, AS-103 & AS-104 FOR SITE DETAILS.
 - ALL LIGHTING WILL BE IN COMPLIANCE WITH ZONING CODE SECTION 14-16-3-9, AREA LIGHTING REGULATIONS.
 - ALL PEDESTRIAN SIDEWALKS WILL BE CONCRETE. SEE PLAN FOR WIDTH.
 - ALL PEDESTRIAN CROSSWALKS WILL BE COLORED, TEXTURED AND PATTERNED CONCRETE. SEE PLAN FOR WIDTH.
 - ALL VEHICULAR TRAFFIC AREAS WILL HAVE ASPHALTIC CONCRETE PAVING UNLESS NOTED OTHERWISE.
 - IDENTIFY ALL SMALL CAR SPACES WITH "SMALL CAR" PAINTED ON THE PAVEMENT.
 - FOR BUILDING SIGNAGE AND SITE SIGNAGE SEE SHEET AS-103.



- PARKING TABULATIONS**
- 2 ACCESSIBLE SPACES AT 20' X 8'-9"
 - 1 ACCESSIBLE SPACES AT 20' X 9'-0"
 - 3 SPACES AT 15' X 8'-9" (COMPACT)
 - 10 SPACES AT 15' X 8'-6" (COMPACT)
 - 5 SPACES @ 15' X 8'-6" (COMPACT)
 - 6 SPACES AT 18' X 8'-10"
 - 7 SPACES AT 18' X 8'-9"
 - 6 SPACES AT 18' X 8'-9"
 - 7 SPACES AT 18' X 8'-9"
 - 2 SPACES AT 20' X 9'-0"
 - 5 SPACES AT 20' X 8'-9"
 - 7 SPACES AT 20' X 9'-0"
 - 14 SPACES AT 20' X 8'-9"
- TOTAL 75 SPACES



A1 PROPOSED SITE PLAN
SCALE: 1" = 20'-0"



PROJECT NUMBER: _____
APPLICATION NUMBER: _____

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date
* Environmental Health, if necessary	Date

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Architect Engineer

DRB SUBMITTAL

HOTEL PARQ CENTRAL

806 CENTRAL AVE. SE
 ALBUQUERQUE, NM 87102

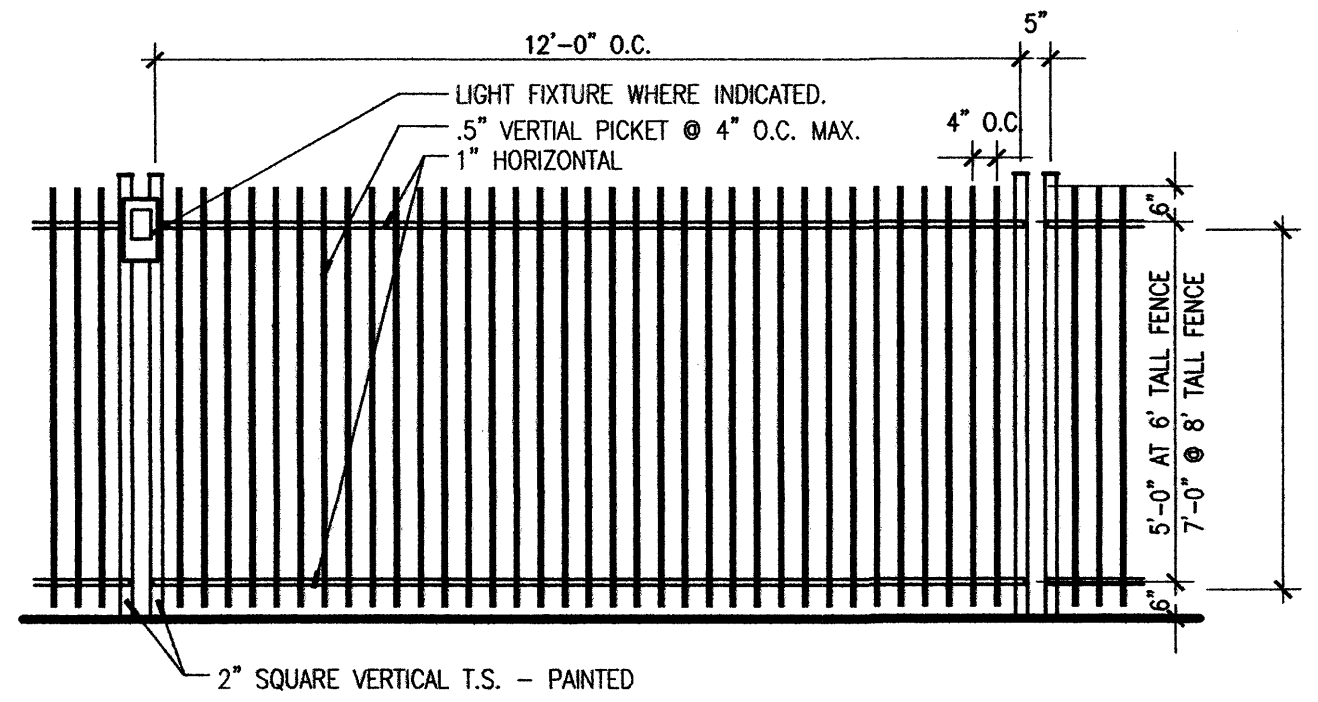
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DRB	07/10/08	DRB MODIFICATIONS
ISSUE:		DRB SET
PROJECT NO:		0710
CAD DWG FILE:		AS-101
DRAWN BY:		PSV/DSJ
CHECKED BY:		BH
DATE:		July 14, 2008

SHEET TITLE

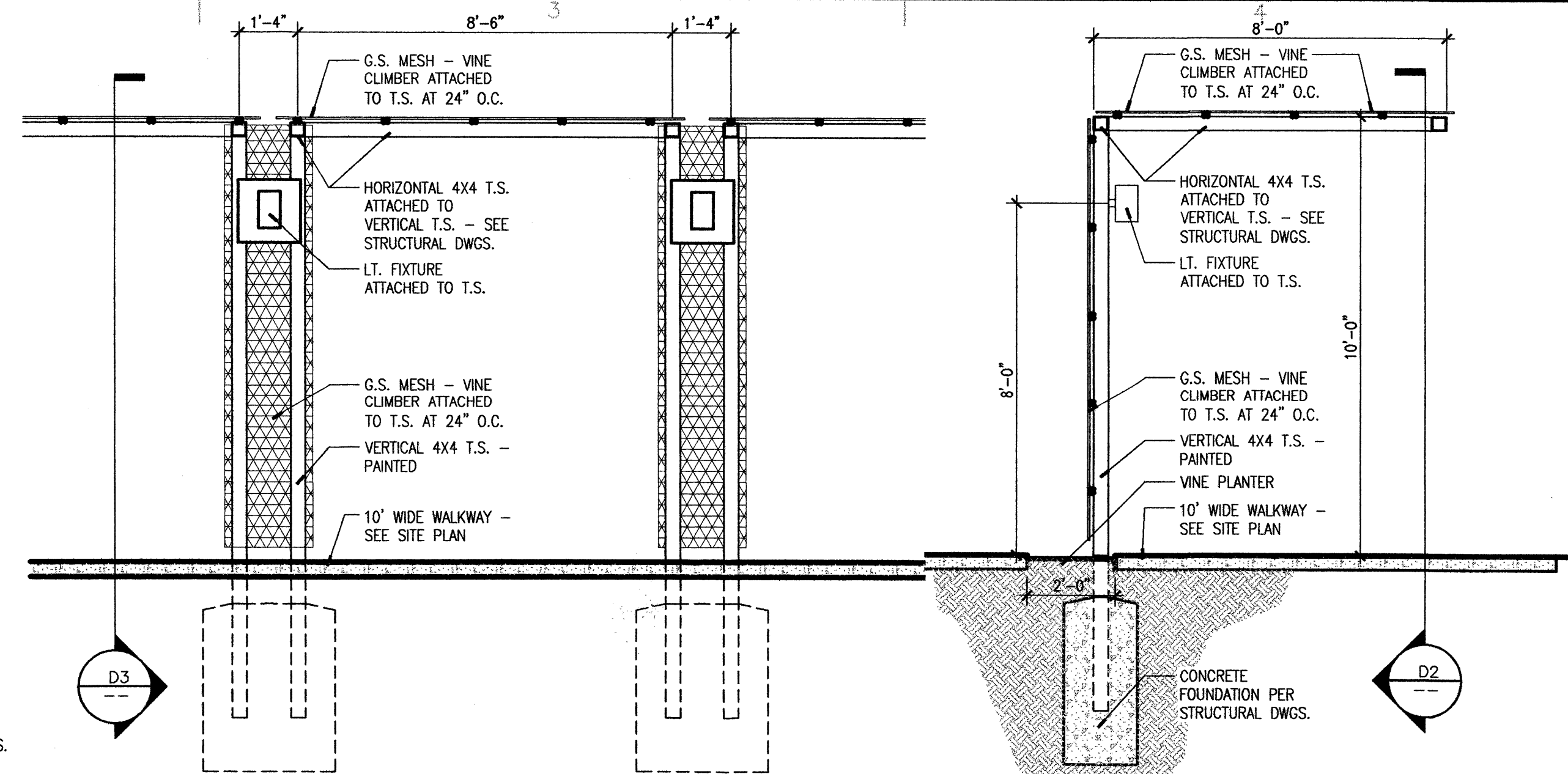
PROPOSED SITE PLAN

AS-101

sheet of sheets

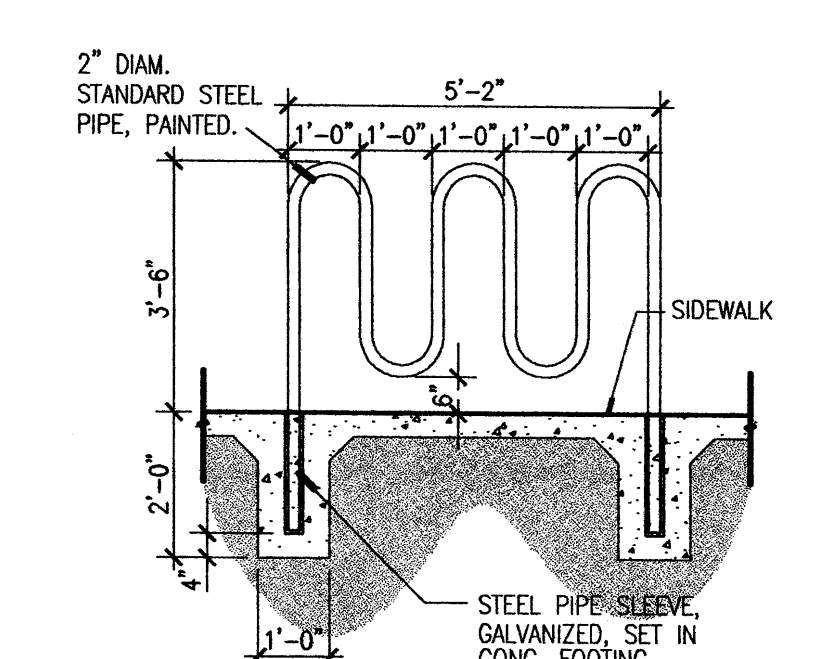


D1 WROUGHT IRON FENCE
SCALE: 3/8"=1'-0"

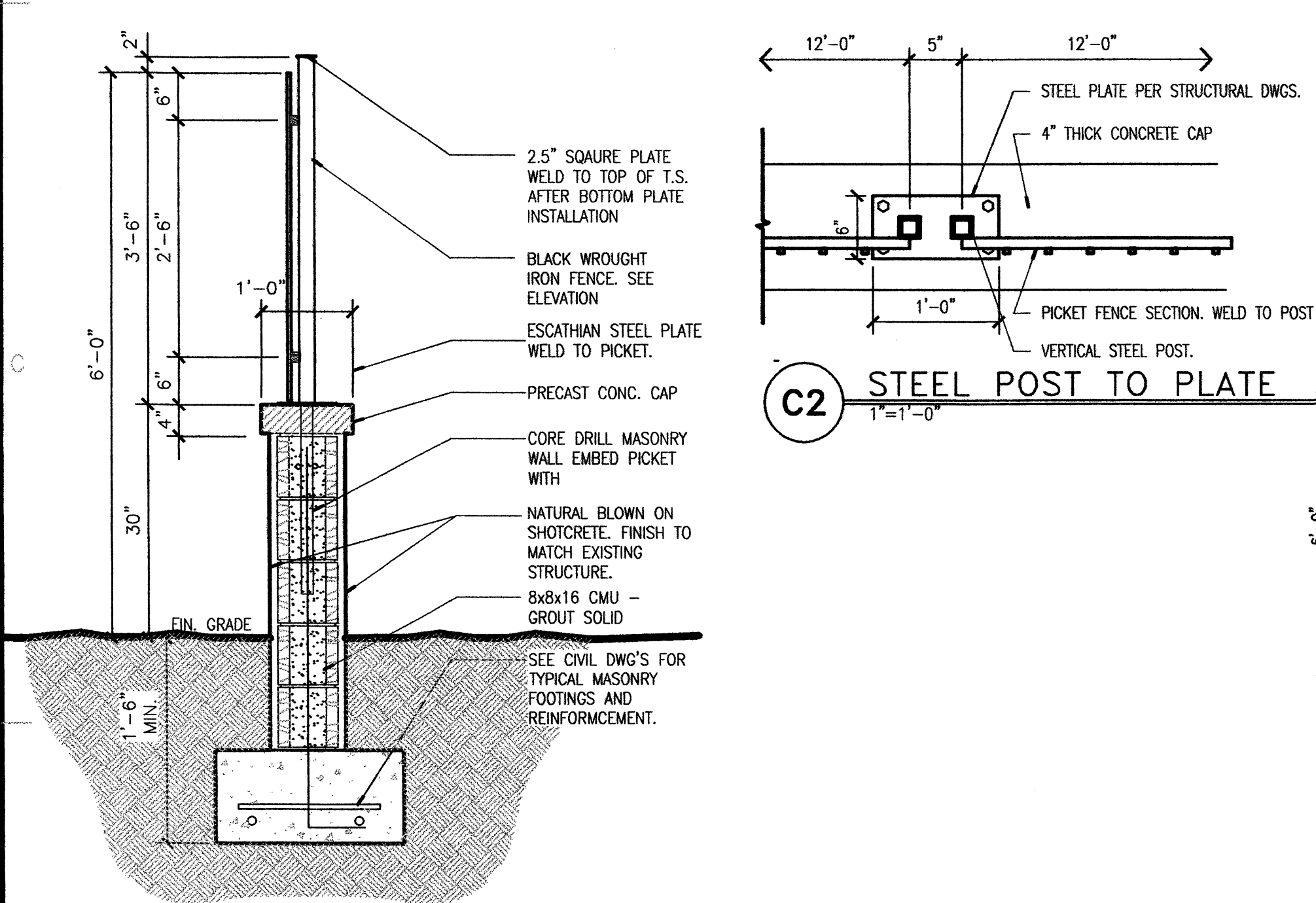


D2 TRELLIS STRUCTURE
SCALE: 3/8"=1'-0"

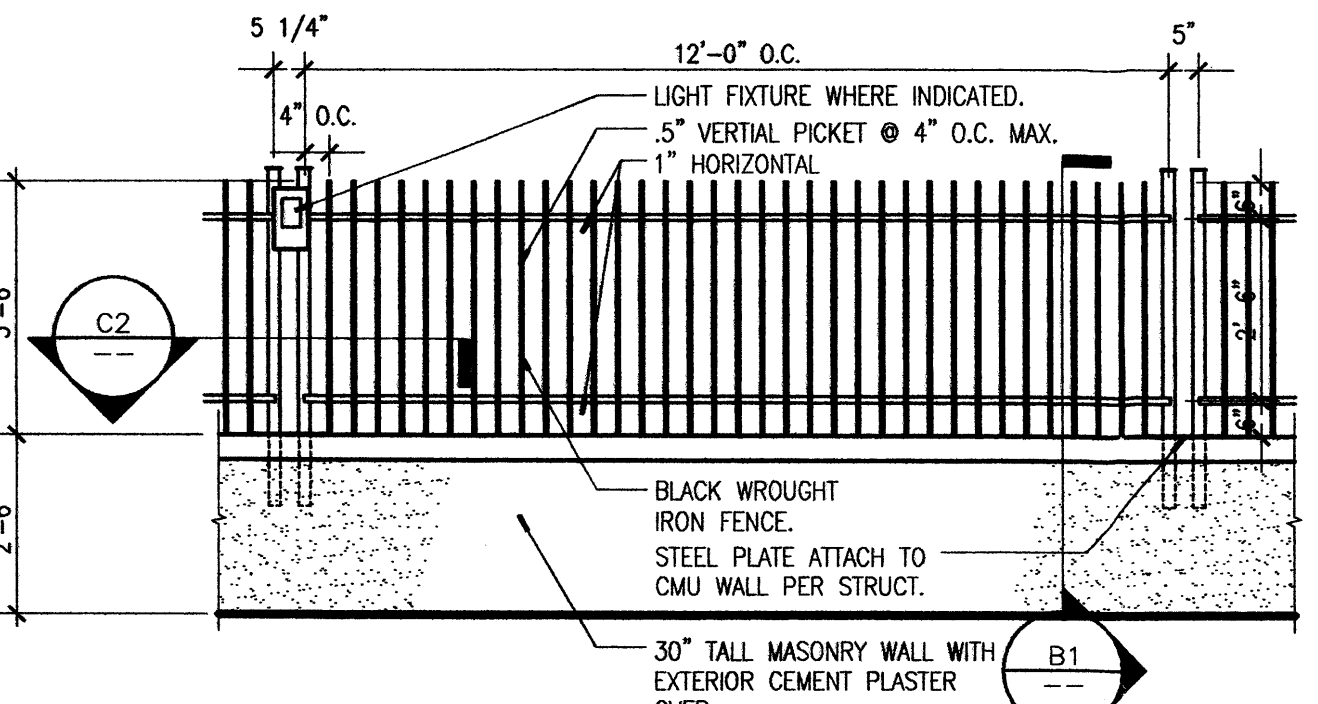
D3 TRELLIS STRUCTURE
SCALE: 3/8"=1'-0"



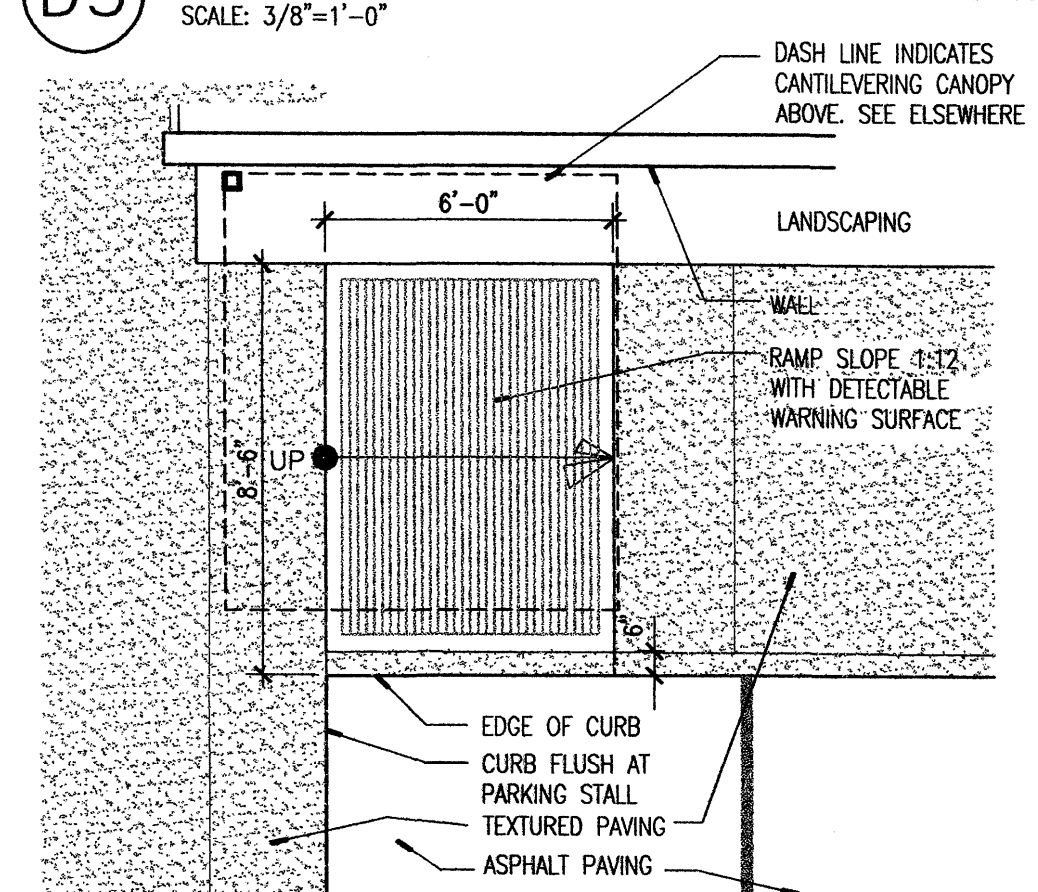
D4 BIKE RACK
SCALE: 3/8"=1'-0"



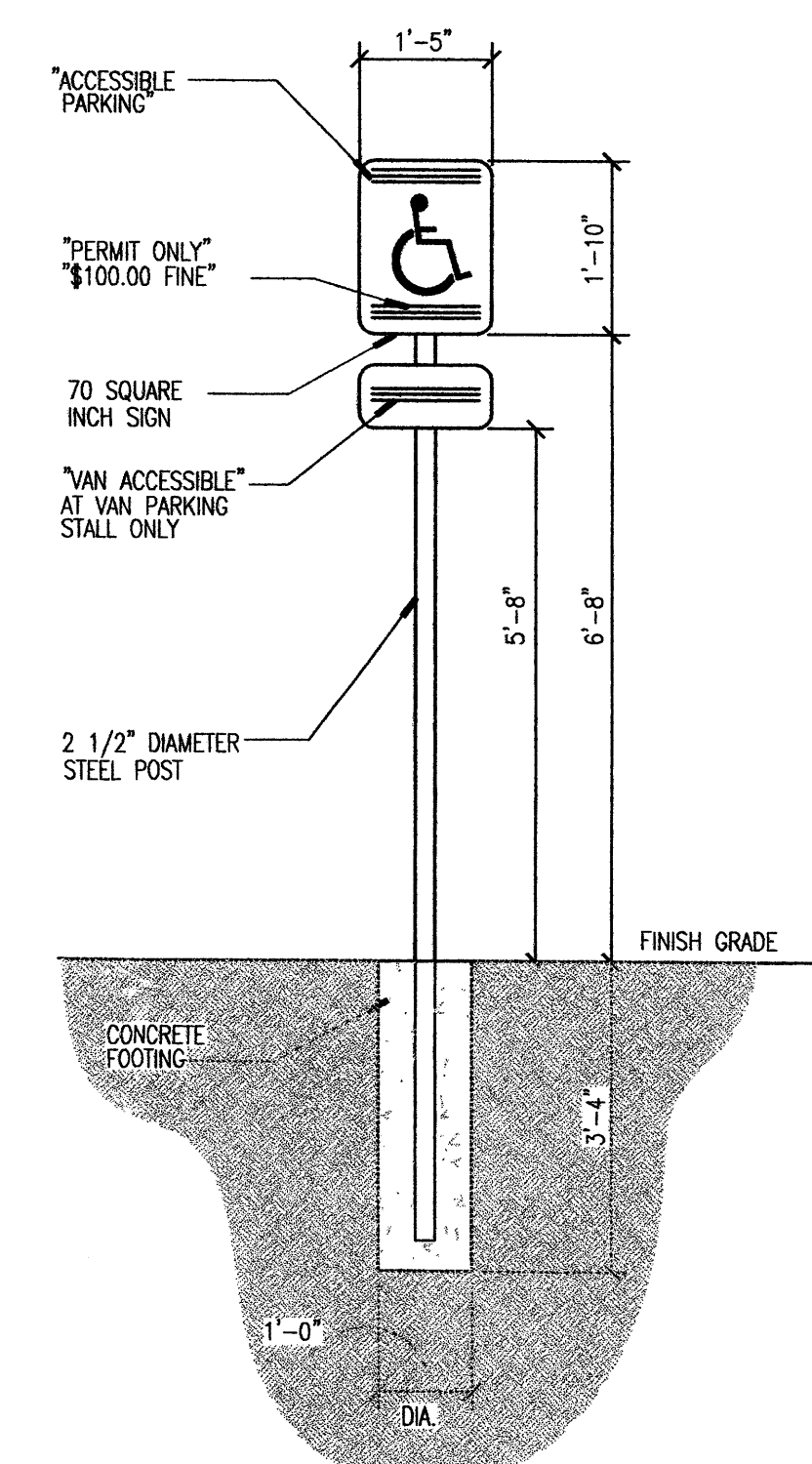
C2 STEEL POST TO PLATE
SCALE: 1"=1'-0"



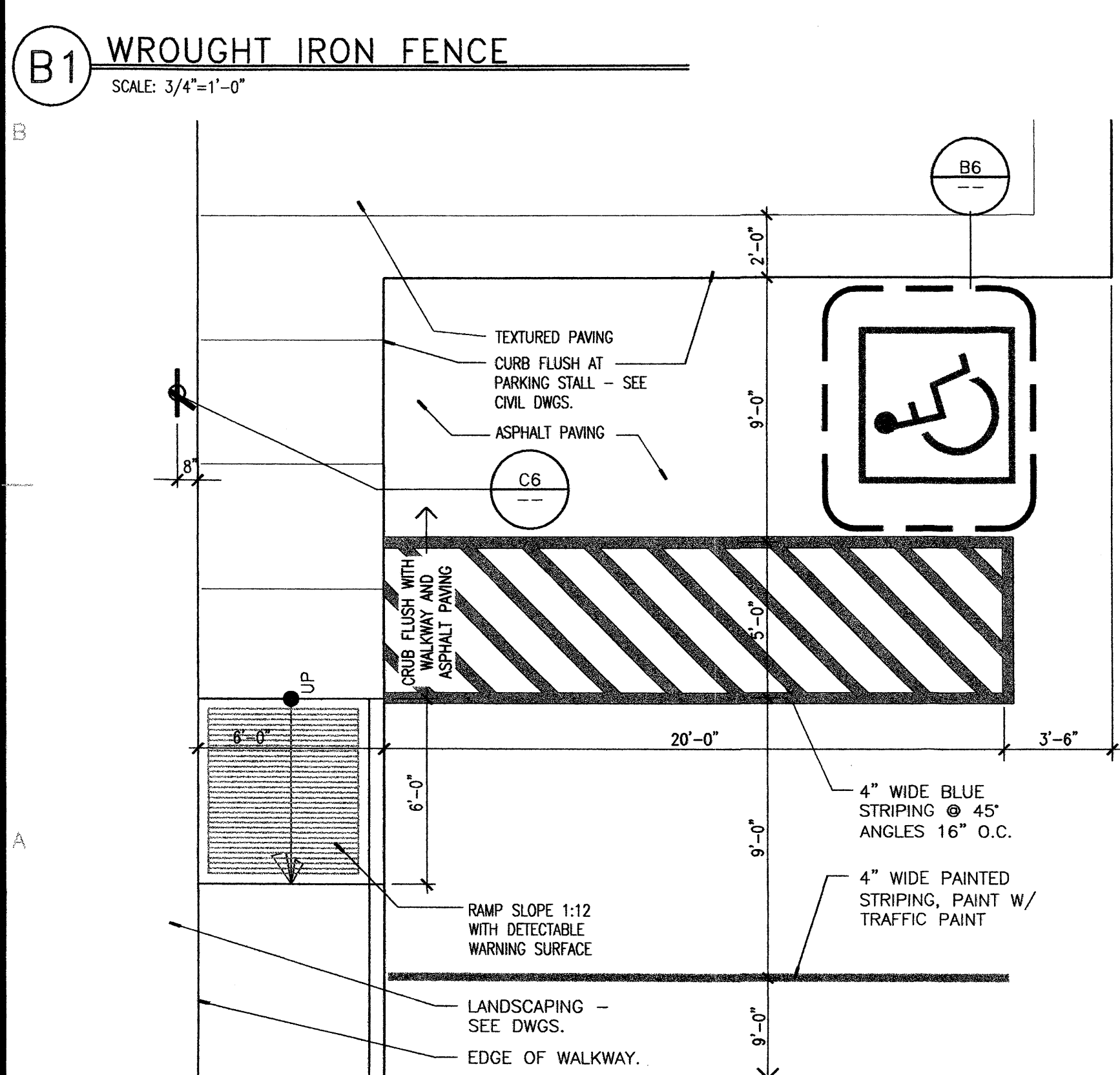
C3 WROUGHT IRON FENCE AT WALL
SCALE: 3/8"=1'-0"



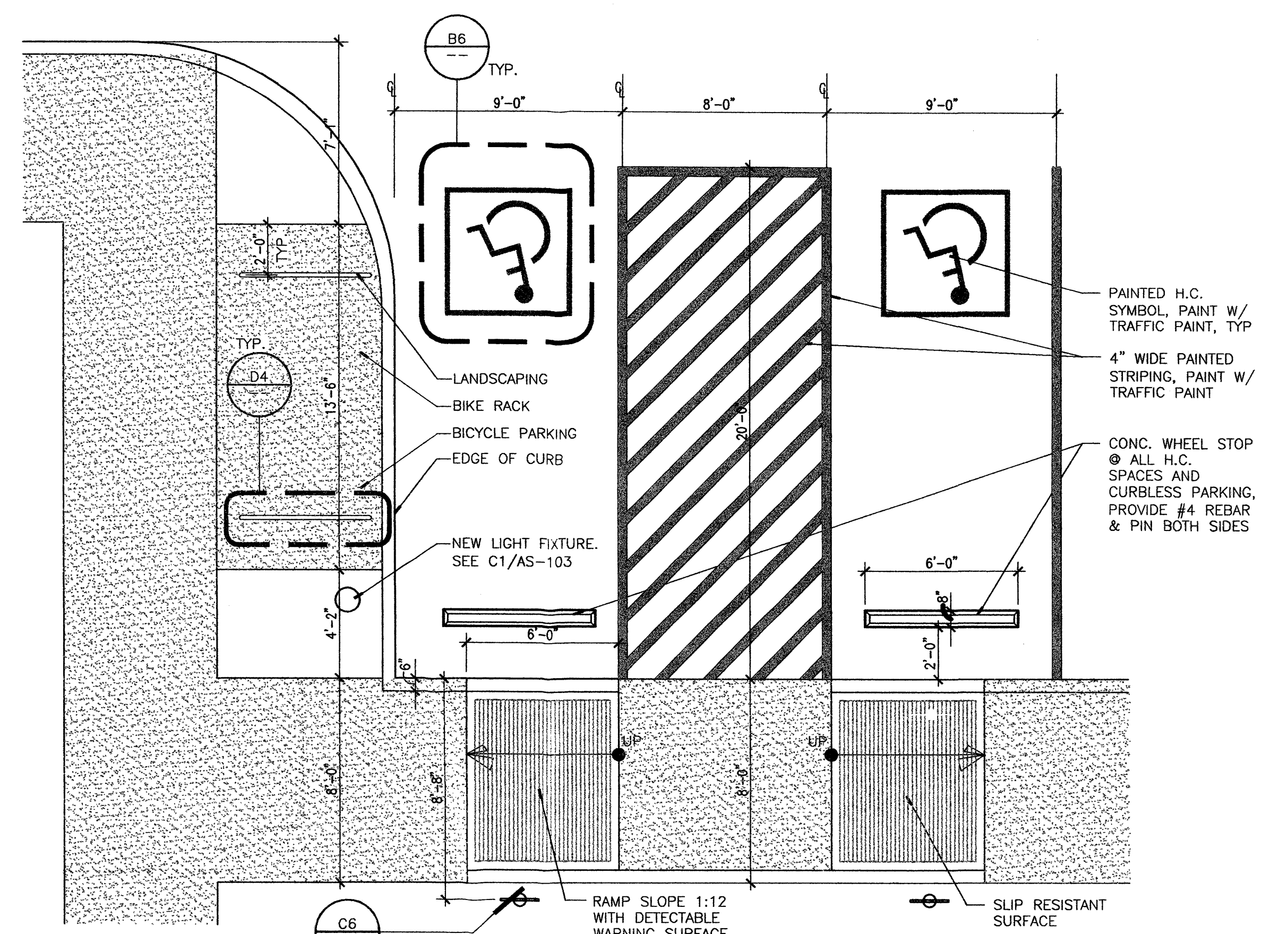
C4 WALKWAY RAMP
SCALE: 1/4"=1'-0"



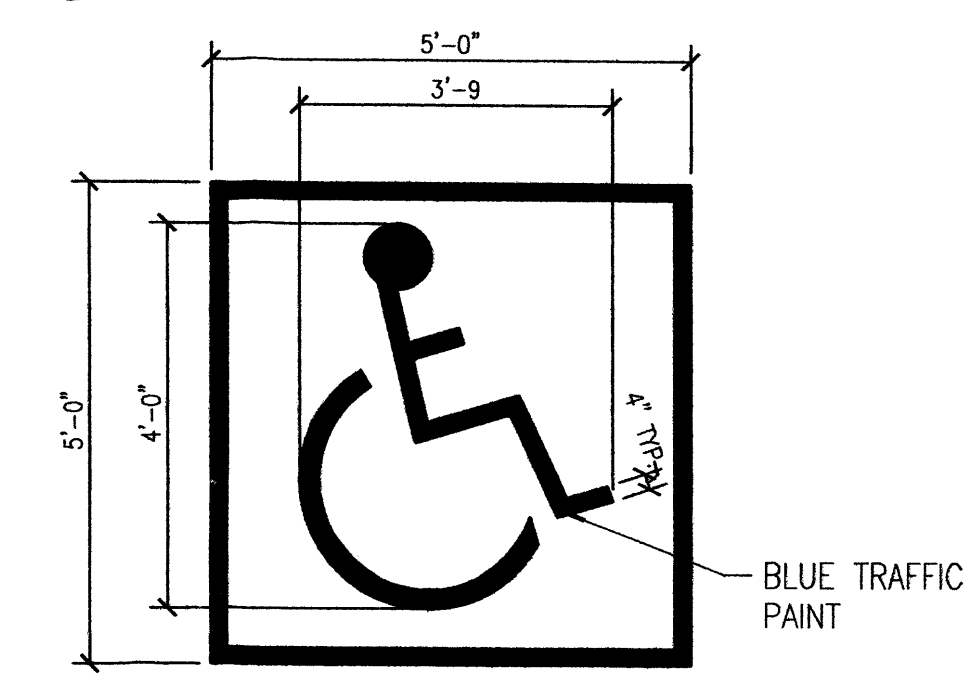
C6 HANDICAP PARKING SIGNAGE
SCALE: 1/2"=1'-0"



A1 STANDARD HANDICAP STALL
SCALE: 1/4"=1'-0"



A3 STANDARD/VAN HANDICAP STALL & BIKE RACK PARKING
SCALE: 1/4"=1'-0"



B6 H.C. PAVEMENT SIGN
SCALE: 1/2"=1'-0"

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CONSULTANTS
Architect Engineer

DRB SUBMITTAL

HOTEL PARQ CENTRAL

806 CENTRAL AVE. SE
ALBUQUERQUE, NM 87102

MARK	DATE	DESCRIPTION
△	07/10/08	DRB MODIFICATIONS
ISSUE:	DRB SET	
PROJECT NO:	0710	
CAD DWG FILE:	0710 AS-102	
DRAWN BY:	DSJ	
CHECKED BY:	-	
DATE:	July 14, 2008	


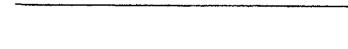

SHEET TITLE
ARCHITECTURAL SITE PLAN DETAILS

AS-102
sheet of sheets

GENERAL NOTES DEMOLITION

- A SCOPE OF DEMOLITION SHOWN ON DEMOLITION DRAWINGS.
- B CONTRACTOR SHALL PROVIDE SAFETY DEVICES TO PROTECT THE PUBLIC.
- C USE METHODS REQUIRED TO COMPLETE THE DEMOLITION AND REMOVAL WORK WITH LIMITATIONS OF GOVERNING REGULATIONS.
- D CONTRACTOR SHALL VERIFY EXISTING UNDERGROUND UTILITIES PRIOR TO EXCAVATION. REMOVE/RELOCATE EXISTING UTILITIES ON PROJECT SITE AS SHOWN ON DRAWINGS.
- E CENTAL AVE. SIDEWALK SHALL REMAIN OPEN TO PUBLIC DURING CONSTRUCTION.
- F PROVIDE TEMPORARY BARRIERS AT EXTERIOR REMOVALS TO PROTECT THE INTERIOR ENVIRONMENT. BARRIERS SHALL BE WATER AND DUST INFILTRATION PROOF.

LEGEND DEMOLITION

-  TO BE REMOVED.
-  TO REMAIN.
-  EXISTING STRUCTURE TO REMAIN

KEYNOTES DEMOLITION

- 1) REMOVE ASPHALT PAVING SURFACE. COORDINATE WITH NEW SITE PLAN.
- 2) REMOVE CONCRETE SIDEWALK. TYPICAL.
- 3) REMOVE CONCRETE CURB. TYPICAL.
- 4) REMOVE EXISTING LANDSCAPING AND PLANTER CURB FOR NEW BUS STOP CONSTRUCTION
- 5) REMOVE EXISTING OVERHEAD CANOPY.
- 6) REMOVE EXISTING STAIRS - SEE PROPOSED DRAWINGS FOR ADDL. INFO.
- 7) REMOVE RAMP ADJACENT TO BUILDING.
- 8) REMOVE PLAYGROUND EQUIPMENT.
- 9) REMOVE EXISTING STRUCTURE.
- 10) REMOVE EXISTING CONCRETE LIGHT WELL & PIPE RAILING.
- 11) REMOVE EXISTING LANDSCAPING - SEE CIVIL DRAWINGS AND PROPOSED SITE PLAN FOR NEW DRIVEWAY LOCATION.
- 12) CLEAR BRUSH FOR NEW LANDSCAPING. SEE LANDSCAPE DRAWINGS
- 13) EXISTING CONCRETE RETAINING WALL. NO CONSTRUCTION.
- 14) EXISTING F.D.C. CONNECTION. NO CONSTRUCTION.
- 15) REMOVE EXISTING FLAGPOLE. INCLUDING ALL ANCHORAGE AND FOUNDATION.
- 16) REMOVE EXISTING UTILITY BOX. SEE CIVIL DWGS.



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CONSULTANTS

Architect Engineer

**DRB
SUBMITTAL**

**HOTEL PARQ
CENTRAL**

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 ALBUQUERQUE, NM 87102

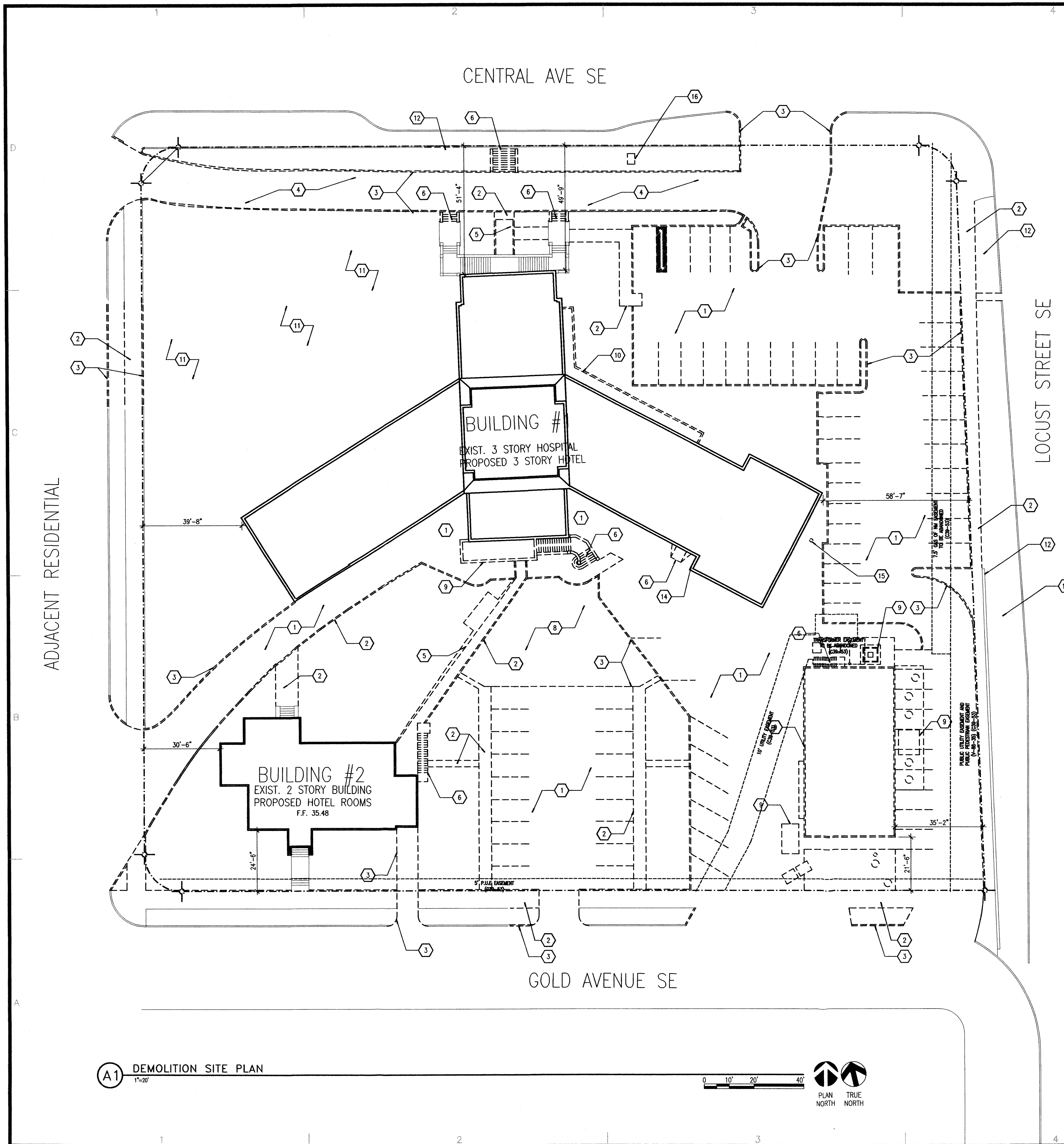
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PROJECT NO:		0710
CAD DWG FILE:		
DRAWN BY:		
CHECKED BY:		
DATE:	July 14, 2008	

SHEET TITLE

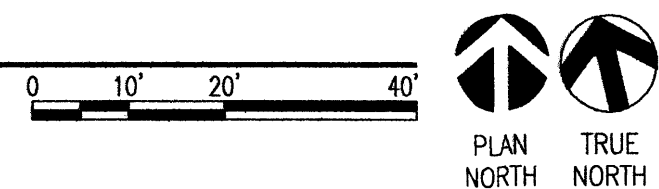
DEMOLITION
 SITE PLAN

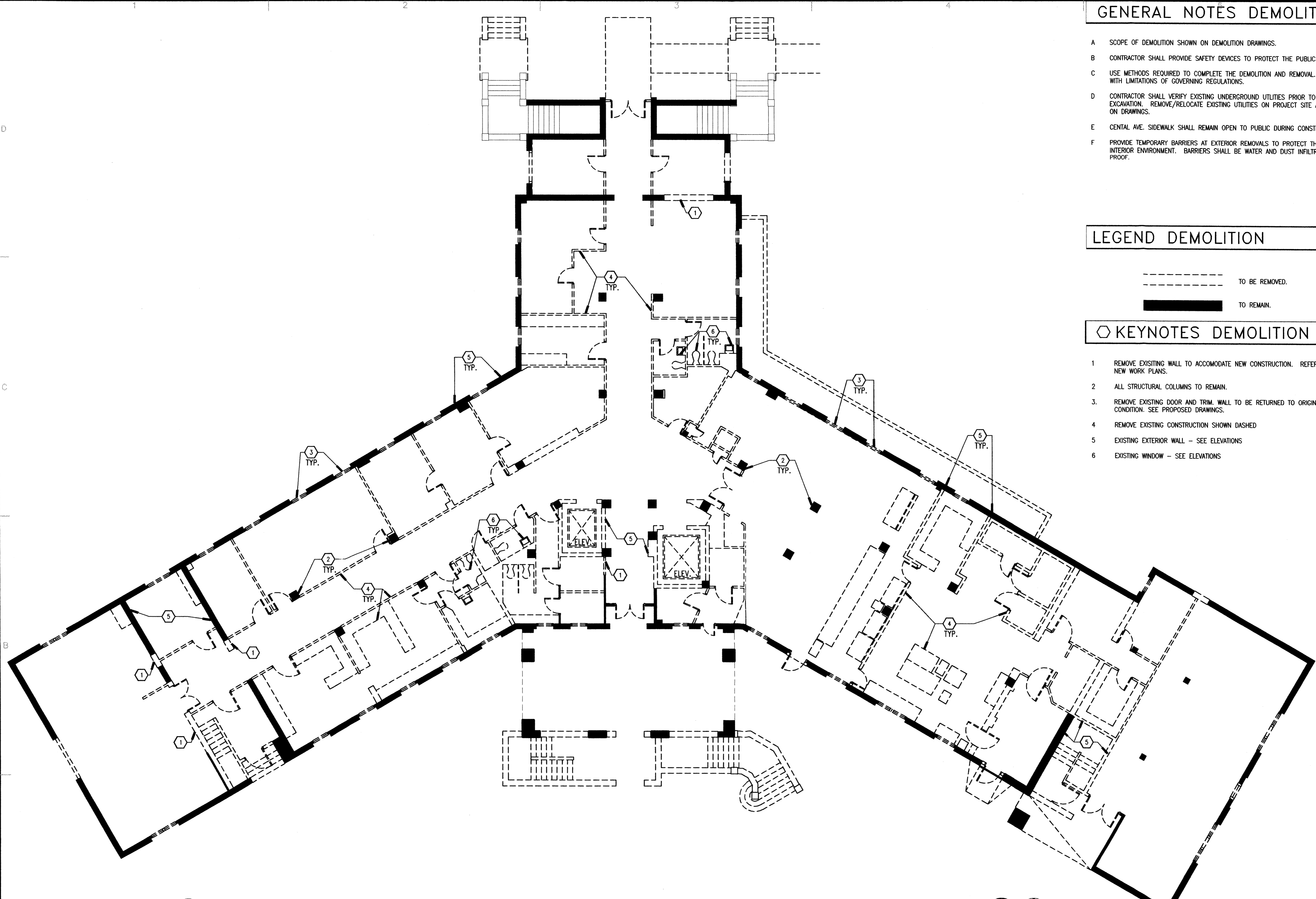
AD-100

sheet of sheets



A1 DEMOLITION SITE PLAN
 1"=20'

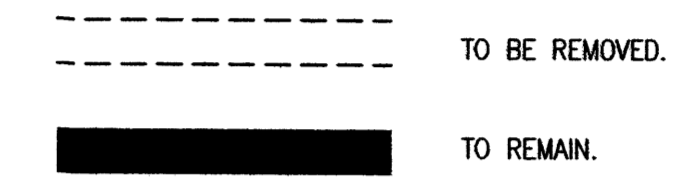




GENERAL NOTES DEMOLITION

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- E CENTAL AVE. SIDEWALK SHALL REMAIN OPEN TO PUBLIC DURING CONSTRUCTION.
- F PROVIDE TEMPORARY BARRIERS AT EXTERIOR REMOVALS TO PROTECT THE INTERIOR ENVIRONMENT. BARRIERS SHALL BE WATER AND DUST INFILTRATION PROOF.

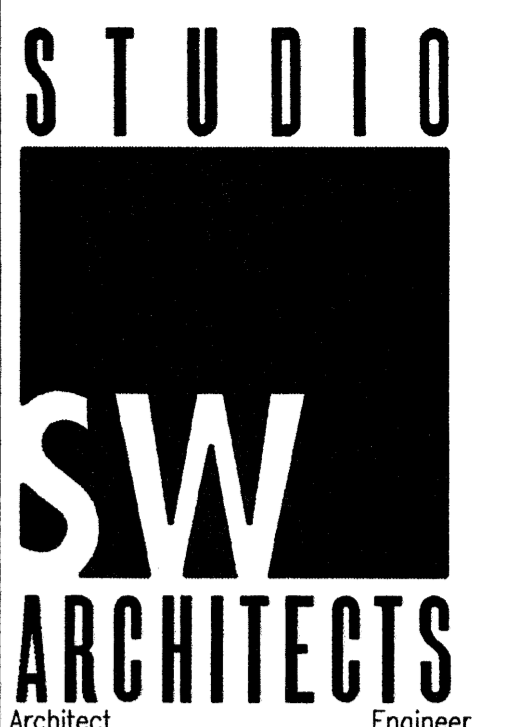
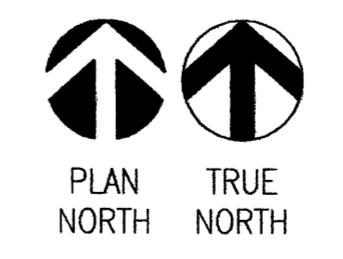
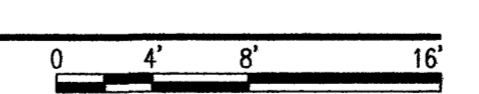
LEGEND DEMOLITION



KEYNOTES DEMOLITION

- 1 REMOVE EXISTING WALL TO ACCOMODATE NEW CONSTRUCTION. REFER TO NEW WORK PLANS.
- 2 ALL STRUCTURAL COLUMNS TO REMAIN.
- 3 REMOVE EXISTING DOOR AND TRIM. WALL TO BE RETURNED TO ORIGINAL SOLID CONDITION. SEE PROPOSED DRAWINGS.
- 4 REMOVE EXISTING CONSTRUCTION SHOWN DASHED
- 5 EXISTING EXTERIOR WALL - SEE ELEVATIONS
- 6 EXISTING WINDOW - SEE ELEVATIONS

A1 DEMOLITION FIRST FLOOR PLAN
1"=1/8"



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CONSULTANTS

Architect Engineer

**DRB
SUBMITTAL**

**HOTEL PARQ
CENTRAL**

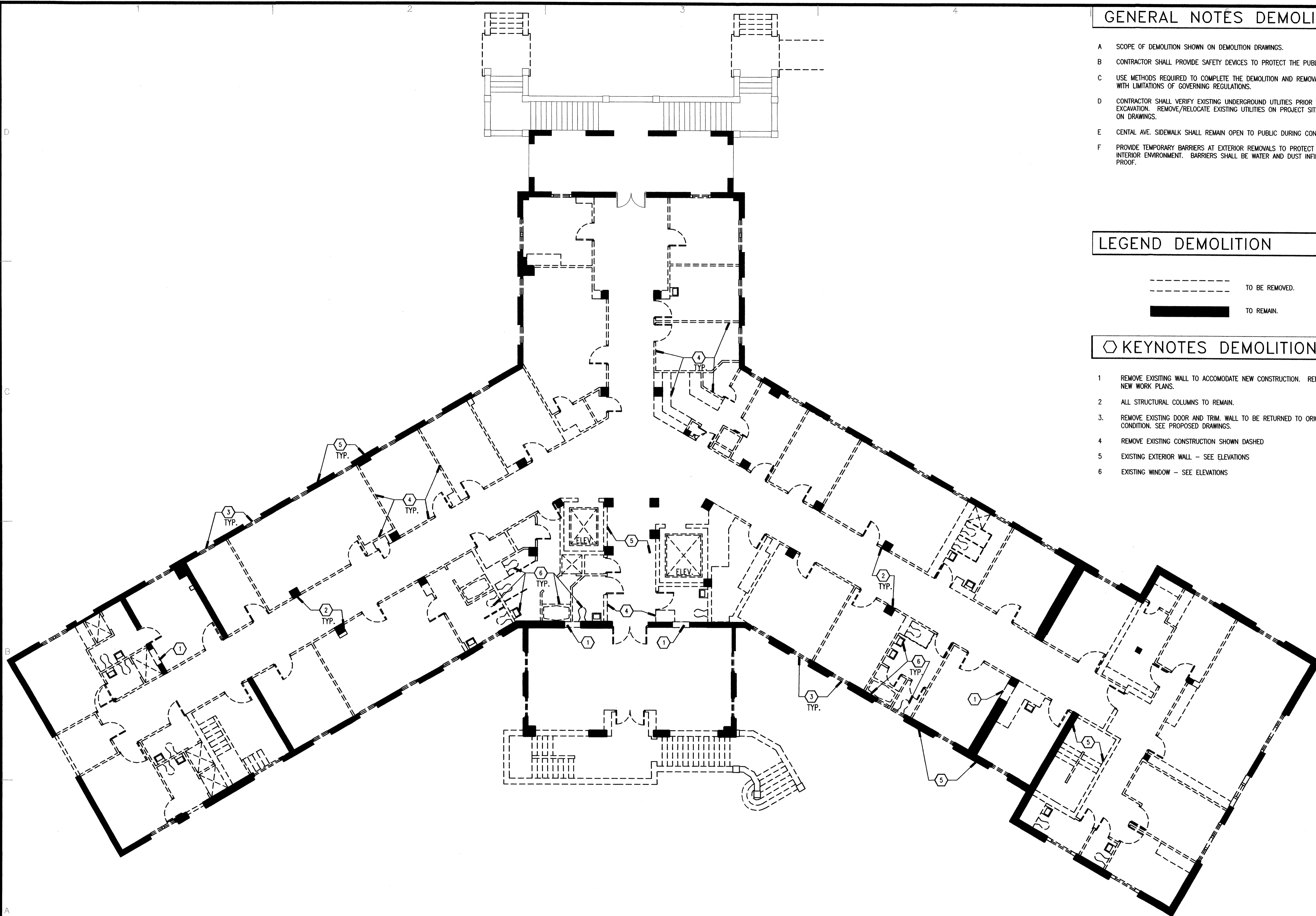
806 CENTRAL AVE. SE
 ALBUQUERQUE, NM 87102

MARK	DATE	DESCRIPTION
DT	07/10/08	DRB MODIFICATIONS
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PROJECT NO:		0710
CAD DWG FILE:		
DRAWN BY:		
CHECKED BY:		
DATE:		July 14, 2008

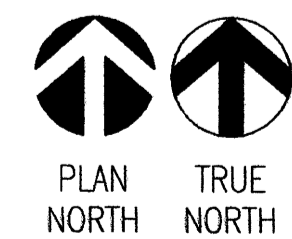
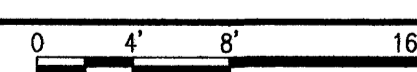
SHEET TITLE

DEMOLITION
FIRST FLOOR PLAN

AD-101
sheet of sheets



A1 DEMOLITION SECOND FLOOR PLAN
1"=1/8"



GENERAL NOTES DEMOLITION

- A SCOPE OF DEMOLITION SHOWN ON DEMOLITION DRAWINGS.
- B CONTRACTOR SHALL PROVIDE SAFETY DEVICES TO PROTECT THE PUBLIC.
- C USE METHODS REQUIRED TO COMPLETE THE DEMOLITION AND REMOVAL. WORK WITH LIMITATIONS OF GOVERNING REGULATIONS.
- D CONTRACTOR SHALL VERIFY EXISTING UNDERGROUND UTILITIES PRIOR TO EXCAVATION. REMOVE/RELOCATE EXISTING UTILITIES ON PROJECT SITE AS SHOWN ON DRAWINGS.
- E CENTAL AVE. SIDEWALK SHALL REMAIN OPEN TO PUBLIC DURING CONSTRUCTION.
- F PROVIDE TEMPORARY BARRIERS AT EXTERIOR REMOVALS TO PROTECT THE INTERIOR ENVIRONMENT. BARRIERS SHALL BE WATER AND DUST INFILTRATION PROOF.

LEGEND DEMOLITION

- TO BE REMOVED.
- TO REMAIN.

KEYNOTES DEMOLITION

- 1 REMOVE EXISTING WALL TO ACCOMMODATE NEW CONSTRUCTION. REFER TO NEW WORK PLANS.
- 2 ALL STRUCTURAL COLUMNS TO REMAIN.
- 3 REMOVE EXISTING DOOR AND TRIM. WALL TO BE RETURNED TO ORIGINAL SOLID CONDITION. SEE PROPOSED DRAWINGS.
- 4 REMOVE EXISTING CONSTRUCTION SHOWN DASHED
- 5 EXISTING EXTERIOR WALL - SEE ELEVATIONS
- 6 EXISTING WINDOW - SEE ELEVATIONS



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Architect Engineer

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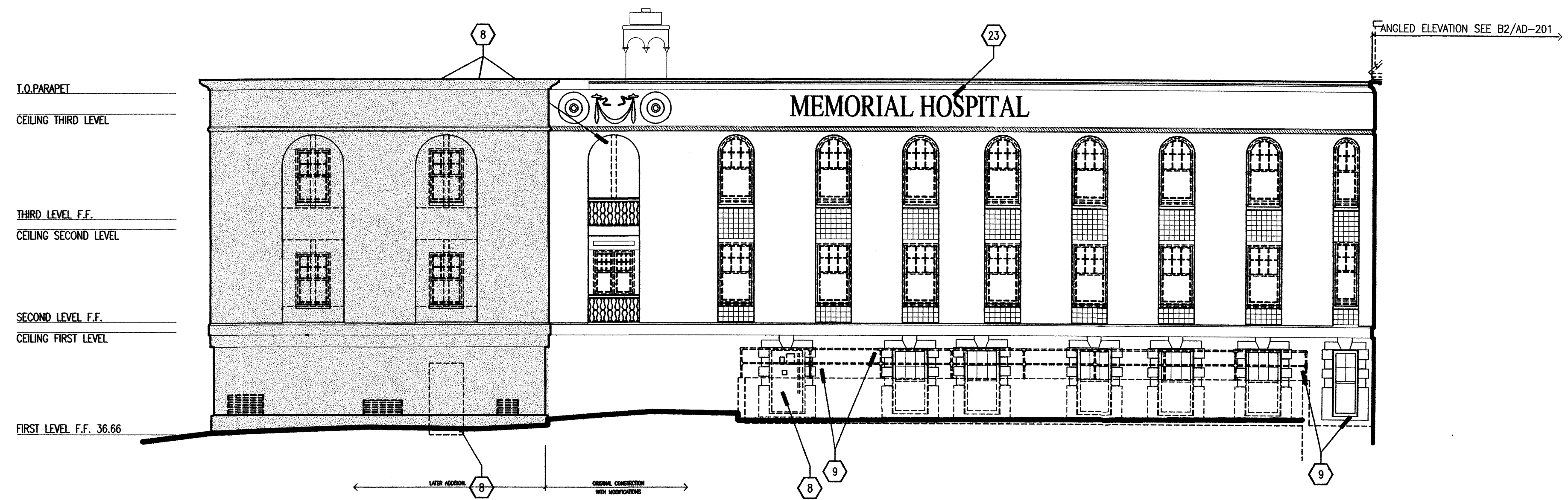
**HOTEL PARQ
CENTRAL**

806 CENTRAL AVE. SE
 ALBUQUERQUE, NM 87102

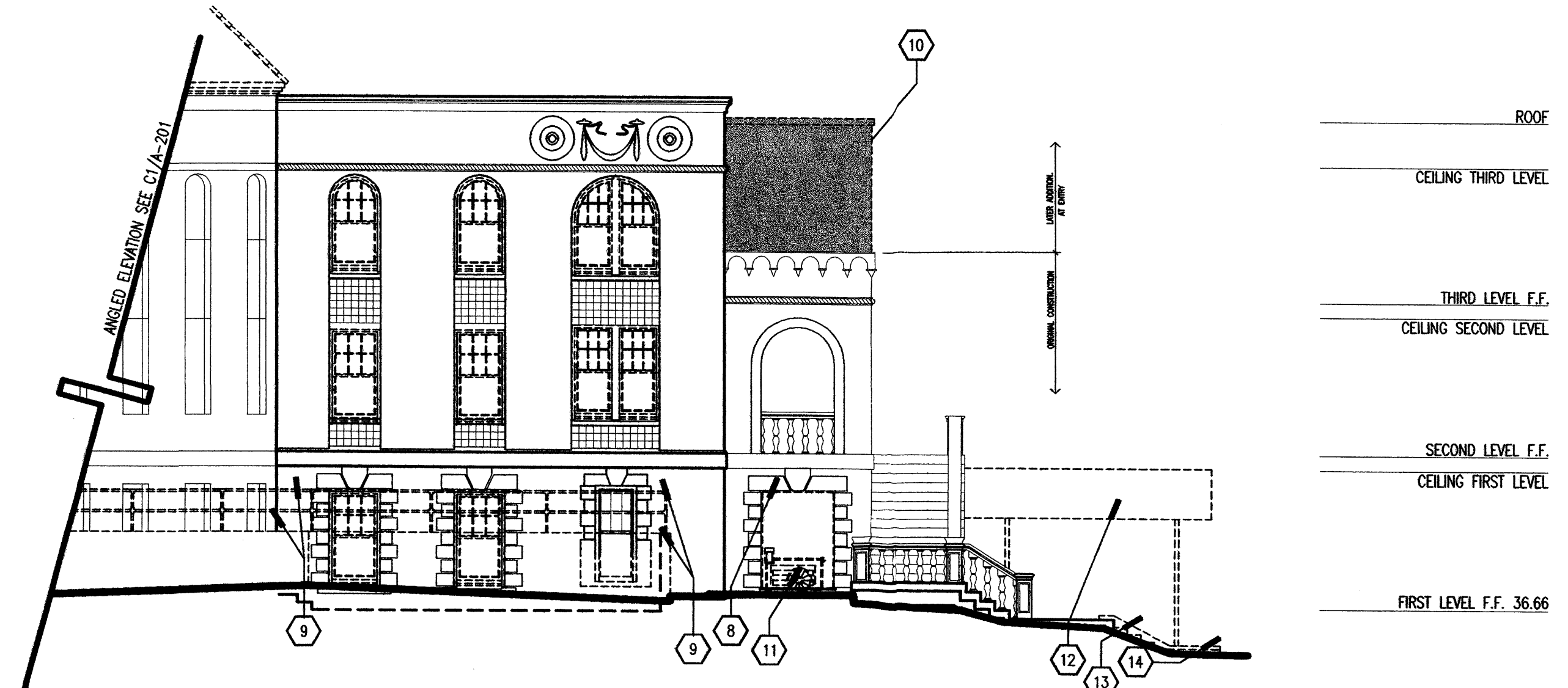
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	07/10/08	DRB MODIFICATIONS
ISSUE:	DRB SET	
PROJECT NO.:	0710	
CAD DWG FILE:		
DRAWN BY:		
CHECKED BY:		
DATE:	July 14, 2008	

SHEET TITLE
**DEMOLITION
 SECOND FLOOR PLAN**

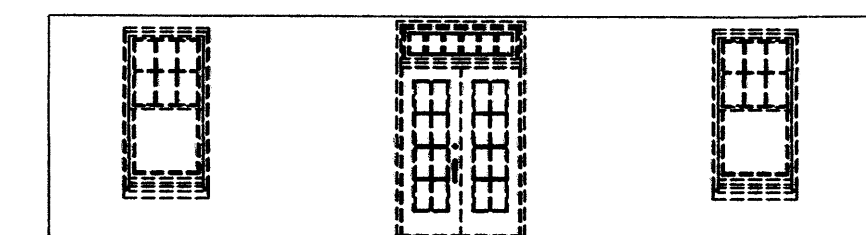
AD-102
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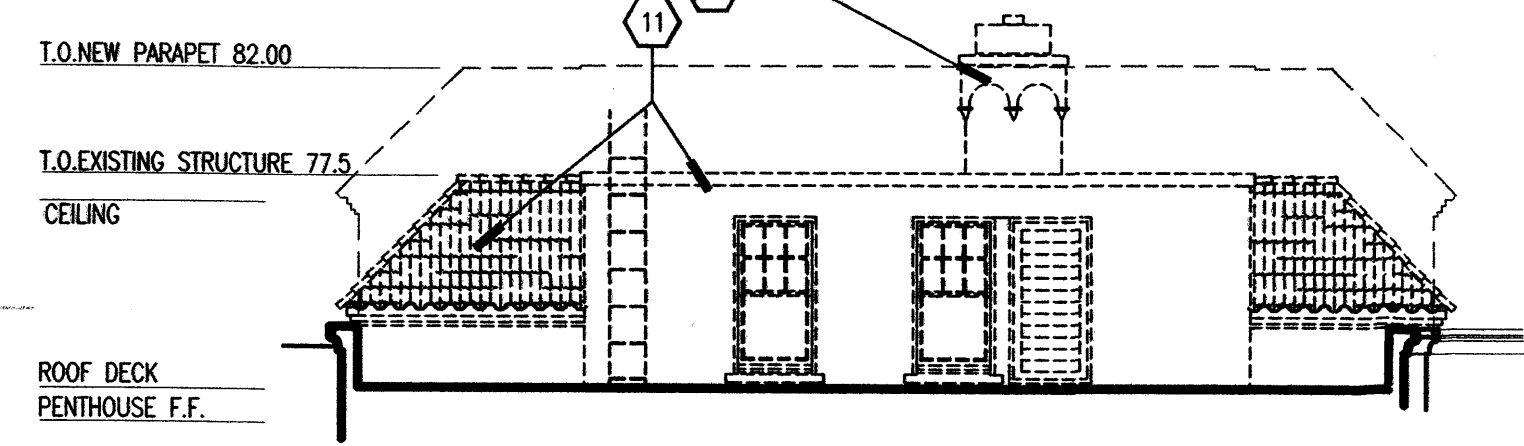
(C1) NORTHEAST ELEVATION
1/8"=1'



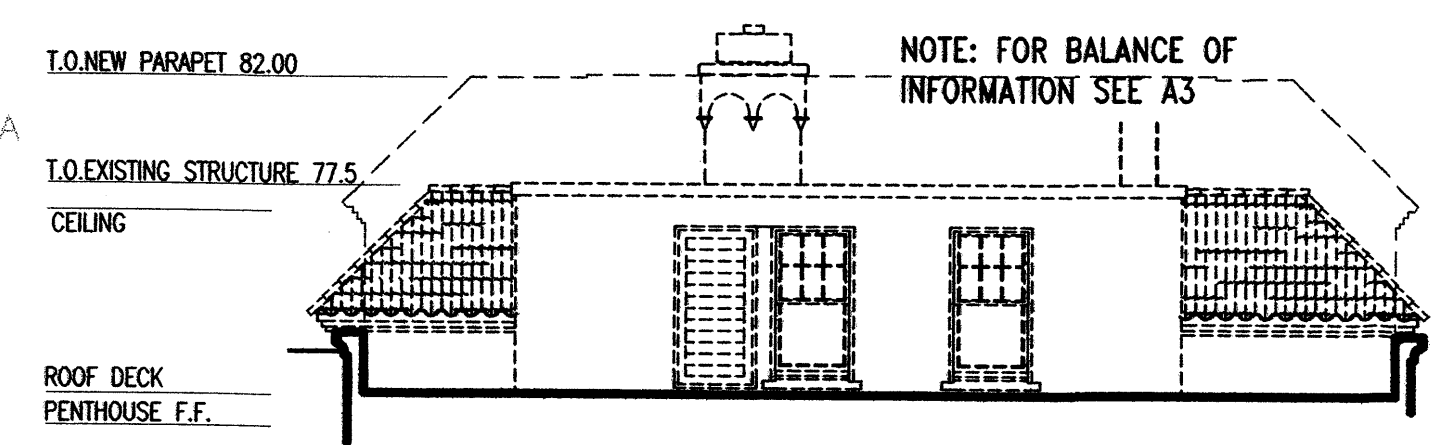
(B2) EAST ELEVATION
1/8"=1'



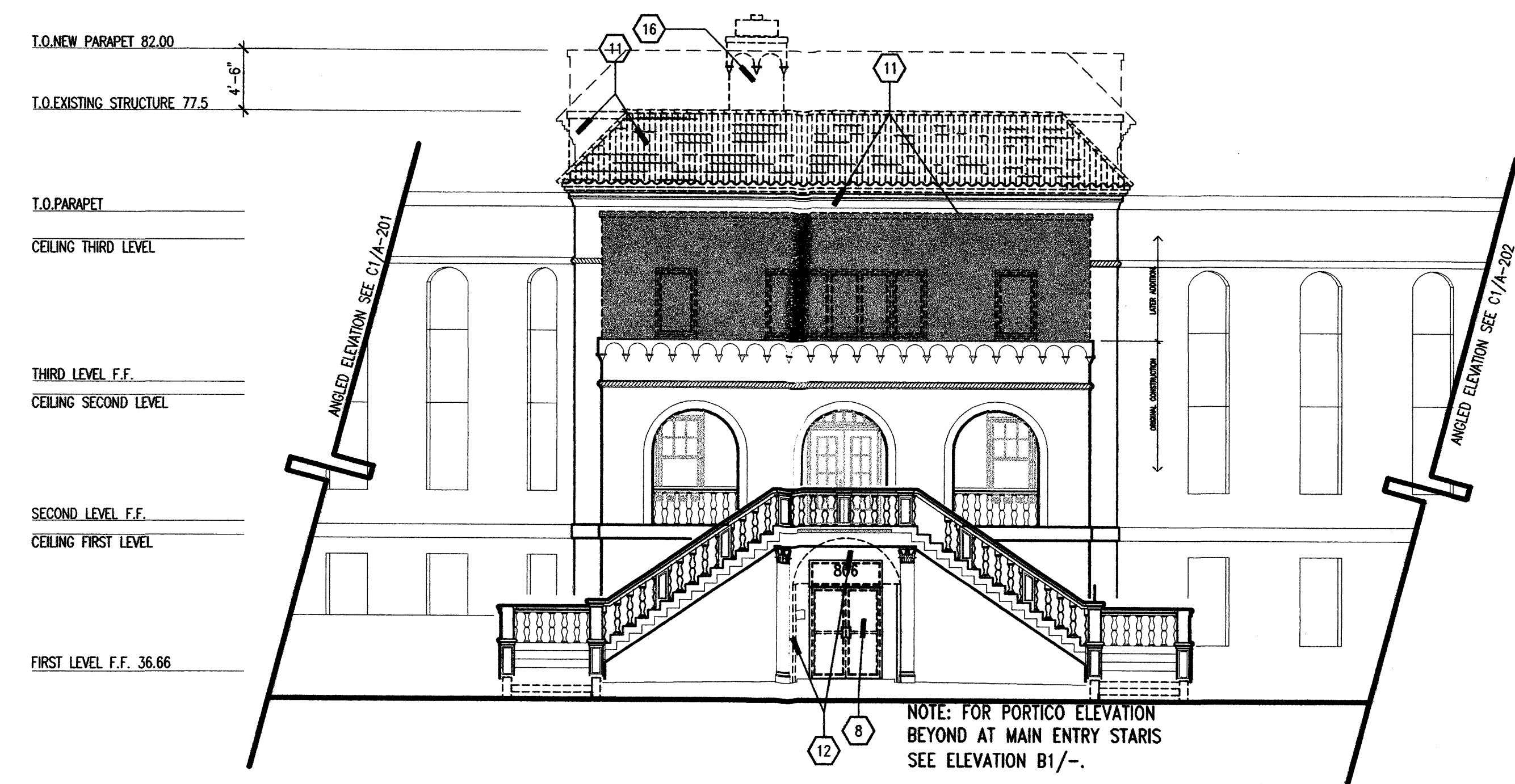
(B1) NORTH ELEVATION AT PORTICO
1/8"=1'



(A3) EAST ELEVATION AT PENTHOUSE
1/8"=1'



(A1) WEST ELEVATION AT PENTHOUSE
1/8"=1'



(A2) NORTH ELEVATION
1/8"=1'

GENERAL NOTES

- 1) ALL WINDOW AND THROUGH WALL AIR CONDITIONING UNITS ARE TO BE REMOVED. UNITS ARE NOT SHOWN ON DRAWINGS.

DEMO KEYNOTES

- 1) REMOVE EXISTING STEEL STAIRS AND PLATFORM STRUCTURE IN ITS ENTIRETY
- 2) REMOVE EXISTING OVERHEAD CANOPY AND STEEL SUPPORT STRUCTURE.
- 3) REMOVE EXISTING PORTION OF ROOF STRUCTURE/PARAPET FOR NEW STAIR LANDING. SEE PROPOSED PLANS FOR LOCATION.
- 4) REMOVE EXISTING GUTTER AND DOWNSPOUT.
- 5) DASH LINES INDICATE EXISTING STAIRS BEYOND. NO CONSTRUCTION.
- 6) DASH LINES INDICATE EXISTING ROOF/DECK TO BE REMOVED AND REPLACED. SEE ROOF PLAN FOR ADDL. INFORMATION.
- 7) REMOVE EXISTING CONCRETE WALKWAY. SEE DEMOLITION PLANS FOR ADDL. INFORMATION.
- 8) REMOVE EXISTING WALL FOR NEW WINDOW/DOOR OPENING. SEE PLANS.
- 9) REMOVE EXISTING CONCRETE LIGHT WELL AND PIPE RAILING.
- 10) REMOVE EXISTING LATER ADDITION. SEE PLANS FOR ADDL. INFORMATION.
- 11) REMOVE EXISTING MECHANICAL UNIT AND ALL ACCESSORY LINES.
- 12) REMOVE EXISTING CANOPY AND STEEL SUPPORT STRUCTURE.
- 13) REMOVE EXISTING STAIRS - SEE PROPOSED DRAWINGS FOR ADDL. INFO.
- 14) REMOVE EXISTING CURB AND DRIVEWAY - SEE PLANS AND CIVIL DWGS.
- 15) REMOVE EXISTING DOOR AND FRAME
- 16) REMOVE EXISTING CHIMNEY. SEE PROPOSED DRAWINGS FOR NEW CHIMNEY CONSTRUCTION
- 17) LINE INDICATES LOCATION OF LATER ADDITION.
- 18) REMOVE EXISTING LATER ADDITION. SEE PLANS FOR ADDL. INFORMATION.
- 19) REMOVED EXISTING ENGAGED BOLLARD.
- 20) REMOVE EXISTING EXTERIOR CEMENT PLASTER FOR NEW TILE INSTALLATION.
- 21) REMOVE EXISTING ROOF DRAIN PIPE. TO BE REROUTED ELSEWHERE. SEE ELSEWHERE.
- 22) REMOVE EXISTING DUCTWORK.
- 23) REMOVE EXISTING BUILDING SIGNAGE.

LEGEND

- ITEMS TO BE REMOVED SHOWN DASHED INCLUDING WALLS, DOORS, WINDOWS ETC.
- 1950'S ADDITION
- 1960'S ADDITION

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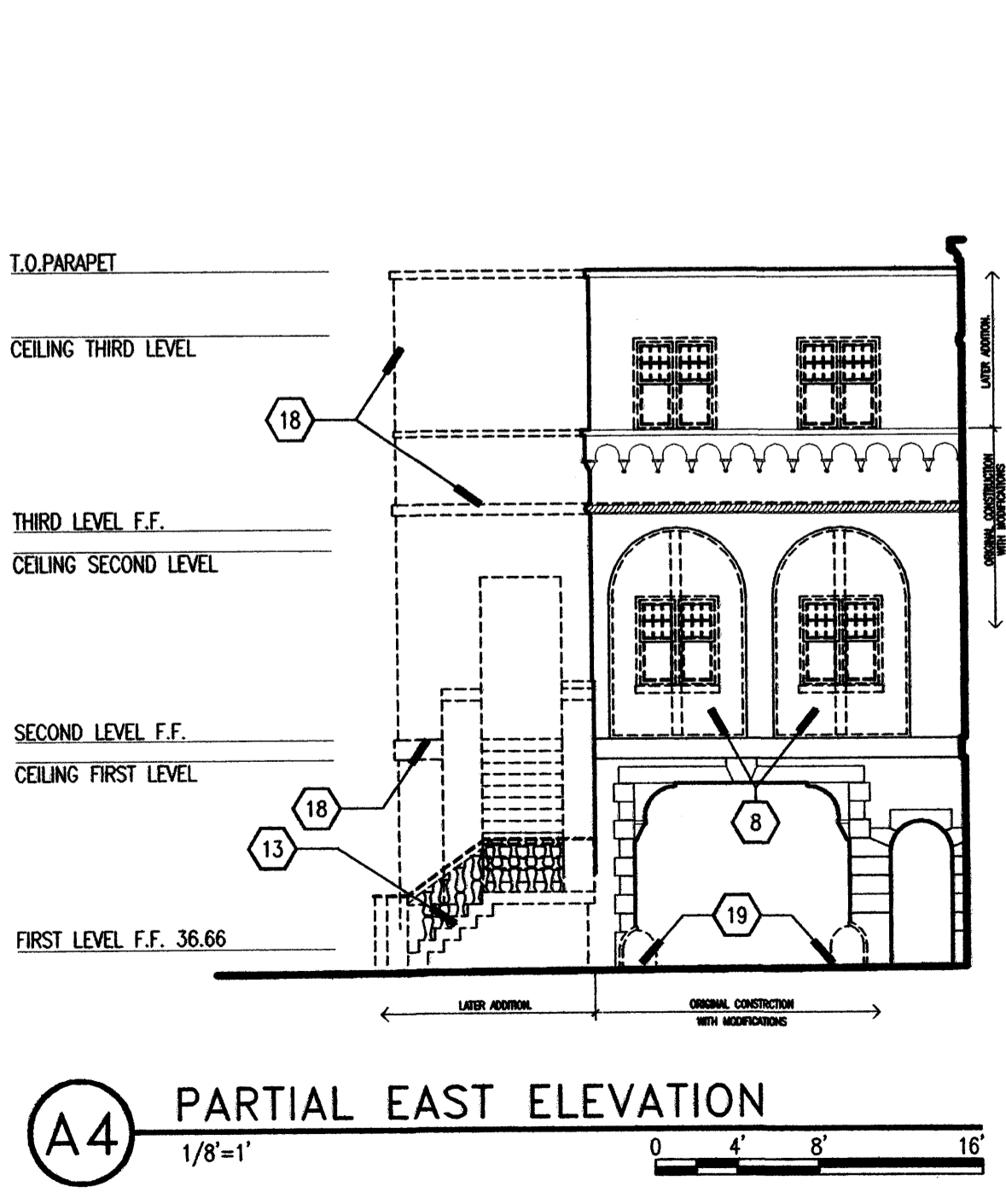
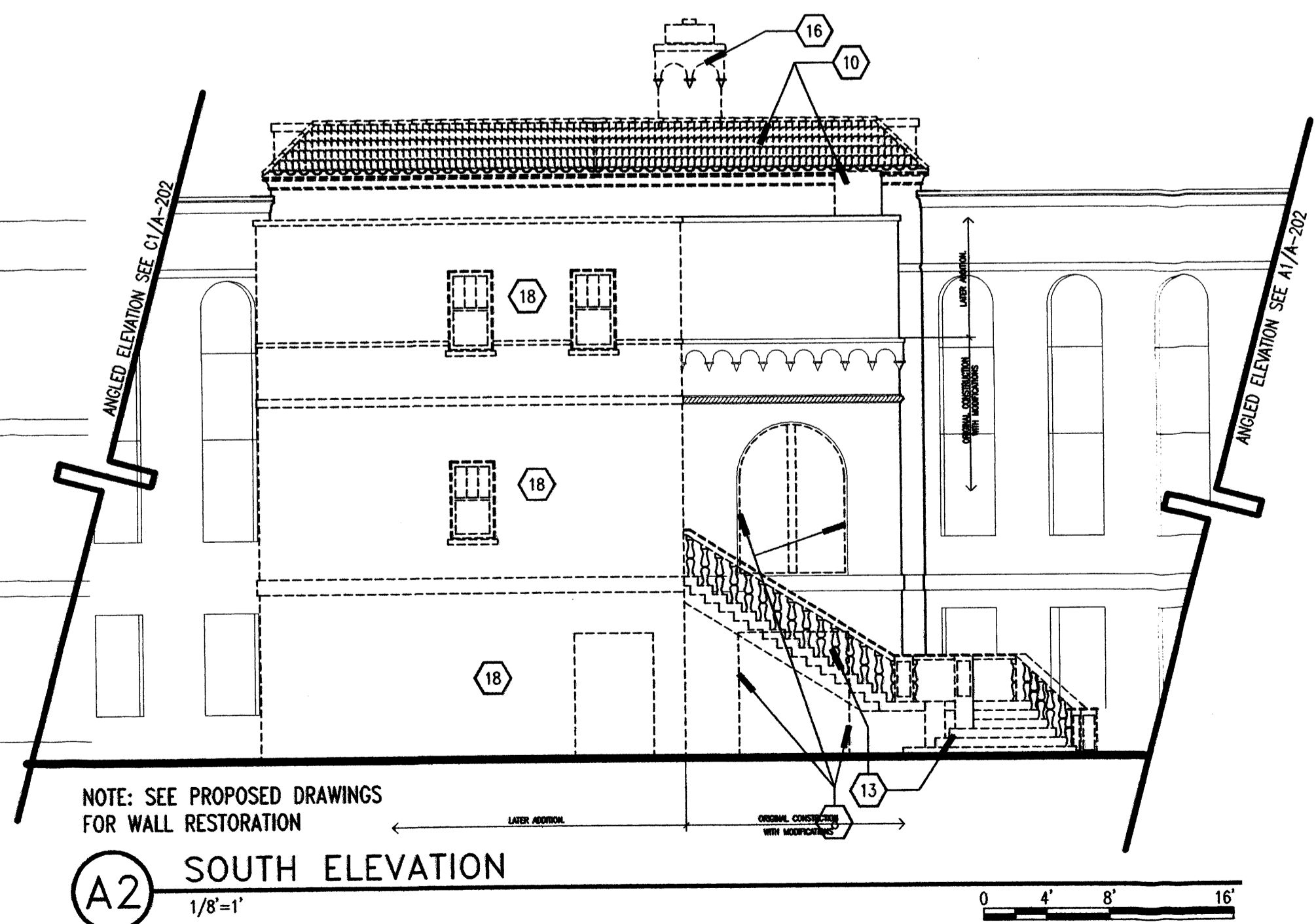
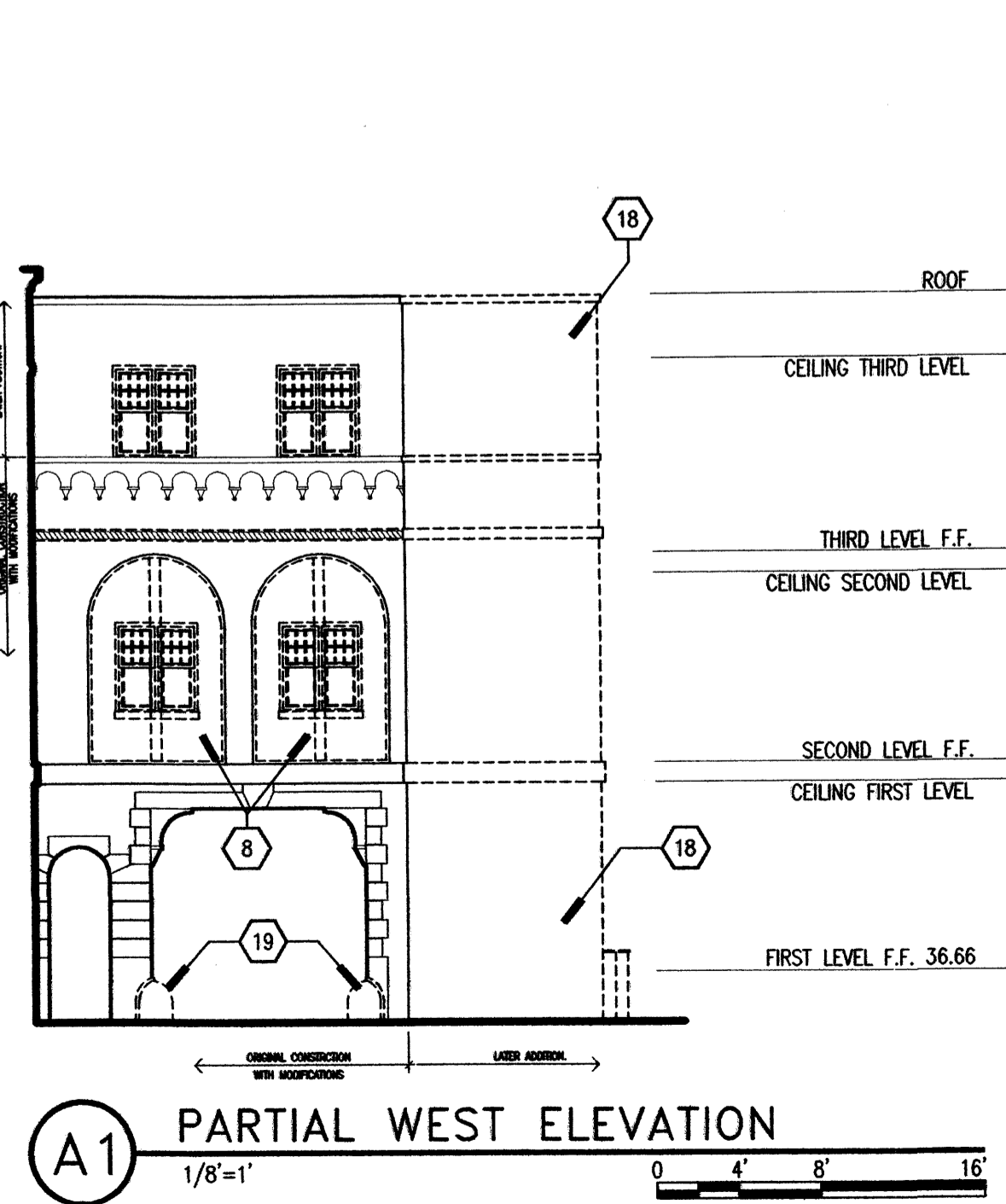
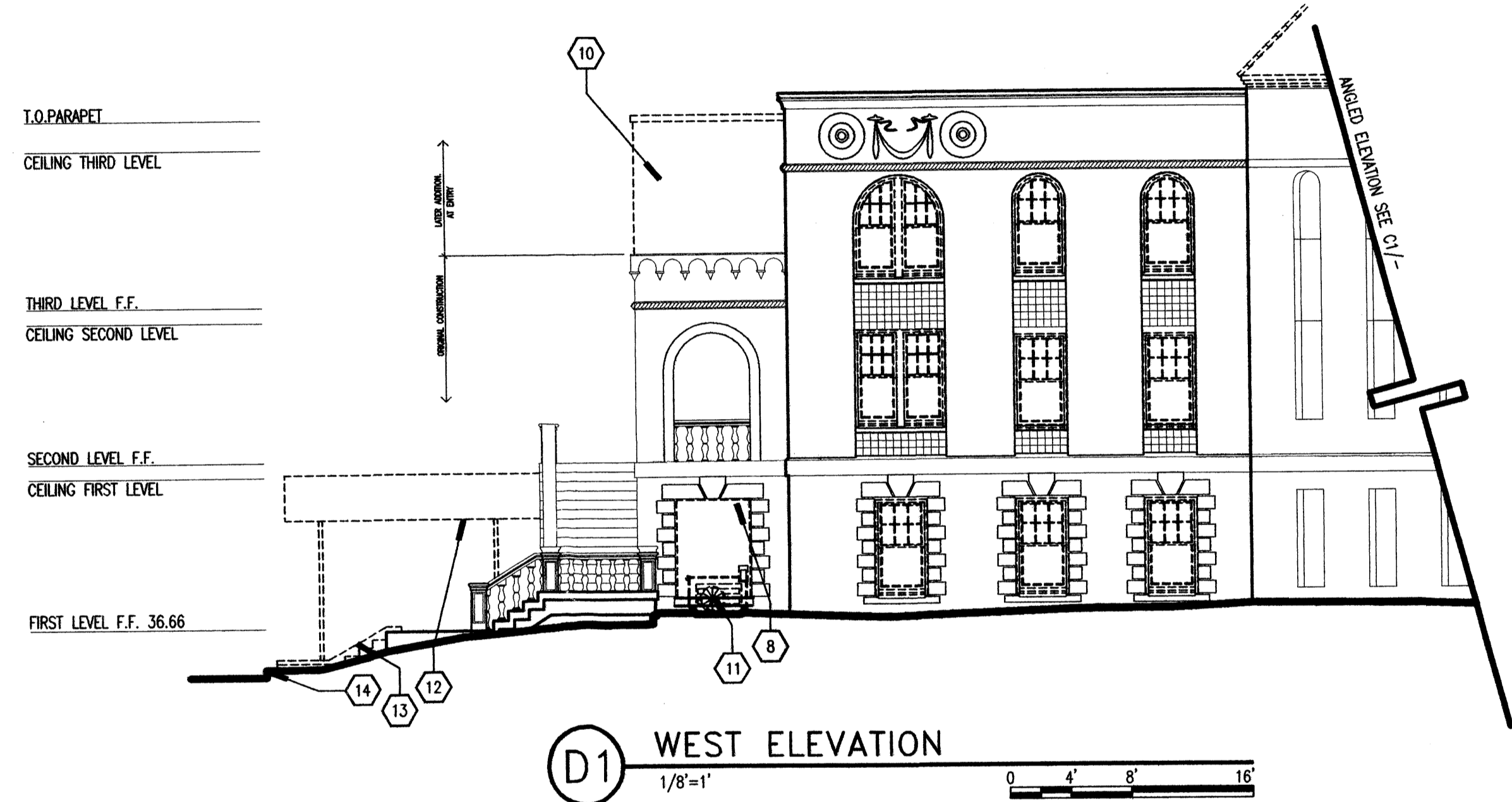
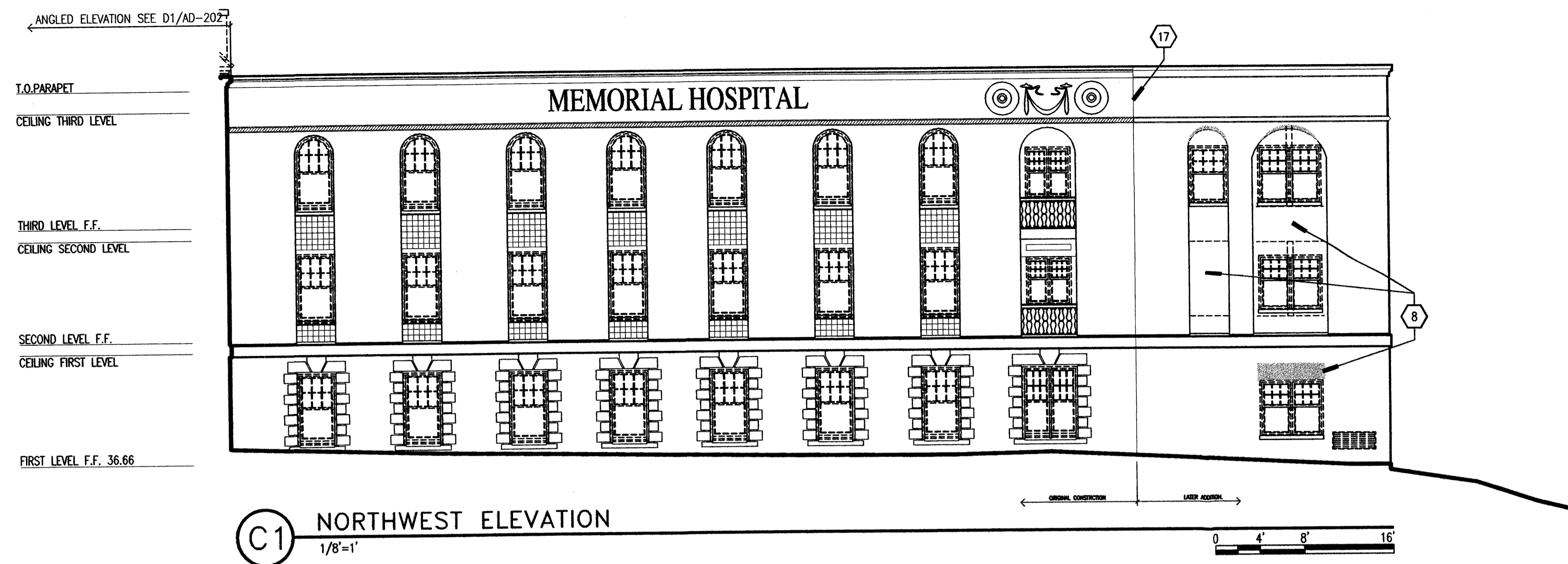
HOTEL PARQ
CENTRAL

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MARK	DATE	DESCRIPTION
DA	07/10/08	DRB MODIFICATIONS
ISSUE:		DRB SET
PROJECT NO:		0710
CAD DWG FILE:		0710 AD-201
DRAWN BY:		DSJ
CHECKED BY:		
DATE:		July 14, 2008

SHEET TITLE
DEMOLITION
ELEVATIONS
BUILDING ONE

AD-201
sheet of sheets



GENERAL NOTES

- 1) ALL WINDOW AND THROUGH WALL AIR CONDITIONING UNITS ARE TO BE REMOVED. UNITS ARE NOT SHOWN ON DRAWINGS.

DEMO KEYNOTES

- 1) REMOVE EXISTING STEEL STAIRS AND PLATFORM STRUCTURE IN ITS ENTIRETY
- 2) REMOVE EXISTING OVERHEAD CANOPY AND STEEL SUPPORT STRUCTURE.
- 3) REMOVE EXISTING PORTION OF ROOF STRUCTURE/PARAPET FOR NEW STAIR LANDING. SEE PROPOSED PLANS FOR LOCATION.
- 4) REMOVE EXISTING GUTTER AND DOWNSPOUT.
- 5) DASH LINES INDICATE EXISTING STAIRS BEYOND. NO CONSTRUCTION.
- 6) DASH LINES INDICATE EXISTING ROOF/DECK TO BE REMOVED AND REPLACED. SEE ROOF PLAN FOR ADDL. INFORMATION.
- 7) REMOVE EXISTING CONCRETE WALKWAY. SEE DEMOLITION PLANS FOR ADDL. INFORMATION.
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- 22) REMOVE EXISTING DUCTWORK.
- 23) REMOVE EXISTING BUILDING SIGNAGE.

LEGEND

----- ITEMS TO BE REMOVED SHOWN DASHED INCLUDING WALLS, DOORS, WINDOWS ETC.

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Engineer: _____

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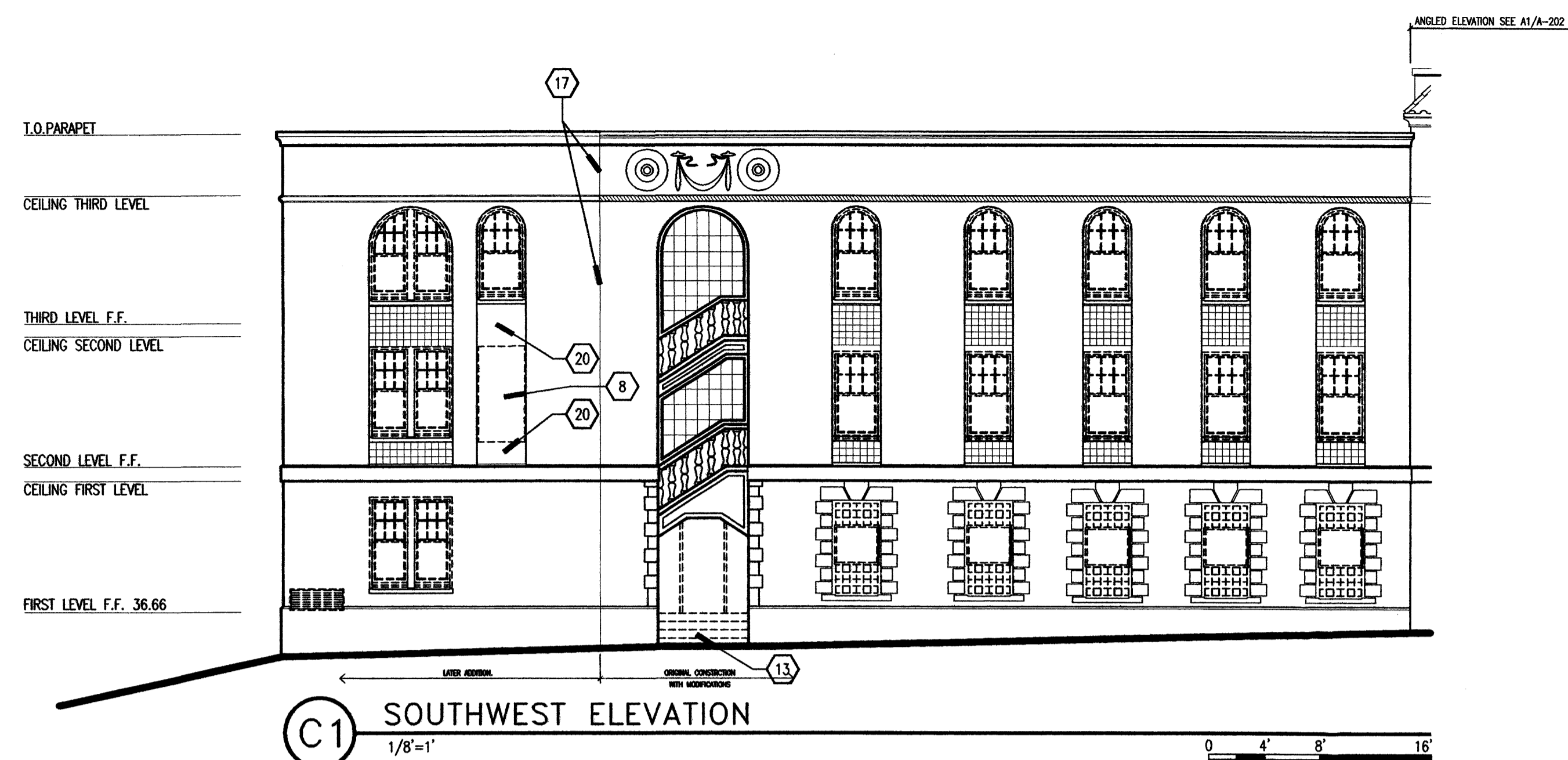
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ALBUQUERQUE, NM 87102

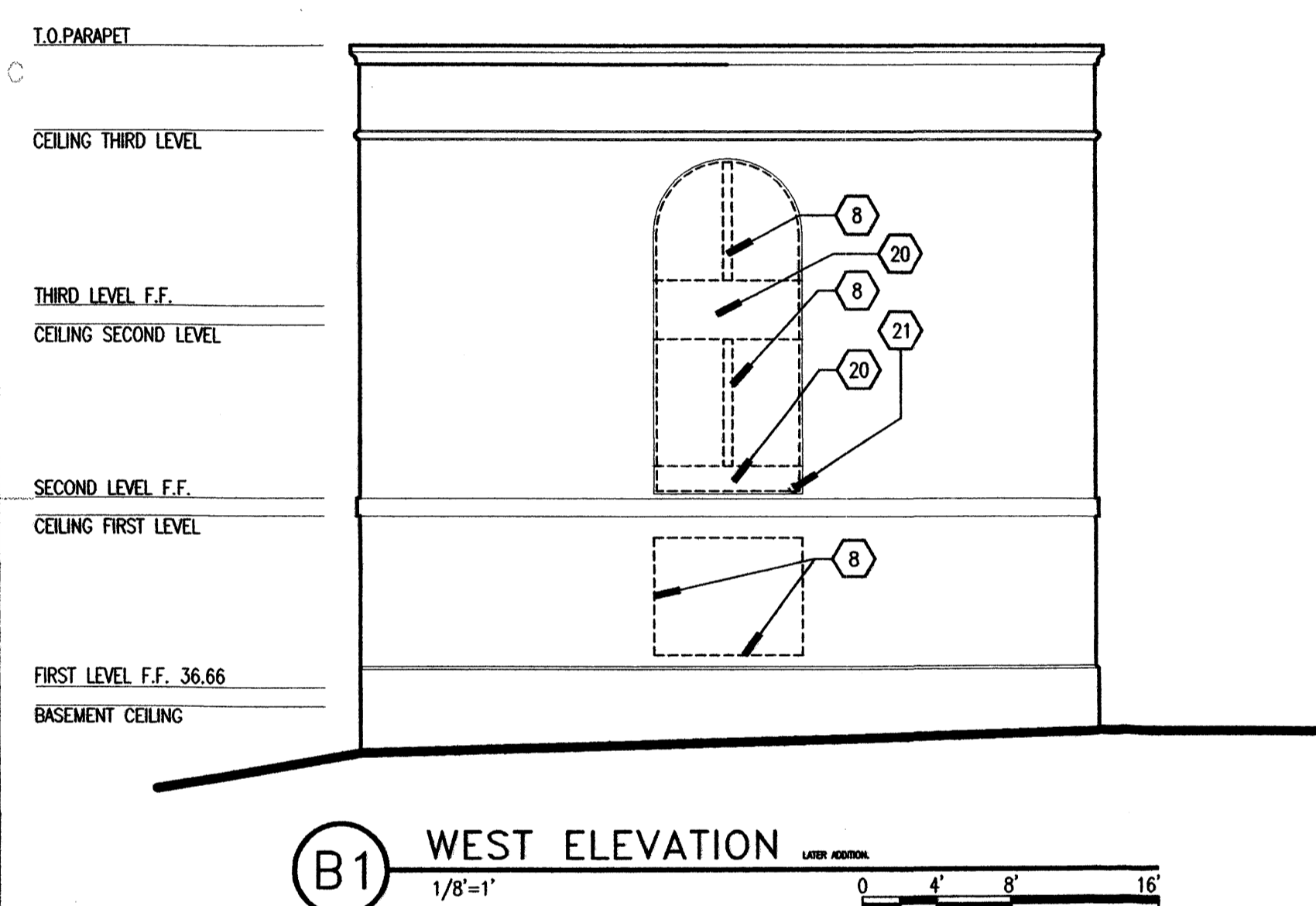
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ISSUE:		DRB SET
PROJECT NO:		0710
CAD DWG FILE:		0710 AD-202
DRAWN BY:		DSJ
CHECKED BY:		
DATE:		July 14, 2008

SHEET TITLE
DEMOLITION ELEVATIONS BUILDING ONE

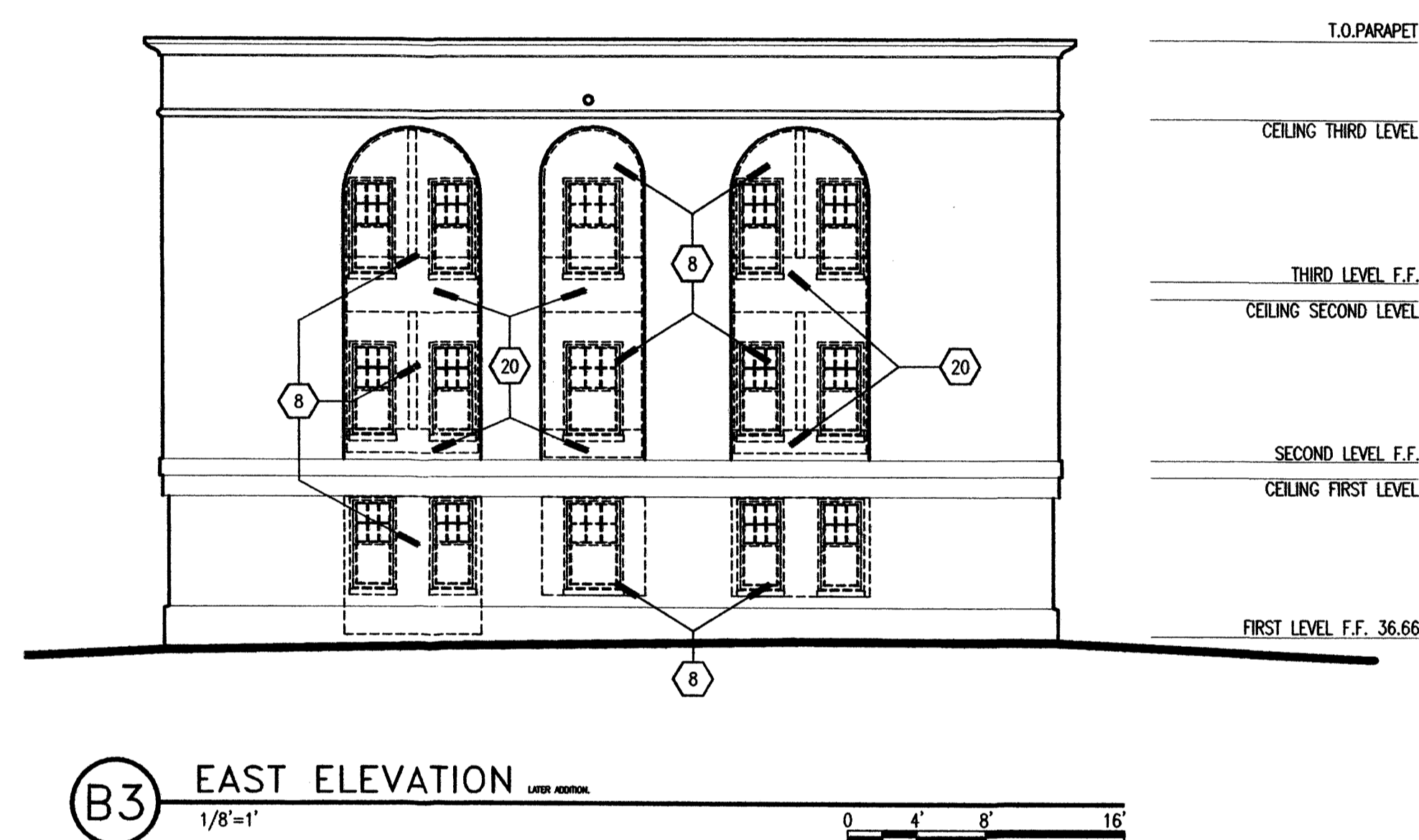
AD-202
sheet of sheets



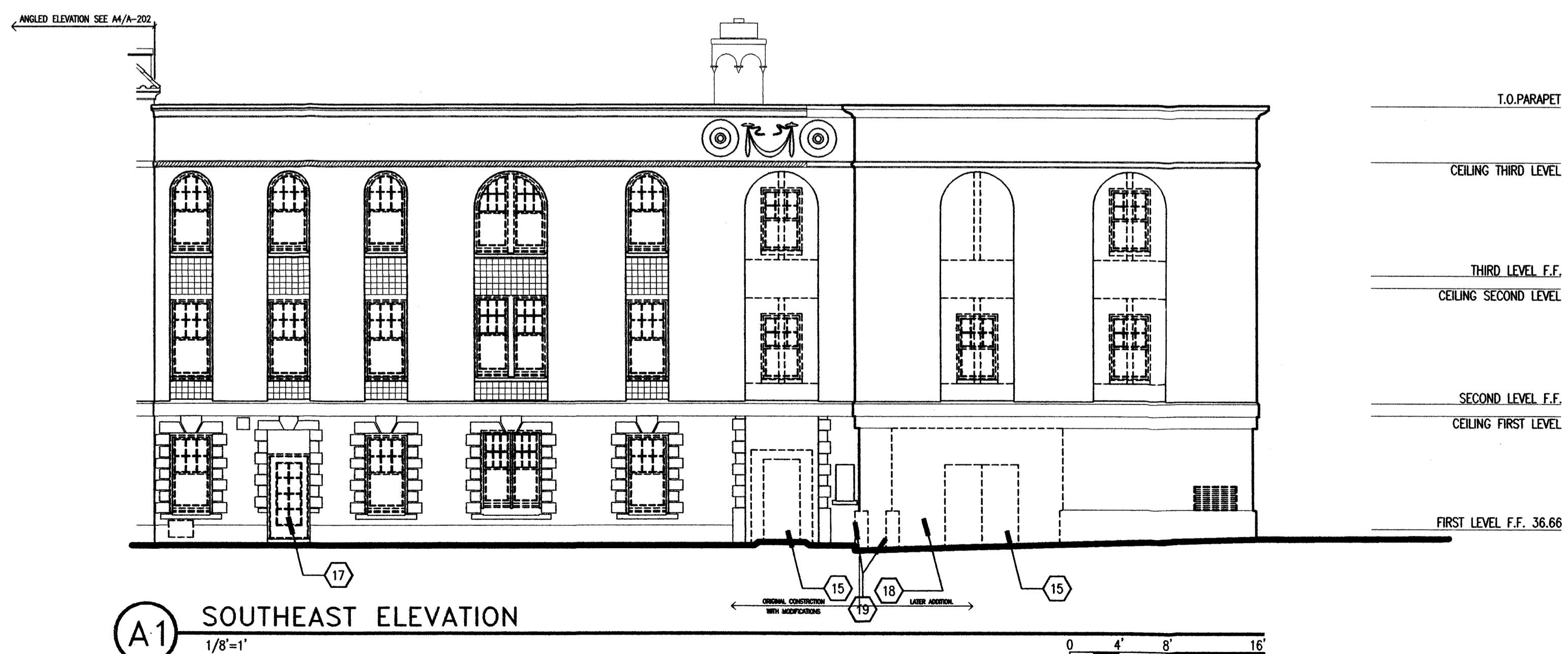
C1 SOUTHWEST ELEVATION
1/8"=1'



B1 WEST ELEVATION
1/8"=1'



B3 EAST ELEVATION
1/8"=1'



A1 SOUTHEAST ELEVATION
1/8"=1'

GENERAL NOTES

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DEMO KEYNOTES

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LEGEND

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CONSULTANTS

Architect Engineer

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ISSUE:	DRB SET	
PROJECT NO:	0710	
CAD DWG FILE:	0710 AD-203	
DRAWN BY:	DSJ	
CHECKED BY:		
DATE:	July 14, 2008	

SHEET TITLE

DEMOLITION
ELEVATIONS
BUILDING ONE

AD-203

sheet of sheets

◇ DEMO KEYNOTES

- 1) REMOVE EXISTING STEEL STAIRS AND PLATFORM STRUCTURE IN ITS ENTIRETY
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LEGEND

--- ITEMS TO BE REMOVED SHOWN DASHED INCLUDING WALLS, DOORS, WINDOWS ETC.

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Architect Engineer

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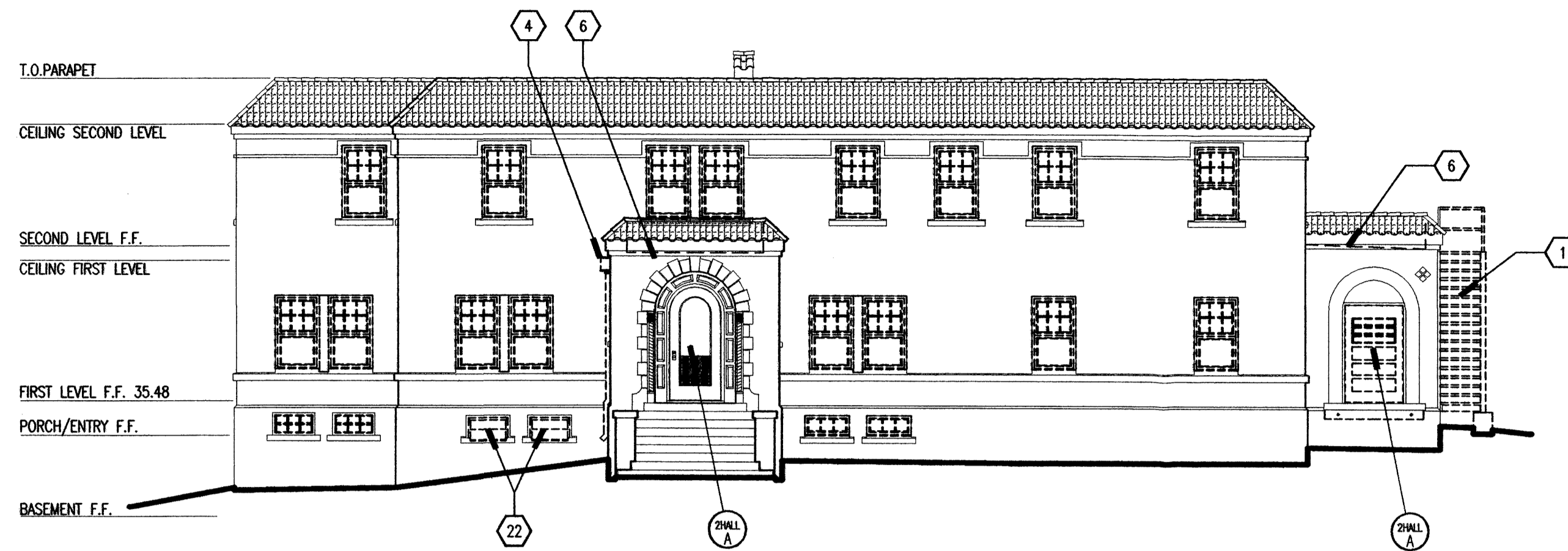
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PROJECT NO:		0710
CAD DWG FILE:		0710 AD-204
DRAWN BY:		DSJ
CHECKED BY:		
DATE:		July 14, 2008

SHEET TITLE

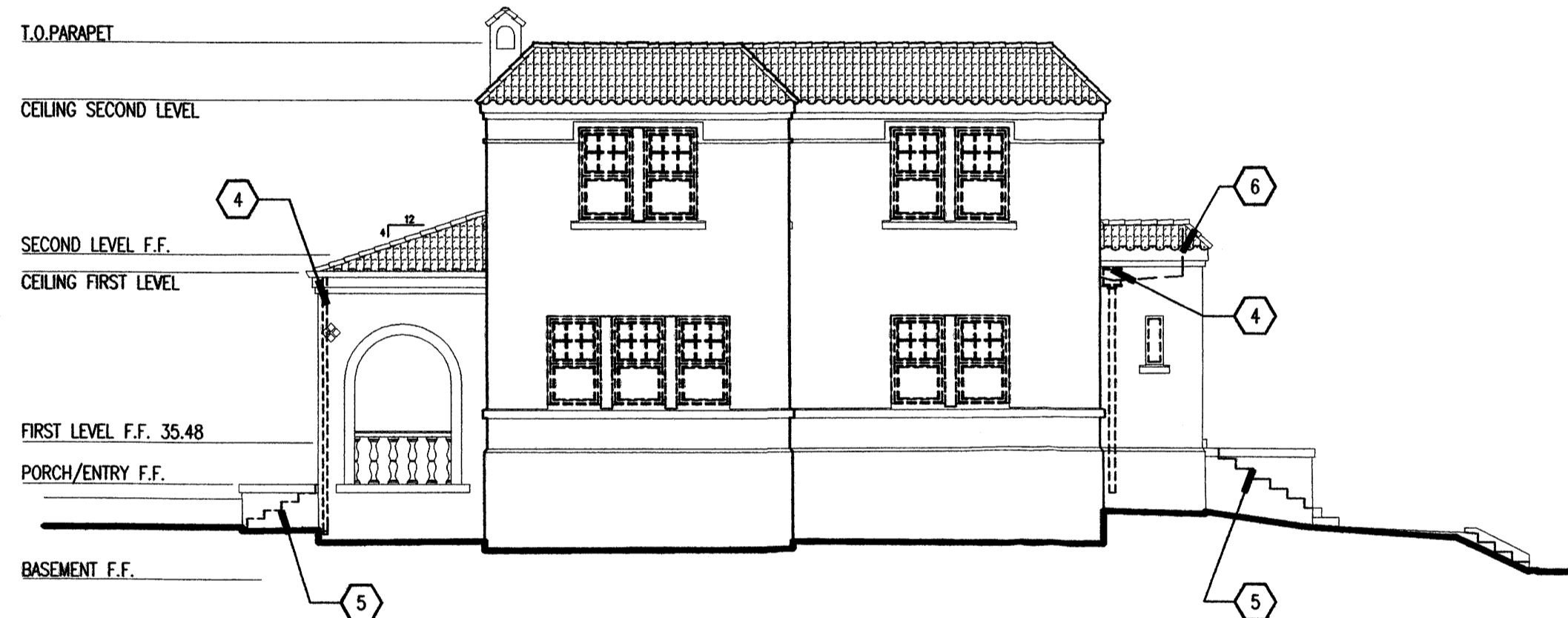
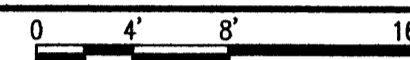
DEMOLITION
ELEVATIONS
BUILDING TWO

AD-204

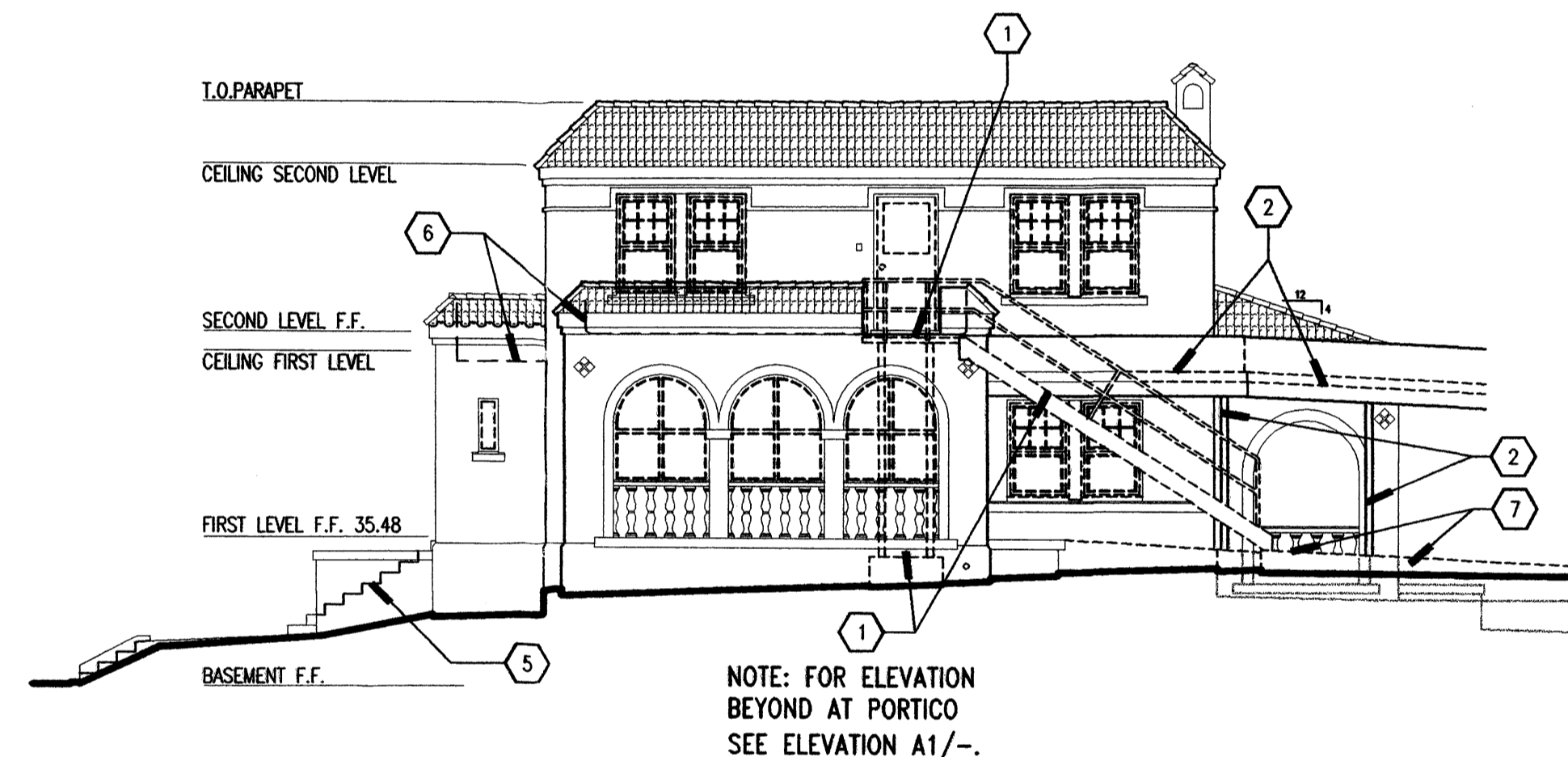
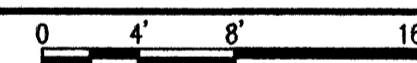
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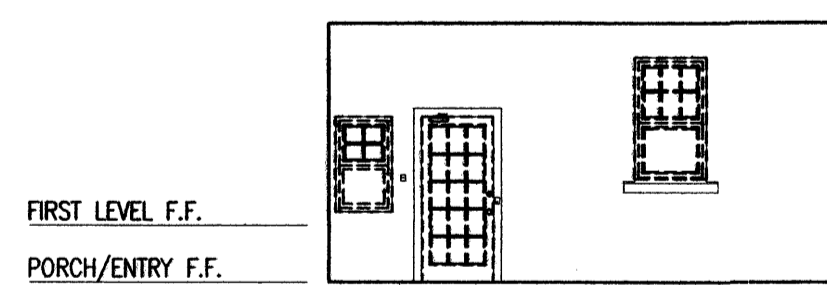
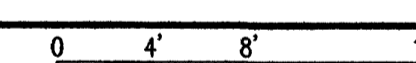
C2 SOUTH ELEVATION
1/8"=1"



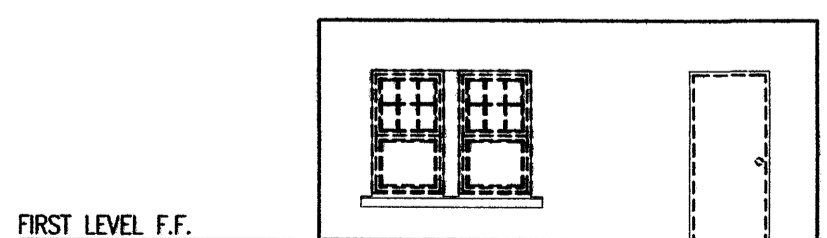
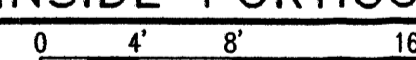
B1 WEST ELEVATION
1/8"=1"



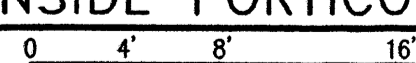
B3 EAST ELEVATION
1/8"=1"



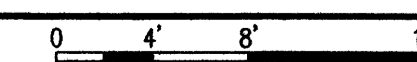
A2 EAST ELEVATION INSIDE PORTICO
1/8"=1"



A1 EAST ELEVATION INSIDE PORTICO
1/8"=1"



A3 NORTH ELEVATION
1/8"=1"



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SUBMITTAL

HOTEL PARQ
CENTRAL

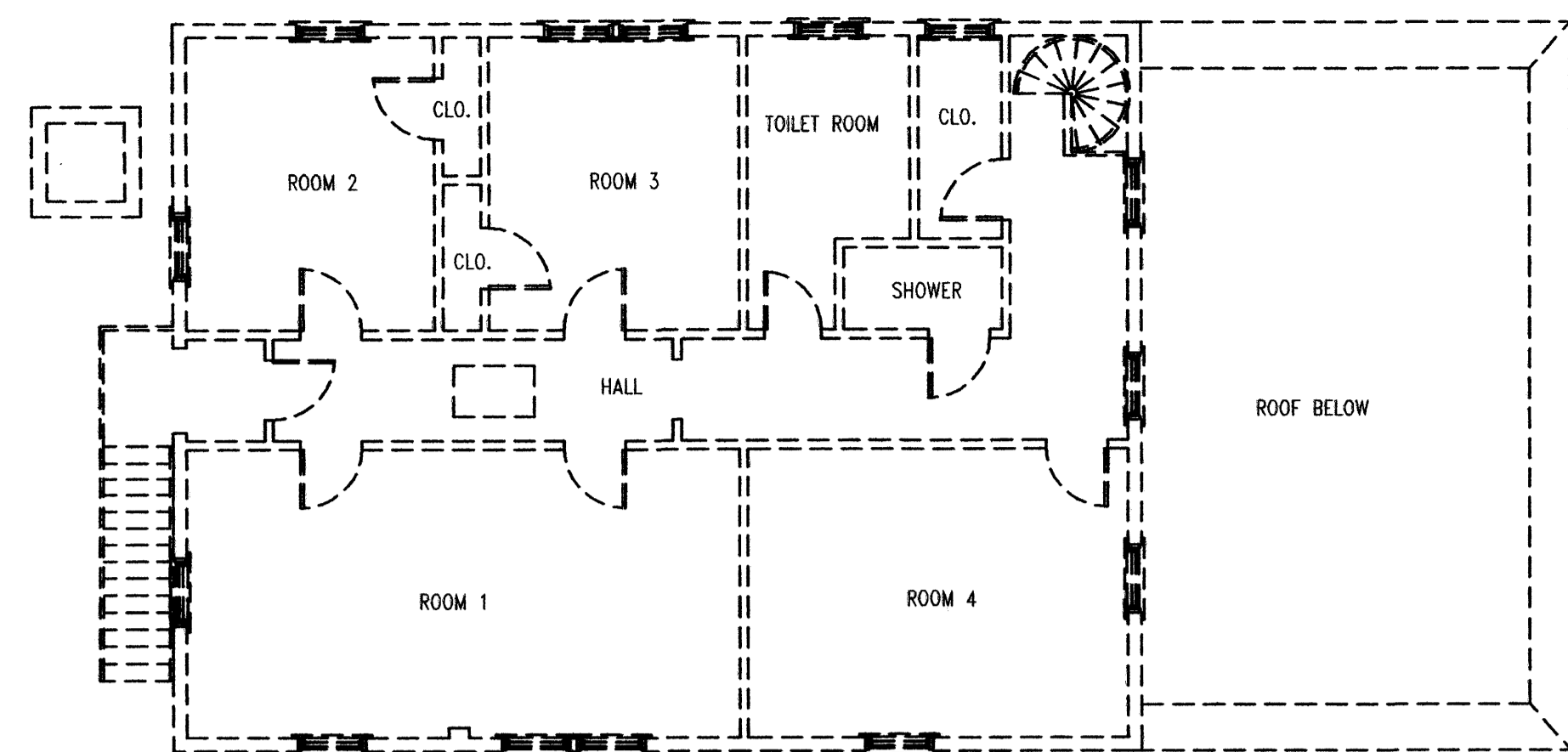
806 CENTRAL AVE. SE
ALBUQUERQUE, NM 87102

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AD	07/10/08	DRB MODIFICATIONS
ISSUE:		DRB SET
PROJECT NO:		0710
CAD DWG FILE:		0710 AD-BUILD #3
DRAWN BY:		DSJ
CHECKED BY:		
DATE:		July 14, 2008

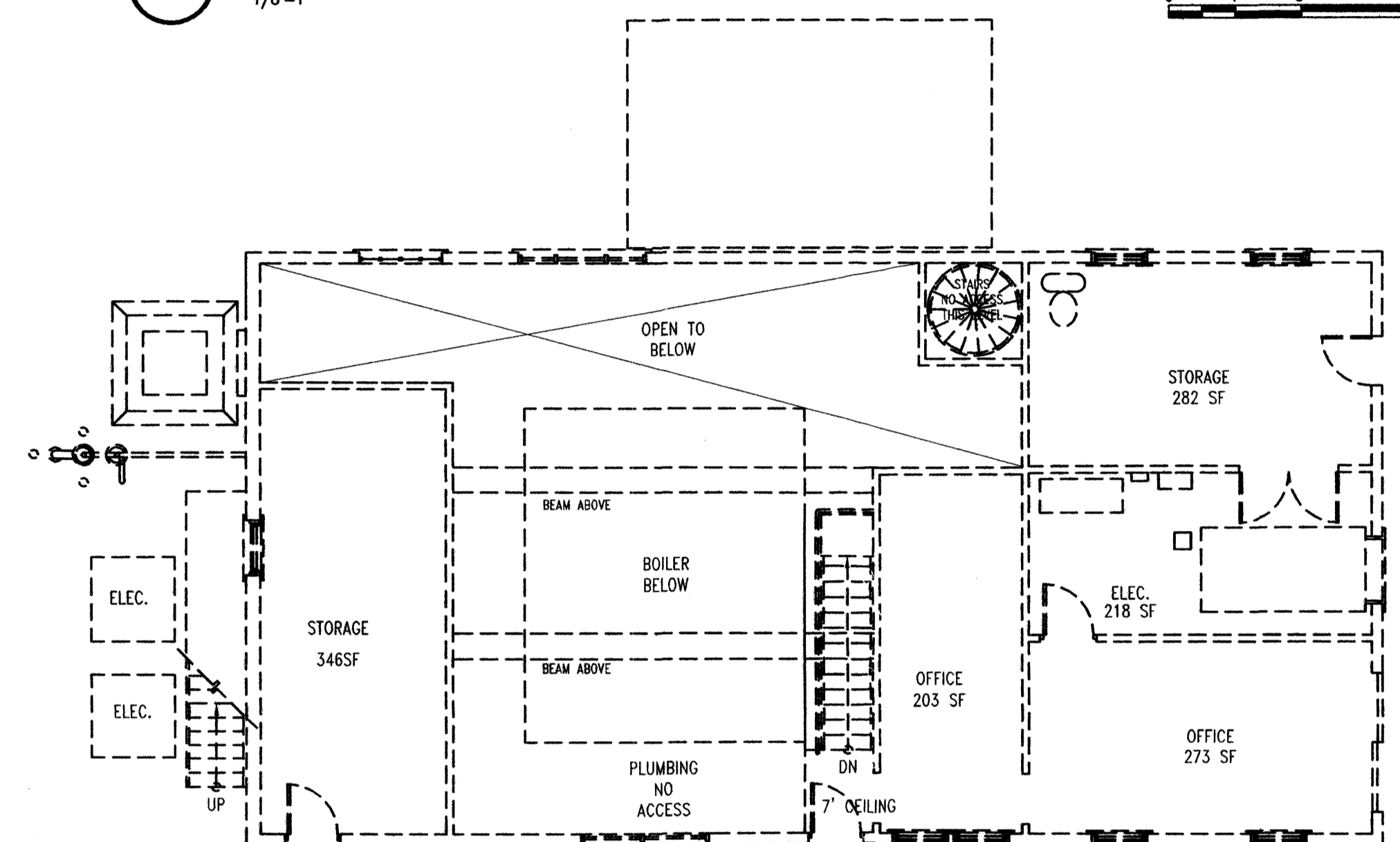
SHEET TITLE

DEMOLITION
BUILDING THREE

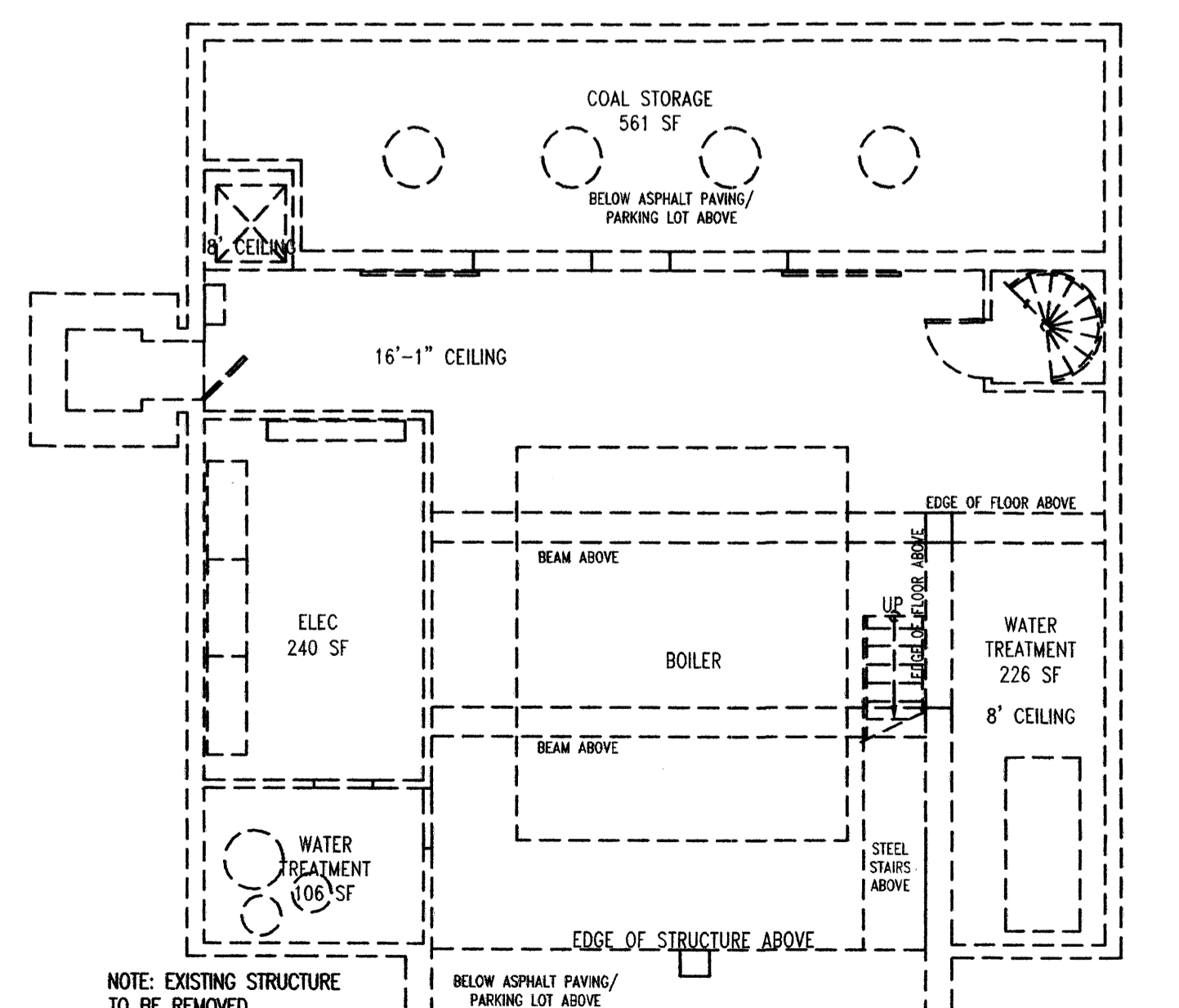
AD-205
sheet of sheets



C1 SECOND LEVEL FLOOR PLAN
1/8"=1'
GROSS: 1626 SQ. FT.
0 4' 8' 16'



B1 FIRST LEVEL FLOOR PLAN
1/8"=1'
GROSS: 1325 SQ. FT.
0 4' 8' 16'



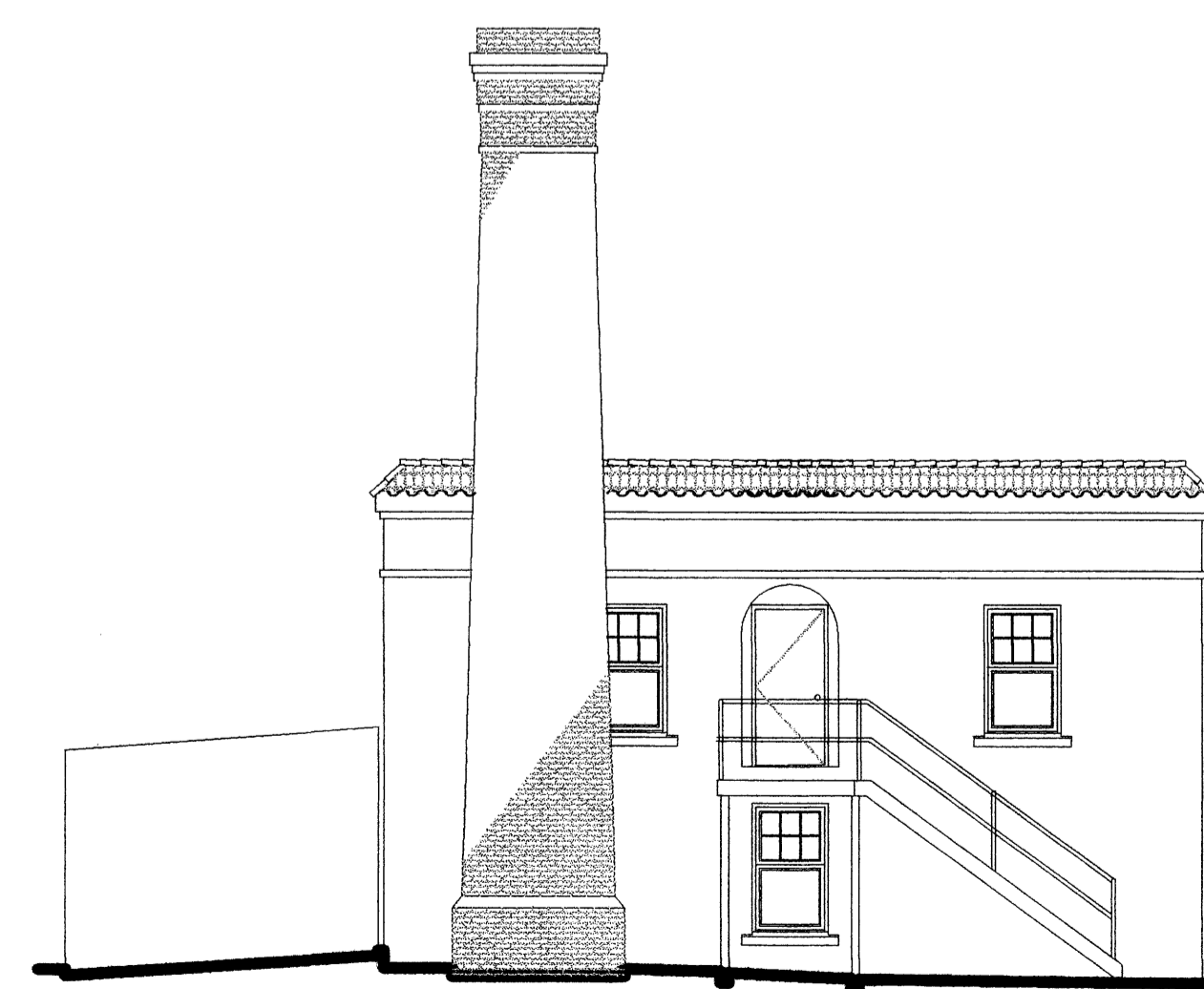
A1 BASEMENT PLAN
1/8"=1'
GROSS: 2304 SQ. FT.
0 4' 8' 16'



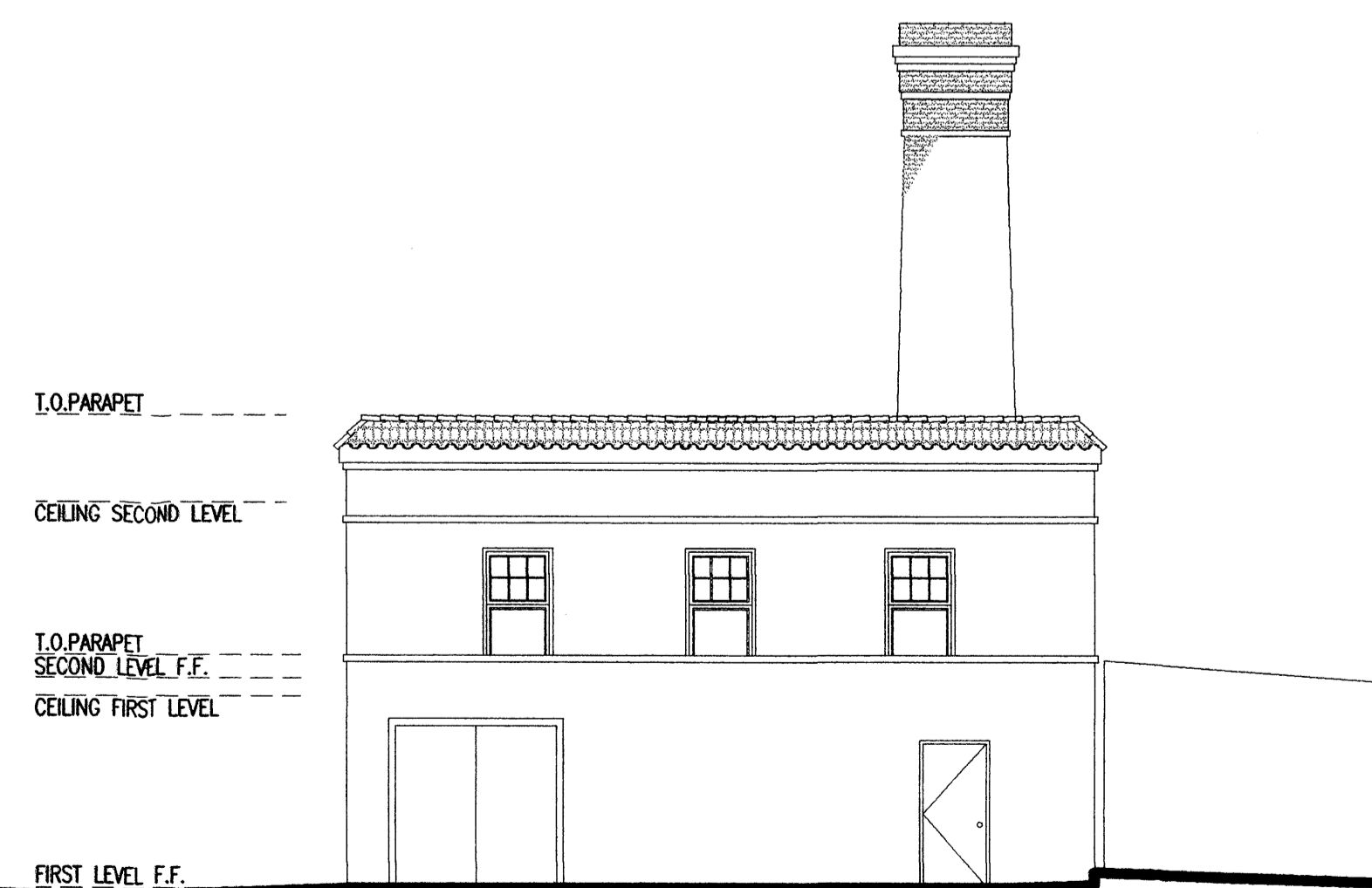
D3 WEST ELEVATION
1/8"=1'
0 4' 8' 16'



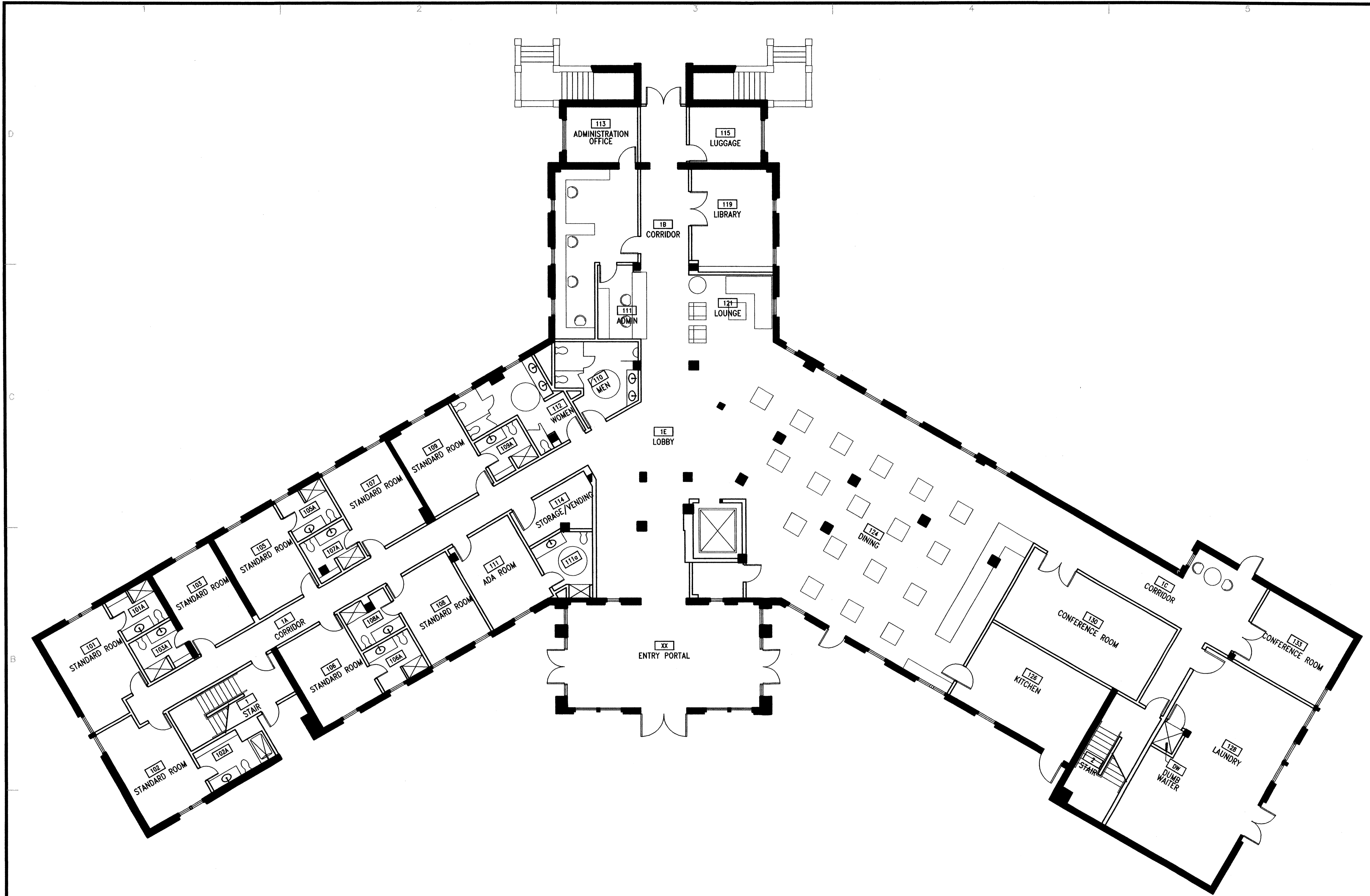
C3 EAST ELEVATION
1/8"=1'
0 4' 8' 16'



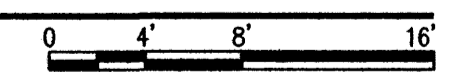
A2 NORTH ELEVATION
1/8"=1'
0 4' 8' 16'



A3 SOUTH ELEVATION
1/8"=1'
0 4' 8' 16'



(A1) PROPOSED FIRST FLOOR PLAN
1"=1/8"



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CONSULTANTS
 Architect
 Engineer

DRB SUBMITTAL

HOTEL PARQ CENTRAL

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SHEET TITLE
PROPOSED FIRST FLOOR PLAN BUILDING ONE

STUDIO



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CONSULTANTS

Architect Engineer

**DRB
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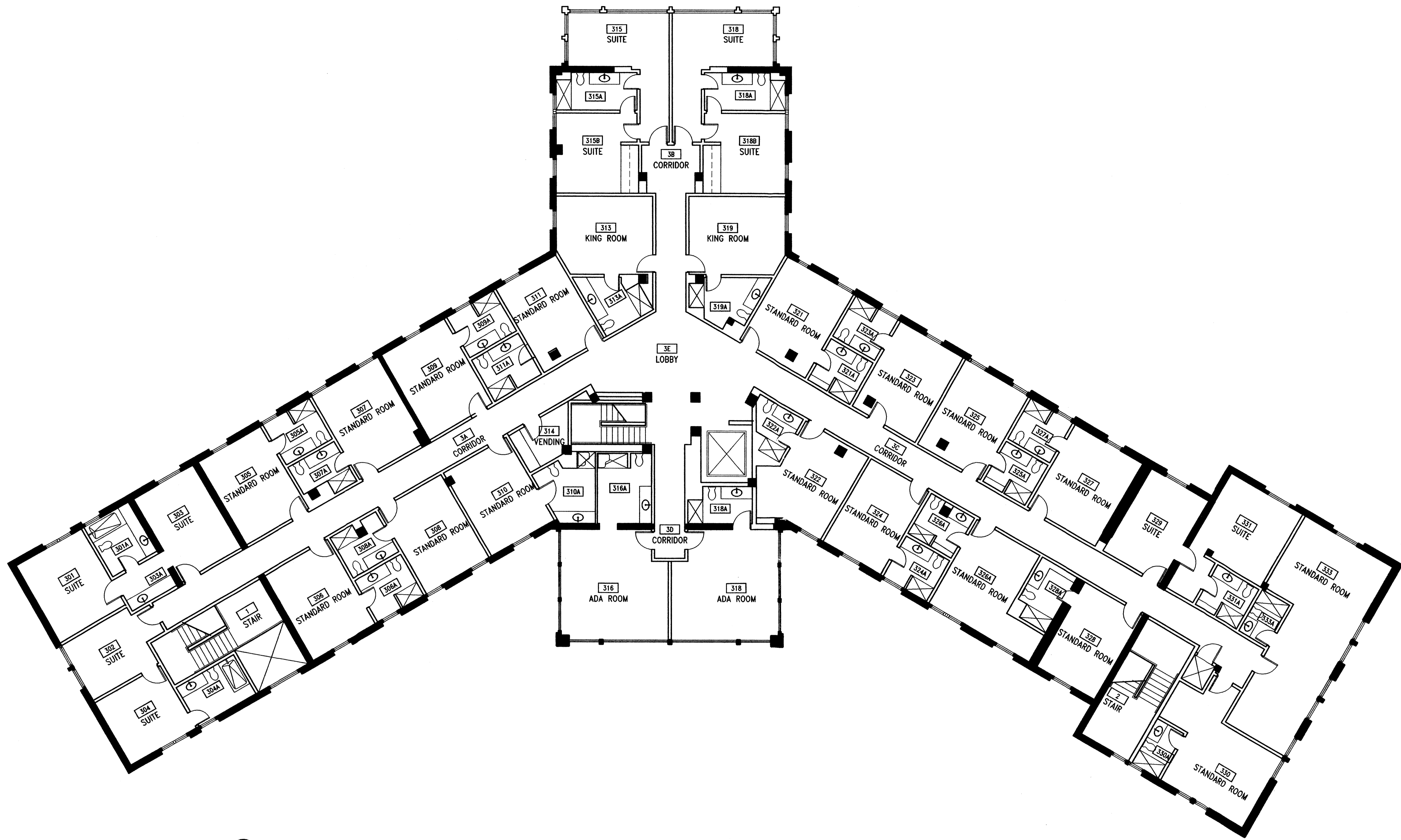
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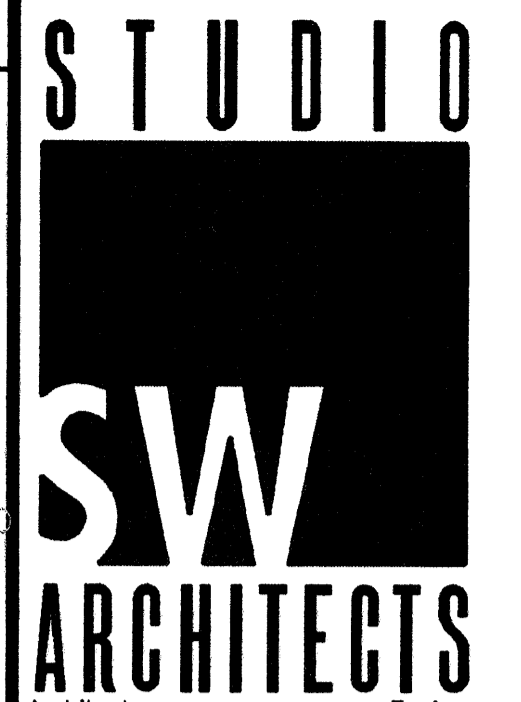
SHEET TITLE
**PROPOSED
THIRD FLOOR PLAN
BUILDING ONE**

A-103
sheet of sheets



○ SHEET KEYNOTES

- 1) PATCH AND REPAIR PARAPET WHERE REQUIRED.
- 2) NEW 42" TALL GUARD RAIL.
- 3) NEW 8' TALL PLUMBING VENT STACK.
- 4) EXISTING EXPANSION JOINT REPAIR WHERE NECESSARY.
- 5) NEW TILE AT ROOF DECK. INSTALL PER MANUFACTURERS RECOMMENDATION
- 6) NEW TPO ROOF SYSTEM. SEE SPECIFICATION. SLOPE ROOF TO EXISTING DRAIN LOCATION OR AS REQUIRED.
- 7) NEW ROOF HATCH AT EXISTING LOCATION.
- 8) NEW CHIMNEY STACK TO MATCH EXISTING.
- 9) NEW TOILET ROOM VENT.
- 10) NEW WARMING KITCHEN VENT.
- 11) NEW MANSARD TILE ROOF.
- 12) NEW ROOF OVER STAIR ENCLOSURE. SLOPE TO GUTTER.
- 13) NEW COPPER GUTTER AND DOWNSPOUT.
- 14) EXISTING ROOF DRAIN LOCATION WITH NEW DRAIN AND OVERFLOW.
- 15) NEW ROOF DRAIN AND OVERFLOW.
- 16) NEW ROOF TOP MECHANICAL UNIT. SEE MECHANICAL DRAWINGS FOR ADDL. INFORMATION.
- 17) NEW 6' TALL WALL. COLOR AND TEXTURE TO MATCH BUILDING FINISH.
- 18) SLOPED WALKWAY TO DECK.
- 19) OUTLINE OF ELEVATOR HOISTWAY AT ROOF DECK. SEE ELEVATOR DRAWINGS.
- 20) EXISTING MASONRY CHIMNEY TO REMAIN. REPAIR, REINFORCE AND PATCH CHIMNEY TO MATCH EXISTING.



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Architect Engineer

**DRB
 SUBMITTAL**

**HOTEL PARQ
 CENTRAL**

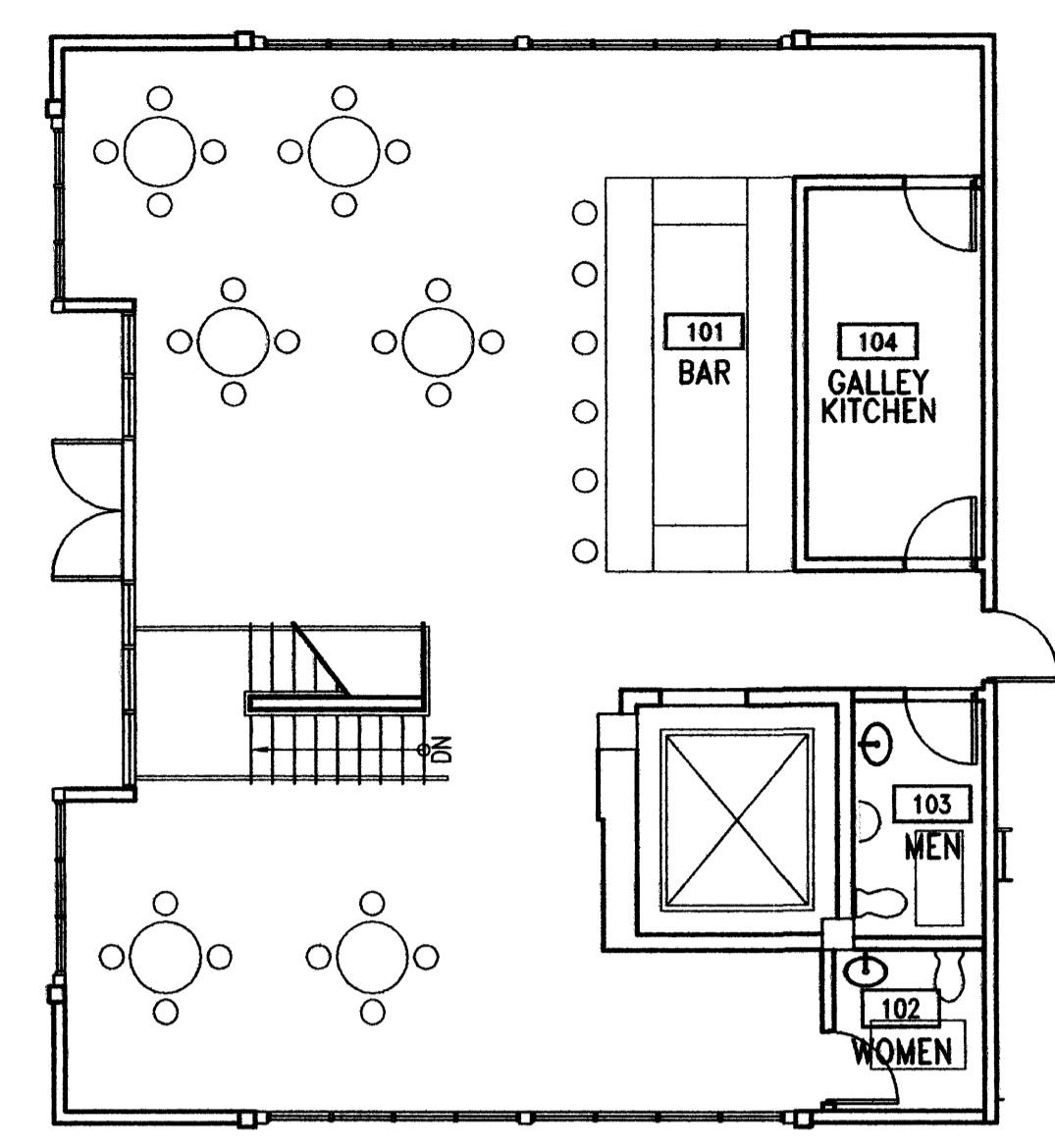
806 CENTRAL AVE. SE
 ALBUQUERQUE, NM 87102

△	07/10/08	DRB MODIFICATIONS
MARK	DATE	DESCRIPTION
ISSUE:		DRB SET
PROJECT NO:		0710
CAD DWG FILE:		0710 A-104
DRAWN BY:		DSJ
CHECKED BY:		
DATE:		July 14, 2008

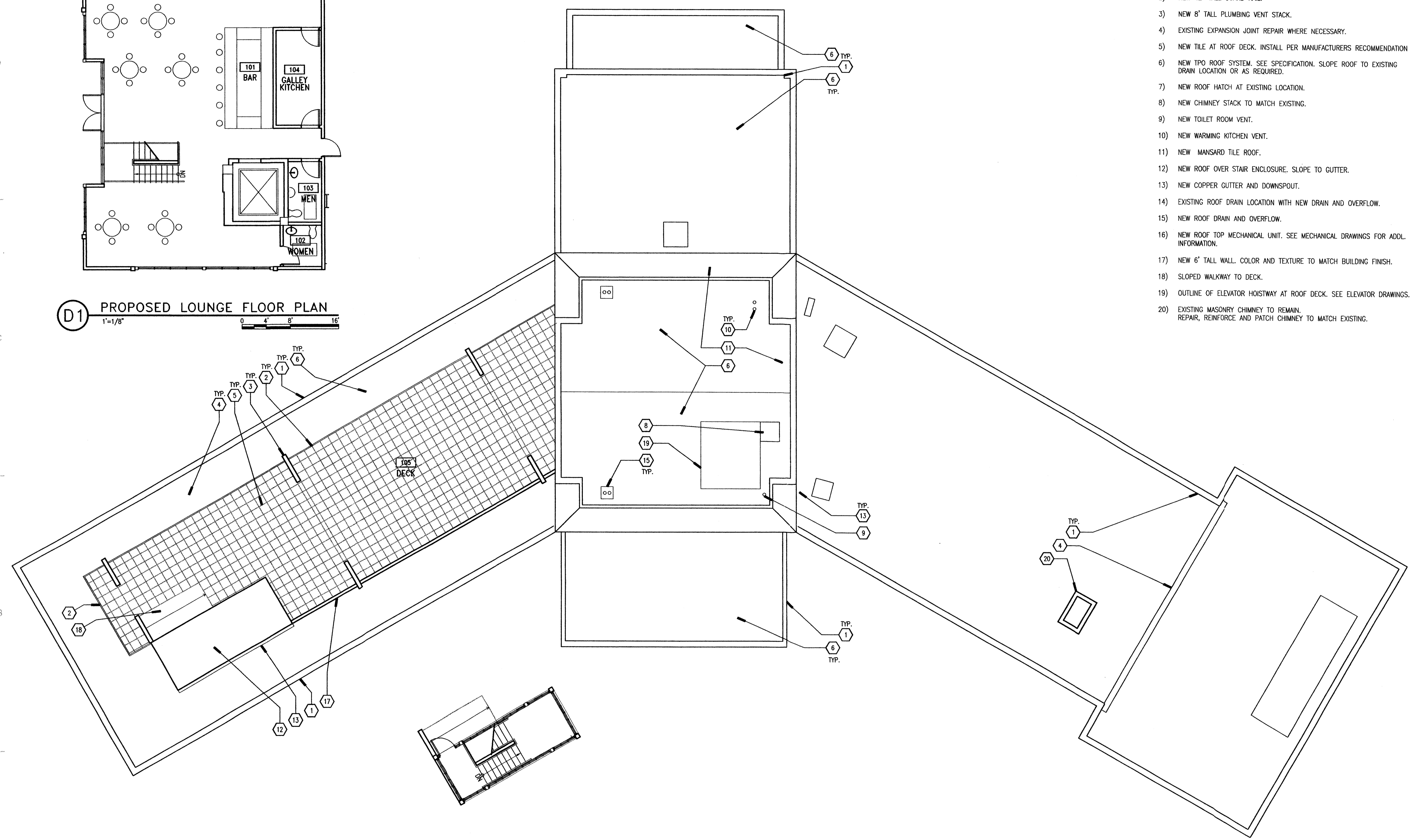
SHEET TITLE

**PROPOSED
 ROOF PLAN
 BUILDING ONE**

A-104
 sheet of sheets

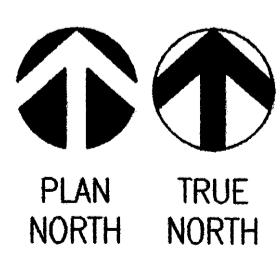
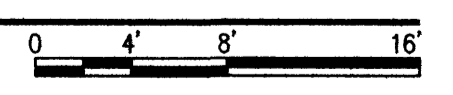


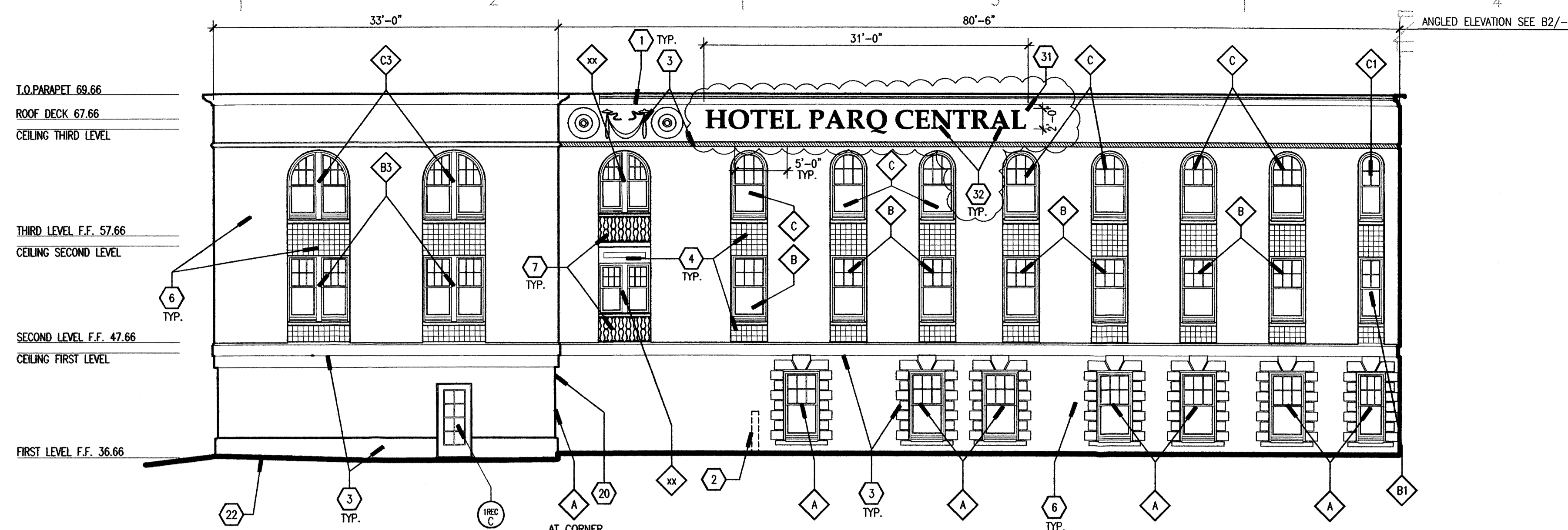
D1 PROPOSED LOUNGE FLOOR PLAN
 1"=1/8"



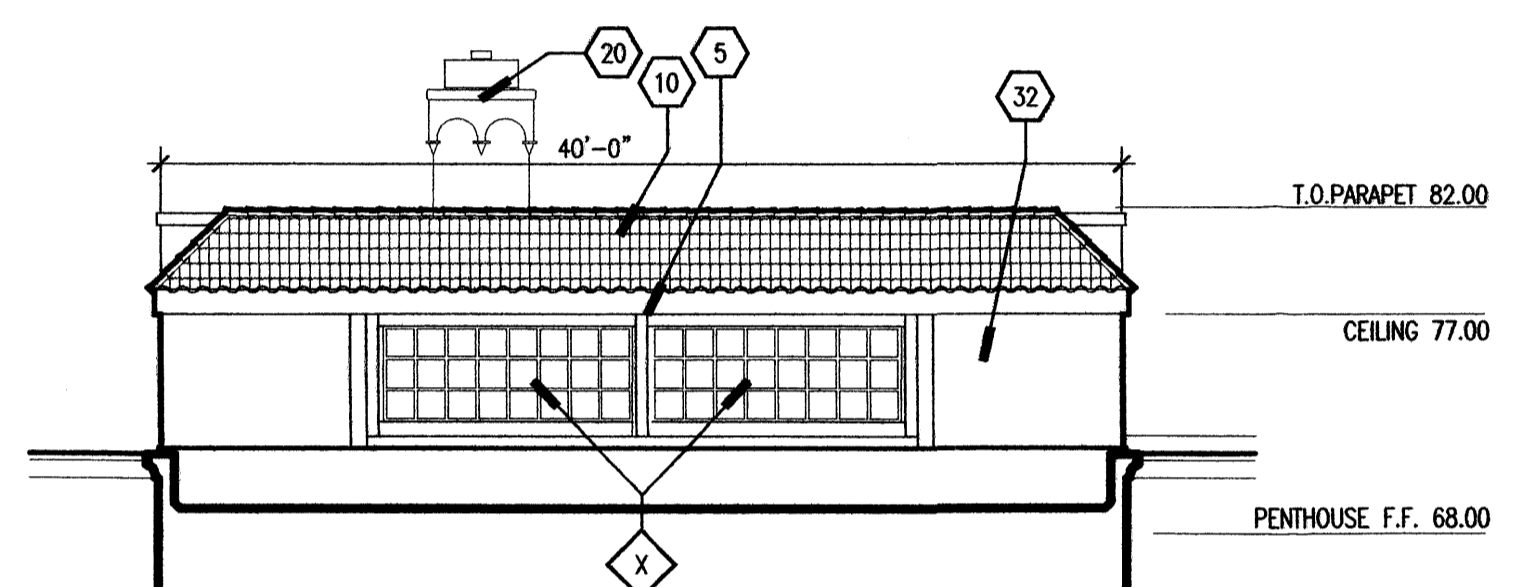
A2 PROPOSED STAIRS AT DECK
 1"=1/8"

A1 PROPOSED ROOF PLAN & DECK
 1"=1/8"

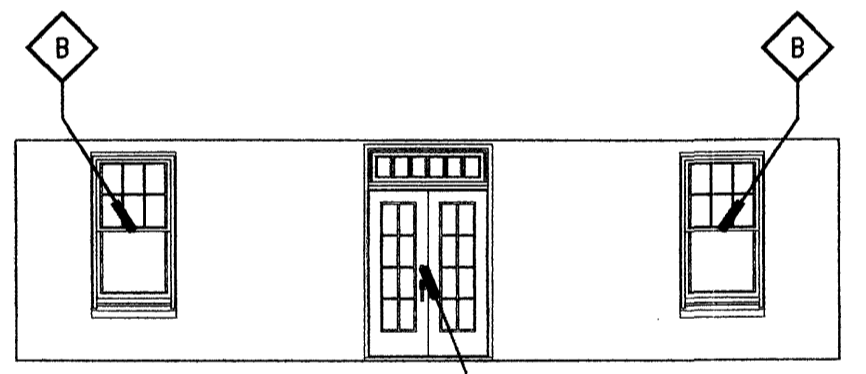




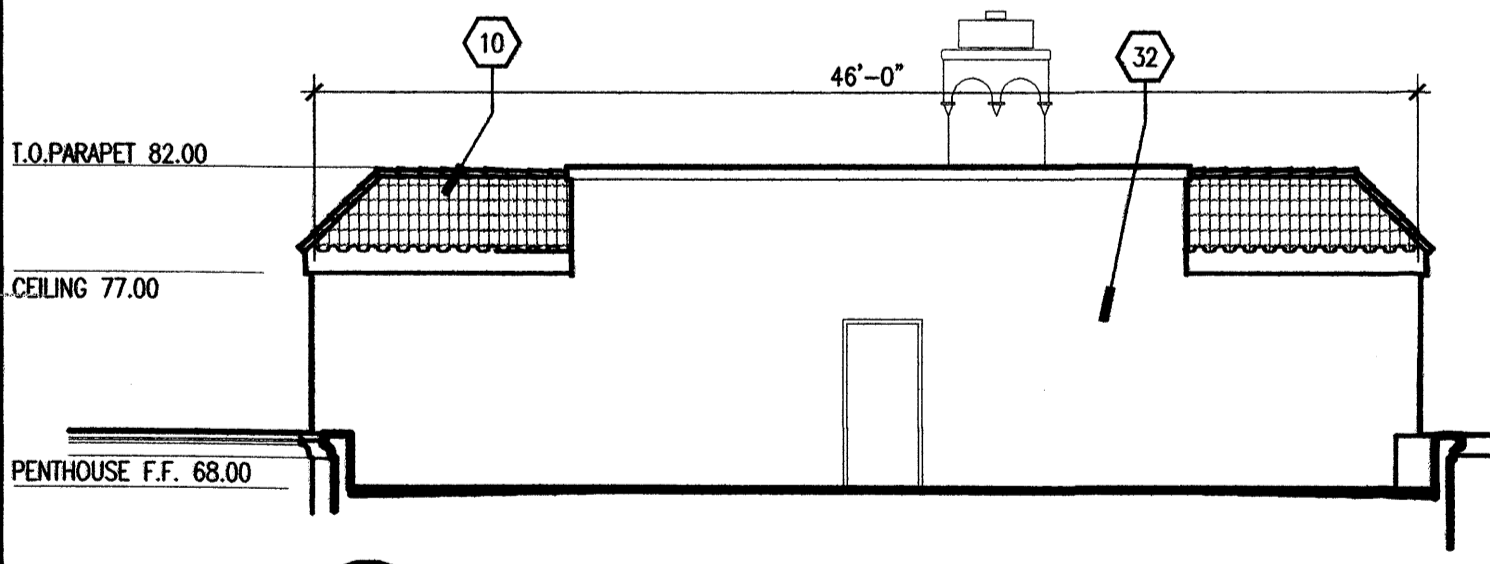
(C1) NORTHEAST ELEVATION
1/8"=1'



(B3) NORTH ELEVATION
1/8"=1'



(B1) NORTH ELEVATION AT PORTICO
1/8"=1'



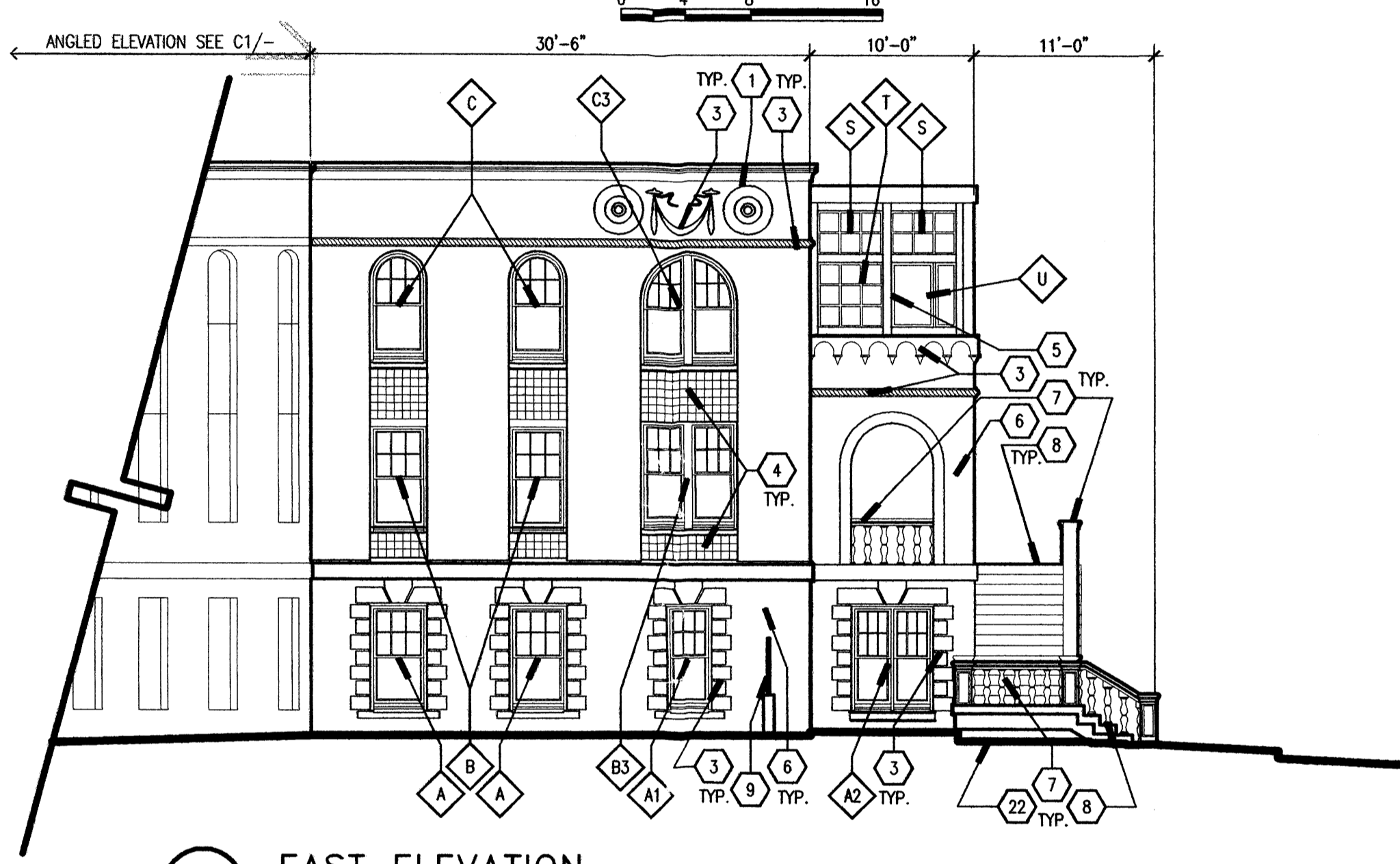
(A1) EAST ELEVATION AT PENTHOUSE
1/8"=1'

T.O. PARAPET 69.66
ROOF DECK 67.66
CEILING THIRD LEVEL

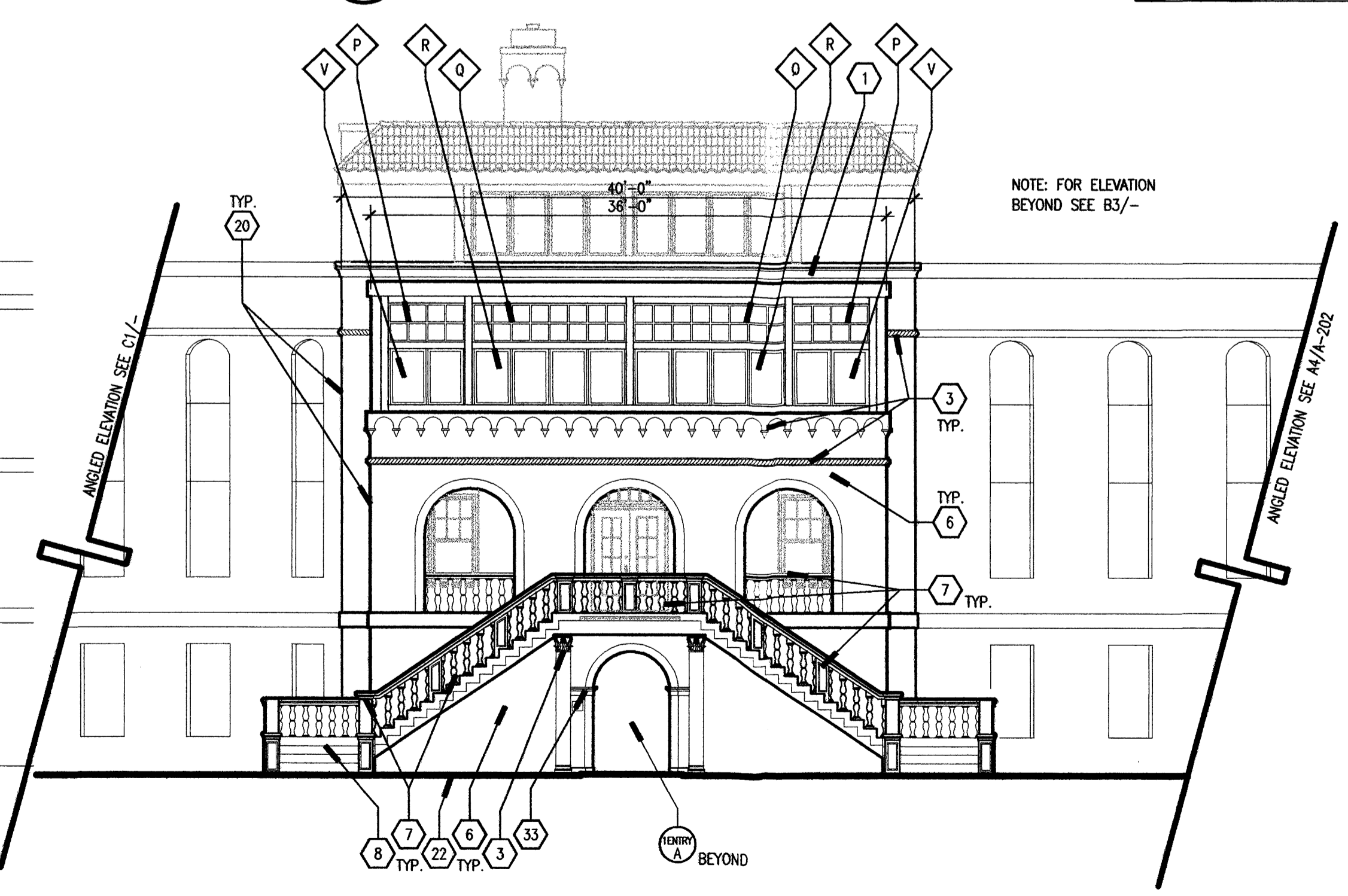
THIRD LEVEL F.F. 57.66
CEILING SECOND LEVEL

SECOND LEVEL F.F. 47.66
CEILING FIRST LEVEL

FIRST LEVEL F.F. 36.66



(B2) EAST ELEVATION
1/8"=1'



(A2) NORTH ELEVATION
1/8"=1'

GENERAL NOTES

- 1) PATCH AND REPAIR PARAPET WHERE REQUIRED.
- 2) PATCH AND REPAIR WALL WHERE WALL WAS REMOVED.
- 3) PATCH AND REPAIR PRECAST CONCRETE/STONE ORNAMENT.
- 4) CLEAN AND REPAIR TILE PER SPECIFICATION
- 5) PROPOSED REBUILT STRUCTURE. SEE PLANS FOR ADDL. INFORMATION.
- 6) PATCH AND REPAIR EXTERIOR FINISH. FOR NEW UNIFORM FINISH COAT. COLOR: WARM BEIGE.
- 7) PATCH AND REPAIR PRECAST CONCRETE GUARD RAIL TO MATCH EXISTING.
- 8) PATCH AND REPAIR CONCRETE STEPS TO MATCH EXISTING.
- 9) NEW FENCE. SEE SITE PLAN FOR ADDL. INFORMATION.
- 10) NEW MANSARD TILE ROOF. STYLE AND COLOR TO MATCH EXISTING - SEE ROOF PLAN FOR ADDL. INFORMATION.
- 11) REBUILT CHIMNEY TO MATCH EXISTING WITH NEW SPARK ARRESTOR. BRICK TYPE AND COLOR TO MATCH EXISTING
- 12) NEW CERAMIC TILE TO MATCH EXISTING ANTIQUE TILE.
- 13) RELOCATED ROOF DRAIN LOCATION. SEE PLANS.
- 14) NEW COPPER DOWNSPOUT, SCUPPER & GUTTER. WHERE OCCURS.
- 15) PATCH AND REPAIR EXISTING MANSARD TILE ROOF TO MATCH EXISTING.
- 16) PATCH AND REPAIR EXISTING CHIMNEY. BRICK TYPE AND COLOR TO MATCH EXISTING. SEE ROOF PLAN.
- 17) NEW 42" TALL GUARD RAIL. SEE ROOF PLAN.
- 18) NEW 9' TALL PLUMBING VENT STACK. SEE ROOF PLAN
- 19) NEW STAIR ENCLOSURE. SEE PLANS.
- 20) EDGE OF STRUCTURE.
- 21) NEW VENT SCREEN AT EXISTING OPENING. PAINTED TO MATCH EXTERIOR FINISH COLOR: WARM BEIGE.
- 22) SEE CIVIL DRAWINGS FOR FINISH GRADE AT WALL.
- 23) LINE INDICATES BEGINING OF LATER ADDITION.
- 24) NEW PRECAST CONCRETE ORNAMENT TO MATCH EXISTING CAST AND COLOR.
- 25) NEW WALL AT PATIO. SEE PLANS
- 26) NEW STAIRS. SEE PLANS.
- 27) NEW ACCESSIBLE RAMP. SEE PLANS
- 28) NEW 6' TALL GUARD WALL. SEE ROOF PLAN.
- 29) NEW EXTERIOR CEMENT PLASTER OVER SHEATHING OVER METAL STUDS WITH UNIFORM FINISH FOR SEEMLESS CONSTRUCTION.
- 30) TOP OF PARAPET AT ROOF DECK.
- 31) NEW BUILDING SIGNAGE. 2' TALL INDIVIDUALLY CUT STEEL LETTERS PRIMED AND PAINTED. ATTACH TO EXISTING STRUCTURE. SEE DETAIL E3/AS-103.
- 32) LOW VOLTAGE LIGHT FIXTURE ATTACHED BEHIND LETTERS FOR BACK LIGHTING EFFECT.
- 33) NEW ENGAGED PILASTERS AT ENTRY VESTIBULE.

◇ SHEET KEYNOTES

STUDIO
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CONSULTANTS

Architect Engineer

DRB
SUBMITTAL

HOTEL PARQ CENTRAL

806 CENTRAL AVE. SE
ALBUQUERQUE, NM 87102

MARK	DATE	DESCRIPTION
△	07/10/08	DRB MODIFICATIONS
ISSUE:	DRB SET	
PROJECT NO:	0710	
CAD DWG FILE:	0710 A-201	
DRAWN BY:	DSJ	
CHECKED BY:		
DATE:	July 14, 2008	

SHEET TITLE
ELEVATIONS BUILDING ONE

A-201
sheet of sheets

GENERAL NOTES

- 1) PATCH AND REPAIR PARAPET WHERE REQUIRED.
- 2) PATCH AND REPAIR WALL WHERE WALL WAS REMOVED.
- 3) PATCH AND REPAIR PRECAST CONCRETE/STONE ORNAMENT.
- 4) CLEAN AND REPAIR TILE PER SPECIFICATION
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CONSULTANTS

Architect _____ Engineer _____

DRB SUBMITTAL

HOTEL PARQ CENTRAL

806 CENTRAL AVE. SE
ALBUQUERQUE, NM 87102

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PROJECT NO:		0710
CAD DWG FILE:		
DRAWN BY:		DSJ
CHECKED BY:		
DATE:		July 14, 2008

SHEET TITLE
ELEVATIONS BUILDING ONE

A-202

sheet of sheets

E3 NORTHWEST ELEVATION AT ROOF DECK
1/8"=1'

D3 WEST ELEVATION AT PENTHOUSE
1/8"=1'

C3 SOUTH ELEVATION
1/8"=1'

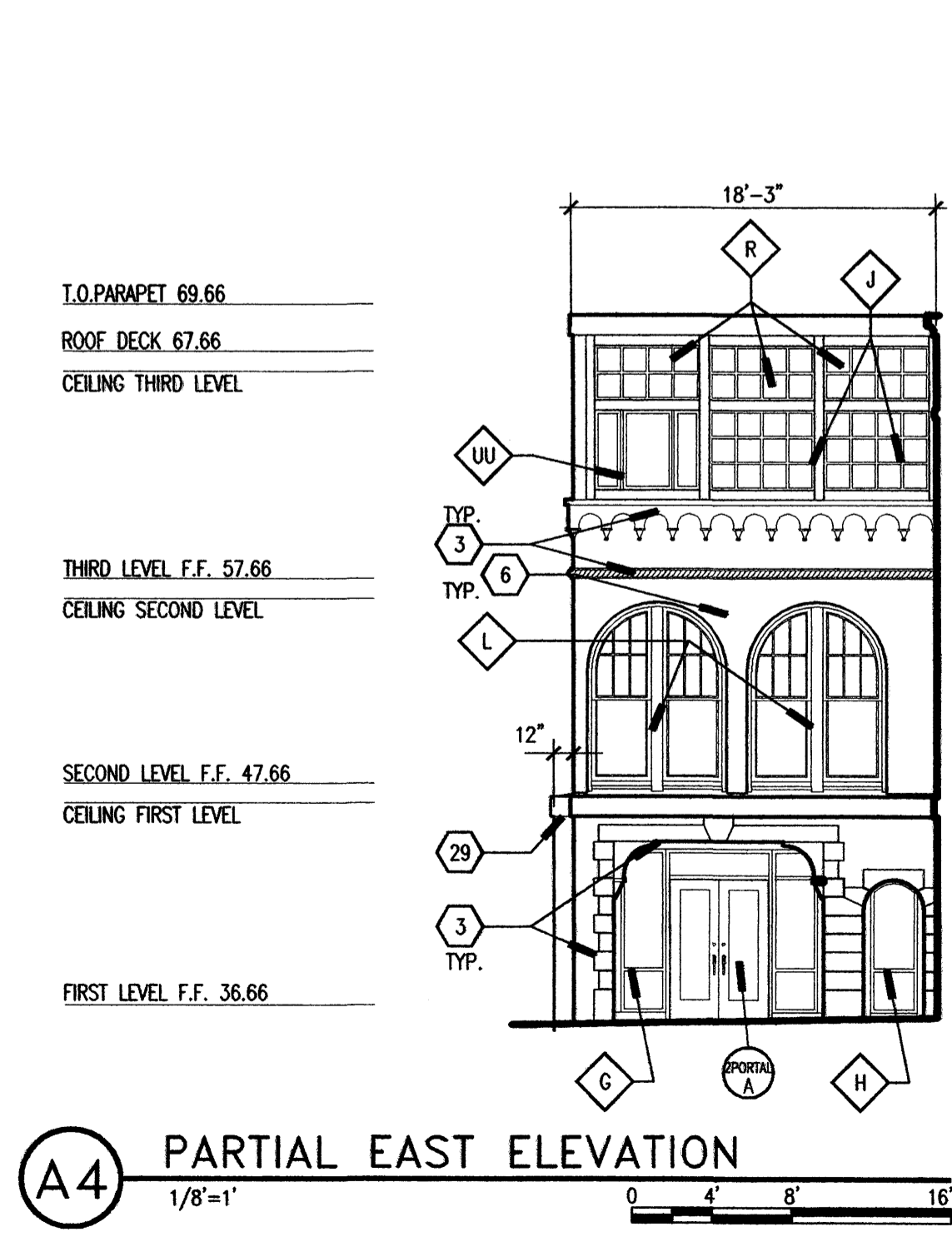
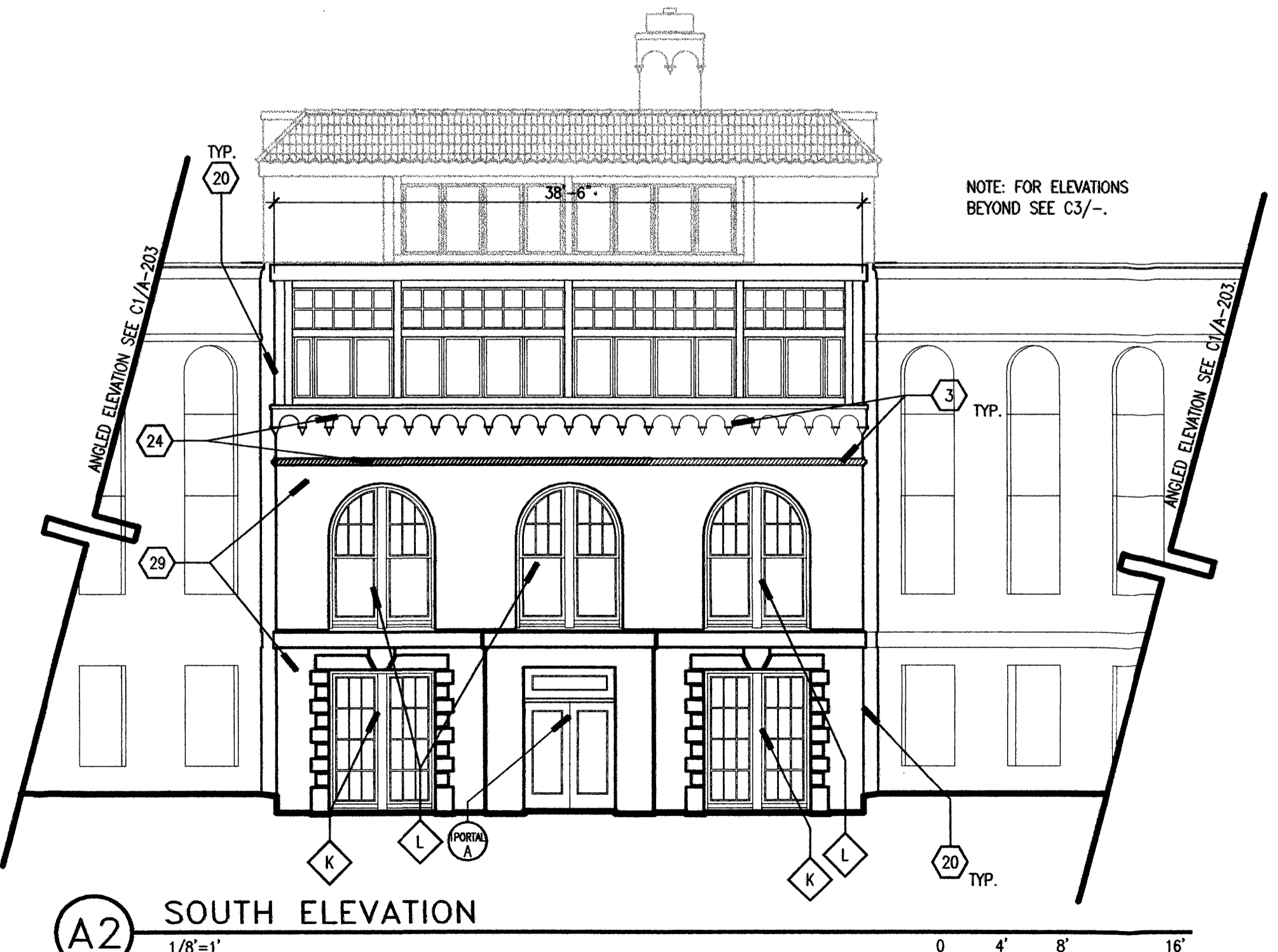
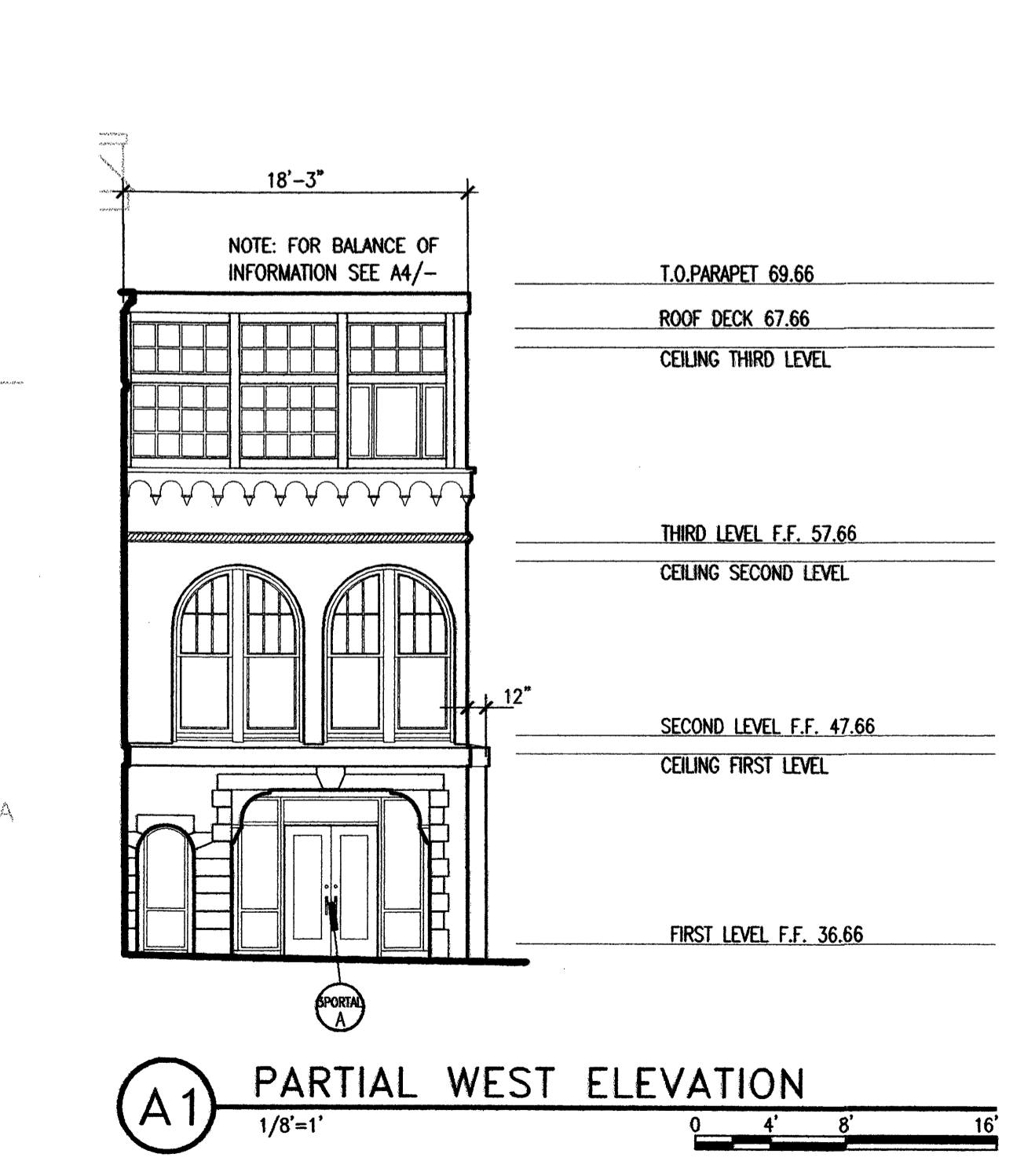
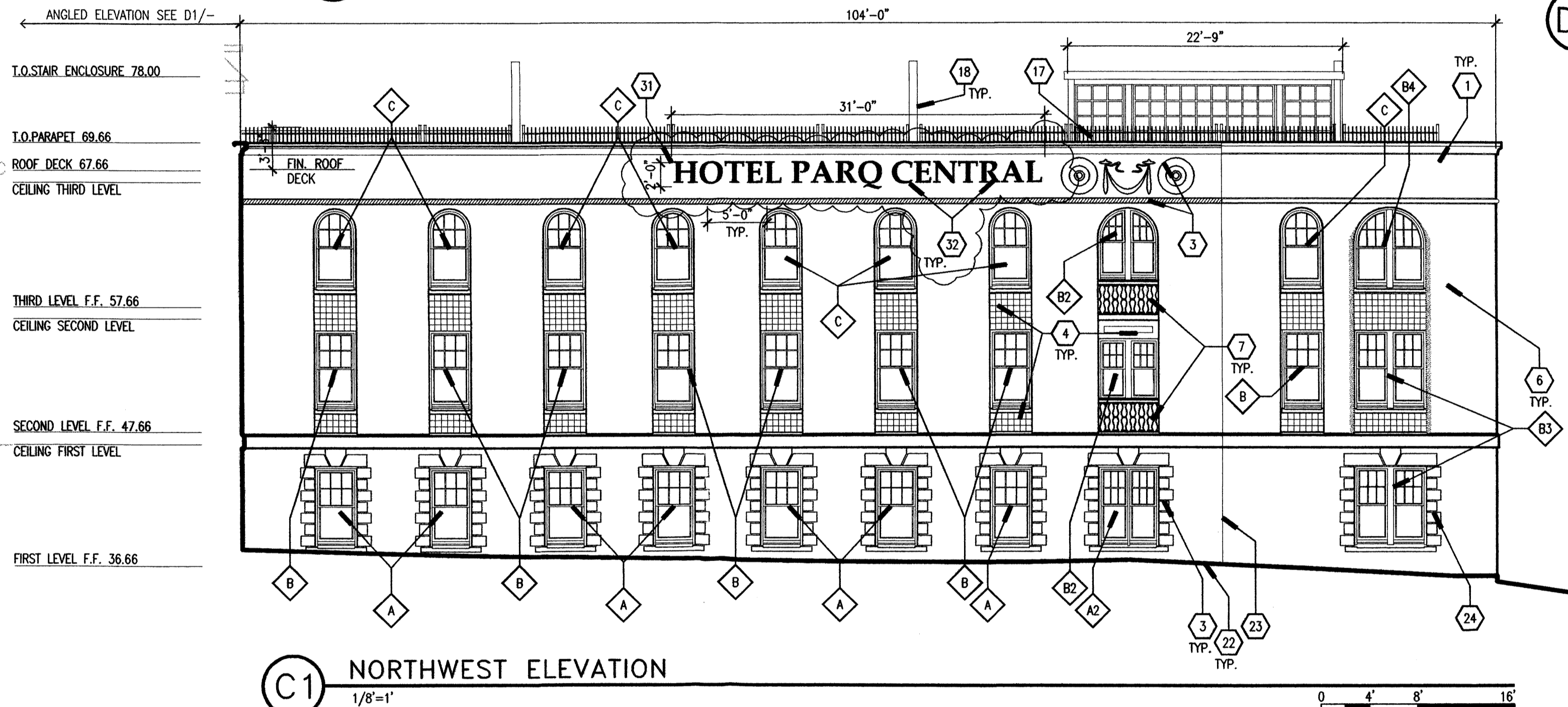
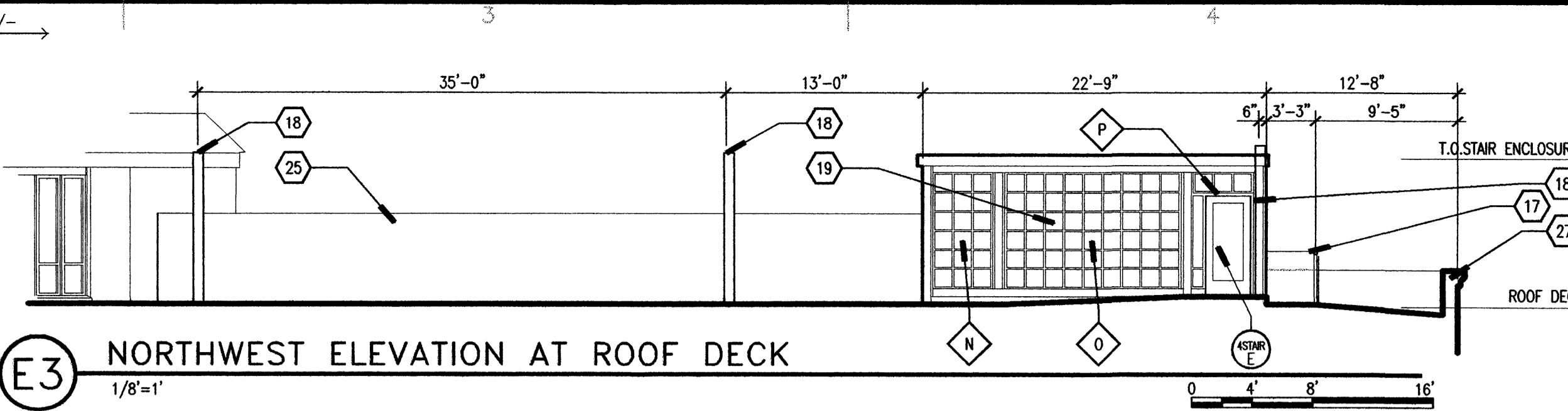
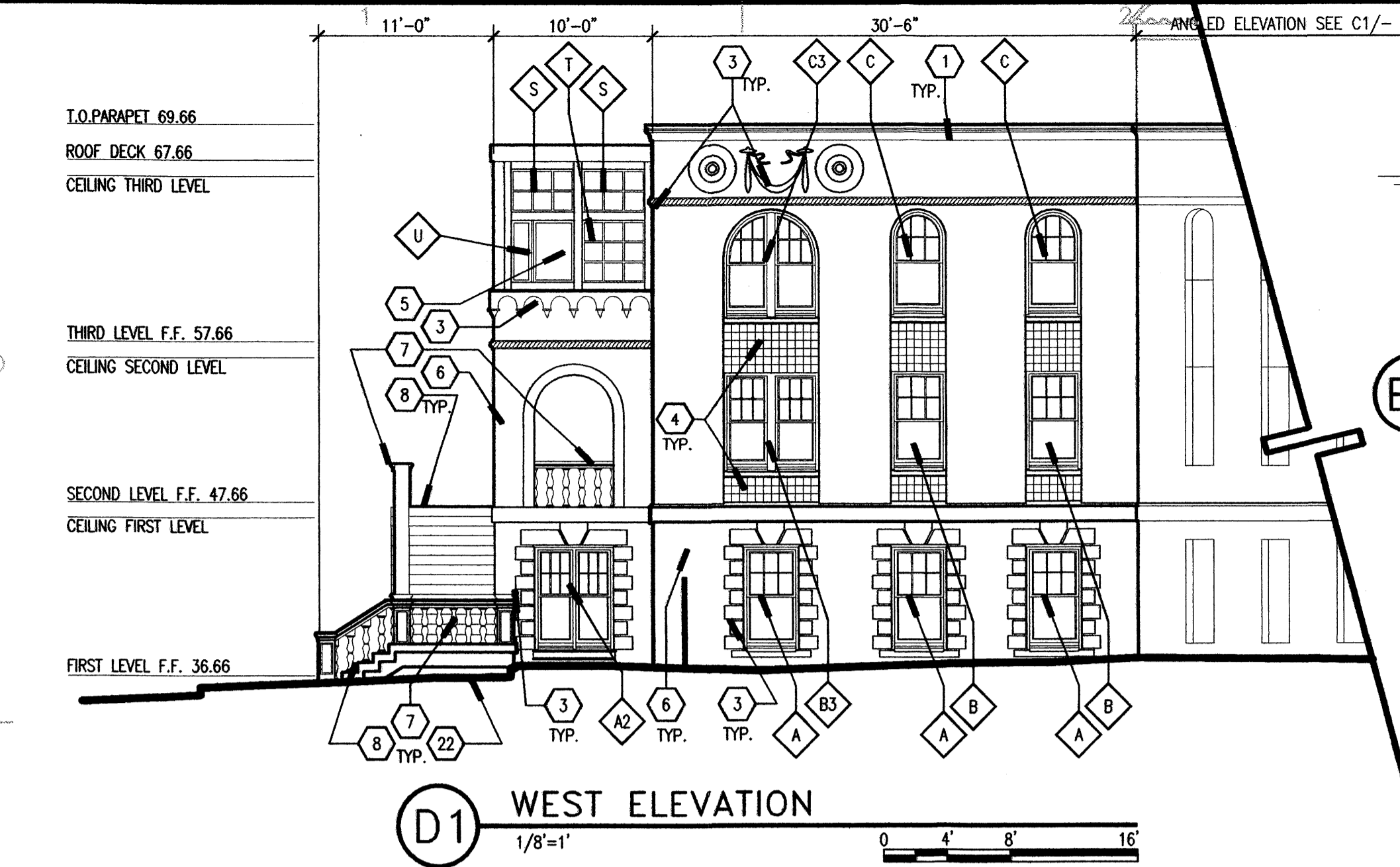
D1 WEST ELEVATION
1/8"=1'

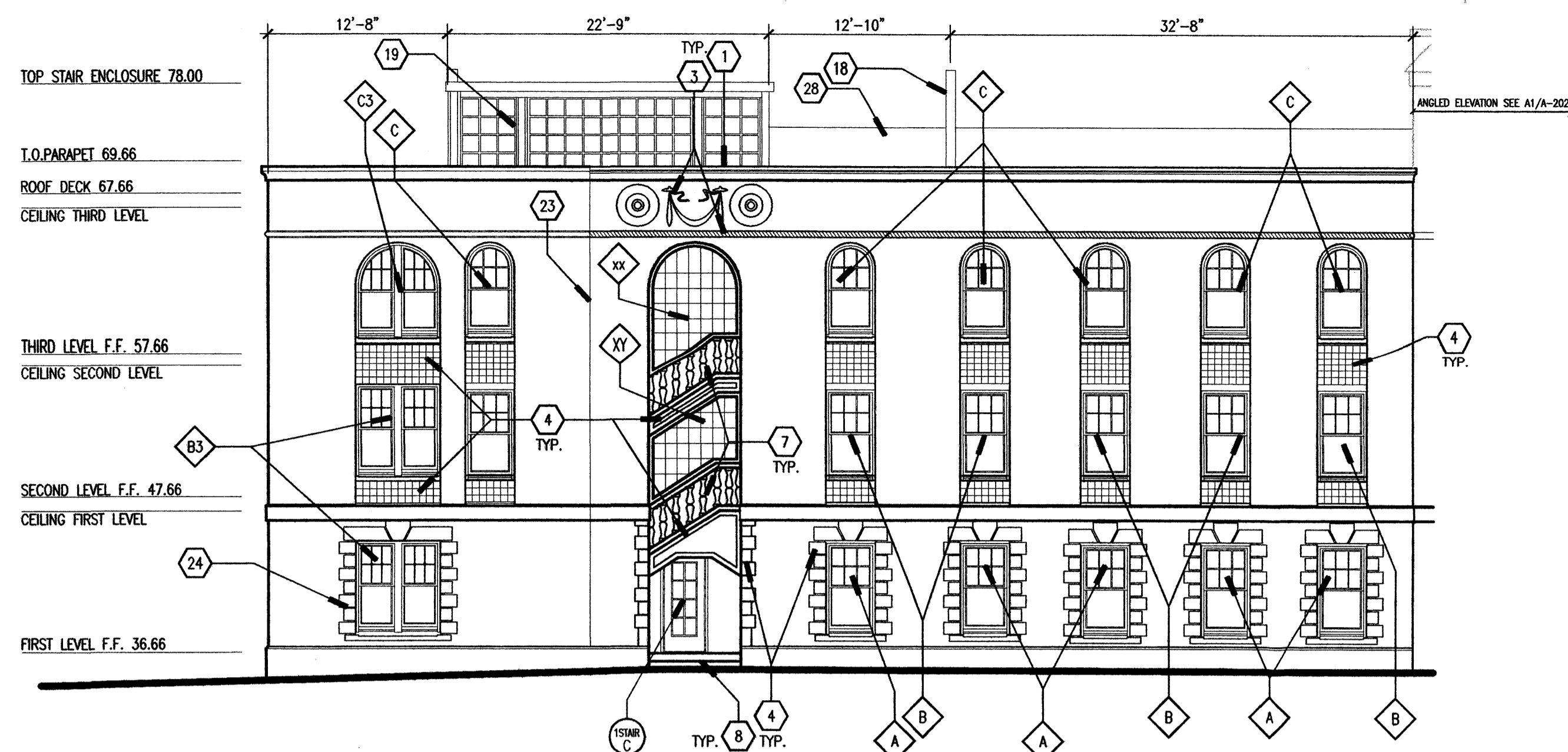
C1 NORTHWEST ELEVATION
1/8"=1'

A1 PARTIAL WEST ELEVATION
1/8"=1'

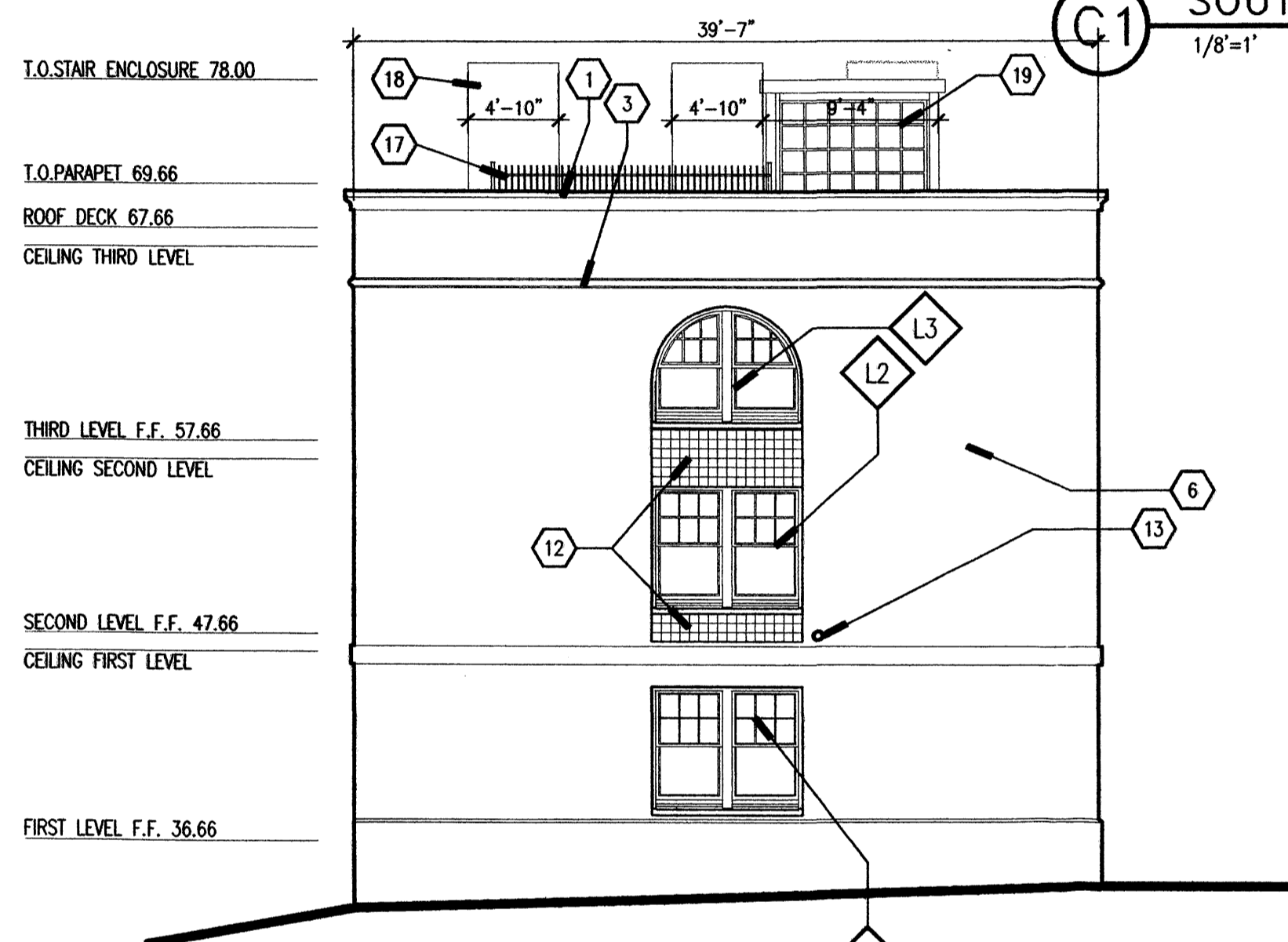
A2 SOUTH ELEVATION
1/8"=1'

A4 PARTIAL EAST ELEVATION
1/8"=1'





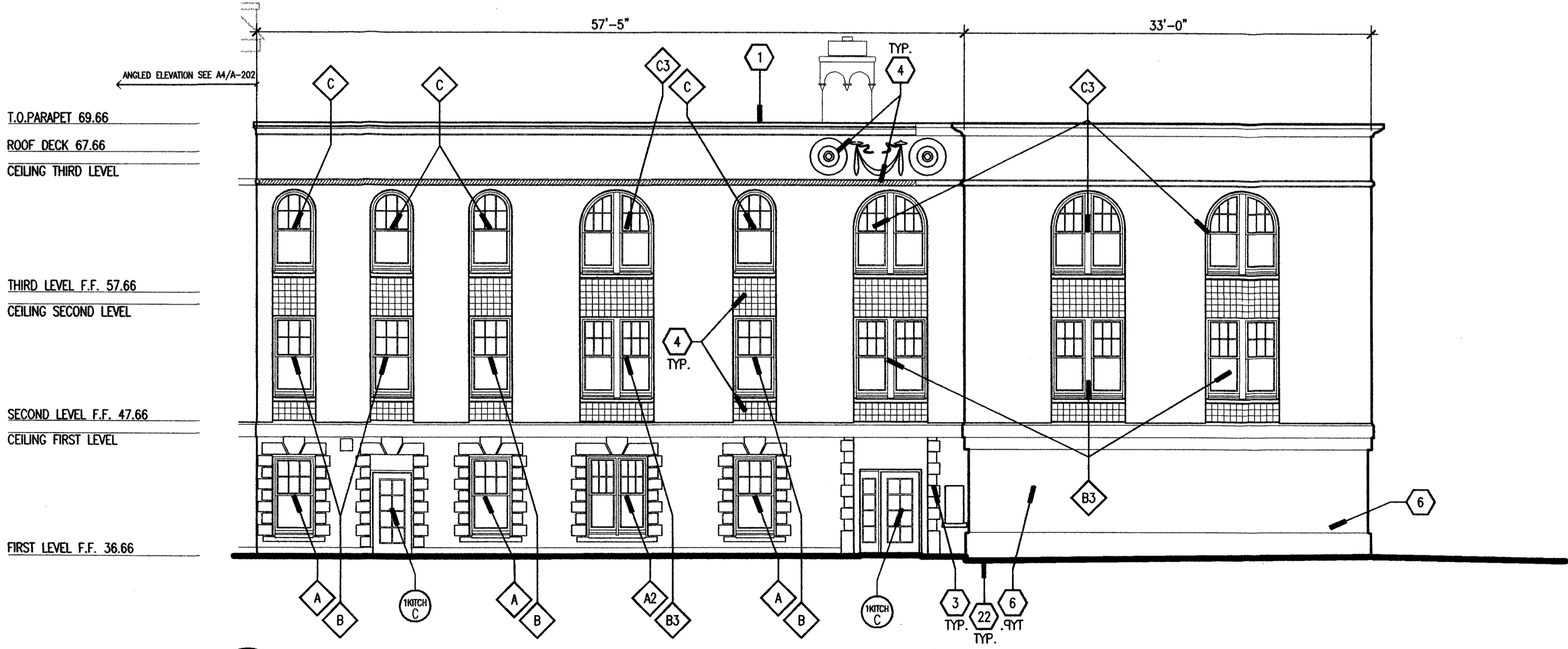
C1 SOUTHWEST ELEVATION
1/8"=1'



B1 WEST ELEVATION
1/8"=1'



B3 EAST ELEVATION
1/8"=1'



A1 SOUTHEAST ELEVATION
1/8"=1'

GENERAL NOTES

- 1) ---
- 2) PATCH AND REPAIR PARAPET WHERE REQUIRED.
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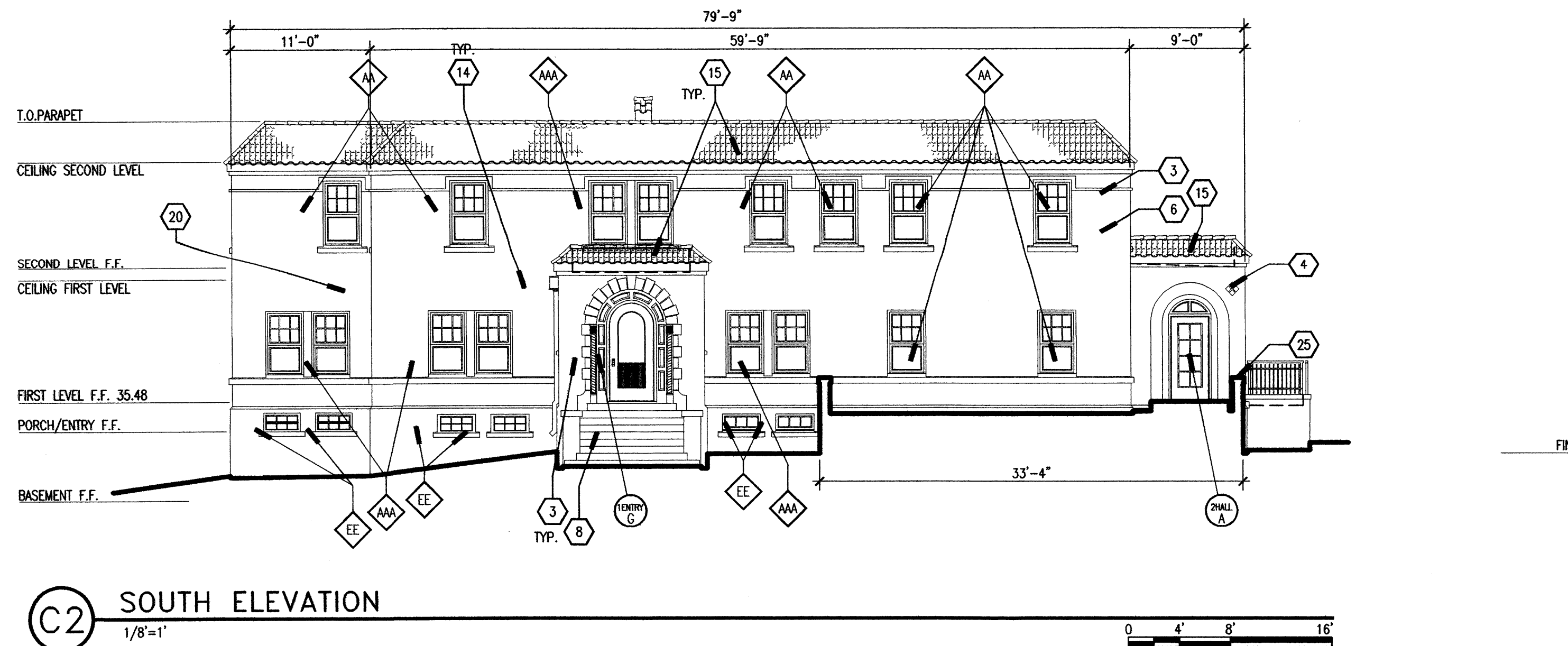
Architect Engineer

DRB SUBMITTAL

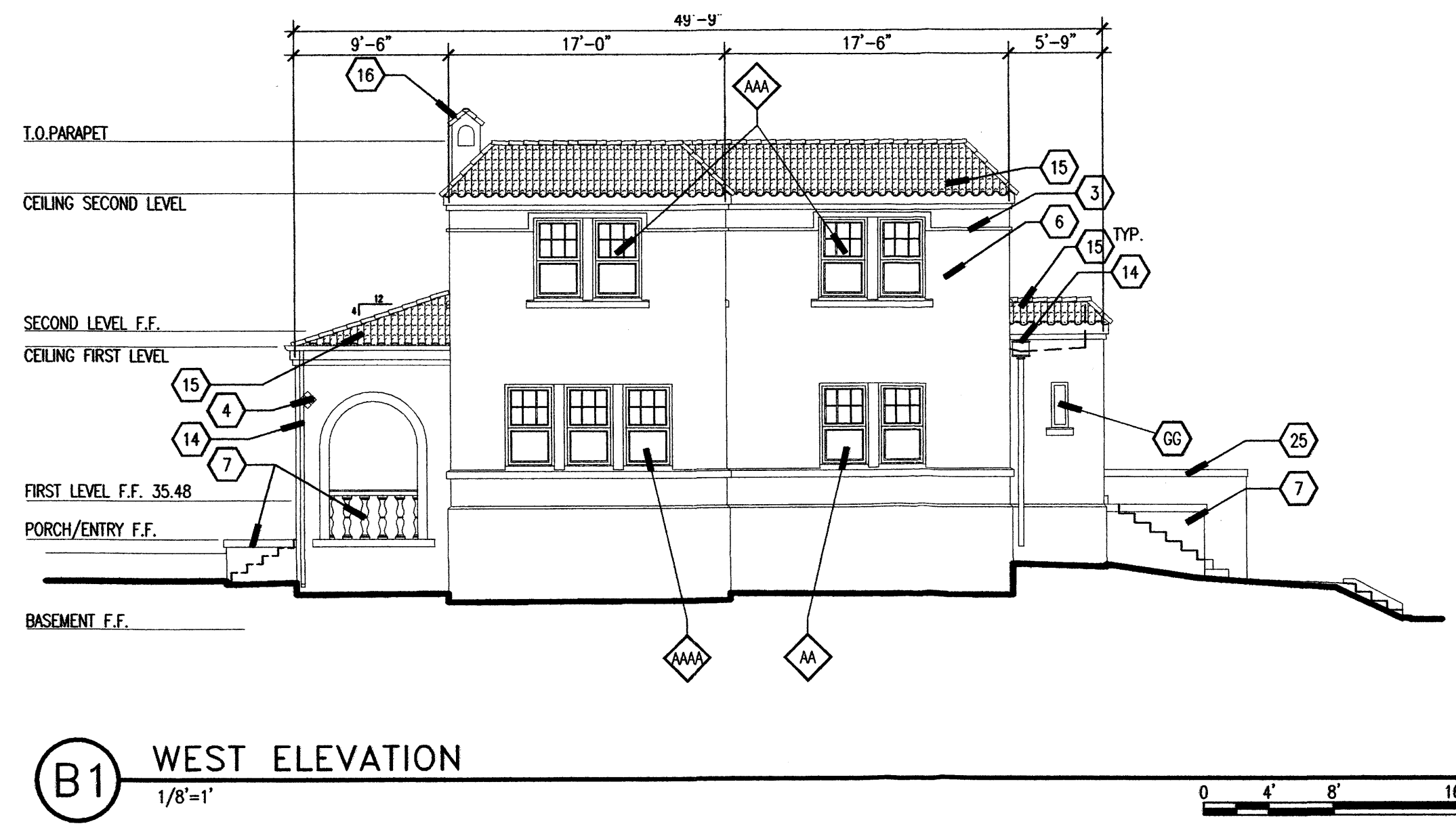
HOTEL PARQ CENTRAL
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CAD DWG FILE:		0710 A-203
DRAWN BY:		DSJ
CHECKED BY:		
DATE:		July 14, 2008

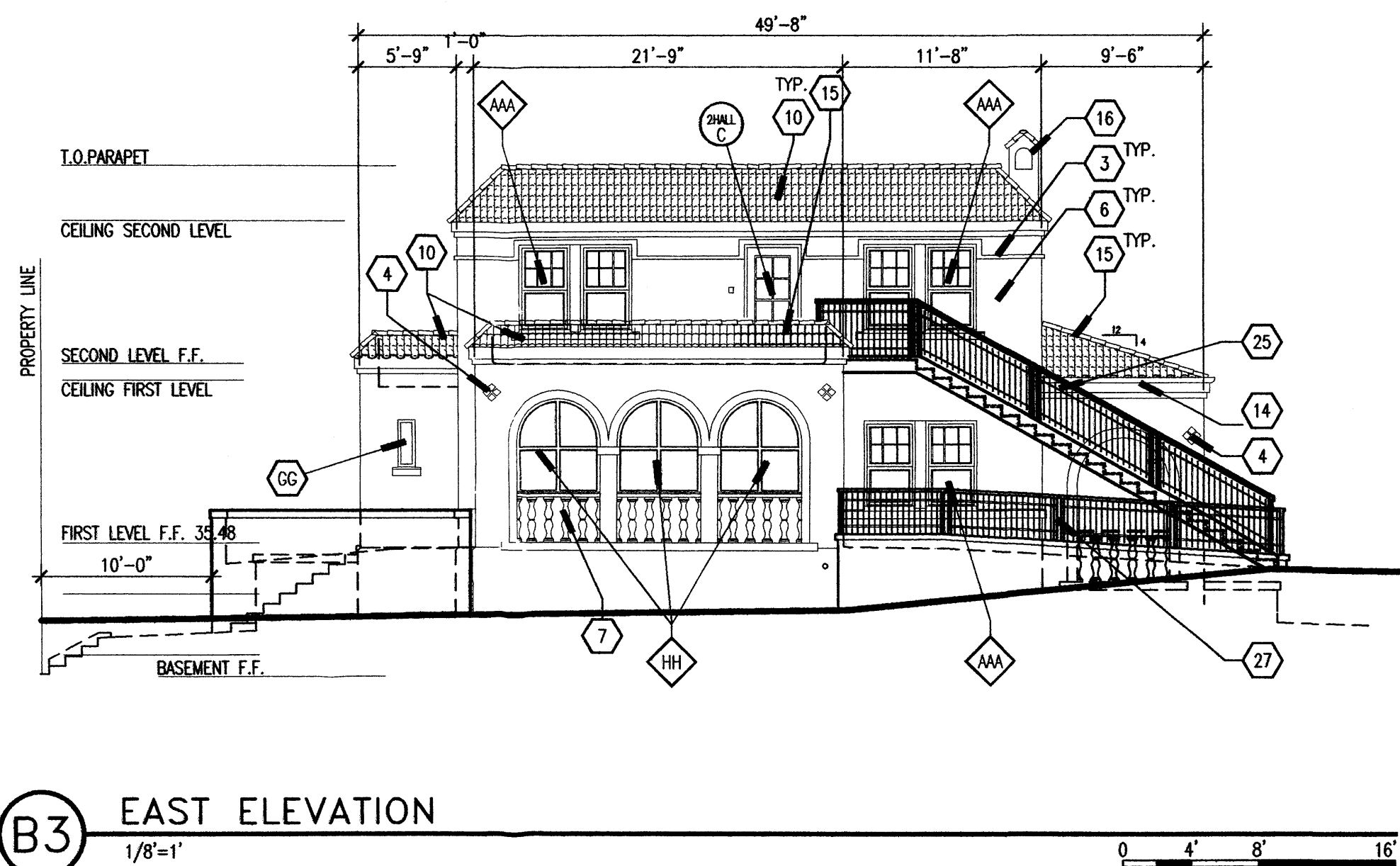
SHEET TITLE
ELEVATIONS
BUILDING ONE



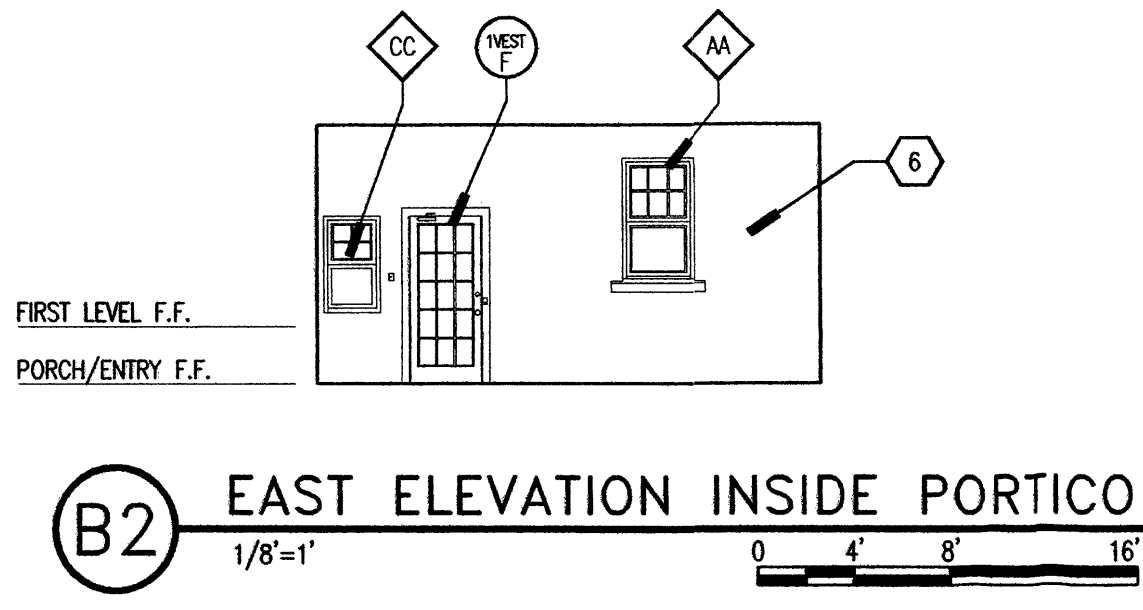
C2 SOUTH ELEVATION
1/8"=1'



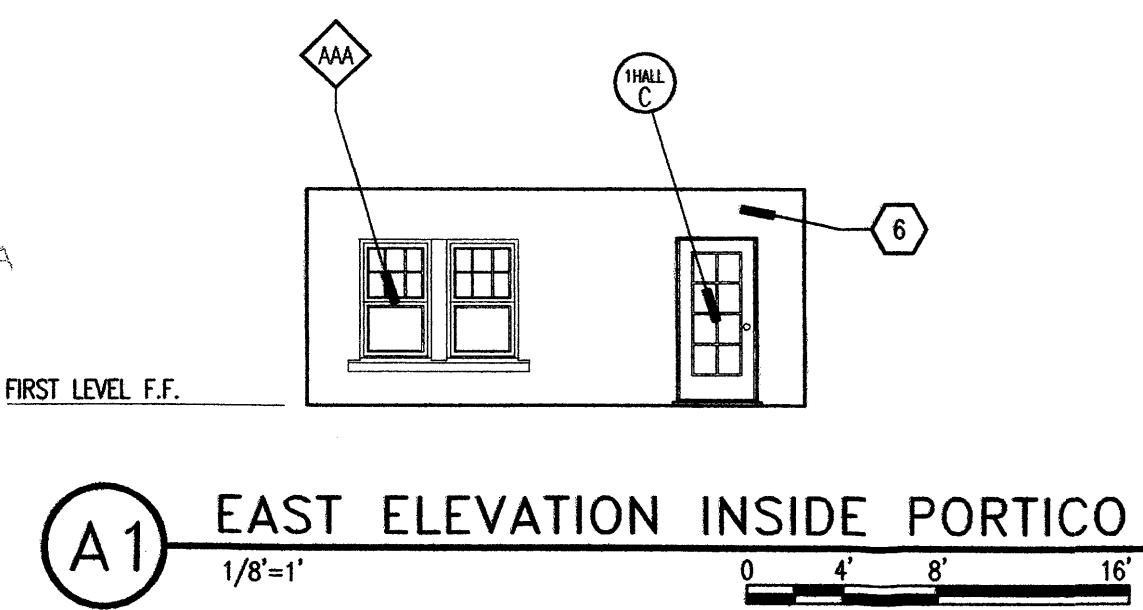
B1 WEST ELEVATION
1/8"=1'



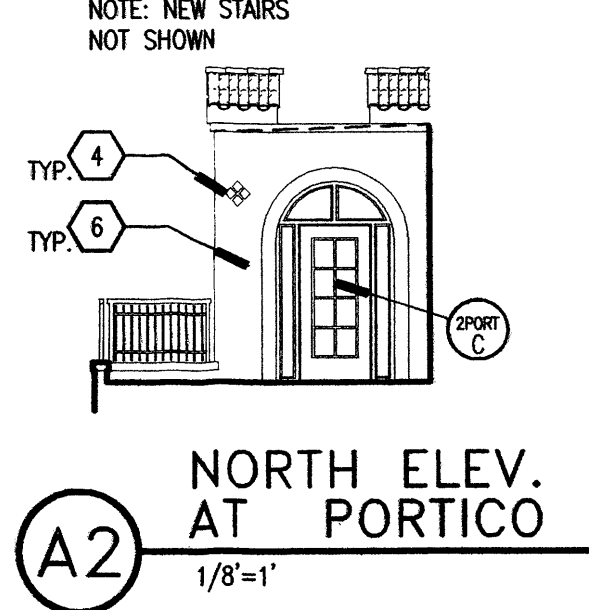
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1/8"=1'



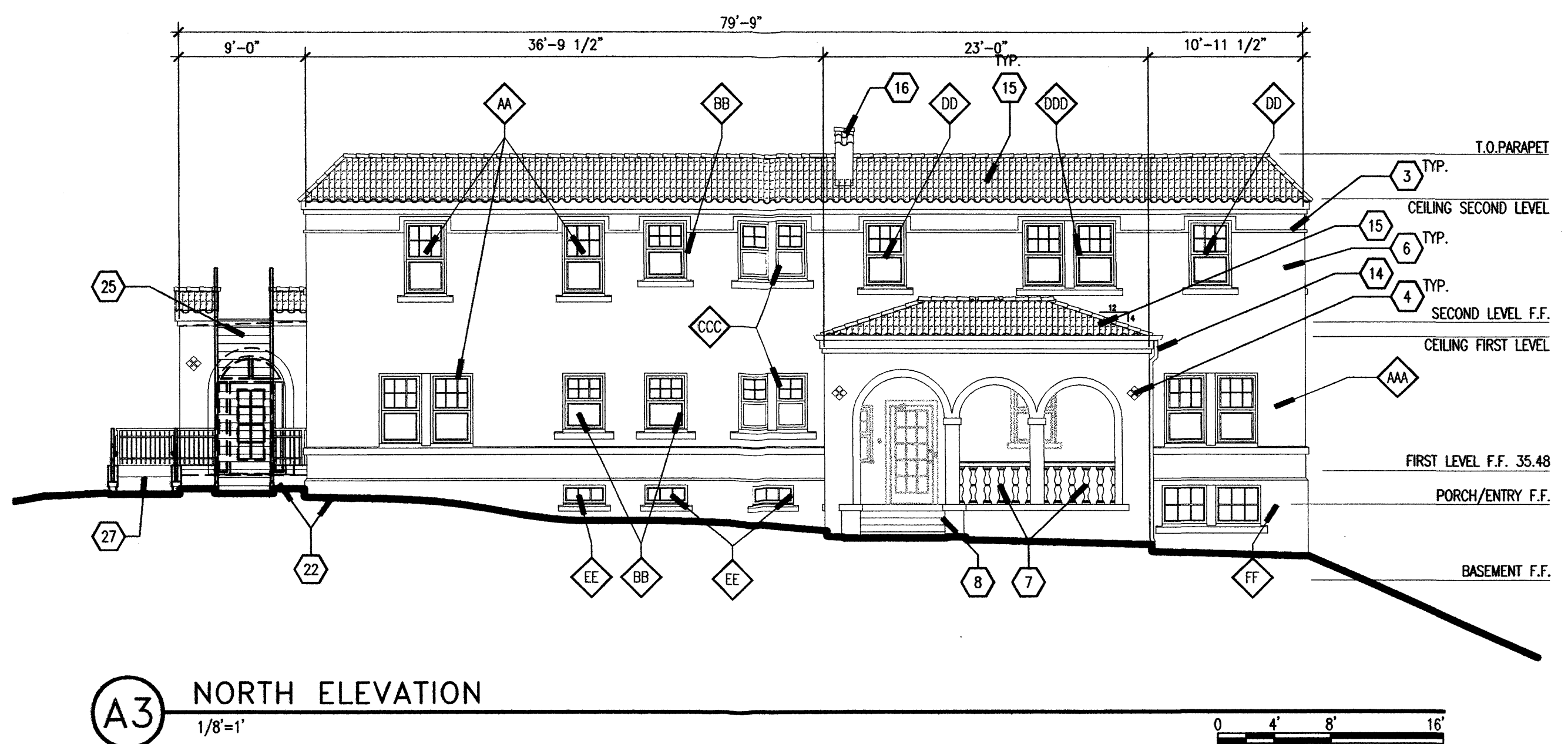
B2 EAST ELEVATION INSIDE PORTICO
1/8"=1'



A1 EAST ELEVATION INSIDE PORTICO
1/8"=1'



A2 NORTH ELEV. AT PORTICO
1/8"=1'



A3 NORTH ELEVATION
1/8"=1'

GENERAL NOTES

SHEET KEYNOTES

- 1) PATCH AND REPAIR PARAPET WHERE REQUIRED.
- 2) PATCH AND REPAIR WALL WHERE WALL WAS REMOVED.
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CONSULTANTS

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DRB
SUBMITTAL

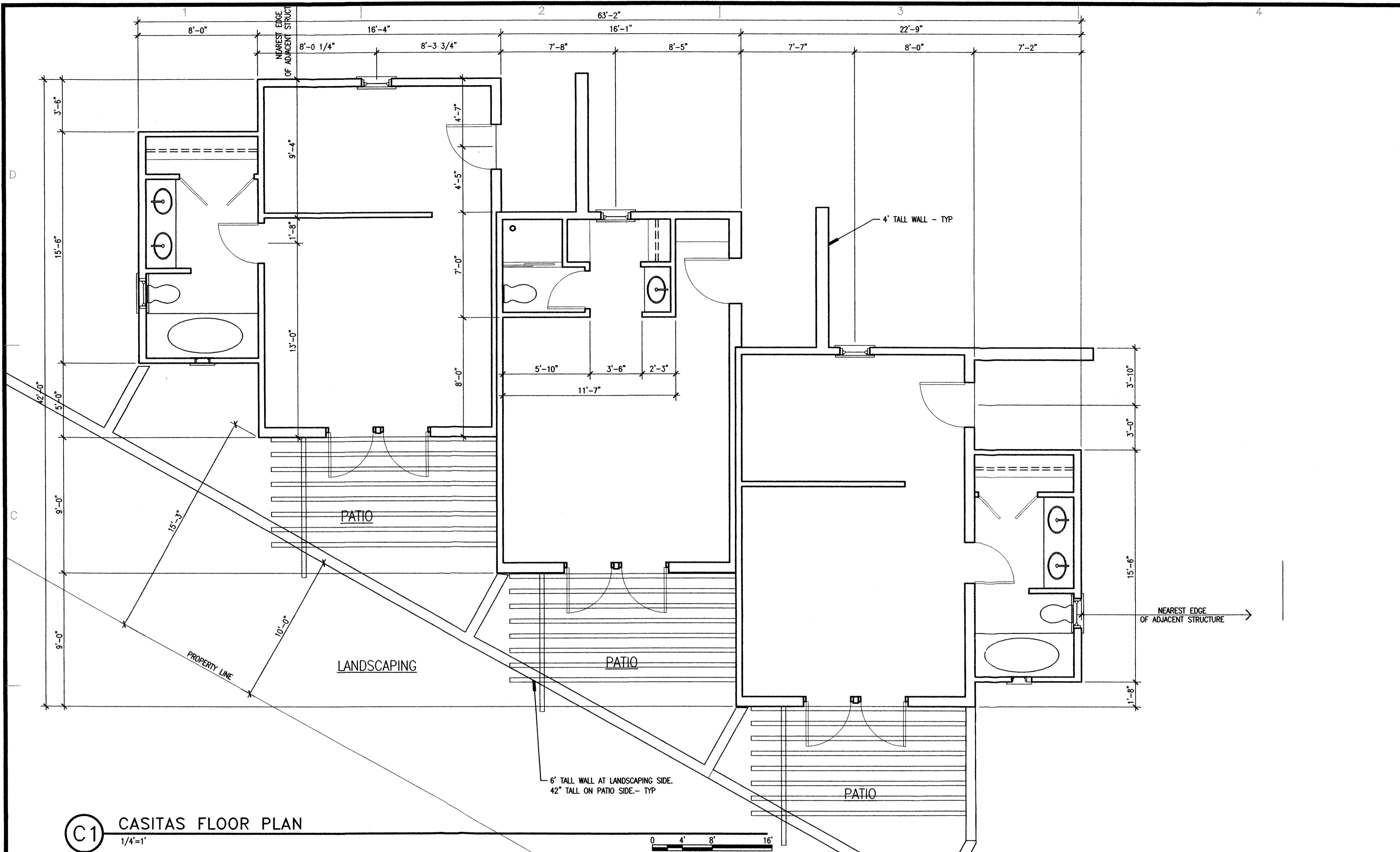
HOTEL PARQ
CENTRAL

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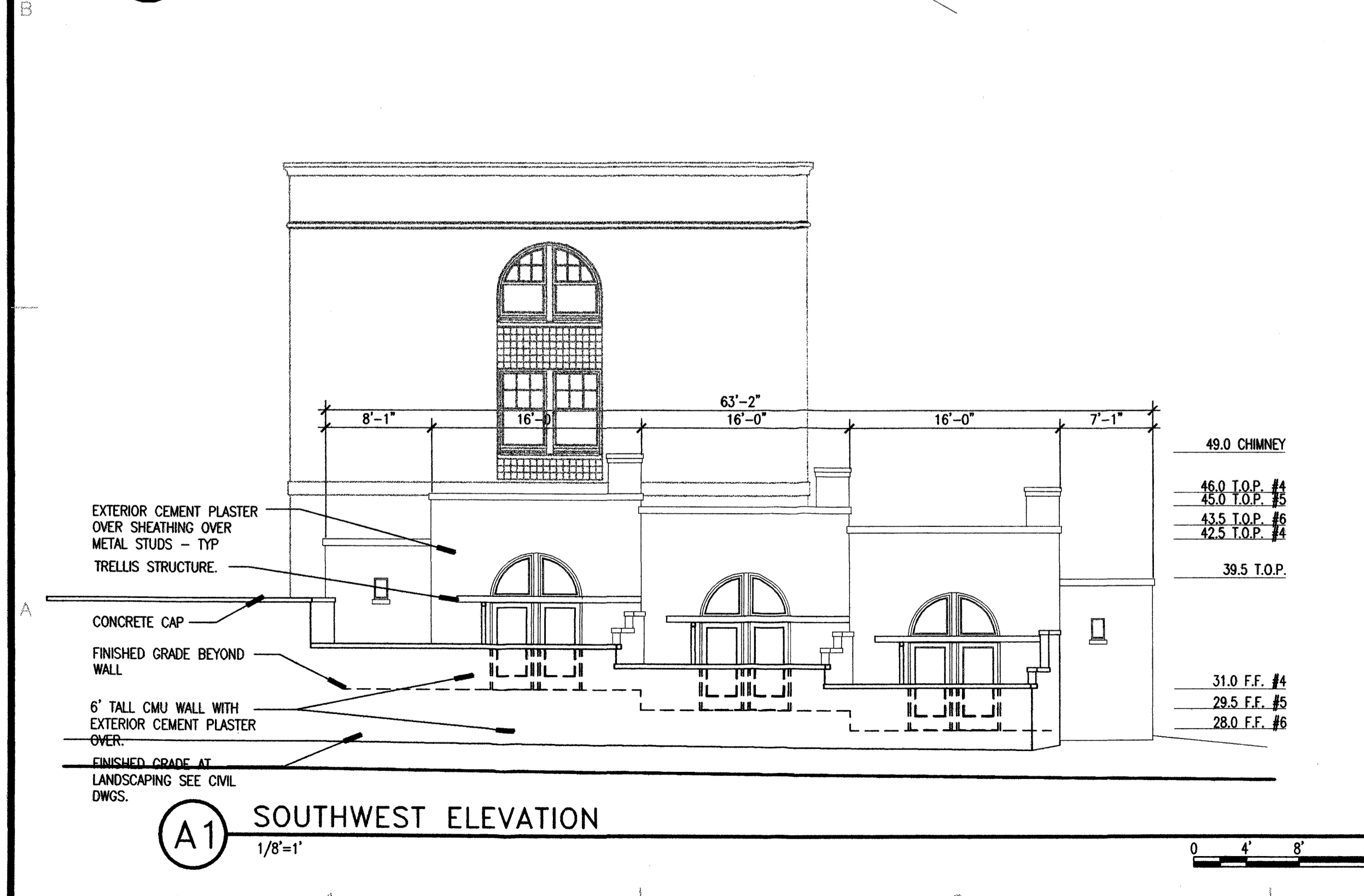
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DT1	07/10/08	DRB MODIFICATIONS
ISSUE:		DRB SET
PROJECT NO:		0710
CAD DWG FILE:		0710 A-204
DRAWN BY:		DSJ
CHECKED BY:		
DATE:		July 14, 2008

SHEET TITLE
ELEVATIONS
BUILDING TWO

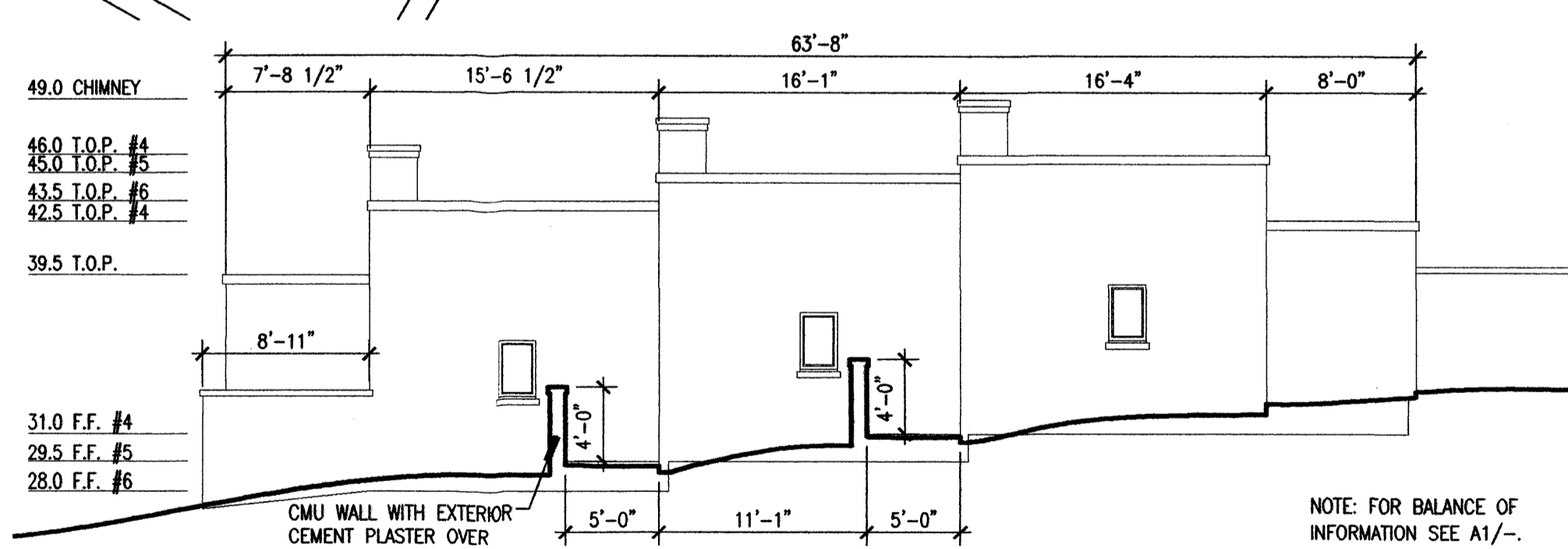
A-204
sheet of sheets



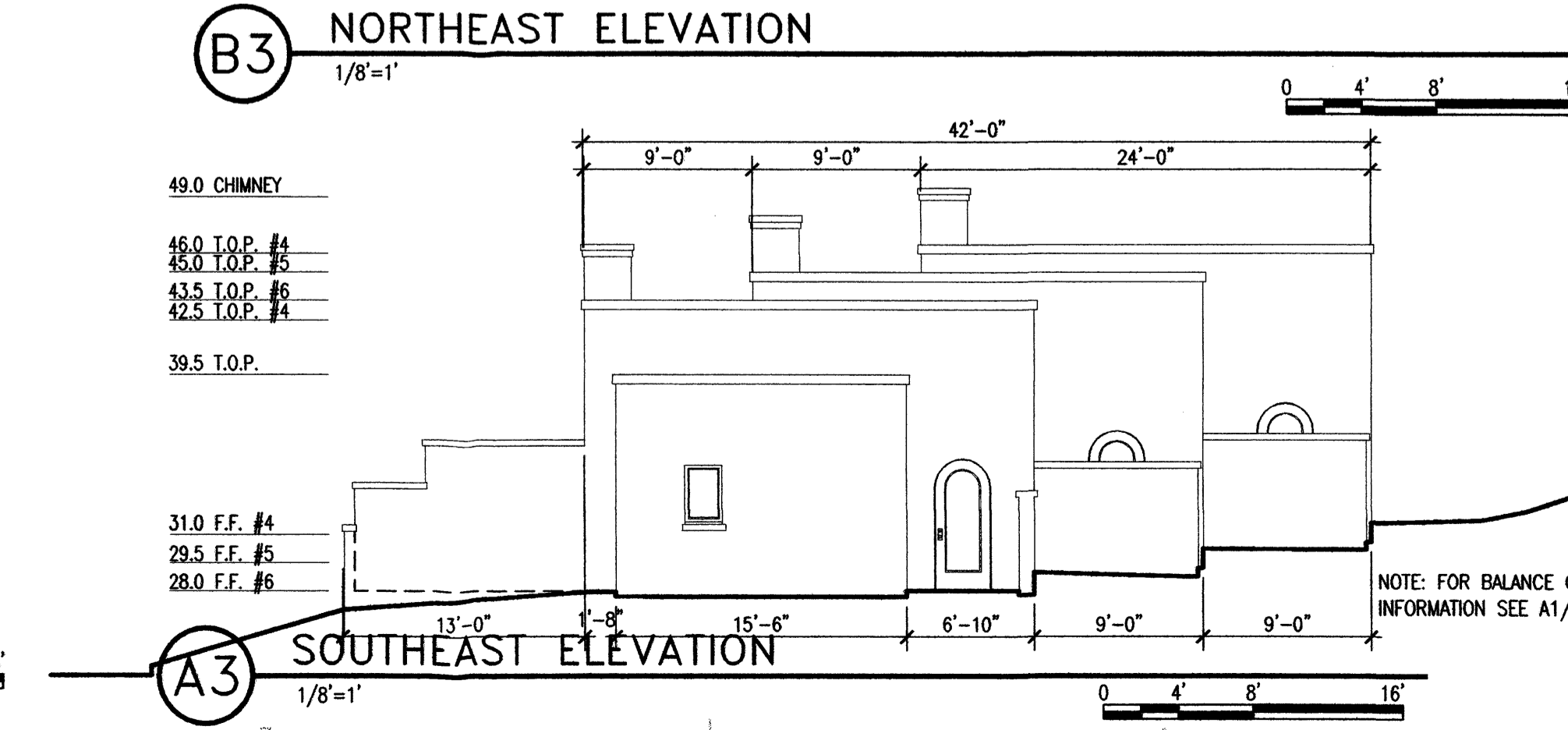
C1 CASITAS FLOOR PLAN
1/4"=1'



A1 SOUTHWEST ELEVATION
1/8"=1'



B3 NORTHEAST ELEVATION
1/8"=1'



A3 SOUTHEAST ELEVATION
1/8"=1'

GENERAL NOTES

- 1) ---
- KEYNOTE**
- 1) PATCH AND REPAIR PARAPET WHERE REQUIRED.
 - 2) PATCH AND REPAIR WALL WHERE WALL WAS REMOVED.
 - 3) PATCH AND REPAIR PRECAST CONCRETE/STONE ORNAMENT.
 - 4) CLEAN AND REPAIR TILE PER SPECIFICATION
 - 5) PROPOSED REBUILT STRUCTURE. SEE PLANS FOR ADDL. INFORMATION.
 - 6) PATCH AND REPAIR EXTERIOR FINISH. FOR NEW UNIFORM FINISH COAT. COLOR: WARM BEIGE.
 - 7) PATCH AND REPAIR PRECAST CONCRETE GUARD RAIL TO MATCH EXISTING.
 - 8) PATCH AND REPAIR CONCRETE STEPS TO MATCH EXISTING.
 - 9) NEW FENCE. SEE SITE PLAN FOR ADDL. INFORMATION.
 - 10) NEW MANSARD TILE ROOF. STYLE AND COLOR TO MATCH EXISTING - SEE ROOF PLAN FOR ADDL. INFORMATION.
 - 11) REBUILT CHIMNEY TO MATCH EXISTING WITH NEW SPARK ARRESTOR. BRICK TYPE AND COLOR TO MATCH EXISTING
 - 12) NEW CERAMIC TILE TO MATCH EXISTING ANTIQUE TILE.
 - 13) RELOCATED ROOF DRAIN LOCATION. SEE PLANS.
 - 14) NEW COPPER DOWNSPOUT, SCUPPER & GUTTER. WHERE OCCURS.
 - 15) PATCH AND REPAIR EXISTING MANSARD TILE ROOF TO MATCH EXISTING.
 - 16) PATCH AND REPAIR EXISTING CHIMNEY. BRICK TYPE AND COLOR TO MATCH EXISTING. SEE ROOF PLAN.
 - 17) NEW 42" TALL GUARD RAIL. SEE ROOF PLAN.
 - 18) NEW 9' TALL PLUMBING VENT STACK. SEE ROOF PLAN
 - 19) NEW STAIR ENCLOSURE. SEE PLANS.
 - 20) EDGE OF STRUCTURE.
 - 21) NEW VENT SCREEN AT EXISTING OPENING. PAINTED TO MATCH EXTERIOR FINISH COLOR: WARM BEIGE.
 - 22) SEE CIVIL DRAWINGS FOR FINISH GRADE AT WALL.
 - 23) LINE INDICATES BEGINING OF LATER ADDITION.
 - 24) NEW PRECAST CONCRETE ORNAMENT TO MATCH EXISTING CAST AND COLOR.
 - 25) NEW WALL AT PATIO. SEE PLANS
 - 26) NEW STAIRS. SEE PLANS.
 - 27) NEW ACCESSIBLE RAMP. SEE PLANS
 - 28) NEW 6' TALL GUARD WALL. SEE ROOF PLAN.
 - 29) NEW EXTERIOR CEMENT PLASTER OVER SHEATHING OVER METAL STUDS WITH UNIFORM FINISH FOR SEAMLESS CONSTRUCTION.
 - 30) TOP OF PARAPET AT ROOF DECK.
 - 31) NEW BUILDING SIGNAGE. 2' TALL INDIVIDUALLY CUT STEEL LETTERS PRIMED AND PAINTED. ATTACH TO EXISTING STRUCTURE. SEE DETAIL E3/AS-103.
 - 32) LOW VOLTAGE LIGHT FIXTURE ATTACHED BEHIND LETTERS FOR BACK LIGHTING EFFECT.
 - 33) NEW ENGAGED PILASTERS AT ENTRY VESTIBULE.

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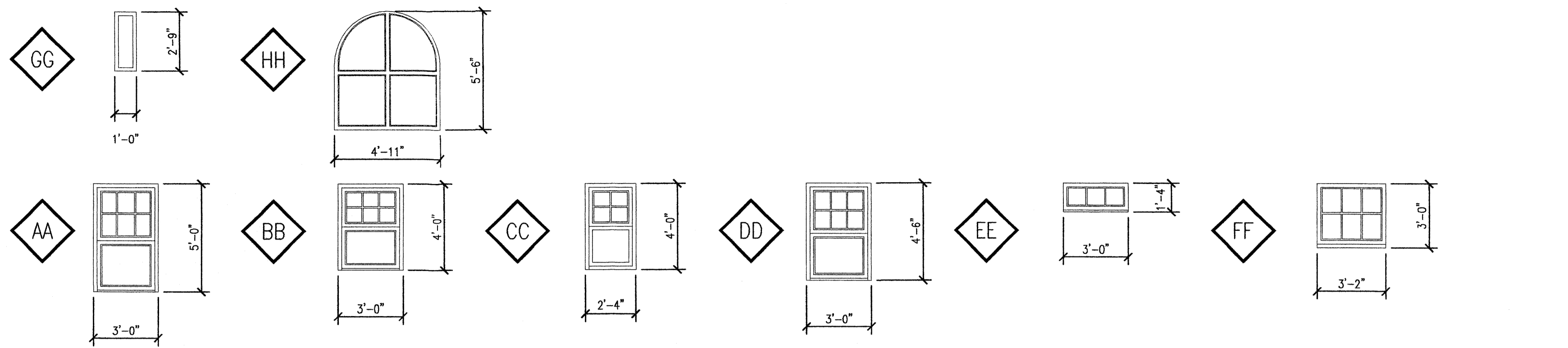
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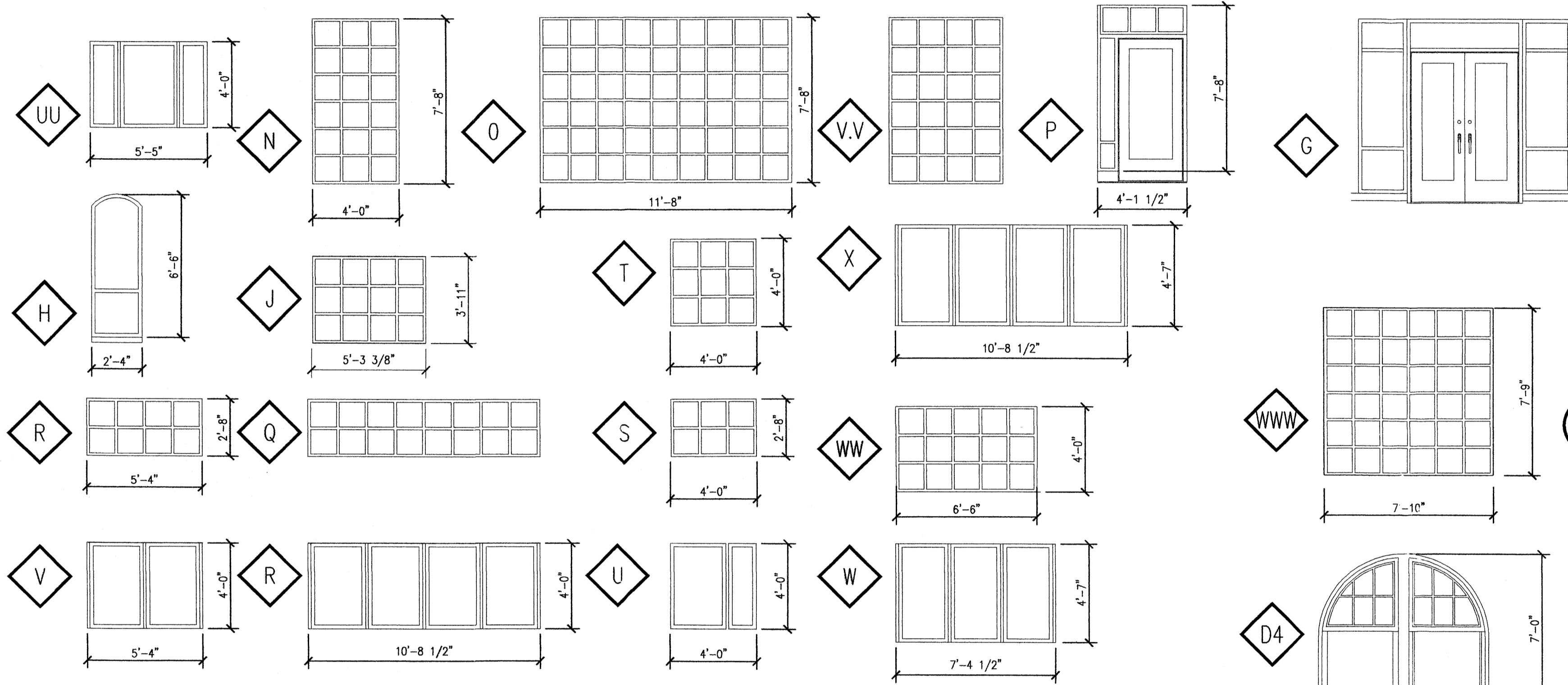
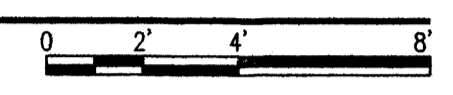
HOTEL PARQ
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ALBUQUERQUE, NM 87102

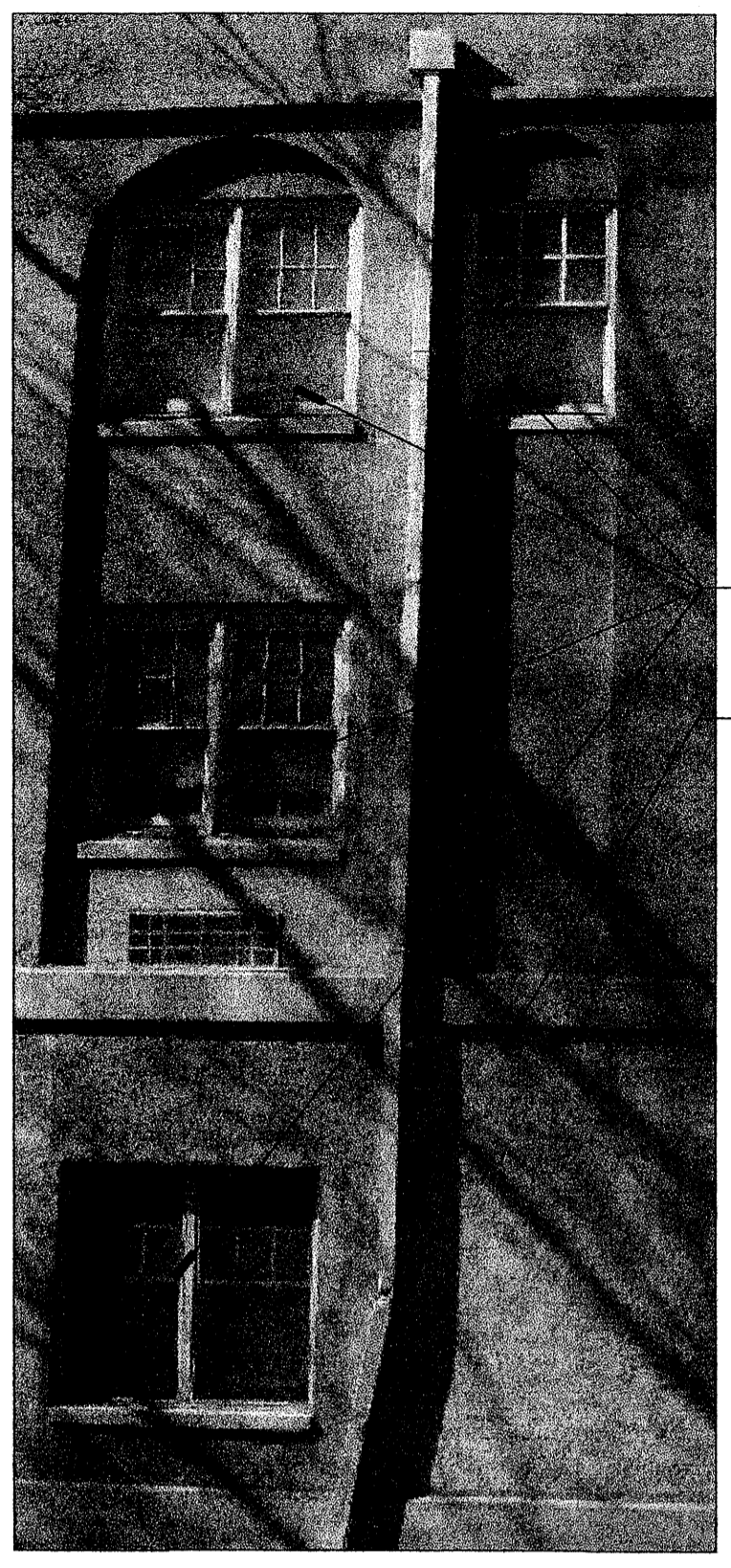
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ISSUE:	DRB SET	
PROJECT NO:	0710	
CAD DWG FILE:		
DRAWN BY:	DSJ	
CHECKED BY:		
DATE:	July 14, 2008	
SHEET TITLE		
ELEVATIONS & PLAN BUILDING THREE THE CASITAS		
A-205		
sheet of sheets		



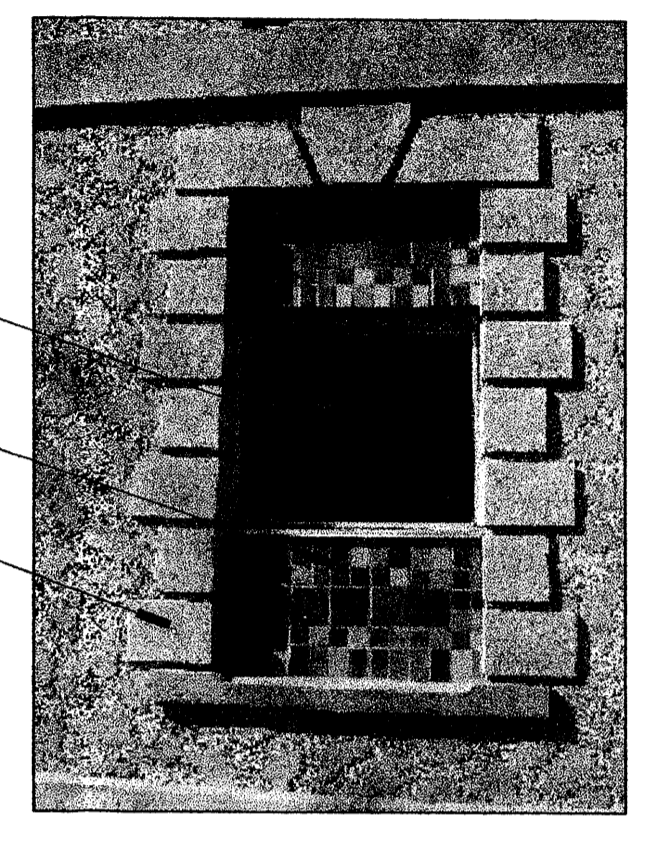
A1 WINDOW TYPES BUILDING TWO
1/4"=1'



A1 WINDOW TYPES BUILDING ONE
1/4"=1'

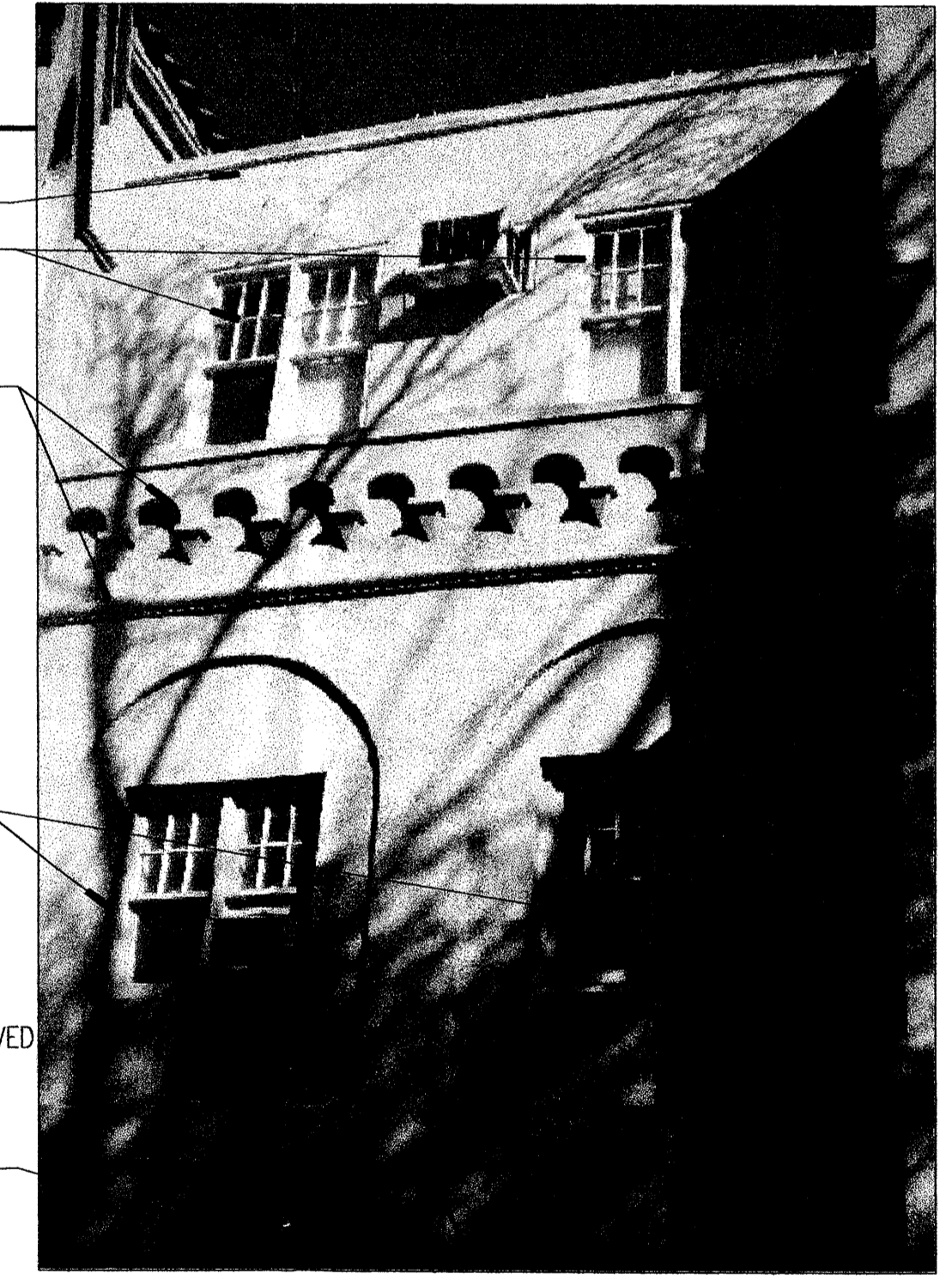


D5 WINDOW TO BE REMOVED
NTS



C5 WINDOW TO BE REMOVED
NTS

C4 WINDOW TO BE REMOVED
NTS



B5 WINDOW TO BE REMOVED
NTS

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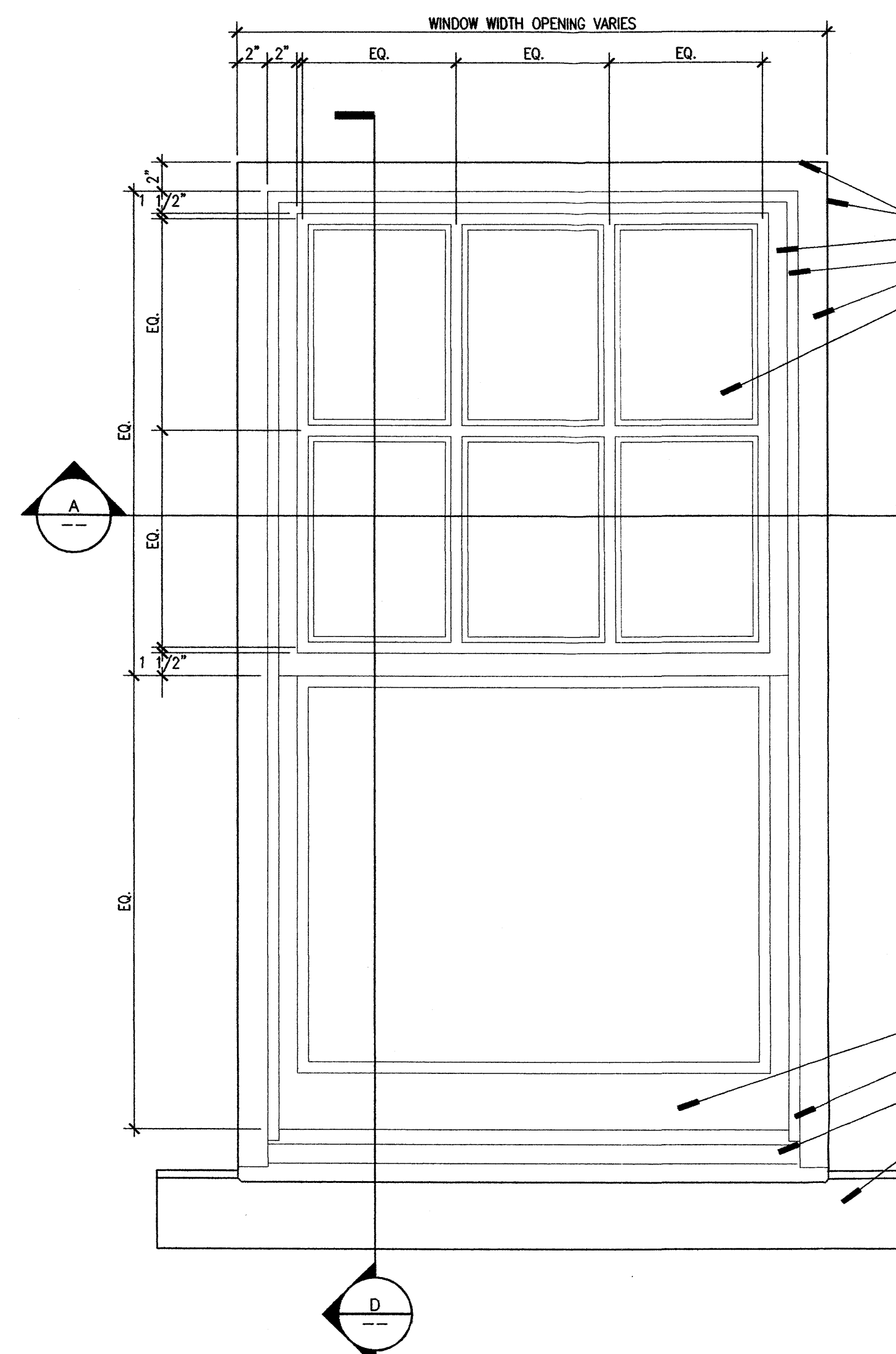
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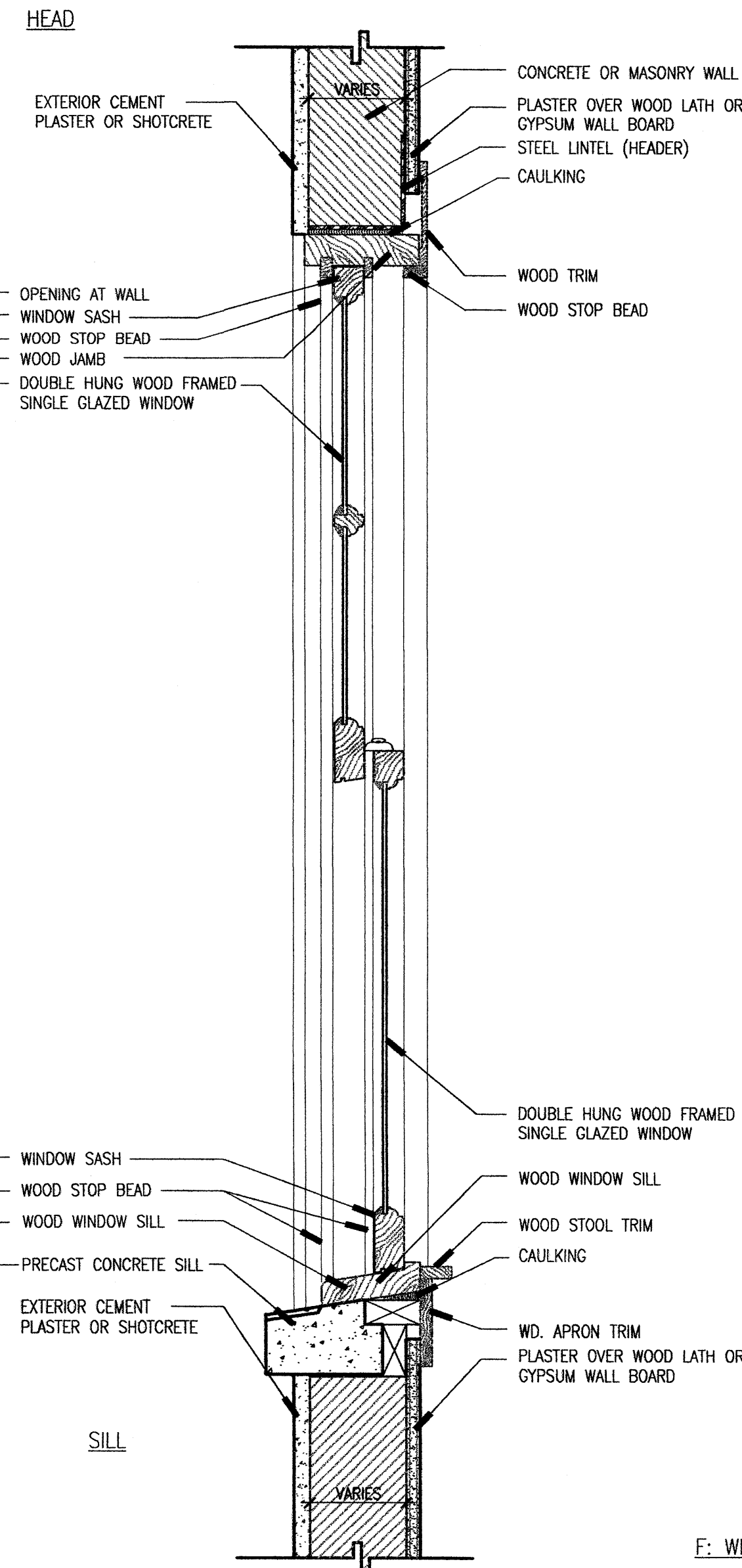
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PROJECT NO:	0710	
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CHECKED BY:		
DATE:	July 14, 2008	

SHEET TITLE
WINDOW TYPES
REMOVAL PHOTOS

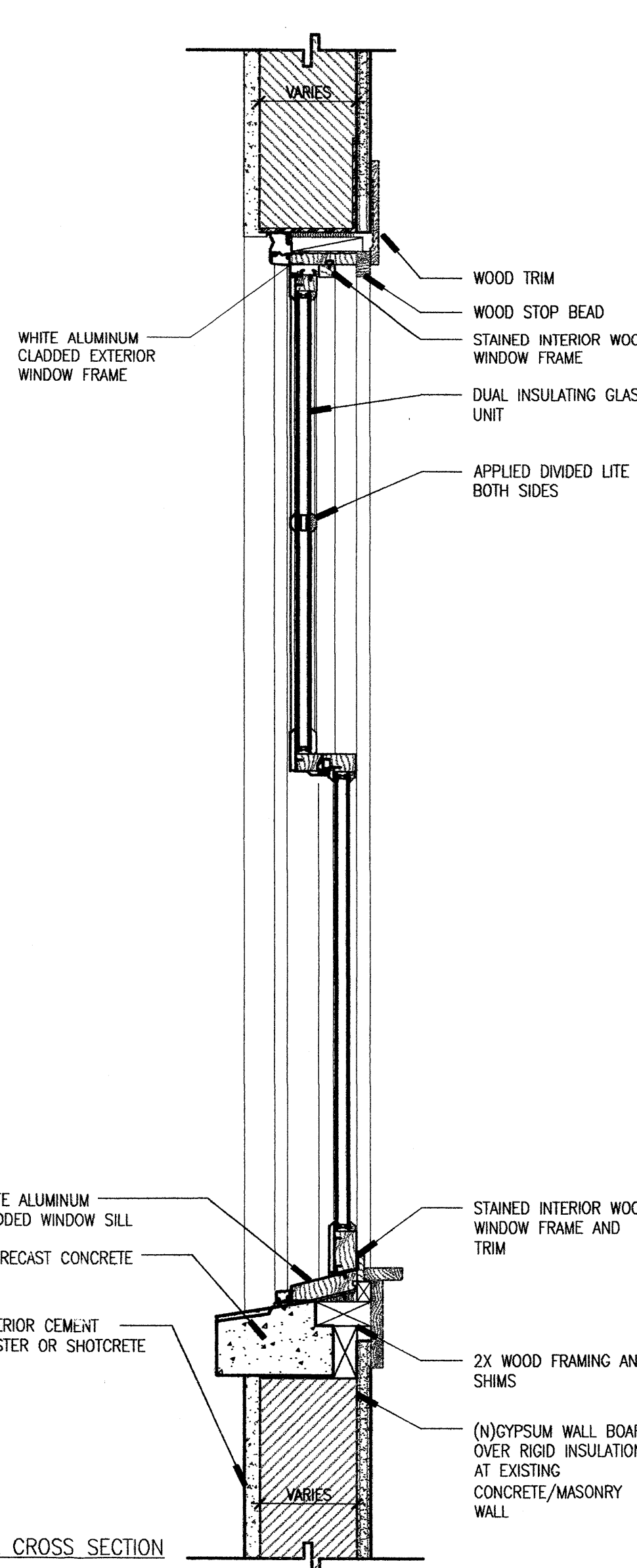
C: WINDOW ELEVATION TYPICAL



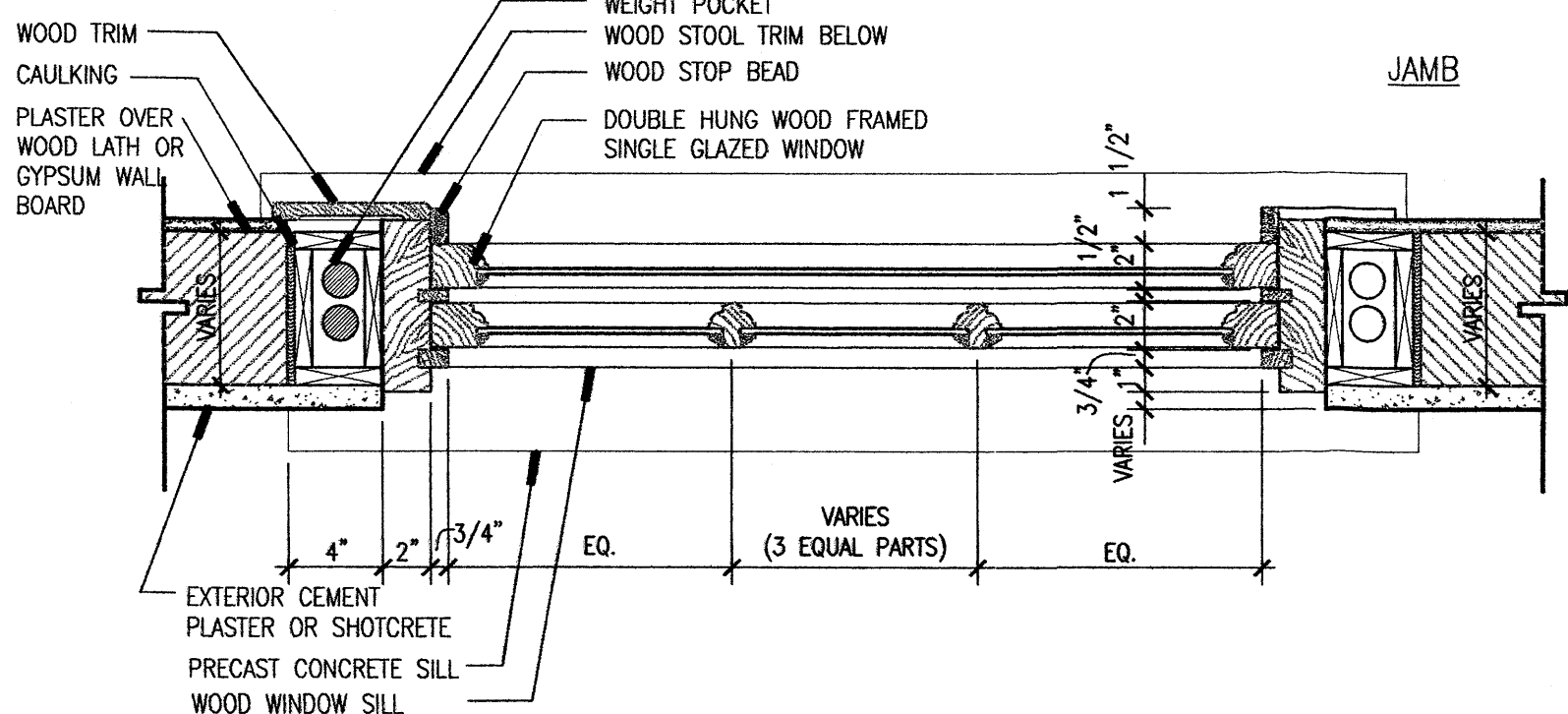
D: WINDOW VERTICAL CROSS SECTION



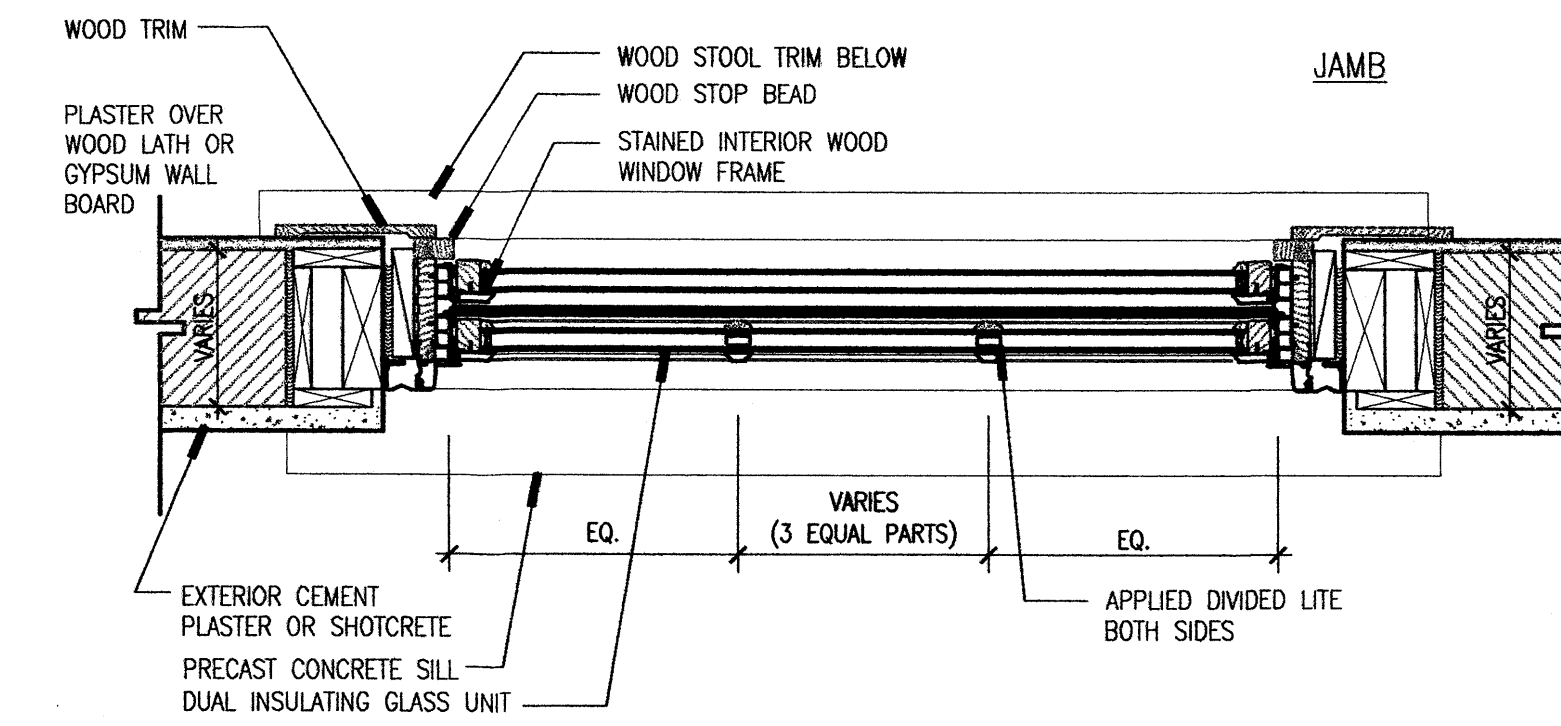
G: VERTICAL WINDOW CROSS SECTION REPLACEMENT TYPE



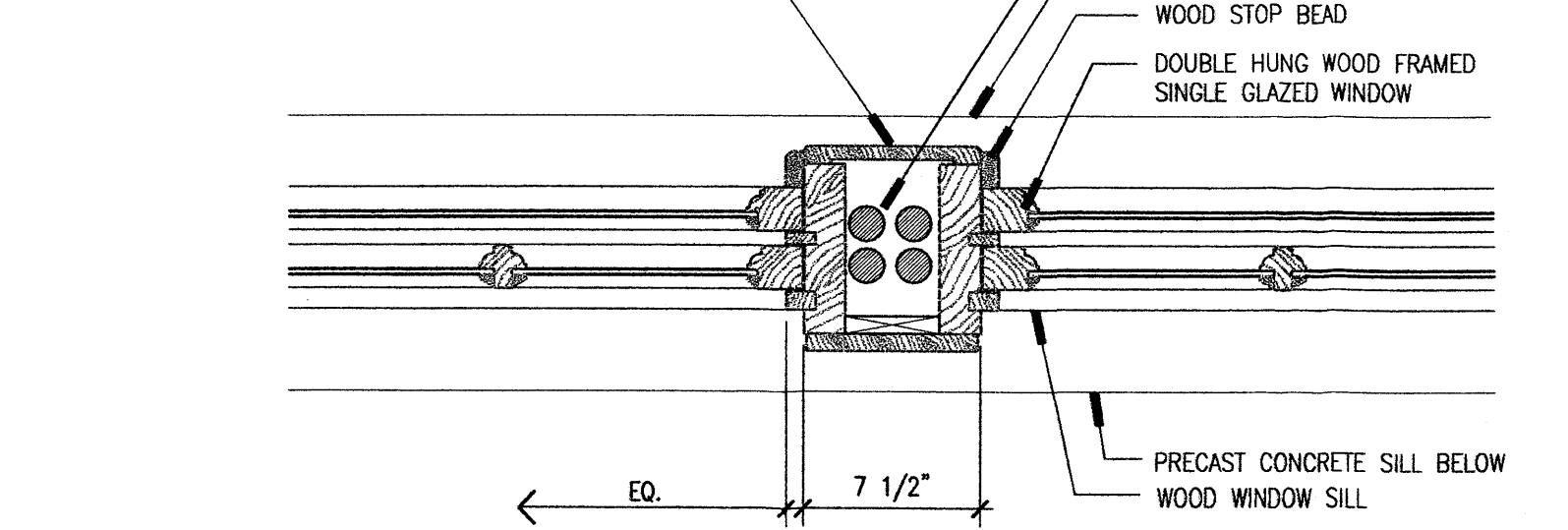
B: WINDOW HORIZONTAL CROSS SECTION



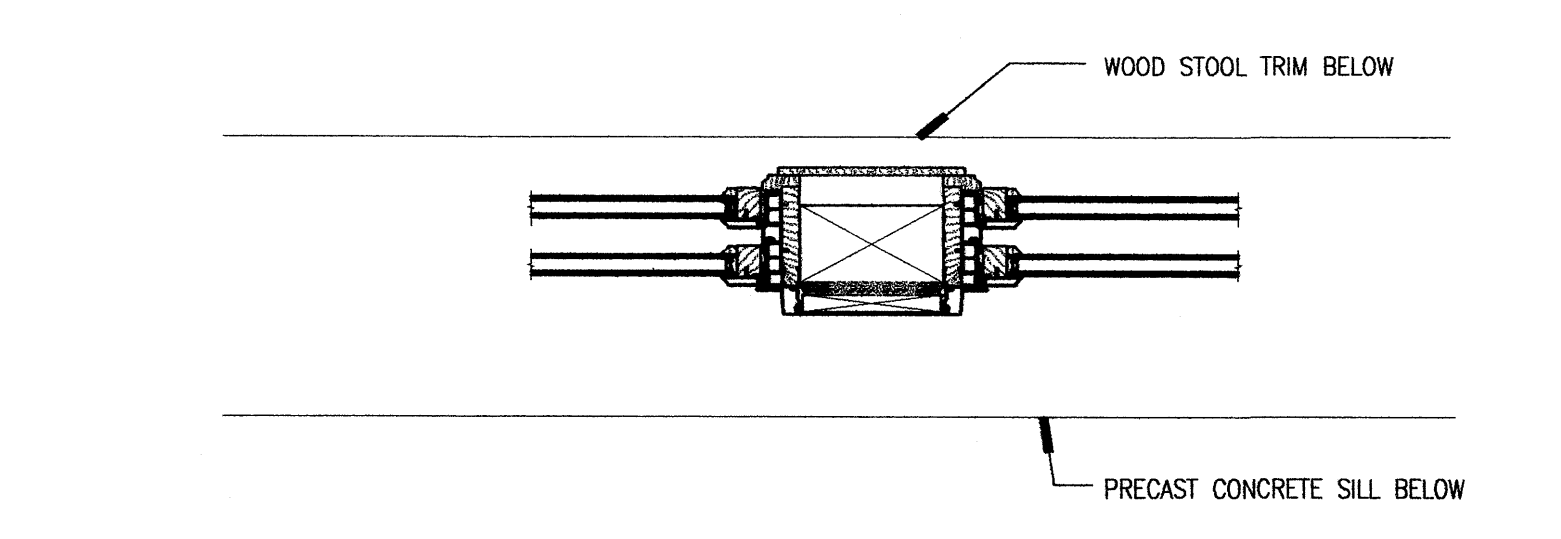
F: WINDOW HORIZONTAL CROSS SECTION



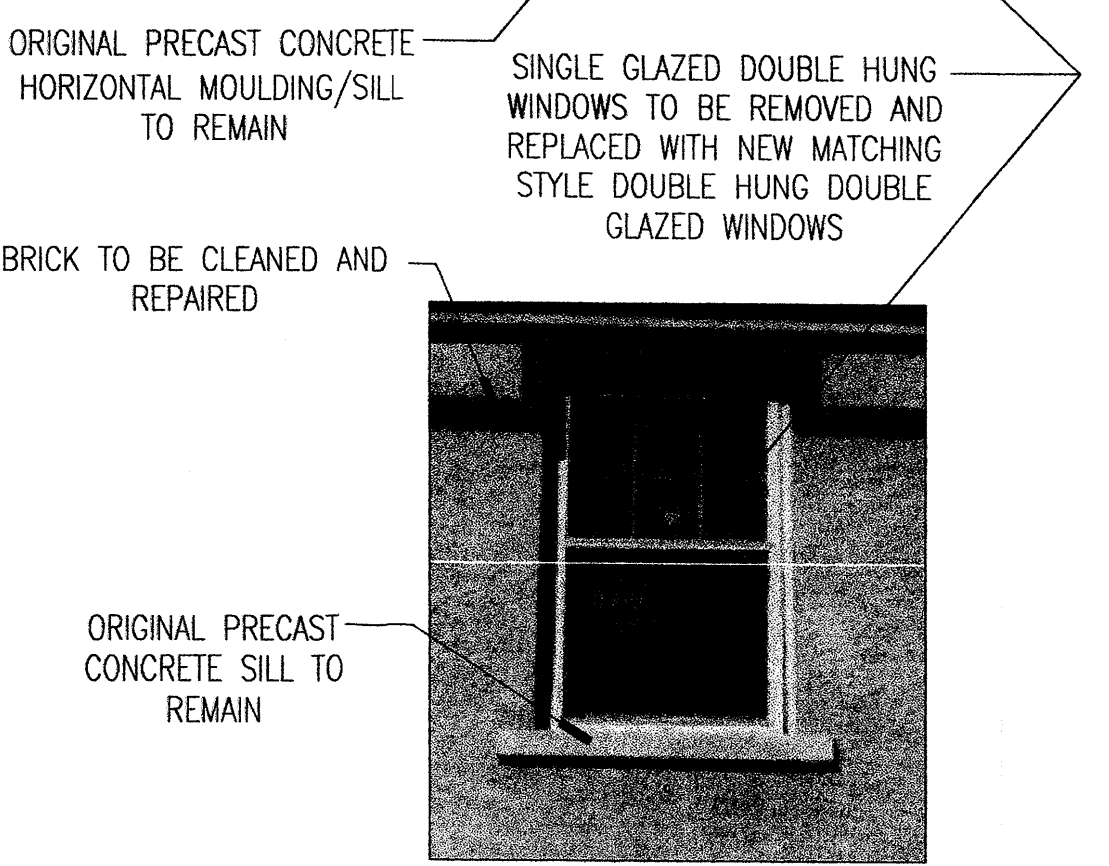
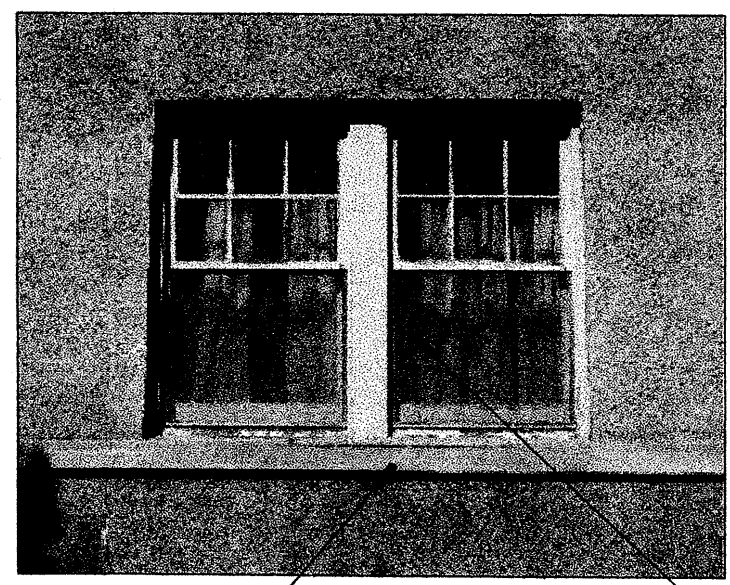
A: MULLION



E: MULLION



C4 WINDOW BAY TO BE RESTORED



B4 TYPICAL WINDOWS TO BE REPLACED

A1 EXISTING WINDOW CONSTRUCTION
1-1/2" = 1'-0"

A3 EXISTING WINDOW CONSTRUCTION
1-1/2" = 1'-0"

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CAD DWG FILE:	0710 A-601	
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SHEET TITLE
TYPICAL WINDOW TYPE
& PHOTOS

sheet **A-602** of sheets

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ISSUE:		DRB SET
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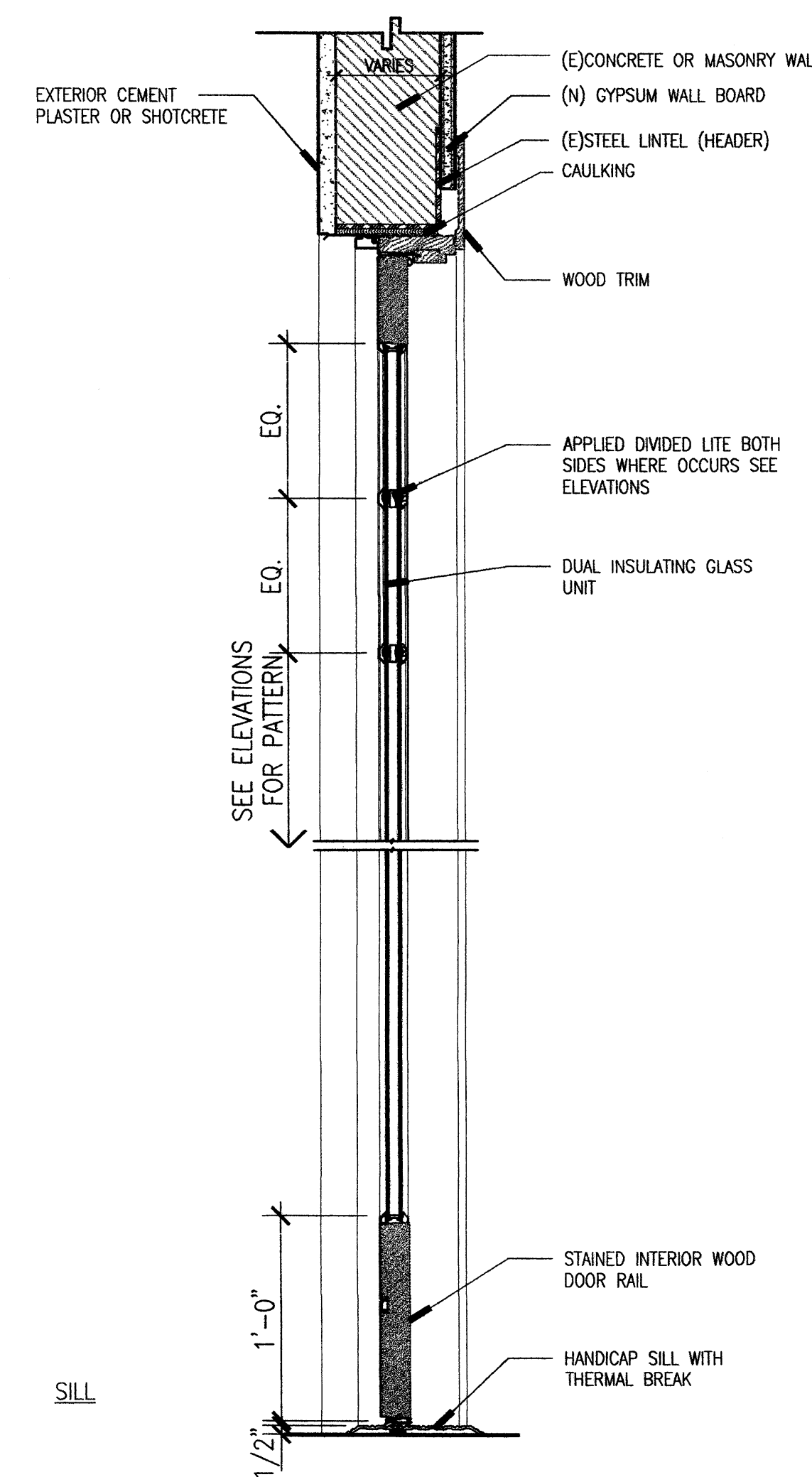
TYPICAL DOOR TYPES
& PHOTOS

A-603

sheet of sheets

D: DOOR VERTICAL CROSS SECTION

HEAD

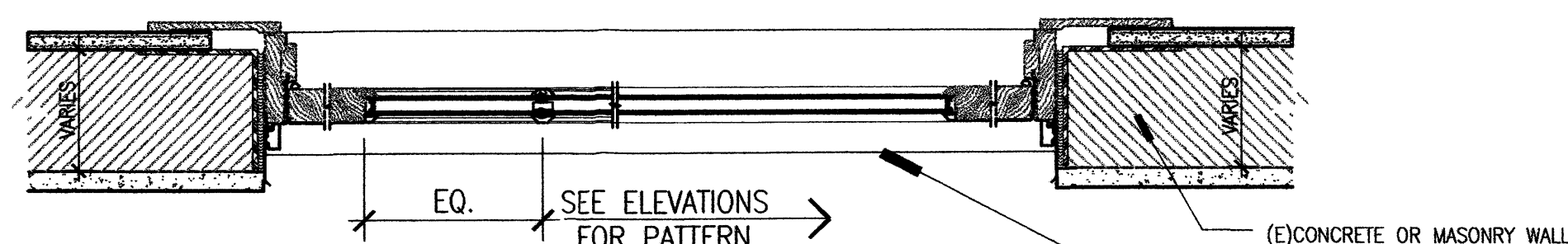


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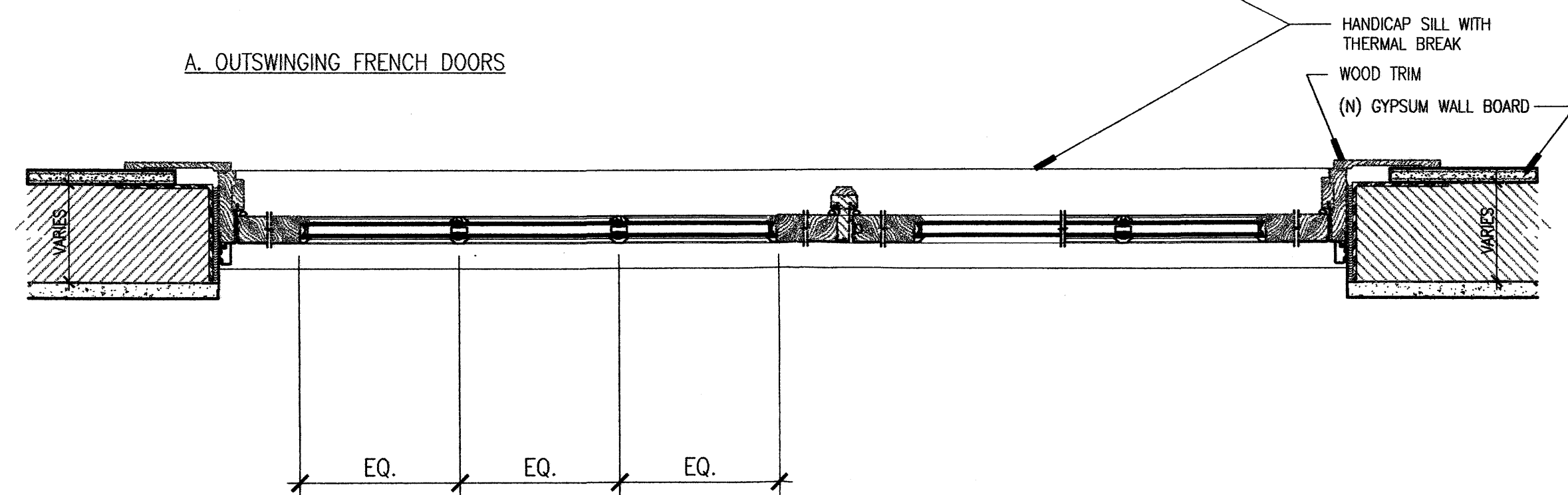
C3 PROPOSED DOOR DETAIL

1-1/2" = 1'-0"

B: TYPICAL REPLACEMENT DOOR



A: OUTSWINGING FRENCH DOORS

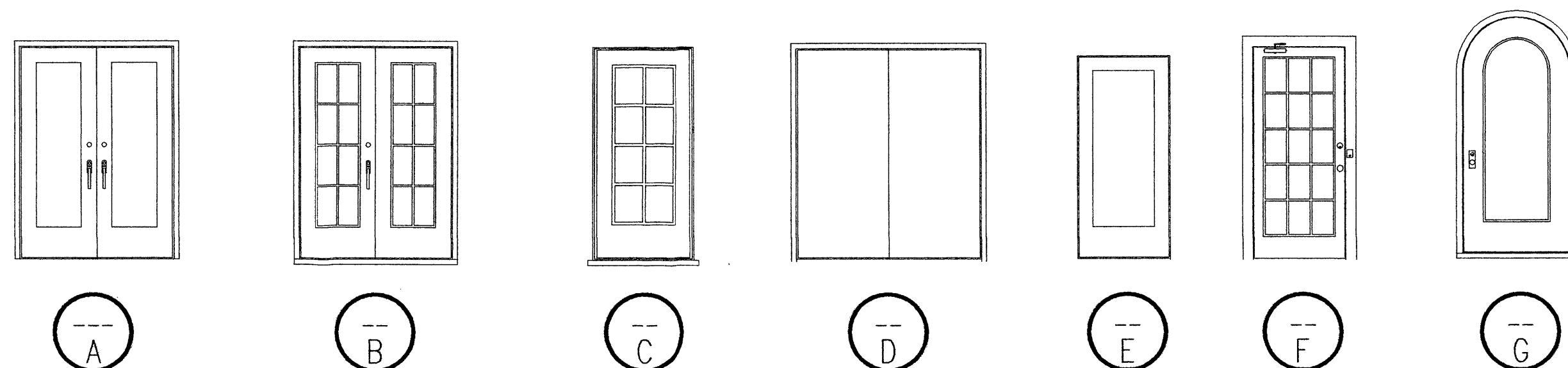


B3 PROPOSED DOOR DETAILS

1-1/2" = 1'-0"

HEADER

F.F.



A1 DOOR TYPES

1/4" = 1'-0"

