

1007017

Project Number: 1007017
 Application Number: 08DRB-70256

Is an infrastructure list required? () Yes () No. If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

- DRB Site Development Plan Approval:
- [Signature]* 7/16/08 Date
Traffic Engineering, Transportation Division
 - [Signature]* 7-16-08 Date
Environmental Health Department
 - [Signature]* 7/16/08 Date
Parks and Recreation Department
 - [Signature]* 7/16/08 Date
City Engineer
 - [Signature]* 7-16-08 Date
AB/CA/AL
 - [Signature]* 7/16/08 Date
Solid Waste Management
 - [Signature]* 7/24/08 Date
DRB Chairperson, Planning Department
Environmental Health, if necessary

Project Number: _____
 Application Number: _____

This Plan is consistent with the Master Development Plan approved by the Environmental Planning Commission (EPC), dated _____, and the Findings and Conditions in the Official Notification of Decision are satisfied.

- RED STAMPED CONCRETE
- CONCRETE
- HANDICAPPED STALL MARKER
- FIRE HYDRANT
- HANDICAPPED PARKING SIGN
- MANHOLE
- 2" WATER METER
- INCOMING TRAFFIC DIRECTION
- PARK BENCHES
- DOUBLE LIGHT POLE
- SINGLE LIGHT POLE
- PEDESTRIAN LIGHTING

LOT	SQ. FT.	ACRES
2-A-1	25,710 SQ. FT.	0.59 ACRES
2-A-2	89,560 SQ. FT.	2.03 ACRES
2-A-3	74,342 SQ. FT.	1.82 ACRES

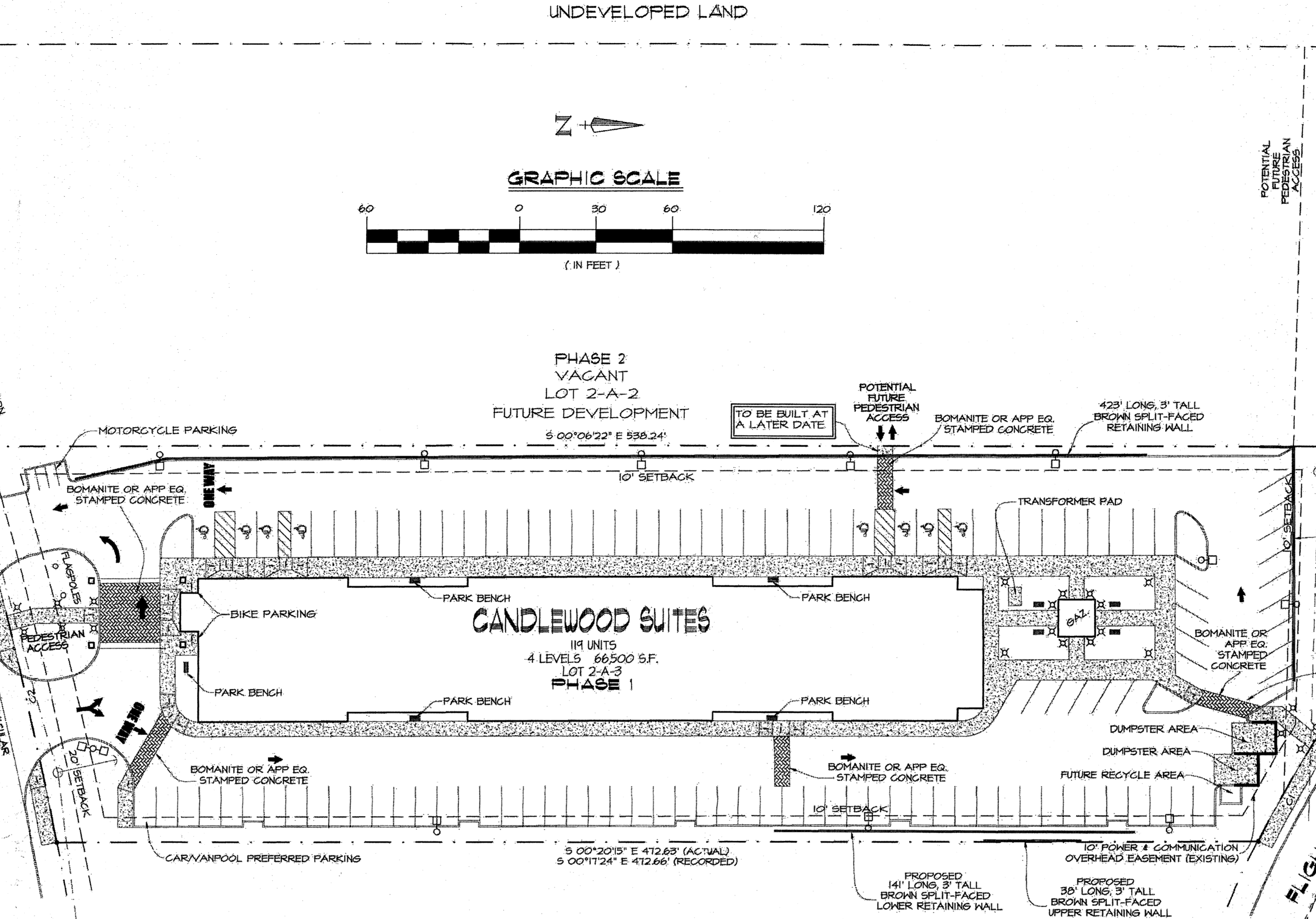
LOT	MAX BLDG. HT.	SETBACKS	F.A.R.	FOOTPRINT	LOT SIZE
	HEIGHT	FRONT SIDES REAR			
2-A-1	N/A	20' 10' 10'	N/A	N/A	25,710 SQ. FT.
2-A-2	N/A	20' 10' 10'	N/A	N/A	89,560 SQ. FT.
2-A-3	55'	20' 10' 10'	0.24	16,650 SQ. FT.	74,342 SQ. FT.

LEGEND:

disclaimer:
 These plans are intended to be read by dimensions only. Do not use use a scale. Please call Leon Lauer + Associates at 1.402.371.3333 if you need dimensional assistance.

drawn:	checked:	start date:	plot date:	approved:	updates:	revisions:
I remsing	L.K.Lauer	12.28.07	12.27.07			

Master Development Plan
 Lot 2-A, Block 2, Sunport Park
 Albuquerque, New Mexico



Master Development Plan Required Information:

Master Development Plan Background: This Master Development Plan is a proposed replat of Lot 2-A Block 2 Sunport Park into three properties: Lots 2-A-1, Lots 2-A-2, Lots 2-A-3. Phase I is a Hotel on lot 2-A-3, Phase II is a development of lot 2-A-2, and Phase III is a development of lot 2-A-1.

Site: Approximately 4.45 acres, zoned IP located in the Sunport Boulevard Design Overlay Zone.

Proposed Uses: Permissive uses shall be as follows
 Permissive Uses for Lots 2-A-1, Lot 2-A-2: Permissive uses shall be pursuant to the City of Albuquerque Industrial Park (IP) Zone. Adult amusement establishment or adult store shall not be permitted on the Property due to proximity to a residential zone (14-16-2-19(A)(1)(B)).
 Permissive Uses for Lot 2-A-3: Hotel and associated uses including guest dining and recreation areas.

Pedestrian and Vehicular Ingress and Egress: Primary site access point are indicated on the site plan. Primary vehicular and pedestrian access to the site will be as follows:
 -Lot 2-A-1 will be accessed from the north end of the property on Flightway Avenue.
 -Lot 2-A-2 will be accessed from the south end of the property on Woodward Road.
 -Lot 2-A-3 will be accessed from the south end of the property on Woodward Road.

Transit Access: Bus route 222, is located on University Boulevard and Randolph Road.

Internal Circulation: Internal sidewalks and driveways shall be provided and designed to the specifications described in the Design Standards that accompany this document and comply with applicable regulations in the Zoning Code and DPM standards. The more restrictive regulation or standard shall govern.

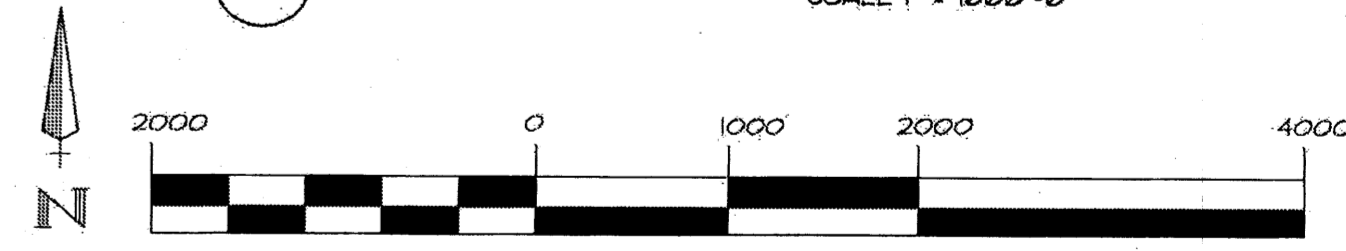
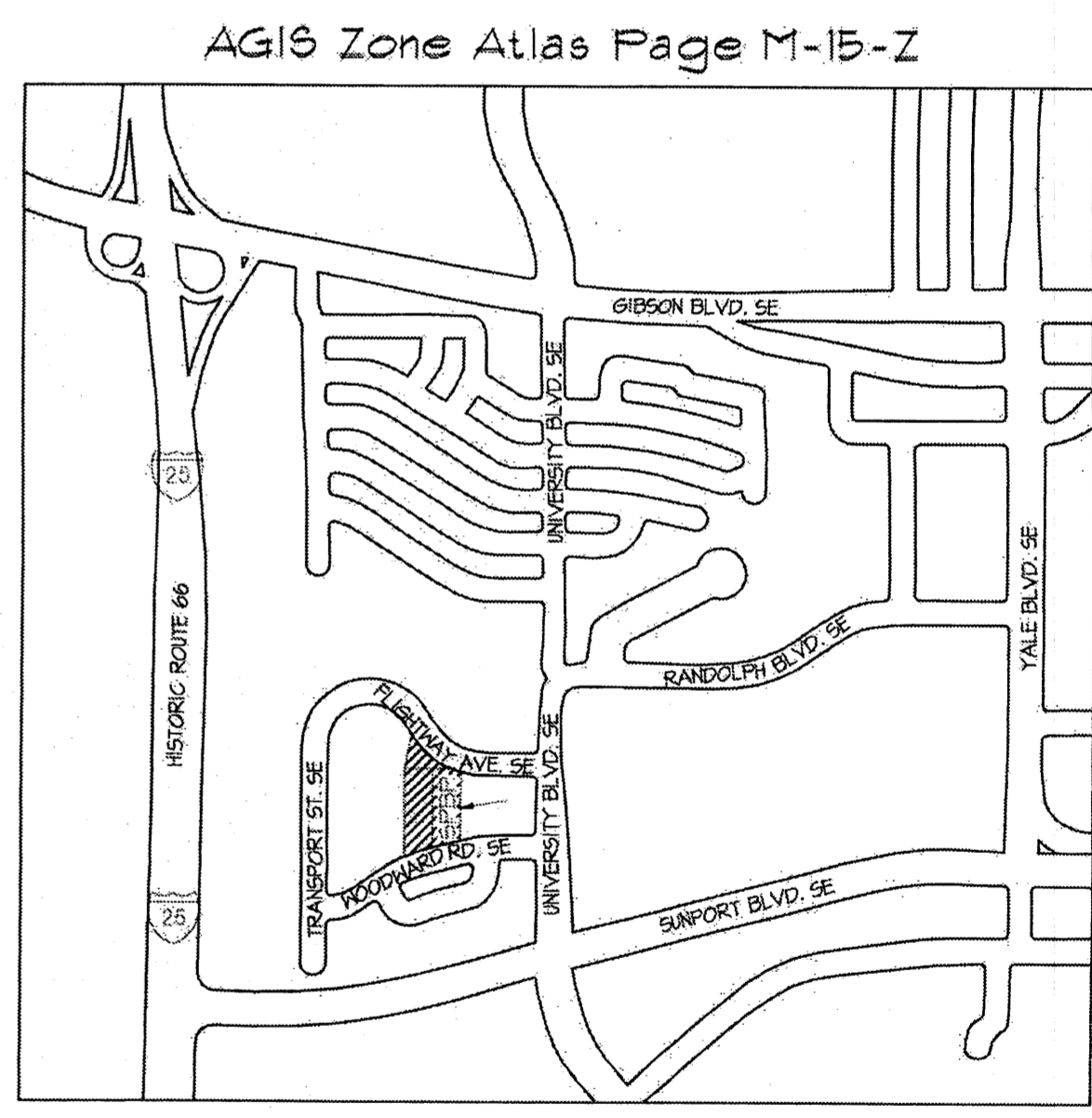
Building Heights and Setbacks: The proposed building heights and setbacks shall be as follows:
 For All Lots:
 - Maximum Building Height: Within 45° angle planes drawn from the horizontal at the mean grade along each boundary of the premises, not to exceed 120 feet.
 - Minimum Setback for Sides Facing Public Streets (front): 20 feet.
 - Minimum Setback for All Sides Not Facing Public Streets (side and rear): 10 feet.

Signage: Signage shall be pursuant to the City of Albuquerque IP Zone, the Sunport Boulevard Design Overlay Zone or the City of Albuquerque General Sign Regulations, whichever is more restrictive.

Development Densities: Development density shall conform to the City of Albuquerque, IP Zone, which limits the area of each lot covered by buildings to 50 %.

Landscape Plan: All landscape plans shall comply with landscaping requirements in the Zoning Code, including landscape buffers and shade trees in parking areas, and with the City's Water Conservation Landscaping and Water Waste Ordinance and Pollen Ordinance.

PHASE 3 VACANT LOT 2-A-1 FUTURE DEVELOPMENT



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 sheet: **1 OF 3**

Master Design Standards
Lot 2-A (Lots 2-A-1, 2, 3) Block 2 Sunport Park
Albuquerque, NM

1) FRAMEWORK.

i) Executive Summary. The purpose of this project is to develop a modern hotel facility on Lot 2-A-3 of the Premises (Lot 2-A Block 2 Sunport Park) and to provide a framework for the development of the remainder of the Premises. The Premises consists of approximately 4.44 acres of undeveloped land designated as a Developing Urban Area and located within the Schwartzman Landfill Buffer Zone, the Yale Landfill Buffer Zone, and the Sunport Boulevard Design Overlay Zone (DOZ). The Premises is also located in close proximity to the Sunport Special Activity Center.

ii) Platting. Lot 2-A shall be subdivided into the following three lots, the development of which shall be subject to the following Master Design Standards (the "Design Standards").

- (1) Lot 2-A-1. 0.59 acres of real property fronting Flightway Avenue and bounded on the south by Lot 2-A-2 and Lot 2-A-3.
- (2) Lot 2-A-2. 2.03 acres of real property fronting Woodward Road and bounded on the north by Lot 2-A-1.
- (3) Lot 2-A-3. 1.82 acres of real property fronting Woodward Road and bounded on the north by Lot 2-A-1 and Flightway Avenue. Lot 2-A-3 shall be developed into a hotel pursuant to these design standards and a site plan for building permit as approved by the City of Albuquerque Environmental Planning Commission (EPC).

2) PROPOSED USES. Permissive uses shall be as follows:

- a) Permissive Uses for Lots 2-A-1, Lot 2-A-2:** Permissive uses shall be pursuant to the City of Albuquerque Industrial Park (IP) Zone. Adult amusement establishment or adult store shall not be permitted on the Property due to proximity to a residential zone (14-16-2-19(A)(1)(B)).
- b) Permissive Uses for Lot 2-A-3:** Hotel and associated uses including guest dining and recreation areas.
- c) For All Lots:**
 - i) Off-premise signs are prohibited per the Sunport Blvd. Design Overlay Zone.
 - ii) Wireless telecommunication facilities shall comply with 14-16-3-17(A)(9) of Council Bill F/S(3) 0-06-40 (1/16/08).

3) DESIGN STANDARDS

a) INTRODUCTION. These Design Standards are established to provide planners and designers with a design framework to accomplish the following:

- i) Create and encourage an attractive built environment on the Premises that promotes opportunities for commercial and industrial development.
- ii) Define common architectural and landscape design standards for the entire Premises while still providing enough flexibility for each lot to develop a unique visual identity.

b) OVERALL DESIGN THEME and LAND USE CONCEPTS

- i) Design Theme.** The Property shall be developed using architectural and landscape design themes that are harmonious with the surrounding built environment, yet establish a unique identity. The design theme of the property shall allow architectural creativity which shall not be constrained other than as described within these Design Standards and as required by applicable statutes and ordinances.
- ii) Land Use Concepts.** Because the existing IP Zoning, and the Sunport Area support a wide variety of uses, it is appropriate that these Design Standards shall not constrain future development of the Property to any particular theme or architectural style. Nearby property uses include food production and packaging, hospitality, restaurants, freight related business and offices.

c) PARKING. The intent of the standards for the development of parking areas is to: promote pedestrian and driver safety and mobility, minimize the visual impact of parking areas; and provide accessible, safe circulation within and adjacent to the parking areas.

- i) Off street parking shall be provided per 14-16-3-1 of the Zoning Code.
- ii) **ADA Compliance.** ADA-compliant parking shall be provided in locations nearest to building entries with ADA compliant accessibility. ADA-compliant parking shall be distributed evenly in quantity and in proximity to ADA compliant building entries. ADA compliant parking shall be located within 10 feet of pedestrian connections.
- iii) **Pedestrian Connections.** Clear pedestrian connections shall be provided through parking areas at a minimum width of 6 feet and shall be clearly demarcated with slightly raised and/or textured paving where they cross vehicular entrances and drive aisles. Where parking areas with 25 or more contiguous stalls are not adjacent to a sidewalk or pedestrian walkway, one pedestrian connection per 25 parking stalls shall be provided between the parking area and a pedestrian walkway leading to a building entrance. Pedestrian walkways adjacent to parking areas, but not crossing vehicular drive paths and not adjacent to buildings must maintain 6 feet clear width except where adjacent to planting areas where they may be reduced to 4 feet 6 inches for a distance of no more than 6 feet. All pedestrian connections shall differ in color and material from adjacent parking lot paving.

iv) Parking Lot Landscaping. Parking lot landscaping requirements shall comply with Section 14-16-3-10 of the City Zoning Code. A minimum 11 foot standard landscape buffer shall be required between parking areas and the adjacent public ROWs per 14-16-3-10(E)(3)(a).

v) Screening. Parking within 30' of a public ROW shall be located behind buildings or screened by any or a combination of earth berms, perimeter or retaining walls, and evergreen landscaping. Screening shall be a minimum of 30 inches in height, but shall not exceed 36 inches in height.

(1) Exceptions. Screening shall not be required where it may impede the ability of a vehicle driver or a pedestrian to see on-coming traffic or pedestrians.

d) STREET DESIGN. Internal streets and drives shall be designed to both facilitate good vehicular flow as well as pedestrian safety and movement. At minimum, one vehicular access point to the adjacent public R.O.W. shall be provided as follows: Access to Lot 2-A-1 shall be from Flightway Avenue, access to Lot 2-A-2 shall be from Woodward Road, access to Lot 2-A-3 shall be from Woodward Road.

- i) Design of public and private infrastructure shall be in accordance with the City of Albuquerque Development Process Manual (DPM).
- ii) Landscape buffers of a minimum of 11 feet shall be provided between sidewalks adjacent to the public R.O.W. and the Premises.

e) AMENITIES and PEDESTRIAN CONNECTIONS. Pedestrian amenities including sidewalks and pathways, outdoor seating and recreation areas shall be designed pursuant to the City of Albuquerque Zoning Code. All pedestrian connections shall be clearly demarcated.

i) Connection to Public R.O.W. A minimum of one pedestrian connection, with a minimum clear width of 6 feet shall be provided between the primary building entrance and an adjacent public street (the "Primary Pedestrian Connection"). Primary Pedestrian Connections shall be constructed of material of a permanent nature such as concrete, brick, or pavers. Secondary connections to public streets with a minimum width of 4 feet clear are permitted.

ii) Internal Pedestrian Connections. Internal pedestrian connections constructed of material of a permanent nature, with a minimum clear width of 6 feet shall be provided between building entrances and parking facilities and entrances to other buildings. Gravel or crusher fine pedestrian paths of 4 feet clear are permitted provided they are not the primary connection to the Public R.O.W. and at least 1 alternative pedestrian connection of 6 feet clear, constructed of a material of a permanent nature is provided between the source and destination of the path.

iii) Inter-Lot Connections. At minimum, 1 pedestrian connection, constructed of material of a permanent nature, between adjacent lots shall be provided where more than 150 feet of continuous lot boundary exists and where one of the following uses exists on both lots: Hotel, Office, Temporary park-and-ride, Parking lots, Restaurant, Retail as defined by the City of Albuquerque Zoning Code Section 14-16-2-19(A)(22) except gasoline, oil, liquefied petroleum gas as defined by 14-16-2-19(A)(22)(f), or Services as defined by the City of Albuquerque Zoning Code Section 14-16-2-19(A)(24) other than automotive related as defined by 14-16-2-19 (A) (24)(a).

iv) Private Amenities and Connections. Private pedestrian amenities such as internal paths or seating areas shall be clearly defined by signage. A minimum of one seating area, which accommodates a minimum of two people shall be provided for employees of on-site facilities. Seating may be shared with public seating area.

v) Public Amenities and Connections. Sidewalks shall integrate seamlessly with neighboring property and shall be designed pursuant to the City of Albuquerque Zoning Code and DPM standards. A minimum of one seating area, that accommodates at least two people, shall be provided along pedestrian connections of more than 175', which can be part of other seating, public space and employee provision required in 14-16-3-18.

f) ENGINEERING. Engineering, including Grading and Drainage shall conform to City requirements. The site is located within the Schwartzman Landfill Buffer Zone and the Yale Landfill Buffer Zone. Appropriate engineering measures as described in the most current version of the City of Albuquerque Interim Guidelines for Development within City Designated Landfill Buffer Zones, shall be followed.

g) LANDSCAPING. The landscape environment serves to enhance the visual dynamic of the development and aid in reinforcing the street edge and pedestrian environment. The primary focus for site landscape shall be the main entry to the property, public entrances to buildings and public circulation areas. A minimum of 15% of each lot area (minus building footprints) shall be landscaped.

i) Plant Palette. The Plant palette for the Property project will provide for year-round color and interest, and reflect the natural beauty of New Mexico. The landscape design and complementary site elements, which may include paving, street furniture, lighting, and bollards shall be used to reinforce the street and pathway edge. Low-pollen and low-allergen plant use is required in

landscaped areas near pedestrian circulation. Landscape materials shall be used in a consistent nature throughout a site to develop a sense of visual identity. A minimum of one quarter of the plantings shall be evergreen Plants other than those listed in the following plant palette may be substituted at the time future site development plans are reviewed by City staff.

(1) Trees, when mature shall provide shade, and interest in color and size. Low water use trees are encouraged. The permitted tree palette is as follows: Honey Locust (*Gleditsia Triacanthos*), Chinese Pistache (*Pistachia Chineseis*), Purpleleaf Plum (*Prunus Cerasifera*), Desert Willow (*Chilopsis Linearis*), Chaste Tree (*Vitex Agnus-Castus*), Golden Rain Tree (*Koeleruteria Paniculata*), Afghan Pine (*Pinus Eldarica*), Mexican Elder (*Sambucus Mexicana*).

(2) Shrubs, shall provide interest and visual barriers where appropriate. Low water use, local shrubs are encouraged. The permitted shrub palette is as follows: Fernbush (*Chamaebatiaria millefolium*), Big Sage (*Atrémisia Tridentata*), Curl Leaf Min. Mahogany (*Cercocarpus Ledifolius*), Autumn or Cherry Sage Sage (*Salvia Greggii*), Wintergreen Barberry (*Berberis Julianae*), Common Lilac (*Syringia Vulgaris*).

(3) Flowering Plants: shall utilize low water where applicable. Flowering Plants shall provide interest and accents to landscaping. The permitted flowering plant list is as follows: Chocolate Flower (*Blandfordia Lyrata*), Perky Sue (*Hymenoxys*), Red Valerian (*Centranthus Ruber*), Coreopsis (*Coreopsis Lanceolata*), Pineleaf Penstemon (*Penstemon Piniifolius*).

(4) Desert Accent Plants: Desert accent plants shall provide visual interest and accents to landscaping. The permitted desert accent plant list is as follows: Torrey Yucca (*Yucca Torreyi*), New Mexico Yucca (*Yucca Neomexicana*).

(5) Ground Cover: shall utilize low water where applicable. Ground cover will add visual interest. The permitted low-water use ground cover is as follows: Rosemary (*Rosmarinus officinalis 'Prostrata'*), Fringed Sage (*Artemisia Frigida*), Purpleleaf Wintercreeper (*Euonymus Fortunei 'Coloratus'*)

(6) Grasses: shall utilize low water where applicable. Turf grasses shall be used sparingly as required by City Zoning Code. The permitted low-water use grass palette is as follows: Native Grasses: Indian Rice Grass (*Oryzopsis hymenoides*), Sand Dropseed (*Sporobolus cryptandrus*), Alkali Sacaton (*Sporobolus airoides*), Maiden Grass (*Miscanthus Sinensis*), Deer Grass (*Muhlenbergia rigens*).

(7) Vines: shall utilize low water where applicable. Vines are as follows: Silkvine (*Periploca graeca*), Silver Lacevine (*Polygonum aubertii*).

ii) All landscape plans shall comply with landscaping requirements in the Zoning Code, including landscape buffers and shade trees in parking areas, the City's Water Conservation Landscaping and Water Waste Ordinance and Pollen Ordinance.

iii) All plant material shall be maintained by the Owner or Tenant in a living, attractive condition. This includes proper maintenance of the irrigation system and removal of weeds, trash, or debris, as well as repair of any areas exhibiting erosion damage.

iv) An automatic underground irrigation system is required to support all site landscaping. The system shall be designed to prevent over-spraying onto walks, buildings, fences, etc. Irrigation pipe and tubing shall not be exposed to UV radiation.

v) Gravel, cobble, crusher-fine, woodchip, nut shells, mulch, and similar materials are acceptable as a top dressing for landscape areas. However, shall not be considered a focal landscape element.

h) WALLS and FENCES.

i) Walls, including, but not limited to, perimeter walls, retaining walls and fences, if provided, shall be compatible with the architectural style of the building(s) on site and shall comply with 14-16-3-19 of City of Albuquerque Zoning Code and with the intent of the City's Design Manual for Subdivision Access and Perimeter Walls. Chain link fencing, razor ribbon, barbed wire or similar materials are prohibited.

i) SETBACKS. Buildings setbacks shall be in accordance with the City of Albuquerque IP Zone. For All Lots:

- i) Minimum setback for sides fronting public streets (front setback): 20 Feet.
- ii) Minimum setback for all sides not fronting public streets (rear and side setback): 10 Feet.

j) ARCHITECTURE. In general, all buildings shall comply with the current City of Albuquerque Zoning Code. However, in cases where the Design Standard

requirements exceed the Zoning Code, the Design Standards will govern. The focus of these architectural standards and guidelines is to promote consistency and continuity in relation to building aesthetics and designs. Energy conservative design is strongly encouraged.

i) Development Densities. Development density shall conform to the City of Albuquerque, IP Zone, which limits the area of each lot covered by buildings to 50%. The FAR of lot 2-A-3 is 0.84.

ii) Building Heights. Building height limits will be enforced in accordance with the City of Albuquerque Zoning Code for the Industrial Park (I-P) Zone, which limits Maximum Building Height to be within 45° angle planes drawn from the horizontal at the mean grade along each boundary of the Premises.

iii) Building Entrances. The major public entry to the primary public building located on Lot 2-A-1 shall face Flightway Blvd. There shall be at least one (1) public entrance facing Woodward Road on Lot 2-A-2. Primary building entrances shall have a shelter feature such as a canopy, covered portico, awnings or a recessed entry. All entries shall be clearly defined and connect to pedestrian linkages. ADA-accessible entries shall be provided in close proximity ADA-accessible parking stalls and shall have clear and visible access clearly demarcated with signage.

iv) Service/Loading Areas. Designated service entrances and loading areas shall be differentiated from public areas with signage or by screening from public view. Loading areas shall be screened from direct view of public streets. Screening may be accomplished by architectural barriers such as walls or with landscape features. Where possible, service entrances shall be differentiated from public entrances by being separate entrances.

v) Building Articulation and Design. Buildings shall convey an image appropriate to their use. Building design integrated with site planning will create pedestrian friendly areas on site where appropriate.

- (1) Facades of more than 100 feet in length shall have at minimum 1 setback or height variation of 1 foot or greater for a minimum of 15% of the total facade length.
- (2) Special attention shall be given to the articulation of facades through use of color, materials, changes in roof planes or parapets, or building offsets.

vi) Equipment. All roof top equipment and appurtenances shall be integrated into architectural design of the facility. All ground-mounted equipment shall be architecturally screened and integrated into the architectural design of the facility. Rooftop equipment shall be screened from view of the public R.O.W. Equipment includes, but is not limited to: water backflow preventers, gas meters, electric meters, exposed conduit, cabling and wiring.

vii) Portable/Temporary Buildings. Temporary buildings are not permitted except during development and construction.

viii) Materials and Colors. Buildings shall convey solidity and durability and employ high quality materials in their construction. Primary building materials and colors shall reflect the location, character and identity of New Mexico. Low reflecting colors shall be used for walls and roofs. Acceptable materials include: stucco, concrete (sand blasted or finished surface) stone, split face block, burnished block, masonry (except standard CMU), glass block, brick, exterior ceramic, and exterior insulation finishing systems (EIFS), and

decorative concrete masonry unit panels. The use of accent colors and materials is encouraged to bring out detailing to better articulate or give scale to a building. Canopies, walls and outbuildings shall be of the same colors and materials used in the primary building.

(1) Prohibited Materials. The use of plastic or vinyl for siding, awnings or canopies is prohibited. Exposed, untreated precision block wood is prohibited. Highly reflective surfaces are prohibited.

k) LIGHTING. A consistent lighting theme for common areas will contribute significantly to the Property's overall aesthetic character. Safety and security as well as the daytime appearance of the light fixtures shall be primary lighting design considerations.

- i) All light fixtures including fixtures located in parking areas, walkways and entries shall not exceed a maximum height of 20 feet.
- ii) The design of light poles and fixtures shall be consistent throughout the site.
- iii) Lighting shall be fully shielded so that no fugitive light may escape beyond the property line.
- iv) Exterior lighting fixtures attached to buildings shall relate stylistically to architecture theme of the Property.
- v) All fixtures and design shall comply with the New Mexico Night Protection Act and City of Albuquerque Zoning Code, Section 14-16-3-9 Lighting Regulations.

l) SCREENING/BUFFERING. Refuse enclosures and storage areas shall be screened from pedestrians, motorists, the boundaries of the Property and public R.O.W. Screening shall be compatible with materials and design of the building(s).

m) SIGNAGE. Signage shall be pursuant to the City of Albuquerque Industrial Park (IP) Zone, General Sign Regulations (Section 14-16-3-5 of the City of Albuquerque Zoning Code), and the Sunport Boulevard Design Overlay Zone, whichever is more restrictive. Signs attached to buildings shall be complementary to the architecture of the building and shall be unobtrusive in nature to surrounding property. Directional signs may be provided, at the discretion of the Property owner to direct visitors and delivery services. One permanent identification sign is allowed on each lot with a maximum sign face area of 20 sf.

- i) Signs shall identify only the name and business of the occupant or those offering the premises for sale or lease.
- ii) Prohibited signs include:
 - (1) Free-standing and projecting signs per 14-16-2-19(A)(25)(b)2.
 - (2) Permanent banners, ribbons, streamers and strings of light bulbs.
 - (3) Flashing signs
 - (4) Portable signs
 - (5) Off-premise signs per the Sunport Boulevard DOZ.
- iii) The following example signage detail incorporates the required signage design standards.

n) WIRELESS TELECOMMUNICATIONS FACILITIES. Wireless telecommunications facilities shall be architecturally integrated per 14-16-3-17(A)(9) of council Bill F/S(3) 0-06-40 (1/16/08).

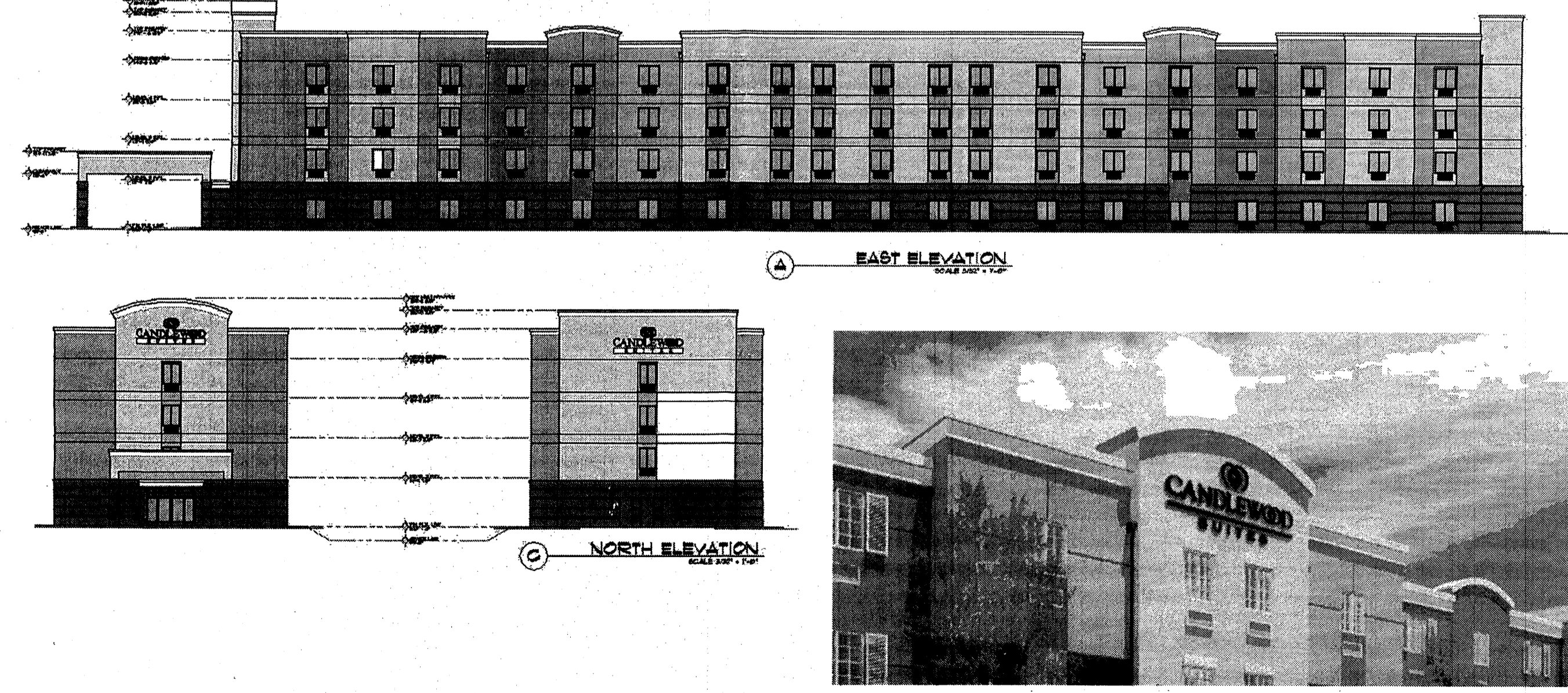


Figure 5. Building mounted signage that meets Signage criteria.

disclaimer:

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drawn:	s sevrerson		
checked:	L.K.Lauer		
start date:	12.28.07		
plot date:	05.02.08	05.02.08 reworking 03.12.08 reworking 01.02.08 reworking	
approved:		updates:	revisions:

Master Development Plan
Lot 2-A, Block 2, Sunport Park
Albuquerque, New Mexico

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architect's seal:

job no: **438**

sheet: **2 OF 3**

