

Complete
2-15

DRB CASE ACTION LOG - BLUE SHEET

- Preliminary/Final Plat [FP]
- Site Plan - Subdivision [SPS]
- Site Plan - Building Permit [SBP]

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

Site Plans: It is the responsibility of the applicant/agent/developer/owner to insert the DRB approved Site Plan for Subdivision and/or Site Plan for Building Permit in each copy of building permit plansets. If the building permit plans have been submitted prior to the Site Plan for Subdivision and/or Site Plan for Building Permit being signed-off, then it is the responsibility of the applicant/agent/developer/owner to insert a copy of the signed-off Site Plan for Subdivision and/or Site Plan for Building Permit in each copy of the building permit plansets.

Project #: 1007099 Application #: 14DRB-70378
 Project #: 1002739 Application #: 14DRB-70253
 Project Name: ANDERSON HEIGHTS SUBDIVISION
 Agent: Mark Goodwin & Assoc. Phone #:

Your request was approved on 11-19-14 by the DRB with delegation of signature(s) to the following departments - outstanding comments to be addressed

- TRANSPORTATION: _____
- ABCWUA: _____
- CITY ENGINEER / AMAFCA: record OK
- PARKS / CIP: _____
- PLANNING (Last to sign): Case Planner approval

PLATS:

- Planning must record this plat. Please submit the following items:
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
 - County Treasurer's signature must be obtained prior to the recording of the plat with County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

ALL SITE PLANS:

3 copies of the approved site plan. Include all pages. pdf

DRB CASE ACTION LOG - BLUE SHEET

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1007099

Project #: 1002739 Application #: 14DRB-70253

Project Name: ANDERSON HEIGHTS SUBDIVISION

Agent: Mark Goodwin & Assoc. Phone #:

Your request was approved on 11-19-14 by the DRB with delegation of signature(s) to the following departments - outstanding comments to be addressed

TRANSPORTATION:

ABCWUA:

CITY ENGINEER / AMAFCA: record 5/14

PARKS / CIP:

PLANNING (Last to sign): Case Planner approval

PLATS:

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 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
 - County Treasurer's signature must be obtained prior to the recording of the plat with County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

ALL SITE PLANS:

- 3 copies of the approved site plan. Include all pages.



DEVELOPMENT REVIEW BOARD
Action Sheet

Plaza del Sol Building Basement Hearing Room

November 19, 2014

Jack Cloud..... DRB Chair
Kristal Metro..... Transportation Development
Allan Porter..... ABCWUA
Curtis Cherne.....City Engineer
Carol Dumont..... Parks & Recreation

Angela Gomez ~ Administrative Assistant

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND
MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

- 1. **Project# 1007099**
14DRB-70378 EPC APPROVED SDP
FOR BUILD PERMIT
DORMAN & BREEN ARCHITECTS agent(s) for MAIN BANK request(s) the above action(s) for all or a portion of Lot(s) A1A, Block(s) 16 & 17, **ZUNI ADDN** zoned SU-1 FOR C-2 PERMISSIVE USES, located on 7300 MENCIAL BLVD NE containing approximately 1.764 acre(s). (H-19) [Deferred from 11/12/14] **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 11/19/14, THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO CITY ENGINEER FOR RECORDED SIA AND TO PLANNING FOR CASE PLANNER APPROVAL.**

**CASES WHICH REQUIRE PUBLIC NOTIFICATION
MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

- 2. **Project# 1003275**
14DRB-70358 PRELIMINARY/FINAL
PLAT
14DRB-70359 BULK LAND VARIANCE
14DRB-70369 EPC APPROVED SDP
FOR SUBDIVISION
TIERRA WEST LLC and CONSENSUS PLANNING agents for WESTERN ALBUQUERQUE LAND HOLDINGS, LLC request the referenced/ above actions for Tract 1A1, **EL RANCHO ATRISCO PHASE 3** zoned SU-1, located on the south of LADERA DR NW between UNSER BLVD NW and MARKET ST NW containing approximately 19.98 acres. (H-9 & H-10) [deferred from 11/12/14] **DEFERRED TO 12/3/14.**

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
November 19, 2014
DRB Comments**

ITEM # 1

PROJECT # 1007099

APPLICATION # 14-70378

RE: Lot A1A, Blocks 16 & 17, Zuni Addition

The revised plan needs to be reviewed with the EPC Case Planner; the revised response still did not correct the calculation for bench seating (it appears the bench corners are being counted twice).

Jack Cloud, DRB Chairman
924-3880/ jcloud@cabq.gov

7. **Project# 1007099**
14DRB-70140 AMENDMENT TO
PRELIMINARY PLAT/
INFRASTRUCTURE LIST

ISAACSON AND ARFMA PA agent(s) for SANDIA FOUNDATION request(s) the above action(s) for all or a portion of Tract(s) A-1, (TBKA TRACTS A-1A & A-1B), **BLOCKS 16 & 17, ZUNI ADDITION** zoned SU-1 FOR C-2 PERMISSIVE USES, located on MENAUL BETWEEN MESILLA AND PENNSYLVANIA containing approximately 4.132 acre(s). (H-19) **THE AMENDED INFRASTRUCTURE LIST DATED 5/14/14 WAS APPROVED. THIS AMENDMENT DOES NOT EXTEND THE EXPIRATION DATE OF THE ALREADY APPROVED PRELIMINARY PLAT.**

8. **Project# 1009438**
14DRB-70019 -FINAL PLAT
APPROVAL

CONSENSUS PLANNING agents for RPS I-25 & VASSAR LLC, ET. AL. request Vacation of Road Right of Way/ Easements for portions of DAYTONA RD NW, LOS VOLCANOS RD NW, BLUEWATER RD NW, 90th ST NW and 94th ST NW as well as vacation of other easements within portions of Tracts A-C, **AVALON SUBDIVISION UNIT 4;** Tracts 4-7, **TOWN OF ATRISCO GRANT;** Tracts B-11 thru B-13, B-22 thru B-27, and B-29 thru B-33, **TOWN OF ATRISCO GRANT UNIT 5,** Tract B-14A, **UNSER DIVERSION CHANNEL CORRIDOR;** Tract C, **WESTRIDGE MOBILE HOME PARK PHASE 2;** and Tracts 14-16, **LAND OF C.H. HALL** zoned SU-1/ IP and SU-1 FOR IP & C-2 WITH EXCEPTIONS, located on the south side of I-40 between 90TH ST NW and 98TH ST NW containing approximately 172.4503 acres. (J-9 & K-9) [*Indefinitely deferred on 3/05/14, 5/7/14*]**THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

9. **Project# 1010050**
14DRB-70142 SKETCH PLAT
REVIEW AND COMMENT

SANDIA LAND SURVEYING LLC agent(s) for JOHN E MECHENBIER request(s) the above action(s) for all or a portion of Lot(s) 7 & 8, Block 3, Tract A, Unit B, **NORTH ALBUQUERQUE ACRES,** zoned SU-2/IP, located on I-25 AND SAN MATEO containing approximately 1.7581 acre(s). (B-18)**THE SKETCH PLAT WAS REVIEWED AND COMMENTS WERE PROVIDED.**

10. Other Matters: none
Adjourned.

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Project #: 1007099 Application #: 13DRB-70784

Project Name: ZUNI ADDN

Agent: CONSENSUS PLANNING Phone #:

Your request was approved on 12-31-17 by the DRB with delegation of signature(s) to the following departments - outstanding comments to be addressed

TRANSPORTATION:

ABCWUA:

CITY ENGINEER / AMAFCA: recorded S/A

PARKS / CIP:

PLANNING (Last to sign): recorded Landscape Agreement
confirmation of landscape calculations

PLATS:

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
- Tax printout from the County Assessor.
- County Treasurer's signature must be obtained prior to the recording of the plat with County Clerk.

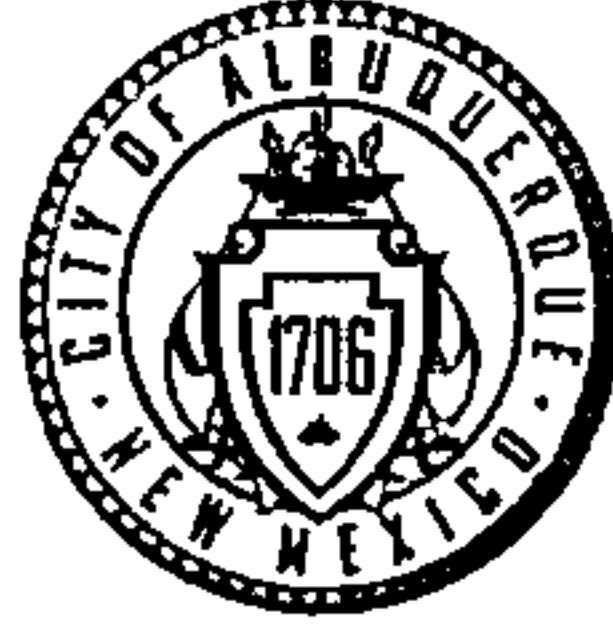
Property Management's signature must be obtained prior to Planning Department's signature.

AGIS DXF File approval required.

Copy of recorded plat for Planning.

ALL SITE PLANS:

3 copies of the approved site plan. Include all pages.



**DEVELOPMENT REVIEW BOARD
Action Sheet
Plaza del Sol Hearing Room, Basement, Plaza del Sol Building**

December 31, 2013
MEMBERS:

Jack Cloud, DRB Chair
Angela Gomez, Administrative Assistant

Kristal Metro, Transportation Development
Curtis Cherne, City Engineer

Allan Porter, ABCWUA
Carol Dumont, Parks & Recreation

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND
MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

1. **Project# 1007099**
13DRB-70784 EPC APPROVED SDP FOR
BUILD PERMIT

CONSENSUS PLANNING agent(s) for US NEW MEXICO FEDERAL CREDIT UNION request(s) the above action(s) for all or a portion of Lot(s) A1A & A1B, Block(s) 16 & 17, **ZUNI ADDITION** zoned SU-1 FOR C-2 PERMISSIVE USES, located on MENAUL BLVD NE BETWEEN MESILLA ST AND PENNSYLVANIA ST containing approximately 2.37 acre(s). (H-19)[*Deferred from 12/18/13*] **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 12/31/13, THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SUBDIVISION IMPROVEMENTS AGREEMENT AND TO PLANNING FOR RECORDING OF LANDSCAPE AGREEMENT AND CONFIRMATION OF LANDSCAPE CALCULATIONS.**

**CASES WHICH REQUIRE PUBLIC NOTIFICATION
MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

2. **Project# 1000650**
13DRB-70763 – SITE DEVELOPMENT
PLAN FOR BUILDING PERMIT

MODULUS ARCHITECTS INC agents for LAMONICA SHOPS LLC request the referenced/above actions for Tracts 1-A-2-B AND 1-A-2-C, **LANDS OF LAMONICA AND WENK** zoned SU-1/ C-1 PERMISSIVE USES W/ LIQUOR SALES, located on the northeast corner of COORS BLVD SW and LAMONICA RD SW containing approximately 1.192 acres. (P-10) [*Deferred from 12/4/13, 12/11/13, 12/18/13*] **DEFERRED TO 1/8/14.**

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Project #: 1007099

Application #: 13DRB-70659

Project Name: ZUNI ADDITION

Agent: ISAACSON & ARFMAN

Phone #:

Your request was approved on 8-28-13 by the DRB with delegation of signature(s) to the following departments - outstanding comments to be addressed

TRANSPORTATION:

ABCWUA:

CITY ENGINEER / AMAFCA:

PARKS / CIP:

PLANNING (Last to sign): *dxv, ability sig notures*

PLATS:

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
- Tax printout from the County Assessor.
- County Treasurer's signature must be obtained prior to the recording of the plat with County Clerk.

- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

ALL SITE PLANS:


3 copies of the approved site plan. Include all pages.

CASES WHICH REQUIRE PUBLIC NOTIFICATION
MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

3. **Project# 1006864**
13DRB-70658 EPC APPROVED SDP FOR
SUBDIVISION


13DRB-70645 BULK LAND VARIANCE
13DRB-70646 PRELIMINARY/ FINAL
PLAT APPROVAL 

CONSENSUS PLANNING and BOHANNAN
HUSTON INC agents for PULTE HOMES and
WESTERN ALBUQUERQUE LAND HOLDINGS LLC
request the referenced/ above actions for Tract N-2 & M,
WATERSHED SUBDIVISION zoned SU-2/ PDA,
located on the west side of TIERRA PINTADA BLVD
NW between ARROYO VISTA BLVD NW and WEST
CREEK PL NW containing approximately 237.7947
acres. (H-8, H-9 & J-8) **DEFERRED TO 9/11/13 AT THE
AGENT'S REQUEST.**

4. **Project# 1009721**
13DRB-70638 VACATION OF PRIVATE
EASEMENT
13DRB-70639 SUBDIVISION DESIGN
VARIANCE
13DRB-70640 SIDEWALK WAIVER 

COMMUNITY SCIENCES CORP agents for JOHN &
LAURA FREED request the referenced/ above actions
for Lot 10-A-3, **ALVARADO GARDENS UNIT 2**
zoned RA-2 / W7, located on the south side of
CAMPBELL RD NW between CALLE TRANQUILO
NW and TRELIS DR NW containing approximately
1.042 acres. (G-12) **DEFERRED TO 9/4/13 AT THE
AGENT'S REQUEST.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

5. **Project# 1007099**
13DRB-70659 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL 

ISAACSON AND ARFMAN PA agent(s) for SANDIA
FOUNDATION request(s) the above action(s) for all or
a portion of Block(s) 16 & 17, Tract(s) A-1, **ZUNI
ADDITION** zoned SU-1 FOR C-2 PERMISSIVE
USES, located on MENAUL BLVD NE BETWEEN
MESILLA ST NE AND PENNSYLVANIA ST NE
containing approximately 4.132 acre(s). (H-19) **THE
PRELIMINARY/FINAL PLAT WAS APPROVED WITH
FINAL SIGN OFF DELEGATED TO PLANNING FOR
AGIS DXF AND UTILITY COMPANY SIGNATURES.**

DRB CASE ACTION LOG - BLUE SHEET

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Project #: 1007099 Application #: 12DRB-70214
Project Name: Zuni Addition
Agent: Consensus Planning Phone #:

Your request was approved on 8-7-13 by the DRB with delegation of signature(s) to the following departments - outstanding comments to be addressed

TRANSPORTATION:

ABCWUA:

CITY ENGINEER / AMAFCA:

PARKS / CIP:

PLANNING (Last to sign): - dsl, utility right-of-way, to record

PLATS:


- Planning must record this plat. Please submit the following items:
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
 - County Treasurer's signature must be obtained prior to the recording of the plat with County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

ALL SITE PLANS:

- 3 copies of the approved site plan. Include all pages.


3. **Project# 1004354**
13DRB-70609 SITE DEVELOPMENT
PLAN FOR BUILDING PERMIT 

DAC, INC. agents for KRANIA, LLC request the referenced/ above action for all or a portion of Lot 3, **KRANIA SUBDIVISION**, zoned SU-2/PCA, located on the east side of 98TH ST NW between VOLCANO RD NW and CENTRAL AVE NW containing approximately .8333 acre. (K-9)) [*Deferred from 7/24/13*] **THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO TRANSPORTATION FOR COMMENTS AND TO PLANNING FOR PEDESTRIAN ACCESS AND FOR A COPY OF LANDSCAPING AGREEMENT.**


4. **Project# 1008134**
13DRB-70599 MAJOR – SITE
DEVELOPMENT PLAN FOR BUILDING
PERMIT 

NCA ARCHITECTS PA agents for SALAS PROPERTIES LLC/ BOB'S BURGERS request the referenced/ above action for Tract A, **LANDS OF SALAS PROPERTIES, LLC** zoned C-2, located on the south side of CENTRAL AVE SW between 46TH ST SW and ATRISCO RD SW containing approximately .7787 acre. (K-12) [*Deferred from 7/17/13 , 7/24/13, 7/31/13*] **/DEFERRD TO 8/14/13 AT THE AGENT'S REQUEST.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

5. **Project# 1007099**
12DRB-70243 MINOR - FINAL
PLAT APPROVAL 

ISAACSON AND ARFMAN PA agent(s) for SANDIA FOUNDATION request(s) the above action(s) for all or a portion of Block(s) 16-17, Tract(s) A, **ZUNI ADDITION** zoned SU-2 FOR C-2, located on MENAUL BETWEEN PENNSYLVANIA AND MESILLA containing approximately 4.1826 acre(s). (H-19) [*Deferred from 8/15/12, 7/31/13*]. **THE FINAL PLAT WAS APROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING TO RECORD.**

6. **Project# 1008797**
13DRB-70593 AMENDMENT TO
INFRASTRUCTURE LIST/
PRELIMINARY PLAT 

EASTERLING CONSULTANTS LLC agent(s) for TCS-TAOS LLC request(s) the above action(s) for all or a portion of Lot(s) 1-56 TAOS UNIT 1 AT THE TRAILS, **THE TRAILS UNIT 1** zoned VTSL, located on ADOBE ROSE PL AND TREE LINE BETWEEN UNIVERSE AND OAKRIDGE (C-9) [*Deferred on 7/10/13*]. **AMENDMENT TO INFRASTRUCTURE LIST WAS APPROVED.**



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

May 8, 2013

Project# 1007099

13DRB-70526 MAJOR - 2YR SUBD IMP AGMT EXT (2YR SIA)

ISAACSON AND ARFMAN PA agent(s) for SANDIA FOUNDATION request(s) the above action(s) for all or a portion of Tract(s) A, **ZUNI ADDITION** zoned SU-1 FOR C-2 PERMISSIVE USES, located on MENAUL BLVD NE BETWEEN MESILLA ST NE AND PENNSYLVANIA ST NE containing approximately 4.183 acre(s). (H-19)

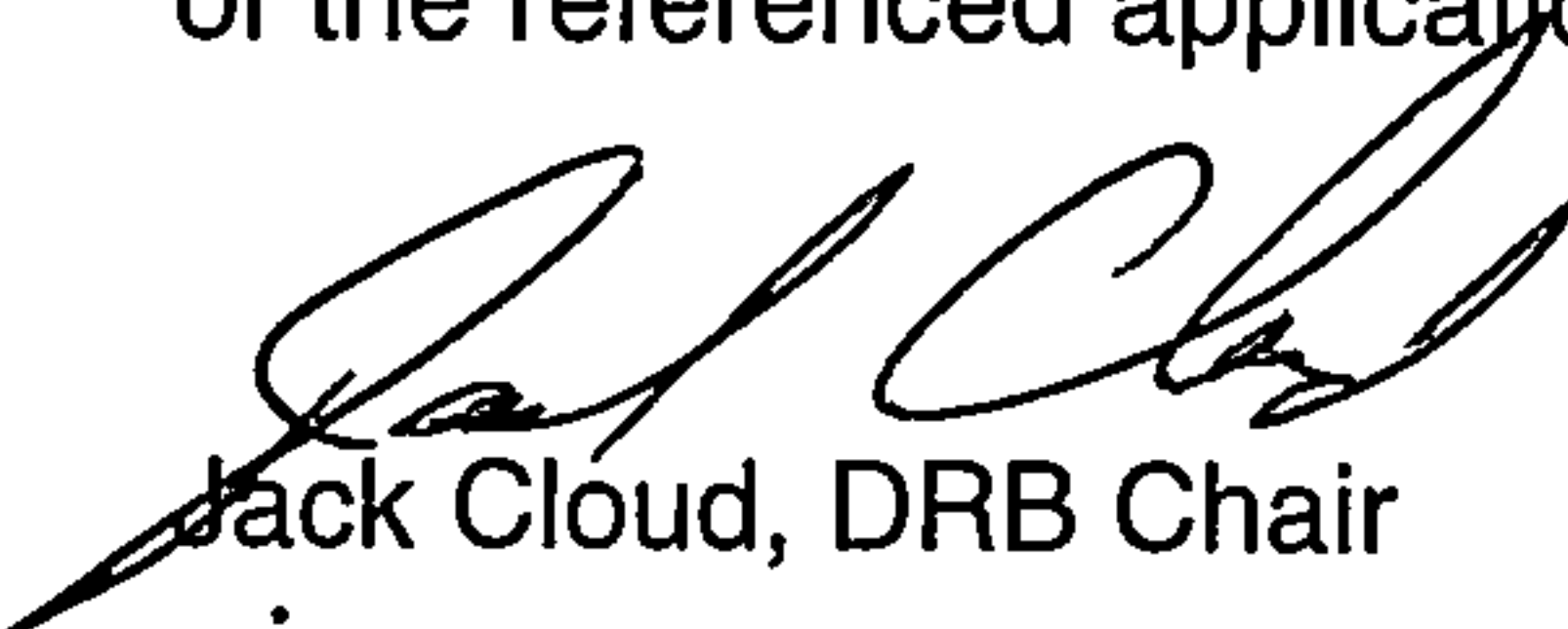
At the May 8, 2013 Development Review Board meeting, a two year extension of the Subdivision Improvements Agreement was approved.

If you wish to appeal this decision, you must do so by May 23, 2013, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).



Jack Cloud, DRB Chair

Cc: ISAACSON AND ARFMAN PA
Marilyn Maldonado
File

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)


2. **Project# 1007099**
12DRB-70214 EPC APPROVED SDP
FOR SUBDIVISION

12DRB-70243 MINOR -
PRELIMINARY/ FINAL PLAT
APPROVAL


CONSENSUS PLANNING agent(s) for SANDIA FOUNDATION request(s) the above action(s) for all or a portion of Block(s) 16-17, Tract(s) A, **ZUNI ADDITION** zoned SU-1/C-2 PERMISSIVE USES, located on 7402 MENAUL BLVD NE containing approximately 4 acre(s). (H19) **THE SITE DEVELOPMENT PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING TO DRAINAGE NOTE FOR HYDROLOGY COMMENTS.**

SURV-TEK INC agent(s) for SANDIA FOUNDATION request(s) the above action(s) for all or a portion of Block(s) 16-17, Tract(s) A, **ZUNI ADDITION** zoned SU-2 FOR C-2, located on MENAUL BETWEEN PENNSYLVANIA AND MESILLA containing approximately 4.1826 acre(s). (H-19) **THE PRELIMINARY PLAT WAS APPROVED. CONDITIONS OF FINAL PLAT ARE REVISION OF DRAINAGE NOTE FOR CITY ENGINEER. TRANSPORTATION DEVELOPMENT REQUIRES A MODIFIED EXHIBIT INDICATING LOCATION OF CURB WITH RESPECT TO PROPERTY LINE INCLUDING PROPOSED HAMMER-HEAD AND THE RELOCATION OF EXISTING FENCING LOCATED IN THE RIGHT-OF-WAY AND THE CONCLUSION/FILING OF THE SPECIAL SIA PROCEDURE 'A' WITH FINANCIAL GAURANTEE. THE FINAL PLAT WAS INDEFINITELY DEFERRED BASED ON THE ABOVE CONDITIONS.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

3. **Project# 1002962**
12DRB-70251 AMENDMENT TO
PRELIMINARY PLAT 

BOHANNAN HUSTON INC agent(s) for RCS-CANTATA RESIDENCES I, LLC request(s) the above action(s) for all or a portion of Tract(s) B, **CANTATA AT THE TRAILS UNIT 2** zoned RD, located on TREE LINE BETWEEN OAKRIDGE AND UNIVERSE containing approximately 17.05 acre(s). (C-9)**DEFERRED TO 8/22/12 AT THE AGENT'S REQUEST.**

4. **Project# 1006006**
12DRB-70246 MINOR -
PRELIMINARY/ FINAL PLAT
APPROVAL 

BOHANNAN HUSTON INC. agent(s) for MESA DEL SOL LLC request(s) the above action(s) for all or a portion of Lot(s) LOTS 19-25 AND TRACT B, Block(s) 1, **MESA DEL SOL MONTAGE Unit(s) 1**, located on ON WITKIN ST SE NEAR UNIVERSITY WEST BLVD AND STIEGLITZ DR. SE containing approximately .58 acre(s). (R-16) **DEFERRED TO 8/29/12 AT THE AGENT'S REQUEST.**

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Project #: 1007099

Application #: 12DRB-70214
12DRB-70243

Project Name: ZUNI Addition

Agent: Consensus Planning & Surv-Tek Inc. Phone #:

Your request was approved on 8-15-12 by the DRB with delegation of signature(s) to the following departments - outstanding comments to be addressed

TRANSPORTATION:

ABCWUA:

CITY ENGINEER / AMAFCA:

PARKS / CIP:

PLANNING (Last to sign): add change not per [signature]

PLATS:

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ALL SITE PLANS:

→ 3 copies of the approved site plan. Include all pages.



#1

DRB PUBLIC HEARING SIGN IN SHEET

Project #: 1007099

Date: 8-1-12

NAME: Ray A. Fasella ADDRESS: 7500 Montgomery Ave ZIP: 87105

NAME: Rick Sales ADDRESS: 7416 Puyallup ZIP: 87110

NAME: MAROLD McCLUTHEOW ADDRESS: 7420 PROSPECT AVE ZIP: 87110

NAME: _____ ADDRESS: _____ ZIP: _____

NAME: _____ ADDRESS: _____ ZIP: _____

NAME: _____ ADDRESS: _____ ZIP: _____

NAME: _____ ADDRESS: _____ ZIP: _____

NAME: _____ ADDRESS: _____ ZIP: _____



DRB PUBLIC HEARING SIGN IN SHEET

#1

Project #: 1007099

Date: 8-1-12

NAME: James Sundemo ADDRESS: 7501 Prospect Ave NE. ZIP: 87110

NAME: Alex Meyer ADDRESS: 7414 Cerh R. ZIP: 87110

NAME: _____ ADDRESS: _____ ZIP: _____

NAME: _____ ADDRESS: _____ ZIP: _____

NAME: _____ ADDRESS: _____ ZIP: _____

NAME: _____ ADDRESS: _____ ZIP: _____

NAME: _____ ADDRESS: _____ ZIP: _____



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

August 2, 2012

Project# 1007099

12DRB-70189 VACATION OF PUBLIC ROADWAY EASEMENT

12DRB-70190 VACATION OF PUBLIC WATERLINE EASEMENT

ISAACSON AND ARFMAN PA agent(s) for SANDIA FOUNDATION request(s) the referenced/ above action(s) to eliminate public access through Tract A, Block(s) 16 & 17, ZUNI ADDITION zoned SU-1 FOR C-2 PERMISSIVE USES W/ RESTRICTIONS, located on MENAUL BLVD NE at PROSPECT AVE NE containing approximately 4.183 acre(s). (H-19)

At the August 1, 2012 Development Review Board (DRB) advertised public hearing, the vacations were approved as shown on Exhibit B in the Planning file per section 14-14-7-2(A)(1) and (B) (2), (3) of the Subdivision Ordinance.

Findings

1. The DRB finds that the application request was submitted by the owner of the majority of the footage of land abutting the proposed vacations in accordance with Section 14-14-7-2(A)(1) of the Subdivision Ordinance,
2. Based on the submission by the applicant, testimony at the hearing, as well as the Findings and Conditions of the Environmental Planning Commission (EPC) for this project under Application No. 12EPC-40005, the DRB finds that there is a net benefit to the public welfare because the development made possible by the vacation and as approved by the EPC is clearly more beneficial to the public welfare than the minor detriment resulting from the vacations, in accordance with Section 14-14-7-2(B)(2) of the Subdivision Ordinance. It was not demonstrated that the creation of a cul de sac for Proppect Avenue is a major detriment to access or public safety as there is still reasonable access for residents and emergency vehicles via Pennsylvania Street.
3. A sign was posted on the subject property advertising the public hearing, property owners of record abutting the proposed vacation were notified of the hearing by first class mail, and recognized Neighborhood Associations in the area were notified by certified mail prior to the filing of the application for vacations in accordance with Section 14-14-7-2(F)(2) of the Subdivision Ordinance. Objections regarding abridgement of property rights which would result from the vacation were presented by some nearby property owners or their representatives at the referenced hearing; however, the applicant presented New Mexico case law (Mauney, 76 NM 36, 411 and Mandell, 44 NM 109, 99) as evidence that the closure of this section would not be an abridgement of substantial property rights, and the DRB so finds in accordance with Section 14-14-7-2(B) (3) of the Subdivision Ordinance.

CONDITIONS:

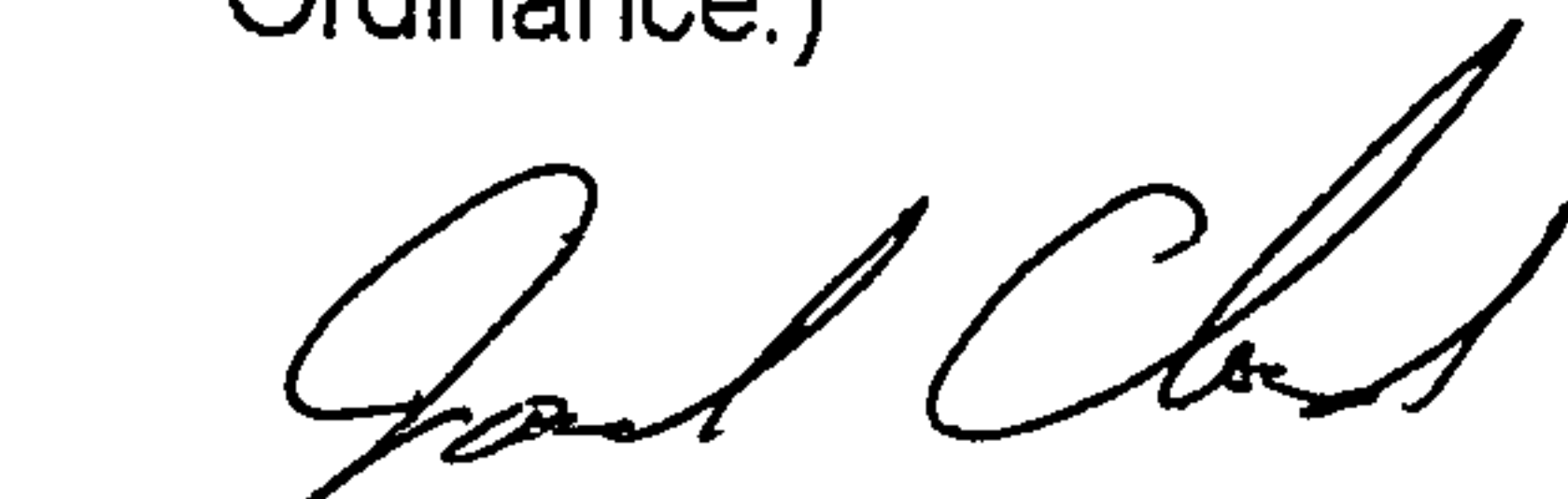
1. Final disposition shall be through the City Real Estate Office.
2. The vacated property shall be shown on a replat approved by the Development Review Board and the approved replat shall be filed for record with the Bernalillo County Clerk's Office within one year.
3. An acceptable Public Drainage Easement shall be provided on the replat.
4. An acceptable Right of Entry shall be provided to ABCWUA for maintenance of existing public water and sewer until new lines are constructed and accepted in the new easement(s).

The request for Site Development Plan for Subdivision sign-off for EPC was Indefinitely Deferred pending application for Preliminary and Final Plat. If you wish to appeal this decision, you must do so by August 16, 2012 in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department Form A, submitted with a fee of \$190.00 to the Planning Department, within 15 days of the Development Review Board's decision.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that the vacation of all plats, rights-of-way, and easements are void after one year from the final appeal date referenced above if all conditions are not met (The effective date of Development Review Board approval is the hearing date plus the 15-day appeal period.) (REF: Chapter 14 Article 14 Part 7-2 (E)(3)(6) Revised Ordinance.)



Jack Cloud, DRB Chair

Cc: Isaacson & Afrman PA
Ray A. Padilla, 7500 Montgomery Blvd NE, Albuquerque NM 87109
Rick Salas, 7416 Prospect Ave NE, Albuquerque NM 87110
Harold McCutcheon, 7420 Prospect Ave NE, Albuquerque NM 87110
James Sundsmo, 7501 Prospect Ave NE, Albuquerque NM 87110
Alex Morgan, 7414 Leah Dr NE, Albuquerque NM 87110
Marilyn Maldonado
File



CITY OF ALBUQUERQUE
 PLANNING DEPARTMENT
 DEVELOPMENT REVIEW BOARD

August 1, 2012

Project# 1007099

12DRB-70189 VACATION OF PUBLIC ROADWAY EASEMENT
 12DRB-70190 VACATION OF PUBLIC WATERLINE EASEMENT

ISAACSON AND ARFMAN PA agent(s) for SANDIA FOUNDATION request(s) the referenced/ above action(s) to eliminate public access through Tract A, Block(s) 16 & 17, **ZUNI ADDITION** zoned SU-1 FOR C-2 PERMISSIVE USES W/ RESTRICTIONS, located on MENAUL BLVD NE at PROSPECT AVE NE containing approximately 4.183 acre(s). (H-19)

<p>AMAFCA No comments</p>
<p>COG No comments provided</p>
<p>TRANSIT Project # 1007099 12DRB-70189 VACATION OF PUBLIC ROADWAY EASEMENT 12DRB-70190 VACATION OF PUBLIC WATERLINE EASEMENT</p> <p>Adjacent and nearby routes Route #8, Menaul route, passes the site on Menaul. Adjacent bus stops Existing bus stop adjacent to the property serving the above mentioned bus route in the eastbound direction is located 210' from NW corner of the property. Site plan requirements The owner was requested during the EPC to place a bus shelter at the existing bus stop mentioned above. Large site TDM suggestions None. Other information None.</p>
<p>ZONING ENFORCEMENT No comments provided</p>
<p>NEIGHBORHOOD COORDINATION Letters sent to: <i>Affected NA/HOA's - Uptown NA List</i> consisting of the following: ABQ-Park NA (R), Alvarado Park NA (R), Classic Uptown NA (R), Inez NA (R), Jerry Cline Park NA (R), Mark Twain NA (R), Quigley Park NA (R), Snow Heights NA (R), Uptown Progress Team, Inc., Winrock South NA (R)</p>
<p>APS Zuni Addition, Tract A, Blocks 16 and 17, is located on Menaul Blvd NE at Prospect Ave NE. The owner of the above property requests a Vacation of Public Roadway Easement and a Vacation of Public Waterline Easement for a development that will consist of 149 single family homes. This will impact Navajo Elementary School, Harrison Middle School, and Atrisco Heritage Academy High</p>

School. Currently, Navajo Elementary School and Harrison Middle School are exceeding capacity, Atrisco Heritage Academy High School has excess capacity.

Loc No	School	2011-12 40th Day	2011-12 Capacity	Space Available
327	Navajo ES	692	680	-12
415	Harrison MS	919	890	-29
576	Atrisco Heritage HS	1602	1794	192

Residential Units: 149

Est. Elementary School Students: 38

Est. Middle School Students: 16

Est. High School Students: 16

Est. Total # of Students from Project: 70

*The estimated number of students from the proposed project is based on an average student generation rate for the entire APS district.

To address overcrowding at schools, APS will explore various alternatives. A combination or all of the following options may be utilized to relieve overcrowded schools.

- Provide new capacity (long term solution)
 - Construct new schools or additions
 - Add portables
 - Use of non-classroom spaces for temporary classrooms
 - Lease facilities
 - Use other public facilities
- Improve facility efficiency (short term solution)
 - Schedule Changes
 - Double sessions
 - Multi-track year-round
 - Other
 - Float teachers (flex schedule)
- Shift students to Schools with Capacity (short term solution)
 - Boundary Adjustments / Busing
 - Grade reconfiguration
- Combination of above strategies

All planned additions to existing educational facilities are contingent upon taxpayer approval.

POLICE DEPARTMENT

This project is in the Northeast Area Command.

- No Crime Prevention or CPTED comments concerning the proposed Vacation of Public Easement or Vacation of Public Right-Of-Way requests at this time.

FIRE DEPARTMENT

Reviewed – No comments.

PNM ELECTRIC & GAS

No comments provided

COMCAST

No comments provided

CENTURLINK No Objection
ENVIRONMENTAL HEALTH No comments provided
M.R.G.C.D No Adverse Comments.
OPEN SPACE DIVISION
CITY ENGINEER Hydrology has no objection. Drainage easement will be required.
TRANSPORTATION DEVELOPMENT
PARKS AND RECREATION Parks and Recreation has no comments.
ABCWUA
PLANNING DEPARTMENT In accordance with the Subdivision Ordinance, the DRB must hold an advertised public hearing and find that the public welfare is in no way served by retaining the easement(s), or that the development made possible is more beneficial than any detriment resulting from the vacation. Additionally, the DRB must find that there is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right. Refer to comments from affected agencies plus any public hearing comments regarding the proposed vacation(s).

IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING

DRB CASE ACTION LOG - BLUE SHEET

12/13
Complete

Preliminary/Final Plat [FP]

Site Plan - Subdivision [SPS]

Site Plan - Building Permit [SBP]

➔ This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

Site Plans: It is the responsibility of the applicant/agent/developer/owner to insert the DRB approved Site Plan for Subdivision and/or Site Plan for Building Permit in each copy of building permit plansets. If the building permit plans have been submitted prior to the Site Plan for Subdivision and/or Site Plan for Building Permit being signed-off, then it is the responsibility of the applicant/agent/developer/owner to insert a copy of the signed-off Site Plan for Subdivision and/or Site Plan for Building Permit in each copy of the building permit plansets.

Project #: 1007099

Application #: 13DRB-70659

Project Name: ZUNI ADDITION

Agent: ISAACSON & ARFMAN

Phone #:

Your request was approved on 8-28-13 by the DRB with delegation of signature(s) to the following departments - outstanding comments to be addressed

TRANSPORTATION:

ABCWUA:

CITY ENGINEER / AMAFCA:

PARKS / CIP:

PLANNING (Last to sign): edit, ability of signatures

PLATS:

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
- Tax printout from the County Assessor.
- County Treasurer's signature must be obtained prior to the recording of the plat with County Clerk.

Property Management's signature must be obtained prior to Planning Department's signature.

AGIS DXF File approval required.

Copy of recorded plat for Planning.

ALL SITE PLANS:

3 copies of the approved site plan. Include all pages.

DRB CASE ACTION LOG - BLUE SHEET

COMPLETED

1-12-15

- Preliminary/Final Plat [FP]
- Site Plan - Subdivision [SPS]
- Site Plan - Building Permit [SBP]

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

Site Plans: It is the responsibility of the applicant/agent/developer/owner to insert the DRB approved Site Plan for Subdivision and/or Site Plan for Building Permit in each copy of building permit plansets. If the building permit plans have been submitted prior to the Site Plan for Subdivision and/or Site Plan for Building Permit being signed-off, then it is the responsibility of the applicant/agent/developer/owner to insert a copy of the signed-off Site Plan for Subdivision and/or Site Plan for Building Permit in each copy of the building permit plansets.

Project #: 1007099 Application #: 13DRB-70784

Project Name: ZUNI ADDN

Agent: CONSENSUS PLANNING Phone #:

Your request was approved on 12-31-13 by the DRB with delegation of signature(s) to the following departments - outstanding comments to be addressed

TRANSPORTATION:

ABCWUA:

CITY ENGINEER / AMAFCA: recorded OK 5/16

PARKS / CIP:

PLANNING (Last to sign): - recorded OK - Land use Agreement - confirmation of Land use expectations

PLATS:

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
- Tax printout from the County Assessor.
- County Treasurer's signature must be obtained prior to the recording of the plat with County Clerk.

- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

ALL SITE PLANS:

3 copies of the approved site plan. Include all pages.

Complete
Site plan
RS

DRB CASE ACTION LOG - BLUE SHEET

- Preliminary/Final Plat [FP]
- Site Plan - Subdivision [SPS]
- Site Plan - Building Permit [SBP]

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

Project #: 1007099

Application #: 12DRB-70214
12DRB-70243

Project Name: ZUNI Addition

Agent: Consensus Planning & Surv-Tek Inc. Phone #:

Your request was approved on 8/5/12 by the DRB with delegation of signature(s) to the following departments - outstanding comments to be addressed

TRANSPORTATION:

ABCWUA:

CITY ENGINEER / AMAFCA:

PARKS / CIP:

PLANNING (Last to sign): add changes note per Hydrology

Signed
8-16-12
RHD

PLATS:

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
- Tax printout from the County Assessor.
- County Treasurer's signature must be obtained prior to the recording of the plat with County Clerk.

- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

ALL SITE PLANS:

3 copies of the approved site plan. Include all pages.

DRB CASE ACTION LOG - BLUE SHEET

- Preliminary/Final Plat [FP]
- Site Plan - Subdivision [SPS]
- Site Plan - Building Permit [SBP]

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

Project #: 1007099 Application #: 12DRB-70214
Project Name: Zuni Addition
Agent: Consensus Planning Phone #:

Your request was approved on 8-21-13 by the DRB with delegation of signature(s) to the following departments - outstanding comments to be addressed

TRANSPORTATION: _____

ABCWUA: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): idw, establish signatures, to record

PLATS:

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
- Tax printout from the County Assessor.
- County Treasurer's signature must be obtained prior to the recording of the plat with County Clerk.

- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

ALL SITE PLANS:

3 copies of the approved site plan. Include all pages.



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z

ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
 - Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Dorman + Breen Architects PHONE: 505.299.5940
 ADDRESS: 13604 Rebonito Ct NE FAX: _____
 CITY: Albuquerque STATE NM ZIP 87112 E-MAIL: larryb@dormanbreen.com

APPLICANT: MAIN BANK PHONE: 505.880.1700
 ADDRESS: 2424 Louisiana Blvd. NE, Suite 100 FAX: 505.880.1777
 CITY: Albuquerque STATE NM ZIP 87110 E-MAIL: rshettlesworth@mainbank.com
 Proprietary interest in site: Owner List all owners: MAIN BANK

DESCRIPTION OF REQUEST: SDPBP - property shall be developed as a bank & mortgage office facility. Bank shall have 2 drive-up banking lanes & 1 drive ATM lane. One building, 2 stories high.

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. A Block: 16 & 17 Unit: _____
 Subdiv/Addn/TBKA: Zuni
 Existing Zoning: SU-1 for C-2 permissive uses Proposed zoning: Same MRGCD Map No _____
 Zone Atlas page(s): H-19-Z UPC Code: _____

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): 1007099 BA-1457, Z-1555, V-540, Z-764

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No
 No. of existing lots: One No. of proposed lots: One Total site area (acres): 1.764ac

LOCATION OF PROPERTY BY STREETS: On or Near: At 7300 Menaul Blvd. NE
 Between: Louisiana Blvd and Pennsylvania St.

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: 8/20/13

SIGNATURE [Signature] DATE 11/4/14
 (Print Name) Mark Baczek, NMRA Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 4/2012

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>14 DRB - 70378</u>	<u>SBP</u>	_____	\$ <u>0</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>CMF</u>	_____	\$ <u>20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
				Total
				\$ <u>20.00</u>

[Signature] 11/5/14
 Staff signature & Date

Hearing date Nov. 12, 2014
 Project # 1007099

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

SKETCH PLAT REVIEW AND COMMENT (DRB22)

Maximum Size: 24" x 36"

- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) **6 copies.**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)

Maximum Size: 24" x 36"

- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of the document delegating approval authority to the DRB
- Completed Site Plan for Subdivision Checklist
- Infrastructure List, if relevant to the site plan
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)

Maximum Size: 24" x 36"

- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. **6 copies.**
- Solid Waste Management Department signature on Site Plan
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of the document delegating approval authority to the DRB
- Infrastructure List, if relevant to the site plan
- Completed Site Plan for Building Permit Checklist
- Copy of Site Plan with Fire Marshal's stamp
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01) **Maximum Size: 24" x 36"**

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02) **Maximum Size: 24" x 36"**

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
- DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Infrastructure List, if relevant to the site plan
- Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)

FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)

- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Solid Waste Management Department signature on Site Plan for Building Permit
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter carefully explaining how each EPC condition has been met **and** a copy of the EPC Notification of Decision
- Infrastructure List, if relevant to the site plan
- Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
- List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Mark Bacrek
Applicant name (print)
[Signature] 11/4/14
Applicant signature / date



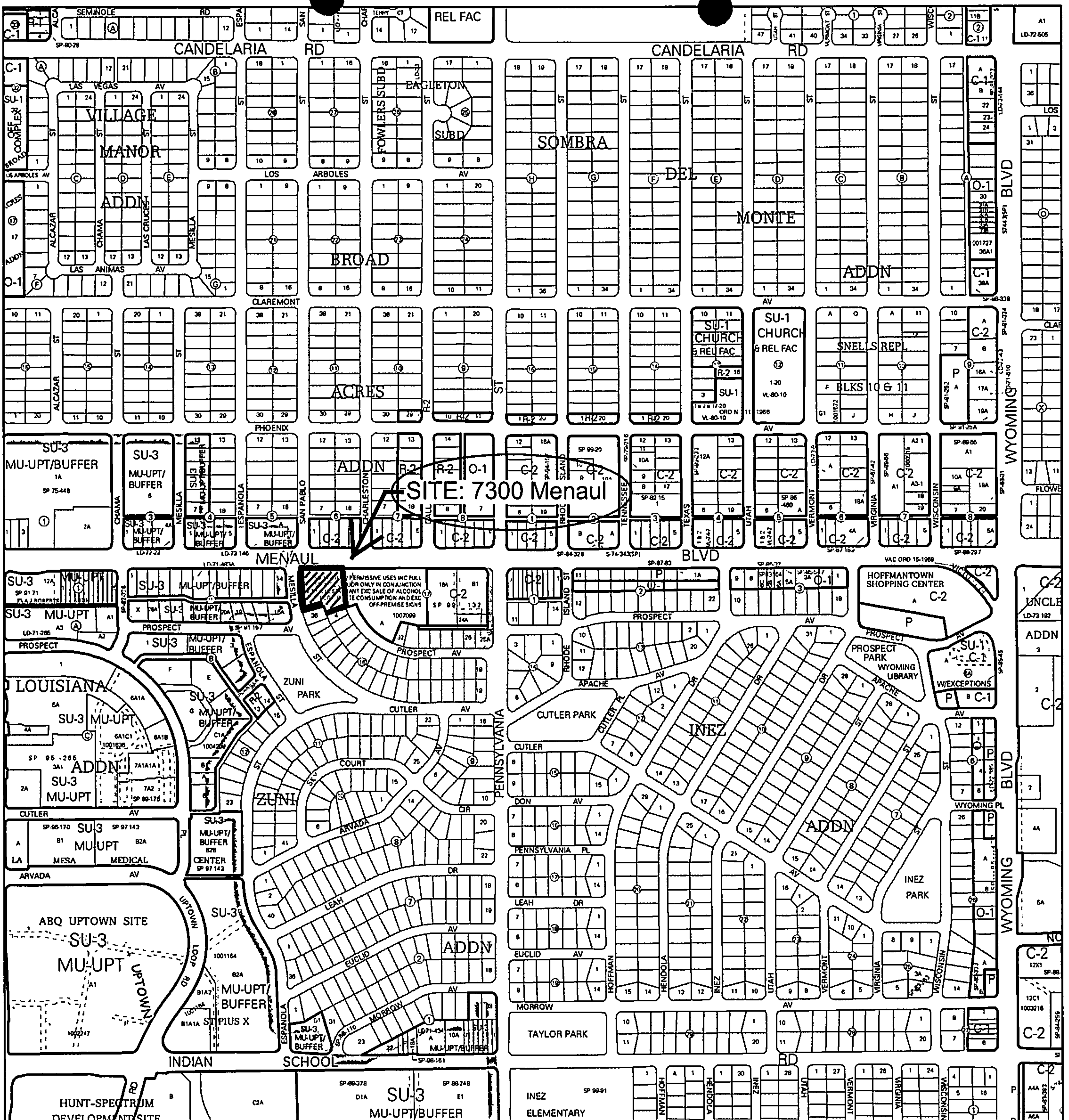
Form revised October 2007

[Signature] 11/5/14
Planner signature / date

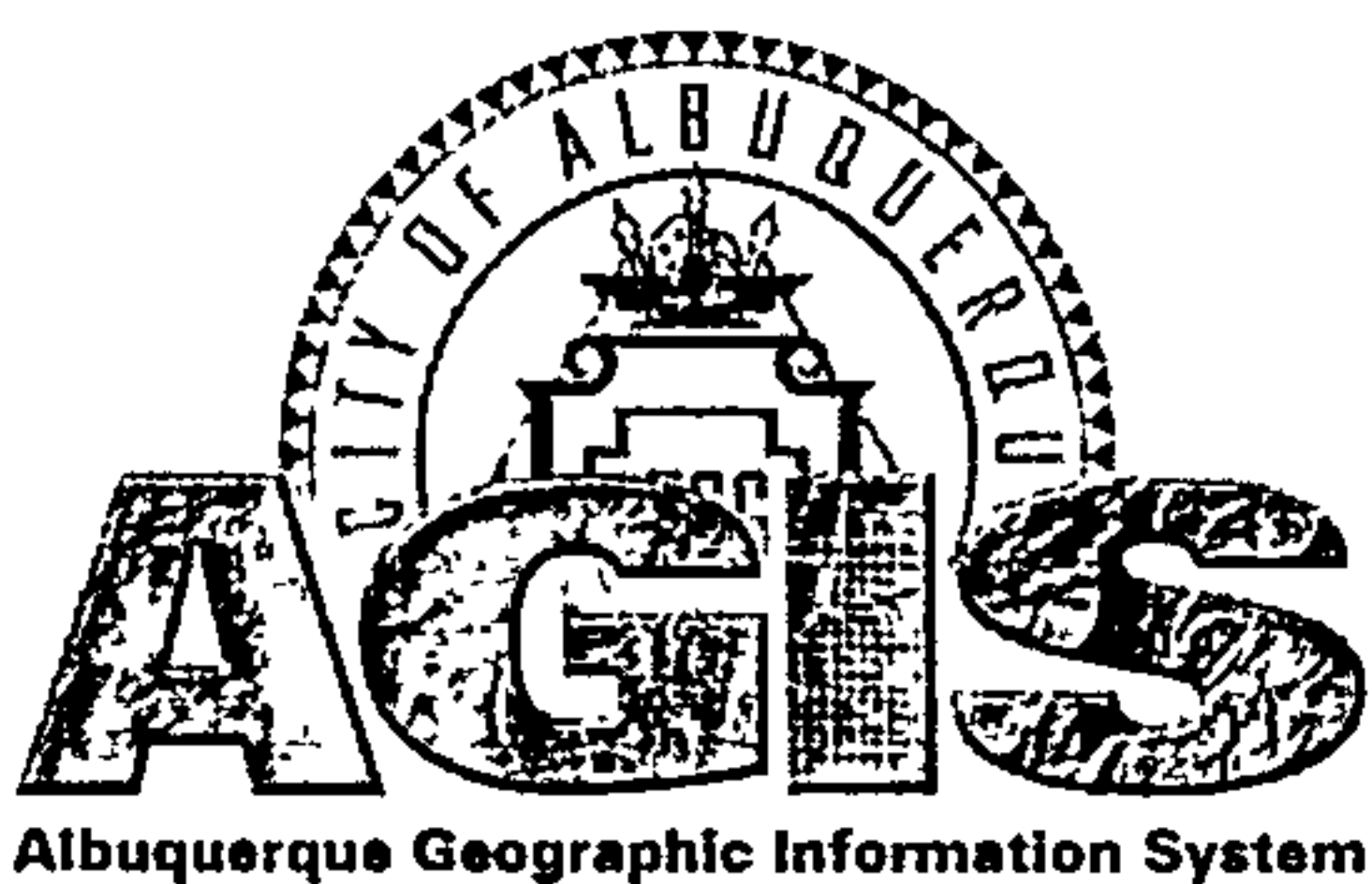
Project # 1007099

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

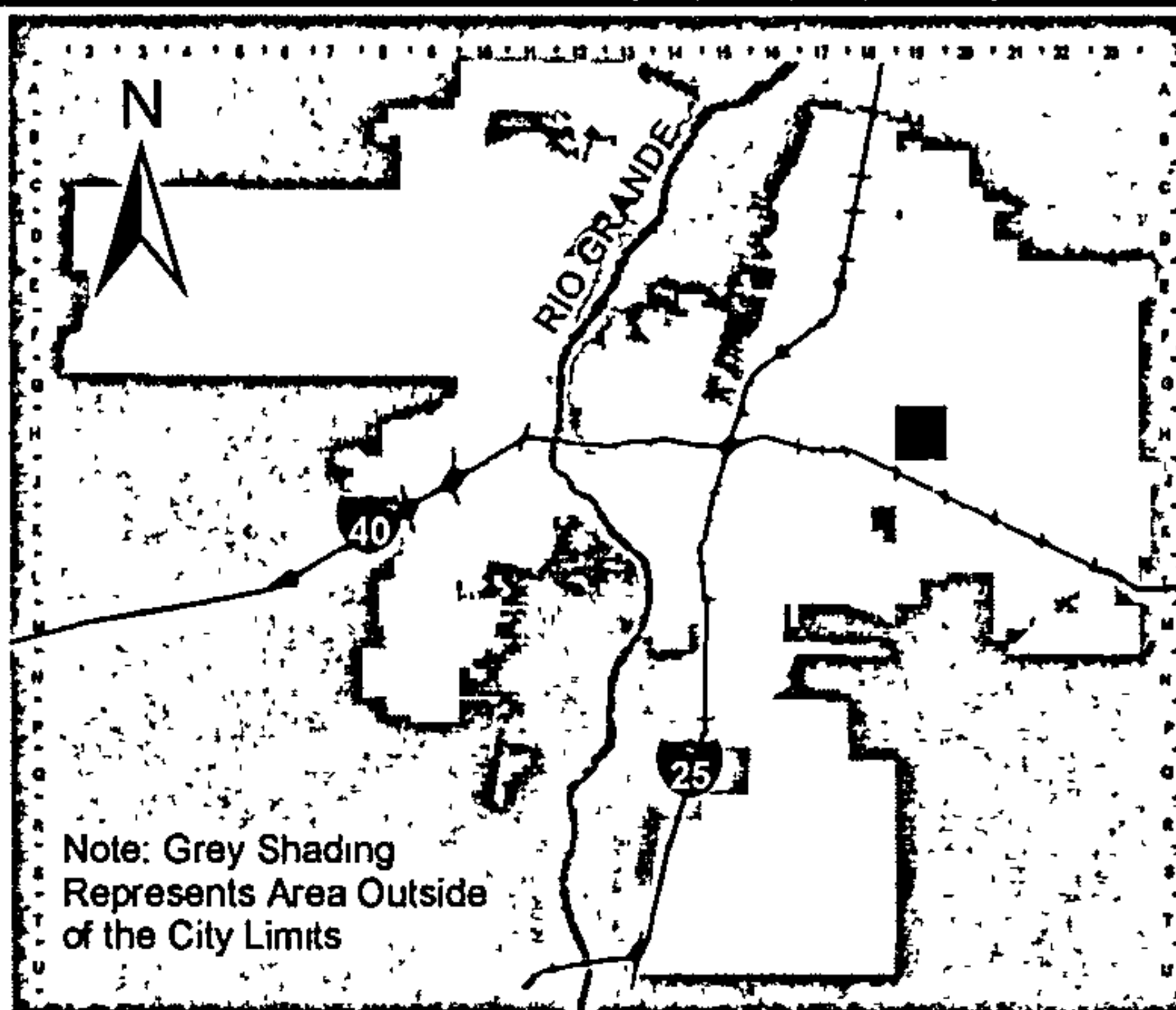
Application case numbers
14DRB-70378-



For more current information and details visit: <http://www.cabq.gov/gis>



Map amended through: 6/7/2013



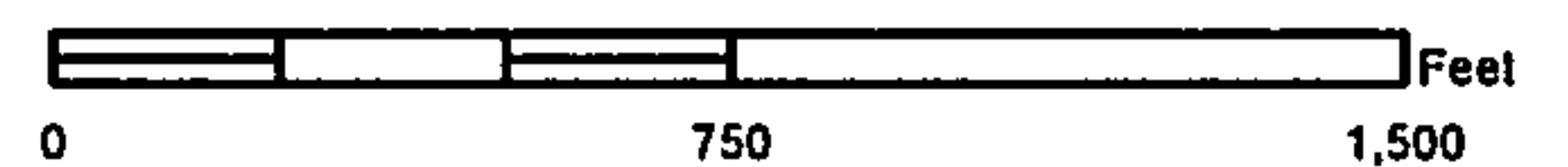
Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:

H-19-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone





1007099

Main Bank

2424 Louisiana Blvd. NE, Suite 100
Albuquerque, NM 87110

The following Changes have been made to the Site Development Plan as per the EPC conditions set forth in the "Official Notification of Decision", Project #1007099, 14EPC-40061 Site Development Plan for Building Permit.

4. Wall/Fences:

Layout Feature

See the added wall layout illustration on the A3-Site Detail sheet featuring wall indents.

Façade Feature

See the added wall façade illustration on the A3-Site Detail sheet featuring an overhanging wall cap .

5. Landscaping:

- A. Additional landscaping (not trees) has been added to the sites NW corner, the buffer along Menaul Blvd. NE, and the refuse enclosure area.
- B. One of the Desert Willows nearest the monument sign was replaced by a minimum of five other plants from the list of shrubs.
- C. Trees in the landscape buffers adjacent to residential uses are spaced to equal 75% the mature canopy of the trees.
- D. Coverage calculations have been revised accordingly.
- E. Dimensions have been added to the landscaping buffer adjacent to residential uses.

Additionally, the parking lot located at the southern edge of the property has been re-configured to accommodate a drainage channel that directs water to the new sewer inlet. No parking spaces or landscape area was lost.

6. Water Harvesting:

Curb notches have been added to each of the parking islands for a total of two per island and one curb notch was added to the sites NW corner.

The Landscape buffer along Masilla Ave. increased in width from 8' to 14' in order to provide additional water harvesting area.

7. Architecture and Seating:

- A. A general note stating that "highly reflective materials are prohibited" was added to both the site plan and elevations.

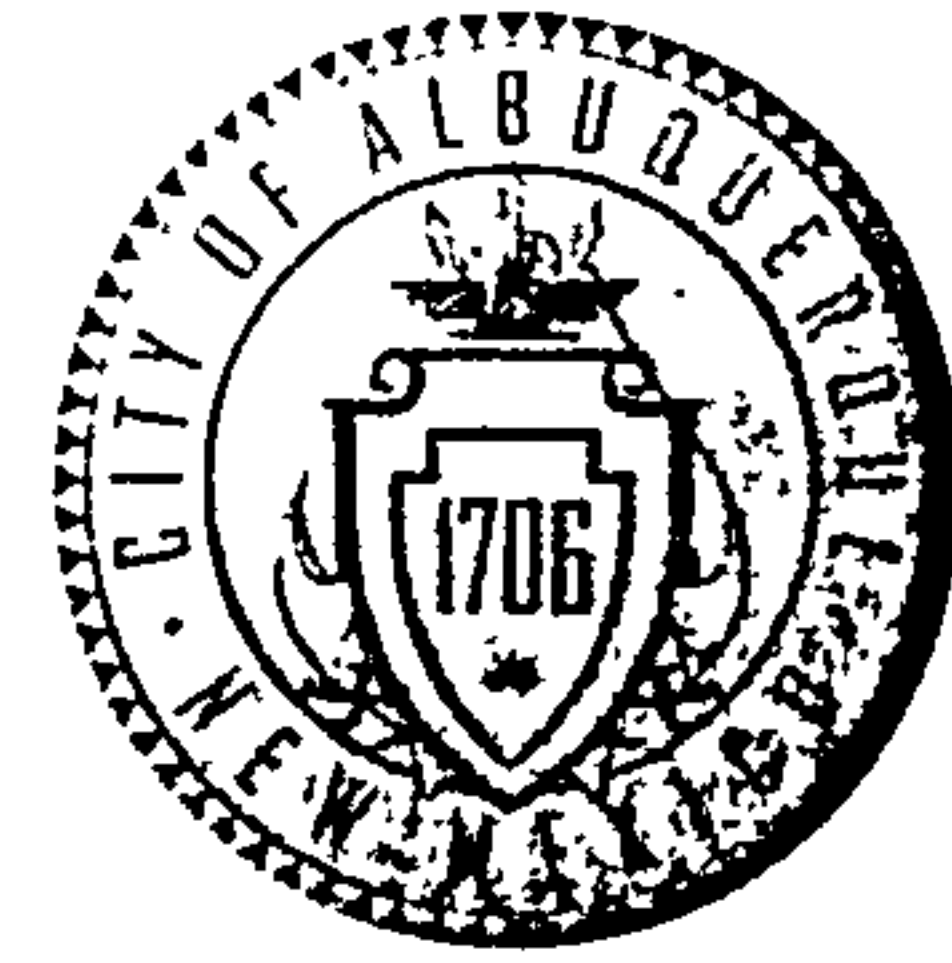
A R C H I T E C T S

P.O. BOX 11608 Albuquerque, NM 87192 Phone: (505)-299-5940
www.dormanbreen.com

- B. A note was added to the building elevations specifying the overhang to be a "metal sunshade, aluminum colored, and clear finish".
 - C. The bench that was provided in the plaza area exceeds the number of seats required. Also, the bench is on the north side of the building and partially under an overhang meeting the shade requirements.
 - D. Seating calculations have been added to the site plan. There is a surplus of bench seating.
8. Lighting:
- A. A standard light pole detail has been added to the site details sheet.
 - B. A note stating that sodium lighting is prohibited was also added to the site details sheet.
9. Signage:
- A. The signage details have been modified to show a sign that does not exceed 50 s.f.
 - B. The signage details have been revised to specify the monument sign case material to be aluminum.
10. Minor and "Clean-Up":
- A. The color of the refuse enclosure and gate is noted on the refuse enclosure detail as "Tan".
 - B. Drainage notes have been removed from the site plan and are on the grading & drainage plan.
 - C. Curb notches have been revised and show up on both the G&D and Landscaping plans.
11. City Engineering, Municipal Development and NMDOT:
- B. On the site plan a note has been added to the clear sight triangle stating "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area."

Additionally, the double loaded parking spaces have been reduced in length from 20' to 18' in order to increase the landscaping buffer along Mesilla Ave.

CITY OF ALBUQUERQUE



PLANNING DEPARTMENT
URBAN DESIGN & DEVELOPMENT DIVISION
600 2nd Street NW, 3rd Floor, 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3860 Fax (505) 924-3339

OFFICIAL NOTIFICATION OF DECISION

October 9, 2014

Main Bank
2424 Louisiana Blvd. NE, Suite 100
Albuquerque, NM 87110

Project #1007099
14EPC-40061 Site Development Plan for Building Permit

LEGAL DESCRIPTION:

Dorman & Breen Architects, agent for Main Bank, requests the above action for Tract A-1A, plat of Tracts A-1A & A-1B, Blocks 16 & 17, Zuni Addition, zoned "SU-1 for C-2 Permissive Uses including full service liquor only in conjunction with a restaurant, excluding the sale of alcohol for off-site consumption and excluding off-premise signs", located at 7300 Menaul Blvd. NE, between Mesilla St. NE and Pennsylvania St. NE, containing approximately 1.8 acres. (H-19) Staff Planner: Catalina Lehner

PO Box 1293

On October 9, 2014, the Environmental Planning Commission (EPC) voted to APPROVE Project#1007099/14EPC-40061, a Site Development Plan for Building Permit, based on the following Findings and subject to the following Conditions of Approval:

FINDINGS:

NM 87103

1. This is a request for a site development plan for building permit for Tract A-1A and A-1B, Blocks 16 & 17, Zuni Addition, an approximately 1.8 acre site located on the south side of Menaul Boulevard NE, between Mesilla Street NE and Pennsylvania Street NE.
2. The subject site is zoned "SU-1 for C-2 Permissive Uses, including full service liquor only in conjunction with a restaurant, excluding sale of alcohol for off-site consumption and excluding off-premise signs." The request is for a bank, which is a permissive use under the current zoning.
3. The site is located in the Established Urban Area of the Comprehensive Plan and is not located within the boundaries of any sector plan. A site development plan for subdivision with Design Standards applies to the subject site.
4. The Albuquerque Bernalillo County Comprehensive Plan and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
5. The request furthers the following, applicable Comprehensive Plan policies:

www.cabq.gov

- A. Policy II.B.5d- neighborhood/ environmental conditions/resources. The location and development intensity would respect neighborhood values by being as far east as possible on the site, by providing the required landscape buffering and adhering to applicable design standards (which it will with conditions). Neighbors have not expressed any opposition.
 - B. Policy II.B.5e- new growth/urban services/neighborhood integrity. The request would facilitate new growth in an area where full urban services are available. Utilities exist along Menaul Blvd., adjacent to the subject site. Neighborhood integrity would be ensured.
 - C. Policy II.B.5i- employment/service use location. The bank/office building that generally would not adversely affect the nearby residential environment to the south. The required landscape buffer would be provided and lights would be full-cut off. The main entrance is on Menaul Blvd. The proposed building is close to Menaul Blvd. and not the residences, and the design standards are mostly being complied with.
 - D. Policy II.B.5.k-arterial streets/planning/neighborhoods. The request has been designed to minimize the harmful effects of traffic, and the livability and safety of established residential neighborhoods are protected by effective transportation and planning operation. Prospect Avenue has been dead-ended and vacated (or soon to be vacated) to not allow thru-traffic and protect the neighborhood.
 - E. Policy II.B.5l- quality design/new development. The proposed building shows quality features such as variation in material and texture, recesses and a covered walkway. The plaza area and pedestrian entrances from Menaul Blvd. are appropriate to this area, as is the separation of pedestrian and vehicle traffic in this Enhanced Transit Corridor.
6. The request partially furthers the following, applicable Comprehensive Plan Goal and policy:
- A. Economic Development Goal: The request would provide some economic development to the extent that the bank is expanding, and would be located on a commercial corridor and designated transit corridor. Some new employment opportunities may result and may have a range of skills and salary levels that can be considered diversified.
 - B. Policy II.B.5j- commercial development location: The request would provide commercial development in a location already zoned for C-2 commercial uses, though the subject site is not part of a neighborhood oriented center, a larger shopping center and is not a contiguous storefront.
 - C. Policy II.D.4g- Safe and pleasant Pedestrian opportunities: Pedestrian opportunities from Menaul Blvd. are separated from vehicular travel to the rear of the building and to the side of the building. There is no connection from the parking areas or from the neighborhood; the latter was not desired by neighbors.
7. The request partially furthers the following policies found in Section D.4. Community Resource Management- Transportation & Transit of the Comprehensive Plan:

OFFICIAL NOTICE OF DECISION

Project #1007099

October 9, 2014

Page 3 of 7

- A. Policy II.D.4a-Table 11: Menaul Blvd., adjacent to the subject site, is a designated Enhanced Transit Corridor. This type of roadway is designed to improve transit opportunities for residents and businesses and to intensify development of jobs and housing to promote transit use, while ensuring good vehicular movement and accommodating pedestrians and cyclists. The proposed site layout separates pedestrian traffic from Menaul Blvd. from vehicles that enter and exit at the site's southern side, mostly to use the drive-thru lanes. Pedestrian access from the neighborhood is precluded by the site development plan for subdivision requirement for a continuous perimeter wall along the site's southern side, though neighbors could walk down Prospect Ave. and around to access the site.
 - B. Policy II.D.4a-Development Form Standards for Enhanced Transit Corridors: With the exception of FAR, the request meets the Development Form Standards for Enhanced Transit Corridors as shown in Table 11, Policy a. Corridor Policies in an Enhanced Transit Corridor.
8. Property owners within 100-feet of the subject site and the following affected Neighborhood and/or Homeowner Associations were notified of this request: ABQ-Park N.A., Alvarado Park N.A., Classic Uptown N.A., Inez N.A., Jerry Cline Park N.A., Mark Twain N.A., Quigley Park N.A., Snow Heights N.A., Uptown Progress Team, Inc., Winrock South N.A., and the District 7 Coalition of N.As. There is no known neighborhood or other opposition, though a resident who lives nearby has expressed concern to the agent about the building having windows on the second story.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the Staff planner to ensure that all conditions of approval are met.
3. The Site Development Plan shall comply with the General Regulations of the Zoning Code and the applicable design regulations of the site development plan for subdivision.

4. Walls/Fences:

The perimeter wall shall comply with the requirements of §14-16-3-19, Height/Design Regulations for Walls, Fences & Retaining Walls (design standards). A feature regarding layout and a feature regarding façade design shall be added.

5. Landscaping:

- A. Additional landscaping (not trees) shall be added to the site's NW corner, the buffer along Menaul Blvd. NE and the refuse enclosure area.

- B. The desert willow nearest the monument sign shall be replaced with at least 5 plants from the list of shrubs.
- C. Spacing of trees in the landscape buffer adjacent to residential uses shall be equal to 75% the mature canopy of the trees (design standard).
- D. The landscaping coverage calculation shall be revised accordingly.
- E. The landscaping buffer adjacent to residential uses shall be dimensioned.

6. Water Harvesting:

At least one additional curb notch shall be added to the site's NW corner and to each landscape island (except for the LS island that already has two curb notches, design standards).

7. Architecture & Seating:

- A. Add a note stating that highly reflective surfaces are prohibited (design standards).
- B. Specify the material of the overhang on the second story (can't be plastic or vinyl, design standards).
- C. A bench shall be added to the plaza area (§14-16-3-18(C)(3), General Building & Site Design for Non-Residential Uses).
- D. Seating calculation shall be provided.

8. Lighting:

- A. A standard light pole detail showing height, materials, color and finish shall be provided.
- B. A note shall be added stating that sodium lighting is prohibited (design standards).

9. Signage:

- A. The signage detail shall show a sign that does not exceed 50 sf (design standards).
- B. The monument sign case shall material shall be specified and shall not be plastic (design standards).

10. Minor and "Clean-Up":

- A. The color of the refuse enclosure gate shall be specified.
- B. Drainage notes shall be on the Grading & Drainage plan (not the main sheet).
- C. Curb notches shall be shown on both the Landscaping Plan and the Grading & Drainage Plan.

11. Conditions from the City Engineer, Municipal Development and NMDOT:

- A. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan, as required by the Development Review Board (DRB).

OFFICIAL NOTICE OF DECISION

Project #1007099

October 9, 2014

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- B. Please add the following note to the clear sight triangle: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area."

12. Conditions from the Public Service Company of New Mexico (PNM):

- A. An existing overhead electric distribution line is located on the southwest portion of the subject property. The applicant is responsible to abide by any conditions or terms of those easements.
- B. Coordination with PNM is necessary for this project regarding proposed tree species, the height at maturity and tree placement, sign location and height, and lighting height in order to ensure sufficient safety clearances to avoid interference with the existing electric overhead distribution line along the southwest portion of the site. Trees indicated on the Landscape Plan, L-1, Sheet 2, are not a compatible height with the existing overhead electric distribution line. A shorter tree selection is recommended at this location. PNM's landscaping preference is for trees and shrubs to be planted outside the PNM easement; however, if within the easement, trees and shrubs should be planted to minimize effects on electric facility maintenance and repair. New trees planted near PNM facilities should be no taller than 25 feet in height at maturity to avoid conflicts with existing electric infrastructure. Contact:

Mike Moyer, PNM Service Center, 4201 Edith Boulevard NE, Albuquerque, NM 87107
Phone: (505) 241-3697

- C. Ground-mounted equipment screening will be designed to allow for access to utility facilities. All screening and vegetation surrounding ground-mounted transformers and utility pads are to allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance and repair purposes. Refer to the PNM Electric Service Guide at www.pnm.com for specifications.

APPEAL: If you wish to appeal this decision, you must do so within 15 days of the EPC's decision or by **October 24, 2014**. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the 15th day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-4-4 of the Zoning Code. A Non-Refundable filing fee will be calculated at the Land Development Coordination Counter and is required at the time the appeal is filed. It is not possible to appeal EPC Recommendations to City Council; rather, a formal protest of the EPC's Recommendation can be filed within the 15 day period following the EPC's decision.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Successful applicants are reminded that other regulations of the City Zoning Code must be complied with, even after approval of the referenced application(s).

ZONE MAP AMENDMENTS: Pursuant to Zoning Code Section 14-16-4-1(C)(16), a change to

OFFICIAL NOTICE OF DECISION

Project #1007099

October 9, 2014


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the zone map does not become official until the Certification of Zoning (CZ) is sent to the applicant and any other person who requests it. Such certification shall be signed by the Planning Director after appeal possibilities have been concluded and after all requirements prerequisite to this certification are met. If such requirements are not met within six months after the date of final City approval, the approval is void. The Planning Director may extend this time limit up to an additional six months.

SITE DEVELOPMENT PLANS: Pursuant to Zoning Code Section 14-16-3-11(C)(1), if less than one-half of the approved square footage of a site development plan has been built or less than one-half of the site has been developed, the plan for the undeveloped areas shall terminate automatically seven years after adoption or major amendment of the plan: within six months prior to the seven-year deadline, the property owners shall request in writing through the Planning Director that the Planning Commission extend the plan's life an additional five years. Additional design details will be required as a project proceeds through the Development Review Board and through the plan check of Building Permit submittals for construction. Planning staff may consider minor, reasonable changes that are consistent with an approved Site Development Plan so long as they can be shown to be in conformance with the original, approved intent.

DEFERRAL FEES: Pursuant to Zoning Code Section 14-16-4-1(B), deferral at the request of the applicant is subject to a \$110.00 fee per case.

Sincerely,


for Suzanne Lubar
Planning Director

SL/CLL

cc: Dorman + Breen Architects, Attn: Mark Baczek, 13604 Rebonito Ct. NE, Albuquerque, NM 87112
James Sundsmo, ABQ-Park N.A., 7501 Prospect Ave. NE, Albuquerque, NM 87110
Alex Morgan, ABQ-Park N.A., 7414 Leah Dr. NE, Albuquerque, NM 87110
Emily White, Alvarado Park N.A., 5709 Aspen NE, Albuquerque, NM 87110
Billy Cohn, Alvarado Park N.A., PO Box 35704, Albuquerque, NM 87176
David Haughawout, Classic Uptown N.A., 2824 Chama St. NE, Albuquerque, NM 87110
Robert Lah, Classic Uptown N.A., 2901 Mesilla St. NE, Albuquerque, NM 87110
Evelyn B. Feltner, Inez N.A., 2014 Utah St. NE, Albuquerque, NM 87110
Donna Yetter, Inez N.A., 2111 Hoffman Dr. NE, Albuquerque, NM 87110
Cindy Griesmeyer, Jerry Cline Park N.A., 909 San Pablo St., Albuquerque, NM 87110
Ron Goldsmith, Jerry Cline Park N.A., 1216 Alcazar St. NE, Albuquerque, NM 87110
Barbara Lohbeck, Mark Twain N.A., 1402 California NE, Albuquerque, NM 87111
Noreen Bladergroen, Mark Twain N.A., 1201 California NE, Albuquerque, NM 87110
Winnie Schmidt, Quigley Park N.A., 2916 Cuervo Dr. NE, Albuquerque, NM 87110
Danielle Shipley, Quigley Park N.A., 2813 La Veta Dr. NE, Albuquerque, NM 87110
Julie Nielsen, Snow Heights N.A., 8020 Bellamah NE, Albuquerque, NM 87110
Laura Garcia, Snow Heights N.A., 1404 Katie NE, Albuquerque, NM 87110
Ed Anlian, Uptown Progress Team, Inc., 2424 Louisiana Blvd., NE, Ste. 300, Albuquerque, NM 87110

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Project #1007099

October 9, 2014

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Kim Corcoran, Uptown Progress Team, Inc., P.O. Box 93488, Albuquerque, NM 87199
Richard Peterson, Winrock South N.A., 7110 Constitution Ave. NE, Abq, NM 87110
Virginia Kinney, Winrock South N.A., 7110 Constitution Ave. NE, Abq, NM 87110
Bill Hoch, District 7 Coalition of N.As, 813 Calle Del Corte NE, Abq, NM 87110
Lynne Martin, District 7 Coalition of N.As, 1531 Espejo NE, Albuquerque, NM 87112
Antoine Luxon, 7412 Prospect Ave. NE, Albuquerque, NM 87110

Current DRC

Project Number: 762383

FIGURE 12

Date Submitted: December 30, 2013

Date Site Plan Approved: 12-31-13

Date Preliminary Plat Approved:

Date Preliminary Plat Expires:

DRB Project No.: 1007099

DRB Application No.: 12 DRB-70189 &

12 DRB-70190

ORIGINAL

INFRASTRUCTURE LIST

(Rev. 9-20-05)

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Menaul Site: Tract A, Zuni Addition

~~PROPOSED NAME OF PLAT~~

Tract A-1, Zuni Addition

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
		6'- 16'	Reconfigure Medians	Menaul Blvd.	East & West of Chaleston St Intersection	/	/	/	
			Left Turn Lane Extension	Menaul Blvd.	East & West of Chaleston St Intersection	/	/	/	
		8"	Sanitary Sewer	25' Public Utility Esm't	North Term. Prospect	Menaul Blvd.	/	/	/
		8"	Waterine & Fire Hydrants and Stubs	25' Public Utility Esm't	North Term. Prospect	Menaul Blvd.	/	/	/
		13'-2"	Type C Bus Shelter	Menaul Blvd.	East Of Old Prospect Intersection				
		6'	PCC Sidewalk	Menaul Blvd.	Tract A-1B Frontage				
						/	/	/	
						/	/	/	
						/	/	/	

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification			
							Private Inspector	P.E.	City Cnst Engineer	
<input type="text"/>	<input type="text"/>						/	/	/	
<input type="text"/>	<input type="text"/>						/	/	/	
Approval of Creditable Items:							Approval of Creditable Items:			
Impact Fee Administrator Signature							Date	City User Dept. Signature		Date

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

- 1 _____
- 2 _____
- 3 _____

AGENT / OWNER

Fred C. Arfman, PA
NAME (print)

Isaacson & Arfman, P.A.
FIRM

Fred C. Arfman 12-30-13
SIGNATURE - date

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

[Signature] 12-31-13
DRB CHAIR - date

[Signature] 12/31/13
TRANSPORTATION DEVELOPMENT - date

Allen Porter 12/31/13
UTILITY DEVELOPMENT - date

Arthur Chen 12-31-13
CITY ENGINEER - date

Carol S. Dumont 12-31-13
PARKS & GENERAL RECREATION - date

AMAFCA - date

- date

- date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

PROJECT #
1007099

November 12, 2014

SBF

City of Albuquerque Planning Department

DEVELOPMENT AND BUILDING SERVICES

STANDARD APPLICATION, Paper Plans Required

DEVELOPMENT REVIEW BOARD

05/06/2014 Issued By: BLDAVM 236713

Category Code **910**
2014 070 140

Application Number: 14DRB-70140, Amendment To Preliminary Plat

Address:

Location Description: MENAUL BETWEEN MESILLA AND PENNSYLVANIA

Project Number: 1007099

Applicant

SANDIA FOUNDATION
ATTN: BOB GOODMAN
6211 SAN MATEO BLVD. NE, SUITE 100
ALBUQUERQUE NM 87109

Agent / Contact

ISAACSON AND ARFMAN PA
FRED C ARFMAN
128 MONROE ST NE
ALBUQUERQUE NM 87108

Application Fees

APN Fee

Conflict Mgmt Fee \$20.00

DRB Actions \$50.00

TOTAL: \$70.00

City of Albuquerque Treasury
Date: 5/6/2014 Office: ANNEX
Stat ID: WSD000009 Cashier: TRSMAB
Batch: 3619 Trans #: 5
Permit: 2014070140
Receipt Num 00197059
Payment Total: \$70.00
0901 Conflict Mgmt Fee \$20.00
0903 DRB Actions \$50.00
Check Tendered : \$70.00



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
 - Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Isaacson & Arfman, PA PHONE: 268-8828
 ADDRESS: 128 Monroe Street NE FAX: _____
 CITY: Albuquerque STATE NM ZIP 87108 E-MAIL: freda@iacivil.com

APPLICANT: Sandia Foundation (Attn: Bob Goodman) PHONE: 242-2684
 ADDRESS: 6211 San Mateo Blvd. NE, Suite 100 FAX: _____
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: bob@sandiafoundation.org
 Proprietary interest in site: Owner List all owners: _____

DESCRIPTION OF REQUEST: Approval of Amendment to Infrastructure List

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tract A-1 Block: 16 & 17 Unit: _____
 Subdiv/Addn/TBKA: Zuni Addition (tbka Tracts A-1A & A-1B, Blocks 16 & 17, Zuni Addition)
 Existing Zoning: SU-1 for C-2 Permissive Uses Proposed zoning: Same MRGCD Map No NA
 Zone Atlas page(s): H-19 UPC Code: 101905920424831501

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): 08EPC-40021; 08EPC-40022; 12EPC-40005; 08DRB-70413; 08DRB-70414; 08DRB-70492; 11DRB-70111; 12DRB-70189;

CASE INFORMATION: 12DRB-70190; 12DRB-70243; 13DRB-70526; 13DRB-70659

Within city limits? Yes Within 1000FT of a landfill? No
 No. of existing lots: 1 No. of proposed lots: 2 Total site area (acres): 4.1320
 LOCATION OF PROPERTY BY STREETS: On or Near: Menaul Blvd. NE
 Between: Mesilla Street NE and Pennsylvania Street NE

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE Fred C. Arfman DATE 05-05-14
 (Print Name) Fred C. Arfman Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 4/2012

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>14DRB - 70140</u>	<u>AIL</u>	_____	<u>\$ 50.00</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>CMF</u>	_____	<u>\$ 20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
Hearing date <u>May 14, 2014</u>				Total <u>\$ 70.00</u>
Staff signature & Date <u>5-6-14</u>				Project # <u>1007099</u>

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** Your attendance is required.
 - Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - List any original and/or related file numbers on the cover application

- EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08)** Your attendance is required.
 - Preliminary Plat reduced to 8.5" x 11"
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Copy of DRB approved infrastructure list
 - Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
 - List any original and/or related file numbers on the cover application

Extension of preliminary plat approval expires after one year.

- MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12)** Your attendance is required.
 - Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
 - Design elevations & cross sections of perimeter walls **3 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - Copy of recorded SIA
 - Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
 - List any original and/or related file numbers on the cover application
 - DXF file and hard copy of final plat data for AGIS is required.

- MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16)** Your attendance is required.
 - 5 Acres or more: Certificate of No Effect or Approval
 - Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings ensure property owner's and City Surveyor's signatures are on the plat prior to submittal
 - Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
 - Design elevations and cross sections of perimeter walls (11" by 17" maximum) **3 copies**
 - Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
 - Infrastructure list if required (**verify with DRB Engineer**)
 - DXF file and hard copy of final plat data for AGIS is required.


- AMENDMENT TO INFRASTRUCTURE LIST (with minor changes) (DRB03)** Your attendance is required.

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

 - Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - List any original and/or related file numbers on the cover application

Amended preliminary plat approval expires after one year

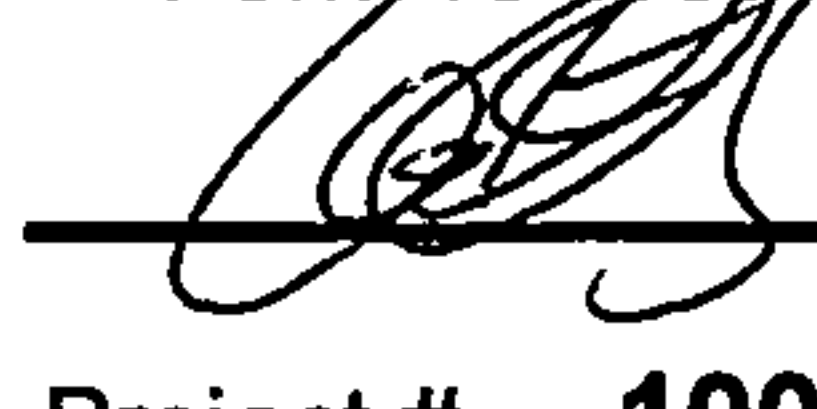
I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Fred C. Arfman
 Applicant name (print)

 Applicant signature / date



Form revised October 2007

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
 14-DRB-70140


 Planner signature / date
 5-6-14
 Project # **1007099**



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Isaacson & Arfman, PA PHONE: 268-8828
 ADDRESS: 128 Monroe Street NE FAX: _____
 CITY: Albuquerque STATE NM ZIP 87108 E-MAIL: freda@iacivil.com

APPLICANT: Sandia Foundation (Attn: Bob Goodman) PHONE: 242-2684
 ADDRESS: 6211 San Mateo Blvd. NE, Suite 100 FAX: _____
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: bob@sandiafoundation.org
 Proprietary interest in site: Owner List all owners: _____

DESCRIPTION OF REQUEST: Approval of Amendment to Infrastructure List

Is the applicant seeking incentives pursuant to the Family Housing Development Program? ___ Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tract A-1 Block: 16 & 17 Unit: _____
 Subdiv/Addn/TBKA: Zuni Addition (tbka Tracts A-1A & A-1B, Blocks 16 & 17, Zuni Addition)
 Existing Zoning: SU-1 for C-2 Permissive Uses Proposed zoning: Same MRGCD Map No NA
 Zone Atlas page(s): H-19 UPC Code: 101905920424831501

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.): 08EPC-40021;
08EPC-40022; 12EPC-40005; 08DRB-70413; 08DRB-70414; 08DRB-70492; 11DRB-70111; 12DRB-70189;

CASE INFORMATION: 12DRB-70190; 12DRB-70243; 13DRB-70526; 13DRB-70659

Within city limits? Yes Within 1000FT of a landfill? No
 No. of existing lots: 1 No. of proposed lots: 2 Total site area (acres): 4.1320

LOCATION OF PROPERTY BY STREETS: On or Near: Menaul Blvd. NE
 Between: Mesilla Street NE and Pennsylvania Street NE

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE Fred C. Arfman DATE 05-05-14
 (Print Name) Fred C. Arfman Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 4/2012

<input checked="" type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>14DRB - 70140</u>	<u>AIL</u>	___	<u>\$50.00</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>CMF</u>	___	<u>\$20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	___	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	___	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	___	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	___	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	___	\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	___	\$ _____
	Hearing date <u>May 14, 2014</u>			Total <u>\$70.00</u>
	<u>5-6-14</u>	Project # <u>1007099</u>		
	Staff signature & Date			

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** Your attendance is required.
 - Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - List any original and/or related file numbers on the cover application

- EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08)** Your attendance is required.
 - Preliminary Plat reduced to 8.5" x 11"
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Copy of DRB approved infrastructure list
 - Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
 - List any original and/or related file numbers on the cover application

Extension of preliminary plat approval expires after one year.

- MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12)** Your attendance is required.
 - Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
 - Design elevations & cross sections of perimeter walls 3 copies
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - Copy of recorded SIA
 - Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
 - List any original and/or related file numbers on the cover application
 - DXF file and hard copy of final plat data for AGIS is required.

- MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16)** Your attendance is required.
 - 5 Acres or more: Certificate of No Effect or Approval
 - Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings ensure property owner's and City Surveyor's signatures are on the plat prior to submittal
 - Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
 - Design elevations and cross sections of perimeter walls (11" by 17" maximum) 3 copies
 - Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
 - Infrastructure list if required (verify with DRB Engineer)
 - DXF file and hard copy of final plat data for AGIS is required.

- AMENDMENT TO INFRASTRUCTURE LIST (with minor changes) (DRB03)** Your attendance is required.

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

 - Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - List any original and/or related file numbers on the cover application

Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Fred C. Arfman
 Applicant name (print)
Fred C. Arfman 05-05-14
 Applicant signature / date

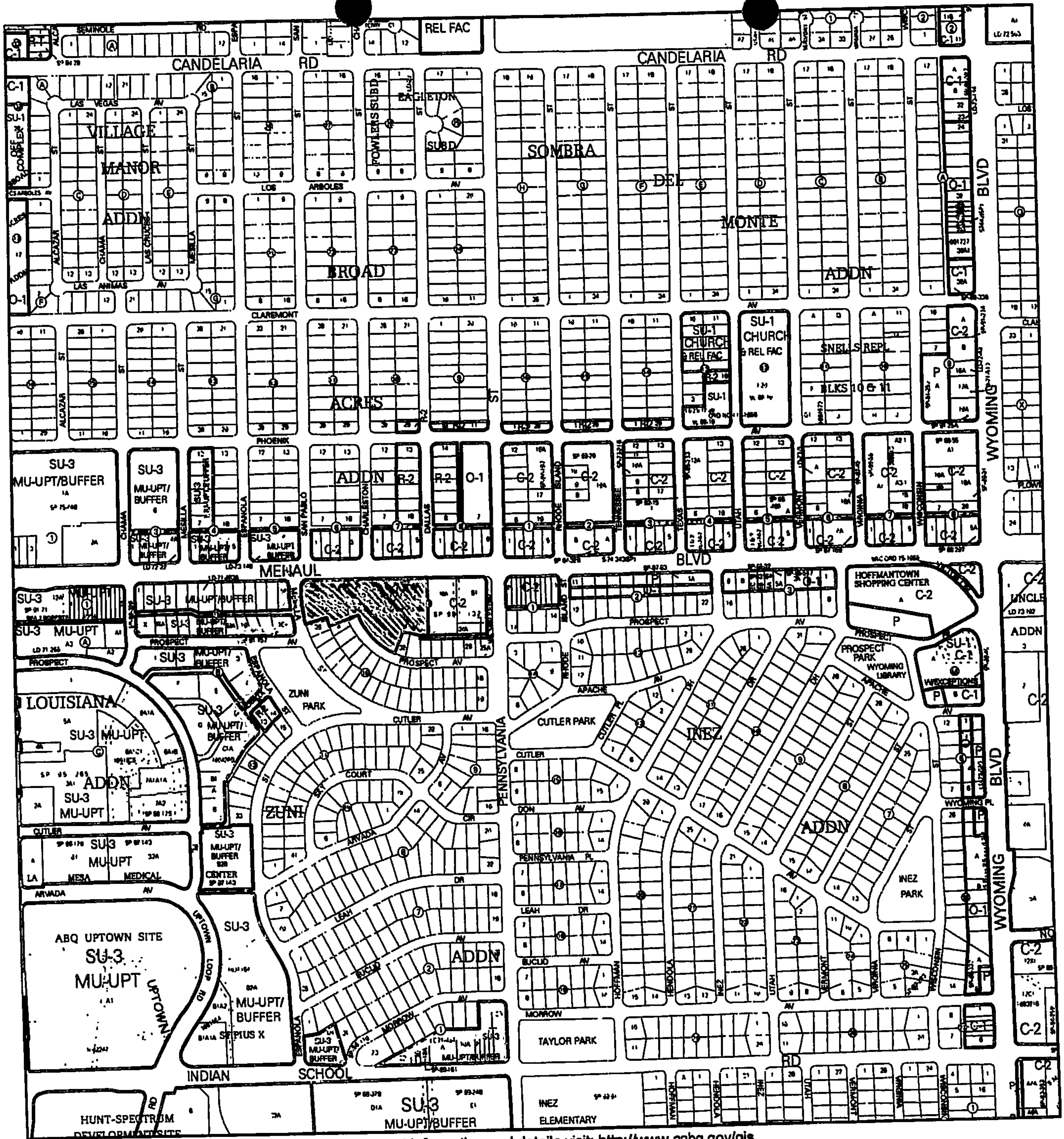


Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
 14-DRB-70140

[Signature] 5-6-14
 Planner signature / date
 Project # 1007099



For more current information and details visit: <http://www.cabq.gov/gis>

Map amended through: 4/2/2012

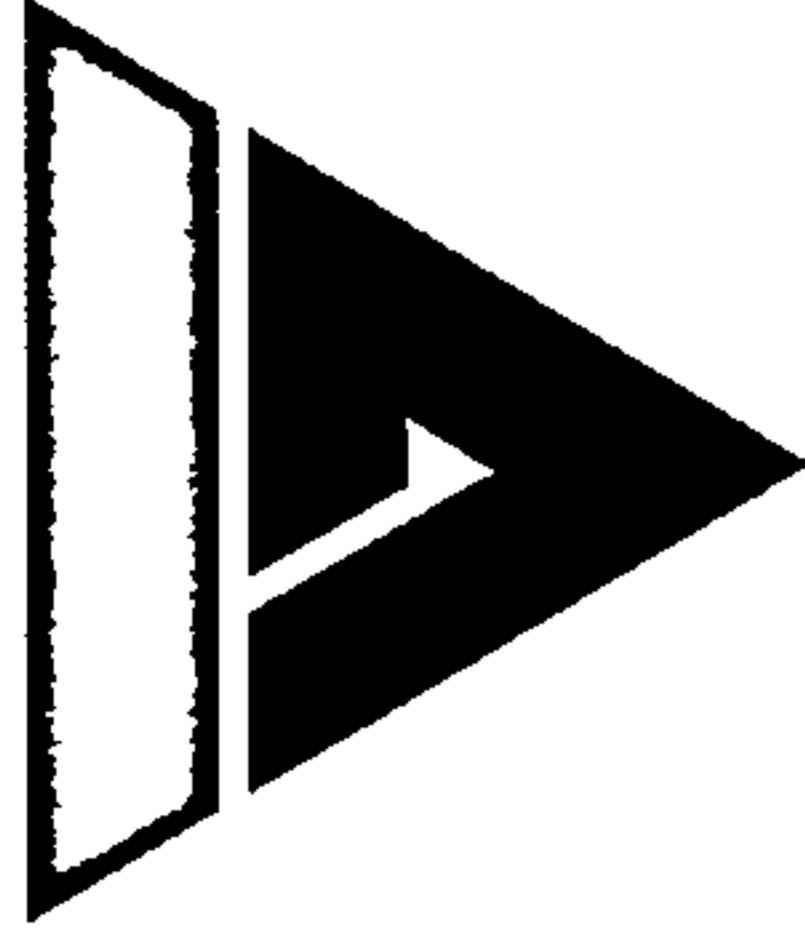
Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
H-19-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet



Isaacson & Arfman, P.A.

Consulting Engineering Associates

*Thomas O. Isaacson, PE (Ret.) & LS (Ret.) * Fred C. Arfman, PE * Åsa Nilsson-Weber, PE*

May 5, 2014

Mr. Jack Cloud, Chairman
Development Review Board
Planning Department
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

RE: Tract A-1-B, Zuni Addition; (H-19)

Dear Mr. Cloud,

Isaacson & Arfman, PA acting as the agent for the Sandia Foundation request that the attached revised Required Infrastructure List be heard at the May 14th DRB Hearing. The identified four (4) infrastructure items have been constructed per COA Project # 1007099 and the Close-Out Package has been submitted to the City Design/Review Section for Final Project Acceptance.

The revised IL has the following two items deleted from the IL approved on Dec. 31, 2013:

- The Type "C" Bus Shelter
- PCC Sidewalk along Menaul Blvd.

The Bus Shelter removal was agreed upon by ABQ Ride as evident by their Letter of Concurrence where they have deferred the placement of the shelter to be included in the site improvements of the US NM federal Credit Union. After completion the shelter will be certified by the engineer of record on the Certification of the Site Plan for Building Permit and submitted and accepted by City Transportation prior to issuance of the Permanent CO. The 6' wide sidewalk along Menaul was agreed to be removed by City Transportation and will be included in the same Certification prepared by the engineer of record.

The removal of these two items allow those future public infrastructure items to be constructed by the new land Owner, US NM FCU and allows for the Sandia Foundation to have their recently complete project accepted by the City and to secure their release of Financial Guarantee.

We are available to answer any questions on this submittal.

Sincerely,
ISAACSON & ARFMAN P.A.


Fred C. Arfman, PE

Current DRC

Project Number: 762383

ORIGINAL

FIGURE 12

INFRASTRUCTURE LIST

(Rev 8-20-05)

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Manaul Site: Tract A, Zuni Addition

Tract A-1, Zuni Addition

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Date Submitted: December 30, 2013
Date Site Plan Approved: 12-31-13
Date Preliminary Plat Approved:
Date Preliminary Plat Expires:
DRB Project No. 1007099
DRB Application No.: 12 DRB-70189 &
12 DRB-70190

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively in addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City

Financially Guaranteed	Constructed Under	Size	Type of Improvement	Location	From	To	Construction Certification		
							Inspector	Private P.E.	City Cnst Engineer
<input type="checkbox"/>	762381	6'-16'	Reconfigure Medians	Manaul Blvd.	East & West of Chaleston St Intersection		1	7A 04/25	1
<input type="checkbox"/>	762381		Left Turn Lane Extension	Manaul Blvd.	East & West of Chaleston St Intersection		1	7A 04/25	1
<input type="checkbox"/>	762381	8"	Sanitary Sewer	25' Public Utility Esm't	North Term. Prospect	Manaul Blvd.	1	7A 04/25	1
<input type="checkbox"/>	762381	8"	Waterne & Fire Hydrants and Stubs	25' Public Utility Esm't	North Term. Prospect	Manaul Blvd.	1	7A 04/25	1
<input type="checkbox"/>		13'-2"	Type C Bus Shelter	Manaul Blvd.	East Of Old Prospect Intersection		1	1	1
<input type="checkbox"/>		6'	FCC Sidewalk	Manaul Blvd.	Tract A-1B Frontage		1	1	1
<input type="checkbox"/>							1	1	1
<input type="checkbox"/>							1	1	1
<input type="checkbox"/>							1	1	1

7A (04-25-14): ENGR'S MARKUP IN RED PAGE 1 OF 2

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification			
							Inspector	Private P.E.	City Cnst Engineer	
<input type="text"/>	<input type="text"/>						/	/	/	
<input type="text"/>	<input type="text"/>						/	/	/	
Approval of Creditable Items:							Approval of Creditable Items:			
Impact Fee Administrator Signature							Date	City User Dept. Signature		Date

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOBR is approved by FEMA.
Street lights per City requirements.

1

2

3

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

AGENT / OWNER

Fred C. Arfman, PA
NAME (print)

Isaacson & Arfman, P.A.
FIRM

Fred C. Arfman 12-30-13
SIGNATURE - date

[Signature] 12-21-13
DRB CHAIR - date

[Signature] 12/31/13
TRANSPORTATION DEVELOPMENT - date

Allen Porter 12/31/13
UTILITY DEVELOPMENT - date

Carla e Chen 12-31-13
CITY ENGINEER - date

Carl S. Dumont 12-31-13
PARKS & GENERAL RECREATION - date

ARRAFCA - date

- date

- date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT OWNER

City of Albuquerque Planning Department

DEVELOPMENT AND BUILDING SERVICES

STANDARD APPLICATION, Paper Plans Required

DEVELOPMENT REVIEW BOARD

12/10/2013 Issued By: E08375 218738

Category Code **910**
2013 070 784

Application Number: 13DRB-70784, Epc Approved Sdp For Build Permit

Address:

Location Description: MENAUL BLVD NE BETWEEN MESILLA ST AND PENNSYLVANIA ST

Project Number: 1007099

Applicant

US NEW MEXICO FEDERAL CREDIT UNION

PO BOX 129
ALBUQUERQUE NM 87103
342-8833

Agent / Contact

CONSENSUS PLANNING

JAMES STROZIER

302 8TH ST NW

ALBUQUERQUE NM 87102

CP@CONSENSUSPLANNING

Application Fees

APN Fee

Conflict Mgmt Fee **\$20.00**

DRB Actions

TOTAL: \$20.00

City of Albuquerque Treasury
Date: 12/10/2013 Office: AMHEX
Stat ID: W50000007 Cashier: TRSDLF
Batch: 2954 Trans #: 14
Permit: 2013070784
Receipt Num 00166507
Payment Total: \$20.00
0901 Conflict Mgmt. Fee
Check Tendered : \$20.00

May 14. 2014

ATL

City of Albuquerque Planning Department

DEVELOPMENT AND BUILDING SERVICES

STANDARD APPLICATION, Paper Plans Required

DEVELOPMENT REVIEW BOARD

12/10/2013 Issued By: E08375 218738

Category Code **910**
2013 070 784

Application Number: 13DRB-70784, Epc Approved Sdp For Build Permit

Address:

Location Description: MENAUL BLVD NE BETWEEN MESILLA ST AND PENNSYLVANIA ST

Project Number: 1007099

Applicant
US NEW MEXICO FEDERAL CREDIT UNION

PO BOX 129
ALBUQUERQUE NM 87103
342-8833

Agent / Contact
CONSENSUS PLANNING
JAMES STROZIER
302 8TH ST NW
ALBUQUERQUE NM 87102

CP@CONSENSUSPLANNING

Application Fees

APN Fee

Conflict Mgmt Fee \$20.00

DRB Actions

TOTAL: \$20.00

City of Albuquerque Treasury
Date: 12/10/2013 Office: ANMEX
Stat ID: WS000007 Cashier: TRSDLF
Batch: 2954 Trans #: 14
Permit: 2013070784
Receipt Num 00166507
Payment Total: \$20.00
0901 Conflict Mgmt. Fee
Check Tendered : \$20.00



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision *final sign off*
- for Building Permit *final sign off*
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
 - Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Consensus planning PHONE: 505.714.9801
 ADDRESS: 302 8th St. NW FAX: 505.842.5495
 CITY: Albuquerque STATE NM ZIP 87102 E-MAIL: fishman@consensusplanning.com

APPLICANT: U.S. New Mexico Federal Credit Union PHONE: 505.342.8833
 ADDRESS: PO Box 129 FAX: _____
 CITY: Albuquerque STATE NM ZIP 87103 E-MAIL: avarela@USNMFCU.org
 Proprietary interest in site: Contract purchaser List all owners: Sandia Foundation

DESCRIPTION OF REQUEST: DRB Submittal for Site Plan for Building Permit

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. A1A & A1B Block: 110 & 17 Unit: _____
 Subdiv/Addn/TBKA: Zuni Addition
 Existing Zoning: SU-1 for C2 permissive use Proposed zoning: N/A MRGCD Map No _____
 Zone Atlas page(s): H19 UPC Code: 101905920424831501

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): 1007099

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO
 No. of existing lots: 1 No. of proposed lots: 1 Total site area (acres): 2.37 Acres
 LOCATION OF PROPERTY BY STREETS: On or Near: Menaul Blvd. NE
 Between: Mesilla St. and Pennsylvania St.

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE Jacqueline Fishman DATE 12/10/13
 (Print Name) JACQUELINE FISHMAN Applicant: Agent:

FOR OFFICIAL USE ONLY

	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> INTERNAL ROUTING				
<input checked="" type="checkbox"/> All checklists are complete	<u>13DRB 70784</u>	<u>SBP</u>		<u>\$ 0</u>
<input checked="" type="checkbox"/> All fees have been collected		<u>CMF</u>		<u>\$ 20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned				\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent				\$ _____
<input checked="" type="checkbox"/> Case history #s are listed				\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill				\$ _____
<input type="checkbox"/> F.H.D.P. density bonus				\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate				\$ _____
				Total
				<u>\$ 20.00</u>

Hearing date December 18, 2013

Rafael 12-10-13
 Staff signature & Date

Project # 1007099

Revised: 4/2012

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** **Maximum Size: 24" x 36"**
 - Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) **6 copies.**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)** **Maximum Size: 24" x 36"**
 - 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Completed Site Plan for Subdivision Checklist
 - Infrastructure List, if relevant to the site plan
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)** **Maximum Size: 24" x 36"**
 - 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. **6 copies.**
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist
 - Copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01)** **Maximum Size: 24" x 36"**
- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02)** **Maximum Size: 24" x 36"**
 - Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)**
- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)**
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Solid Waste Management Department signature on Site Plan for Building Permit
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter carefully explaining how each EPC condition has been met **and** a copy of the EPC Notification of Decision
 - Infrastructure List, if relevant to the site plan
 - Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Jacqueline Fishman
 Applicant name (print)
Resti DeShane for Jackie Fishman
 Applicant signature / date



Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
13DRB-70784

Yes 12-10-13
 Planner signature / date
 Project # 1007099



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision *final sign off*
- for Building Permit *final sign off*
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
 - Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Consensus planning PHONE: 505.714.9801
 ADDRESS: 302 8th St. NW FAX: 505.842.5495
 CITY: Albuquerque STATE NM ZIP 87102 E-MAIL: fishman@consensusplanning.com

APPLICANT: U.S. New Mexico Federal Credit Union PHONE: 505.342.8833
 ADDRESS: PO Box 129 FAX: _____
 CITY: Albuquerque STATE NM ZIP 87103 E-MAIL: avarela@USNMFCU.org
 Proprietary interest in site: Contract purchaser List all owners: Sandia Foundation

DESCRIPTION OF REQUEST: DRB Submittal for Site Plan for Building Permit

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. A1A & A1B Block: 110 & 17 Unit: _____
 Subdiv/Addn/TBKA: Zuni Addition
 Existing Zoning: SU-1 for C2 permissive uses Proposed zoning: N/A MRGCD Map No _____
 Zone Atlas page(s): H19 UPC Code: 1019059204248.31501

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): 1007099

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO
 No. of existing lots: 1 No. of proposed lots: 1 Total site area (acres): 2.37 Acres
 LOCATION OF PROPERTY BY STREETS: On or Near: Menaul Blvd. NE
 Between: Mesilla St. and Pennsylvania St.

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE Jacqueline Fishman DATE 12/10/13
 (Print Name) JACQUELINE FISHMAN Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 4/2012

	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> INTERNAL ROUTING				
<input checked="" type="checkbox"/> All checklists are complete	<u>13DRB -70784</u>	<u>SBP</u>		<u>\$ 0</u>
<input checked="" type="checkbox"/> All fees have been collected		<u>CMF</u>		<u>\$ 20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned				\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent				\$ _____
<input checked="" type="checkbox"/> Case history #s are listed				\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill				\$ _____
<input type="checkbox"/> F.H.D.P. density bonus				Total
<input type="checkbox"/> F.H.D.P. fee rebate				<u>\$ 20.00</u>

Hearing date December 18, 2013

[Signature] 12-10-13
 Staff signature & Date

Project # 1007099

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** Maximum Size: 24" x 36"
 ___ Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
 ___ Zone Atlas map with the entire property(ies) clearly outlined
 ___ Letter briefly describing, explaining, and justifying the request
 ___ List any original and/or related file numbers on the cover application
 Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)** Maximum Size: 24" x 36"
 ___ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 ___ Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
 ___ Zone Atlas map with the entire property(ies) clearly outlined
 ___ Letter briefly describing, explaining, and justifying the request
 ___ Letter of authorization from the property owner if application is submitted by an agent
 ___ Copy of the document delegating approval authority to the DRB
 ___ Completed Site Plan for Subdivision Checklist
 ___ Infrastructure List, if relevant to the site plan
 ___ Fee (see schedule)
 ___ List any original and/or related file numbers on the cover application
 Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)** Maximum Size: 24" x 36"
 ___ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 ___ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
 ___ Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
 ___ Solid Waste Management Department signature on Site Plan
 ___ Zone Atlas map with the entire property(ies) clearly outlined
 ___ Letter briefly describing, explaining, and justifying the request
 ___ Letter of authorization from the property owner if application is submitted by an agent
 ___ Copy of the document delegating approval authority to the DRB
 ___ Infrastructure List, if relevant to the site plan
 ___ Completed Site Plan for Building Permit Checklist
 ___ Copy of Site Plan with Fire Marshal's stamp
 ___ Fee (see schedule)
 ___ List any original and/or related file numbers on the cover application
 Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01)** Maximum Size: 24" x 36"
 AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02) Maximum Size: 24" x 36"
 ___ Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
 ___ DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) 6 copies
 ___ Zone Atlas map with the entire property(ies) clearly outlined
 ___ Letter briefly describing, explaining, and justifying the request
 ___ Letter of authorization from the property owner if application is submitted by an agent
 ___ Infrastructure List, if relevant to the site plan
 ___ Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 ___ Fee (see schedule)
 ___ List any original and/or related file numbers on the cover application
 Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)**
 FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)
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 List any original and/or related file numbers on the cover application
 Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Jacqueline Fishman
 Applicant name (print)
Justine Fishman for Jacqueline Fishman
 Applicant signature / date



Form revised October 2007
Yes 12-10-13
 Planner signature / date
 Project # 1007099

- Checklists complete
 Fees collected
 Case #s assigned
 Related #s listed
- Application case numbers
13DRB-70784



Landscape Architecture
Urban Design
Planning Services

302 Eighth St. NW
Albuquerque, NM 87102

(505) 764-9801
Fax 842-5495
cp@consensusplanning.com
www.consensusplanning.com

December 10, 2013

Jack Cloud, Chairman
Development Review Board
City of Albuquerque
600 Second Street NW
Albuquerque, NM 87102

RE: Project 1007099 (US New Mexico Federal Credit Union)

Dear Mr. Chairman:

The purpose of this letter is to explain how we have addressed the Environmental Planning Commission's (EPC) conditions of approval for 1007099, a Site Development Plan for Building Permit, which was approved on November 14, 2013.

CONDITIONS OF APPROVAL

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

This letter satisfies the requirement.

2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.

The applicant met with the staff planner on December 5, 2013. She agreed that the conditions have been satisfied.

3. The Site Development Plan shall comply with the General Regulations of the Zoning Code and all other applicable design regulations, except as specifically approved and noted by the EPC.

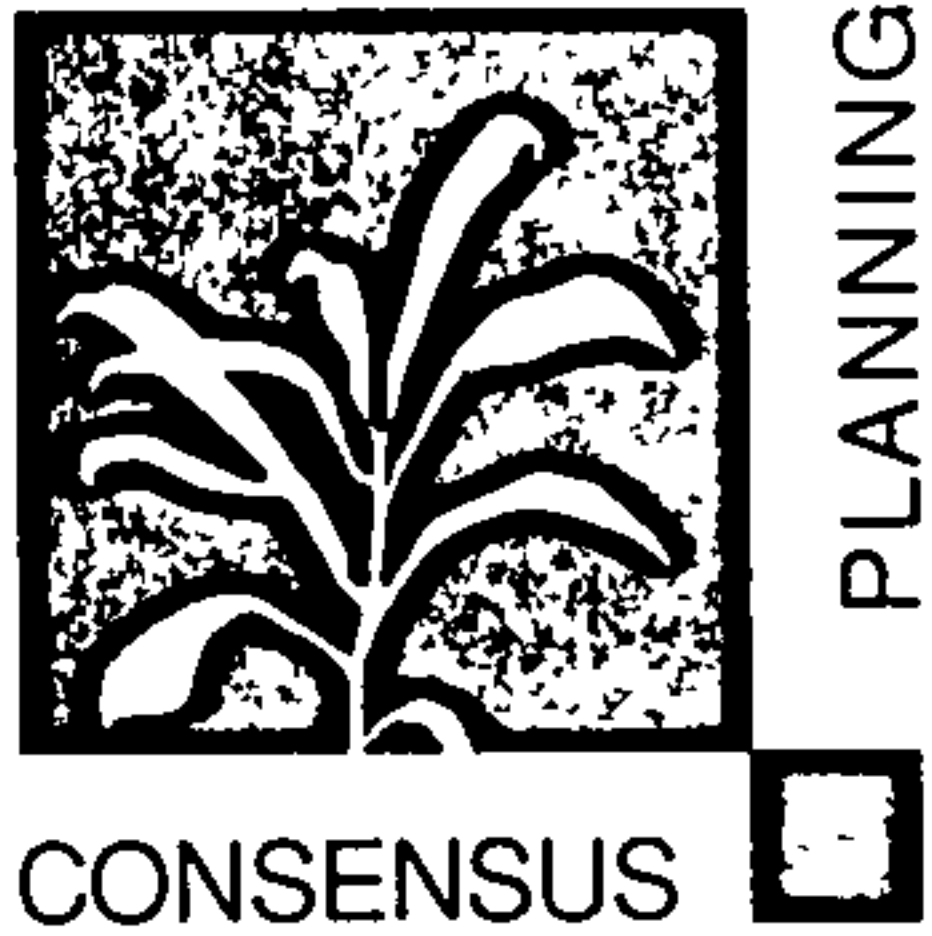
The site development plan complies with the Zoning Code and all applicable design regulations except as noted in these Conditions of Approval.

PRINCIPALS

Karen R. Marcotte, AICP
James K. Strozier, AICP
Christopher J. Green, ASLA

ASSOCIATES

Jacqueline Fishman, AICP



4. Walls/Fences:

- a. The perimeter wall shall meet the layout requirement to break up the massing of the perimeter wall by indentations, curvilinear alignments, vertical pilasters, decorative features such as columns, or terracing of walls, S14-16-3-19(C)(2)(a)(1).

The site plan has been revised to include 32" indentions along Prospect Avenue, in compliance with this condition and the City's Wall Regulations.

- b. Prior to submitting the Site Plan for Building Permit for final sign-off to the DRB, the applicant shall administratively amend the Menaul Site – Tract A, Zuni Addition Site Plan for Subdivision Design Standards to modify the language contained in the 11th bullet under section 1. Site Design, General as follows: "A six foot wall shall be located along Prospect Avenue, where the property faces residential development. The design of the wall shall comply with Section 14-16-3-19 of the Comprehensive Zoning Code. The design of the wall shall meet Section 14-16-3-10 General Height and Design Regulations for Wall, Fences, and Retaining Walls."

This condition has been met. An Administrative Amendment application (13AA10287), modifying the language as specified above, was submitted on November 27, 2013.

5. Landscaping:

- a. The net lot area calculations shall be revised to remove the credit for vehicle overhang area.

This change has been made to the landscape calculations.

- b. 10,180 SF of ground-cover is required, and 10,081 SF is provided. This deficiency shall be remedied through provision of 5-6 additional shrubs.

This deficiency has been remedied. The live vegetative cover is now 11,042 square feet.

- c. The wall can be moved closer to the Prospect Ave. sidewalk and the area between the sidewalk and the wall shall be surfaced with gravel. The groundcover shall be relocated to the north side of the wall. Existing trees shall be preserved.

The existing healthy trees will be preserved, and the groundcover has been relocated to the north side of the wall and dispersed through the southern portion of the site.



6. Conditions of Approval from the City Engineer:

- a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan, as required by the Development Review Board (DRB).

We agree to this condition.

- b. All requirements of previous action taken by the EPC and/or the DRB must be completed and/or provided for.

We agree to this condition.

- c. Site plan shall comply and be in accordance with all applicable City of Albuquerque requirements, including the Development Process Manual and current ADA criteria.

The site plan meets this condition.

- d. The throat depth of the site does not meet minimum criteria. A variance must be requested at DRB.

The site plan has been adjusted to allow for a fifty foot throat depth as required by the DPM.

7. The applicant shall coordinate with the Transit Department on the installation of a Type C bus shelter.

We agree to this condition.

Please do not hesitate to contact me at 764-9801 with any questions or additional information you may need.

Sincerely,

Jacqueline Fishman, AICP
Principal

CITY OF ALBUQUERQUE



PLANNING DEPARTMENT
URBAN DESIGN & DEVELOPMENT DIVISION
600 2nd Street NW, 3rd Floor, 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3860 Fax (505) 924-3339

OFFICIAL NOTIFICATION OF DECISION

November 14, 2013

US New Mexico Federal Credit Union
PO Box 129
Albuquerque, NM 87103

Project# 1007099
13ECP-40144 Site Development – Bldg. Prmt

LEGAL DESCRIPTION:

For all or a portion of Lots A-1A & A-1B, Blocks 16 & 17, Zuni Addition. The site is located on Menaul between Mesilla and Pennsylvania and contains approximately 2.37 acres.

Staff Planner: Carrie Barkhurst

PO Box 1293

Albuquerque

On November 14, 2013, the Environmental Planning Commission (EPC), voted to APPROVE Project 1007099, 13ECP-40144, a request for a Site Development Plan for Building Permit, based on the following Findings and Conditions:

FINDINGS:

New Mexico 87103

www.cabq.gov

1. This is a request for a site development plan for building permit for Tract A-1A and A-1B, Blocks 16 & 17, Zuni Addition, a site of approximately 2.37 acres and located on the south side of Menaul Boulevard, between Mesilla Street and Pennsylvania Street.
2. The subject site is zoned SU-1 for C-2 Permissive Uses, including full service liquor only in conjunction with a restaurant, excluding sale of alcohol for off-site consumption and excluding off-premise signs. The request is for a credit union bank, which is a permissive use under the current zoning.
3. The site is located in the Established Urban Area of the Comprehensive Plan and is not located within any Sector or Area Plans. A site development plan for subdivision, with Design Standards, applies to the subject site.

OFFICIAL NOTICE OF DECISION

Project #1007099

November 14, 2013

Page 2 of 6

4. The Albuquerque/Bernalillo County Comprehensive Plan and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
5. The request is consistent with the following applicable policies of the Comprehensive Plan:
 - a. Policy II.B.5d – The request provides a development plan for a property that has been vacant for several years. Vacant sites tend to attract weeds, litter, loitering, and crime. Eliminating blight and preventing deterioration of property values in the area will help to improve the neighborhood character. The request respects existing neighborhood values by complying with the approved Design Standards, which were written to protect the neighborhood. The site has been designed to minimize possible negative effects through high-quality architectural design and landscaping, as well as appropriate lighting, pedestrian circulation, traffic circulation, and signage.
 - b. Policy II.B.5i – The site is generally oriented to minimize adverse effects of noise, lighting, pollution, and traffic on residential environments.
 - c. Policy II.B.5k – The request has been designed to minimize the harmful effects of traffic. The realignment of Prospect Avenue will allow it to line up with Charleston Street and has been configured in such a way as to provide improved vehicular access to the site. The 6' perimeter wall along Prospect Avenue will minimize the view of traffic and parking on the site from the neighborhood to the south.
 - d. Policy II.B.5o – The request would allow for redevelopment and rehabilitation of an older neighborhood in the Established Urban Area. The subject site has been vacant since 2006. The request will redevelop a vacant property according to the approved Design Standards, which will help protect the neighborhood.
 - e. Policy II.D.4a – The request mostly meets policy objectives for street design, transit service, and development form as shown in Table 11, Policy a. Corridor Policies in an Enhanced Transit Corridor. The request meets policy objectives with the exception of building placement and site floor to area ratio. The request will maximize pedestrian connections to transit stops with pedestrian walkways that are a minimum of 6 feet in width, provide a weather protected bus-stop, provide building access from the street, place parking on at least two sides of the building, and follow the modal hierarchy of transit and autos, pedestrians, and bikes.
 - f. Policy II.D.4g – Interior sidewalks are 6-8 feet wide and connect with one another and to the proposed building, as well as with public sidewalks along Menaul Blvd.

OFFICIAL NOTICE OF DECISION

Project #1007099

November 14, 2013

Page 3 of 6

- g. Policy II.D.4p – The request will provide efficient, safe access and transfer capability between all modes. Proposed site sidewalks provide connections to the proposed building and to the public sidewalk along Menaul. The site plan includes an easement for a bus shelter in front of the subject site and will provide a new bus shelter.
6. The request is partially inconsistent with several applicable policies of the Comprehensive Plan related to non-vehicular circulation/access and transit policies (Policies II.B.5j, II.D.4g, II.B.5k, II.B.5d, and II.D.4a). The conflict is minor and relates to two main elements of the site development plan – pedestrian opportunities and transit opportunities. The EPC supports the access limitations as agreed upon by the applicant and the adjacent residential neighbors with the Site Development Plan for Subdivision.
7. The EPC supports a deviation to the Zoning Code and DPM regarding pedestrian access to Prospect Ave. (§14-16-3-1(H)(2) and DPM Chapter 23, Section 7.B.5)
8. Transit requests that the applicant install a Type C bus shelter as per the COA Design standard COA 2355, and associated bench and trash can at the proposed bus stop.
9. Property owners within 100-feet of the site and the following affected Neighborhood and/or Homeowner Associations were notified of this request: ABQ-Park N.A., Alvarado Park N.A., Classic Uptown N.A., Inez N.A., Jerry Cline Park N.A., Mark Twain N.A., Quigley Park N.A., Snow Heights N.A., Uptown Progress Team, Inc., Winrock South N.A., and the District 7 Coalition of N.A.'s. There is no known support or opposition to this request.

CONDITIONS OF APPROVAL

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. The Site Development Plan shall comply with the General Regulations of the Zoning Code and all other applicable design regulations, except as specifically approved and noted by the EPC.

OFFICIAL NOTICE OF DECISION

Project #1007099

November 14, 2013

Page 4 of 6

4. Walls/Fences:

- a. The perimeter wall shall meet the layout requirement to break up the massing of the perimeter wall by indentations, curvilinear alignments, vertical pilasters, decorative features such as columns, or terracing of walls, §14-16-3-19(C)(2)(a)(1).
- b. Prior to submitting the Site Plan for Building Permit for final sign-off to the DRB, the applicant shall administratively amend the Menaul Site – Tract A, Zuni Addition Site Plan for Subdivision Design Standards to modify the language contained in the 11th bullet under section 1. Site Design, General as follows: “A six foot wall shall be located along Prospect Avenue, where the property faces residential development. The design of the wall shall comply with Section 14-16-3-19 of the Comprehensive Zoning Code. The design of the wall shall meet Section 14-16-3-19 General Height and Design Regulations for Walls, Fences, and Retaining Walls.”

5. Landscaping:

- a. The net lot area calculations shall be revised to remove the credit for vehicle overhang area.
- b. 10,180 SF of ground-cover is required, and 10,081 SF is provided. This deficiency shall be remedied through provision of 5-6 additional shrubs.
- c. The wall can be moved closer to the Prospect Ave. sidewalk and the area between the sidewalk and the wall shall be surfaced with gravel. The groundcover shall be relocated to the north side of the wall. Existing trees shall be preserved.

6. Conditions of Approval from the City Engineer:

- a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan, as required by the Development Review Board (DRB).
- b. All requirements of previous actions taken by the EPC and/or the DRB must be completed and/or provided for.
- c. Site plan shall comply and be in accordance with all applicable City of Albuquerque requirements, including the Development Process Manual and current ADA criteria.

OFFICIAL NOTICE OF DECISION

Project #1007099

November 14, 2013

Page 5 of 6

- d. The throat depth of the site does not meet minimum criteria. A variance must be requested at DRB.
7. The applicant shall coordinate with the Transit Department on the installation of a Type C bus shelter.

APPEAL: If you wish to appeal this decision, you must do so within 15 days of the EPC's decision or by **NOVEMBER 29, 2013**. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the 15th day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-4-4 of the Zoning Code. A Non-Refundable filing fee will be calculated at the Land Development Coordination Counter and is required at the time the appeal is filed. It is not possible to appeal EPC Recommendations to City Council; Rather a formal protest of the EPC's Recommendation can be filed within the 15 day period following the EPC's decision.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Successful applicants are reminded that other regulations of the City Zoning Code must be complied with, even after approval of the referenced application(s).

ZONE MAP AMENDMENTS: Pursuant to Zoning Code Section 14-16-4-1(C)(16), a change to the zone map does not become official until the Certification of Zoning (CZ) is sent to the applicant and any other person who requests it. Such certification shall be signed by the Planning Director after appeal possibilities have been concluded and after all requirements prerequisite to this certification are met. If such requirements are not met within six months after the date of final City approval, the approval is void. The Planning Director may extend this time limit up to an additional six months.

SITE DEVELOPMENT PLANS: Pursuant to Zoning Code Section 14-16-3-11(C)(1), if less than one-half of the approved square footage of a site development plan has been built or less than one-half of the site has been developed, the plan for the undeveloped areas shall terminate automatically seven years after adoption or major amendment of the plan; within six months prior to the seven-year deadline, the property owners shall request in writing thorough the Planning Director that the Planning Commission extend the plan's life an additional five years.

DEFERRAL FEES: Pursuant to Zoning Code Section 14-16-4-1(B), deferral at the request of the applicant is subject to a \$110.00 fee per case.

OFFICIAL NOTICE OF DECISION

Project #1007099

November 14, 2013

Page 6 of 6

Sincerely,

Suzanne Lubar

Acting Director, Planning Department

SL/KCB/mc

cc:

Susan Baca, ABQ-Park N.A., 7465 Sky Court Cir., Albuquerque, NM 87110
Alex Morgan, ABQ-Park N.A., 7414 Leah Dr. NE, Albuquerque, NM 87110
Emily White, Alvarado Park N.A., 5709 Aspen NE, Albuquerque, NM 87110
Billy Cohn, Alvarado Park N.A., PO Box 35704, Albuquerque, NM 87176
Stephen Verchinski, Classic Uptown N.A., 2700 Espanola NE, Albuquerque, NM 87110
Evelyn B. Feltner, Inez N.A., 2014 Utah St. NE, Albuquerque, NM 87110
Donna Yetter, Inez N.A., 2111 Hoffman Dr. NE, Albuquerque, NM 87110
Cindy Griesmeyer, Jerry Cline Park N.A., 909 San Pablo St., Albuquerque, NM 87110
Ron Goldsmith, Jerry Cline Park N.A., 1216 Alcazar St. NE, Albuquerque, NM 87110
Barbara Lohbeck, Mark Twain N.A., 1402 California NE, Albuquerque, NM 87111
Noreen Bladergroen, Mark Twain N.A., 1201 California NE, Albuquerque, NM 87110
Winnie Schmidt, Quigley Park N.A., 2916 Cuervo Dr. NE, Albuquerque, NM 87110
Maureen Maher, Quigley Park N.A., 2935 Cardenas Dr. NE, Albuquerque, NM 87110
Laura Heitman, Snow Heights N.A., 8011 Princess Jeanne NE, Albuquerque, NM 87110
Shirley Marquez, Snow Heights N.A., 7605 Hannett NE, Albuquerque, NM 87110
William Steadman, Uptown Progress Team, Inc., 2424 Louisiana Blvd., NE, Ste. 300, Albuquerque, NM 87110
Kim Corcoran, Uptown Progress Team, Inc., P.O. Box 93488, Albuquerque, NM 87199
Richard Peterson, Winrock South N.A., 7110 Constitution Ave. NE, Abq, NM 87110
Virginia Kinney, Winrock South N.A., 7110 Constitution Ave. NE, Abq, NM 87110
Bill Hoch, District 7 Coalition of N.A.'s, 813 Calle Del Corte NE, Abq, NM 87110
Lynne Martin, District 7 Coalition of N.A.'s, 1531 Espejo NE, Albuquerque, NM 87112
James Sundsmo, 7501 Prospect Ave NE, Albuquerque, NM 87110

P.O. Box 129
Albuquerque, NM 87103
505.342.8888
1.888.342.USNM TOLL FREE
www.usnmfcu.org



September 26, 2013

Hugh Floyd, Chairman
Environmental Planning Commission
City of Albuquerque
600 Second Street NW
Albuquerque, NM 87102

RE: Site Development Plan for Building Permit

Dear Chairman Floyd:

The purpose of this letter is to authorize Consensus Planning, Inc. to act as agent on this request for a Site Development Plan for Building Permit. U.S. New Mexico Federal Credit Union is the contract purchaser of the property; Sandia Foundation is the owner of the property known by legal description as Tract A-1A and A-1B, Blocks 16 & 17, Zuni Addition.

Sincerely,

Alan Varela
Vice-President of Strategic Development
U.S. New Mexico Federal Credit Union
(505) 342-8833

ALBUQUERQUE

MAIN BRANCH 3939 Osuna Rd. NE
UPTOWN BRANCH 2608 Tennessee St. NE
DOWNTOWN BRANCH 616 Gold Ave. SW
WESTSIDE BRANCH 4411 Irving Blvd. NW

BERNALILLO BRANCH 53 Jemez Canyon Rd.
FARMINGTON BRANCH 3024 E. Main St.

LENDING • CHECKING • CREDIT CARDS • INVESTMENTS • 24/7 ONLINE AND MOBILE



SANDIA FOUNDATION

A HUGH AND HELEN WOODWARD CHARITY

September 26, 2013

Hugh Floyd, Chairman
Environmental Planning Commission
City of Albuquerque
600 Second Street NW
Albuquerque, NM 87102

RE: Site Development Plan for Building Permit

Dear Chairman Floyd:

The purpose of this letter is to authorize Consensus Planning, Inc. to act as agent on this request for a Site Development Plan for Building Permit. Sandia Foundation is the owner of the property; the U.S. New Mexico Federal Credit Union is the contract purchaser, of the site known by legal description as Tract A-1A and A-1B, Blocks 16 & 17, Zuni Addition.

Sincerely,

Robert M. Goodman, President & CEO
Sandia Foundation
6211 San Mateo Blvd. NE
Albuquerque, NM 87109



Legend

Primary Streets

- BN and SF Railroad
- Freeway
- Urban Principal Arterial
- Urban Minor Arterial

Other Streets

- Zone Grid

Municipal Limits

- CORRALES
- EDGEWOOD
- LOS RANCHOS
- RIO RANCHO
- TIJERAS
- UNINCORPORATED AREAS

World Street Map

Notes

0.1 0 0.05 0.1 Miles

WGS_1984_Web_Mercator_Auxiliary_Sphere
9/17/2013 © City of Albuquerque

This map is a user generated static output from www.cabq.gov/gis and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR LEGAL PURPOSES





SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

Supplemental Form (SF)

S Z ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, Includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations

D Street Name Change (Local & Collector)

L A APPEAL / PROTEST of...
Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 800 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Consensus Planning PHONE: 505.764.9801
 ADDRESS: 302 8th St NW FAX: 505.842.5495
 CITY: Albuquerque STATE NM ZIP 87102 E-MAIL: fishman@consensusplanning.com

APPLICANT: U.S. New Mexico Federal Credit Union PHONE: 505.342.8833
 ADDRESS: PO Box 129 FAX: _____
 CITY: Albuquerque STATE NM ZIP 87103 E-MAIL: avarela@usnmfcu.org

Proprietary Interest in site: Contract purchaser List all owners: Sandia Foundation

DESCRIPTION OF REQUEST: Administrative Amendment to the Menaul Site - Tract A, Zuni Addition Site Plan for Subdivision Design Standards

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes No

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tract A Block: 16 & 17 Unit: _____
 Subdiv/Addn/TBKA: Zuni Addition
 Existing Zoning: SM-1-C2 Permissive Uses Proposed zoning: N/A MRGCD Map No _____
 Zone Atlas page(s): H19 UPC Code: 101905920424831501

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB, AX, Z, V, S, etc.): 1007099

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO
 No. of existing lots: 1 No. of proposed lots: N/A Total site area (acres): 4.13
 LOCATION OF PROPERTY BY STREETS: On or Near: Menaul Blvd. NE
 Between: Mesilla St. and Pennsylvania St.

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE: [Signature] DATE 11/27/13
 (Print Name) JACQUELINE FISHMAN Applicant Agent

FOR OFFICIAL USE ONLY

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>13A19 - 10287</u>	<u>AA</u>	_____	<u>\$45.00</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
	Hearing date <u>N/A</u>			Total <u>\$45.00</u>
<u>[Signature]</u>	<u>11-27-13</u>	Project # <u>1007099</u>		
	Staff signature & Date			

Revised: 4/2012

FORM P(4): SITE DEVELOPMENT PLAN REVIEW – ADMINISTRATIVE APPROVAL (AA)

AMENDMENT TO SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (AA02)

AMENDMENT TO SITE DEVELOPMENT PLAN FOR SUBDIVISION (AA03)

- Letter describing and justifying the request
- One (1) copy of all applicable sheets of the approved Site Development Plan being amended, folded to fit into an 8.5" x 14" pocket. Approved site development plans should contain signatures of the Development Review Board (DRB).
- Copy of EPC or DRB *Official Notice of Decision* associated with the approved site development plan
- One (1) copy of the proposed Site Development Plan, with changes circled and noted, folded to fit into an 8.5" x 14" pocket. Refer to the Site Development Plan for Building Permit or Site Development Plan for Subdivision *Checklist* for information needed on the proposed Site Development Plan.
- Map from the most recent Zone Atlas, with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter of authorization from the property owner, if the application is submitted by an agent
- Fee (see fee schedule)
- Any original and/or related file numbers must be listed on the cover application

NOTE: The next two items are also required if the square footage change is 2% or more of any building's gross floor area:

- Notification letter addressed to owners of adjacent properties and certified mail receipts
- Office of Neighborhood Coordination (ONC) inquiry response, notification letter to affected Neighborhood Associations and certified mail receipts

WIRELESS TELECOM FACILITY (WTF)- FREE-STANDING, COLLOCATION or OTHER TYPE (AA04)
(EXCEPT FOR COLLOCATION OF A NON-CONCEALED WTF ON A STRAIGHT-ZONED SITE, WHICH GOES TO THE ZONING FRONT COUNTER AT THE BUILDING SERVICES CENTER/ EAST SIDE)

- Letter describing the request and discussion of its how it relates to the WTF Ordinance (O-06-40)
- Letter of authorization from the property owner if application is submitted by an agent
- Fee (see fee schedule)
- Any relevant file numbers (case history of previous development applications) must be listed on cover application
- Copy of EPC *Official Notice of Decision*, if the subject site went through the EPC process
- Proposed Site Development Plan set: title sheet, notes/photo sheet, site plan sheets, elevation sheets, landscape plan (if free-standing), and survey sheet(s) (3 copies- 11" x 17"). No electrical sheets needed.
- For collocation on a public utility pole: the PNM approved site dev. plan set for the proposed WTF (1 copy)
- Photo simulations- before and after the proposed WTF (3 views minimum)
- Site Development Plan sheets must be stamped by a registered engineer or architect.
- Copy of approved Site Development Plan being amended by adding the proposed WTF, if applicable (1 copy)
- City Zone Atlas map page, with location of the subject site clearly indicated
- 1 map showing Zoning of the subject site and adjacent properties
- 1 map showing Land Use (ex. residential, commercial, etc.) of the subject site and adjacent properties
- For free-standing WTFs: Evidence demonstrating that collocation possibilities were considered, consisting of a written response to §14-16-3-17(A)(6)(a through e) and any supporting materials such as engineering maps
- For collocation on a public utility pole: written response to items a through e in §14-16-3-17(A)(14)
- Notarized statement re: WTF capacity, number and types of proposed antennas and if another user can be accommodated on the proposed WTF [see §14-16-3-17(A)(13)(d)(2)]
- Affidavit (notarized statement) re: explanation of factual basis for the proposed WTF's engineering requirements [see §14-16-3-17(A)(13)(d)(3)] **Note: Notarized statement and affidavit must be on separate pages.**
- Letter of Intent re: shared use of proposed WTF if reasonable conditions are met [§14-16-3-17(A)(13)(e)]
- For free-standing WTFs: Distance to the nearest existing free-standing WTF and the WTF owner's name [§14-16-3-17(A)(13)(d)(5) and (A)(17)]
- Office of Neighborhood Coordination (ONC) inquiry forms, response based on ¼ mile radius from subject site [§14-16-3-17(A)(13)(f)]
- Copy of letter and site plan sheet(s) to both contacts for each neighborhood association, with certified return receipts
- List of property owners within 100 feet of the subject site and copy of letter and site plan sheet(s) sent to property owners, with certified return receipts [§14-16-3-17(A)(13)(f)]
- Supplemental Application Form for Wireless Projects- filled out completely, with the required attachments provided and labeled.

NOTE: For WTFs proposed to be located on City of Albuquerque property, a lease agreement with the City will be needed. Please contact Catalina Lehner at (505) 924-3935 for more information.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in rejection of this application and/or deferral of actions.

JACQUELINE FISHMAN
Applicant's Name (please print!)

[Signature] 11/27/13
Applicant's Signature Date



- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers:
BAA - 10287

[Signature] 11-27-13
Planner's Signature / Date

Project #: 1007099

DECEMBER 18. 2013

City of Albuquerque Planning Department

DEVELOPMENT AND BUILDING SERVICES

STANDARD APPLICATION, Paper Plans Required

DEVELOPMENT REVIEW BOARD

08/20/2013 Issued By: E08375 203079

Category Code **910**
2013 070 659

Application Number: 13DRB-70659, Minor - Preliminary/ Final Plat Approval

Address:

Location Description: MENAUL BLVD NE BETWEEN MESILLA ST NE AND PENNSYLVANIA ST NE

Project Number: 1007099

Applicant

SANDIA FOUNDATION
BOB GOODMAN
6211 SAN MATEO BLVD NE SUITE 100
ALBUQUERQUE NM 87109
242-2684

Agent / Contact

ISAACSON AND ARFMAN PA
128 MONROE ST NE
ALBUQUERQUE NM 87108

Application Fees

APN Fee

Conflict Mgmt Fee \$20.00

DRB Actions \$285.00

TOTAL: \$305.00

City of Albuquerque Treasury
Date: 8/20/2013 Office: ANNEX
Stat ID: W5000008 Cashier: TRSCXG
Batch: 2447 Trans #: 4
Permit: 2013070659
Receipt Num 00147973
Payment Total: \$305.00
0901 Conflict Mgmt Fee \$20.00
0903 DRB Actions \$285.00
Check Tendered : \$305.00



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
 - Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Isaacson & Arfman, PA PHONE: 268-8828

ADDRESS: 128 Monroe Street NE FAX: _____

CITY: Albuquerque STATE NM ZIP 87108 E-MAIL: freda@iacivil.com

APPLICANT: Sandia Foundation (Attn: Bob Goodman) PHONE: 242-2684

ADDRESS: 6211 San Mateo Blvd. NE, Suite 100 FAX: _____

CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: bob@sandiafoundation.org

Proprietary interest in site: Owner List all owners: _____

DESCRIPTION OF REQUEST: Approval of Minor Subdivision Preliminary/Final Plat

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tract A-1 Block: 16 & 17 Unit: _____

Subdiv/Addn/TBKA: Zuni Addition (tbka Tracts A-1A & A-1B, Blocks 16 & 17, Zuni Addition)

Existing Zoning: SU-1 for C-2 Permissive Uses Proposed zoning: Same MRGCD Map No NA

Zone Atlas page(s): H-19 UPC Code: 101905920424831501

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): 08EPC-40021; 08EPC-40022; 12EPC-40005; 08DRB-70413; 08DRB-70414; 08DRB-70492; 11DRB-70111; 12DRB-70189;

CASE INFORMATION: 12DRB-70190; 12DRB-70243; 13DRB-70526

Within city limits? Yes Within 1000FT of a landfill? No

No. of existing lots: 1 No. of proposed lots: 2 Total site area (acres): 4.1320

LOCATION OF PROPERTY BY STREETS: On or Near: Menaul Blvd. NE

Between: Mesilla Street NE and Pennsylvania Street NE

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE Fred C. Arfman DATE August 20, 2013
 (Print Name) Fred C. Arfman Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 4/2012

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>13DRB - 70659</u>	<u>P&F</u>	_____	<u>\$ 285.00</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>CMF</u>	_____	<u>\$ 20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	Total
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	<u>\$ 305.00</u>

Hearing date August 28, 2013

[Signature] Aug 20, 2013
 Staff signature & Date

Project # 1007099

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

SKETCH PLAT REVIEW AND COMMENT (DRB22) **Your attendance is required.**

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08) **Your attendance is required.**

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Copy of DRB approved infrastructure list
- Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
- List any original and/or related file numbers on the cover application

Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12) **Your attendance is required.**

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations & cross sections of perimeter walls **3 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- List any original and/or related file numbers on the cover application
- DXF file and hard copy of final plat data for AGIS is required.


MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16) **Your attendance is required.**

- NA 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings ensure property owner's and City Surveyor's signatures are on the plat prior to submittal
- NA Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- NA Design elevations and cross sections of perimeter walls (11" by 17" maximum) **3 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- NA Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- Fee (see schedule)
- List any original and/or related file numbers on the cover application
- NA Infrastructure list if required (**verify with DRB Engineer**)
- DXF file and hard copy of final plat data for AGIS is required. **Forthcoming**

AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03) **Your attendance is required.**

- PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.
- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - List any original and/or related file numbers on the cover application
- Amended preliminary plat approval expires after one year**

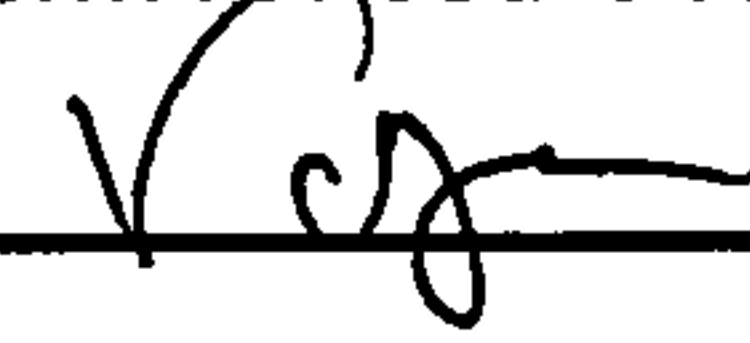
I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Fred C. Arfman
 Applicant name (print)

 Applicant signature / date
 08/20/13



- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
 BDRB - 70659

Form revised October 2007

 Planner signature / date
 Aug 20, 2013
 Project # 1007099



Supplemental Form (SF)

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- Major subdivision action
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FOR OFFICIAL USE ONLY

Revised: 4/2012

<input type="checkbox"/>	INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
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Hearing date August 28, 2013

[Signature] Aug 20, 2013
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- ___ Design elevations & cross sections of perimeter walls 3 copies
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- X Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
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- X Fee (see schedule)
- X List any original and/or related file numbers on the cover application
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AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03) Your attendance is required.

- PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.
- ___ Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
 - ___ Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - ___ List any original and/or related file numbers on the cover application
- Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Fred C. Arfman

Fred C. Arfman Applicant name (print)
08/20/13 Applicant signature / date

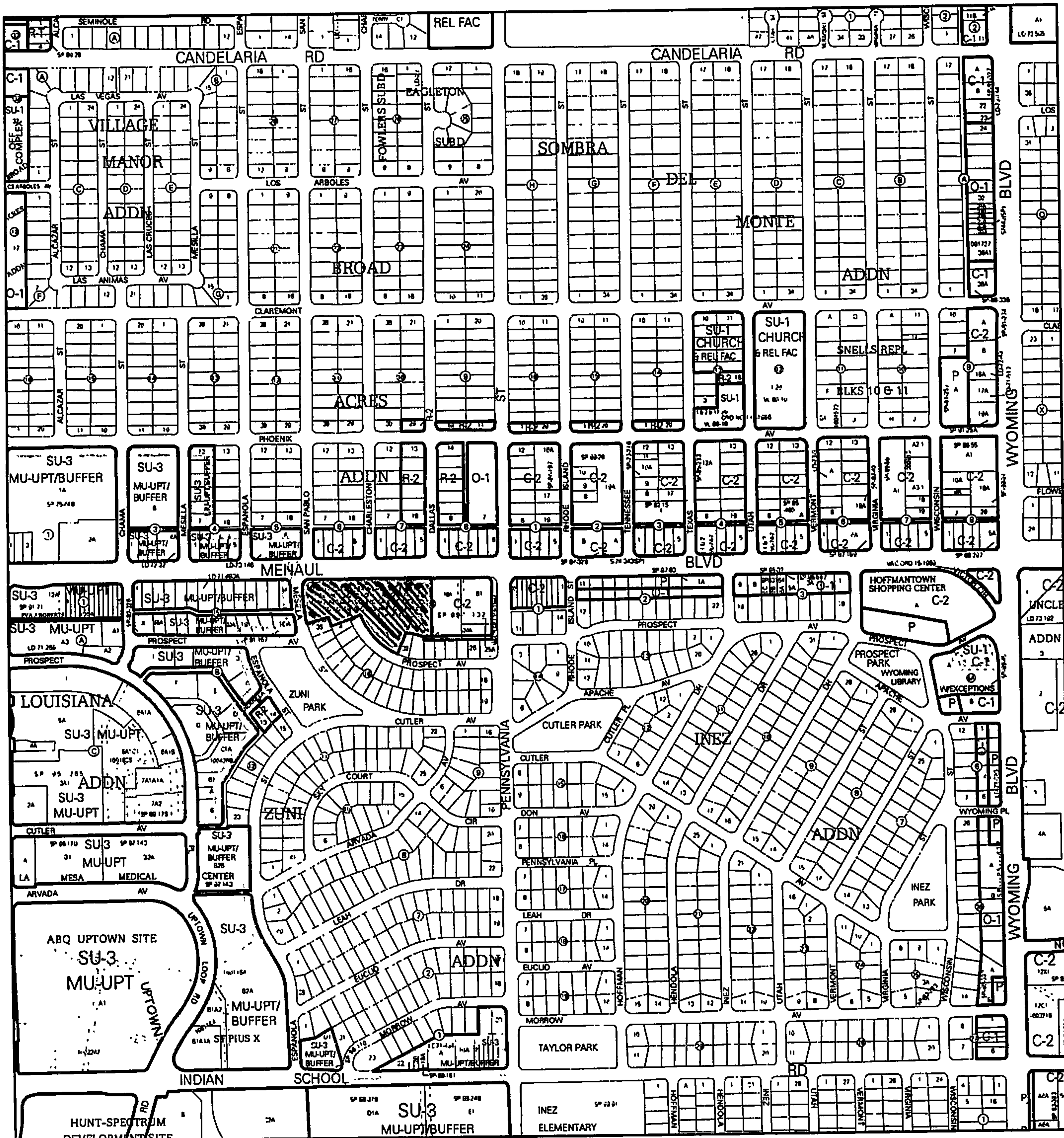


Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
DRB - 70659

V. [Signature] Aug 20, 2013
Planner signature / date
Project # 1007099



For more current information and details visit: <http://www.cabq.gov/gis>

City of Albuquerque
AGIS
Albuquerque Geographic Information System

Map amended through: 4/2/2012

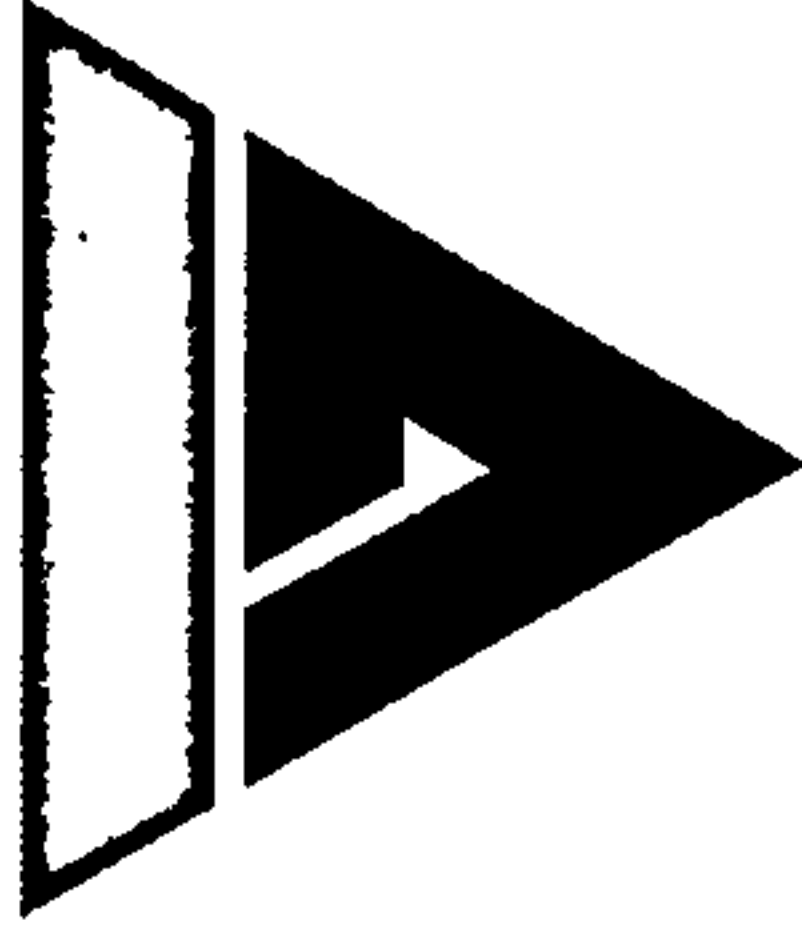
Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
H-19-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet



Isaacson & Arfman, P.A.

Consulting Engineering Associates

*Thomas O. Isaacson, PE (Ret.) & LS (Ret.) * Fred C. Arfman, PE * Åsa Nilsson-Weber, PE*

August 20, 2013

Mr. Jack Cloud, Chairman
Development Review Board
Planning Department
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87102

RE: Tract A, Zuni Addition
Menaul Blvd. & Prospect Ave.

DRB No. 11DRB-70111; Project No.: 1007099

Dear Mr. Cloud,

Isaacson & Arfman, PA acting as the agent for the Sandia Foundation, owner of the referenced property, respectfully request that the Planning Department accept this new plat into the DRB process. The function of this action is to subdivide the existing tract into two sub tracts and possibly the granting of utility easements.

The required Administrative Amendment to the Site Development Plan for Subdivision has been recently approved. The subject lot split line was added to the SDP and the plan is found attached to this correspondence.

Thank you for your assistance in this matter.

Sincerely,
ISAACSON & ARFMAN P.A.


Fred C. Arfman, PE

attachment

AUGUST 28. 2013

1111

7099

DXF Electronic Approval Form

DRB Project Case #: 1007099

Subdivision Name: ZUNI ADDITION BLKS 16 & 17 / TRACT A1

Surveyor: RUSS P HUGG

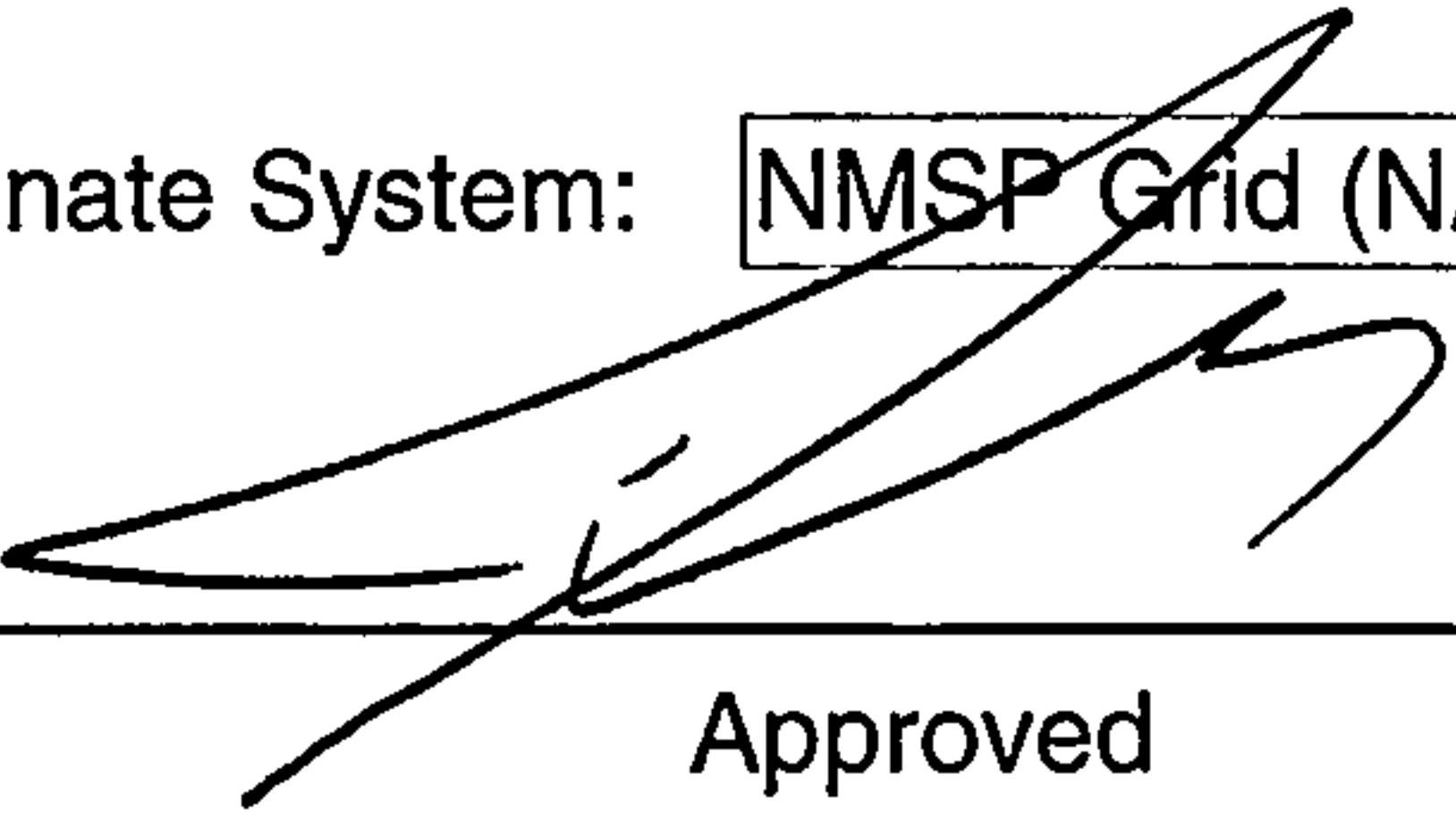
Contact Person: RUSS P HUGG

Contact Information: 5058973377


DXF Received: 8/1/2012

Hard Copy Received: 8/1/2012

Coordinate System: NMSP Grid (NAD 83)



Approved



Date

* The DXF file cannot be accepted (at this time) for the following reason(s):

AGIS Use Only

Copied fc **7099** to agiscov on **8/1/2012** Contact person notified on **8/1/2012**

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT
URBAN DESIGN & DEVELOPMENT DIVISION
600 2nd Street NW, 3rd Floor, 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3860 Fax (505) 924-3339



OFFICIAL NOTIFICATION OF DECISION

April 16, 2012

Sandia Foundation
6211 San Mateo Blvd. NE, Suite 100
Albuquerque, NM 87109

Project # 1007099
12EPC-40005 Site Development Plan for
Subdivision

LEGAL DESCRIPTION:

Consensus Planning, agent for Sandia Foundation, requests the above action for all or a portion of Tract A, Blocks 16 & 17, Zuni Addition, located on Menaul Blvd. NE between Mesilla St. NE and Pennsylvania St. NE containing approximately 4 acres. Randall Falkner, Staff Planner

PO Box 1293

Albuquerque

NM 87103

On April 12, 2012, the Environmental Planning Commission voted to APPROVE Project 1007099 / 12EPC-40005, a Site Development Plan for Subdivision, based on the following Findings and subject to the following Conditions:

FINDINGS:

www.cabq.gov

1. This is a request for a site development plan for subdivision for Tract A, Blocks 16 & 17, Zuni Addition, a site of approximately 4 acres located on the south side of Menaul Boulevard, between Mesilla Street and Pennsylvania Street.
2. The approval of this site development plan for subdivision will void and replace the existing approved site development plan for building permit, creating a plan that will provide more flexibility and the ability to attract a variety of users.
3. The existing zoning is SU-1 for C-2 Permissive Uses including full service liquor only in conjunction with a restaurant excluding the sale of alcohol for off-site consumption and excluding off-premise signs.

OFFICIAL NOTICE OF DECISION

Project #1007099

April 12, 2012

Page 2 of 7

4. The EPC is hearing the case because development in an SU-1 zone may only occur in conformance with an approved site development plan. The applicant has provided a site development plan for subdivision with design standards.
5. The site is located in the Established Urban Area of the Comprehensive Plan, and is not located within any Sector or Area Plans.
6. The Albuquerque/Bernalillo County Comprehensive Plan, and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
7. The request furthers applicable policies of the Comprehensive Plan, including the following:
 - a. Policy II.B.5d – The request will respect existing neighborhood values by providing Design Standards that protect the neighborhood. Design Standards help to minimize negative effects through standards for proper architectural design, landscaping, lighting, pedestrian circulation, traffic circulation, and signage. The applicant has agreed to provide a 6 foot high wall along the entire southern portion of the site that is adjacent to Prospect Avenue in order to provide additional separation between the retail and residential areas. The request also provides a site development plan for a site that has been vacant for several years.
 - b. Policy II.B.5i – The request will be sited to minimize adverse effects of noise, lighting, pollution, and traffic on residential environments. Design Standards have been provided to minimize any adverse effects.
 - c. Policy II.B.5j – The request will provide commercial development in an area that is already zoned for commercial uses. The request will provide pedestrian access throughout the site and to Menaul Boulevard and Mesilla Street.
 - d. Policy II.B.5k – The request has been designed to minimize the harmful effects of traffic, and the livability and safety of established residential neighborhoods are protected by effective transportation and planning operation. The realignment of Prospect Avenue will allow it to line up with Charleston Street and has been configured in such a way as to provide traffic calming through the site while still permitting neighborhood access.
 - e. Policy II.B.5o – The request would allow for redevelopment and rehabilitation of an older neighborhood in the Established Urban Area. The subject site has been vacant since 2006. The request will redevelop a vacant property with Design Standards to help protect the neighborhood. Future site development plans for building permit will return to the EPC for review and approval.
 - f. Policy II.D.4a – The request mostly meets policy objectives for street design, transit service, and development form as shown in Table 11, Policy a. Corridor Policies in

OFFICIAL NOTICE OF DECISION

Project #1007099

April 12, 2012

Page 3 of 7

- an Enhanced Transit Corridor. The request meets policy objectives with the exception of building placement. The request will maximize pedestrian connections to transit stops with pedestrian walkways that are a minimum of 6 feet in width, provide a weather protected bus-stop, provide building access from the street, place parking on at least two sides of the building, provide a maximum F.A.R. of 0.75, and follow the modal hierarchy of transit and autos, pedestrians, and bikes.
- g. Policy II.D.4g – Future interior sidewalks will be 6 feet wide and will connect with one another and to future buildings, and with public sidewalks along Menaul Blvd. and Mesilla Street.**
 - h. Policy II.D.4p – The request will facilitate efficient, safe access and transfer capability between all modes. Future sidewalks will provide interior and exterior connections to buildings and the public sidewalks along Menaul and Mesilla.**
 - i. Policy II.D.6b – The request will facilitate development of future businesses at the subject site.**
- 8. A Facilitated Meeting was held on March 22, 2012 at 6:30 p.m. at the Inez Elementary School. Neighborhood concerns, as described by the facilitator, included the following: options for rerouting Prospect Avenue, additional separation between the retail and residential areas, alcohol sales and drinking and driving through the neighborhood or using the street as overflow parking, and the process regarding the property in 2008. The applicant has agreed to provide a 6 foot high wall along the entire southern portion of the site that is adjacent to Prospect Avenue in order to provide additional separation between the retail and residential areas. The applicant will not be pursuing an alternate route for Prospect Avenue.**
- 9. A letter was received by a neighbor to the south of the property that was concerned about the lack of a 6 foot wall separating the retail from the residential area and not having a cul-de-sac at the end of Prospect. The applicant is not planning on installing a cul-de-sac at the end of Prospect, but has agreed to provide a 6 foot high wall along the entire southern portion of the site that is adjacent to Prospect Avenue. No other correspondence was received concerning the project.**
- 10. A petition was submitted at the hearing of April 12, 2012, requesting a cul-de-sac at the end of Prospect Avenue. The EPC supports partial or total closing of vehicular access to the center from the neighborhood to the south.**

CONDITIONS:

- 1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have**

OFFICIAL NOTICE OF DECISION

Project #1007099

April 12, 2012

Page 4 of 7

been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. Design Standards, 1. Site Design, General, 10th bullet, shall include the following at the end of the first sentence "and a maximum of 42 inches."
4. Design Standards, 1. Site Design, General, 11th bullet, the following shall be added as the last sentence, A minimum 5 foot wide landscape buffer shall be provided between the wall and the existing 4 foot public sidewalk. The design of the wall shall meet Section 14-16-3-19 General Height and Design Regulations for Walls, Fences and Retaining Walls, and specifically Subsection (b) e. Façade, which requires "A variety of living shrubs, trees and/or vines covering or overhanging at least one third of the length of the wall..." The existing mature evergreen trees may be counted towards meeting the landscape requirement under the City's Wall Regulations.
5. Design Standards, 1. Site Design, Parking, 3rd bullet, shall include the following as the last sentence, "Parking shall not dominate the street frontage."
6. Design Standards, 5. Landscape, 2nd bullet, first sentence, replace the words "where there is adjacent" with the words "that abut". Design Standards 5. Landscape, 2nd bullet, second sentence, add the words "a minimum of 10 feet in width and shall be" in between the words "be" and "comprised".
7. Design Standards, 6. Signage, 2nd bullet, be revised to read "Location, number and illumination of signs shall be per the C-2 Zone, Section 14-16-2-17(A)(10) of the Comprehensive City Zoning Code. Monument sign height shall not exceed 9 feet in height and shall have a maximum sign area of 50 square feet, except no signage shall be allowed along Prospect Avenue, across from residential development."
8. Design Standards, 6. Signage, 3rd bullet, second sentence shall be revised to read "Building mounted signs are prohibited along Prospect Avenue across from residential development and along the south property boundary within 50 feet of an abutting residential development."

OFFICIAL NOTICE OF DECISION

Project #1007099

April 12, 2012

Page 5 of 7

9. **Condition from Transit Department:** The existing bus stop is to be relocated 280 east and Transit to require an 5' wide x 20' long easement for shelter, if needed, from the applicant. The proposed easement will be between the property and the sidewalk. Transit requests that the applicant install a Type C bus shelter as per the COA Design standard COA 2355, and associated bench and trash can at the proposed bus stop. Applicant to consult the Transit department for the location of the proposed easement.
10. **Conditions from City Engineer, Municipal Development, and NMDOT:**
 - a. **Concurrent Platting Action required at Development Review Board (DRB).**
 - b. **A queuing analysis for the storage lengths will be determined at Site Development Plan for Building Permit for Manual's proposed left turn lanes.**
 - c. **All proposed geometric improvements shown on the Site Plan for Subdivision must be noted as illustrative only or removed.**
 - d. **The proposed geometry for the Public Access Easement and driveways doesn't appear to comply with the current DPM standards.**
 - e. **The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan, as may be required by the Development Review Board (DRB).**
 - f. **All easements need to be shown and labeled on Site Plan.**
11. **Conditions from Public Service Company of New Mexico**
 - a. **It is the applicant's obligation to determine if existing utility easements cross the property and to abide by any conditions or terms of those easements.**
 - b. **It is necessary for the applicant to contact PNM's New Service Delivery Department regarding electric service to this site and whether any modifications to the existing electric service to the site are necessary.**
12. **The DRB and Traffic Operations shall consider partial or total closing of vehicular access to the center from the neighborhood to the south.**

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY APRIL 27, 2012 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

Persons aggrieved with any determination of the Environmental Planning Commission (EPC) and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written

OFFICIAL NOTICE OF DECISION

Project #1007099

April 12, 2012

Page 6 of 7

application on the Planning Department form to the Planning Department **within 15 days** of the Planning Commission's decision. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday, the next working day is considered as the deadline for filing the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY ZONING CODE MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

ZONE MAP AMENDMENTS: Pursuant to Zoning Code Section 14-16-4-1(C)(11), a change to the zone map does not become official until the Certification of Zoning is sent to the applicant and any other person who requests it. Such certification shall be signed by the Planning Director after appeal possibilities have been concluded and after all requirements prerequisite to this certification are met. If such requirements are not met within six months after the date of final City approval, the approval is void. The Planning Director may extend this time limit up to an additional six months.

SITE DEVELOPMENT PLANS: Pursuant to Zoning Code Section 14-16-3-11(C)(1), if less than one-half of the approved square footage of a site development plan has been built or less than one-half of the site has been developed, the plan for the undeveloped areas shall terminate automatically seven years after adoption or major amendment of the plan: within six months prior to the seven-year deadline, the property owners shall request in writing thorough the Planning Director that the Planning Commission extend the plan's life an additional five years.

DEFERRAL FEES: Pursuant to Zoning Code Section 14-16-4-1(B), deferral at the request of the applicant is subject to a \$110.00 fee.

Sincerely,


for Deborah L. Stover
Planning Director

DS/RF/mc

cc: Consensus Planning, 302 8th St NW, Albuquerque, NM 87102
Sandra Jamison, ABQ-Park N.A, 7615 Leah Dr. NE, Albuquerque, NM 87110
Alex Morgan, ABQ-Park N.A, 7414 Leah Dr. NE, Albuquerque, NM 87110
Natasha Carty, Alvarado Park N.A., 5907 Princess Jeanne NE, Albuquerque, NM 87110

OFFICIAL NOTICE OF DECISION

Project #1007099

April 12, 2012

Page 7 of 7

Jane Cohn, Alvarado Park N.A., 1931 Palomas NE, Albuquerque, NM 87110
Stephen Verchinski, Classic Uptown N.A., 2700 Espanola NE, Albuquerque, NM 87110
Cara Gregory, Classic Uptown N.A., 2812 Alcazar St. NE, Albuquerque, NM 87110
Evelyn B. Feltner, Inez N.A., 2014 Utah St. NE, Albuquerque, NM 87110
Donna Yetter, Inez N.A., 2111 Hoffman Dr. NE, Albuquerque, NM 87110
Julie Jones, Jerry Cline Park N.A., 7625 Winter Ave., Albuquerque, NM 87110
Ron Goldsmith, Jerry Cline Park N.A., 1216 Alcazar St. NE, Albuquerque, NM 87110
Barbara Lohbeck, Mark Twain N.A., 1402 California NE, Albuquerque, NM 87111
Charlotte Rode, Mark Twain N.A., 1409 California NE, Albuquerque, NM 87110
Winnie Schmidt, Quigley Park N.A., 2916 Cuervo Dr. NE, Albuquerque, NM 87110
Maureen Maher, Quigley Park N.A., 2935 Cardenas Dr. NE, Albuquerque, NM 87110
Laura Heitman, Snow Heights N.A., 8011 Princess Jeanne NE, Albuquerque, NM 87110
Shirley Marquez, Snow Heights N.A., 7605 Hannett NE, Albuquerque, NM 87110
William Steadman, Uptown Progress Team, Inc., 2424 Louisiana Blvd., NE, Ste. 300,
Albuquerque, NM 87110
Kim Corcoran, Uptown Progress Team, Inc., P.O. Box 93488, Albuquerque, NM 87199
Richard Peterson, Winrock South N.A., 7110 Constitution Ave. NE, Albuquerque, NM
87110-7122
Virginia Kinney, Winrock South N.A., 7110 Constitution Ave. NE, Albuquerque, NM
87110-7122
Bill Hoch, District 7 Coalition of N.A.'s, 813 Calle Del Corte NE, Albuquerque, NM 87110
Lynne Martin, District 7 Coalition of N.A.'s, 1531 Espejo NE, Albuquerque, NM 87112



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
 - Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Isaacson & Arfman, PA PHONE: 268-8828
 ADDRESS: 128 Monroe Street NE FAX: NA
 CITY: Albuquerque STATE NM ZIP 87108 E-MAIL: freda@iacivil.com

APPLICANT: Sandia Foundation (Attn: Bob Goodman) PHONE: 242-2684
 ADDRESS: 6211 San Mateo Blvd. NE, Suite 100 FAX: _____
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: bob@sandiafoundation.org

Proprietary interest in site: Owner List all owners: _____

DESCRIPTION OF REQUEST: Approval for 2-Year Extension of the Subdivision Improvements Agreement Procedure B

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tract A Block: 16 & 17 Unit: _____
 Subdiv/Addn/TBKA: Zuni Addition
 Existing Zoning: SU-1 for C-2 Permissive Uses Proposed zoning: Same MRGCD Map No NA
 Zone Atlas page(s): H-19 UPC Code: 101905920424831501

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): 08EPC-40021; 08EPC-40022; 12EPC-40005; 08DRB-70413; 08DRB-70414; 08DRB-70492; 11DRB-70111; 12DRB-70189;

CASE INFORMATION: 12DRB-70243; 12DRB-70190

Within city limits? Yes Within 1000FT of a landfill? No
 No. of existing lots: 1 No. of proposed lots: 1 Total site area (acres): 4.1830

LOCATION OF PROPERTY BY STREETS: On or Near: Menaul Blvd. NE
 Between: Mesilla Street NE and Pennsylvania Street NE

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE Fred C. Arfman DATE 04-25-13
 (Print Name) Fred C. Arfman Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 4/2012

INTERNAL ROUTING

- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>13DRB - 70526</u>	<u>SIA</u>	_____	<u>\$ 50.00</u>
_____	<u>CMF</u>	_____	<u>\$ 20.00</u>
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
Total			<u>\$ 70.00</u>

Hearing date May 8, 2013

Vay 4-25-13
 Staff signature & Date

Project # 1007099

FORM S(2): SUBDIVISION - D.R.B. PUBLIC HEARING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL (DRB13)

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary Plat including the Grading Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
- Proposed Infrastructure List
- Signed Preliminary Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations & cross sections of perimeter walls **3 copies** (11" x 17" maximum)
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed plat
- FORM DRWS Drainage Report, Water & Sewer availability statement filing information
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Signed** Pre-Annexation Agreement if Annexation required.
- TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

Preliminary plat approval expires after one year.

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

MAJOR SUBDIVISION AMENDMENT TO PRELIMINARY PLAT (DRB11) (with significant changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
- Original Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket)
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed amended plat, if applicable
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- List any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year.

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

MINOR

MAJOR SUBDIVISION IMPROVEMENTS AGREEMENT EXTENSION (DRB09)

(Temporary sidewalk deferral extension use FORM-V)

- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Plat or plan reduced to 8.5" x 11"
- Official D.R.B. Notice of the original approval
- Approved Infrastructure List. If not applicable, please initial. _____
- Previous SIA extension notice, if one has been issued. If not applicable, please initial. _____
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- List any original and/or related file numbers on the cover application
- Fee (see schedule)

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Fred C. Arfman

Fred C. Arfman Applicant name (print)
04-25-13 Applicant signature / date



Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
13DRB-70526

Vaf 4-25-13
 Planner signature / date

Project # 1007099



Supplemental Form (SF)

SUBDIVISION

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- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
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SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tract A Block: 16 & 17 Unit: _____
 Subdiv/Addn/TBKA: Zuni Addition
 Existing Zoning: SU-1 for C-2 Permissive Uses Proposed zoning: Same MRGCD Map No NA
 Zone Atlas page(s): H-19 UPC Code: 101905920424831501

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.): 08EPC-40021;
08EPC-40022; 12EPC-40005; 08DRB-70413; 08DRB-70414; 08DRB-70492; 11DRB-70111; 12DRB-70189;

CASE INFORMATION: 12DRB-70243; 12DRB-70190

Within city limits? Yes Within 1000FT of a landfill? No
 No. of existing lots: 1 No. of proposed lots: 1 Total site area (acres): 4.1830

LOCATION OF PROPERTY BY STREETS: On or Near: Menaul Blvd. NE
 Between: Mesilla Street NE and Pennsylvania Street NE

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE Fred C. Arfman DATE 04-25-13
 (Print Name) Fred C. Arfman Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 4/2012

	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> INTERNAL ROUTING				
<input checked="" type="checkbox"/> All checklists are complete	<u>13DRB - 70526</u>	<u>SIA</u>		<u>\$50.00</u>
<input checked="" type="checkbox"/> All fees have been collected		<u>CMF</u>		<u>\$20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned				\$
<input checked="" type="checkbox"/> AGIS copy has been sent				\$
<input checked="" type="checkbox"/> Case history #s are listed				\$
<input type="checkbox"/> Site is within 1000ft of a landfill				\$
<input type="checkbox"/> F.H.D.P. density bonus				Total
<input type="checkbox"/> F.H.D.P. fee rebate				<u>\$70.00</u>

Hearing date May 8, 2013

[Signature]
 Staff signature & Date 4-25-13

Project # 1007099

FORM S(2): SUBDIVISION - D.R.B. PUBLIC HEARING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL (DRB13)

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary Plat including the Grading Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
- Proposed Infrastructure List
- Signed Preliminary Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations & cross sections of perimeter walls **3 copies** (11" x 17" maximum)
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed plat
- FORM DRWS Drainage Report, Water & Sewer availability statement filing information
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Signed Pre-Annexation Agreement if Annexation required.
- TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

Preliminary plat approval expires after one year.

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

MAJOR SUBDIVISION AMENDMENT TO PRELIMINARY PLAT (DRB11) (with significant changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
- Original Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket)
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed amended plat, if applicable
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- List any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year.

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

MINOR

MAJOR SUBDIVISION IMPROVEMENTS AGREEMENT EXTENSION (DRB09)

(Temporary sidewalk deferral extension use FORM-V)

- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Plat or plan reduced to 8.5" x 11"
- Official D.R.B. Notice of the original approval
- Approved Infrastructure List. If not applicable, please initial. _____
- Previous SIA extension notice, if one has been issued. If not applicable, please initial. _____
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- List any original and/or related file numbers on the cover application
- Fee (see schedule)

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Fred C. Arfman

Fred C. Arfman Applicant name (print)
Fred C. Arfman Applicant signature / date *4-25-13*

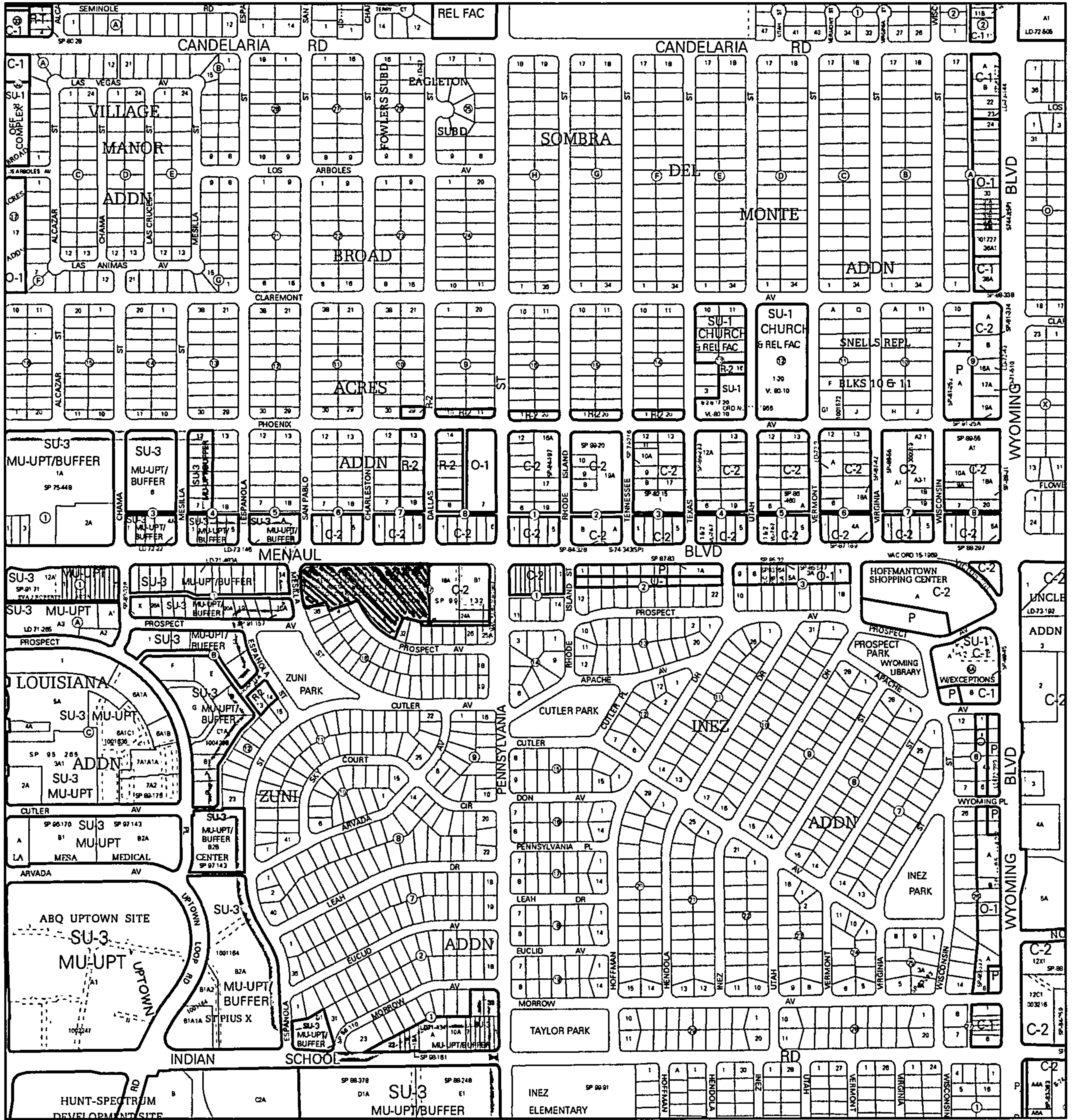


Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
13DRB-70526

Kaf 4-25-13
 Planner signature / date
 Project # 1007099



For more current information and details visit: <http://www.cabq.gov/gis>

AGIS
Albuquerque Geographic Information System

Note: Gray Shading Represents Area Outside of the City Limits

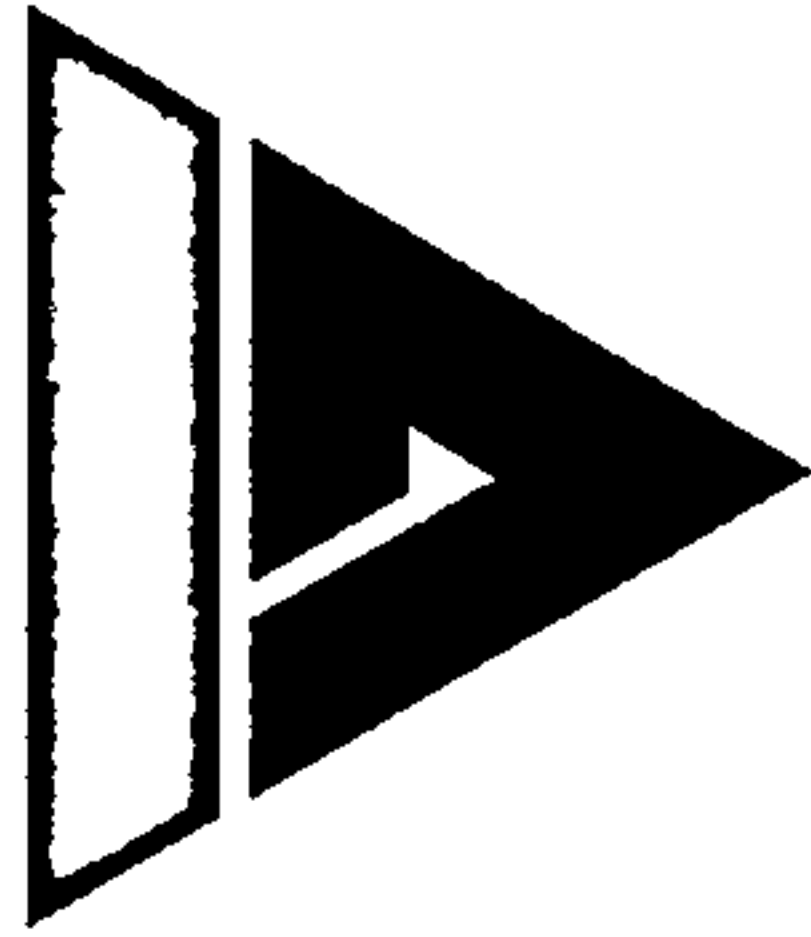
Zone Atlas Page:
H-19-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone

Map amended through: 4/2/2012

0 750 1,500 Feet



Isaacson & Arfman, P.A.

Consulting Engineering Associates

*Thomas O. Isaacson, PE (Ret.) & LS (Ret.) * Fred C. Arfman, PE * Åsa Nilsson-Weber, PE*

April 24, 2013

Mr. Jack Cloud, Chairman
Development Review Board
Planning Department
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87102

RE: Tract A, Zuni Addition
Menaul Blvd. & Prospect Ave.

DRB No. 11DRB-70111; Project No.: 1007099

Dear Mr. Cloud,

On behalf of the Sandia Foundation, owner of the referenced property, we respectfully request that the Planning Department research this case to determine if the SIA can be terminated due to the fact that a replacement SIA is now recorded and the previous Site Development Plan for Building Permit has been replaced by a SDP for S/D.

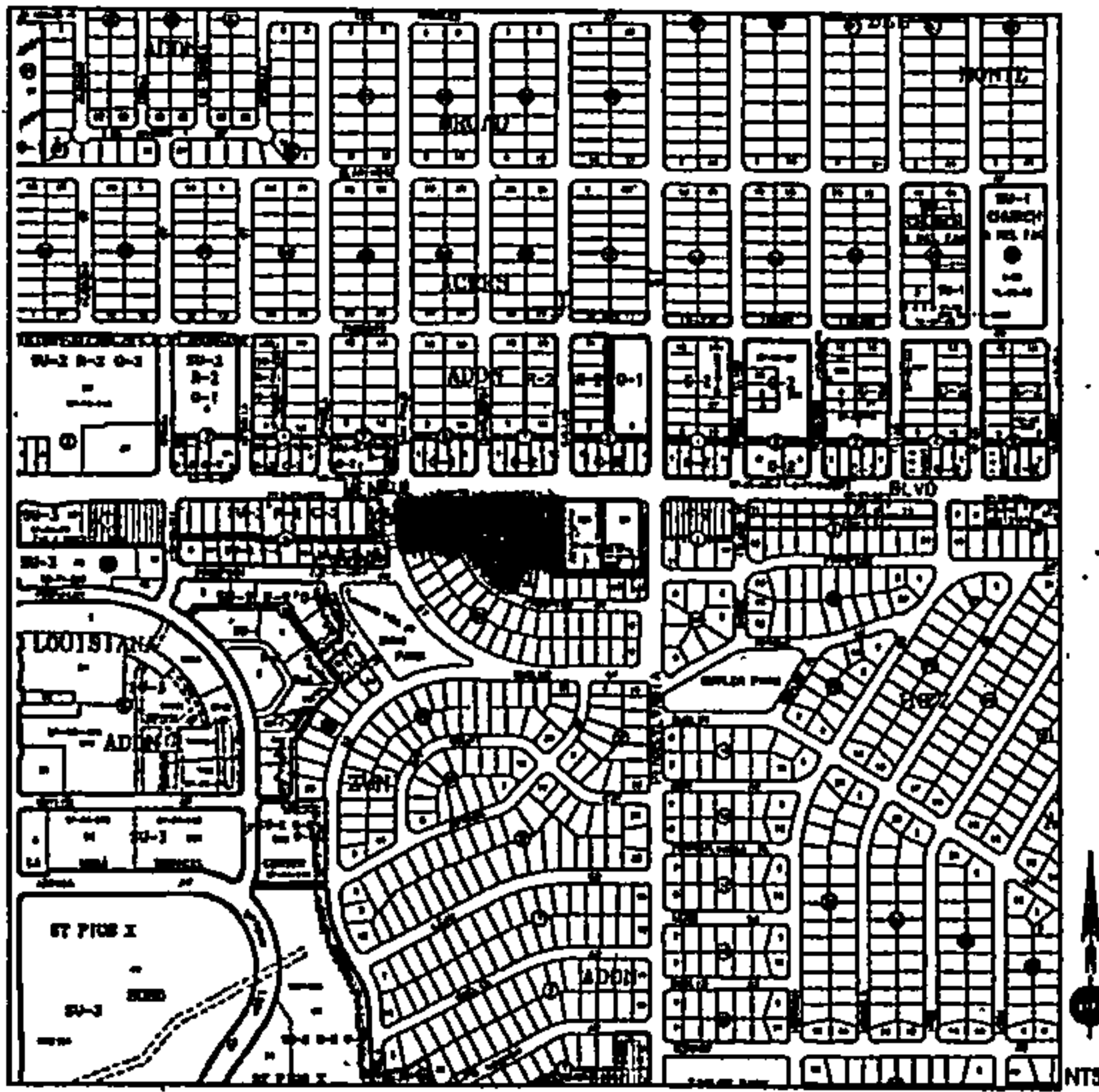
In the case that subject SIA is required; then we would like to request a two year extension of the recorded SIA, Procedure B. The subject Agreement was entered into to financially guarantee those public improvements as found on the previous Infrastructure List approved by the DRB on October 22, 2008 (attached).

Thank you for your assistance in researching this matter and we will be available to answer any questions pertaining to this case.

Sincerely,
ISAACSON & ARFMAN P.A.

Fred C. Arfman, PE

Plat of TRACT A, Blocks 16 & 17, ZUNI ADDITION Section 7, T10N, R4E, NMPM, City of Albuquerque, Bernalillo County, New Mexico November 2008



VICINITY MAP ZONE ATLAS H-19

LEGAL DESCRIPTION

Lots 1, 2, 3, 37, 38, 39, EXCEPTING the southerly Eleven feet of Lot 37 as described in Warranty Deed dated February 27, 1989, filed in Book D959, Page 181, records of Bernalillo County, New Mexico, all within Block 16; the vacated southerly 40 feet of Menaul Blvd. N.E. between Mesilla NE and Prospect NE, adjacent to said Block 16; and Lots 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 33, 34, 35, 36, 37, & 38 all in Block 17 of ZUNI ADDITION, Albuquerque, Bernalillo County, New Mexico, as the same are shown and designated on the map thereof filed in the office of the County Clerk of Bernalillo County, New Mexico, on December 11, 1950, in Plat Volume D, folio 104; TOGETHER WITH a portion of the Prospect Avenue N.E. right of way as vacated by the City of Albuquerque Development Review Board action 08DRB-70414, Project #1007099, dated October 15, 2008. Said entire parcel being more particularly described as follows: Beginning at the northeast corner of the tract herein described, being the northeast corner of Lot 11, Block 17, ZUNI ADDITION, whence the Albuquerque Geographic Reference System Station "11-H19" bears N.88°15'40"E., 1617.13 feet distant; thence, S.00°07'00"E., 308.80 feet to the southeast corner of Lot 11, Block 17, ZUNI ADDITION; thence, S.69°51'00"W., 45.05 feet; thence, N.77°09'11"W., 97.15 feet; thence, S.21°52'16"W., 120.10 feet to the southeast corner of Lot 33, Block 17, ZUNI ADDITION; thence, northwesterly, along a curve to the right with a radius of 363.80 feet, an arc length of 286.89 feet, a central angle of 46°27'36", and a chord bearing N.42°57'09"W., 279.09 feet to the northwest corner of Lot 36, Block 17, ZUNI ADDITION; thence, S.70°16'30"W., 187.50 feet to the southwest corner of Lot 3, Block 16, ZUNI ADDITION; thence, northwesterly, along a curve to the right with a radius of 521.30 feet, an arc length of 47.81 feet, a central angle of 05°15'17", and a chord bearing N.17°05'42"W., 47.79 feet to an angle point; thence, S.74°22'03"W., 117.52 feet to the southwest corner of the tract herein described, a point on the easterly right of way line of Mesilla Avenue N.E.; thence, northwesterly, along a curve to the right with a radius of 838.80 feet, an arc length of 182.02 feet, a central angle of 14°31'55", and a chord bearing N.07°24'58"W., 161.58 feet to a point of tangency; thence, N.00°09'00"W., 40.00 feet to a point of curvature; thence, northeasterly, along a curve to the right with a radius of 30.00 feet, an arc length of 47.12 feet, a central angle of 90°00'00", and a chord bearing N.44°51'00"E., 42.43 feet to a point of tangency on the present southerly right of way line of Menaul Boulevard N.E.; thence, N.89°51'00"E., 650.00 feet along said right of way line to the point of beginning. Containing 4.1830 acres, more or less.

FREE CONSENT

THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THE PROPERTY DESCRIBED HEREON DO HEREBY CONSENT TO THE PLATTING OF SAID PROPERTY AS SHOWN HEREON AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THEIR DESIRES AND DO HEREBY REPRESENT THAT THE UNDERSIGNED INDIVIDUALS ARE AUTHORIZED TO SO ACT AND DO HEREBY GRANT ADDITIONAL EASEMENT(S) AS SHOWN. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFESIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

PURPOSE OF PLAT

THE PURPOSE OF THIS PLAT IS TO VACATE VARIOUS PUBLIC UTILITY EASEMENTS, VACATE A PORTION OF PROSPECT AVE. NE, TO ELIMINATE THE LOT LINES BETWEEN 23 EXISTING LOTS AND PORTIONS OF LOTS, CREATING ONE NEW TRACT, AND TO GRANT ADDITIONAL EASEMENTS AS SHOWN.

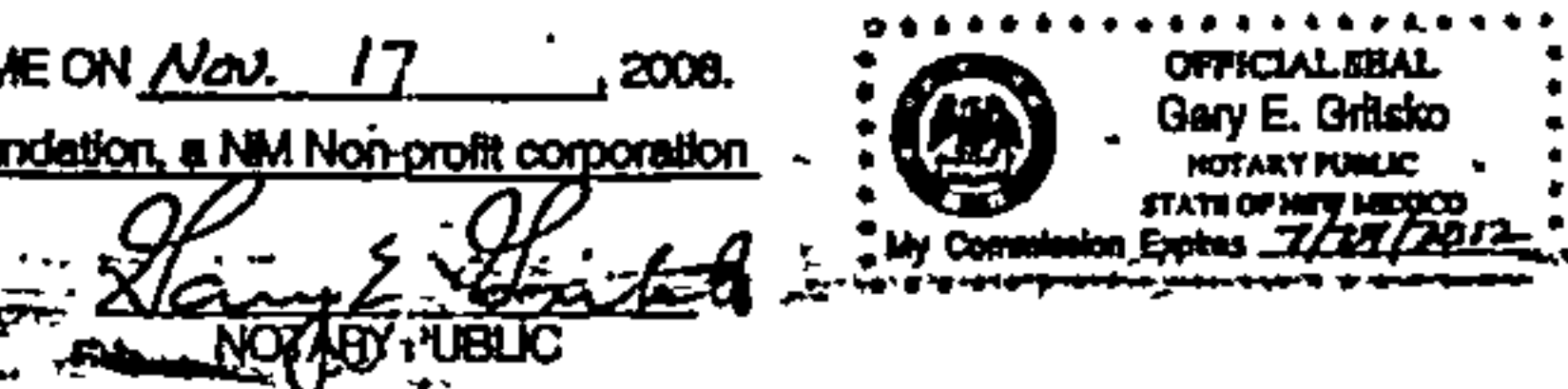
SUBMISSION NOTES

- 1. BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE, NAD83, AND ARE BASED ON GPS OBSERVATIONS REFERENCED TO AGRS CONTROL STATION 11-H19.
2. RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESIS () WHERE RECORD DATA DIFFERS FROM MEASURED DATA.
3. DISTANCES ARE GROUND-DISTANCES IN US-FEET.
4. PLAT SHOWS ALL EASEMENTS OF RECORD.
5. GROSS AREA: 4.1830 ACRES, MORE OR LESS
6. NUMBER OF EXISTING LOTS: 23
7. NUMBER OF LOTS CREATED: 1

Robert Goodman, Executive Director of Sandia Foundation, a NM Non-profit corporation.

STATE OF NEW MEXICO) COUNTY OF BERNALILLO) 88 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON Nov. 17, 2008. BY: Robert Goodman, Executive Director of Sandia Foundation, a NM Non-profit corporation.

MY COMMISSION EXPIRES: 7/27/2012



PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- 1. THE PUBLIC SERVICE COMPANY OF NEW MEXICO ELECTRIC SERVICES FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
2. THE PUBLIC SERVICE COMPANY OF NEW MEXICO GAS SERVICES FOR INSTALLATION, MAINTENANCE AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.
3. QWEST COMMUNICATIONS FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND, PEDESTALS AND ENCLOSURES.
4. COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND OVERHEAD CABLE TV LINES, RELATED EQUIPMENT AND OTHER FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICES.

INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, BRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURES SHALL NOT BE ERECTED OR CONSTRUCTED ON SAID EASEMENTS NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING OR ANY STRUCTURES ADJACENT TO, WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT

IN APPROVING THIS PLAT, P.N.M. ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED, EXCEPT THOSE EASEMENTS SPECIFICALLY SHOWN OR NOTED AS VACATED BY THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10) IN FRONT OF TRANSFORMERS/SWITCHGEAR DOORS AND FIVE FEET (5) ON EACH SIDE.

Tomás Vigil 11-24-08 P.N.M. ELECTRIC AND GAS SERVICES
Greg Amador 12-9-08 QWEST COMMUNICATIONS
Karin Baker 11-24-08 COMCAST CABLE

CITY DRB APPROVALS:

1007099 PROJECT NO: 1006634 APPLICATION NO. 08DRB-70492
11-17-08 DATE
11/26/08 DATE
11/26/08 DATE
11-26-08 DATE
11/26/08 DATE
11/26/08 DATE
6-4-09 DATE
5-21-09 DATE

SURVEYORS CERTIFICATION

I, Gary E. Grisko, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico and is true and correct to the best of my knowledge and belief.

Nov. 14, 2008 Date
Gary E. Grisko, N.M.P.S. No. 8686



THIS IS TO CERTIFY THAT TAXES ARE CURRENT & PAID ON UPC#: 10190871942523601
PROPERTY OWNER OF RECORD: Sandia Foundation
BERNALILLO COUNTY TREASURER'S OFFICE: Crystal Trujillo 10/14/09

DOC# 2008062591
11/15/2008 10:38 AM Page: 1 of 2
11/15/2008 10:38 AM 1:26:00 P. 0001 R. Yousou Ojivera, Bernalillo Co.
DRB OF ALBUQUERQUE

SHEET 1 OF 2
ALPHA PROFESSIONAL SURVEYING, INC.
P.O. BOX 46316, RIO RANCHO, NEW MEXICO 87174
(505) 892-1076 FAX (505) 891-0471
DRAWN BY: GEG FILE NO: 08-125P

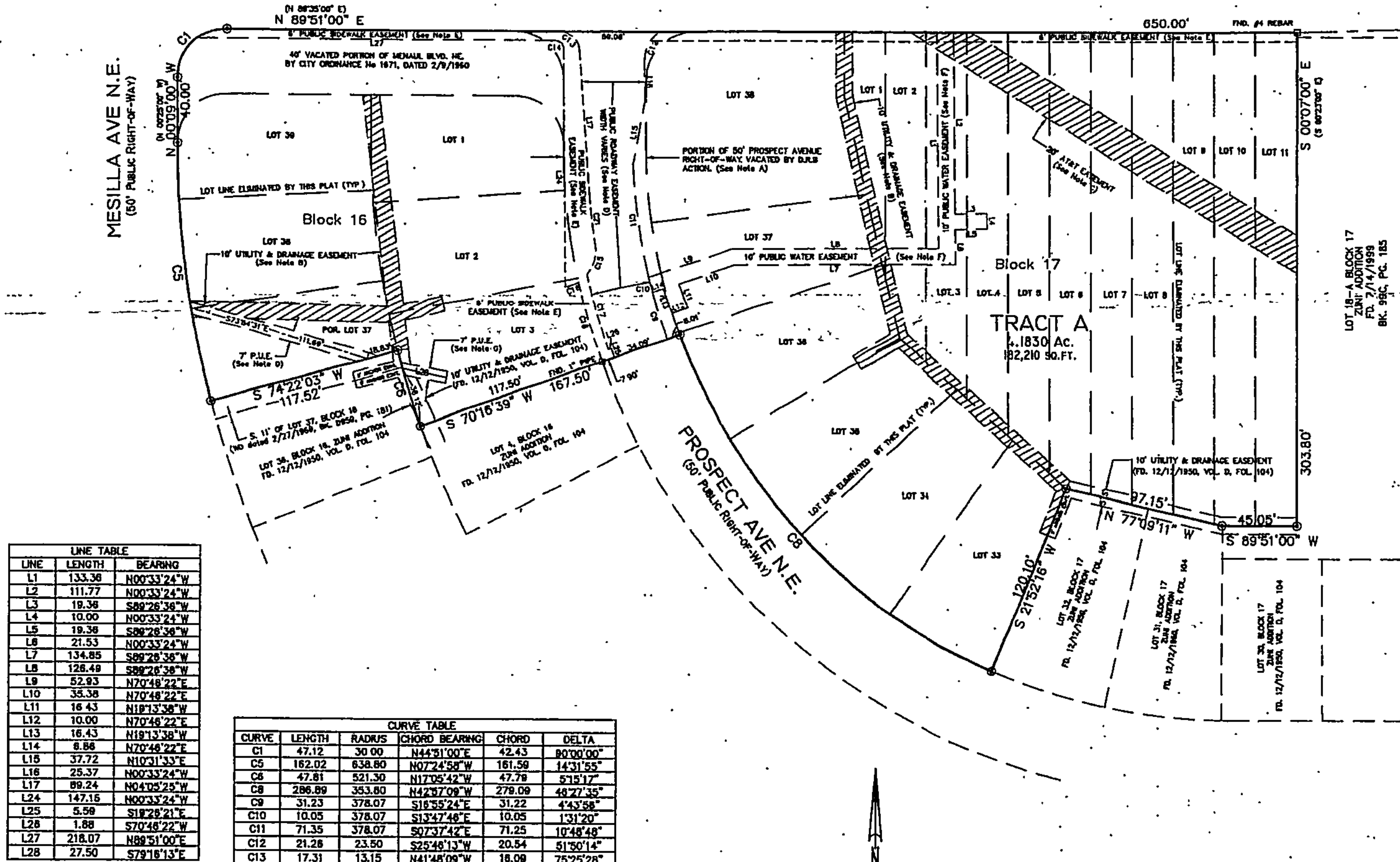
Plat of
TRACT A,
 Blocks 16 & 17,
ZUNI ADDITION
 Section 7, T10N, R4E, NMPM,
 City of Albuquerque,
 Bernalillo County, New Mexico
 November 2008

MENAU BLVD. N.E.
 (100' PUBLIC RIGHT-OF-WAY)

AGRS CONTROL STATION "11-119"
 NM STATE PLANE COORDINATES
 (NAD 1983) CENTRAL ZONE
 N=1495164.914
 Y=1548977.780
 ELEV: 5364.257 (NAVD 88)
 G/G FAC.=0.999656857
 MAPPING ANGLE: -0°10' 33.04"

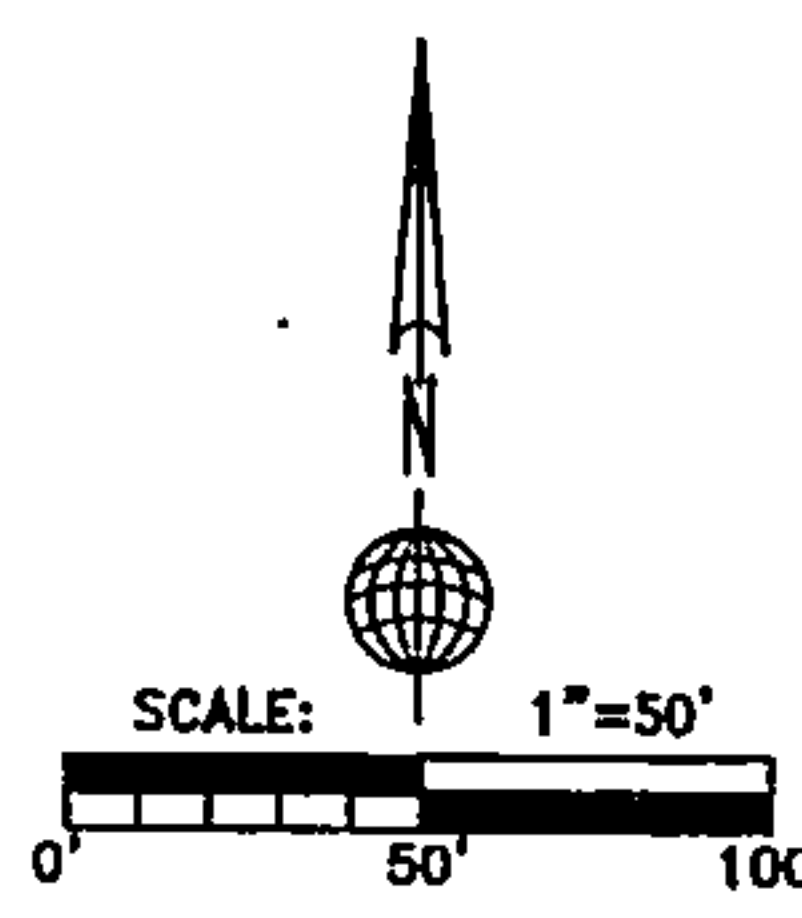
NOTE: SOLAR RESTRICTIONS
 No property within the area of requested final action shall at any time be subject to a deed restriction, covenant or binding agreement prohibiting solar collectors from being installed on buildings or tracts on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat or site development plan for subdivision. (Section 14-14-4-7)

EASEMENT NOTES:
 A. Portion of the 50' Prospect Avenue public right-of-way that was dedicated by the plat of Zuni Addition, is vacated by D.R.B. action: Project# 1007099, 08DRB-70414. The vacated right of way contains an area of 10,356 sq. ft.
 B. 10' Public Utility & Drainage Easement granted by the plat of Zuni Addition, recorded on December 12, 1950 in Vol. D, Folio 104. The hatched areas of this easement are hereby vacated by D.R.B. action: Project# 1007099, 08DRB-70413.
 C. 20' A.T. & T. Easement granted by the plat of Zuni Addition, recorded on December 12, 1950 in Vol. D, Folio 104. The hatched area of this easement is hereby vacated by D.R.B. action: Project# 1007099, 08DRB-70413.
 D. Public Roadway Easement granted by this plat. The road within this easement shall be privately maintained by the owners of Tract A shown hereon. This easement shall also serve as a Public Water, Public Sanitary Sewer, Public Drainage and Public Utility Easement.
 E. Public Sidewalk Easements granted by this plat.
 F. 10' Public Water Easement granted by this plat.
 G. 7' Public Utility Easement granted by this plat.



LINE	LENGTH	BEARING
L1	133.36	N00°33'24\"W
L2	111.77	N00°33'24\"W
L3	19.36	S89°26'36\"W
L4	10.00	N00°33'24\"W
L5	19.36	S89°26'36\"W
L6	21.53	N00°33'24\"W
L7	134.85	S89°26'36\"W
L8	128.49	S89°26'36\"W
L9	52.93	N70°48'22\"E
L10	35.38	N70°48'22\"E
L11	16.43	N18°13'36\"W
L12	10.00	N70°48'22\"E
L13	16.43	N18°13'36\"W
L14	6.88	N70°48'22\"E
L15	37.72	N10°31'33\"E
L16	25.37	N00°33'24\"W
L17	89.24	N04°05'25\"W
L24	147.16	N00°33'24\"W
L25	5.59	S18°28'21\"E
L26	1.88	S70°48'22\"W
L27	218.07	N89°51'00\"E
L28	27.50	S79°18'13\"E

CURVE	LENGTH	RADIUS	CHORD BEARING	CHORD	DELTA
C1	47.12	30.00	N44°31'00\"E	42.43	80°00'00\"
C5	162.02	638.80	N07°24'58\"W	161.59	14°31'55\"
C6	47.81	521.30	N17°05'42\"W	47.79	5°15'17\"
C8	286.89	353.80	N42°37'09\"W	278.09	48°27'35\"
C9	31.23	378.07	S18°55'24\"E	31.22	4°43'58\"
C10	10.05	378.07	S13°47'49\"E	10.05	1°31'20\"
C11	71.35	378.07	S07°37'42\"E	71.25	10°48'48\"
C12	21.28	23.50	S25°48'13\"W	20.54	51°50'14\"
C13	17.31	13.15	N41°48'09\"W	18.09	75°25'28\"
C14	7.82	5.00	N45°21'12\"W	7.05	89°35'36\"
C15	19.50	23.50	N15°04'29\"E	18.95	47°32'40\"
C16	8.65	23.50	N68°27'40\"E	8.60	21°05'39\"
C17	49.74	397.80	S15°17'54\"E	49.71	7°09'50\"
C18	52.60	403.80	S15°57'23\"E	52.56	7°27'49\"



MONUMENT LEGEND
 △ - FOUND CONTROL STATION AS NOTED
 □ - FOUND MONUMENT AS NOTED
 ⊙ - SET 1/2" REBAR W/YELLOW PLASTIC CAP STAMPED "G. CRITSKO PLS8686" UNLESS OTHERWISE NOTED

DOCS 286865591
 08/11/2008 10:29 AM Page: 2 of 2
 PLAT # 812 88 B; COMM P; 0811 N. Toulous Olivera, Bernalillo Cou

SHEET 2 OF 2
ALPHA PROFESSIONAL SURVEYING, INC.
 P.O. BOX 46316, RIO RANCHO, NEW MEXICO 87174
 PHONE (505) 892-1076 FAX (505) 891-0471
 DRAWN BY: GEG FILE NO: 08-125P

Project# 1007099

11DRB-70111 MINOR - 2YR SUBD IMP AGMT EXT (2YR SIA)

SANDIA FOUNDATION request(s) the above action(s) for all or a portion of Tract(s) A, ZUNI ADDITION zoned SU-1, located on MENAUL BETWEEN MESILLA AND PENNSYLVANIA (H-19)

At the May 11, 2011 Development Review Board meeting, a two year extension of the Subdivision Improvements Agreement was approved.

If you wish to appeal this decision, you must do so by May 26, 2011 in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15 day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Jack Cloud, AICP, DRB Chair

Cc: Sandia Foundation – 6211 San Mateo NE, Ste 100 – Albuquerque, NN 87109
Marilyn Maldonado
file

--
IRS Circular 230 Disclosure: To comply with requirements imposed by the IRS, we inform you that any U.S. federal tax advice contained herein (including any attachments), unless specifically stated otherwise,

is not intended or written to be used, and cannot be used, for the purposes of (i) avoiding penalties under the Internal Revenue Code or (ii) promoting, marketing or recommending to another party any transaction or matter herein.

Modrall, Sperling, Roehl, Harris & Sisk, P.A.

THIS MESSAGE IS INTENDED ONLY FOR THE USE OF THE INDIVIDUAL OR ENTITY TO WHICH IT IS ADDRESSED AND MAY CONTAIN INFORMATION THAT IS CONFIDENTIAL, EXEMPT FROM DISCLOSURE UNDER APPLICABLE LAW, AND PROTECTED BY THE ATTORNEY-CLIENT PRIVILEGE.

for
2nd Extension

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

6. **Project# 1008672**
11DRB-70095 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- MICHAEL WEWERKA request(s) the above action(s) for all or a portion of Lot(s) 76-A & 76-B, Block(s) 7, **PERFECTO ARMIJO & BROS. ADDITION**, zoned SU-2 HD, located on CORNER OF 8TH AND ROMA containing approximately 0.14 acre(s). (J-14)[*Deferred from 4/27/11, 5/4/11*] **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION FOR RECORDED REVOKABLE PERMIT AND TO PLANNING FOR AGIS DXF.**
7. **Project# 1003610**
11DRB-70106 EXT OF SIA FOR TEMP
DEFR SDWK CONST
- LONGFORD HOMES request(s) the above action(s) for all or a portion of **ARROW WOOD HILLS Unit(s) 1**, zoned RLT, located on 98TH ST SW BETWEEN RIO BRAVO SW AND BLAKE ST SW containing approximately 29 acre(s). (N-9) **A TWO YEAR EXTENSION TO THE 4-YEAR AGREEMENT FOR THE DEFERRAL OF SIDEWALKS WAS APPROVED.**
8. **Project# 1007099**
11DRB-70111 MINOR - 2YR SUBD IMP
AGMT EXT (2YR SIA)
- SANDIA FOUNDATION request(s) the above action(s) for all or a portion of Tract(s) A, **ZUNI ADDITION** zoned SU-1, located on MENAUL BETWEEN MESILLA AND PENNSYLVANIA (H-19) **THE TWO YEAR EXTENSION OF THE SUBDIVISION IMPROVEMENT AGREEMENT (SIA) WAS APPROVED.**
9. **Project# 1008268**
11DRB-70108 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- TERRAMETRICS OF NEW MEXICO agent(s) for MICHAEL HOSN DBA HOSNI COLLECTIONS LLC request(s) the above action(s) for all or a portion of Lot(s) 7, Block(s) E, **CACY** zoned O-1, located on PHEASANT AVE NW BETWEEN COORS BLVD NW AND CORONA ST NW containing approximately .2482 acre(s). (G-11) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER TO SHOW SPECIAL FLOOD HAZZARD ZONE AND TO PLANNING TO VERIFY ZONING, AGIS DXF, AND TO RECORD.**

Current DRC
Project Number: _____

FIGURE 12

Date Submitted: October 17, 2008
Date Site Plan Approved: 10-22-08
Date Preliminary Plat Approved: _____
Date Preliminary Plat Expires: _____
DRB Project No.: 1007099
DRB Application No.: 08DRB-70422

ORIGINAL

INFRASTRUCTURE LIST
(Rev. 9-05)
EXHIBIT "A"
TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Manaul + Prospect Retail Center
PROPOSED NAME OF PLATTING SITE DEVELOPMENT PLAN

Portion of Blocks 16 & 17, Zuni Addition, Section 7, T.10N., R.4E., N.M.P.M. Albuquerque, Bernalillo County NM
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantees. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
		6'	Sidewalk	Manaul Blvd. NE	Mesilla Av. NE	NE Property Corner	/	/	/
		13'-2"	Type "C" Bus Shelter & Bus Stop	Manaul Blvd.	East of Prospect Av. NE	at North Prop. Line	/	/	/
			Reconfiguration of Median(s)	Manaul Blvd. NE	Mesilla Av. NE	Chariston St. NE	/	/	/
			Left Turn Lane Extension	Manaul Blvd. NE	Charleston/Manaul Intersection		/	/	/
		8"	Water Line & Fire Hydrants	Property East of Prospect	Prospect Av. NE	Manaul Blvd. NE	/	/	/
		4" - 8"	4 Sanitary Sewer Service	All Buildings	Property East & West of Prospect		/	/	/
		1" - 2"	4 Water Services	All Buildings	Property East & West of Prospect		/	/	/
		24'-min.	Paving Improvements plus Public Sidewalk (6' min, W.side only)	Public Roadway Easement	Prospect Terminus	Manaul Blvd.	/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under ORC #	Size	Type of Improvement	Location	From	To	Construction Certification				
							Private Inspector	P.E.	City Cnst Engineer		
<input type="text"/>	<input type="text"/>						/	/	/		
<input type="text"/>	<input type="text"/>						/	/	/		
Approval of Creditable Items:							Approval of Creditable Items:				
Impact Fee Administrator Signature							Date		City User Dept. Signature		Date

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

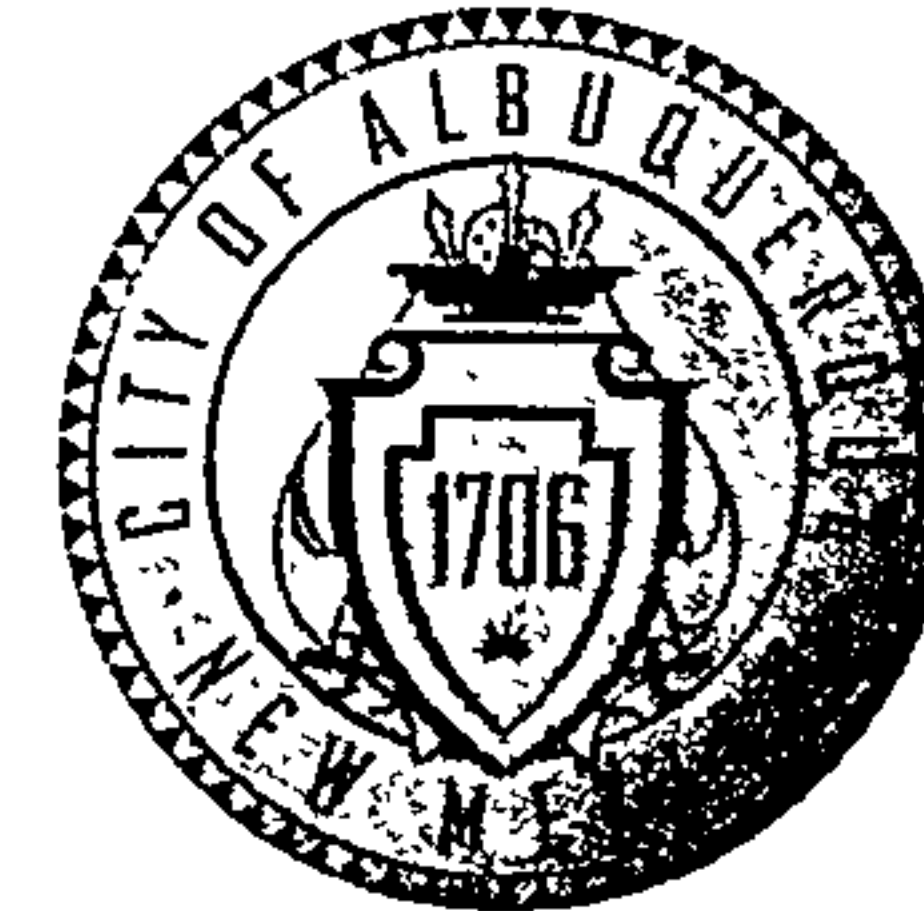
1 _____
Waterlines include all applicable gate valves, tees, bends, restrained joints & connections.

AGENT / OWNER	DEVELOPMENT REVIEW BOARD MEMBER APPROVALS	
Guy Jackson, PE NAME (print)	<i>John Clark</i> 10/22/08 DRB CHAIR - date	<i>Christina Sandora</i> 10/22/08 PARKS & GENERAL RECREATION - date
Guy Jackson & Associates, LLC FIRM	<i>[Signature]</i> 10/22/08 TRANSPORTATION DEVELOPMENT - date	AMAFCA - date
<i>[Signature]</i> 10-22-08 SIGNATURE - date	<i>Roger Dean</i> 10/22/08 UTILITY DEVELOPMENT - date	- date
	<i>Bradley H. Brubaker</i> 10/22/08 CITY ENGINEER - date	- date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

CITY OF ALBUQUERQUE



April 15, 2013

CERTIFIED MAIL/RETURN RECEIPT REQUESTED

Robert M. Goodman, Executive Director
SANDIA FOUNDATION
6211 San Mateo Blvd. NE Suite 100
Albuquerque, New Mexico 87109

RE: NOTICE OF UPCOMING DEADLINE FOR COMPLETION OF IMPROVEMENTS
AND CITY'S INTENTION TO CALL FINANCIAL GUARANTY –
SUBDIVISION IMPROVEMENTS AGREEMENT, PROCEDURE B

PROJECT: MENAUL & PROSPECT
PROJECT NO: 762381

Dear Mr. Goodman:

I am the Assistant City Attorney who represents the City of Albuquerque ("City") in matters relating to construction of infrastructure by subdividers. As you are aware, **Sandia Foundation** ("Subdivider") signed a **SUBDIVISION IMPROVEMENTS AGREEMENT, PROCEDURE B**, ("Agreement") requiring the subdivider to construct certain infrastructure improvements by **May 14, 2013** ("Construction Deadline"). The Subdivider has utilized the maximum period allowed by the City's Subdivision Ordinance for completion of construction.

PO Box 1293

Albuquerque

If construction will not be completed by the Construction Deadline, the City may grant an extension of time to complete construction if the Subdivider obtains approval for an extension from the City's Development Review Board ("D.R.B.") *before* the Construction Deadline, in accordance with D.R.B. requirements and Section 14-14-5-3 of the City's Subdivision Ordinance as amended. If granted, the D.R.B. approval will specify the extended deadline for completion. The Subdivider then must immediately submit an acceptable Extension Agreement and revised financial guaranty to the Planning Department, Design Review Section. All the above steps must be successfully completed by the Construction Deadline.

NM 87103

www.cabq.gov

THIS LETTER PROVIDES NOTICE TO THE SUBDIVIDER THAT IF: (1) THE CONSTRUCTION IS NOT COMPLETED BY THE CONSTRUCTION DEADLINE; OR (2) AN EXTENSION IS NOT OBTAINED AND THE RELATED EXTENSION AGREEMENT AND REVISED FINANCIAL GUARANTY ARE NOT SUBMITTED BY THE CONSTRUCTION DEADLINE, THEN THE CITY MAY DECLARE THE AGREEMENT TO BE IN DEFAULT AND WILL HOLD THE SUBDIVIDER AND THE SURETY JOINTLY AND SEVERALLY LIABLE FOR 125% OF THE COST OF COMPLETING THE IMPROVEMENTS.

Page 2 of 2

April 15, 2013

PROJECT: MENAUL & PROSPECT

PROJECT NO: 762381

Please immediately contact the Project Administrator, Marilyn Maldonado, at (505) 924-3997 and let her know whether: (1) the construction will be completed by the Construction Deadline Date and the necessary paperwork will be provided promptly to the City's Planning Department, Construction Section for acceptance of the required subdivision improvements; or (2) the Subdivider will be submitting a written request for extension to the D.R.B. and, if an extension is granted, will be submitting an Extension Agreement and related revised financial guaranty to the City's Planning Department, Design Review Section by the Construction Deadline date.

Very truly yours,



Blake Whitcomb
Assistant City Attorney

BW/pcl

#3-B

MAY 8. 2013

...



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
 - Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): SURITEK, INC PHONE: 897-3366
 ADDRESS: 9384 VALLEY VIEW DR NW FAX: 897-3377
 CITY: ALB STATE NM ZIP 87114 E-MAIL: RUSSTHUGG@SURITEK.COM

APPLICANT: SANDIA FOUNDATION PHONE: 242-2684
 ADDRESS: 6211 SAN MATEO BLV NE SUITE 100 FAX: _____
 CITY: ALB STATE NM ZIP 87109 E-MAIL: _____

Proprietary interest in site: OWNERS List all owners: _____

DESCRIPTION OF REQUEST: MINOR PRELIMINARY AND FINAL PLAT APPROVAL

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. TRACT A Blocks 16 AND 17 Unit: _____
 Subdiv/Addn/TBKA: ZUNI ADDITION
 Existing Zoning: SU-1 FOR C-2 Proposed zoning: SAME MRGCD Map No N/A
 Zone Atlas page(s): A-19 UPC Code: 101905920424831501

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.):
1007099 12 DRB-70189 AND 70190

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? N/A
 No. of existing lots: 1 No. of proposed lots: 1 Total site area (acres): 4.1826 AC
 LOCATION OF PROPERTY BY STREETS: On or Near: MENARD BLV NE
 Between: PENNSYLVANIA ST and MESILLA ST

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE [Signature] DATE 8/1/12
 (Print Name) Russ Hugg Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 4/2012

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>12 DRB - 70243</u>	<u>P&F</u>	_____	<u>\$215.00</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>CMTF</u>	_____	<u>\$20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
				Total
				<u>\$335.00</u>

Hearing date Aug. 15, 2012

[Signature]
 8-7-12
 Staff signature & Date

Project # 1007099

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

SKETCH PLAT REVIEW AND COMMENT (DRB22) Your attendance is required.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08) Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Copy of DRB approved infrastructure list
 - Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
 - List any original and/or related file numbers on the cover application
- Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12) Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations & cross sections of perimeter walls 3 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- List any original and/or related file numbers on the cover application
- DXF file and hard copy of final plat data for AGIS is required.

MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16) Your attendance is required.

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings ensure property owner's and City Surveyor's signatures are on the plat prior to submittal
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations and cross sections of perimeter walls (11" by 17" maximum) 3 copies
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- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- Fee (see schedule)
- List any original and/or related file numbers on the cover application
- Infrastructure list if required (verify with DRB Engineer) - **PROCEDURE A**
- DXF file and hard copy of final plat data for AGIS is required.

AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03) Your attendance is required.

- PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.
- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
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- Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Russ Hugo
 Applicant name (print)
[Signature] 8/1/12
 Applicant signature / date



Form revised October 2007

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
12 - DRB - 70243

[Signature] 8-7-12
 Planner signature / date
 Project # 1007099



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
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- Storm Drainage Cost Allocation Plan

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- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
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Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

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Lot or Tract No. TRACT A Blocks 16 AND 17 Unit: —
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1007099 12 DRB-70189 AND 70190

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Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE [Signature] DATE 8/1/12
 (Print Name) Russ Hugg Applicant: Agent

FOR OFFICIAL USE ONLY

Revised: 4/2012

	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> INTERNAL ROUTING	<u>2 DRB - 70243</u>	<u>P&F</u>	—	<u>\$215.00</u>
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Russ Hugg
Applicant name (print)
[Signature] 8/1/12
Applicant signature / date



Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
12 - DRB - 70243

[Signature] 8-7-12
Planner signature / date
Project # 1007099

SURV **TEK**, INC.

Consulting Surveyors

9384 Valley View Drive, NW Albuquerque, New Mexico 87114
Phone: 505-897-3366 Fax: 505-897-3377 E-mail: russhugg@survtek.com

August 1, 2012

Albuquerque Development Review Board
PO Box 1293
Albuquerque, New Mexico 87103

Attention: Mr. Jack Cloud, Chair

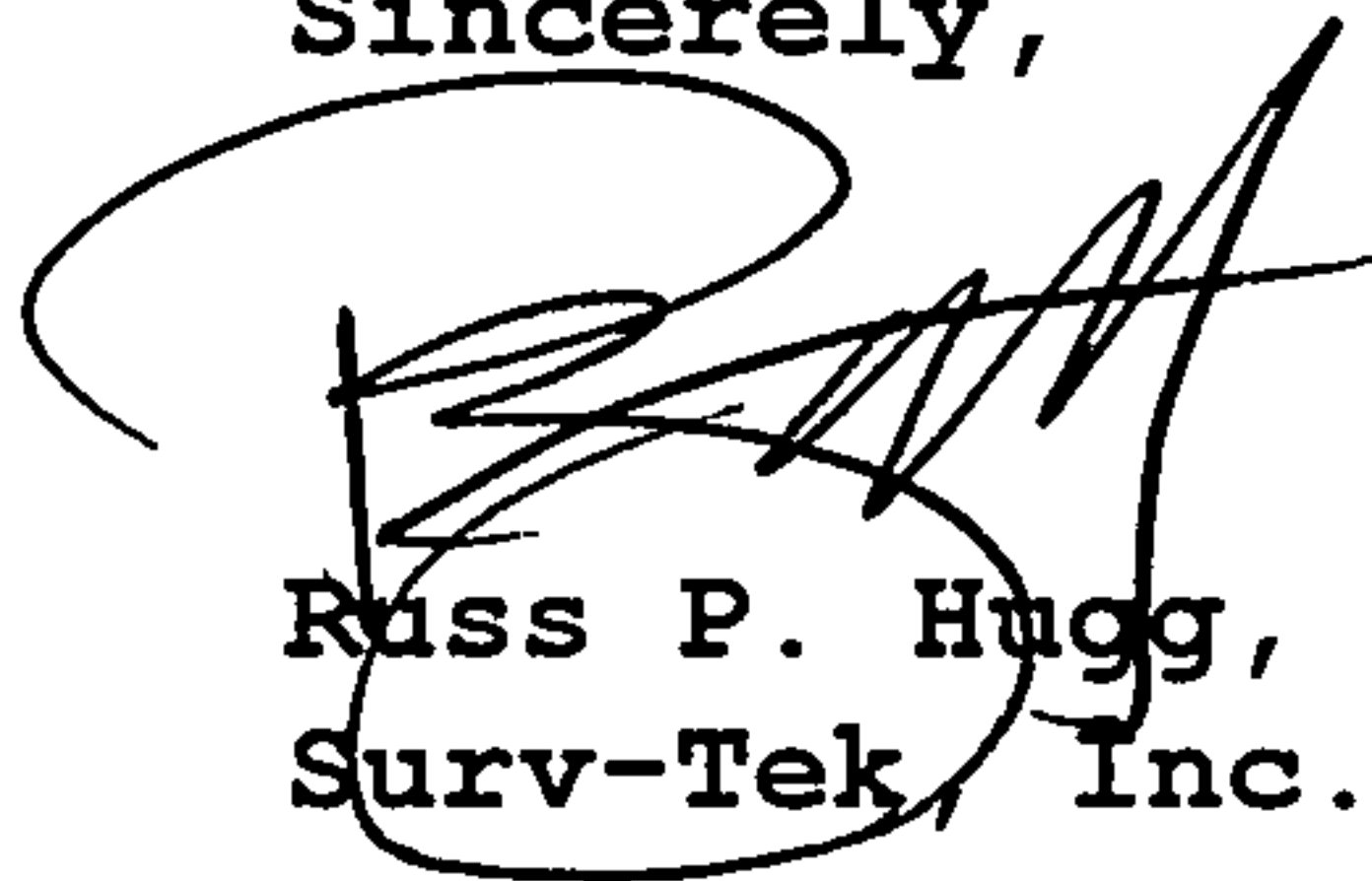
Re: Tract A, Blocks 16 and 17, Zuni Addition, City of Albuquerque,
Bernalillo County, New Mexico. City Zone Atlas page H-19.

Dear Mr. Cloud

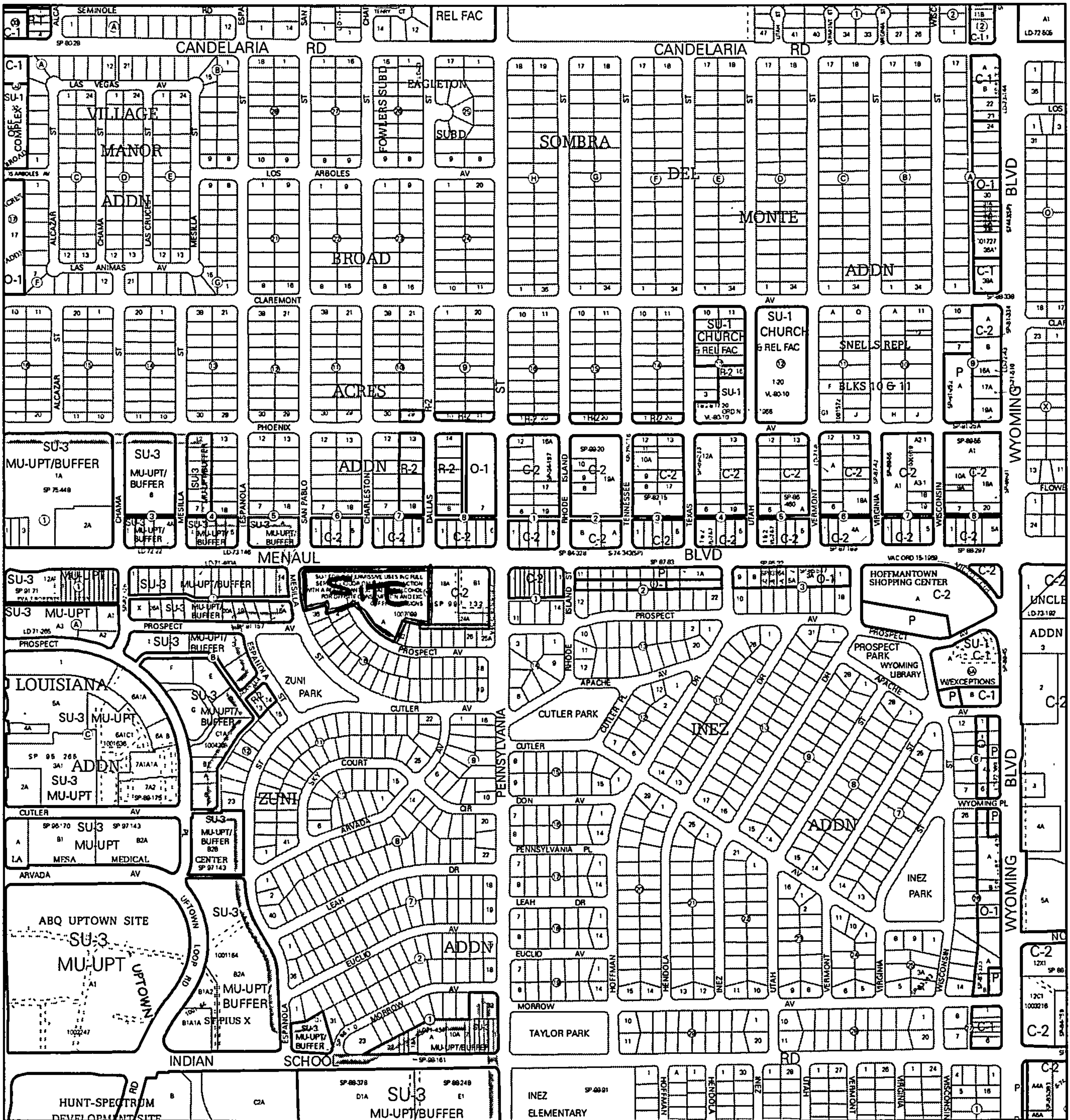
The Sandia Foundation is hereby filing application with the City of Albuquerque Development Review Board for a Minor Preliminary/Final plat approval of the above referenced property. The plat will Dedicate additional public street right of way and grant easements in conjunction with the Site Development Plan prepared by Consensus Planning (DRB 1007099) and also show the Public Easements Vacated by 12DRB-70189 and 70190.

If you have any questions concerning this request, please feel free to contact me at your convenience.

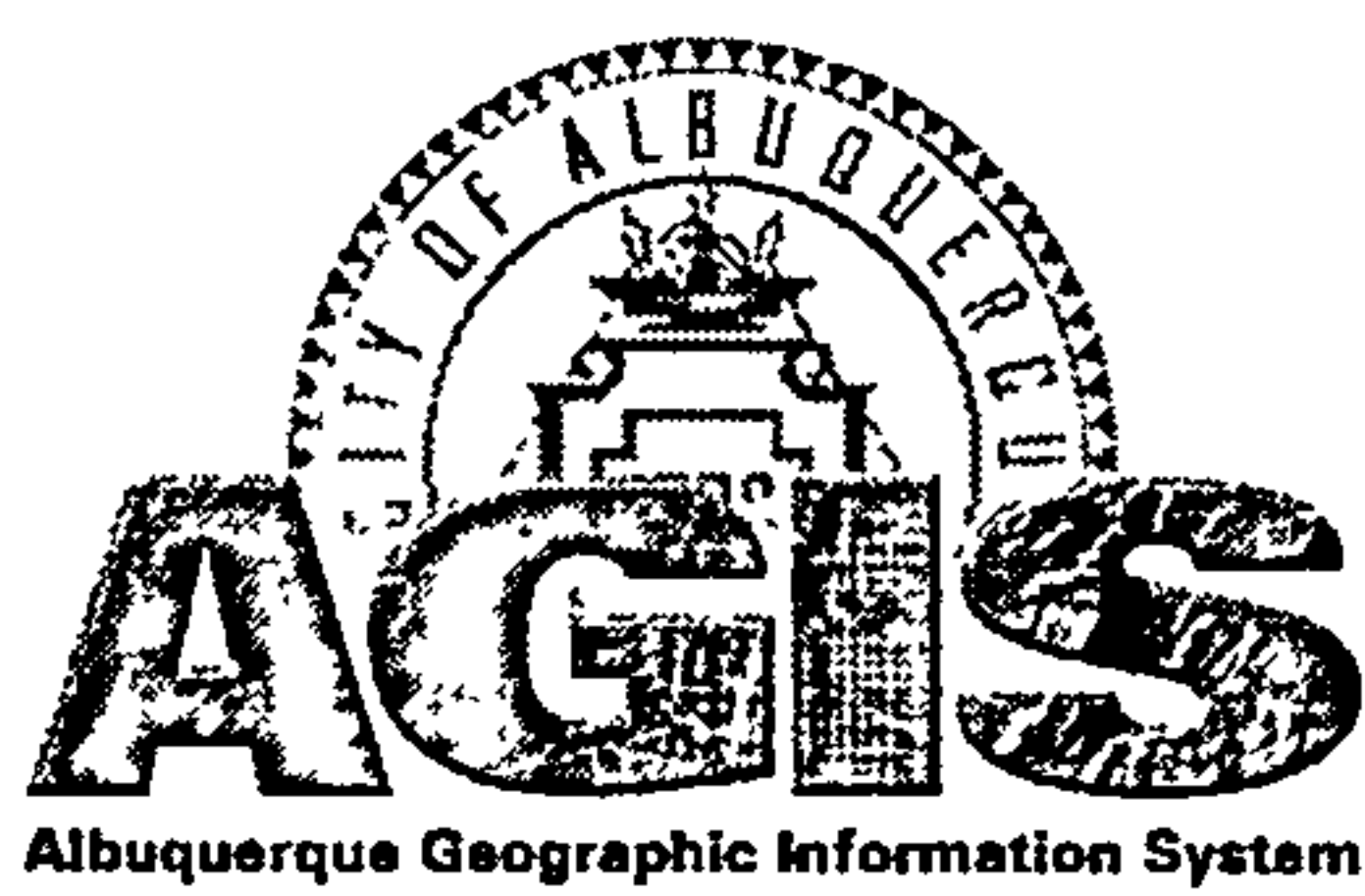
Sincerely,



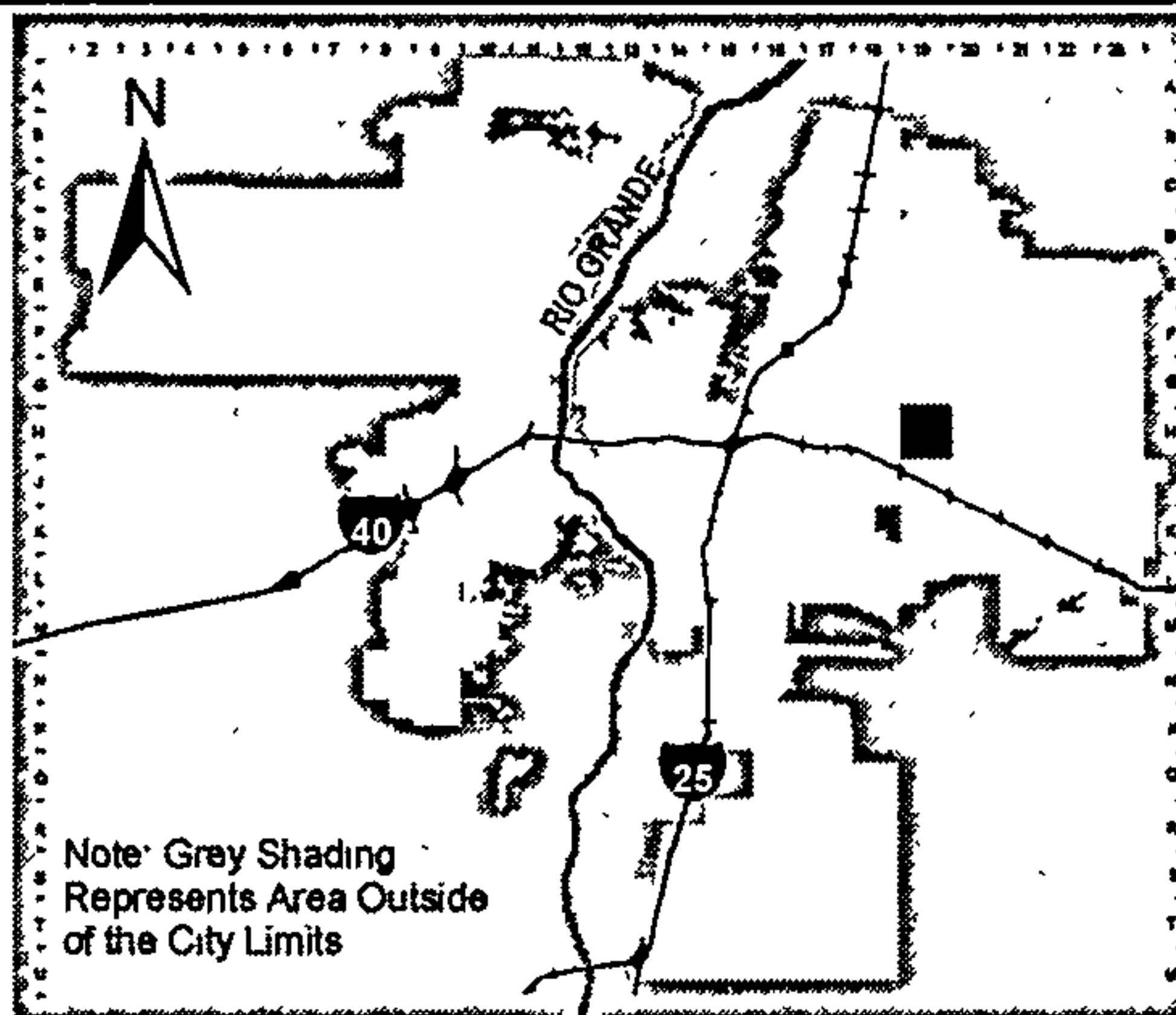
Russ P. Hugg, PS
Surv-Tek, Inc.



For more current information and details visit: <http://www.cabq.gov/gis>



Map amended through: 4/2/2012

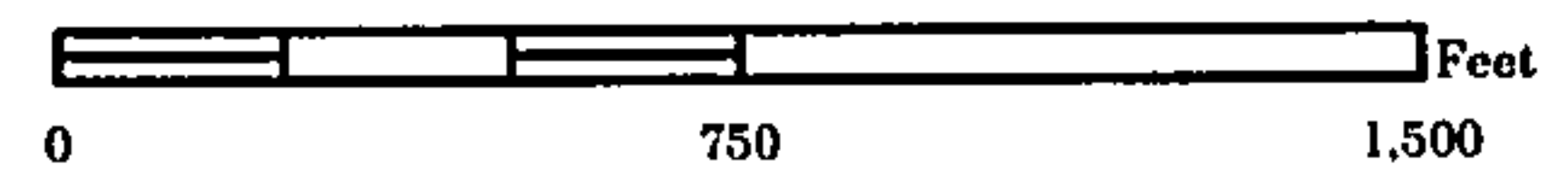


Zone Atlas Page:

H-19-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone



August 1, 2012

Mr. Russ Hugg
Surv-Tek, Inc.
9384 Valley View Drive NW
Albuquerque, New Mexico 87114

Re: Tract A, Blocks 16 and 17, Zuni Addition, City of
Albuquerque, Bernalillo County, New Mexico. City Zone Atlas
page H-19.

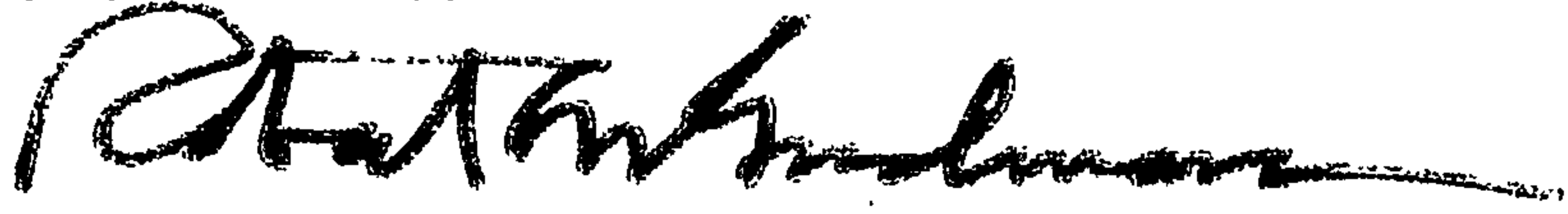
Dear Russ

By this letter, I hereby authorize you to act as agent on behalf
of The Sandia Foundation for replatting of the above referenced
lots.

Please call me if you have any further questions.

Sincerely,

Sandia Foundation

A handwritten signature in black ink, appearing to read "Robert Goodman", written over a horizontal line.

Robert Goodman, Executive Director

Rusty Hugg

From: Sammons, Joshua R. [jsammons@cabq.gov]
Sent: Wednesday, August 01, 2012 2:58 PM
To: Rusty Hugg
Cc: Gricius, Michelle A; Gaulden, Tim H.; Bradley, Catherine P.
Subject: RE: Tract A-1, Zuni Addition- DRB 1007099

Mr. Hugg,

The DXF for 1007099 has been approved. I will forward on the approval letter.

Thanks,

Josh

From: Rusty Hugg [mailto:russhugg@survtek.com]
Sent: Wednesday, August 01, 2012 2:22 PM
To: Sammons, Joshua R.; Gricius, Michelle A; Gaulden, Tim H.; Bradley, Catherine P.
Subject: Tract A-1, Zuni Addition- DRB 1007099

Afternoon

Attached are our PDF and DXF files for DRB Project 1007099
Bearings are grid and distances are ground
Please let me know if you have any questions

Thanks

Surv-Tek, Inc.

Rusty Hugg
9384 Valley View Drive, Albuquerque, NM 87114
Phone (505) 897-3366 Fax (505) 897-3377
russhugg@survtek.com

Russ P. Hugg
NMPS No. 9750



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
 - Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Isaacson & Arfman, PA PHONE: 268-8828
 ADDRESS: 128 Monroe Street NE FAX: 268-2632
 CITY: Albuquerque STATE NM ZIP 87108 E-MAIL: freda@iacivil.com

APPLICANT: Sandia Foundation (Attn: Bob Goodman) PHONE: 242-2684
 ADDRESS: 6211 San Mateo Blvd. NE, Suite 100 FAX: _____
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: bob@sandiafoundation.org
 Proprietary interest in site: Owner List all owners: _____

DESCRIPTION OF REQUEST: Vacation of Existing Public Roadway and Sidewalk Easement & Vacation of 10' Wide Public Waterline Easement Approval

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tract A Block: 16 & 17 Unit: _____
 Subdiv/Addn/TBKA: Zuni Addition
 Existing Zoning: SU-1 for C-2 Permissive Uses Proposed zoning: Same MRGCD Map No NA
 Zone Atlas page(s): H-19 UPC Code: 101905920424831501

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.): 08EPC-40021; 08EPC-40022; 08DRB-70413; 08DRB-70414

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No
 No. of existing lots: 1 No. of proposed lots: N/A Total site area (acres): 4.1830
 LOCATION OF PROPERTY BY STREETS: On or Near: Menaul Blvd. NE
 Between: Off of Prospect Ave. NE and _____

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE Fred C. Arfman DATE 07-06-12
 (Print Name) Fred C. Arfman Applicant: Agent:

FOR OFFICIAL USE ONLY

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers

12 DRB - 70189

12 DRB - 70190

Action

CMF
APN
VPE
VRW

S.F.

Fees

\$20.00
\$75.00
\$345.00
\$345.00
 Total
\$785.00

Revised: 4/2012

Hearing date Aug 1, 2012

Valerie [Signature]

7-6-12

Project # 1007099

Staff signature & Date

FORM V: SUBDIVISION VARIANCES & VACATIONS

- BULK LAND VARIANCE (DRB04)** **(PUBLIC HEARING CASE)**
24 copies
- Application for Minor Plat on FORM S-3, including those submittal requirements.
 - Letter briefly describing and explaining: the request, compliance with the Development Process Manual, and all improvements to be waived.
 - Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

- VACATION OF PUBLIC EASEMENT (DRB27)**
- VACATION OF PUBLIC RIGHT-OF-WAY (DRB28)**
- The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) **24 copies.**
(Not required for City owned public right-of-way.)
 - Drawing showing the easement or right-of-way to be vacated, etc. (not to exceed 8.5" by 11") **24 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
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- SIDEWALK WAIVER (DRB21)** **6 copies**
- Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14")
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the variance or waiver
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- SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM STANDARDS (DRB25)**
- Scale drawing showing the location of the proposed variance or waiver (not to exceed 8.5" by 14") **24 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the variance
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
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- TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB19)**
- EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB07)** **6 copies**
- Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14")
 - Zone Atlas map with the entire property(ies) clearly outlined
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- VACATION OF PRIVATE EASEMENT (DRB26)**
- VACATION OF RECORDED PLAT (DRB29)** **6 copies**
- The complete document which created the private easement/recorded plat (not to exceed 8.5" by 14")
 - Scale drawing showing the easement to be vacated (8.5" by 11")
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter/documents briefly describing, explaining, and justifying the vacation
 - Letter of authorization from the grantors and the beneficiaries (private easement only)
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DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Fred C. Arfman
Applicant name (print)
FRED C. ARFMAN 07-06-12
Applicant signature / date



Form revised 4/07

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
12 - DRB - 70189
12 - DRB - 70190

Valerie Batts 7-5-12
Planner signature / date
Project # 1002099

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from JULY 17, 2012 TO AUGUST 1, 2012

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

Ruth Lopez 7/6/12
for (Applicant or Agent) ISAACSON + Artman (Date)

I issued _____ signs for this application, _____ (Date) _____ (Staff Member)

DRB PROJECT NUMBER: _____



INTER-OFFICE MEMORANDUM

COMMENTING AGENCIES

DEBBIE BAUMAN, Transportation Development
SHABIH RIZVI, Transit & Parking Department
STEVE MONTIEL, Council of Governments
LYNN MAZUR, AMAFCA
STEVE SINK, APD Crime Prevention
JAY LEE EVANS, Open Space Division
RAY SANCHEZ, Fire Department
DAVID KILPATRICK, Zoning Enforcement Inspector
STEPHANI WINKLEPLECK, Neighborhood Coordination
DANIEL ARAGON, Public Service Company of New Mexico
PATRICK SANCHEZ, New Mexico Gas Company
APRIL WINTERS, Albuquerque Public Schools
MICHELE RAMIREZ, CenturyLink
MIKE MORTUS, Comcast Cable
RAY GOMEZ, Middle Rio Grande Conservancy District (MRGCD)
SUZANNE BUSCH, Environmental Health

Your comments on the following case(s) are requested. Board hearing date:

PROJECT # 1007099

Wednesday, August 1, 2012

Comments must be received by:

Friday, June 27, 2012

If comments are not received by this date, "no comments" will be listed on the staff report. Attached are copies of the requests.

If you have any questions, please contact me at 924-3946 or agomez@cabq.gov



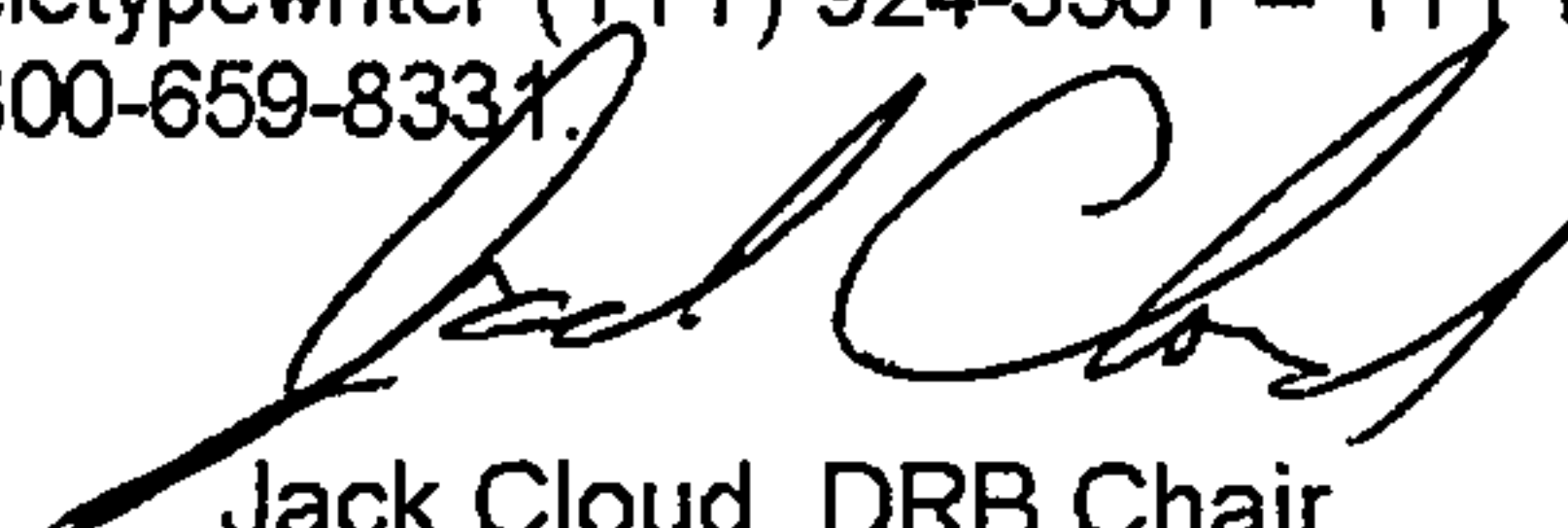
**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, August 1, 2012, beginning at 9:00 a.m. for the purpose of considering the following items. The Development Review Board will hold a Pre-Hearing Discussion in the Conference Room of Suite 201, Lobby Level, Plaza del Sol Building, 600 2nd St NW, Albuquerque, NM on Tuesday, July 31, 2012, beginning at 3:00 p.m. for the purpose of reviewing these items prior to the public hearing; no action or public comments will be taken at this Discussion.

Project# 1007099
12DRB-70189 VACATION OF PUBLIC
ROADWAY EASEMENT
12DRB-70190 VACATION OF PUBLIC
WATERLINE EASEMENT

ISAACSON AND ARFMAN PA agent(s) for SANDIA FOUNDATION request(s) the referenced/ above action(s) to eliminate public access through Tract A, Block(s) 16 & 17, ZUNI ADDITION zoned SU-1 FOR C-2 PERMISSIVE USES W/ RESTRICTIONS, located on MENAUL BLVD NE at PROSPECT AVE NE containing approximately 4.183 acre(s). (H-19)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays INDIVIDUALS WITH DISABILITIES who need special assistance to participate at this hearing should contact Angela Gomez, Planning Department, at 924-3946 (VOICE) or teletypewriter (TTY) 924-3361 – TTY users may also access the Voice number via the New Mexico Relay Network by calling toll-free 1-800-659-8331.


Jack Cloud, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, JULY 16, 2012.



Supplemental Form (SF)

SUBDIVISION	S	Z	ZONING & PLANNING
<input type="checkbox"/> Major subdivision action			<input type="checkbox"/> Annexation
<input type="checkbox"/> Minor subdivision action			
<input checked="" type="checkbox"/> Vacation	V		<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
<input type="checkbox"/> Variance (Non-Zoning)			<input type="checkbox"/> Adoption of Rank 2 or 3 Plan or similar
SITE DEVELOPMENT PLAN	P		<input type="checkbox"/> Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
<input type="checkbox"/> for Subdivision			
<input type="checkbox"/> for Building Permit			
<input type="checkbox"/> Administrative Amendment/Approval (AA)			
<input type="checkbox"/> IP Master Development Plan	D		<input type="checkbox"/> Street Name Change (Local & Collector)
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	L A		APPEAL / PROTEST of...
STORM DRAINAGE (Form D)			<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other
<input type="checkbox"/> Storm Drainage Cost Allocation Plan			

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

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 ADDRESS: 128 Monroe Street NE FAX: 268-2632
 CITY: Albuquerque STATE NM ZIP 87108 E-MAIL: freda@iacivil.com

APPLICANT: Sandia Foundation (Attn: Bob Goodman) PHONE: 242-2684
 ADDRESS: 6211 San Mateo Blvd. NE, Suite 100 FAX: _____
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: bob@sandiafoundation.org

Proprietary interest in site: Owner List all owners: _____

DESCRIPTION OF REQUEST: Vacation of Existing Public Roadway and Sidewalk Easement & Vacation of 10' Wide Public Waterline Easement Approval

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tract A Block: 16 & 17 Unit: _____
 Subdiv/Addn/TBKA: Zuni Addition
 Existing Zoning: SU-1 for C-2 Permissive Uses Proposed zoning: Same MRGCD Map No NA
 Zone Atlas page(s): H-19 UPC Code: 101905920424831501

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): 08EPC-40021; 08EPC-40022; 08DRB-70413; 08DRB-70414

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No
 No. of existing lots: 1 No. of proposed lots: N/A Total site area (acres): 4.1830
 LOCATION OF PROPERTY BY STREETS: On or Near: Menaul Blvd. NE
 Between: Off of Prospect Ave. NE and _____

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE Fred C. Arfman DATE 07-06-12
 (Print Name) Fred C. Arfman Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 4/2012

<input checked="" type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>12 DRB - 70189</u>	<u>CMF</u>	_____	<u>\$20.00</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>APN</u>	_____	<u>\$75.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	<u>VPE</u>	_____	<u>\$345.00</u>
<input type="checkbox"/> AGIS copy has been sent	<u>12 DRB - 70190</u>	<u>VRW</u>	_____	<u>\$345.00</u>
<input type="checkbox"/> Case history #s are listed	_____	_____	_____	_____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	_____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	_____
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	Total
	Hearing date <u>Aug 1, 2012</u>			<u>\$785.00</u>

Valerie P. [Signature] 7-6-12 Project # 1007099
 Staff signature & Date

FORM V: SUBDIVISION VARIANCES & VACATIONS

- BULK LAND VARIANCE (DRB04)** (PUBLIC HEARING CASE) **24 copies**
 ___ Application for Minor Plat on FORM S-3, including those submittal requirements.
 ___ Letter briefly describing and explaining: the request, compliance with the Development Process Manual, and all improvements to be waived.
 ___ Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
 ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
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 (Not required for City owned public right-of-way.)
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- SIDEWALK VARIANCE (DRB20)**
 SIDEWALK WAIVER (DRB21) **6 copies**
 ___ Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14")
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- SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM STANDARDS (DRB25)**
 ___ Scale drawing showing the location of the proposed variance or waiver (not to exceed 8.5" by 14") **24 copies**
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- TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB19)**
 EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB07)
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- VACATION OF PRIVATE EASEMENT (DRB26)**
 VACATION OF RECORDED PLAT (DRB29)
 ___ The complete document which created the private easement/recorded plat (not to exceed 8.5" by 14") **6 copies**
 ___ Scale drawing showing the easement to be vacated (8.5" by 11") **6 copies**
 ___ Zone Atlas map with the entire property(ies) clearly outlined
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I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Fred C. Arredon
 Applicant name (print)
FRED C. ARREDON 07-06-12
 Applicant signature / date

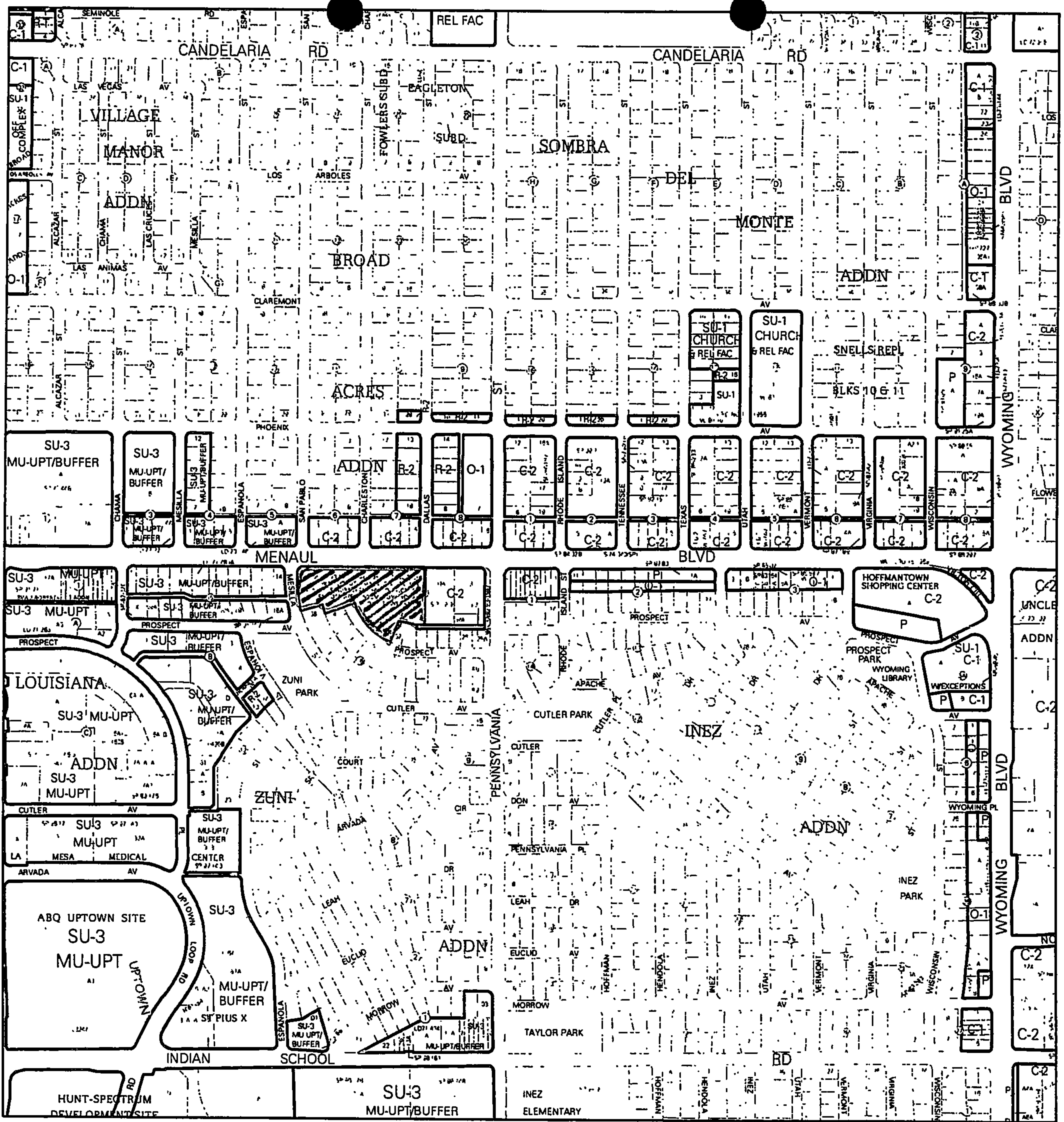


Form revised 4/07

- Checklists complete
 Fees collected
 Case #s assigned
 Related #s listed

Application case numbers
12 - DRB - 70189
12 - DRB - 70190

Valerie Batts 7-5-12
 Planner signature / date
 Project # 1007099



For more current information and details visit: <http://www.cabq.gov/gis>

AGIS
Albuquerque Geographic Information System

Map amended through: 4/2/2012

N

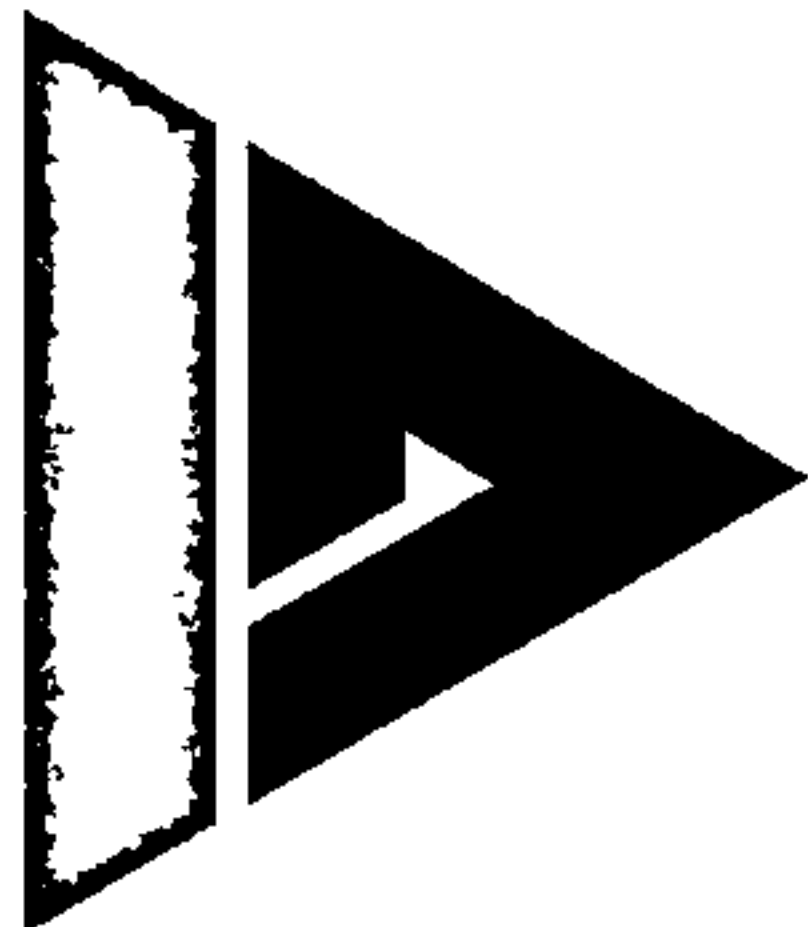
Zone Atlas Page:
H-19-Z

Selected Symbols

SECTOR PLANS		Escarpment
Design Overlay Zones		2 Mile Airport Zone
		City Historic Zones
		H-1 Buffer Zone
		Petroglyph Mon.
		Airport Noise Contours
		Wall Overlay Zone

Note: Grey Shading Represents Area Outside of the City Limits

0 750 1500 Feet



Justification of Request

I&A Project No.: 1992
Project: Menaul Site – Tract A: Site Development Plan for Subdivision
Zone Atlas Page: H-19
Legal: Tract A, Block 16 & 17; Zuni Addition

The Site Development Plan for Subdivision for the subject property (Project No. 1007099) was approved by the City of Albuquerque's Environmental Planning Commission (EPC) on April 12, 2012. Finding No. 10 as found on the Official Notice of Decision, dated April 16, 2012 states, "A petition was submitted at the hearing of April 12, 2012, requesting a cul-de-sac at the end of Prospect Avenue. The EPC supports partial or total closing of vehicular access to the center from the neighborhood to the south."

The justifications to support the vacation of public easements are as follows:

1. The existing public roadway and water line easements were specifically layout to accommodate the previous SDP for Building Permit. The new SDP for S/D. will have a altered layout and the easements will either be eliminated or relocated.
2. The Owner has met with the affect Neighborhood Associations in a facilitated meeting and has elected to follow their recommendation of a majority of the neighbors to close off Prospect Ave. at the site's southerly property line and creating a Fire Marshal approved terminus.
4. The vacation of the public sidewalk easement adjacent and to the west of the public roadway easement is will no longer be necessary at the defined location. The previously granted six (6) foot wide sidewalk easement along the frontage of Menaul Blvd. will remain and is not part of the request.
5. The existing ten (10) foot wide water line easement will be relocated and expanded to twenty-five (25) feet in width to accommodate an upsized water line and the realigned sanitary sewer main.

6. The public welfare is in no way served by retaining the right-of-way, private way or easement, or

There is a net benefit to the public welfare because the development made possible by the vacation is clearly more beneficial to the public welfare than the minor detriment resulting from the vacation; and in addition to paragraph a. or b.

There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right."

Plat of
TRACT A,
Blocks 16 & 17,
ZUNI ADDITION
Section 7, T10N; R4E, NMPM,
City of Albuquerque,
Bernalillo County, New Mexico
November 2008

LEGAL DESCRIPTION

Lots 1, 2, 3, 37, 38, 39, EXCEPTING the southerly Eleven feet of Lot 37 as described in Warranty Deed dated February 27, 1999, filed in Book D858, Page 181, records of Bernalillo County, New Mexico, all within Block 16; the vacated southerly 40 feet of Menaul Blvd. N.E. between Maella NE and Prospect NE, adjacent to said Block 16; and Lots 1, 2, 3, 4, 6, 7, 8, 9, 10, 11, 33, 34, 35, 36, 37, & 38 all in Block 17 of ZUNI ADDITION, Albuquerque, Bernalillo County, New Mexico, as the same are shown and designated on the map thereof filed in the office of the County Clerk of Bernalillo County, New Mexico, on December 11, 1950, in Plat Volume D, folio 104; TOGETHER WITH a portion of the Prospect Avenue N.E. right of way as vacated by the City of Albuquerque Development Review Board action 08DRB-70414, Project #1007099, dated October 16, 2008. Said entire parcel being more particularly described as follows:
Beginning at the northeast corner of the tract herein described, being the northeast corner of Lot 11, Block 17, ZUNI ADDITION, whence the Albuquerque Geographic Reference System Station "11-H18" bears N.88°16'40"E., 1617.13 feet distant; thence, S.00°07'00"E., 303.80 feet to the southeast corner of Lot 11, Block 17, ZUNI ADDITION; thence, S.89°51'00"W., 45.05 feet; thence, N.77°09'11"W., 97.15 feet; thence, S.21°52'16"W., 120.10 feet to the southeast corner of Lot 33, Block 17, ZUNI ADDITION; thence, northwesterly, along a curve to the right with a radius of 363.80 feet, an arc length of 288.80 feet, a central angle of 46°27'35", and a chord bearing N.42°57'09"W., 278.09 feet to the northwest corner of Lot 36, Block 17, ZUNI ADDITION; thence, S.70°15'36"W., 167.60 feet to the southwest corner of Lot 5, Block 16, ZUNI ADDITION; thence, northwesterly, along a curve to the right with a radius of 621.30 feet, an arc length of 47.81 feet, a central angle of 05°15'17", and a chord bearing N.17°05'42"W., 47.79 feet to an angle point; thence, S.74°22'03"W., 117.52 feet to the southwest corner of the tract herein described, a point on the easterly right of way line of Maella Avenue N.E.; thence, northwesterly, along a curve to the right with a radius of 638.80 feet, an arc length of 182.02 feet, a central angle of 14°31'55", and a chord bearing N.07°24'58"W., 161.59 feet to a point of tangency; thence, N.00°09'00"W., 40.00 feet to a point of curvature; thence, northwesterly, along a curve to the right with a radius of 30.00 feet, an arc length of 47.12 feet, a central angle of 90°00'00", and a chord bearing N.44°51'00"E., 42.43 feet to a point of tangency on the present southerly right of way line of Menaul Boulevard N.E.; thence, N.89°51'00"E., 650.00 feet along said right of way line to the point of beginning. Containing 4.1830 acres, more or less.

FREE CONSENT

THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THE PROPERTY DESCRIBED HEREON DO HEREBY CONSENT TO THE PLATTING OF SAID PROPERTY AS SHOWN HEREON AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THEIR DESIRES AND DO HEREBY REPRESENT THAT THE UNDERSIGNED INDIVIDUALS ARE AUTHORIZED TO SO ACT AND DO HEREBY GRANT ADDITIONAL EASEMENT(S) AS SHOWN. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

Robert Goodman
Robert Goodman, Executive Director of Sandia Foundation, a NM Non-profit corporation.

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) SS
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON Nov. 17, 2008.
BY: Robert Goodman, Executive Director of Sandia Foundation, a NM Non-profit corporation
MY COMMISSION EXPIRES: 7/27/2012
Gary E. Grisko
NOTARY PUBLIC



PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- 1. THE PUBLIC SERVICE COMPANY OF NEW MEXICO ELECTRIC SERVICES FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
 - 2. THE PUBLIC SERVICE COMPANY OF NEW MEXICO GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.
 - 3. OVERST COMMUNICATIONS FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND ENCLOSURES.
 - 4. COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND OVERHEAD CABLE TV LINES, RELATED EQUIPMENT AND OTHER FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICES.
- INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURES SHALL NOT BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING OR ANY STRUCTURES ADJACENT TO, WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.
- IN APPROVING THIS PLAT, P.A.M. ELECTRIC SERVICES AND GAS SERVICES (PAM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PAM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED, EXCEPT THOSE EASEMENTS SPECIFICALLY SHOWN OR NOTED AS VACATED BY THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10) IN FRONT OF TRANSFORMERS/SWITCHGEAR DOORS AND FIVE FEET (5) ON EACH SIDE.

Thomas Vigil 11-24-08
P.A.M. ELECTRIC AND GAS SERVICES DATE

Gregory 12-9-08
OVERST COMMUNICATIONS DATE

John 11-24-08
COMCAST CABLE DATE

PURPOSE OF PLAT

THE PURPOSE OF THIS PLAT IS TO VACATE VARIOUS PUBLIC UTILITY EASEMENTS, VACATE A PORTION OF PROSPECT AVE. NE, TO ELIMINATE THE LOT LINES BETWEEN 23 EXISTING LOTS AND PORTIONS OF LOTS, CREATING ONE NEW TRACT, AND TO GRANT ADDITIONAL EASEMENTS AS SHOWN.

CITY DRB APPROVALS:

PROJECT NO: 1007099 APPLICATION NO. 08DRB-70492
[Signature] 11-17-08
CITY SURVEYOR DATE
[Signature] 11/26/08
TRAFFIC ENGINEERING DATE
[Signature] 11/26/08
PARKS & RECREATION DEPARTMENT DATE
[Signature] 11-26-08
UTILITIES DEVELOPMENT DATE
[Signature] 11/26/08
A.M.A.F.C.A. DATE
[Signature] 11/26/08
CITY ENGINEER DATE
[Signature] 6-4-09
DEPT CHAIRPERSON, PLANNING DEPARTMENT DATE
[Signature] 5-21-09
PROPERTY MANAGEMENT DATE

SURVEYORS CERTIFICATION

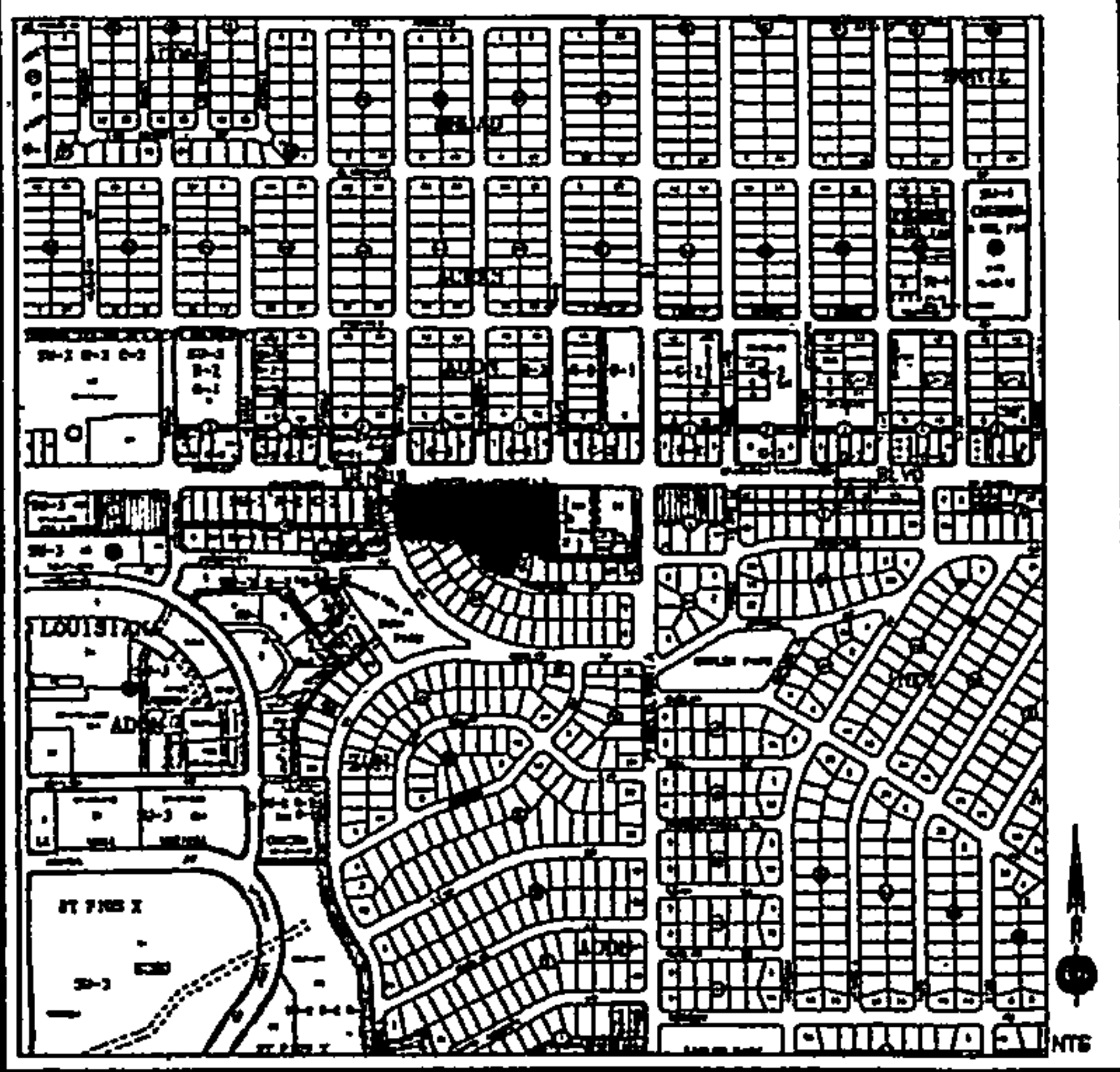
I, Gary E. Grisko, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico and is true and correct to the best of my knowledge and belief.

Gary E. Grisko Nov. 14, 2008
Gary E. Grisko, N.M.P.S. No. 8886 Date



DOC# 2008065581
NOV 11 2008 10:20 AM Page 1 of 2
PLAT #812.00 01 2008 P. Lot 2, Talos 4629, Bernalillo Co., NM
DRAWN BY: GEG FILE NO: 08-125P

ALPHA PROFESSIONAL SURVEYING, INC.
P.O. BOX 46316, RIO RANCHO, NEW MEXICO 87174
(505) 892-1078 FAX (505) 891-0471
DRAWN BY: GEG FILE NO: 08-125P



VICINITY MAP ZONE ATLAS H-19

SUBDIVISION NOTES

- 1. BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE, NAD83, AND ARE BASED ON GPS OBSERVATIONS REFERENCED TO AGRS CONTROL STATION 11-H18.
- 2. RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESIS () WHERE RECORD DATA DIFFERS FROM MEASURED DATA.
- 3. DISTANCES ARE GROUND DISTANCES IN US FEET.
- 4. PLAT SHOWS ALL EASEMENTS OF RECORD.
- 5. GROSS AREA: 4.1830 ACRES, MORE OR LESS
- 6. NUMBER OF EXISTING LOTS: 23
- 7. NUMBER OF LOTS CREATED: 1

THIS IS TO CERTIFY THAT TAXES ARE CURRENT & PAID ON
UPC#: 101925914025631501
PROPERTY OWNER OF RECORD
Sandia Foundation
BERNALILLO COUNTY TREASURERS OFFICE
Cynthia Pardo 10/14/09

Plat of
TRACT A,
 Blocks 16 & 17,
ZUNI ADDITION
 Section 7, T10N, R4E, NMPM,
 City of Albuquerque,
 Bernalillo County, New Mexico
 November 2008

MENAU BLVD. N.E.
 (100' PUBLIC RIGHT-OF-WAY)

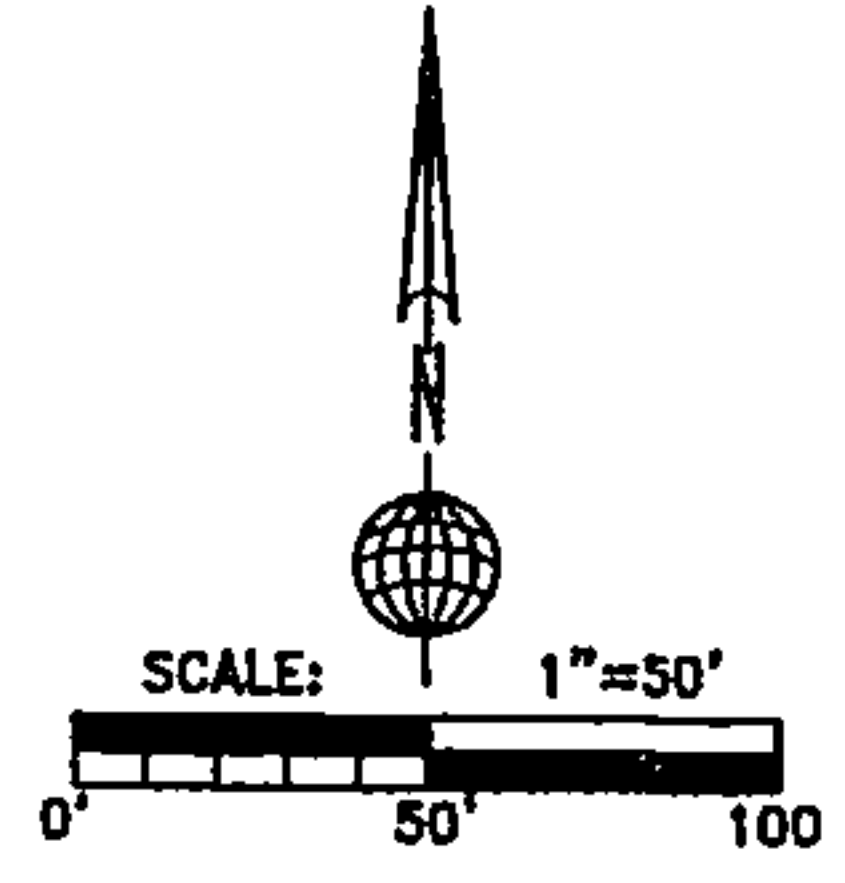
AGRS CONTROL STATION "11-H19"
 NM STATE PLANE COORDINATES
 (NAD 1983) CENTRAL ZONE
 N=1485184.914
 Y=1548677.780
 ELEV.=5364.257 (NAVD 88)
 G/G FAC.=0.999658857
 MAPPING ANGLE: -0°10' 33.04"

NOTE: SOLAR RESTRICTIONS
 No property within the area of requested final action shall at any time be subject to a deed restriction, covenant or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat or site development plan for subdivision. (Section 14-14-4-7)

EASEMENT NOTES:
 A. Portion of the 50' Prospect Avenue public right-of-way that was dedicated by the plat of Zuni Addition, is vacated by D.R.B. action: Project# 1007099, 06DRB-70414. The vacated right of way contains an area of 10,356 sq. ft.
 B. 10' Public Utility & Drainage Easement granted by the plat of Zuni Addition, recorded on December 12, 1950 in Vol. D, Folio 104. The hatched areas of this easement are hereby vacated by D.R.B. action: Project# 1007099, 06DRB-70413.
 C. 20' A.T. & T. Easement granted by the plat of Zuni Addition, recorded on December 12, 1950 in Vol. D, Folio 104. The hatched areas of this easement is hereby vacated by D.R.B. action: Project# 1007099, 06DRB-70413.
 D. Public Roadway Easement granted by this plat. The road within this easement shall be privately maintained by the owners of Tract A shown hereon. This easement shall also serve as a Public Water, Public Sanitary Sewer, Public Drainage and Public Utility Easement.
 E. Public Sidewalk Easements granted by this plat.
 F. 10' Public Water Easement granted by this plat.
 G. 7' Public Utility Easement granted by this plat.

LINE	LENGTH	BEARING
L1	133.38	N00°33'24"W
L2	111.77	N00°33'24"W
L3	19.36	S88°28'36"W
L4	10.00	N00°33'24"W
L5	19.36	S88°28'36"W
L6	21.53	N00°33'24"W
L7	134.65	S88°28'36"W
L8	126.49	S88°28'36"W
L9	52.93	N70°46'22"E
L10	36.38	N70°46'22"E
L11	16.43	N18°13'58"W
L12	10.00	N70°46'22"E
L13	18.43	N18°13'58"W
L14	6.66	N70°46'22"E
L15	37.72	N10°31'33"E
L16	25.37	N00°33'24"W
L17	69.24	N04°05'25"W
L24	147.15	N00°33'24"W
L25	5.59	S18°25'21"E
L26	1.88	S70°46'22"E
L27	218.07	N89°51'00"E
L28	27.50	S79°18'13"E

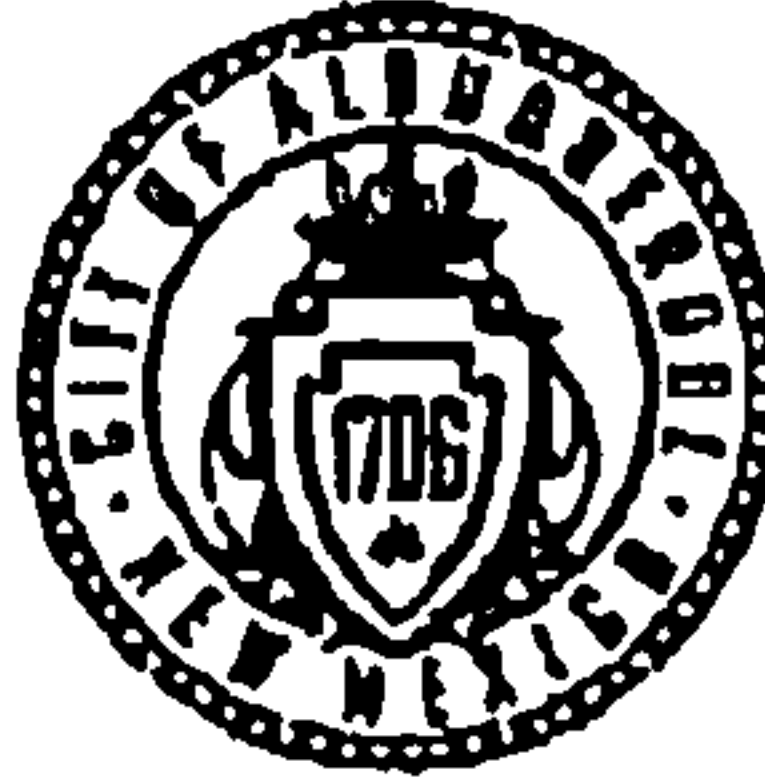
CURVE	LENGTH	RADIUS	CHORD BEARING	CHORD	DELTA
C1	47.12	30.00	N44°51'00"E	42.43	80°07'00"
C5	182.02	638.80	N07°24'58"W	161.59	143°1'55"
C8	47.81	321.50	N17°09'42"W	47.79	51°5'17"
C8	268.89	353.80	N42°37'09"W	278.09	46°27'35"
C8	31.23	378.07	S18°55'24"E	31.22	4°43'58"
C10	10.05	378.07	S13°47'48"E	10.05	1°31'20"
C11	71.35	378.07	S07°37'42"E	71.25	10°48'48"
C12	21.28	23.50	S25°46'13"W	20.54	51°50'14"
C13	17.31	13.15	N41°48'09"W	16.09	75°25'28"
C14	7.82	5.00	N45°21'12"W	7.05	89°39'36"
C15	19.50	23.50	N15°04'28"E	18.99	47°32'40"
C16	8.65	23.50	N66°27'40"E	8.60	21°05'39"
C17	49.74	397.80	S15°17'54"E	49.71	7°08'50"
C18	52.60	403.80	S15°57'23"E	52.58	7°27'49"



MONUMENT LEGEND
 ▲ - FOUND CONTROL STATION AS NOTED
 □ - FOUND MONUMENT AS NOTED
 ● - SET 1/2" REBAR W/YELLOW PLASTIC CAP STAMPED "G. CRITSKO PLS8688" UNLESS OTHERWISE NOTED

DOC# 288882581
 06/11/2008 10:38 AM Page: 2 of 2
 T. Tolson Oliveira, Bernalillo Co. Surveyor
 11/11/2008 10:38 AM Page: 2 of 2

SHEET 2 OF 2
ALPHA PROFESSIONAL SURVEYING, INC.
 P.O. BOX 46316, RIO RANCHO, NEW MEXICO 87174
 PHONE (505) 892-1076 FAX (505) 891-0471
 DRAWN BY: GEG FILE NO: 08-125P



City of Albuquerque

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

Date: July 5, 2012

TO CONTACT NAME: Ruth Lozano
 COMPANY/AGENCY: Isaacson - Artman, PA
 ADDRESS/ZIP: 128 Monroe St. NE 87108
 PHONE/FAX #: 268-8828 268-2432

Thank you for your inquiry of 7-5-12 (date) requesting the names of ALL Affected

Neighborhood and/or Homeowner Associations who would be affected under the provisions of O-92 by your proposed project at Tract A, Block 16 & 17, Zuni Addition, located on Menaul Blvd. NE between off of zone map page(s) H-19, Prospect Ave NE

Our records indicate that the **Affected Neighborhood and/or Homeowner Associations** affected by this proposal and the contact names are as follows:

Neighborhood or Homeowner Association	Neighborhood or Homeowner Association
Contacts: _____	Contacts: _____
<u>All attached uptown list</u>	

See reverse side for additional Neighborhood and/or Homeowner Associations Information:

YES { } NO { }

Please note that according to O-92 you are required to notify each of these contact persons by **CERTIFIED MAIL, RETURN RECEIPT REQUESTED, BEFORE** the Planning Department will accept your application filing. **IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS.** If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,

Osiana Armona
 OFFICE OF NEIGHBORHOOD COORDINATION

ATTENTION: Both contacts for each Neighborhood and/or Homeowner Associations need to be notified.

UPTOWN NEIGHBORHOOD ASSOCIATION LIST

Updated on: February 27, 2012

ABQ-Park Neighborhood Association "R"

Sandra Jamison
7615 Leah Dr. NE/87110 410-1207 (h)

Alex Morgan
7414 Leah Dr. NE/87110 883-6996 (h)

Alvarado Park Neighborhood Association "R"

Dori Millner
5819 Aspen NE/87110
948-1234 (h)

Jane Cohn
1931 Palomas NE/87110
265-71790 (h)

Classic Uptown Neighborhood Association "R"

Stephen Verchinski
2700 Espanola NE/87110 888-1370 (h)
238-2398 (c)

Cara Gregory
2812 Alcazar St. NE/87110 417-7434 (h)

Inez Neighborhood Association "R"

Evelyn B. Feltner
2014 Utah St. NE/87110 271-9027 (h)

Donna Yetter
2111 Hoffman Dr. NE/87110 292-8102 (h)

Jerry Cline Park Neighborhood Association "R"

Julie Jones
7625 Winter Ave. NE/87110 232-4638 (h)

Ron Goldsmith
1216 Alcazar St. NE/87110 232-9516 (h)

Mark Twain Neighborhood Association "R"

Barbara Lohbeck
1402 California NE/87111 254-0285 (h)

Charlotte Rode
1409 California St. NE/87110 440-6635 (h)

Quigley Park Neighborhood Association "R"

Winnie Schmidt
2916 Cuervo Dr. NE/87110-3106 881-2155 (h)

Maureen Maher
2935 Cardenas Dr. NE/87110 888-5181 (h)

Snow Heights Neighborhood Association "R"

Laura Heitman
8011 Princess Jeanne NE/87110 507-8834 (c)

Shirley Marquez
7905 Hannett NE/87110 235-0722 (h)

Uptown Progress Team, Inc. "R"

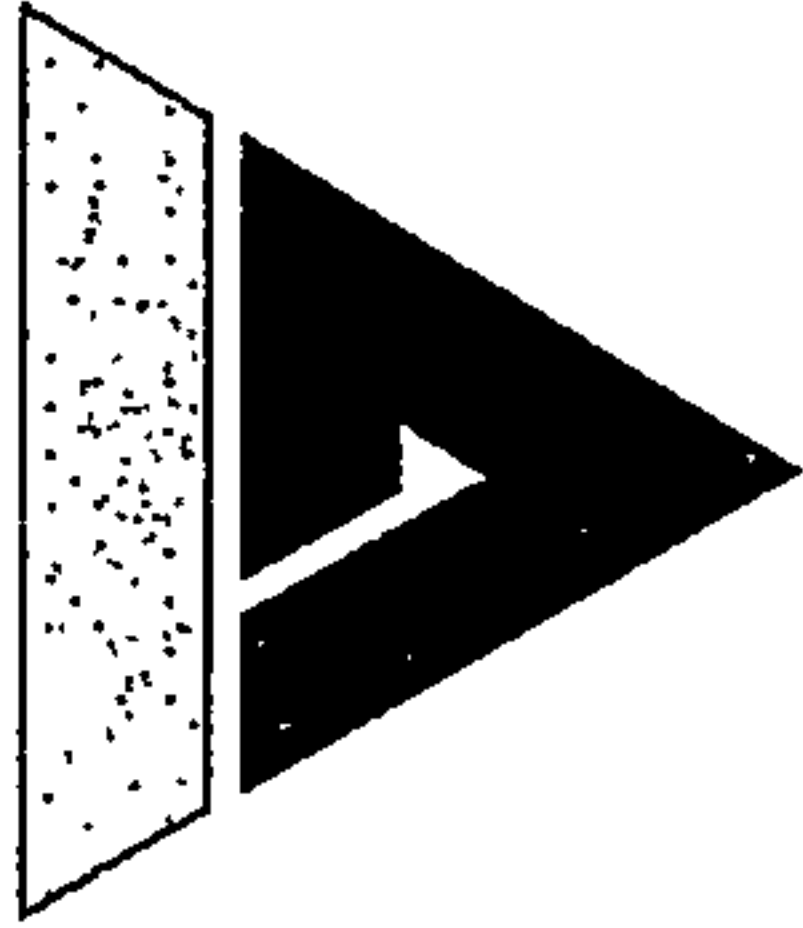
William Steadman
2424 Louisiana Blvd. NE, Ste. 300/87110
880-7070 (w)

Kim Corcoran
P.O. Box 93488/87199 342-2797 (w)

Winrock South Neighborhood Association "R"

Richard Peterson
7110 Constitution Ave. NE/87110-7122
321-5432 (message #)

Virginia Kinney
7110 Constitution Ave. NE/87110-7122
321-5432 (message)



Isaacson & Arfman, P.A. Consulting Engineering Associates

Thomas O. Isaacson, PE(Ret.) & LS(Ret.) · Fred C. Arfman, PE · Asa Nilsson-Weber, PE

July 5, 2012

CERTIFIED MAIL - 7005 1160 0001 1329 8174

Sandra Jamison
ABQ-Park Neighborhood Association
7615 Leah Dr. NE
Albuquerque, NM 87110

**RE: Menaul & Prospect Retail Center
(DRB Project No. 1007099)**

Dear: Ms. Jamison:

As the consulting engineers for the above referenced site located on the south side of Menaul Blvd. and on both sides of Prospect Ave. NE (see attached zone map), we are writing this letter to inform the ABQ-Park Neighborhood Association that an application is being submitted to the City of Albuquerque Development Review Board (DRB) for a request of approval of the vacation of the existing public roadway easement between Menaul Blvd. and the public right-of-way of Prospect Ave. In addition, the request includes the vacation of the 10' wide public waterline easement running from the platted northerly terminus of Prospect Ave. to Menaul Blvd. A replacement easement will be subsequently grants.

This action is tentatively scheduled to be heard at the public hearing portion of the City of Albuquerque Development Review Board on July 25, 2012 at 9:00 AM. The hearing shall be held in the basement Conference Room of the Plaza del Sol Building, 600 2nd Street NW.

Please call me at 268-8828 if you have questions on this action. Thank you.

Sincerely,
ISAACSON & ARFMAN, P.A.

Fred C. Arfman, PE

Attachment

128 Monroe St. N.E. · Albuquerque, NM 87108 ·

7005 1160 0001 1329 8174

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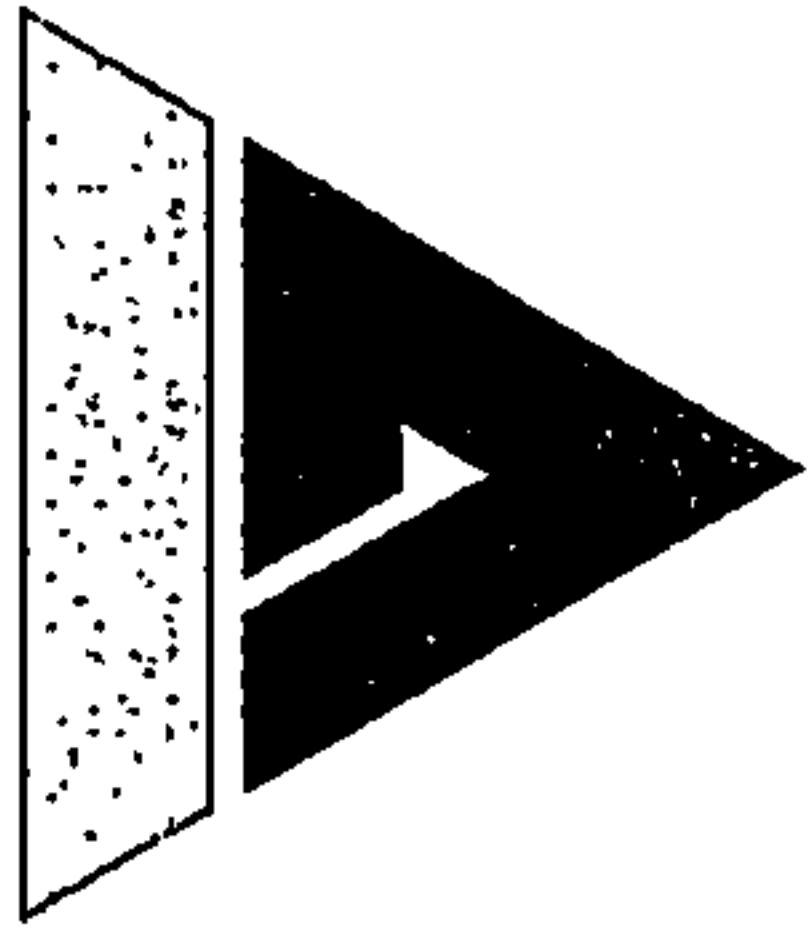
ALBUQUERQUE, NM 87110

Postage	\$	\$0.45
Certified Fee		\$2.95
Return Receipt Fee (Endorsement Required)		\$2.35
Restricted Delivery Fee (Endorsement Required)		\$0.00
Total Postage & Fees	\$	\$5.75

0108
11 07 2012
Postmark Here

Sent To: Sandra Jamison
Street, Apt. No., or PO Box No.: ABQ-Park Neighborhood Assoc.
City, State, ZIP+4: 7615 Leah Dr. NE Albuquerque, NM 87110

PS Form 3800, June 2002 See Reverse for Instructions



Isaacson & Arfman, P.A. Consulting Engineering Associates

Thomas O. Isaacson, PE(Ret.) & LS(Ret.) · Fred C. Arfman, PE · Asa Nilsson-Weber, PE

July 5, 2012

CERTIFIED MAIL – 7005 1160 0001 1329 8181

Alex Morgan
ABQ-Park Neighborhood Association
7414 Leah Dr. NE
Albuquerque, NM 87110

**RE: Menaul & Prospect Retail Center
(DRB Project No. 1007099)**

Dear: Mr. Morgan:

As the consulting engineers for the above referenced site located on the south side of Menaul Blvd. and on both sides of Prospect Ave. NE (see attached zone map), we are writing this letter to inform the ABQ-Park Neighborhood Association that an application is being submitted to the City of Albuquerque Development Review Board (DRB) for a request of approval of the vacation of the existing public roadway easement between Menaul Blvd. and the public right-of-way of Prospect Ave. In addition, the request includes the vacation of the 10' wide public waterline easement running from the platted northerly terminus of Prospect Ave. to Menaul Blvd. A replacement easement will be subsequently grants.

This action is tentatively scheduled to be heard at the public hearing portion of the City of Albuquerque Development Review Board on July 25, 2012 at 9:00 AM. The hearing shall be held in the basement Conference Room of the Plaza del Sol Building, 600 2nd Street NW.

Please call me at 268-8828 if you have questions on this action. Thank you.

Sincerely,
ISAACSON & ARFMAN, P.A.

Fred C. Arfman, PE

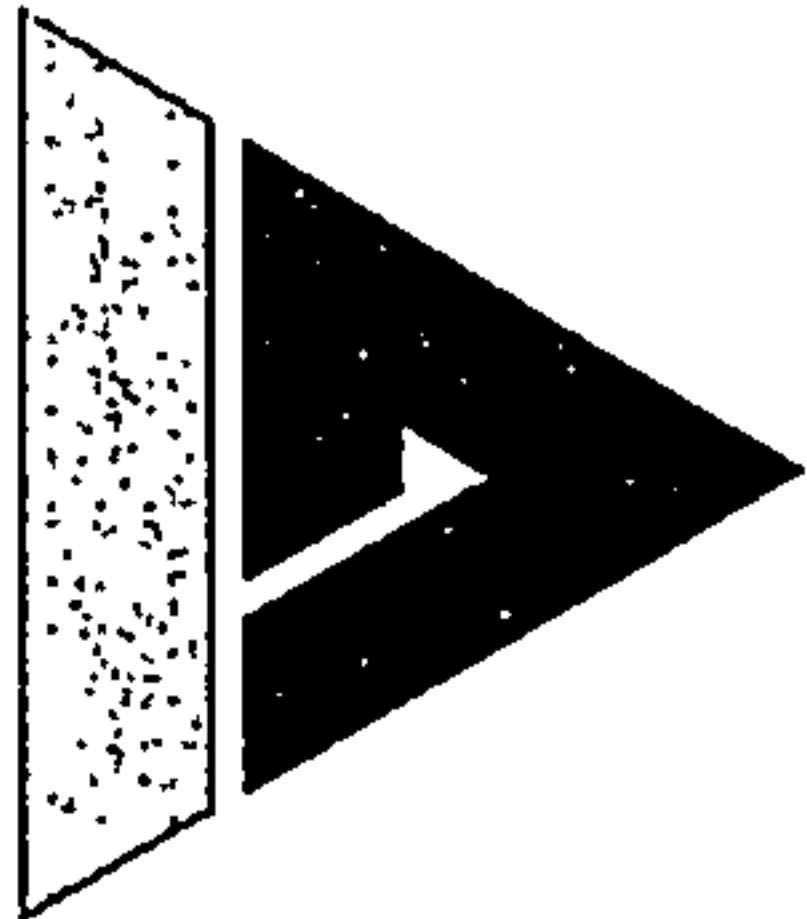
Attachment

128 Monroe St. N.E. · Albuquerque, NM 87108

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For delivery information visit our website at www.usps.com		
ALBUQUERQUE, NM 87110		
OFFICIAL USE		
Postage	\$ 0.45	0108
Certified Fee	\$2.95	
Return Receipt Fee (Endorsement Required)	\$2.35	
Restricted Delivery Fee (Endorsement Required)	\$0.00	
Total Postage & Fees	\$ 5.75	
Postmark Here		
07/06/2012		
Sent To		
Alex Morgan		
Street, Apt. No.; or PO Box No. ABQ-Park Neighborhood Assoc.		
7414 Leah Dr. NE		
City, State, ZIP+4 Albuquerque, NM 87110		

PS Form 3800, June 2002 See Reverse for Instructions



Isaacson & Arfman, P.A. Consulting Engineering Associates

Thomas O. Isaacson, PE(Ret.) & LS(Ret.) · Fred C. Arfman, PE · Asa Nilsson-Weber, PE

July 5, 2012

CERTIFIED MAIL – 7005 1160 0001 1329 8198

Dori Millner
Alvarado Park Neighborhood Association
5819 Aspen NE
Albuquerque, NM 87110

**RE: Menaul & Prospect Retail Center
(DRB Project No. 1007099)**

Dear: Ms. Millner:

As the consulting engineers for the above referenced site located on the south side of Menaul Blvd. and on both sides of Prospect Ave. NE (see attached zone map), we are writing this letter to inform the Alvarado Park Neighborhood Association that an application is being submitted to the City of Albuquerque Development Review Board (DRB) for a request of approval of the vacation of the existing public roadway easement between Menaul Blvd. and the public right-of-way of Prospect Ave. In addition, the request includes the vacation of the 10' wide public waterline easement running from the platted northerly terminus of Prospect Ave. to Menaul Blvd. A replacement easement will be subsequently grants.

This action is tentatively scheduled to be heard at the public hearing portion of the City of Albuquerque Development Review Board on July 25, 2012 at 9:00 AM. The hearing shall be held in the basement Conference Room of the Plaza del Sol Building, 600 2nd Street NW.

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Sincerely,
ISAACSON & ARFMAN, P.A.

Fred C. Arfman, PE

Attachment

128 Monroe St. N.E. · Albuquerque, NM 87108 ·

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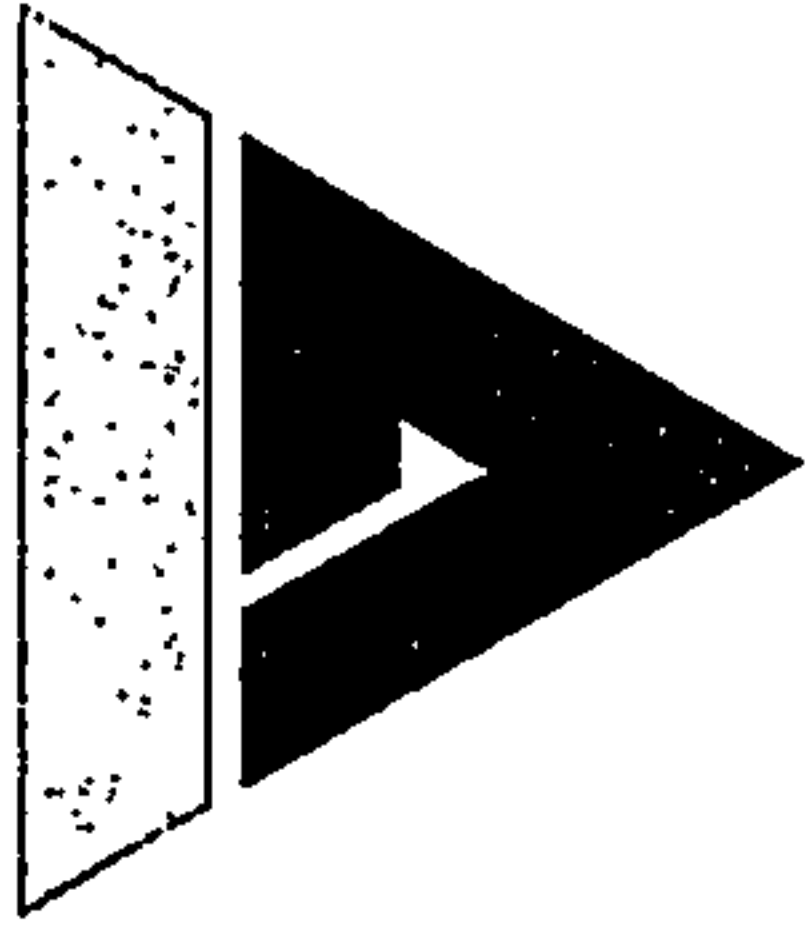
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Sent To: Dori Millner
Alvarado Park Neighborhood Assoc.
5819 Aspen NE
Albuquerque, NM 87110

PS Form 3800, June 2002 See Reverse for Instructions



Isaacson & Arfman, P.A. Consulting Engineering Associates

Thomas O. Isaacson, PE(Ret.) & LS(Ret.) · Fred C. Arfman, PE · Asa Nilsson-Weber, PE

July 5, 2012

CERTIFIED MAIL – 7005 1160 0001 1329 8204

Jane Cohn
Alvarado Park Neighborhood Association
1931 Palomas NE
Albuquerque, NM 87110

**RE: Menaul & Prospect Retail Center
(DRB Project No. 1007099)**

Dear: Ms. Cohn:

As the consulting engineers for the above referenced site located on the south side of Menaul Blvd. and on both sides of Prospect Ave. NE (see attached zone map), we are writing this letter to inform the Alvarado Park Neighborhood Association that an application is being submitted to the City of Albuquerque Development Review Board (DRB) for a request of approval of the vacation of the existing public roadway easement between Menaul Blvd. and the public right-of-way of Prospect Ave. In addition, the request includes the vacation of the 10' wide public waterline easement running from the platted northerly terminus of Prospect Ave. to Menaul Blvd. A replacement easement will be subsequently grants.

This action is tentatively scheduled to be heard at the public hearing portion of the City of Albuquerque Development Review Board on July 25, 2012 at 9:00 AM. The hearing shall be held in the basement Conference Room of the Plaza del Sol Building, 600 2nd Street NW.

Please call me at 268-8828 if you have questions on this action. Thank you.

Sincerely,
ISAACSON & ARFMAN, P.A.

Fred C. Arfman, PE

Attachment

128 Monroe St. N.E. · Albuquerque, NM 87108 ·

7005 1160 0001 1329 8204

U.S. Postal Service™
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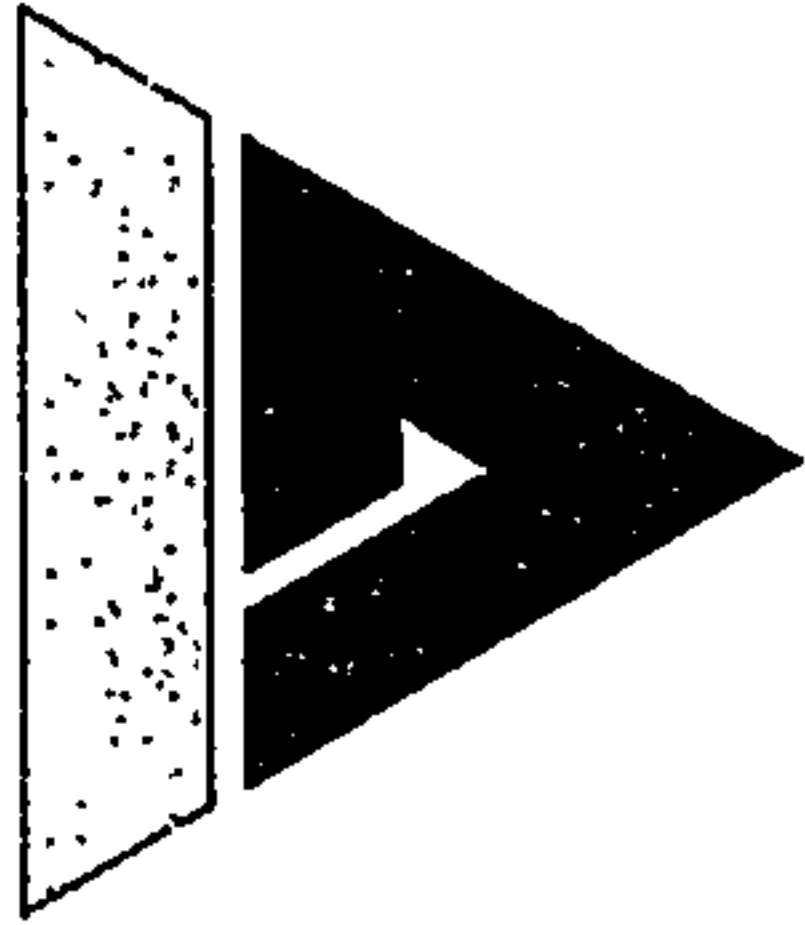
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Total Postage & Fees	\$ 5.75	

Sent To: Jane Cohn
 Street, Apt. No.; or PO Box No.: Alvarado Park Neighborhood Assoc.
 1931 Palomas NE
 City, State, ZIP+4: Albuquerque, NM 87110

PS Form 3800, June 2002 See Reverse for Instructions



Isaacson & Arfman, P.A. Consulting Engineering Associates

Thomas O. Isaacson, PE(Ret.) & LS(Ret.) • Fred C. Arfman, PE • Asa Nilsson-Weber, PE

July 5, 2012

CERTIFIED MAIL – 7005 1160 0001 1329 8211

Stephen Verchinski
Classic Uptown Neighborhood Association
2700 Espanola NE
Albuquerque, NM 87110

**RE: Menaul & Prospect Retail Center
(DRB Project No. 1007099)**

Dear: Ms. Verchinski:

As the consulting engineers for the above referenced site located on the south side of Menaul Blvd. and on both sides of Prospect Ave. NE (see attached zone map), we are writing this letter to inform the Classic Uptown Neighborhood Association that an application is being submitted to the City of Albuquerque Development Review Board (DRB) for a request of approval of the vacation of the existing public roadway easement between Menaul Blvd. and the public right-of-way of Prospect Ave. In addition, the request includes the vacation of the 10' wide public waterline easement running from the platted northerly terminus of Prospect Ave. to Menaul Blvd. A replacement easement will be subsequently grants.

This action is tentatively scheduled to be heard at the public hearing portion of the City of Albuquerque Development Review Board on July 25, 2012 at 9:00 AM. The hearing shall be held in the basement Conference Room of the Plaza del Sol Building, 600 2nd Street NW.

Please call me at 268-8828 if you have questions on this action. Thank you.

Sincerely,
ISAACSON & ARFMAN, P.A.

Fred C. Arfman, PE

Attachment

128 Monroe St. N.E. • Albuquerque, NM 87108

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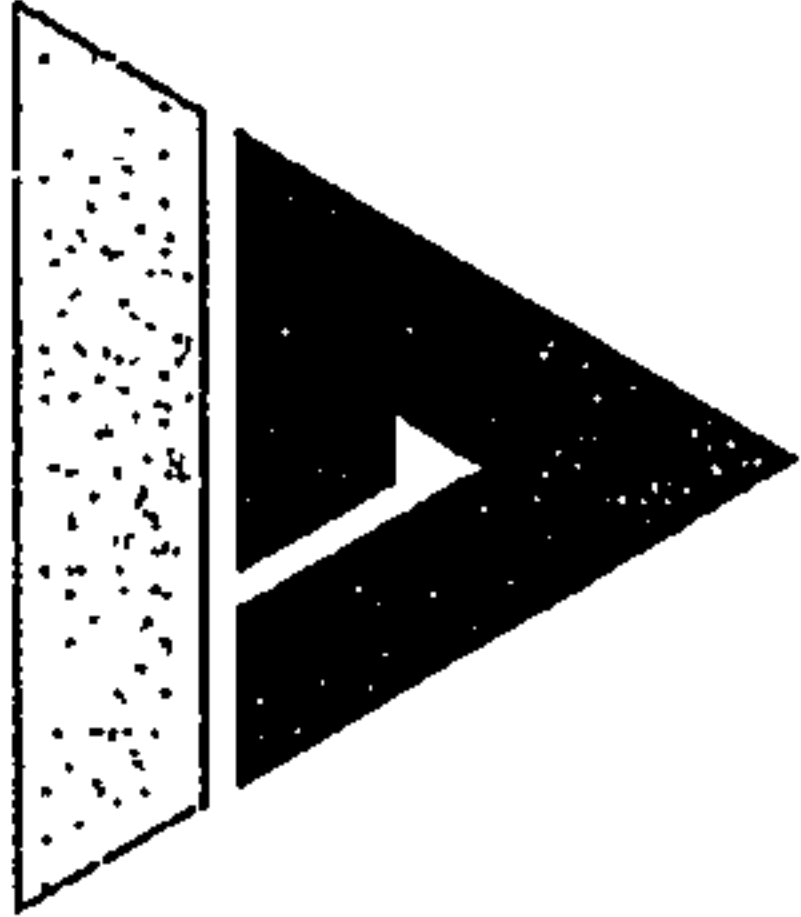
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Return Receipt Fee (Endorsement Required)	\$2.35	
Restricted Delivery Fee (Endorsement Required)	\$0.00	
Total Postage & Fees	\$ 5.75	

Sent To: Stephen Verchinski
Classic Uptown Neighborhood Assoc.
2700 Espanola NE
Albuquerque, NM 87110

PS Form 3800, June 2002 See Reverse for Instructions



Isaacson & Arfman, P.A. Consulting Engineering Associates

Thomas O. Isaacson, PE(Ret.) & LS(Ret.) · Fred C. Arfman, PE · Asa Nilsson-Weber, PE

July 5, 2012

CERTIFIED MAIL – 7005 1160 0001 1329 8228

Cara Gregory
Classic Uptown Neighborhood Association
2812 Alcazar St. NE
Albuquerque, NM 87110

**RE: Menaul & Prospect Retail Center
(DRB Project No. 1007099)**

Dear: Ms. Gregory:

As the consulting engineers for the above referenced site located on the south side of Menaul Blvd. and on both sides of Prospect Ave. NE (see attached zone map), we are writing this letter to inform the Classic Uptown Neighborhood Association that an application is being submitted to the City of Albuquerque Development Review Board (DRB) for a request of approval of the vacation of the existing public roadway easement between Menaul Blvd. and the public right-of-way of Prospect Ave. In addition, the request includes the vacation of the 10' wide public waterline easement running from the platted northerly terminus of Prospect Ave. to Menaul Blvd. A replacement easement will be subsequently grants.

This action is tentatively scheduled to be heard at the public hearing portion of the City of Albuquerque Development Review Board on July 25, 2012 at 9:00 AM. The hearing shall be held in the basement Conference Room of the Plaza del Sol Building, 600 2nd Street NW.

Please call me at 268-8828 if you have questions on this action. Thank you.

Sincerely,
ISAACSON & ARFMAN, P.A.

Fred C. Arfman, PE

Attachment

128 Monroe St. N.E. · Albuquerque, NM 87108

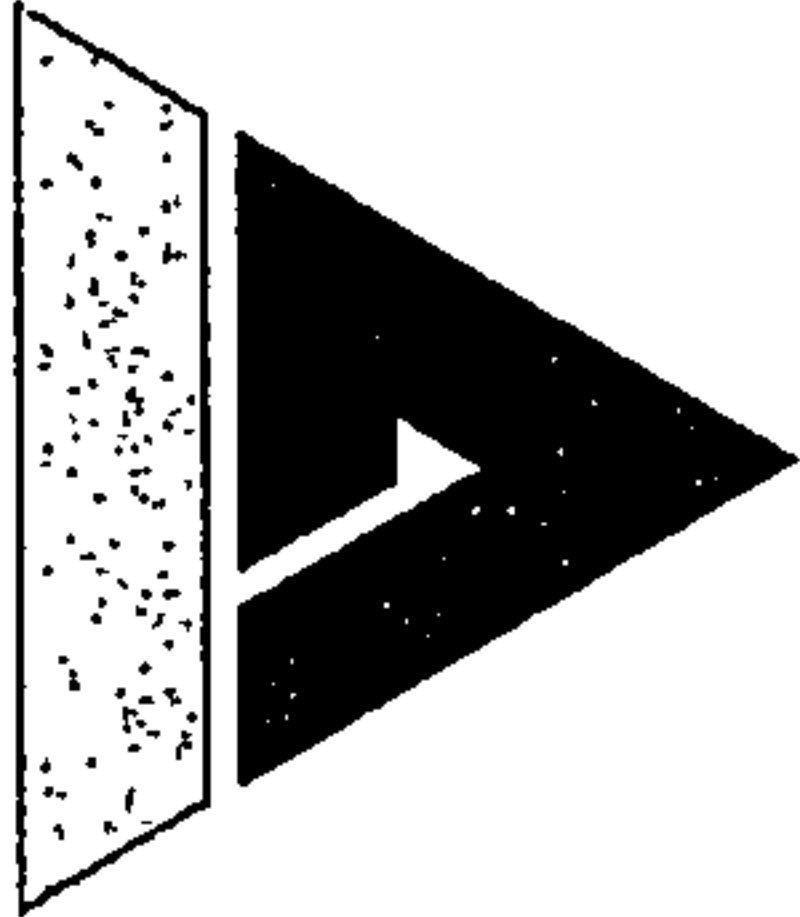
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Restricted Delivery Fee (Endorsement Required)	\$0.00
Total Postage & Fees	\$ 5.75

0108
JUL 11
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07/06/2012

Sent To	Cara Gregory
Street, Apt. No., or PO Box No.	Classic Uptown Neighborhood Assoc. 2812 Alcazar St. NE
City, State, ZIP+4	Albuquerque, NM 87110

PS Form 3800, June 2002 See Reverse for Instructions



Isaacson & Arfman, P.A. Consulting Engineering Associates

Thomas O. Isaacson, PE(Ret.) & LS(Ret.) • Fred C. Arfman, PE • Asa Nilsson-Weber, PE

July 5, 2012

CERTIFIED MAIL – 7005 1160 0001 1329 8235

Evelyn B. Feltner
Inez Neighborhood Association
2014 Utah St. NE
Albuquerque, NM 87110

**RE: Menaul & Prospect Retail Center
(DRB Project No. 1007099)**

Dear: Ms. Feltner:

As the consulting engineers for the above referenced site located on the south side of Menaul Blvd. and on both sides of Prospect Ave. NE (see attached zone map), we are writing this letter to inform the Inez Neighborhood Association that an application is being submitted to the City of Albuquerque Development Review Board (DRB) for a request of approval of the vacation of the existing public roadway easement between Menaul Blvd. and the public right-of-way of Prospect Ave. In addition, the request includes the vacation of the 10' wide public waterline easement running from the platted northerly terminus of Prospect Ave. to Menaul Blvd. A replacement easement will be subsequently grants.

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Please call me at 268-8828 if you have questions on this action. Thank you.

Sincerely,
ISAACSON & ARFMAN, P.A.

Fred C. Arfman, PE

Attachment

128 Monroe St. N.E. • Albuquerque, NM 87108 •

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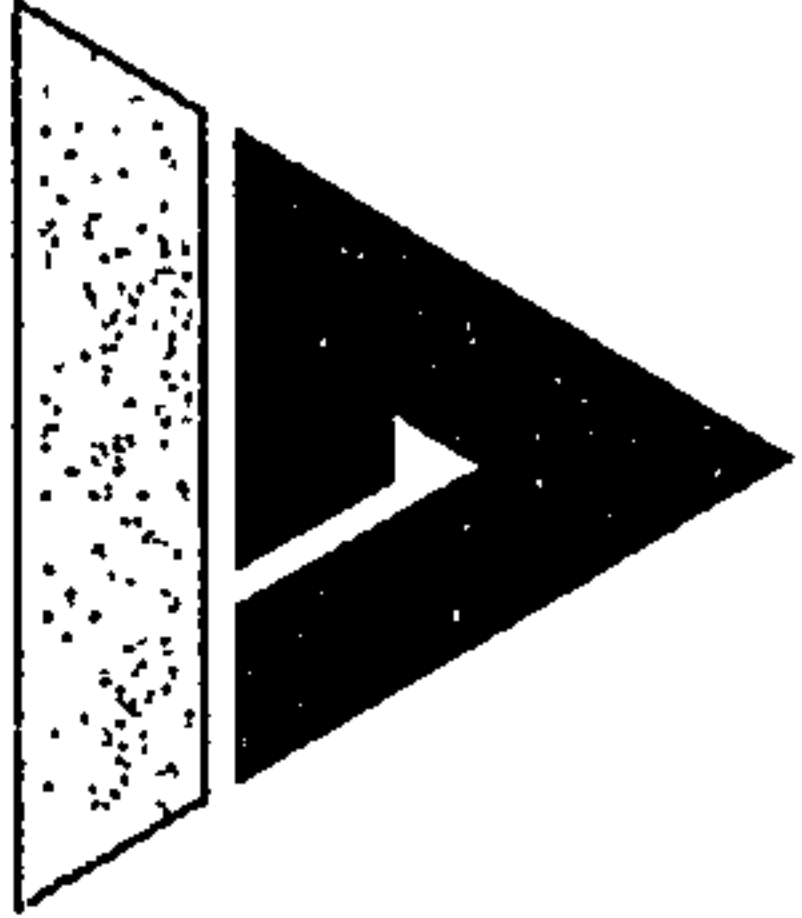
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Total Postage & Fees	\$ 5.75	

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Sent To: Evelyn B. Feltner
Street, Apt. No.; or PO Box No.: Inez Neighborhood Assoc.
2014 Utah St. NE
City, State, ZIP+4: Albuquerque, NM 87110

PS Form 3800, June 2002 See Reverse for Instructions



Isaacson & Arfman, P.A. Consulting Engineering Associates

Thomas O. Isaacson, PE(Ret.) & LS(Ret.) • Fred C. Arfman, PE • Asa Nilsson-Weber, PE

July 5, 2012

CERTIFIED MAIL - 7005 1160 0001 1329 8242

Donna Yetter
Inez Neighborhood Association
2111 Hoffman Dr. NE
Albuquerque, NM 87110

**RE: Menaul & Prospect Retail Center
(DRB Project No. 1007099)**

Dear: Ms. Yetter:

As the consulting engineers for the above referenced site located on the south side of Menaul Blvd. and on both sides of Prospect Ave. NE (see attached zone map), we are writing this letter to inform the Inez Neighborhood Association that an application is being submitted to the City of Albuquerque Development Review Board (DRB) for a request of approval of the vacation of the existing public roadway easement between Menaul Blvd. and the public right-of-way of Prospect Ave. In addition, the request includes the vacation of the 10' wide public waterline easement running from the platted northerly terminus of Prospect Ave. to Menaul Blvd. A replacement easement will be subsequently grants.

This action is tentatively scheduled to be heard at the public hearing portion of the City of Albuquerque Development Review Board on July 25, 2012 at 9:00 AM. The hearing shall be held in the basement Conference Room of the Plaza del Sol Building, 600 2nd Street NW.

Please call me at 268-8828 if you have questions on this action. Thank you.

Sincerely,
ISAACSON & ARFMAN, P.A.

Fred C. Arfman, PE

Attachment

128 Monroe St. N.E. • Albuquerque, NM 87108

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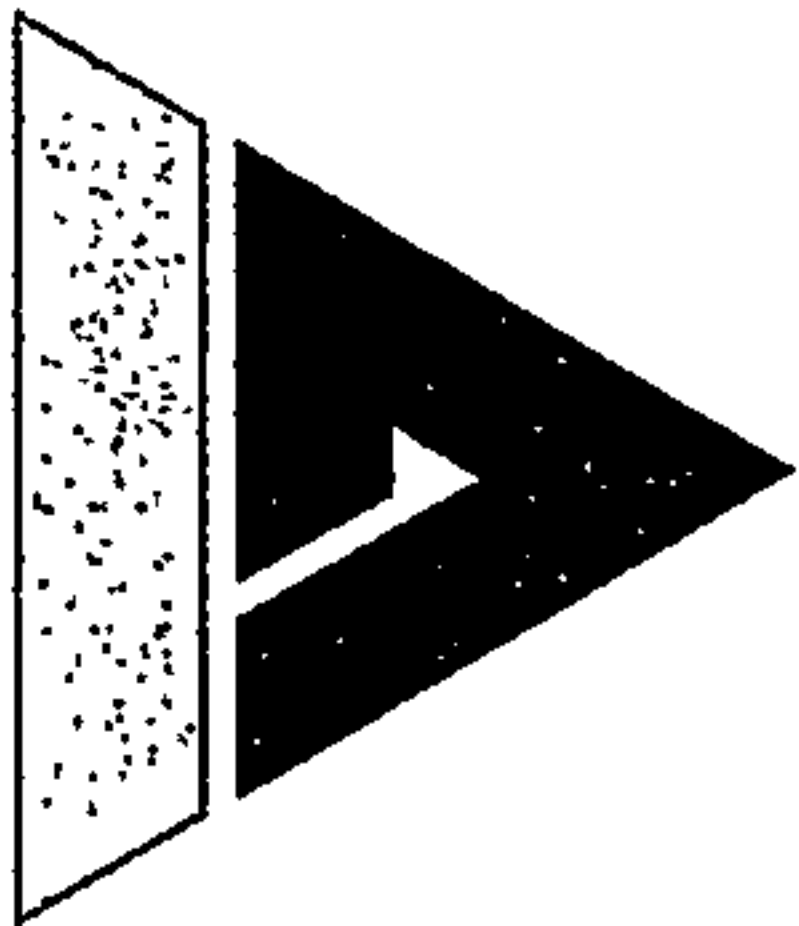
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Total Postage & Fees	\$ 5.75	

Sent To Donna Yetter
Street, Apt. No.; or PO Box No. Inez Neighborhood Assoc.
2111 Hoffman Dr. NE
City, State, ZIP+4 Albuquerque, NM 87110

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Isaacson & Arfman, P.A. Consulting Engineering Associates

Thomas O. Isaacson, PE(Ret.) & LS(Ret.) • Fred C. Arfman, PE • Asa Nilsson-Weber, PE

July 5, 2012

CERTIFIED MAIL – 7005 1160 0001 1329 8259

Julie Jones
Jerry Cline Park Neighborhood Association
7625 Winter Ave. NE
Albuquerque, NM 87110

**RE: Menaul & Prospect Retail Center
(DRB Project No. 1007099)**

Dear: Ms. Jones:

As the consulting engineers for the above referenced site located on the south side of Menaul Blvd. and on both sides of Prospect Ave. NE (see attached zone map), we are writing this letter to inform the Jerry Cline Park Neighborhood Association that an application is being submitted to the City of Albuquerque Development Review Board (DRB) for a request of approval of the vacation of the existing public roadway easement between Menaul Blvd. and the public right-of-way of Prospect Ave. In addition, the request includes the vacation of the 10' wide public waterline easement running from the platted northerly terminus of Prospect Ave. to Menaul Blvd. A replacement easement will be subsequently grants.

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Please call me at 268-8828 if you have questions on this action. Thank you.

Sincerely,
ISAACSON & ARFMAN, P.A.

Fred C. Arfman, PE

Attachment

128 Monroe St. N.E. • Albuquerque, NM 87108 • (

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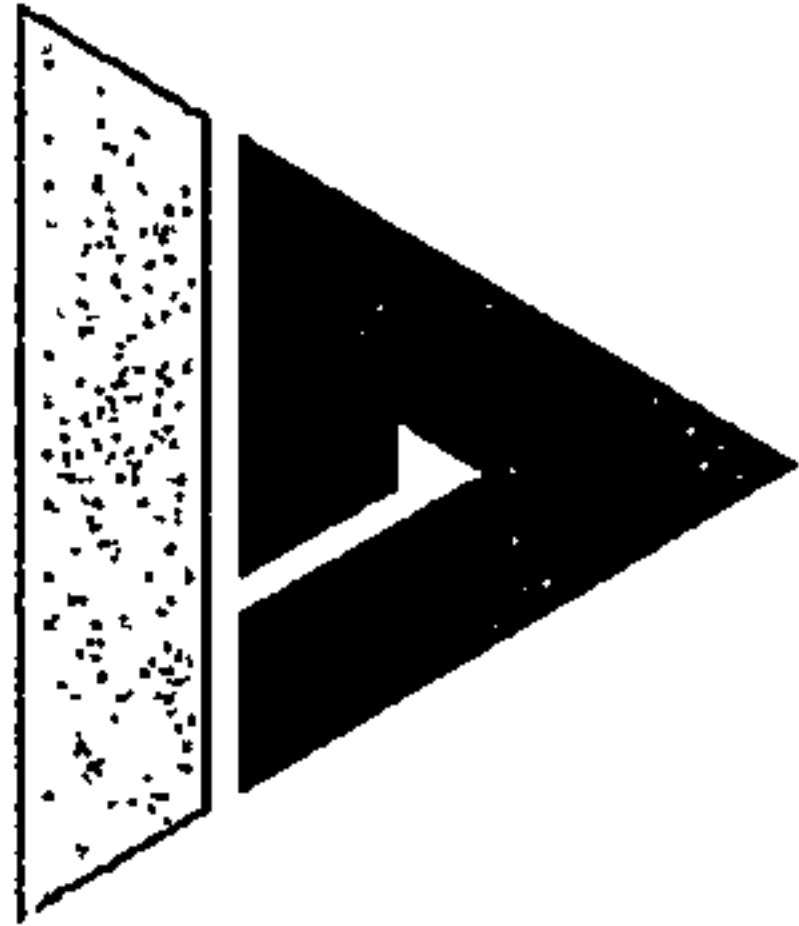
ALBUQUERQUE, NM 87110

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Restricted Delivery Fee (Endorsement Required)	\$0.00	
Total Postage & Fees	\$ 5.75	

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Sent To	Julie Jones
Street, Apt. No.; or PO Box No.	Jerry Cline Park Neighborhood Association
City, State, ZIP+4	7625 Winter Ave. NE Albuquerque, NM 87110

PS Form 3800, June 2002 See Reverse for Instructions



Isaacson & Arfman, P.A. Consulting Engineering Associates

Thomas O. Isaacson, PE(Ret.) & LS(Ret.) · Fred C. Arfman, PE · Asa Nilsson-Weber, PE

July 5, 2012

CERTIFIED MAIL – 7005 1160 0001 1329 8266

Ron Goldsmith
Jerry Cline Park Neighborhood Association
1216 Alcazar St. NE
Albuquerque, NM 87110

**RE: Menaul & Prospect Retail Center
(DRB Project No. 1007099)**

Dear: Mr. Goldsmith:

As the consulting engineers for the above referenced site located on the south side of Menaul Blvd. and on both sides of Prospect Ave. NE (see attached zone map), we are writing this letter to inform the Jerry Cline Park Neighborhood Association that an application is being submitted to the City of Albuquerque Development Review Board (DRB) for a request of approval of the vacation of the existing public roadway easement between Menaul Blvd. and the public right-of-way of Prospect Ave. In addition, the request includes the vacation of the 10' wide public waterline easement running from the platted northerly terminus of Prospect Ave. to Menaul Blvd. A replacement easement will be subsequently grants.

This action is tentatively scheduled to be heard at the public hearing portion of the City of Albuquerque Development Review Board on July 25, 2012 at 9:00 AM. The hearing shall be held in the basement Conference Room of the Plaza del Sol Building, 600 2nd Street NW.

Please call me at 268-8828 if you have questions on this action. Thank you.

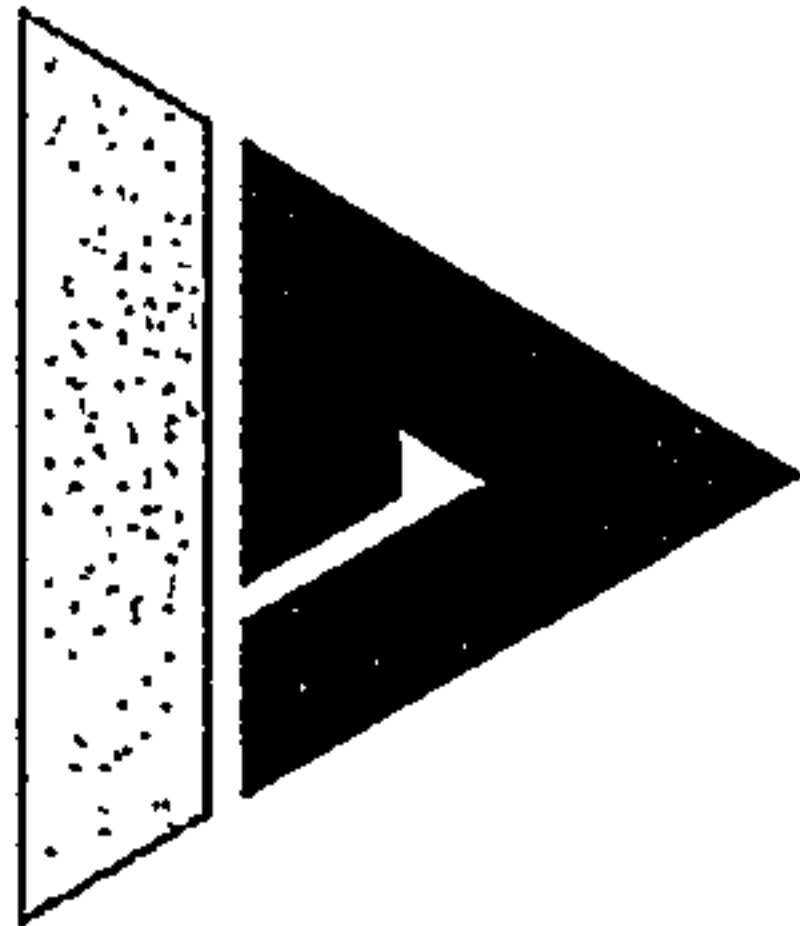
Sincerely,
ISAACSON & ARFMAN, P.A.


Fred C. Arfman, PE

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Return Receipt Fee (Endorsement Required)	\$ 2.35
Restricted Delivery Fee (Endorsement Required)	\$ 0.00
Total Postage & Fees	\$ 5.75
0108 9 11 Postmark Here 07/06/2012	
Sent To	Ron Goldsmith Jerry Cline Park
Street, Apt. No.; or PO Box No.	Neighborhood Association 1216 Alcazar St. NE
City, State, ZIP+4	Albuquerque, NM 87110
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Isaacson & Arfman, P.A. Consulting Engineering Associates

Thomas O. Isaacson, PE(Ret.) & LS(Ret.) • Fred C. Arfman, PE • Asa Nilsson-Weber, PE

July 5, 2012

CERTIFIED MAIL - 7005 1160 0001 1329 8273

Barbara Lohbeck
Mark Twain Neighborhood Association
1402 California NE
Albuquerque, NM 87111

**RE: Menaul & Prospect Retail Center
(DRB Project No. 1007099)**

Dear: Ms. Lohbeck:

As the consulting engineers for the above referenced site located on the south side of Menaul Blvd. and on both sides of Prospect Ave. NE (see attached zone map), we are writing this letter to inform the Mark Twain Neighborhood Association that an application is being submitted to the City of Albuquerque Development Review Board (DRB) for a request of approval of the vacation of the existing public roadway easement between Menaul Blvd. and the public right-of-way of Prospect Ave. In addition, the request includes the vacation of the 10' wide public waterline easement running from the platted northerly terminus of Prospect Ave. to Menaul Blvd. A replacement easement will be subsequently grants.

This action is tentatively scheduled to be heard at the public hearing portion of the City of Albuquerque Development Review Board on July 25, 2012 at 9:00 AM. The hearing shall be held in the basement Conference Room of the Plaza del Sol Building, 600 2nd Street NW.

Please call me at 268-8828 if you have questions on this action. Thank you.

Sincerely,
ISAACSON & ARFMAN, P.A.

Fred C. Arfman, PE

Attachment

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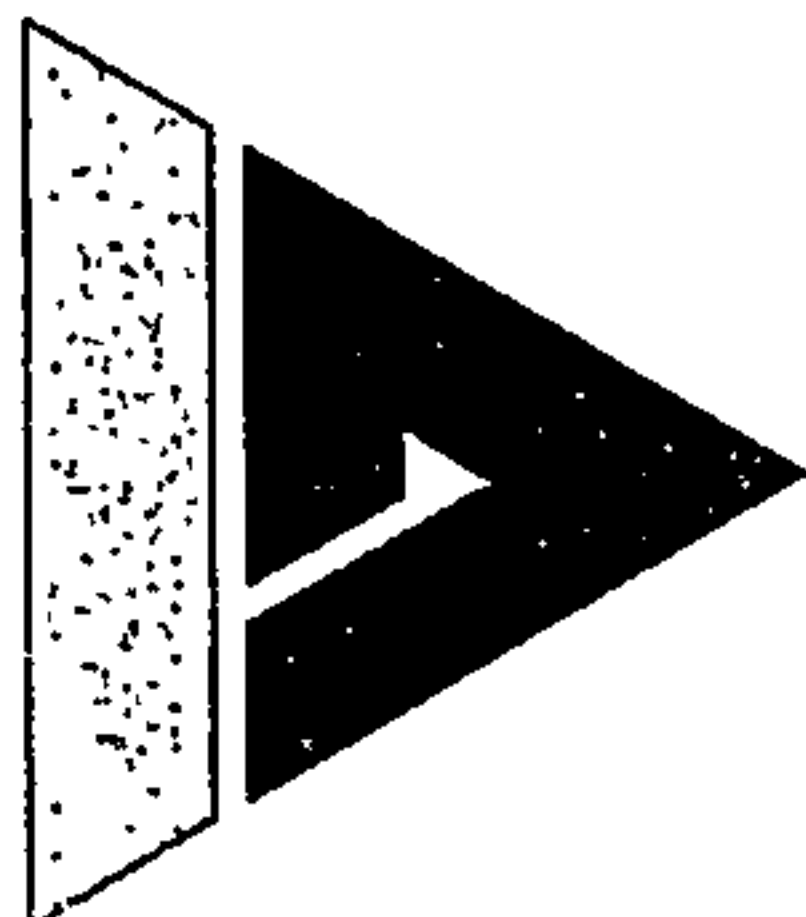
ALBUQUERQUE, NM 87111

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Certified Fee	\$2.95	
Return Receipt Fee (Endorsement Required)	\$2.35	
Restricted Delivery Fee (Endorsement Required)	\$0.00	
Total Postage & Fees	\$ 5.75	

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Sent To	Barbara Lohbeck
Street, Apt. No.; or PO Box No.	Mark Twain Neighborhood Assoc. 1402 California NE
City, State, ZIP+4	Albuquerque, NM 87111

PS Form 3800, June 2002 See Reverse for Instructions



Isaacson & Arfman, P.A. Consulting Engineering Associates

Thomas O. Isaacson, PE(Ret.) & LS(Ret.) • Fred C. Arfman, PE • Asa Nilsson-Weber, PE

July 5, 2012

CERTIFIED MAIL – 7005 1160 0001 1329 8280

Charlotte Rode
Mark Twain Neighborhood Association
1409 California St. NE
Albuquerque, NM 87110

**RE: Menaul & Prospect Retail Center
(DRB Project No. 1007099)**

Dear: Ms. Rode:

As the consulting engineers for the above referenced site located on the south side of Menaul Blvd. and on both sides of Prospect Ave. NE (see attached zone map), we are writing this letter to inform the Mark Twain Neighborhood Association that an application is being submitted to the City of Albuquerque Development Review Board (DRB) for a request of approval of the vacation of the existing public roadway easement between Menaul Blvd. and the public right-of-way of Prospect Ave. In addition, the request includes the vacation of the 10' wide public waterline easement running from the platted northerly terminus of Prospect Ave. to Menaul Blvd. A replacement easement will be subsequently grants.

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Please call me at 268-8828 if you have questions on this action. Thank you.

Sincerely,
ISAACSON & ARFMAN, P.A.

Fred C. Arfman, PE

Attachment

128 Monroe St. N.E. • Albuquerque, NM 87108 •

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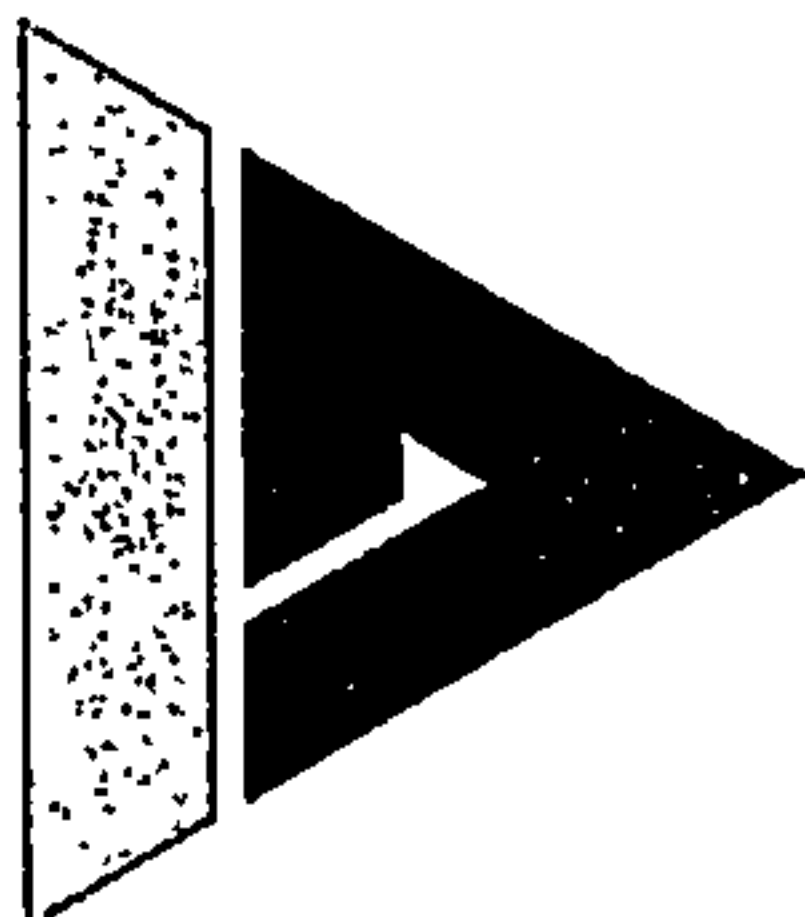
ALBUQUERQUE NM 87110

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Certified Fee	\$2.95	
Return Receipt Fee (Endorsement Required)	\$2.35	
Restricted Delivery Fee (Endorsement Required)	\$0.00	
Total Postage & Fees	\$ 5.75	

OFFICIAL USE

Sent To	Charlotte Rode
Street, Apt. No.; or PO Box No.	Mark Twain Neighborhood Assoc. 1409 California St. NE
City, State, ZIP+4	Albuquerque, NM 87110

PS Form 3800, June 2002 See Reverse for Instructions



Isaacson & Arfman, P.A. Consulting Engineering Associates

Thomas O. Isaacson, PE(Ret.) & LS(Ret.) • Fred C. Arfman, PE • Asa Nilsson-Weber, PE

July 5, 2012

CERTIFIED MAIL – 7005 1160 0001 1329 8297

Winnie Schmidt
Quigley Park Neighborhood Association
2916 Cuervo Dr. NE
Albuquerque, NM 87110

**RE: Menaul & Prospect Retail Center
(DRB Project No. 1007099)**

Dear: Ms. Schmidt:

As the consulting engineers for the above referenced site located on the south side of Menaul Blvd. and on both sides of Prospect Ave. NE (see attached zone map), we are writing this letter to inform the Quigley Park Neighborhood Association that an application is being submitted to the City of Albuquerque Development Review Board (DRB) for a request of approval of the vacation of the existing public roadway easement between Menaul Blvd. and the public right-of-way of Prospect Ave. In addition, the request includes the vacation of the 10' wide public waterline easement running from the platted northerly terminus of Prospect Ave. to Menaul Blvd. A replacement easement will be subsequently grants.

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Please call me at 268-8828 if you have questions on this action. Thank you.

Sincerely,
ISAACSON & ARFMAN, P.A.

Fred C. Arfman, PE

Attachment

128 Monroe St. N.E. • Albuquerque, NM 87108 •

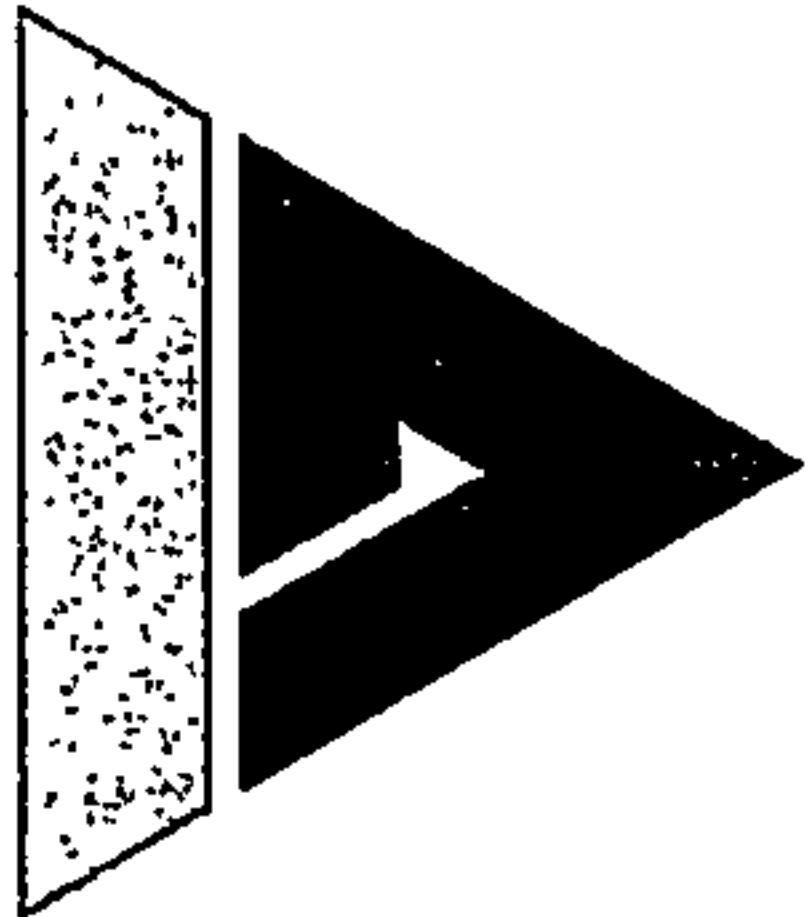
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Certified Fee	\$2.95
Return Receipt Fee (Endorsement Required)	\$2.35
Restricted Delivery Fee (Endorsement Required)	\$0.00
Total Postage & Fees	\$ 5.75

ALBUQUERQUE NM 87110
0108
11
Postmark Here
07/05/2012

Sent To	Winnie Schmidt
Street, Apt. No., or PO Box No.	Quigley Park Neighborhood Assoc. 2916 Cuervo Dr. NE
City, State, ZIP+4	Albuquerque, NM 87110

PS Form 3800, June 2002 See Reverse for Instructions



Isaacson & Arfman, P.A. Consulting Engineering Associates

Thomas O. Isaacson, PE(Ret.) & LS(Ret.) • Fred C. Arfman, PE • Asa Nilsson-Weber, PE

July 5, 2012

CERTIFIED MAIL – 7005 1160 0001 1329 8303

Maureen Maher
Quigley Park Neighborhood Association
2935 Cardenas Dr. NE
Albuquerque, NM 87110

**RE: Menaul & Prospect Retail Center
(DRB Project No. 1007099)**

Dear: Ms. Maher:

As the consulting engineers for the above referenced site located on the south side of Menaul Blvd. and on both sides of Prospect Ave. NE (see attached zone map), we are writing this letter to inform the Quigley Park Neighborhood Association that an application is being submitted to the City of Albuquerque Development Review Board (DRB) for a request of approval of the vacation of the existing public roadway easement between Menaul Blvd. and the public right-of-way of Prospect Ave. In addition, the request includes the vacation of the 10' wide public waterline easement running from the platted northerly terminus of Prospect Ave. to Menaul Blvd. A replacement easement will be subsequently grants.

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Please call me at 268-8828 if you have questions on this action. Thank you.

Sincerely,
ISAACSON & ARFMAN, P.A.

Fred C. Arfman, PE

Attachment

128 Monroe St. N.E. • Albuquerque, NM 87108

7005 1160 0001 1329 8303

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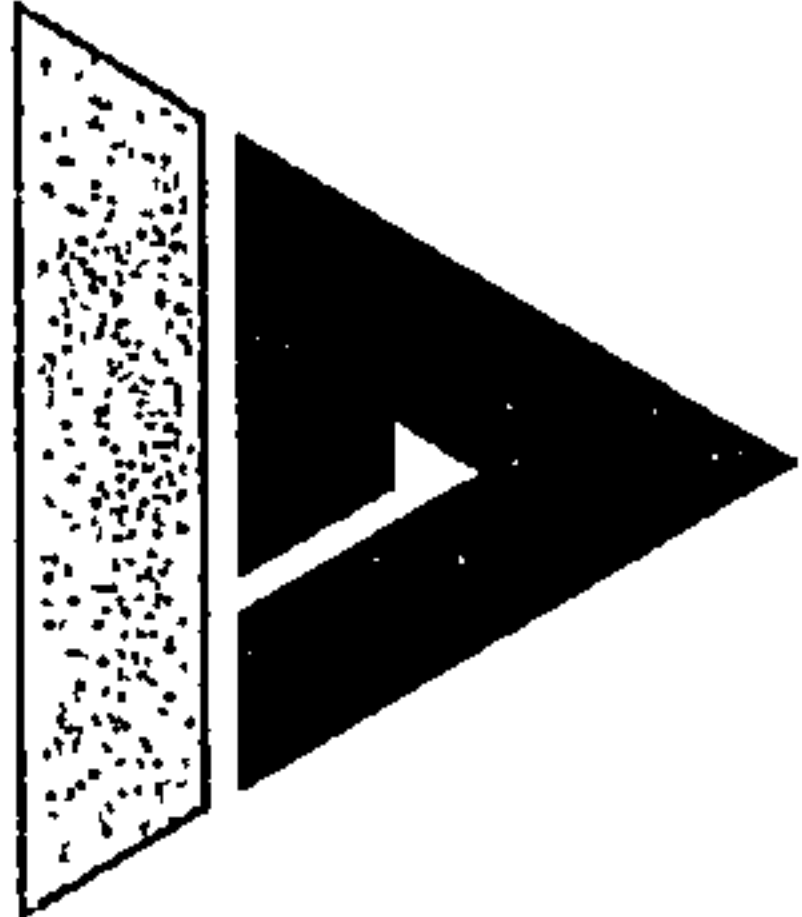
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Restricted Delivery Fee (Endorsement Required)	\$0.00		
Total Postage & Fees	\$ 5.75		07/06/2012

Sent To: Maureen Maher
Street, Apt. No., or PO Box No.: Quigley Park Neighborhood Assoc. 2935 Cardenas Dr. NE
City, State, ZIP+4: Albuquerque, NM 87110

PS Form 3800, June 2002 See Reverse for Instructions



Isaacson & Arfman, P.A. Consulting Engineering Associates

Thomas O. Isaacson, PE(Ret.) & LS(Ret.) • Fred C. Arfman, PE • Asa Nilsson-Weber, PE

July 5, 2012

CERTIFIED MAIL – 7005 1160 0001 1329 8310

Laura Heitman
Snow Heights Neighborhood Association
8011 Princess Jeanne NE
Albuquerque, NM 87110

**RE: Menaul & Prospect Retail Center
(DRB Project No. 1007099)**

Dear: Ms. Heitman:

As the consulting engineers for the above referenced site located on the south side of Menaul Blvd. and on both sides of Prospect Ave. NE (see attached zone map), we are writing this letter to inform the Snow Heights Neighborhood Association that an application is being submitted to the City of Albuquerque Development Review Board (DRB) for a request of approval of the vacation of the existing public roadway easement between Menaul Blvd. and the public right-of-way of Prospect Ave. In addition, the request includes the vacation of the 10' wide public waterline easement running from the platted northerly terminus of Prospect Ave. to Menaul Blvd. A replacement easement will be subsequently grants.

This action is tentatively scheduled to be heard at the public hearing portion of the City of Albuquerque Development Review Board on July 25, 2012 at 9:00 AM. The hearing shall be held in the basement Conference Room of the Plaza del Sol Building, 600 2nd Street NW.

Please call me at 268-8828 if you have questions on this action. Thank you.

Sincerely,
ISAACSON & ARFMAN, P.A.

Fred C. Arfman, PE

Attachment

128 Monroe St. N.E. • Albuquerque, NM 87108 •

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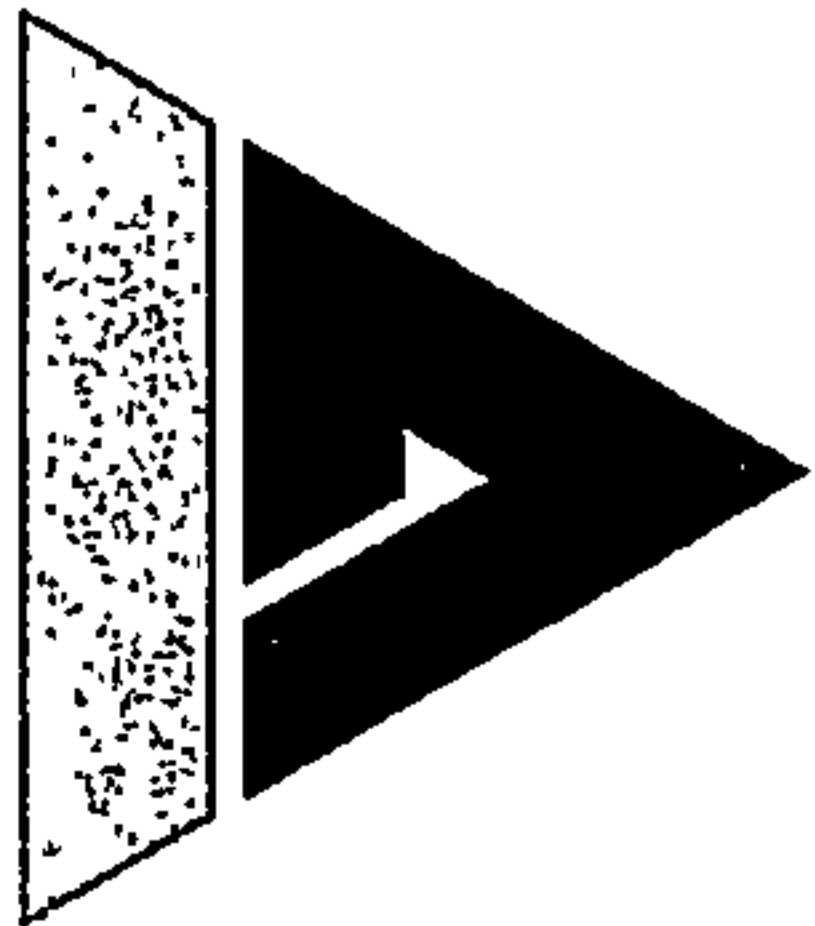
ALBUQUERQUE NM 87110

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Restricted Delivery Fee (Endorsement Required)	\$0.00
Total Postage & Fees	\$ 5.75

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07/06/2012

Sent To
Laura Heitman
Snow Heights Neighborhood Assoc.
8011 Princess Jeanne NE
Albuquerque, NM 87110

PS Form 3800, June 2002 See Reverse for Instructions



Isaacson & Arfman, P.A. Consulting Engineering Associates

Thomas O. Isaacson, PE(Ret.) & LS(Ret.) • Fred C. Arfman, PE • Asa Nilsson-Weber, PE

July 5, 2012

CERTIFIED MAIL – 7005 1160 0001 1329 8327

Shirley Marquez
Snow Heights Neighborhood Association
7905 Hannett NE
Albuquerque, NM 87110

**RE: Menaul & Prospect Retail Center
(DRB Project No. 1007099)**

Dear: Ms. Marquez:

As the consulting engineers for the above referenced site located on the south side of Menaul Blvd. and on both sides of Prospect Ave. NE (see attached zone map), we are writing this letter to inform the Snow Heights Neighborhood Association that an application is being submitted to the City of Albuquerque Development Review Board (DRB) for a request of approval of the vacation of the existing public roadway easement between Menaul Blvd. and the public right-of-way of Prospect Ave. In addition, the request includes the vacation of the 10' wide public waterline easement running from the platted northerly terminus of Prospect Ave. to Menaul Blvd. A replacement easement will be subsequently grants.

This action is tentatively scheduled to be heard at the public hearing portion of the City of Albuquerque Development Review Board on July 25, 2012 at 9:00 AM. The hearing shall be held in the basement Conference Room of the Plaza del Sol Building, 600 2nd Street NW.

Please call me at 268-8828 if you have questions on this action. Thank you.

Sincerely,
ISAACSON & ARFMAN, P.A.

Fred C. Arfman, PE

Attachment

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U.S. Postal Service™
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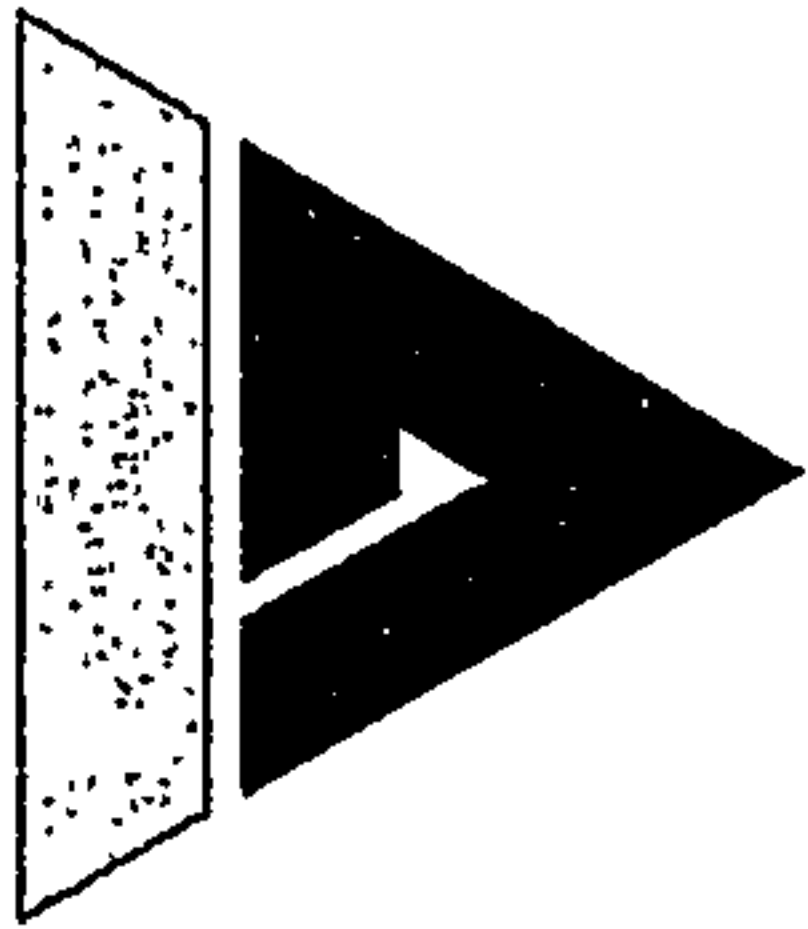
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ALBUQUERQUE NM 87110

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Return Receipt Fee (Endorsement Required)	\$2.35	
Restricted Delivery Fee (Endorsement Required)	\$0.00	
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Sent To Shirley Marquez
Snow Heights Neighborhood Assoc.
7905 Hannett NE
Albuquerque, NM 87110

PS Form 3800, June 2002 See Reverse for Instructions



Isaacson & Arfman, P.A. Consulting Engineering Associates

Thomas O. Isaacson, PE(Ret.) & LS(Ret.) · Fred C. Arfman, PE · Asa Nilsson-Weber, PE

July 5, 2012

CERTIFIED MAIL – 7005 1160 0001 1329 8334

William Steadman
Uptown Progress Team, Inc.
2424 Louisiana Blvd. NE, Suite 300
Albuquerque, NM 87110

**RE: Menaul & Prospect Retail Center
(DRB Project No. 1007099)**

Dear: Mr. Steadman:

As the consulting engineers for the above referenced site located on the south side of Menaul Blvd. and on both sides of Prospect Ave. NE (see attached zone map), we are writing this letter to inform the Uptown Progress Team, Inc. that an application is being submitted to the City of Albuquerque Development Review Board (DRB) for a request of approval of the vacation of the existing public roadway easement between Menaul Blvd. and the public right-of-way of Prospect Ave. In addition, the request includes the vacation of the 10' wide public waterline easement running from the platted northerly terminus of Prospect Ave. to Menaul Blvd. A replacement easement will be subsequently grants.

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Sincerely,
ISAACSON & ARFMAN, P.A.

Fred C. Arfman
Fred C. Arfman, PE

Attachment

128 Monroe St. N.E. · Albuquerque, NM 87108

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ALBUQUERQUE, NM 87110

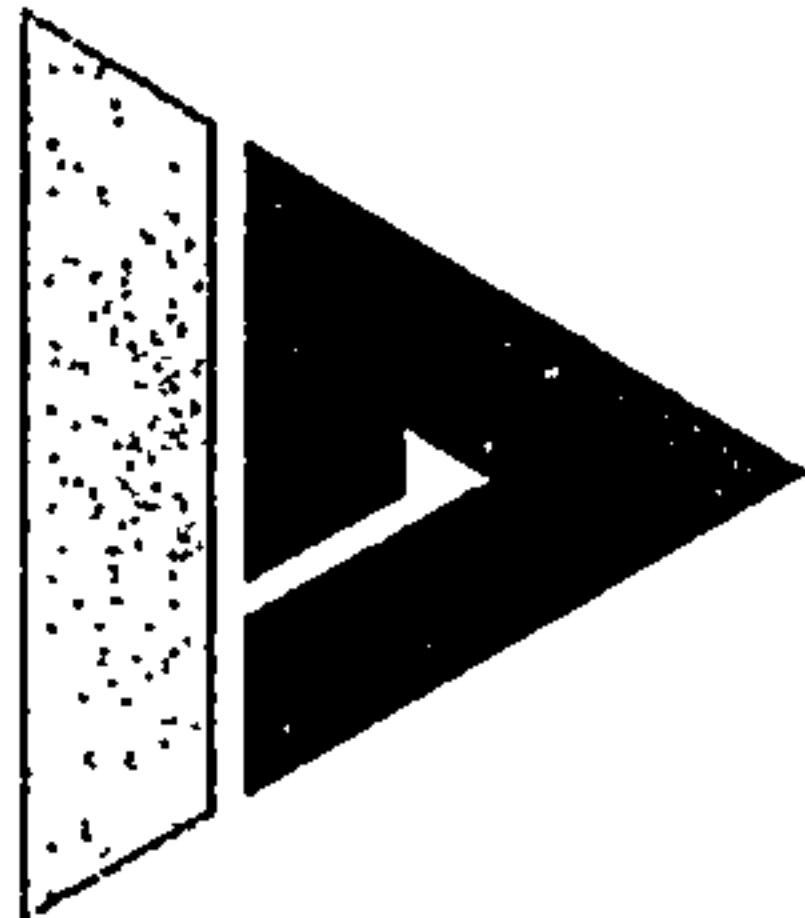
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6 2012
Postmark Here
07/06/2012

OFFICIAL USE

Sent To William Steadman
Street, Apt. No.; or PO Box No. Uptown Progress Team, Inc.
2424 Louisiana Blvd. NE, Suite 300
City, State, ZIP+4 Albuquerque, NM 87110

PS Form 3800, June 2002 See Reverse for Instructions



Isaacson & Arfman, P.A. Consulting Engineering Associates

Thomas O. Isaacson, PE(Ret.) & LS(Ret.) • Fred C. Arfman, PE • Asa Nilsson-Weber, PE

July 5, 2012

CERTIFIED MAIL – 7005 1160 0001 1329 8341

Kim Corcoran
Uptown Progress Team, Inc.
P.O. Box 93488
Albuquerque, NM 87199

**RE: Menaul & Prospect Retail Center
(DRB Project No. 1007099)**

Dear: Ms. Corcoran:

As the consulting engineers for the above referenced site located on the south side of Menaul Blvd. and on both sides of Prospect Ave. NE (see attached zone map), we are writing this letter to inform the Uptown Progress Team, Inc. that an application is being submitted to the City of Albuquerque Development Review Board (DRB) for a request of approval of the vacation of the existing public roadway easement between Menaul Blvd. and the public right-of-way of Prospect Ave. In addition, the request includes the vacation of the 10' wide public waterline easement running from the platted northerly terminus of Prospect Ave. to Menaul Blvd. A replacement easement will be subsequently grants.

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Please call me at 268-8828 if you have questions on this action. Thank you.

Sincerely,
ISAACSON & ARFMAN, P.A.

Fred C. Arfman, PE

Attachment

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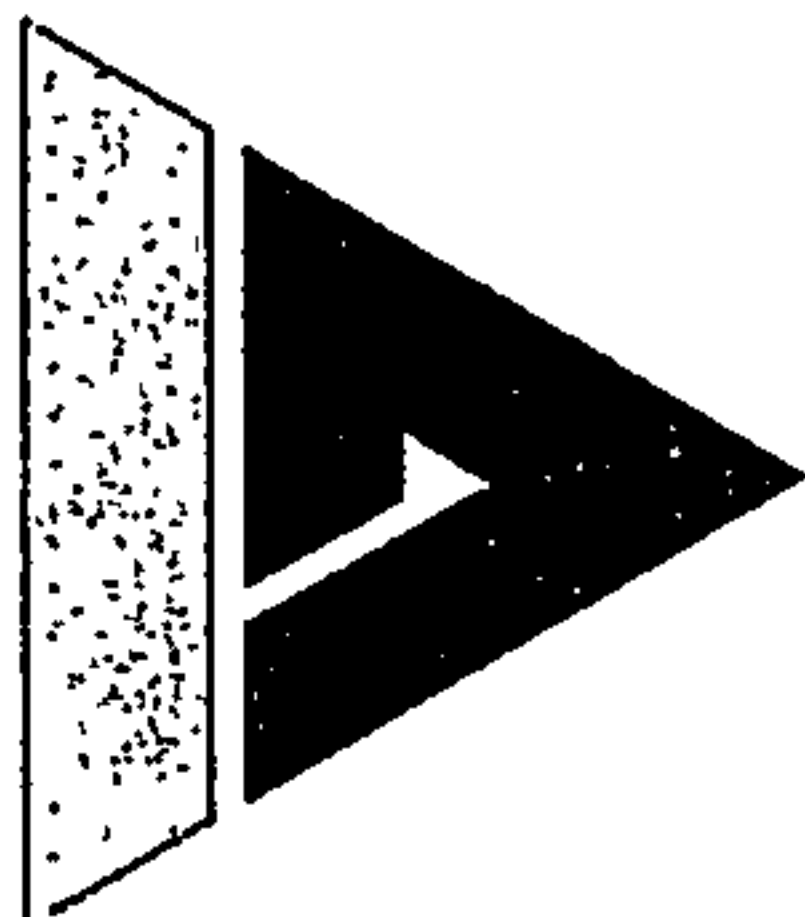
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Certified Fee	\$2.95	
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Restricted Delivery Fee (Endorsement Required)	\$0.00	
Total Postage & Fees	\$ 5.75	

Sent To
Kim Corcoran
Uptown Progress Team, Inc.
P.O. Box 93488
Albuquerque, NM 87199

PS Form 3800, June 2002 See Reverse for Instructions



Isaacson & Arfman, P.A. Consulting Engineering Associates

Thomas O. Isaacson, PE(Ret.) & LS(Ret.) • Fred C. Arfman, PE • Asa Nilsson-Weber, PE

July 5, 2012

CERTIFIED MAIL - 7005 1160 0001 1329 8358

Richard Peterson
Winrock South Neighborhood Association
7110 Constitution Ave. NE
Albuquerque, NM 87110

**RE: Menaul & Prospect Retail Center
(DRB Project No. 1007099)**

Dear: Mr. Peterson:

As the consulting engineers for the above referenced site located on the south side of Menaul Blvd. and on both sides of Prospect Ave. NE (see attached zone map), we are writing this letter to inform the Winrock South Neighborhood Association that an application is being submitted to the City of Albuquerque Development Review Board (DRB) for a request of approval of the vacation of the existing public roadway easement between Menaul Blvd. and the public right-of-way of Prospect Ave. In addition, the request includes the vacation of the 10' wide public waterline easement running from the platted northerly terminus of Prospect Ave. to Menaul Blvd. A replacement easement will be subsequently grants.

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Please call me at 268-8828 if you have questions on this action. Thank you.

Sincerely,
ISAACSON & ARFMAN, P.A.

Fred C. Arfman, PE

Attachment

128 Monroe St. N.E. • Albuquerque, NM 87108 •

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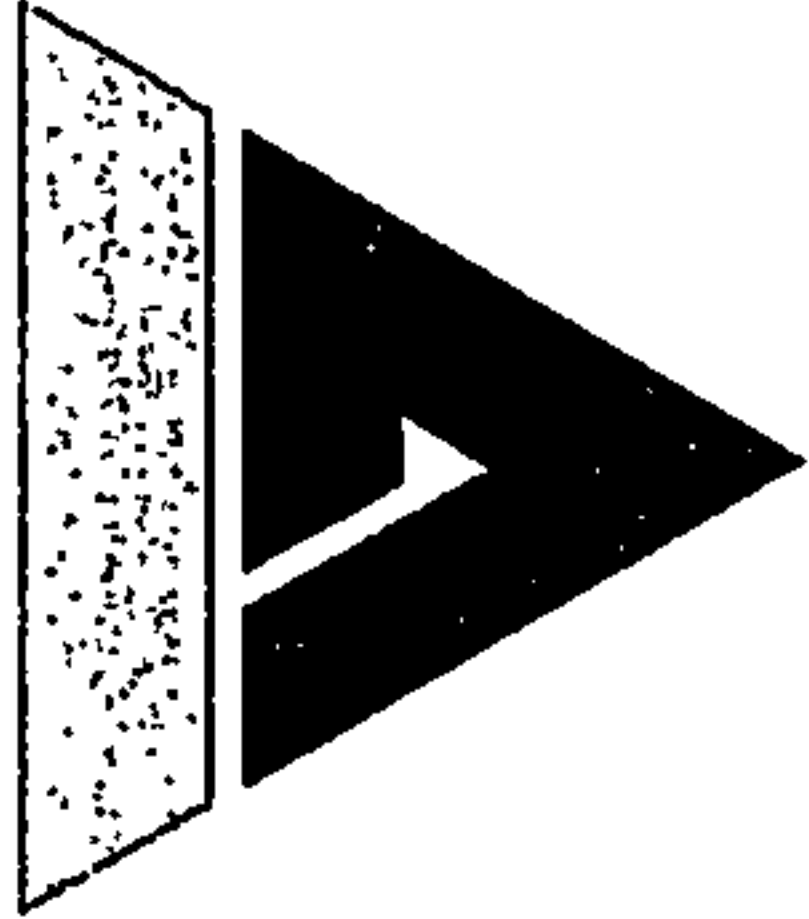
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Restricted Delivery Fee (Endorsement Required)	\$0.00	
Total Postage & Fees	\$ 5.75	

Sent To
Richard Peterson
Winrock South Neighborhood Assoc.
7110 Constitution Ave. NE
Albuquerque, NM 87110

PS Form 3800, June 2002 See Reverse for Instructions



Isaacson & Arfman, P.A. Consulting Engineering Associates

Thomas O. Isaacson, PE(Ret.) & LS(Ret.) · Fred C. Arfman, PE · Asa Nilsson-Weber, PE

July 5, 2012

CERTIFIED MAIL – 7005 1160 0001 1329 8365

Virginia Kinney
Winrock South Neighborhood Association
7110 Constitution Ave. NE
Albuquerque, NM 87110

**RE: Menaul & Prospect Retail Center
(DRB Project No. 1007099)**

Dear: Ms. Kinney:

As the consulting engineers for the above referenced site located on the south side of Menaul Blvd. and on both sides of Prospect Ave. NE (see attached zone map), we are writing this letter to inform the Winrock South Neighborhood Association that an application is being submitted to the City of Albuquerque Development Review Board (DRB) for a request of approval of the vacation of the existing public roadway easement between Menaul Blvd. and the public right-of-way of Prospect Ave. In addition, the request includes the vacation of the 10' wide public waterline easement running from the platted northerly terminus of Prospect Ave. to Menaul Blvd. A replacement easement will be subsequently grants.

This action is tentatively scheduled to be heard at the public hearing portion of the City of Albuquerque Development Review Board on July 25, 2012 at 9:00 AM. The hearing shall be held in the basement Conference Room of the Plaza del Sol Building, 600 2nd Street NW.

Please call me at 268-8828 if you have questions on this action. Thank you.

Sincerely,
ISAACSON & ARFMAN, P.A.

Fred C. Arfman
Fred C. Arfman, PE

Attachment

128 Monroe St. N.E. · Albuquerque, NM 87108

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Return Receipt Fee (Endorsement Required)	\$2.35	
Restricted Delivery Fee (Endorsement Required)	\$0.00	
Total Postage & Fees	\$ 5.75	

OFFICIAL USE

Sent To	Virginia Kinney
Street, Apt. No.; or PO Box No.	Winrock South Neighborhood Assoc, 7110 Constitution Ave. NE
City, State, ZIP+4	Albuquerque, NM 87110

PS Form 3800, June 2002 See Reverse for Instructions



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
 - Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Consensus Planning PHONE: 505.764.9801
 ADDRESS: 302 8th St. NW FAX: 505.842.5495
 CITY: Albuquerque STATE NM ZIP 87107 E-MAIL: fishman@consensusplanning.com

APPLICANT: Sandia Foundation PHONE: 505.242.2684
 ADDRESS: 6211 San Mateo Blvd, NE Suite 100 FAX: _____
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: _____
 Proprietary interest in site: owner List all owners: _____

DESCRIPTION OF REQUEST: DRB approval of EPC approved (April 16, 2012)
Site plan for subdivision with Design Standards

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tract A Block: 16 & 17 Unit: _____
 Subdiv/Addn/TBKA: Zuni Addition
 Existing Zoning: SU-1/c-2 permissive uses Proposed zoning: N/A MRGCD Map No. _____
 Zone Atlas page(s): H19 UPC Code: 101905920424831501

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): _____
1007099/08 EPC-4002, 1007099/12 EPC-4005

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO
 No. of existing lots: 1 No. of proposed lots: 1 Total site area (acres): 4.0
 LOCATION OF PROPERTY BY STREETS: On or Near: 7402 Menaul Blvd. NE
 Between: Mesilla St. NE and Pennsylvania St. NE
 Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: 1/31/12

SIGNATURE [Signature] DATE 7/23/2012
 (Print Name) JACQUELINE FISHMAN Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 4/2012

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>12 ORB-70214</u>	<u>SFS</u>	_____	\$ <u>0</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>CMF</u>	_____	\$ <u>20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
				Total
				\$ <u>20.00</u>

Hearing date Aug. 1, 2012

[Signature]
 Staff signature & Date 7-24-12

Project # 1007099

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** **Maximum Size: 24" x 36"**
 - ___ Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)** **Maximum Size: 24" x 36"**
 - ___ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - ___ Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Copy of the document delegating approval authority to the DRB
 - ___ Completed Site Plan for Subdivision Checklist
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)** **Maximum Size: 24" x 36"**
 - ___ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - ___ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
 - ___ Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
 - ___ Solid Waste Management Department signature on Site Plan
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Copy of the document delegating approval authority to the DRB
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Completed Site Plan for Building Permit Checklist
 - ___ Copy of Site Plan with Fire Marshal's stamp
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

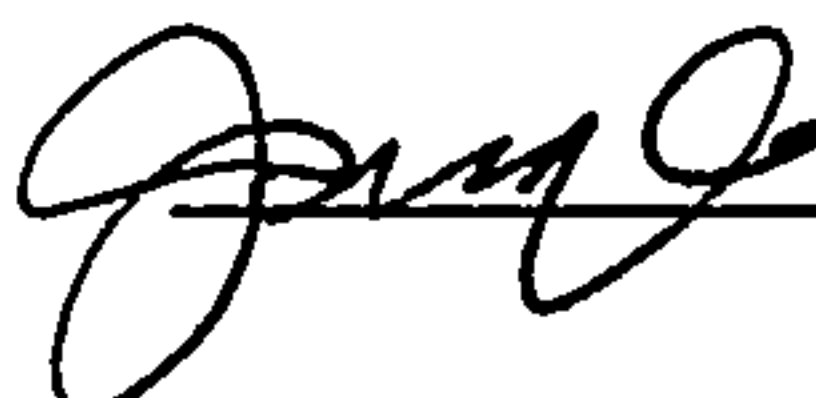
- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01)** **Maximum Size: 24" x 36"**
- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02)** **Maximum Size: 24" x 36"**
 - ___ Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
 - ___ DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) 6 copies
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)**
- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)**
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Solid Waste Management Department signature on Site Plan for Building Permit
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
 - Infrastructure List, if relevant to the site plan
 - Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**


I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

JACQUELINE FISHMAN
Applicant name (print)

Applicant signature / date



Form revised October 2007

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
12 - DRB - 70214


Planner signature / date
Project # 1007099

7-24-12



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

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- Street Name Change (Local & Collector)
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- Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

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 CITY: Albuquerque STATE NM ZIP 87107 E-MAIL: fishman@consensusplanning.co

APPLICANT: Sandia Foundation PHONE: 505.242.2684
 ADDRESS: 6211 San Mateo Blvd, NE Suite 100 FAX: _____
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: _____
 Proprietary interest in site: owner List all owners: _____

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 Subdiv/Addn/TBKA: Zuni Addition
 Existing Zoning: SU-1/c-2 permissive uses Proposed zoning: N/A MRGCD Map No _____
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CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.): _____
1007099/08 EPC-4002, 1007099/12 EPC-40005

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Within city limits? Yes Within 1000FT of a landfill? NO
 No. of existing lots: 1 No. of proposed lots: 1 Total site area (acres): 4.0
 LOCATION OF PROPERTY BY STREETS: On or Near: 7402 Menaul Blvd. NE
 Between: Mesilla St. NE and Pennsylvania St. NE

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: 1/31/12

SIGNATURE [Signature] DATE 7/23/2012
 (Print Name) JACQUELINE FISHMAN Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 4/2012

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>12 DRB- 70214</u>	<u>SFS</u>	_____	\$ <u>0</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>CMF</u>	_____	\$ <u>20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	Total
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ <u>20.00</u>

Hearing date Aug. 1, 2012

7-24-12
 Staff signature & Date

Project # 1007099

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** **Maximum Size: 24" x 36"**
- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**


- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)** **Maximum Size: 24" x 36"**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Completed Site Plan for Subdivision Checklist
 - Infrastructure List, if relevant to the site plan
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)** **Maximum Size: 24" x 36"**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist
 - Copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01)** **Maximum Size: 24" x 36"**
- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02)** **Maximum Size: 24" x 36"**
- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)**
- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)**
- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Solid Waste Management Department signature on Site Plan for Building Permit
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
 - Infrastructure List, if relevant to the site plan
 - Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**


I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

JACQUELINE FISHMAN
Applicant name (print)

Applicant signature / date

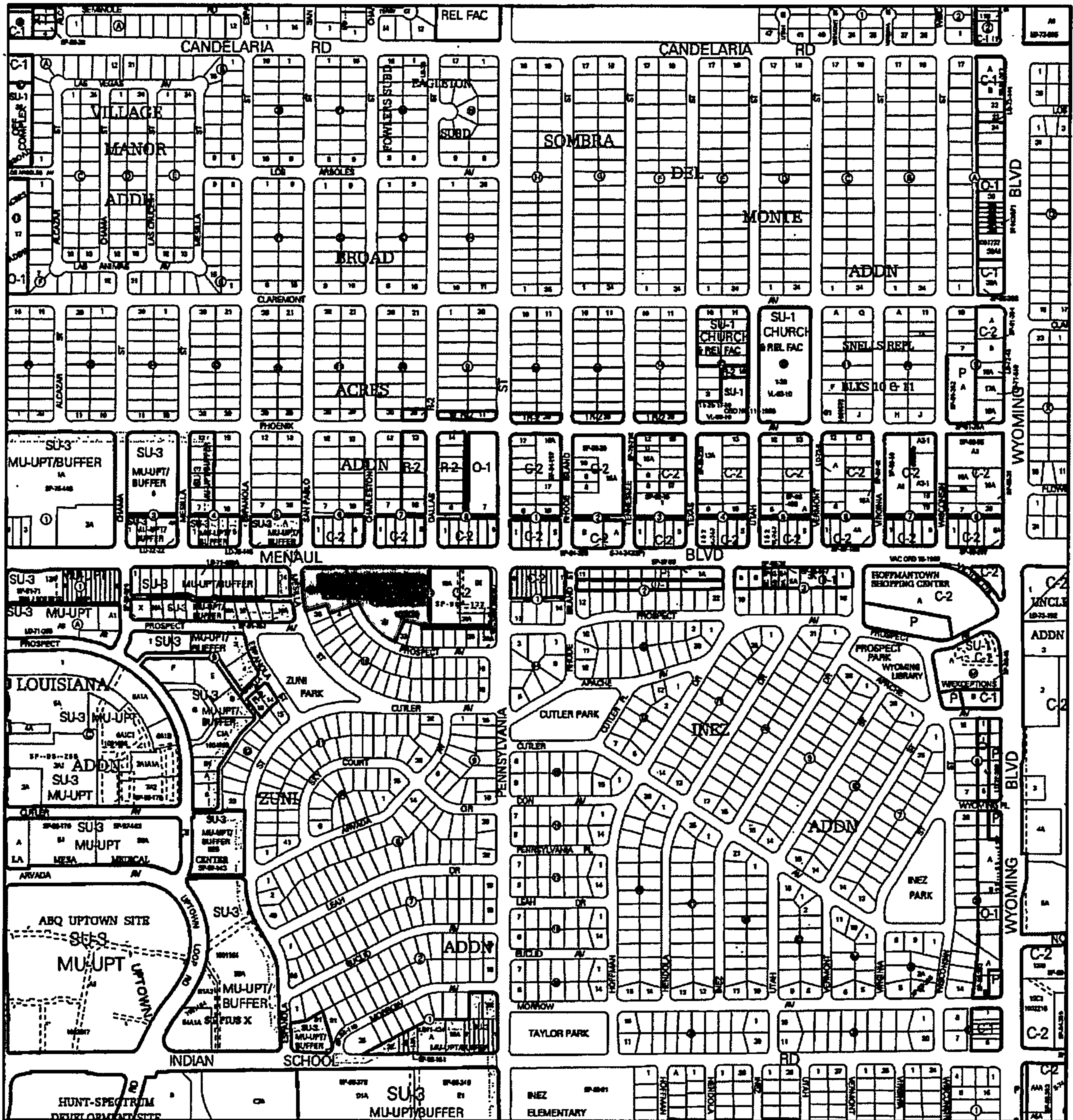


Form revised October 2007

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
12 - DRB-70214


Planner signature / date
Project # 1007099

7-24-12



For more current information and more details visit: <http://www.cabq.gov/gis>

AGIS
Albuquerque Geographic Information System

Note: Grey Shading Represents Area Outside of the City Limits

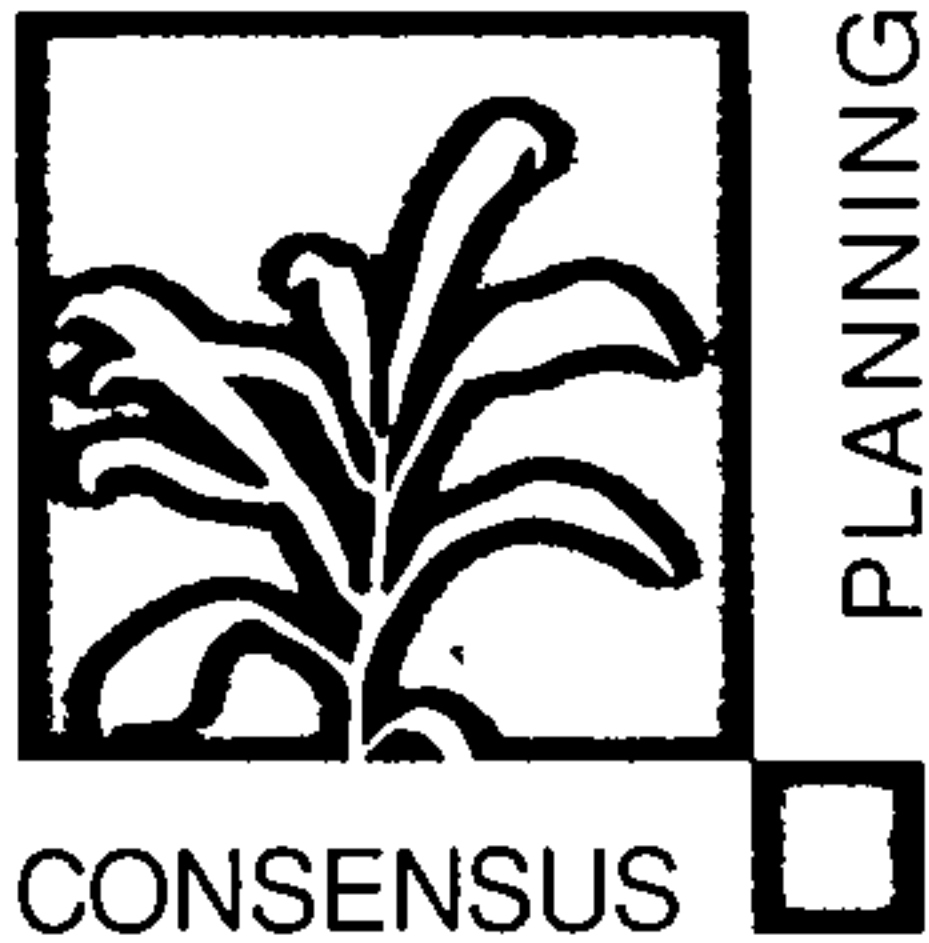
Zone Atlas Page:
H-19-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone

0 750 1,500 Feet

Map amended through: 1/24/2011



July 24, 2012

Landscape Architecture
Urban Design
Planning Services

Jack Cloud, Chairman
Development Review Board
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

302 Eighth St. NW
Albuquerque, NM 87102

RE: Project #1007099 Case#12EPC-40005

(505) 764-9801
Fax 842-5495
cp@consensusplanning.com
www.consensusplanning.com

Dear Mr. Chairman:

The purpose of this letter is to explain how we have addressed the Environmental Planning Commission's (EPC) conditions of approval for Project #1007099, 12EPC-40005, a Site Development Plan for Subdivision, which was approved on April 12, 2012. The Site Plan for Subdivision has been submitted to coincide with a request for vacation of a public roadway easement by Isaacson and Arfman and a replat by Surv-Tek, all to be heard together at DRB.

Each condition is listed below and the response as to how it was satisfied follows:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off may result in forfeiture of approvals.

We agree and this letter satisfies that requirement.

2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.

We met with the staff planner, Randall Falkner on June 4, 2012 to ensure that all conditions of approval have been met.

3. Design Standards, 1. Site Design, General, 10th bullet, shall include the following at the end of the first sentence: and a maximum of 42 inches."

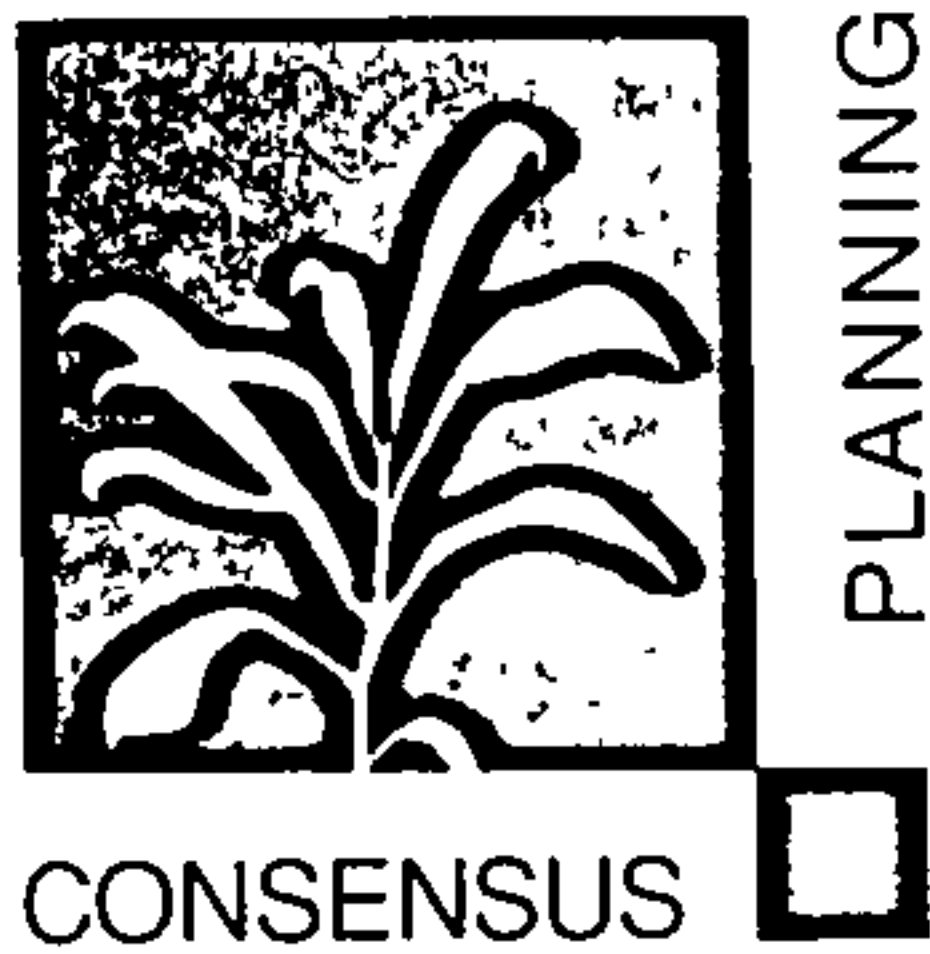
This language has been added to the Design Standards, Sheet 2.

PRINCIPALS

Karen R. Marcotte, AICP
James K. Strozier, AICP
Christopher J. Green, ASLA

ASSOCIATES

Jacqueline Fishman, AICP



4. Design Standards, 1. Site Design, General, 11th bullet, the following shall be added as the last sentence, A minimum 5 foot wide landscape buffer shall be provided between the wall and the existing 4 foot public sidewalk. The design of the wall shall meet Section 14-16-3-19 General Height and Design Regulations for Walls, Fences and Retaining Walls, and specifically Subsection (b) e. Façade, which requires "A variety of living shrubs, trees and/or vines covering or overhanging at least one third of the length of the wall" The existing mature evergreen trees may be counted towards meeting the landscape requirement under the City's Wall Regulations.

This language has been added to the Design Standards, Sheet 2.

5. Design Standards, 1. Site Design, Parking, 3rd bullet, shall include the following as the last sentence, "Parking shall not dominate the street frontage."

This language has been added to the Design Standards, Sheet 2.

6. Design Standards, 5. Landscape, 2nd bullet, first sentence, replace the words "where there is adjacent" with the words "a minimum of 10 feet in width and shall be" in between the words "be" and "comprised".

This language has been added to the Design Standards, Sheet 2.

7. Design Standards, 6. Signage, 2nd bullet, be revised to read "Location, number and illumination of signs shall be per the C-2 Zone, Section 14-16-2-17(A)(10) of the Comprehensive City Zoning Code. Monument sign height shall not exceed 9 feet in height and shall have a maximum sign area of 50 square feet, except no signage shall be allowed along Prospect Avenue across from residential development."

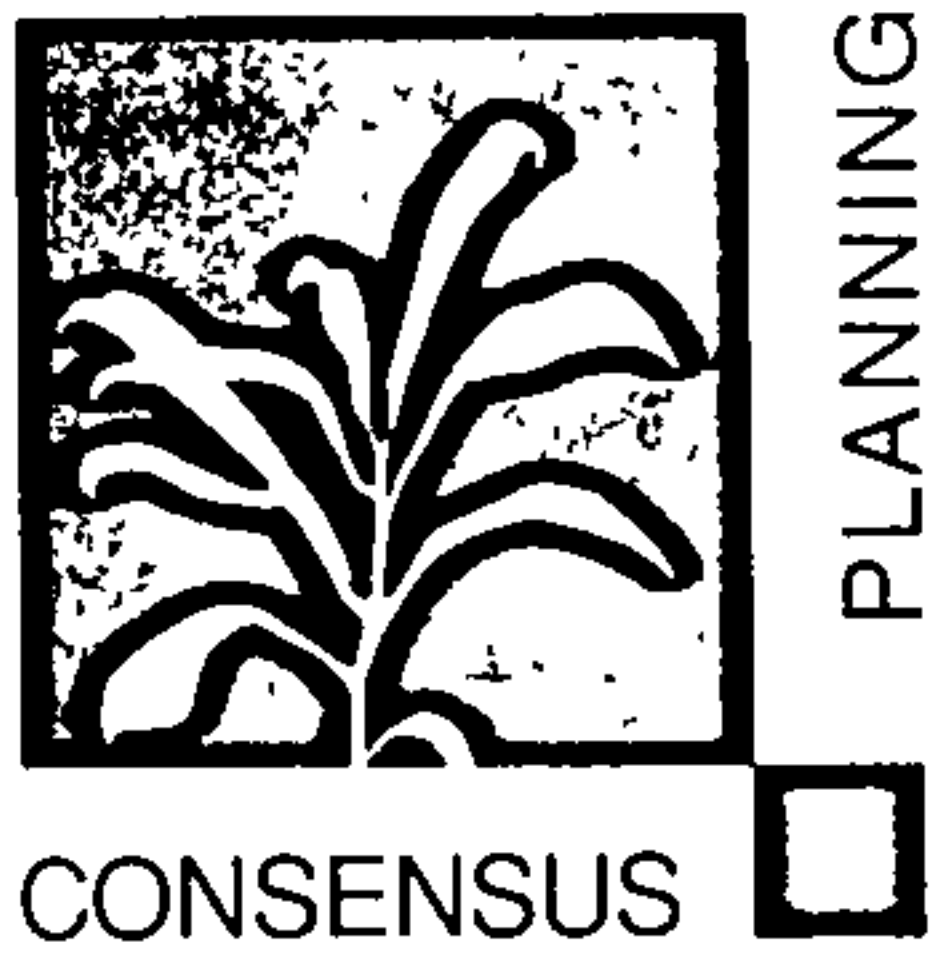
This language has been added to the Design Standards, Sheet 2.

8. Design Standards, 6. Signage, 3rd bullet, second sentence shall be revised to read "Building mounted signs are prohibited along Prospect Avenue across from residential development and along the south property boundary within 50 feet of an abutting residential development."

This language has been added to the Design Standards, Sheet 2.

9. Condition from the Transit Department: The existing bus stop is to be relocated 280 feet east and Transit to require a 5' wide x 20' long easement for shelter, if needed, from the applicant. The proposed easement will be between the property and the sidewalk, Transit requests that the applicant install a Type C bus shelter as per the COA Design standard COA 2355, and associated bench and trash can at the proposed bus stop. Applicant to consult the Transit department for the location of the proposed easement.

The proposed easement is shown on the Site Plan and is included on the plat that was submitted concurrently with the Site Plan for Subdivision.



10. Conditions from the City Engineer, Municipal Development, and NMDOT:

- a. Concurrent Platting Action required at Development Review Board (DRB).

The plat was submitted concurrently with this Site Plan for Subdivision.

- b. A queuing analysis for the storage lengths will be determined at Site Development Plan for Building Permit for Manual's proposed left turn lanes.

The applicant agrees to this condition.

- c. All proposed geometric improvements shown on the Site Plan for Subdivision must be noted as illustrative only or removed *Note on site plan or removed.

This condition is no longer applicable since the public roadway easement previously included on the Site Development Plan for Subdivision has been removed.

- d. The proposed geometry for the Public Access Easement and driveways doesn't appear to comply with the current DPM standards.

See response above.

- e. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan, as may be required by the Development Review Board (DRB).

We agree to this condition.

- f. All easements need to be shown and labeled on Site Plan.

All existing and proposed easements are included on the Site Plan.

11. Conditions from Public service Company of New Mexico

- a. It is the applicant's obligation to determine if existing utility easements cross the property and to abide by any conditions or terms of those easements.

We agree to this condition.

- b. It is necessary for the applicant to contact PNM's New Service Delivery Department regarding electric service to this site and whether any modifications to the existing electric service to the site are necessary.

We agree to this condition, and this language is included on the Design Standards, Sheet 2, 7. Utilities, 1st bullet.



PLANNING

CONSENSUS



12. The DRB and Traffic Operations shall consider partial or total closing of vehicular access to the center from the neighborhood to the south.

The public roadway easement previously included on the Site Plan has been removed per this condition. We met with the Fire Marshal's office, Kristal Metro, and Nilo Salgado Fernandez to discuss and we are all in agreement on the modified hammerhead shown on Prospect Avenue. Refer to the Site Plan, sheet 1 stamped by the Fire Marshal. Fred Arfman also requested concurrence by Traffic Operations on July 19, 2012.

Please feel free to call me if you have any questions or need additional information.

Sincerely,

Jacqueline Fishman, AICP
Associate

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT
URBAN DESIGN & DEVELOPMENT DIVISION
600 2nd Street NW, 3rd Floor, 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3860 Fax (505) 924-3339



OFFICIAL NOTIFICATION OF DECISION

April 16, 2012

Sandia Foundation
6211 San Mateo Blvd. NE, Suite 100
Albuquerque, NM 87109

Project # 1007099
12EPC-40005 Site Development Plan for
Subdivision

LEGAL DESCRIPTION:

Consensus Planning, agent for Sandia Foundation, requests the above action for all or a portion of Tract A, Blocks 16 & 17, Zuni Addition, located on Menaul Blvd. NE between Mesilla St. NE and Pennsylvania St. NE containing approximately 4 acres. Randall Falkner, Staff Planner

PO Box 1293

Albuquerque

NM 87103

On April 12, 2012, the Environmental Planning Commission voted to APPROVE Project 1007099 / 12EPC-40005, a Site Development Plan for Subdivision, based on the following Findings and subject to the following Conditions:

FINDINGS:

- www.cabq.gov
1. This is a request for a site development plan for subdivision for Tract A, Blocks 16 & 17, Zuni Addition, a site of approximately 4 acres located on the south side of Menaul Boulevard, between Mesilla Street and Pennsylvania Street.
 2. The approval of this site development plan for subdivision will void and replace the existing approved site development plan for building permit, creating a plan that will provide more flexibility and the ability to attract a variety of users.
 3. The existing zoning is SU-1 for C-2 Permissive Uses including full service liquor only in conjunction with a restaurant excluding the sale of alcohol for off-site consumption and excluding off-premise signs.

OFFICIAL NOTICE OF DECISION

Project #1007099

April 12, 2012

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4. The EPC is hearing the case because development in an SU-1 zone may only occur in conformance with an approved site development plan. The applicant has provided a site development plan for subdivision with design standards.
5. The site is located in the Established Urban Area of the Comprehensive Plan, and is not located within any Sector or Area Plans.
6. The Albuquerque/Bernalillo County Comprehensive Plan, and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
7. The request furthers applicable policies of the Comprehensive Plan, including the following:
 - a. Policy II.B.5d – The request will respect existing neighborhood values by providing Design Standards that protect the neighborhood. Design Standards help to minimize negative effects through standards for proper architectural design, landscaping, lighting, pedestrian circulation, traffic circulation, and signage. The applicant has agreed to provide a 6 foot high wall along the entire southern portion of the site that is adjacent to Prospect Avenue in order to provide additional separation between the retail and residential areas. The request also provides a site development plan for a site that has been vacant for several years.
 - b. Policy II.B.5i – The request will be sited to minimize adverse effects of noise, lighting, pollution, and traffic on residential environments. Design Standards have been provided to minimize any adverse effects.
 - c. Policy II.B.5j – The request will provide commercial development in an area that is already zoned for commercial uses. The request will provide pedestrian access throughout the site and to Menaul Boulevard and Mesilla Street.
 - d. Policy II.B.5k – The request has been designed to minimize the harmful effects of traffic, and the livability and safety of established residential neighborhoods are protected by effective transportation and planning operation. The realignment of Prospect Avenue will allow it to line up with Charleston Street and has been configured in such a way as to provide traffic calming through the site while still permitting neighborhood access.
 - e. Policy II.B.5o – The request would allow for redevelopment and rehabilitation of an older neighborhood in the Established Urban Area. The subject site has been vacant since 2006. The request will redevelop a vacant property with Design Standards to help protect the neighborhood. Future site development plans for building permit will return to the EPC for review and approval.
 - f. Policy II.D.4a – The request mostly meets policy objectives for street design, transit service, and development form as shown in Table 11, Policy a. Corridor Policies in

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Project #1007099

April 12, 2012

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- an Enhanced Transit Corridor. The request meets policy objectives with the exception of building placement. The request will maximize pedestrian connections to transit stops with pedestrian walkways that are a minimum of 6 feet in width, provide a weather protected bus-stop, provide building access from the street, place parking on at least two sides of the building, provide a maximum F.A.R. of 0.75, and follow the modal hierarchy of transit and autos, pedestrians, and bikes.
- g. Policy II.D.4g – Future interior sidewalks will be 6 feet wide and will connect with one another and to future buildings, and with public sidewalks along Menaul Blvd. and Mesilla Street.
 - h. Policy II.D.4p – The request will facilitate efficient, safe access and transfer capability between all modes. Future sidewalks will provide interior and exterior connections to buildings and the public sidewalks along Menaul and Mesilla.
 - i. Policy II.D.6b – The request will facilitate development of future businesses at the subject site.
8. A Facilitated Meeting was held on March 22, 2012 at 6:30 p.m. at the Inez Elementary School. Neighborhood concerns, as described by the facilitator, included the following: options for rerouting Prospect Avenue, additional separation between the retail and residential areas, alcohol sales and drinking and driving through the neighborhood or using the street as overflow parking, and the process regarding the property in 2008. The applicant has agreed to provide a 6 foot high wall along the entire southern portion of the site that is adjacent to Prospect Avenue in order to provide additional separation between the retail and residential areas. The applicant will not be pursuing an alternate route for Prospect Avenue.
 9. A letter was received by a neighbor to the south of the property that was concerned about the lack of a 6 foot wall separating the retail from the residential area and not having a cul-de-sac at the end of Prospect. The applicant is not planning on installing a cul-de-sac at the end of Prospect, but has agreed to provide a 6 foot high wall along the entire southern portion of the site that is adjacent to Prospect Avenue. No other correspondence was received concerning the project.
 10. A petition was submitted at the hearing of April 12, 2012, requesting a cul-de-sac at the end of Prospect Avenue. The EPC supports partial or total closing of vehicular access to the center from the neighborhood to the south.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have

OFFICIAL NOTICE OF DECISION

Project #1007099

April 12, 2012

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been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. Design Standards, 1.Site Design, General, 10th bullet, shall include the following at the end of the first sentence "and a maximum of 42 inches."
4. Design Standards, 1. Site Design, General, 11th bullet, the following shall be added as the last sentence, A minimum 5 foot wide landscape buffer shall be provided between the wall and the existing 4 foot public sidewalk. The design of the wall shall meet Section 14-16-3-19 General Height and Design Regulations for Walls, Fences and Retaining Walls, and specifically Subsection (b) e. Façade, which requires "A variety of living shrubs, trees and/or vines covering or overhanging at least one third of the length of the wall..." The existing mature evergreen trees may be counted towards meeting the landscape requirement under the City's Wall Regulations.
5. Design Standards, 1.Site Design, Parking, 3rd bullet, shall include the following as the last sentence, "Parking shall not dominate the street frontage."
6. Design Standards, 5. Landscape, 2nd bullet, first sentence, replace the words "where there is adjacent" with the words "that abut". Design Standards 5. Landscape, 2nd bullet, second sentence, add the words "a minimum of 10 feet in width and shall be" in between the words "be" and "comprised".
7. Design Standards, 6.Signage, 2nd bullet, be revised to read "Location, number and illumination of signs shall be per the C-2 Zone, Section 14-16-2-17(A)(10) of the Comprehensive City Zoning Code. Monument sign height shall not exceed 9 feet in height and shall have a maximum sign area of 50 square feet, except no signage shall be allowed along Prospect Avenue, across from residential development."
8. Design Standards, 6.Signage, 3rd bullet, second sentence shall be revised to read "Building mounted signs are prohibited along Prospect Avenue across from residential development and along the south property boundary within 50 feet of an abutting residential development."

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Project #1007099

April 12, 2012

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9. **Condition from Transit Department:** The existing bus stop is to be relocated 280 east and Transit to require an 5' wide x 20' long easement for shelter, if needed, from the applicant. The proposed easement will be between the property and the sidewalk. Transit requests that the applicant install a Type C bus shelter as per the COA Design standard COA 2355, and associated bench and trash can at the proposed bus stop. Applicant to consult the Transit department for the location of the proposed easement.

10. **Conditions from City Engineer, Municipal Development, and NMDOT:**
 - a. **Concurrent Platting Action required at Development Review Board (DRB).**
 - b. **A queuing analysis for the storage lengths will be determined at Site Development Plan for Building Permit for Manual's proposed left turn lanes.**
 - c. **All proposed geometric improvements shown on the Site Plan for Subdivision must be noted as illustrative only or removed.**
 - d. **The proposed geometry for the Public Access Easement and driveways doesn't appear to comply with the current DPM standards.**
 - e. **The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan, as may be required by the Development Review Board (DRB).**
 - f. **All easements need to be shown and labeled on Site Plan.**

11. **Conditions from Public Service Company of New Mexico**
 - a. **It is the applicant's obligation to determine if existing utility easements cross the property and to abide by any conditions or terms of those easements.**
 - b. **It is necessary for the applicant to contact PNM's New Service Delivery Department regarding electric service to this site and whether any modifications to the existing electric service to the site are necessary.**

12. **The DRB and Traffic Operations shall consider partial or total closing of vehicular access to the center from the neighborhood to the south.**

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY APRIL 27, 2012 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

Persons aggrieved with any determination of the Environmental Planning Commission (EPC) and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written

OFFICIAL NOTICE OF DECISION

Project #1007099

April 12, 2012

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application on the Planning Department form to the Planning Department **within 15 days** of the Planning Commission's decision. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday, the next working day is considered as the deadline for filing the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY ZONING CODE MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

ZONE MAP AMENDMENTS: Pursuant to Zoning Code Section 14-16-4-1(C)(11), a change to the zone map does not become official until the Certification of Zoning is sent to the applicant and any other person who requests it. Such certification shall be signed by the Planning Director after appeal possibilities have been concluded and after all requirements prerequisite to this certification are met. If such requirements are not met within six months after the date of final City approval, the approval is void. The Planning Director may extend this time limit up to an additional six months.

SITE DEVELOPMENT PLANS: Pursuant to Zoning Code Section 14-16-3-11(C)(1), if less than one-half of the approved square footage of a site development plan has been built or less than one-half of the site has been developed, the plan for the undeveloped areas shall terminate automatically seven years after adoption or major amendment of the plan: within six months prior to the seven-year deadline, the property owners shall request in writing thorough the Planning Director that the Planning Commission extend the plan's life an additional five years.

DEFERRAL FEES: Pursuant to Zoning Code Section 14-16-4-1(B), deferral at the request of the applicant is subject to a \$110.00 fee.

Sincerely,


for Deborah L. Stover
Planning Director

DS/RF/mc

cc: Consensus Planning, 302 8th St NW, Albuquerque, NM 87102
Sandra Jamison, ABQ-Park N.A, 7615 Leah Dr. NE, Albuquerque, NM 87110
Alex Morgan, ABQ-Park N.A, 7414 Leah Dr. NE, Albuquerque, NM 87110
Natasha Carty, Alvarado Park N.A., 5907 Princess Jeanne NE, Albuquerque, NM 87110

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Project #1007099

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Jane Cohn, Alvarado Park N.A., 1931 Palomas NE, Albuquerque, NM 87110
Stephen Verchinski, Classic Uptown N.A., 2700 Espanola NE, Albuquerque, NM 87110
Cara Gregory, Classic Uptown N.A., 2812 Alcazar St. NE, Albuquerque, NM 87110
Evelyn B. Feltner, Inez N.A., 2014 Utah St. NE, Albuquerque, NM 87110
Donna Yetter, Inez N.A., 2111 Hoffman Dr. NE, Albuquerque, NM 87110
Julie Jones, Jerry Cline Park N.A., 7625 Winter Ave., Albuquerque, NM 87110
Ron Goldsmith, Jerry Cline Park N.A., 1216 Alcazar St. NE, Albuquerque, NM 87110
Barbara Lohbeck, Mark Twain N.A., 1402 California NE, Albuquerque, NM 87111
Charlotte Rode, Mark Twain N.A., 1409 California NE, Albuquerque, NM 87110
Winnie Schmidt, Quigley Park N.A., 2916 Cuervo Dr. NE, Albuquerque, NM 87110
Maureen Maher, Quigley Park N.A., 2935 Cardenas Dr. NE, Albuquerque, NM 87110
Laura Heitman, Snow Heights N.A., 8011 Princess Jeanne NE, Albuquerque, NM 87110
Shirley Marquez, Snow Heights N.A., 7605 Hannett NE, Albuquerque, NM 87110
William Steadman, Uptown Progress Team, Inc., 2424 Louisiana Blvd., NE, Ste. 300,
Albuquerque, NM 87110
Kim Corcoran, Uptown Progress Team, Inc., P.O. Box 93488, Albuquerque, NM 87199
Richard Peterson, Winrock South N.A., 7110 Constitution Ave. NE, Albuquerque, NM
87110-7122
Virginia Kinney, Winrock South N.A., 7110 Constitution Ave. NE, Albuquerque, NM
87110-7122
Bill Hoch, District 7 Coalition of N.A.'s, 813 Calle Del Corte NE, Albuquerque, NM 87110
Lynne Martin, District 7 Coalition of N.A.'s, 1531 Espejo NE, Albuquerque, NM 87112



1007099

Main Bank

2424 Louisiana Blvd. NE, Suite 100
Albuquerque, NM 87110

The following Changes have been made to the Site Development Plan for Building Permit as per the DRB conditions provided at the hearing on November 12th. Project #1007099.

Comments from Hydrology:

Grading & Drainage Plan: Comments 1,2,3 & 4 - See revised G&D plan for solution agreed to by Civil & City.

Site Plan: Comments

1. Spaces in wall for drainage - See G&D Plan & Site Plan notation at wall.
2. Curb cuts - See Site Plan, G&D plan & Landscape Plan for curb cut indications.
3. Drainage easement - See G&D plan & Site Plan for easement call out.

Comments from Transportation:

1. As-built info on median improvements - provided to Krystal by Fred Arfman.
2. Public sidewalk added to infrastructure list
3. Recording information for sidewalk easements - see Site Plan
4. Timelines for bus shelter - depends on Credit Union.

Comments from Parks & Recreation:

1. Landscaping within the Right of Way has been added to the scope of maintenance agreement.

Comments from Case Planner:

Condition #4 - Facade included indents in wall to comply with requirement. Note added to clarify wall detail.

Condition #7 - There is a surplus of required seating. Bench is now shown in Building Elevations.

Condition #12 - See General Note #3 on Site Plan.

A R C H I T E C T S

P.O. BOX 11608 Albuquerque, NM 87192 Phone: (505)-299-5940
www.dormanbreen.com

INTER-OFFICE MEMO

DATE: November 10, 2014
TO: Jack Cloud, DRB Chair
FROM: Catalina Lehner, Senior Planner CL
RE: Project #1007099, Main Bank
Site Development Plan for Building Permit

On October 9, 2014, the EPC voted to approve a site development plan for building permit for an approx. 1.8 acre site located on the south side of Menaul Blvd., between Mesilla St. NE and Pennsylvania St. NE.

Staff met with the agent, Mark Baczek, on October 30, 2014 to discuss how the Conditions of Approval are being met. Staff reviewed the October 28, 2014 updated version (v.3) of the site development plan for building permit and notes the following:

Condition #4- Walls/Fences:

Pursuant to the design standards, the proposed wall is required to comply with 14-16-3-19-Height/Design Regs for Walls, Fences & Retaining Walls. The wall detail (Sheet A3) has been revised. One feature from (C)(2)(a)(1)- Layout, which provides a menu of choices, was added. That's the 4" overhang cap.

However a feature from (C)(2)(b)(1)- Façade, menu of choices was not added. What appear to be openings at the top of the wall facing the residential side are not openings, since the bank side of the wall remains unarticulated. Staff recommends option (b)(1)(c), which would add a variety of materials, texture or color on at least 20% of the wall surface.

Condition #7C- Architecture & Seating:

A bench was not added because, in discussions with the applicant, the seating requirement was clearly met (which is apparent now- calculations were not previously provided).

The problem is that there's no seat wall/bench shown on the western elevation (that I can tell). Please add the bench to the western and northern elevations.

Condition #7D- Seating:

I measure 38 feet of seating area, for a total of 19 seats (not 20).

Condition #12, A, B and C:

It's unclear how these are being met. They should be addressed in the project letter, but are not (at least in the copy I have). If there is any ground-mounted equipment, Condition #12C needs to be a note on the site development plan.

Note: Current Planning Staff did not check Condition #11 (Transportation Development Staff's).

If you have any questions regarding this case, please call me at 924-3935 or e-mail me at clehner@cabq.gov. Thank you.



11/18/14

DEVELOPMENT REVIEW BOARD SUPPLEMENTAL SUBMITTAL

PROJECT NO. 1007099

TO: Application No. 14DRB-70378

ALL MEMBERS

Jack Cloud, DRB Chairman, Planning Department

Curtis Cherne, P.E., Hydrology

Kristal Metro, P.E., Transportation Development

Allan Porter, P.E., Albuquerque/ Bernalillo Co.WUA

Carol Dumont, Parks/Municipal Development

NEXT HEARING DATE: November 19, 2014

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON. IF THE APPLICANT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

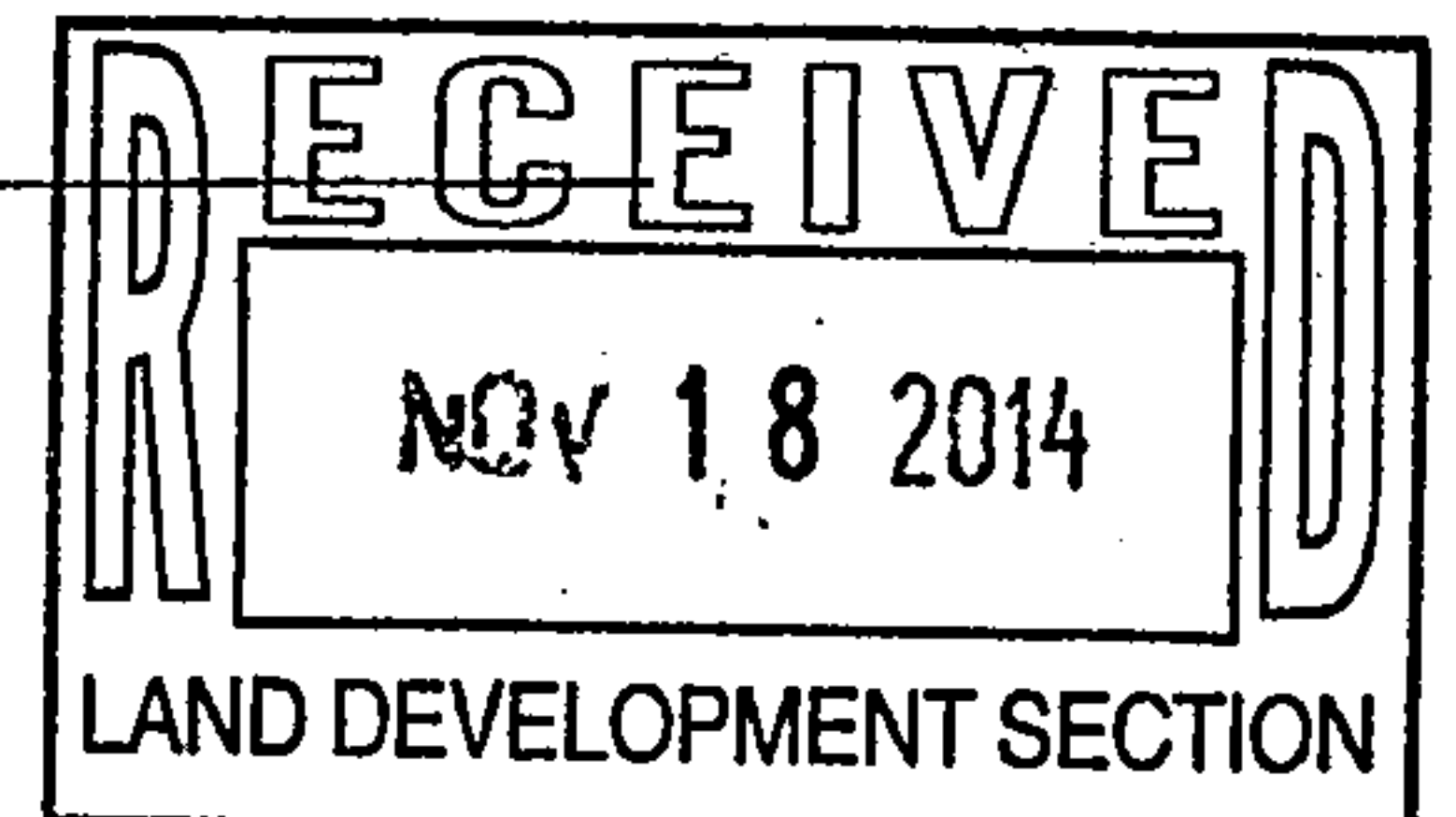
SUBMITTAL DESCRIPTION: Revised Infrastructure List

CONTACT NAME: Fred C. Arfman

DATE: November 18, 2014

TELEPHONE: 268-8828

EMAIL: freda@iacivil.com



Current DRC
Project Number: _____

FIGURE 12

Date Submitted: November 4, 2014

INFRASTRUCTURE LIST

(Rev. 9-20-05)

EXHIBIT "A"

Date Site Plan Approved: _____

Date Preliminary Plat Approved: _____

Date Preliminary Plat Expires: _____

DRB Project No.: 1007099

DRB Application No.: _____

TO SUBDIVISION IMPROVEMENTS AGREEMENT

DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Main Bank

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Tract A-1-A, Block 16, Zuni Addition

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
		18"-24" dia.	Public Storm Drain w/ Double "C" Inlet	Tract A-1-A	Mesilla Ave.	Prospect Av Terminus	/	/	/
		6' Wide	PCC Sidewalk	Menaul Frontage	Mesilla Ave.	East Entry Drive	/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/

listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed	Constructed Under	Size	Type of Improvement	Location	From	To	Construction Certification			
							Private	City Cnst		
DRC #	DRC #						Inspector	P.E.	Engineer	
<input type="text"/>	<input type="text"/>						/	/	/	
<input type="text"/>	<input type="text"/>						/	/	/	
							Approval of Creditable Items:		Approval of Creditable Items:	
							Impact Fee Administrator Signature Date		City User Dept. Signature Date	

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

1

2

3

AGENT / OWNER	DEVELOPMENT REVIEW BOARD MEMBER APPROVALS
---------------	---

Fred C. Arfman, PE
NAME (print)

Isaacson & Arfman, P.A.
FIRM

Fred C. Arfman 11-18-14
SIGNATURE - date

DRB CHAIR - date

TRANSPORTATION DEVELOPMENT - date

UTILITY DEVELOPMENT - date

CITY ENGINEER - date

PARKS & GENERAL RECREATION - date

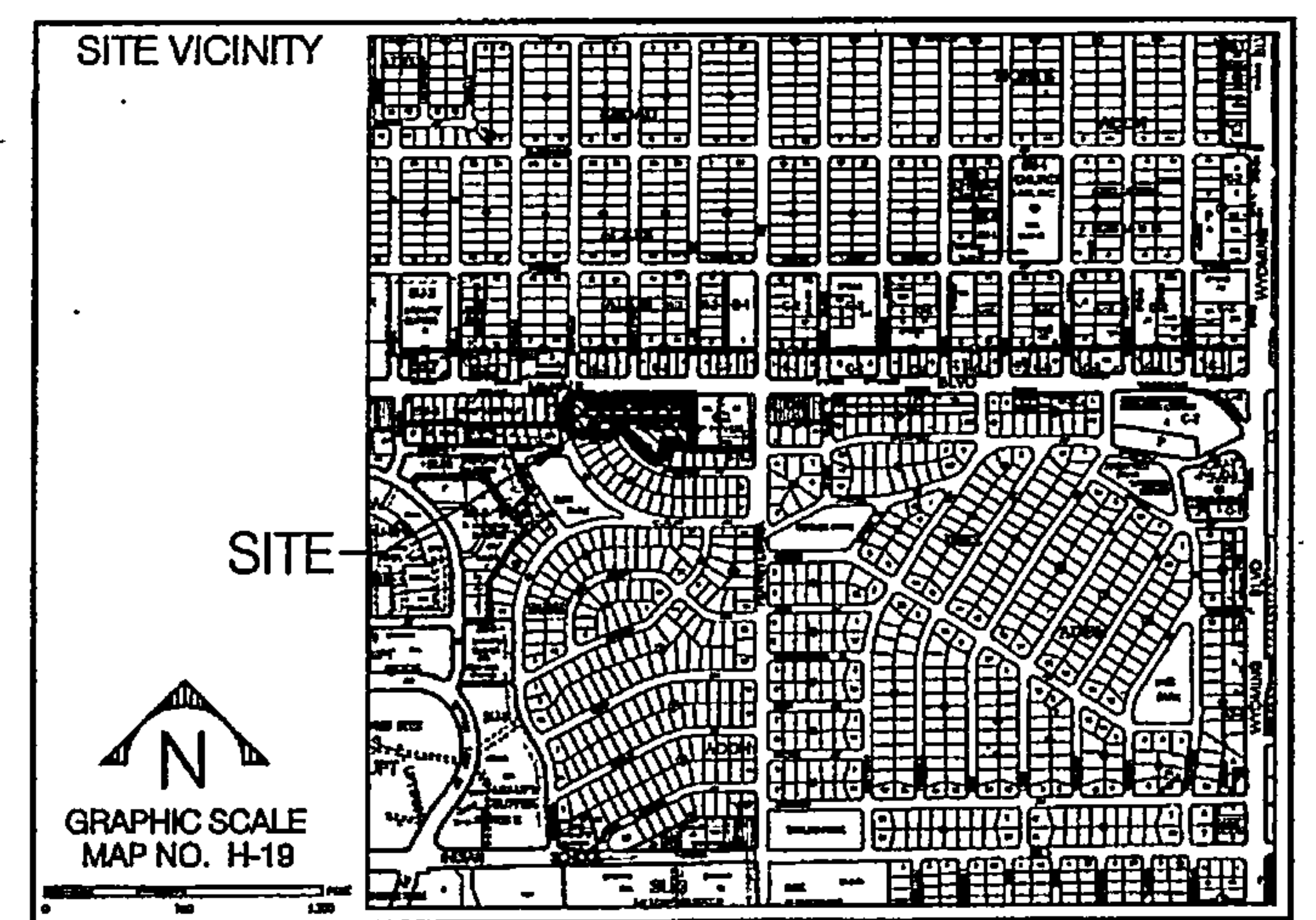
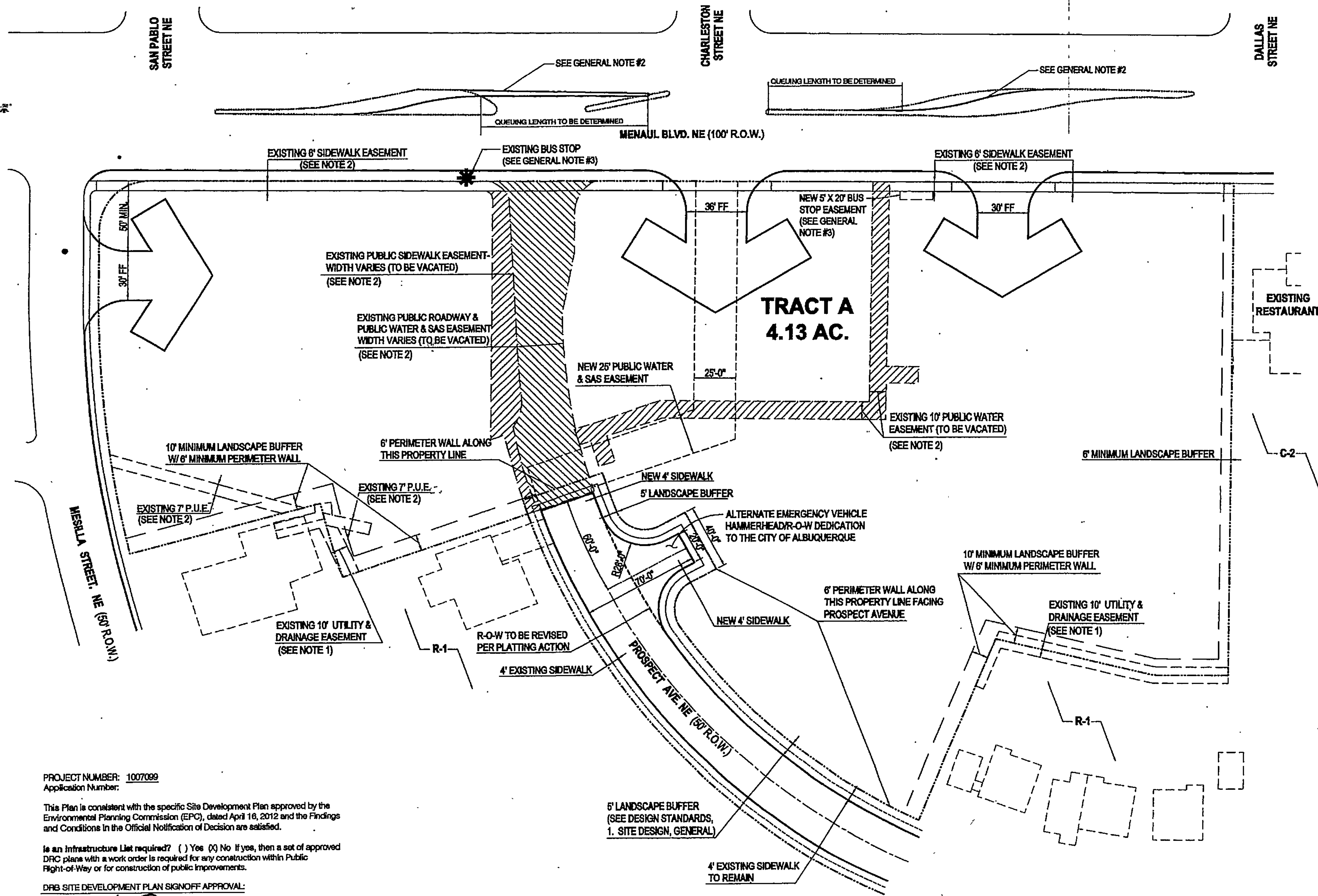
AMAFCA - date

- date

- date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER



SITE VICINITY

SITE

GRAPHIC SCALE
MAP NO. H-18

SITE PLAN FOR SUBMISSION-REQUIRED INFORMATION

THE SITE:
TRACT A, BLOCKS 16 & 17, ZUNI ADDITION. THE SITE CONSISTS OF APPROXIMATELY 4.13 ACRES. NO SUBDIVISION IS ANTICIPATED AT THIS TIME; HOWEVER, THE MODIFIED ACCESS AT PROSPECT AVENUE AND THE VACATION OF PUBLIC ROADWAY EASEMENT REQUIRE A REPEAT AT DRB.

EXISTING ZONING:
SU-1 FOR C-2 PERMISSIVE USES, INCLUDING A FULL SERVICE LIQUOR LICENSE ONLY IN CONJUNCTION WITH A RESTAURANT, EXCLUDING SALE OF ALCOHOL FOR OFF-SITE CONSUMPTION AND EXCLUDING OFF-PREMISE SIGNS.

PROPOSED USE:
PER C-2 PERMISSIVE USES, WITH EXCEPTIONS AS DESCRIBED ABOVE.

PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS:

VEHICULAR ACCESS:
VEHICULAR ACCESS TO THE SITE WILL BE FROM ACCESS POINTS ALONG MENAUL BOULEVARD NE AND MESILLA STREET NE. A FULL MOVEMENT INTERSECTION WILL BE CREATED WITH REALIGNMENT OF PROSPECT AVENUE NE (A PRIVATE ROAD WITH A PUBLIC ACCESS EASEMENT) TO LINE UP WITH CHARLESTON STREET NE. A SECOND MENAUL ACCESS POINT WILL BE RIGHT-IN, RIGHT-OUT TURN MOVEMENT ONLY, EAST OF PROSPECT AVENUE.

PEDESTRIAN ACCESS CIRCULATION:
THE EXISTING PUBLIC SIDEWALK ALONG MENAUL BOULEVARD WILL BE REPLACED WITH A NEW 6 FOOT PUBLIC SIDEWALK WITHIN THE PROPERTY IN ORDER TO FACILITATE THE PLACEMENT OF LANDSCAPE BETWEEN THE BACK OF CURB AND THE NEW SIDEWALK IN COMPLIANCE WITH DEVELOPMENT PROCESS MANUAL. THE PROPOSED PUBLIC SIDEWALK WILL REQUIRE A SIDEWALK ACCESS EASEMENT TO BE GRANTED. THERE IS AN EXISTING 4 FOOT SIDEWALK ALONG MESILLA STREET. 6 FOOT SIDEWALK CONNECTIONS WILL BE MADE BETWEEN THE PUBLIC SIDEWALK AND FUTURE BUILDINGS. ADA ACCESS WILL BE PROVIDED FROM THE SIDEWALK TO THE FUTURE BUILDINGS ON FUTURE SITE PLANS FOR BUILDING PERMIT.

TRANSIT ACCESS:
MENAU BOULEVARD IS AN ENHANCED TRANSIT CORRIDOR. ABQ RIDE ROUTE #8 PROVIDES SERVICE ALONG MENAUL BOULEVARD. THERE IS AN EXISTING BUS STOP LOCATED ALONG MENAUL, JUST WEST OF PROSPECT AVENUE, WHICH SHALL BE MOVED BY ABQ RIDE TO 280 FEET EAST AS SHOWN ON THIS SITE PLAN.

BICYCLE ACCESS:
THERE IS AN EXISTING BIKE ROUTE SOUTH OF THIS SITE ALONG CUTLER AVENUE AND ESPANOLA STREET.

INTERNAL CIRCULATION:
CONCEPTUAL LOCATIONS FOR THE ACCESS POINTS HAVE BEEN IDENTIFIED AND WILL BE INDICATED ON FUTURE SITE PLANS FOR BUILDING PERMIT. SIDEWALKS WILL BE PROVIDED THROUGHOUT THE SITE AND BETWEEN ALL BUILDINGS AND PARKING AREAS.

BUILDING HEIGHTS AND SETBACKS:
BUILDING HEIGHT AND SETBACKS SHALL BE PER THE O-1 ZONE, SECTION 14-18-2-15(C)(1).

MAXIMUM F.A.R.: .75

LANDSCAPE PLAN:
SEE DESIGN STANDARDS, SHEET 2. LANDSCAPE PLANS WILL BE CREATED IN CONJUNCTION WITH FUTURE SITE PLANS FOR BUILDING PERMIT, AND CONSISTENT WITH THE DESIGN STANDARDS.

PROJECT NUMBER: 1007099
Application Number:

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated April 16, 2012 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes (X) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

	08-15-12
Traffic Engineering, Transportation Division	Date
	08/15/12
ABCWUA	Date
	8-15-12
Parks and Recreation Department	Date
	8-15-12
City Engineer	Date
	8-1-2012
Solid Waste Management	Date
	8-16-12
DRB Chairperson, Planning Department	Date

EASEMENT NOTES

- FILED 12/12/1960, VOL. D, FOL. 104
- FILED 08/11/2008, BK. 2006C, PG. 0091 M
- A BLANKET PUBLIC DRAINAGE EASEMENT OVER TRACT A-1, EXCLUDING ANY FUTURE BUILDINGS, IS HEREBY GRANTED TO THE CITY OF ALBUQUERQUE.

GENERAL NOTES

- THIS SITE PLAN FOR SUBDIVISION (12EPC-40005) VOIDS THE PREVIOUSLY APPROVED SITE PLAN FOR BUILDING PERMIT (08EPC-40021).
- THE PUBLIC ROADWAY EASEMENT WILL BE VACATED AND ACCESS TO THE SITE SHALL BE MOVED TO ALIGN WITH CHARLESTON STREET. THE MEDIANS IN MENAUL BOULEVARD WILL BE RECONSTRUCTED ACCORDINGLY, WITH QUEUING LENGTHS TO BE DETERMINED AT FUTURE SITE PLAN FOR BUILDING PERMIT.
- CITY TRANSIT REQUIRES THE EXISTING BUS STOP TO BE MOVED APPROXIMATELY 280 FEET EAST. A 5' WIDE X 20' LONG EASEMENT IS REQUIRED AS PART OF THE PLATTING PROCESS AT DRB.
- VEHICULAR ACCESS IS PROHIBITED TO AND FROM THE SITE FROM THE NEIGHBORHOOD TO THE SOUTH.

MENAUL SITE - TRACT A

ZUNI ADDITION

SITE DEVELOPMENT PLAN FOR SUBDIVISION

Prepared for:
Santita Foundation
8211 San Mateo
Suite 100
Albuquerque, NM 87109

Prepared by:
Consensus Planning, Inc.
302 Eighth Street NW
Albuquerque, NM 87102

Isaacson & Arman, P.A.
128 Monroe Street NE
Albuquerque, NM 87108

DESIGN STANDARDS

The purpose of these Design Standards is to provide a framework to assist developers and designers in understanding the development goals and objectives for Tract A-Zuni Addition. These standards address landscape, setbacks, pedestrian amenities, screening, lighting, signage, and architecture that will create the visual image desired for this property. Development shall be in compliance with the City of Albuquerque Comprehensive Zoning Code. Future Site Development Plans for Building Permit shall return to the Environmental Planning Commission (EPC) for review and approval.

1. SITE DESIGN

The following standards were created in order to facilitate high quality development that furthers the City's objectives for an Enhanced Transit Corridor.

General

- Sidewalks shall be provided per Section 14-16-3-18 (C) (1) General Building and Site Design Regulations for Non-Residential Uses of the City Comprehensive Zoning Code.

- All drive-up uses shall be designed so traffic and queuing shall cause no deleterious effects on the pedestrian qualities of the center. Drive up service windows shall not face adjacent residential development.

- Drive-up service windows shall be constructed in accordance with Section 14-16-3-18 (D) (5) General Building and Site Design Regulations for Non-Residential Uses of the City Comprehensive Zoning Code.

- Building access and entries shall be visible from the street.

- Entry ways shall be clearly defined, either by a canopy or inset (minimum 4 feet), and linked to the pedestrian pathways.

- Loading areas shall follow Section 14-16-3-18 (C) (8) General Building and Site Design Regulations for Non-Residential Uses of the City Comprehensive Zoning Code.

- Any exterior storage and sales areas shall be architecturally integrated to the main building by use of walls, roofs, and fencing.

- Roof-mounted mechanical equipment shall be screened from the public right-of-way as prescribed by Section 14-16-3-18 (C) (8) General Building and Design Regulations for Non-Residential Uses of the City Comprehensive Zoning Code.

- Screening devices for parking lots, loading areas, refuse collection, delivery/storage areas, and drive-up service windows shall be used to limit their adverse visual impact on surrounding developments. Walls and fences shall be kept as low as possible while performing their screening and security functions.

- Parking located adjacent to Menaul Boulevard and Mesilla Street shall be screened by buildings or a combination of landscaping, walls, and earthen berming to a minimum height of 2.5 feet (30 inches). Screen walls shall be compatible with the building architecture relative to materials and color and a maximum of 42 inches.

- A six foot wall shall be located along Prospect Avenue, where the property faces residential development. The design of the wall shall comply with Section 14-16-3-19 of the Comprehensive Zoning Code. A minimum 5 foot wide landscape buffer shall be provided between the wall and the existing 4 foot public sidewalk. The design of the wall shall meet Section 14-16-3-19 General Height and Design Regulations for Walls, Fences, and Retaining Walls, and specifically Subsection (b) e. Facade, which requires "A variety of living shrubs, trees and/or vines covering or overhanging at least one third of the length of the wall..." The existing mature evergreen trees may be counted towards meeting the landscape requirement under the City's Wall Regulations.

- All outdoor refuse containers shall be screened within a minimum 9-foot tall enclosure and large enough to contain all refuse generated between collections, and provide an area for recycling. Design and materials of enclosures shall be compatible with the building architecture.

- No engineered wood panels; or cyclone, chain-link, razor-wire, and vinyl plastic fencing shall be permitted.

Accessibility & Safety

- Sites shall be designed for accessibility at all facilities and outdoor public areas.

- Sites shall be designed in accordance with the Americans with Disabilities Act, the American National Standards for Accessible and Usable Buildings and Facilities, and the New Mexico Building Codes for accessibility criteria for places of public use.

- Close attention shall be paid to ramps and to how the entire site may be traversed. All ramps within the City right-of-way shall include truncated domes, as required by the Development Review Board.

- Entrances and exits to buildings shall be flush.

- A constant elevation shall be maintained at all curb cuts and junctions between driveways and pedestrian sidewalks for compliance with ADA standards.

Circulation

- Pedestrian access shall be separated from vehicular access.

- The interior of the center shall be very accommodating to the pedestrian, even within the predominantly off-street parking areas.

- Pedestrian walkways within a site shall be a minimum of 6 feet in width, unobstructed, and clearly demarcated by use of techniques such as special paving, grade separation, or pavement marking of a permanent nature.

- Pedestrian connections shall be provided to the existing transit stop (to be relocated approximately 280' east per ABQ Ride proposal) on Menaul Boulevard in order to facilitate multi-modal transportation.

- Pedestrian crosswalks shall be a minimum of 6 feet in width and constructed of colored textured paving.

Parking

- The minimum number of vehicular, disabled, motorcycle and bicycle parking spaces shall be per Section 14-16-3-1 Off-street Parking Regulations contained in the City Comprehensive Zoning Code.

- Parking areas shall be visually segmented into smaller subareas separated by landscaping and/or pedestrian walkways.

- Parking shall be placed on at least two sides of a building. Parking shall not dominate the street frontage.

- Parking areas shall be designed to include a pedestrian link to the public sidewalk network and pedestrian access shall be provided to link structures to the public sidewalk.

Setbacks

The use of building and parking area setbacks is required to provide space for the creation of visually attractive streetscapes. Required within these setbacks will be pedestrian walkways and screening materials, including landscaping, earthen berms, or walls, or a combination. Setbacks shall be per Section 14-16-2-15 O-1 Office and Institution Zone contained in the City Comprehensive Zoning Code.

2. SUSTAINABILITY

- Energy efficient techniques shall be utilized to reduce energy and water consumption, where possible.

- Water harvesting techniques such as curb cuts for drainage to landscaped areas, permeable paving, bioswales to slow and treat storm water runoff, or cisterns for the collection and reuse of storm water and gray water shall be provided.

- Buildings shall be oriented to take advantage of heat gain in the winter where possible while coordinating with shading strategies to inhibit solar gain in the summer.

- Grasses and other ground vegetation should be near edges to help filter and slow runoff as it enters the site.

- Convenient recyclable collection facilities shall be provided by all tenants of the site.

3. ARCHITECTURAL DESIGN

Specific architectural style shall not be dictated. The design shall, however, demonstrate a high quality aesthetic character throughout the property. Architectural design should respond to climate, views, solar access, and aesthetic considerations, with the architectural design being in harmony with adjoining projects.

- Building heights shall be per the O-1 Zone, Section 14-16-2-15 of the Comprehensive City Zoning Code.

- Buildings shall employ a variety of structural forms to create visual character and interest. Columns, arcades, corner articulation, overhangs, awnings, marquees, gutters and scuppers, breezeways, vertical fins, wall recesses, soffits, and deciduous tree canopies should be carefully dimensioned and detailed to provide a human-scale, visual interest, and a means of shading building facades while lending color and formal articulation to the buildings.

Roofs

- Roofs shall drain water to areas which are landscaped appropriately for such run-off.

Building Facades

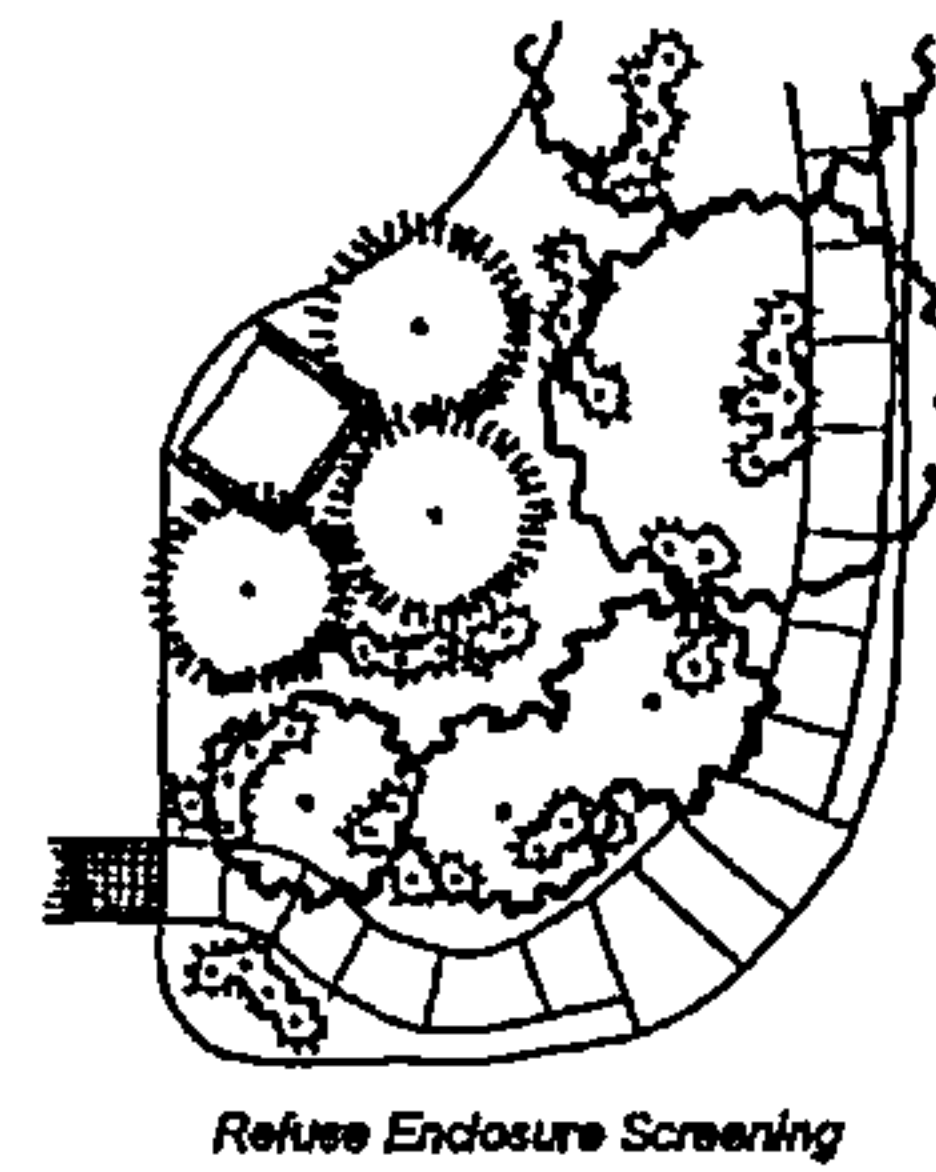
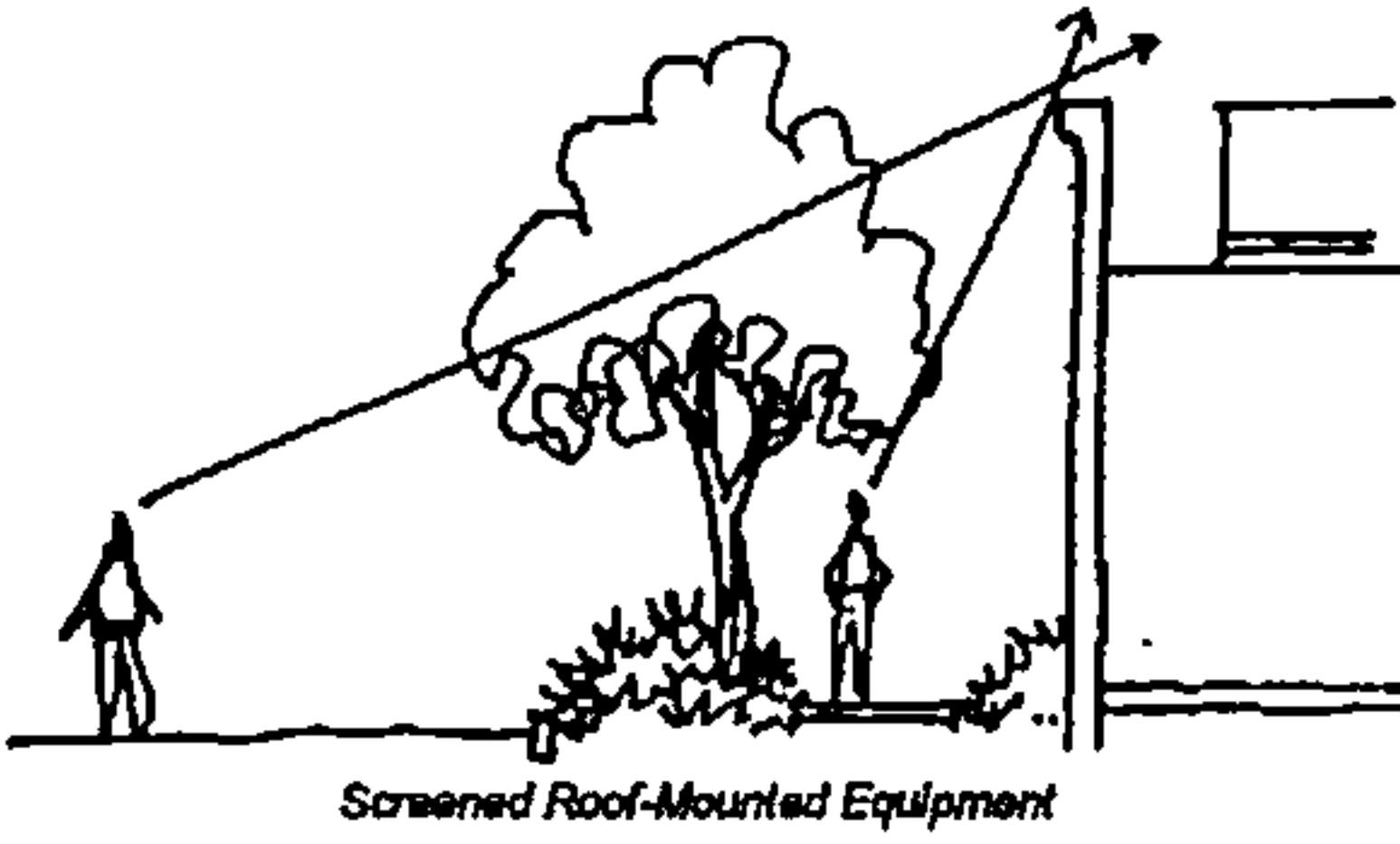
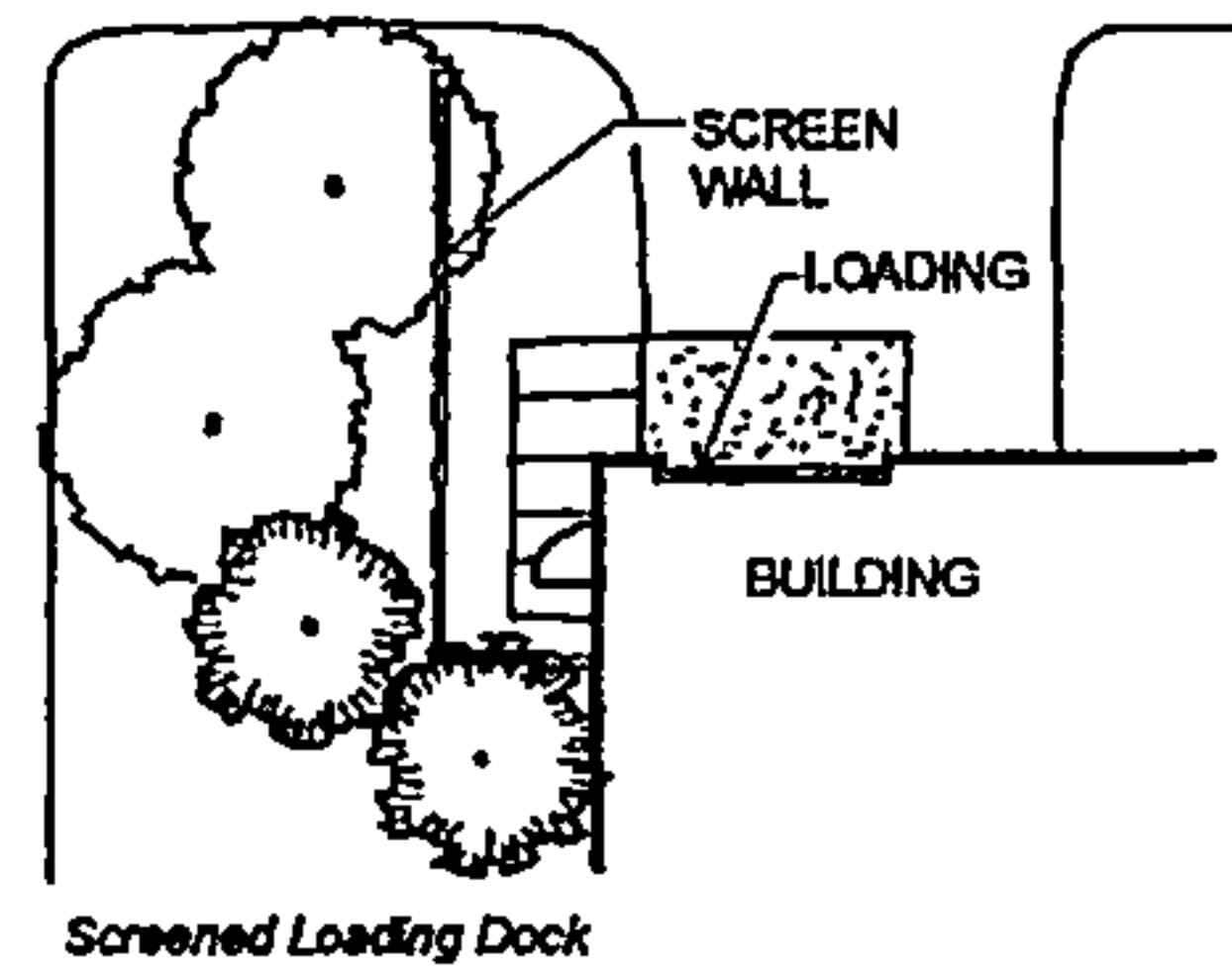
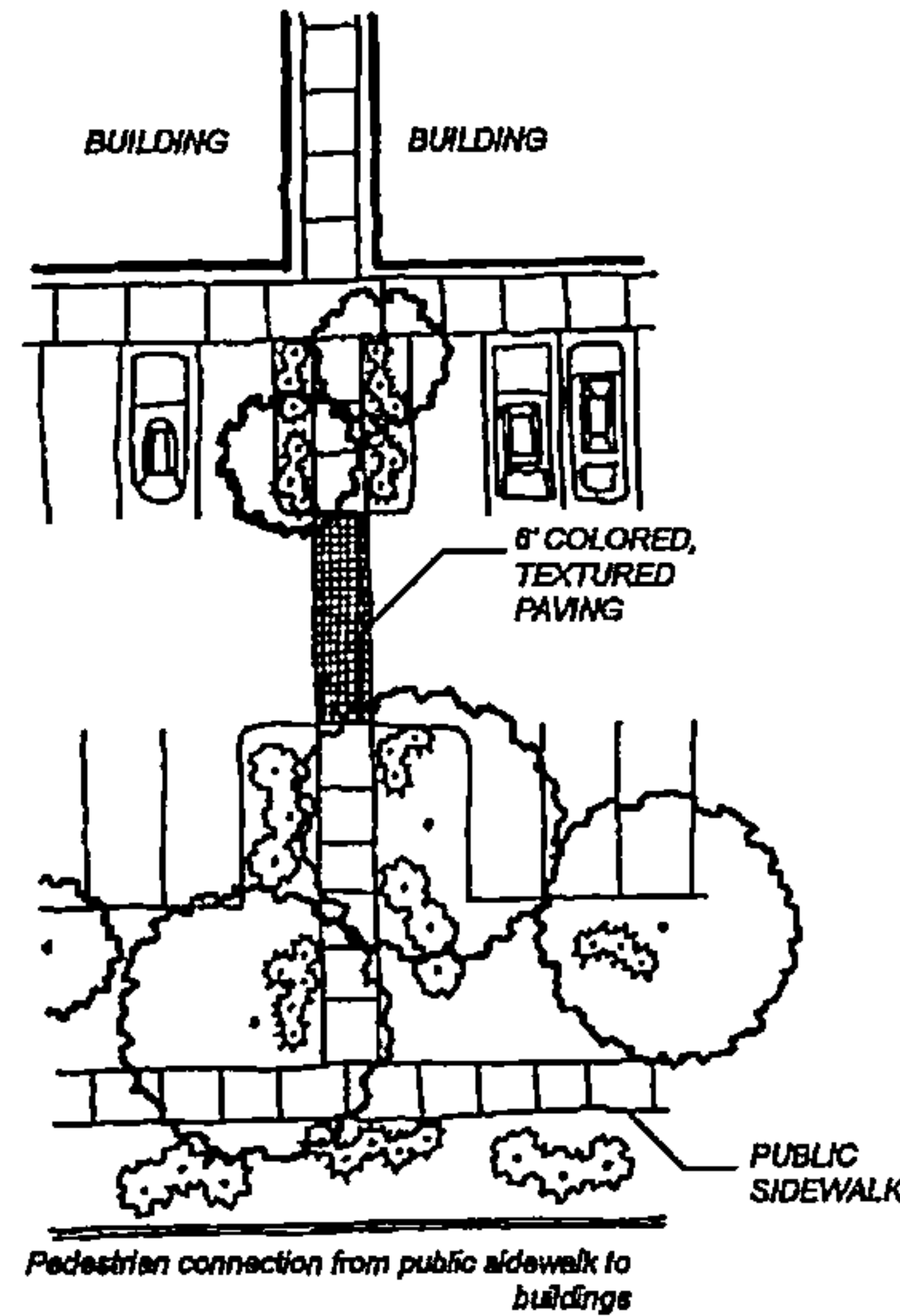
- The scale, proportion, and composition of fenestration of facades shall be designed to give visual interest from the exterior, to provide variation in quality of light on the interior, and to coordinate with the lighting requirements for each activity area.

- All canopies, roof structures, and design elements of related buildings shall be architecturally integrated to the main building design.

- Use of plastic or vinyl is prohibited on building panels and awnings.

- Buildings shall have windows on the front elevations. The windows may be display windows or viewing windows with a glazing transparency that allows a pedestrian to see inside the window or a combination thereof.

- Major facades greater than 100 feet in length shall be per Section 14-16-3-18(C)(3) of the Comprehensive City Zoning Code.



Facades SHALL:

- vary in height, depth and articulation to create a pedestrian-scaled environment
- be articulated with a variety of architectural elements, colors and materials
- have all accessory buildings and enclosures, whether attached or detached from the main building, treated with similar compatible design and materials as the main structure or structures
- be treated with a consistent level of detail at all sides of all buildings and structures

Building Materials & Colors

Materials prohibited as the main architectural feature include the following:

- exposed, untreated precision block or wood walls within public view
- highly reflective surfaces
- metal paneling
- The use of contrasting colors between roofs and walls shall be used to further differentiate the planes of building masses.
- Colors shall be the natural tone of materials (earthy tones such as sands, creams, tans, etc.) rather than applied color (painted), except where used as an accent color.

4. LIGHTING

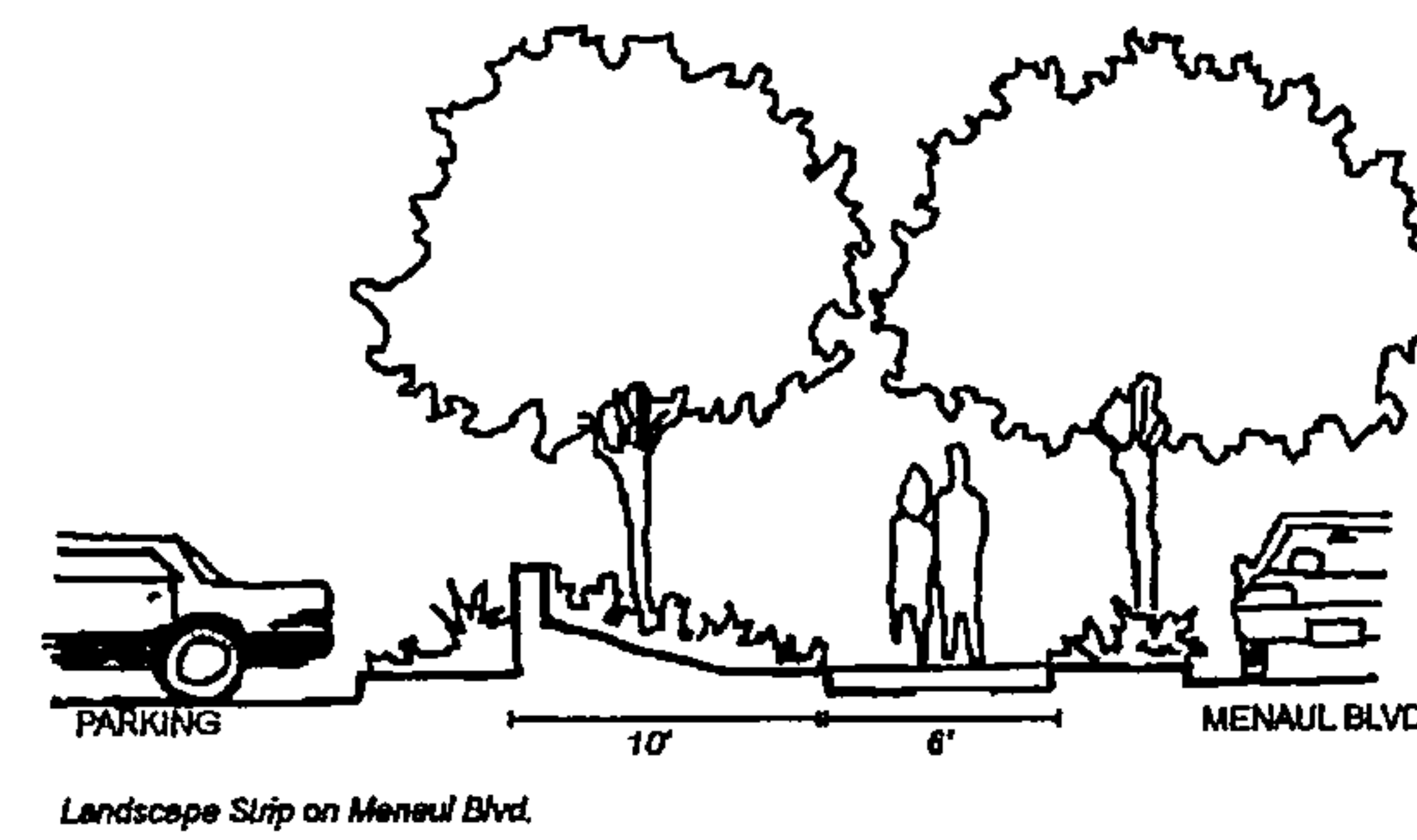
In order to enhance the safety, security, and visual aesthetics of the property, careful consideration must be given to selection of outdoor furniture, lighting design, site materials and other features. It is important to consider the daytime appearance of all materials.

- Placement of fixtures and standards shall conform to State Night Sky Protection Act and City Comprehensive Zoning Code Section 14-16-3-9.

- A design objective of the site lighting system shall be to maximize public safety while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection. All lights, including stand alone fixtures and building mounted, shall be shielded source to prevent spillage onto adjoining properties or light pollution of the existing "Dark Sky".

- Individual site lighting standards shall blend with the architectural character of the building and other site fixtures.

- Sodium lighting is prohibited.



5. LANDSCAPE

The development of an overall landscape concept will establish a framework that unifies the entire property. To achieve a cohesive development, all areas of design need to be coordinated and responsive to existing environmental conditions and local building policies. These standards shall be used as a supplement to the City requirements in the Water Conservation Landscaping and Water Waste Ordinance, the Pollen Ordinance, the Street Tree Ordinance and other landscape regulations included in the City Comprehensive Zoning Code under Section 14-16-3-10 Landscaping Regulations Applicable to Apartment and Nonresidential Development.

- Low water use turf may be provided at a maximum of 40% of the landscaped area. High water use turf is not allowed.

- Landscape buffers shall be provided in all locations that abut residential development. The landscape buffer shall be a minimum of 10 feet in width and shall be comprised primarily of trees, 10 foot minimum height at the time of planting, and shall be capable of reaching a mature height of at least 25 feet. A minimum of 40% of the trees in the landscape buffer shall be evergreen. Spacing of all trees shall be equal to 75% of the mature canopy diameter of the trees.

- An automatic underground irrigation system shall be provided to support all landscaping. The system shall be designed to avoid overspraying of walks, buildings, fences, etc. Backflow preventers shall be provided in accordance with City of Albuquerque Codes.

- Proposed lighting and landscaping shall be placed so they are not in conflict with each other.

- All plant material, including trees, shrubs, groundcovers, turf, wildflowers, etc. shall be maintained by the Owner in a living, attractive condition. All areas shall be maintained free of weeds through the use of previous filter material. Each individual lot owner will be responsible for the installation and maintenance of the landscape on their property and within the adjacent public right-of-way.

6. SIGNAGE

The following signage standards were developed to regulate the size, location, type, and quality of sign elements within this property. A properly implemented signage program will serve four very important functions: to direct and inform employees and visitors; to provide circulation requirements and restrictions; to provide for public safety, and to complement the visual character of the development.

- All freestanding signs shall be monument signs only.

- Location, number and illumination of signs shall be per the C-2 Zone, Section 14-16-2-17 (A)(10) of the City Comprehensive Zoning Code. Monument sign height shall not exceed 9 feet in height and shall have a maximum sign area of 50 square feet, except no signage shall be allowed along Prospect Avenue, across from residential development.

- Building-mounted signs shall not exceed 6 percent of the facade area. Building-mounted signs are prohibited along Prospect Avenue across from residential development and along the south property boundary within 50 feet of an abutting residential development. Illuminated plastic panel signs are prohibited.

- Signs perpendicular to an elevation shall only occur under an awning or canopy/portal and shall not be more than 8 square feet. These signs may not project past the overhang.

- Off-premise signs are prohibited.

Freestanding monument signs SHALL:

- be designed to be in compliance with Section 14-16-3-5 General Sign Regulations of the City Comprehensive Zoning Code

- be designed to be consistent with and complement the materials, color and architectural style of the building or site location

- identify only the name and business of the occupant or of those offering the premises for sale or lease; and

- have a minimum contrast of 70% between the background and the text.

Freestanding monument signs SHALL NOT:

- intrude upon any architectural features, including windows, columns, moldings or any decorative features; and

- include illuminated plastic panels or backlit plastic/vinyl signs, except logo designs are permitted.

7. UTILITIES

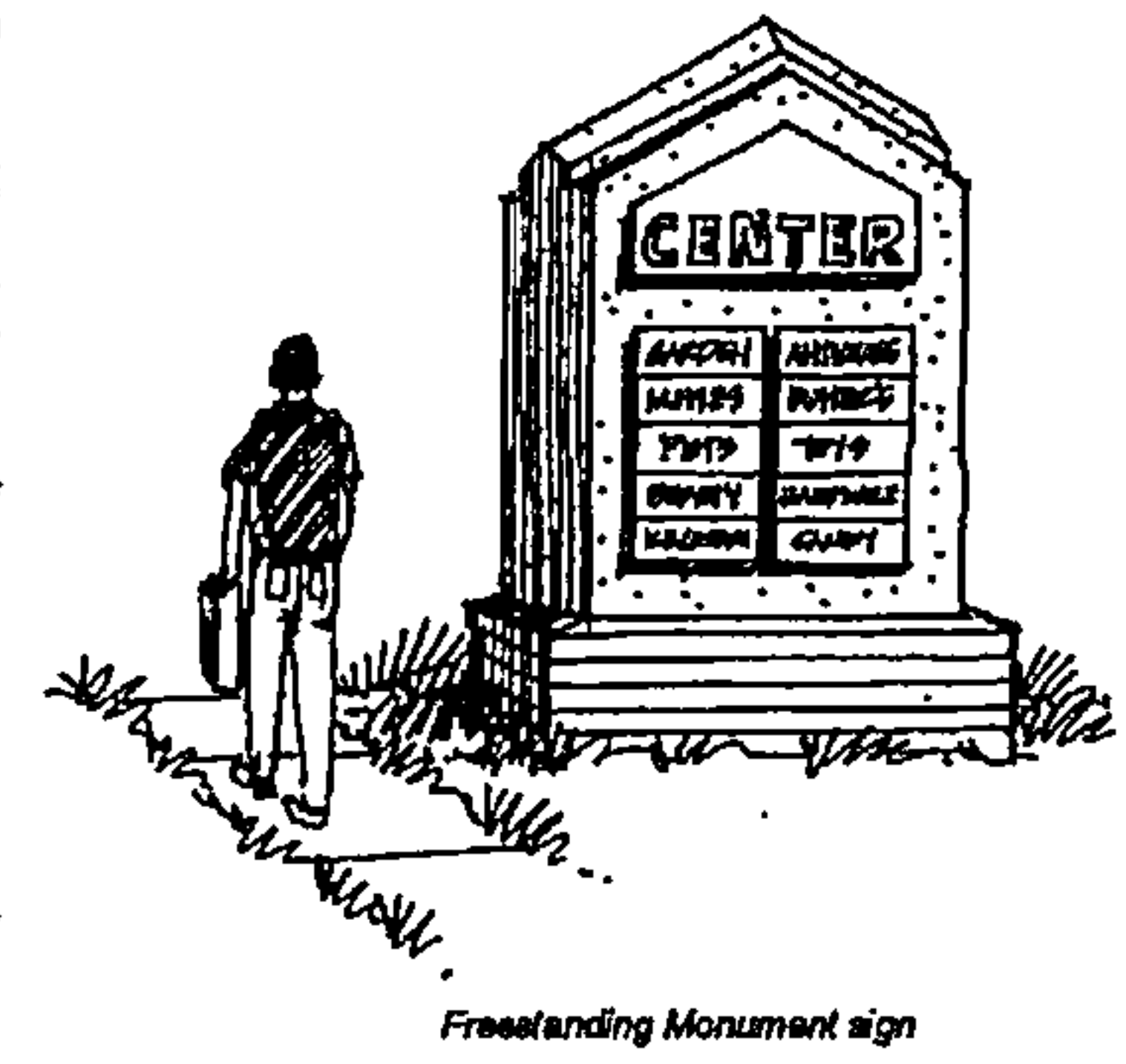
- Developers shall contact PNM's New Service Delivery Department to coordinate electric service and options for the location of electric service connection. Any existing or proposed public utility easements are to be indicated on subsequent Site Plan for Building Permit utility sheets. PNM's standard for public utility easements is 10 feet in width to ensure adequate, safe clearances.

- All electric distribution lines shall be placed underground.

- Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from the public right-of-way. Screening of transformers, electric boxes and other utility structures shall not impede access to the equipment and shall provide for safe maintenance and repair by utility workers.

- When an above-ground backflow prevention device is required by the City of Albuquerque, the heated enclosure shall be constructed of materials compatible with the architectural materials used as the main elements of the building. If pre-fabricated fiberglass enclosures are used they shall be appropriately screened from view by walls and/or landscaping.

- Any wireless communication facilities shall be concealed and architecturally integrated.



MENAUL SITE - TRACT A ZUNI ADDITION DESIGN STANDARDS

Prepared for:
Santita Foundation
6211 San Mateo
Suite 100
Albuquerque, NM 87109

Prepared by:
Consensus Planning, Inc.
302 Eighth Street NW
Albuquerque, NM 87102

Isaacson & Arfman, P.A.
128 Monroe Street NE
Albuquerque, NM 87106

July, 2012

Sheet 2 of 2

Current DRC

Project Number: 762383

FIGURE 12

Date Submitted: December 30, 2013

Date Site Plan Approved: 12-31-13

Date Preliminary Plat Approved:

Date Preliminary Plat Expires:

DRB Project No.: 1007099

DRB Application No.: 12 DRB-70189 &

12 DRB-70190

ORIGINAL

INFRASTRUCTURE LIST

(Rev. 9-20-05)

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT

DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Manaul Site: Tract A, Zuni Addition

~~PROPOSED NAME OF PLAT~~

Tract A-1, Zuni Addition

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
		6'- 16'	Reconfigure Medians	Manaul Blvd.	East & West of Chaleston St Intersection	/	/	/	
			Left Turn Lane Extension	Manaul Blvd.	East & West of Chaleston St Intersection	/	/	/	
		8"	Sanitary Sewer	25' Public Utuility Esm't	North Term. Prospect	Manaul Blvd.	/	/	/
		8"	Waterine & Fire Hydrants and Stubs	25' Public Utuility Esm't	North Term. Prospect	Manaul Blvd.	/	/	/
		13'-2"	Type C Bus Shelter	Manaul Blvd.	East Of Old Prospect Intersection		/	/	/
		6'	PCC Sidewalk	Manaul Blvd.	Tract A-1B Frontage		/	/	/
							/	/	/
							/	/	/
							/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification			
							Private Inspector	P.E.	City Cnst Engineer	
<input type="text"/>	<input type="text"/>						/	/	/	
<input type="text"/>	<input type="text"/>						/	/	/	
Approval of Creditable Items:							Approval of Creditable Items:			
Impact Fee Administrator Signature							Date	City User Dept. Signature		Date

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

1

2

3

AGENT / OWNER | **DEVELOPMENT REVIEW BOARD MEMBER APPROVALS**

Fred C. Arfman, PA
NAME (print)

Isaacson & Arfman, P.A.
FIRM

Fred C. Arfman 12-30-13
SIGNATURE - date

[Signature] 12-27-13
DRB CHAIR - date

[Signature] 12/31/13
TRANSPORTATION DEVELOPMENT - date

Allen Porter 12/31/13
UTILITY DEVELOPMENT - date

Carla C. Chen 12-31-13
CITY ENGINEER - date

Carol S. Dumont 12-31-13
PARKS & GENERAL RECREATION - date

AMAFCA - date

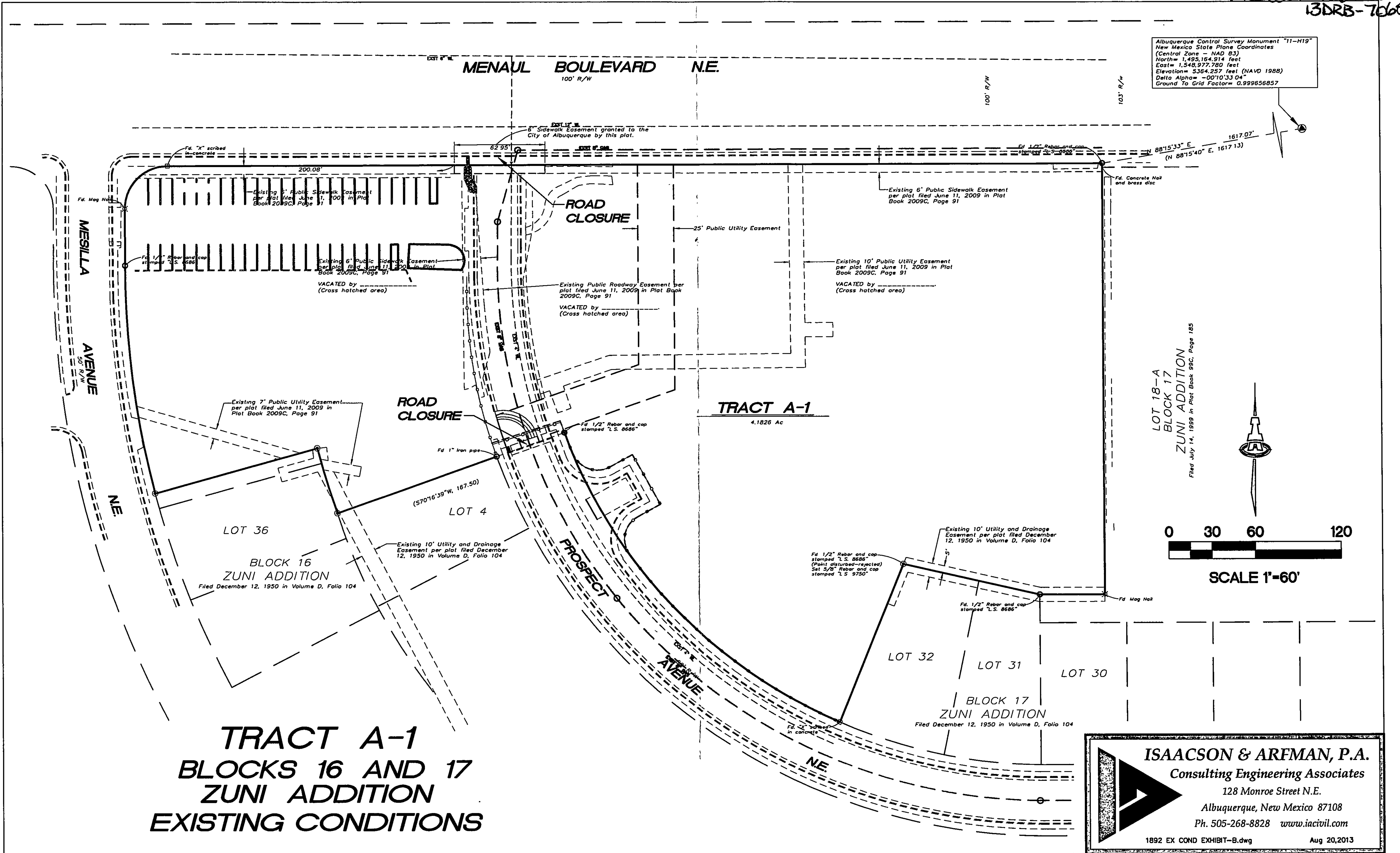
- date

- date

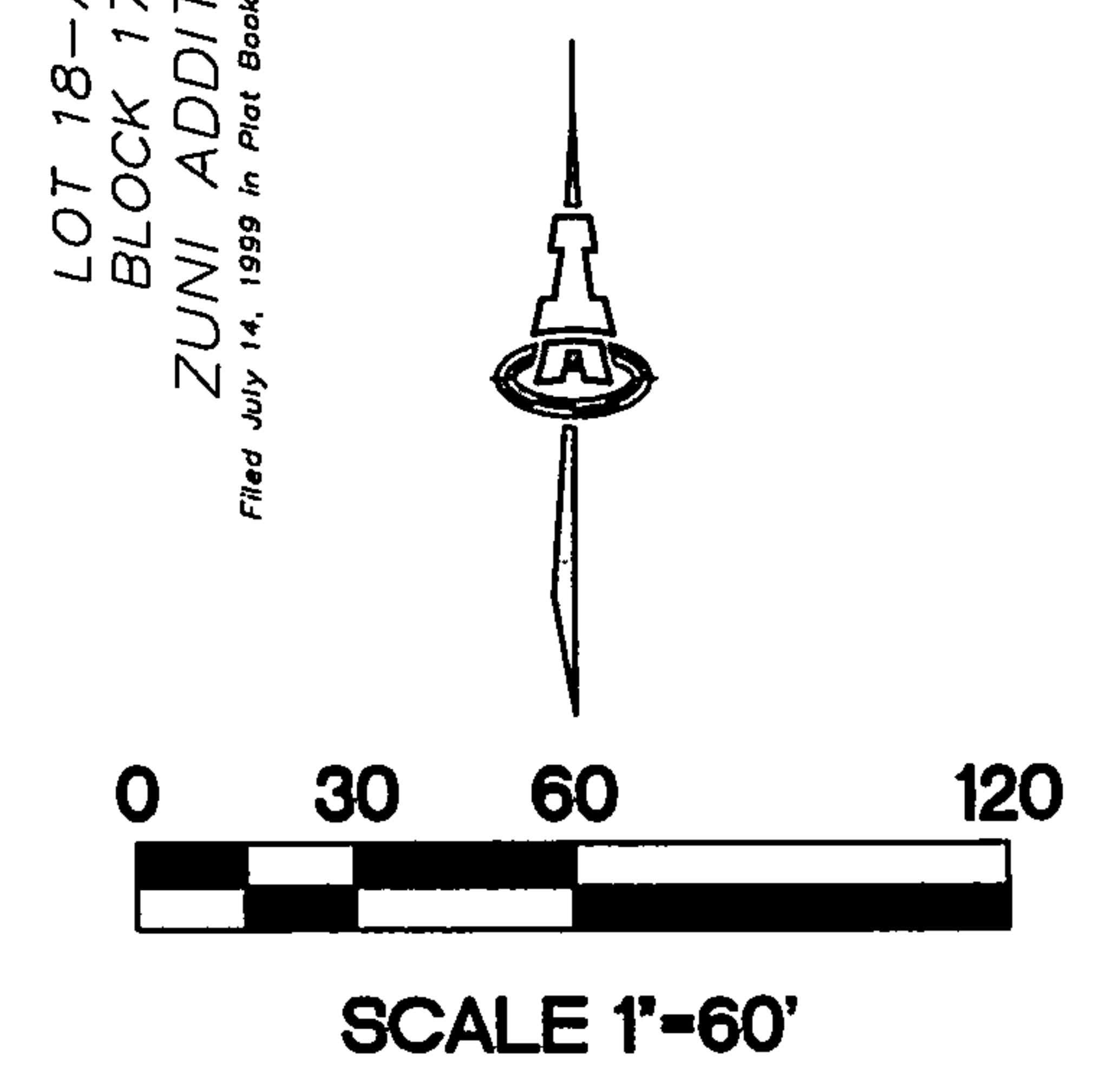
DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

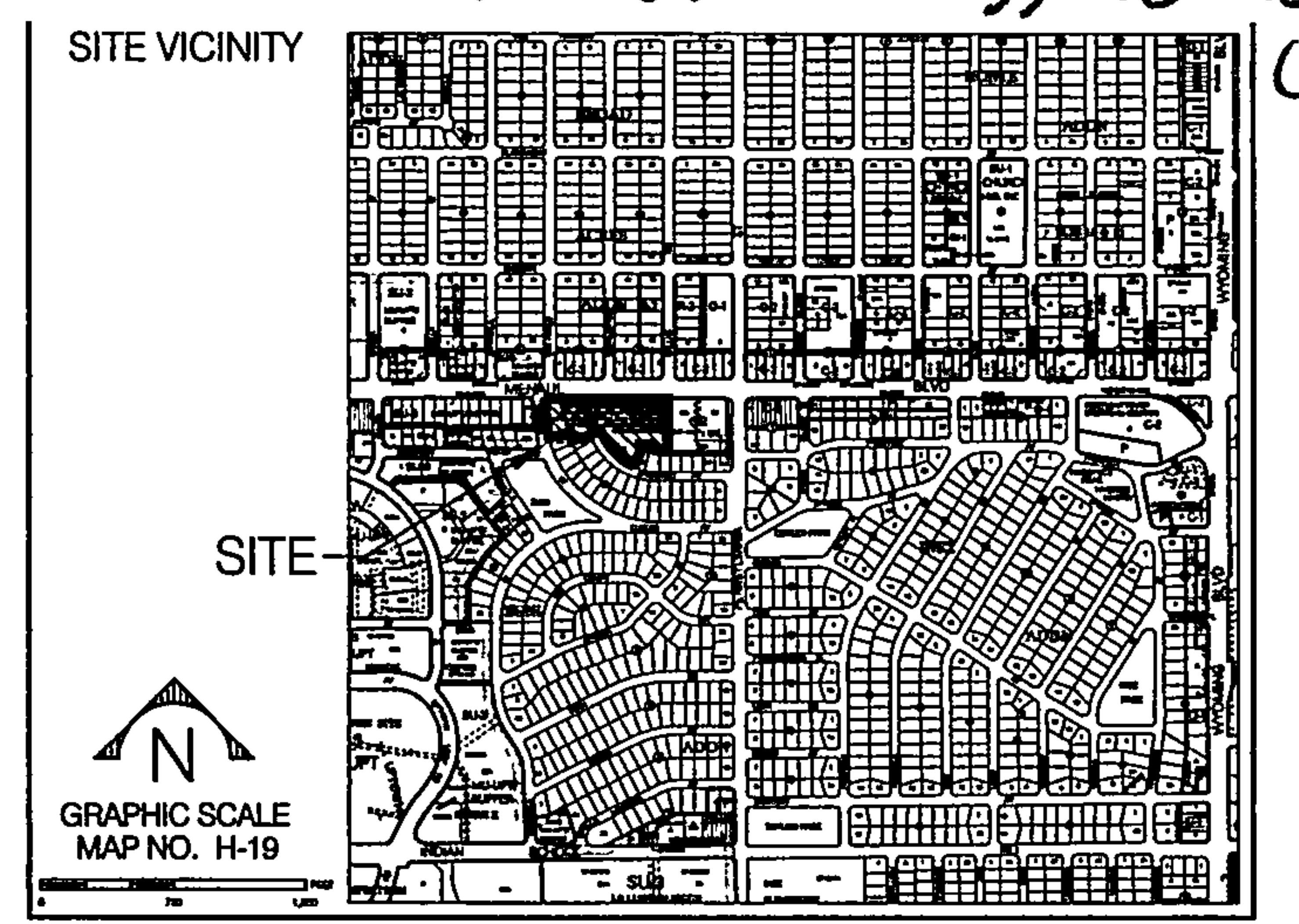
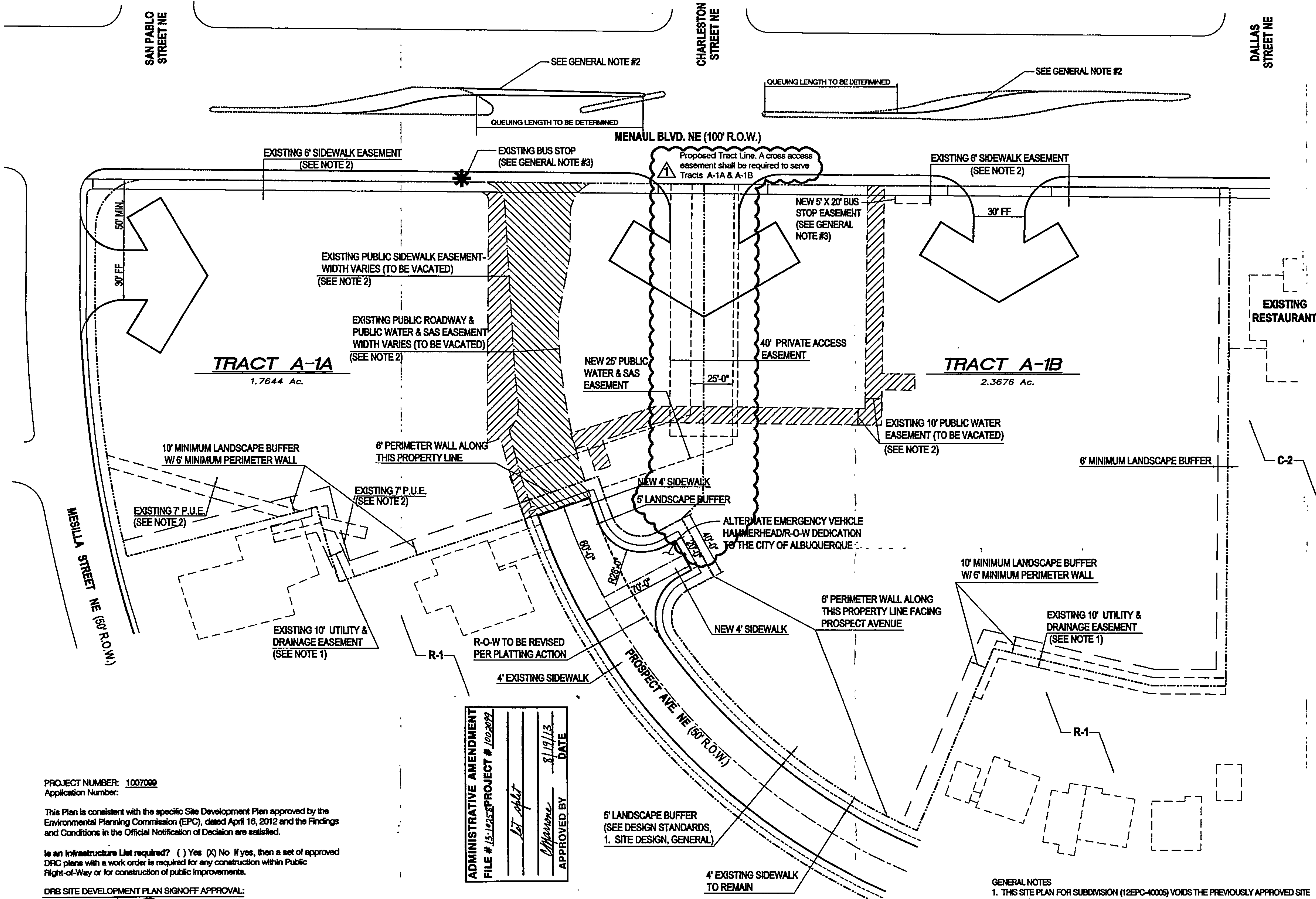
Albuquerque Control Survey Monument "11-H19"
 New Mexico State Plane Coordinates
 (Central Zone - NAD 83)
 North = 1,495,164.914 feet
 East = 1,548,977.780 feet (NAVD 1988)
 Elevation = 5364.257 feet (NAVD 1988)
 Delta Alpha = -00°10'33.04"
 Ground To Grid Factor = 0.999656857



**TRACT A-1
 BLOCKS 16 AND 17
 ZUNI ADDITION
 EXISTING CONDITIONS**



ISAACSON & ARFMAN, P.A.
 Consulting Engineering Associates
 128 Monroe Street N.E.
 Albuquerque, New Mexico 87108
 Ph. 505-268-8828 www.iacivil.com
 1892 EX COND EXHIBIT-B.dwg Aug 20,2013



SITE PLAN FOR SUBDIVISION-REQUIRED INFORMATION
 THE SITE:
 TRACT A, BLOCKS 18 & 17, ZUNI ADDITION. THE SITE CONSISTS OF APPROXIMATELY 4.13 ACRES. NO SUBDIVISION IS ANTICIPATED AT THIS TIME; HOWEVER, THE MODIFIED ACCESS AT PROSPECT AVENUE AND THE VACATION OF PUBLIC ROADWAY EASEMENT REQUIRE A REPLAT AT DRB.

EXISTING ZONING:
 SU-1 FOR C-2 PERMISSIVE USES, INCLUDING A FULL SERVICE LIQUOR LICENSE ONLY IN CONJUNCTION WITH A RESTAURANT, EXCLUDING SALE OF ALCOHOL FOR OFF-SITE CONSUMPTION AND EXCLUDING OFF-PREMISE SIGNS.

PROPOSED USE:
 PER C-2 PERMISSIVE USES, WITH EXCEPTIONS AS DESCRIBED ABOVE.

PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS:
VEHICULAR ACCESS:
 VEHICULAR ACCESS TO THE SITE WILL BE FROM ACCESS POINTS ALONG MENAUL BOULEVARD NE AND MESILLA STREET NE. A FULL MOVEMENT INTERSECTION WILL BE CREATED WITH REALIGNMENT OF PROSPECT AVENUE NE (A PRIVATE ROAD WITH A PUBLIC ACCESS EASEMENT) TO LINE UP WITH CHARLESTON STREET NE. A SECOND MENAUL ACCESS POINT WILL BE RIGHT-IN, RIGHT-OUT TURN MOVEMENT ONLY, EAST OF PROSPECT AVENUE.

PEDESTRIAN ACCESS CIRCULATION:
 THE EXISTING PUBLIC SIDEWALK ALONG MENAUL BOULEVARD WILL BE REPLACED WITH A NEW 6 FOOT PUBLIC SIDEWALK WITHIN THE PROPERTY IN ORDER TO FACILITATE THE PLACEMENT OF LANDSCAPE BETWEEN THE BACK OF CURB AND THE NEW SIDEWALK IN COMPLIANCE WITH DEVELOPMENT PROCESS MANUAL. THE PROPOSED PUBLIC SIDEWALK WILL REQUIRE A SIDEWALK ACCESS EASEMENT TO BE GRANTED. THERE IS AN EXISTING 4 FOOT SIDEWALK ALONG MESILLA STREET. 6 FOOT SIDEWALK CONNECTIONS WILL BE MADE BETWEEN THE PUBLIC SIDEWALK AND BUILDING BUILDINGS. ADA ACCESS WILL BE PROVIDED FROM THE SIDEWALK TO THE FUTURE BUILDINGS ON FUTURE SITE PLANS FOR BUILDING PERMIT.

TRANSIT ACCESS:
 MENAUL BOULEVARD IS AN ENHANCED TRANSIT CORRIDOR. ABO RIDE ROUTE #8 PROVIDES SERVICE ALONG MENAUL BOULEVARD. THERE IS AN EXISTING BUS STOP LOCATED ALONG MENAUL, JUST WEST OF PROSPECT AVENUE, WHICH SHALL BE MOVED BY ABO RIDE TO 280 FEET EAST AS SHOWN ON THIS SITE PLAN.

BICYCLE ACCESS:
 THERE IS AN EXISTING BIKE ROUTE SOUTH OF THIS SITE ALONG CUTLER AVENUE AND ESPANOLA STREET.

INTERNAL CIRCULATION:
 CONCEPTUAL LOCATIONS FOR THE ACCESS POINTS HAVE BEEN IDENTIFIED AND WILL BE INDICATED ON FUTURE SITE PLANS FOR BUILDING PERMIT. SIDEWALKS WILL BE PROVIDED THROUGHOUT THE SITE AND BETWEEN ALL BUILDINGS AND PARKING AREAS.

BUILDING HEIGHTS AND SETBACKS:
 BUILDING HEIGHT AND SETBACKS SHALL BE PER THE O-1 ZONE, SECTION 14-16-2-15(C)(1).

MAXIMUM F.A.R.: .75

LANDSCAPE PLAN:
 SEE DESIGN STANDARDS, SHEET 2. LANDSCAPE PLANS WILL BE CREATED IN CONJUNCTION WITH FUTURE SITE PLANS FOR BUILDING PERMIT, AND CONSISTENT WITH THE DESIGN STANDARDS.

MENAU SITE - TRACT A

ZUNI ADDITION

SITE DEVELOPMENT PLAN FOR SUBDIVISION

Prepared for:
 Consensus Planning, Inc.
 6211 San Mateo
 Suite 100
 Albuquerque, NM 87109

Prepared by:
 Consensus Planning, Inc.
 302 Eighth Street NW
 Albuquerque, NM 87102
 Isaacson & Arman, P.A.
 128 Monroe Street NE
 Albuquerque, NM 87108

August 6, 2013

Scale: 1" = 30'



July 9, 2012



PROJECT NUMBER: 1007099
 Application Number:
 This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated April 16, 2012 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes (X) No. If yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

	08-15-12
	08/15/12
	8-15-12
	8-15-12
	8-1-2012
	8-16-12

ADMINISTRATIVE AMENDMENT

FILE # 13-1283	PROJECT # 1007099
APPROVED BY	DATE
	8/19/13

- EASEMENT NOTES**
- FILED 12/12/1950, VOL. D, FOL. 104
 - FILED 06/11/2009, BK. 2009C, PG. 0081 M
 - A BLANKET PUBLIC DRAINAGE EASEMENT OVER TRACT A-1, EXCLUDING ANY FUTURE BUILDINGS, IS HEREBY GRANTED TO THE CITY OF ALBUQUERQUE. SAID BLANKET EASEMENT WILL BE FURTHER DEFINED BY FUTURE SITE DEVELOPMENT PLANS FOR BUILDING PERMIT.

- GENERAL NOTES**
- THIS SITE PLAN FOR SUBDIVISION (12EPC-40005) VOIDS THE PREVIOUSLY APPROVED SITE PLAN FOR BUILDING PERMIT (08EPC-40021).
 - THE PUBLIC ROADWAY EASEMENT WILL BE VACATED AND ACCESS TO THE SITE SHALL BE MOVED TO ALIGN WITH CHARLESTON STREET. THE MEDIANS IN MENAUL BOULEVARD WILL BE RECONSTRUCTED ACCORDINGLY, WITH QUEUING LENGTHS TO BE DETERMINED AT FUTURE SITE PLAN FOR BUILDING PERMIT.
 - CITY TRANSIT REQUIRES THE EXISTING BUS STOP TO BE MOVED APPROXIMATELY 280 FEET EAST. A 6' WIDE X 20' LONG EASEMENT IS REQUIRED AS PART OF THE PLATTING PROCESS AT DRB.
 - VEHICULAR ACCESS IS PROHIBITED TO AND FROM THE SITE FROM THE NEIGHBORHOOD TO THE SOUTH.
 - THE ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY (ABCWUA) HAS THE RIGHT OF ENTRY TO THE PROPERTY TO INSPECT, MAINTAIN, AND REPAIR EXISTING UTILITY LINES AND TO PERFORM ANY OTHER ACTIONS THE ABCWUA DEEMS NECESSARY TO ENSURE THE EXISTING UTILITY LINES REMAIN IN SERVICE DURING THE REMOVAL OF THE EXISTING 6" SANITARY SEWER LINE AND THE 4" WATER LINE AND THE NEW WATER AND SANITARY SEWER LINES ARE PROGRAMMED FOR INSTALLATION.



DEVELOPMENT REVIEW BOARD SUPPLEMENTAL SUBMITTAL

PROJECT NO. 1007099

TO: **Application No.** 12DRB-70243

ALL MEMBERS

Jack Cloud, DRB Chairman, Planning Department

Curtis Cherne, P.E., Hydrology

Kristal Metro, P.E., Transportation Development

Allan Porter, P.E., Albuquerque/ Bernalillo Co.WUA

Carol Dumont, Parks/Municipal Development

NEXT HEARING DATE: July 31, 2013

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON. IF THE APPLICANT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFIINITELY DEFERRED ON A NO SHOW.

SUBMITTAL DESCRIPTION: _____

Copy of preliminary/final plat showing dedication of 10' of additional ROW at end of Prospect Ave.

Copy of Official Notice of Decision: 12-DRB-70189 Vacation of Public Roadway Easement
12-DRB-70190 Vacation of Publie Waterline Easement

CONTACT NAME: Fred C. Arfman - Isaacson & Arfman, P.A.

TELEPHONE: 268-8828 **EMAIL:** freda@iacivil.com



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

August 2, 2012

Project# 1007099

12DRB-70189 VACATION OF PUBLIC ROADWAY EASEMENT
12DRB-70190 VACATION OF PUBLIC WATERLINE EASEMENT

ISAACSON AND ARFMAN PA agent(s) for SANDIA FOUNDATION request(s) the referenced/ above action(s) to eliminate public access through Tract A, Block(s) 16 & 17, ZUNI ADDITION zoned SU-1 FOR C-2 PERMISSIVE USES W/ RESTRICTIONS, located on MENAUL BLVD NE at PROSPECT AVE NE containing approximately 4.183 acre(s). (H-19)

At the August 1, 2012 Development Review Board (DRB) advertised public hearing, the vacations were approved as shown on Exhibit B in the Planning file per section 14-14-7-2(A)(1) and (B) (2), (3) of the Subdivision Ordinance.

Findings

1. The DRB finds that the application request was submitted by the owner of the majority of the footage of land abutting the proposed vacations in accordance with Section 14-14-7-2(A)(1) of the Subdivision Ordinance,
2. Based on the submission by the applicant, testimony at the hearing, as well as the Findings and Conditions of the Environmental Planning Commission (EPC) for this project under Application No. 12EPC-40005, the DRB finds that there is a net benefit to the public welfare because the development made possible by the vacation and as approved by the EPC is clearly more beneficial to the public welfare than the minor detriment resulting from the vacations, in accordance with Section 14-14-7-2(B)(2) of the Subdivision Ordinance. *It was not demonstrated that the creation of a cul de sac for Proppect Avenue is a major detriment to access or public safety as there is still reasonable access for residents and emergency vehicles via Pennsylvania Street.*
3. A sign was posted on the subject property advertising the public hearing, property owners of record abutting the proposed vacation were notified of the hearing by first class mail, and recognized Neighborhood Associations in the area were notified by certified mail prior to the filing of the application for vacations in accordance with Section 14-14-7-2(F)(2) of the Subdivision Ordinance. Objections regarding abridgement of property rights which would result from the vacation were presented by some nearby property owners or their representatives at the referenced hearing; however, the applicant presented New Mexico case law (Mauney, 76 NM 36, 411 and Mandell, 44 NM 109, 99) as evidence that the closure of this section would not be an abridgement of substantial property rights, and the DRB so finds in accordance with Section 14-14-7-2(B) (3) of the Subdivision Ordinance.

CONDITIONS:

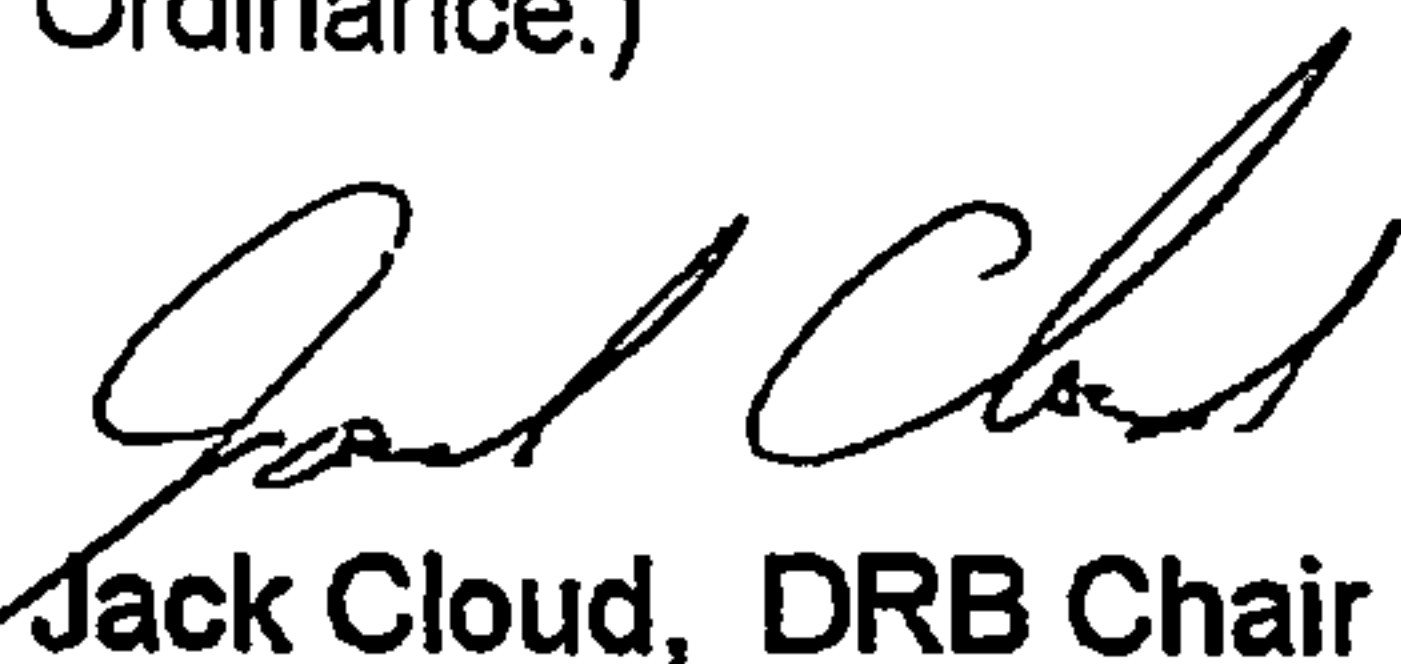
1. Final disposition shall be through the City Real Estate Office.
2. The vacated property shall be shown on a replat approved by the Development Review Board and the approved replat shall be filed for record with the Bernalillo County Clerk's Office within one year.
3. An acceptable Public Drainage Easement shall be provided on the replat.
4. An acceptable Right of Entry shall be provided to ABCWUA for maintenance of existing public water and sewer until new lines are constructed and accepted in the new easement(s).

The request for Site Development Plan for Subdivision sign-off for EPC was Indefinitely Deferred pending application for Preliminary and Final Plat. If you wish to appeal this decision, you must do so by August 16, 2012 in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department Form A, submitted with a fee of \$190.00 to the Planning Department, within 15 days of the Development Review Board's decision.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that the vacation of all plats, rights-of-way, and easements are void after one year from the final appeal date referenced above if all conditions are not met (The effective date of Development Review Board approval is the hearing date plus the 15-day appeal period.) (REF: Chapter 14 Article 14 Part 7-2 (E)(3)(6) Revised Ordinance.)



Jack Cloud, DRB Chair

Cc: Isaacson & Afrman PA
Ray A. Padilla, 7500 Montgomery Blvd NE, Albuquerque NM 87109
Rick Salas, 7416 Prospect Ave NE, Albuquerque NM 87110
Harold McCutcheon, 7420 Prospect Ave NE, Albuquerque NM 87110
James Sundsmo, 7501 Prospect Ave NE, Albuquerque NM 87110
Alex Morgan, 7414 Leah Dr NE, Albuquerque NM 87110
Marilyn Maldonado
File



DEVELOPMENT REVIEW BOARD SUPPLEMENTAL SUBMITTAL

PROJECT NO. 1007099

TO:

Application No. 12 DRB-70189 & 12-DRB-70190

ALL MEMBERS

Jack Cloud, DRB Chairman, Planning Department

Curtis Cherne, P.E., Hydrology

Kristal Metro, P.E., Transportation Development

Allan Porter, P.E., Albuquerque/ Bernalillo Co. WUA

Carol Dumont, Parks/Municipal Development

NEXT HEARING DATE: 08-01-12

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON. IF THE APPLICANT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

SUBMITTAL DESCRIPTION: SUPPLEMENTAL JUSTIFICATION

TO SUPPORT OUR REQUEST FOR THE

VACATION ACTION.

CONTACT NAME: FRED C. ARFMAN

TELEPHONE: 268-8828 EMAIL: FREDA@EACIVIL.COM

SUPPLEMENTAL JUSTIFICATION OF REQUEST

The Sandia Foundation ("Sandia"), through its agent, Isaacson & Arfman, P.A. ("Arfman"), offers this Supplemental Justification of the request to vacate portions of the Public Roadway Easement for Prospect Avenue, NE.

Vacation of public rights-of-way are regulated by Section 14-14-7-2 of the Subdivision Ordinance. Section 14-14-7-2(A) provides that where nothing except vacation of public rights-of-way is proposed, it may be initiated by a request to vacate filed by the owners of a majority of the front footage of land abutting the proposed vacation. Sandia is the owner of one hundred percent (100%) of the front footage land abutting the portion of Prospect Avenue proposed for vacation.

Section 14-14-7-2(B) sets out the criteria for vacation of public rights-of-way, which are as follows:

- (1) The public welfare is in no way served by retaining the way or easement; or
- (2) There is a net benefit to the public welfare because the development made possible by the vacation is clearly more beneficial to the public welfare than the minor detriment resulting from the vacation; and ...
- (3) There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right.

These criteria are satisfied pursuant to the following:

1. There is a net benefit to the public welfare because the development made possible by the vacation is clearly more beneficial to the public welfare than the minor detriment resulting from the vacation.

- a. The vacation will facilitate the redevelopment of the former Rowlands Nursery site pursuant to a Site Development Plan approved by the City's Environmental Planning Commission on April 12, 2012, which decision includes the following findings:

- A petition was submitted at the hearing of April 12, 2012, requesting a cul-de-sac at the end of Prospect Avenue. The EPC supports partial or total closing of vehicular access to the center from the neighborhood to the south.

b. "Infill" development facilitated by this vacation is encouraged by the City's Comprehensive Plan.

c. A majority of the neighbors to this site supported this vacation at a facilitated meeting with impacted neighborhood associations.

d. The vacation will not deprive any property owners of reasonable access to the public road system.

2. There is no convincing evidence that any "substantial property right" is being abridged against the will of the owner of the right.

a. Sandia owns all property adjacent to the portion of Prospect Avenue proposed for vacation.

b. All other landowners in the area have alternate, reasonable access to their properties.

There is no convincing evidence that any "substantial property right" is being abridged against the will of the owner of the right. It is clear, both generally around the country and in New Mexico, that a landowner's right to have a nearby street remain open is not a "substantial property right" so long as the landowner has reasonable access to his or her property.

As stated in 39A C.J.S., Highways, §112 at p. 615 (2003):

[O]ne whose property does not abut on the closed section of a road ordinarily has no right to complain of the vacation of such road if he or she still has reasonable access to the general road system. The vacation of roads by the proper authorities can be questioned only by abutting property owners or those whose reasonable means of access have been obstructed and who have suffered a special damage different in kind, and not merely in degree, from that suffered by the general public.

The same basic rule is set forth in 11 McQuillan, Municipal Corporations, §30.200 at p. 153 (2000). That treatise provides that ordinarily **an owner of land whose property does not abut a vacated street does not have such a special interest that entitles him or her to sue to set aside the vacation of this street**, citing cases from numerous jurisdictions.

Similarly, 39 Am.Jur.2d, Highways, Streets and Bridges, §149 at pp. 522-23 (1968) provides:

A property owner is entitled to injunctive relief against the vacation of a highway or street if he can show that he would thereby suffer a special or

peculiar injury in addition to such loss or inconvenience as would be caused to all other persons in the same neighborhood. He may do this by showing that his . . . access to this property would be impaired or destroyed. Some courts hold that . . . he must show that his property fronts or abuts upon that portion of the street sought to be vacated, or that the part sought to be vacated furnishes the only means of access to his property. According to this view, if he is not an abutter upon the obstructed or vacated portion of a street or way, and has ample means of access to his property by other streets and public ways, he is simply one of the general public, suffering an inconvenience common to all; and although he may by reason of proximity suffer a greater inconvenience than others, he is in no way distinguished from them except in degree. Nor can he maintain such a suit merely because the value of his property will be depreciated more than that of other property in the municipality; or because he will lose some tenants by reason of such vacation; or because of the loss of business by reason of the diversion of travel; or because he has previously paid a special assessment for benefits on the opening of the street sought to be vacated. Other courts, however, hold that he may suffer special damage entitling him to maintain an action for injunctive relief even though his property does not abut on the portion sought to be vacated, and though such vacated portion does not afford the only means of access thereto-as, for example, where his property . . . will be greatly depreciated in value by the proposed vacation.

The New Mexico Supreme Court stated in State ex rel. State Highway Commission v. Mauney, 76 N.M. 36, 411 P.2d 1009 (1966), that the right of access is defined as "a right of ingress to and egress from land on an abutting street or highway and therefrom to the system of public roads, subject to reasonable traffic regulations and not affected by diversion of traffic or reasonable circuitry of travel."

One New Mexico case is very similar on its facts to the present case. In Mandell v. Board of Commissioners of Bernalillo County, 44 N.M.109, 99 P.2d 108 (1940), the New Mexico Supreme Court considered the vacation of a street by Bernalillo County. The street vacation was opposed by an owner of nearby, but not abutting, land. The landowner appealed the decision and also sought an injunction against the vacation. The landowner had access to the main roadway through several intersecting streets. The Court held that "**one whose property does not abut on the closed section of a street or road ordinarily has no right to complain of the closing or vacation of such street or road, provided he still has reasonable access to the general street or road system.**" 44 N.M. at 112. The Court stated that the rule seemed to be so general as to be almost universal. The Court also stated, in part:

. . . The cases generally hold that **there being no injury suffered by the owners of adjoining or near-by property not common to all former users of the street or road**, compensation is not allowable; nor is such

33

to N'hood

owner, not of the abutting property owner class, **entitled to injunctive or other relief against the proposed closing.** . .

A mere inconvenience resulting from the closing of a street when another reasonable though perhaps not equally accessible approach remains, does not give rise to a legal right in one so inconvenienced, and courts do not look with favor upon claims based upon such grounds. (Authorities omitted.) Proof of some special or peculiar damage to the claimant, though not an abutting owner, under many authorities will support damages. (Authorities omitted.) But the damage suffered must be substantially different in kind, and not merely in degree, from that suffered by the public in general. . .

Clearly, if plaintiff could not maintain a suit for damages for the closing of a street or road upon which his property did not abut, and where he has reasonable access to the general system of streets and highways, a fortiori he would have no standing to complain of the action of the county commissioners in the first instance.

44 N.M. at 112-13.

In this case, no owner of property, except Sandia, abuts the portion of Prospect Avenue proposed to be vacated. They have ample other reasonable means of access to their properties. Under the New Mexico Mandell case, the Appellants do not have a "substantial property right" which is being abridged. Although they may suffer an inconvenience, that inconvenience is common to the general public. They will not suffer any special or peculiar damage, different in kind (and not merely in degree) from that suffered by the general public. Although there may be a minority view that a landowner may maintain an action for an injunction if the landowner's land would be greatly depreciated in value by a proposed vacation, that does not appear to be the case in New Mexico under the Mandell case

The law supports that there is no "substantial property right" of the opposing landowner that would be abridged by the vacation.

The Sandia Foundation, through its agent, Isaacson & Arfman, P.A., respectfully requests that the DRB grant the vacation.

H:\Arfman, Fred\Menaul Property\Supplemental Justification.doc\7/31/2012 9:20 AM

Clarify for

9:14

Fire Marshall
- 5:11 Wode

Opposition
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- safety
- value

9:18

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- emergency
- safety
- evacuation
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122

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OK /

125

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a thing good

27





DEVELOPMENT REVIEW BOARD SUPPLEMENTAL SUBMITTAL

PROJECT NO. 1007099

TO: Application No. 12DRB-70189 & 12-DRB-70190

ALL MEMBERS

Jack Cloud, DRB Chairman, Planning Department

Curtis Cherne, P.E., Hydrology

Kristal Metro, P.E., Transportation Development

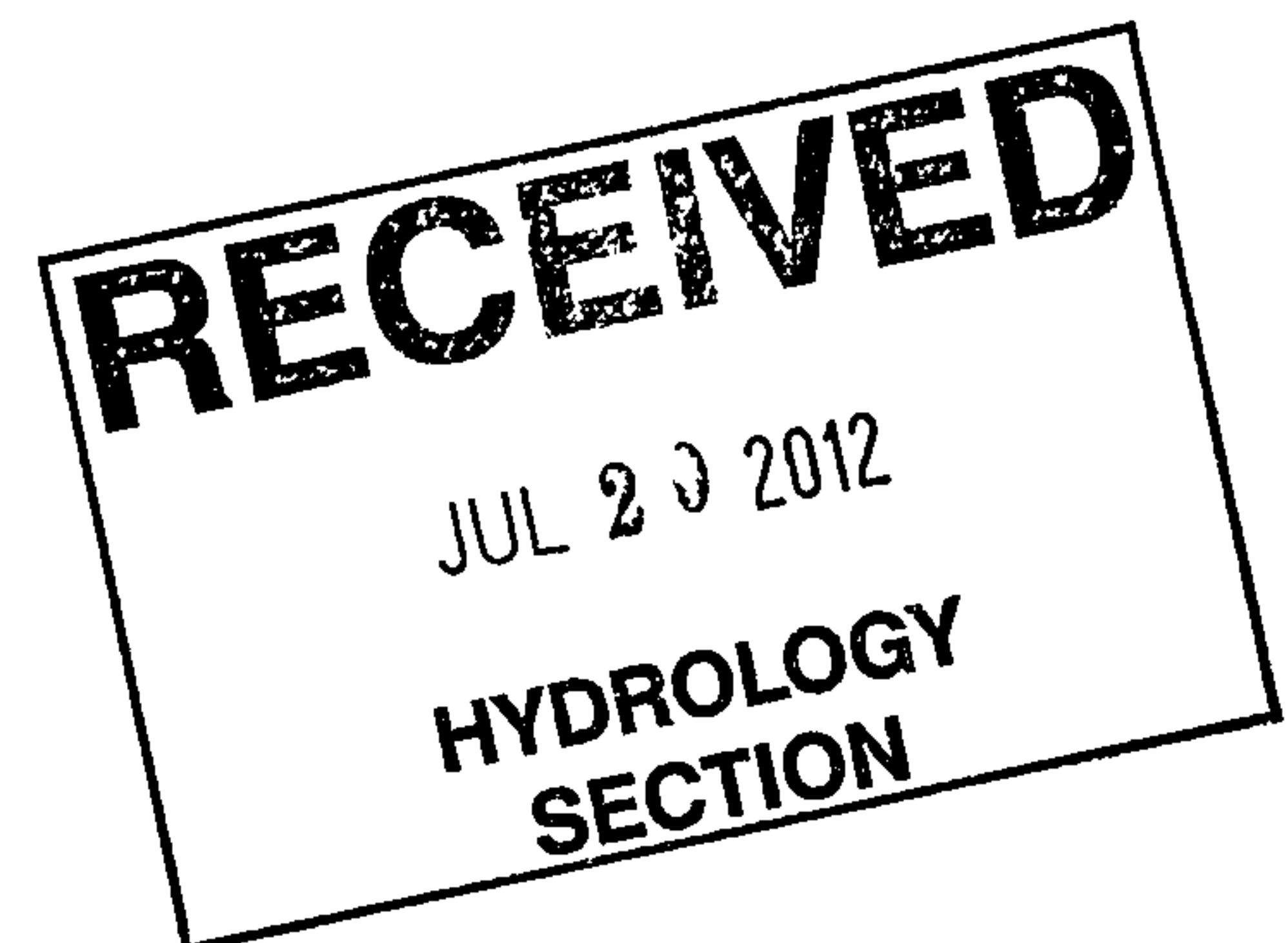
Allan Porter, P.E., Albuquerque/ Bernalillo Co.WUA

Carol Dumont, Parks/Municipal Development

NEXT HEARING DATE: August 1, 2012

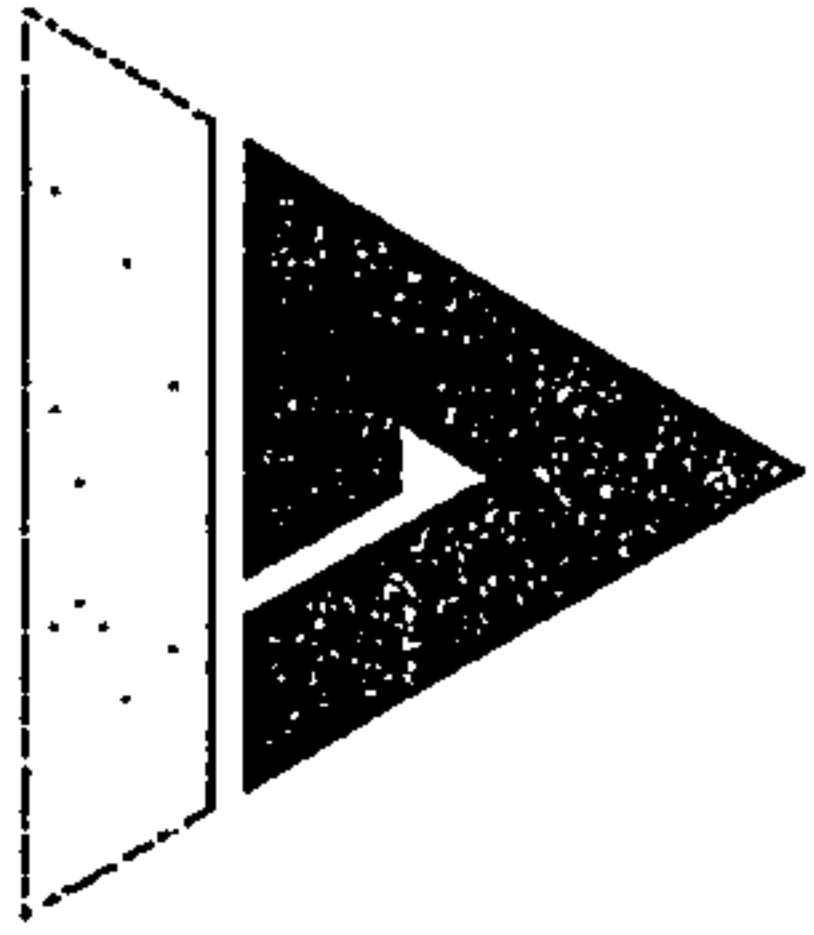
NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON. IF THE APPLICANT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

SUBMITTAL DESCRIPTION: Neighborhood Association -- Resent letters -- had wrong hearing date (see attached copy
of letters).



CONTACT NAME: Fred Arfman, Isaacson & Arfman, PA

TELEPHONE: 268-8828 EMAIL: freda@iacivil.com



Isaacson & Arfman, P.A. Consulting Engineering Associates

Thomas O. Isaacson, PE(Ret.) & LS(Ret.) · Fred C. Arfman, PE · Asa Nilsson-Weber, PE

July 6, 2012

CERTIFIED MAIL – 7005 1160 0001 1329 8372

Sandra Jamison
ABQ-Park Neighborhood Association
7615 Leah Dr. NE
Albuquerque, NM 87110

**RE: Menaul & Prospect Retail Center
(DRB Project No. 1007099)**

Dear: Ms. Jamison:

The City of Albuquerque Development Review Board Hearing is on August 1, 2012 in lieu of July 25, 2012. Please call me at 268-8828 if you have questions. Thank you.

Sincerely,

ISAACSON & ARFMAN, P.A.

Fred C. Arfman, PE

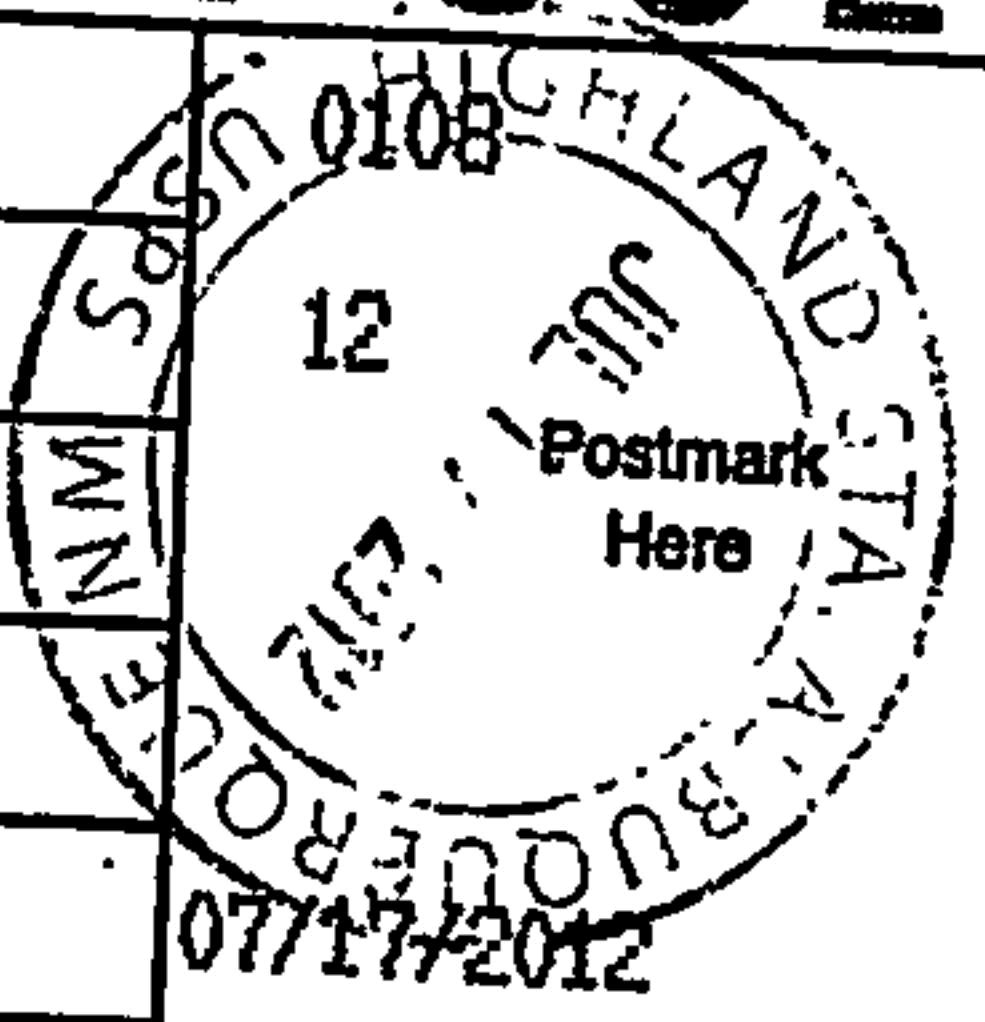
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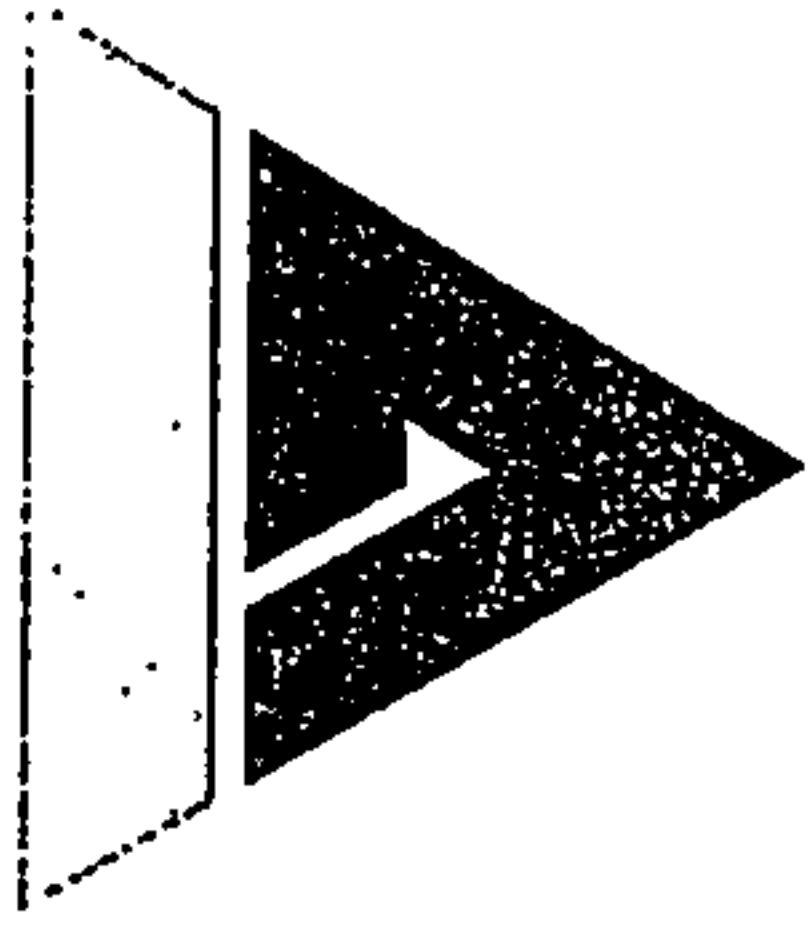
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 Street, Apt. No., or PO Box No. Sandra Jamison
 ABQ-Park Neighborhood Assoc.
 City, State, ZIP+4 7615 Leah Dr. NE
 Albuquerque, NM 87110

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Thomas O. Isaacson, PE(Ret.) & LS(Ret.) · Fred C. Arfman, PE · Asa Nilsson-Weber, PE

July 6, 2012

CERTIFIED MAIL – 7005 1160 0001 1329 8389

Alex Morgan
ABQ-Park Neighborhood Association
7414 Leah Dr. NE
Albuquerque, NM 87110

**RE: Menaul & Prospect Retail Center
(DRB Project No. 1007099)**

Dear: Mr. Morgan:

The City of Albuquerque Development Review Board Hearing is on August 1, 2012 in lieu of July 25, 2012. Please call me at 268-8828 if you have questions. Thank you

Sincerely,

ISAACSON & ARFMAN, P.A.

Fred C. Arfman
Fred C. Arfman, PE

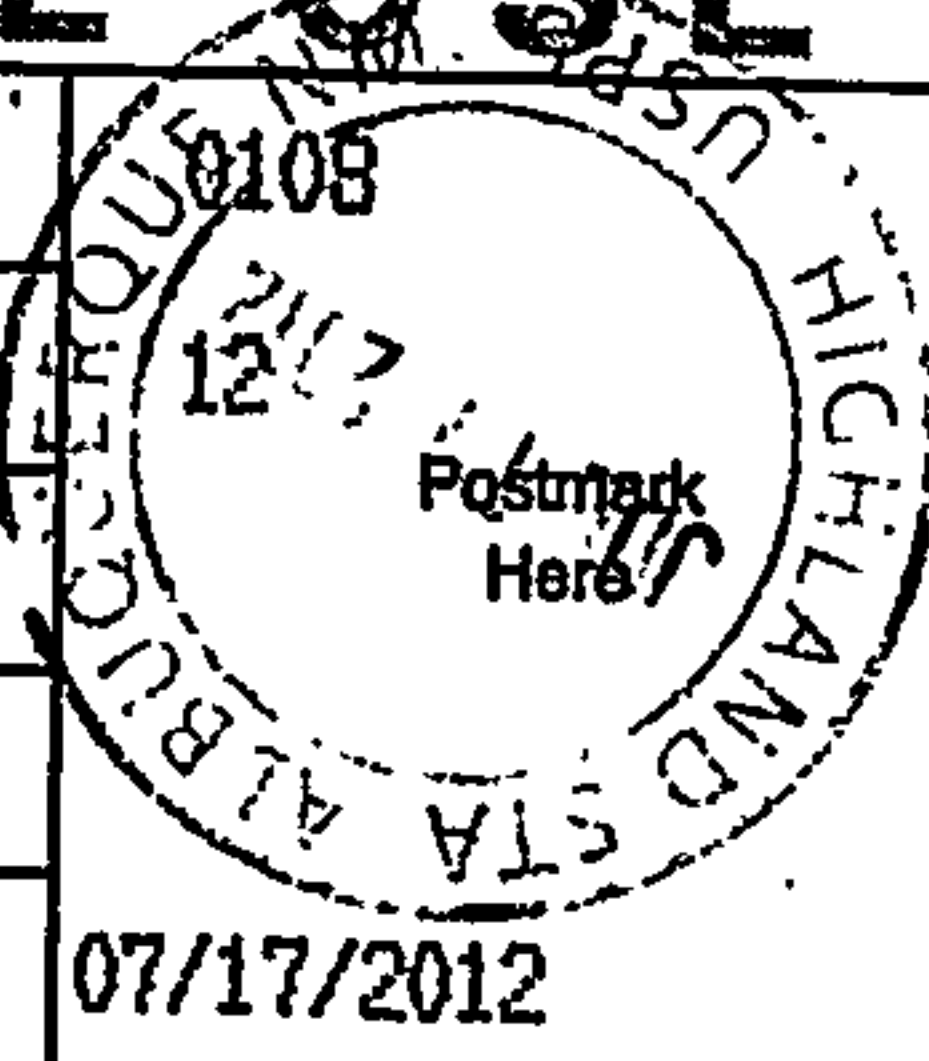
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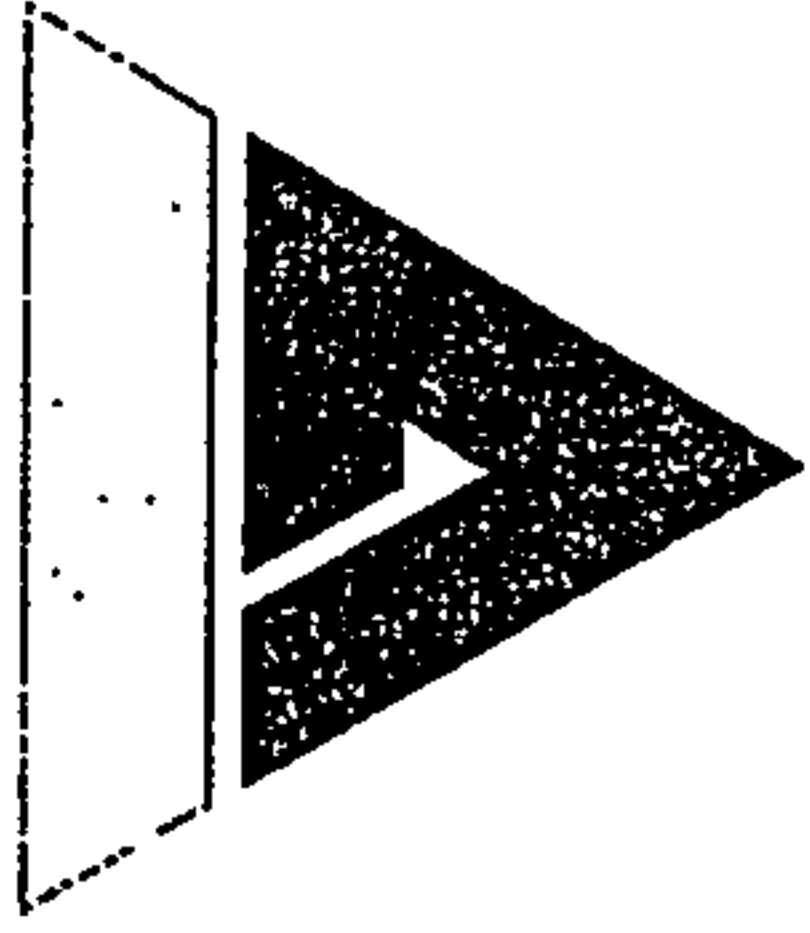
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City, State, ZIP+4 Albuquerque, NM 87110

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Thomas O. Isaacson, PE(Ret.) & LS(Ret.) · Fred C. Arfinan, PE · Asa Nilsson-Weber, PE

July 6, 2012

CERTIFIED MAIL - 7005 1160 0001 1329 8396

Dori Millner
Alvarado Park Neighborhood Association
5819 Aspen NE
Albuquerque, NM 87110

**RE: Menaul & Prospect Retail Center
(DRB Project No. 1007099)**

Dear: Ms. Millner:

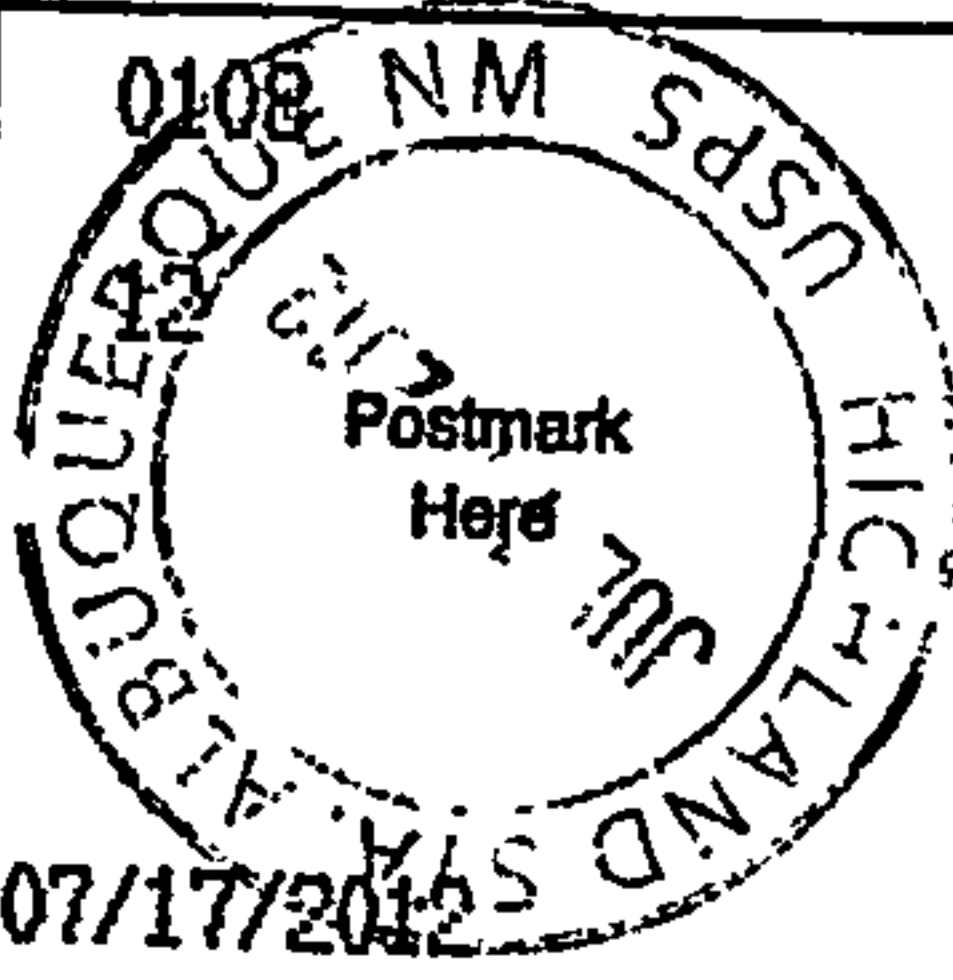
The City of Albuquerque Development Review Board Hearing is on August 1, 2012 in lieu of July 25, 2012. Please call me at 268-8828 if you have questions. Thank you.

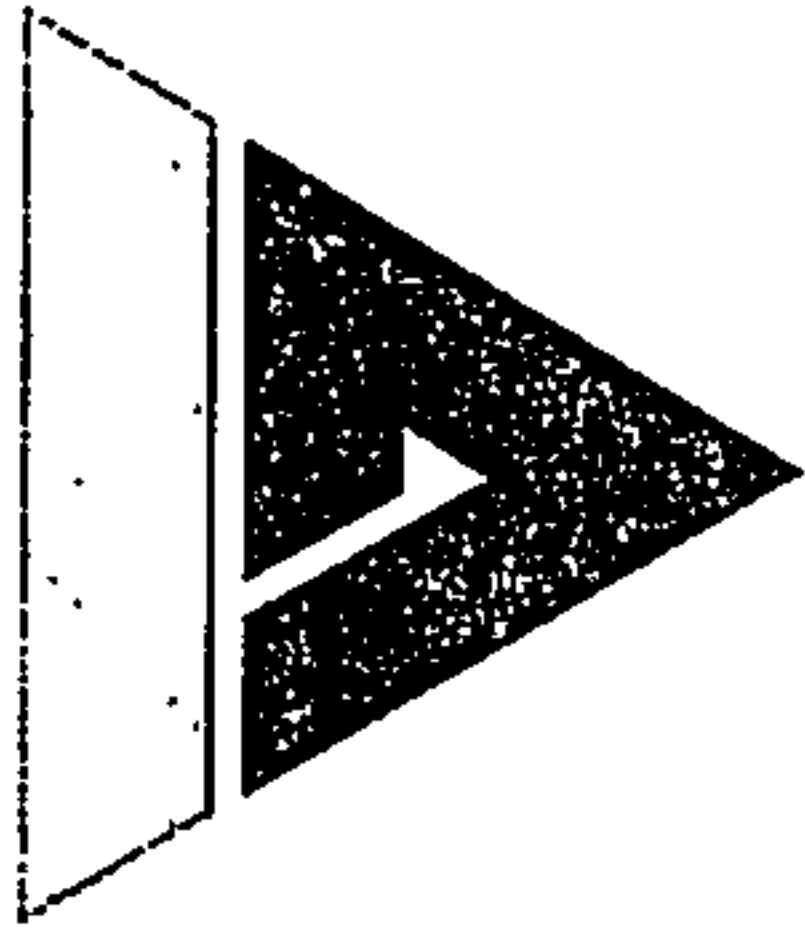
Sincerely,

ISAACSON & ARFMAN, P.A.

Fred C. Arfman
Fred C. Arfman, PE

7005 1160 0001 1329 8396

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Dori Millner	
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City, State, ZIP+4 Albuquerque, NM 87110	
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Thomas O. Isaacson, PE(Ret.) & LS(Ret.) · Fred C. Arfman, PE · Asa Nilsson-Weber, PE

July 6, 2012

CERTIFIED MAIL – 7005 1160 0001 1329 8402

Jane Cohn
Alvarado Park Neighborhood Association
1931 Palomas NE
Albuquerque, NM 87110

**RE: Menaul & Prospect Retail Center
(DRB Project No. 1007099)**

Dear: Ms. Cohn:

The City of Albuquerque Development Review Board Hearing is on August 1, 2012 in lieu of July 25, 2012. Please call me at 268-8828 if you have questions. Thank you.

Sincerely,

ISAACSON & ARFMAN, P.A.

Fred C. Arfman, PE

7005 1160 0001 1329 8402

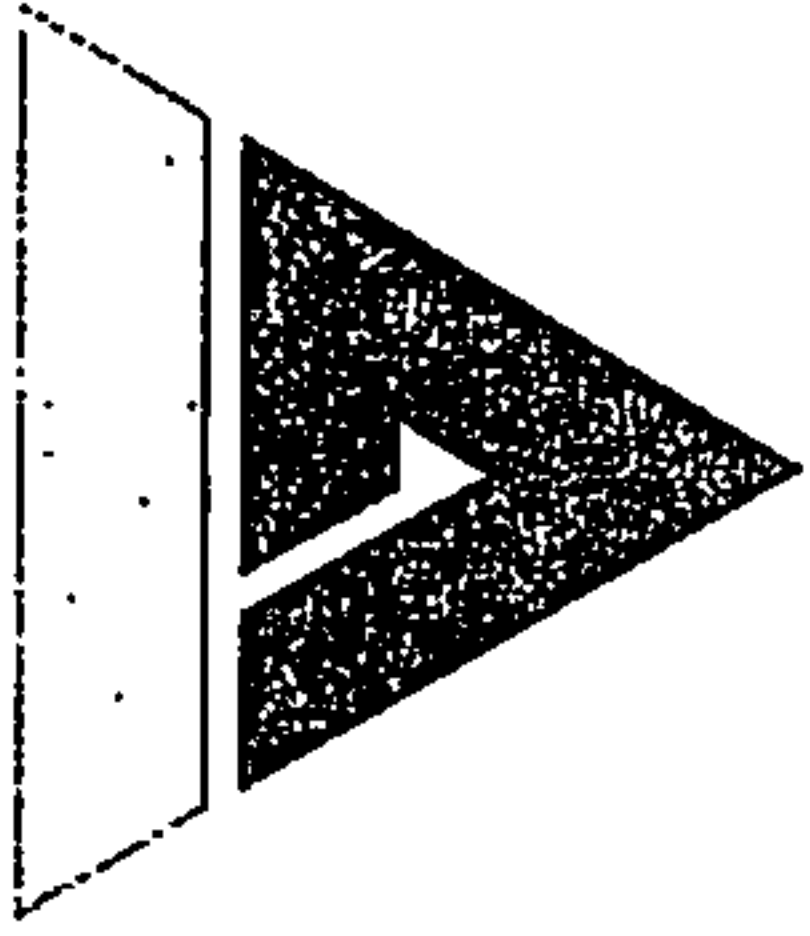
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07/17/2012

Sent To
Jane Cohn
Alvarado Park Neighborhood Assoc.
1931 Palomas NE
Albuquerque, NM 87110

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Thomas O. Isaacson, PE(Ret.) & LS(Ret.) • Fred C. Arfman, PE • Asa Nilsson-Weber, PE

July 6, 2012

CERTIFIED MAIL - 7005 1160 0001 1329 8419

Stephen Verchinski
Classic Uptown Neighborhood Association
2700 Espanola NE
Albuquerque, NM 87110

**RE: Menaul & Prospect Retail Center
(DRB Project No. 1007099)**

Dear: Ms. Verchinski:

The City of Albuquerque Development Review Board Hearing is on August 1, 2012 in lieu of July 25, 2012. Please call me at 268-8828 if you have questions. Thank you.

Sincerely,

ISAACSON & ARFMAN, P.A.

Fred C. Arfman, PE

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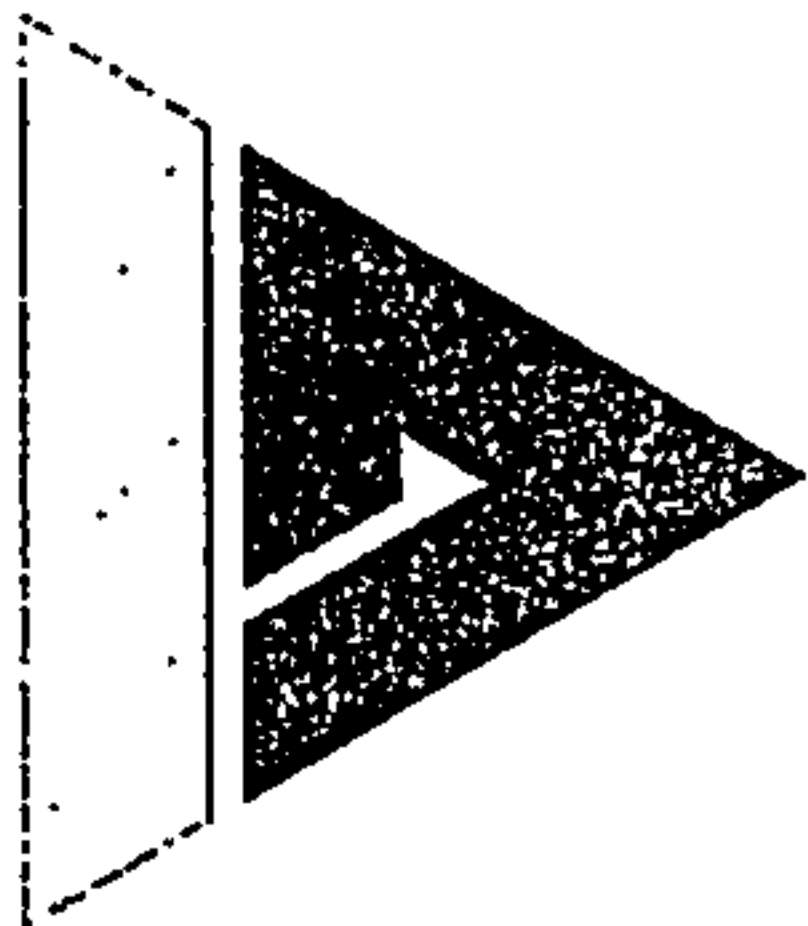
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Thomas O. Isaacson, PE(Ret.) & LS(Ret.) · Fred C. Arfman, PE · Asa Nilsson-Weber, PE

July 6, 2012

CERTIFIED MAIL – 7005 1160 0001 1329 8426

Cara Gregory
Classic Uptown Neighborhood Association
2812 Alcazar St. NE
Albuquerque, NM 87110

**RE: Menaul & Prospect Retail Center
(DRB Project No. 1007099)**

Dear: Ms. Gregory:


The City of Albuquerque Development Review Board Hearing is on August 1, 2012 in lieu of July 25, 2012. Please call me at 268-8828 if you have questions. Thank you.

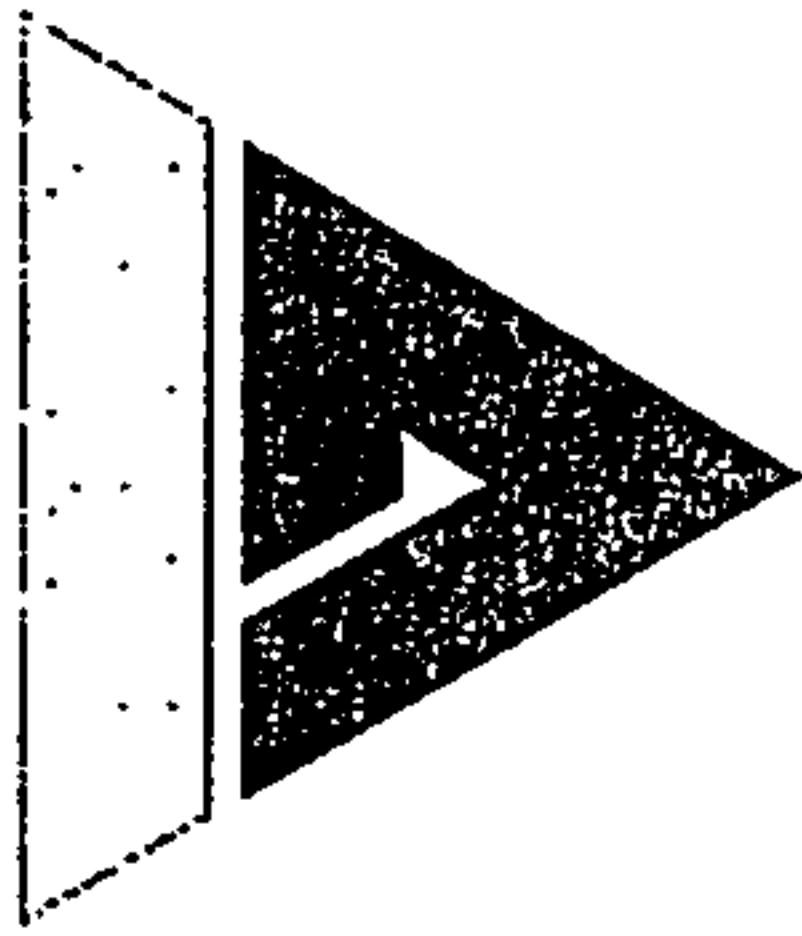
Sincerely,

ISAACSON & ARFMAN, P.A.

Fred C. Arfman
Fred C. Arfman, PE

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Classic Uptown Neighborhood Assoc.	
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Thomas O. Isaacson, PE(Ret.) & LS(Ret.) · Fred C. Arfman, PE · Asa Nilsson-Weber, PE

July 6, 2012

CERTIFIED MAIL - 7005 1160 0001 1329 8433

Evelyn B. Feltner
Inez Neighborhood Association
2014 Utah St. NE
Albuquerque, NM 87110

RE: Menaul & Prospect Retail Center
(DRB Project No. 1007099)

Dear: Ms. Feltner:

The City of Albuquerque Development Review Board Hearing is on August 1, 2012 in lieu of July 25, 2012. Please call me at 268-8828 if you have questions. Thank you.

Sincerely,

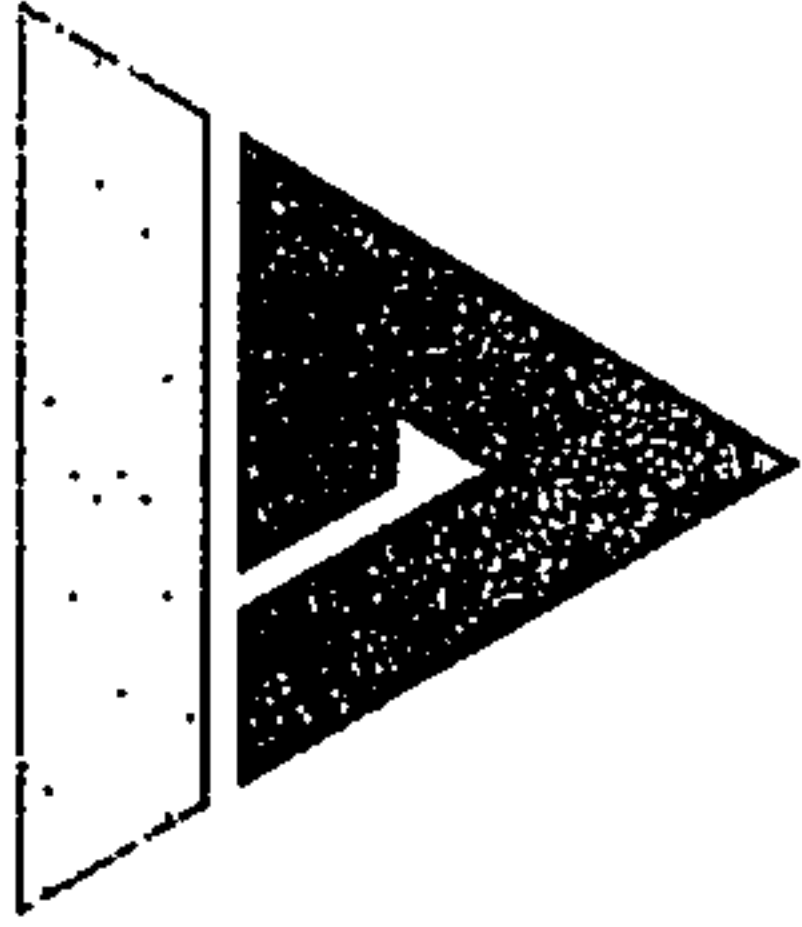
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Fred C. Arfman signature

Fred C. Arfman, PE

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Thomas O. Isaacson, PE(Ret.) & LS(Ret.) • Fred C. Arfman, PE • Asa Nilsson-Weber, PE

July 6, 2012

CERTIFIED MAIL - 7005 1160 0001 1329 8440

Donna Yetter
Inez Neighborhood Association
2111 Hoffman Dr. NE
Albuquerque, NM 87110

**RE: Menaul & Prospect Retail Center
(DRB Project No. 1007099)**

Dear: Ms. Yetter:

The City of Albuquerque Development Review Board Hearing is on August 1, 2012 in lieu of July 25, 2012. Please call me at 268-8828 if you have questions. Thank you.

Sincerely,

ISAACSON & ARFMAN, P.A.

Fred C. Arfman
Fred C. Arfman, PE

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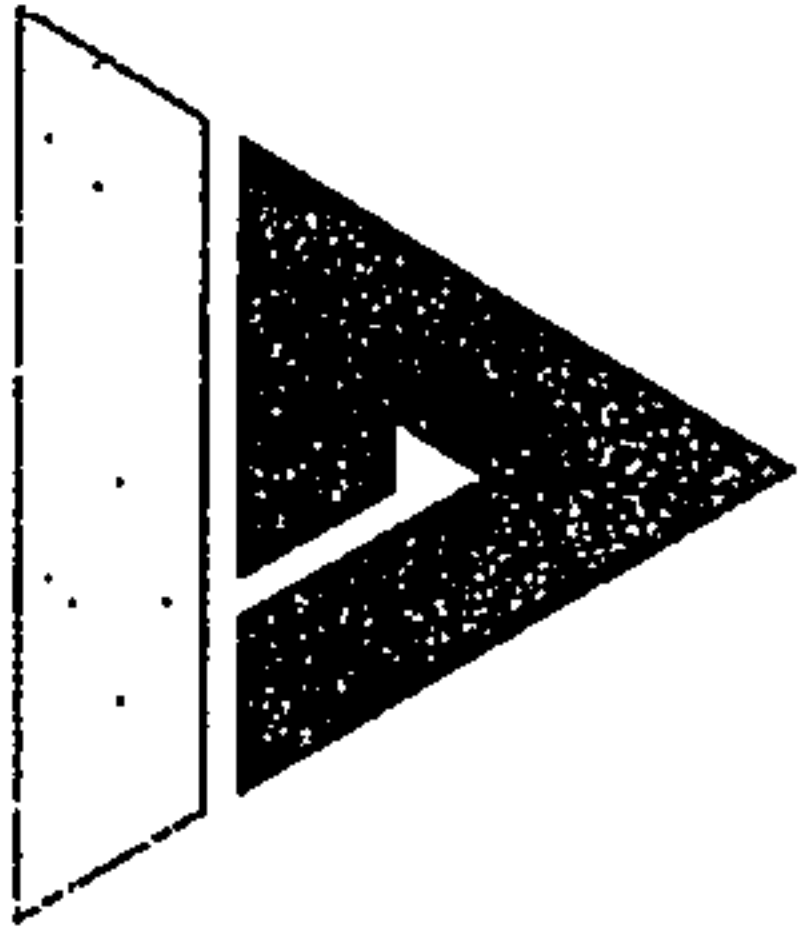
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 Inez Neighborhood Assoc.
 2111 Hoffman Dr. NE
 Albuquerque, NM 87110

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Thomas O. Isaacson, PE(Ret.) & LS(Ret.) • Fred C. Arfman, PE • Asa Nilsson-Weber, PE

July 6, 2012

CERTIFIED MAIL – 7005 1160 0001 1329 8457

Julie Jones
Jerry Cline Park Neighborhood Association
7625 Winter Ave. NE
Albuquerque, NM 87110

**RE: Menaul & Prospect Retail Center
(DRB Project No. 1007099)**

Dear: Ms. Jones:

The City of Albuquerque Development Review Board Hearing is on August 1, 2012 in lieu of July 25, 2012. Please call me at 268-8828 if you have questions. Thank you.

Sincerely,

ISAACSON & ARFMAN, P.A.

Fred C. Arfman
Fred C. Arfman, PE

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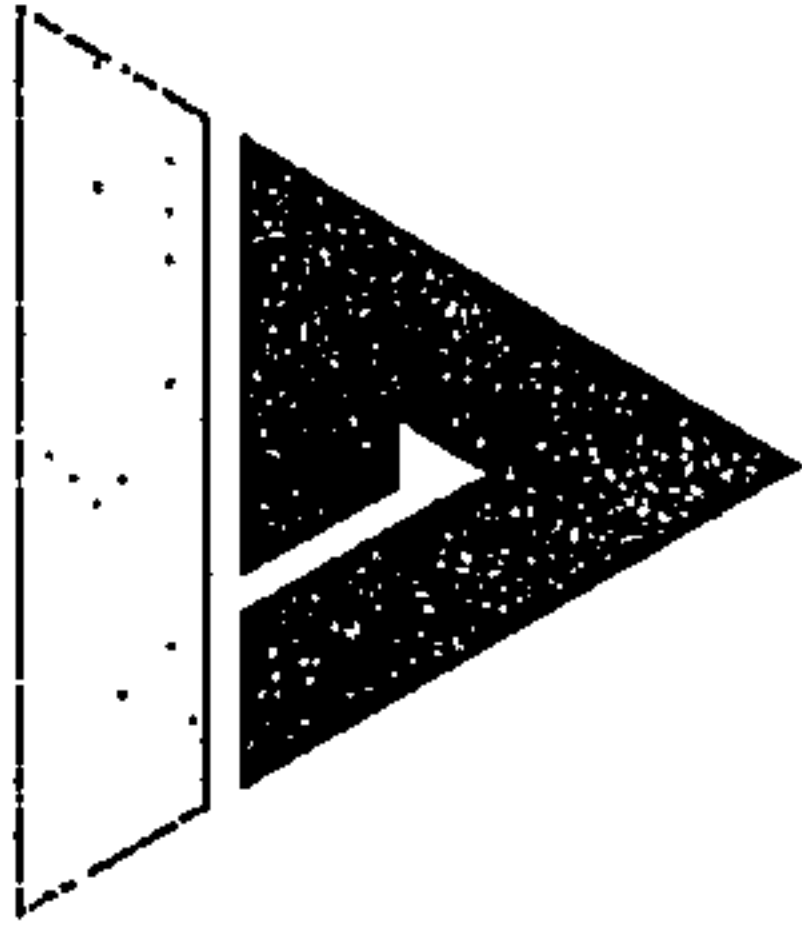
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Jerry Cline Park
Neighborhood Association
7625 Winter Ave. NE
Albuquerque, NM 87110

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July 6, 2012

CERTIFIED MAIL – 7005 1160 0001 1329 8464

Ron Goldsmith
Jerry Cline Park Neighborhood Association
1216 Alcazar St. NE
Albuquerque, NM 87110

**RE: Menaul & Prospect Retail Center
(DRB Project No. 1007099)**

Dear: Mr. Goldsmith:

The City of Albuquerque Development Review Board Hearing is on August 1, 2012 in lieu of July 25, 2012. Please call me at 268-8828 if you have questions. Thank you.

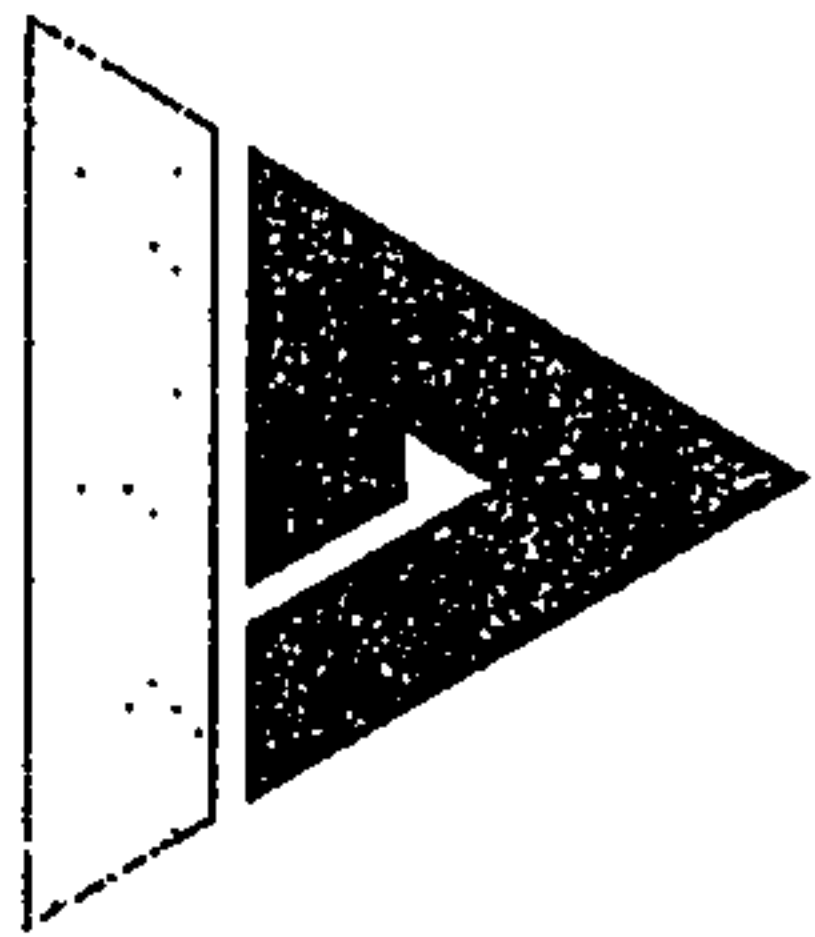
Sincerely,

ISAACSON & ARFMAN, P.A.

Fred C. Arfman
Fred C. Arfman, PE

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July 6, 2012

CERTIFIED MAIL - 7005 1160 0001 1329 8471

Barbara Lohbeck
Mark Twain Neighborhood Association
1402 California NE
Albuquerque, NM 87111

**RE: Menaul & Prospect Retail Center
(DRB Project No. 1007099)**

Dear: Ms. Lohbeck:

The City of Albuquerque Development Review Board Hearing is on August 1, 2012 in lieu of July 25, 2012. Please call me at 268-8828 if you have questions. Thank you.

Sincerely,

ISAACSON & ARFMAN, P.A.

Fred C. Arfman
Fred C. Arfman, PE

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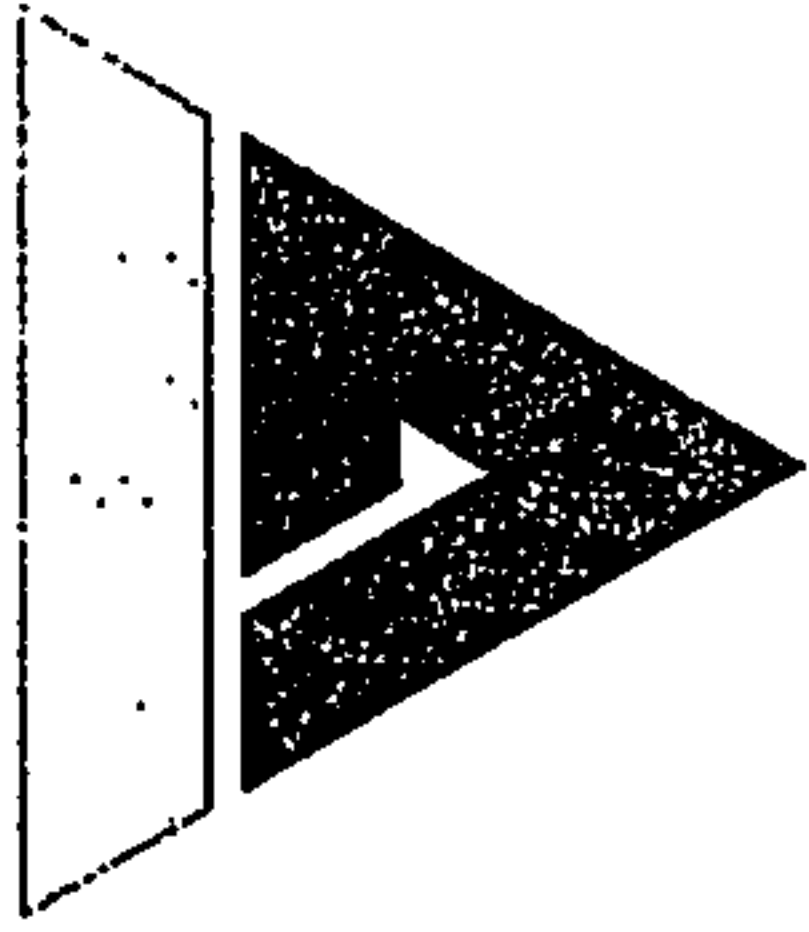
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Street, Apt. No., or PO Box No.: Mark Twain Neighborhood Assoc.
1402 California NE
City, State, ZIP+4: Albuquerque, NM 87111

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Isaacson & Arfman, P.A. Consulting Engineering Associates

Thomas O. Isaacson, PE(Ret.) & LS(Ret.) · Fred C. Arfman, PE · Asa Nilsson-Weber, PE

July 6, 2012

CERTIFIED MAIL – 7005 1160 0001 1329 8488

Charlotte Rode
Mark Twain Neighborhood Association
1409 California St. NE
Albuquerque, NM 87110

**RE: Menaul & Prospect Retail Center
(DRB Project No. 1007099)**

Dear: Ms. Rode:

The City of Albuquerque Development Review Board Hearing is on August 1, 2012 in lieu of July 25, 2012. Please call me at 268-8828 if you have questions. Thank you.

Sincerely,

ISAACSON & ARFMAN, P.A.

Fred C. Arfman
Fred C. Arfman, PE

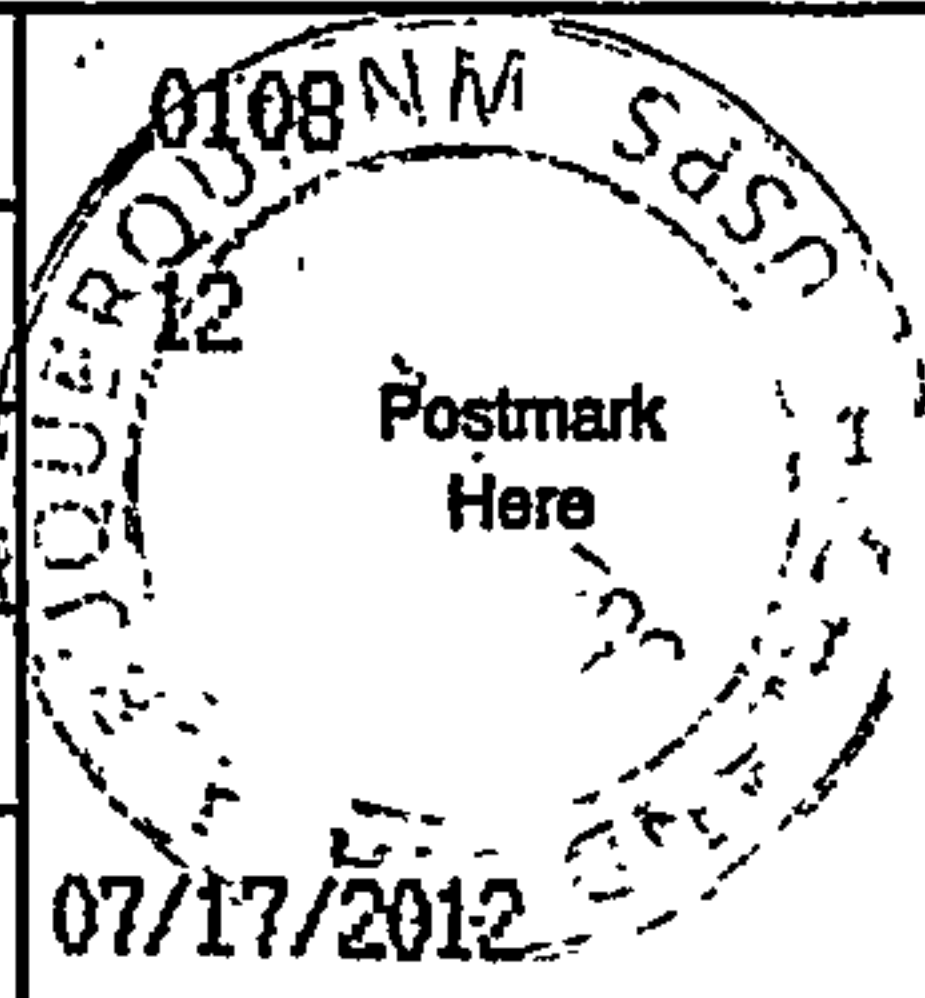
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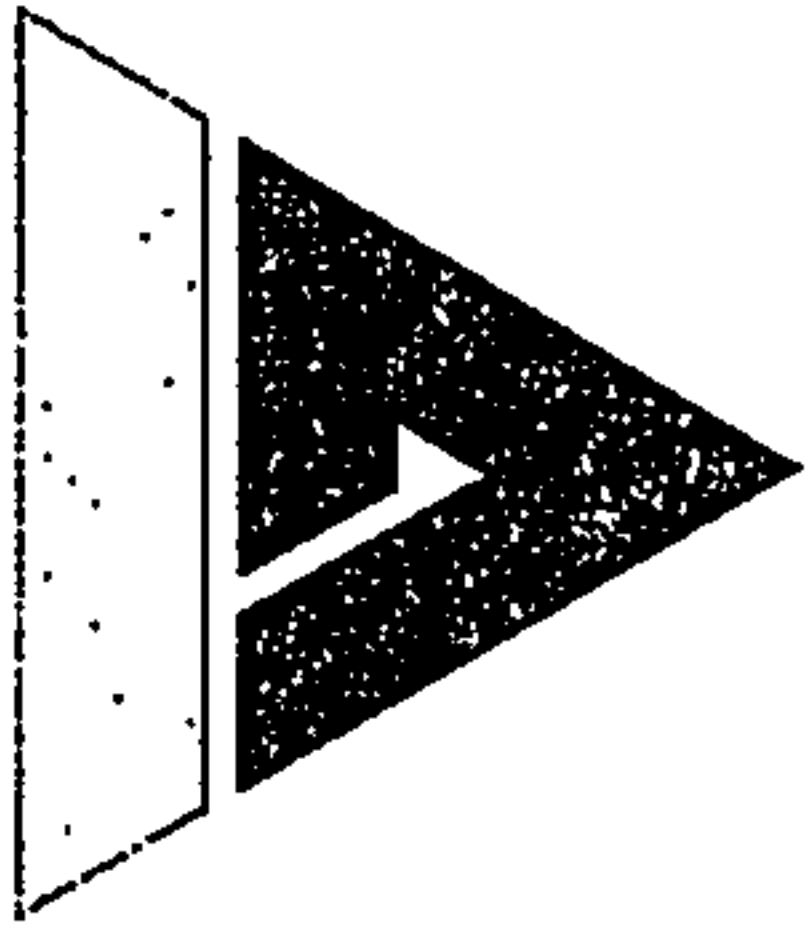
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Total Postage & Fees	\$	\$5.75



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Street, Apt. No.; or PO Box No.	Mark Twain Neighborhood Assoc. 1409 California St. NE
City, State, ZIP+4	Albuquerque, NM 87110

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Thomas O. Isaacson, PE(Ret.) & LS(Ret.) • Fred C. Arfman, PE • Asa Nilsson-Weber, PE

July 6, 2012

CERTIFIED MAIL – 7005 1160 0001 1329 8495

Winnie Schmidt
Quigley Park Neighborhood Association
2916 Cuervo Dr. NE
Albuquerque, NM 87110

**RE: Menaul & Prospect Retail Center
(DRB Project No. 1007099)**

Dear: Ms. Schmidt:

The City of Albuquerque Development Review Board Hearing is on August 1, 2012 in lieu of July 25, 2012. Please call me at 268-8828 if you have questions. Thank you.

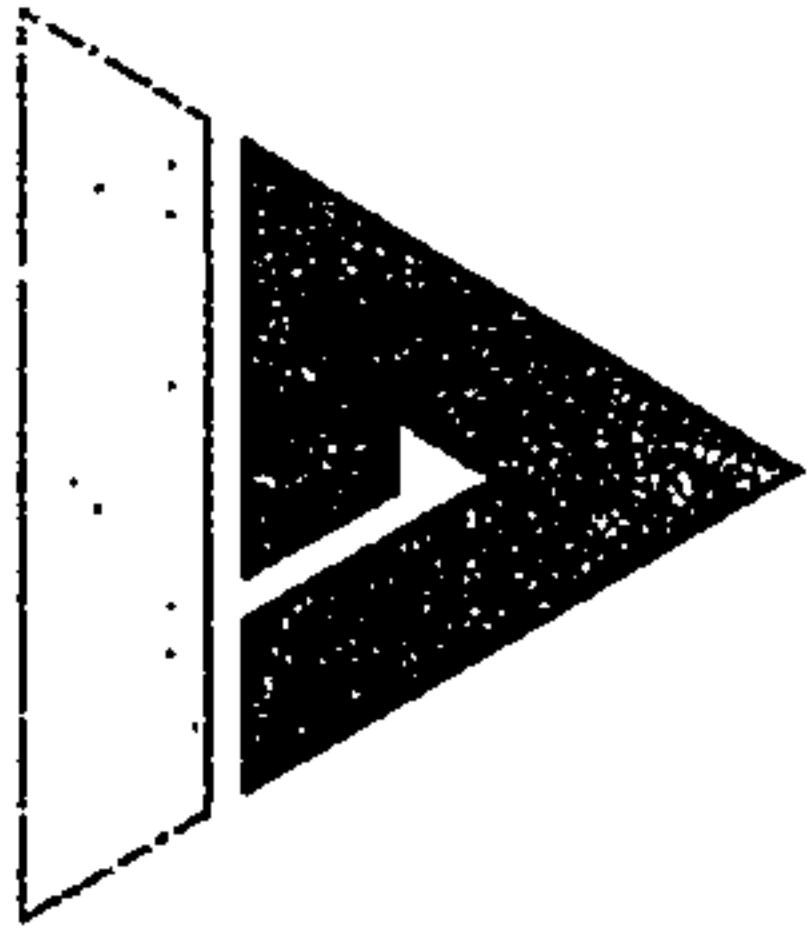
Sincerely,

ISAACSON & ARFMAN, P.A.

Fred C. Arfman, PE

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Quigley Park Neighborhood Assoc.		
2916 Cuervo Dr. NE		
Albuquerque, NM 87110		
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Isaacson & Arfman, P.A. Consulting Engineering Associates

Thomas O. Isaacson, PE(Ret.) & LS(Ret.) · Fred C. Arfman, PE · Asa Nilsson-Weber, PE

July 6, 2012

CERTIFIED MAIL - 7005 1160 0001 1329 8501

Maureen Maher
Quigley Park Neighborhood Association
2935 Cardenas Dr. NE
Albuquerque, NM 87110

**RE: Menaul & Prospect Retail Center
(DRB Project No. 1007099)**

Dear: Ms. Maher:

The City of Albuquerque Development Review Board Hearing is on August 1, 2012 in lieu of July 25, 2012. Please call me at 268-8828 if you have questions. Thank you.

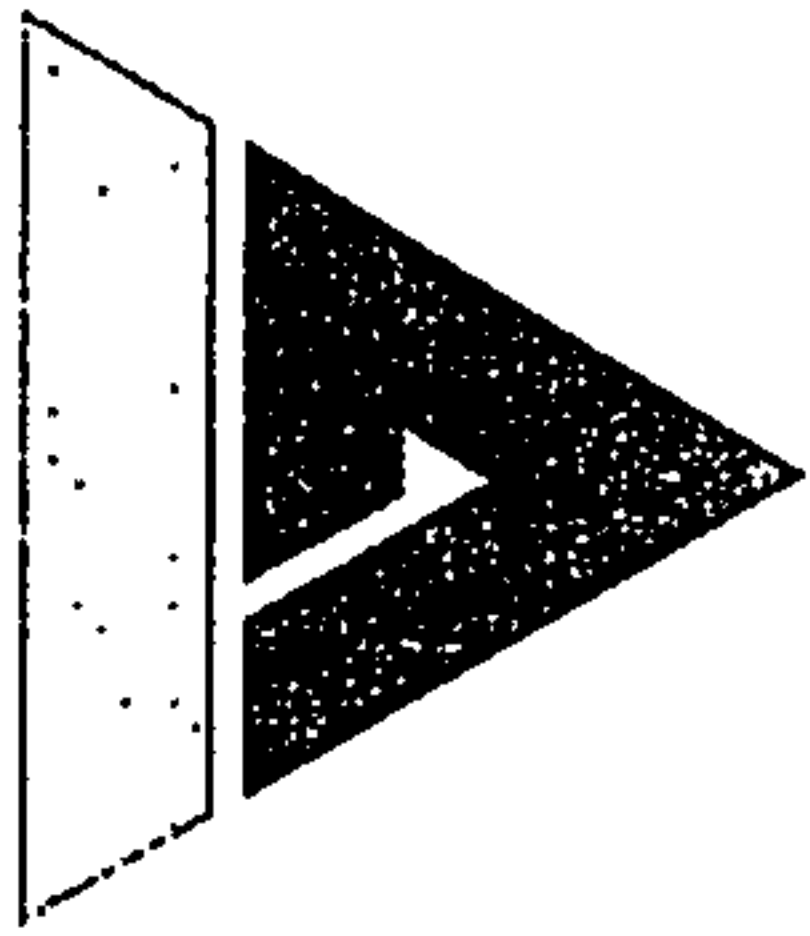
Sincerely,

ISAACSON & ARFMAN, P.A.

Fred C. Arfman, PE

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City, State, ZIP+4	Albuquerque, NM 87110
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Isaacson & Arfman, P.A. Consulting Engineering Associates

Thomas O. Isaacson, PE(Ret.) & LS(Ret.) • Fred C. Arfman, PE • Asa Nilsson-Weber, PE

July 6, 2012

CERTIFIED MAIL – 7005 1160 0001 1329 8518

Laura Heitman
Snow Heights Neighborhood Association
8011 Princess Jeanne NE
Albuquerque, NM 87110

**RE: Menaul & Prospect Retail Center
(DRB Project No. 1007099)**

Dear: Ms. Heitman:

The City of Albuquerque Development Review Board Hearing is on August 1, 2012 in lieu of July 25, 2012. Please call me at 268-8828 if you have questions. Thank you.

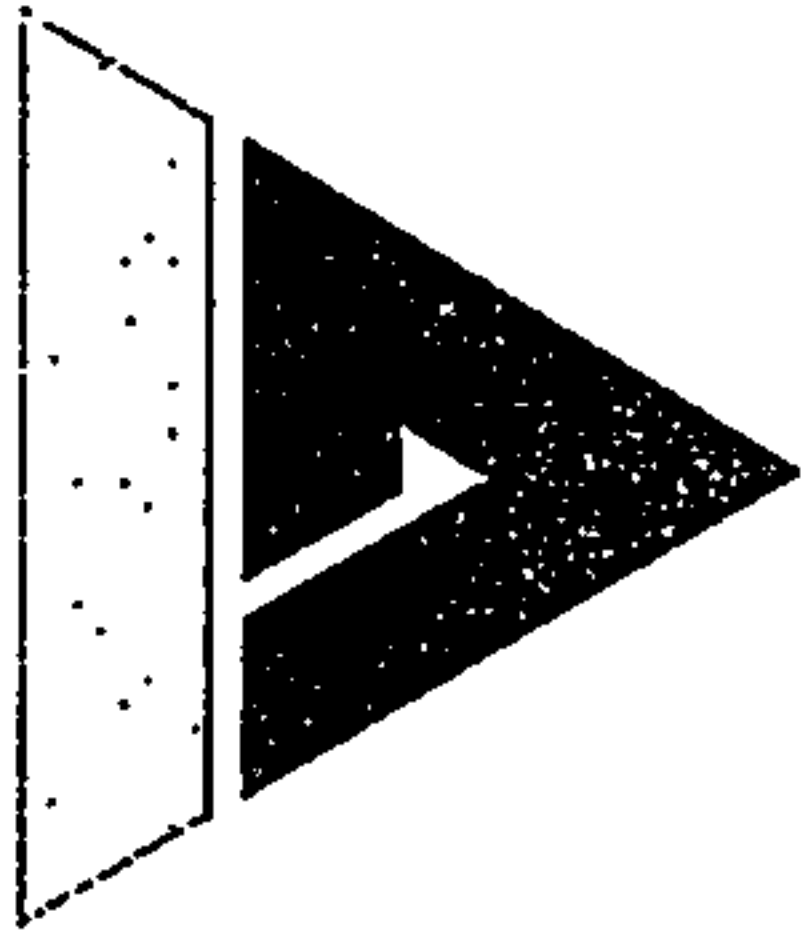
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ISAACSON & ARFMAN, P.A.

Fred C. Arfman, PE

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July 6, 2012

CERTIFIED MAIL – 7005 1160 0001 1329 8525

Shirley Marquez
Snow Heights Neighborhood Association
7905 Hannett NE
Albuquerque, NM 87110

**RE: Menaul & Prospect Retail Center
(DRB Project No. 1007099)**

Dear: Ms. Marquez:

The City of Albuquerque Development Review Board Hearing is on August 1, 2012 in lieu of July 25, 2012. Please call me at 268-8828 if you have questions. Thank you.

Sincerely,

ISAACSON & ARFMAN, P.A.

Fred C. Arfman
Fred C. Arfman, PE

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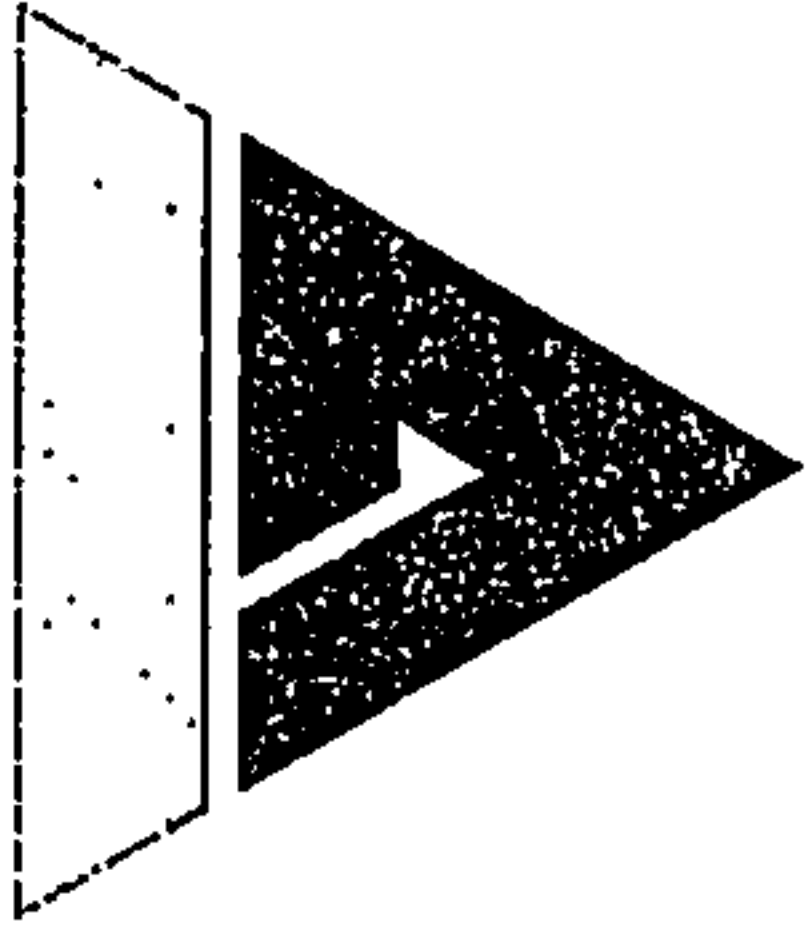
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Isaacson & Arfman, P.A. Consulting Engineering Associates

Thomas O. Isaacson, PE(Ret.) & LS(Ret.) · Fred C. Arfman, PE · Asa Nilsson-Weber, PE

July 6, 2012

CERTIFIED MAIL – 7005 1160 0001 1329 8532

William Steadman
Uptown Progress Team, Inc.
2424 Louisiana Blvd. NE, Suite 300
Albuquerque, NM 87110

**RE: Menaul & Prospect Retail Center
(DRB Project No. 1007099)**

Dear: Mr. Steadman:

The City of Albuquerque Development Review Board Hearing is on August 1, 2012 in lieu of July 25, 2012. Please call me at 268-8828 if you have questions. Thank you.

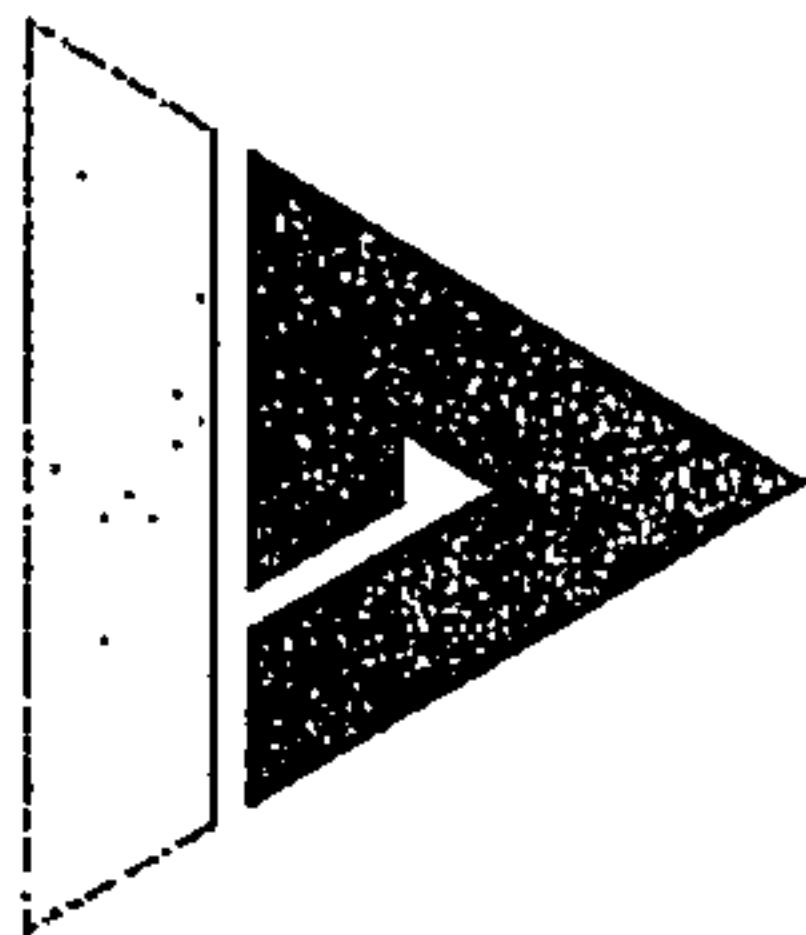
Sincerely,

ISAACSON & ARFMAN, P.A.

Fred C. Arfman
Fred C. Arfman, PE

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July 6, 2012

CERTIFIED MAIL - 7005 1160 0001 1329 8549

Kim Corcoran
Uptown Progress Team, Inc.
P.O. Box 93488
Albuquerque, NM 87199

**RE: Menaul & Prospect Retail Center
(DRB Project No. 1007099)**

Dear: Ms. Corcoran:

The City of Albuquerque Development Review Board Hearing is on August 1, 2012 in lieu of July 25, 2012. Please call me at 268-8828 if you have questions. Thank you.

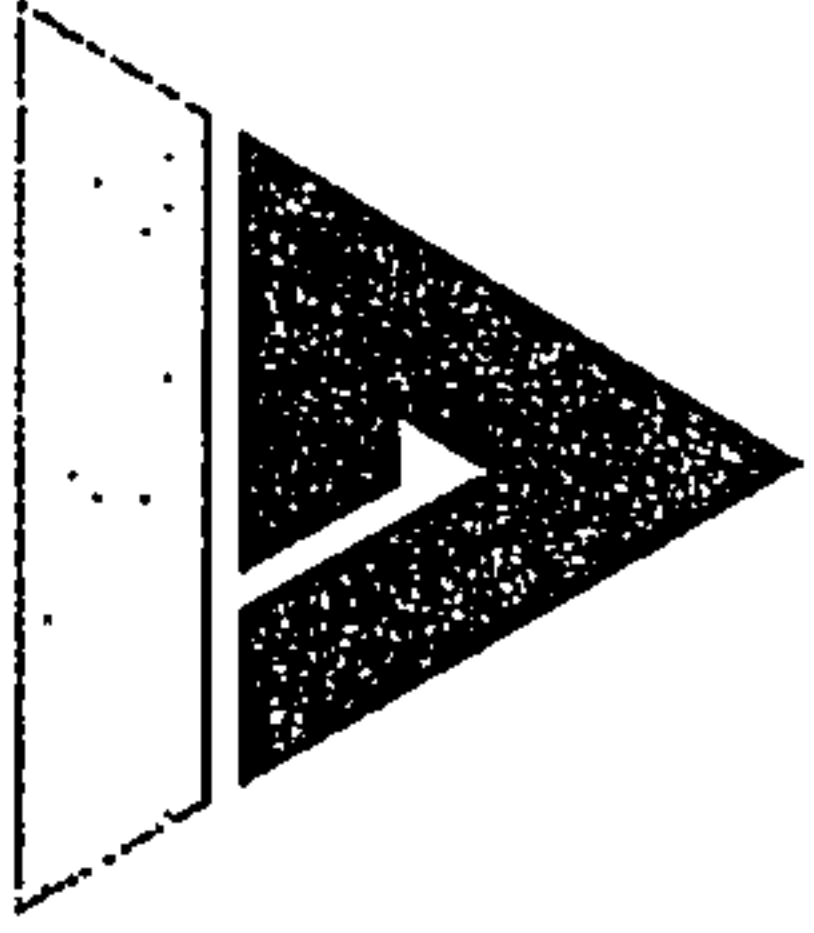
Sincerely,

ISAACSON & ARFMAN, P.A.

Fred C. Arfman, PE

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Uptown Progress Team, Inc.	
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Isaacson & Arfman, P.A. Consulting Engineering Associates

Thomas O. Isaacson, PE(Ret.) & LS(Ret.) • Fred C. Arfman, PE • Asa Nilsson-Weber, PE

July 6, 2012

CERTIFIED MAIL – 7005 1160 0001 1329 8556

Richard Peterson
Winrock South Neighborhood Association
7110 Constitution Ave. NE
Albuquerque, NM 87110

**RE: Menaul & Prospect Retail Center
(DRB Project No. 1007099)**

Dear: Mr. Peterson:

The City of Albuquerque Development Review Board Hearing is on August 1, 2012 in lieu of July 25, 2012. Please call me at 268-8828 if you have questions. Thank you.

Sincerely,

ISAACSON & ARFMAN, P.A.

Fred C. Arfman, PE

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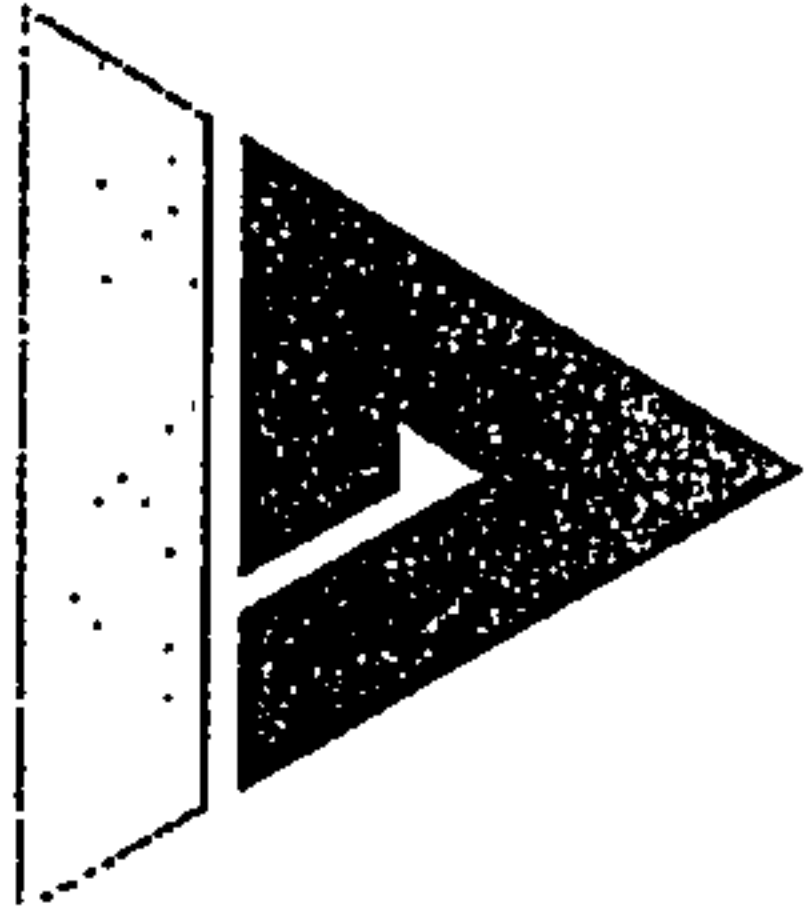
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 Street, Apt. No.; or PO Box No.: Winrock South Neighborhood Assoc.
 City, State, ZIP+4: 7110 Constitution Ave. NE, Albuquerque, NM 87110

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Isaacson & Arfman, P.A. Consulting Engineering Associates

Thomas O. Isaacson, PE(Ret.) & LS(Ret.) · Fred C. Arfinan, PE · Asa Nilsson-Weber, PE

July 6, 2012

CERTIFIED MAIL – 7005 1160 0001 1329 8563

Virginia Kinney
Winrock South Neighborhood Association
7110 Constitution Ave. NE
Albuquerque, NM 87110

**RE: Menaul & Prospect Retail Center
(DRB Project No. 1007099)**

Dear: Ms. Kinney:

The City of Albuquerque Development Review Board Hearing is on August 1, 2012 in lieu of July 25, 2012. Please call me at 268-8828 if you have questions. Thank you.

Sincerely,

ISAACSON & ARFMAN, P.A.

Fred C. Arfman
Fred C. Arfman, PE

7005 1160 0001 1329 8563

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City, State, ZIP+4 7110 Constitution Ave. NE -----	
Albuquerque, NM 87110 -----	
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City of Albuquerque
Planning Department
Inter-Office Memorandum

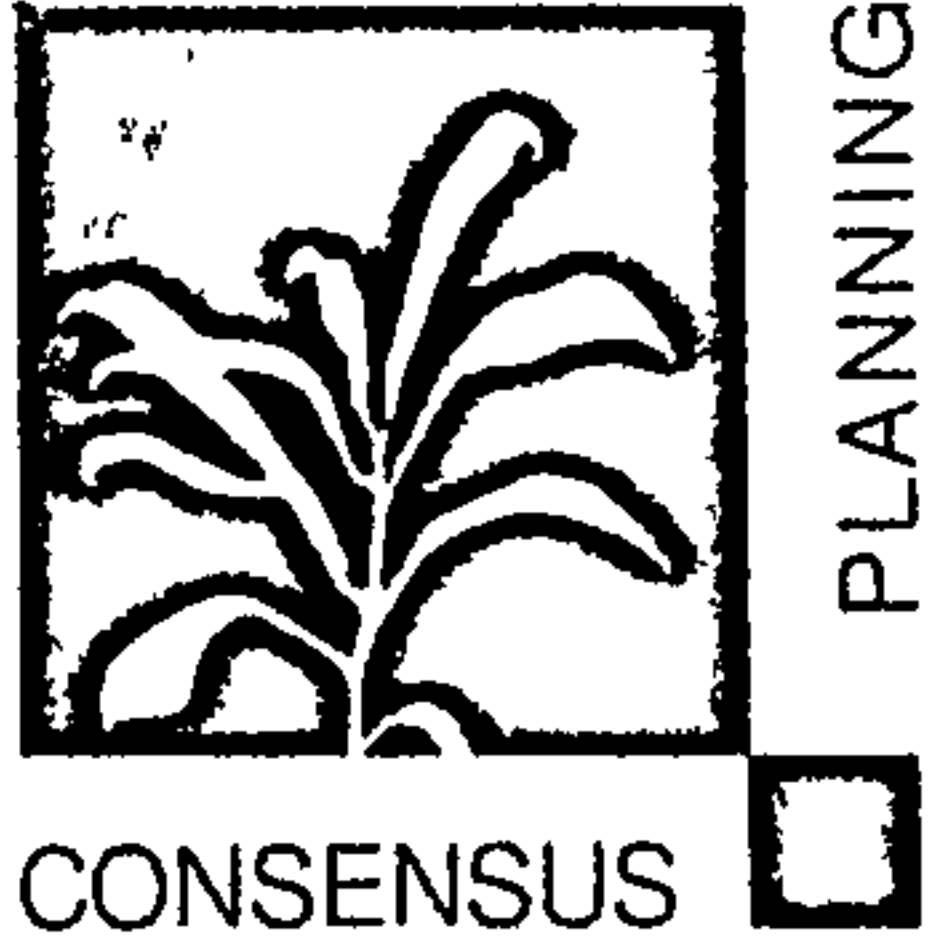
TO: Jack Cloud, DRB Chair
FROM: Randall Falkner, Planner
SUBJECT: Project # 1007099

On April 12, 2012, the Environmental Planning Commission (EPC) approved Project #1007099/12EPC 40005, a site development plan for subdivision for all or a portion of Tract A, Block 16 & 17, Zuni Addition, located on Menaul Boulevard NE, between Mesilla Street NE and Pennsylvania St. NE, containing approximately 4 acres.

The applicant has satisfied all of the EPC conditions of approval.

Compliance with City Engineer conditions should be verified with the City Engineer. If you should have any questions regarding this case, please do not hesitate to call me at 924-3933.

Thank you.



Landscape Architecture
Urban Design
Planning Services

302 Eighth St. NW
Albuquerque, NM 87102

(505) 764-9801
Fax 842-5495
cp@consensusplanning.com
www.consensusplanning.com

July 24, 2012

Jack Cloud, Chairman
Development Review Board
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

RE: Project #1007099 Case#12EPC-40005

Dear Mr. Chairman:

The purpose of this letter is to explain how we have addressed the Environmental Planning Commission's (EPC) conditions of approval for Project #1007099, 12EPC-40005, a Site Development Plan for Subdivision, which was approved on April 12, 2012. The Site Plan for Subdivision has been submitted to coincide with a request for vacation of a public roadway easement by Isaacson and Arfman and a replat by Surv-Tek, all to be heard together at DRB.

Each condition is listed below and the response as to how it was satisfied follows:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off may result in forfeiture of approvals.

We agree and this letter satisfies that requirement.

2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.

We met with the staff planner, Randall Falkner on June 4, 2012 to ensure that all conditions of approval have been met.

3. Design Standards, 1. Site Design, General, 10th bullet, shall include the following at the end of the first sentence: and a maximum of 42 inches."

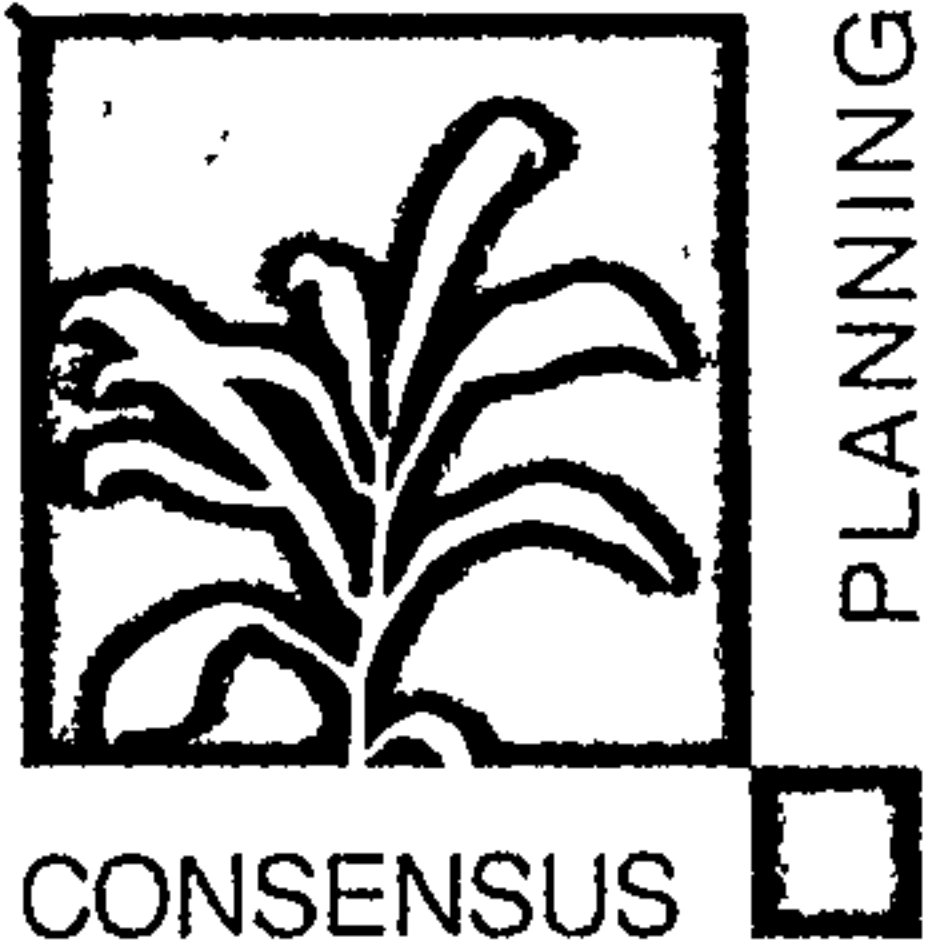
This language has been added to the Design Standards, Sheet 2.

PRINCIPALS

Karen R. Marcotte, AICP
James K. Strozier, AICP
Christopher J. Green, ASLA

ASSOCIATES

Jacqueline Fishman, AICP



4. Design Standards, 1. Site Design, General, 11th bullet, the following shall be added as the last sentence, A minimum 5 foot wide landscape buffer shall be provided between the wall and the existing 4 foot public sidewalk. The design of the wall shall meet Section 14-16-3-19 General Height and Design Regulations for Walls, Fences and Retaining Walls, and specifically Subsection (b) e. Façade, which requires "A variety of living shrubs, trees and/or vines covering or overhanging at least one third of the length of the wall" The existing mature evergreen trees may be counted towards meeting the landscape requirement under the City's Wall Regulations.

This language has been added to the Design Standards, Sheet 2.

5. Design Standards, 1. Site Design, Parking, 3rd bullet, shall include the following as the last sentence, "Parking shall not dominate the street frontage."

This language has been added to the Design Standards, Sheet 2.

6. Design Standards, 5. Landscape, 2nd bullet, first sentence, replace the words "where there is adjacent" with the words "a minimum of 10 feet in width and shall be" in between the words "be" and "comprised".

This language has been added to the Design Standards, Sheet 2.

7. Design Standards, 6. Signage, 2nd bullet, be revised to read "Location, number and illumination of signs shall be per the C-2 Zone, Section 14-16-2-17(A)(10) of the Comprehensive City Zoning Code. Monument sign height shall not exceed 9 feet in height and shall have a maximum sign area of 50 square feet, except no signage shall be allowed along Prospect Avenue across from residential development."

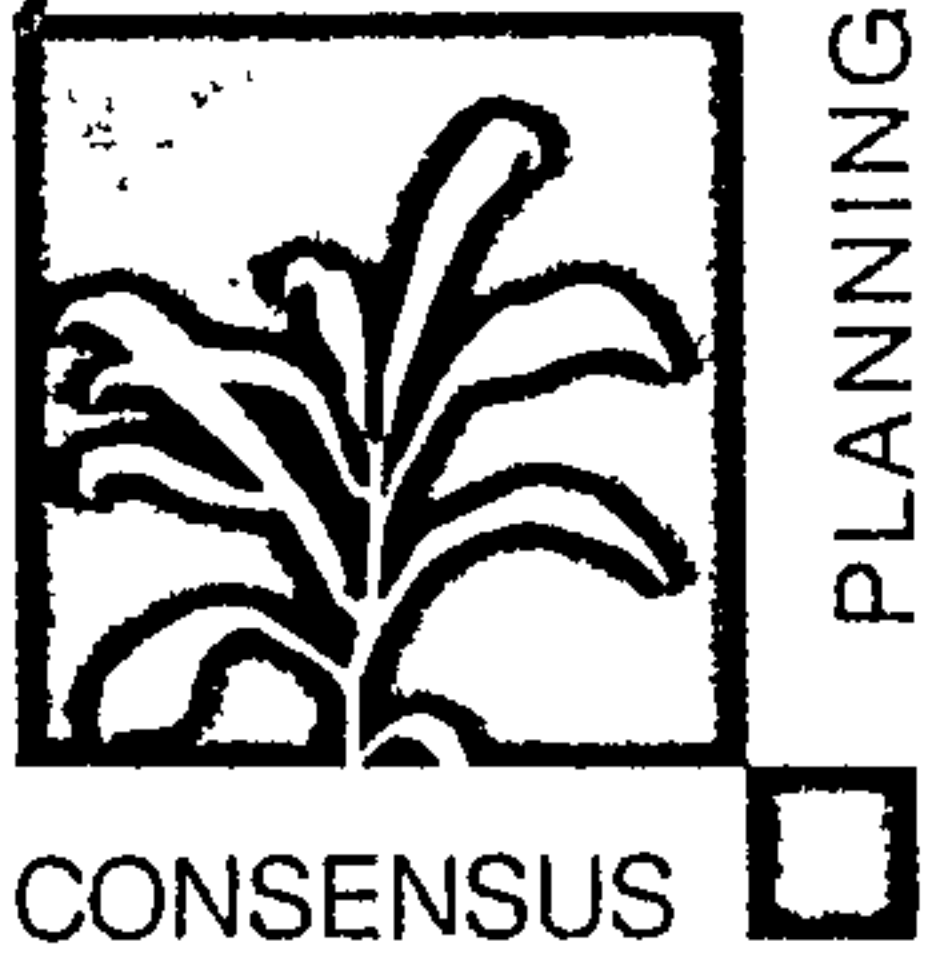
This language has been added to the Design Standards, Sheet 2.

8. Design Standards, 6. Signage, 3rd bullet, second sentence shall be revised to read "Building mounted signs are prohibited along Prospect Avenue across from residential development and along the south property boundary within 50 feet of an abutting residential development."

This language has been added to the Design Standards, Sheet 2.

9. Condition from the Transit Department: The existing bus stop is to be relocated 280 feet east and Transit to require a 5' wide x 20' long easement for shelter, if needed, from the applicant. The proposed easement will be between the property and the sidewalk, Transit requests that the applicant install a Type C bus shelter as per the COA Design standard COA 2355, and associated bench and trash can at the proposed bus stop. Applicant to consult the Transit department for the location of the proposed easement.

The proposed easement is shown on the Site Plan and is included on the plat that was submitted concurrently with the Site Plan for Subdivision.



10. Conditions from the City Engineer, Municipal Development, and NMDOT:

- a. Concurrent Platting Action required at Development Review Board (DRB).

The plat was submitted concurrently with this Site Plan for Subdivision.

- b. A queuing analysis for the storage lengths will be determined at Site Development Plan for Building Permit for Manual's proposed left turn lanes.

The applicant agrees to this condition.

- c. All proposed geometric improvements shown on the Site Plan for Subdivision must be noted as illustrative only or removed *Note on site plan or removed.

This condition is no longer applicable since the public roadway easement previously included on the Site Development Plan for Subdivision has been removed.

- d. The proposed geometry for the Public Access Easement and driveways doesn't appear to comply with the current DPM standards.

See response above.

- e. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan, as may be required by the Development Review Board (DRB).

We agree to this condition.

- f. All easements need to be shown and labeled on Site Plan.

All existing and proposed easements are included on the Site Plan.

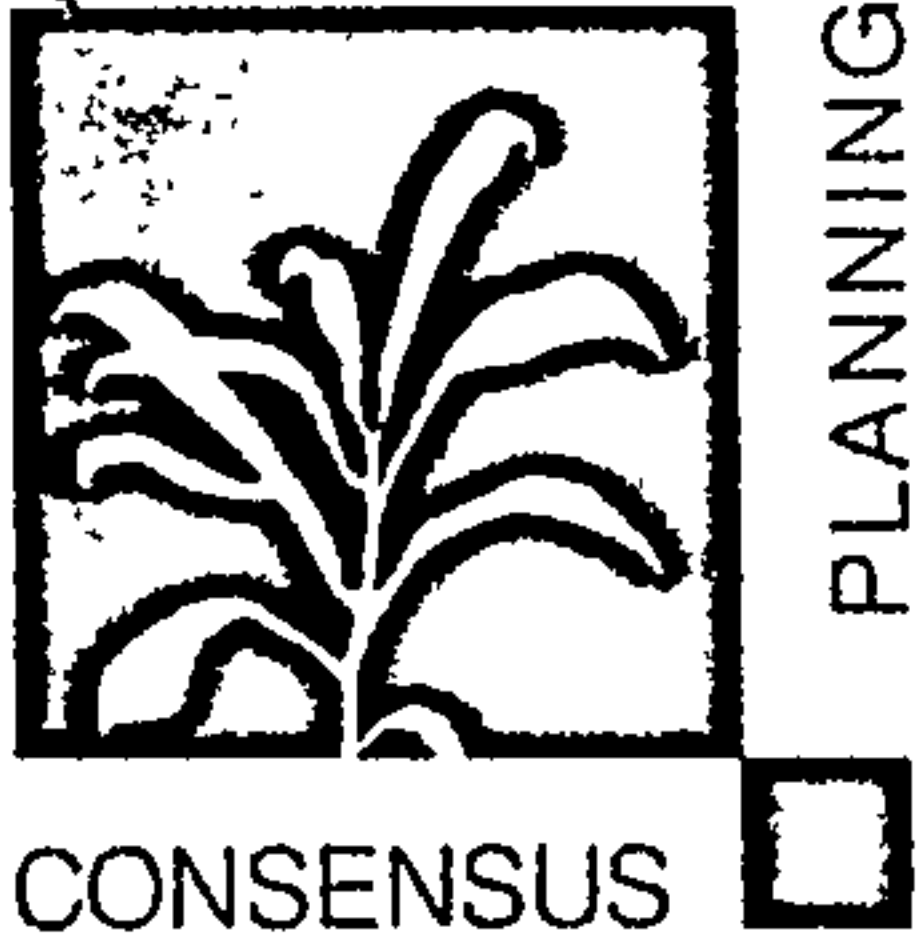
11. Conditions from Public service Company of New Mexico

- a. It is the applicant's obligation to determine if existing utility easements cross the property and to abide by any conditions or terms of those easements.

We agree to this condition.

- b. It is necessary for the applicant to contact PNM's New Service Delivery Department regarding electric service to this site and whether any modifications to the existing electric service to the site are necessary.

We agree to this condition, and this language is included on the Design Standards, Sheet 2, 7. Utilities, 1st bullet.



12. The DRB and Traffic Operations shall consider partial or total closing of vehicular access to the center from the neighborhood to the south.

The public roadway easement previously included on the Site Plan has been removed per this condition. We met with the Fire Marshal's office, Kristal Metro, and Nilo Salgado Fernandez to discuss and we are all in agreement on the modified hammerhead shown on Prospect Avenue. Refer to the Site Plan, sheet 1 stamped by the Fire Marshal. Fred Arfman also requested concurrence by Traffic Operations on July 19, 2012.

Please feel free to call me if you have any questions or need additional information.

Sincerely,

A handwritten signature in black ink, appearing to read "J. Fishman", with a long horizontal line extending to the right.

Jacqueline Fishman, AICP
Associate

Application # :

12-70243 (P₁F-8/15/12)
