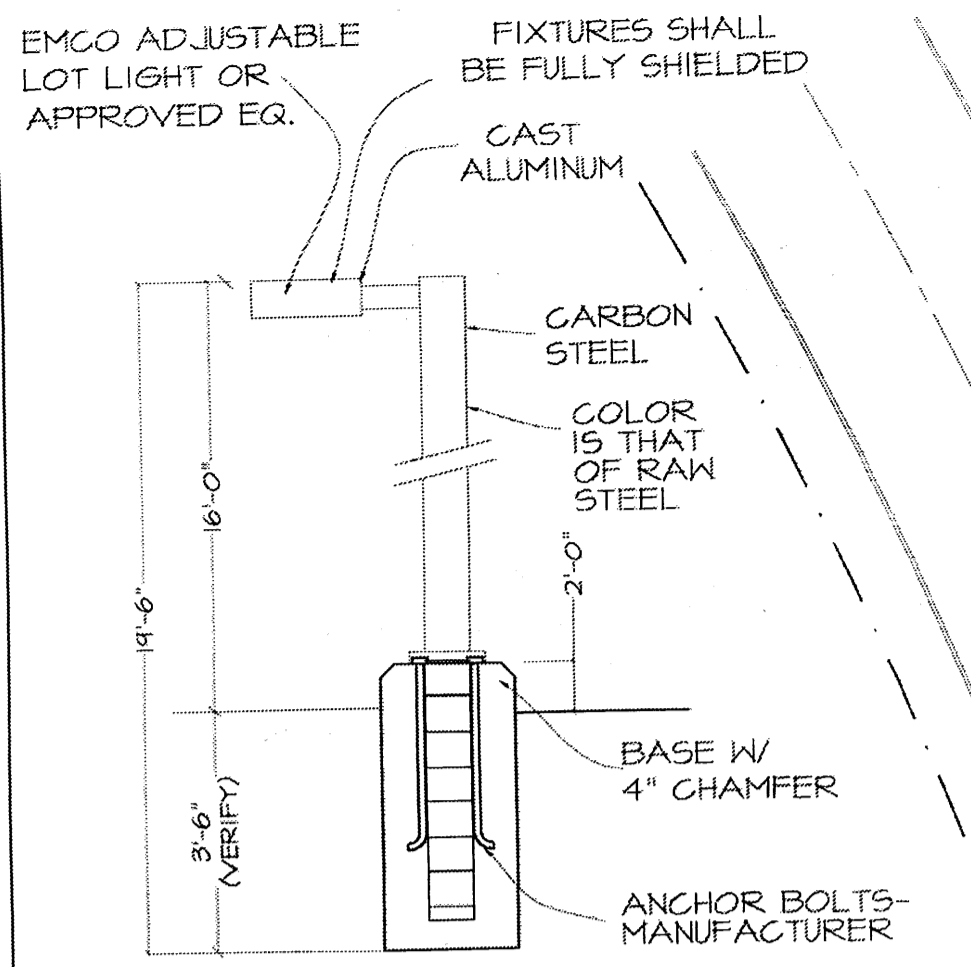
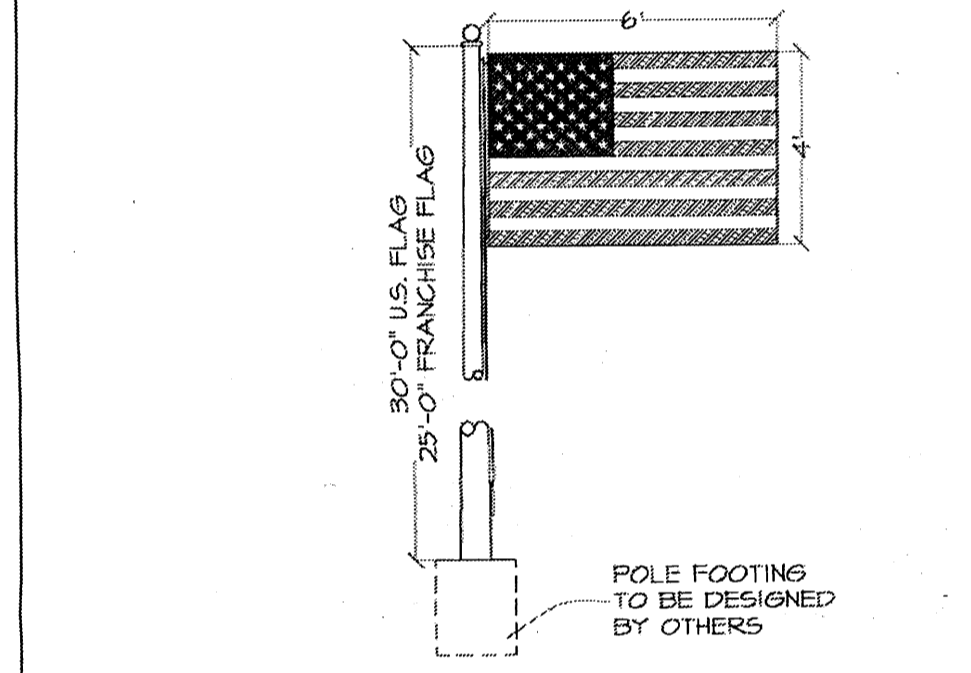


Project Number: \_\_\_\_\_  
 Application Number: \_\_\_\_\_  
 This Plan is consistent with the Master Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_, and the Findings and Conditions in the Official Notification of Decision are satisfied.

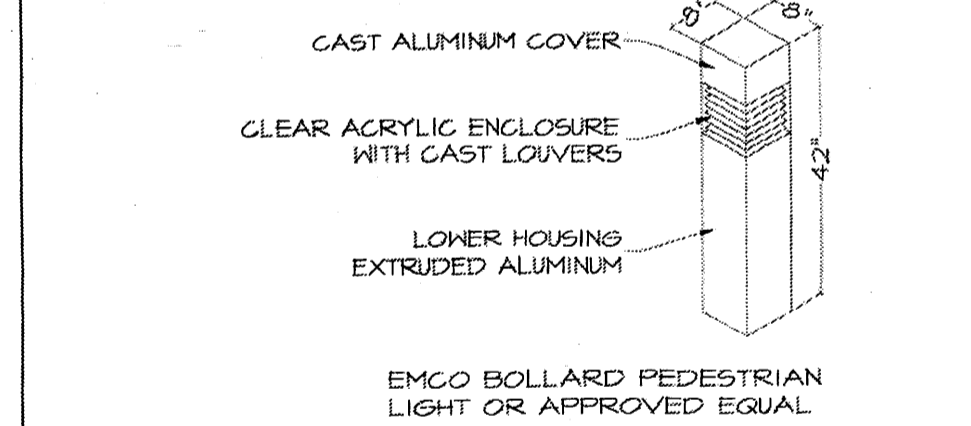
Received @ 7-16-08 meeting



**2 SITE POLE LAMP**  
NOT TO SCALE



**3 FLAGS AND POLE U.S. AND FRANCHISE**  
SCALE 1/4" = 1'-0"



**4 BOLLARD PEDESTRIAN LIGHTING**  
NOT TO SCALE

**LEGEND:**

- RED STAMPED CONCRETE
- CONCRETE
- HANDICAPPED STALL MARKER
- FIRE HYDRANT
- HANDICAPPED PARKING SIGN
- MANHOLE
- 2" WATER METER
- INCOMING TRAFFIC DIRECTION
- PARK BENCHES
- DOUBLE LIGHT POLE
- SINGLE LIGHT POLE
- PEDESTRIAN LIGHTING

**DATA:**

FOUNDATION	16,650 SQ. FT.
LEVEL 2	16,500 SQ. FT.
LEVEL 3	16,650 SQ. FT.
LEVEL 4	16,650 SQ. FT.
BUILDING	66,500 SQ. FT.
PAVING	40,023 SQ. FT.
CONCRETE	1,439 SQ. FT.
SIDEWALK	8,587 SQ. FT.
GREEN AREA	12,119 SQ. FT.

**CURVE TABLE**

CURVE	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD LENGTH
C1	430.00'	41.98'	6°23'31"	S60°54'34"E	41.96'
C2	1478.00'	131.04'	5°18'45"	S18°04'20"W	136.81'
C3	830.00'	23.88'	1°38'55"	S13°35'23"W	23.88'

**Parking Calculations**  
req'd allowed provided

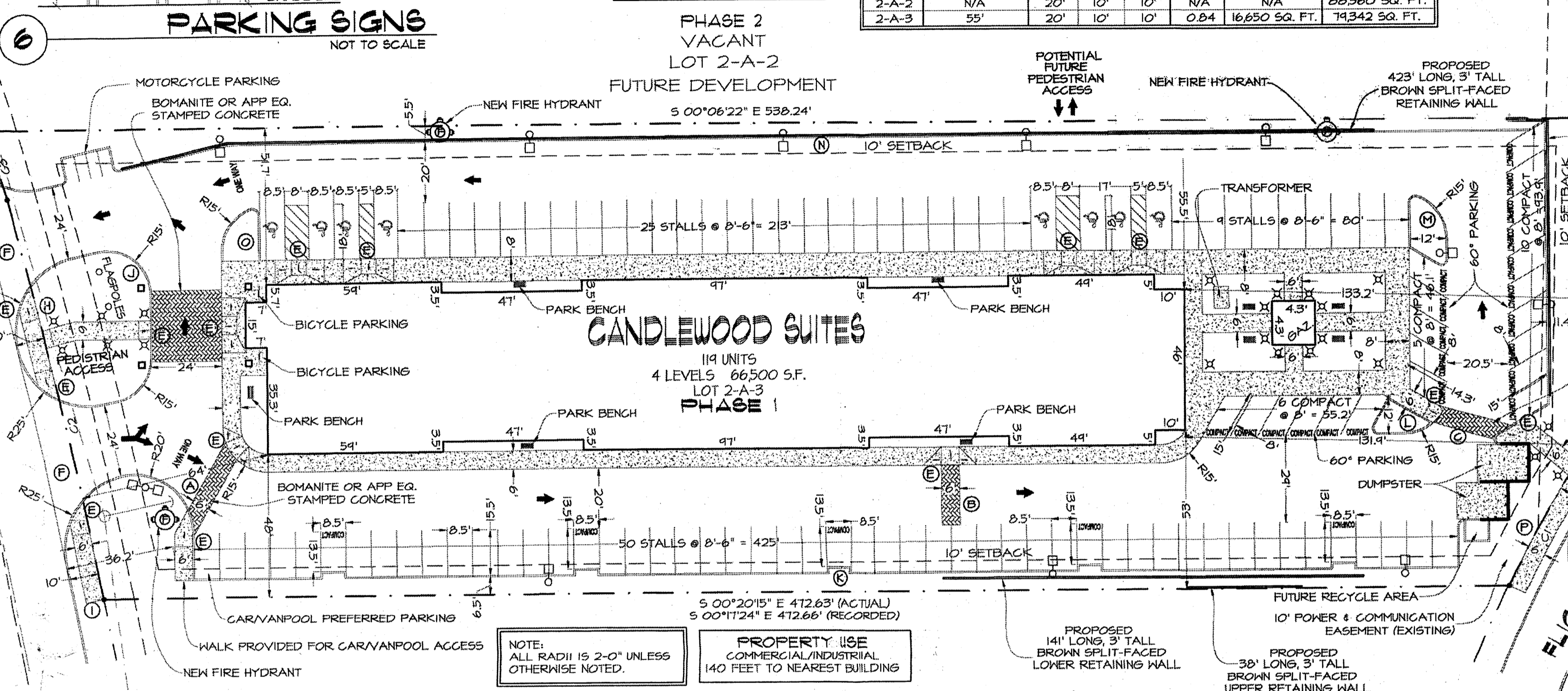
Unit	req'd	allowed	provided
Hotel	118	112	
Stalls	III	28	74
Compact Stalls	8	9	25
Disabled Stalls	4	4	4
Motorcycle Stalls	4	2	4

**COLOR MATERIAL KEY**

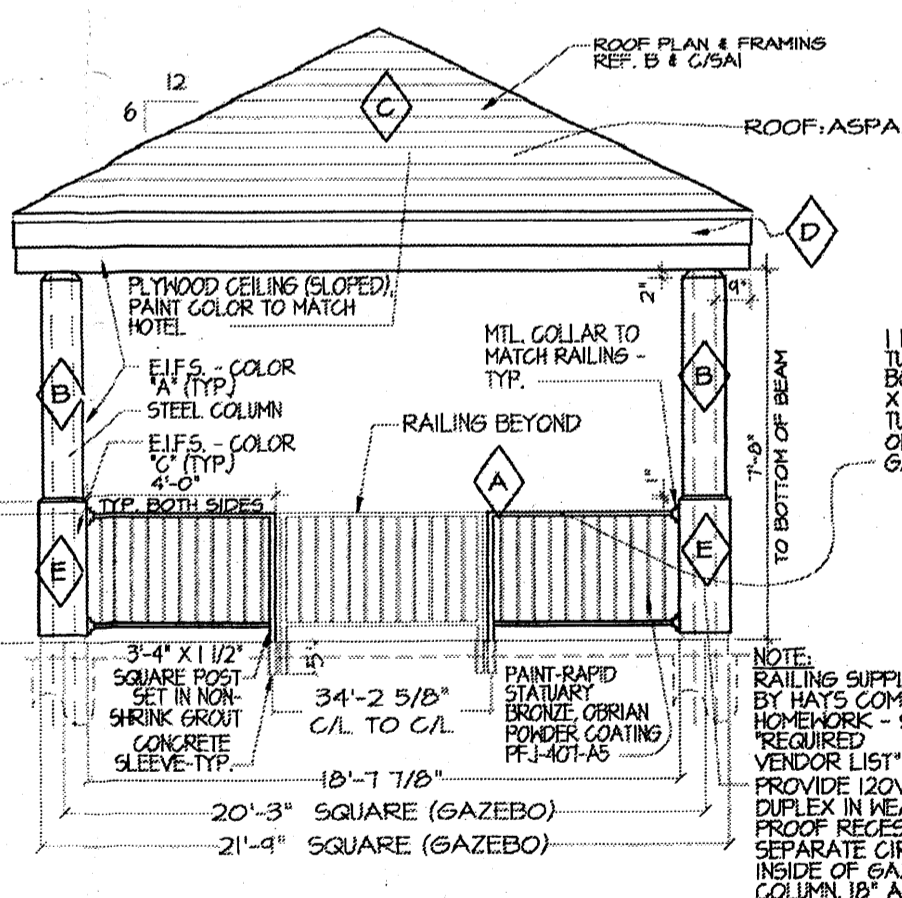
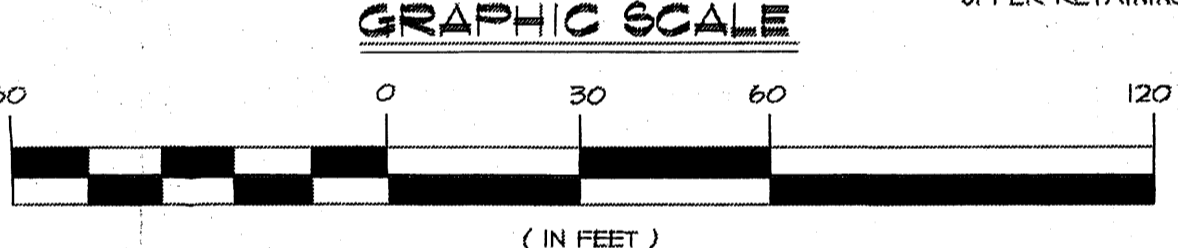
- WARM GRAY
- KHAKI
- TAN
- LIGHT GRAY
- BROWN
- GREY

**PROPERTY USE VACANT LAND**

LOT	MAX. BLDG. HT. HEIGHT	SETBACKS FRONT SIDES REAR	F.A.R.	FOOTPRINT	LOT SIZE
2-A-1	N/A	20' 10' 10'	N/A	N/A	25,110 SQ. FT.
2-A-2	N/A	20' 10' 10'	N/A	N/A	88,560 SQ. FT.
2-A-3	55'	20' 10' 10'	0.84	16,650 SQ. FT.	79,342 SQ. FT.



**5 SITE PLAN FOR BUILDING PERMIT**  
SCALE 1" = 30'-0"



**6 GAZEBO ELEVATION**  
SCALE 1/4" = 1'-0"

Project Number: **1007017**  
 Application Number: **08DRB - 70255**

Is an Infrastructure List required? ( ) Yes ( ) No. If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB Site Development Plan Approval:

*WAS* 7-16-08  
 Traffic Engineering, Transportation Division

*Robert Allen* 7-16-08  
 ABCHAU Date

*Christina Sandoval* 7/16/08  
 Parks and Recreation Department Date

*Bradley D. Bingham* 7/16/08  
 City Engineer Date

*Shiranni Bason* 7/16/08  
 Environmental Health Department (conditional) Date

*Michael Holton* 7/18/08  
 Solid Waste Management Date

*Paul Clark* 9/16/08  
 DRB Chairperson, Planning Department Date

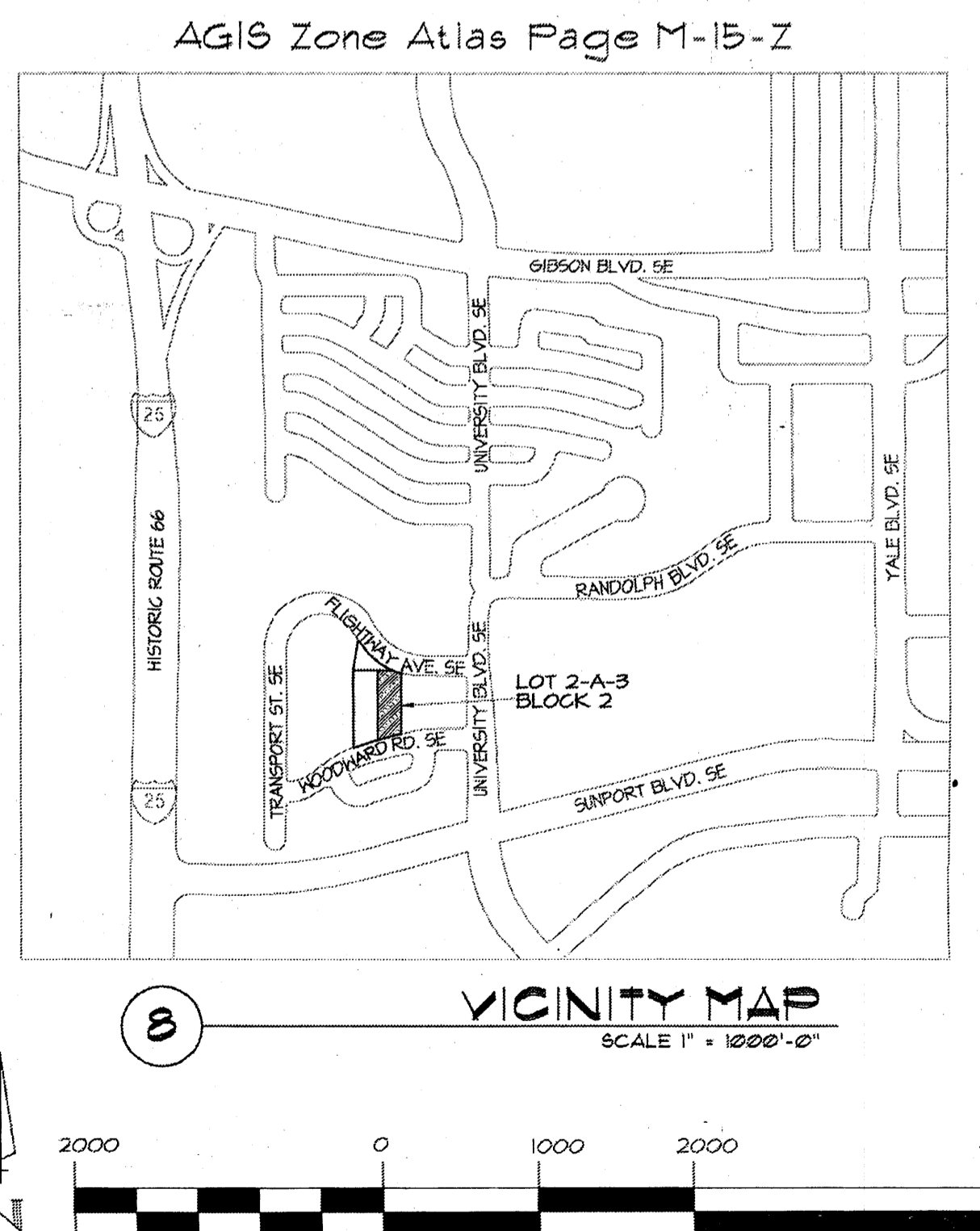
*cl* 9/16/08  
 Environmental Health, if necessary

**Support Park Candlewood Suites Site Plan Required Information:**  
 Site Plan for Building Permit Background: This Site Plan for Building Permit is a proposed 4-Story 119 room hotel.  
 Site: Approximately 1.82 acres of real property zoned IP located in the Sunport Blvd. Design Overlay Zone.  
 Legal Description: Lot 2-A-3 of Block 2 of the Sunport Park District.  
 Proposed Use: Hotel and associated uses.  
 Pedestrian and Vehicular Ingress and Egress: Primary vehicular access to the site will be as will be from the south end of the property on Woodward Road. Primary vehicular ingress and egress is via two entrance driveways which direct traffic to the covered portico building entrance or to parking surrounding the building. Building access points are located on three sides of the structure near parking.  
 Transit Access: Nearest public transit, bus line 222, is located approximately 630 feet east of the property on University Boulevard. Transit stops are located on Yale Boulevard further to the east of the site.  
 Internal Circulation: Primary site access points are indicated on the site plan. Pedestrian access is designed to be safe and facilitate building and transportation access. Internal sidewalks of 6 and 8 feet are provided throughout the site. Vehicular traffic for loading and unloading of hotel guests and luggage is directed to the covered portico entrance. Vehicular traffic for hotel guests is directed to parking located around the site.  
 Building Heights and Setbacks:  
 The proposed building heights conform to the IP Zone and Sunport Blvd. Design Overlay Zone as follows:  
 Maximum Parapet & Architectural Detail Height: 55 feet.  
 Primary Building Height: 48 feet.  
 The proposed building setbacks conform to the IP Zone and Sunport Blvd. Design Overlay Zone as follows:  
 Minimum Building Setback: 48 feet.  
 Landscape Plan: The Landscape Plan specifies site landscape features for the project that are consistent with City standards and policies regarding water conservation and shall also comply with the Design Standards of the Master Development Plan for the site.

**BUILD NOTES:**

- (A) BUILD 26' OF PEDESTRIAN ACCESS AS PER CITY STANDARD 2412.
- (B) BUILD 20' OF PEDESTRIAN ACCESS AS PER CITY STANDARD 2412.
- (C) BUILD 21' OF PEDESTRIAN ACCESS AS PER CITY STANDARD 2412.
- (D) BUILD 5' OF CURB ACCESS RAMP AS PER CITY STANDARD 2415A.
- (E) BUILD 24' WIDE ENTRANCE AS PER CITY STANDARD 2426.
- (F) BUILD 17' OF SIDEWALK AS PER CITY STANDARD 2430.
- (G) BUILD 32' OF SIDEWALK AS PER CITY STANDARD 2430.
- (H) BUILD 31' OF SIDEWALK AS PER CITY STANDARD 2430.
- (I) BUILD 156' OF STANDARD CURB AND GUTTER AS PER CITY STANDARD 2430.
- (J) BUILD 557' OF STANDARD CURB AND GUTTER AS PER CITY STANDARD 2430.
- (K) BUILD 47' OF STANDARD CURB AND GUTTER AS PER CITY STANDARD 2430.
- (L) BUILD 57' OF STANDARD CURB AND GUTTER AS PER CITY STANDARD 2430.
- (M) BUILD 671' OF STANDARD CURB AND GUTTER AS PER CITY STANDARD 2430.
- (N) BUILD 34' OF STANDARD CURB AND GUTTER AS PER CITY STANDARD 2430.
- (O) BUILD 48' OF SIDEWALK AS PER CITY STANDARD 2430.

AFD PLANS CHECKING OFFICE  
 924-3511  
 APPROVED FOR APPROVAL  
 HYDRA-INT ONLY  
 07/16/08  
 SIGNATURE & DATE



**disclaimer:**  
 These plans are intended to be read by dimensions only. Do not use a scale. Please call Leon Lauer + Associates at 1.402.371.3333 if you need dimensional assistance.

drawn:	I ramsing
checked:	L.K.Lauer
start date:	12.28.07
plot date:	07.03.08
approved:	
updates:	01.03.08 I ramsing 06.11.08 severson 05.02.08 ramsing 04.10.08 severson 01.14.08 ramsing 01.22.08 ramsing
revisions:	

**Site Plan for Building Permit**  
 Lot 2-A-3, Block 2, Sunport Park Subdivision  
 Albuquerque, New Mexico

**leon lauer + associates**  
 architects + consultants

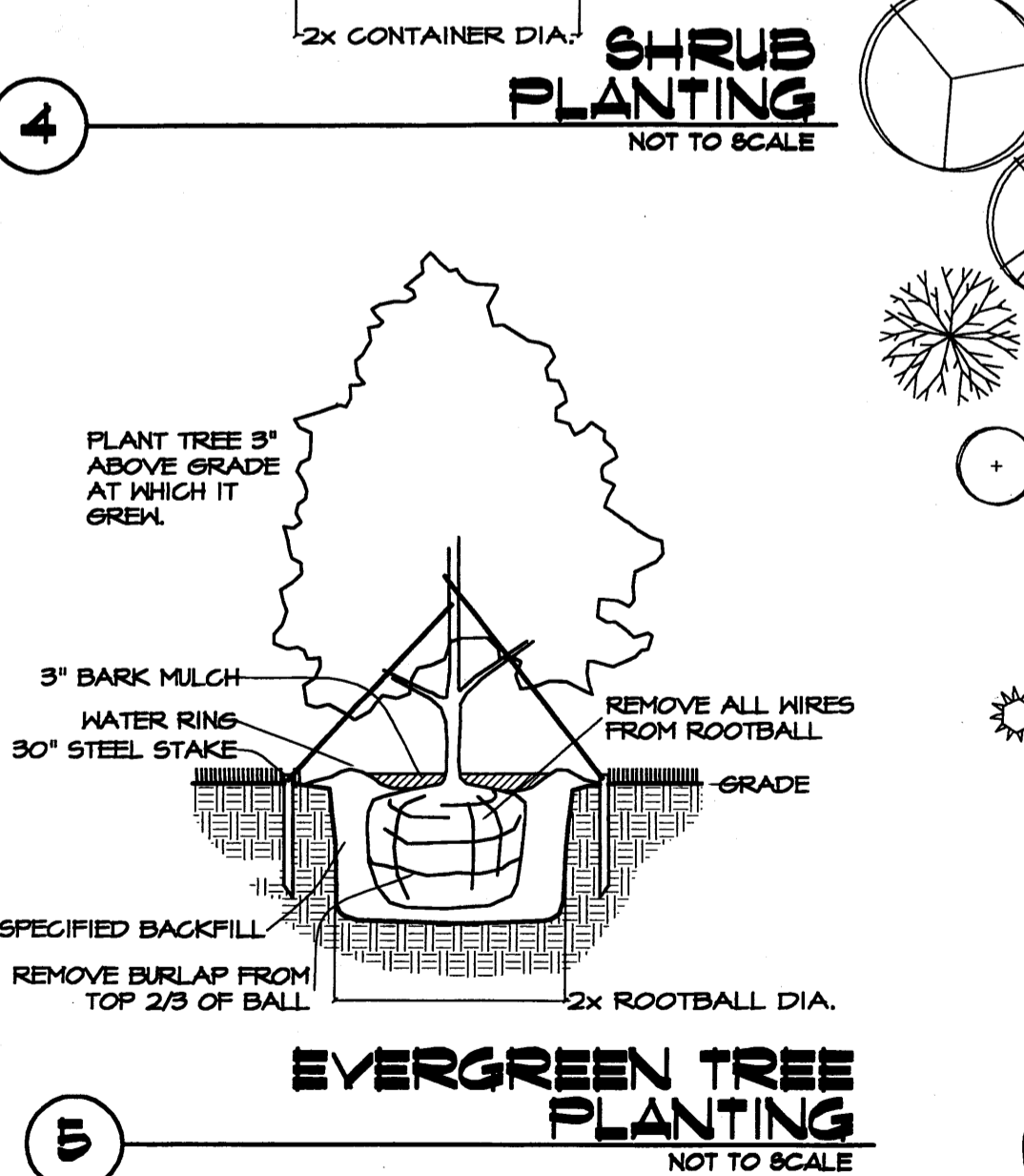
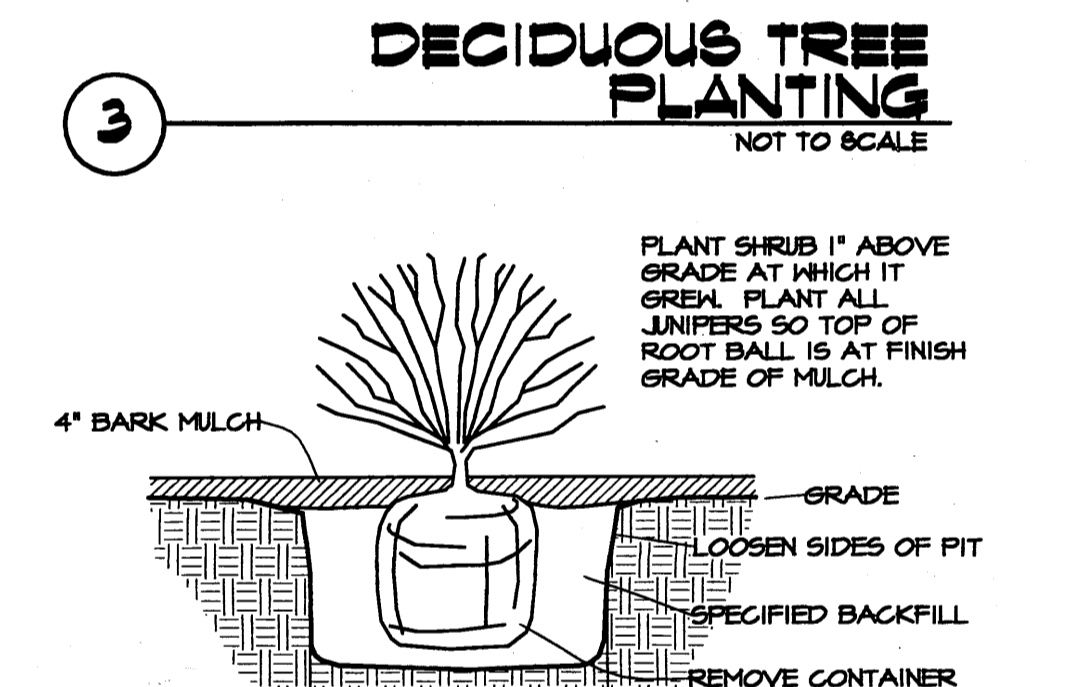
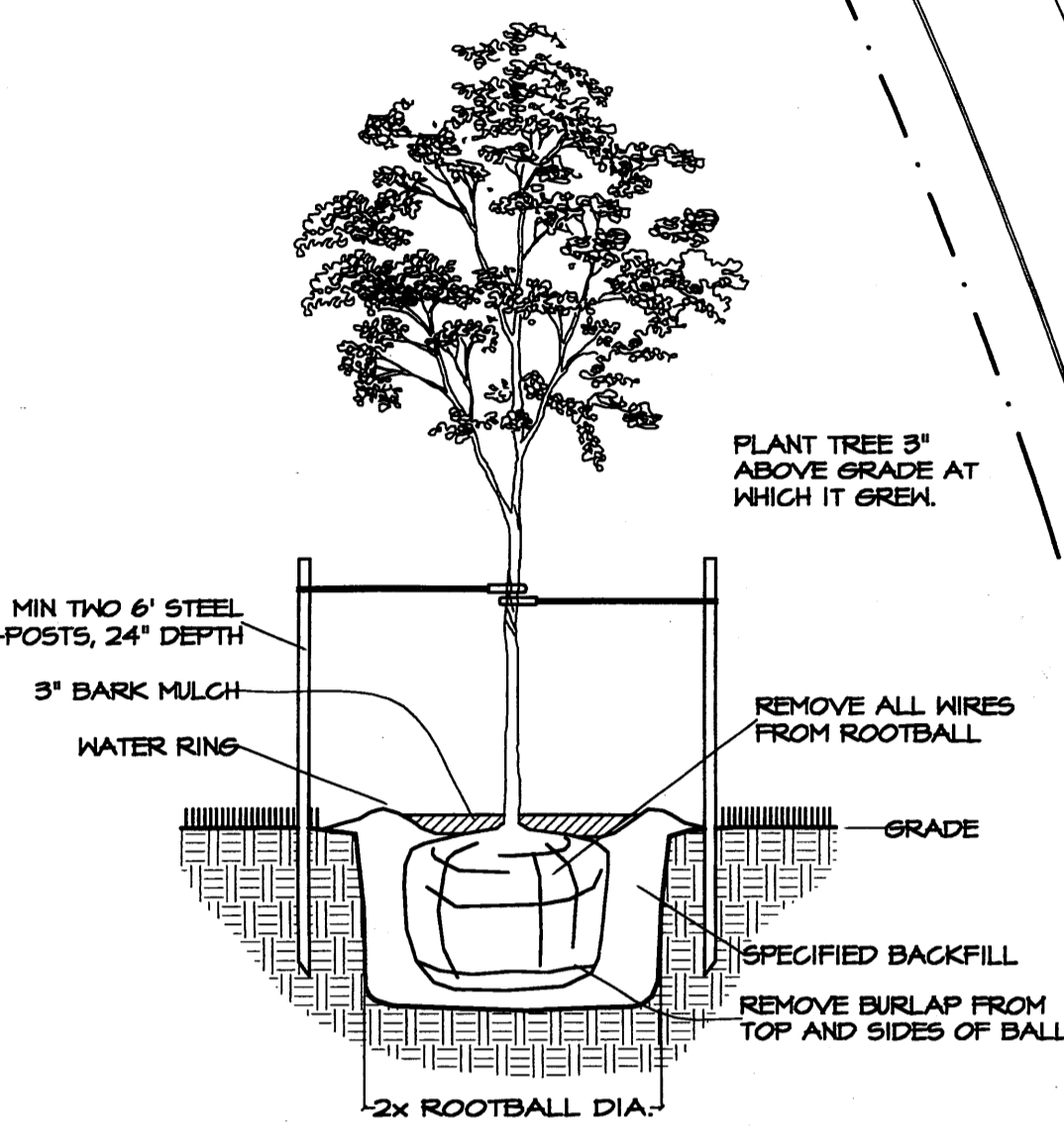
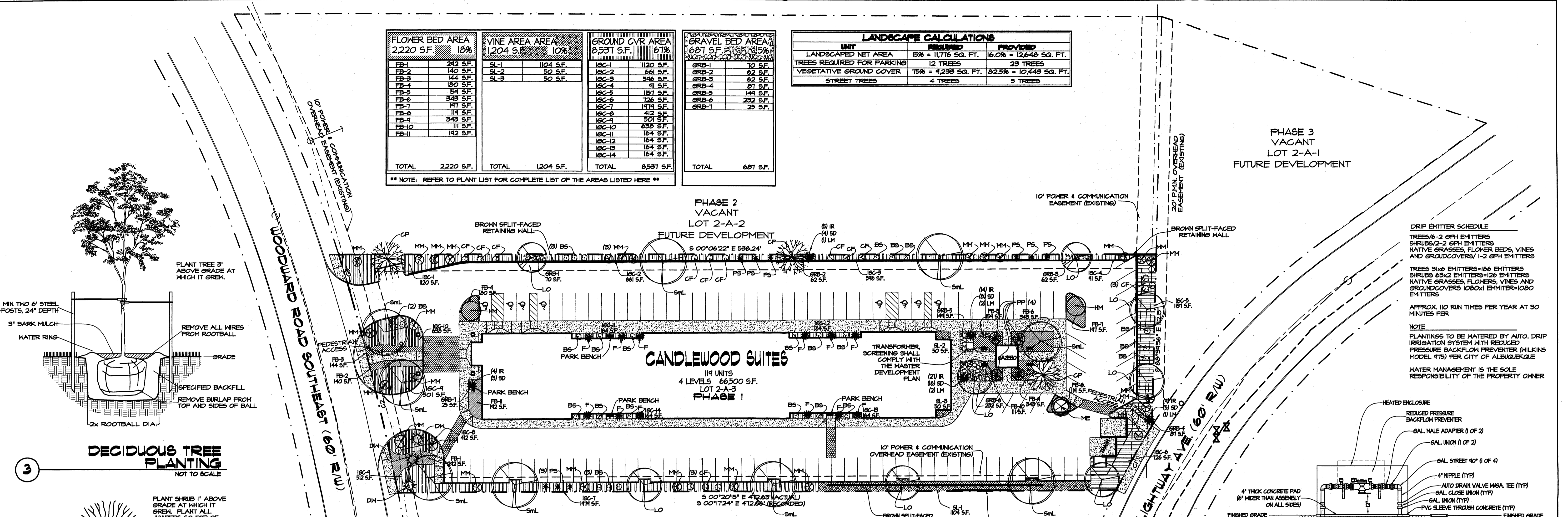
p. o. box number 1207, norfolk, nebraska 68701  
 voice: 1.402.371.3333; fax: 1.402.371.1164  
 llauer@leonauger.com

Copyright © Leon Lauer + Associates. This drawing is an instrument of Leon Lauer + Associates for use solely with this project. This document shall not be used by the owner, contractor, or other parties for other projects.

job no: **438**  
 architect's seal:  
 sheet: **1 OF 5**

1007017

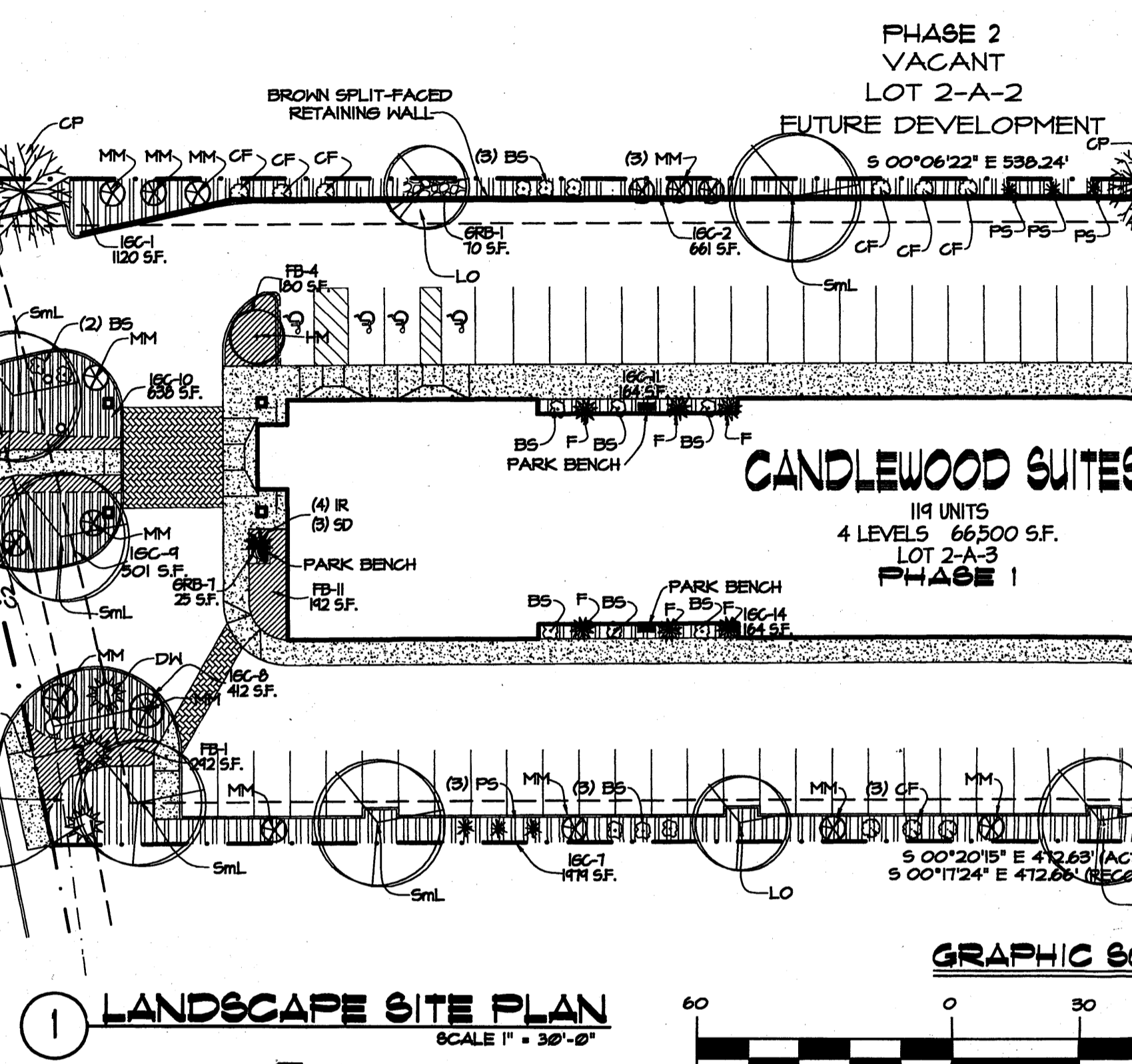




FLOWER BED AREA		VINE AREA AREA		GROUND COV. AREA		GRAVEL BED AREA	
FB-1	242 S.F.	SL-1	1104 S.F.	IGC-1	1120 S.F.	GRB-1	10 S.F.
FB-2	140 S.F.	SL-2	30 S.F.	IGC-2	661 S.F.	GRB-2	62 S.F.
FB-3	124 S.F.	SL-3	30 S.F.	IGC-3	546 S.F.	GRB-3	62 S.F.
FB-4	180 S.F.			IGC-4	41 S.F.	GRB-4	81 S.F.
FB-5	194 S.F.			IGC-5	187 S.F.	GRB-5	144 S.F.
FB-6	343 S.F.			IGC-6	126 S.F.	GRB-6	232 S.F.
FB-7	191 S.F.			IGC-7	1914 S.F.	GRB-7	25 S.F.
FB-8	118 S.F.			IGC-8	412 S.F.		
FB-9	348 S.F.			IGC-9	501 S.F.		
FB-10	111 S.F.			IGC-10	638 S.F.		
FB-11	142 S.F.			IGC-11	164 S.F.		
FB-12	142 S.F.			IGC-12	164 S.F.		
FB-13	142 S.F.			IGC-13	164 S.F.		
FB-14	142 S.F.			IGC-14	164 S.F.		
<b>TOTAL</b>	<b>2,220 S.F.</b>	<b>TOTAL</b>	<b>1,204 S.F.</b>	<b>TOTAL</b>	<b>8,537 S.F.</b>	<b>TOTAL</b>	<b>687 S.F.</b>

NOTE: REFER TO PLANT LIST FOR COMPLETE LIST OF THE AREAS LISTED HERE

LANDSCAPE CALCULATIONS		
UNIT	REQUIRED	PROVIDED
LANDSCAPED NET AREA	15% = 11,716 SQ. FT.	16.0% = 12,648 SQ. FT.
TREES REQUIRED FOR PARKING	12 TREES	23 TREES
VEGETATIVE GROUND COVER	75% = 9,298 SQ. FT.	82.5% = 10,448 SQ. FT.
STREET TREES	4 TREES	5 TREES



QTY	KEY	LATIN NAME	COMMON NAME	SIZE	MATURE SIZE	WATER USAGE	ALLERGY HAZARD	DESCRIPTION	AREA SQ. FT.	TOTAL SQ. FT.
10	SM	GLEDITSIA TRIACANTHOS 'SHADEMASTER'	SHADEMASTER LOCUST	2" CALIPER OR 10' - 12' FEET	30' HIGH 40' WIDE	MEDIUM	LOW	OVERSTORY DECIDUOUS SHADE TREE		
6	LO	QUERCUS TURBINELLA	DESERT OR SHRUB LIVE OAK	2" CALIPER OR 10' - 12' FEET	20' HIGH 20' WIDE	LOW	MODERATE	SEMI-EVERGREEN TREE		
2	CP	PISTACIA CHINENSIS	CHINESE PISTACHE	2" CALIPER OR 10' - 12' FEET	30' HIGH 30' WIDE	MEDIUM	LOW	OVERSTORY DECIDUOUS SHADE TREE		
4	PP	FINUS EDULIS	PINON PINE	2" CALIPER OR 10' - 12' FEET	30' HIGH 20' WIDE	MEDIUM	LOW	EVERGREEN TREE		
3	DW	CHILOPSIS LINEARIS	DESERT WILLOW	2" CALIPER OR 10' - 12' FEET	20' HIGH 20' WIDE	LOW	LOW	DECIDUOUS TREE		
1	ME	SAMBUCUS MEXICANA	MEXICAN ELDER	2" CALIPER OR 10' - 12' FEET	20' HIGH 20' WIDE	LOW	LOW	DECIDUOUS TREE		
12	F	CHAMAEBATIARIA	FERNBUSH	1" GALLON	5' HIGH 5' WIDE	LOW	LOW	DECIDUOUS FLOWERING SHRUB	25	300
26	BS	ARTEMISIA FRIGIDA	FRINGED SAGE	1" GALLON	4' HIGH 4' WIDE	LOW	LOW	EVERGREEN BORDER SHRUB	16	416
21	MM	CERCOCARPUS LEDIFOLIUS	CURL LEAF MAHOGANY	1" GALLON	15' HIGH 15' WIDE	LOW	LOW	EVERGREEN BORDER SHRUB	225	6075
15	CF	BERLANDIERA LYRATA	CHOCOLATE FLOWER	1" GALLON	2' HIGH 2' WIDE	LOW	LOW	DECIDUOUS FLOWERING	4	60
9	FB	HYMENOXYS	FRINGED SAGE	1" GALLON	1' HIGH 1' WIDE	LOW	LOW	DECIDUOUS FLOWERING	1	9
50	IR	ORYZOPSIS HYMENOIDES	INDIAN RICEGRASS	1" GALLON	18" HIGH 18" WIDE	LOW	LOW	ORNAMENTAL DECIDUOUS	225	133
36	SD	APOROBOLUS CRYPTANDRUS	SAND DROPSPEED	1" GALLON	24" HIGH 24" SPREAD	LOW	LOW	ORNAMENTAL GRASS DECIDUOUS	4	144
6	LM	MULLEN BERTIA LINDHEIMERI	LINDHEIMER MULY	1" GALLON	5' HIGH 5' SPREAD	LOW	LOW	DECIDUOUS ORNAMENTAL GRASS	25	150
36	R	ROSMARINUS OFFICINALIS 'PROSTRATA'	ROSEMARY	1" GALLON	6' SPREAD	LOW	LOW	FLOWERING GROUND COVER DECIDUOUS	36	1296
12	FB	ARTEMISIA FRIGIDA	FRINGED SAGE	1" GALLON	18" HIGH 18" SPREAD	LOW	LOW	GROUND COVER DECIDUOUS		
15	SL	POLYGONUM ALBERTII	SILVER LACEYNE	1" GALLON	40' SPREAD	LOW	LOW	VINE CLIMBING EVERGREEN		1860

**DRIP EMITTER SCHEDULE**

TREES/6-2 6PH EMITTERS  
SHRUBS/2-2 6PH EMITTERS  
NATIVE GRASSES, FLOWER BEDS, VINES AND GROUNDCOVERS/ 1-2 6PH EMITTERS

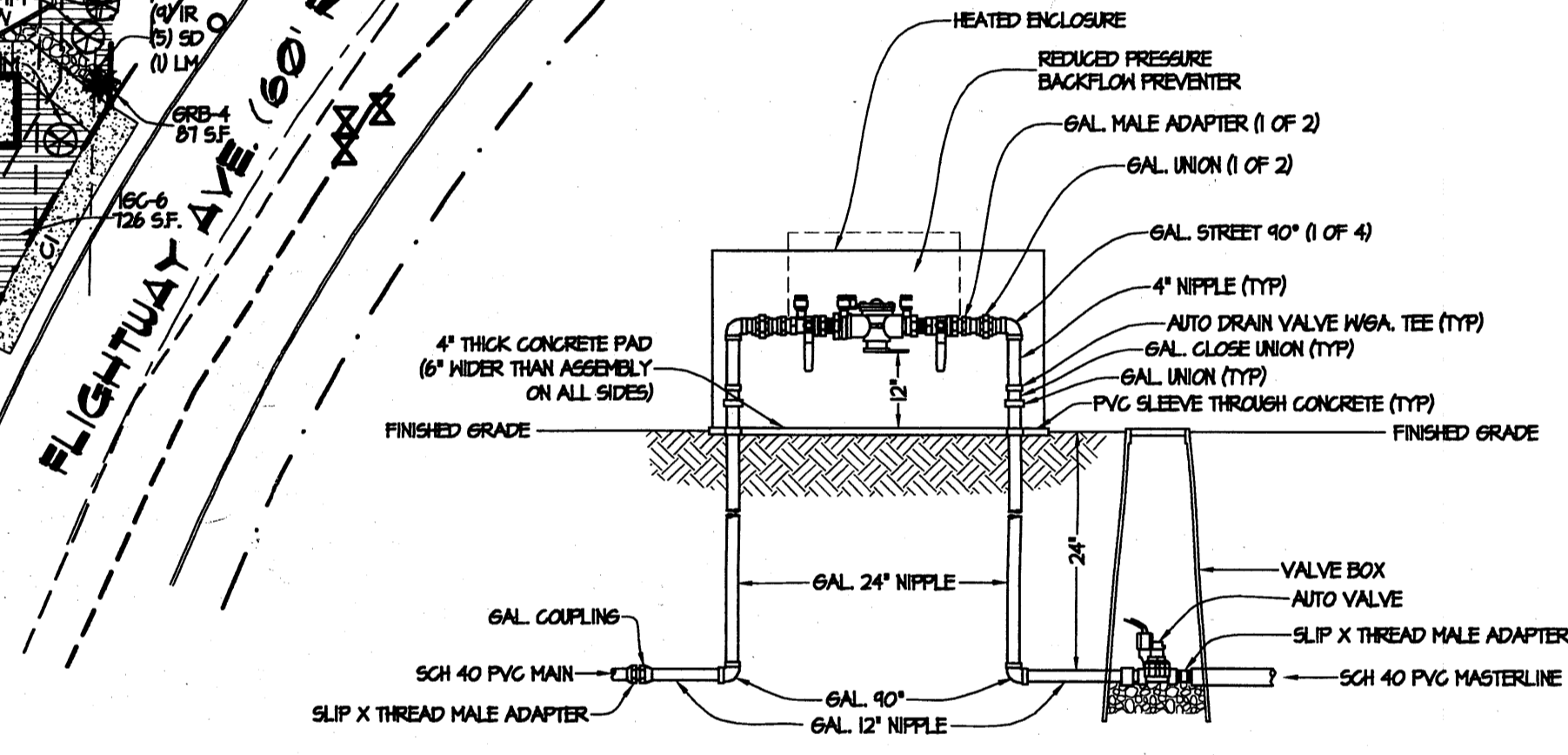
TREES 3/16 EMITTERS=106 EMITTERS  
SHRUBS 6/32 EMITTERS=126 EMITTERS  
NATIVE GRASSES, FLOWERS, VINES AND GROUNDCOVERS 100X1 EMITTER=1000 EMITTERS

APPROX. 110 RUN TIMES PER YEAR AT 30 MINUTES PER

**NOTE**

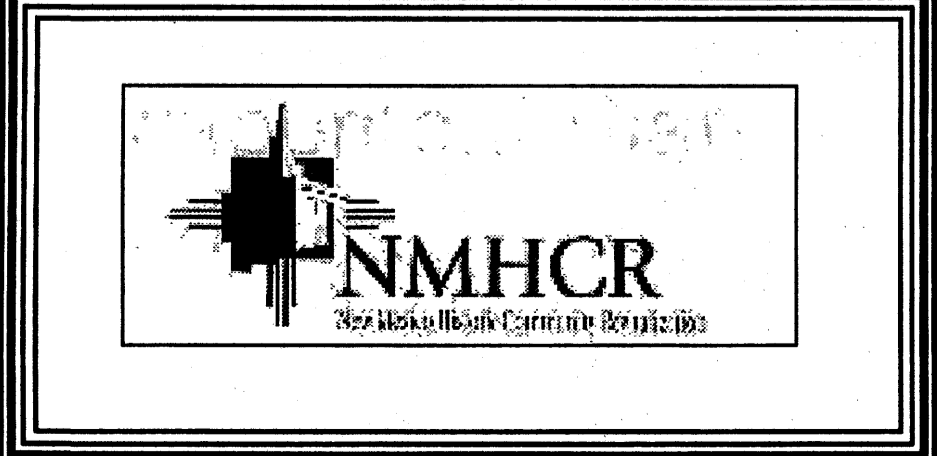
PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER (MILKING MODEL 475) PER CITY OF ALBUQUERQUE

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER



drawn:	s sevenson	08.13.08	s sevenson
checked:	L.K. Lauer	07.15.08	s sevenson
start date:	12.28.07	07.07.08	remsing
plot date:	08.12.08	06.24.08	remsing
approved:		06.18.08	s sevenson
updates:		05.02.08	remsing
revisions:		04.16.08	remsing
		04.09.08	sevenson
		03.06.08	sevenson
		02.01.08	peyton
		01.02.08	remsing

**Site Plan for Building Permit**  
 Lot 2-A-3, Block 2, Sunport Park Subdivision  
 Albuquerque, New Mexico



**leon lauver + associates**  
 architects + consultants

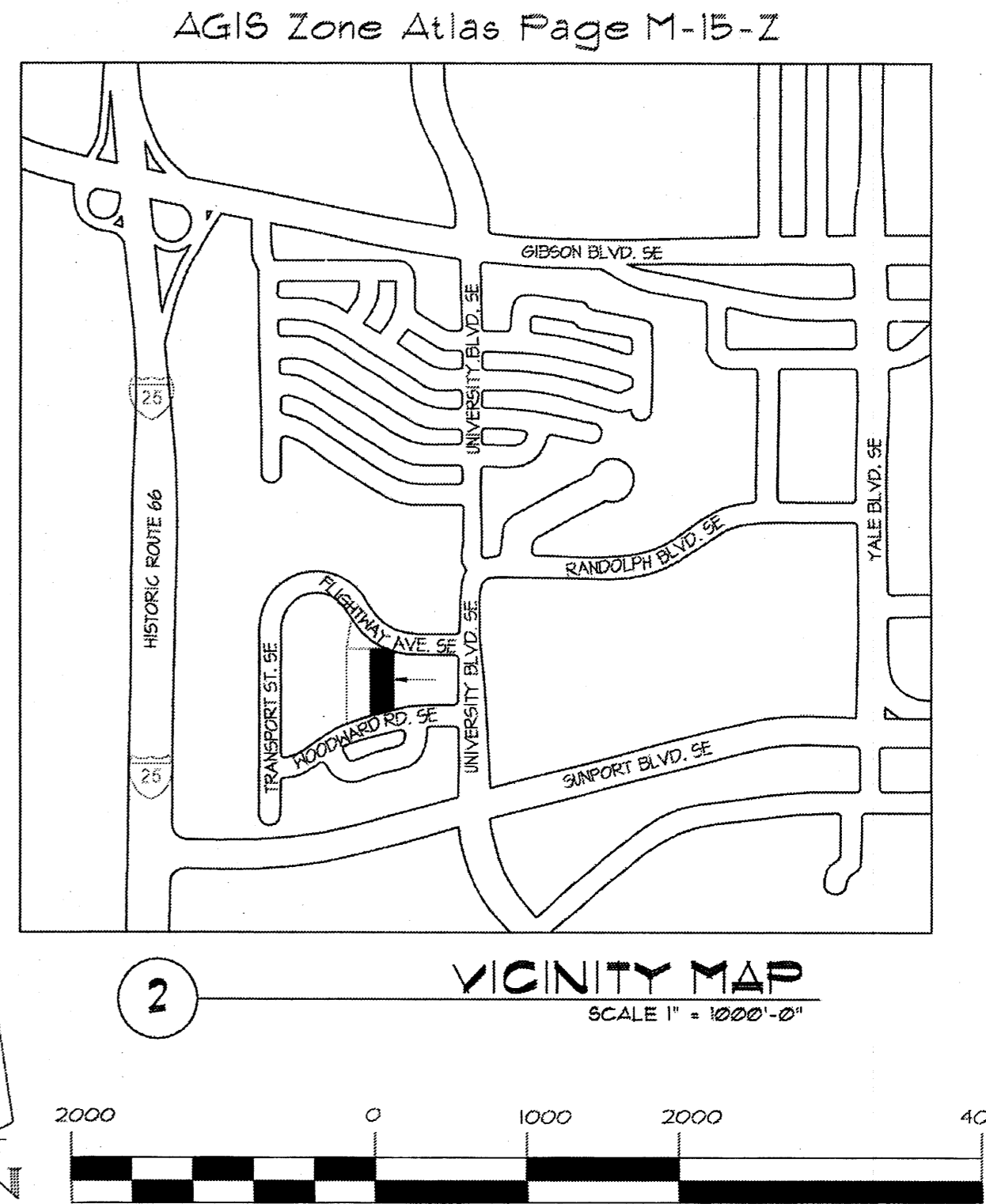
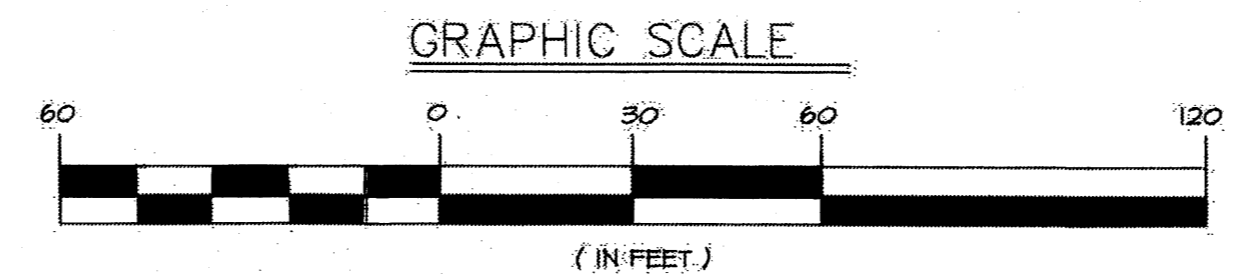
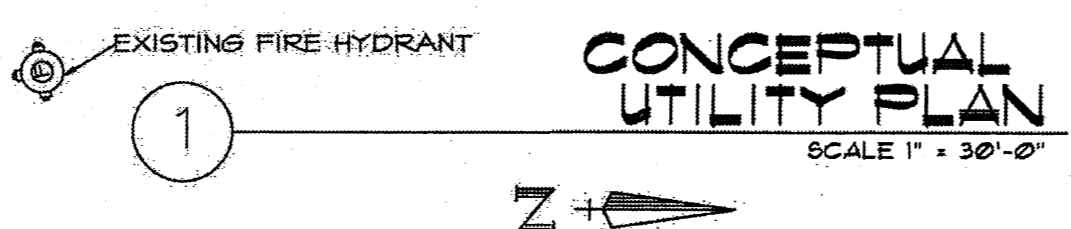
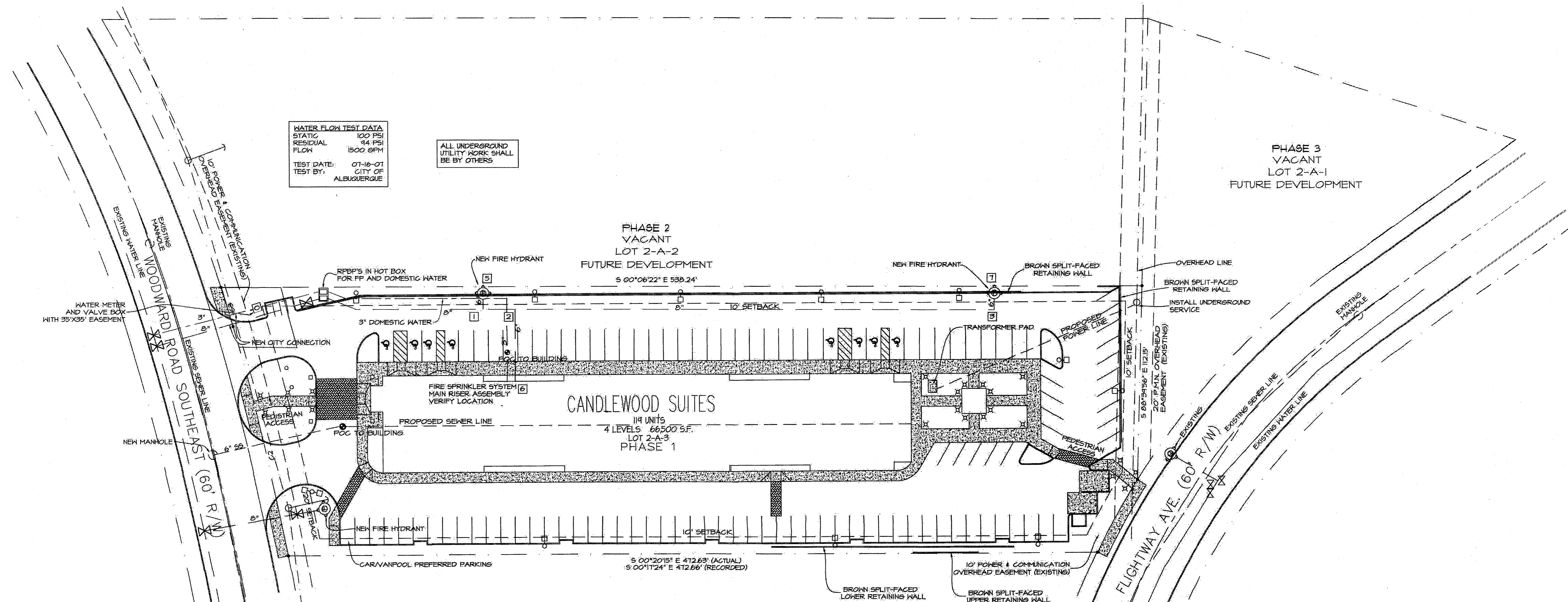
p. o. box number 1207, norfolk, nebraska 68701  
 voice: 1.402.371.3333; fax: 1.402.371.1164  
 lauver@leonlauver.com

Copyright © Leon Lauver + associates. This drawing is an instrument of Leon Lauver + Associates for use solely with this project. This document shall not be used by the owner, contractor, or other parties for other projects.

job no: **438**

sheet: **2 OF 5**





Project Number: \_\_\_\_\_  
 Application Number: \_\_\_\_\_

This Plan is consistent with the Master Development Plan approved by the Environmental Planning Commission (EPC), dated: \_\_\_\_\_ and the Findings and Conditions in the Official Notification of Decision are satisfied.

SITE LIGHTING TO BE DESIGNED BY A LICENSED NEW MEXICO ELECTRICAL ENGINEER AND APPROVED BY THE CITY OF ALBUQUERQUE AND INTERCONTINENTAL HOTEL GROUP

- ✕ PEDESTRIAN LIGHTING
- DOUBLE LIGHT POLE
- SINGLE LIGHT POLE
- ⊠ HANDICAPPED STALL MARKER
- ⊙ FIRE HYDRANT
- ★ HANDICAPPED PARKING SIGN
- MANHOLE
- ⊙ 2" WATER METER
- ➔ INCOMING TRAFFIC DIRECTION

**LEGEND:**

**disclaimer:**  
 These plans are intended to be read by dimensions only. Do not use a scale. Please call Leon Lauver + Associates at 1.402.371.3333 if you need dimensional assistance.

drawn:	s sevrson		
checked:	L.K.Lauver		
start date:	12.28.07	05.02.08	remising
plot date:	05.02.08	01.14.08	remising
		01.02.08	remising
approved:		updates:	revisions:

**Site Plan for Building Permit**  
 Lot 2-A-3, Block 2, Sunport Park Subdivision  
 Albuquerque, New Mexico

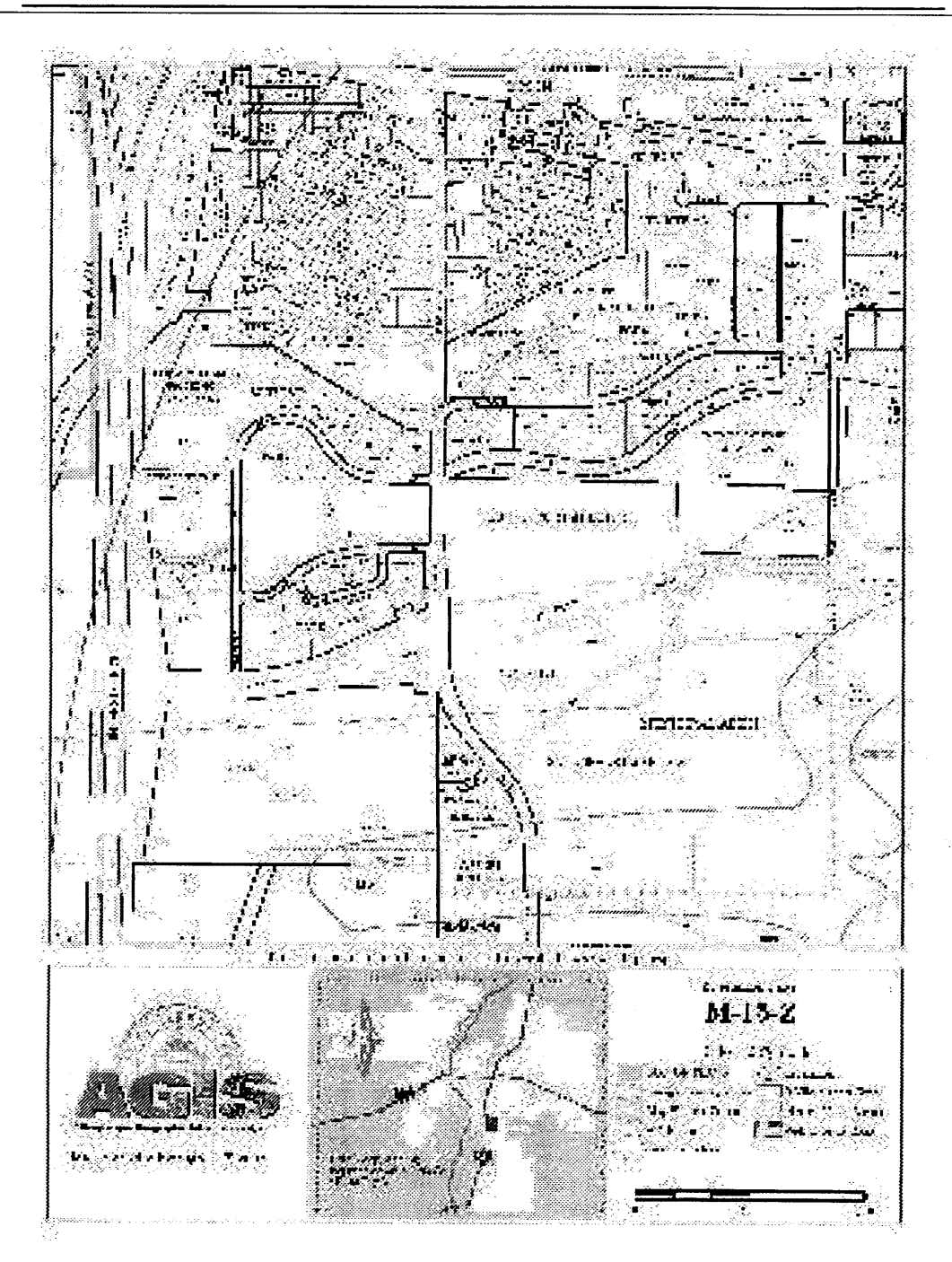


**leon lauver + associates architects + consultants**  
 p. o. box number 1207, norfolk, nebraska 68701  
 voice: 1.402.371.3333; fax: 1.402.371.1164  
 llauver@leonalauver.com  
 Copyright © Leon Lauver + associates. This drawing is an instrument of Leon Lauver + Associates for use solely with this project. This document shall not be used by the owner, contractor, or other parties for other projects.

job no: **438**  
 architect's seal: \_\_\_\_\_  
 sheet: **3 OF 5**



VICINITY MAP



**DRAINAGE DATA**  
THIS SITE LIES WITHIN PRECIPITATION ZONE 2

Condition	Return Table 4 (Years)	Treatment Type	Area (sq. ft.)	Precip. (in.)	Runoff Table A-9 (cfs/ac)	Volume (cu. Ft.)	Rate (cfs)
EXISTING	100	A	0	0.53	1.56	0.0	0.00
		B	79,486	0.78	2.28	5,166.6	4.16
		C	0	1.13	3.14	0.0	0.00
		D	0	2.12	4.70	0.0	0.00
EXISTING	10	A	0	0.13	0.38	0.0	0.00
		B	79,486	0.28	0.95	1,854.7	1.73
		C	0	0.52	1.71	0.0	0.00
		D	0	1.34	3.14	0.0	0.00
DEVELOPED	100	A	0	0.53	1.56	0.0	0.00
		B	13,082	0.78	2.28	850.3	0.68
		C	0	1.13	3.14	0.0	0.00
		D	66,404	2.12	4.70	11,731.4	7.16
DEVELOPED	10	A	0	0.13	0.38	0.0	0.00
		B	13,082	0.28	0.95	305.2	0.29
		C	0	0.52	1.71	0.0	0.00
		D	66,404	1.34	3.14	7,415.1	4.79
TOTAL (EXT)	100				5,166.6	4.2	
	10				1,854.7	1.7	
TOTAL (DEV)	100				12,581.7	7.8	
	10				7,720.4	5.1	

FLOW RATE INCREASES (100-YR) = 3.7 CFS  
 FLOW RATE INCREASES (10-YR) = 3.3 CFS  
 6-HOUR RUNOFF INCREASE (100-YR) = 7,415.1 CU. FT.  
 6-HOUR RUNOFF INCREASE (10-YR) = 5,865.7 CU. FT.

FLOW RATE INCREASES OF 3.7 CFS AND 3.3 CFS FOR THE 100-YEAR AND 10 YEAR STORMS MAY BE EXPECTED. THE 6-HOUR RUNOFF VOLUMES WILL INCREASE BY 7415.1 CUBIC FEET FOR THE 100-YEAR STORM & 5865.7 CUBIC FEET FOR THE 10-YEAR STORM.

**DRAINAGE CHANNEL CAPACITY CALCULATION:**  
 USE MANNINGS EQUATION  
 $Q = (1.49/n)(A)(Rh)^{2/3}(S)^{1/2}$   
 $n = 0.013$  FOR CONCRETE  
 $Rh = A/P$  (RECTANGULAR CHANNEL, FULL FLOW CONDITIONS) = 0.545 FT.  
 $S = 0.083$  FT/FT (AT LOWEST SLOPE)  
 $A = 2.4$  SQ.FT. (RECTANGULAR CHANNEL)  
 $Q(CAPACITY) = 52.8$  CFS

FLOW CAPACITY >> THAN MAXIMUM CALCULATED FLOW THRU CHANNEL ( $Q_{max} = 3.7$  cfs)

LEGAL DESCRIPTION AND FLOOD ZONE

Lot numbered Two-A-Three (2-A-3) in Block numbered Two (2) of SUNPORT PARK, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof filed in the office of the County Clerk of Bernalillo County, New Mexico.

The above described property is located within Zone "X" (No flood hazard), Community Panel No. 350002 0342 E, dated November 19, 2003, and is not located within a Special Flood Hazard Boundary indicated by FEMA Flood Insurance Rate Maps. Determination of Flood Hazard is by graphic plotting only.

SURVEY INFORMATION

TOPOGRAPHIC SURVEY WAS PROVIDED TO ENGINEER BY SURVEYS SOUTHWEST, LTD. THE OF ELEVATIONS FOR THIS SURVEY WAS A PREVIOUS TOPOGRAPHIC SURVEY OF PROPERTY BASIS LOCATED DIRECTLY ACROSS WOODWARD ROAD SE, PERFORMED BY SURVEYOR IN DECEMBER 2002.

OFFSITE FLOW INFORMATION

THE LOT DIRECTLY TO THE EAST OF THE SITE DRAINS ONTO THE EAST EDGE OF THE SITE. THE NORTHERN HALF OF THIS DRAINAGE WILL BE CONVEYED TO FLIGHTWAY AVE. VIA SWALE AND SIDEWALK CULVERT. THE SOUTH PORTION OF THIS OFFSITE DRAINAGE WILL BE CONVEYED TO THE EAST HALF OF THE PARKING LOT THEN DRAINED TO FLIGHTWAY AVE. VIA SIDEWALK CULVERT ALONG WITH FLOWS GENERATED ON THE NORTH HALF OF THE SITE.

DRAINAGE NOTES:

- ROOF DRAINAGE CONVEYED TO PARKING LOTS VIA GUTTER AND DOWNSPOUT. SEE ROOF PLAN FOR LOCATIONS.
- ALL ELEVATIONS GIVEN ARE TO TOP OF PROPOSED GRADE

DRAINAGE CONCEPT

THE SITE CURRENTLY DRAINS EAST TO WEST WITH FLOWS BEING DIVIDED IN APPROXIMATELY THE MIDDLE OF THE SITE TO CONVEY DRAINAGE TO THE NW AND SW. THE PROPOSED GRADING AND DRAINAGE PLAN WOULD ESSENTIALLY SPLIT THE SITE IN HALF ALONG AN EAST/WEST LINE. THE NORTH HALF OF THE SITE WILL BE DRAINED VIA A SIDEWALK CULVERT INTO FLIGHTWAY AVENUE. THE SOUTH HALF OF THE SITE WILL BE DRAINED ONTO WOODWARD ROAD VIA THE PROPOSED DRIVEWAY ENTRANCE.

NOTICE TO CONTRACTOR

PROPOSED CONTOURS AND SPOT ELEVATIONS SHOWN ARE TO FINISH SURFACES AND ARE PROVIDED FOR THE PURPOSE OF SHOWING FLOW ROUTING.

CONTRACTOR IS RESPONSIBLE FOR THE ABATEMENT OF SEDIMENT ONTO ADJOINING PUBLIC RIGHTS-OF-WAY DURING CONSTRUCTION AND FOR THE REMOVAL OF ANY SEDIMENT DEPOSITED IN PUBLIC RIGHT-OF-WAY.

CONTRACTOR SHALL OBTAIN A "TOPSOIL DISTURBANCE PERMIT" PRIOR TO ANY GRADING OR CONSTRUCTION.

CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AN EPA NPDES, PHASE 2 PERMIT. DUE TO THE SIZE OF THE SITE, A SWPPP WILL BE REQUIRED.

CONTRACTOR SHALL VERIFY EXISTING GRADES AT SOUTH END OF SITE WHERE NEW CONC. CHANNEL TO BE INSTALLED. SEVERE EROSION MAY NOT BE REFLECTED IN EXISTING TOPOGRAPHIC DATA.

KEYED NOTES

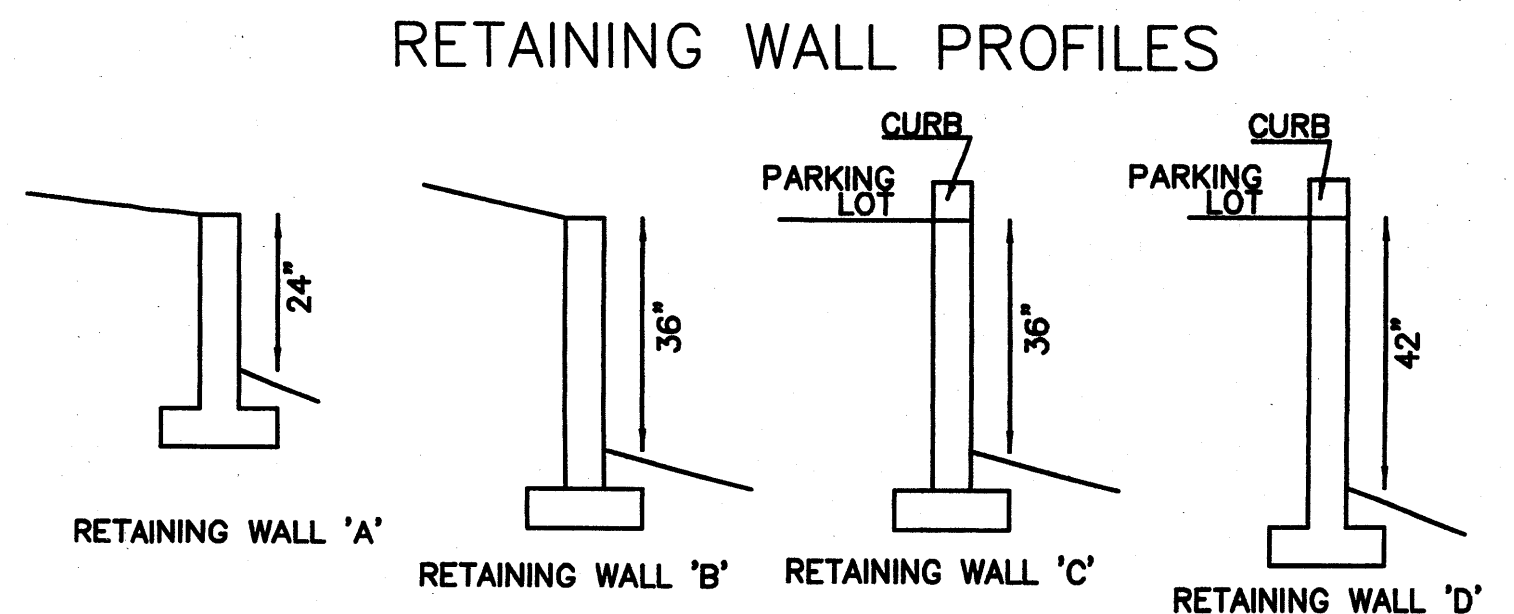
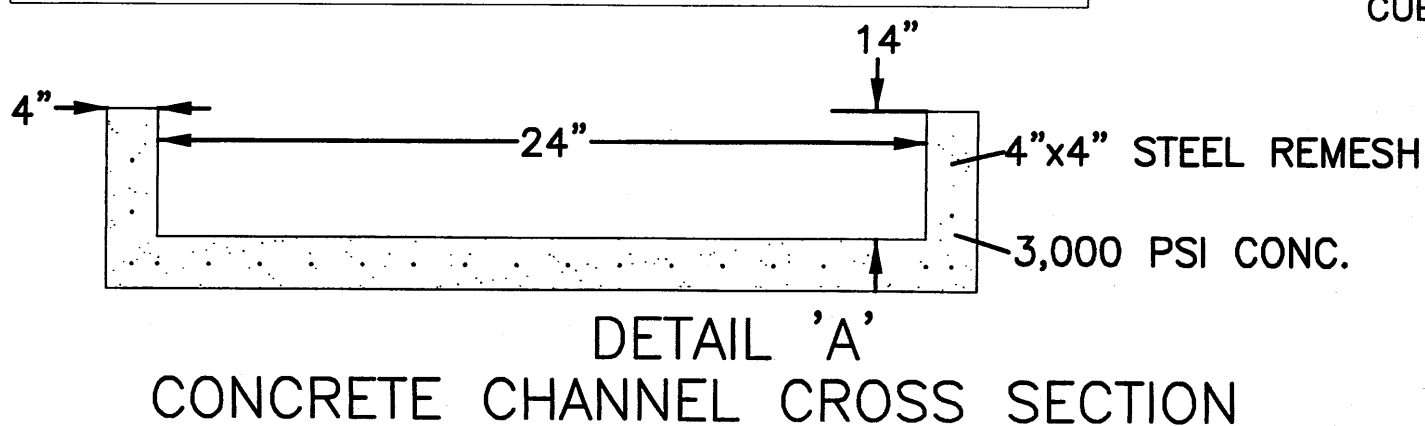
- RETAINING WALL TOP ELEVATION DOES NOT INCLUDE THE 0.5 FT CURBING ASSOCIATED WITH THE PARKING LOT
- RETAINING WALL SHALL BE INCORPORATED INTO THE FOUNDATION AND FOOTER PLAN OF THE BUILDING
- ALL SLOPES EXCEEDING 3:1 SHALL BE PROTECTED FROM EROSION. THIS PROTECTION SHALL CONSIST OF GEOTEXTILE FABRIC STAPLED TO THE SOIL WITH 3"-4" ROCK PLACED ON TOP OF GEOTEXTILE, OR EQUAL AS RECOMMENDED BY THE ARCHITECT IN THE LANDSCAPE PLAN

OTHER NOTES

- RETAINING WALL DESIGN BY OTHERS THE LANDSCAPE PLAN
- T/W INDICATES TOP OF WALL ELEVATION
- B/W INDICATES BOTTOM OF WALL ELEVATION, NOT INCLUDING SUBGRADE ELEV. FOR FOOTER TRAFFIC CIRCULATION PLAN BY OTHERS

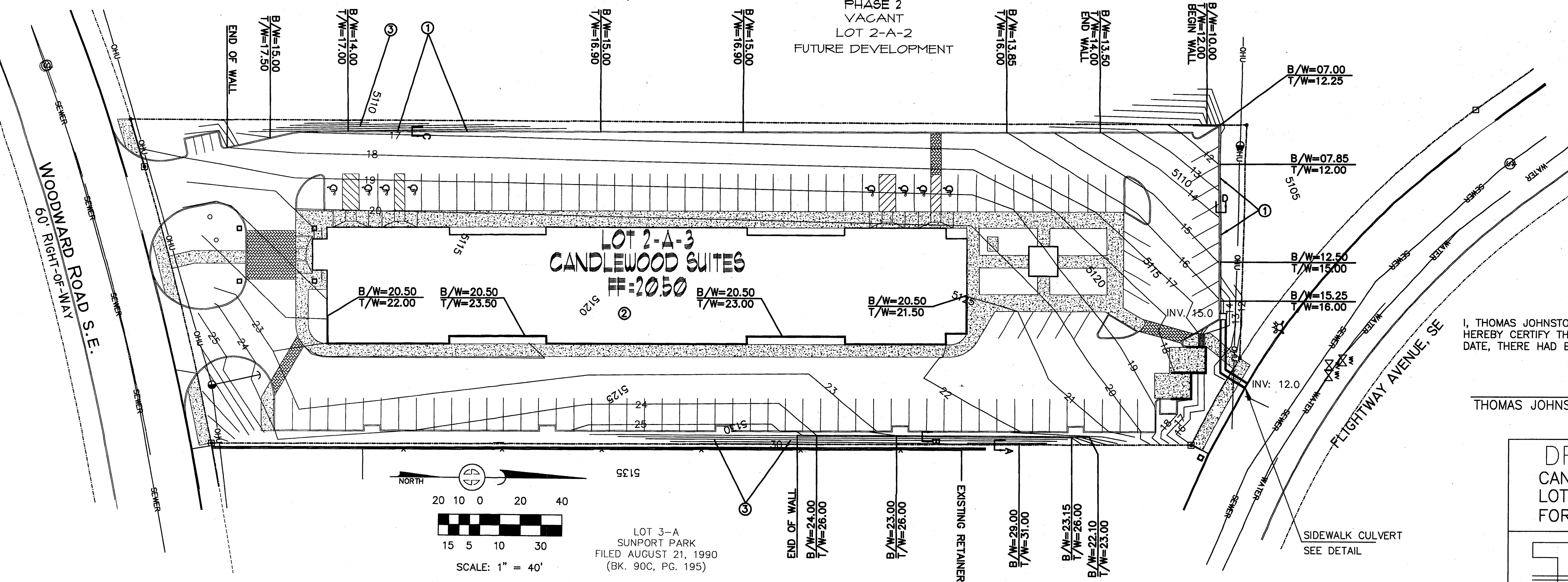
ONSITE HYDROLOGY

THE TABLE BELOW SHOWS THE FULLY DEVELOPED CONDITIONS OF THE SITE.



**RETAINING WALL PROFILE NOTES:**  
 - NOT FOR CONSTRUCTION, FOR ILLUSTRATION PURPOSES ONLY.  
 - CONSTRUCTION DESIGN BY OTHERS  
 - WALL HEIGHT VARIES WITH TOPOGRAPHY  
 - DEPTHS OF RETAINING WALLS ARE FOR CROSS SECTION LOCATIONS SHOWN ON SIGHT DRAWING

**RETAINING WALL LENGTHS:**  
 RETAINING WALL A - LENGTH = 38.1'  
 RETAINING WALL B - LENGTH = 141.1'  
 RETAINING WALL C - LENGTH = 423.0'  
 RETAINING WALL D - LENGTH = 104.0'



I, THOMAS JOHNSTON, NEW MEXICO REGISTERED PROFESSIONAL ENGINEER NO. 17158, LAN DO HEREBY CERTIFY THAT I INSPECTED THIS SITE ON JANUARY 10, 2008, AND THAT, AS OF THAT DATE, THERE HAD BEEN NO RECENT ALTERATION OF GRADE OR EVIDENCE OF GRADING

THOMAS JOHNSTON, NMPE NO. 17158



6-18-08

**DRAINAGE AND GRADING PLAN**  
 CANDLEWOOD SUITES  
 LOT 2-A-3, BLOCK 4-B, SUNPORT PARK  
 FOR: KAREEM KASAM

**TJC ENGINEERING, INC.** (505)266-7256  
 Fax: (505) 255-2887  
 330 LOUISIANA BLVD. NE  
 ALBUQUERQUE, NM 87108

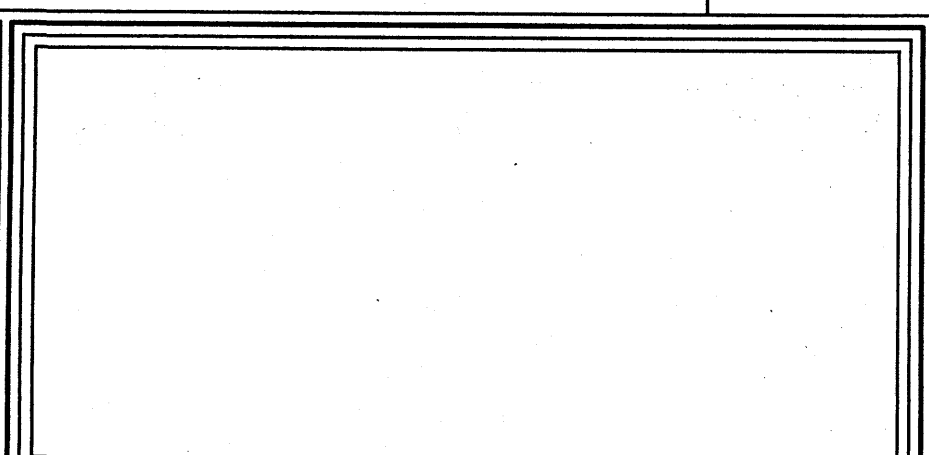
**disclaimer:**  
 These plans are intended to be read by dimensions only. Do not use a scale. Please call Leon Lauer + Associates at 1.402.371.3333 if you need dimensional assistance.

drawn:	I remsing
checked:	L.K. Lauer
start date:	12.28.07
plot date:	1.15.08
approved:	

06.19.08 s. sevenson  
 04.10.08 s. sevenson  
 01.14.08 l. remsing  
 01.02.08 l. remsing

updates:      revisions:

**Site Plan for Building Permit**  
 Lot 2-A-3, Block 2, Sunport Park Subdivision  
 Albuquerque, New Mexico



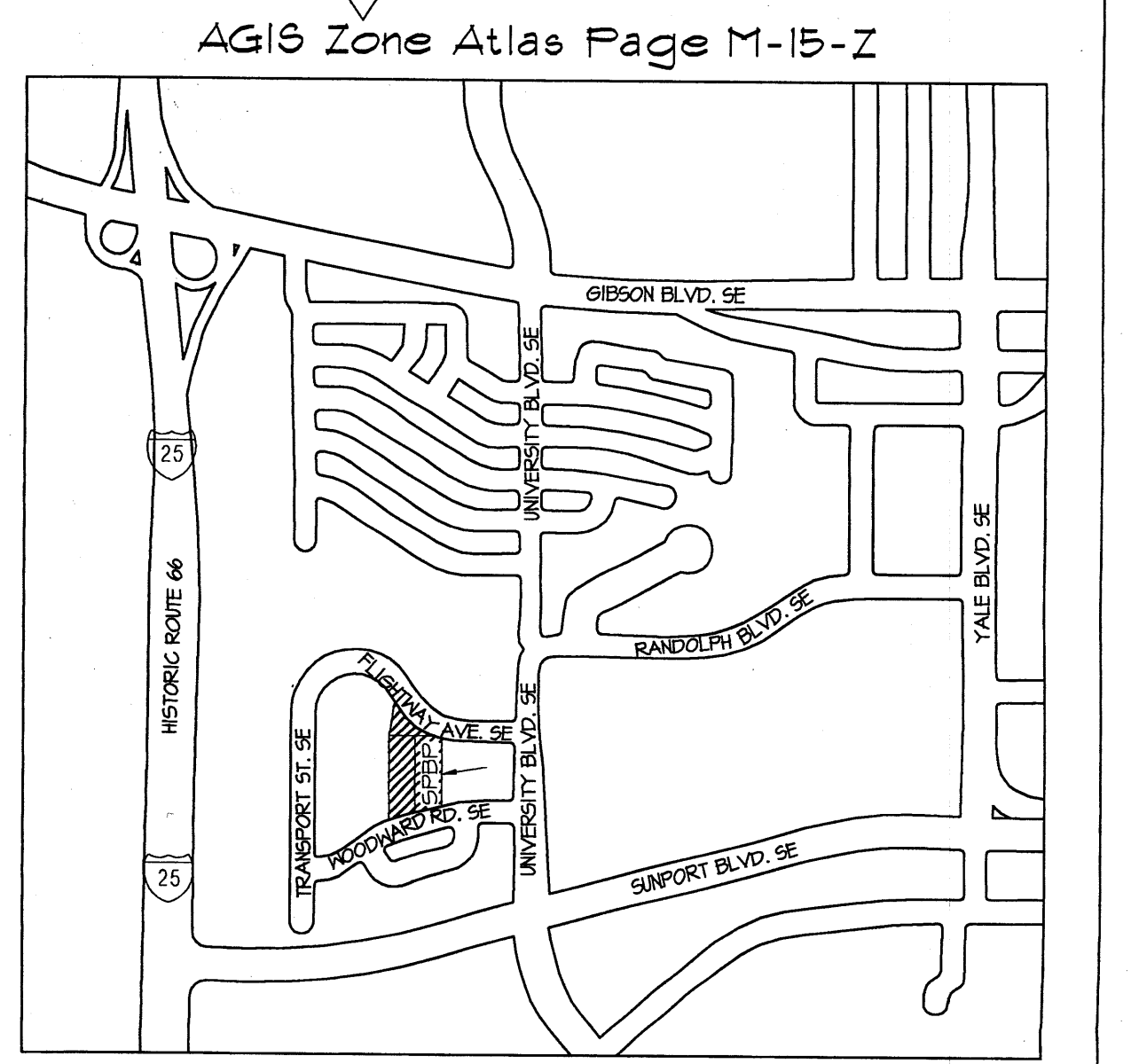
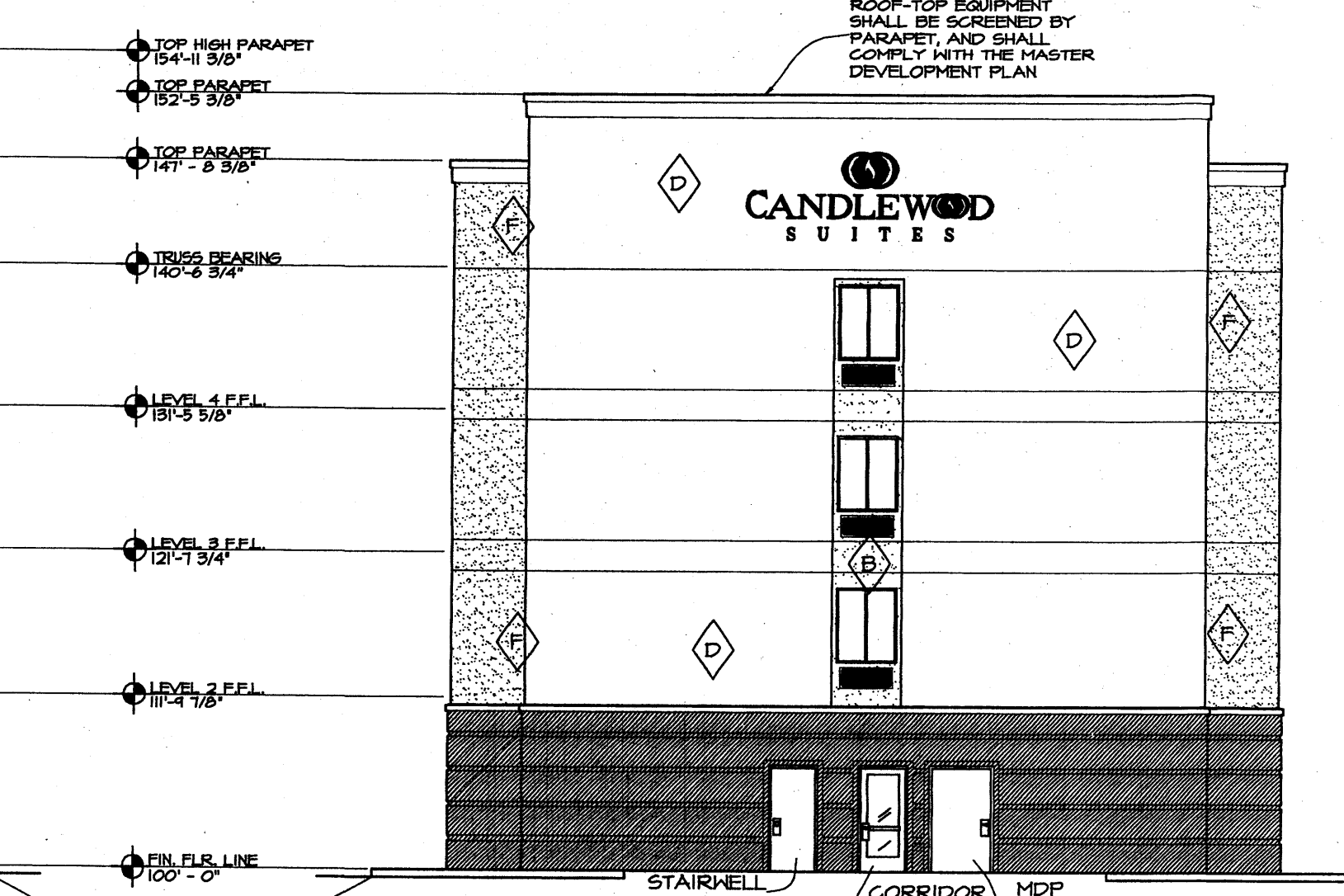
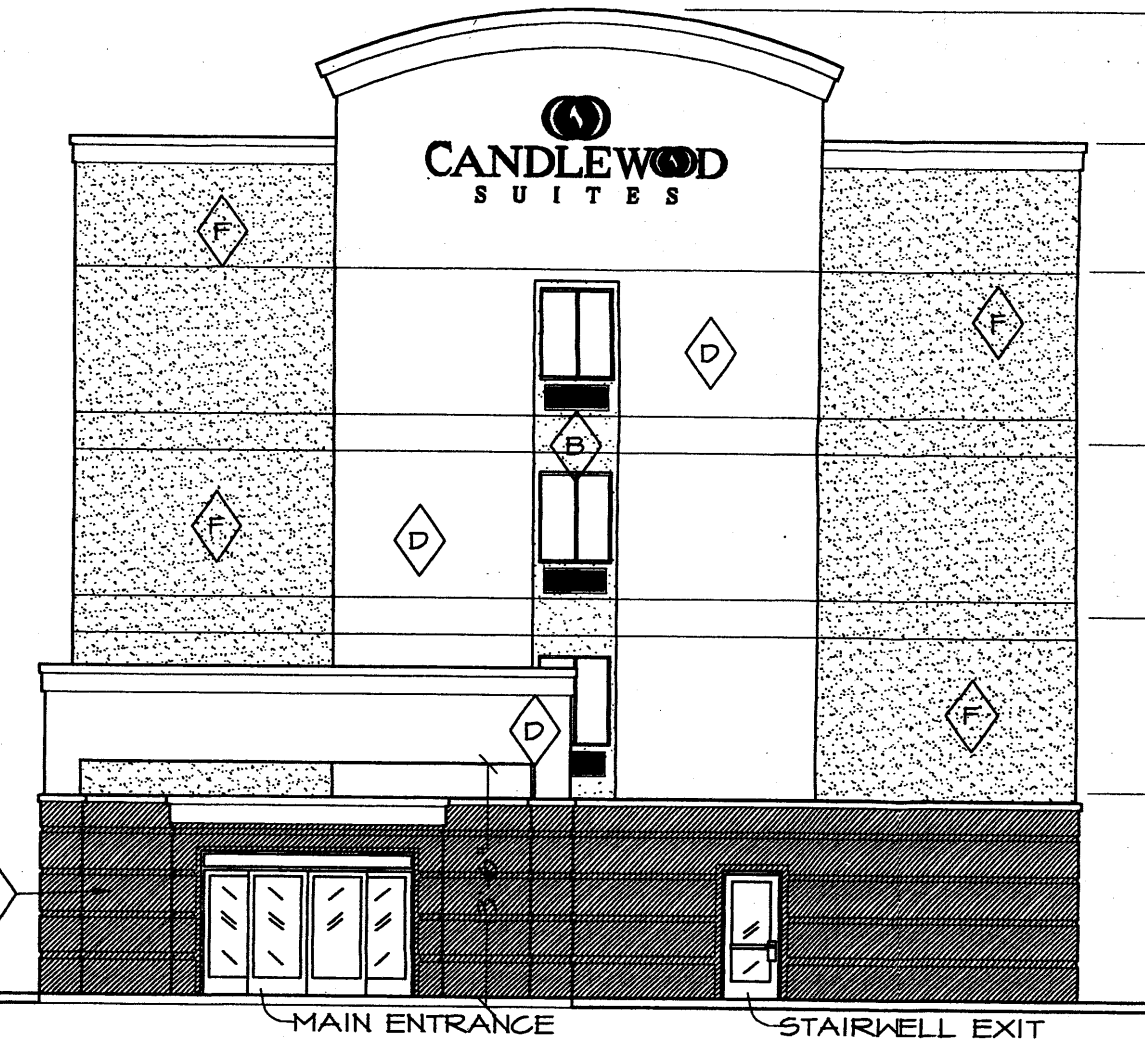
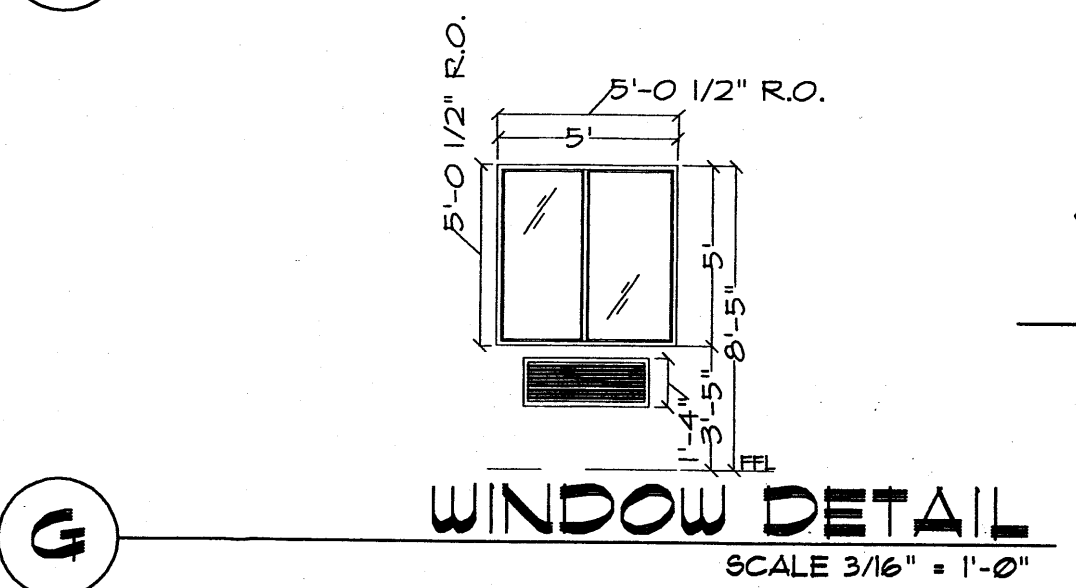
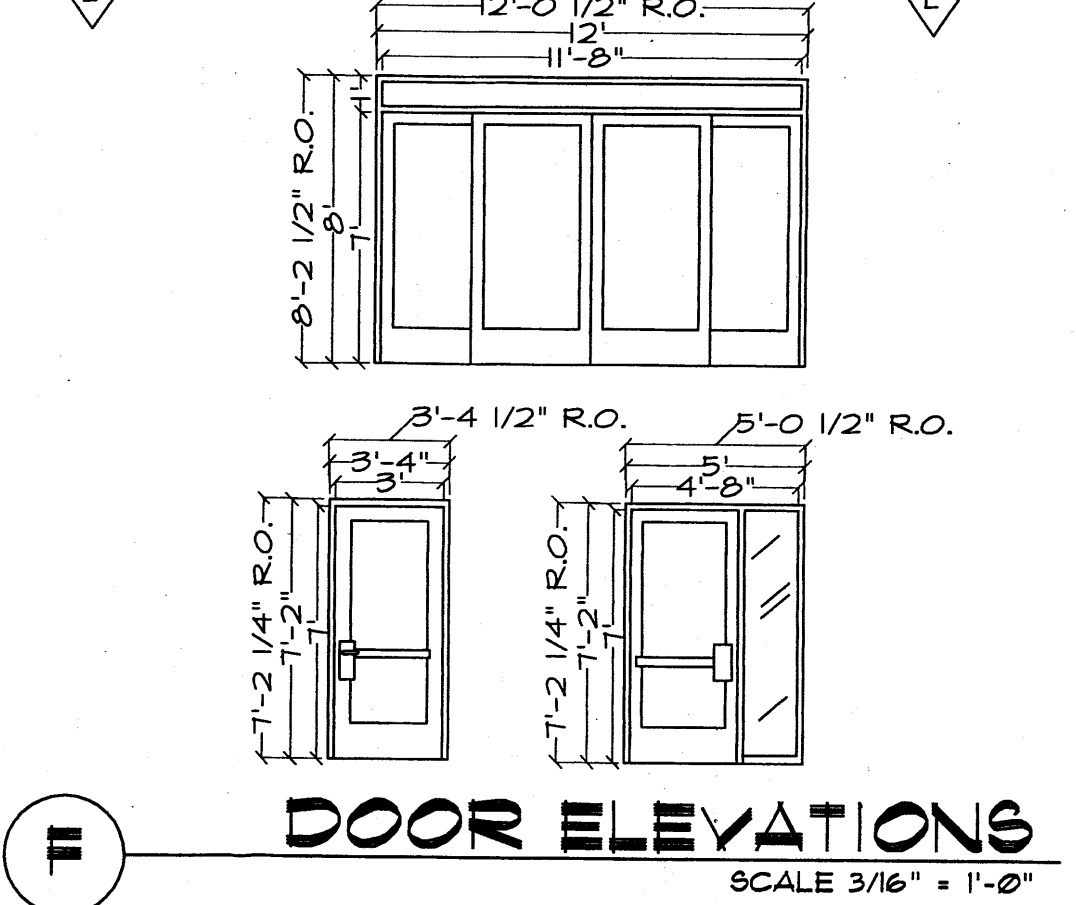
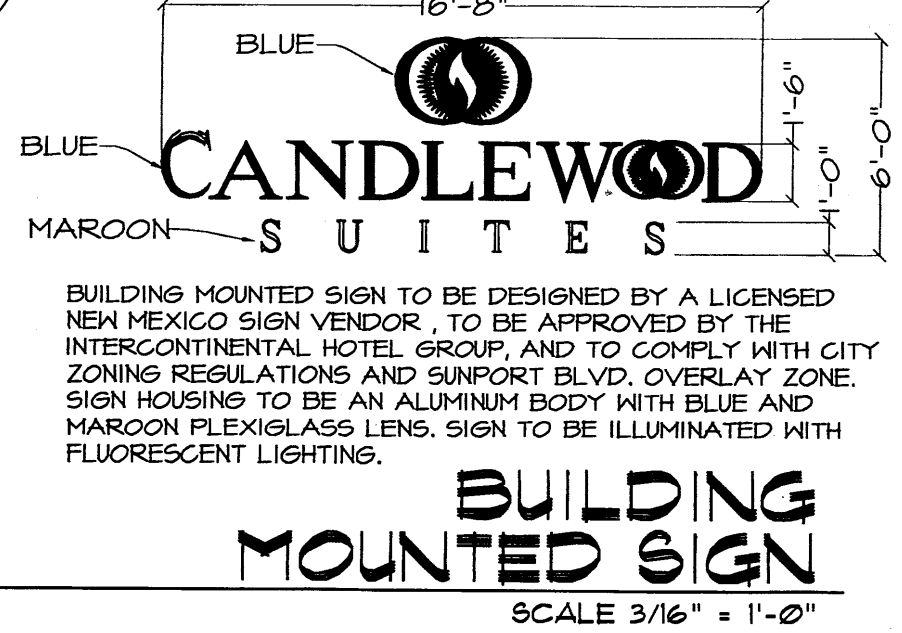
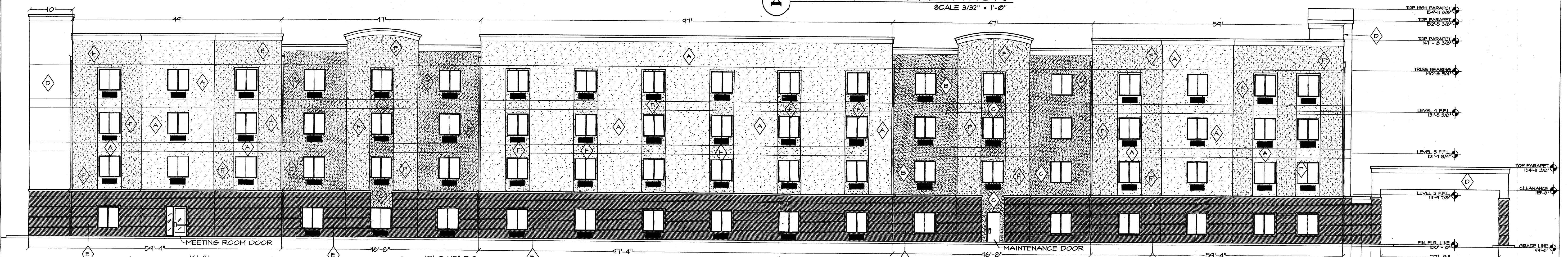
**leon lauver + associates**  
 architects + consultants

p. o. box number 1207, norfolk, nebraska 68701  
 voice: 1.402.371.3333; fax: 1.402.371.1164  
 llauer@leonnalauer.com

Copyright © Leon Lauer + associates. This drawing is an instrument of Leon Lauer + Associates for use solely with this project. This document shall not be used by the owner, contractor, or other parties for other projects.

architect's seal:      job no: **438**  
 sheet: **4 OF 5**





**SYNTHETIC STUCCO COLOR**  
MATCH SYNTHETIC STUCCO COLOR TO THE FOLLOWING BENJAMIN MOORE COLORS

- ◊ - WARM GRAY
- ◊ - KHAKI
- ◊ - TAN
- ◊ - LIGHT GRAY
- ◊ - BROWN
- ◊ - GREY

**NOTES:**  
1. COLOR OF FACIA AND SOFFIT TO MATCH SYNTHETIC STUCCO COLOR "D".  
2. CONDUCTOR HEADS SHALL BE SEAMLESS & PREFINISHED TO MATCH ADJOINING BUILDING SURFACE.  
3. ALL SHUTTERS COLOR TO MATCH BENJAMIN MOORE COLOR "EVENING DOVE #2128-30".  
4. EXTERIOR FINISH ALTERNATE: REPLACE SYNTHETIC STUCCO BASE WITH BRICK.  
5. ALL WINDOWS ARE WHITE FINISH VINYL THERMAL INSULATED WINDOWS.  
6. FRONT ENTRY DOOR FRAMES ARE BRONZE FINISH.  
7. ENTIRE BUILDING TO BE INSTALLED WITH ENERGY EFFICIENT INSULATION.

drawn:	s severson		
checked:	L.K.Lauver		
start date:	12.28.07		
plot date:	07.07.08		
approved:		updates:	revisions:

**Site Plan for Building Permit**  
Candlewood Suites Airport Park  
Albuquerque, New Mexico



**leon lauver + associates**  
architects + consultants  
p. o. box number 1207, northfork, nebraska 68701  
voice: 1.402.371.3333; fax: 1.402.371.1164  
llauver@leonlauver.com

job no: **438**  
sheet: **5 OF 5**