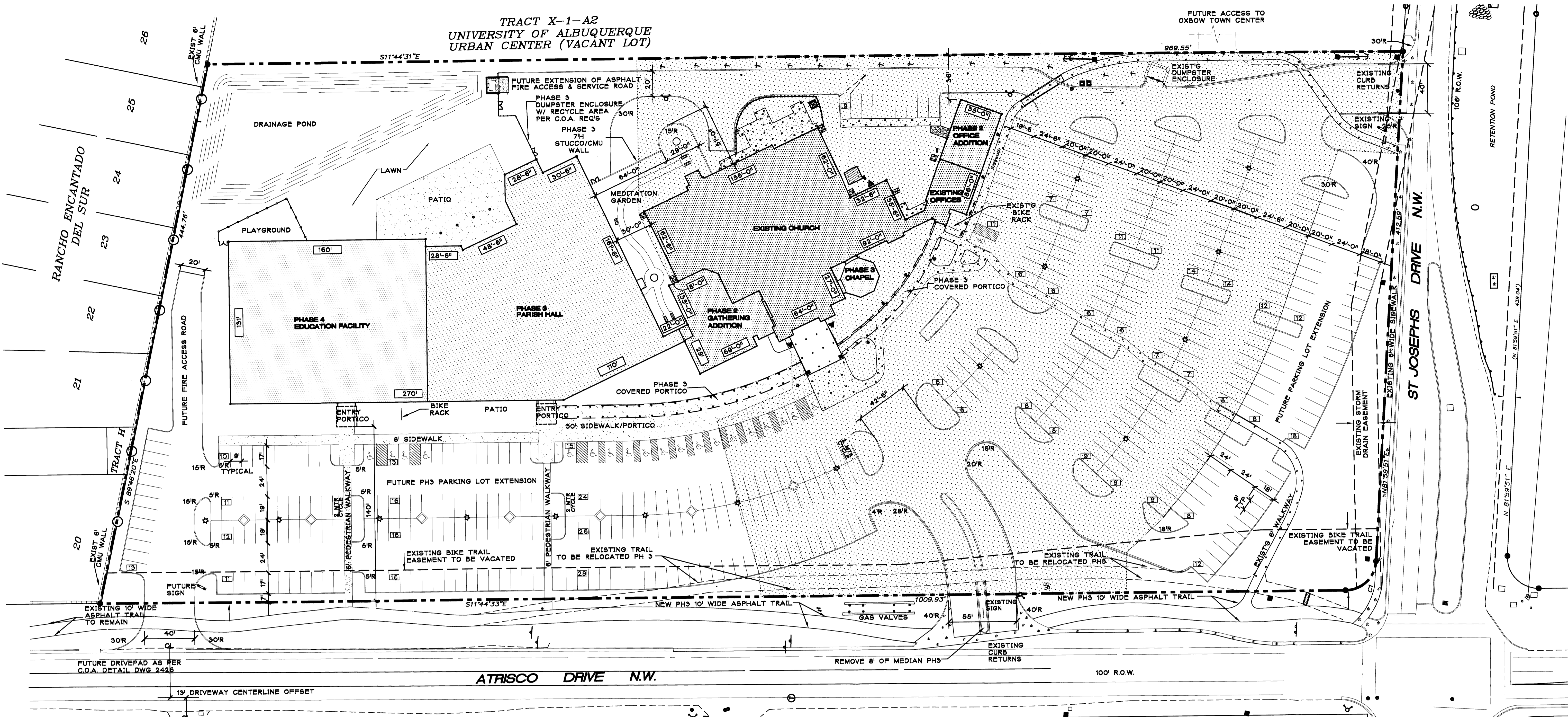


TRACT X-1-A2
UNIVERSITY OF ALBUQUERQUE
URBAN CENTER (VACANT LOT)



SITE PLAN

SCALE: 1" = 40' - 0"

LEGEND

- ⊕ FIRE HYDRANT
- ⊕ POLE LIGHT
- ⊕ 5' X 5' PARKING LOT TREE PLANTER
- ⊕ STREET SIGN
- ⊕ GROUND LIGHT
- ⊕ BENCH
- ⊕ POWER POLE
- ⊕ PARKING COUNT
- ⊕ 270' BUILDING DIMENSION

OFF STREET PARKING

REQUIRED OFF STREET PARKING SPACES:
NOTE: CHURCH OCCUPANCY DETERMINES REQ'D PARKING, ALL RELATED SITE USES ARE ACCESSORY TO CHURCH USE. FULL OCCUPANCY OF RELATED USE FACILITIES DOES NOT OCCUR CONCURRENTLY WITH THE USE OF THE CHURCH.

EXISTING CHURCH ACTUAL SEATS
⊕ 1.30" PEW LENGTH + CHAIRS = 996 SEATS
REQUIRED PARKING SPACES AT 1 SPACE PER 4 SEATS = 249

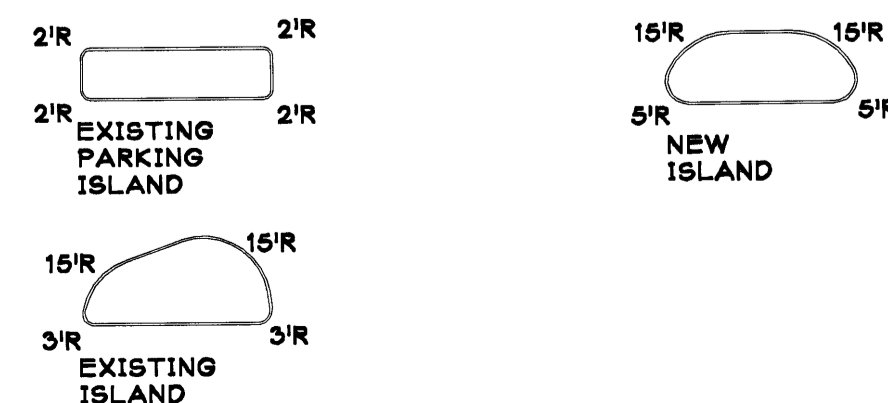
REQUIRED PARKING SPACES = 249
PROVIDED MASTER PLAN PARKING SPACES = 467
REQUIRED DISABLED SPACES = 8
PROVIDED DISABLED SPACES = 20

REQUIRED MOTORCYCLE SPACES = 5
PROVIDED MOTORCYCLE SPACES = 6

REQUIRED BICYCLE SPACES = 12
PROVIDED BICYCLE SPACES = 12

EXISTING DEVELOPED AREA PERMANENT PARKING SPACES = 250
EXISTING TEMPORARY PARKING SPACES = 137

TYPICAL: DRIVE AISLE ISLAND RADII



ZONING DATA

APPLICABLE ZONE CODE DATA - CITY OF ALBUQUERQUE, NM
ZONE ATLAS PAGE: G-11-Z
ZONE CLASSIFICATION: SU-3, CHURCH & RELATED FACILITIES

LOT AREA = 10 AC
TOTAL ESTIMATED MAXIMUM GROSS BUILDING AREA FOR ALL PROPOSED BUILDINGS = APPROXIMATELY 74,558 SQ. FT.
MAXIMUM GROSS BUILDING AREA-TO-LOT RATIO = 17.1% DENSITY

REQUIRED LANDSCAPE AREA = 15% OF NLA
LANDSCAPE AREA PROVIDED = 36% OF NLA ...
SEE LANDSCAPE PLAN FOR COMPLETE ANALYSIS

PROPOSED MINIMUM SETBACKS AT PHASES 2, 3 & 4:
FRONT - 140', REAR - 35', SIDE - 32'

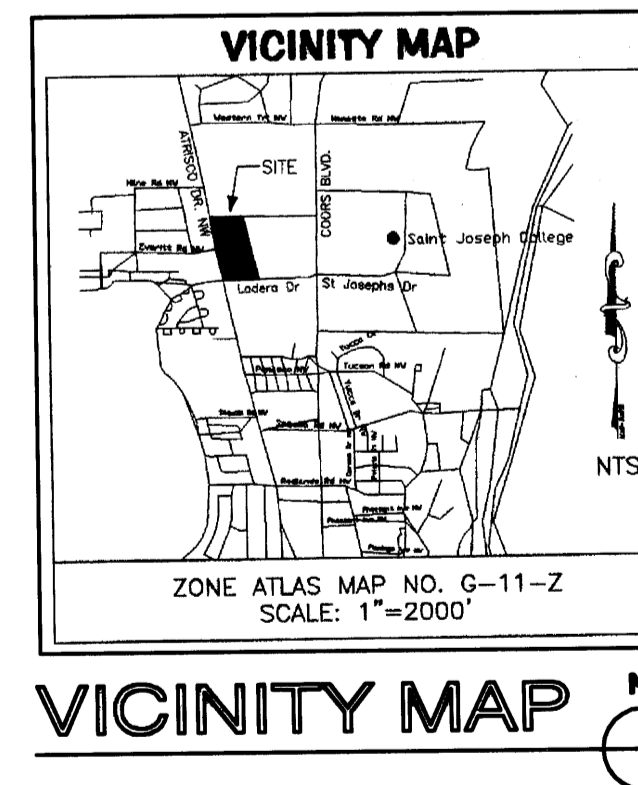
MAXIMUM BUILDING HEIGHT FOR FUTURE PHASES 3 & 4:
SHALL BE NO GREATER THAN 26' AT THE SETBACK LINES, WITH HEIGHTS FALLING WITHIN A 45 DEGREE ANGLE PLANE DRAWN FROM THE HORIZONTAL MEAN GRADE ALONG EACH INTERNAL SITE BOUNDARY & ADJACENT RIGHT OF WAY CENTERLINE.
ZONING CODE EXEMPTS ARCHITECTURAL PROJECTIONS FROM HEIGHT REQUIREMENTS.

LEGAL DESCRIPTION

Legal Description: Tract X-1-A1 of Albuquerque Urban Center, within the Town of Albuquerque Grant, City of Albuquerque, Bernalillo County, New Mexico.

BUILDING DATA

- PHASE 1 - EXISTING CHURCH & OFFICES**
EXISTING AREA = 20,570 SF
- PHASE 2 - MEETING ROOMS, OFFICE EXTENSION & STORAGE AREAS**
OFFICE AREA = 1,773 SF
MEETING AREA = 4,042 S.F.
PHASE 2 TOTAL = 5,815 S.F.
- PHASE 3a - PARISH HALL AND KITCHEN**
BUILDING AREA = 26,570 SF
- PHASE 3b - ADORATION CHAPEL**
BUILDING AREA = 744 SF
- PHASE 4 - EDUCATION FACILITY**
BUILDING AREA = 20,859 SF
- PHASE 3&4 TOTAL = 48,173 S.F.
- TOTAL ESTIMATED GROSS BUILDING AREA = 74,558 SF



VICINITY MAP

PROJECT NO.	
APPLICATION NO.	
IS AN APPROVED INFRASTRUCTURE LIST REQUIRED? (YES [] NO. IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT OF WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.	
DRB SITE DEVELOPMENT PLAN APPROVAL:	
TRAFFIC ENGINEERING TRANSPORTATION DIVISION	DATE:
WATER UTILITY DEPARTMENT	DATE:
PARKS & RECREATION DEPARTMENT	DATE:
CITY ENGINEER	DATE:
ENVIRONMENTAL HEALTH (CONDITIONAL) DATE:	
SOLID WASTE MANAGEMENT	DATE:
DRB CHAIRPERSON, PLANNING DEPT.	DATE:

**CHURCH OF ST. JOSEPH
on the RIO GRANDE**

5901 ST. JOSEPH'S DRIVE NW
ALBUQUERQUE, NM 87120

DORMAN and BREEN
LAURENCE BREEN A.I.A.
RICHARD DORMAN F.A.I.A.
ALBUQUERQUE, NM 805-289-6940

SHEET TITLE:
AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

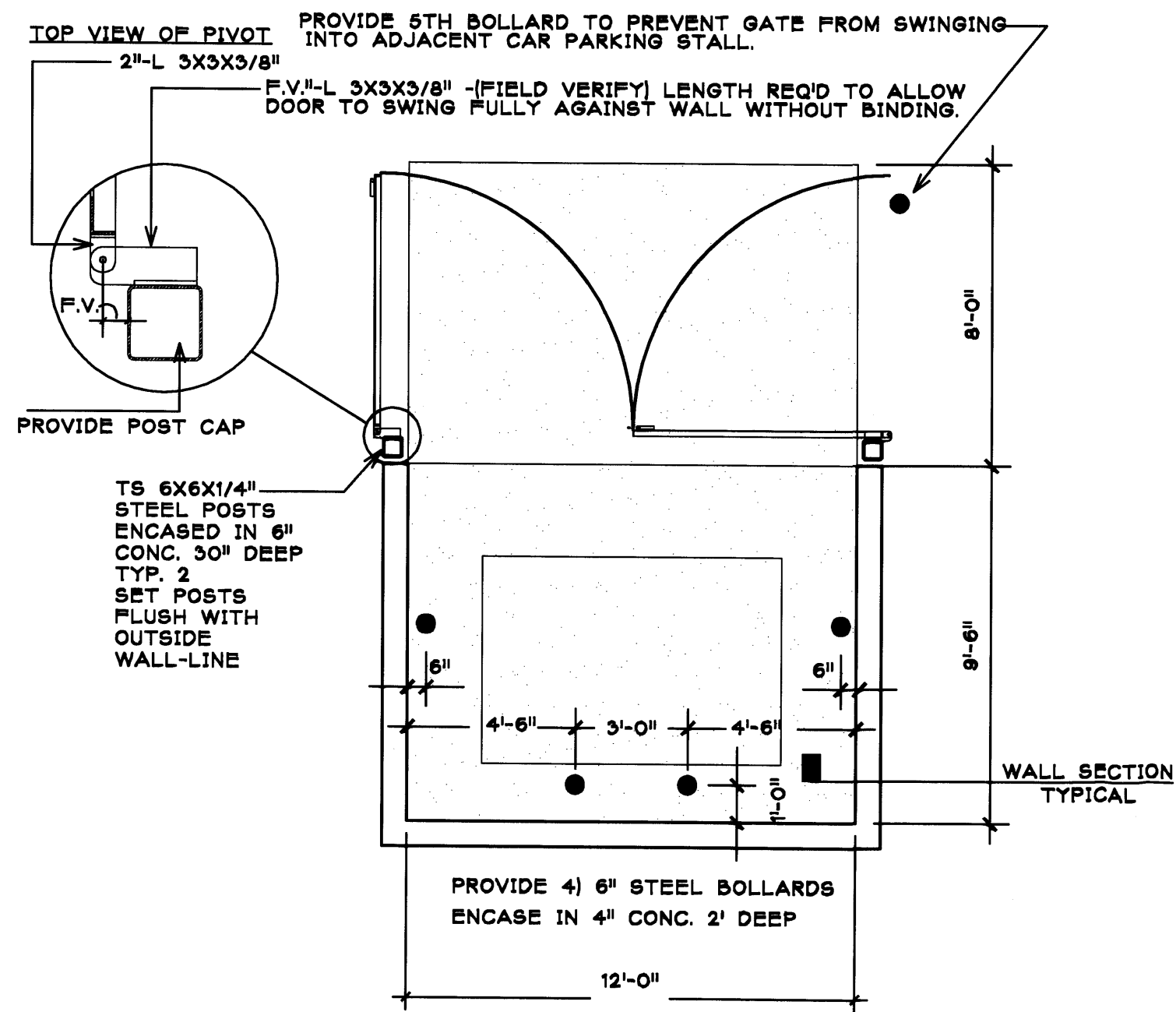
JOB NUMBER:
0745

DATE:
6/16/08

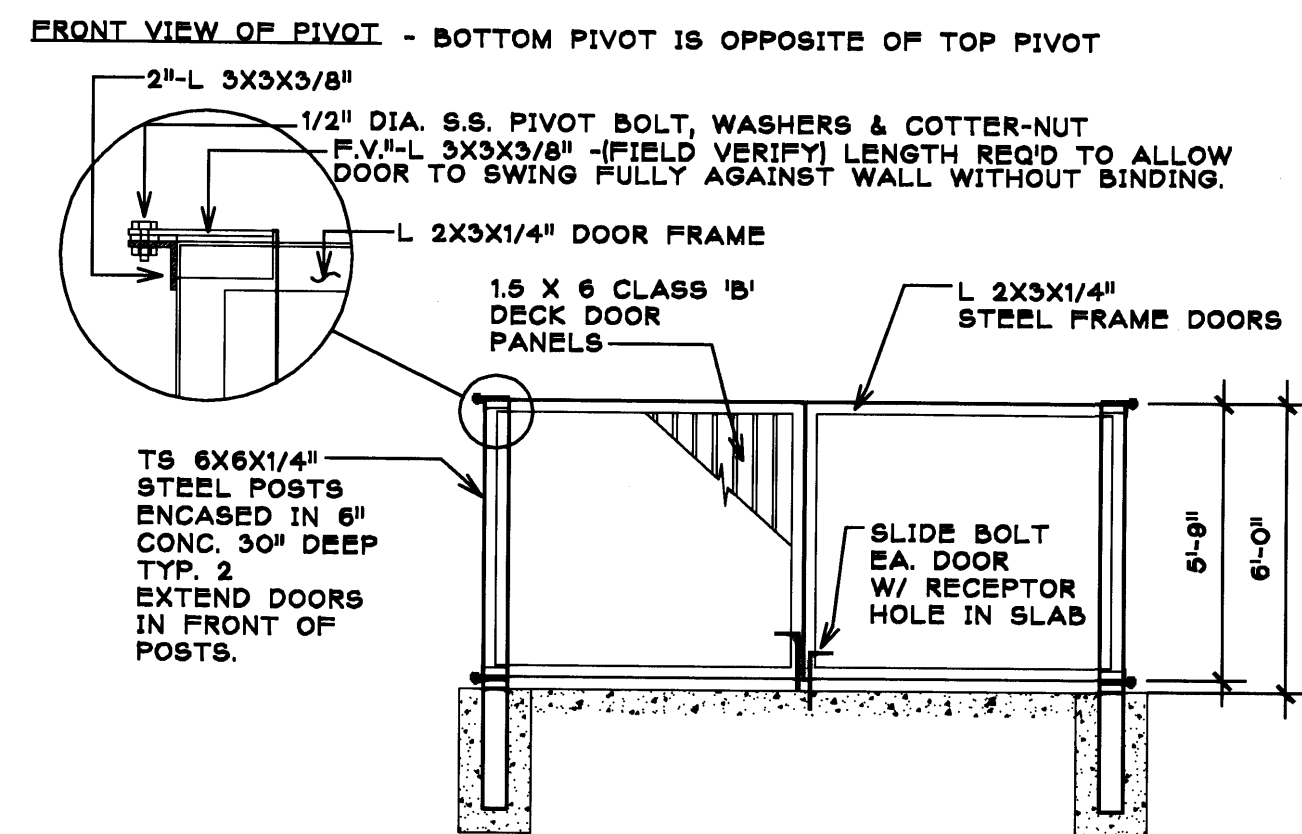
REVISIONS: DATE:

SHEET:
C-1.0

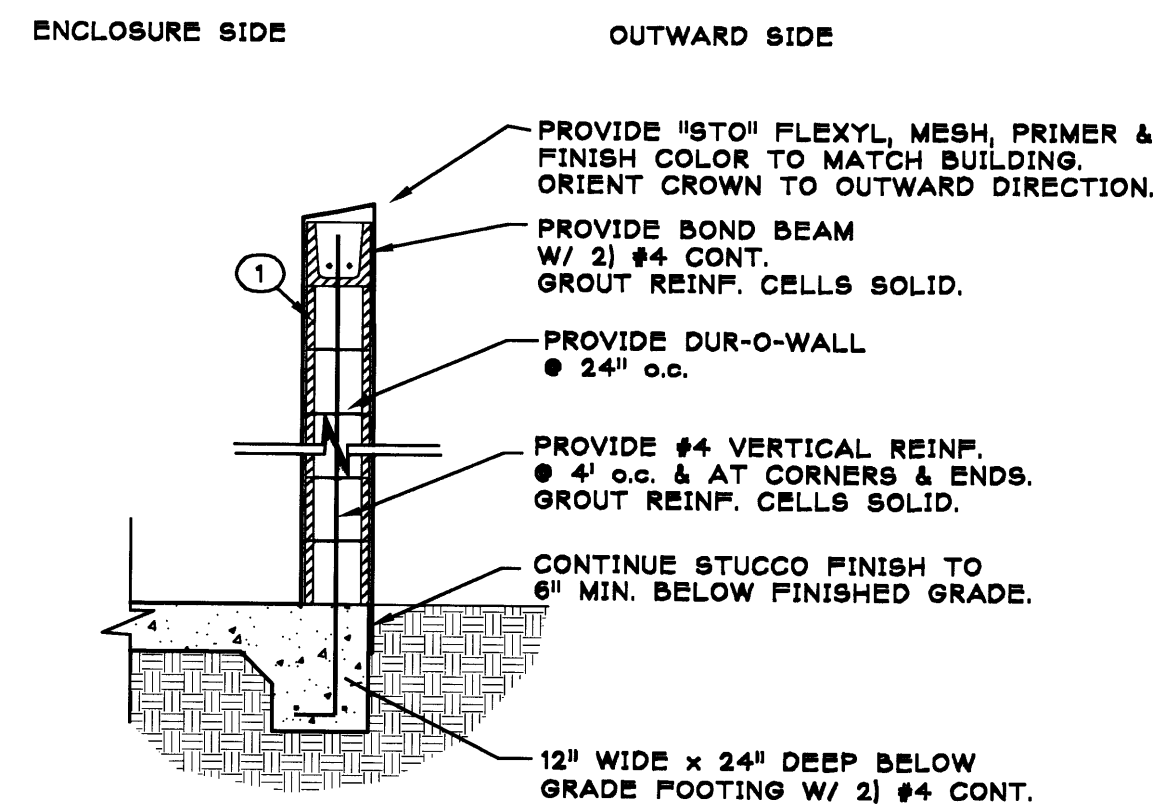
CONCRETE SLAB IN ENCLOSURE: 6" THK. 4,000 PSI, 3/4" AGG. W/ 6X6-10/10 WWM. SLOPE TO DRAIN @ 1/8" PER FT. MIN.
 CONCRETE APRON SLAB: 6" THK. 12' x 8'. 4,000 PSI, 3/4" AGG. W/ 6X6-10/10 WWM. SLOPE TO DRAIN @ 1/8" PER FT. MIN.
 CMU WALL: SEE DETAIL 1/C1.2



TYPICAL PLAN
 SCALE 1/4"=1'-0"



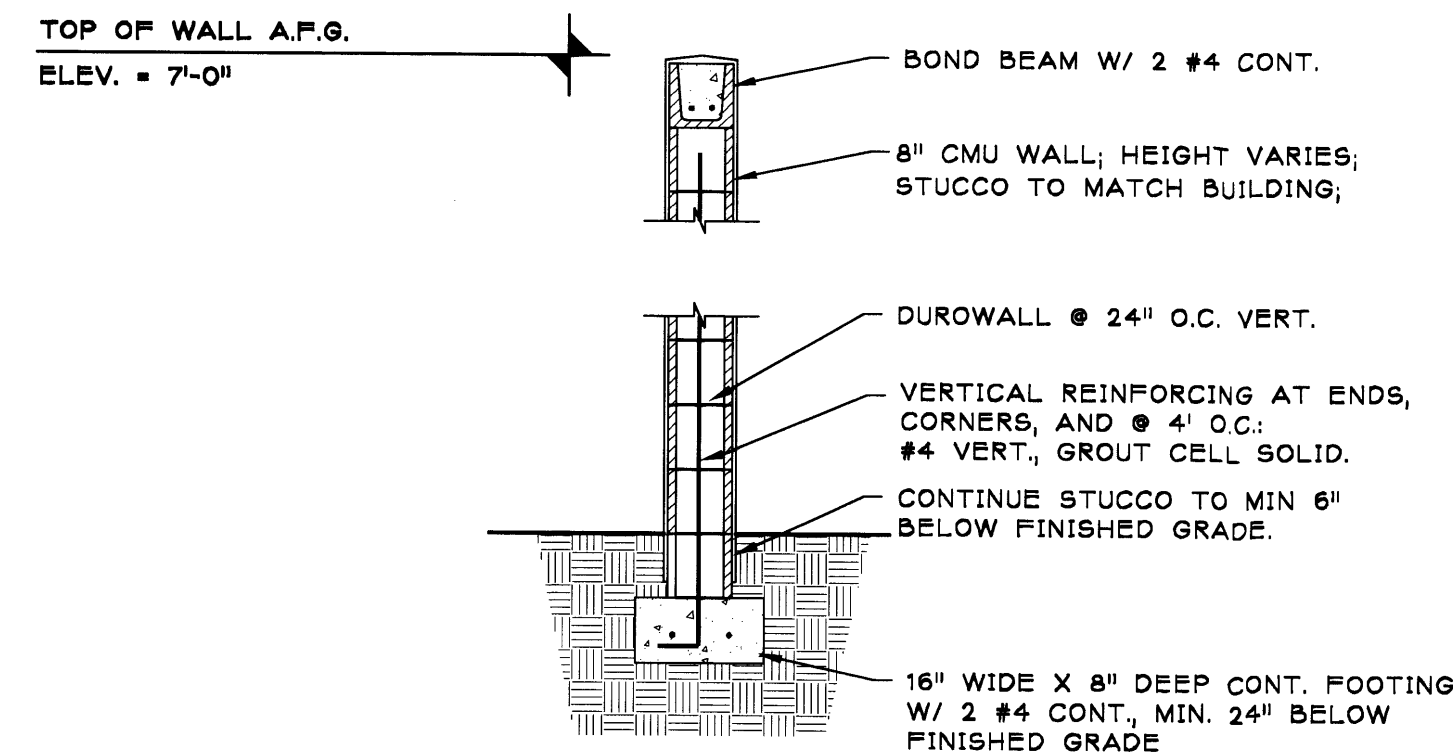
FRONT VIEW OF GATES
 SCALE 1/4"=1'-0"



(1) PROVIDE 8" CMU WALL 6" HIGH @ DUMPSTER & AS NOTED OTHERWISE IN PLAN. FINISH W/ STUCCO SYSTEM TO MATCH BUILDING COLOR.

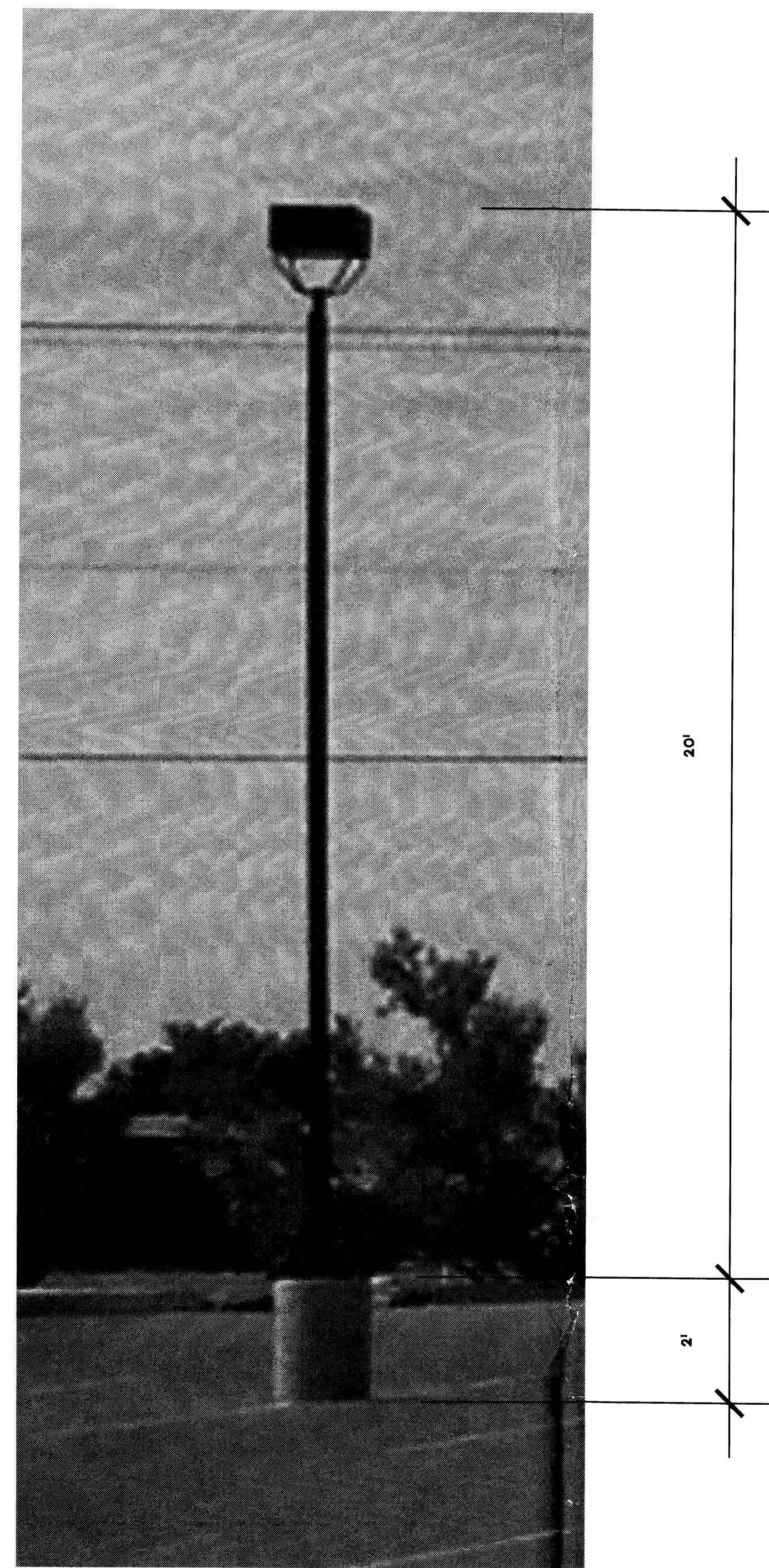
WALL SECTION
 SCALE 1/2"=1'-0"

TRASH DUMPSTER ENCLOSURE
 SCALE: 1/4" = 1' - 0"



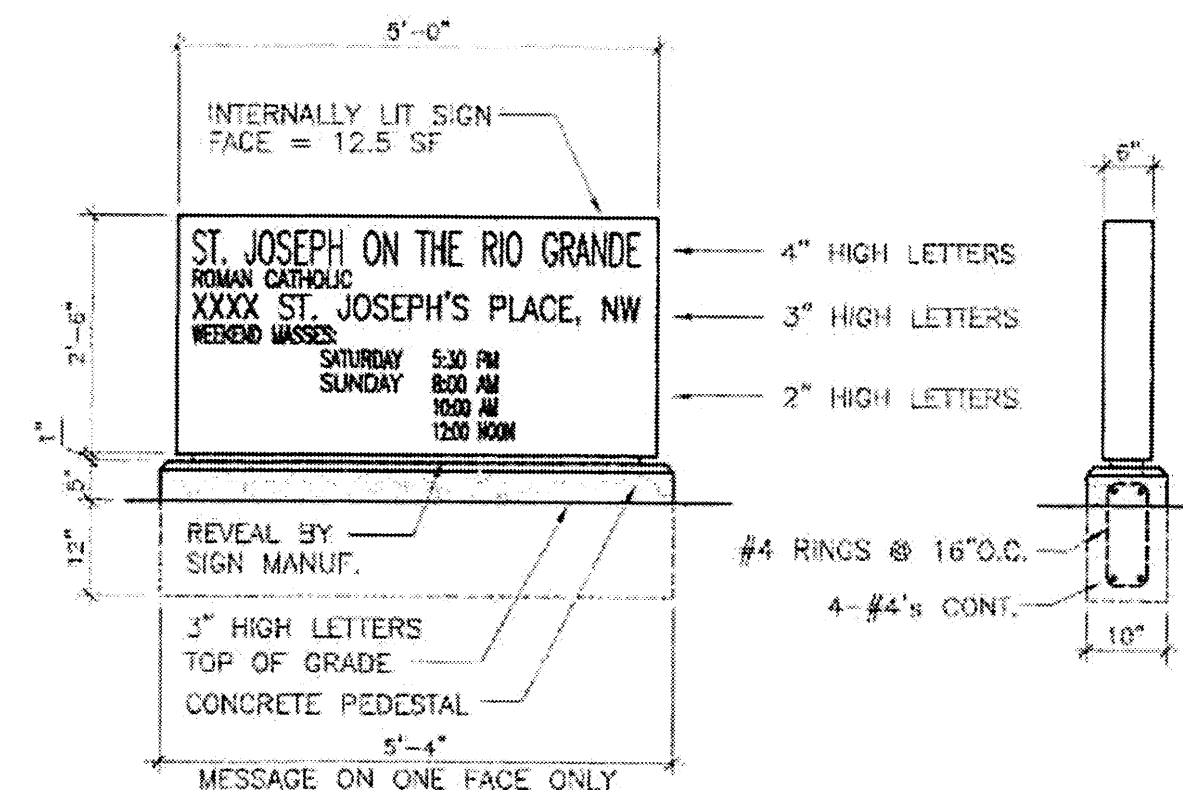
NEW EXTERIOR WALL (TYPICAL)
 SCALE: 1/2" = 1' - 0"

BIKE RACK (TYPICAL)
 SCALE: 1/2" = 1' - 0"

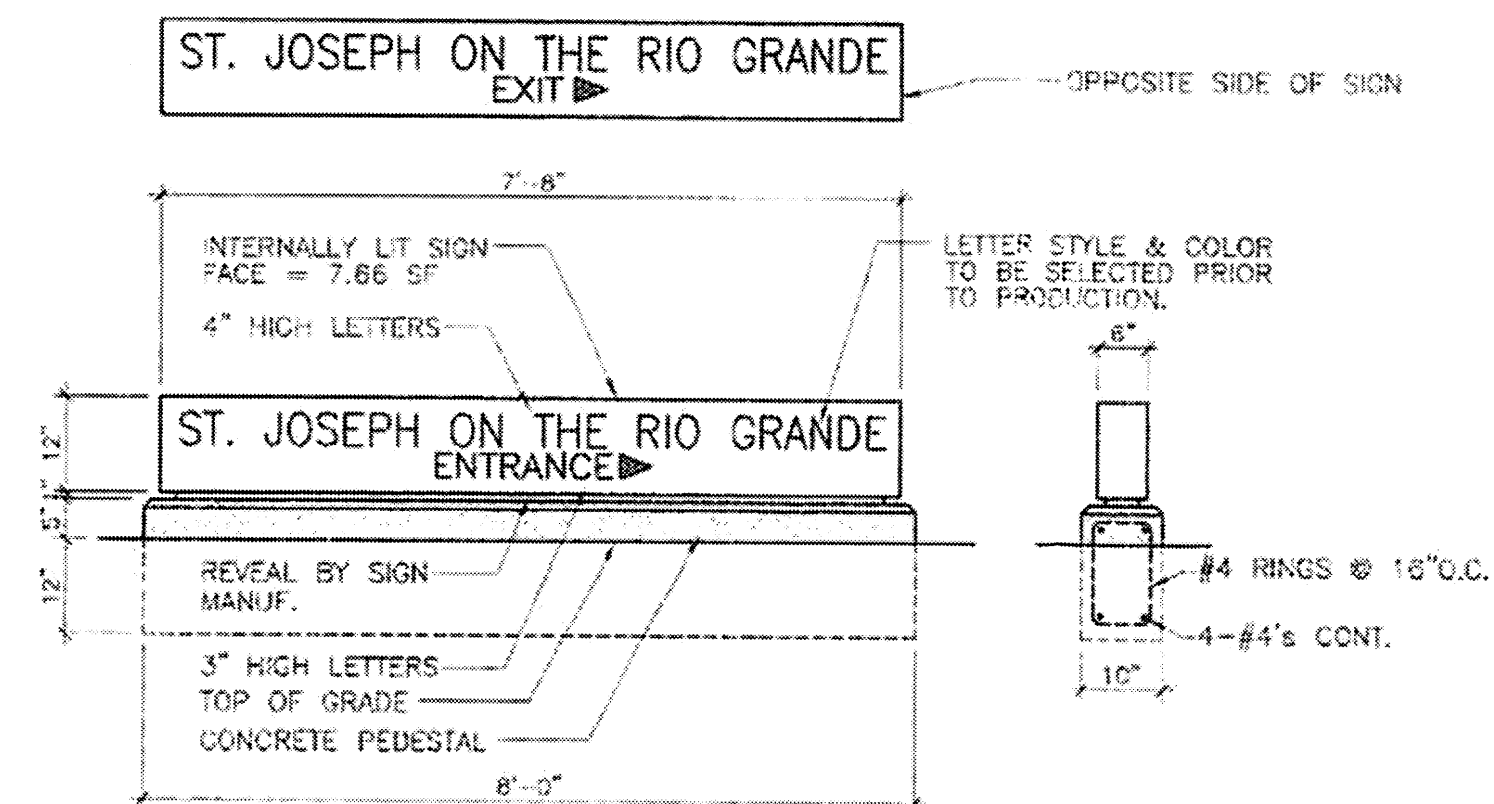


EXISTING EXTERIOR LIGHTING: ALL NEW POLE LIGHTS TO MATCH EXISTING MCGRAW-EDISON SHIELDED FIXTURE 250 WATT (HPS) LIGHT MODEL# GMA-252-21-FTF
 ALL LIGHTING SHALL COMPLY WITH SECTION 14-16-3-9 OF THE C.O.A. ZONING CODE & WITH ALL SITE LIGHTING REQUIREMENTS IN THE COORS CORRIDOR PLAN/POLICY 8: SITE LIGHTING & ENACTMENT NO. 163-1989).

LIGHT DETAIL TYPICAL
 SCALE: 1/2" = 1' - 0"



INTERNALLY LIT SIGN
 SCALE: 1/2" = 1' - 0"



INTERNALLY LIT SIGN
 SCALE: 1/2" = 1' - 0"

CHURCH OF ST. JOSEPH
 on the RIO GRANDE
 5901 ST. JOSEPH'S DRIVE NW
 ALBUQUERQUE, NM 87120

DORMAN and BREEN
 LAURENCE BREEN A.I.A.
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 ALBUQUERQUE, NM 505-298-6940

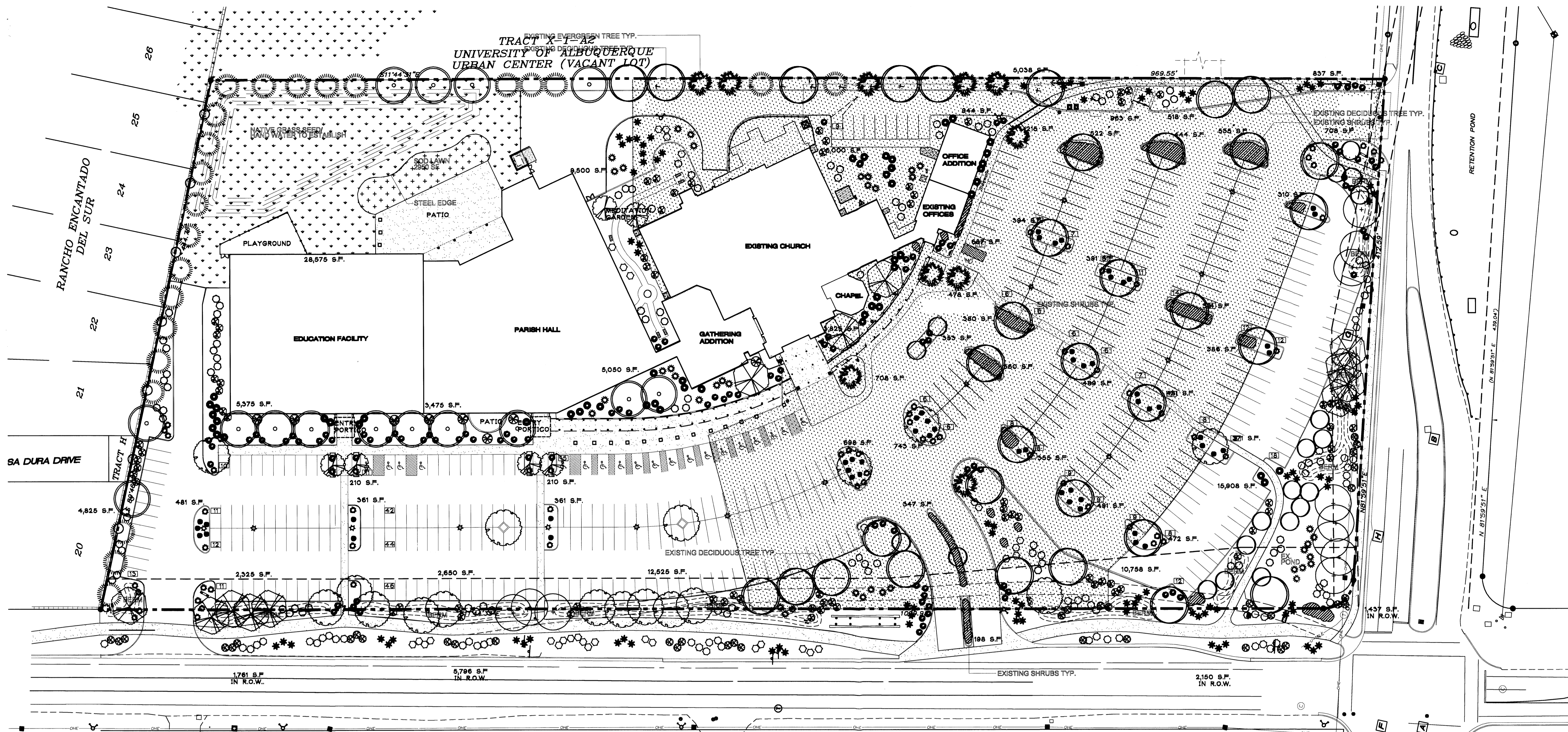
SHEET TITLE:
**SITE DETAILS
 AMENDED SITE
 DEVELOPMENT
 PLAN FOR
 BUILDING
 PERMIT**

JOB NUMBER:
0746

DATE:
8/16/08

REVISIONS:	DATE:

SHEET:
C1.1



SITE DATA

GROSS LOT AREA	435,800 SF
LESS BUILDING(S)	88,590 SF
NET LOT AREA	347,210 SF
REQUIRED LANDSCAPE	15% OF NET LOT AREA
PROPOSED LANDSCAPE	52,052 SF
PERCENT OF NET LOT AREA	14.99%
HIGH WATER USE TURF	MAX. 20% OF LANDSCAPE AREA
PROPOSED HIGH WATER USE TURF	26,814 SF
PERCENT OF LANDSCAPE AREA	51.7%

REQUIRED STREET TREES	42
REQUIRED AT 30' O.C. SPACING ALONG STREET	11
EXISTING STREET TREES	31
PROPOSED STREET TREES	42
TOTAL STREET TREES PROVIDED	42
REQUIRED PARKING LOT TREES	45
PROVIDED AT 1 PER 10 SPACES (453 SPACES/10)	45

PLANTING RESTRICTIONS APPROACH

A MINIMUM OF 80% OF THE PLANTINGS TO BE LOW OR MEDIUM WATER USE PLANTS
 A MAXIMUM OF 20% OF THE LANDSCAPE AREA TO BE HIGH WATER USE TURF

LANDSCAPE PLAN

SCALE: 1" = 40' - 0"

NOTE

MAINTENANCE OF LANDSCAPE AND IRRIGATION PROVIDED BY OWNER
 PLANTINGS TO BE WATERED BY EXISTING AUTO. DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER (WILKINS MODEL 975) PER CITY OF ALBUQUERQUE
 WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER
 THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE PLANTING RESTRICTIONS APPROACH
 IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUND COVER OF LANDSCAPE AREAS AT MATURITY
 LANDSCAPE AREAS TO BE MULCHED WITH 3/4" SANTA ANA TAN GRAVEL MULCH AT 3" DEPTH OVER FILTER FABRIC
 APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE
 TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS
 NO PARKING SPACE SHALL BE MORE THAN 10' FROM A TREE.
 EXISTING LANDSCAPE TO REMAIN AND TO BE PROTECTED FROM DAMAGE DUE TO CONSTRUCTION.
 TREES TO RECEIVE 8-2 GPH EMITTERS AND SHRUBS TO RECEIVE 2-2 GPH EMITTERS

LANDSCAPE PHASING SCHEDULE

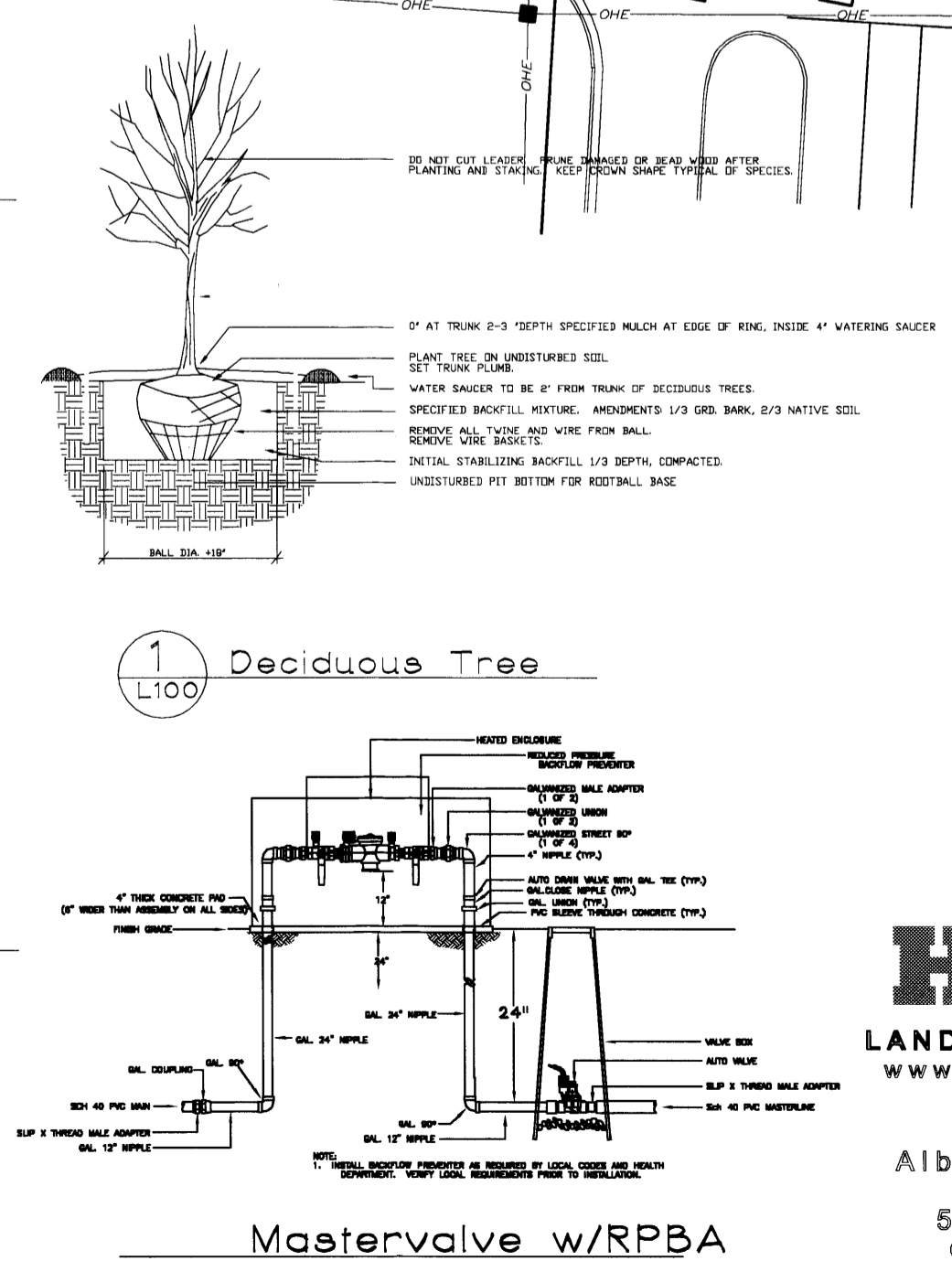
PHASE 1 - DOT-HATCH DENOTES EXISTING DEVELOPED PORTION OF SITE
PHASE 2 LANDSCAPE - PROVIDE ALL NEW PLANTS INDICATED WITHIN EXISTING DEVELOPED PORTION OF SITE, EXCEPT PLANTER AREAS ADJACENT TO FUTURE PH3 CHAPEL & PHASE 3 OPEN LANDSCAPE - PROVIDE REMAINING PLANTS INDICATED IN THIS PLAN EXCEPT PLANTER AREAS ADJACENT TO FUTURE PH4 EDUCATION FACILITY.
PHASE 4 LANDSCAPE - PROVIDE ALL REMAINING PLANTS INDICATED IN THIS PLAN.

PLANT LEGEND (PROPOSED)

Qty.	Symbol	Scientific Name	Common Name	Size	Water Use
6	☉	Cercis canadensis	Eastern Redbud	2" B&B	Medium
11	☉	Gleditsia	Honey Locust	2" B&B	Medium+
23	☉	Pinus nigra	Austrian Pine	2" Cal.	Medium
17	☉	Platanus chinensis	Chinese Platane	2" B&B	Medium +
12	☉	Quercus buckleyi	Texas Red Oak	2" B&B	Medium
15	☉	Sophora japonica	Japanese Pagoda Tree	2" B&B	Medium

Shrub/Groundcovers

55	●	Artemisia 'Powis Castle'	Powis Castle Sage	1-Gal	Low +
94	○	Buddleia davidii	Butterfly Bush	5-Gal	Medium
8	⊗	Lagerstroemia	Crape Myrtle	5-Gal	Medium
73	⊗	Cercocarpus ledifolius	Curf-leaf Min. Mahogany	5-Gal	Low +
39	☼	Cornus	Red Twig Dogwood	5-Gal	Medium
50	○	Eriocarpus nuseosus	Chamise	1-Gal	Low
35	○	Fallugia paradoxa	Apache Plume	5-Gal	Low
61	☼	Juniperus sabinia	'Buffalo'	5-Gal	Low +
37	⊗	Peroevkia atriplicifolia	Russian Sage	1-Gal	Medium
102	⊗	Potentilla fruticosa	Shrubby Cinquefoil	5-Gal	Medium+
51	●	Miscanthus sinensis	'Gracillimus'	5-Gal	Medium
88	★	Nolina microcarpa	Beard Grass	5-Gal	Low +



DORMAN and BREEN
 RICHARD DORMAN F.A.I.A.
 ALBUQUERQUE, NM 505-298-5940

CHURCH of ST. JOSEPH
 on the RIO GRANDE
 5901 ST. JOSEPH'S DRIVE NW
 ALBUQUERQUE, NM 87120

STATE OF NEW MEXICO
 JOHN GILLIES BRALY # 128
 REGISTERED LANDSCAPE ARCHITECT

SHEET TITLE
 LANDSCAPE PLAN

JOB NUMBER:
 0745

DATE:
 1/3/08

REVISIONS:

NO.	DATE	DESCRIPTION
1	1/3/08	ADD. NOTES PER PLANNER
2	1/3/08	REVISE LANDSCAPE

REVISIONS:

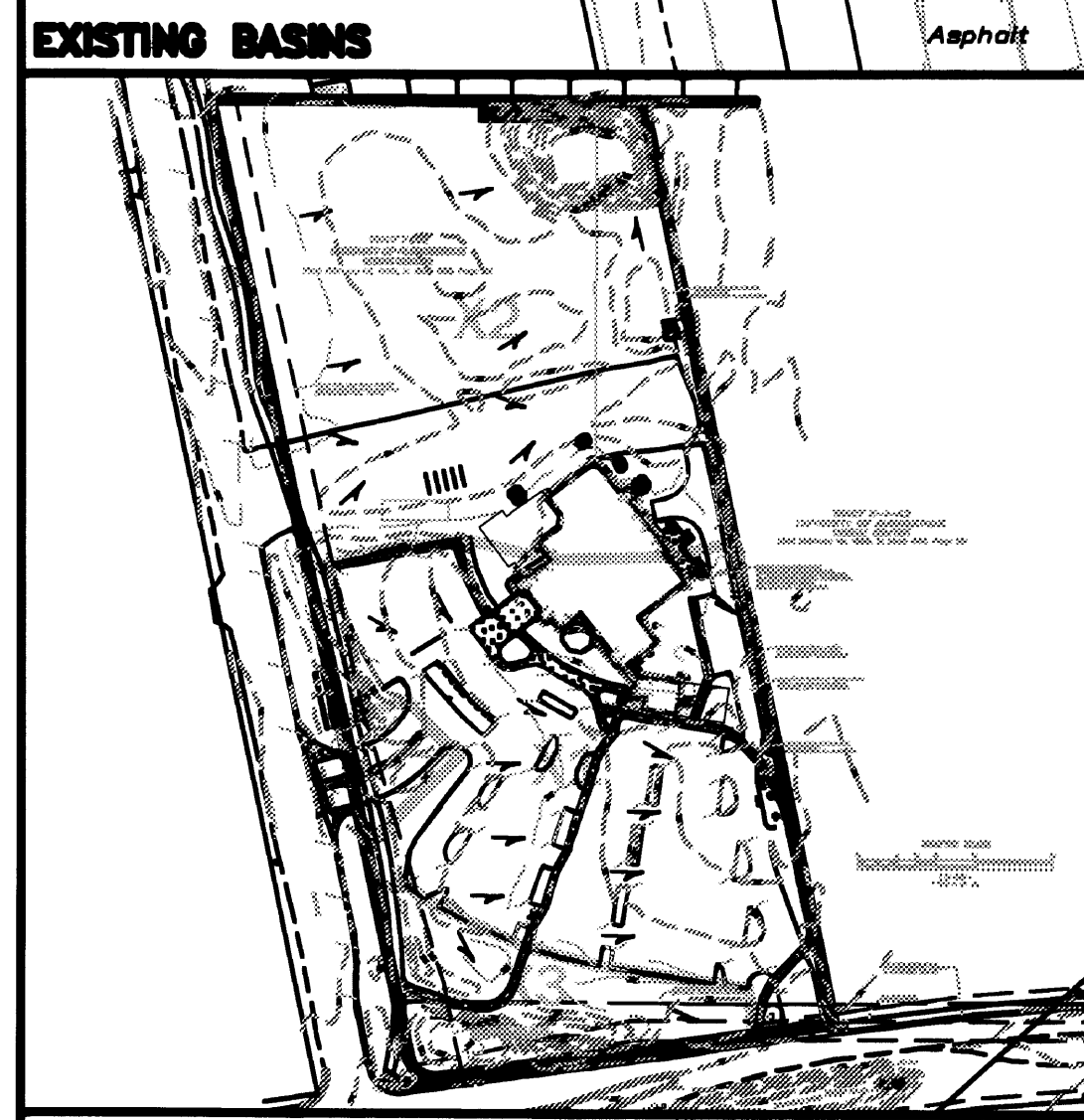
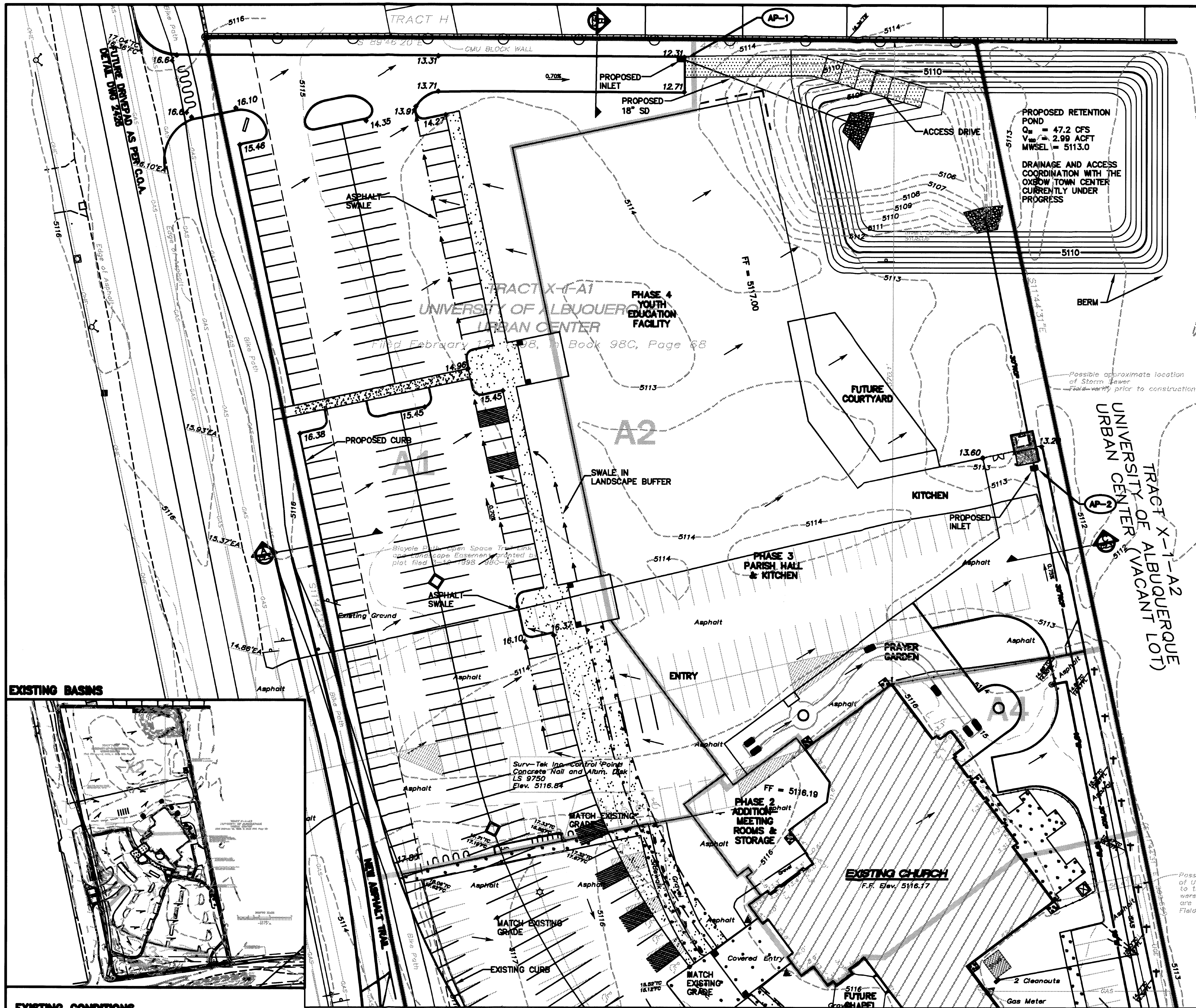
DATE:

ADD. NOTES PER PLANNER: 1/3/08

REVISE LANDSCAPE: 6/1/08

SHEET:
 L-1.0

Growing Better Up Heads
LANDSCAPE CONTRACTORS
 www.headsuplandscape.com
 P.O. BOX 10597
 Albuquerque, NM 87114
 505.898.9915
 505.898.2105 (fax)
 design@hulc.com



EXISTING CONDITIONS
 THE MAJORITY OF THE EXISTING 10 ACRE SITE (~60%) IS DEVELOPED AS PART OF THE EXISTING CHURCH. THE REMAINING PORTION OF THE EXISTING SITE IS UNDEVELOPED AND PREDOMINATELY SILTY SANDS, MODERATELY VEGETATED WITH VARIOUS GRASSES AND SHRUBS. THE MAJORITY OF THE DEVELOPED PORTION OF THE SITE DRAINS INTO A SINGLE SLUMP INLET LOCATED ON THE EASTERN PROPERTY LINE NEAR THE ST. JOSEPH'S ENTRANCE. THIS EXISTING STORM DRAIN CONVEYS FLOWS TO THE EXISTING TEMPORARY RETENTION POND AT THE NE CORNER OF THE SITE. A SMALL PORTION (12%) OF THE SITE DEDICATED TO PARKING NORTH OF THE EXISTING CHURCH DRAINS EAST INTO A SWALE CONVEYING FLOWS INTO THE EXISTING POND. ANOTHER SMALL PORTION (10%) OF THE SITE SHEET FLOWS INTO A SMALL RETENTION POND ADJACENT TO ST. JOSEPH'S DRIVE. IT IS EXPECTED THAT ONLY SMALLER STORMS ARE CAPTURED AND THAT LARGER STORMS RESULT IN DISCHARGE TO ST. JOSEPH'S.

THIS SITE FALLS UNDER THE APPROVED MASTER DRAINAGE PLAN FOR "OXBOW TOWN CENTER" (OCT 2, 2007). IN THE OXBOW DMP, THIS SITE WILL BE ALLOWED TO DISCHARGE APPROXIMATELY 9.5 CFS (100YR-6HR) THROUGH THE FUTURE STORM DRAIN SYSTEM.

PROPOSED CONDITIONS
 THE PROPOSED SITE IMPROVEMENTS WILL INCLUDE THE CONSTRUCTION OF VARIOUS ADDITIONS TO THE EXISTING CHURCH WITH ADDITIONAL PARKING. THERE WILL ALSO BE AN ADDITIONAL BUILDING SITES INTENDED FOR A FUTURE PHASE AS OUTLINED IN THE SITE DEVELOPMENT PLAN.

RUNOFF FROM THE PROPOSED PARKING EXPANSION WILL BE CONVEYED TO THE PROPOSED TEMPORARY RETENTION POND. MA SHEET FLOW, SWALES, AND STORM DRAIN AT THE END OF THE NORTHERMOST ACCESS DRIVE. RUNOFF FROM THE PROPOSED ADDITIONS WILL DISCHARGE TO THE EAST AND ULTIMATELY INTO THE RETENTION POND. THE FUTURE BUILDING SITE WILL DISCHARGE TO THE EAST AND INTO THE RETENTION POND. THE TEMPORARY RETENTION POND IN THE NE CORNER OF THE SITE WILL BE CONVERTED INTO A DETENTION POND UPON THE COMPLETION OF THE STORM DRAIN OUTLINED IN THE OXBOW TOWN CENTER DMP. AT THAT TIME, THE POND WILL BE ACCEPTING RUNOFF FROM OXBOW PROPERTIES.

THE SMALL BASIN ADJACENT TO ST. JOSEPH'S DRIVE WILL CONTINUE TO DISCHARGE INTO THE EXISTING RETENTION POND ON SITE.

HYDROLOGIC DATA - EXISTING

BASINS	AREA (acres)	LAND TREATMENT PERCENTAGES BY TYPE				YIELD (cfs/ac)	Q ₁₀ (cfs)	Q ₅₀ (cfs)	V ₁₀₋₆₀ (acft)
		A	B	C	D				
X1	4.07	0	10	0	80	3.74	9.85	15.22	0.82
X2	4.77	0	80	10	10	1.87	3.60	6.77	0.30
X3	0.94	0	80	10	10	2.02	0.83	1.90	0.07

*PRECIPITATION ZONE 1 WAS USED IN THE HYDROLOGIC ANALYSIS

HYDRAULIC SUMMARY

AP	DESCRIPTION	SLOPE (S)	Q ₁₀ (cfs)
AP-1	INLET	-	7.11
AP-2	INLET	-	3.25
AP-3	SLUMP	-	16.76

NOTE:

HYDROLOGIC DATA - DEVELOPED

BASINS	AREA (acres)	LAND TREATMENT PERCENTAGES BY TYPE				YIELD (cfs/ac)	Q ₁₀ (cfs)	Q ₅₀ (cfs)	V ₁₀₋₆₀ (acft)
		A	B	C	D				
A1	1.96	0	15	0	85	3.63	4.55	7.11	0.29
A2	2.31	15	10	0	75	3.30	4.73	7.83	0.31
A3	4.48	0	10	0	90	3.74	10.84	18.76	0.88
A4	0.88	0	10	0	90	3.51	8.94	15.74	0.84
A5	0.37	25	0	65	10	2.28	0.40	0.84	0.03

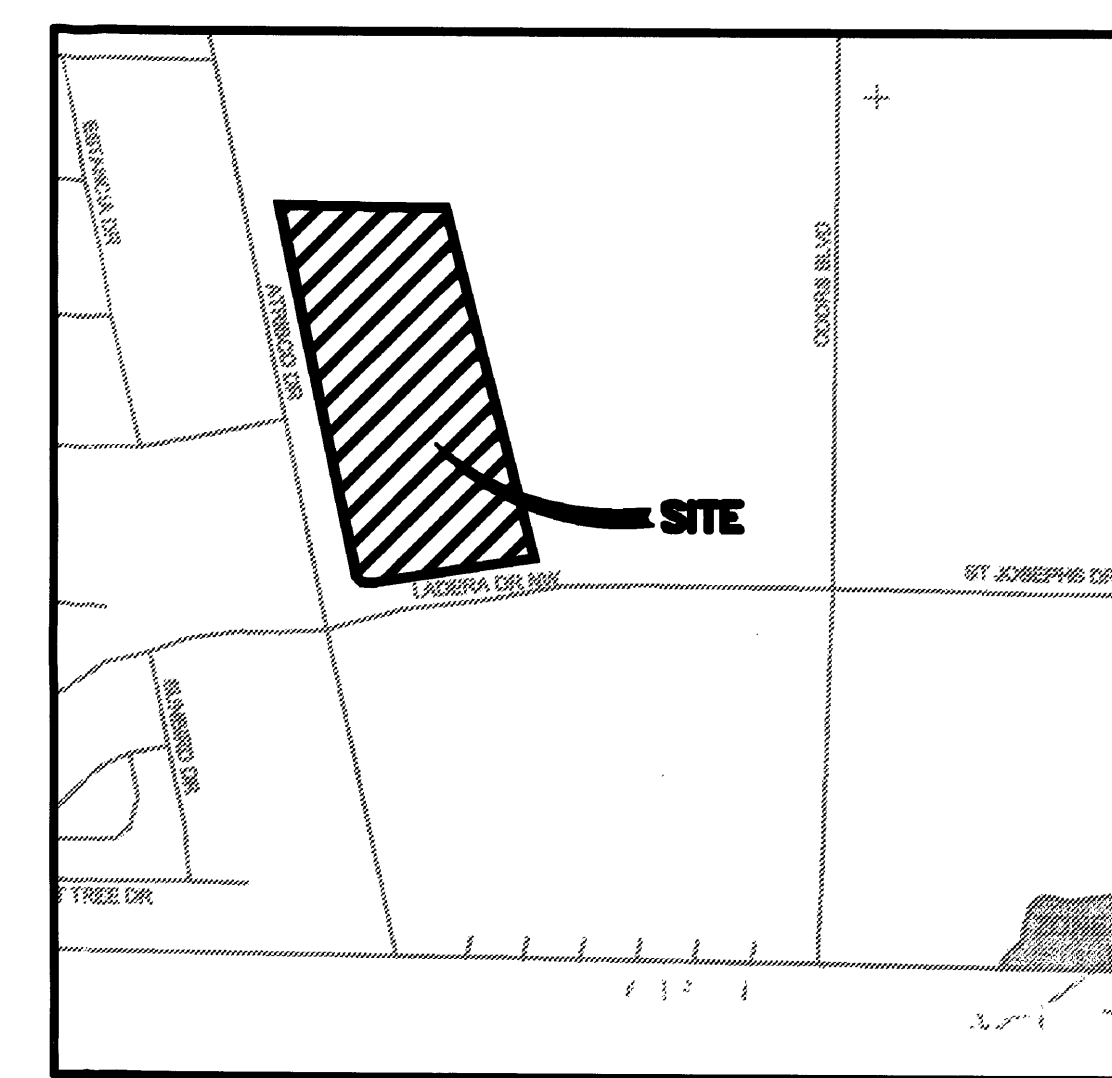
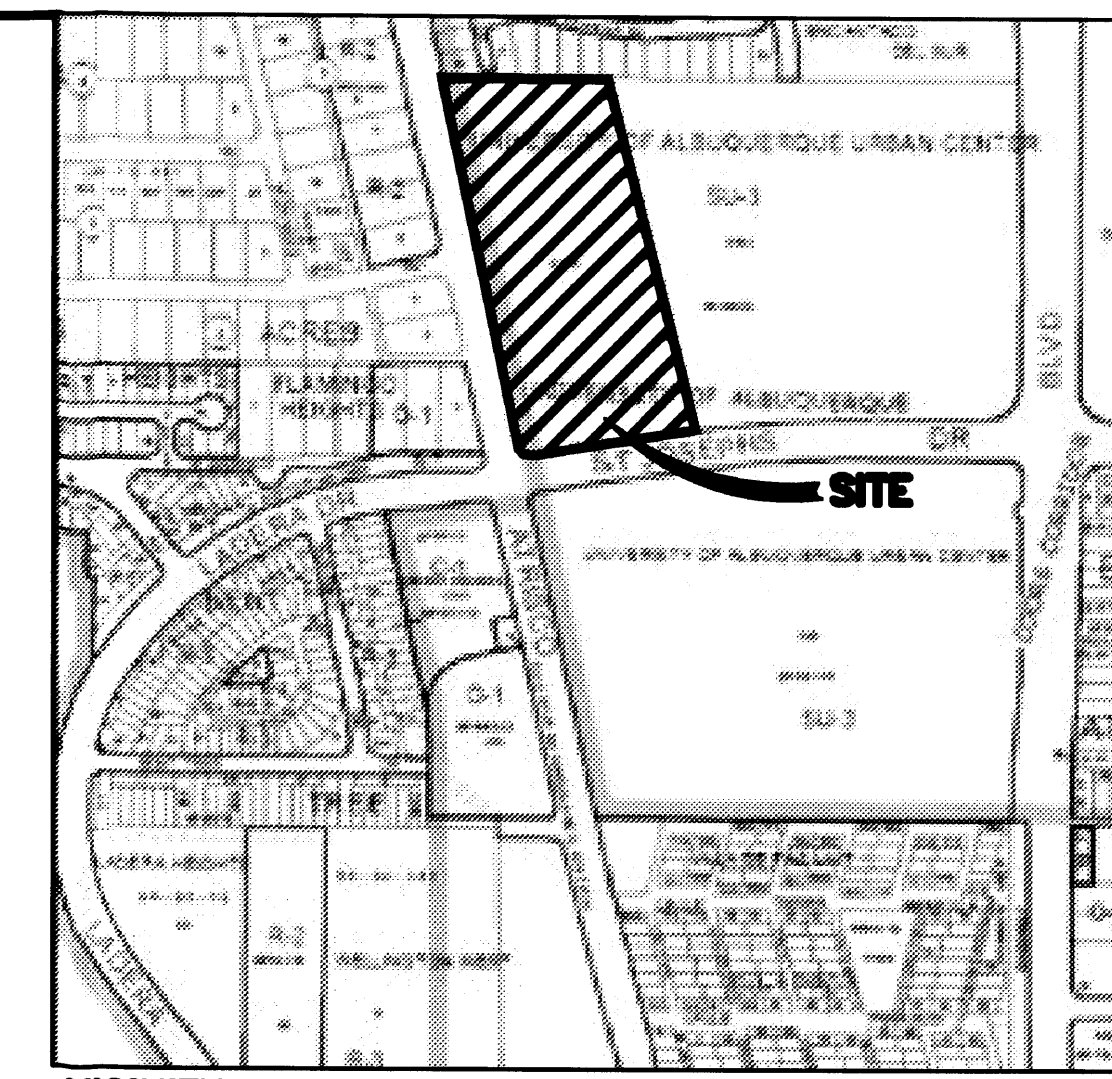
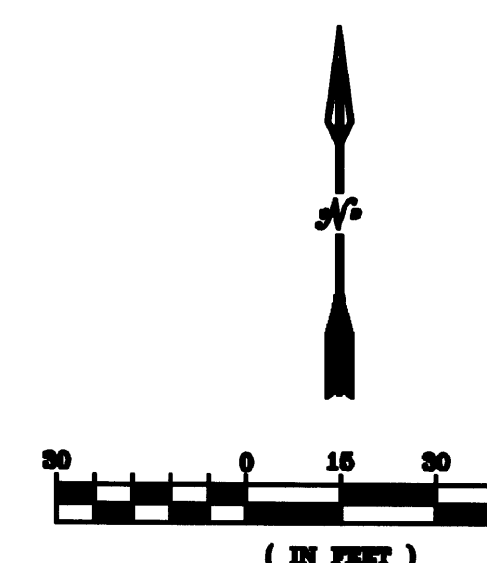
*PRECIPITATION ZONE 1 WAS USED IN THE HYDROLOGIC ANALYSIS

$$V_{10 \text{ DAYS}} = V_{360} + A_b * (P_{10 \text{ DAYS}} - P_{360}) / (12 \text{ IN/FT})$$

$$V_{10 \text{ DAYS}} = 1.92 + 8.8 * (3.67 - 2.20) / (12 \text{ IN/FT}) = 2.99 \text{ ACFT}$$

- LEGEND**
- PROP FLOW ARROW
 - ⇨ EXIST FLOW ARROW
 - SWALE
 - AP-1 HYDRAULIC ANALYSIS POINT
 - A1 PROPOSED BASIN LINE AND DESIGNATION
 - ⊕ 33.65 FLOWLINE ELEVATION
 - ⊕ 33.65 TW TOP OF WALK ELEVATION
 - ⊕ 33.65 EA EXIST ASPHALT ELEVATION
 - ⊕ 33.65 FG FINISHED GRADE ELEVATION
 - ▨ RIP RAP
 - RETAINING WALL
 - RETAINING WALL POINT
 - GRADE BREAK
 - STORM DRAIN INLET
 - CMP RISER

GENERAL NOTES
 1. SEE SHEET C2.3 FOR GRADING TYPICAL SECTIONS



LEGAL DESCRIPTION
 TRACT X-1-A1
 UNIVERSITY OF ALBUQUERQUE URBAN CENTER
 PROJECTED SECTION 2, T10N, R2E

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	TEMPORARY BENCH MARK	DATE	NO.	BY	NO.	DATE
STAMPED BY	DATE	X = 364323.052 (APPROXIMATE LOCATION)	DATE	DATE	BY	DATE	DATE
FIELD ACCEPTANCE BY	DATE	Y = 1502492.812 (APPROXIMATE LOCATION)	DATE	DATE	REMARKS	DATE	DATE
REVISIONS	DATE	5/8" REBAR W/RED PLASTIC CAP	DATE	DATE	DESIGN	DATE	DATE
CORRECTED BY	DATE	STAMPED "SURV-TEK, INC. CONTROL POINT"	DATE	DATE	DESIGN	DATE	DATE
RECORDED BY	DATE	ELEVATION = 5115.23 (NAVD 88)	DATE	DATE	DESIGN	DATE	DATE
NO.	DATE		DATE	DATE	DESIGN	DATE	DATE

GND, LLC
 CONSULTING ENGINEERS

CITY OF ALBUQUERQUE
 MUNICIPAL DEVELOPMENT DEPARTMENT
 ENGINEERING DIVISION

**CHURCH OF ST. JOSEPH ON THE RIO GRANDE
 CONCEPTUAL
 GRADING AND DRAINAGE PLAN**

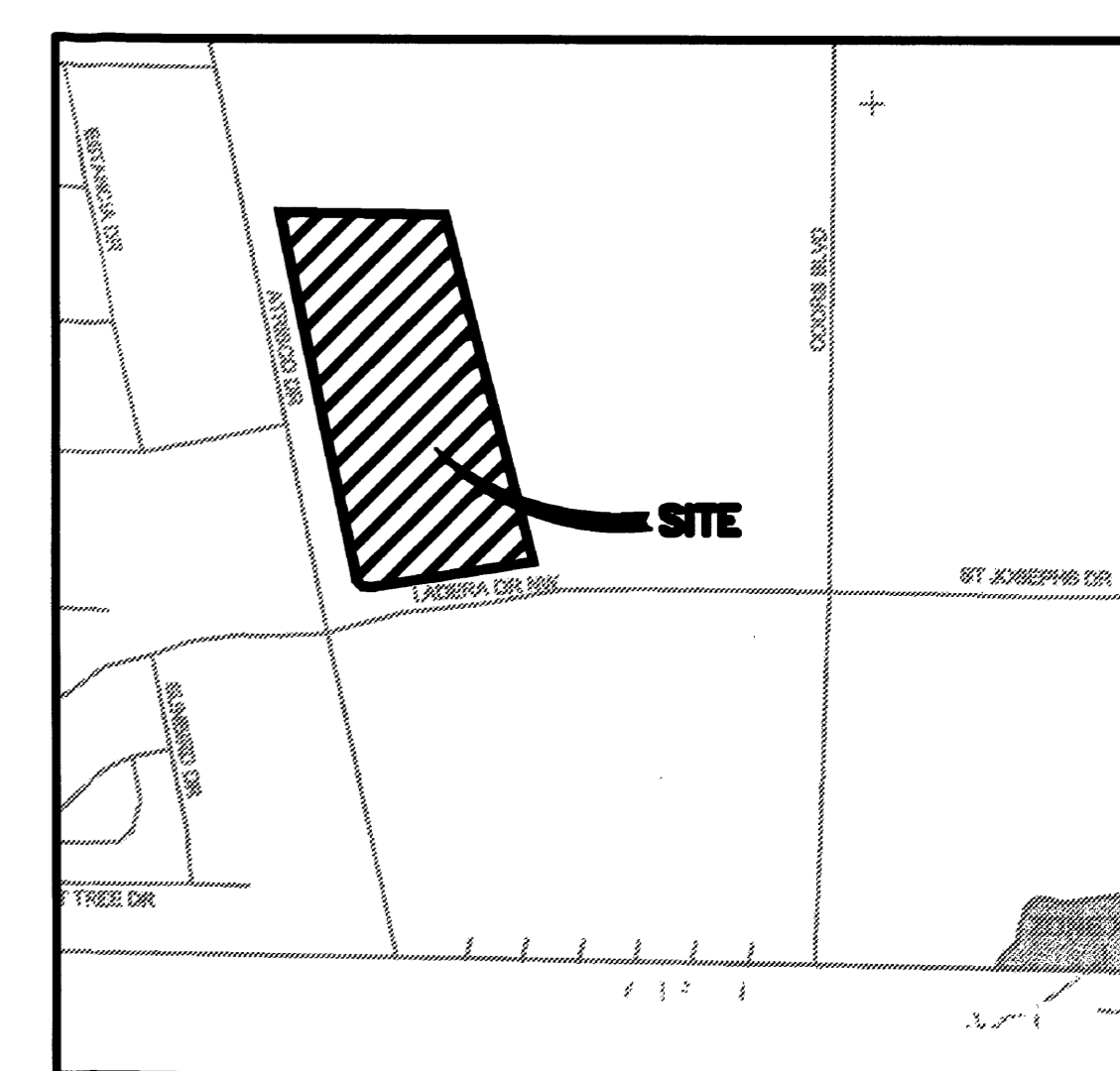
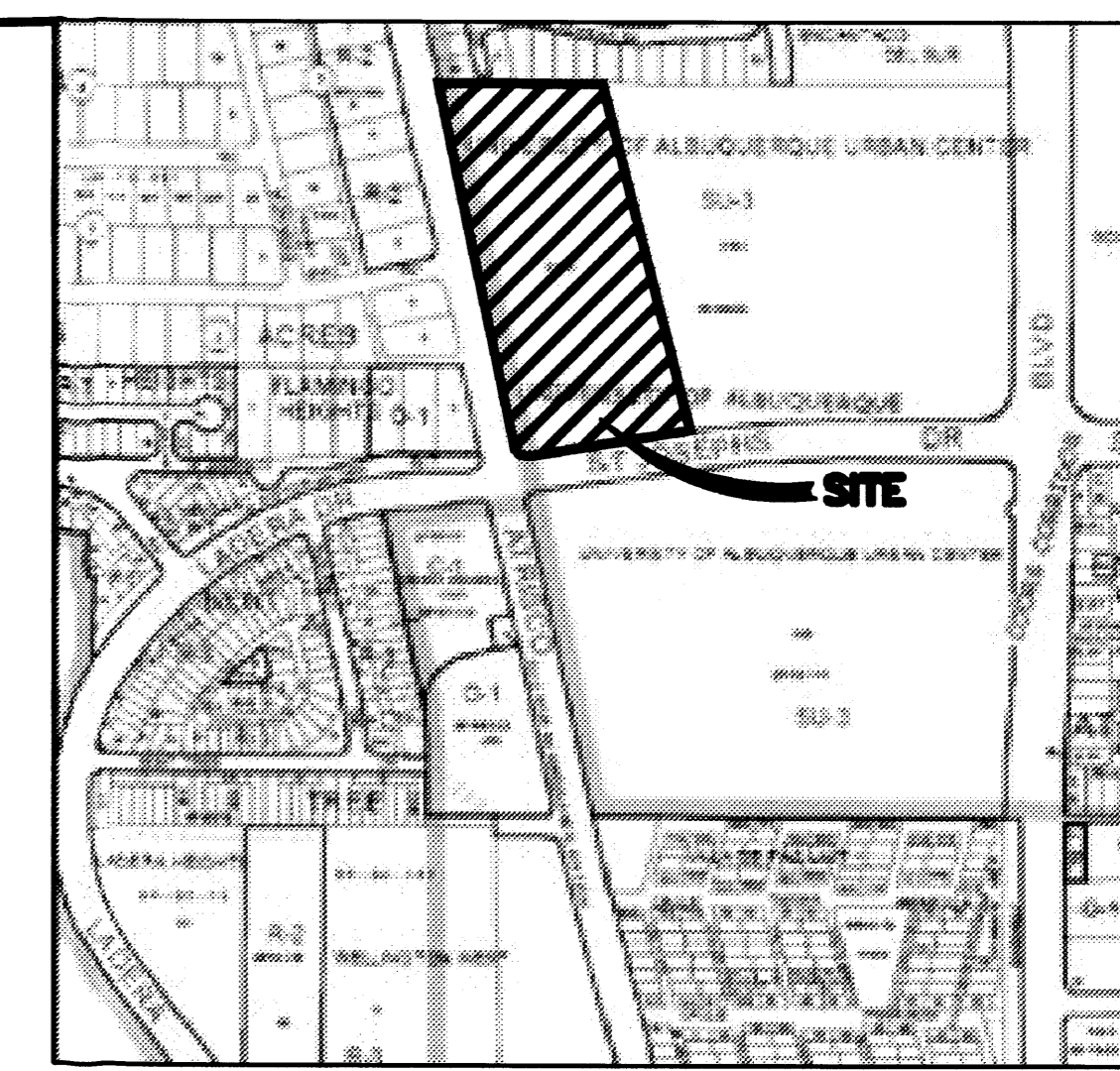
MONTH/DAY/YEAR: _____ USER DEPARTMENT: _____

CITY PROJECT No. _____ ZONE MAP No. **G-11-Z** SHEET **C2.1**



LEGEND

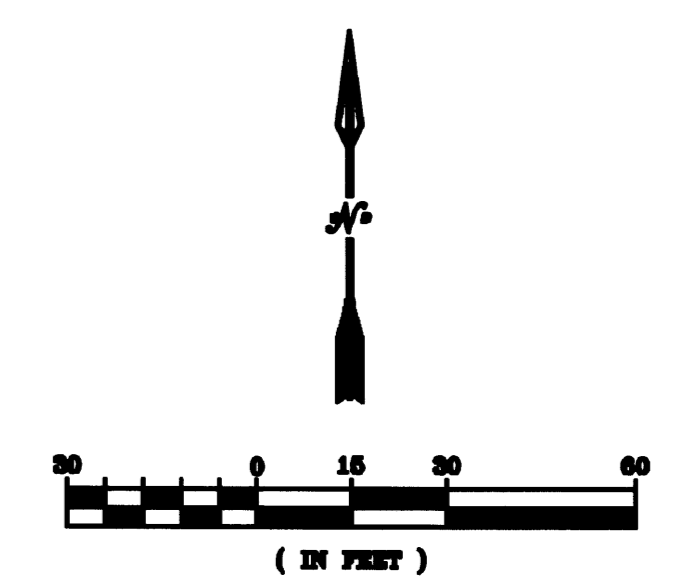
	PROP FLOW ARROW
	EXIST FLOW ARROW
	SWALE
	HYDRAULIC ANALYSIS POINT
	PROPOSED BASIN LINE AND DESIGNATION
	FLOWLINE ELEVATION
	TOP OF WALK ELEVATION
	EXIST ASPHALT ELEVATION
	FINISHED GRADE ELEVATION
	RIP RAP
	RETAINING WALL
	RETAINING WALL POINT
	GRADE BREAK
	STORM DRAIN INLET
	CMP RISER



FIRM MAP 35001C0114E
35001C0327E

LEGAL DESCRIPTION
TRACT X-1-A1
UNIVERSITY OF
ALBUQUERQUE URBAN
CENTER
PROJECTED SECTION 2, T10N,
R2E

GENERAL NOTES
1. SEE SHEET C2.3 FOR GRADING TYPICAL SECTIONS



GND, LLC
CONSULTING ENGINEERS

5443 Paradise Blvd. NW
Albuquerque, NM 87114
Phone: (505) 897-2182
Fax: (505) 897-6134

CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
ENGINEERING DIVISION
**CHURCH OF ST. JOSEPH ON THE RIO GRANDE
CONCEPTUAL
GRADING AND DRAINAGE PLAN**

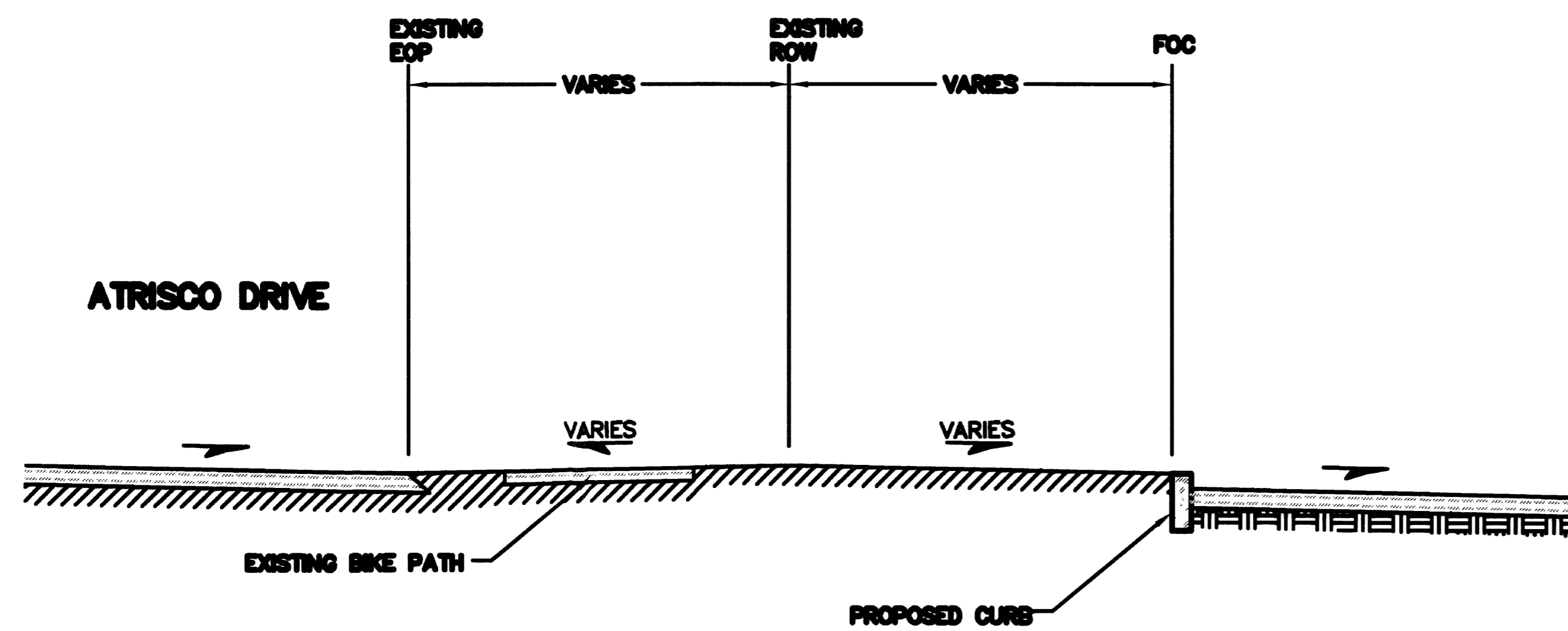
LATEST DESIGN UPDATE	MONTH/DAY/YEAR	USER DEPARTMENT

CITY PROJECT No. _____ ZONE MAP No. **G-11-Z** SHEET **C2.2**

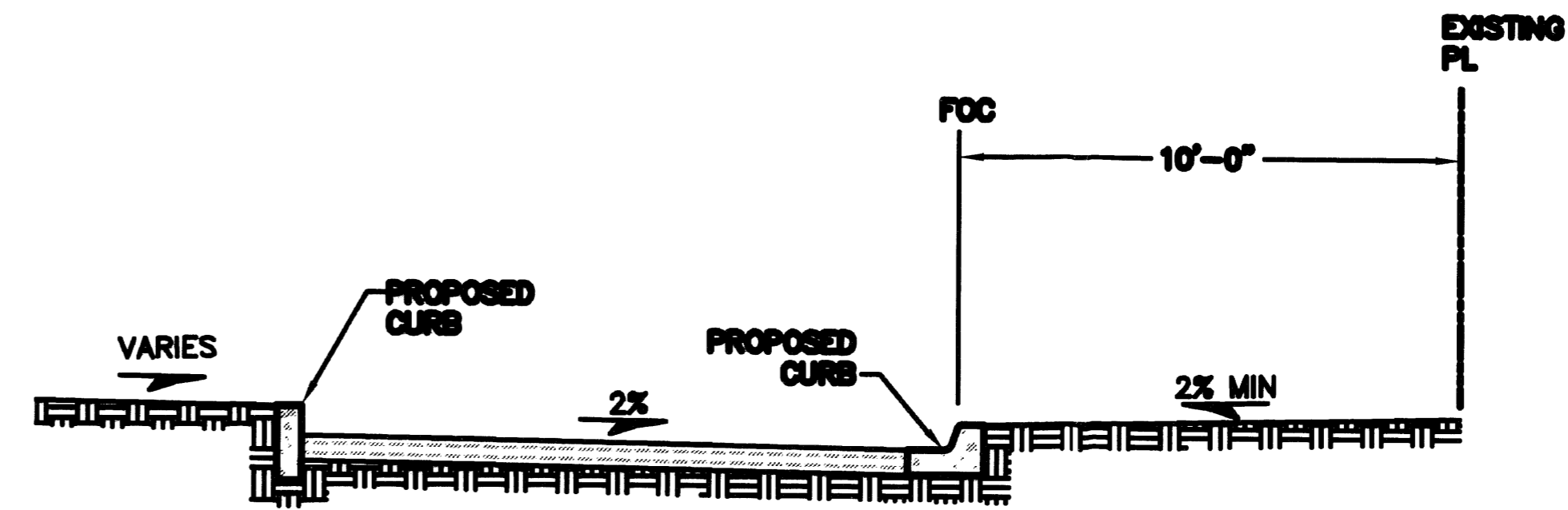
EROSION CONTROL NOTES

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

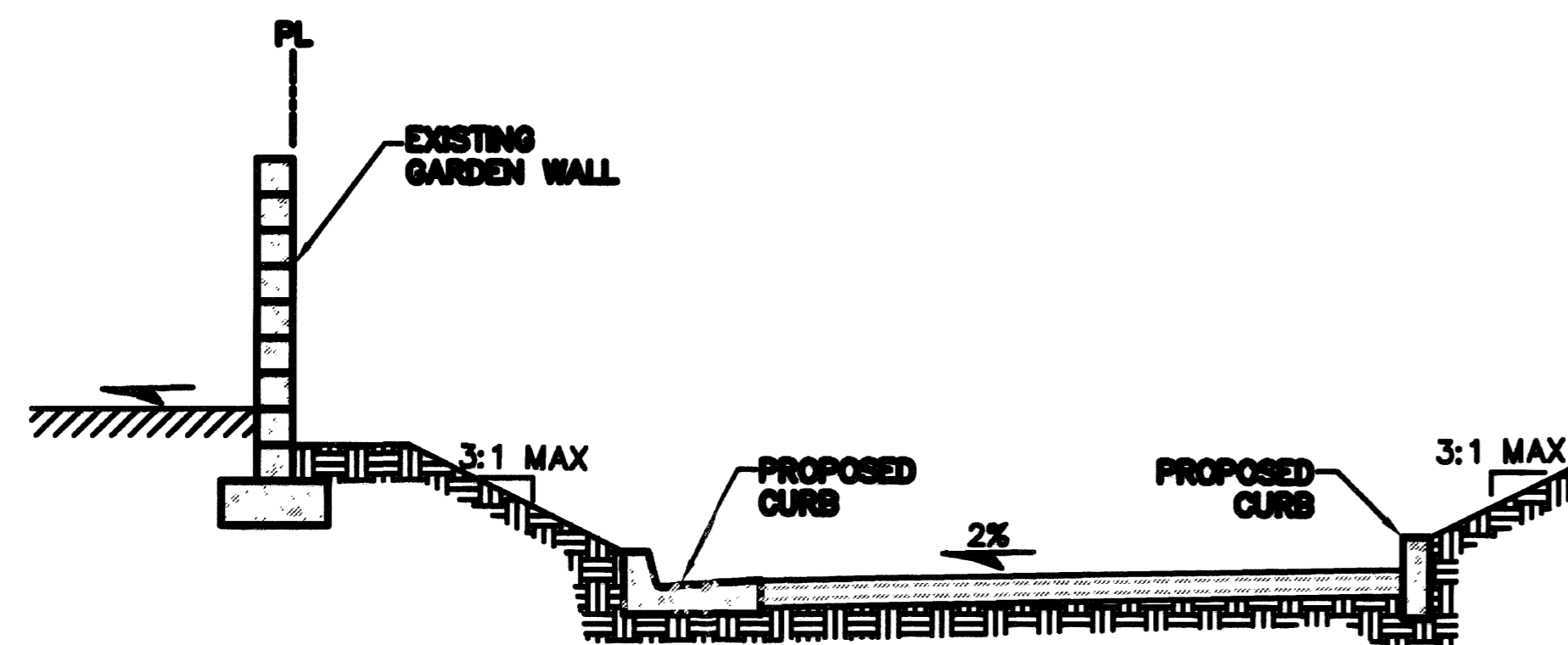
AS BUILT INFORMATION	
CONTRACTOR	DATE
INSPECTOR'S	DATE
BY	DATE
VERIFICATION BY	DATE
CORRECTED BY	DATE
RECORDED BY	DATE
MICRO-FILM INFORMATION	
NO.	DATE
BENCH MARK	
TEMPORARY BENCH MARK	
X = 364323.052 (APPROXIMATE LOCATION)	
Y = 1502492.812 (APPROXIMATE LOCATION)	
5/8" REBAR W/RED PLASTIC CAP	
STAMPED "SURV-TEK, INC. CONTROL POINT"	
ELEVATION = 5115.23 (NAVD 88)	
FIELD NOTES	
NO.	DATE
BY	
ENGINEER'S SEAL	
NO.	DATE
BY	
REVISIONS	
NO.	DATE
BY	
DESIGNED BY: JRW DATE: JAN 2008	
DRAWN BY: JRW DATE: JAN 2008	
CHECKED BY: JRW DATE: JAN 2008	



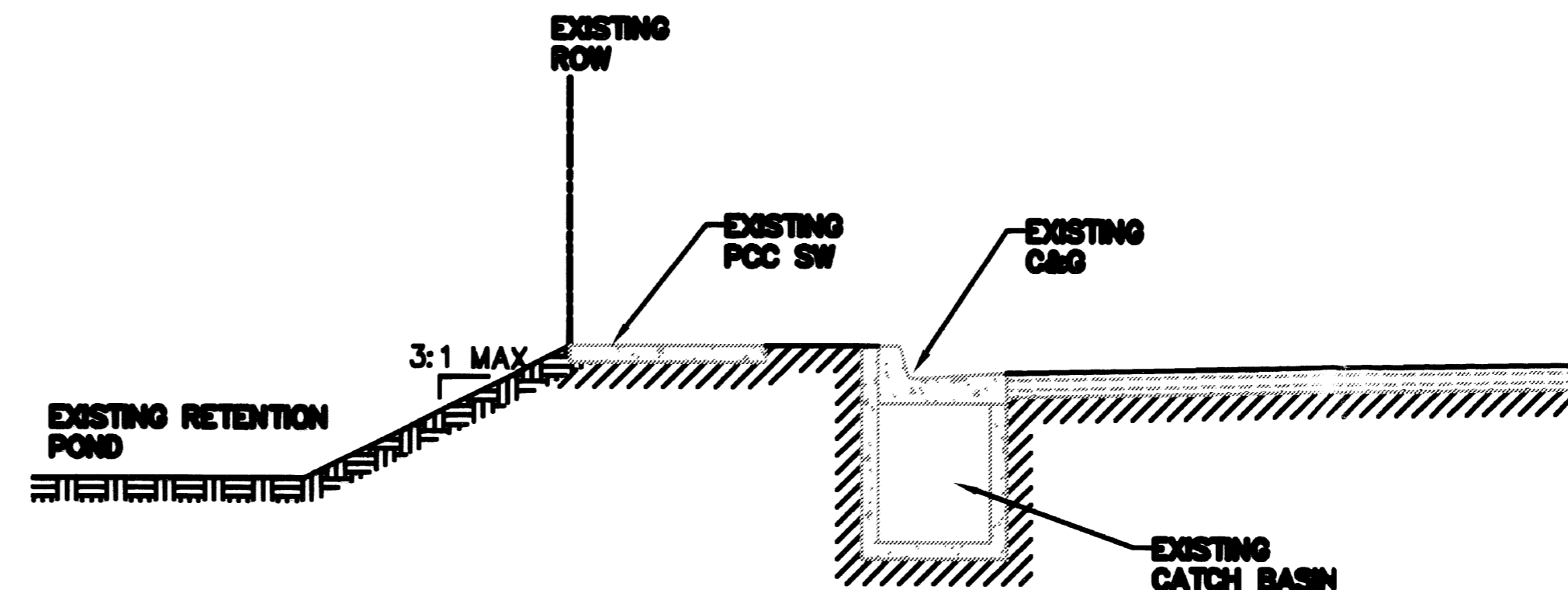
SECTION A-A
NTS



SECTION C-C
NTS



SECTION B-B
NTS



SECTION D-D
NTS

AS BUILT INFORMATION		REVISIONS		FIELD NOTES		REVISIONS	
NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE
1		1					
2		2					
3		3					
4		4					
5		5					
6		6					
7		7					
8		8					
9		9					
10		10					

GND, LLC
CONSULTING ENGINEERS

563 Lincoln Blvd NW
Albuquerque, NM 87114
Phone: (505) 496-7242
Fax: (505) 496-7242

CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
ENGINEERING DIVISION

CHURCH OF ST. JOSEPH ON THE RIO GRANDE
CONCEPTUAL
TYPICAL SECTION

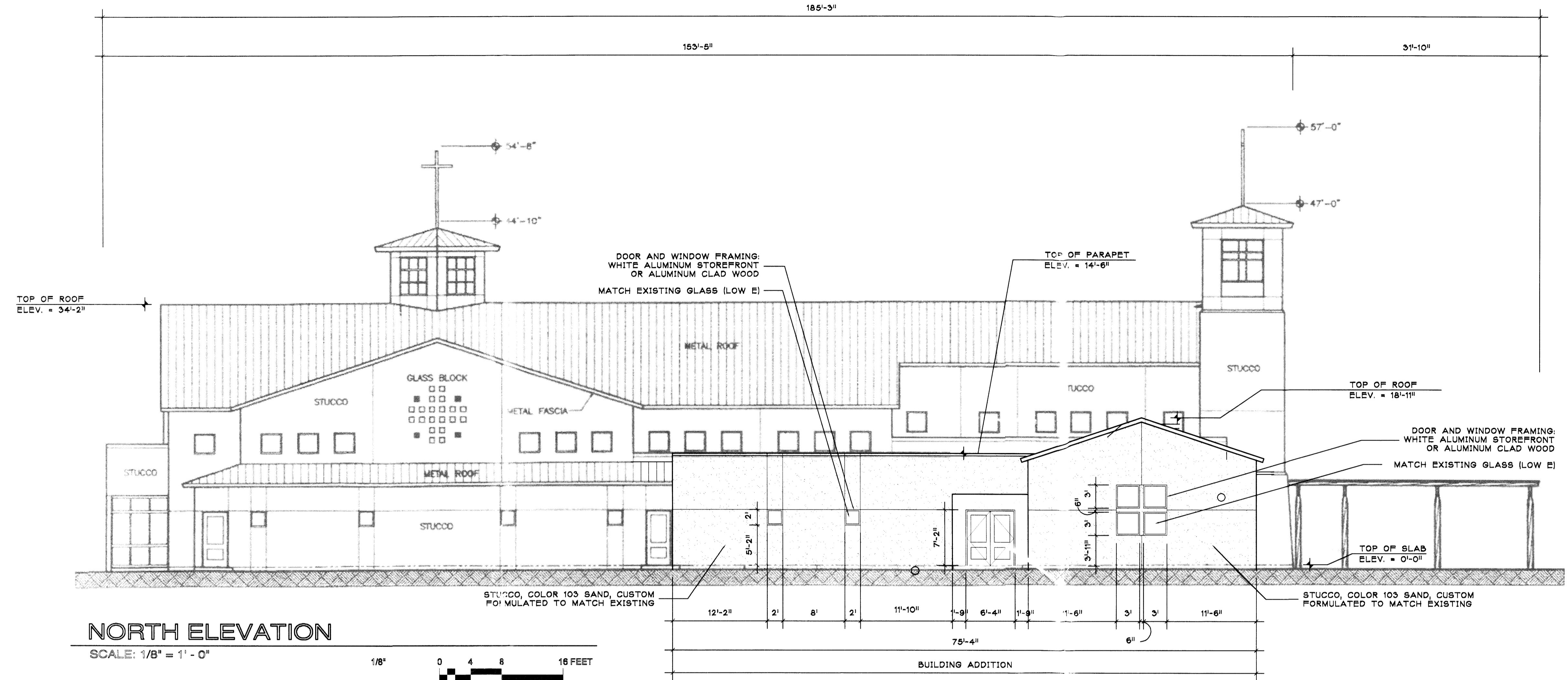
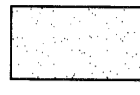
MONTH/DAY/YEAR	USER DEPARTMENT

CITY PROJECT No. _____ ZONE MAP No. _____ SHEET **023**

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DRAWN BY: JRW DATE: JAN 2008
CHECKED BY: JRW DATE: JAN 2008

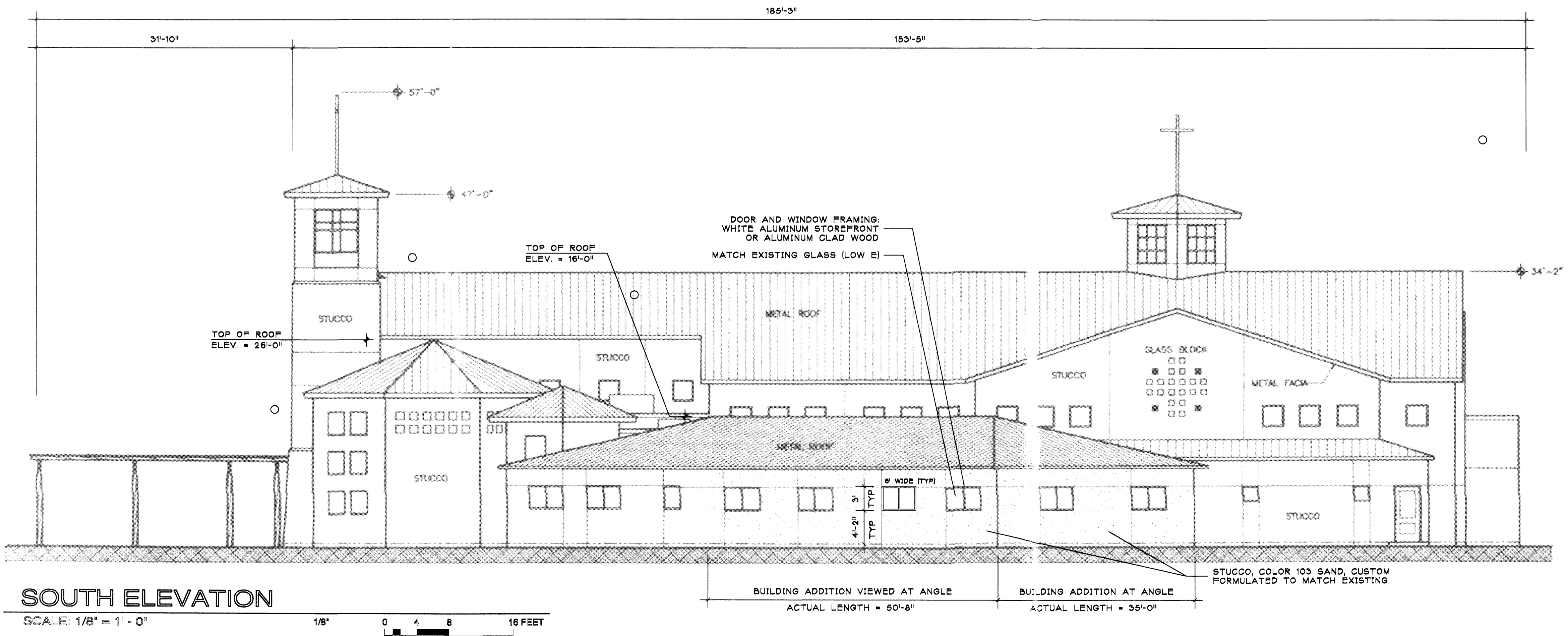
LEGEND

HATCH INDICATES NEW BUILDING ADDITION.
ALL ELSE IS EXISTING.



NORTH ELEVATION

SCALE: 1/8" = 1' - 0"



SOUTH ELEVATION

SCALE: 1/8" = 1' - 0"

DORMAN and BREEN
LAURENCE BREEN A.I.A.

R + B
RICHARD DORMAN F.A.I.A.
ALBUQUERQUE, NM 505-298-5940

CHURCH OF ST. JOSEPH
on the RIO GRANDE
5901 ST. JOSEPH'S DRIVE NW
ALBUQUERQUE, NM 87120

BUILDING ELEVATIONS

SHEET TITLE:
AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

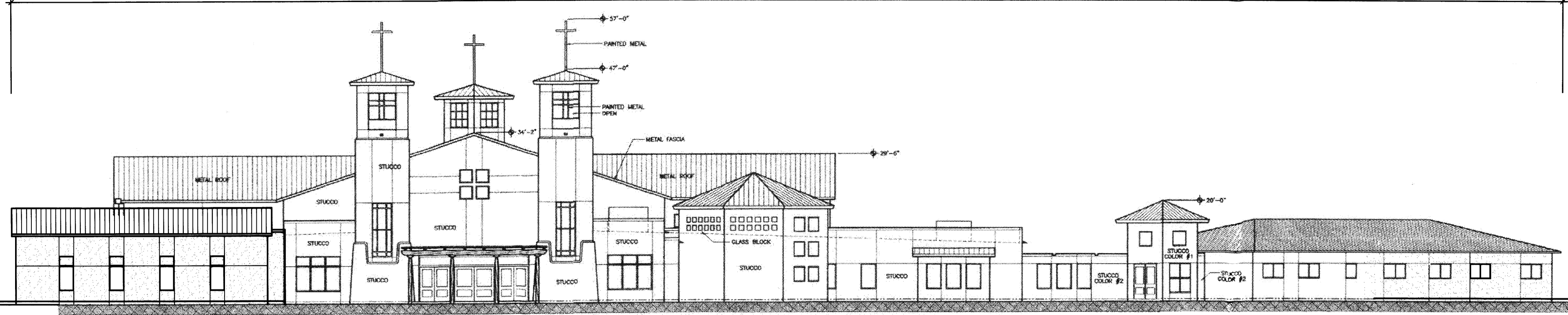
JOB NUMBER:
0745

DATE:
8/16/08

REVISIONS:	DATE:
X	X

SHEET:
A2.1

317



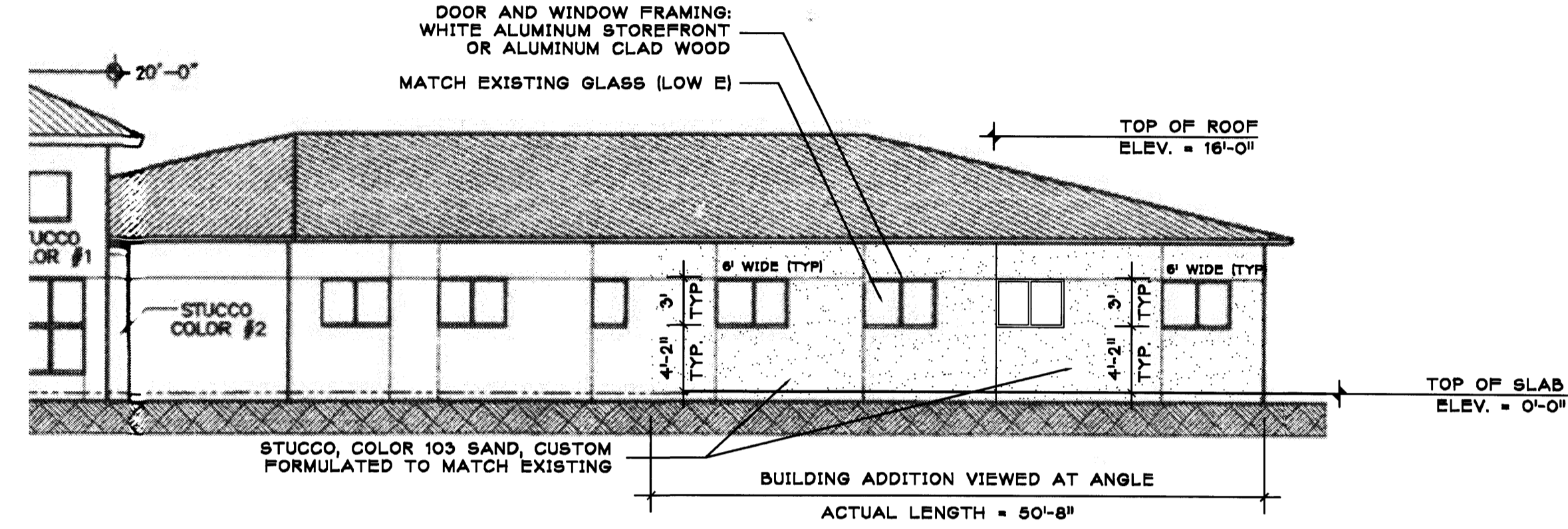
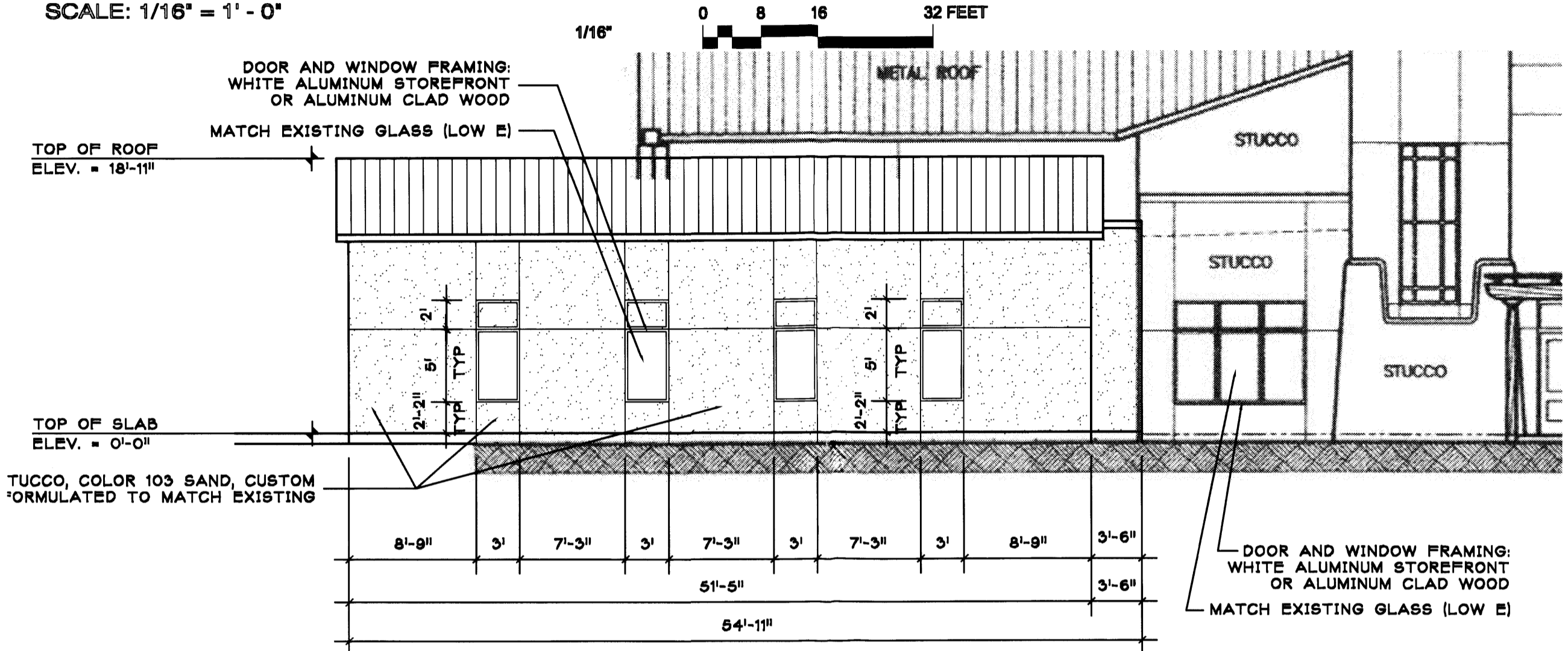
LEGEND

HATCH INDICATES NEW BUILDING ADDITION.
ALL ELSE IS EXISTING.



WEST ELEVATION

SCALE: 1/16" = 1' - 0"

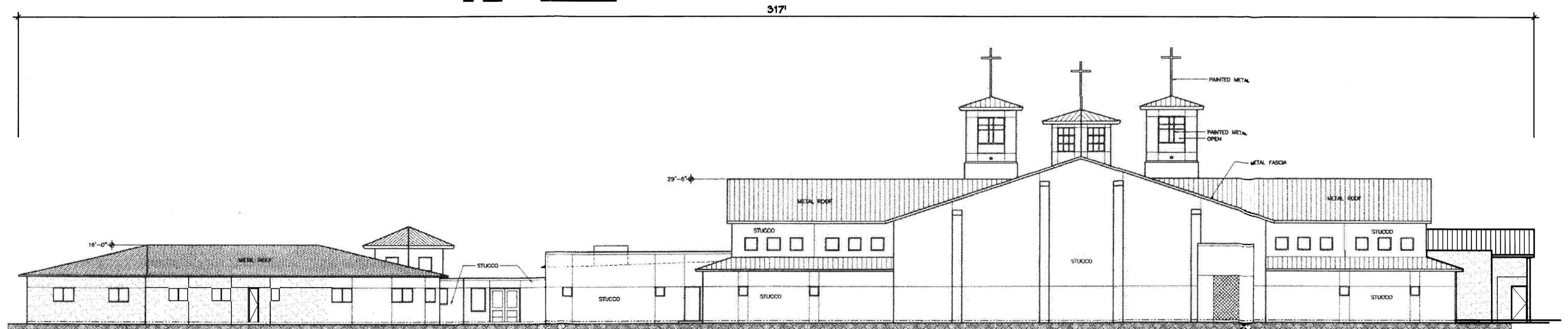


WEST ELEVATION @ OFFICES

SCALE: 1/8" = 1' - 0"

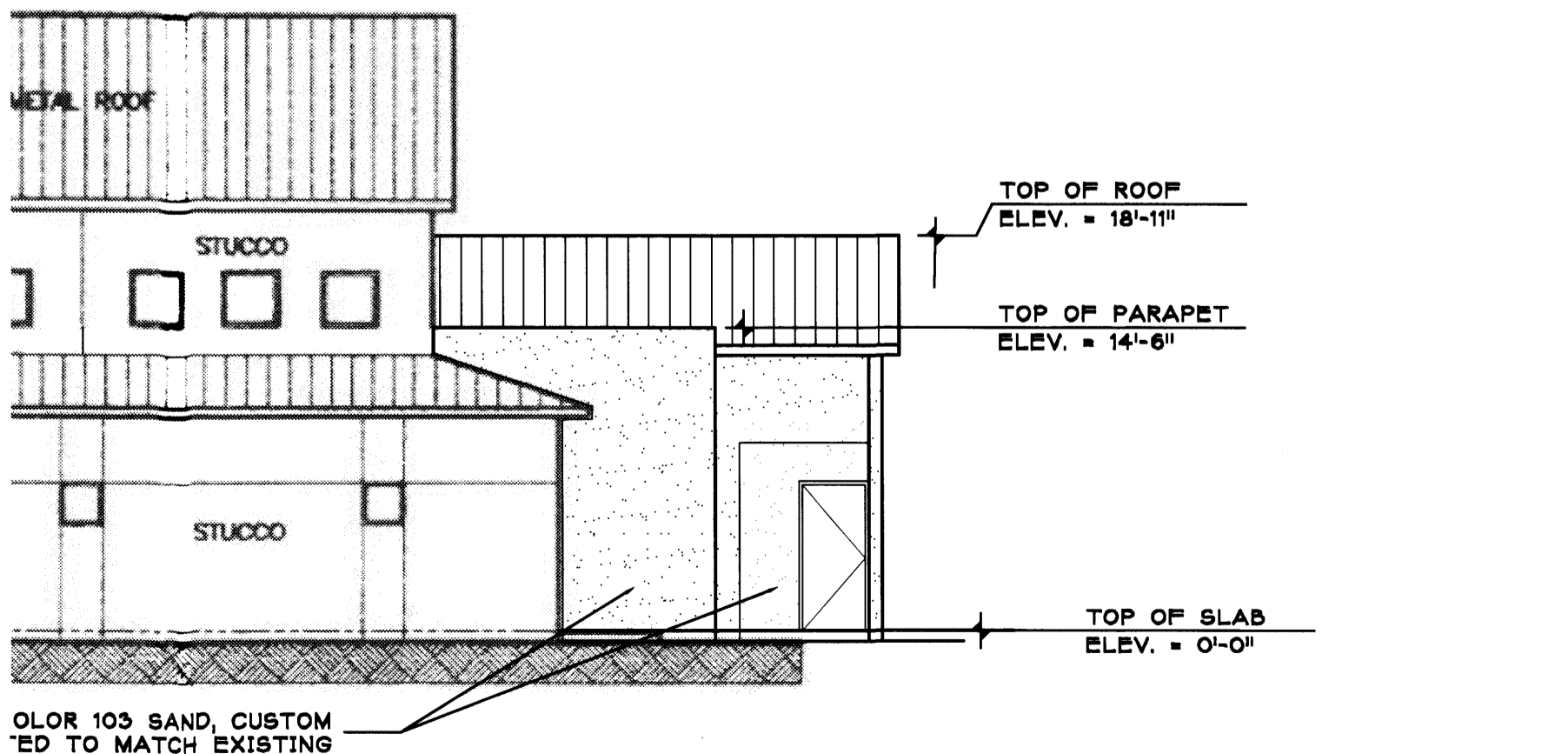
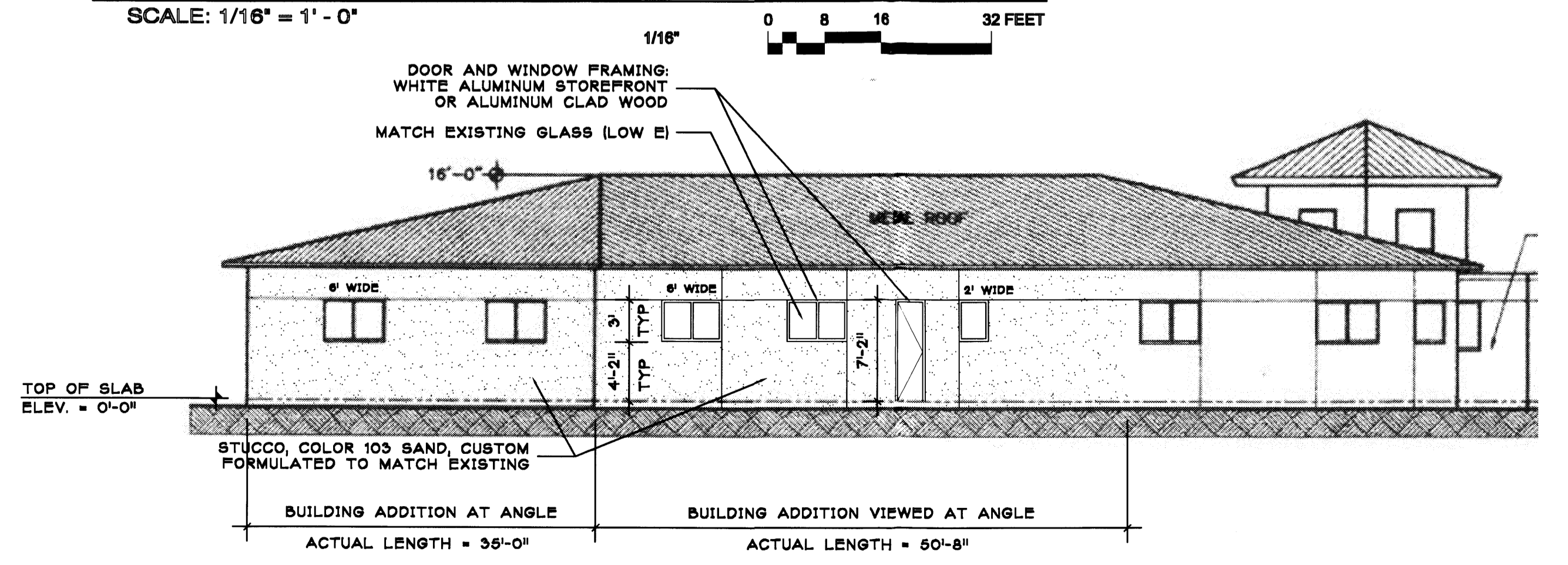
WEST ELEVATION @ GATHERING HALL

SCALE: 1/8" = 1' - 0"



EAST ELEVATION

SCALE: 1/16" = 1' - 0"



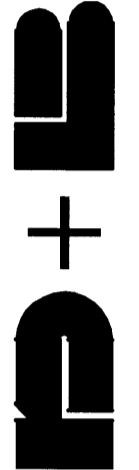
EAST ELEVATION @ GATHERING HALL

SCALE: 1/8" = 1' - 0"

EAST ELEVATION @ OFFICES

SCALE: 1/8" = 1' - 0"

DORMAN and BREEN
LAURENCE BREEN A.I.A.



RICHARD DORMAN F.A.I.A.
ALBUQUERQUE, NM 805-299-6940

CHURCH of ST. JOSEPH
on the RIO GRANDE
5901 ST. JOSEPH'S DRIVE NW
ALBUQUERQUE, NM 87120

BUILDING ELEVATIONS

SHEET TITLE:
AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

JOB NUMBER:
0745

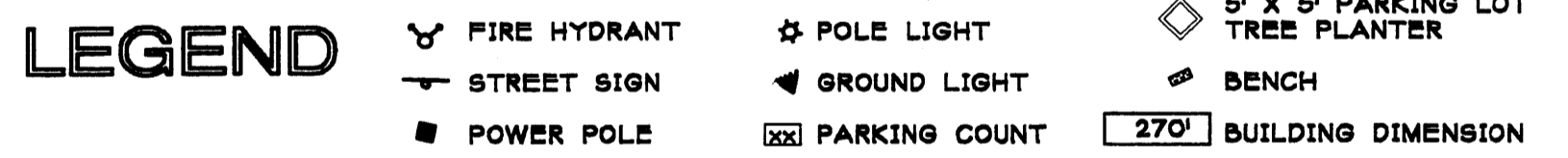
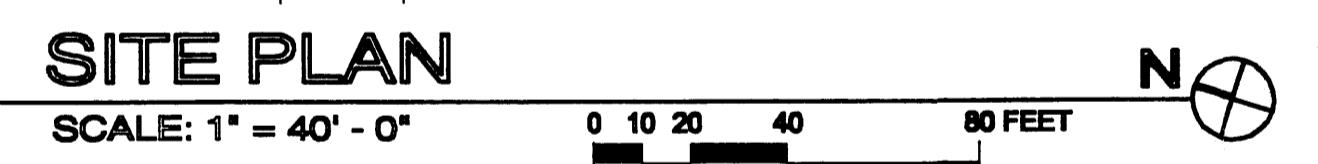
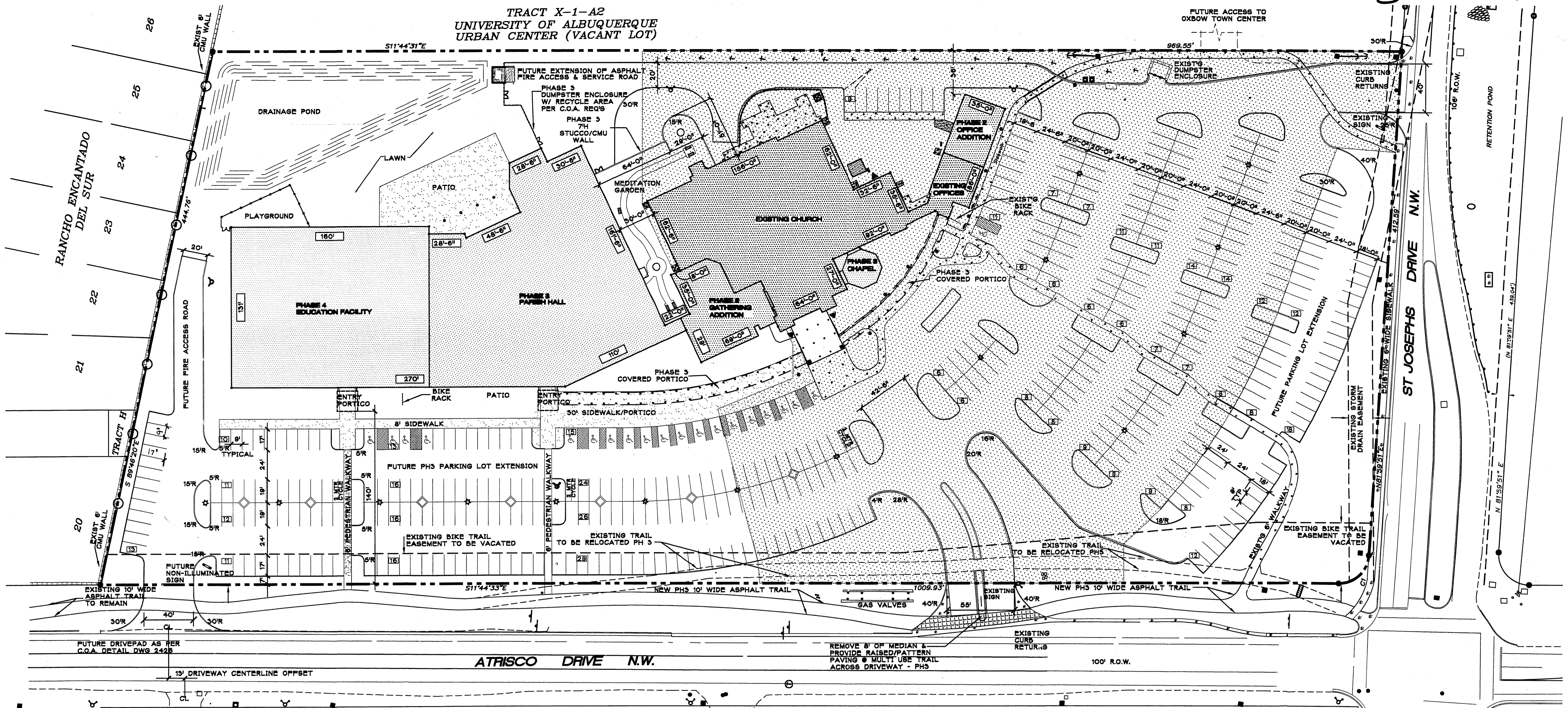
DATE:
6/16/08

REVISIONS:	DATE:
x	x

SHEET:
A2.2

EPC 1007015

TRACT X-1-A2
UNIVERSITY OF ALBUQUERQUE
URBAN CENTER (VACANT LOT)



OFF STREET PARKING

REQUIRED OFF STREET PARKING SPACES:
NOTE: CHURCH OCCUPANCY DETERMINES REQ'D PARKING, ALL RELATED SITE USES ARE ACCESSORY TO CHURCH USE. FULL OCCUPANCY OF RELATED USE FACILITIES DOES NOT OCCUR CONCURRENTLY WITH THE USE OF THE CHURCH.

EXISTING CHURCH ACTUAL SEATS
@ 130" PEW LENGTH + CHAIRS = 996 SEATS
REQUIRED PARKING SPACES AT 1 SPACE PER 4 SEATS = 249

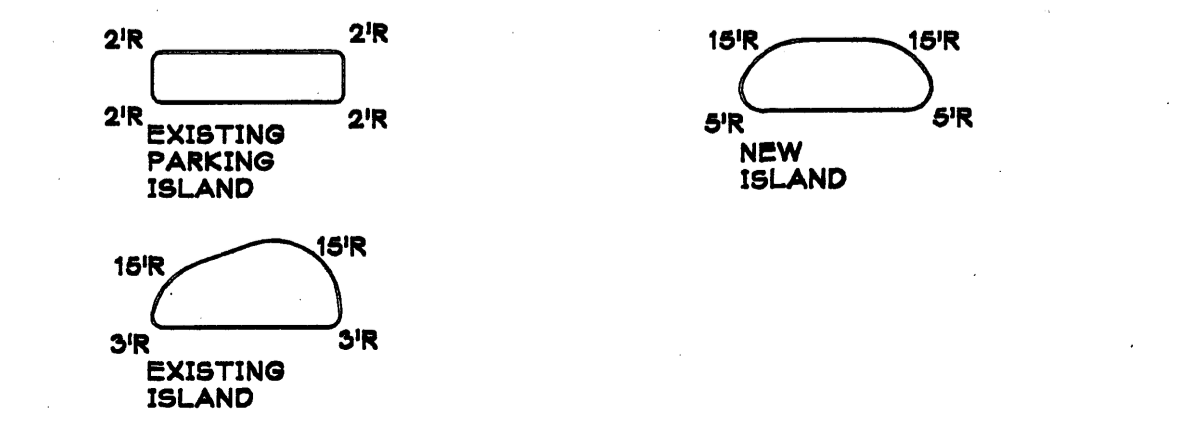
REQUIRED PARKING SPACES = 249
PROVIDED MASTER PLAN PARKING SPACES = 467
REQUIRED DISABLED SPACES = 8
PROVIDED DISABLED SPACES = 20

REQUIRED MOTORCYCLE SPACES = 5
PROVIDED MOTORCYCLE SPACES = 6

REQUIRED BICYCLE SPACES = 12
PROVIDED BICYCLE SPACES = 12

EXISTING DEVELOPED AREA PERMANENT PARKING SPACES = 250
EXISTING TEMPORARY PARKING SPACES = 137

TYPICAL: DRIVE AISLE ISLAND RADII



ZONING DATA

APPLICABLE ZONE CODE DATA - CITY OF ALBUQUERQUE, NM
ZONE ATLAS PAGE: G-11-Z
ZONE CLASSIFICATION: SU-3, CHURCH & RELATED FACILITIES

LOT AREA = 10 AC
TOTAL ESTIMATED MAXIMUM GROSS BUILDING AREA FOR ALL PROPOSED BUILDINGS = APPROXIMATELY 74,568 SQ. FT.
MAXIMUM GROSS BUILDING AREA-TO-LOT RATIO = 17.1% DENSITY

REQUIRED LANDSCAPE AREA = 15% OF NLA
LANDSCAPE AREA PROVIDED = 36% OF NLA
SEE LANDSCAPE PLAN FOR COMPLETE ANALYSIS

PROPOSED MINIMUM SETBACKS AT PHASES 2, 3 & 4:
FRONT - 14', REAR - 35', SIDE - 32'

MAXIMUM BUILDING HEIGHT FOR FUTURE PHASES 3 & 4:
SHALL BE NO GREATER THAN 28' AT THE SETBACK LINES, WITH HEIGHTS FALLING WITHIN A 45 DEGREE ANGLE PLANE DRAWN FROM THE HORIZONTAL MEAN GRADE ALONG EACH INTERNAL SITE BOUNDARY & ADJACENT RIGHT OF WAY CENTERLINE.
ZONING CODE EXEMPTS ARCHITECTURAL PROJECTIONS FROM HEIGHT REQUIREMENTS.

HANDICAP PARKING ACCESS

TYPICAL DETAIL FOR EACH NEW HANDICAP ACCESS PARKING SPACE.

SIDEWALK/PORTRICO - HC SIGN @ EACH DESIGNATED SPACE
TOP OF PAVEMENT FLUSH @ ASPHALT/SIDEWALK
PROVIDE WHEEL STOP @ EACH SPACE
TYPICAL ACCESS AISLE - 5' WIDE
VAN ACCESS AISLE - 8' WIDE

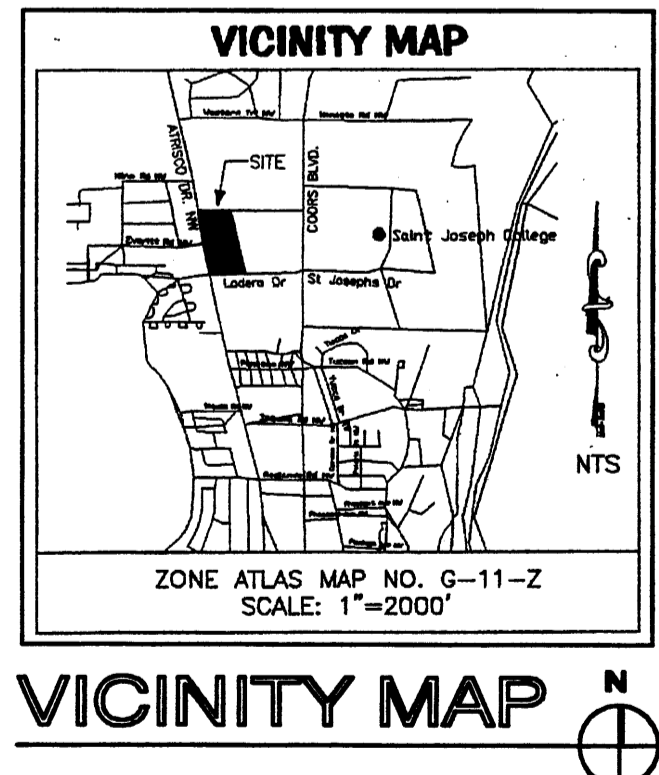
TYPICAL PARKING SPACE SHALL BE 9' WIDE X 17' DEEP WITH ADDITIONAL 2' OVERHANG
SLOPE OF ALL HC PARKING SPACES & ACCESS AISLES SHALL BE 2% MAX.

LEGAL DESCRIPTION

Legal Description: Tract X-1-A1 of Albuquerque Urban Center, within the Town of Albuquerque Grant, City of Albuquerque, Bernalillo County, New Mexico.

BUILDING DATA

- PHASE 1 - EXISTING CHURCH & OFFICES
EXISTING AREA = 20,670 SF
 - PHASE 2 - MEETING ROOMS, OFFICE EXTENSION & STORAGE AREAS
OFFICE AREA = 1,773 SF
MEETING AREA = 4,042 S.F.
PHASE 2 TOTAL = 5,815 S.F.
 - PHASE 3a - PARISH HALL AND KITCHEN
BUILDING AREA = 26,570 SF
 - PHASE 3b - ADORATION CHAPEL
BUILDING AREA = 744 SF
 - PHASE 4 - EDUCATION FACILITY
BUILDING AREA = 20,859 SF
PHASE 3&4 TOTAL = 48,173 S.F.
- TOTAL ESTIMATED GROSS BUILDING AREA = 74,568 SF



VICINITY MAP

PROJECT NO. 1007015
APPLICATION NO. 08 EPC 10003

IS AN APPROVED INFRASTRUCTURE LIST REQUIRED?
[] YES [X] NO. IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT OF WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN APPROVAL:

<i>[Signature]</i>	04/29/09
TRAFFIC ENGINEERING TRANSPORTATION DIVISION	DATE:
<i>[Signature]</i>	6-25-08
WATER UTILITY DEPARTMENT	DATE:
<i>[Signature]</i>	4/25/08
PARKS & RECREATION DEPARTMENT	DATE:
<i>[Signature]</i>	6/25/08
CITY ENGINEER	DATE:
N/A	
ENVIRONMENTAL HEALTH (CONDITIONAL)	DATE:
N/A	
SOLID WASTE MANAGEMENT	DATE:
<i>[Signature]</i>	8-27-09
DRB CHAIRPERSON, PLANNING DEPT.	DATE:

4 AM Jelli 6-25-08
RF 8/27/09

CHURCH OF ST. JOSEPH
on the RIO GRANDE
5801 ST. JOSEPH'S DRIVE NW
ALBUQUERQUE, NM 87120

DORMAN and BREEN
RICHARD DORMAN F.A.I.A.
ALBUQUERQUE, NM 805-939-6940
LAURENCE BREEN A.I.A.



AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

JOB NUMBER: 0745

DATE: 6/16/08

REVISIONS:	DATE:

DATE: 8-27-09
C-1.0
2 OF 39

PARKING REQUIREMENTS

SECTION 14-16-3-1-(A) OFF-STREET PARKING REGULATIONS:

(3) Church or other place of worship: One space for each four seats in main room (each 30 inches of pew space is considered one seat).

(21) Offices: One space per 200 square feet of net leasable area on the ground floor and one space per 300 square feet of net leasable area in the basement areas and on all floors above the first floor.

(22) Public assembly place, such as auditorium, martuary, sports arena, stadium, or theater: One space for each four seats (each 30 inches of bench space is considered one seat).

(28) School - elementary and middle: One space for each employee classroom.

(F)-(5)-(a) Handicap Parking Requirements: Minimum number of designated parking spaces are 1 for 1-25 off-street parking spaces, 2 for 26-35, 3 for 36-50, 4 for 51-100, 8 for 101-300, 12 for 301-500, 16 for 501-800, 20 for 801-1000, 1001 and up: 20 plus 1 for each additional 100 spaces.

Assumption 1: All spaces adjacent to main worship space such as sacristy, restrooms, future room additions, and future chapel were deemed "accessory" to the main worship space and require no additional off-street parking.

Assumption 2: The design below is for a worship space having 21,420 in of pew. Actual design per date of this plan is 21,042 in.

PHASE	OCCUPANCY	CALCULATION	REQ.	PROVIDED
PHASE 1:	Church	21,420 in pew/30/4 =	179	-
	Offices	1,658 sf/200 =	9	-
	Total		188	250
	(Handicap)		8	8
FUTURE:	OCCUPANCY	CALCULATION	REQ.	PROVIDED
	Offices (expansion)	1,773 sf / 200 =	9	-
	Parish Hall	10,500 in seating/30/4 =	88	-
	Religious Ed. (classrm)	30 classrooms =	30	-
	Religious Ed. (offices)	600 sf / 200 =	3	-
Total		130	150	
	(Handicap)		8	8

SECTION 14-16-3-1-(B) BICYCLE PARKING: Parking for bicycles shall be provided on-site or on a site within 300 feet of the use, measured along the shortest public right-of-way, as follows: (3) Nonresidential uses: One bicycle space per each 20 parking spaces required for automobiles and light trucks, but not less than two spaces per premises.

PHASE	CALCULATION	REQUIRED	PROVIDED
Phase 1	250 spaces/20 =	13	13
Future	147 spaces/20 =	8	8

BUILDING HEIGHT

Building height is recommended to be 26' at the setback line, with heights over 26 feet falling within a 45 degree angle plane drawn from the horizontal at mean grade along each internal site boundary and adjacent public right-of-way centerline.

SECTION 14-16-3-3-(A)-(1): Height regulations in this Zoning Code do not apply to: belltowers, church spires, flag poles, flues, monuments, ornamental towers and spires, and religious signs as specified in 14-16-3-5-(D)-(4) of this Zoning Code. (Gen. Reg.)

SECTION 14-16-3-3-(A)-(2): A height variance may be approved for the following structures even though there is not a minimal showing as to exceptional physical condition: chimneys... cupolas and domes... (Gen. Reg.)

SECTION 14-16-3-3-(A)-(7): Building Height Limitations to Preserve Solar Access. (a) The building height shall not exceed the following heights, determined by the distance cardinally south from the northern boundary of the lots as follows: Lot line 0-5 ft: height 10 ft, 5-10 ft: 11 ft, 10-15 ft: 14 ft, 15-20 ft: 17 ft, 20-25 ft: 20 ft, 25-30 ft: 23 ft, 30-35 ft: 25 ft, 35 or more: 26 ft.

AREA LIGHTING REGULATIONS

BASIC DESIGN CRITERIA: Lighting should be sufficient to provide "safe" levels of parking lot and pedestrian area lighting, within the bounds of compliance with city ordinances concerning spill-over and direct lines of vision to luminaires. Lighting fixtures should be of scale appropriate to the individual development but in no case greater than 20 feet in overall height above grade.

SECTION 14-16-3-9: AREA LIGHTING: Area lighting, including parking lighting, shall be arranged so that: A) The location of the lighting fixture together with its cut-off angle shall be such that it does not directly shine on any public right-of-way or any other residential premises. B) It shall not have an off-site luminance greater than 1,000 footlamberts, it shall not have an off-site luminance greater than 200 footlamberts measured from any private property in a residential zone.

SIGNATURE BLOCK DRB 99-237

CASE NUMBER: Z-99-70

This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) on JUNE 24, 1999 and that the findings and conditions in the Official Notification of Decision have been complied with:

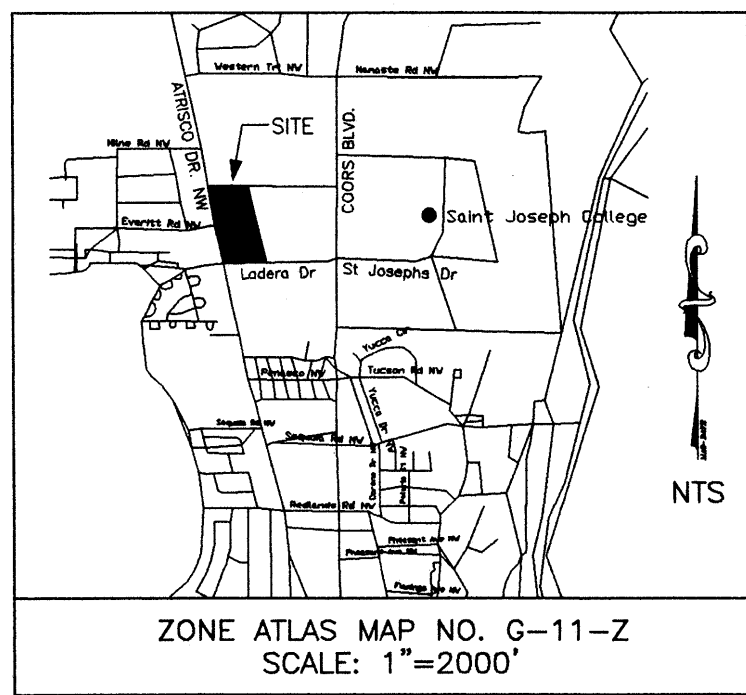
SITE DEVELOPMENT PLAN

<i>Richard Dancer</i>	8-11-99
Traffic Engineer, Transportation Division	Date
<i>Edward J. Hwang</i>	8-11-99
Design & Development, CIP	Date
<i>Roger J. Hwang</i>	9-24-99
Public Works, Utilities Development Division	Date
<i>Fred Casper</i>	10-25-99
City Engineer, Engineering Division / AMAFCA	Date

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

B.P. 11-2-99
 City Engineer, Planning Department
 11/10/99
 Date

VICINITY MAP



LEGEND

- Phase One Construction
- Future Construction
- EB Electric box.
- GV Gas valve.
- MH Man hole.
- PP Power pole.
- TSB Traffic signal box.
- TSL Traffic signal light.
- EH Fire Hydrant.
- E. Existing.
- N. New.
- T. Temporary.
- R. Ramp.
- C.S.T. Clear site triangle.
- P.L. 25' H.P.S. pole light.
- Phase 1 Building
- Proposed New Paving in City R.O.W.

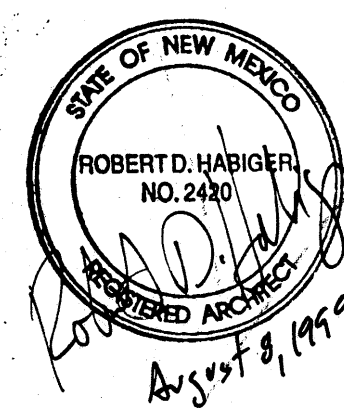
LEGAL DESCRIPTION

Tract X-1-A1, University of Albuquerque Urban Center, Albuquerque, New Mexico.

SPECIAL NOTE

The EPC retains approval authority for future phases for the subject site (site development plans for building permit purposes).

NOTE: PAVING TREATMENT SHALL BE SLIGHTLY RAISED AND TEXTURED WHERE PATHWAYS CROSS DRIVE AISLES.



RD HABIGER & ASSOCIATES, INC.
 ARCHITECTS • PLANNERS • LITURGICAL DESIGN CONSULTANTS
 ALBUQUERQUE, NEW MEXICO 87102
 201 COAL AVE SW ALBUQUERQUE, NM 87102
 TEL: 505-242-8800 FAX: 505-242-8800 E: RDH@SILICON-DESERT.COM

Saint Joseph on the Rio Grande
 Albuquerque, New Mexico

PROJECT NO: 610
 DRAWN BY: JMS
 CHECKED BY: RDH

DATE: 08/03/99

REVISIONS:

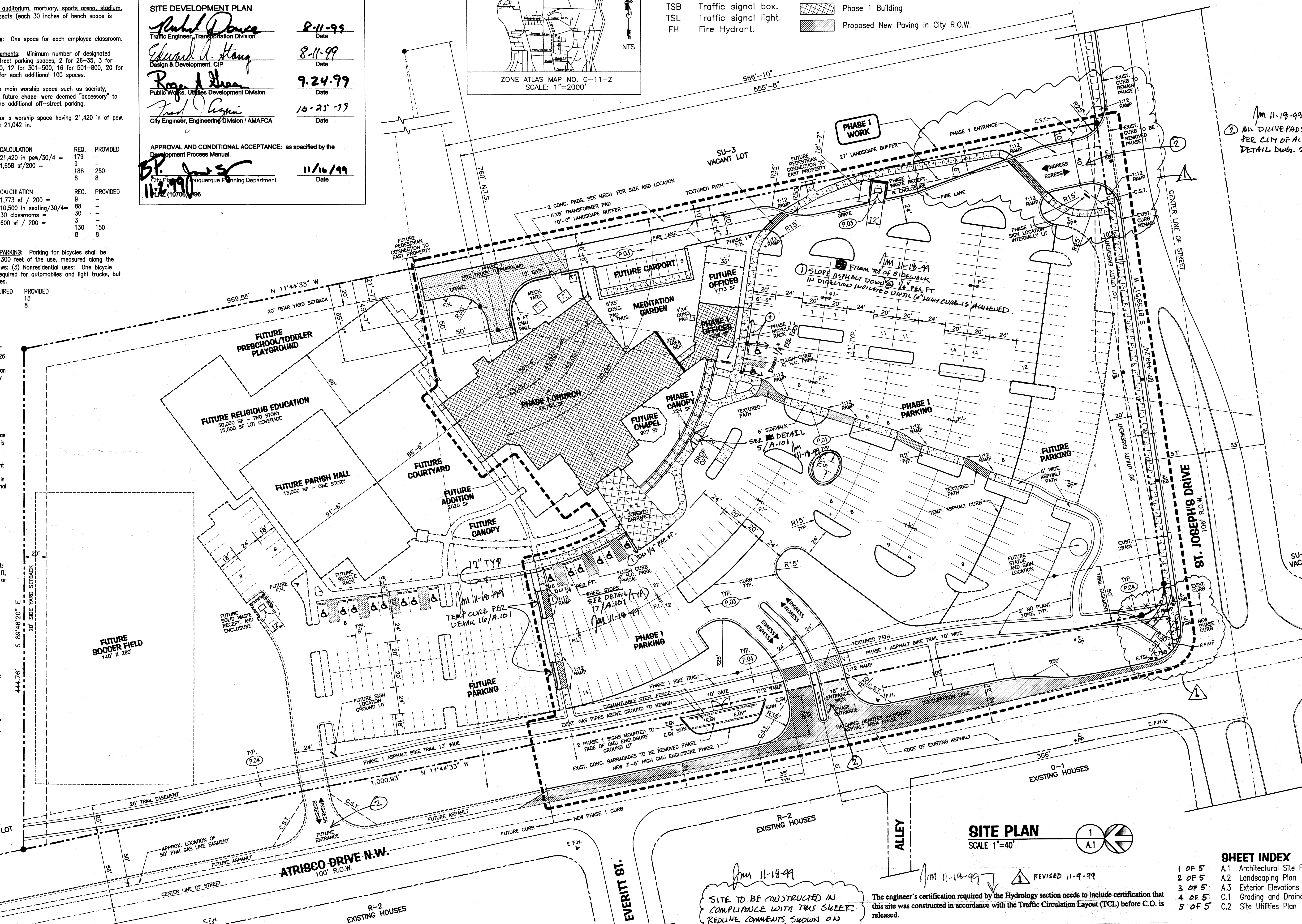
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SITE DEVELOPMENT PLAN

SHEET:

A.1

OF: 1 of 5



SITE PLAN
 SCALE 1"=40'

SHEET INDEX

1 OF 5	A.1 Architectural Site Plan
2 OF 5	A.2 Landscaping Plan
3 OF 5	A.3 Exterior Elevations
4 OF 5	C.1 Grading and Drainage Plan
5 OF 5	C.2 Site Utilities Plan

11-18-99
 SITE TO BE CONSTRUCTED IN COMPLIANCE WITH THIS SHEET. REDLINE COMMENTS SHOWN ON SHEET A.101 APPLICABLE TO THIS SHEET.

The engineer's certification required by the Hydrology section needs to include certification that this site was constructed in accordance with the Traffic Circulation Layout (TCL) before C.O. is released.

FINAL EPC / DRB 1"=40'-0" 40' 0 40' 80' 120'

PLANT SCHEDULE					
SYMBOL	COMMON NAME	BOTANICAL NAME	DIAMETER FT.	WATER USAGE	METHOD IRRIGATION
JP	JAPANESE PAGODA	KOELREUTERIA PANICULATA	25	M	BUBBLER
PN	PINON	PINUS EDULIS	20	M	BUBBLER
C	CHINESE PISTACHE	PISTACHIA CHINENSIS	60	H	BUBBLER
O	TEXAS RED OAK	QUERCUS TEXANA	40	H	BUBBLER
L	LITTLELEAF LINDEN	TILIA CORDATA	40	H	BUBBLER
A	AUSTRIAN PINE	PINUS NIGRA	35	H	BUBBLER
R	WESTERN REDBUD	CERCIS OCCIDENTALIS	16	M	BUBBLER
D	DESERT WILLOW	CHILOPSIS LINEARIS	25	L	DRIP
N	NEW MEXICO OLIVE	FORESTIERA NEOMEXICANA	20	L	DRIP
P	PROSTRATE ROSEMARY	ROSMARINUS OFFICINALIS	2	M	BUBBLER
S	GREEN SANTOLINA	SANTOLINA VIRENS	3	L	DRIP
SS	SILVER SAGE	ARTEMISA CANA	3	L	DRIP
LC	LAVENDER COTTON	SANTOLINA CHAMAECYPARISSUS	3	L	DRIP
AP	APACHE PLUME	FALLUGIA PARADOXA	8	L	DRIP
J	JUNIPERS	JUNIPERUS	3	M	BUBBLER
CS	CHERRY SAGE	SALVA GREGGII	3	M	BUBBLER
JB	JAPANESE BARBERRY	BERBERIS THUNBERGII	3	M	BUBBLER
CR	CLIFFROSE	COENANNA MEXICANA	10	L	DRIP
LI	COMMON LILAC	SYRINGA VULGARIS	8	H	DRIP
SP	LITTLE PRINCESS SPIREA	SPIREA JAPONICA	2	H	DRIP
PI	PINON	PINUS EDULIS	15	L	BUBBLER
HJ	HETZ JUNIPER	JUNIPERUS HETZII	10	M	DRIP
PB	PERENNIAL BED				BUBBLER
BM	BARK MULCH				
TW	TEMP. WILDFLOWER MIX				HOSE
GM	GRAVEL MULCH				
BBG	BUFFALO/BLUEGRAMMA MIX			L/M	SPRINKLED
W	WILDFLOWER MIX				HOSE
RS	RUSSIAN SAGE				
G	NATURAL GRASS MIX				HOSE

GENERAL NOTES

1. Wildflower areas to be seeded and straw mulched.
2. Irrigation layout to be provided at time of permit.

LAND ANALYSIS

SECTION 14-16-3-10-(E) LANDSCAPING AREA REQUIREMENTS: The total landscape area required for each development shall equal not less than 15% of the net lot area.

MATERIAL	PROPERTY AREA (SF)	ACTUAL PERCENT COVERAGE	ALLOW./REQ. PERCENT COVERAGE
Building	53,249	12%	35% MAX.
Asphalt	163,099	37%	-
Concrete	33,527	8%	-
Gravel	3,930	1%	-
Landscape	181,795	42%	15% MIN.
TOTAL	435,600		

HIGH WATER USAGE AREA: High water use landscape area is 3 percent of total landscape area.

RESPONSIBILITY FOR MAINTENANCE STATEMENT

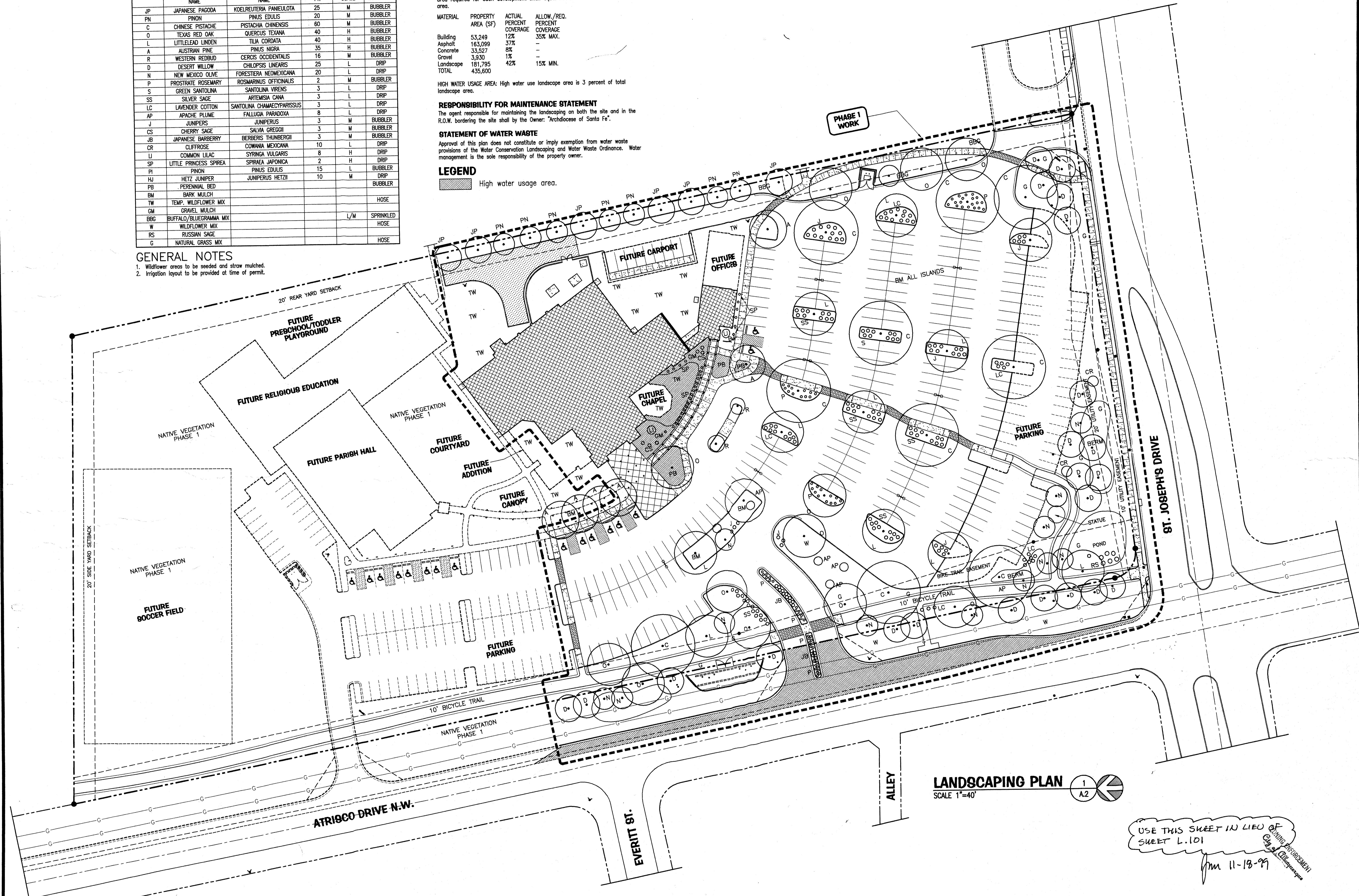
The agent responsible for maintaining the landscaping on both the site and in the R.O.W. bordering the site shall be the Owner: "Archdiocese of Santa Fe".

STATEMENT OF WATER WASTE

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the property owner.

LEGEND

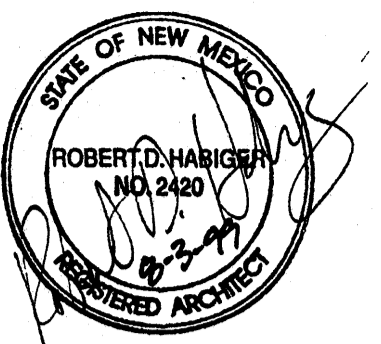
High water usage area.



LANDSCAPING PLAN
SCALE 1"=40'

USE THIS SHEET IN LIEU OF SHEET L.101
JMS 11-13-99

FINAL EPC / DRB 1"=40'-0" 40' 0 40' 80' 120'



RD HABIGER & ASSOCIATES, INC.
ARCHITECTS • PLANNERS • LITURGICAL DESIGN CONSULTANTS
281 COAL AVE SW ALBUQUERQUE NEW MEXICO 87102
TEL: 505-242-8070 FAX: 505-242-8580 EMAIL: rdhab@rdhab.com

Saint Joseph on the Rio Grande
Albuquerque, New Mexico

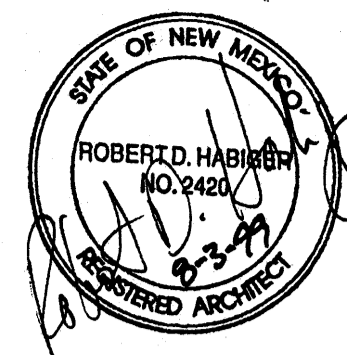
PROJECT NO: 610
DRAWN BY: JMS
CHECKED BY: RDH

DATE: 08/03/99

REVISIONS:
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LANDSCAPING PLAN

SHEET:
A.2
OF: 2 OF 5



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 301 COVINGTON AVE. S.W. ALBUQUERQUE, NEW MEXICO 87102
 TEL: 505-242-8870 FAX: 505-242-8888 EMAIL: rdh@rdhaec.com

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Albuquerque, New Mexico

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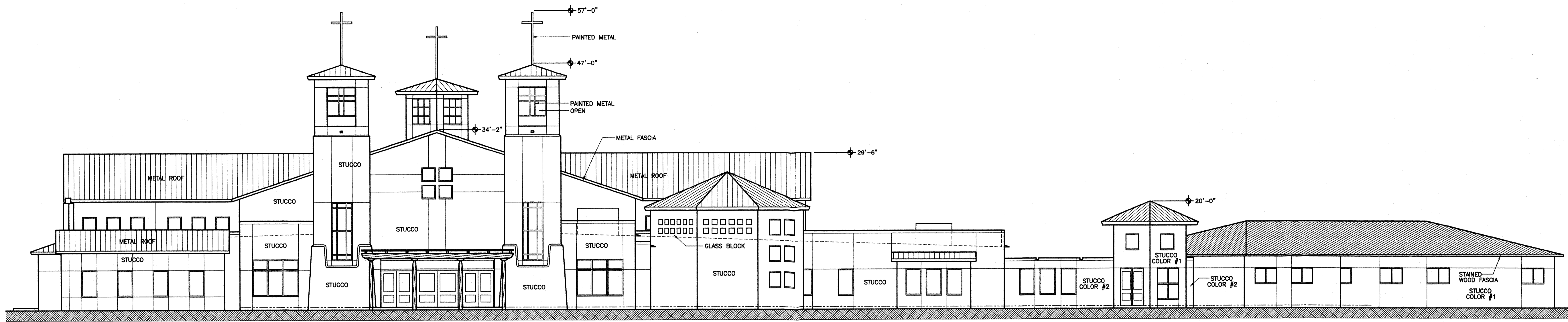
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EXTERIOR ELEVATIONS

SHEET:

A3

OF: 3 OF 5

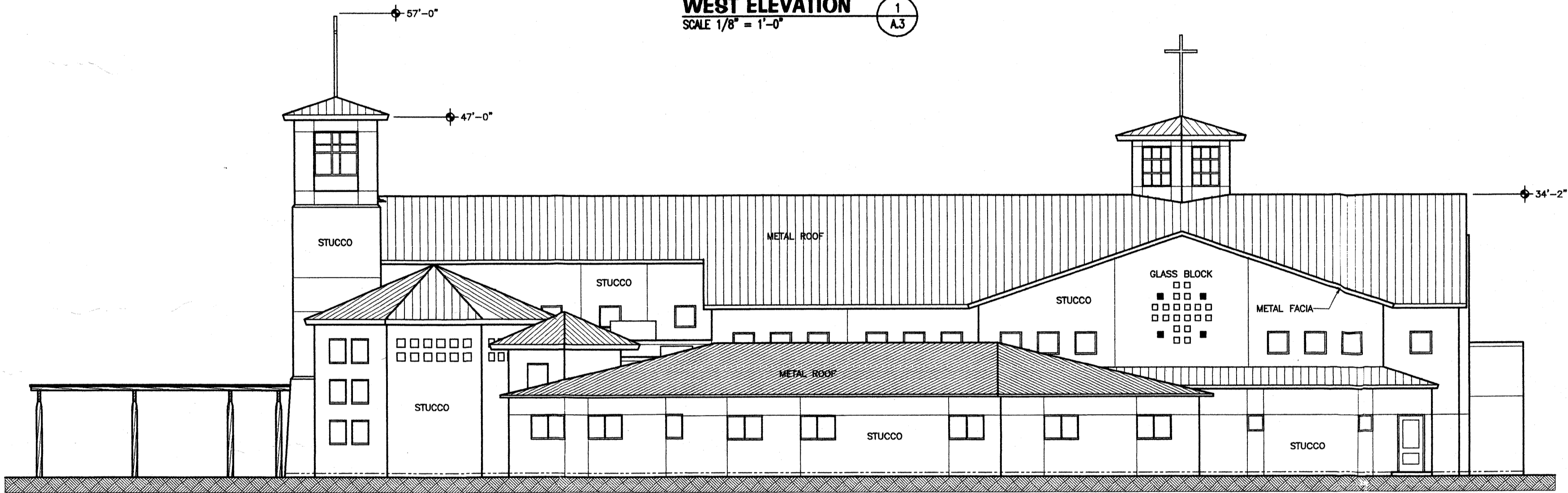


WEST ELEVATION
 SCALE 1/8" = 1'-0"
 1 A3

OVERALL LENGTH THIS ELEVATION: 296'

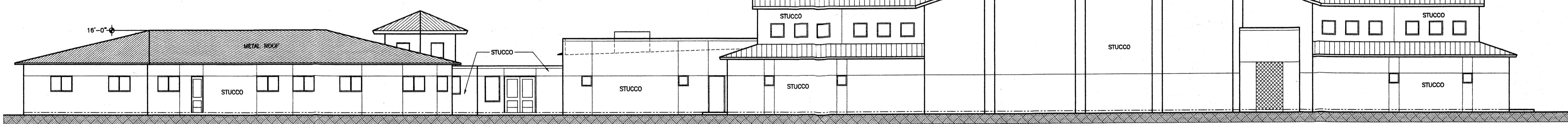
MATERIALS AND COLORS

- EXTERIOR WALLS**
Stucco, manufacturer's standard earth tones incl Rey #814, #352, and #840.
- EXTERIOR BEAMS & POSTS**
Wood, natural or stained neutral color.
- GRILL WORK ON TOWERS**
White or match to adjacent stucco color.
- PITCHED ROOFS**
Metal panels: Berridge, Terra-Cotta
- WINDOWS & WINDOWS**
Aluminum clad wood, aluminum storefront, and metal, white.



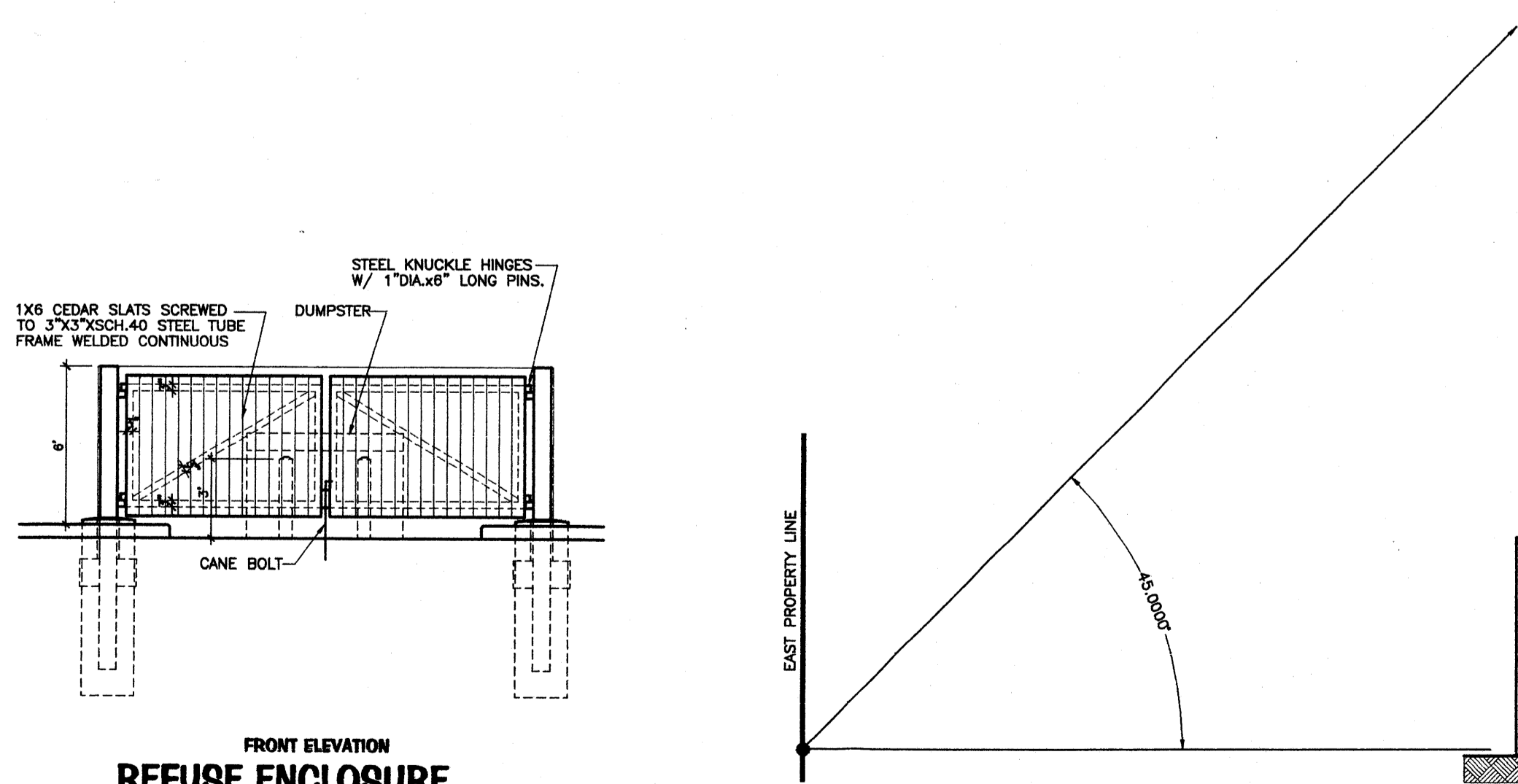
SOUTH ELEVATION
 SCALE 1/8" = 1'-0"
 2 A3

OVERALL LENGTH THIS ELEVATION: 186'

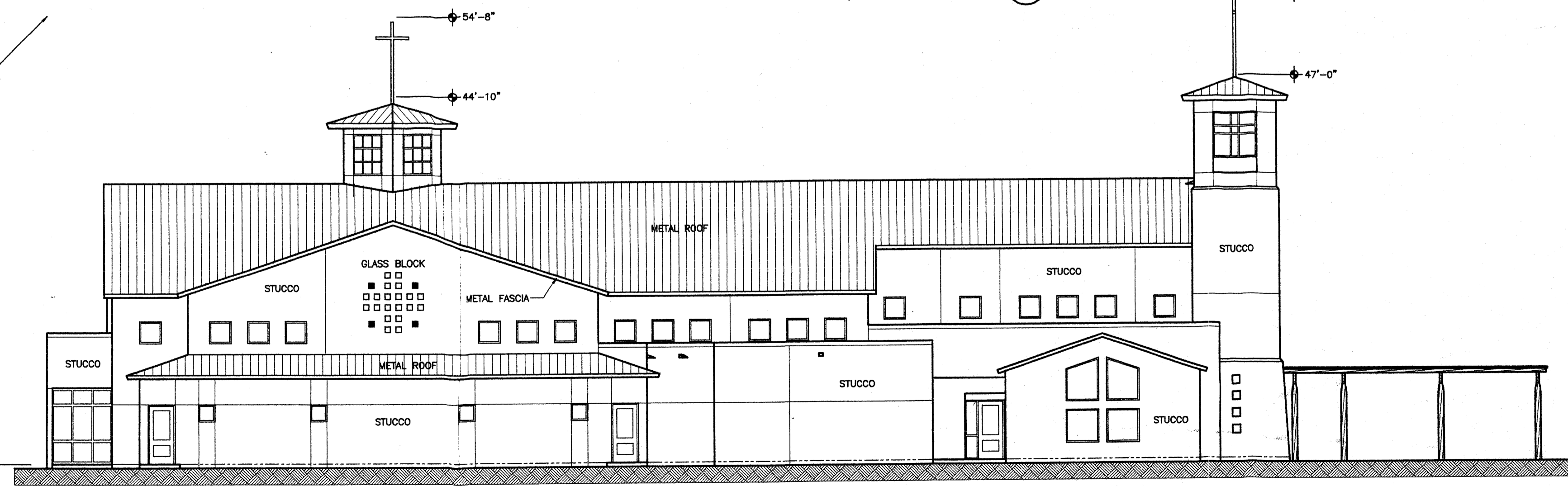


EAST ELEVATION
 SCALE 1/8" = 1'-0"
 3 A3

OVERALL LENGTH THIS ELEVATION: 296'



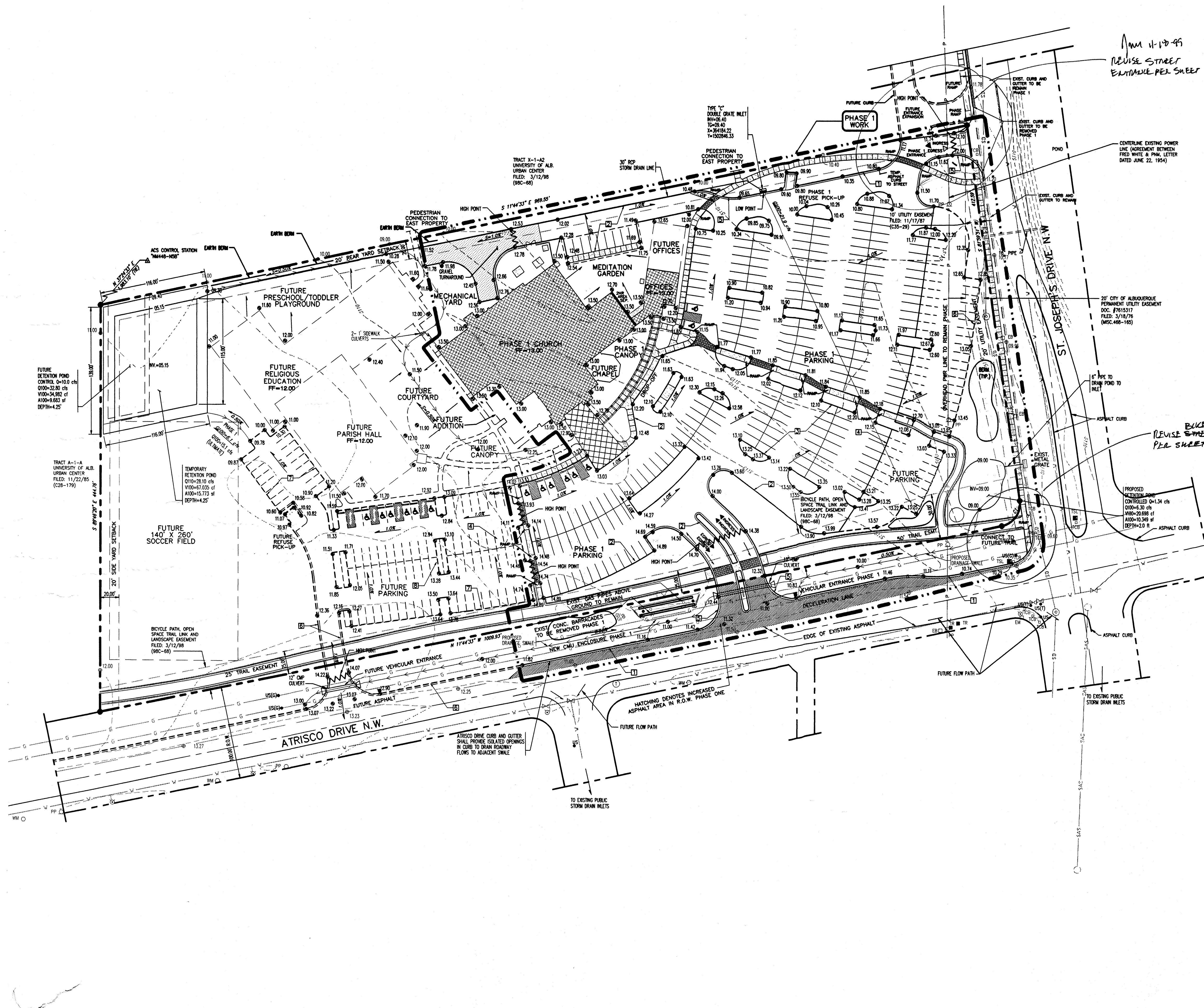
FRONT ELEVATION REFUSE ENCLOSURE



NORTH ELEVATION
 SCALE 1/8" = 1'-0"
 4 A3

OVERALL LENGTH THIS ELEVATION: 186'

FINAL EPC / DRB 3/32" = 1'-0" 10' 0 10' 20' 30'

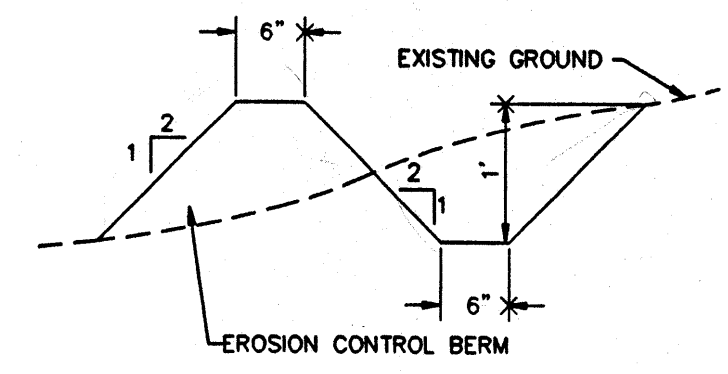


GENERAL NOTES

1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATION AS NOTED IN THE SOILS REPORT PREPARED BY GEO-TEST, INC. DATED _____
3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AS PER DETAIL SHEET 3 AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
5. ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
6. BOULDERS, GREATER THAN 3 FEET IN DIAMETER, EXCAVATED DURING GRADING ACTIVITIES SHALL BE STOCKPILED AND DISPOSED OF AT THE DISCRETION OF THE OWNER.

KEYED GENERAL NOTES

- 1. STANDARD CURB AND GUTTER AS PER COA STD DWG 2415
- 2. MEDIAN CURB AND GUTTER AS PER COA STD DWG 2415
- 3. 6" PINNED CURB AND GUTTER (TYP. ON ISLANDS) AS PER COA STD DWG 2415
- 4. TEMPORARY ASPHALT CURB (PHASE 1)
- 5. TRANSITION FROM STANDARD CURB AND GUTTER TO 6" MEDIAN CURB AND GUTTER
- 6. FUTURE STANDARD CURB AND GUTTER AS PER COA STD DWG 2415
- 7. MEDIAN CURB AND GUTTER AS PER COA STD DWG 2415
- 8. 6" PINNED CURB AND GUTTER (TYP. ON ISLANDS) AS PER COA STD DWG 2415

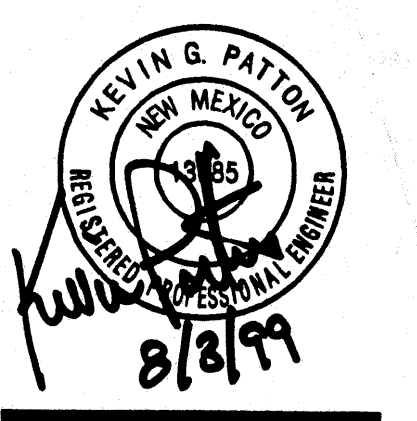
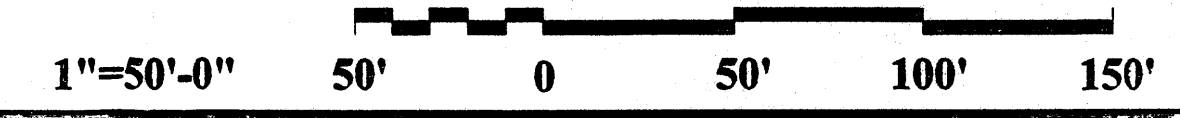
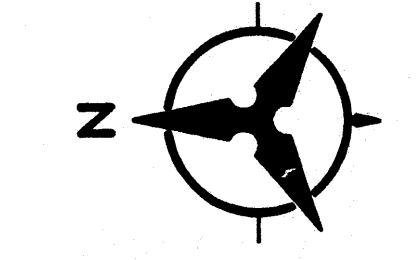


TYPICAL EROSION CONTROL SECTION
N.T.S.

A BERM WITH THE DIMENSIONS SHOWN SHALL BE MAINTAINED ALONG THE PROPERTY LINE DURING CONSTRUCTION, UNTIL COMPLETION OF THE PROJECT.

DESIGNED IN ACCORDANCE WITH MASTER DRAINAGE PLAN FOR ALTA FE WEST AND ARCHDIOCESE OF SANTA FE PROPERTIES NEAR ST. PIUS HIGH SCHOOL OCTOBER 21, 1997

ROUGH GRADING (±0.5')
APPROVED FOR ROUGH GRADING DATE



Bohannon & Huston
 Company One 7500 REEFSON NE Albuquerque NEW MEXICO 87109
 ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

Saint Joseph on the Rio Grande
 Albuquerque, New Mexico

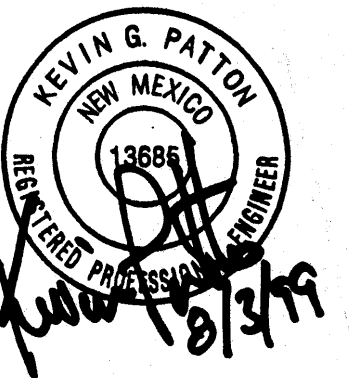
PROJECT NO: 99520A03
 DRAWN BY: BS
 CHECKED BY: KGP

DATE: 07/16/99

- REVISIONS:
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FINAL GRADING & DRAINAGE PLAN

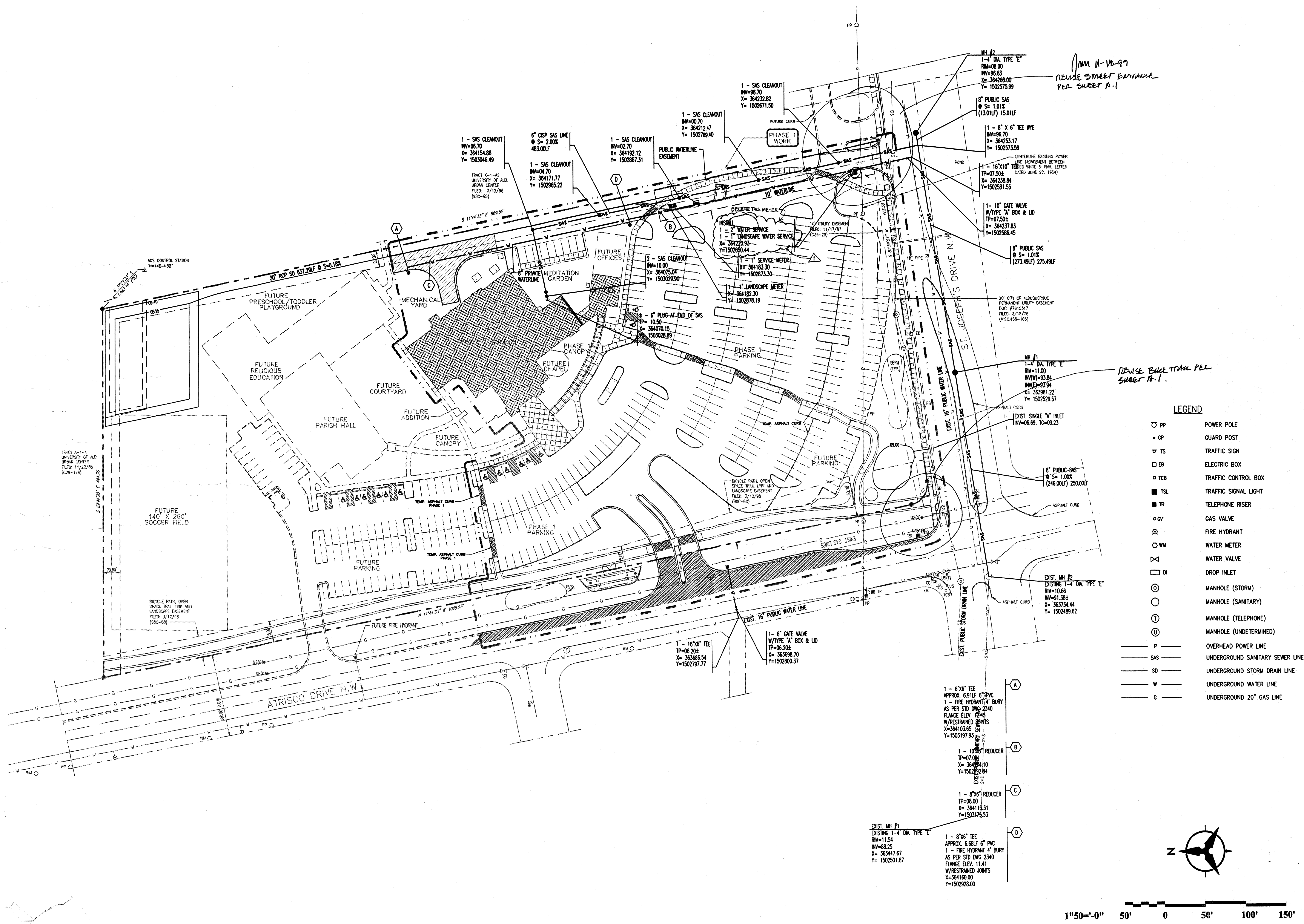
SHEET:
C.1
 OF: 4 OF 5



Bohman + Huston
 Civil/One 7500 Jefferson NE Albuquerque, New Mexico 87109
 ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

Saint Joseph on the Rio Grande
 Albuquerque, New Mexico

PROJECT NO: 99520A04
 DRAWN BY: BS
 CHECKED BY: KGP
 DATE: 07/16/99
 REVISIONS:
 ▲ SEPTEMBER 24, 1999
 ▲
 ▲
 ▲
 SITE UTILITY PLAN
 SHEET:
C.2
 OF: 5 OF 5



PARKING REQUIREMENTS

SECTION 14-16-3-1-(A) OFF-STREET PARKING REGULATIONS:

- (3) Church or other place of worship: One space for each four seats in main room (each 30 inches of pew space is considered one seat).
- (21) Offices: One space per 200 square feet of net leasable area on the ground floor and one space per 300 square feet of net leasable area in the basement areas and on all floors above the first floor.
- (22) Public assembly place, such as auditorium, mortuary, sports arena, stadium, or theater: One space for each four seats (each 30 inches of bench space is considered one seat).
- (28) School - elementary and middle: One space for each employee classroom.
- (E)-(5)-(a) Handicap Parking Requirements: Minimum number of designated parking spaces are 1 for 1-25 off-street parking spaces, 2 for 26-35, 3 for 36-50, 4 for 51-100, 8 for 101-300, 12 for 301-500, 16 for 501-800, 20 for 801-1000, 1001 and up: 20 plus 1 for each additional 100 spaces.

Assumption 1: All spaces adjacent to main worship space such as sacristy, restrooms, future room additions, and future chapel were deemed "accessory" to the main worship space and require no additional off-street parking.
Assumption 2: The design below is for a worship space having 21,420 in. of paw. Actual design per date of this plan is 21,042 in.

CALCULATION:

PHASE 1:	OCCUPANCY	CALCULATION	REQ.	PROVIDED
Church	21,420 in paw/30/4 =	179	-	-
Offices	1,658 sf/200 =	8	8	8
Total (Handicap)			8	8

FUTURE:	OCCUPANCY	CALCULATION	REQ.	PROVIDED
Offices (expansion)	1,773 sf / 200 =	9	-	-
Parish Hall	10,500 in seating/30/4 =	88	-	-
Religious Ed. (classroom)	30 classrooms =	3	-	-
Religious Ed. (offices)	600 sf / 200 =	3	130	150
Total (Handicap)			8	8

SECTION 14-16-3-1-(B) BICYCLE PARKING: Parking for bicycles shall be provided on-site or on a site within 300 feet of the use, measured along the shortest public right-of-way, as follows: (3) Nonresidential uses: One bicycle space per each 20 parking spaces required for automobiles and light trucks, but not less than two spaces per premises.

PHASE	CALCULATION	REQUIRED	PROVIDED
Phase 1	250 spaces/20 =	13	13
Future	147 spaces/20 =	8	8

BUILDING HEIGHT

Building height is recommended to be 26' at the setback line, with heights over 26 feet falling within a 45 degree angle plane drawn from the horizontal at mean grade along each internal site boundary and adjacent public right-of-way centerline.

SECTION 14-16-3-3-(A)-(1): Height regulations in this Zoning Code do not apply to: bellies, church spires, flag poles, flags, monuments, ornamental towers and spires, and religious signs as specified in 14-16-3-5-(D)-(4) of this Zoning Code. (Gen. Reg.)

SECTION 14-16-3-3-(A)-(2): A height variance may be approved for the following structures even though there is not a minimal showing as to exceptional physical condition: chimneys, cupolas and domes. (Gen. Reg.)

SECTION 14-16-3-3-(A)-(7): Building Height Limitations to Preserve Solar Access. (a) The building height shall not exceed the following heights, determined by the distance cardinal south from the northern boundary of the lot as follows: Lot line 0-5 ft: height 10 ft, 5-10 ft: 11 ft, 10-15 ft: 14 ft, 15-20 ft: 17 ft, 20-25 ft: 20 ft, 25-30 ft: 23 ft, 30-35 ft: 25 ft, 35 or more: 26 ft.

AREA LIGHTING REGULATIONS

BASIC DESIGN CRITERIA: Lighting should be sufficient to provide "safe" levels of parking lot and pedestrian area lighting within the bounds of compliance with city ordinances concerning spill-over and direct lines of vision to luminaires. Lighting fixtures should be of scale appropriate to the individual development but in no case greater than 20 feet in overall height above grade.

SECTION 14-16-3-9: AREA LIGHTING: Area lighting, including parking lighting, shall be arranged so that: A) The location of the lighting fixture together with its cut-off angle shall be such that it does not directly shine on any public right-of-way or any other residential premises; B) It shall not have an off-site luminance greater than 1,000 footcandle, it shall not have an off-site luminance greater than 200 footcandle measured from any private property in a residential zone.

SIGNATURE BLOCK DRB 99-237

CASE NUMBER: Z-99-70

This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) on **JUNE 24, 1999** and that the findings and conditions in the Official Notification of Decision have been complied with:

SITE DEVELOPMENT PLAN

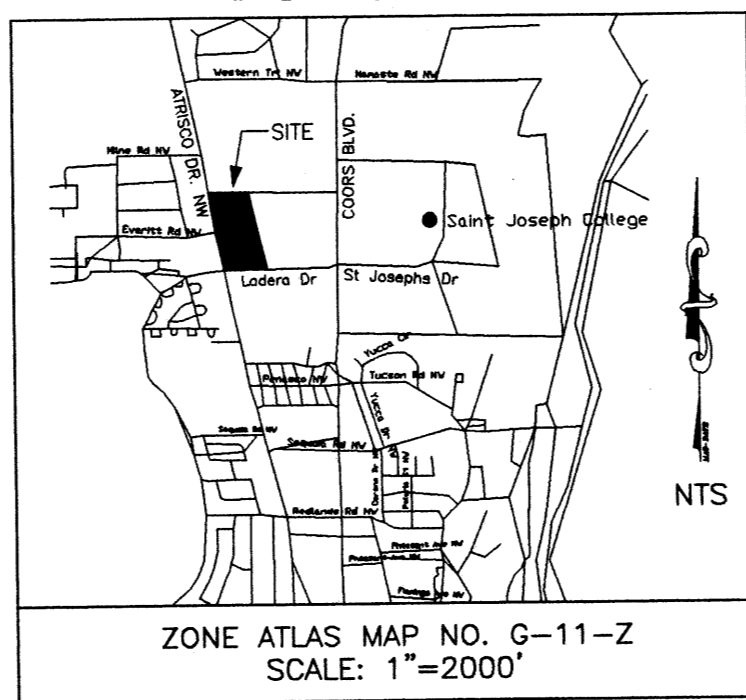
<i>Richard Dancer</i>	8-11-99
Traffic Engineer, Transportation Division	Date
<i>Edward A. Hany</i>	8-11-99
Design & Development, CIP	Date
<i>Roger J. Sloan</i>	9-24-99
Public Works, Utilities Development Division	Date
<i>Frank J. Capin</i>	10-25-99
City Engineer, Engineering Division / AMAFCA	Date

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

BP
11-2-99
City Planning Department

11/16/99
Date

VICINITY MAP



LEGEND

- Phase One Construction
- Future Construction
- EB Electric box.
- GV Gas valve.
- MH Man hole.
- PP Power pole.
- TSB Traffic signal box.
- TSL Traffic signal light.
- FH Fire Hydrant.
- E. Existing.
- N. New.
- T. Temporary.
- R. Ramp.
- C.S.T. Clear site triangle.
- P.L. 25' H.P.S. pole light.
- Phase 1 Building
- Proposed New Paving in City R.O.W.

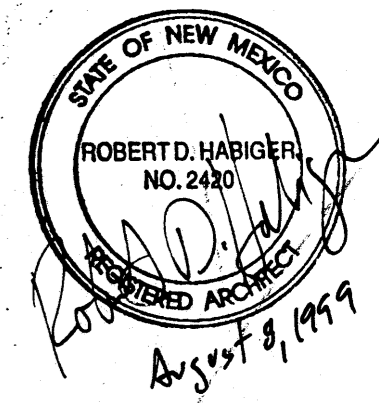
LEGAL DESCRIPTION

Tract X-1-A1, University of Albuquerque Urban Center, Albuquerque, New Mexico.

SPECIAL NOTE

The EPC retains approval authority for future phases for the subject site (site development plans for building permit purposes).

NOTE: PAVING TREATMENT SHALL BE SMOOTH RAISED AND TEXTURED WHERE PATHWAYS CROSS DRIVE AISLES.



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TEL: 505-242-8070 FAX: 505-242-8580 E: RDHA@SILICONC.COM

Saint Joseph on the Rio Grande
Albuquerque, New Mexico

PROJECT NO: 610
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CHECKED BY: RDH

DATE: 08/03/99

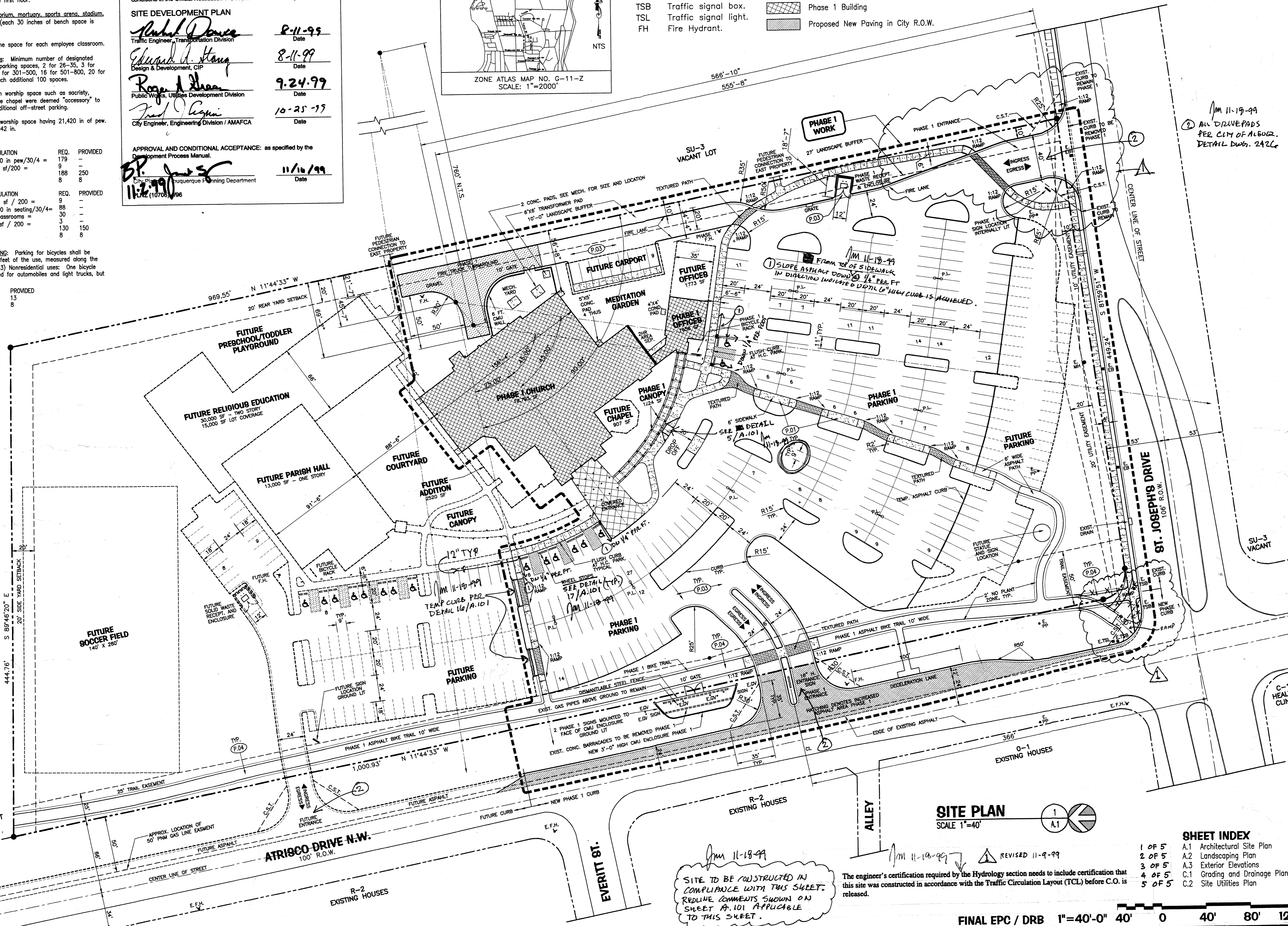
REVISIONS:

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SITE DEVELOPMENT PLAN

SHEET:

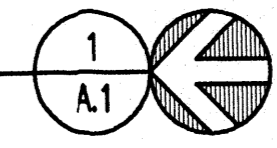
A.1
OF: 1 OF 5



11-18-99
SITE TO BE CONSTRUCTED IN COMPLIANCE WITH THIS SHEET. REDLINE COMMENTS SHOWN ON SHEET A.101 APPLICABLE TO THIS SHEET.

The engineer's certification required by the Hydrology section needs to include certification that this site was constructed in accordance with the Traffic Circulation Layout (TCL) before C.O. is released.

SITE PLAN
SCALE 1"=40'



REVISED 11-9-99

SHEET INDEX

1 OF 5	A.1 Architectural Site Plan
2 OF 5	A.2 Landscaping Plan
3 OF 5	A.3 Exterior Elevations
4 OF 5	C.1 Grading and Drainage Plan
5 OF 5	C.2 Site Utilities Plan

FINAL EPC / DRB 1"=40'-0" 40' 0 40' 80' 120'

PLANT SCHEDULE					
SYMBOL	COMMON NAME	BOTANICAL NAME	DIAMETER FT.	WATER USAGE	METHOD IRRIGATION
JP	JAPANESE PAGODA	KOELREUTERIA PANICULATA	25	M	BUBBLER
PN	PINON	PINUS EDULIS	20	M	BUBBLER
C	CHINESE PISTACHE	PISTACHIA CHINENSIS	60	M	BUBBLER
O	TEXAS RED OAK	QUERCUS TEXANA	40	H	BUBBLER
L	LITTLELEAF LINDEN	TILIA CORDATA	40	H	BUBBLER
A	AUSTRIAN PINE	PINUS NIGRA	35	H	BUBBLER
R	WESTERN REDBUD	CERCIS OCCIDENTALIS	16	M	BUBBLER
D	DESERT WILLOW	CHILOPSIS LINEARIS	25	L	DRIP
N	NEW MEXICO OLIVE	FORESTIERA NEOMEXICANA	20	L	DRIP
P	PROSTRATE ROSEMARY	ROSMARINUS OFFICINALIS	2	M	BUBBLER
S	GREEN SANTOLINA	SANTOLINA VIRENS	3	L	DRIP
SS	SILVER SAGE	ARTEMISA CANA	3	L	DRIP
LC	LAVENDER COTTON	SANTOLINA CHAMAECYPARISSIS	3	L	DRIP
AP	APACHE PLUME	FALLUGIA PARADOXA	8	L	DRIP
J	JUNIPERS	JUNIPERUS	3	M	BUBBLER
CS	CHERRY SAGE	SALVA GREGGII	3	M	BUBBLER
JB	JAPANESE BARBERRY	BERBERIS THUNBERGII	3	M	BUBBLER
CR	CLIFFROSE	COYAWA MEXICANA	10	L	DRIP
LJ	COMMON LILAC	SYRIRGA VULGARIS	8	H	DRIP
SP	LITTLE PRINCESS SPIREA	SPRAEA JAPONICA	2	H	DRIP
PI	PINON	PINUS EDULIS	15	L	BUBBLER
HJ	HETZ JUNIPER	JUNIPERUS HETZII	10	M	DRIP
PB	PERENNIAL BED				BUBBLER
BM	BARK MULCH				
TW	TEMP. WILDFLOWER MIX				HOSE
GM	GRAVEL MULCH				
BBG	BUFFALO/BLUEGRAMMA MIX			L/M	SPRINKLED
W	WILDFLOWER MIX				HOSE
RS	RUSSIAN SAGE				
G	NATURAL GRASS MIX				HOSE

GENERAL NOTES

1. Wildflower areas to be seeded and straw mulched.
2. Irrigation layout to be provided at time of permit.

LAND ANALYSIS

SECTION 14-16-3-10-(E) LANDSCAPING AREA REQUIREMENTS: The total landscape area required for each development shall equal not less than 15% of the net lot area.

MATERIAL	PROPERTY AREA (SF)	ACTUAL PERCENT COVERAGE	ALLOW./REQ. PERCENT COVERAGE
Building	53,249	12%	35% MAX.
Asphalt	163,969	37%	
Concrete	33,527	8%	
Gravel	3,930	1%	
Landscape	181,795	42%	15% MIN.
TOTAL	435,600		

HIGH WATER USAGE AREA: High water use landscape area is 3 percent of total landscape area.

RESPONSIBILITY FOR MAINTENANCE STATEMENT

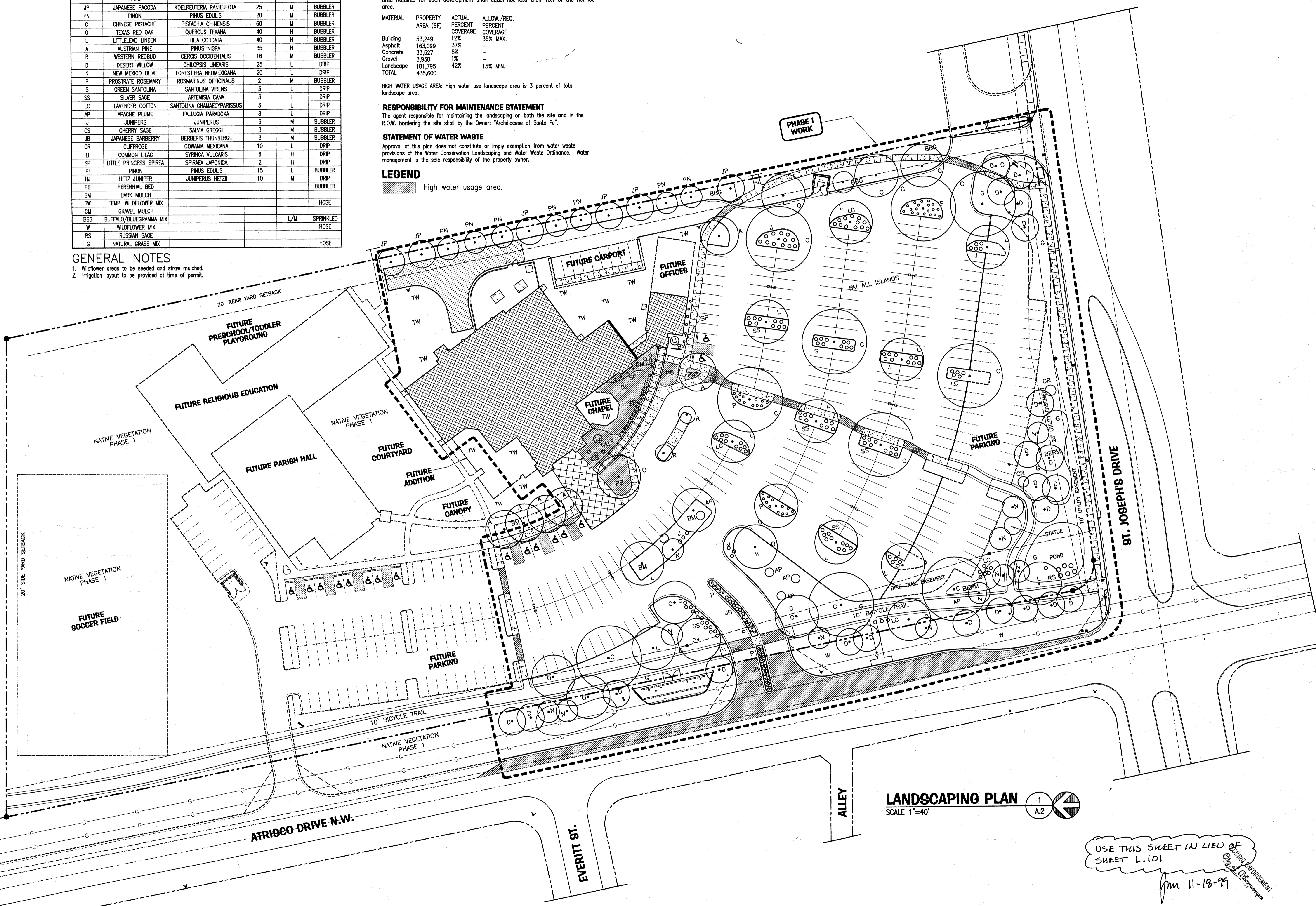
The agent responsible for maintaining the landscaping on both the site and in the R.O.W. bordering the site shall be the Owner: "Archdiocese of Santa Fe".

STATEMENT OF WATER WASTE

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the property owner.

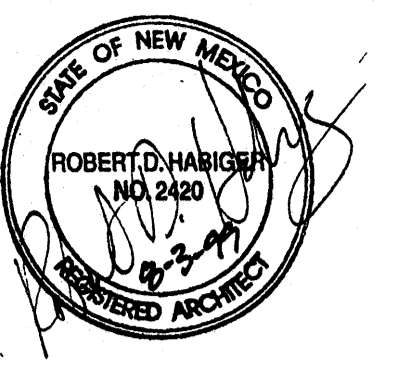
LEGEND

High water usage area.



LANDSCAPING PLAN
SCALE 1"=40'

USE THIS SHEET IN LIEU OF
SHEET L.101
Jm 11-13-99



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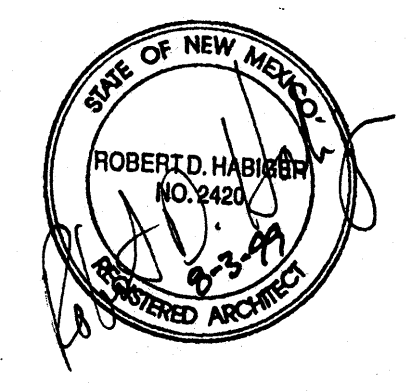
DATE: 08/03/99

REVISIONS:
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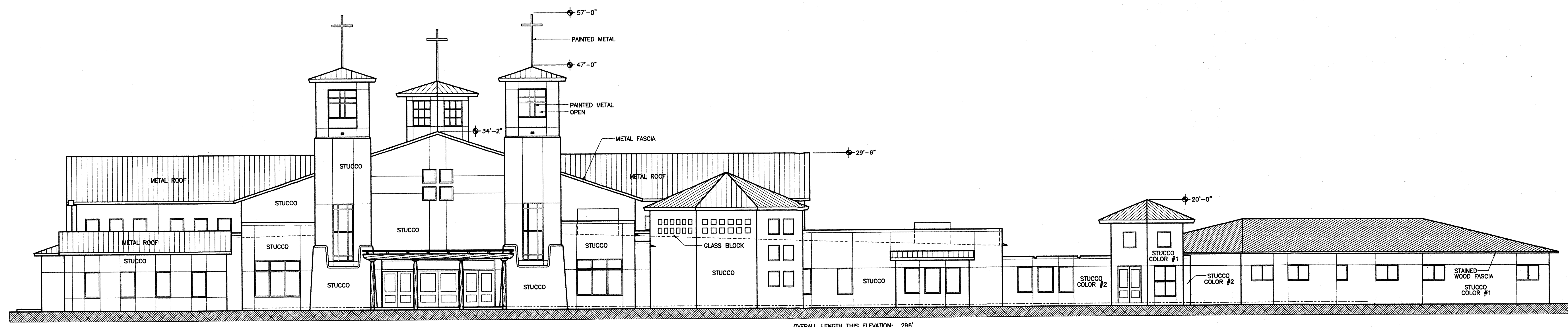
LANDSCAPING PLAN

SHEET:

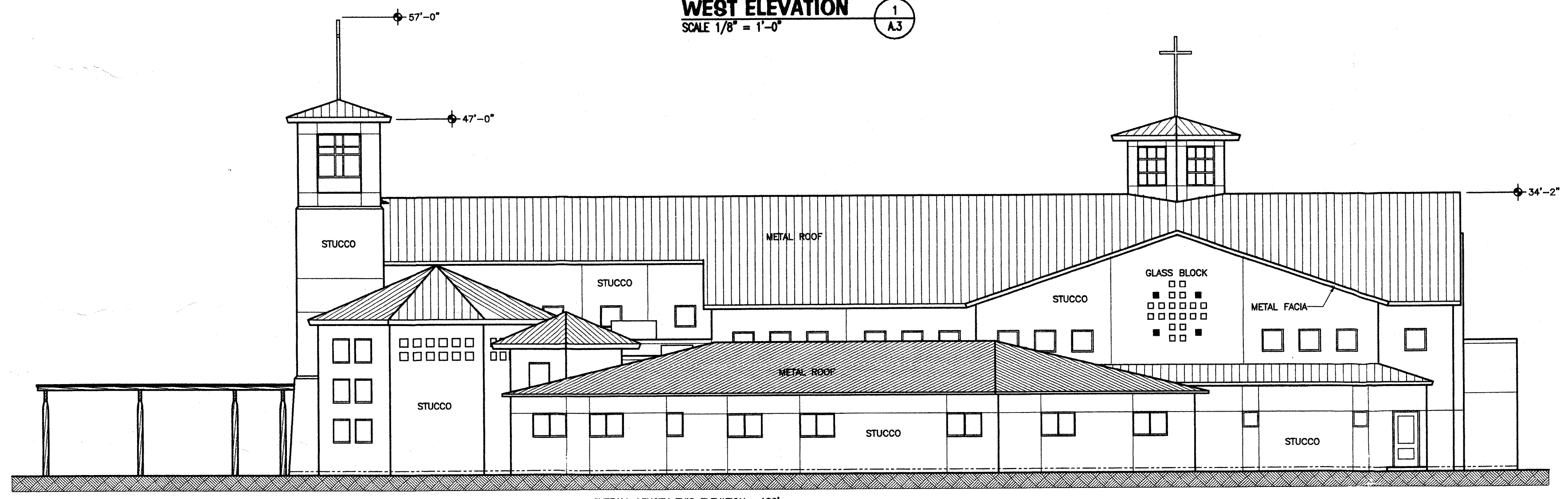
A.2
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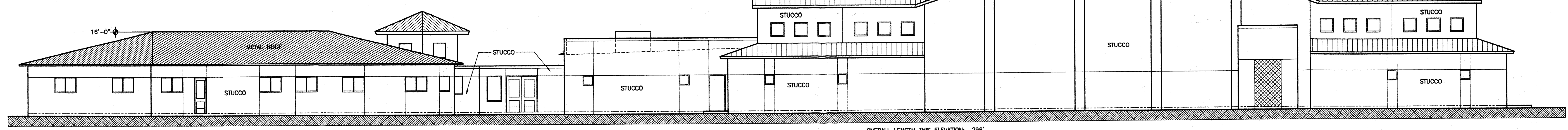


WEST ELEVATION
 SCALE 1/8" = 1'-0" (1) A.3

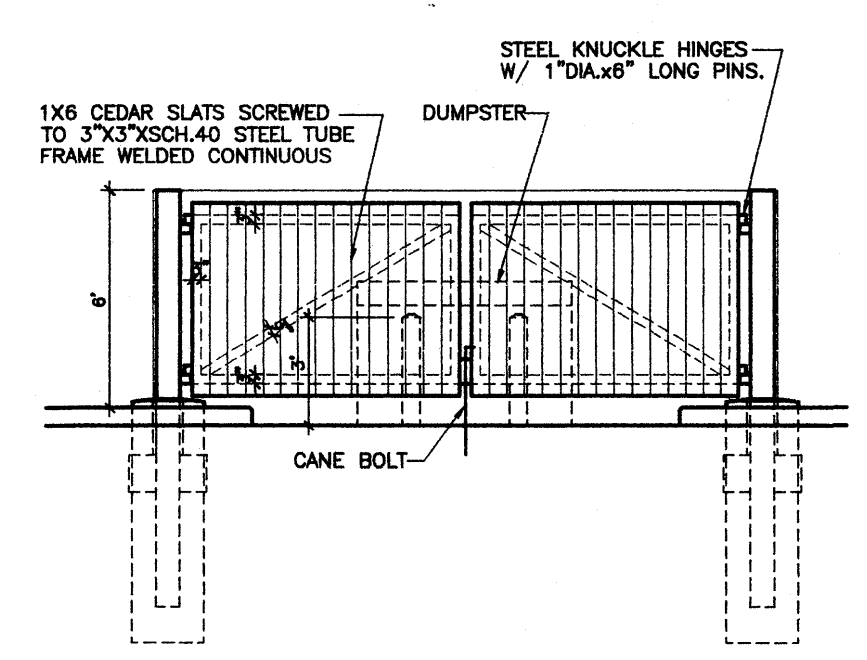


SOUTH ELEVATION
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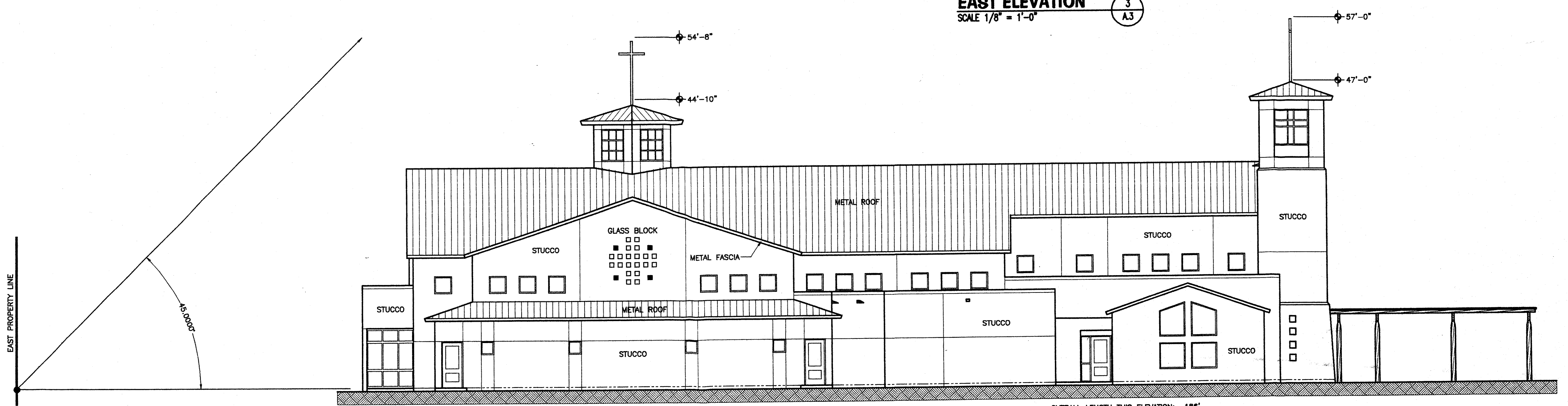
MATERIALS AND COLORS
 EXTERIOR WALLS
 Stucco, manufacturer's standard earth tones incl Rey #814, #352, and #840.
 EXTERIOR BEAMS & POSTS
 Wood, natural or stained neutral color.
 GRILL WORK ON TOWERS
 White or match to adjacent stucco color.
 PITCHED ROOFS
 Metal panels: Berridge, Terra-Cotta
 WINDOWS & DOORS
 Aluminum clad wood, aluminum storefront, and metal, white.



EAST ELEVATION
 SCALE 1/8" = 1'-0" (3) A.3



FRONT ELEVATION REFUSE ENCLOSURE



NORTH ELEVATION
 SCALE 1/8" = 1'-0" (4) A.3

FINAL EPC / DRB 3/32" = 1'-0" 10' 0 10' 20' 30'

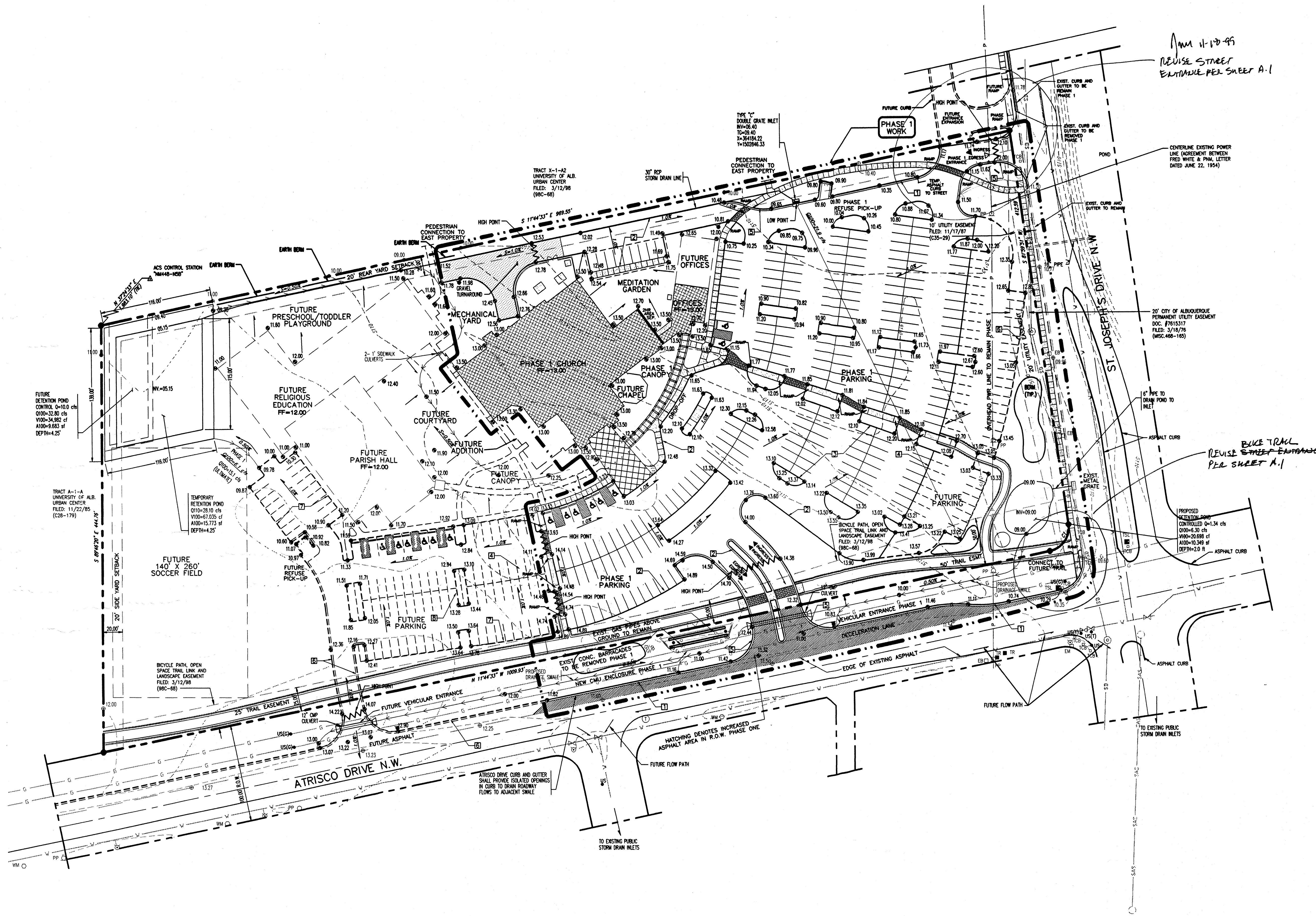
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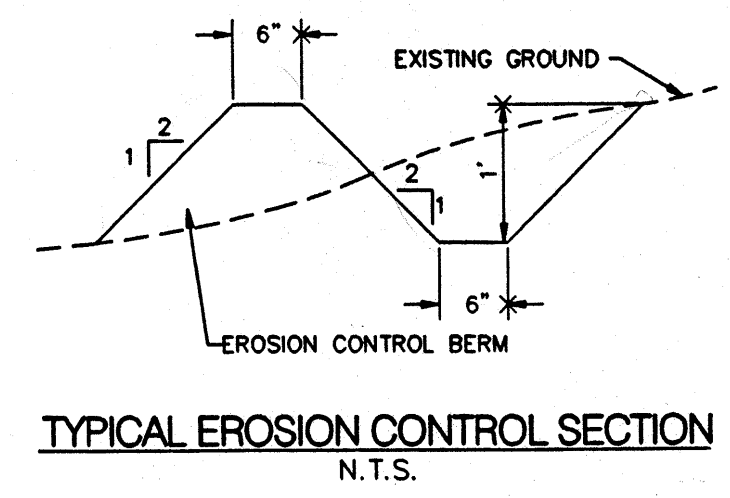
EXTERIOR ELEVATIONS

SHEET:
A.3
 OF: 3 OF 5



- GENERAL NOTES**
1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
 2. THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATION AS NOTED IN THE SOILS REPORT PREPARED BY GEO-TEST, INC. DATED -----
 3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL BEST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
 4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AS PER DETAIL SHEET 3 AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
 5. ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
 6. BOULDERS GREATER THAN 3 FEET IN DIAMETER, EXCAVATED DURING GRADING ACTIVITIES SHALL BE STOCKPILED AND DISPOSED OF AT THE DISCRETION OF THE OWNER.

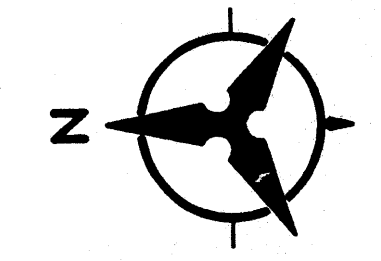
- KEYED GENERAL NOTES**
1. STANDARD CURB AND GUTTER AS PER COA STD DWG 2415
 2. MEDIAN CURB AND GUTTER AS PER COA STD DWG 2415
 3. 6" PINNED CURB AND GUTTER (TYP. ON ISLANDS) AS PER COA STD DWG 2415
 4. TEMPORARY ASPHALT CURB (PHASE 1)
 5. TRANSITION FROM STANDARD CURB AND GUTTER TO 6" MEDIAN CURB AND GUTTER
 6. FUTURE STANDARD CURB AND GUTTER AS PER COA STD DWG 2415
 7. MEDIAN CURB AND GUTTER AS PER COA STD DWG 2415
 8. 6" PINNED CURB AND GUTTER (TYP. ON ISLANDS) AS PER COA STD DWG 2415



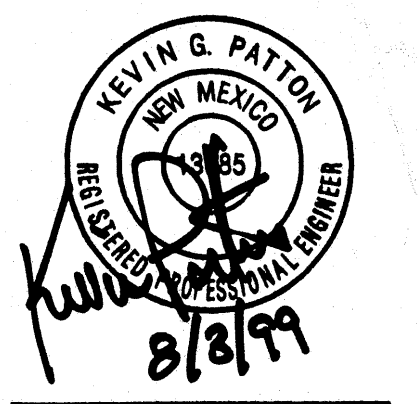
A BERM WITH THE DIMENSIONS SHOWN SHALL BE MAINTAINED ALONG THE PROPERTY LINE DURING CONSTRUCTION, UNTIL COMPLETION OF THE PROJECT.

DESIGNED IN ACCORDANCE WITH MASTER DRAINAGE PLAN FOR ALTURA WEST AND ARCHDIOCESE OF SANTA FE PROPERTIES NEAR ST. PIUS HIGH SCHOOL
OCTOBER 21, 1997

ROUGH GRADING (±0.5')
APPROVED FOR ROUGH GRADING DATE



1"=50'-0" 50' 0 50' 100' 150'



Bohannon & Hilston
 Civil Engineers
 7500 Jefferson NE Albuquerque, New Mexico 87109
 ENGINEERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

Saint Joseph on the Rio Grande
 Albuquerque, New Mexico

PROJECT NO: 99520A03
 DRAWN BY: BS
 CHECKED BY: KGP

DATE: 07/16/99

REVISIONS:
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FINAL GRADING & DRAINAGE PLAN

SHEET:
C.1
 OF: 4 OF 5



Bolhamian + Huston
 Civil Engineers
 7500 Jefferson NE, Albuquerque, New Mexico 87109
 ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

Saint Joseph on the Rio Grande
 Albuquerque, New Mexico

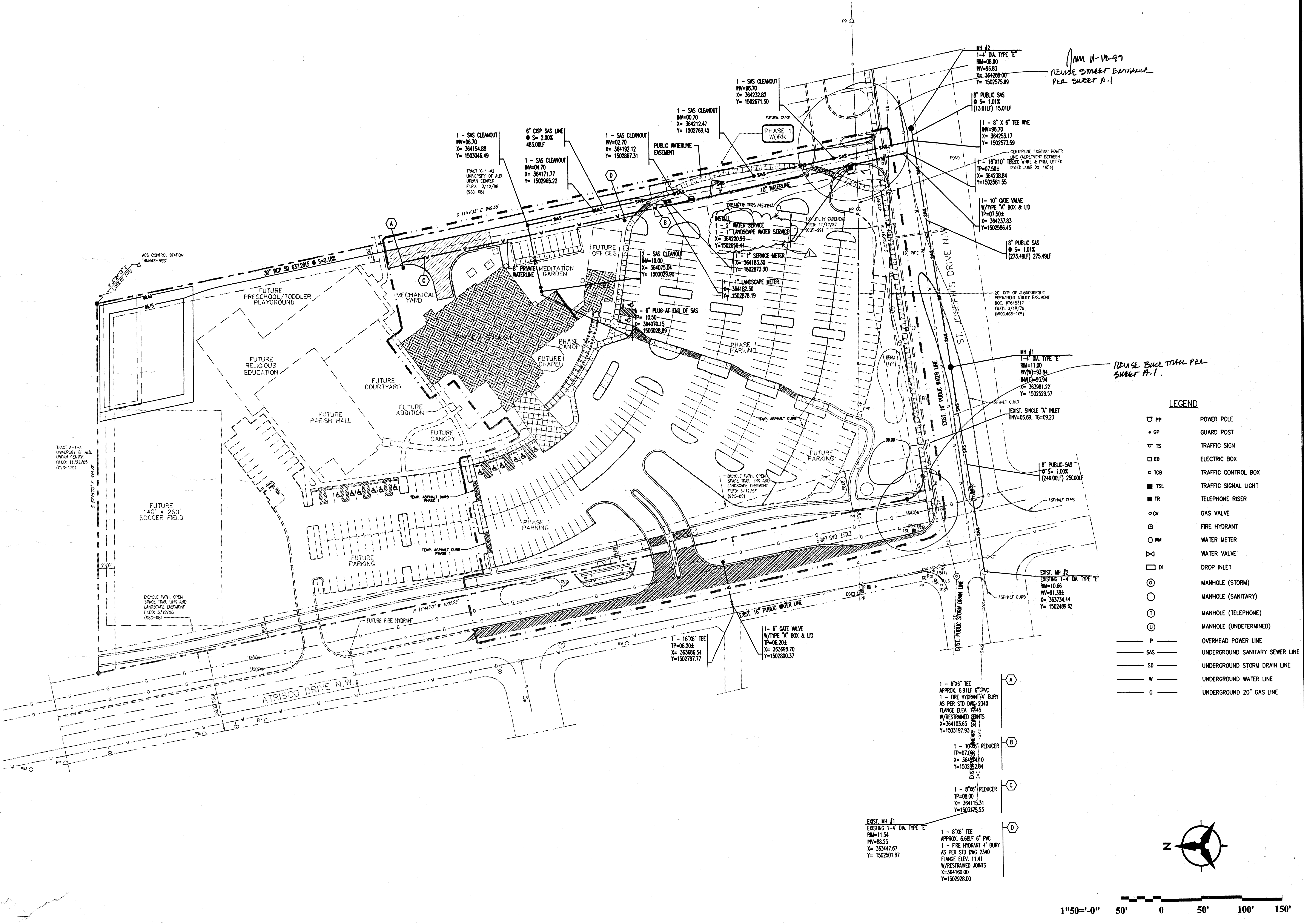
PROJECT NO: 99520A04
 DRAWN BY: BS
 CHECKED BY: KGP

DATE: 07/16/99

REVISIONS:
 ▲ SEPTEMBER 24, 1999
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SITE UTILITY PLAN

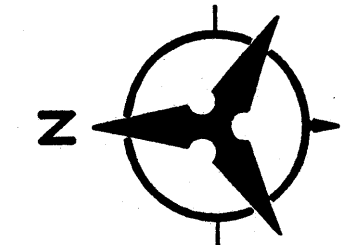
SHEET:
C.2
 OF: 5 OF 5



REVISE STREET ENTRANCE PER SHEET A.1

REVISE BIKE TRAIL PER SHEET A.1.

- LEGEND**
- ⊙ PP POWER POLE
 - GP GUARD POST
 - ▽ TS TRAFFIC SIGN
 - EB ELECTRIC BOX
 - TCB TRAFFIC CONTROL BOX
 - TSL TRAFFIC SIGNAL LIGHT
 - TR TELEPHONE RISER
 - GV GAS VALVE
 - ⊙ FH FIRE HYDRANT
 - ⊙ WM WATER METER
 - ⊗ WV WATER VALVE
 - DI DROP INLET
 - ⊙ M (S) MANHOLE (STORM)
 - ⊙ M (S) MANHOLE (SANITARY)
 - ⊙ M (T) MANHOLE (TELEPHONE)
 - ⊙ M (U) MANHOLE (UNDETERMINED)
 - P — OVERHEAD POWER LINE
 - SAS — UNDERGROUND SANITARY SEWER LINE
 - SD — UNDERGROUND STORM DRAIN LINE
 - W — UNDERGROUND WATER LINE
 - G — UNDERGROUND 20" GAS LINE



1"=0' 50' 0 50' 100' 150'