

VICINITY MAP
NOT TO SCALE

GENERAL NOTES

- Bearings are New Mexico State Plane Grid Bearings, Central Zone - NAD83.
- Distances are ground.
- Distances along curved lines are arc lengths.
- Record plat or deed bearings and distances, where they differ from those established by this field survey, are shown in parentheses ().
- All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" or unless otherwise indicated hereon.
- City of Albuquerque Zone Atlas Page: J-14-Z
- The property described herein is subject to all exceptions pertaining to the surveyed property as listed in SCHEDULE B - SECTION II of the Title Commitment prepared for this property by Fidelity National Title Insurance Company, Commitment for Title Insurance No. FT000160726, dated June 16, 2014.

SUBDIVISION DATA

- Total number of existing Lots 12
- Total number of Tracts created: 1
- Gross Subdivision acreage: 0.9780 acres

TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following:

Bernalillo County Treasurer _____ Date _____

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- Qwest Corporation d/b/a CenturyLink QC for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

DISCLAIMER

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

PURPOSE OF PLAT

The purpose of this plat is to:

- Combine Twelve (12) existing Lots into one (1) tract as shown hereon.
- Grant the new easement as shown hereon.

SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

[Signature]
Russ P. Hugg
NMPS No. 9750
September 18, 2014



PLAT OF
TRACT A
QUATRO

(BEING A REPLAT OF LOTS 1 THRU 12, BLOCK 2, PARIS ADDITION)
WITHIN
THE TOWN OF ALBUQUERQUE GRANT
PROJECTED SECTION 17, TOWNSHIP 10 NORTH, RANGE 3 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
SEPTEMBER

PROJECT 1007059
DATE: 10.1.14
APP: 14-70335(P:F)
(SURV-TEK)

PROJECT NUMBER: _____

Application Number: _____

PLAT APPROVAL

UTILITY APPROVALS:

Public Service Company of New Mexico	_____	Date	_____
New Mexico Gas Company	_____	Date	9/17/14
Qwest Corporation d/b/a CenturyLink QC.	_____	Date	9/17/14
Comcast	_____	Date	_____

CITY APPROVALS:

Acting City Surveyor Department of Municipal Development	_____	Date	9/17/14
Real Property Division	_____	Date	_____
Environmental Health Department	_____	Date	_____
Traffic Engineering, Transportation Division	_____	Date	_____
ABCWJA	_____	Date	_____
Parks and Recreation Department	_____	Date	_____
AMA/CA	_____	Date	_____
City Engineer	_____	Date	_____
DRB Chairperson, Planning Department	_____	Date	_____

SHEET 1 OF 3

SURV-TEK, INC.

Consulting Surveyors
5384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3366 Fax: 505-897-3377

LEGAL DESCRIPTION

That certain parcel of land situate within the Town of Albuquerque Grant in Projected Section 17, Township 10 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being and comprising all of Lots numbered One (1) through Twelve (12), inclusive in Block numbered Two (2) of the Paris Addition as the same are shown and designated on the Map of said Addition, filed in the office of the Probate Clerk and Ex-Officio Recorder of Bernalillo County, New Mexico on December 29, 1892 more particularly described by survey performed by Russ P. Hugg, New Mexico Professional Surveyor Number 9750 using New Mexico State Plane, Central Zone (NAD 83) grid bearings and ground distances as follows:

BEGINNING at the Southeast corner of said Lot 12, Block 2, Paris Addition (a 5/8" Rebar and cap stamped "L.S. 9750" set) a point of intersection of the Westerly right of way line of Fourth Street N.W. and the Northerly right of way line of Summer Avenue N.W. whence the Albuquerque Control Survey Monument "17-J14" bears S 42°08'26" W, 2727.78 feet distant; Thence,

N 80°47'57" W, 142.00 feet along said Northerly right of way line of Summer Avenue N.W. to the Southwest corner of said Lot 12, Block 2, Paris Addition (a 5/8" Rebar and cap stamped "L.S. 9750" set); Thence,

N 09°12'03" E, 300.00 feet along the Westerly line of said Block 2, Paris Addition to the Northwest corner of said Lot 1, Block 2, Paris Addition (a 5/8" Rebar and cap stamped "L.S. 9750" set), said point also being a point on the Southerly right of way line of Kinley Avenue N.W.; Thence,

S 80°47'57" E, 142.00 feet along said Southerly right of way line of Kinley Avenue N.W. to the Northeast corner of said Lot 1, Block 2, Paris Addition (a 5/8" Rebar and cap stamped "L.S. 9750" set), said point also being a point of intersection of said Southerly right of way line of Kinley Avenue N.W. and said Westerly right of way line of Fourth Street N.W.; Thence,

S 09°12'03" W, 300.00 feet along said Westerly right of way line of Fourth Street N.W. to the Southeast corner and point of beginning of the parcel herein described.

Said parcel contains 0.9780 acre, more or less.

FREE CONSENT AND DEDICATION

SURVEYED and REPLATTED and now comprising, "PLAT OF TRACT A, QUATRO (BEING A REPLAT OF LOTS 1 THRU 12, BLOCK 2, PARIS ADDITION) WITHIN THE TOWN OF ALBUQUERQUE GRANT IN PROJECTED SECTION 17, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby grant to the use of the public forever, the public utility easements as shown hereon. Said owner(s) and proprietor(s) do hereby warrant that they hold among them, complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

OWNER

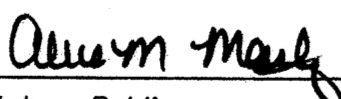
The Greater Albuquerque Housing Partnership,
a nonprofit New Mexico corporation

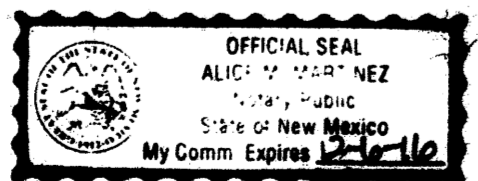
By: 
Louis Kolker, Executive Director

ACKNOWLEDGEMENT

STATE OF NEW MEXICO
COUNTY OF BERNALILLO SS

The foregoing instrument was acknowledged before me this 17th
day of September, 2014, by, Louis Kolker as
Executive Director of The Greater Albuquerque Housing Partnership

 12-6-16
Notary Public My commission expires



PLAT OF
TRACT A
QUATRO

(BEING A REPLAT OF LOTS 1 THRU 12, BLOCK 2, PARIS ADDITION)
WITHIN
THE TOWN OF ALBUQUERQUE GRANT
PROJECTED SECTION 17, TOWNSHIP 10 NORTH, RANGE 3 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
SEPTEMBER, 2014

DOCUMENTS USED IN THE PREPARATION OF THIS SURVEY

- A. Plat of PARIS ADDITION to the City of Albuquerque, New Mexico, as the same is shown and designated on the Map of said Addition, filed in the office of the Probate Clerk and Ex-Officio Recorder of Bernalillo County, New Mexico, December 29, 1892, on Rack 1, Board 16.
- B. Plat of PARIS ADDITION to the Town of Albuquerque, New Mexico, as the same is shown and designated on the Map of said Addition, filed in the office of the Probate Clerk and Ex-Officio Recorder of Bernalillo County, New Mexico, October 29, 1889.
- C. Plat entitled "MAP OF THE ROMERO ADDITION TO THE TOWN OF ALBUQUERQUE, N.M.", as the same is shown and designated on the Map of said Addition, filed in the office of the Probate Clerk and Ex-Officio Recorder of Bernalillo County, New Mexico, December 5, 1884.
- D. Title Commitment prepared for the surveyed property by Fidelity National Title Insurance Company, Commitment for Title Insurance No. FT000160726, dated June 16, 2014.

**SECTION 14-14-4-7 PROHIBITION ON PRIVATE RESTRICTIONS
ON THE INSTALLATION OF SOLAR COLLECTORS**

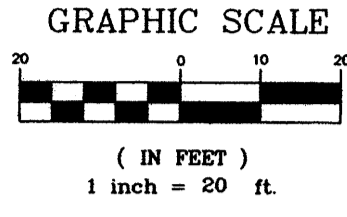
"No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat."



PLAT OF
**TRACT A
QUATRO**

(BEING A REPLAT OF LOTS 1 THRU 12, BLOCK 2, PARIS ADDITION)
WITHIN
THE TOWN OF ALBUQUERQUE GRANT
PROJECTED SECTION 17, TOWNSHIP 10 NORTH, RANGE 3 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
SEPTEMBER, 2014

Note (A)
Unplatted Hiatus created by plats of the Romero Addition and the Paris Addition as noted hereon. Said plat boundaries are not contiguous with each other forming the unplatted parcels as shown hereon. Said unplatted parcels are currently being utilized as an alley between Kinley Avenue and Summer Avenue.

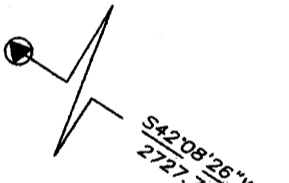
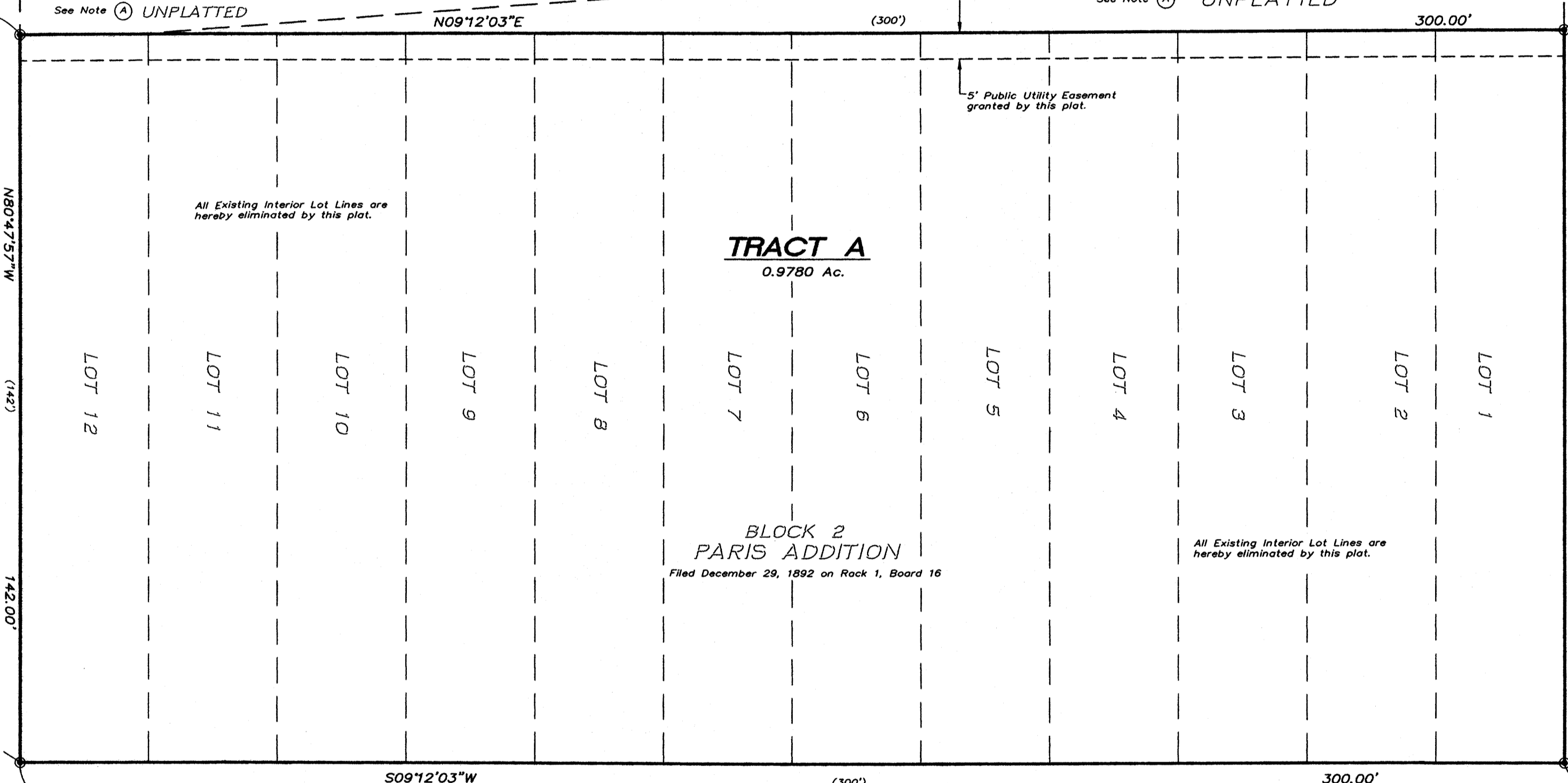
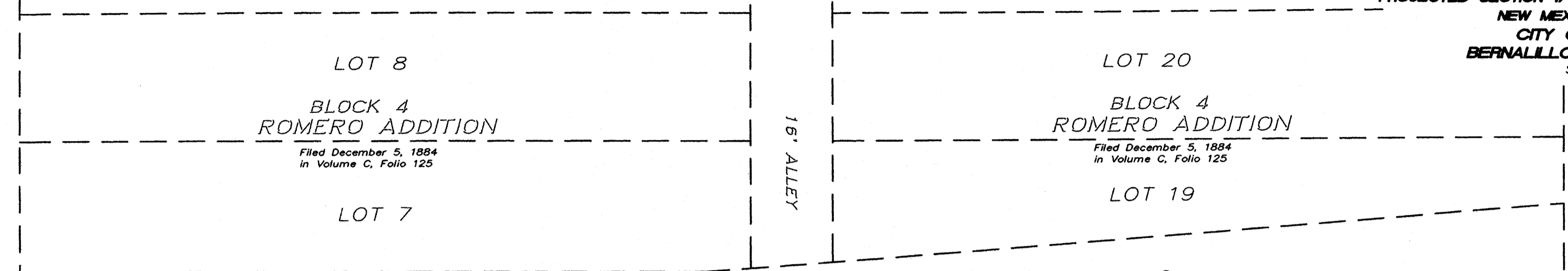


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BLOCK 5
ROMERO ADDITION
Filed December 5, 1884

BLOCK 3
PARIS ADDITION
Filed December 29, 1892

SUMMER AVENUE N.W.
60' R/W



Albuquerque Control Survey Monument "17-J14"
New Mexico State Plane Coordinates
(Central Zone - NAD 83)
North = 1,458,865.752 feet
East = 1,519,149.317 feet
Elevation = 4957.484 feet (NAVD 1988)
Delta Alpha = -0°13'59.00"
Ground To Grid Factor = 0.999683611

140321_PLAT.DWG

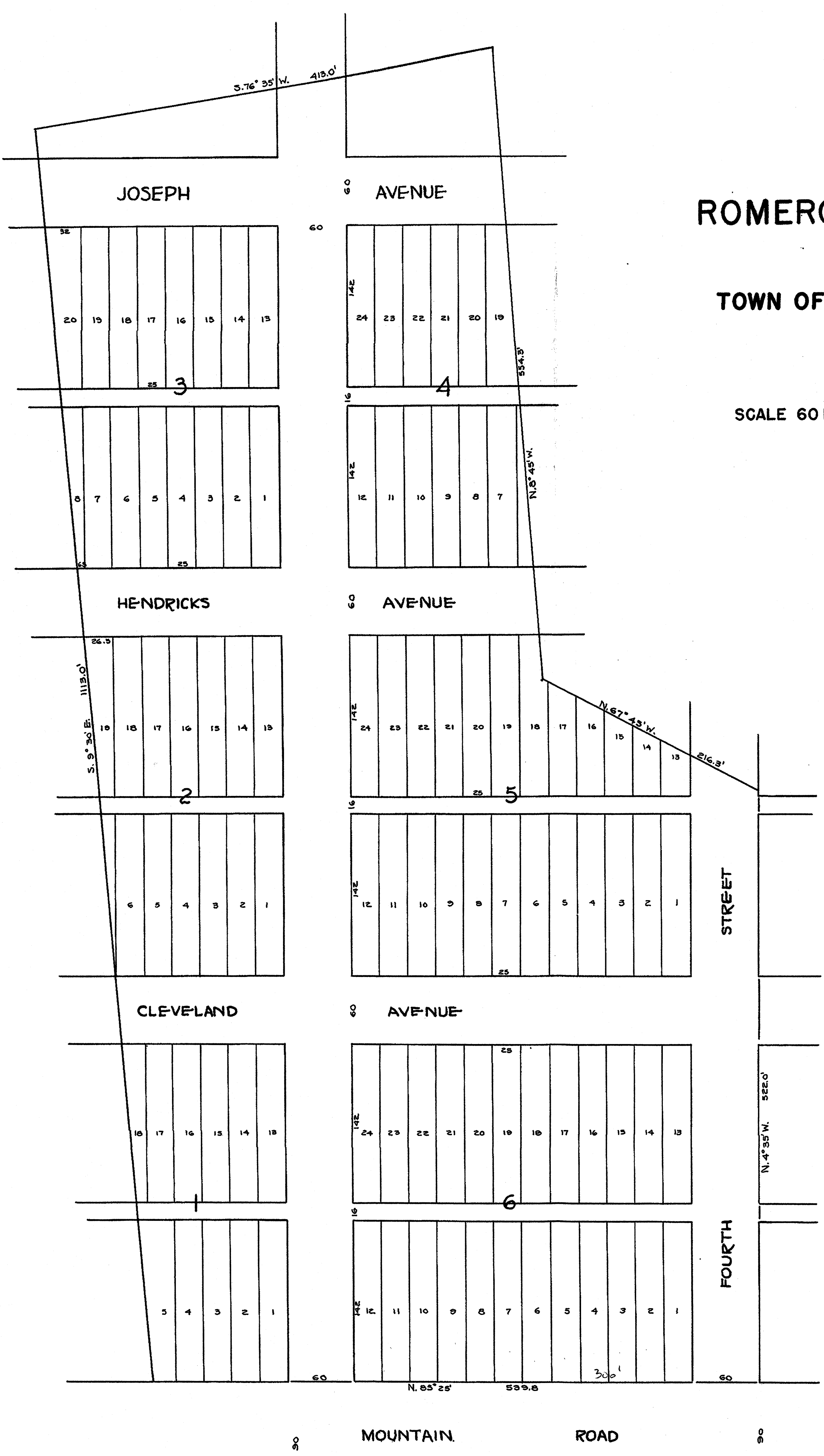
SHEET 3 OF 3

SURVOTEK, INC.
Consulting Surveyors
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3366
Fax: 505-897-3377

MAP
OF THE
ROMERO ADDITION
TO THE
TOWN OF ALBUQUERQUE
N.M.

SCALE 60 FEET TO ONE INCH

Area 12 ⁷/₁₀ Acres
Bearings Given Are Magnetic
Wm. F. Hill, December, 1884

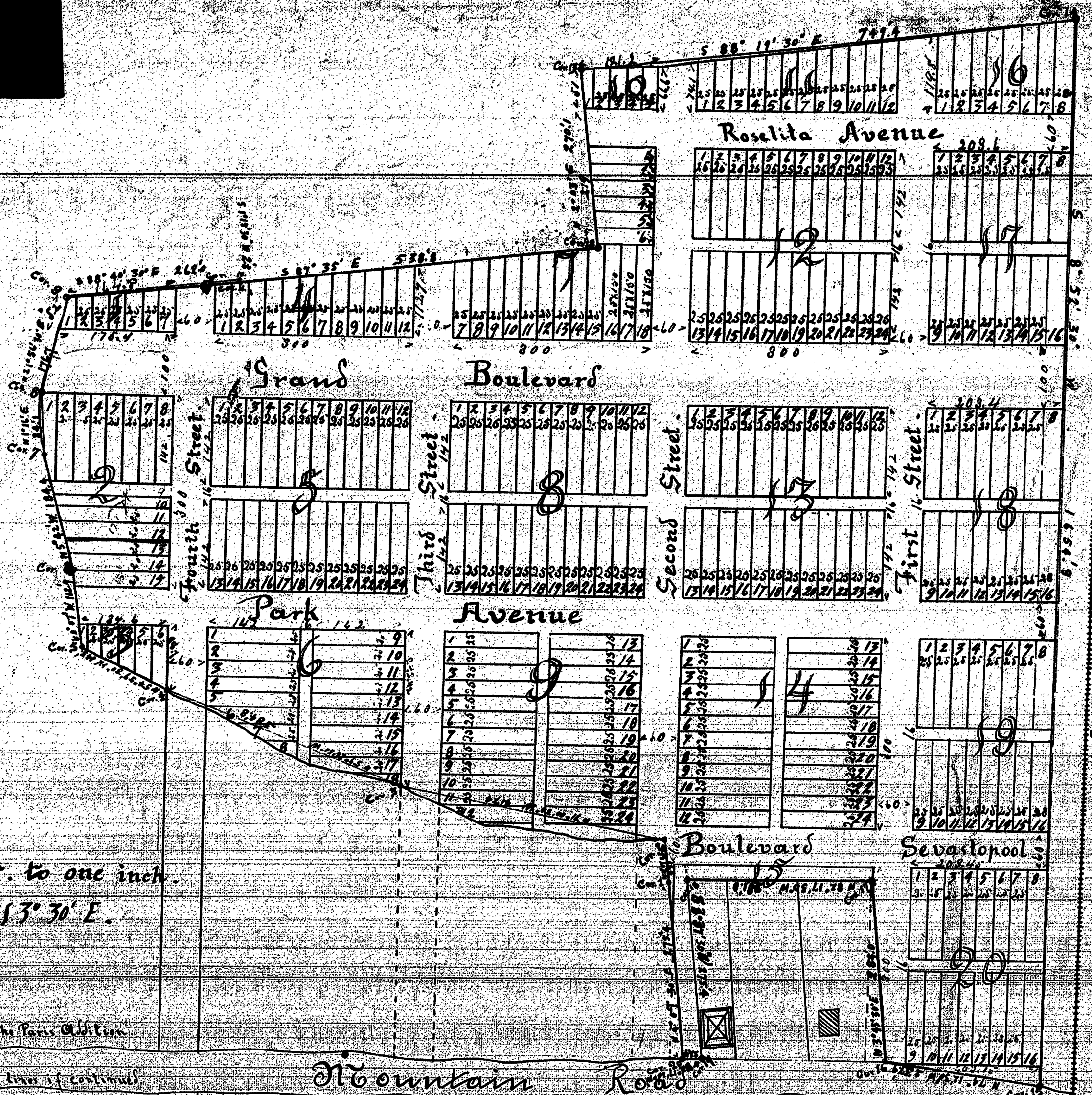


This plat was filed for record in my office this the 5th day of December A.D. 1884.

J.L. Pereo Jr.
Propate Clerk & Ex-Officio Record
by S/H.M. Stone, Deputy

Duran and Alexander Add.

I, Ramona Montoya, County Clerk of Bernalillo County, New Mexico, do hereby certify that the map on which this certificate appears is a true copy, made under my direction and under the provisions of Chapter 130 of New Mexico Session Laws 1939, of a map filed for record on the 25th day of December, 1884.
Ramona Montoya
County Clerk, Bernalillo County, New Mexico



Scale 120 ft. to one inch

Mag. Var. 13° 30' E.

- Buildings
- Garden
- Lands bounding the Paris Addition
- Traced Lines
- their portion of full lines of continuation

Area 38.5775 Acres

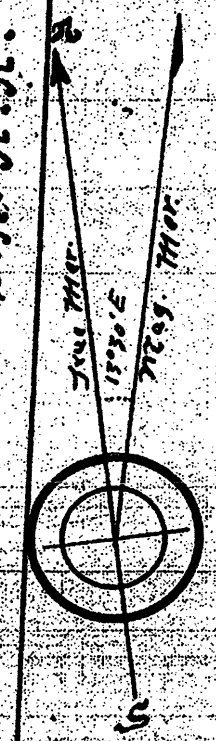
Paris Addition

To The Town of Albuquerque New Mex.

For
Sofre L. Alexander

Filed in my office this 29th day
of October A.D. 1889, at 11:00 o'clock P.M.
City of Santa Fe
P.C. Recorder

Surveyed by
E. W. Kelloune C.E.
June 17th A.D. 1889



Boundary of New Mexico
County of Bernalillo

I, Sofre L. Alexander, do hereby certify and declare that the foregoing plat of land is a true and correct copy of the original plat of land, and is on the North side of the town of Albuquerque, and is bounded on the East side by the right of way of the Atchafalaya, on the West by the land of Nicolas J. Aragon, and on the North by the land of Nicolas J. Aragon, and on the South by the land of Nicolas J. Aragon, and the Mountain Road, that the whole of said tract contains thirty-eight (38) acres, that the corners and distances and boundaries of said tract of land are set forth in the above and foregoing plat of the Paris Addition, the Town of Albuquerque, New Mexico, and that the subdivisions of said tract of land, as set out in the said plat of the said Paris Addition, are in full compliance and in accordance with the desires of the said and original owner and proprietor thereof.

Sofre L. Alexander

Survey of Mrs. M. J. ...
County of Bernalillo } on this 29th day of October
A.D. 1889, before me, personally appeared
Sofre L. Alexander, do hereby certify and declare
that the foregoing plat of land is a true and correct
copy of the original plat of land, and is on the North
side of the town of Albuquerque, and is bounded on the
East side by the right of way of the Atchafalaya, on the
West by the land of Nicolas J. Aragon, and on the North
by the land of Nicolas J. Aragon, and on the South by the
land of Nicolas J. Aragon, and the Mountain Road, that the
whole of said tract contains thirty-eight (38) acres, that the
corners and distances and boundaries of said tract of land
are set forth in the above and foregoing plat of the Paris
Addition, the Town of Albuquerque, New Mexico, and that
the subdivisions of said tract of land, as set out in the
said plat of the said Paris Addition, are in full compliance
and in accordance with the desires of the said and original
owner and proprietor thereof.

GENERAL NOTES

- A. NORTH FOURTH TRANSIT ORIENTED DEVELOPMENT (NFTOD) HEIGHT: 4 STORIES WITH A MAXIMUM OF 52 FEET 3 STORIES WITH A MAXIMUM OF 40 FEET GROUND STORY CLEAR HEIGHT = 10'-0" MINIMUM
- B. SETBACKS PER SECTOR DEVELOPMENT PLAN: 0'-10" FRONT SETBACK @ 4TH STREET (0' PROVIDED) 0'-10" SIDE STREET SETBACK @ SUMMER & KINLEY AVE. (4'-8" PROVIDED) 5'-10" REAR SETBACK INCLUDING ALLEY WIDTH
- C. TOPOGRAPHY/ DRAINAGE: SITE IS RELATIVELY FLAT. DRAINAGE IS PREDOMINATELY FROM EAST TO WEST. LEADING FROM THE PARKING LOT TO THE WEST EDGE PLANTER.
- D. WELLS PARK PROVIDES CHILDREN RECREATION FACILITIES TWO BLOCKS SOUTH AND ONE BLOCK WEST OF PROPERTY.
- E. SURROUNDING USES: TO NORTH, EAST AND SOUTH COMMERCIAL. TO WEST- SINGLE-FAMILY RESIDENTIAL AND COMMERCIAL.

KEYED NOTES

1. PATIO AREA WITH BARBEQUES AND PICNIC TABLES.
2. ROLLING ELECTRICAL GATE.
3. REFUSE ENCLOSURE WITH GATE. SEE DETAILS 15 & 16/SITE401.
4. 6" CMU BLOCK WALL. SEE SHEET SITE400 & SITE401.
5. TYPICAL PROPERTY LINE.
6. 4" WALL WITH 4" CAP BLOCK. SEE DETAIL 3/SITE400.
7. CONCRETE PAVING.
8. CONCRETE WALKWAY.
9. ASPHALT PAVING.
10. ACCESSIBLE CURB RAMP. TYPICAL.
11. FIRE SPRINKLER CLOSET, 6" WATER TAP AND LINE FOR FIRE SUPPRESSION SYSTEM.
12. EXISTING POLE LIGHT FIXTURE. TYPICAL.
13. PROPOSED NEW CITY BUS SHELTER AT EXISTING ROUTE #10 BUS STOP.
14. PERMEABLE PAVING / GRAVEL.
15. KITCHEN GARDEN.
16. "NO ENTRY" SIGN. SEE SHEET SITE600.
17. PUTTING GREEN.
18. WATER FEATURE.
19. NEW POLE LIGHT FIXTURE.
20. EXISTING STRUCTURE.
21. PROPOSED STRUCTURE.
22. BIKE RACK, EXTERIOR.
23. NEW FIRE HYDRANT.
24. EXISTING FIRE HYDRANT.
25. LANDSCAPE AREA. SEE LANDSCAPE SHEETS.
26. FLUSH 12" WIDE CONCRETE RETAINING STRIP.
27. NEW CONCRETE DRIVE PAD.
28. NEW 6" CONCRETE PARKING CURBS.
29. NEW 6" CONCRETE CURBING.
30. 6" REBAR FENCE. SEE SHEET SITE400 & SITE401.
31. SITE AND BUILDING SIGNAGE SEE SHEET SITE600.
32. PONDING AREA.
33. ROOF DRAINAGE / ROOF OVERFLOW DISCHARGE OUTLET.
34. NEW 2" WATER LINE AND METER TAP AT THIS LOCATION.

RESIDENTIAL UNIT SIZES

TOTALS FOR PROJECT = 56 UNITS
13 EFFICIENCIES, 23 ONE BEDROOM, & 20 TWO BEDROOMS
THESE ARE BROKEN DOWN BELOW TO SHOW SIZES

TYPE OF UNIT	# OF UNITS	HEATED SQUARE FOOTAGE PER UNIT
EFFICIENCY 1	8	439
EFFICIENCY 2	2	501
EFFICIENCY 3	3	457
ONE BEDROOM 1	8	566
ONE BEDROOM 2	8	625
ONE BEDROOM 3	4	751
ONE BEDROOM 4	3	636
TWO BEDROOM ONE BATH	12	799
TWO BEDROOM TWO BATH	8	851

BUILDING SCHEDULE

TOWER A	TOWER B	TOWER C
FIRST FLOOR 4,545 GROSS SQ. FT. COMMON AREA	FIRST FLOOR 4,550 GROSS SQ. FT. COMMON AREA	FIRST FLOOR 5,113 GROSS SQ. FT. COMMON AREA
SECOND FLOOR (2) EFFICIENCY 1 (2) ONE BEDROOM 1 (2) ONE BEDROOM 2 (4) ONE BEDROOM 3 (2) TWO BEDROOM 2 BATH TOTAL 5713 SQ. FT.	SECOND FLOOR (1) EFFICIENCY 2 (1) EFFICIENCY 3 (1) ONE BEDROOM 4 (4) TWO BEDROOM 1 BATH TOTAL 4790 SQ. FT.	SECOND FLOOR (2) ONE BEDROOM 1 (2) ONE BEDROOM 2 (1) ONE BEDROOM 3 (2) TWO BEDROOM 2 BATH TOTAL 5713 SQ. FT.
THIRD FLOOR (2) EFFICIENCY 1 (1) ONE BEDROOM 1 (2) ONE BEDROOM 2 (1) ONE BEDROOM 3 (2) TWO BEDROOM 2 BATH TOTAL 5713 SQ. FT.	THIRD FLOOR (1) EFFICIENCY 2 (1) EFFICIENCY 3 (1) ONE BEDROOM 4 (4) TWO BEDROOM 1 BATH TOTAL 4790 SQ. FT.	THIRD FLOOR (2) EFFICIENCY 1 (2) ONE BEDROOM 1 (2) ONE BEDROOM 2 (1) ONE BEDROOM 3 (2) TWO BEDROOM 2 BATH TOTAL 5713 SQ. FT.
FOURTH FLOOR (1) LAUNDRY ROOM (1) EFFICIENCY 3 (1) ONE BEDROOM 4 (4) TWO BEDROOM 1 BATH TOTAL 5713 SQ. FT.	FOURTH FLOOR (1) LAUNDRY ROOM (1) EFFICIENCY 3 (1) ONE BEDROOM 4 (4) TWO BEDROOM 1 BATH TOTAL 5713 SQ. FT.	FOURTH FLOOR (1) LAUNDRY ROOM (1) EFFICIENCY 3 (1) ONE BEDROOM 4 (4) TWO BEDROOM 1 BATH TOTAL 5713 SQ. FT.
PATIO AREA BETWEEN TOWERS A & B: 1,094 SQ. FT. PUTTING GREEN: 419 SQ. FT. KITCHEN GARDEN AREA: 88 SQ. FT.	PATIO AREA BETWEEN TOWERS B & C: 1,167 SQ. FT. ROOF TOP PATIO: 889 SQ. FT.	PATIO AREA BETWEEN TOWERS B & C: 1,167 SQ. FT.

SITE/BUILDING DATA

PROJECT ADDRESS: 1319 4TH NW
SITE ACREAGE: 0.98 ACRES
TOTAL UNITS: 56
TOTAL D.U. = 57.14
TOTAL GROSS SQ. FT. PER TOWER: TOWER A: 19,889 SQ. FT. TOWER B: 25,861 SQ. FT. TOWER C: 20,442 SQ. FT. 66,212 SQ. FT.
TOTAL GROSS SQ. FT.:
CONSTRUCTION TYPE: V-A
BUILDING HEIGHT: TOWER A: 38'-8" TOWER B: 49'-8" TOWER C: 38'-8"
ACCESSIBLE PARKING
NEW STREET LIGHTING STANDARD
EXISTING STREET LIGHTING STANDARD
(1) EXISTING & (1) NEW FIRE HYDRANT
MOTORCYCLE PARKING



VICINITY MAP

ZONE ATLAS - J-14-Z ZONING: C-2 COMMERCIAL RETAIL

PARKING CALCULATIONS

Note: Parking Calculations are based on the "North 4th Rank III Corridor Plan" Required Parking Calculations
Required Residential Parking:
(13) Efficiencies -> 1.5 space per = 19.5 spaces
(23) 1 Bedrooms -> 1.5 spaces per = 34.5 spaces
(20) 2 Bedrooms -> 1.5 spaces per = 30 spaces

Total: 84 Residential Spaces Required

Required Non-Residential Parking:
1,800 Sq. Ft. Multi-purpose (tenants only) = 0 spaces
249 Sq. Ft. Sales Office -> 3/1,000 Sq. Ft. = 3 spaces
Shared parking factor 1.4 reduces to = 2.1 = 3 spaces
2,271 Sq. Ft. Exercise Area (tenants only) = 0 spaces

Total: 3 Non-Residential Spaces Required

Parking Reductions:
NFTOD 10% reduction = -8.7 spaces
14-16-3 (6X) 10% Transit Reduction = -8.7 spaces
14-16-3 (6X) 5% Transit Shelter = -4.4 spaces
Total: -21.8 = 22 spaces

Total Required Parking Spaces = 65

Parking Spaces Provided:
Off-street Parking Provided:
(50) Standard Spaces
(4) Accessible Spaces
54 Off-street Parking Spaces Provided

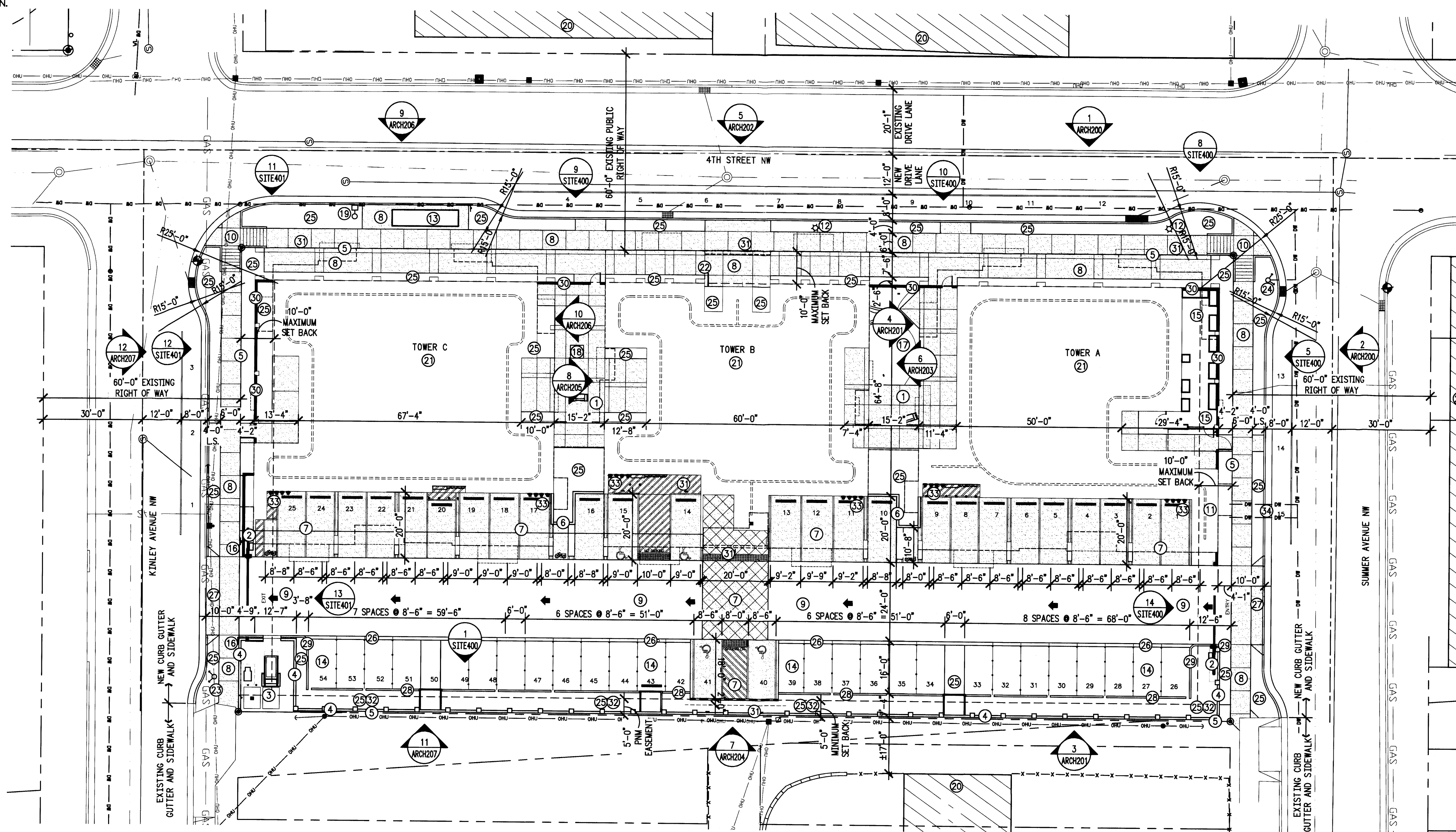
On-Street Parking Provided:
(15) Standard Spaces (7) Spaces count towards parking

Total Parking Provided 61 < 65 Required Parking Spaces

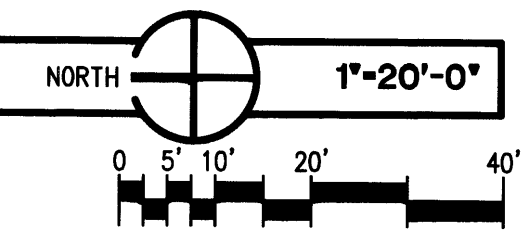
(4) ACCESSIBLE PARKING SPACES

(4) MOTORCYCLE SPACES

(28) BICYCLE PARKING SPACES



NEW ARCHITECTURAL SITE KEY PLAN



KEY PLAN

integrated design & architecture
906 1/2 Park Avenue SW
Albuquerque, NM 87102
tel: 505.243.3499
fax: 505.243.3983
info@integrateddesignarch.com
www.integrateddesignarch.com

Greater Albuquerque Housing Partnership
CUATRO
Albuquerque, New Mexico

PROJECT ARCHITECT: BOB HALL, AIA
Project #: IDA-14-13-P
Date: SEPTEMBER 22, 2014

NEW ARCHITECTURAL SITE KEY PLAN

By: KIS
File: DRB_SITE PLN.DWG
Plot Date: 10/20/2014 10:55:32 AM
Sheet of
SITE100

STATEMENT OF RESPONSIBILITIES & COMPLIANCE

STATEMENT OF LANDSCAPING RESPONSIBILITY FOR MAINTENANCE
OWNER OR OWNER'S DESIGNATED REPRESENTATIVE SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL ON-SITE LANDSCAPING AS WELL AS LANDSCAPING WITHIN THE CITY R.O.W. ADJACENT TO THE BUILDING SITE.

STATEMENT OF COMPLIANCE WITH WATER CONSERVATION ORDINANCE
ALL LANDSCAPING SHALL COMPLY WITH THE WATER CONSERVATION ORDINANCE, 6-1-1.

STATEMENT OF COMPLIANCE WITH GENERAL LANDSCAPING REGULATIONS
ALL LANDSCAPING SHALL COMPLY WITH THE GENERAL LANDSCAPING REGULATIONS, 14-16-3-10.

LANDSCAPE CALCULATIONS

NET LOT AREA CALCULATION
TOTAL PROP. AREA = 42,600
minus (a) TOTAL BUILDING AREA (at ground level) = 14,208
minus (b) PORTIONS OF LOT (non off-street req't screened by 6' wall) = 1,838
minus (c) ROW LANDSCAPING = 1,983
NET LOT AREA = 24,571

REQUIRED LANDSCAPE AREA CALCULATION
NET LOT AREA x 15% = 24,571 x 15% = 3,685.65 or 3,686

LANDSCAPE AREA PROVIDED ON SITE = 4,105.2 SQ. FT. > 3,686 (not including ROW landscaping)

REQUIRED TREES

STREET TREES (per street tree ordinance)
Street Trees at approximately 1 per 30' (at Arterial Street, 4th Street only, other streets are Local)

PARKING (per corridor plan)
1 per 8 parking spaces = 65(required) / 8 = 8.125 = 9

DWELLING UNITS (per General Regulations - Landscape Regulations)
No dwelling units at ground floor
1 per 2 dwelling units at 2nd floor = 25 / 2 = 12.5 or 13

Total Trees Required = 22
Total Trees Provided = 26

LANDSCAPE AREAS










R.O.W. LANDSCAPE AREAS:
A - 107.2 SQ. FT.
E - 97.9 SQ. FT.
F - 116.1 SQ. FT.
G - 249.3 SQ. FT.
H - 260.2 SQ. FT.
I - 146.8 SQ. FT.
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TOTAL: 1,982.6 SQ. FT.

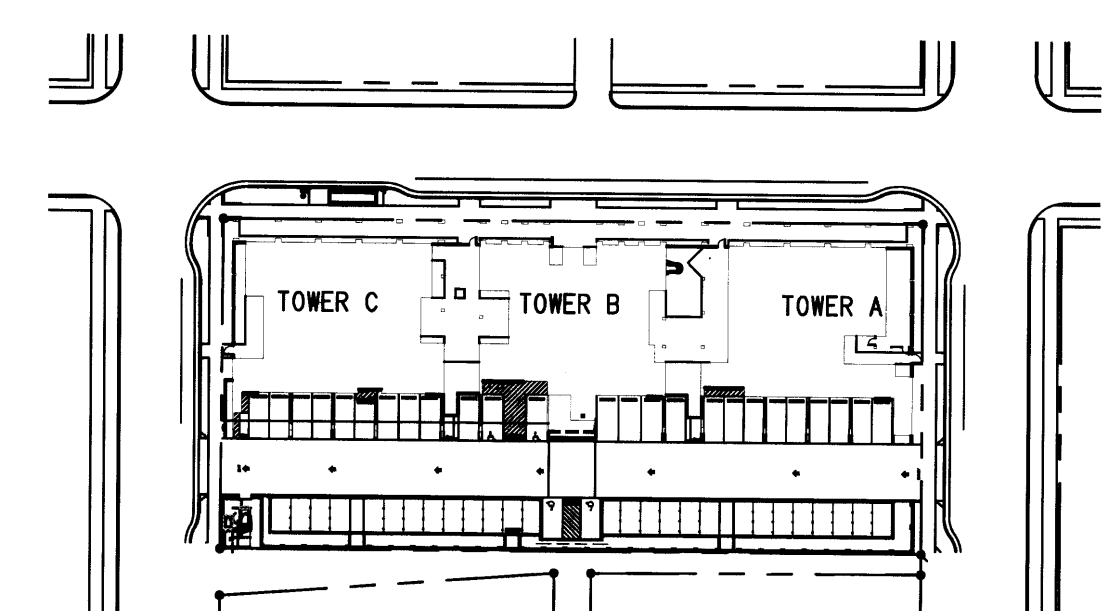
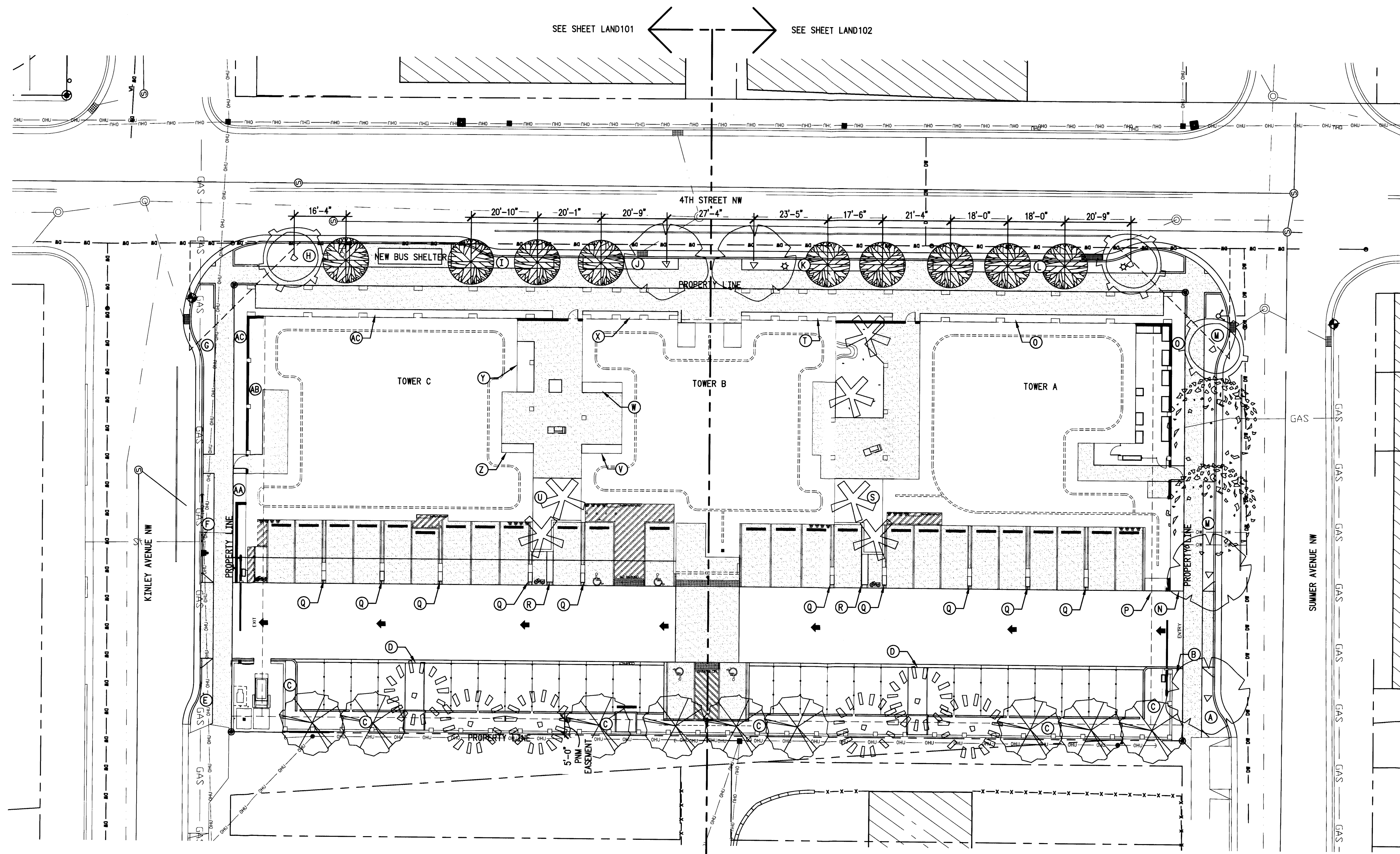
ON SITE LANDSCAPE AREAS:
B - 70.0 SQ. FT.
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D - 177.2 SQ. FT. = (2) @ 88.6 SQ. FT.
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AA - 60.6 SQ. FT.
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TOTAL: 4,105.2 SQ. FT.

General Notes

A. SEE SHEET LAND200 FOR LANDSCAPE SCHEDULE.
B. ALL SHRUBS, GRASSES, AND PLANTS SHOWN ON LAND101 AND LAND102 FOR CLARIFICATION.

New Landscape Plan Tree Legend

-  Bosque Elm
-  Crimson Spire Oak
-  Purple Robe Locust
-  Chinese Pistache
-  Persian Ironwood
-  Mimosa
-  Chaste Tree
-  Japanese Maple
-  Streetkeeper Honey Locust



KEY PLAN NORTH NTS

integrated design architecture

906 1/2 Park Avenue SW
Albuquerque, NM 87102
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fax: 505.243.3583
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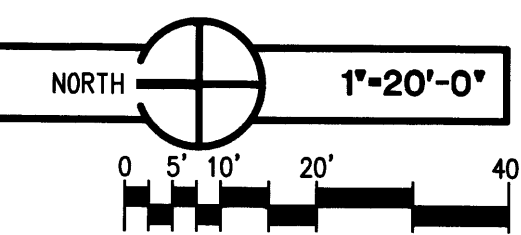
Greater Albuquerque Housing Partnership
CUATRO
Albuquerque, New Mexico

PROJECT ARCHITECT: BOB HALL, AIA
Project #: IDA-14-13-P
Date: SEPTEMBER 22, 2014

NEW LANDSCAPE PLAN

By: KIS
File: DRB_NEW LAND PLN.DWG
Plot Date: 10/20/2014 10:38:04 AM
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LAND100

NEW LANDSCAPE PLAN - TREES ONLY



General Notes

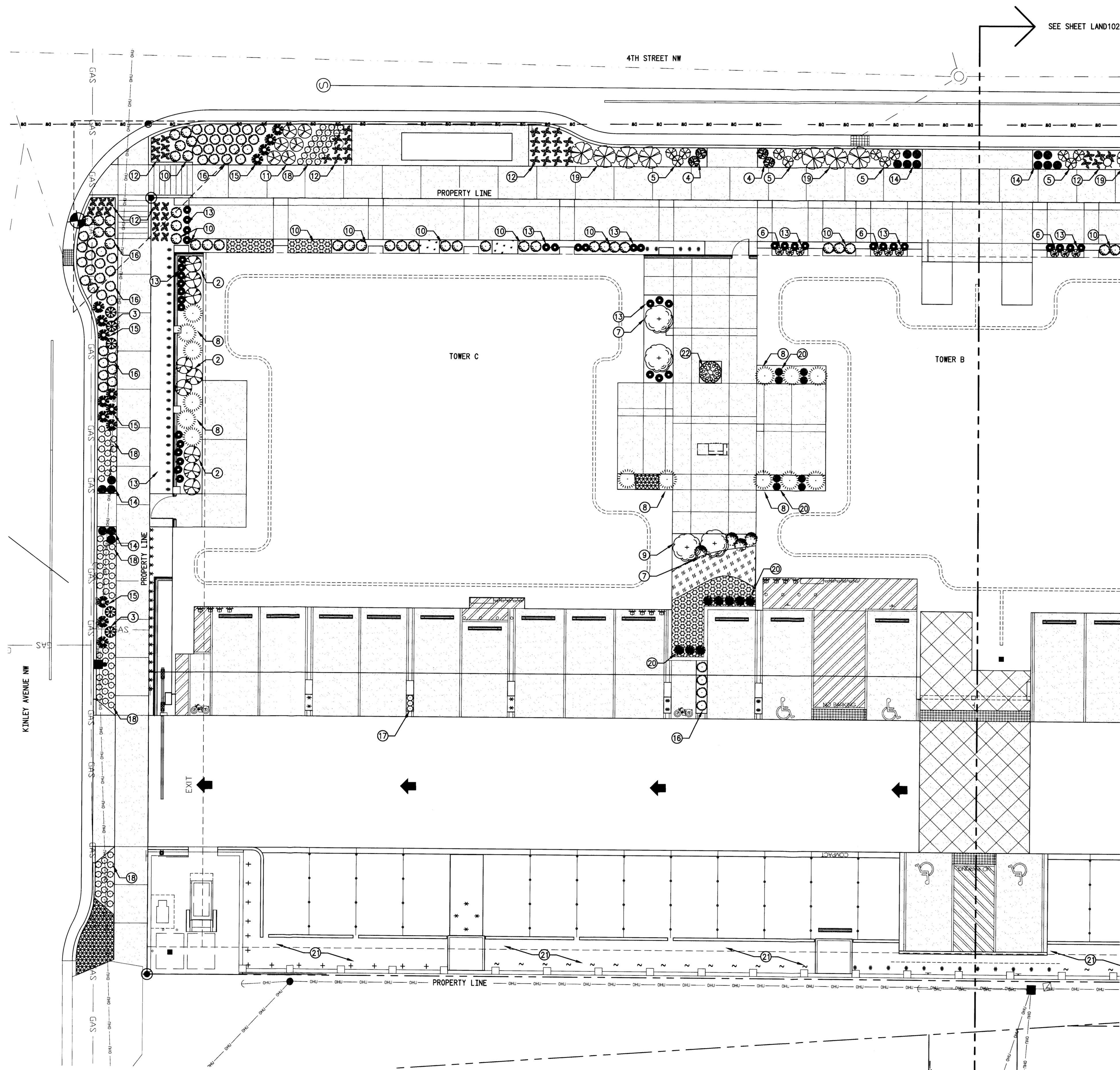
- A. SEE SHEET LAND200 FOR LANDSCAPE SCHEDULE.
- B. ALL TREES SHOWN ON LAND100 ONLY FOR CLARIFICATION.

Keyed Notes

1. MAXILLIAN'S SUNFLOWER, SEE SYMBOLS LEGEND.
2. RED YUCCA.
3. PALMER'S PENSTEMON.
4. PURPLE CONEFLOWER.
5. GOLDENROD.
6. HORSETAIL.
7. TRAILING BLUE ROSEMARY.
8. COMPACT OREGON GRAPE HOLLY.
9. GAYFEATHER.
10. AUTUMN JOY SEDUM.
11. BOWLES MAUVE WALLFLOWER.
12. BUENA VISTA ENGLISH LAVENDER.
13. MOONSHINE YARROW.
14. MEXICAN HAT.
15. KARL FOERSTER FEATHER REED GRASS.
16. CHEYENNE SKY PRAIRIE SWITCH GRASS.
17. THREADGRASS.
18. SISKIYOU BLUE IDAHO FESCUE GRASS.
19. DWARF MAIDEN GRASS.
20. DWARF PLUMBAGO.
21. PONDING AREA.
22. WATER FOUNTAIN.

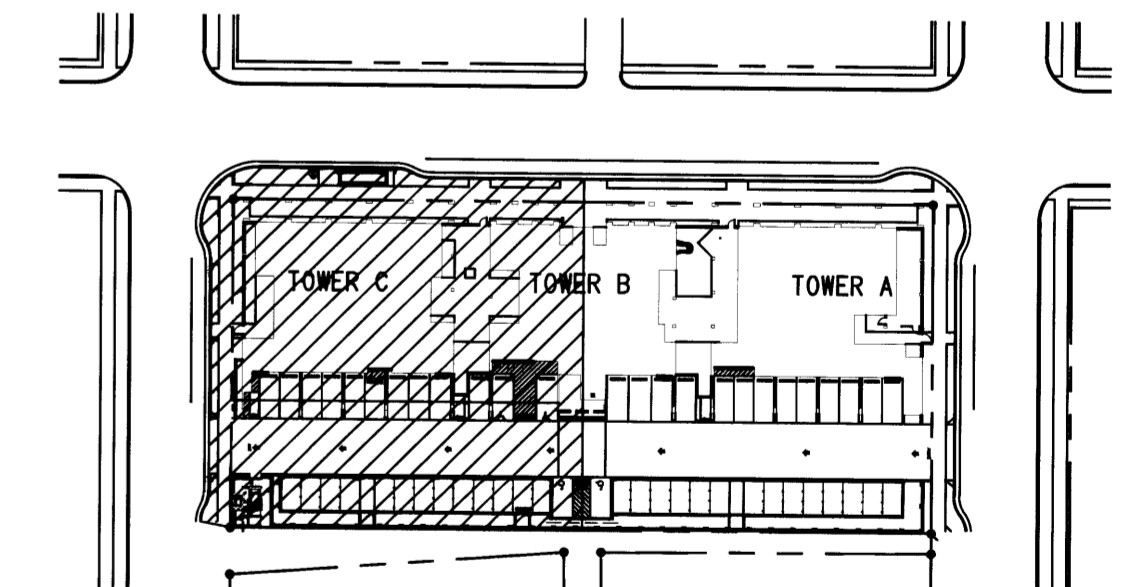
New Landscape Plan Shrub Legend

	Maxillian's Sunflower		Karl Foerster Feather Reed Grass
	Red Yucca		Cheyenne Sky Prairie Switch Grass
	Palmer's Penstemon		Threadgrass
	Purple Coneflower		Siskiyou Blue Idaho Fescue Grass
	Goldenrod		Dwarf Maiden Grass
	Horsetail		Dwarf Plumbago
	Trailing Blue Rosemary		Creeping Hummingbird Trumpet
	Compact Oregon Grape Holly		Vinca minor
	Gayfeather		Lily turf
	Autumn Joy Sedum		Creeping Thyme
	Bowles Mauve Wallflower		
	Buena Vista English Lavender		
	Moonshine Yarrow		
	Mexican Hat		
	Trumpet Vine		
	Silver Lacevine		
	Lady Banks' Rose		
	Coral Honeysuckle		



SEE SHEET LAND102

SEE SHEET LAND102



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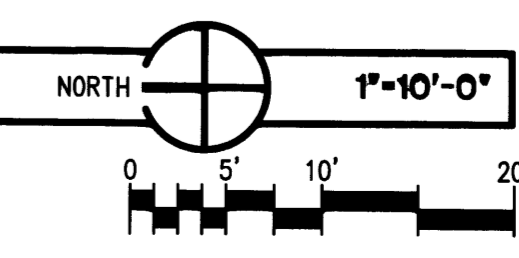
Greater Albuquerque Housing Partnership
 CUATRO
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PROJECT ARCHITECT: BOB HALL, AIA
 Project #: IDA-14-13-P
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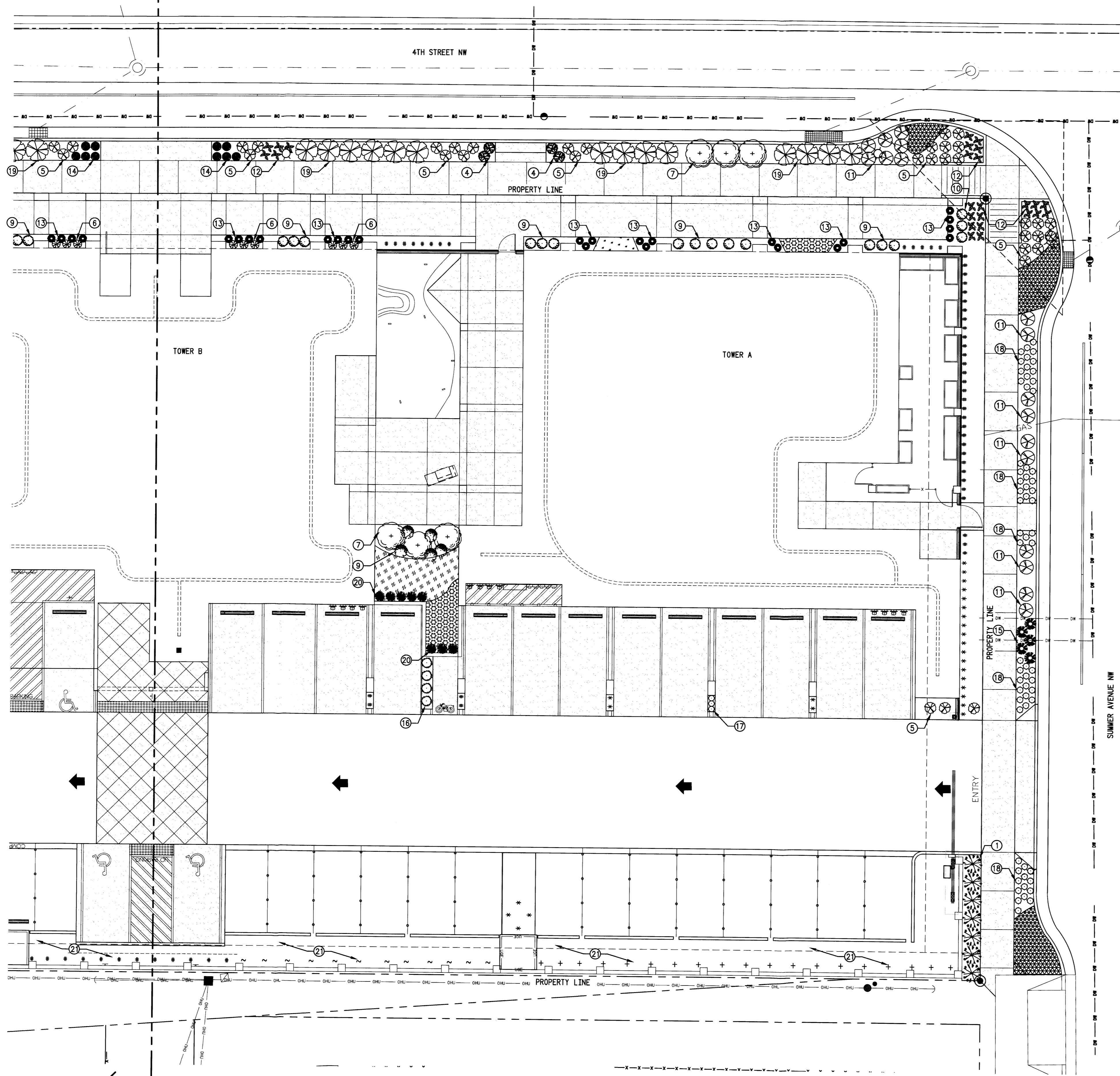
NEW LANDSCAPE PLAN - NORTH

By: KIS
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LAND101

NEW LANDSCAPE PLAN - NORTH - SHRUBS, GRASSES, AND VINES ONLY



SEE SHEET LAND101



General Notes

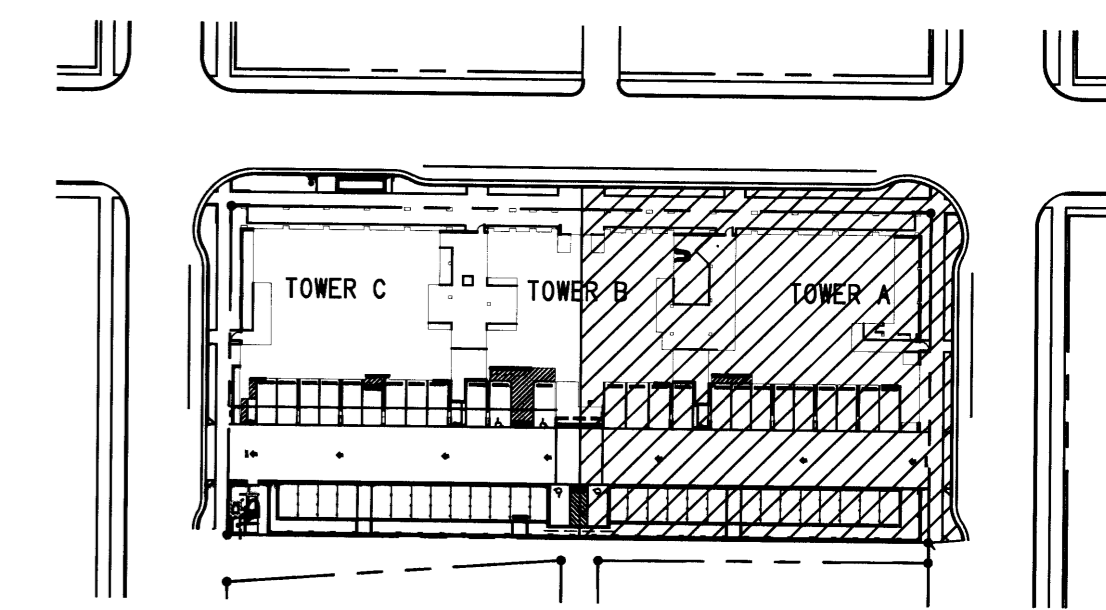
- A. SEE SHEET LAND200 FOR LANDSCAPE SCHEDULE.
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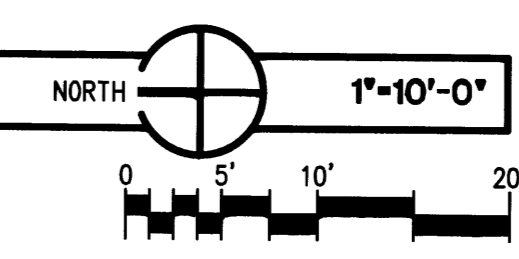
Greater Albuquerque Housing Partnership
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PROJECT ARCHITECT: BOB HALL, AIA	Project #: IDA-14-13-P Date: SEPTEMBER 22, 2014
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NEW LANDSCAPE PLAN - SOUTH

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Plot Date: 10/20/2014 10:37:14 AM	

NEW LANDSCAPE PLAN - SOUTH - SHRUBS, GRASSES, AND VINES ONLY



SEE SHEET LAND101

GENERAL NOTES

- A. NORTH FOURTH TRANSIT ORIENTED DEVELOPMENT (NFTOD) HEIGHT: 4 STORIES WITH A MAXIMUM OF 52 FEET 3 STORIES WITH A MAXIMUM OF 40 FEET GROUND STORY CLEAR HEIGHT = 10'-0" MINIMUM
- B. SETBACKS PER SECTOR DEVELOPMENT PLAN: 0'-10" FRONT SETBACK = 4TH STREET (O' PROVIDED) 0'-10" SIDE STREET SETBACK = SUMMER & KINLEY AVE. (4'-8" PROVIDED) 5'-10" REAR SETBACK INCLUDING ALLEY WIDTH
- C. TOPOGRAPHY DRAINAGE: SITE IS RELATIVELY FLAT. DRAINAGE IS PREDOMINATELY FROM EAST TO WEST, LEADING FROM THE PARKING LOT TO THE WEST EDGE PLANTER.
- D. WELLS PARK PROVIDES CHILDREN RECREATION FACILITIES TWO BLOCKS SOUTH AND ONE BLOCK WEST OF PROPERTY.
- E. SURROUNDING USES: TO NORTH, EAST AND SOUTH COMMERCIAL. TO WEST SINGLE-FAMILY RESIDENTIAL AND COMMERCIAL.

KEYED NOTES

- 1. PATIO AREA WITH BARBECUES AND PICNIC TABLES.
- 2. ROLLING ELECTRICAL GATE.
- 3. REFUSE ENCLOSURE WITH GATE. SEE DETAILS 15 & 16/SITE401.
- 4. 6" CMU BLOCK WALL. SEE SHEET SITE400 & SITE401.
- 5. TYPICAL PROPERTY LINE.
- 6. 4" WALL WITH 4" CAP BLOCK. SEE DETAIL 3/SITE400.
- 7. CONCRETE PAVING.
- 8. CONCRETE WALKWAY.
- 9. ASPHALT PAVING.
- 10. ACCESSIBLE CURB RAMP, TYPICAL.
- 11. FIRE SPRINKLER CLOSET, 6" WATER TAP AND LINE FOR FIRE SUPPRESSION SYSTEM.
- 12. EXISTING POLE LIGHT FIXTURE, TYPICAL.
- 13. PROPOSED NEW CITY BUS SHELTER AT EXISTING ROUTE #10 BUS STOP.
- 14. PERMEABLE PAVING / GRAVEL.
- 15. KITCHEN GARDEN.
- 16. "NO ENTRY" SIGN. SEE SHEET SITE600.
- 17. PUTTING GREEN.
- 18. WATER FEATURE.
- 19. NEW POLE LIGHT FIXTURE.
- 20. EXISTING STRUCTURE.
- 21. PROPOSED STRUCTURE.
- 22. BIKE RACK, EXTERIOR.
- 23. NEW FIRE HYDRANT.
- 24. EXISTING FIRE HYDRANT.
- 25. LANDSCAPE AREA. SEE LANDSCAPE SHEETS.
- 26. FLUSH 12" WIDE CONCRETE RETAINING STRIP.
- 27. NEW CONCRETE DRIVE PAD.
- 28. NEW 6" CONCRETE PARKING CURBS.
- 29. NEW 6" CONCRETE CURBS.
- 30. 6" REBAR FENCE. SEE SHEET SITE400 & SITE401.
- 31. SITE AND BUILDING SIGNAGE SEE SHEET SITE600.
- 32. FONDING AREA.
- 33. ROOF DRAINAGE / ROOF OVERFLOW DISCHARGE OUTLET.
- 34. NEW 2" WATER LINE AND METER TAP AT THIS LOCATION.

RESIDENTIAL UNIT SIZES

TOTALS FOR PROJECT = 56 UNITS
18 EFFICIENCIES, 23 ONE BEDROOM, & 20 TWO BEDROOMS
THESE ARE BROKEN DOWN BELOW TO SHOW SIZES

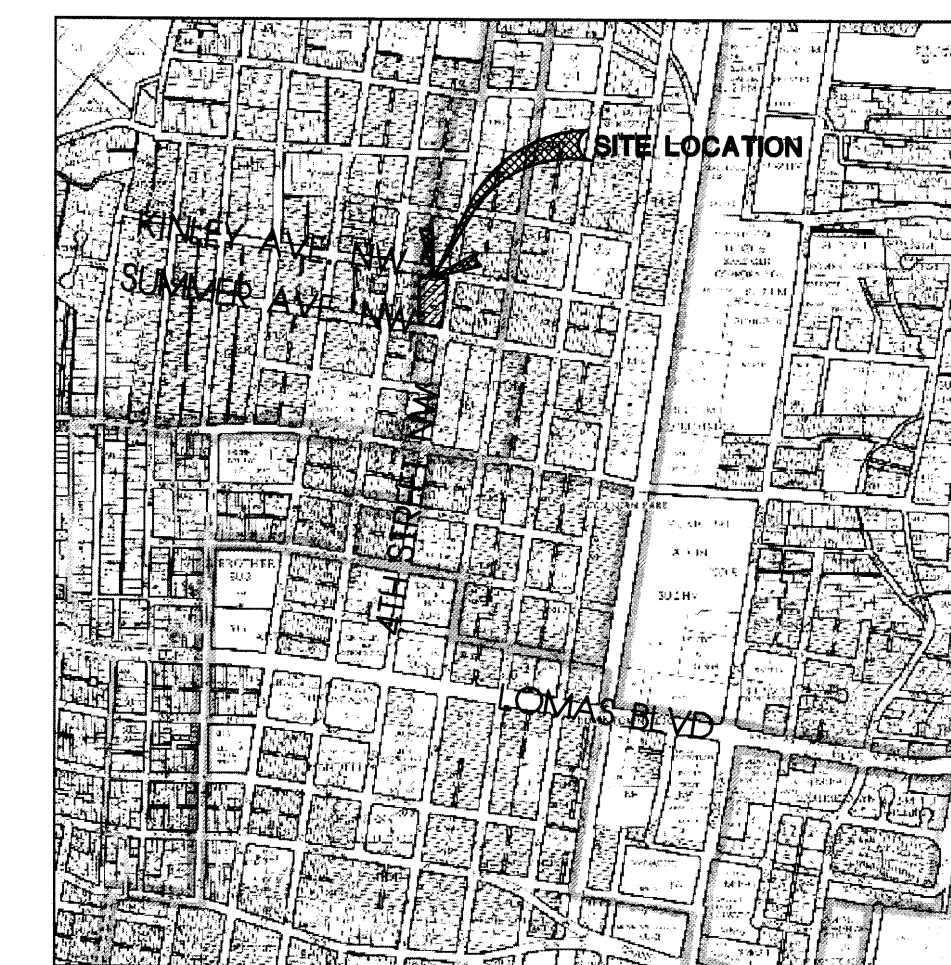
TYPE OF UNIT	• OF UNITS	HEATED SQUARE FOOTAGE PER UNIT
EFFICIENCY 1	8	439
EFFICIENCY 2	2	501
EFFICIENCY 3	3	457
ONE BEDROOM 1	8	566
ONE BEDROOM 2	8	625
ONE BEDROOM 3	4	751
ONE BEDROOM 4	3	636
TWO BEDROOM ONE BATH	12	799
TWO BEDROOM TWO BATH	8	851

BUILDING SCHEDULE

TOWER A	TOWER B	TOWER C
FIRST FLOOR 4,545 GROSS SQ. FT. COMMON AREA	FIRST FLOOR 4,550 GROSS SQ. FT. COMMON AREA	FIRST FLOOR 5,113 GROSS SQ. FT. COMMON AREA
SECOND FLOOR (2) EFFICIENCY 1 (2) ONE BEDROOM 1 (2) ONE BEDROOM 2 (1) ONE BEDROOM 3 (2) ONE BEDROOM 4 TOTAL 573 SQ. FT.	SECOND FLOOR (1) EFFICIENCY 2 (2) EFFICIENCY 3 (1) ONE BEDROOM 4 (4) TWO BEDROOM 1 BATH TOTAL 4790 SQ. FT.	SECOND FLOOR (2) EFFICIENCY 1 (2) ONE BEDROOM 1 (2) ONE BEDROOM 2 (1) ONE BEDROOM 3 (2) TWO BEDROOM 2 BATH TOTAL 573 SQ. FT.
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PATIO AREA BETWEEN TOWERS A & B: 1,094 SQ. FT. PUTTING GREEN: 419 SQ. FT. KITCHEN GARDEN AREA: 88 SQ. FT.	PATIO AREA BETWEEN TOWERS B & C: 1,167 SQ. FT. ROOF TOP PATIO: 889 SQ. FT.	PATIO AREA BETWEEN TOWERS B & C: 1,167 SQ. FT.

SITE/BUILDING DATA

PROJECT ADDRESS: 1319 4TH NW
SITE ACREAGE: 0.98 ACRES
TOTAL UNITS: 56
TOTAL D.U. = 57.14
TOTAL GROSS SQ.FT. PER TOWER: TOWER A: 19,889 SQ. FT. TOWER B: 25,861 SQ. FT. TOWER C: 20,462 SQ. FT. 66,212 SQ. FT.
TOTAL GROSS SQ. FT.:
CONSTRUCTION TYPE: V-A
BUILDING HEIGHT: TOWER A: 38'-8" TOWER B: 49'-8" TOWER C: 38'-8"
ACCESSIBLE PARKING
NEW STREET LIGHTING STANDARD
EXISTING STREET LIGHTING STANDARD
(1) EXISTING & (1) NEW FIRE HYDRANT
MOTORCYCLE PARKING



VICINITY MAP

ZONE ATLAS - J-14-Z ZONING: C-2 COMMERCIAL RETAIL

PARKING CALCULATIONS

Note: Parking Calculations are based on the North 4th Rank III Corridor Plan
Required Parking Calculations:
Required Residential Parking:
(18) Efficiencies -> 1.5 space per = 27 spaces
(23) 1 Bedrooms -> 1.5 spaces per = 34.5 spaces
(20) 2 Bedrooms -> 1.5 spaces per = 30 spaces
Total: 84 Residential Spaces Required

Required Non-Residential Parking:
1,800 Sq. Ft. Multi-purpose (tenants only) = 0 spaces
249 Sq. Ft. Sales Office -> 31,000 Sq. Ft. = 3 spaces
Shared parking factor 1.4 reduces to = 2.1 = 3 spaces
2,271 Sq. Ft. Exercise Area (tenants only) = 0 spaces

Total: 3 Non-Residential Spaces Required

Parking Reductions:
NFTOD 10% reduction = -8.7 spaces
c14-15-3 (6)(a) 10% Transit Reduction = -8.7 spaces
c14-15-3 (6)(a) 5% Transit Shelter = -4.4 spaces
Total: -21.8 = 22 spaces

Total Required Parking Spaces = 65

Parking Spaces Provided:
Off-street Parking Provided:
(50) Standard Spaces
(4) Accessible Spaces
54 Off-street Parking Spaces Provided

On-Street Parking Provided:
(15) Standard Spaces (7) Spaces count towards parking

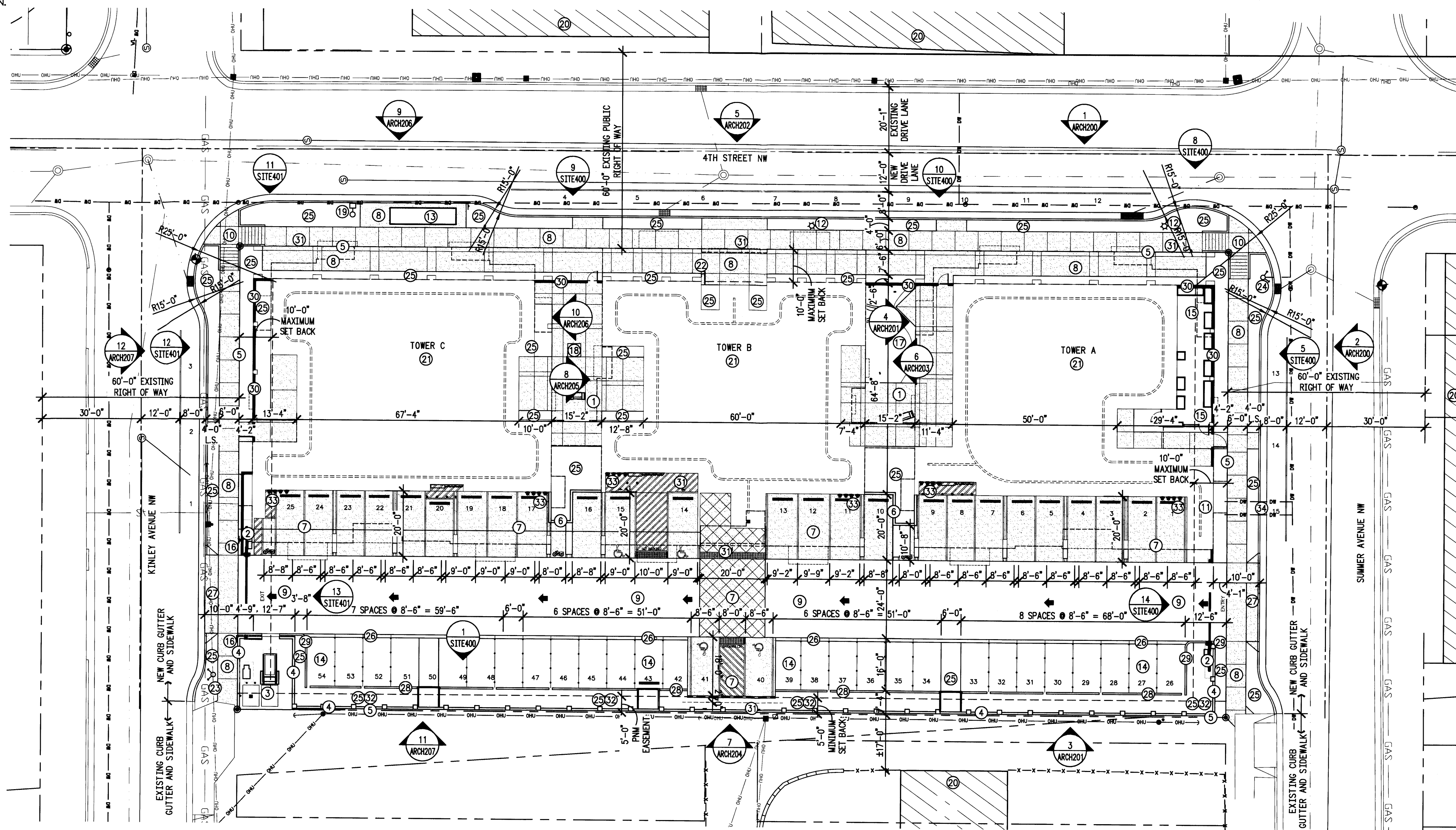
Total Parking Provided 61 <= 65 Required Parking Spaces

- (4) ACCESSIBLE PARKING SPACES
- (4) MOTORCYCLE SPACES
- (28) BICYCLE PARKING SPACES

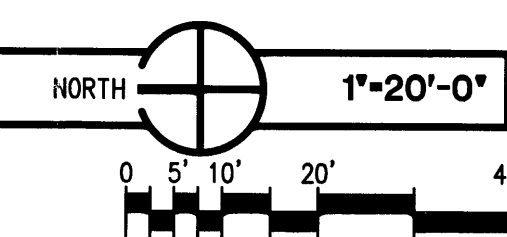
DRB SITE DEVELOPMENT PLAN APPROVAL

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE	CITY ENGINEER	DATE
_____	_____	_____	_____
ABCWJA	DATE	ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	DATE
_____	_____	_____	_____
PARKS AND RECREATION DEPARTMENT	DATE	SOLID WASTE MANAGEMENT	DATE
_____	_____	_____	_____
_____	_____	DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE
_____	_____	_____	_____
_____	_____	ENVIRONMENTAL HEALTH IF NECESSARY.	_____

IS AN INFRASTRUCTURE LIST REQUIRED? () YES () NO
IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.



NEW ARCHITECTURAL SITE KEY PLAN



KEY PLAN

integrated
design architecture

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Albuquerque, New Mexico

PROJECT ARCHITECT: BOB HALL, AIA Project #: IDA-14-13-P Date: SEPTEMBER 22, 2014

NEW ARCHITECTURAL SITE KEY PLAN

By: KIS Sheet of
File: DRB_SITE PLN.DWG
Plot Date: 10/20/2014 10:55:32 AM **SITE100**

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TOTAL: 1,982.6 SQ. FT.










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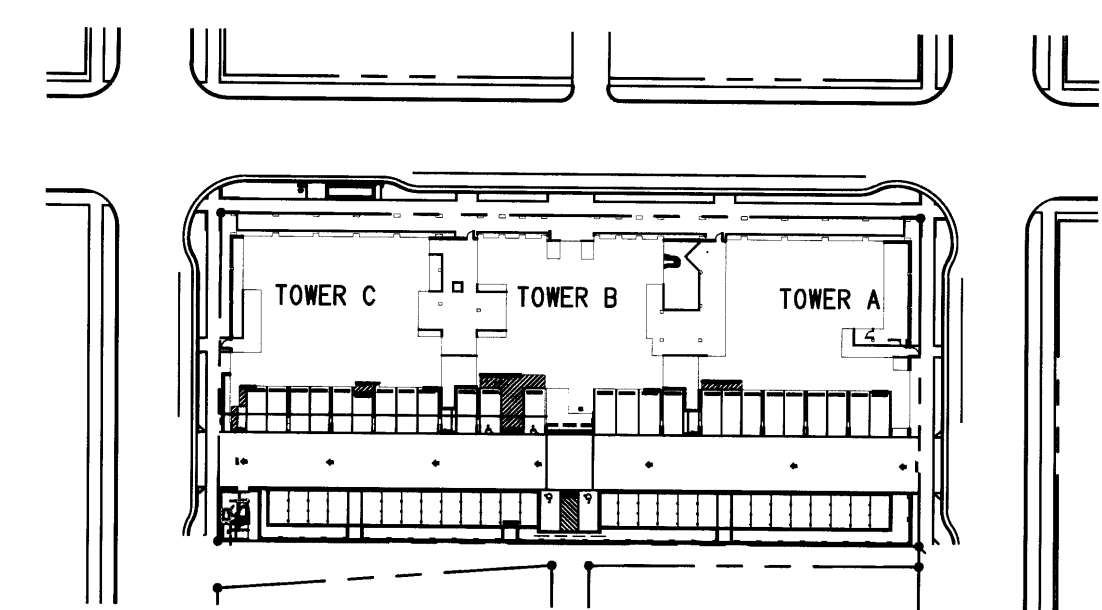
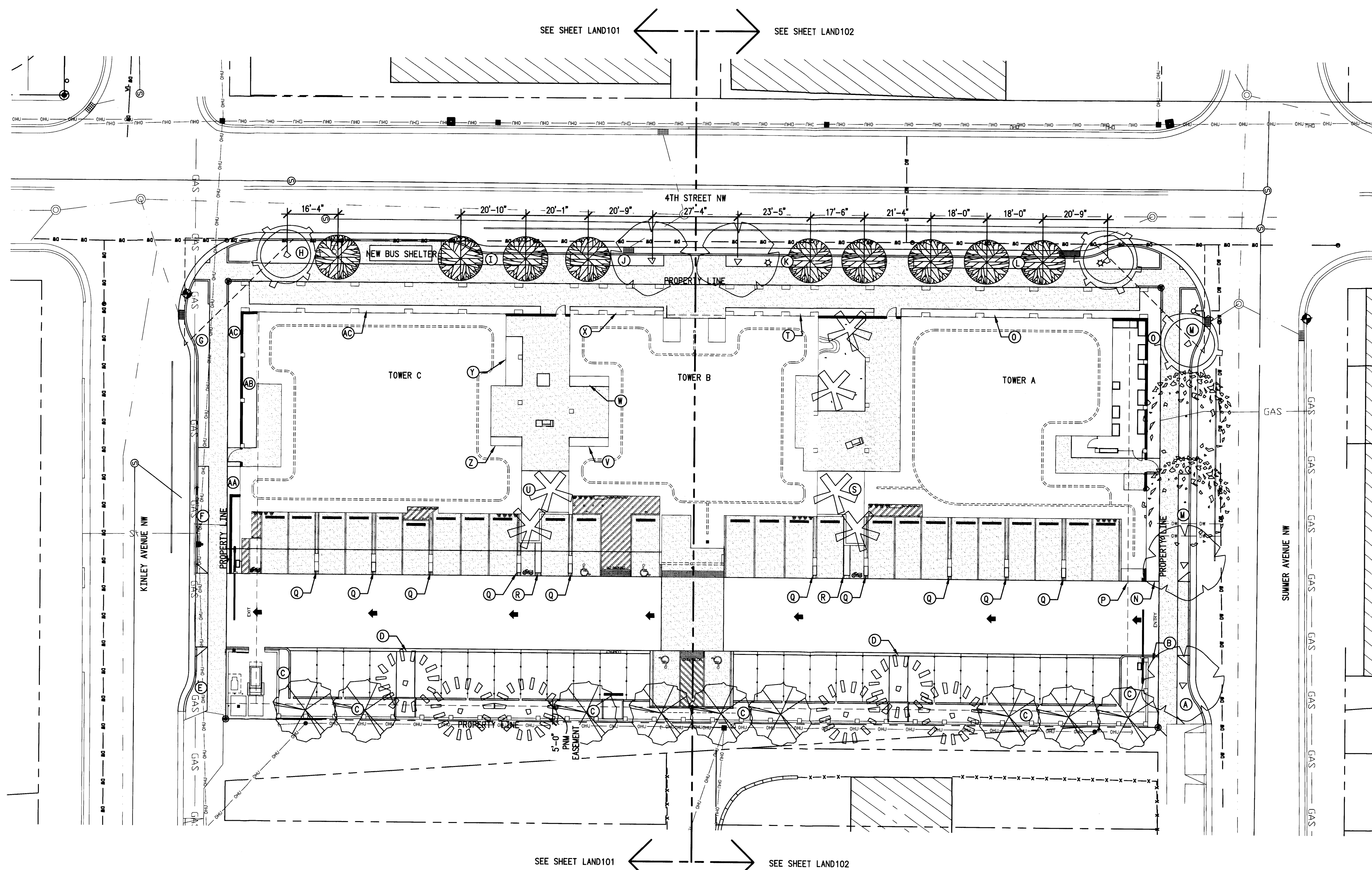
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 B. ALL SHRUBS, GRASSES, AND PLANTS SHOWN ON LAND101 AND LAND102 FOR CLARIFICATION.

New Landscape Plan Tree Legend

-  Bosque Elm
-  Crisson Spire Oak
-  Purple Robe Locust
-  Chinese Pistache
-  Persian Ironwood
-  Mimosa
-  Chaste Tree
-  Japanese Maple
-  Streetkeeper Honey Locust



KEY PLAN NORTH NTS

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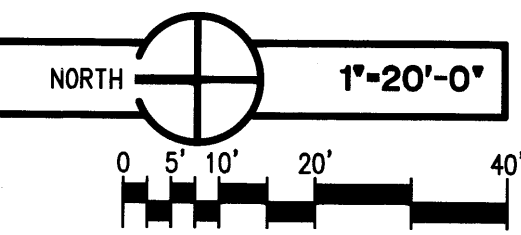
Greater Albuquerque Housing Partnership
 CUATRO
 Albuquerque, New Mexico

PROJECT ARCHITECT: BOB HALL, AIA
 Project #: IDA-14-13-P
 Date: SEPTEMBER 22, 2014

NEW LANDSCAPE PLAN

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 Sheet of LAND100

NEW LANDSCAPE PLAN - TREES ONLY



General Notes

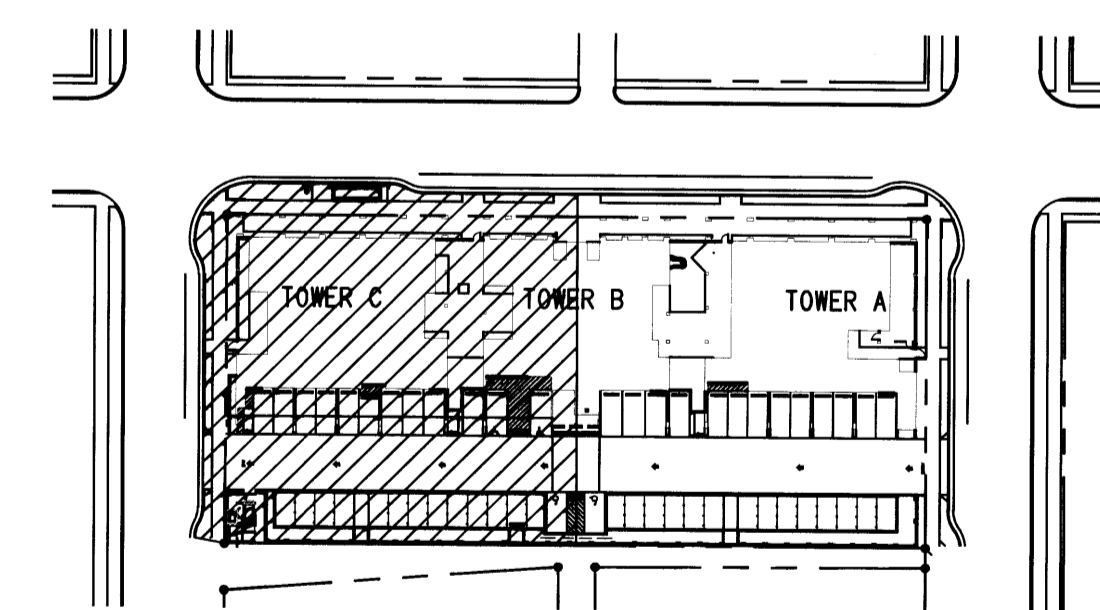
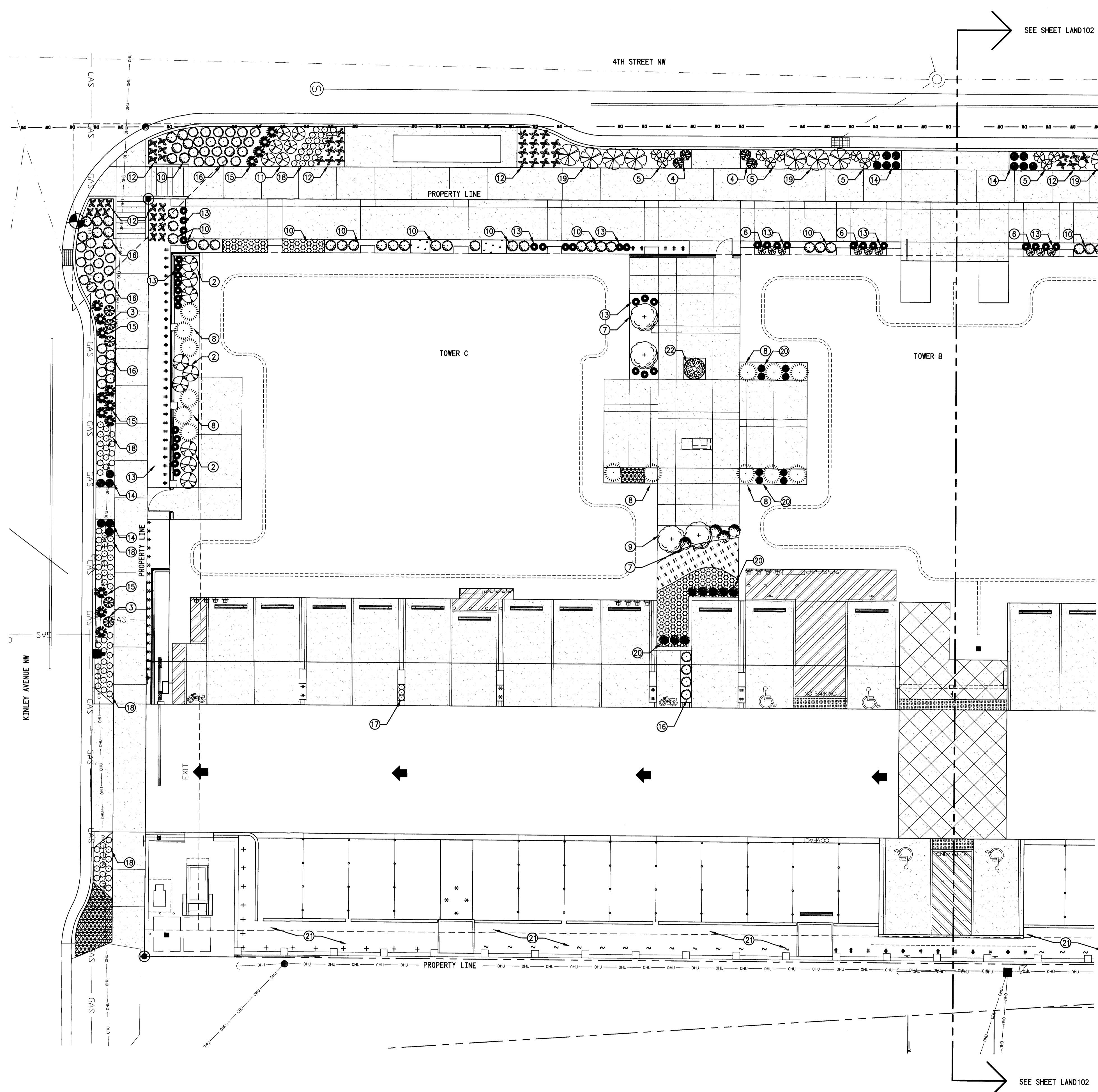
- A. SEE SHEET LAND200 FOR LANDSCAPE SCHEDULE.
- B. ALL TREES SHOWN ON LAND100 ONLY FOR CLARIFICATION.

Keyed Notes

- 1. MAXILLIAN'S SUNFLOWER, SEE SYMBOLS LEGEND.
- 2. RED YUCCA.
- 3. PALMER'S PENSTEMON.
- 4. PURPLE CONEFLOWER.
- 5. GOLDENROD.
- 6. HORSETAIL.
- 7. TRAILING BLUE ROSEMARY.
- 8. COMPACT OREGON GRAPE HOLLY.
- 9. GAYFEATHER.
- 10. AUTUMN JOY SEDUM.
- 11. BOWLES MAUVE WALLFLOWER.
- 12. BUENA VISTA ENGLISH LAVENDER.
- 13. MOONSHINE YARROW.
- 14. MEXICAN HAT.
- 15. KARL FOERSTER FEATHER REED GRASS.
- 16. CHEYENNE SKY PRAIRIE SWITCH GRASS.
- 17. THREADGRASS.
- 18. SISKIYOU BLUE IDAHO FESCUE GRASS.
- 19. DWARF MAIDEN GRASS.
- 20. DWARF PLUMBAGO.
- 21. PONDING AREA.
- 22. WATER FOUNTAIN.

New Landscape Plan Shrub Legend

	Maxillian's Sunflower		Karl Foerster Feather Reed Grass
	Red Yucca		Cheyenne Sky Prairie Switch Grass
	Palmer's Penstemon		Threadgrass
	Purple Coneflower		Siskiyou Blue Idaho Fescue Grass
	Goldenrod		Dwarf Maiden Grass
	Horsetail		Dwarf Plumbago
	Trailing Blue Rosemary		Creeping Hummingbird Trumpet
	Compact Oregon Grape Holly		Vinca minor
	Gayfeather		Lily turf
	Autumn Joy Sedum		Creeping Thyme
	Bowles Mauve Wallflower		
	Buena Vista English Lavender		
	Moonshine Yarrow		
	Mexican Hat		
	Trumpet Vine		
	Silver Lacevine		
	Lady Banks' Rose		
	Coral Honeysuckle		



KEY PLAN NORTH NTS

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 Albuquerque, New Mexico

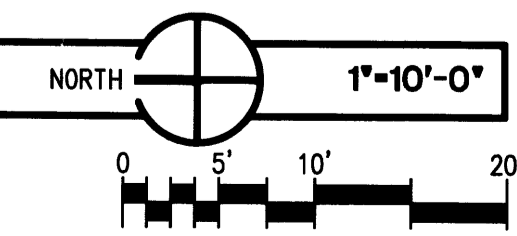
PROJECT ARCHITECT: BOB HALL, AIA
 Project #: IDA-14-13-P
 Date: SEPTEMBER 22, 2014

NEW LANDSCAPE PLAN - NORTH

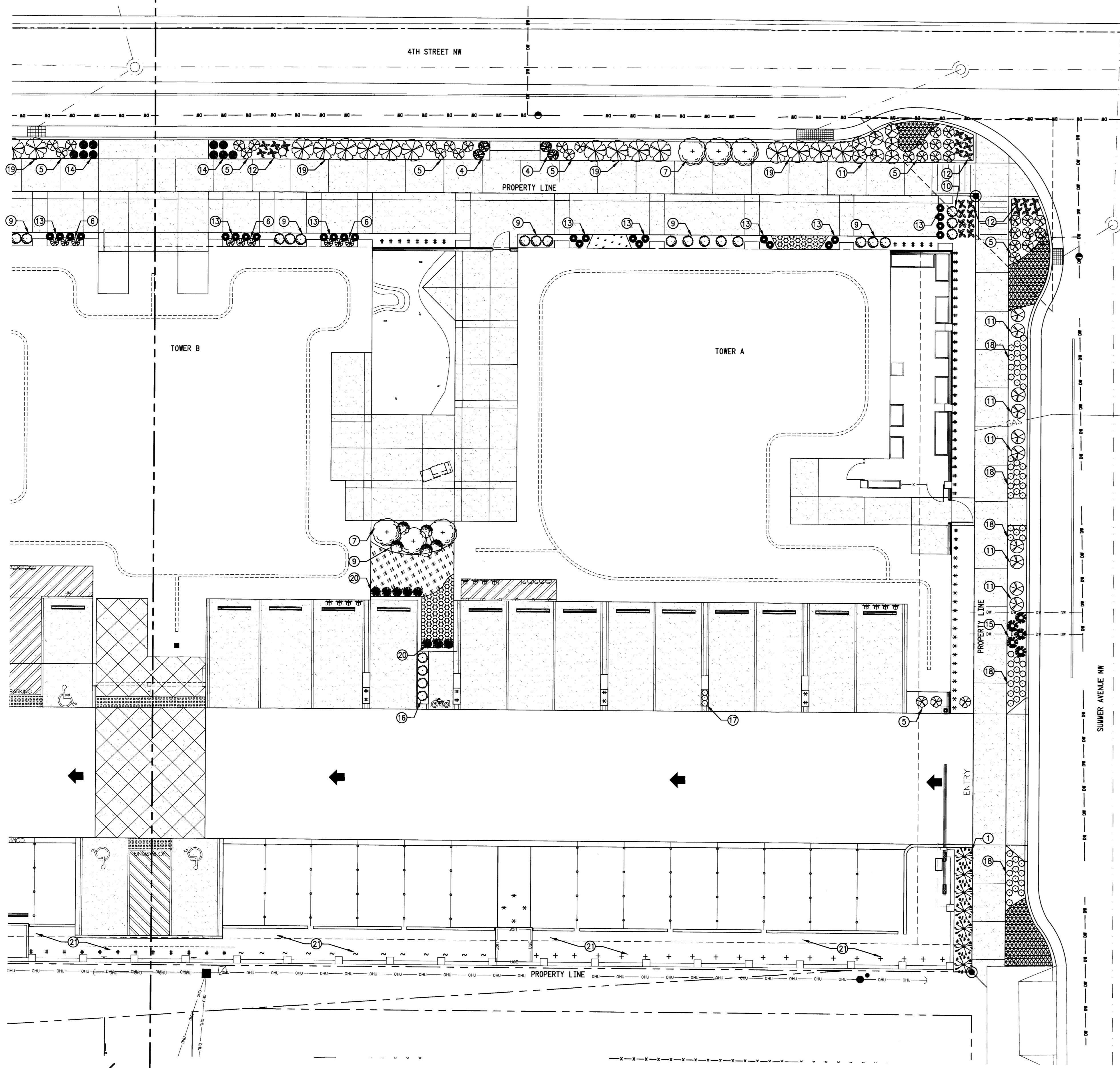
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 Plot Date: 10/20/2014 10:36:03 AM

Sheet of
LAND101

NEW LANDSCAPE PLAN - NORTH - SHRUBS, GRASSES, AND VINES ONLY



SEE SHEET LAND101



General Notes

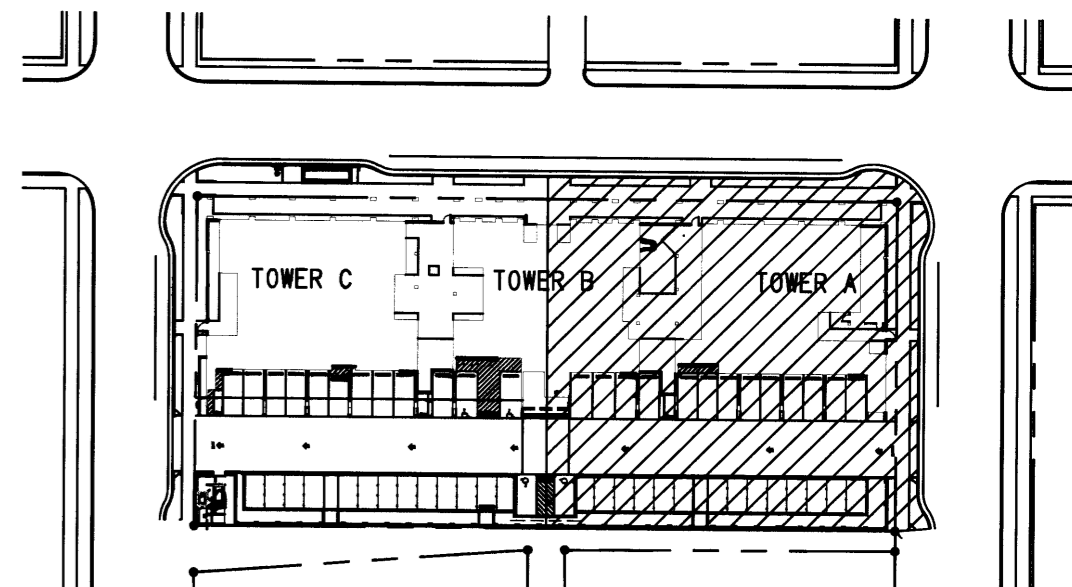
- A. SEE SHEET LAND200 FOR LANDSCAPE SCHEDULE.
- B. ALL TREES SHOWN ON LAND100 ONLY FOR CLARIFICATION.

Keyed Notes

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2. RED YUCCA.
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14. MEXICAN HAT.
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17. THREADGRASS.
18. SISKIYOU BLUE IDAHO FESCUE GRASS.
19. DWARF MAIDEN GRASS.
20. DWARF PLUMBAGO.
21. PONDING AREA.
22. WATER FOUNTAIN.

New Landscape Plan Shrub Legend

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	Red Yucca		Cheyenne Sky Prairie Switch Grass
	Palmer's Penstemon		Threadgrass
	Purple Coneflower		Siskiyou Blue Idaho Fescue Grass
	Goldenrod		Dwarf Maiden Grass
	Horsetail		Dwarf Plumbago
	Trailing Blue Rosemary		Creeping Hummingbird Trumpet
	Compact Oregon Grape Holly		Vinca minor
	Gayfeather		Lily turf
	Autumn Joy Sedum		Creeping Thyme
	Bowles Mauve Wallflower		
	Buena Vista English Lavender		
	Moonshine Yarrow		
	Mexican Hat		
	Trumpet Vine		
	Silver Lacevine		
	Lady Banks' Rose		
	Coral Honeysuckle		



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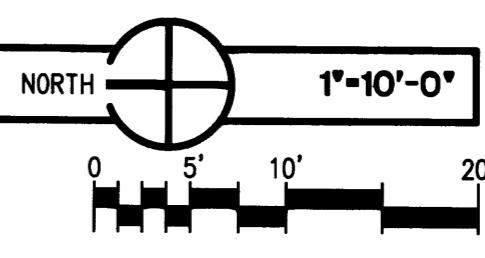
Greater Albuquerque Housing Partnership CUATRO
 Albuquerque, New Mexico

PROJECT ARCHITECT: BOB HALL, AIA Project #: IDA-14-13-P Date: SEPTEMBER 22, 2014

NEW LANDSCAPE PLAN - SOUTH

By: DRB_NEW LAND PLN.DWG KIS Sheet of
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 Plot Date: 10/20/2014 10:37:14 AM **LAND102**

NEW LANDSCAPE PLAN - SOUTH - SHRUBS, GRASSES, AND VINES ONLY



SEE SHEET LAND101

GENERAL NOTES

- A. NORTH FOURTH TRANSIT ORIENTED DEVELOPMENT (NFTOD)
 - HEIGHT:
 - 4 STORIES WITH A MAXIMUM OF 52 FEET
 - 3 STORIES WITH A MAXIMUM OF 40 FEET
 - GROUND STORY CLEAR HEIGHT - 10'-0" MINIMUM
 - SETBACKS PER SECTOR DEVELOPMENT PLAN:
 - 0'-10" FRONT SETBACK @ 4TH STREET (0' PROVIDED)
 - 0'-10" SIDE STREET SETBACK @ SUMMER & KINLEY AVE. (4'-8" PROVIDED)
 - 5'-10" REAR SETBACK INCLUDING ALLEY WIDTH
- B. TOPOGRAPHY/ DRAINAGE: SITE IS RELATIVELY FLAT. DRAINAGE IS PREDOMINATELY FROM EAST TO WEST, LEADING FROM THE PARKING LOT TO THE WEST EDGE PLANTER.
- C. WELLS PARK PROVIDES CHILDREN RECREATION FACILITIES TWO BLOCKS SOUTH AND ONE BLOCK WEST OF PROPERTY.
- D. SURROUNDING USES: TO NORTH, EAST AND SOUTH COMMERCIAL, TO WEST- SINGLE-FAMILY RESIDENTIAL AND COMMERCIAL.

KEYED NOTES

1. PATIO AREA WITH BARBEQUES AND PICNIC TABLES.
2. ROLLING ELECTRICAL GATE.
3. REFUSE ENCLOSURE WITH GATE. SEE DETAILS 15 & 16/SITE401.
4. 6' CMU BLOCK WALL. SEE SHEET SITE400 & SITE401.
5. TYPICAL PROPERTY LINE.
6. 4" WALL WITH 4" CAP BLOCK. SEE DETAIL 3/SITE400.
7. CONCRETE PAVING.
8. CONCRETE WALKWAY.
9. ASPHALT PAVING.
10. ACCESSIBLE CURB RAMP, TYPICAL.
11. FIRE SPRINKLER CLOSET, 6" WATER TAP AND LINE FOR FIRE SUPPRESSION SYSTEM.
12. EXISTING POLE LIGHT FIXTURE, TYPICAL.
13. PROPOSED NEW CITY BUS SHELTER AT EXISTING ROUTE #10 BUS STOP.
14. PERMEABLE PAVING / GRAVEL.
15. KITCHEN GARDEN.
16. "NO ENTRY" SIGN. SEE SHEET SITE600.
17. PUTTING GREEN.
18. WATER FEATURE.
19. NEW POLE LIGHT FIXTURE.
20. EXISTING STRUCTURE.
21. PROPOSED STRUCTURE.
22. BIKE RACK, EXTERIOR.
23. NEW FIRE HYDRANT.
24. EXISTING FIRE HYDRANT.
25. LANDSCAPE AREA. SEE LANDSCAPE SHEETS.
26. FLUSH 12" WIDE CONCRETE RETAINING STRIP.
27. NEW CONCRETE DRIVE PAD.
28. NEW 6" CONCRETE PARKING CURBS.
29. NEW 6" CONCRETE CURBING.
30. 6" REAR FENCE. SEE SHEET SITE400 & SITE401.
31. SITE AND BUILDING SIGNAGE SEE SHEET SITE600.
32. PONDING AREA.
33. ROOF DRAINAGE / ROOF OVERFLOW DISCHARGE OUTLET.
34. NEW 2" WATER LINE AND METER TAP AT THIS LOCATION.

RESIDENTIAL UNIT SIZES

TOTALS FOR PROJECT = 56 UNITS
 13 EFFICIENCIES, 23 ONE BEDROOM, & 20 TWO BEDROOMS
 THESE ARE BROKEN DOWN BELOW TO SHOW SIZES

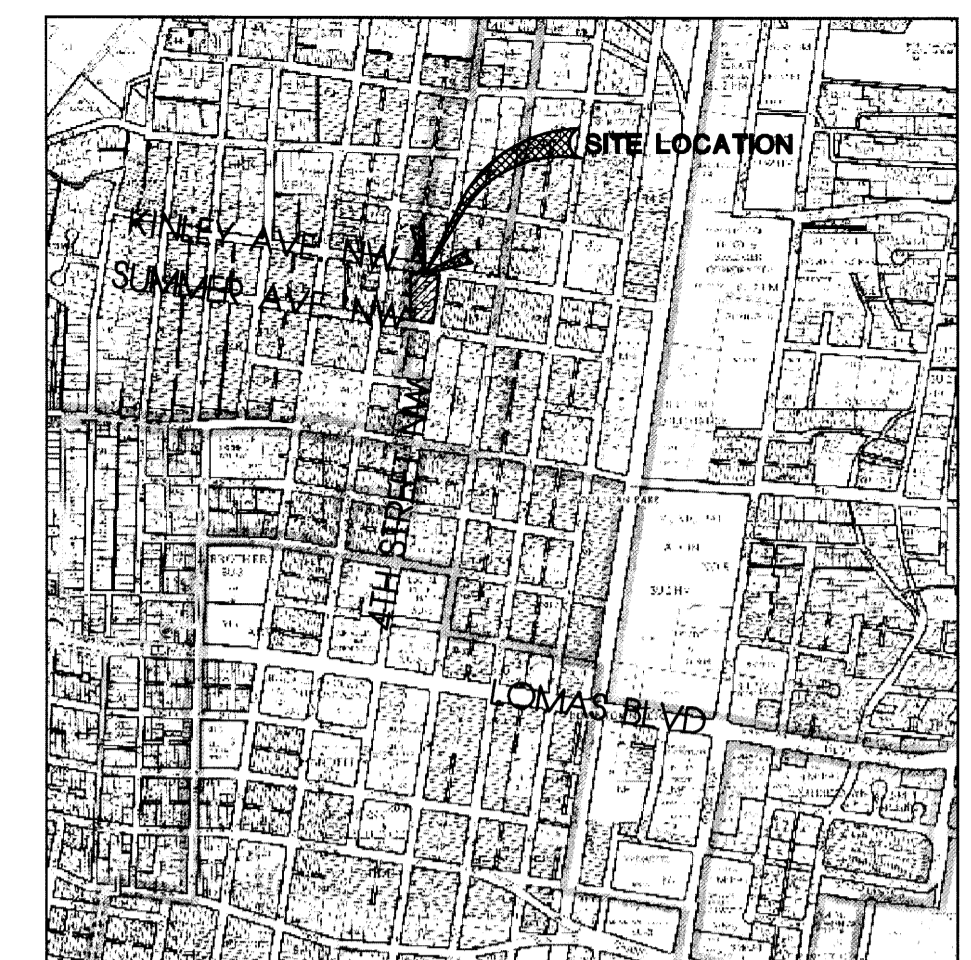
TYPE OF UNIT	* OF UNITS	HEATED SQUARE FOOTAGE PER UNIT
EFFICIENCY 1	8	439
EFFICIENCY 2	2	501
EFFICIENCY 3	3	457
ONE BEDROOM 1	8	566
ONE BEDROOM 2	8	625
ONE BEDROOM 3	4	751
ONE BEDROOM 4	3	636
TWO BEDROOM ONE BATH	12	799
TWO BEDROOM TWO BATH	8	851

BUILDING SCHEDULE

TOWER A	TOWER B	TOWER C
FIRST FLOOR 4,545 GROSS SQ. FT. COMMON AREA	FIRST FLOOR 4,550 GROSS SQ. FT. COMMON AREA	FIRST FLOOR 5,113 GROSS SQ. FT. COMMON AREA
SECOND FLOOR (2) EFFICIENCY 1 (2) ONE BEDROOM 1 (2) ONE BEDROOM 2 (1) ONE BEDROOM 3 (2) TWO BEDROOM 2 BATH TOTAL 5713 SQ. FT.	SECOND FLOOR (1) EFFICIENCY 2 (1) EFFICIENCY 3 (1) ONE BEDROOM 4 (4) TWO BEDROOM 1 BATH TOTAL 4790 SQ. FT.	SECOND FLOOR (2) ONE BEDROOM 1 (2) ONE BEDROOM 2 (1) ONE BEDROOM 3 (2) TWO BEDROOM 2 BATH TOTAL 5713 SQ. FT.
THIRD FLOOR (2) EFFICIENCY 1 (2) ONE BEDROOM 1 (2) ONE BEDROOM 2 (1) ONE BEDROOM 3 (2) TWO BEDROOM 2 BATH TOTAL 5713 SQ. FT.	THIRD FLOOR (1) EFFICIENCY 2 (1) EFFICIENCY 3 (1) ONE BEDROOM 4 (4) TWO BEDROOM 1 BATH TOTAL 4790 SQ. FT.	THIRD FLOOR (2) EFFICIENCY 1 (2) ONE BEDROOM 1 (2) ONE BEDROOM 2 (1) ONE BEDROOM 3 (2) TWO BEDROOM 2 BATH TOTAL 5713 SQ. FT.
FOURTH FLOOR (1) LAUNDRY ROOM (1) EFFICIENCY 3 (1) ONE BEDROOM 4 (4) TWO BEDROOM 1 BATH TOTAL 5713 SQ. FT.	FOURTH FLOOR (1) LAUNDRY ROOM (1) EFFICIENCY 3 (1) ONE BEDROOM 4 (4) TWO BEDROOM 1 BATH TOTAL 5713 SQ. FT.	FOURTH FLOOR (1) LAUNDRY ROOM (1) EFFICIENCY 3 (1) ONE BEDROOM 4 (4) TWO BEDROOM 1 BATH TOTAL 5713 SQ. FT.
PATIO AREA BETWEEN TOWERS A & B: 1,158 SQ. FT. PUTTING GREEN: 524 SQ. FT. KITCHEN GARDEN AREA: 88 SQ. FT.	PATIO AREA BETWEEN TOWERS B & C: 1,328 SQ. FT.	PATIO AREA BETWEEN TOWERS B & C: 1,328 SQ. FT.
ROOF TOP PATIO: 889 SQ. FT.	ROOF TOP PATIO: 889 SQ. FT.	ROOF TOP PATIO: 889 SQ. FT.

SITE/BUILDING DATA

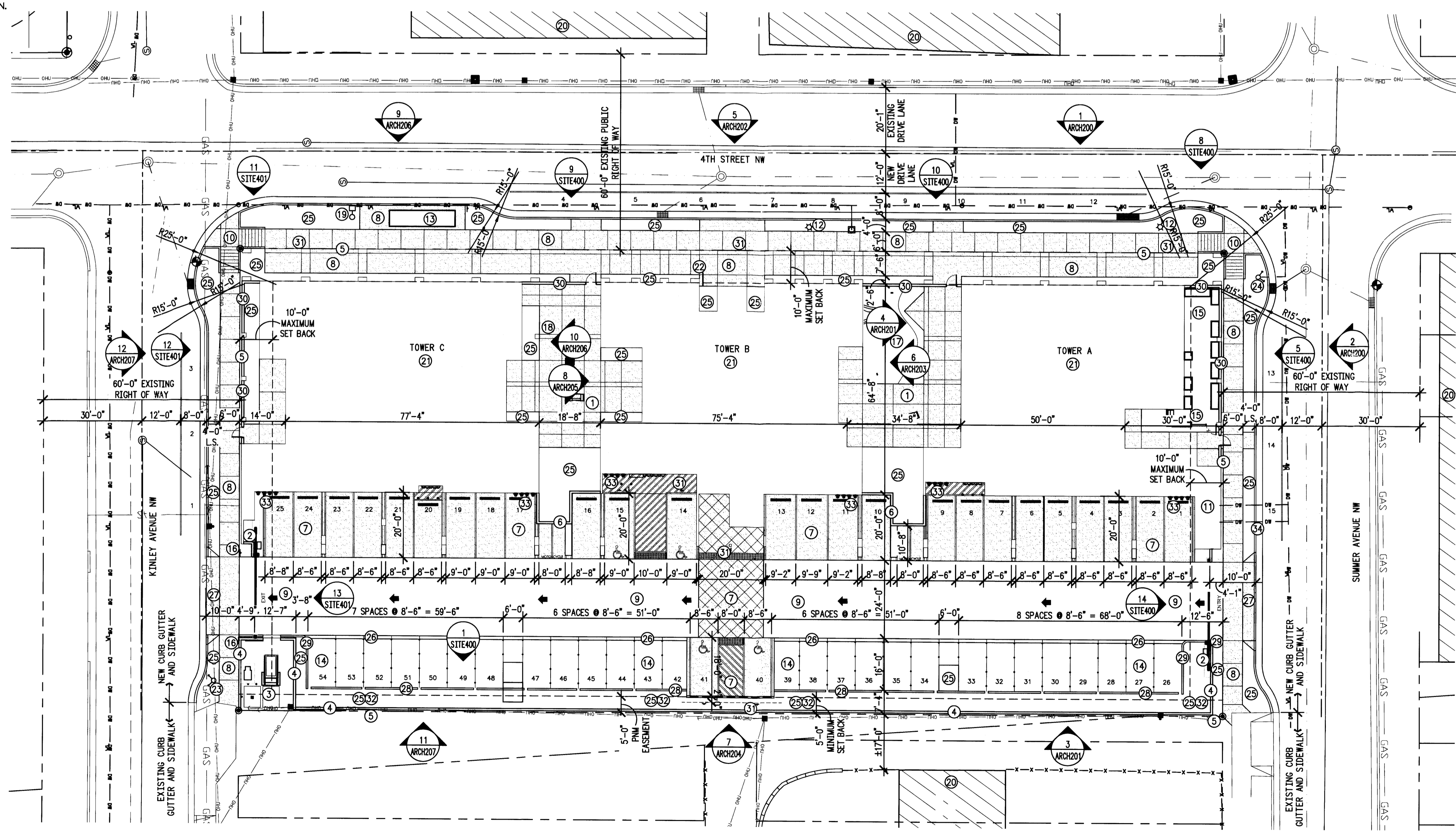
PROJECT ADDRESS: 1319 4TH NW
 SITE ACREAGE: 0.98 ACRES
 TOTAL UNITS: 56
 TOTAL D.U. = 57.14
 TOTAL GROSS SQ. FT. PER TOWER: TOWER A: 19,889 SQ. FT.
 TOWER B: 25,861 SQ. FT.
 TOWER C: 20,462 SQ. FT.
 TOTAL GROSS SQ. FT.: 66,212 SQ. FT.
 CONSTRUCTION TYPE: V-A
 BUILDING HEIGHT: TOWER A: 38'-8"
 TOWER B: 47'-8"
 TOWER C: 38'-8"
 ACCESSIBLE PARKING
 NEW STREET LIGHTING STANDARD
 EXISTING STREET LIGHTING STANDARD
 (1) EXISTING & (1) NEW FIRE HYDRANT
 APPLICATION NUMBER: _____



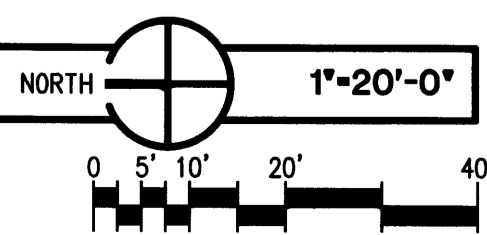
DRB SITE DEVELOPMENT PLAN APPROVAL

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE	CITY ENGINEER	DATE
ABCWUA	DATE	ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	DATE
PARKS AND RECREATION DEPARTMENT	DATE	SOLID WASTE MANAGEMENT	DATE
		DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE
		ENVIRONMENTAL HEALTH IF NECESSARY.	

IS AN INFRASTRUCTURE LIST REQUIRED? () YES () NO
 IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.
 FIRE MARSHALS _____ DATE _____



NEW ARCHITECTURAL SITE KEY PLAN



VICINITY MAP
 ZONE ATLAS - J-M-Z ZONING: C-2 COMMERCIAL RETAIL

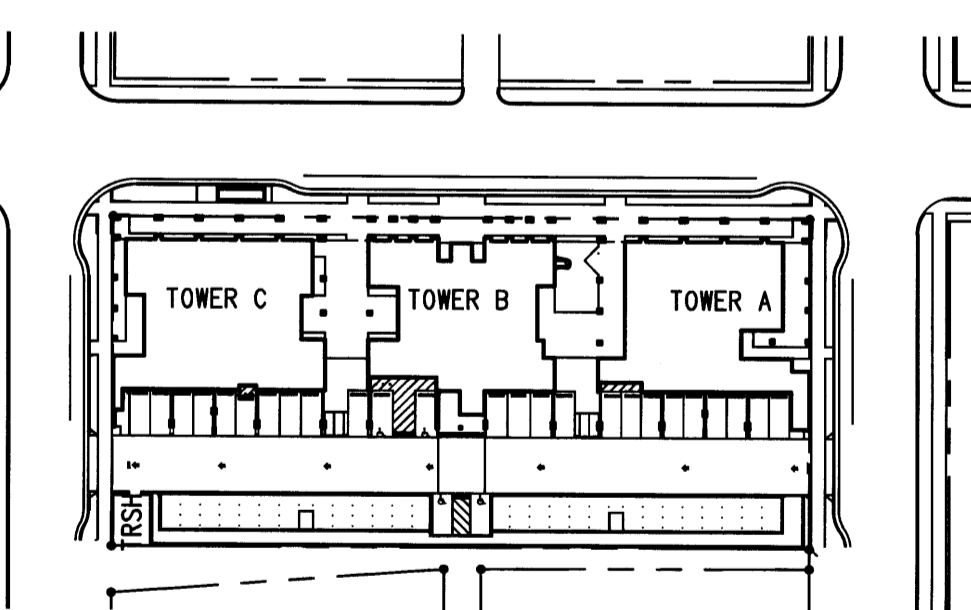
PARKING CALCULATIONS

Note: Parking Calculations are based on the "North 4th Rank III Corridor Plan" Required Parking Calculations
 Required Residential Parking:
 (8) Efficiencies -> 1.5 space per = 19.5 spaces
 (23) 1 Bedrooms -> 1.5 spaces per = 34.5 spaces
 (20) 2 Bedrooms -> 1.5 spaces per = 30 spaces
 Total: 84 Residential Spaces Required
 Required Non-Residential Parking:
 1,800 Sq. Ft. Multi-purpose (tenants only) = 0 spaces
 249 Sq. Ft. Sales Office -> 3/1,000 Sq. Ft. = 3 spaces
 Shared parking factor 1.4 reduces to = 2.1 = 3 spaces
 2,271 Sq. Ft. Exercise Area (tenants only) = 0 spaces
 Total: 3 Non-Residential Spaces Required

Parking Reductions:
 NFTOD 10% reduction = -8.7 spaces
 14-16-3 (6) 10% Transit Reduction = -8.7 spaces
 14-16-3 (6) 5% Transit Shelter = -4.4 spaces
 Total: -21.8 = 22 spaces

Total Required Parking Spaces = 65
 Parking Spaces Provided:
 Off-street Parking Provided:
 (60) Standard Spaces
 (4) Accessible Spaces
 54 Off-street Parking Spaces Provided
 On-Street Parking Provided:
 (16) Standard Spaces (7) Spaces count towards parking
 Total Parking Provided 61 < 65 Required Parking Spaces

- (4) ACCESSIBLE PARKING SPACES
- (4) MOTORCYCLE SPACES
- (28) BICYCLE PARKING SPACES



KEY PLAN NORTH NTS

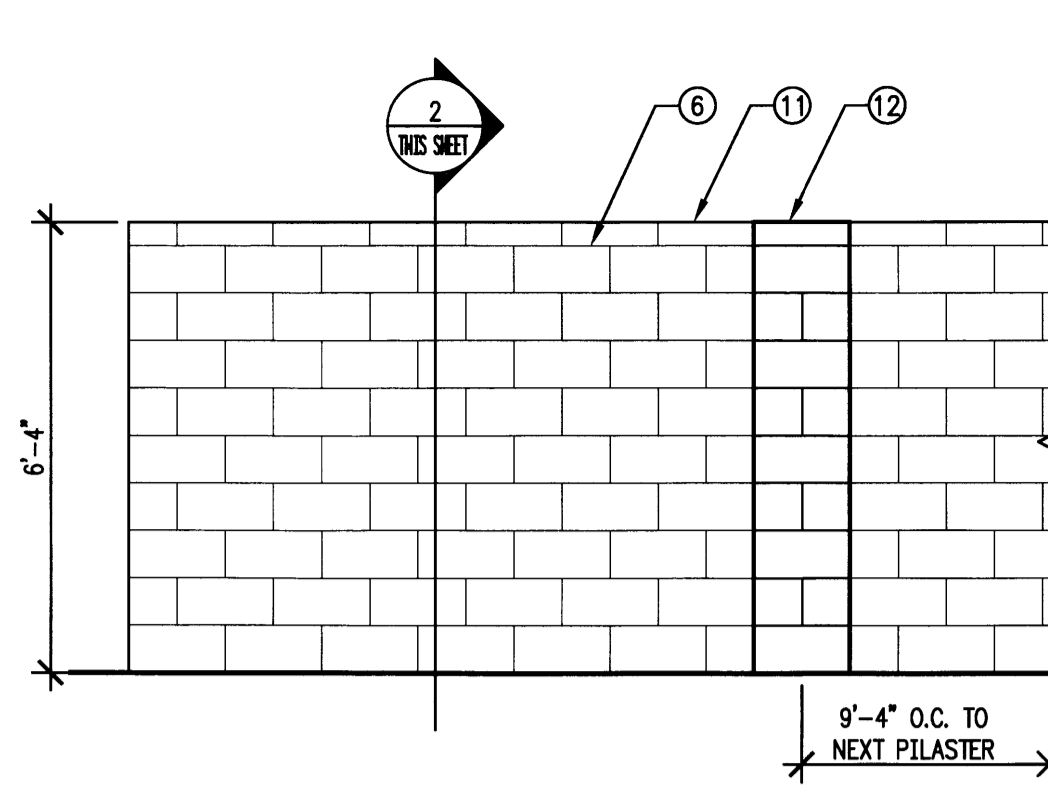
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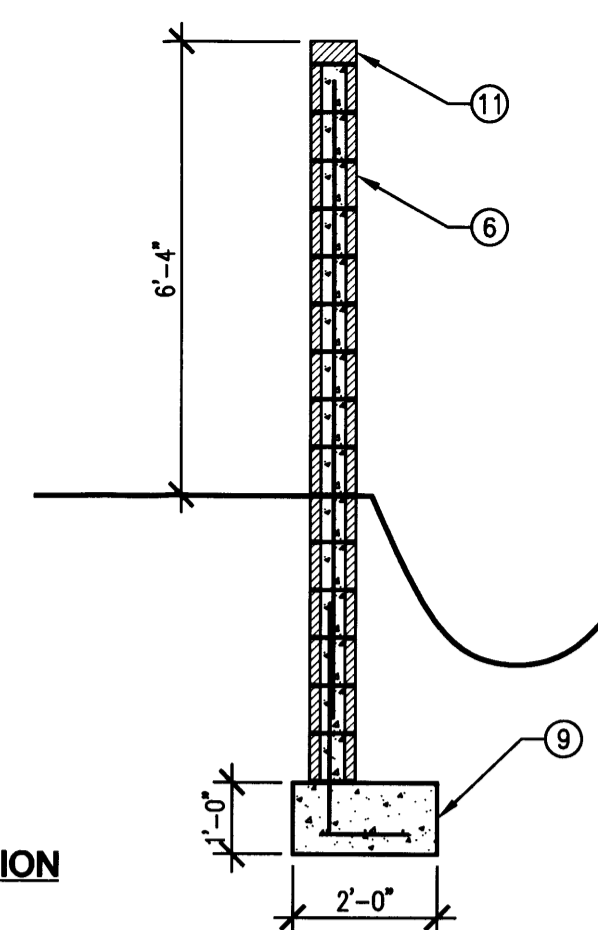
NEW ARCHITECTURAL SITE KEY PLAN

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SITE100



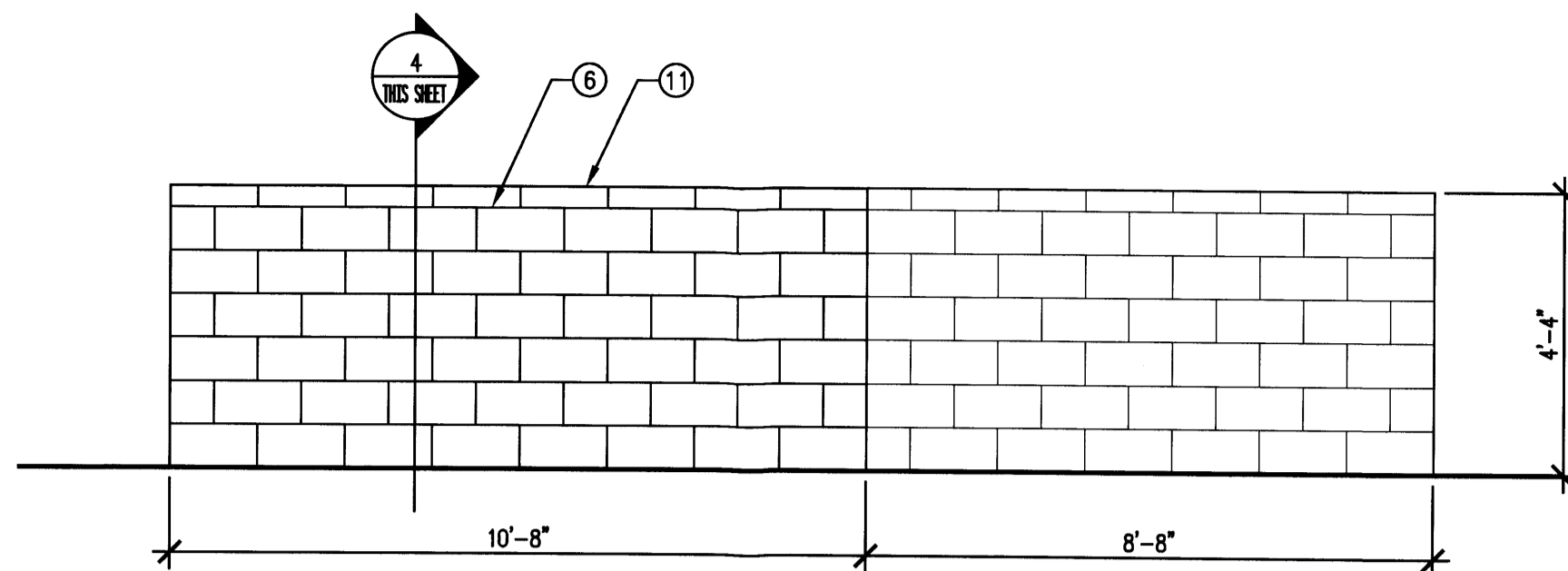
ELEVATION

WEST SITE WALL 1 3/8"-1'-0"



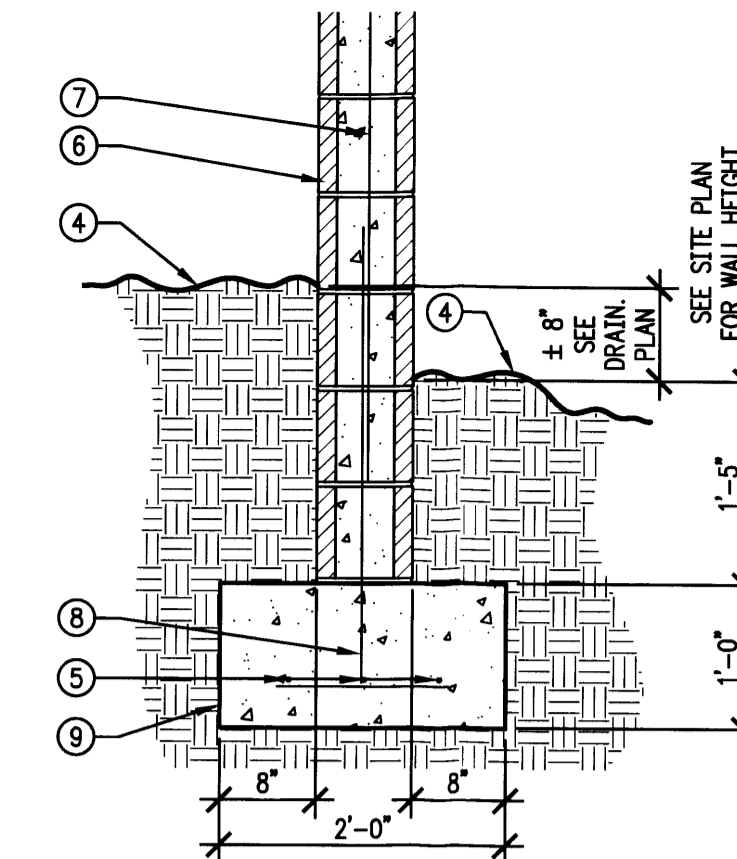
SECTION

WEST SITE WALL 2 3/8"-1'-0"



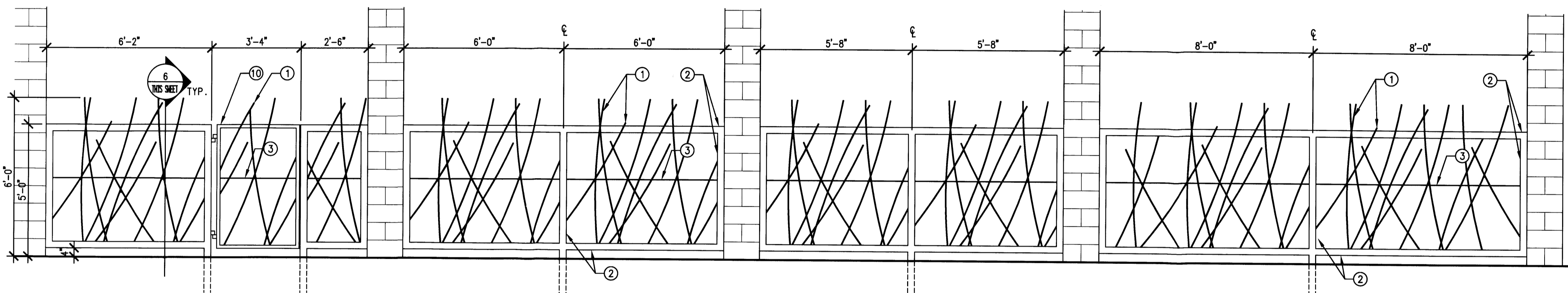
ELEVATION

NORTH COURTYARD WEST WALL 3 3/8"-1'-0"



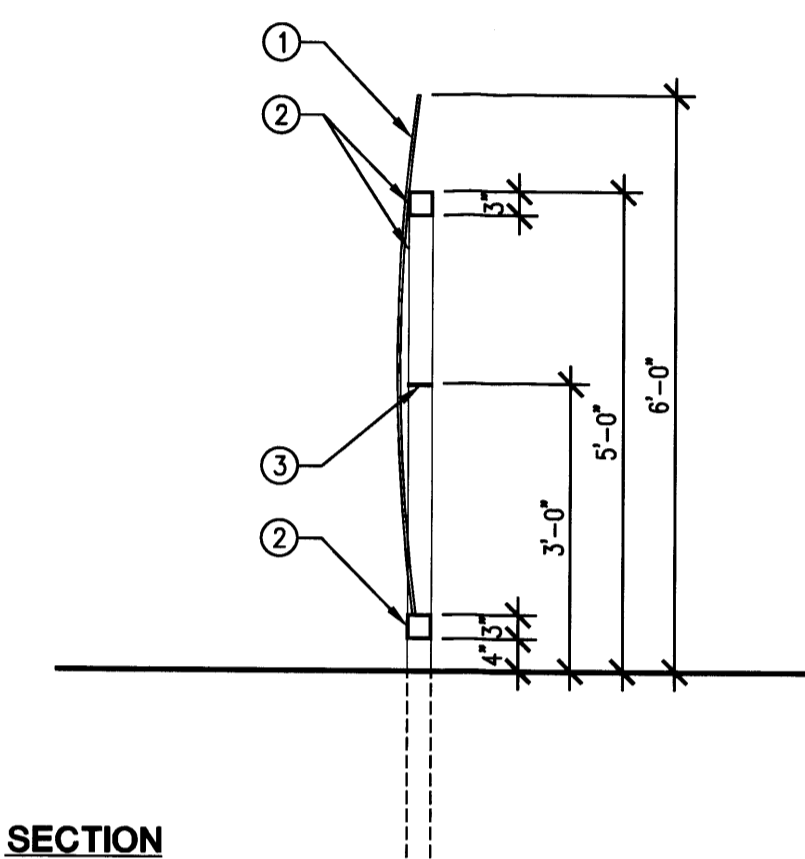
SECTION

COURTYARD W. WALL 4 3/4"-1'-0"



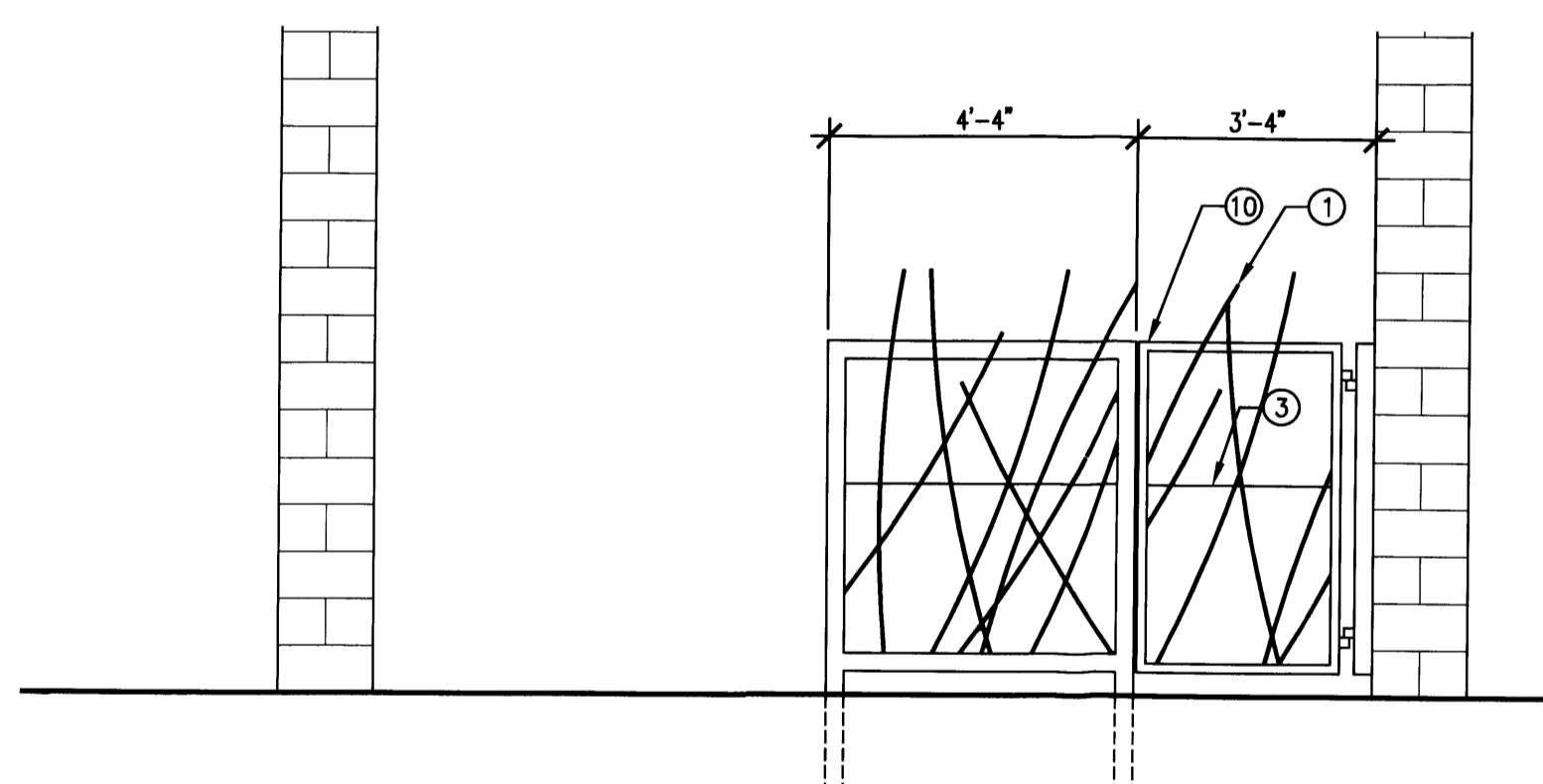
ELEVATION

SOUTH FENCE - AT TOWER A 5 3/8"-1'-0"



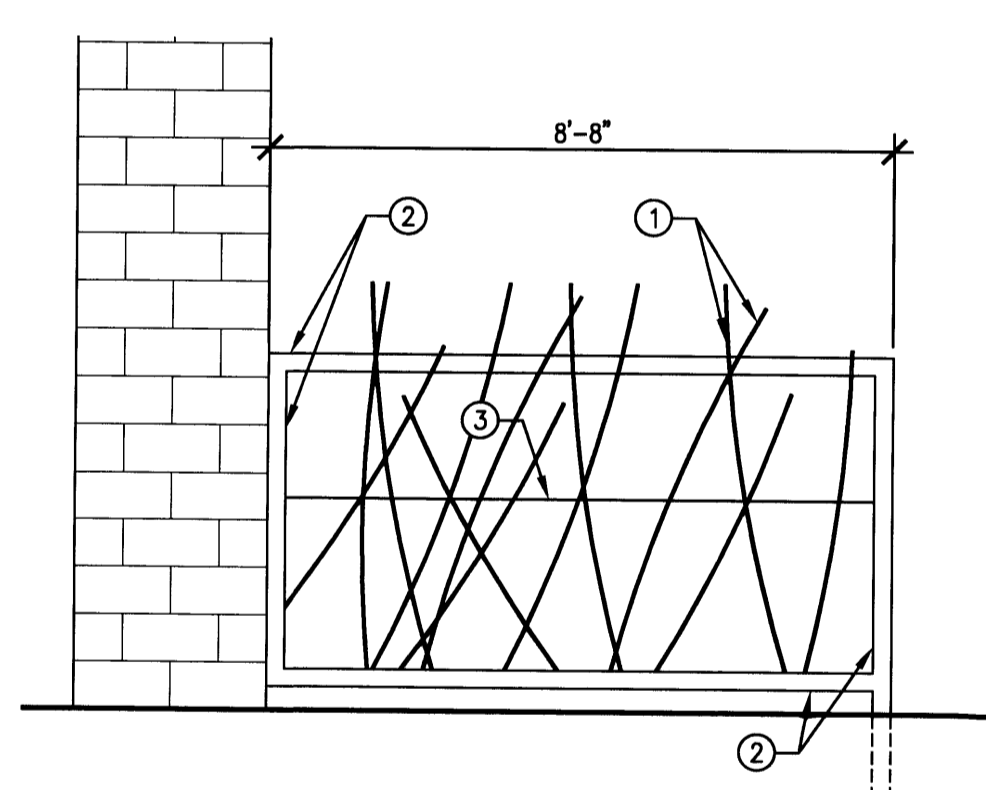
SECTION

SOUTH FENCE 6 1/2"-1'-0"



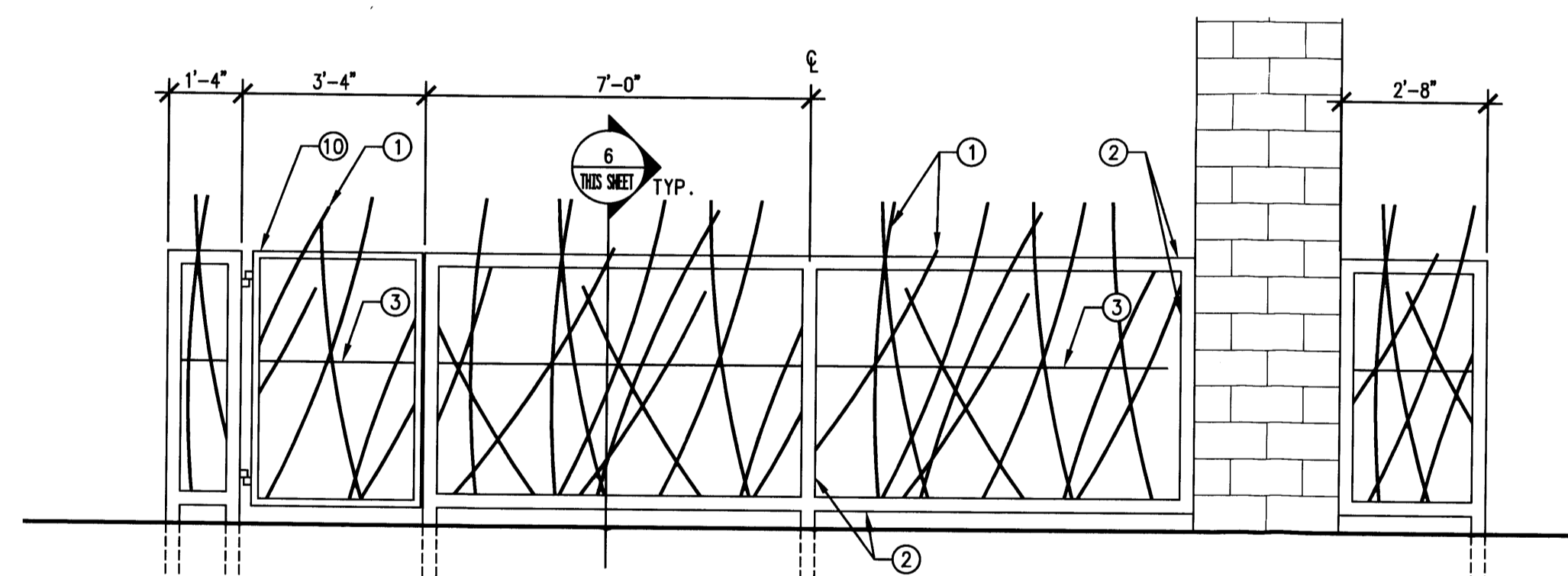
ELEVATION

GARDEN FENCE 7 3/8"-1'-0"



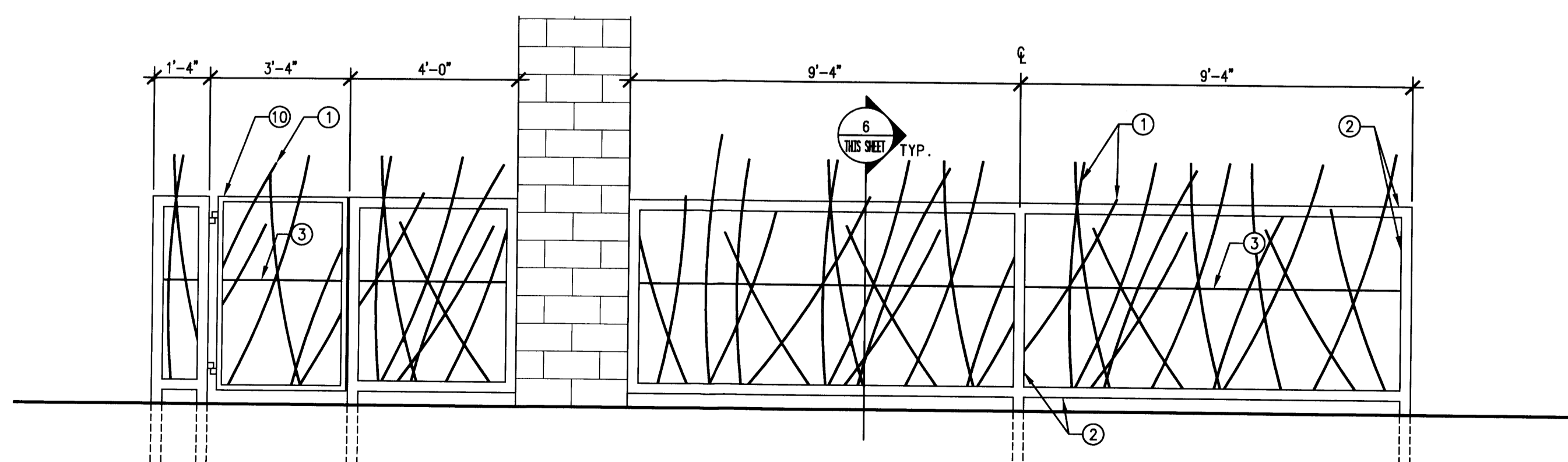
ELEVATION

EAST FENCE TWR. A 8 3/8"-1'-0"



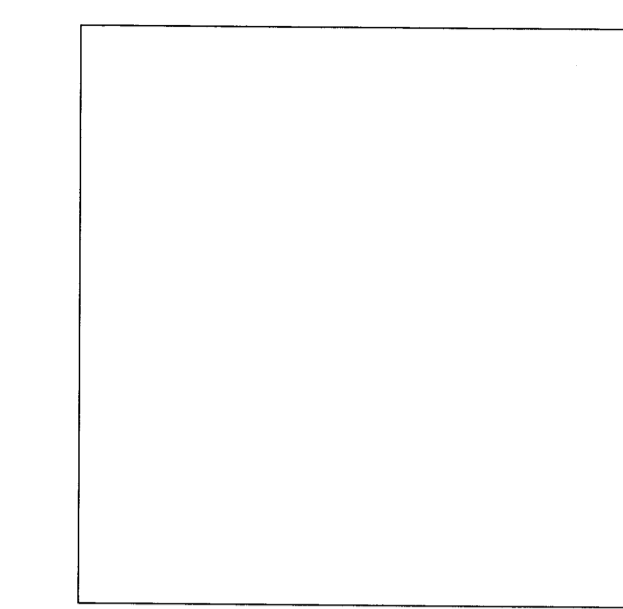
ELEVATION

EAST FENCE BETWEEN TOWER B AND C 9 3/8"-1'-0"



ELEVATION

EAST FENCE BETWEEN TOWER A AND B 10 3/8"-1'-0"



- Keyed Notes**
- 20'-0" RADIUS 3/8" REBAR AT VARIOUS LENGTH FROM 4'-0" TO 5'-6".
 - HSS 3x3x1/8 FENCE FRAME.
 - PLATE 3/16x3.
 - FINISH GRADE.
 - (3) #4 REBAR CONTINUOUS.
 - 8" CMU EXPOSED FINISH, W/ STD. DUR-O-WAL @ ALT. COURSES. GROUT REINFORCED CELLS, GROUT ALL CELLS BELOW GRADE. MASONRY EXPANSION JOINTS @ 12'-0" O.C. MAX.
 - #4 VERT. @ 48" O.C.
 - #4 DOWELS @ 48" O.C. ALT. HOOKS.
 - CONCRETE FOOTING.
 - HSS 1-1/2x1-1/2x1/8 GATE FRAME.
 - 4" CMU CAP BLOCK EXPOSED FINISH.
 - 8" CMU EXPOSED FINISH PILASTER, SEE SITE PLAN.
 - V-GROOVE WHEELS AND V-TRACK.
 - POWERED GATE OPERATOR.
 - 2.5"x2.5"x3/16" GATE GUIDES, 16" DEEP CONCRETE FOOTING W/ 4" MIN COVERAGE ON ALL SIDES, MANUFACTURE/ FABRICATOR APPLIED POWDER COAT.
 - HSS 4x4x1/8 DOOR FRAME.
 - PERFORATED CORRUGATED METAL INFILL PANEL TO MATCH BUILDING'S SHADE STRUCTURE.

integrated design+architecture

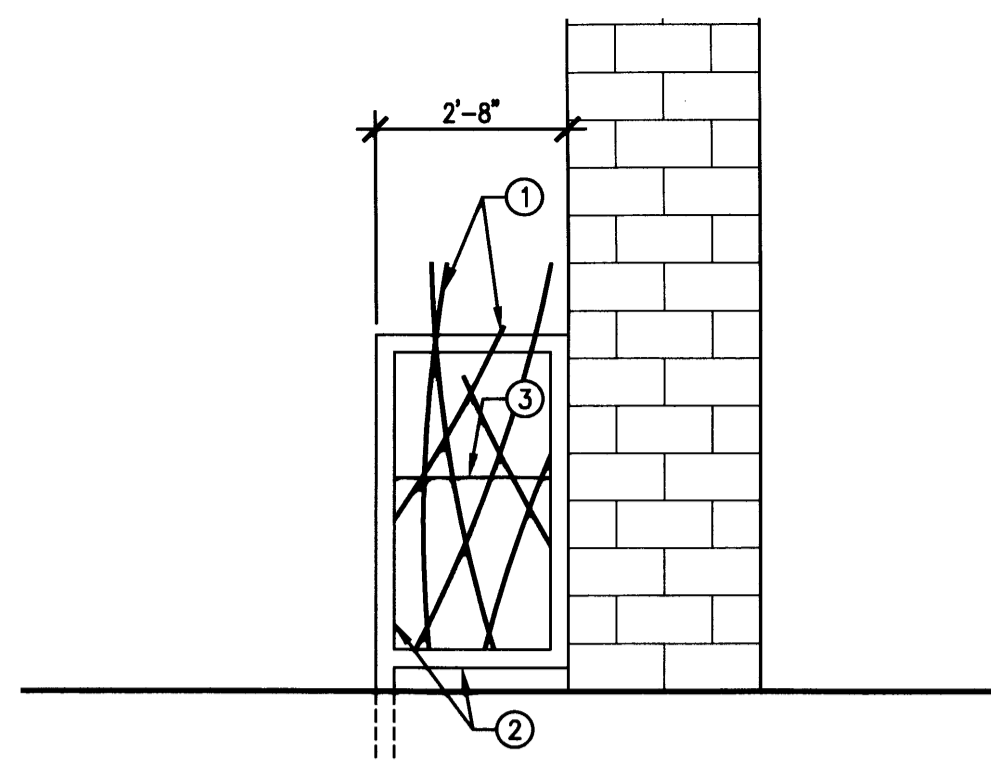
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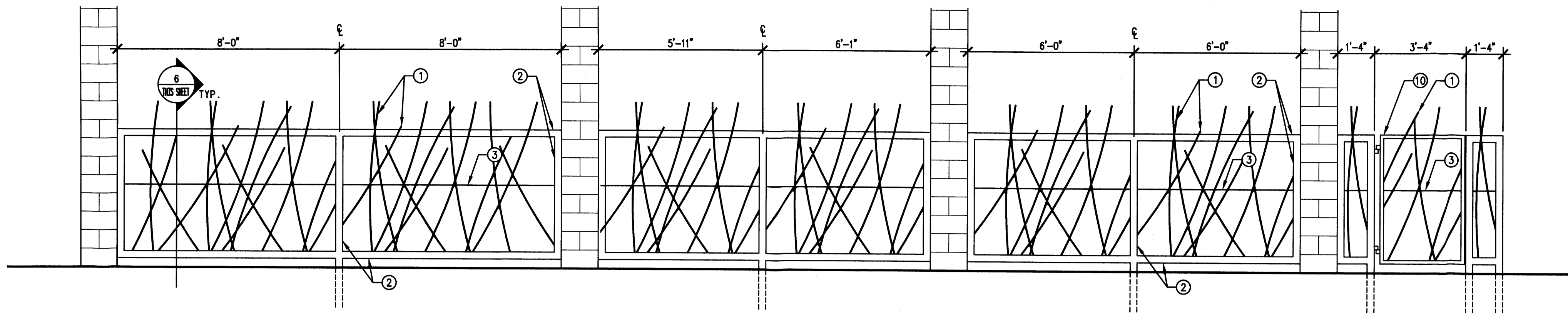
SITE FENCE & WALL DETAILS

By: KIS Sheet of
 File: SITE400 FENCE & WALL.DWG
 Plot Date: 9/22/2014 10:23:34 AM **SITE400**



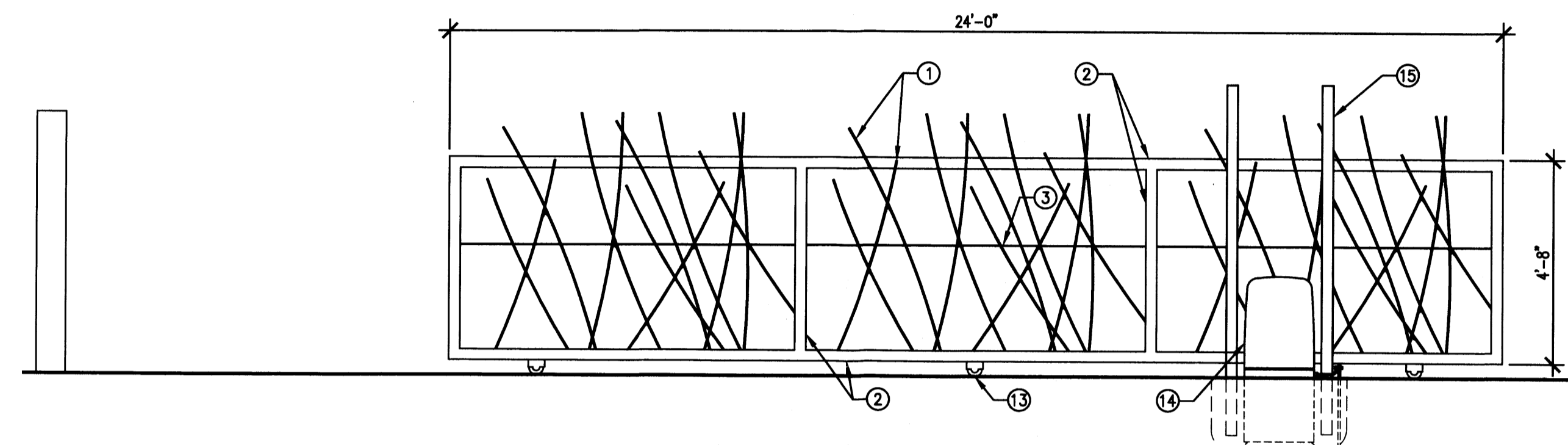
ELEVATION

EAST FENCE TWR. C 11 3/8"-1'-0"



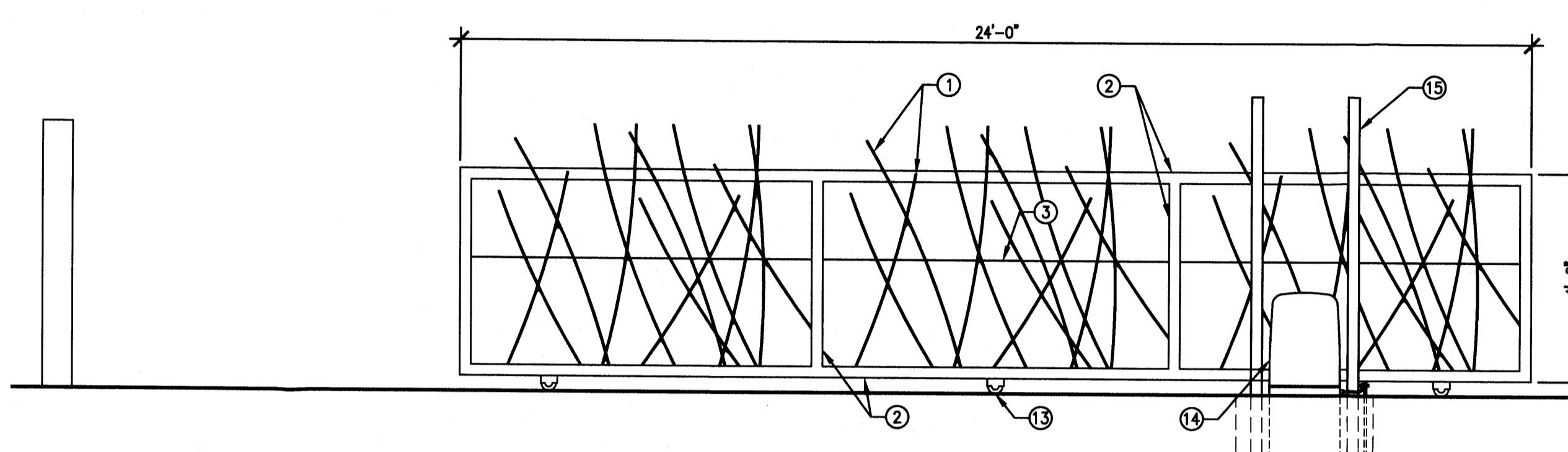
ELEVATION

NORTH FENCE AT TOWER C 12 3/8"-1'-0"



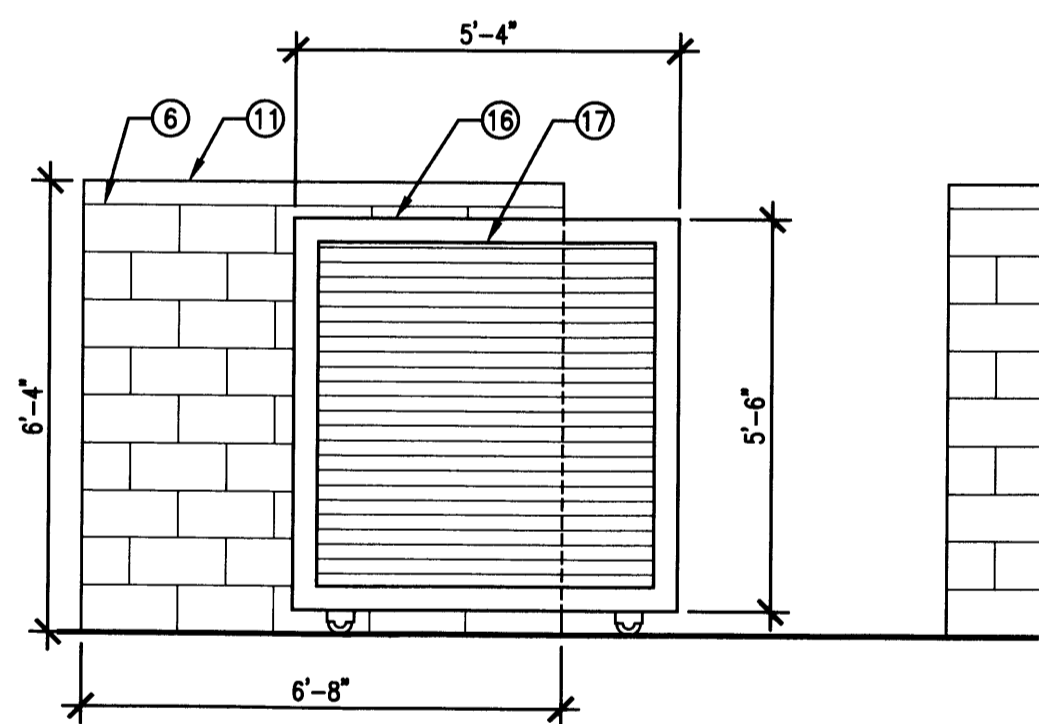
ELEVATION

EXIT CAR GATE AT NORTH END OF PARKING LOT 13 3/8"-1'-0"



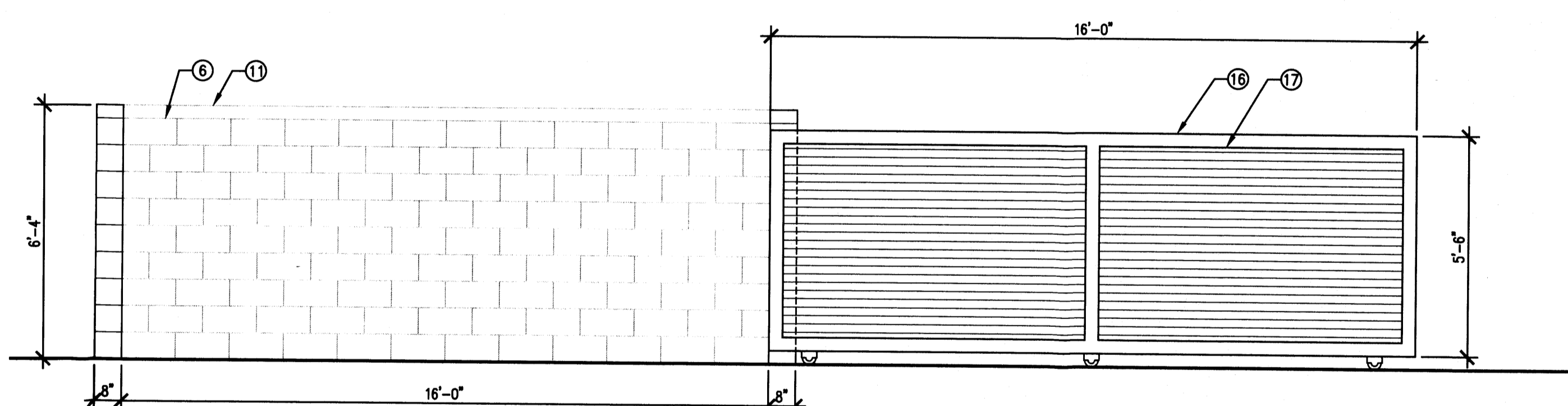
ELEVATION

ENTRANCE CAR GATE AT SOUTH END OF PARKING LOT 14 3/8"-1'-0"



ELEVATION

TRASH ENCL. GATE 15 3/8"-1'-0"



ELEVATION

TRASH ENCLOSURE WEST DOOR 16 3/8"-1'-0"

- Keyed Notes**
- 20'-0" RADIUS 3/8" REBAR AT VARIOUS LENGTH FROM 4'-0" TO 5'-6".
 - HSS 3x3x1/8 FENCE FRAME.
 - PLATE 3/16x3.
 - FINISH GRADE.
 - (3) #4 REBAR CONTINUOUS.
 - 8" CMU EXPOSED FINISH, W/ STD. DUR-O-WAL @ ALT. COURSES. GROUT REINFORCED CELLS, GROUT ALL CELLS BELOW GRADE. MASONRY EXPANSION JOINTS @ 12'-0" O.C. MAX.
 - #4 VERT. @ 48" O.C.
 - #4 DOWELS @ 48" O.C. ALT. HOOKS.
 - CONCRETE FOOTING.
 - HSS 1-1/2x1-1/2x1/8 GATE FRAME.
 - 4" CMU CAP BLOCK EXPOSED FINISH.
 - 8" CMU EXPOSED FINISH PILASTER, SEE SITE PLAN.
 - V-GROOVE WHEELS AND V-TRACK.
 - POWERED GATE OPERATOR.
 - 2.5"x2.5"x3/16" GATE GUIDES, 16" DEEP CONCRETE FOOTING W/ 4" MIN COVERAGE ON ALL SIDES, MANUFACTURE/ FABRICATOR APPLIED POWDER COAT.
 - HSS 4x4x1/8 DOOR FRAME.
 - PERFORATED CORRUGATED METAL INFILL PANEL TO MATCH BUILDING'S SHADE STRUCTURE.

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Greater Albuquerque Housing Partnership
CUATRO
Albuquerque, New Mexico

PROJECT ARCHITECT: BOB HALL, AIA
Date: SEPTEMBER 22, 2014
Project #: IDA-14-13-P

SITE FENCE & WALL DETAILS

By: KIS
File: SITE400 FENCE & WALL.DWG
Plot Date: 9/22/2014 10:25:11 AM
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SITE401

STATEMENT OF RESPONSIBILITIES & COMPLIANCE

STATEMENT OF LANDSCAPING RESPONSIBILITY FOR MAINTENANCE
 OWNER OR OWNER'S DESIGNATED REPRESENTATIVE SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL ON-SITE LANDSCAPING AS WELL AS LANDSCAPING WITHIN THE CITY R.O.W. ADJACENT TO THE BUILDING SITE.

STATEMENT OF COMPLIANCE WITH WATER CONSERVATION ORDINANCE
 ALL LANDSCAPING SHALL COMPLY WITH THE WATER CONSERVATION ORDINANCE, 6-1-1.

STATEMENT OF COMPLIANCE WITH GENERAL LANDSCAPING REGULATIONS
 ALL LANDSCAPING SHALL COMPLY WITH THE GENERAL LANDSCAPING REGULATIONS, 14-16-3-10.

LANDSCAPE CALCULATIONS

NET LOT AREA CALCULATION
 TOTAL PROP. AREA = 42,600
 minus (a) TOTAL BUILDING AREA (at ground level) = 14,208
 minus (b) PORTIONS OF LOT (non off-street req't screened by 6' wall) = 1,838
 minus (c) ROW LANDSCAPING = 1,983
 NET LOT AREA = 24,571

REQUIRED LANDSCAPE AREA CALCULATION
 NET LOT AREA x 15% = 24,571 x 15% = 3,685.65 or 3,686

LANDSCAPE AREA PROVIDED ON SITE = 3,861.7 SQ. FT. > 3,686
 (not including ROW landscaping)

REQUIRED TREES

STREET TREES (per street tree ordinance)
 Street Trees at approximately 1 per 30' (at Arterial Street, 4th Street only, other streets are Local)

PARKING (per corridor plan)
 1 per 8 parking spaces = 65(required) / 8 = 8.125 = 9

DWELLING UNITS (per General Regulations - Landscape Regulations)
 No dwelling units at ground floor
 1 per 2 dwelling units at 2nd floor = 25 / 2 = 12.5 or 13

Total Trees Required = 22
 Total Trees Provided = 26

LANDSCAPE AREAS

R.O.W. LANDSCAPE AREAS:

- A - 107.2 SQ. FT.
- E - 97.9 SQ. FT.
- F - 116.1 SQ. FT.
- G - 250.1 SQ. FT.
- H - 260.2 SQ. FT.
- I - 146.8 SQ. FT.
- J - 105.0 SQ. FT.
- K - 179.7 SQ. FT.
- L - 336.2 SQ. FT.
- M - 384.2 SQ. FT.

TOTAL: 1,983.4 SQ. FT.

ON SITE LANDSCAPE AREAS:





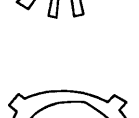



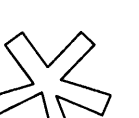
- B - 70.0 SQ. FT.
- C - 1707.7 SQ. FT.
- D - 94.8 SQ. FT. = (2) @ 47.4 SQ. FT.
- N - 32.7 SQ. FT.
- O - 268.7 SQ. FT.
- P - 18.2 SQ. FT.
- Q - 40.0 SQ. FT. = (10) @ 4 SQ. FT.
- R - 38.6 SQ. FT. = (2) @ 19.3 SQ. FT.
- S - 348.5 SQ. FT.
- T - 110.6 SQ. FT.
- U - 336.0 SQ. FT.
- V - 35.9 SQ. FT.
- W - 50.7 SQ. FT.
- X - 60.8 SQ. FT.
- Y - 87.1 SQ. FT.
- Z - 28.3 SQ. FT.
- AA - 35.5 SQ. FT.
- AB - 185.6 SQ. FT.
- AC - 312.0 SQ. FT.

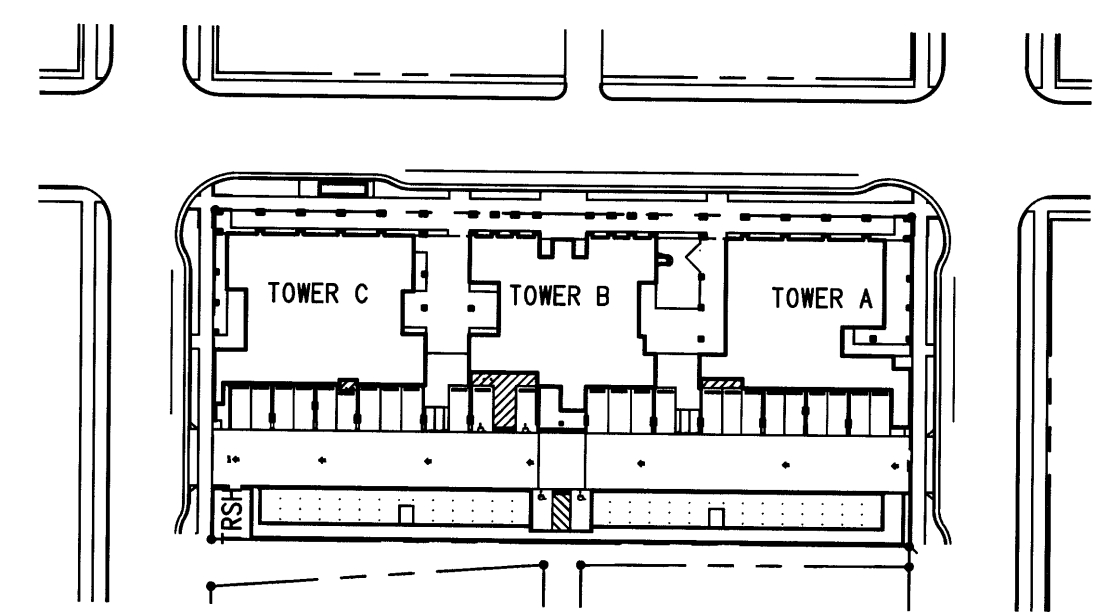
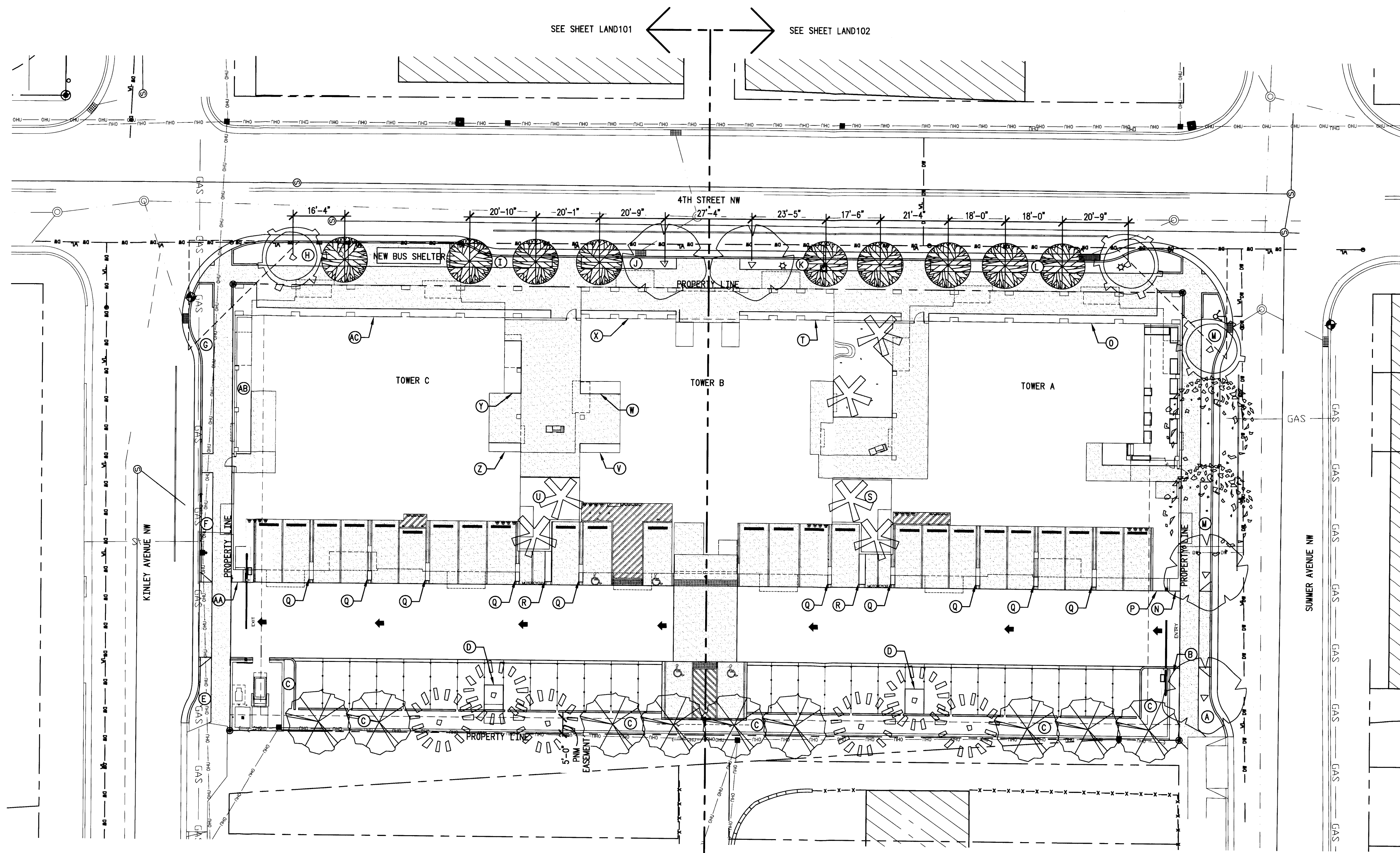
TOTAL: 3,861.7 SQ. FT.

General Notes

- A. SEE SHEET LAND200 FOR LANDSCAPE SCHEDULE.
- B. ALL SHRUBS, GRASSES, AND PLANTS SHOWN ON LAND101 AND LAND102 FOR CLARIFICATION.

New Landscape Plan Tree Legend

-  Bosque Elm
-  Crimson Spire Oak
-  Purple Robe Locust
-  Chinese Pistache
-  Persian Ironwood
-  Mimosa
-  Chaste Tree
-  Japanese Maple
-  Streetkeeper Honey Locust



KEY PLAN NORTH NTS

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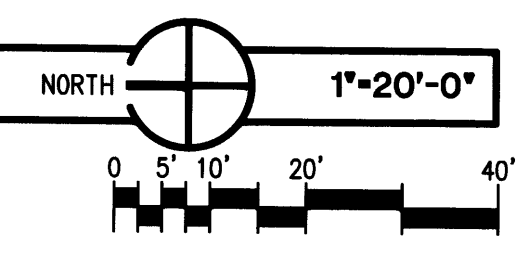
Greater Albuquerque Housing Partnership CUATRO
 Albuquerque, New Mexico

PROJECT ARCHITECT: BOB HALL, AIA
 Project #: IDA-14-13-P
 Date: SEPTEMBER 22, 2014

NEW LANDSCAPE PLAN

By: KIS
 File: DRB_NEW LAND PLN.DWG
 Plot Date: 10/11/2014 2:48:46 PM
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NEW LANDSCAPE PLAN - TREES ONLY



General Notes

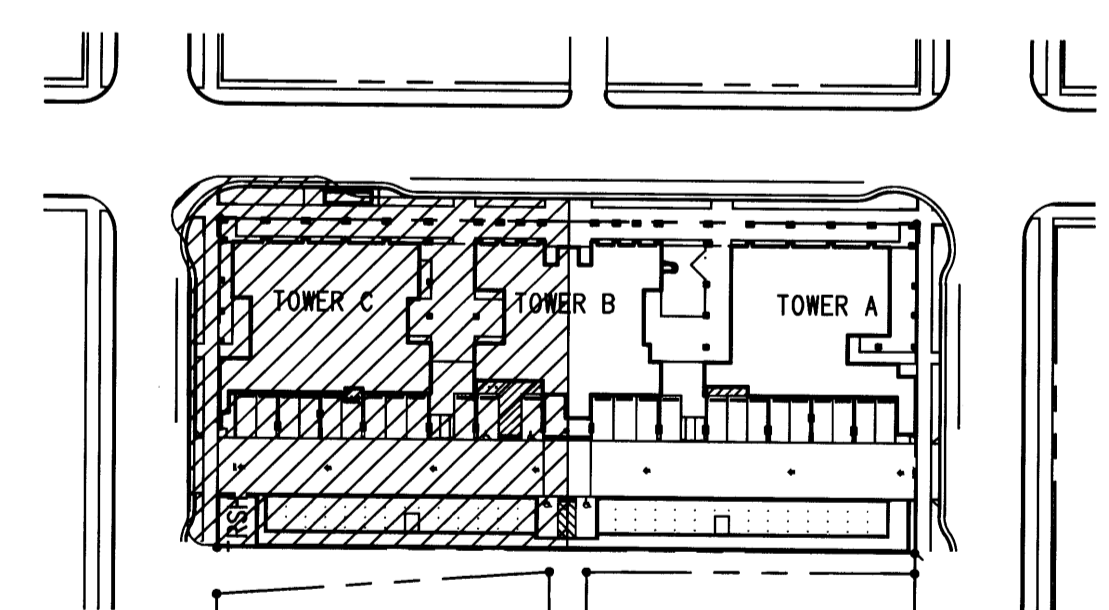
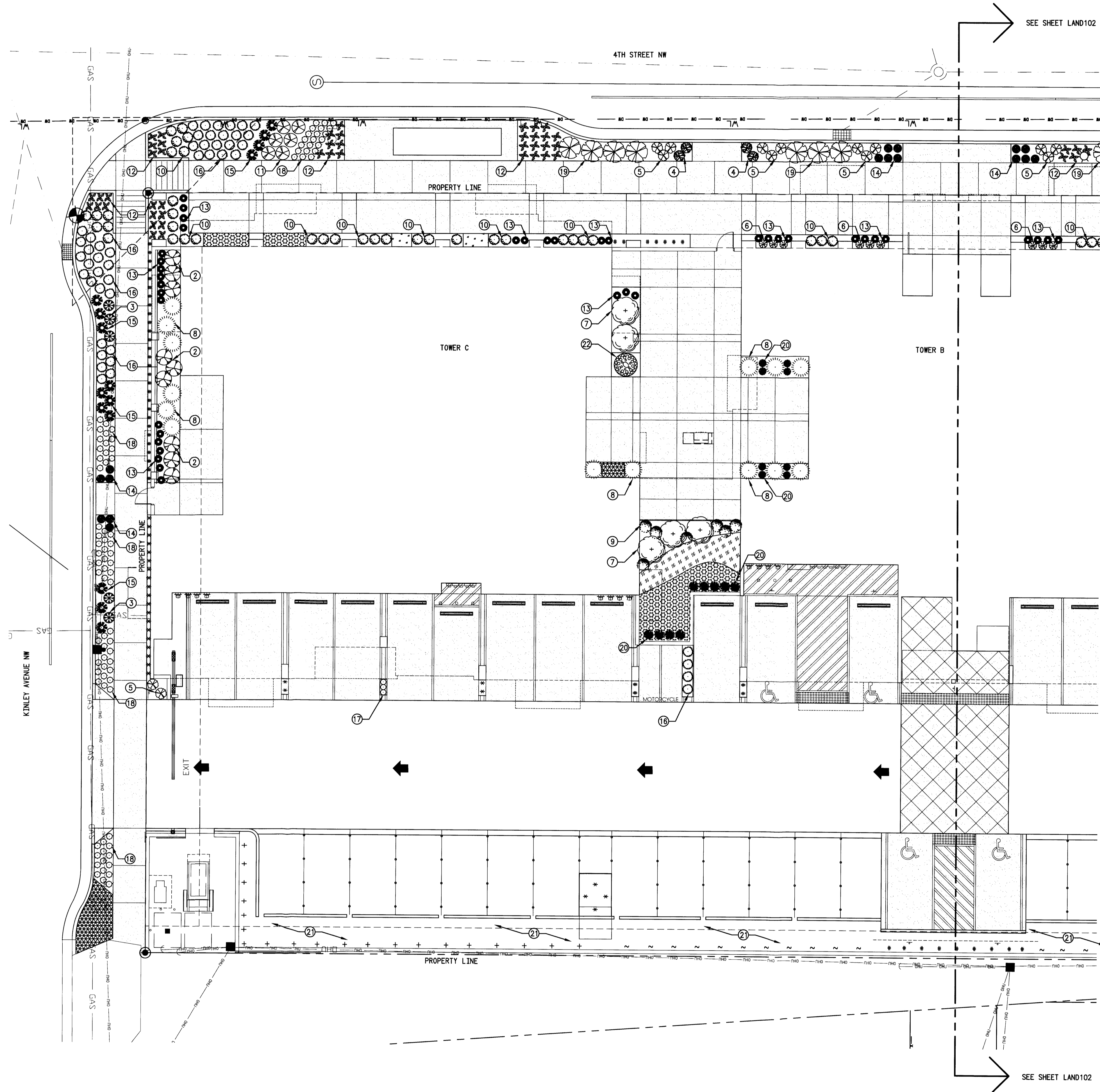
- A. SEE SHEET LAND200 FOR LANDSCAPE SCHEDULE.
- B. ALL TREES SHOWN ON LAND100 ONLY FOR CLARIFICATION.

Keyed Notes

1. MAXILLIAN'S SUNFLOWER, SEE SYMBOLS LEGEND.
2. RED YUCCA.
3. PALMER'S PENSTEMON.
4. PURPLE CONEFLOWER.
5. GOLDENROD.
6. HORSETAIL.
7. TRAILING BLUE ROSEMARY.
8. COMPACT OREGON GRAPE HOLLY.
9. GAYFEATHER.
10. AUTUMN JOY SEDUM.
11. BOWLES MAUVE WALLFLOWER.
12. BUENA VISTA ENGLISH LAVENDER.
13. MOONSHINE YARROW.
14. MEXICAN HAT.
15. KARL FOERSTER FEATHER REED GRASS.
16. CHEYENNE SKY PRAIRIE SWITCH GRASS.
17. THREADGRASS.
18. SISKIYOU BLUE IDAHO FESCUE GRASS.
19. DWARF MAIDEN GRASS.
20. DWARF PLUMBAGO.
21. PONDING AREA.
22. WATER FOUNTAIN.

New Landscape Plan Shrub Legend

	Maxillian's Sunflower		Karl Foerster Feather Reed Grass
	Red Yucca		Cheyenne Sky Prairie Switch Grass
	Palmer's Penstemon		Threadgrass
	Purple Coneflower		Siskiyou Blue Idaho Fescue Grass
	Goldenrod		Dwarf Maiden Grass
	Horsetail		Dwarf Plumbago
	Trailing Blue Rosemary		Creeping Hummingbird Trumpet
	Compact Oregon Grape Holly		Vinca minor
	Gayfeather		Lily turf
	Autumn Joy Sedum		Creeping Thyme
	Bowles Mauve Wallflower		
	Buena Vista English Lavender		
	Moonshine Yarrow		
	Mexican Hat		
	Trumpet Vine		
	Silver Lacevine		
	Lady Banks' Rose		
	Coral Honeysuckle		



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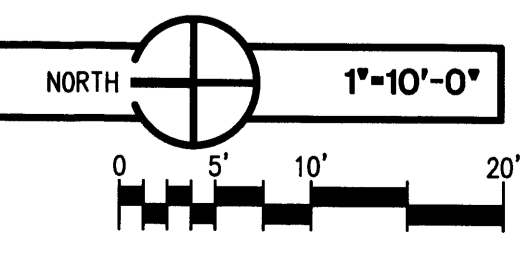
Greater Albuquerque Housing Partnership
 CUATRO
 Albuquerque, New Mexico

PROJECT ARCHITECT: BOB HALL, AIA
 Project #: IDA-14-13-P
 Date: SEPTEMBER 22, 2014

NEW LANDSCAPE PLAN - NORTH

By: KIS
 File: DRB_NEW LAND PLN.DWG
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LAND101

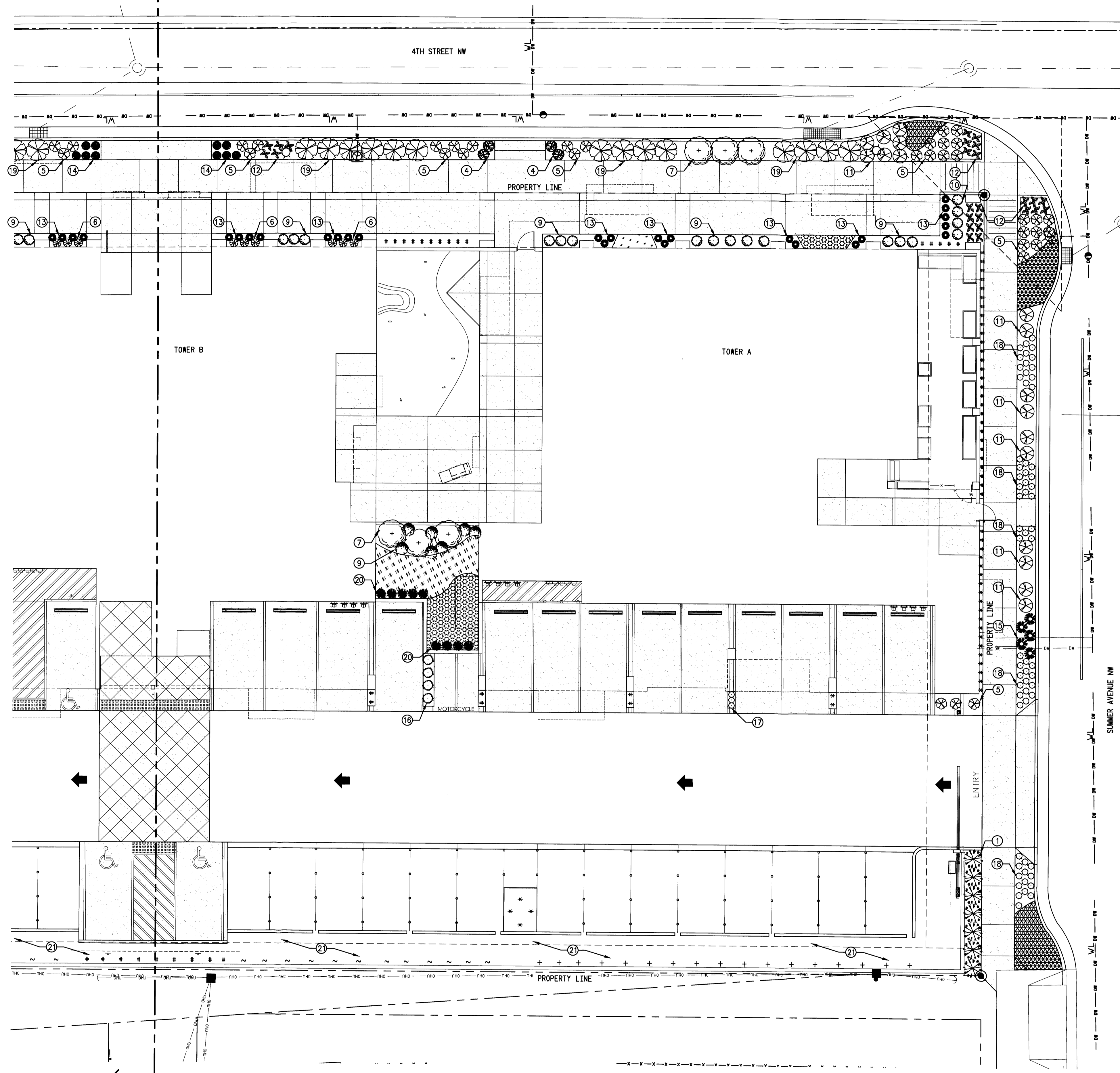
NEW LANDSCAPE PLAN - NORTH - SHRUBS, GRASSES, AND VINES ONLY



SEE SHEET LAND102

SEE SHEET LAND102

SEE SHEET LAND101



SEE SHEET LAND101

General Notes

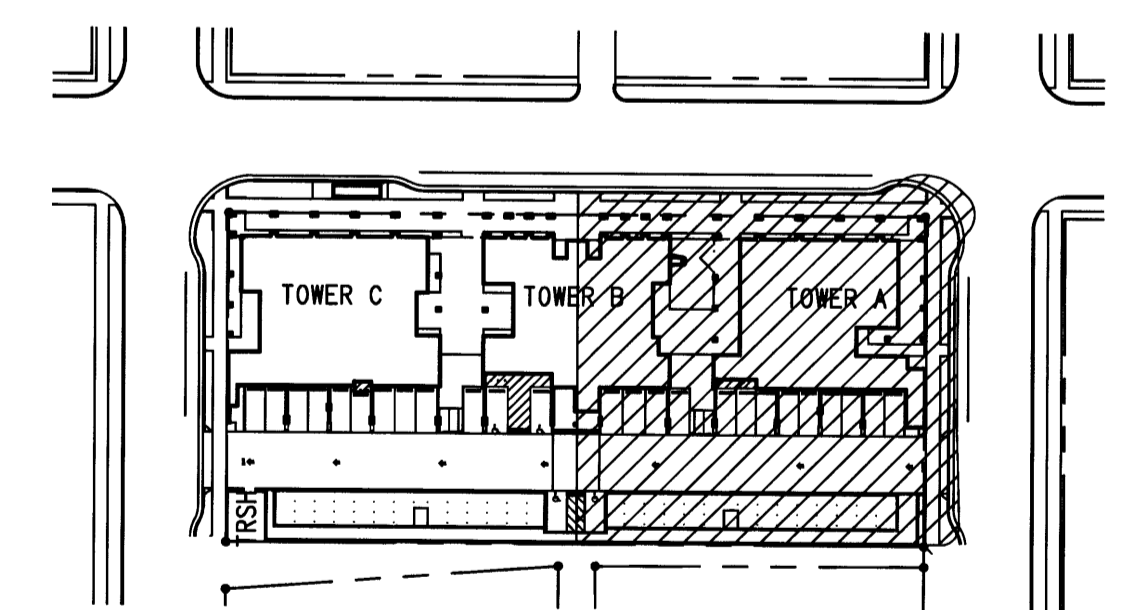
- A. SEE SHEET LAND200 FOR LANDSCAPE SCHEDULE.
- B. ALL TREES SHOWN ON LAND100 ONLY FOR CLARIFICATION.

Keyed Notes

1. MAXILLIAN'S SUNFLOWER, SEE SYMBOLS LEGEND.
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17. THREADGRASS.
18. SISKIYOU BLUE IDAHO FESCUE GRASS.
19. DWARF MAIDEN GRASS.
20. DWARF PLUMBAGO.
21. PONDING AREA.
22. WATER FOUNTAIN.

New Landscape Plan Shrub Legend

	Maxillian's Sunflower		Karl Foerster Feather Reed Grass
	Red Yucca		Cheyenne Sky Prairie Switch Grass
	Palmer's Penstemon		Threadgrass
	Purple Coneflower		Siskiyou Blue Idaho Fescue Grass
	Goldenrod		Dwarf Maiden Grass
	Horsetail		Dwarf Plumbago
	Trailing Blue Rosemary		Creeping Hummingbird Trumpet
	Compact Oregon Grape Holly		Vinca minor
	Gayfeather		Lily turf
	Autumn Joy Sedum		Creeping Thyme
	Bowles Mauve Wallflower		
	Buena Vista English Lavender		
	Moonshine Yarrow		
	Mexican Hat		
	Trumpet Vine		
	Silver Lacevine		
	Lady Banks' Rose		
	Coral Honeysuckle		



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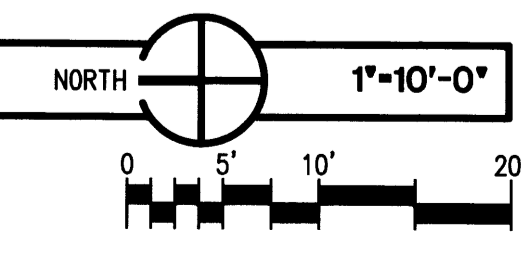
PROJECT ARCHITECT: BOB HALL, AIA
Project #: IDA-14-13-P
Date: SEPTEMBER 22, 2014

NEW LANDSCAPE PLAN - SOUTH

By: KIS
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Plot Date: 10/11/2014 2:50:36 PM

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NEW LANDSCAPE PLAN - SOUTH - SHRUBS, GRASSES, AND VINES ONLY



LANDSCAPE TREE SCHEDULE

COMMON NAME	BOTANICAL NAME	MATURE SIZE	INSTALLED SIZE	DECIDUOUS/EVERGREEN	LIGHT NEEDS	WATER NEEDS	LOCATIONS	REMARKS
TREES								
Bosque Elm	Ulmus parviflora 'UPMTF'	45h x 30w	2" caliper	deciduous	full sun	medium	Summer & Kinley	upright topyramidal to broadly oval; dark glossy green foliage; yellow-orange in fall; well shaped for planting on city streets and planting in restricted spaces, thanks to its upright growth habit and narrow crown
Crimson Spire Oak	Quercus robur x Q. alba 'Crimschmidt'	45h x 15w	2" caliper	deciduous	sun/shade	medium	4th Street	columnar, tightly fastigate; dark green to bluish-green foliage, rusty red fall color; originated as a hybrid of Q. robur and Q. alba; white oak parentage provides dark green, mildew resistant foliage and reddish fall color; fastigate growth habit is inherited from the English oak side
Purple Robe Locust	Robinia pseudoacacia 'Purple Robe'	40-50h x 20-35w	2" caliper	deciduous	full sun	medium	Entries	ascending, outward arching branches, open; foliage-purple tinted new growth ages to bronze green, yellowish in fall; dark purple flowers; seedless pods; tough, fast growing tree well adapted to hot, dry climates; best suited for areas where it provides welcome shade during hot dry summers
Chinese Pistache	Pistacia chinensis	30-35h x 20-25w	2" caliper	deciduous	full sun	medium	Alley	Deciduous shade tree with medium to fine textured foliage; remains an attractive, deep green color during growing season; spectacular fall color in shades of orange, red-orange and even crimson; offers superior drought, heat and wind tolerance once established
Persian Ironwood	Parrotia persica	20-40h x 15-30w	2" caliper	deciduous	part shade to full sun	medium	Corners at 4th	multi-trunk tree; new leaves begin as purple-red then turn dark green; orange, yellow and red fall color; deciduous with peeling bark; shade tree, street tree, or pruned as container tree; part shade to full sun; once established, it's drought tolerant
Mimosa	Albizia julibrissin rosea	to 30h x 30+w	1.5" caliper	deciduous	full sun	medium	Courtyard	Umbrella shaped deciduous silk tree w/striking fern-like foliage and pink fluffy flowers in summer; quick growing w/arching horizontal branching habit creating flat topped crown; ideal as a shade tree around patios, decks and close to houses; tolerant of wide range of soils, heat and dry conditions; hardy
Chaste Tree	Vitex agnus-castus	15-20h x 15-20w	1.5" caliper	deciduous	full sun	medium	Courtyard	vase-shaped deciduous shrub or trained as single trunk tree 20' tall; features aromatic, compound, palmate, grayish-green leaves w/5-7 lance-shaped leaflets and tiny, fragrant, lavender to pale violet flowers appearing in loose panicles in mid to late summer; flowers quite attractive to butterflies
Japanese Maple	Acer palmatum 'Bloodgood'	12-15h x 15-25w	1.5" caliper	deciduous	shade/ sun	medium+	Courtyard	Attractive foliage w/burgundy red coloring turns brilliant scarlet in fall; blackish red bark; slender, airy tree well-suited for use as a small lawn tree or for patios and entryways; partial to full sun, slow-growing; reach heights of 15' but can easily be maintained to any height with regular pruning; low maintenance and naturally disease and pest resistant
Streetkeeper Honey Locust	Gleditsia triacanthos 'Draves'	45h x 20w	2" caliper	deciduous	full sun	medium+		narrow, strongly upright, tightly pyramidal; dark green, fine textured foliage; fall color yellow; ideal tree for city streets, boasts tight narrow form that has long been lacking in urban tolerant honey locust; ascending branch structure gives it a canopy that is only half as wide as other cultivars, foliage also deeper green

LANDSCAPE SHRUBS SCHEDULE

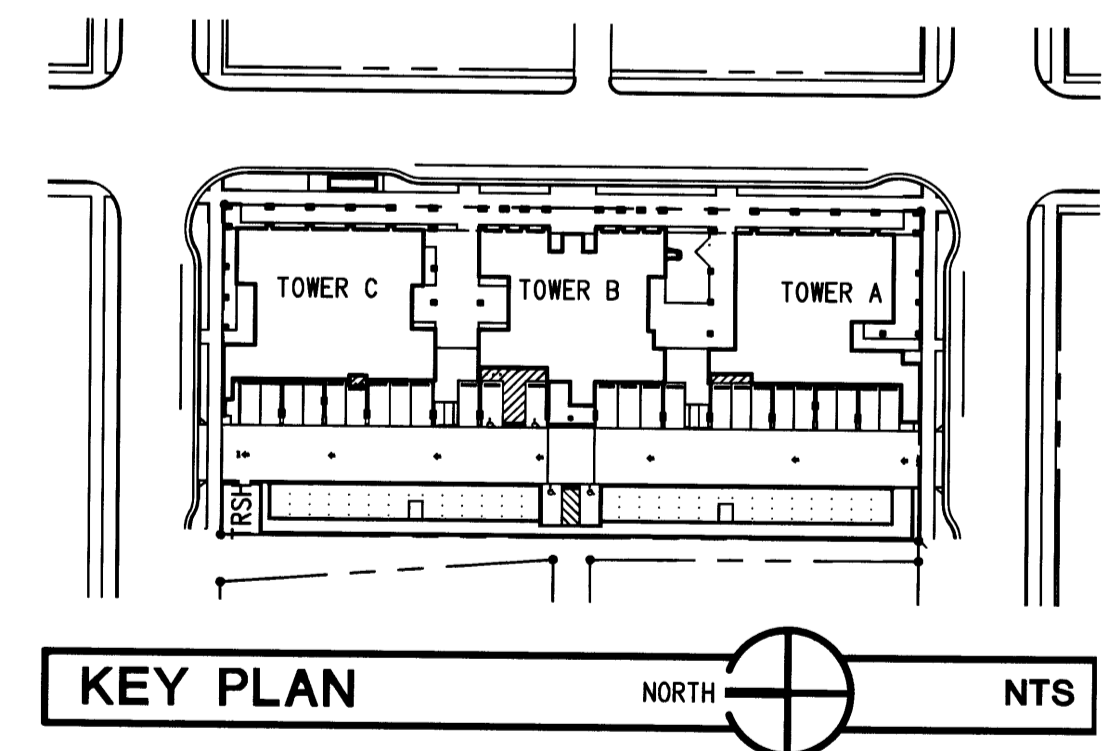
SYMBOL	COMMON NAME	BOTANICAL NAME	MATURE SIZE	INSTALLED SIZE	DECIDUOUS/EVERGREEN	LIGHT NEEDS	WATER NEEDS	LOCATIONS	REMARKS
SHRUBS									
MS	Maximilian's Sunflower	Helianthus maximiliana	6-8h x 48"w	15 gal.	deciduous	full sun	medium	parking wall	one of most spectacular late season bursts of color; use against walls or fences or make a hedge of it (can use a tomato cage)
RY	Red Yucca	Hesperaloe parviflora	5h x 36"w	5 gal.	evergreen	sun/shade	medium	various	attracts hummingbirds, spring or summer planted
	Palmer's Penstemon	Penstemon palmeri	4-5h x 2w	5 gal.	evergreen	full sun	low		fragrant, blooms with gigantic spikes of large, light pink flowers early summer, gray foliage
PC	Purple Coneflower	Echinacea	3-4h x 1-2w	5 gal.	deciduous	full sun	medium		Full sun, attract songbirds, easy to care for, good for cut flowers, relatively drought tolerant, perennials
	Goldenrod	Solidago rugosa 'Fireworks'	3h x 2w	5 gal.	deciduous	sun/shade	medium		late summer/early fall bloomer, easy to grow native; more compact than most species and flowers more heavily; lacy dome of golden flowers looks like exploding fireworks providing nectar and pollen for bees and butterflies in early fall
HT	Horsetail (winter scouring rush)	Equisetum hyemale	2-4h x 1-6w	5 gal.	evergreen	full sun to part shade, tolerate heavy shade	medium to wet	roof deck?	At walls, green background, good near water (will grow in up to 4" standing water); can be invasive; in water gardens or tub gardens, plant in pots at water bottom to contain growth (both height and spread); evergreen stems are particularly noticeable in winter and can provide significant interest in the landscape; interesting plant for large patio containers; provides strong vertical accent to any planting
TBR	Trailing Blue Rosemary	Rosmarinus officinalis 'Irene'	2-3h x 6-8w	1 gal.	evergreen	full sun	xeric (waterwise)		full sun, foliage fragrant; some sources say winter to spring bloom; some say June/July, reputation for improving memory, used as a symbol for remembrance during weddings, war commemorations and funerals in Europe and Australia
COG	Compact Oregon Grape Holly	Mahonia aquifolium 'Compacta'	2-3h x 3-4w	5 gal.	evergreen	sun, part shade, shade	moderate		evergreen shrub with reddish new growth, turning to dark green; winter foliage is purplish-red; nice yellow flowers in spring, edible and can be added to raw salads or boiled to make lemonade substitute; berries can be eaten off bush, but best cooked and sweetened in a jam; medium growth rate
GF	Gayfeather	Liatris punctata	2h x 30"w	1 gal.	deciduous	full sun	low		starts season looking like coarse green grass, leafy flower stems emerge from basal foliage midsummer; bloom time short, typically 3 weeks in September
AJS	Autumn Joy Sedum	Sedum telephium	24h x 24"w	1 gal.	evergreen	sun/shade	low+		dependable choice for late summer and fall garden; green broccoli-like buds in mid-summer, gradually open into dusty-pink flower heads, finally deepening to rich bronzy-red; even dead flower heads have good winter effect
BMW	Bowles Mauve Wallflower	Erysimum linifolium 'Bowles Mauve'	18-24h x 18-24w	5 gal.	evergreen	full sun	medium		classic perennial wallflower with profuse clusters of fragrant, mauve flowers over an exceptionally long season; nearly year round in mild climates; border or container plant, perfect for mixed borders, cottage and butterfly gardens; easy to grow, drought tolerant once established
BEL	Buena Vista English Lavender	Lavandula angustifolia 'Buena Vista'	1.5-2h x 1.5-2w	1 gal.	evergreen	sun/shade	medium		blooms twice per season, superb fragrance, bi-colored spikes; rock garden, herb garden or scented garden; can be particularly effective when massed; effective as an edger or low hedge in some areas
MY	Moonshine Yarrow	Achillea species	18-24h x 18w	1 gal.	evergreen	sun/shade	medium		Easy-to-grow beautiful perennial w/upright, canary-yellow flower clusters; attractive addition to the landscape in borders or massed plantings; flowers may be cut and dried for bouquets
MH	Mexican Hat	Ratibida columnifera 'Mexican Hat'	15-24h x 18w	1 gal.	deciduous	full sun	low+		drought tolerant, easy to establish, heavy bloomer; used in roadside plantings, parks, recreational areas and prairie restoration projects, sometimes grown as an ornamental

LANDSCAPE GRASSES & VINES SCHEDULE

SYMBOL	COMMON NAME	BOTANICAL NAME	MATURE SIZE	INSTALLED SIZE	DECIDUOUS/EVERGREEN	LIGHT NEEDS	WATER NEEDS	LOCATIONS	REMARKS
GRASSES									
KF	Karl Foerster Feather Reed Grass	Calamagrostis	4-5h x 2w	5 gal.	deciduous	full sun	moderate		drought tolerant, upright growth habit, good behind perennials w/spreading or rounded shape, feathery plumes emerge early summer, ripen to handsome wheat-color seed head by fall, combine w/Powis Castle or Russian Sage, best in groups of 3 or 5
	Dwarf Maiden Grass	Miscanthus sinensis 'Adagio'	3-4h x 3-4w	5 gal.		full sun, part shade	medium		upright warm season, clump-forming ornamental grass which features extremely narrow, silver-gray blades which turn yellow in fall; tiny pink-tinged flowers appear in tasseled-like inflorescences above the foliage in late summer; gradually turning into creamy white plumes by fall as the seed mature; foliage & flower plumes persist well into winter providing good winter interest
CS	Cheyenne Sky Prairie Switch Grass	Panicum virgatum 'Cheyenne Sky'	2-3h x 18-24w	1 gal.	evergreen	full sun to part shade	moderate		winter interest, showy, will grow in part shade but begins to lose its form in too much shade; noted for its tall, upright, blue-green foliage that turns deep wine red in early summer; fades to beige-brown by winter
ST	Threadgrass	Stipa tenuissima	1-2h x 12w	1 gal.	deciduous	part sun to sun	low+		spacing 20-24", works in containers; where colder than 20 degrees, treat as an annual, once turns brown can be removed immediately or in spring
	Siskiyou Blue Idaho Fescue Grass	Festuca idahoensis 'Siskiyou Blue'	18h x 15w	1 gal.	evergreen	full sun to light shade; avg to poor soil, dislikes moist fertile soil	xeric		year round interest in most climates; notable for its enticing spruce-blue foliage, the thin leaves are much longer than the more familiar festuca glauca, giving a softer more graceful look, blooms late spring with tall straight tan flower spikes; partner w/Bouteloua gracilis, carex flacca, salixarorata, salix purpurea 'Nana', Sedum 'matrona', Eryngium bourgatti; recommended spacing 8-16" o.c.; can survive years with no maintenance
VINES									
TV	Trumpet Vine	Campsis radicans	25-40h x 48w	5 gal.	deciduous	full sun, part shade	medium		handling plant may cause allergic reaction; climbs by aerial roots, but need additional support; attracts hummingbirds; best flower production in full sun
SL	Silver Lacevine	Polygonum auberti	climbing x 40'spread	5 gal.	deciduous	full sun	low+		showy, fast-growing vine gives two seasons of bloom; small, creamy white flowers in frothy clusters; light green heart-shaped foliage; perfect for arbor, trellis or fence
LB	Lady Banks' Rose	Rosa banksia normalis	7-20h x 20w	5 gal.	evergreen	full sun	medium		normalis best for fragrance, violet-scented
CH	Coral Honeysuckle	Lonicera heckrotti 'Goldflame'	10-12h x 48w	5 gal.	evergreen	sun/shade	medium		spacing 38-48"; renowned for sweet scent, 'Goldflame' is a fragrant exception (most coral honeysuckles not fragrant); coral pink to orange flower clusters throughout growing season; contained enough to plant at base of Chinese Pistache to clump the tree and provide color under the canopy; plant it on porch or patio cover posts to attract hummingbirds

LANDSCAPE GROUND COVER SCHEDULE

SYMBOL	COMMON NAME	BOTANICAL NAME	MATURE SIZE	INSTALLED SIZE	DECIDUOUS/EVERGREEN	LIGHT NEEDS	WATER NEEDS	LOCATIONS	REMARKS
GROUNDCOVERS									
HT	Creeping Hummingbird Trumpet	Zauschneria garretii 'Orange Carpet'	4-6h x 15-18w	5 gal.	deciduous	full sun/partial shade	average to dry soil		spreads like a groundcover to form a mat of low growing, bright green foliage, mid to late summer blooms w/bright orange flowers, 'Orange Carpet' prefers some afternoon shade, especially at lower elevations
DP	Dwarf Plumbago	Ceratostigma plumbaginoides	12h x 24w	1 gal.	deciduous	shade/sun	medium		forms a dense ground cover with three seasons of interest; shiny apple-green leaves late spring, midsummer sheets of round cobalt-blue flowers, foliage turns red with shorter days of autumn, then drop leaving short wiry stems in winter; plant with something of equal tenacity or alone
VM	Vinca minor	Periwinkle	9h x 24w	1 gal.	evergreen	shade/sun	medium+		bloom late March-April, and May-June, fewer blooms when in deep shade; effective on slopes where its rooting stems will prevent erosion; can cascade over a terrace or retaining wall
KK	Kinnikinnick	Arcostaphylos uva-ursi	9h x 24w	1 gal.	evergreen	shade/sun	medium		blooms white w/tinge of pink April to May; extremely winter hardy, creeping, slow-growing, prostrate, woody evergreen shrub; moderate to large scale ground cover with year round interest, helps control soil erosion on slopes and hillsides; effective when grown around shrubs, along sunny border margins, in naturalized areas and in native plant gardens, rock gardens, herb gardens or drape over a wall; fruit persists until early winter, sprigs of green leaves with red berries may be used as Christmas decorations
LT	Lily turf	Liriope muscari	9h x 9w	5 gal.	evergreen	shade/sun	medium+		grass-like perennial; charming, attractive violet-blue flowers give this plant its charm; useful in the landscape as a ground cover, edger or accent plant; flowers are followed by blue-black berrylike fruits in the fall; will grow well underneath trees or around shrubs but will not tolerate foot traffic (don't want spicata as it can even spread below concrete)
	Creeping Thyme	Thymus serpyllum	2h x 18w	1 gal.	evergreen	sun/shade	medium		Hairy, prostrate, creeping, woody-based perennial primarily grown as an ornamental ground cover
RR	River Rock			3-4"					
DG-1	Crusher Fines Gravel	Santa Fe Brown		3/4"					



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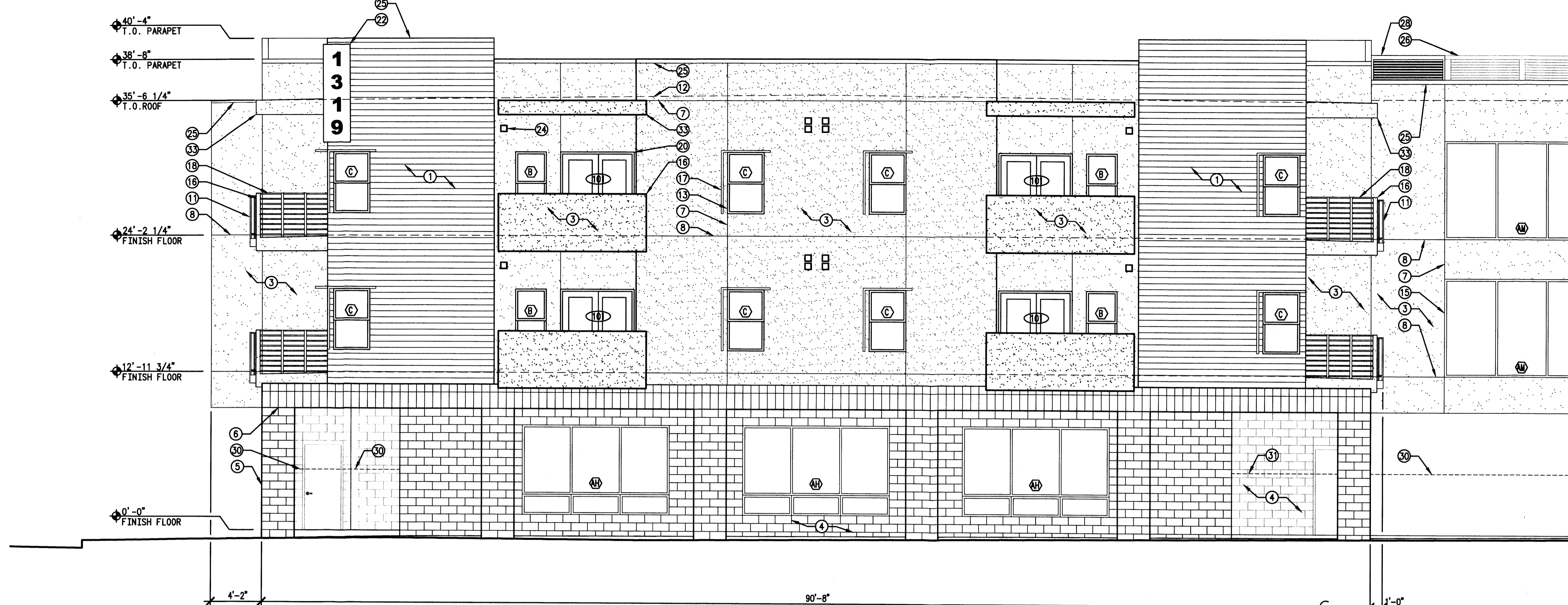
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CUATRO
Albuquerque, New Mexico

PROJECT ARCHITECT: BOB HALL, AIA
Project #: IDA-14-13-P
Date: SEPTEMBER 22, 2014

NEW LANDSCAPE SCHEDULES

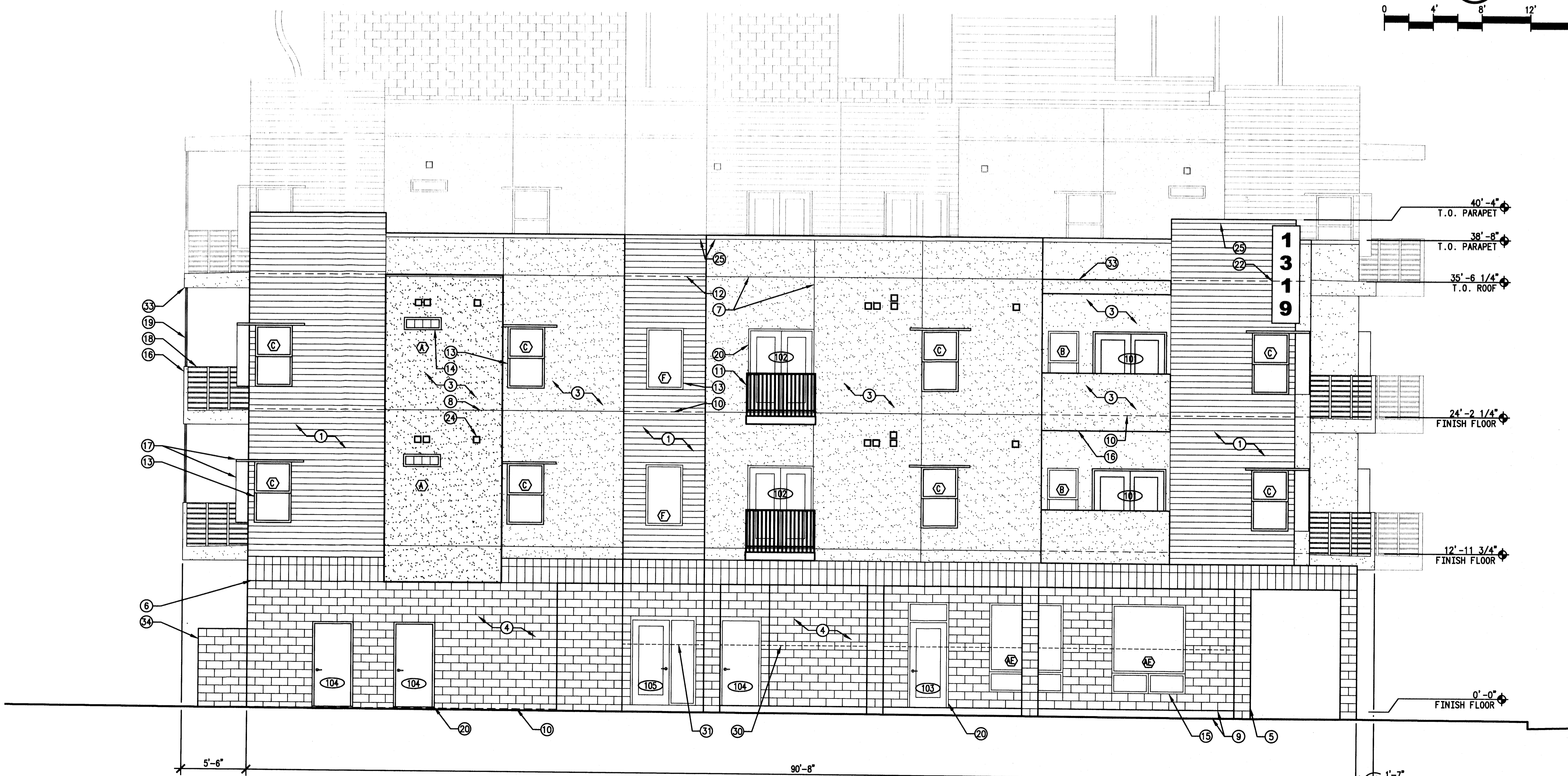
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EAST EXTERIOR ELEVATION - TOWER A

1 3/16"-1'-0"



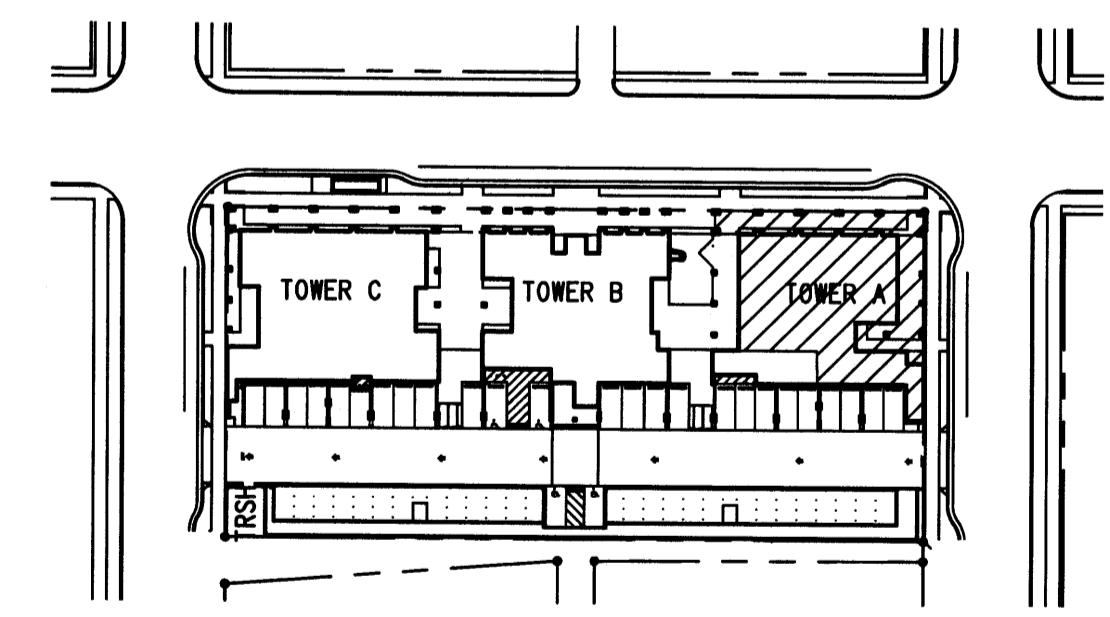
SOUTH EXTERIOR ELEVATION - TOWER A

2 3/16"-1'-0"

Window Schedul	
A. 3' x 1'	= 3 SQ. FT.
B. 2' 6" x 5'	= 12.5 SQ. FT.
C. 3' x 5'	= 15 SQ. FT.
D. 4' x 5'	= 20 SQ. FT.
E. 8' x 5'	= 40 SQ. FT.
F. 4' x 4'	= 16 SQ. FT.
AA. 4' x 4' 8"	= 18.7 SQ. FT.
AC. 4' 8" x 7' 4"	= 34.2 SQ. FT.
AD. 5' 4" x 7' 4"	= 39.1 SQ. FT.
AE. 6' x 7' 4"	= 44 SQ. FT.
AF. 6' 8" x 7' 4"	= 49 SQ. FT.
AG. 8' x 7' 4"	= 58.6 SQ. FT.
AH. 10' 8" x 7' 4"	= 78.2 SQ. FT.
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AK. 11' 2" x 8'	= 89 SQ. FT.
AL. 12' 8" x 8'	= 101.4 SQ. FT.
AM. 16' 9" x 8'	= 134 SQ. FT.
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AP. 5' x 2'	= 10 SQ. FT.
AR. 5' 6" x 10'	= 55 SQ. FT.

Door Schedul	
101. 6' x 8' 8"	= 40 SQ. FT.
102. 5' x 6' 8"	= 33.4 SQ. FT.
103. 3' 4" x 8' 8"	= 28.9 SQ. FT.
104. 3' x 7'	= 21 SQ. FT.
105. 5' 4" x 7' 4"	= 39 SQ. FT.
106. 6' x 8' 8"	= 52 SQ. FT.
107. 5' 4" x 7' 4"	= 39 SQ. FT.
108. 8' x 10'	= 80 SQ. FT.
109. 7' x 7'	= 49 SQ. FT.
110. 8' x 7'	= 56 SQ. FT.
111. 6' x 7'	= 42 SQ. FT.
112. 14' 8" x 8' 8"	= 127 SQ. FT.
113. 12' x 8' 8"	= 104 SQ. FT.

- Keyed Notes**
- 6" FIBER CEMENT BOARD COLOR 1.
 - 8" FIBER CEMENT BOARD COLOR 2.
 - 1/2" FIBER-REINFORCED TWO-COAT STUCCO SYSTEM WITH ACRYLIC COLOR COAT, OVER LATH, OVER (2) LAYERS OF 15# BUILDING PAPER.
 4. CMU BURNISHED WALL, 8x8x16.
 - CMU BURNISHED COLUMNS, 8x8x16.
 - CMU BURNISHED BOND BEAM, 8x8x16.
 - STUCCO CONTROL JOINT, TYP.
 - STUCCO EXPANSION JOINT AT FLOOR LINE TYP.
 - FINISH GRADE, SEE CIVIL, TYP.
 - LINE OF FINISH FLOOR BEHIND.
 - JULIET BALCONY, STEEL.
 - LINE OF WHITE TPO ROOF SYSTEM.
 - VINYL WINDOW, TYP. SEE SHEET ARCH400 FOR SCHEDULE.
 - ACRYLIC WINDOW, SEE SHEET ARCH400 FOR SCHEDULE.
 - ALUMINUM STORE FRONT GLAZING, SEE SHEET ARCH400 FOR SCHEDULE.
 - BALCONY.
 - METAL SOLAR CONTROL AWNING, TYP.
 - STEEL GUARDRAIL.
 - SHOJI SUNSCREEN.
 - DOOR, SEE SHEET ARCH400 WINDOW FOR SCHEDULE.
 - PERFORATED METAL SIGN, SEE SHEET SITE600.
 - DECK DRAIN.
 - METAL CANOPY OVERHANG.
 - VENTS, SEE MECHANICAL.
 - METAL CAP FLASHING W/GALVALUME FINISH, TYP.
 - PERFORATED STEEL SHADE STRUCTURE.
 - STEEL COLUMN.
 - PASSIVE COOLING TOWER.
 - ORNAMENTAL METAL FENCE, SEE SHEET SITE400 & SITE401.
 - ORNAMENTAL METAL FENCE, NOT SHOWN FOR CLARITY, SEE SHEET SITE400 & SITE401.
 - METAL GATE, NOT SHOWN FOR CLARITY, SEE SHEET SITE400 & SITE401.
 - STUCCO WALL.
 - BALCONY ROOF.
 - CMU YARD WALL, SEE SHEET SITE400 & SITE401 FOR HEIGHTS, TYP.
 - SITE SIGNAGE, SEE SHEET SITE600.
 - PACKAGED TERMINAL AIR CONDITIONER VENT.
 - ELECTRIC METERS, TYP.
 - SHEET METAL.
 - AUTOMOBILE ENTRANCE GATE, NOT SHOWN FOR CLARITY, SEE SITE FENCE & WALL DETAILS FOR HEIGHTS.



KEY PLAN NORTH NTS

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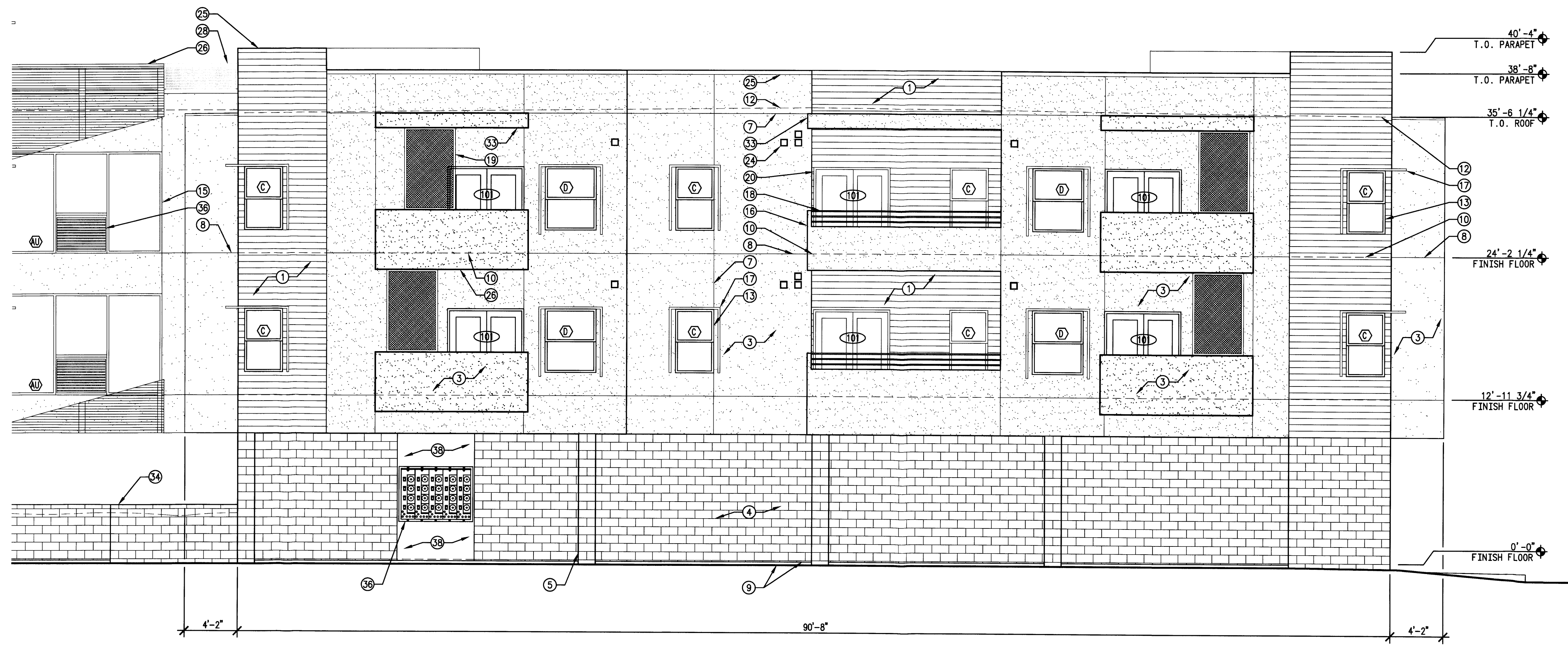
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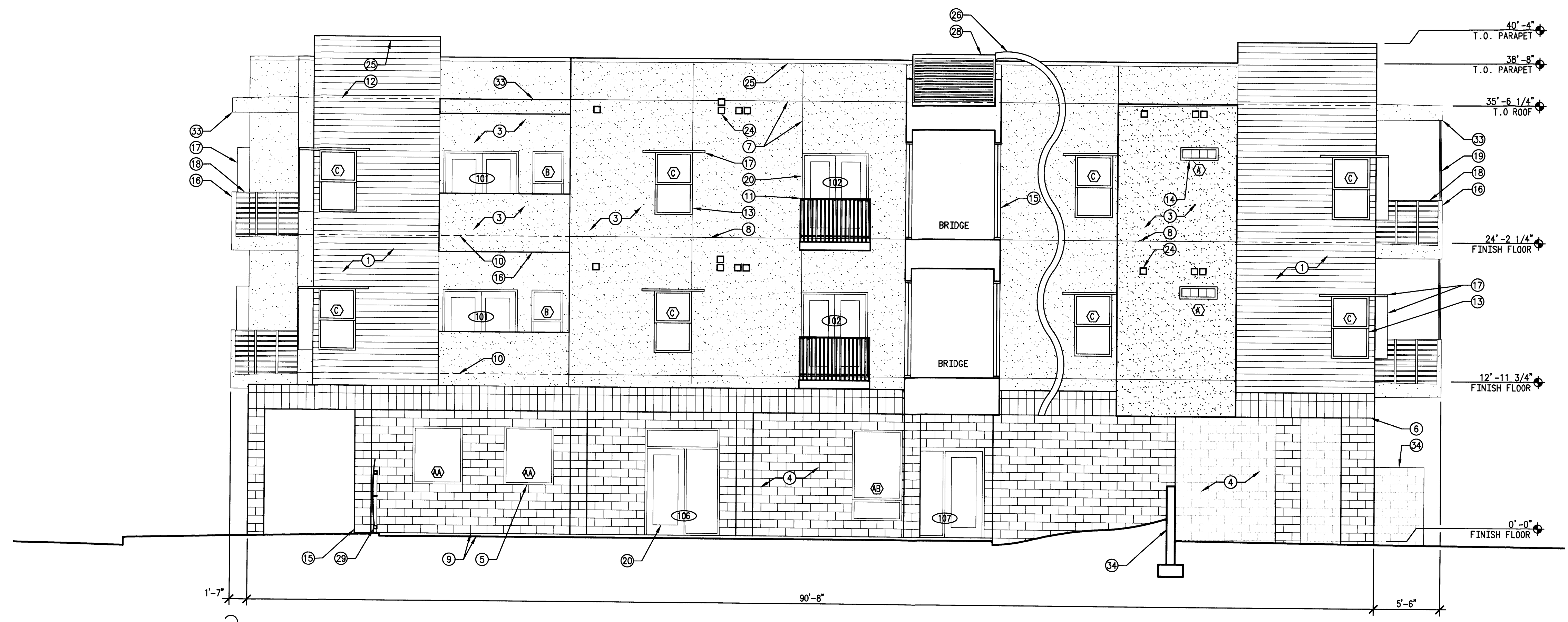
PROJECT ARCHITECT: BOB HALL, AIA
 Project #: IDA-14-13-P
 Date: SEPTEMBER 22, 2014

EAST & SOUTH EXT. ELEVATION-TOWER A

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WEST EXTERIOR ELEVATION - TOWER A 3 3/16"=1'-0"

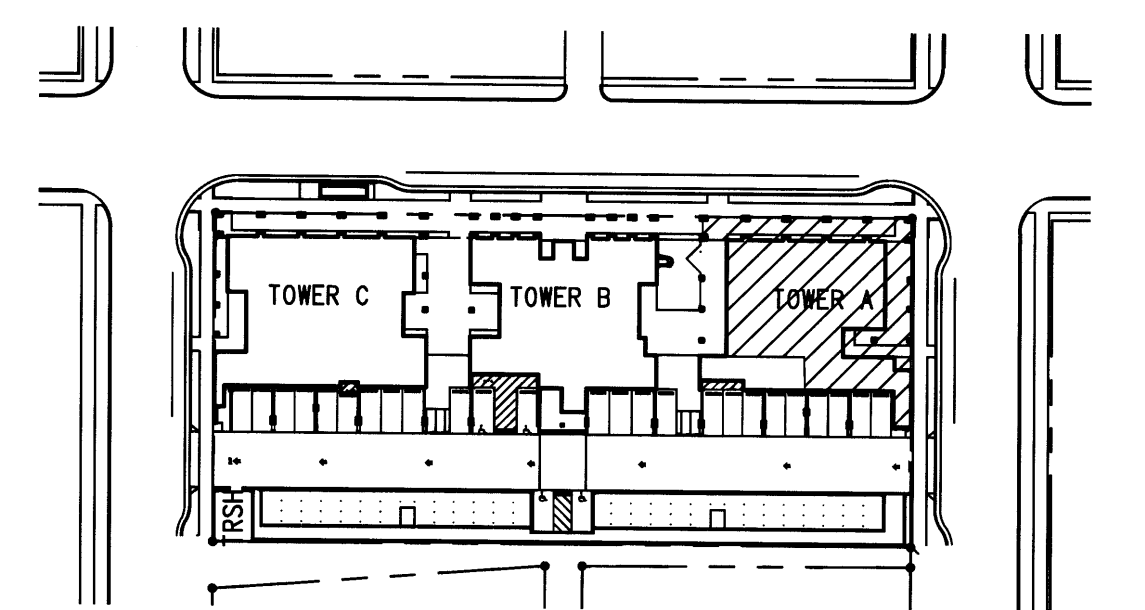


NORTH EXTERIOR ELEVATION - TOWER A 4 3/16"=1'-0"

Window Schedule	
A. 3'x1'	= 3 SQ.FT.
B. 2'6"x5'	= 12.5 SQ.FT.
C. 3'x5'	= 15 SQ.FT.
D. 4'x5'	= 20 SQ.FT.
E. 8'x5'	= 40 SQ.FT.
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AP. 5'x2'	= 10 SQ.FT.
AR. 5'6"x10'	= 55 SQ.FT.

Door Schedule	
101. 6'x6'8"	= 40 SQ.FT.
102. 5'x6'8"	= 33.4 SQ.FT.
103. 3'4x8'8"	= 28.9 SQ.FT.
104. 3'x7'	= 21 SQ.FT.
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 - CMU BURNISHED COLUMNS, 8x8x16.
 - CMU BURNISHED BOND BEAM, 8x8x16.
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 - STUCCO EXPANSION JOINT AT FLOOR LINE TYP.
 - FINISH GRADE. SEE CIVIL, TYP.
 - LINE OF FINISH FLOOR BEHIND.
 - JULIET BALCONY, STEEL.
 - LINE OF WHITE TPO ROOF SYSTEM.
 - VINYL WINDOW, TYP. SEE SHEET ARCH400 FOR SCHEDULE.
 - ACRYLIC WINDOW. SEE SHEET ARCH400 FOR SCHEDULE.
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 - BALCONY.
 - METAL SOLAR CONTROL AWNING, TYP.
 - STEEL GUARDRAIL.
 - SHOJI SUNSCREEN.
 - DOOR. SEE SHEET ARCH400 WINDOW FOR SCHEDULE.
 - PERFORATED METAL SIGN. SEE SHEET SITE600.
 - DECK DRAIN.
 - METAL CANOPY OVERHANG.
 - VENTS, SEE MECHANICAL.
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 - ORNAMENTAL METAL FENCE, SEE SHEET SITE400 & SITE 401.
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 - PACKAGED TERMINAL AIR CONDITIONER VENT.
 - ELECTRIC METERS, TYP.
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 - AUTOMOBILE ENTRANCE GATE, NOT SHOWN FOR CLARITY, SEE SITE FENCE & WALL DETAILS FOR HEIGHTS.



KEY PLAN NORTH NTS

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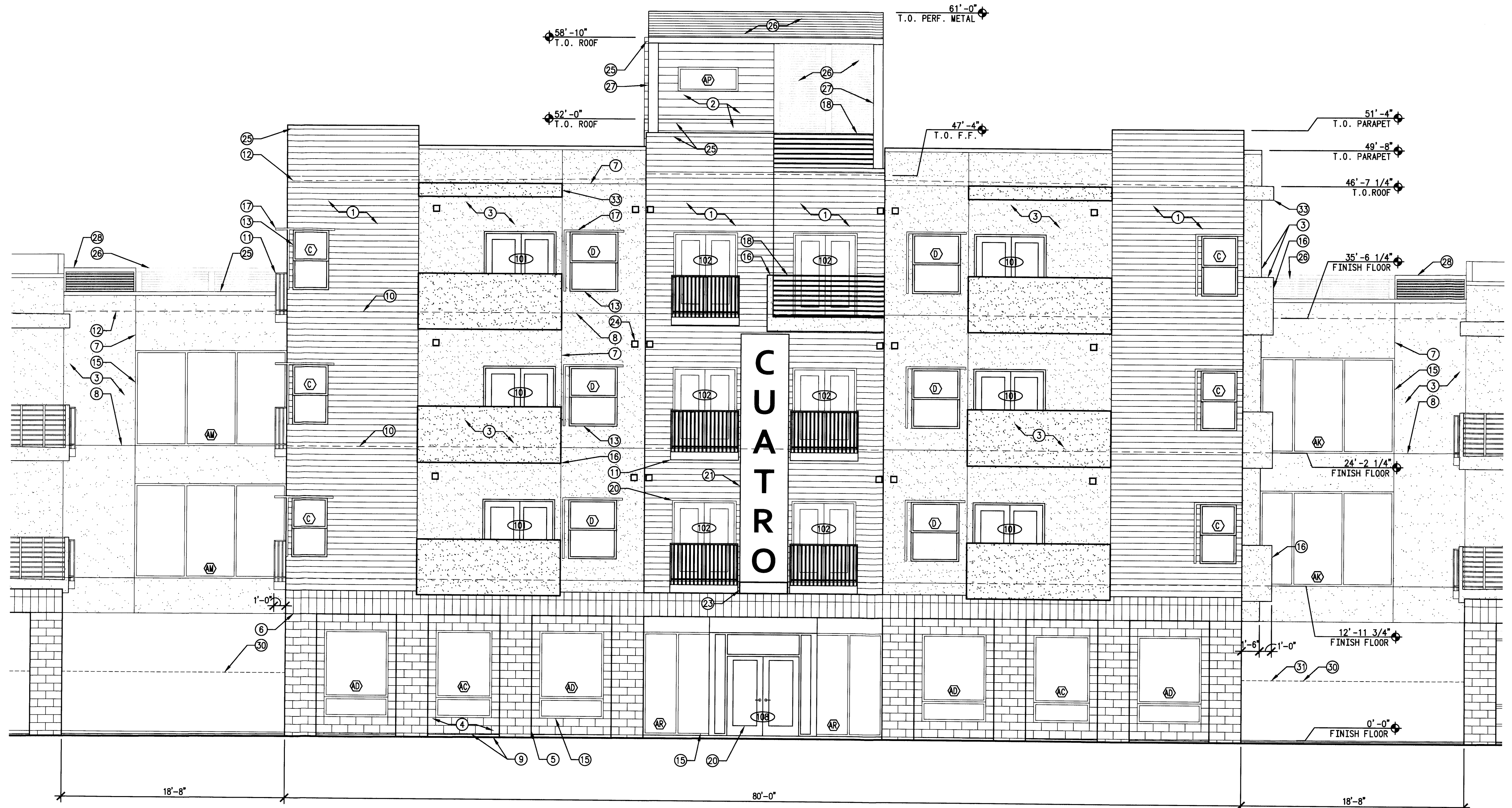
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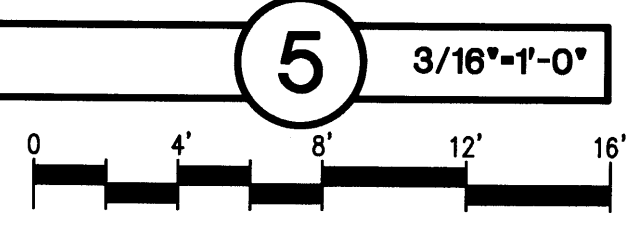
PROJECT ARCHITECT: BOB HALL, AIA Project #: IDA-14-13-P
Date: SEPTEMBER 22, 2014

WEST & NORTH EXT. ELEVATION-TOWER A

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EAST EXTERIOR ELEVATION - TOWER B



Window Schedul

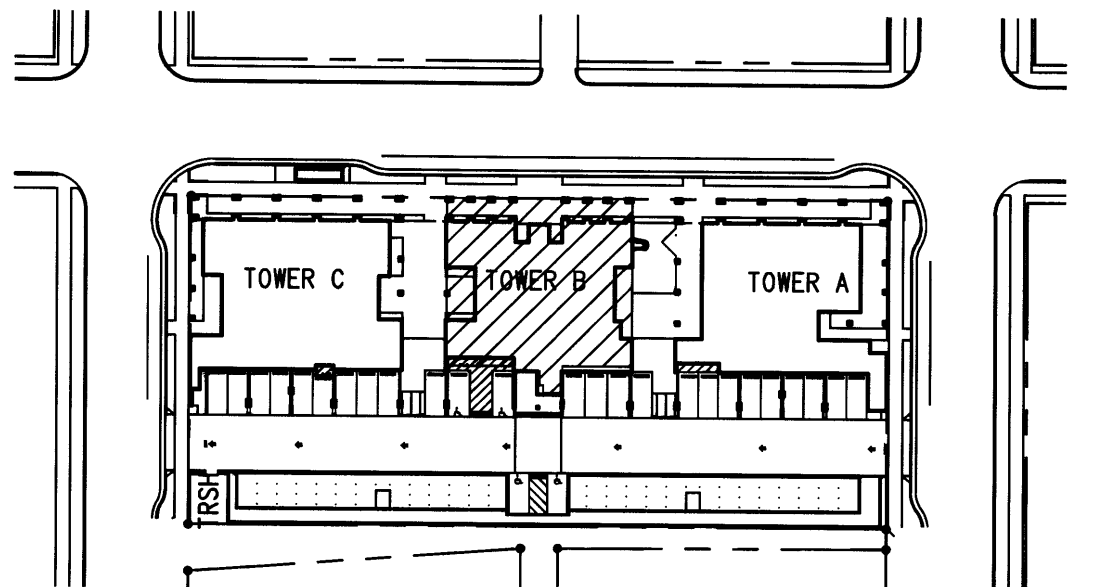
A. 3' x 1'	=	3	SQ. FT.
B. 2' 6" x 5'	=	12.5	SQ. FT.
C. 3' x 5'	=	15	SQ. FT.
D. 4' x 5'	=	20	SQ. FT.
E. 8' x 5'	=	40	SQ. FT.
F. 4' x 4'	=	16	SQ. FT.
FA. 4' x 4' 8"	=	18.7	SQ. FT.
AC. 4' 8" x 7' 4"	=	34.2	SQ. FT.
AD. 5' 4" x 7' 4"	=	39.1	SQ. FT.
AE. 6' x 7' 4"	=	44	SQ. FT.
AF. 6' 8" x 7' 4"	=	49	SQ. FT.
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AR. 5' 6" x 10'	=	55	SQ. FT.

Door Schedul

101. 6' x 8' 8"	=	40	SQ. FT.
102. 5' x 8' 8"	=	33.4	SQ. FT.
103. 3' 4 x 8' 8"	=	28.9	SQ. FT.
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- STUCCO EXPANSION JOINT AT FLOOR LINE TYP.
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- LINE OF FINISH FLOOR BEHIND.
- JULIET BALCONY, STEEL.
- LINE OF WHITE TPO ROOF SYSTEM.
- VINYL WINDOW, TYP. SEE SHEET ARCH400 FOR SCHEDULE.
- ACRYLIC WINDOW. SEE SHEET ARCH400 FOR SCHEDULE.
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- BALCONY.
- METAL SOLAR CONTROL AWNING, TYP.
- STEEL GUARDRAIL.
- SHOJI SUNSCREEN.
- DOOR, SEE SHEET ARCH400 WINDOW FOR SCHEDULE.
- PERFORATED METAL SIGN. SEE SHEET SITE600.
- DECK DRAIN.
- METAL CANOPY OVERHANG.
- VENTS. SEE MECHANICAL.
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Greater Albuquerque Housing Partnership
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PROJECT ARCHITECT: BOB HALL, AIA
Project #: IDA-14-13-P
Date: SEPTEMBER 22, 2014

EAST EXTERIOR ELEVATION - TOWER B

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Window Schedule

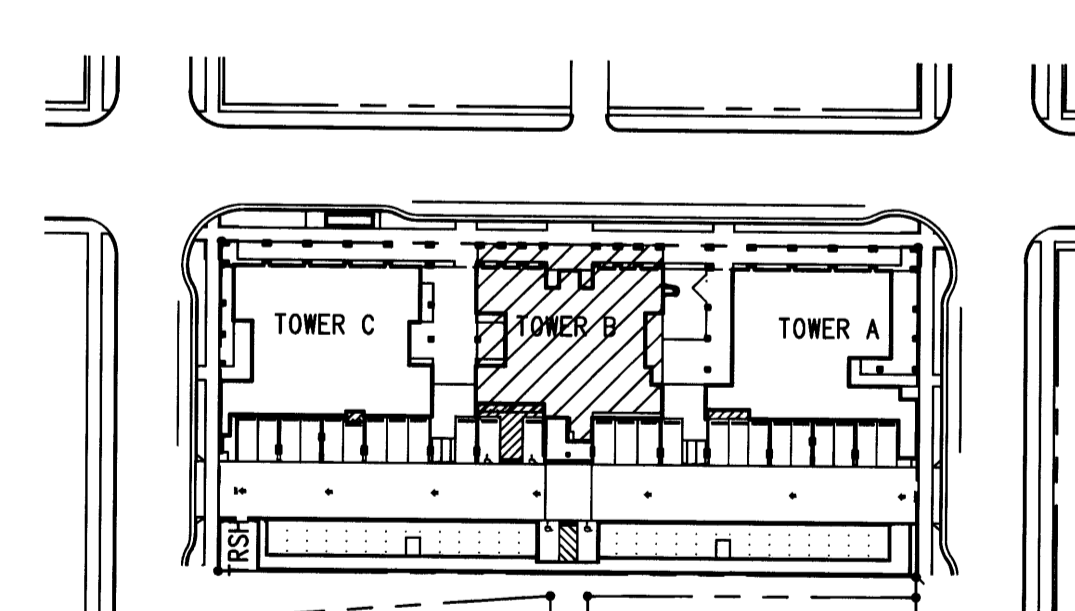
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Door Schedule

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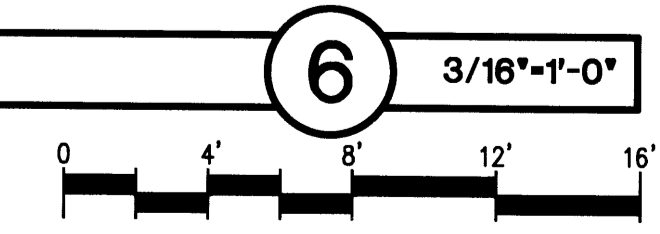
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PROJECT ARCHITECT: BOB HALL, AIA
 Project #: IDA-14-13-P
 Date: SEPTEMBER 22, 2014

SOUTH EXTERIOR ELEVATION - TOWER B

By: DRB_EXTR ELEV.DWG
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 Plot Date: 10/11/2014 2:59:29 PM
 Sheet of ARCH203

SOUTH EXTERIOR ELEVATION - TOWER B



Window Schedules

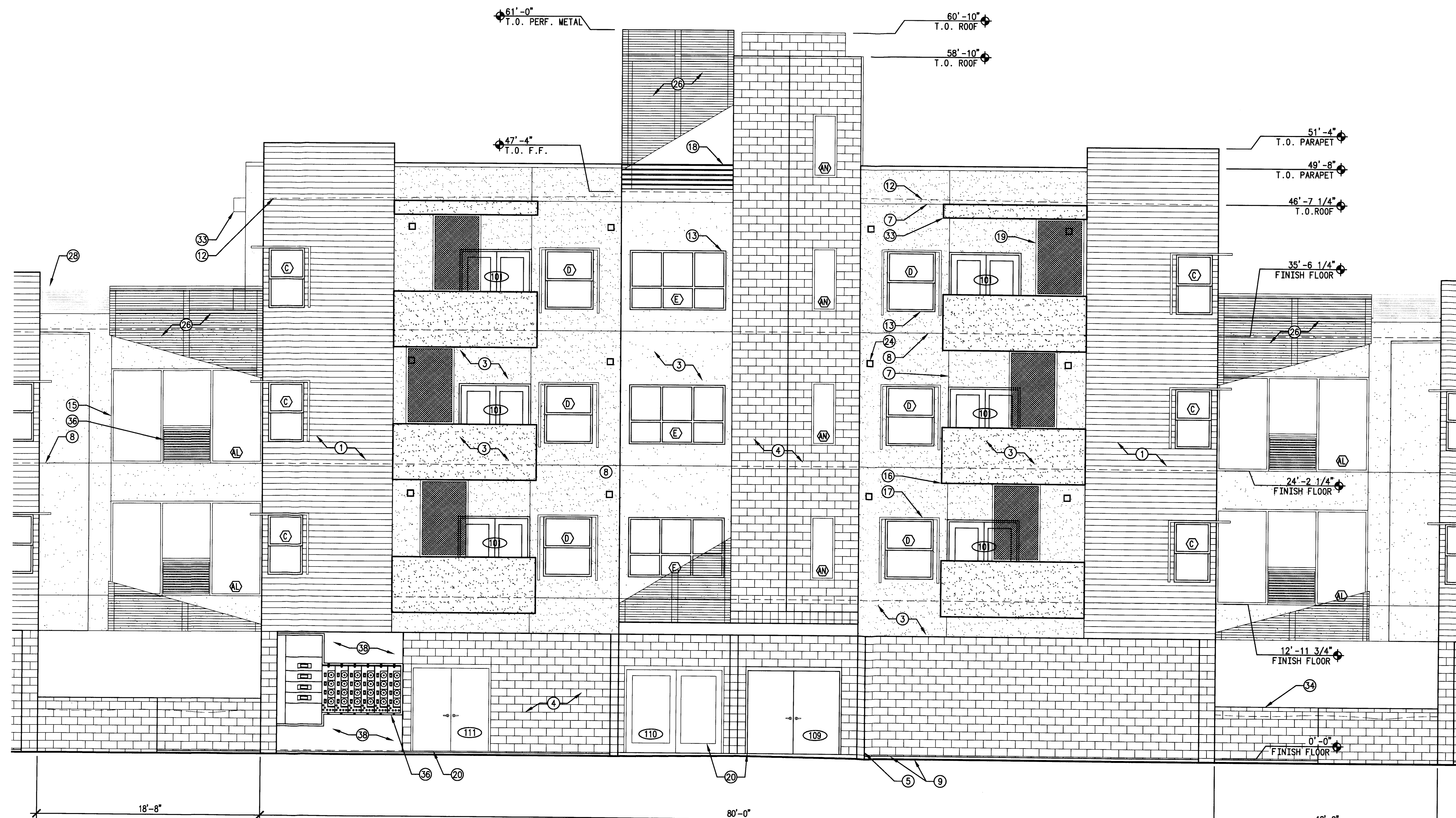
A. 3'x1'	=	3	SQ.FT.
B. 2'6"x5'	=	12.5	SQ.FT.
C. 3'x5'	=	15	SQ.FT.
D. 4'x5'	=	20	SQ.FT.
E. 8'x5'	=	40	SQ.FT.
F. 4'x4'	=	16	SQ.FT.
AA. 4'x4'8"	=	18.7	SQ.FT.
AC. 4'8"x7'4"	=	34.2	SQ.FT.
AD. 5'4"x7'4"	=	39.1	SQ.FT.
AE. 6'x7'4"	=	44	SQ.FT.
AF. 6'8"x7'4"	=	49	SQ.FT.
AG. 8'x7'4"	=	58.6	SQ.FT.
AH. 10'8"x7'4"	=	78.2	SQ.FT.
AJ. 12'x7'4"	=	88	SQ.FT.
AK. 11'2"x8'	=	89	SQ.FT.
AL. 12'8"x8'	=	101.4	SQ.FT.
AM. 16'9"x8'	=	134	SQ.FT.
AN. 2'x5'4"	=	10.7	SQ.FT.
AP. 5'x2'	=	10	SQ.FT.
AR. 5'6"x10'	=	55	SQ.FT.

Door Schedules

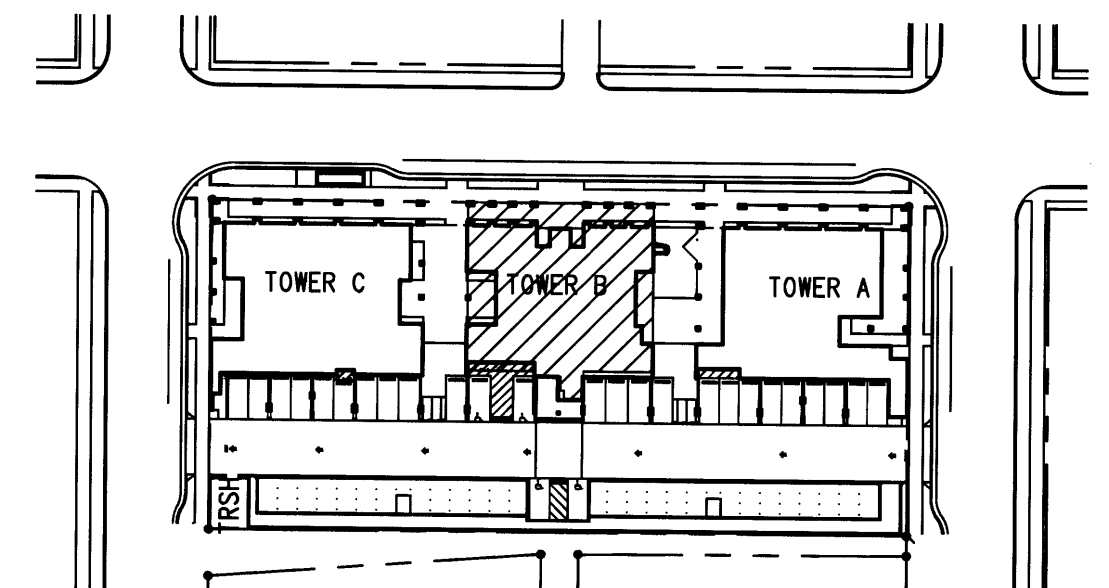
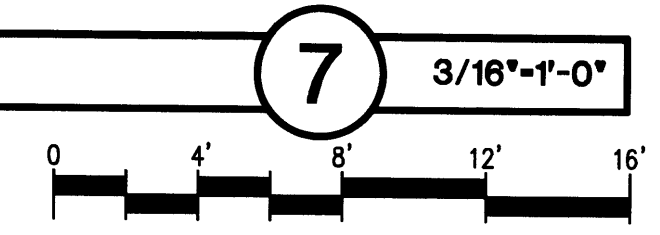
101. 6'x6'8"	=	40	SQ.FT.
102. 5'x6'8"	=	33.4	SQ.FT.
103. 3'4x6'8"	=	28.9	SQ.FT.
104. 3'x7'	=	21	SQ.FT.
105. 5'4"x7'4"	=	39	SQ.FT.
106. 6'x8'8"	=	52	SQ.FT.
107. 5'4"x7'4"	=	39	SQ.FT.
108. 8'x10'	=	80	SQ.FT.
109. 7'x7'	=	49	SQ.FT.
110. 8'x7'	=	56	SQ.FT.
111. 6'x7'	=	42	SQ.FT.
112. 14'8"x8'8"	=	127	SQ.FT.
113. 12'x8'8"	=	104	SQ.FT.

Keyed Notes

- 6" FIBER CEMENT BOARD COLOR 1.
- 8" FIBER CEMENT BOARD COLOR 2.
- 1/2" FIBER-REINFORCED TWO-COAT STUCCO SYSTEM WITH ACRYLIC COLOR COAT, OVER LATH, OVER (2) LAYERS OF 15# BUILDING PAPER.
- CMU BURNISHED WALL, 8x8x16.
- CMU BURNISHED COLUMNS, 8x8x16.
- CMU BURNISHED BOND BEAM, 8x8x16.
- STUCCO CONTROL JOINT, TYP.
- STUCCO EXPANSION JOINT AT FLOOR LINE TYP.
- FINISH GRADE, SEE CIVIL, TYP.
- LINE OF FINISH FLOOR BEHIND.
- JULIET BALCONY, STEEL.
- LINE OF WHITE TPO ROOF SYSTEM.
- VINYL WINDOW, TYP. SEE SHEET ARCH400 FOR SCHEDULE.
- ACRYLIC WINDOW. SEE SHEET ARCH400 FOR SCHEDULE.
- ALUMINUM STORE FRONT GLAZING. SEE SHEET ARCH400 FOR SCHEDULE.
- BALCONY.
- METAL SOLAR CONTROL AWNING, TYP.
- STEEL GUARDRAIL.
- SHOJI SUNSCREEN.
- DOOR, SEE SHEET ARCH400 WINDOW FOR SCHEDULE.
- PERFORATED METAL SIGN. SEE SHEET SITE600.
- DECK DRAIN.
- METAL CANOPY OVERHANG.
- VENTS, SEE MECHANICAL.
- METAL CAP FLASHING W/GALVALUME FINISH, TYP.
- PERFORATED STEEL SHADE STRUCTURE.
- STEEL COLUMN.
- PASSIVE COOLING TOWER.
- ORNAMENTAL METAL FENCE, SEE SHEET SITE400 & SITE 401.
- ORNAMENTAL METAL FENCE, NOT SHOWN FOR CLARITY, SEE SHEET SITE400 & SITE401.
- METAL GATE, NOT SHOWN FOR CLARITY, SEE SHEET SITE400 & SITE401.
- STUCCO WALL.
- BALCONY ROOF.
- CMU YARD WALL, SEE SHEET SITE400 & SITE401 FOR HEIGHTS, TYP.
- SITE SIGNAGE, SEE SHEET SITE600.
- PACKAGED TERMINAL AIR CONDITIONER UNIT.
- ELECTRIC METERS, TYP.
- SHEET METAL.
- AUTOMOBILE ENTRANCE GATE, NOT SHOWN FOR CLARITY, SEE SITE FENCE & WALL DETAILS FOR HEIGHTS.



WEST EXTERIOR ELEVATION - TOWER B



KEY PLAN NORTH NTS

integrated design architecture

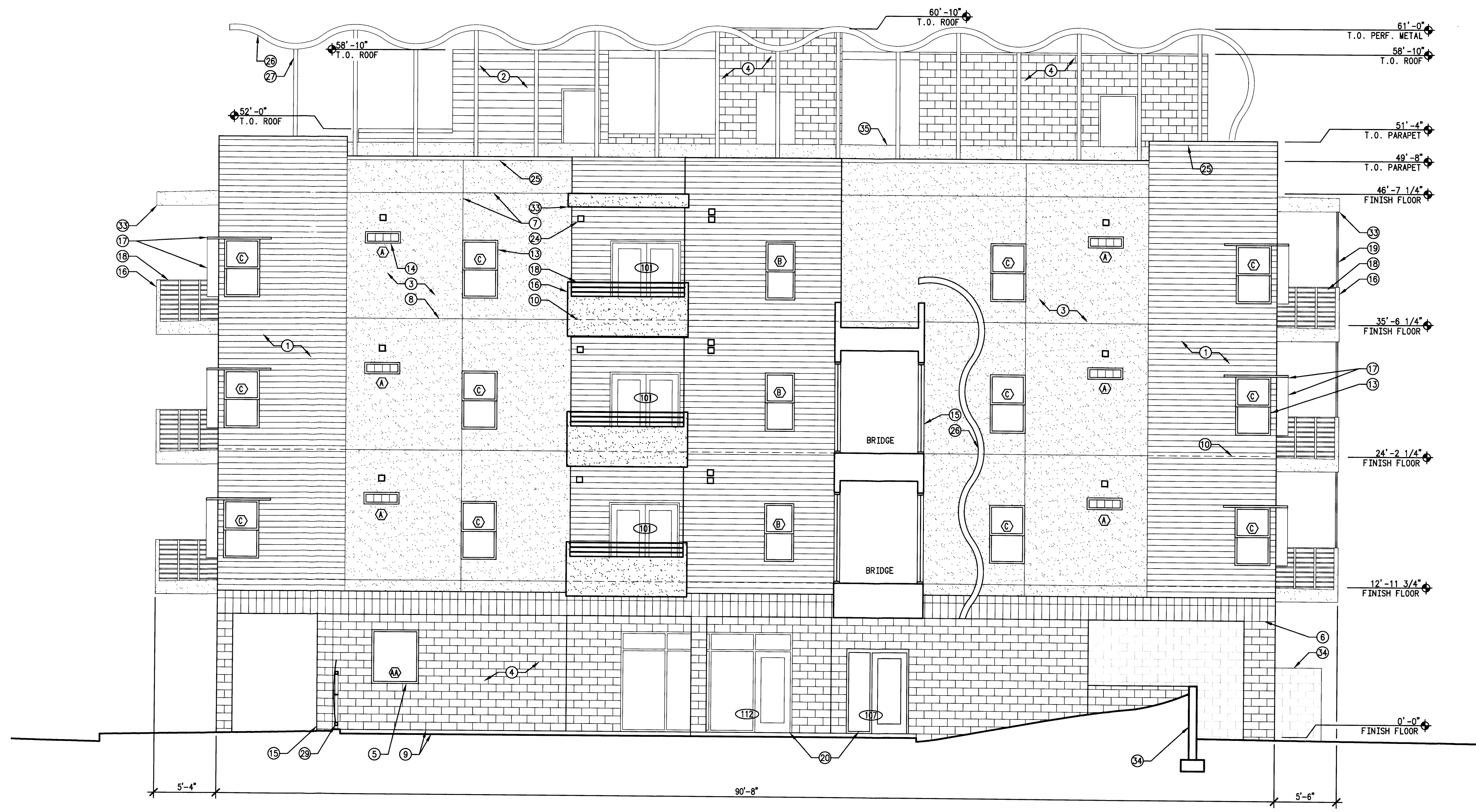
906 1/2 Park Avenue SW
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info@integrateddesignarch.com
www.integrateddesignarch.com

Greater Albuquerque Housing Partnership CUATRO
Albuquerque, New Mexico

PROJECT ARCHITECT: BOB HALL, AIA
Project #: IDA-14-13-P
Date: SEPTEMBER 22, 2014

WEST EXTERIOR ELEVATION - TOWER B

By: DRB_EXTR ELEVS.DWG
File: DRB_EXTR ELEVS.DWG
Plot Date: 10/11/2014 3:00:31 PM
Sheet of
ARCH204



NORTH EXTERIOR ELEVATION - TOWER B

8 3/16"=1'-0"



Window Schedule

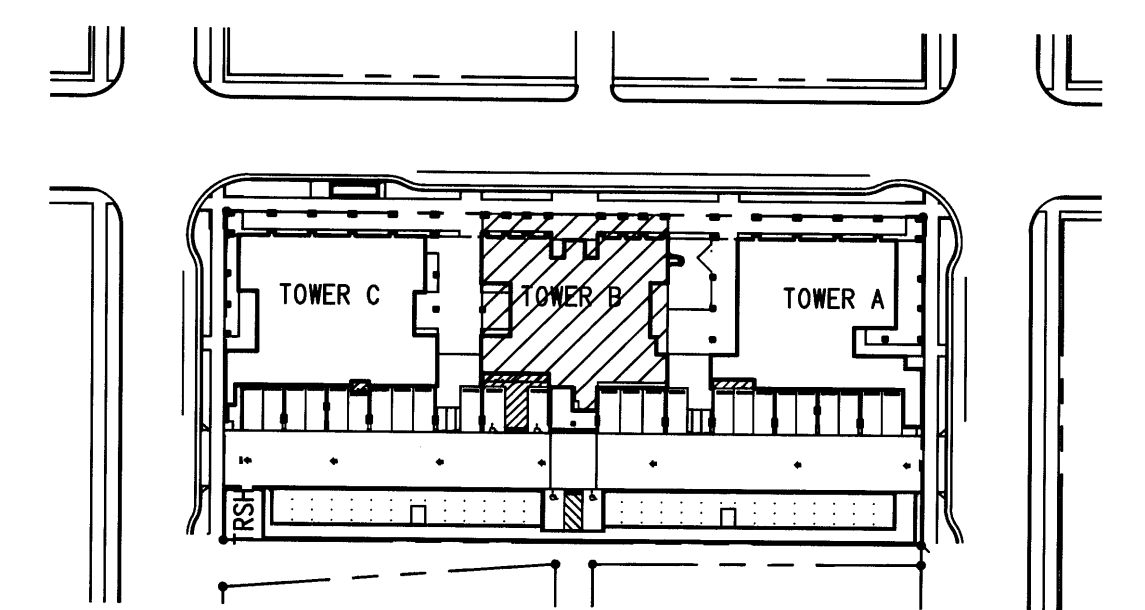
A. 3'x1'	=	3	SQ. FT.
B. 2'6"x5'	=	12.5	SQ. FT.
C. 3'x5'	=	15	SQ. FT.
D. 4'x5'	=	20	SQ. FT.
E. 8'x5'	=	40	SQ. FT.
F. 4'x4'	=	16	SQ. FT.
AA. 4'x4'8"	=	18.7	SQ. FT.
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AD. 5'4"x7'4"	=	39.1	SQ. FT.
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AH. 10'8"x7'4"	=	78.2	SQ. FT.
AJ. 12'x7'4"	=	88	SQ. FT.
AK. 11'2"x8'	=	89	SQ. FT.
AL. 12'8"x8'	=	101.4	SQ. FT.
AM. 16'9"x8'	=	134	SQ. FT.
AN. 2'x5'4"	=	10.7	SQ. FT.
AP. 5'x2'	=	10	SQ. FT.
AR. 5'6"x10'	=	55	SQ. FT.

Door Schedule

101. 6'x6'8"	=	40	SQ. FT.
102. 5'x6'8"	=	33.4	SQ. FT.
103. 3'4x8'8"	=	28.9	SQ. FT.
104. 3'x7'	=	21	SQ. FT.
105. 5'4"x7'4"	=	39	SQ. FT.
106. 6'x8'8"	=	52	SQ. FT.
107. 5'4"x7'4"	=	39	SQ. FT.
108. 8'x10'	=	80	SQ. FT.
109. 7'x7'	=	49	SQ. FT.
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111. 6'x7'	=	42	SQ. FT.
112. 14'8"x8'8"	=	127	SQ. FT.
113. 12'x8'8"	=	104	SQ. FT.

Keyed Notes

- 6" FIBER CEMENT BOARD COLOR 1.
- 8" FIBER CEMENT BOARD COLOR 2.
- 1/2" FIBER-REINFORCED TWO-COAT STUCCO SYSTEM WITH ACRYLIC COLOR COAT, OVER LATH, OVER (2) LAYERS OF 15# BUILDING PAPER.
- CMU BURNISHED WALL, 8x8x16.
- CMU BURNISHED COLUMNS, 8x8x16.
- CMU BURNISHED BOND BEAM, 8x8x16.
- STUCCO CONTROL JOINT, TYP.
- STUCCO EXPANSION JOINT AT FLOOR LINE TYP.
- FINISH GRADE, SEE CIVIL, TYP.
- LINE OF FINISH FLOOR BEHIND.
- JULIET BALCONY, STEEL.
- LINE OF WHITE TPO ROOF SYSTEM.
- VINYL WINDOW, TYP. SEE SHEET ARCH400 FOR SCHEDULE.
- ALUMINUM STORE FRONT GLAZING. SEE SHEET ARCH400 FOR SCHEDULE.
- BALCONY.
- METAL SOLAR CONTROL AWNING, TYP.
- STEEL GUARDRAIL.
- SHOJI SUNSCREEN.
- DOOR, SEE SHEET ARCH400 WINDOW FOR SCHEDULE.
- PERFORATED METAL SIGN. SEE SHEET SITE600.
- DECK DRAIN.
- METAL CANOPY OVERHANG.
- VENTS, SEE MECHANICAL.
- METAL CAP FLASHING W/GALVALVALINE FINISH, TYP.
- PERFORATED STEEL SHADE STRUCTURE.
- STEEL COLUMN.
- PASSIVE COOLING TOWER.
- ORNAMENTAL METAL FENCE, SEE SHEET SITE400 & SITE 401.
- ORNAMENTAL METAL FENCE, NOT SHOWN FOR CLARITY, SEE SHEET SITE400 & SITE401.
- METAL GATE, NOT SHOWN FOR CLARITY, SEE SHEET SITE400 & SITE401.
- STUCCO WALL.
- BALCONY ROOF.
- CMU YARD WALL, SEE SHEET SITE400 & SITE401 FOR HEIGHTS, TYP.
- SITE SIGNAGE, SEE SHEET SITE600.
- PACKAGED TERMINAL AIR CONDITIONER VENT.
- ELECTRIC METERS, TYP.
- SHEET METAL.
- AUTOMOBILE ENTRANCE GATE, NOT SHOWN FOR CLARITY, SEE SITE FENCE & WALL DETAILS FOR HEIGHTS.



KEY PLAN NORTH NTS

integrated design architecture

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Greater Albuquerque Housing Partnership CUATRO
 Albuquerque, New Mexico

PROJECT ARCHITECT: BOB HALL, AIA	Project #: IDA-14-13-P
	Date: SEPTEMBER 22, 2014

NORTH EXTERIOR ELEVATION - TOWER B

By:	DRB_EXTR ELEVS DWG	Sheet of	ARCH205
File:	10/11/2014 3:01:40 PM		
Plot Date:			

Window Schedul

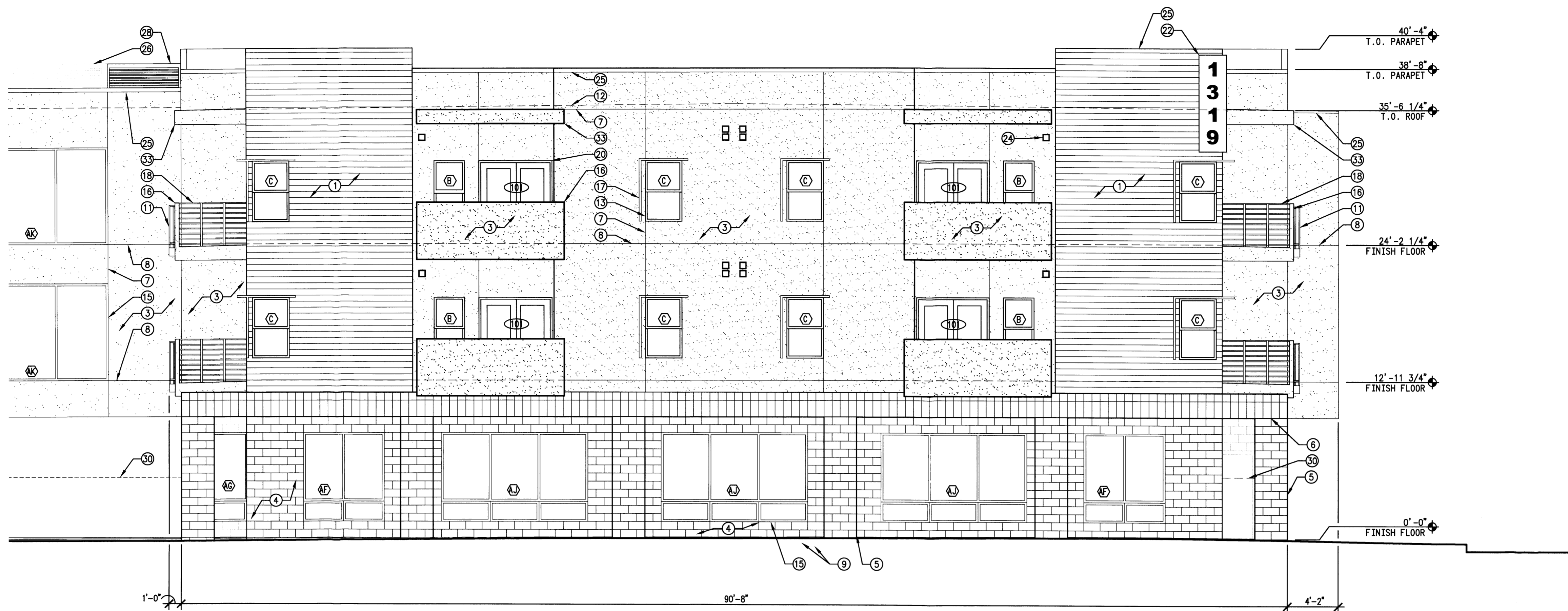
A. 3' x 1'	=	3	SQ. FT.
B. 2' 6" x 5'	=	12.5	SQ. FT.
C. 3' x 5'	=	15	SQ. FT.
D. 4' x 5'	=	20	SQ. FT.
E. 8' x 5'	=	40	SQ. FT.
F. 4' x 4'	=	16	SQ. FT.
AA. 4' x 4' 8"	=	18.7	SQ. FT.
AC. 4' 8" x 7' 4"	=	34.2	SQ. FT.
AD. 5' 4" x 7' 4"	=	39.1	SQ. FT.
AE. 6' x 7' 4"	=	44	SQ. FT.
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AM. 16' 9" x 8"	=	134	SQ. FT.
AN. 2' 5" x 4"	=	10	SQ. FT.
AP. 5' x 2'	=	10	SQ. FT.
AR. 5' 6" x 10'	=	55	SQ. FT.

Door Schedul

101. 6' x 8' 8"	=	40	SQ. FT.
102. 5' x 8' 8"	=	33.4	SQ. FT.
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105. 5' 4" x 7' 4"	=	39	SQ. FT.
106. 6' x 8' 8"	=	52	SQ. FT.
107. 5' 4" x 7' 4"	=	39	SQ. FT.
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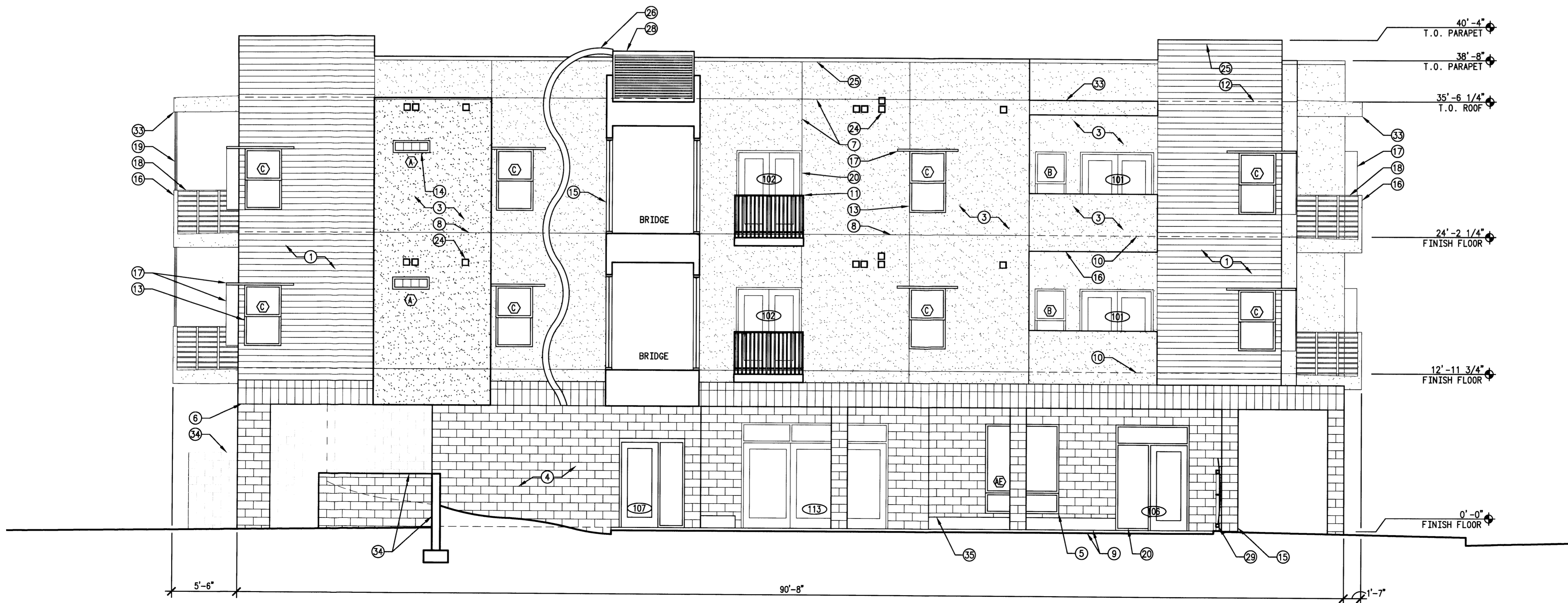
Keyed Notes

- 6" FIBER CEMENT BOARD COLOR 1.
- 8" FIBER CEMENT BOARD COLOR 2.
- 1/2" FIBER-REINFORCED TWO-COAT STUCCO SYSTEM WITH ACRYLIC COLOR COAT, OVER LATH, OVER (2) LAYERS OF 15# BUILDING PAPER.
- CMU BURNISHED WALL, 8x8x16.
- CMU BURNISHED COLUMNS, 8x8x16.
- CMU BURNISHED BOND BEAM, 8x8x16.
- STUCCO CONTROL JOINT, TYP.
- STUCCO EXPANSION JOINT AT FLOOR LINE TYP.
- FINISH GRADE. SEE CIVIL, TYP.
- LINE OF FINISH FLOOR BEHIND.
- JULIET BALCONY, STEEL.
- LINE OF WHITE TPO ROOF SYSTEM.
- VINYL WINDOW, TYP. SEE SHEET ARCH400 FOR SCHEDULE.
- ACRYLIC WINDOW, SEE SHEET ARCH400 FOR SCHEDULE.
- ALUMINUM STORE FRONT GLAZING, SEE SHEET ARCH400 FOR SCHEDULE.
- BALCONY.
- METAL SOLAR CONTROL AWNING, TYP.
- STEEL GUARDRAIL.
- SHUJI SUNSCREEN.
- DOOR, SEE SHEET ARCH400 WINDOW FOR SCHEDULE.
- PERFORATED METAL SIGN, SEE SHEET SITE600.
- DECK DRAIN.
- METAL CANOPY OVERHANG.
- VENTS, SEE MECHANICAL.
- METAL CAP FLASHING W/GALVALUME FINISH, TYP.
- PERFORATED STEEL SHADE STRUCTURE.
- STEEL COLUMN.
- PASSIVE COOLING TOWER.
- ORNAMENTAL METAL FENCE, SEE SHEET SITE400 & SITE 401.
- ORNAMENTAL METAL FENCE, NOT SHOWN FOR CLARITY, SEE SHEET SITE400 & SITE401.
- METAL GATE, NOT SHOWN FOR CLARITY, SEE SHEET SITE400 & SITE401.
- STUCCO WALL.
- BALCONY ROOF.
- CMU YARD WALL, SEE SHEET SITE400 & SITE401 FOR HEIGHTS, TYP.
- SITE SIGNAGE, SEE SHEET SITE600.
- PACKAGED TERMINAL AIR CONDITIONER VENT.
- ELECTRIC METERS, TYP.
- SHEET METAL.
- AUTOMOBILE ENTRANCE GATE, NOT SHOWN FOR CLARITY, SEE SITE FENCE & WALL DETAILS FOR HEIGHTS.



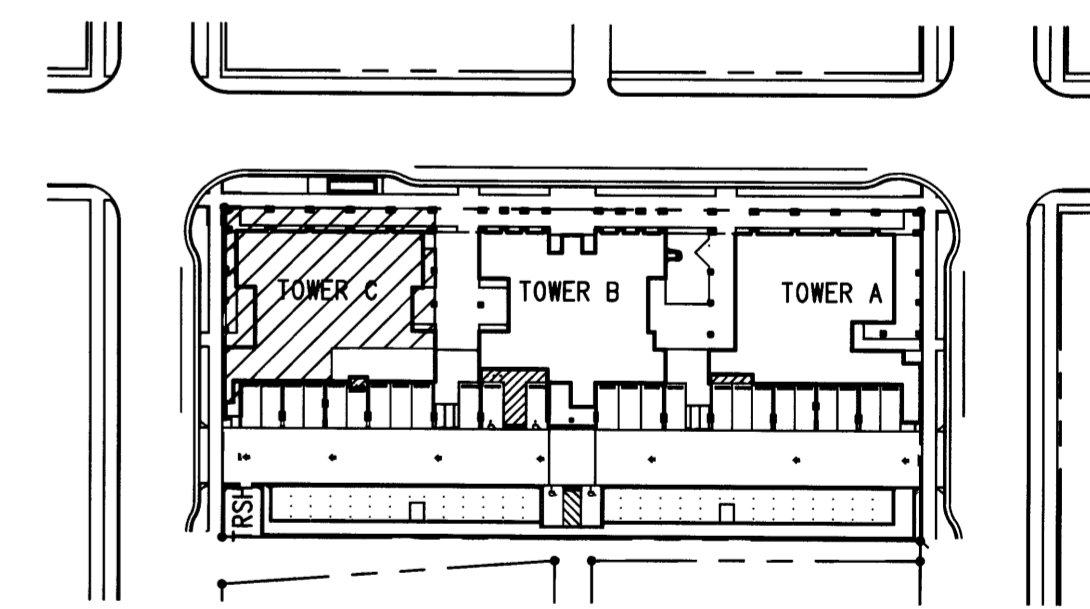
EAST EXTERIOR ELEVATION - TOWER C

9 3/16"=1'-0"



SOUTH EXTERIOR ELEVATION - TOWER C

10 3/16"=1'-0"



KEY PLAN NORTH NTS

integrated design architecture

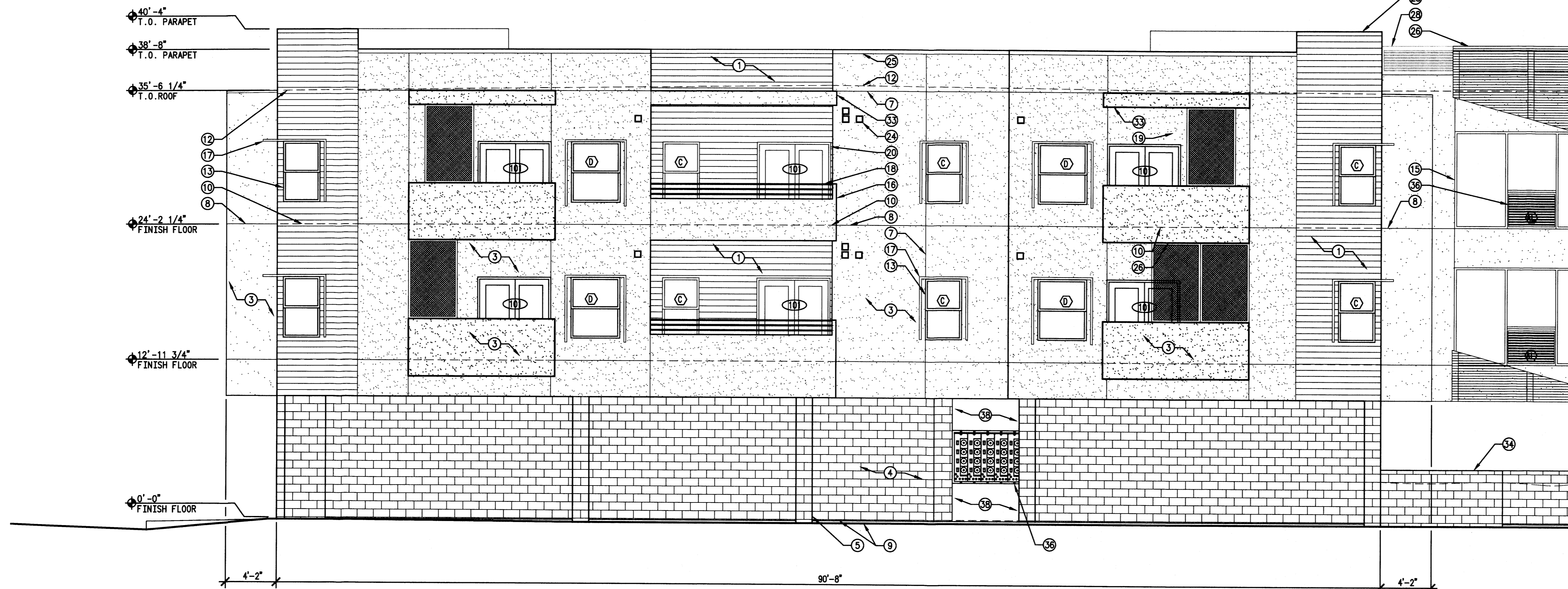
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Greater Albuquerque Housing Partnership
CUATRO
Albuquerque, New Mexico

PROJECT ARCHITECT: **BOB HALL, AIA**
PROJECT #: IDA-14-13-P
DATE: 2014 SEPTEMBER 22, 2014

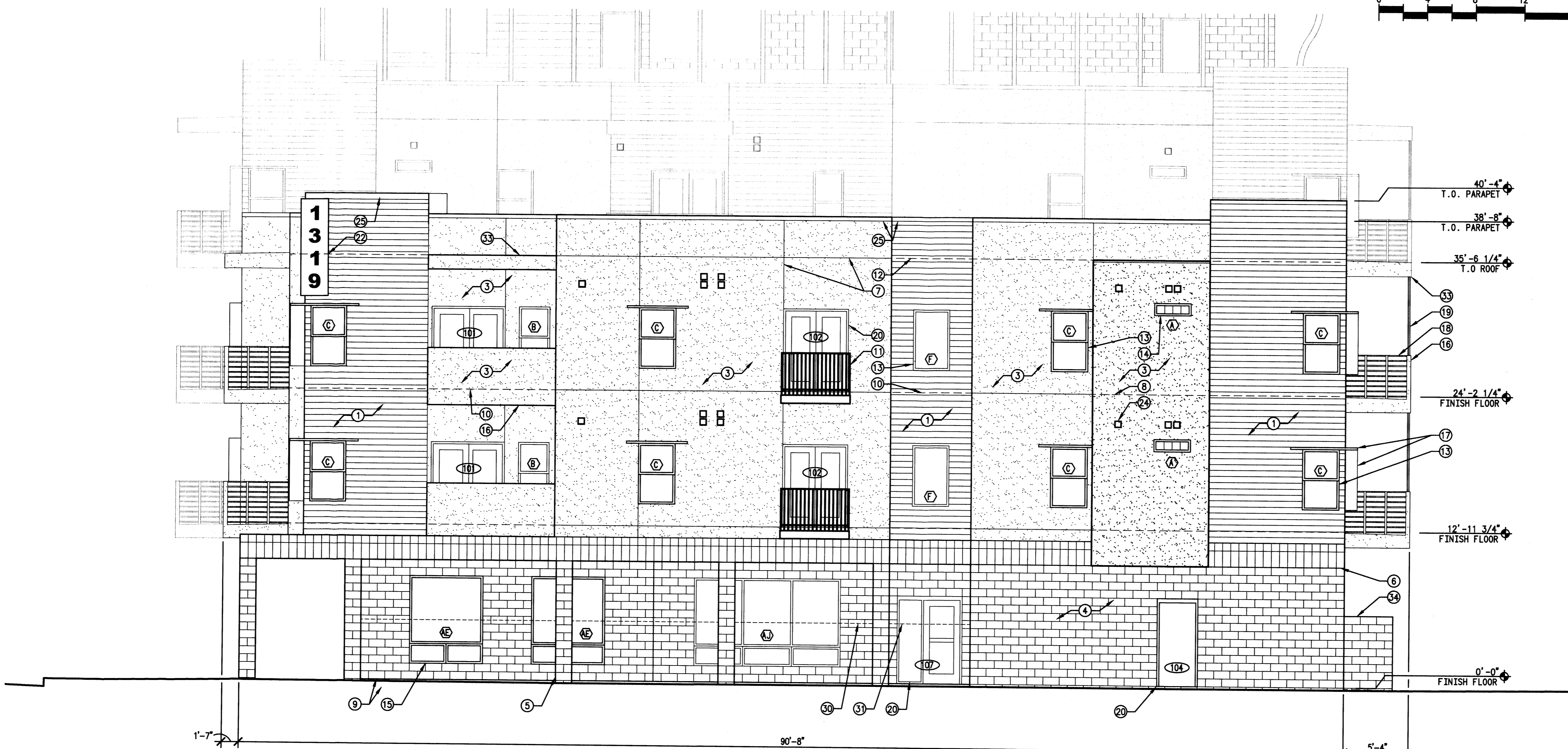
EAST & SOUTH EXT. ELEVATION-TOWER C

By: DRB_EXTR ELEVS.DWG
File: 10/11/2014 3:02:16 PM
Sheet of **ARCH206**



WEST EXTERIOR ELEVATION - TOWER C

11 3/16"=1'-0"



NORTH EXTERIOR ELEVATION - TOWER C

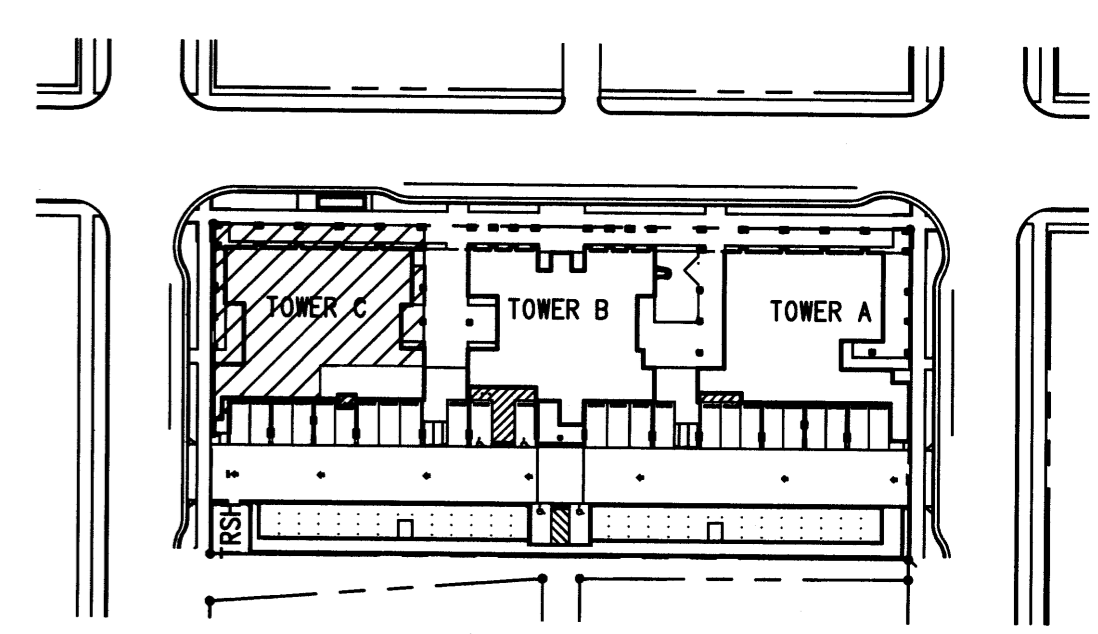
12 3/16"=1'-0"



Window Schedul	
A. 3' x 1'	= 3 SQ.FT.
B. 2' 6" x 5'	= 12.5 SQ.FT.
C. 3' x 5'	= 15 SQ.FT.
D. 4' x 5'	= 20 SQ.FT.
E. 8' x 5'	= 40 SQ.FT.
F. 4' x 4'	= 16 SQ.FT.
AA. 4' x 4' 8"	= 18.7 SQ.FT.
AC. 4' 8" x 7' 4"	= 34.2 SQ.FT.
AD. 5' 4" x 7' 4"	= 39.1 SQ.FT.
AE. 6' x 7' 4"	= 44 SQ.FT.
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AJ. 12' x 7' 4"	= 88 SQ.FT.
AK. 11' 2" x 8"	= 89 SQ.FT.
AL. 12' 8" x 8"	= 101.4 SQ.FT.
AM. 16' 9" x 8"	= 134 SQ.FT.
AN. 2' x 5' 4"	= 10.7 SQ.FT.
AP. 5' x 2'	= 10 SQ.FT.
AR. 5' 6" x 10'	= 55 SQ.FT.

Door Schedul	
101. 6' x 6' 8"	= 40 SQ.FT.
102. 5' x 6' 8"	= 33.4 SQ.FT.
103. 3' 4" x 8' 8"	= 28.9 SQ.FT.
104. 3' x 7'	= 21 SQ.FT.
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106. 6' x 8' 8"	= 52 SQ.FT.
107. 5' 4" x 7' 4"	= 39 SQ.FT.
108. 8' x 10'	= 80 SQ.FT.
109. 7' x 7'	= 49 SQ.FT.
110. 8' x 7'	= 56 SQ.FT.
111. 6' x 7'	= 42 SQ.FT.
112. 14' 8" x 8' 8"	= 127 SQ.FT.
113. 12' x 8' 8"	= 104 SQ.FT.

- Keyed Notes**
- 6" FIBER CEMENT BOARD COLOR 1.
 - 8" FIBER CEMENT BOARD COLOR 2.
 - 1/2" FIBER-REINFORCED TWO-COAT STUCCO SYSTEM WITH ACRYLIC COLOR COAT, OVER LATH, OVER (2) LAYERS OF 15# BUILDING PAPER.
 - CMU BURNISHED WALL, 8x8x16.
 - CMU BURNISHED COLUMNS, 8x8x16.
 - CMU BURNISHED BOND BEAM, 8x8x16.
 - STUCCO CONTROL JOINT, TYP.
 - STUCCO EXPANSION JOINT AT FLOOR LINE TYP.
 - FINISH GRADE, SEE CIVIL, TYP.
 - LINE OF FINISH FLOOR BEHIND.
 - JULIET BALCONY, STEEL.
 - LINE OF WHITE TPO ROOF SYSTEM.
 - VINYL WINDOW, TYP. SEE SHEET ARCH400 FOR SCHEDULE.
 - ACRYLIC WINDOW. SEE SHEET ARCH400 FOR SCHEDULE.
 - ALUMINUM STORE FRONT GLAZING. SEE SHEET ARCH400 FOR SCHEDULE.
 - BALCONY.
 - METAL SOLAR CONTROL AWNING, TYP.
 - STEEL GUARDRAIL.
 - SHOJI SUNSCREEN.
 - DOOR, SEE SHEET ARCH400 WINDOW FOR SCHEDULE.
 - PERFORATED METAL SIGN. SEE SHEET SITE600.
 - DECK DRAIN.
 - METAL CANOPY OVERHANG.
 - VENTS, SEE MECHANICAL.
 - METAL CAP FLASHING W/GALVALUME FINISH, TYP.
 - PERFORATED STEEL SHADE STRUCTURE.
 - STEEL COLUMN.
 - PASSIVE COOLING TOWER.
 - ORNAMENTAL METAL FENCE, SEE SHEET SITE400 & SITE 401.
 - ORNAMENTAL METAL FENCE, NOT SHOWN FOR CLARITY, SEE SHEET SITE400 & SITE401.
 - METAL GATE, NOT SHOWN FOR CLARITY, SEE SHEET SITE400 & SITE401.
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 - STUCCO WALL.
 - BALCONY ROOF.
 - CMU YARD WALL, SEE SHEET SITE400 & SITE401 FOR HEIGHTS, TYP.
 - SITE SIGNAGE. SEE SHEET SITE600.
 - PACKAGED TERMINAL AIR CONDITIONER VENT.
 - ELECTRIC METERS, TYP.
 - SHEET METAL.
 - AUTOMOBILE ENTRANCE GATE, NOT SHOWN FOR CLARITY, SEE SITE FENCE & WALL DETAILS FOR HEIGHTS.



KEY PLAN NORTH NTS

integrated design architecture

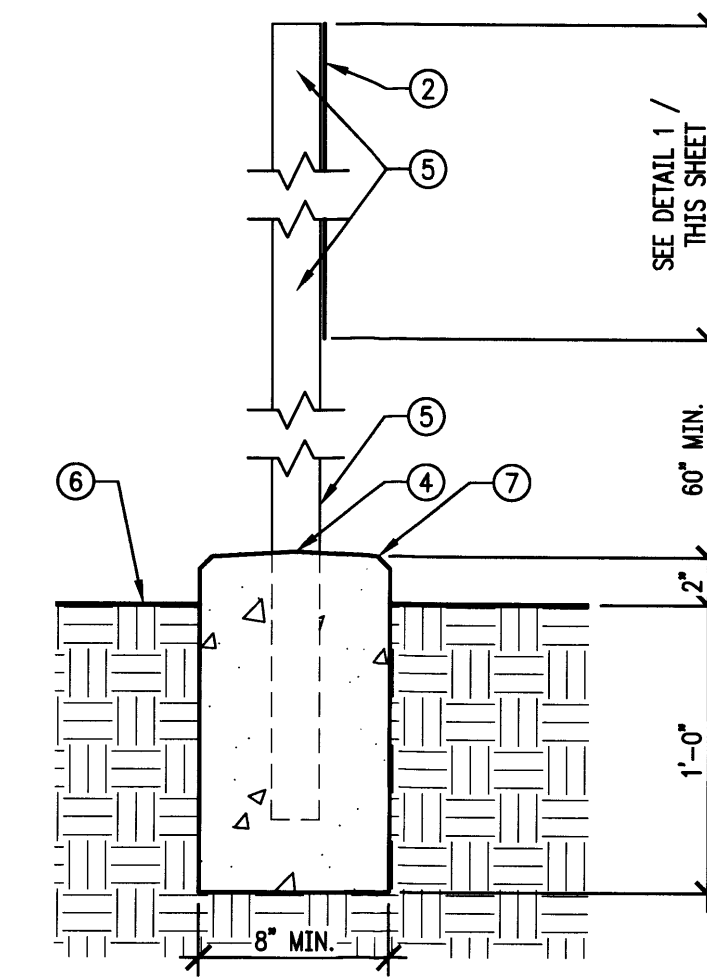
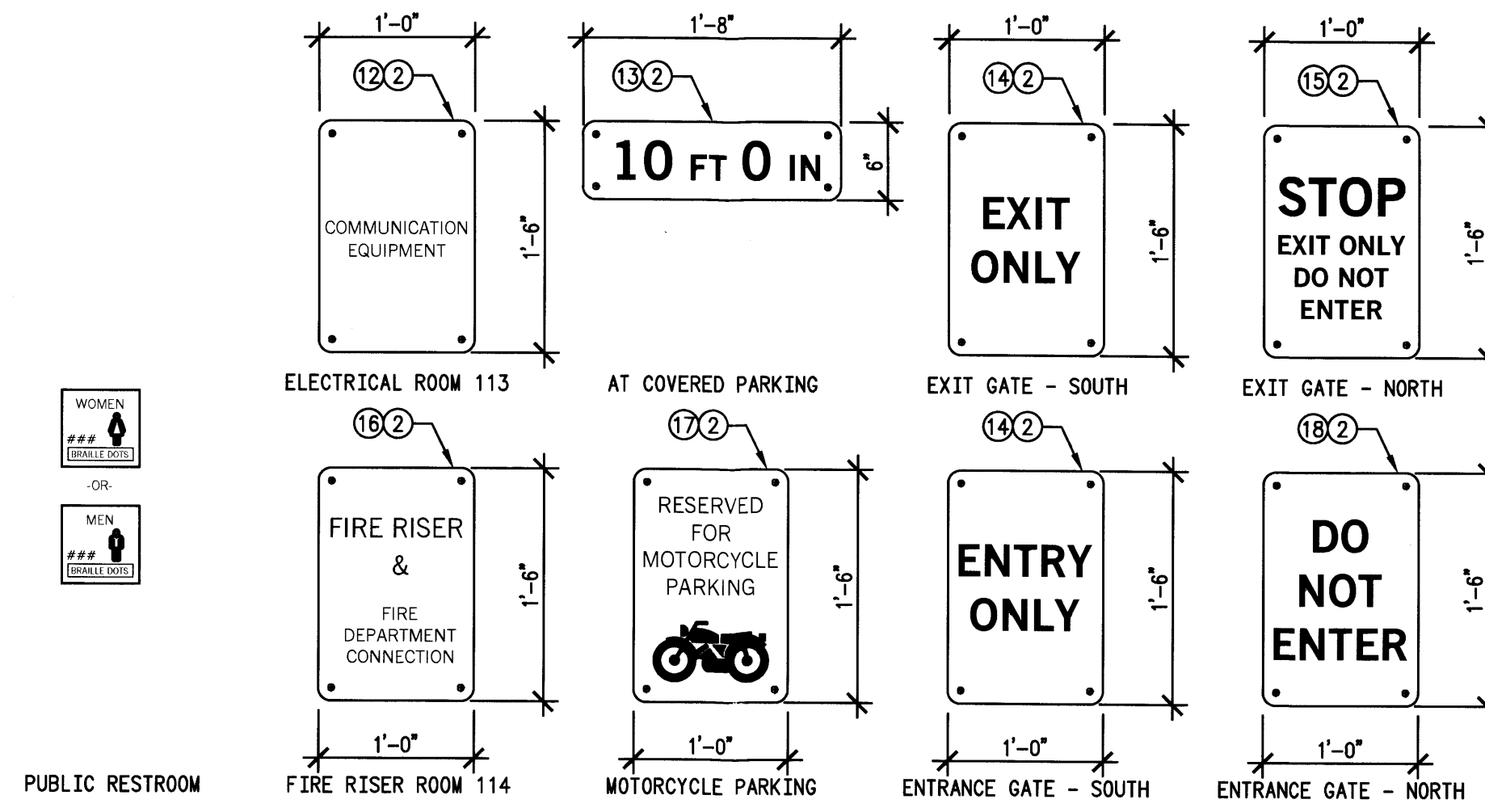
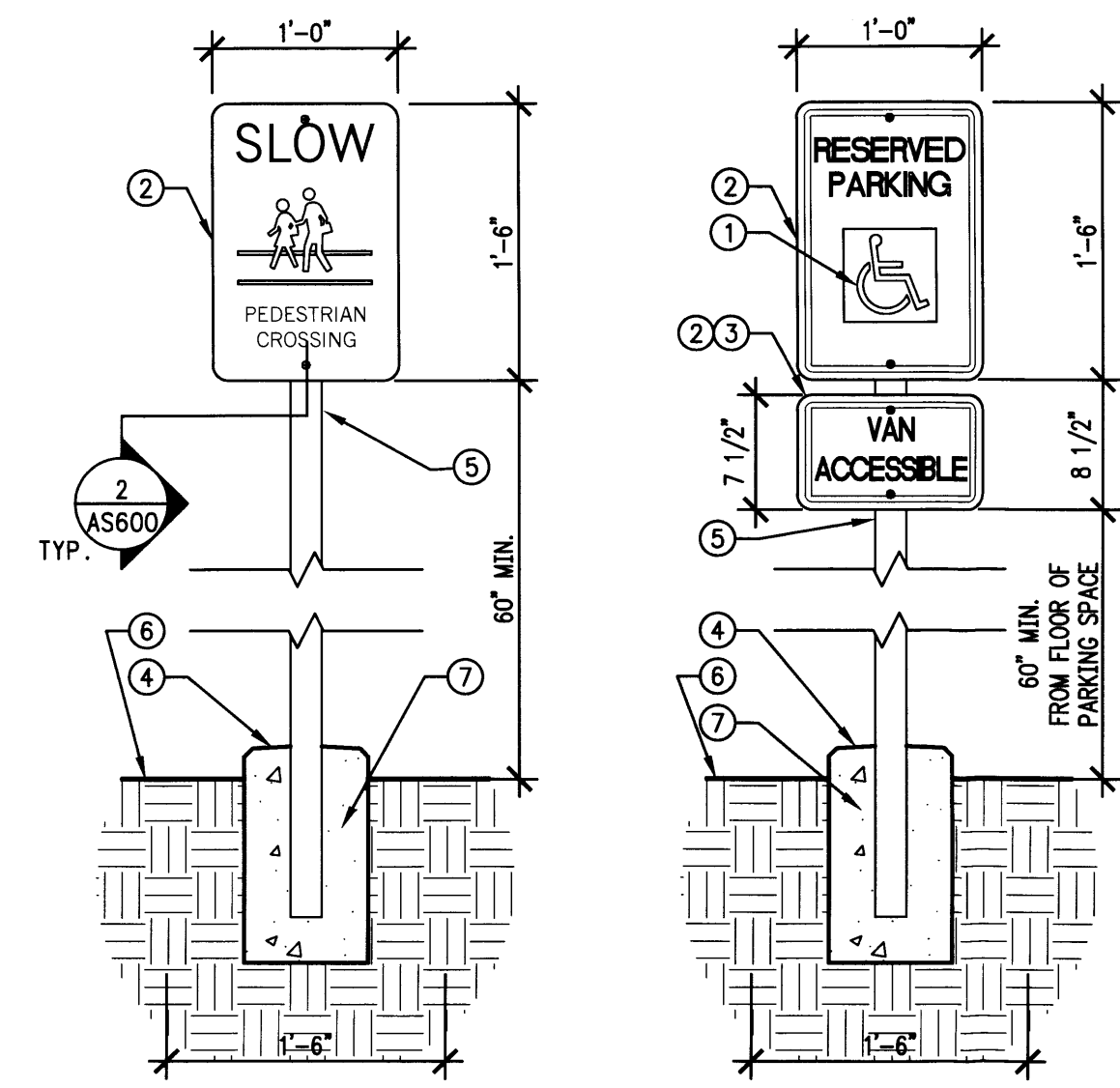
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Greater Albuquerque Housing Partnership
CUATRO
Albuquerque, New Mexico

PROJECT ARCHITECT: BOB HALL, AIA
Project #: IDA-14-13-P
Date: SEPTEMBER 22, 2014

WEST & NORTH EXT. ELEVATION-TOWER C

By: DRB_EXTR ELEVS.DWG
File: DRB_EXTR ELEVS.DWG
Plot Date: 10/11/2014 3:03:03 PM
Sheet of ARCH207



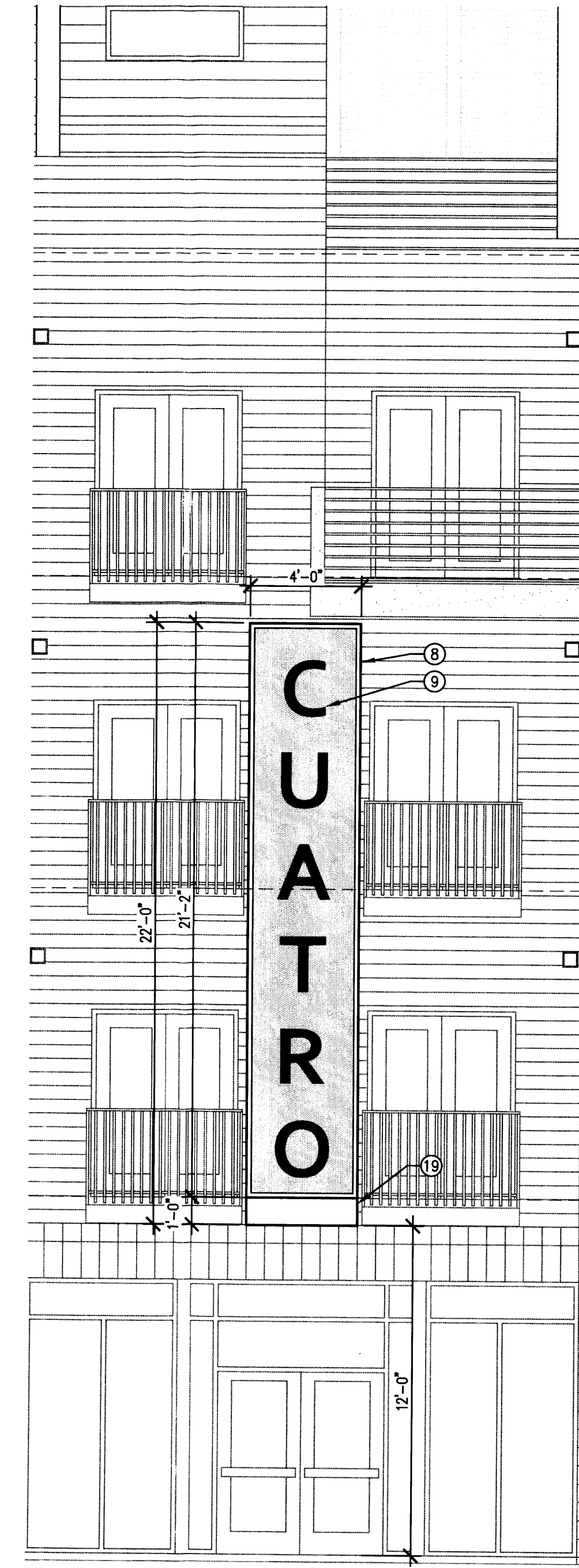
- General Notes**
- A. REFER TO SHEET ARCH010 FOR ALL TYPICAL ACCESSIBLE MOUNTING HEIGHTS.
 B. SEE ARCH406 + FOR SIGN SCHEDULE.
- Keyed Notes**
- INTERNATIONAL ACCESSIBILITY SYMBOL, WHITE ON BLUE BACKGROUND.
 - 16 GA. METAL SIGN.
 - 8 VAN ACCESSIBLE SPACES ONLY, 6' x 12" 16 GA. OR 1/4" FIBERGLASS SIGN WITH 2" BLUE LETTERS ON WHITE BACKGROUND.
 - 1/2" SLOPE AWAY FROM SIGN POST.
 - 2" PERFORATED STEEL SIGN POST.
 - FINISH GRADE.
 - SIGN FOOTING, 3" MIN. CONCRETE COVERAGE ALL AROUND POST.
 - PERFORATED METAL BOX INTERNALLY ILLUMINATED. RUST COLOR. 83.3 S.F.
 - 2'-0" TALL SOLID METAL LETTERS ATTACHED TO FACE OF BOX. ANODIZED COLOR.
 - PERFORATED METAL BOX. IT WRAPS CORNER FOR NORTH AND SOUTH VISIBILITY FROM TRAFFIC ON FOURTH STREET. RUST COLOR. 18 S.F.
 - 1'-2" TALL SOLID METAL LETTERS ATTACHED TO FACE OF BOX. ANODIZED COLOR.
 - 1" TALL BLACK LETTERS ON WHITE SIGN.
 - 3" & 2" TALL BLACK LETTERS ON WHITE SIGN.
 - 2-1/2" TALL BLACK LETTERS ON WHITE SIGN.
 - 3" & 1-1/2" TALL WHITE LETTERS ON RED SIGN.
 - 1-1/2" & 1" TALL WHITE LETTERS ON RED SIGN.
 - 1-1/4" TALL BLACK LETTERS ON WHITE SIGN.
 - 2-1/2" TALL WHITE LETTERS ON RED SIGN.
 - WALL OVERHANG: 1'H x 5'W x 4'D. RUST COLOR. 24 S.F.

SITE SIGNAGE - ELEVATIONS

1 1'-1'-0"

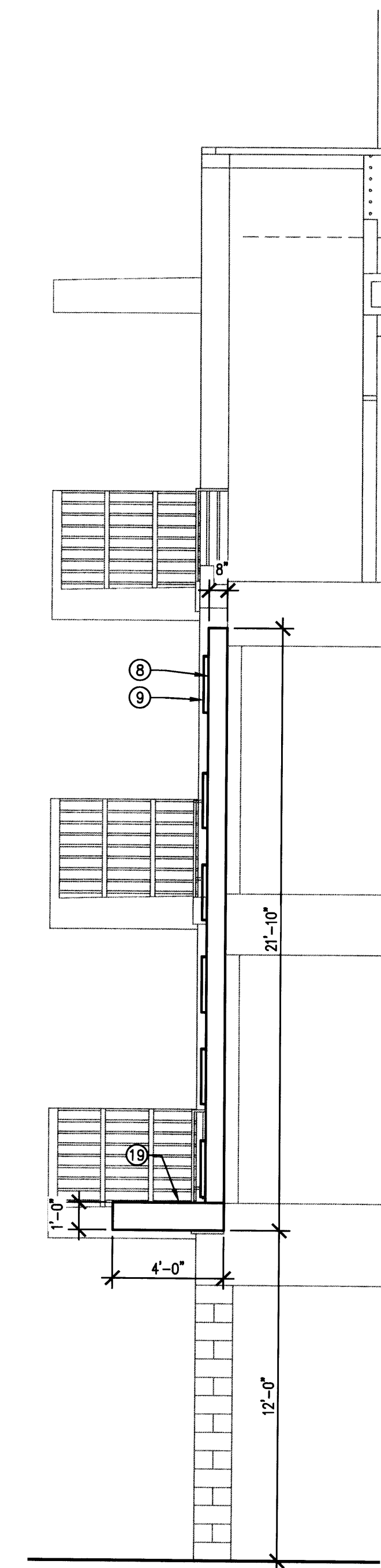
SIGN SECTION

2 1'-1/2'-1'-0"



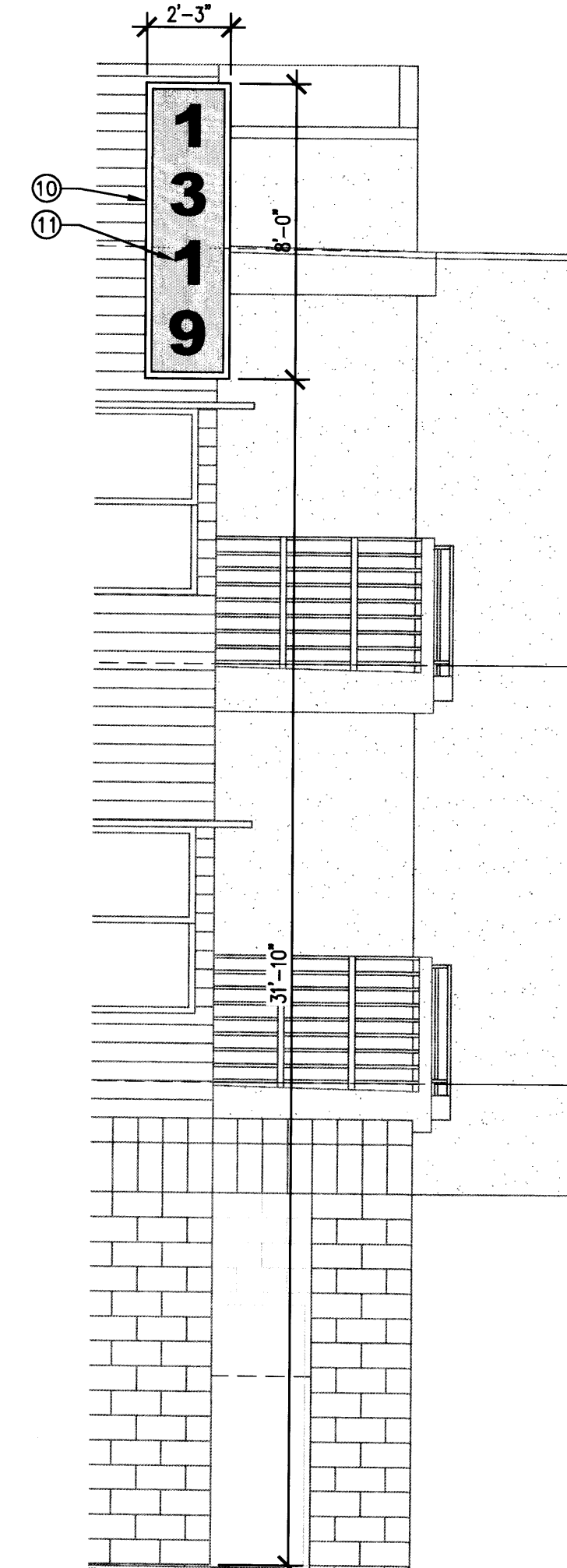
WALL SIGN FRONT ELEVATION

TOWER B - EAST **4** 1/4'-1'-0"



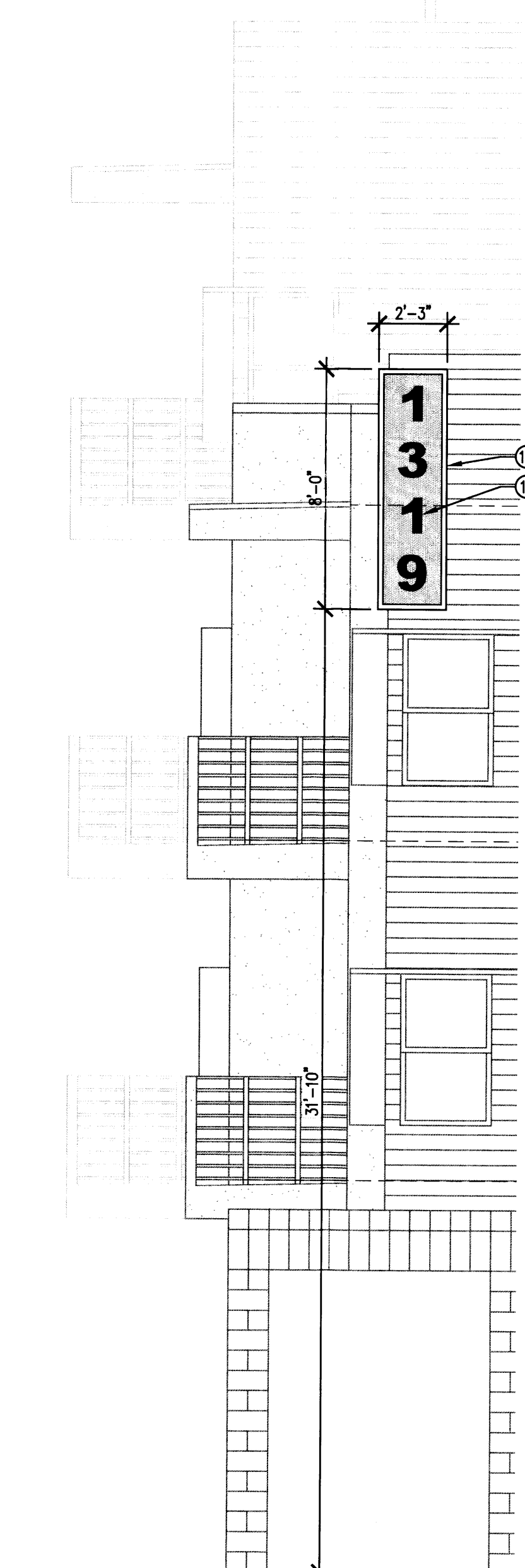
WALL SIGN OVERHANG SIDE ELEVATION

TOWER B **5** 1/4'-1'-0"



STREET ADDRESS FRONT ELEVATION

TOWER A & C **6** 1/4'-1'-0"



STREET ADDRESS SIDE ELEVATION

TOWER A & C **6** 1/4'-1'-0"

integrated design & architecture

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 Albuquerque, NM 87102
 tel: 505.243.3499
 fax: 505.243.3583
 info@integrateddesignarch.com
 www.integrateddesignarch.com

Greater Albuquerque Housing Partnership
 CUATRO
 Albuquerque, New Mexico

PROJECT ARCHITECT: BOB HALL, AIA
 Project #: IDA-14-13-P
 Date: SEPTEMBER 22, 2014

SITE SIGNAGE

By: KIS, GV
 File: SITE600 SIGNAGE.DWG
 Plot Date: 9/22/2014 2:05:06 PM

Sheet of **SITE600**

AL.T.A. / A.C.S.M. LAND TITLE SURVEY OF
LOTS 1 THRU 12, BLOCK 2
PARIS ADDITION
 WITHIN
 THE TOWN OF ALBUQUERQUE GRANT
 PROJECTED SECTION 17, TOWNSHIP 10 NORTH, RANGE 3 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JUNE, 2014

As noted item 11(b) of Table A of the "Minimum Standard Detail Requirements For ALTA/ACSM Land Title Surveys, Effective Date 2/23/2011", source information from plans and markings will be combined with observed evidence of utilities to develop a view of those underground utilities. However, lacking excavation, the exact location of underground utilities cannot be accurately, completely and reliably depicted, where additional or more detailed information is required, the client is advised that excavation may be necessary.
 All utilities should be field verified and spotted by the contractor(s) prior to commencement of any construction.

UTILITY DISCLAIMER

SOURCE INFORMATION FROM PLANS AND MARKINGS HAVE BEEN COMBINED WITH OBSERVED EVIDENCE OF UTILITIES TO DEVELOP A VIEW OF THOSE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED, WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY.
 NEW MEXICO ONE CALL (NM811) LOCATE REQUEST CONFIRMATION LINE-SPOTTING TICKET NO. 2014240500, DATE: 6/9/2014.
 UTILITIES LABELED WITH AN ASTERISK (*) ARE DERIVED OR TRANSCRIBED FROM PROVIDED PLANS AND MUST BE VERIFIED BY THE APPROPRIATE UTILITY.
 THERE MAY PRIVATE UNDERGROUND UTILITY LINES NOT WITHIN DOCUMENTED EASEMENTS THAT WERE NOT MARKED OUT BY UTILITY LINE-SPOTTING COMPANIES NOTIFIED BY NEW MEXICO ONE CALL (NM811).
 THIS PROJECT WAS CALLED IN TO NEW MEXICO ONE CALL (NM811) AS A "DESIGN LOCATE". SOME UTILITY LINE-SPOTTING COMPANIES NOTIFIED BY NEW MEXICO ONE CALL (NM811) CONSIDER "DESIGN LOCATE" CALLS AS LOW PRIORITY AND IN SOME CASES DELAY RESPONSE, PARTIALLY COMPLETE OR NOT RESPOND AT ALL.
 THE RETAINING OF A PRIVATE UTILITY LINE-SPOTTING COMPANY MAY BE NECESSARY FOR COMPLETE UTILITY LINE-SPOTTING OF A SUBJECT PROPERTY.

KEYED INVERT DATA

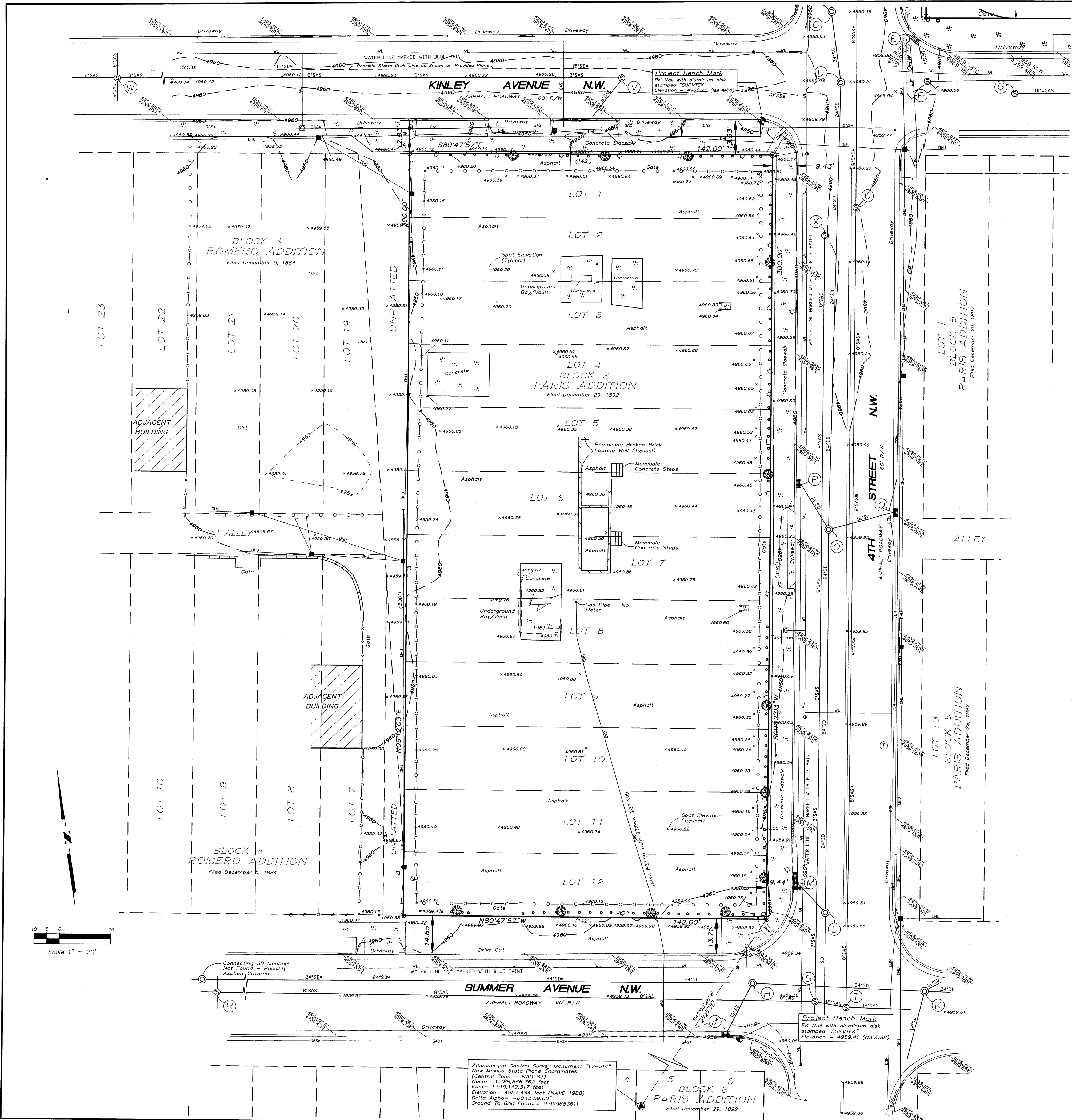
- (A) Storm Drain MH
Rim = 4960.49'
Inv. = 4956.84' (N)
Inv. = 4956.69' (S)
Inv. = 4956.79' (NE)
Inv. = 4956.74' (W)
- (B) Storm Drain Inlet
Top of Grate = 4959.52'
Inv. = 4957.6'
- (C) Storm Drain MH
Rim = 4960.30'
Inv. = 4956.38' (N)
Inv. = 4956.25' (S)
Inv. = 4956.30' (NW)
- (D) Storm Drain MH
Rim = 4960.06'
Inv. = 4956.11' (N)
Inv. = 4956.06' (S)
- (E) Storm Drain Inlet
Top of Grate = 4959.43'
Inv. = 4957.5'
- (F) Manhole
Rim = 4959.98'
Inv. = 4959.98'
Full of debris
- (G) Sanitary Sewer MH
Rim = 4959.93'
Inv. = 4952.89' (E)
- (H) Storm Drain MH
Rim = 4959.29'
Inv. = 4954.34' (W)
Inv. = 4954.24' (E)
Inv. = 4954.29' (SW)
- (I) Storm Drain Inlet
Top of Grate = 4958.55'
Inv. = 4955.13' (NE)
Inv. = 4952.05' (W)
- (K) Storm Drain MH
Rim = 4959.41'
Inv. = 4956.91' (SW)
Inv. = 4955.06' (NE)
Inv. = 4953.71' (E)
Inv. = 4953.66' (W)
- (L) Storm Drain MH
Rim = 4959.61'
Top of Grate = 4958.85'
Inv. = 4956.35' (SE)
- (M) Storm Drain MH
Rim = 4959.93'
Inv. = 4956.13' (NW)
Inv. = 4955.93' (N)
Inv. = 4955.88' (S)
- (N) Storm Drain Inlet
Top of Grate = 4959.19'
Inv. = 4957.29' (SE)
- (O) Storm Drain Inlet
Top of Grate = 4959.07'
Inv. = 4956.97' (SW)
- (P) Sanitary Sewer MH
Rim = 4960.52'
Inv. = 4950.47' (S)
Inv. = 4950.32' (N)
Inv. = 4950.22' (E)
Inv. = 4950.17' (W)
- (Q) Sanitary Sewer MH
Rim = 4959.56'
Inv. = 4949.41' (S)
Inv. = 4949.41' (N)
Inv. = 4949.41' (E)
Inv. = 4949.41' (W)
No Lines Flowing
- (R) Sanitary Sewer MH
Rim = 4959.70'
Inv. = 4952.00' (N)
Inv. = 4949.55' (W)
Inv. = 4949.35' (E)
- (S) Sanitary Sewer MH
Rim = 4960.02'
Lid Sealed
- (T) Sanitary Sewer MH
Rim = 4960.30'
Inv. = 4955.75' (SW)
Inv. = 4952.05' (W)
- (U) Sanitary Sewer MH
Rim = 4959.95'
Inv. = 4951.31' (E)
Inv. = 4951.31' (W)
Inv. = 4951.26' (N)
Inv. = 4951.16' (S)
- (V) Sanitary Sewer MH
Rim = 4959.97'
Inv. = 4952.82' (S)

LEGEND

- ☐ TELEPHONE PEDESTAL
- WATER VALVE
- ▬ BLOCK WALL
- ☒ TRAFFIC BOX
- ⊕ WATER METER
- ⊞ CONCRETE AREA
- ⊙ LIGHT POLE
- ⊛ POWER POLE
- ⊞ POWER POLE WITH FEED
- ⊞ GUY-WIRE ANCHOR
- ⊙ HYDRANT
- ⊙ SEWER CLEANOUT
- ⊙ SANITARY SEWER MANHOLE
- ⊙ STORM SEWER MANHOLE
- ⊙ STORM DRAIN INLET
- BOLLARD
- ⊙ CHAIN LINK FENCE
- ⊙ WOOD FENCE
- ⊙ OVERHEAD UTILITY LINE
- ⊙ GAS LINE
- ⊙ WATER LINE
- ⊙ SANITARY SEWER LINE
- ⊙ STORM SEWER LINE
- ⊙ UNDERGROUND COMMUNICATION LINE
- ⊙ TREE

NOTE: Utility labels or notes accompanied by an asterisk (*) are from provided plans and need to be verified by the respective utility company.

PROJECT: 1001059
 DATE: 10-1-14
 APP: 14-1035(P/P)
 (SURV-TEK)



Albuquerque Control Survey Monument "17-114"
 New Mexico State Plane Coordinates
 (Central Zone = NAD 83)
 North = 1,498,866.762 feet
 East = 1,519,140.317 feet
 Elevation = 4957.484 feet (NAVD 1988)
 Delta Alpha = -001.359 00"
 Ground to Grid Factor = 0.999683611

EXISTING CONDITIONS
 ALTA / ACSM LAND TITLE SURVEY OF
 LOTS 1 THRU 12, BLOCK 2
 PARIS ADDITION
 WITHIN
 THE TOWN OF ALBUQUERQUE GRANT
 PROJECTED SECTION 17, TOWNSHIP 10 NORTH, RANGE 3 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JUNE, 2014

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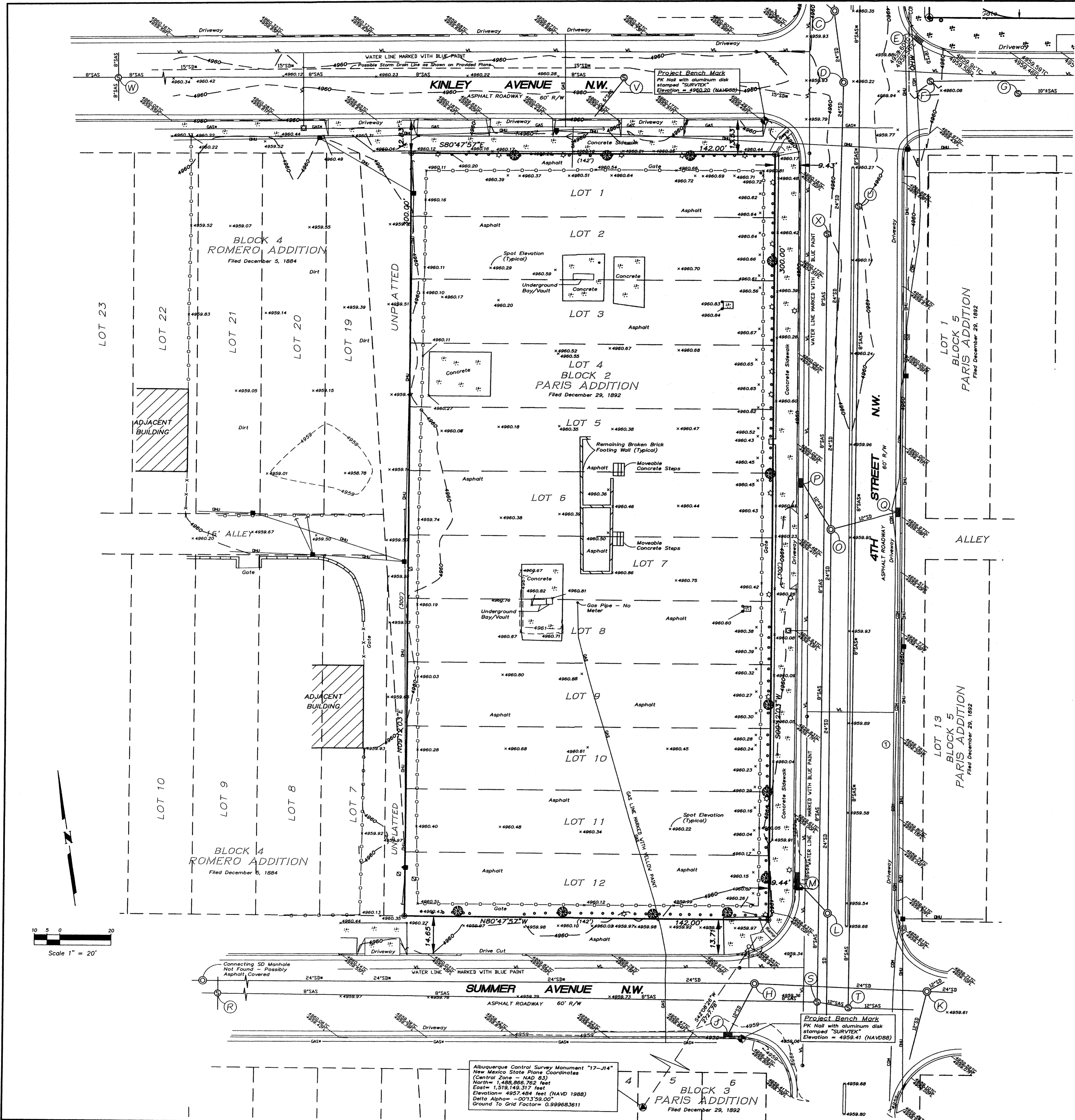
KEYED INVERT DATA

- (A) Storm Drain MH
Rim = 4960.49'
Inv. = 4956.84' (N)
Inv. = 4956.69' (S)
Inv. = 4956.79' (NE)
Inv. = 4956.74' (W)
- (B) Storm Drain Inlet
Top of Grate = 4959.52'
Inv. = 4957.6'
- (C) Storm Drain MH
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Inv. = 4956.38' (N)
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Inv. = 4949.41' (N)
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Rim = 4959.41'
Inv. = 4956.91' (SW)
Inv. = 4955.06' (NE)
Inv. = 4953.71' (E)
Inv. = 4953.66' (W)
- (L) Storm Drain MH
Rim = 4959.61'
No Access - Lid Cracked
Top of Grate = 4958.85'
Inv. = 4956.35' (SE)
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LEGEND

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- WATER VALVE
- ▬ BLOCK WALL
- ☑ TRAFFIC BOX
- ⊗ WATER METER
- ⊞ CONCRETE AREA
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- ⊕ SEWER CLEANOUT
- ⊕ SANITARY SEWER MANHOLE
- ⊕ STORM SEWER MANHOLE
- ⊕ STORM DRAIN INLET
- BOLLARD
- CHAIN LINK FENCE
- X— WOOD FENCE
- DU— OVERHEAD UTILITY LINE
- GAS— GAS LINE
- W— WATER LINE
- SAS— SANITARY SEWER LINE
- SS— STORM SEWER LINE
- C— UNDERGROUND COMMUNICATION LINE
- ⊕ TREE

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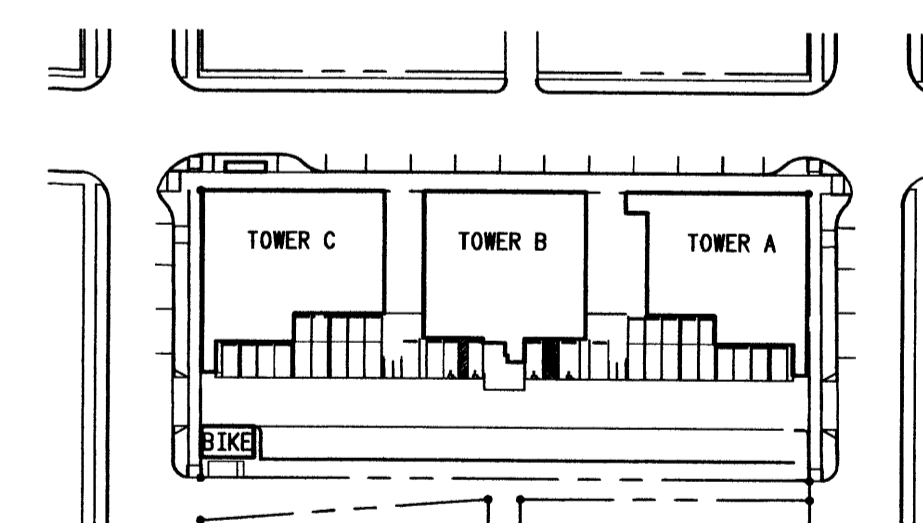
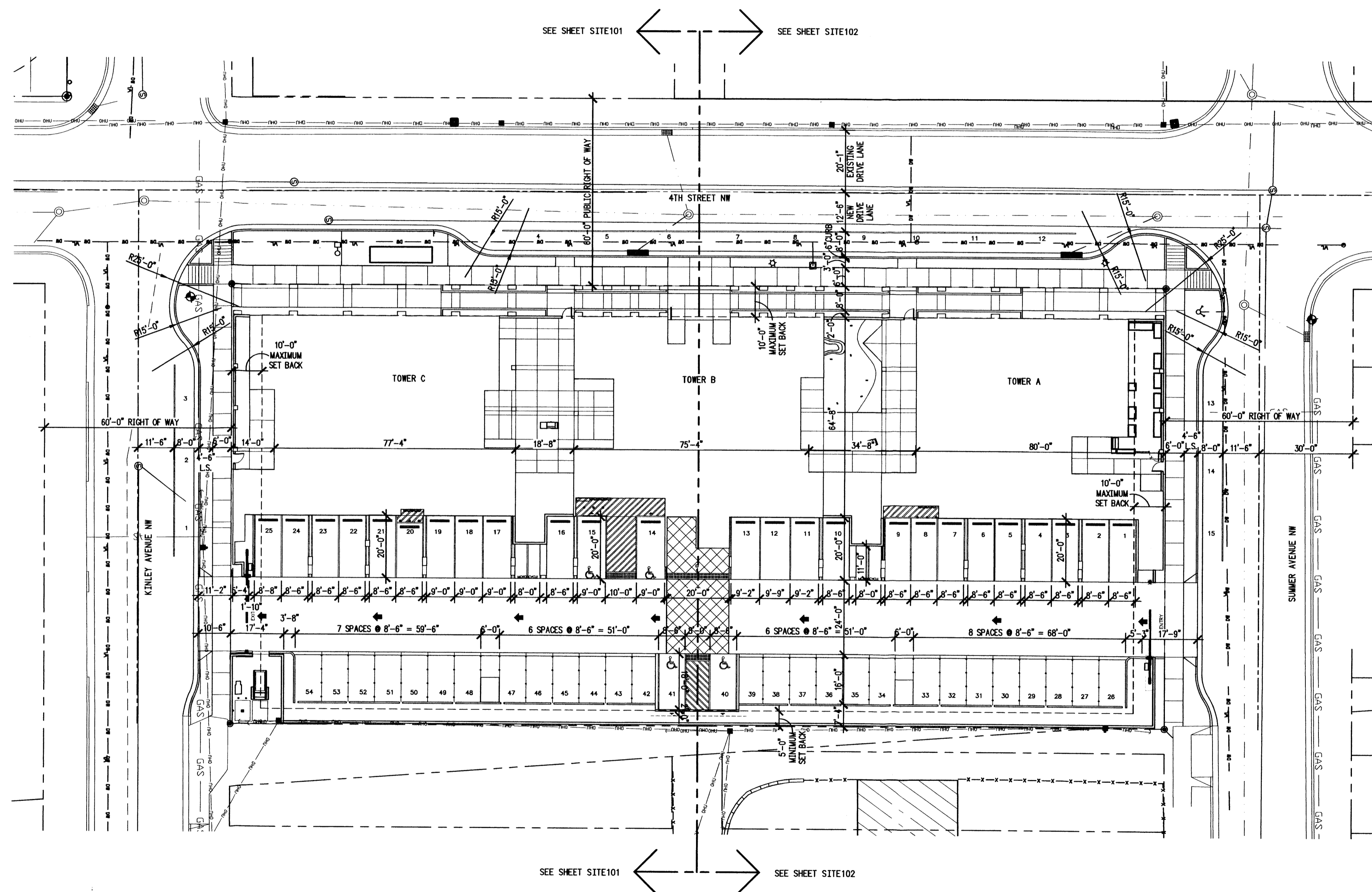
PROJECT: 1007059
 DATE: 10.1.14
 APP: 14-70335 (P&F)
 (SURU-TEC)

General Notes

A.
 B.

Keyed Notes

1.
 2.



KEY PLAN NORTH NTS

NEW ARCHITECTURAL SITE KEY PLAN



integrated
 design architecture

906 1/2 Park Avenue SW
 Albuquerque, NM 87102
 tel: 505.243.3499
 fax: 505.243.3583
 info@integrateddesignarch.com
 www.integrateddesignarch.com

Greater Albuquerque Housing Partnership
 CUATRO
 Albuquerque, New Mexico

PROJECT ARCHITECT:
 BOB HALL, AIA

Project #:
 IDA-14-13-P

Date:
 2014

NEW ARCHITECTURAL SITE KEY PLAN

By: KKS
 File: SITE100 SITE PLAN.DWG
 Plot Date: 9/4/2014 9:52:49 AM

Sheet of
SITE100