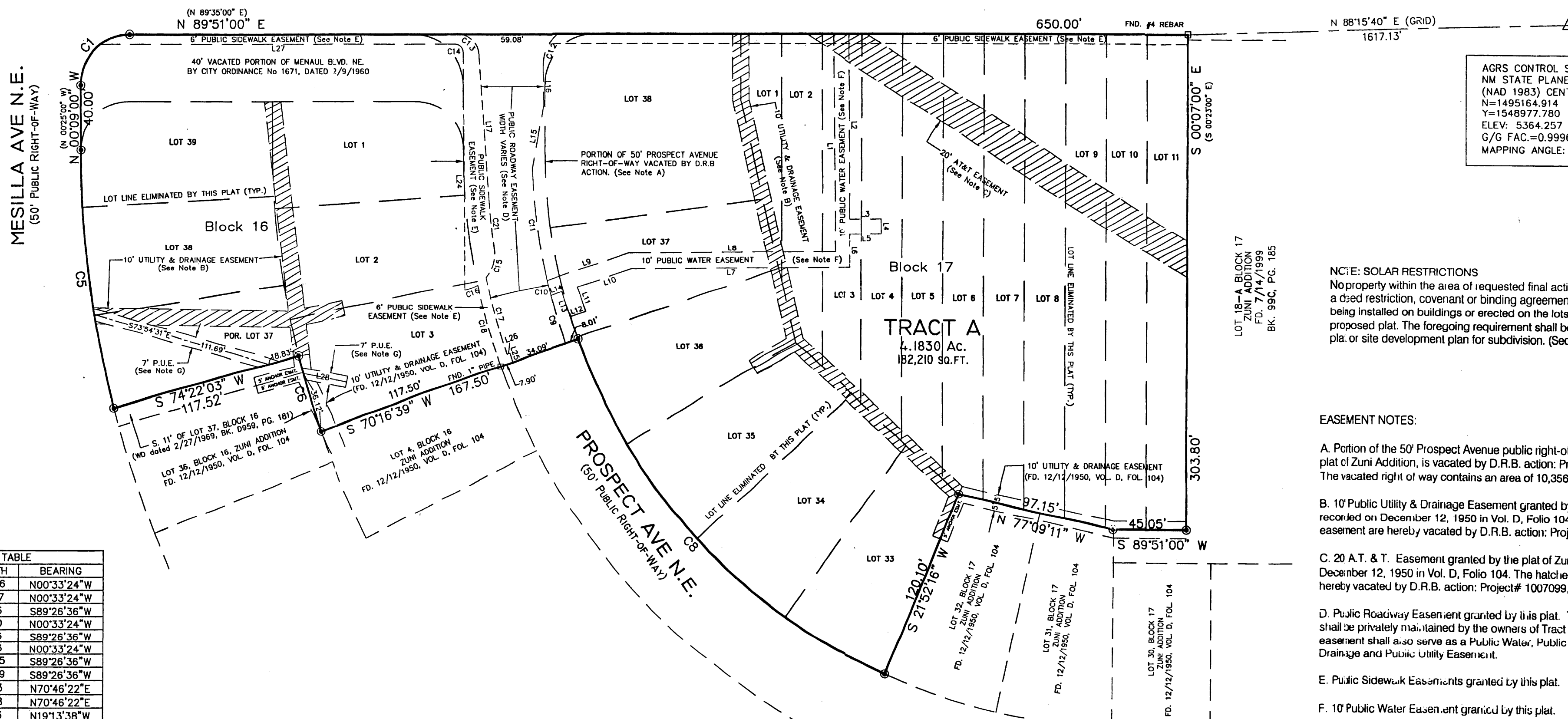


Plat of
TRACT A,
 Blocks 16 & 17,
ZUNI ADDITION
 Section 7, T10N, R4E, NMPM,
 City of Albuquerque,
 Bernalillo County, New Mexico
 November 2008

MENAU BLVD. N.E.
 (100' PUBLIC RIGHT-OF-WAY)



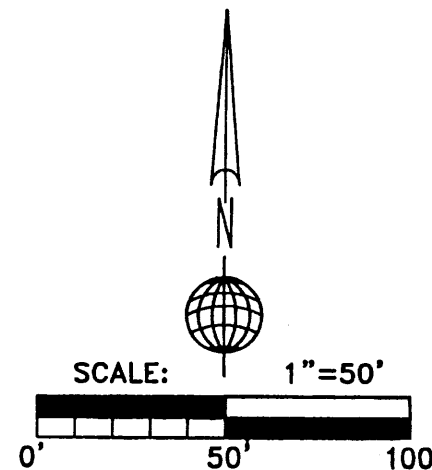
AGRS CONTROL STATION "11-H19"
 NM STATE PLANE COORDINATES
 (NAD 1983) CENTRAL ZONE
 N=1495164.914
 Y=1548977.780
 ELEV: 5364.257 (NAVD 88)
 G/G FAC.=0.999656857
 MAPPING ANGLE: -0°10' 33.04"

NOTE: SOLAR RESTRICTIONS
 No property within the area of requested final action shall at any time be subject to a deed restriction, covenant or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat or site development plan for subdivision. (Section 14-14-4-7)

- EASEMENT NOTES:**
- A. Portion of the 50' Prospect Avenue public right-of-way that was dedicated by the plat of Zuni Addition, is vacated by D.R.B. action: Project# 1007099, 08DRB-70414. The vacated right of way contains an area of 10,356 sq. ft.
 - B. 10' Public Utility & Drainage Easement granted by the plat of Zuni Addition, recorded on December 12, 1950 in Vol. D, Folio 104. The hatched areas of this easement are hereby vacated by D.R.B. action: Project# 1007099, 08DRB-70413.
 - C. 20 A.T. & T. Easement granted by the plat of Zuni Addition, recorded on December 12, 1950 in Vol. D, Folio 104. The hatched area of this easement is hereby vacated by D.R.B. action: Project# 1007099, 08DRB-70413.
 - D. Public Roadway Easement granted by this plat. The road within this easement shall be privately maintained by the owners of Tract A shown hereon. This easement shall also serve as a Public Water, Public Sanitary Sewer, Public Drainage and Public Utility Easement.
 - E. Public Sidewalk Easements granted by this plat.
 - F. 10' Public Water Easement granted by this plat.
 - G. 7' Public Utility Easement granted by this plat.

LINE	LENGTH	BEARING
L1	133.36	N00°33'24"W
L2	111.77	N00°33'24"W
L3	19.36	S89°26'36"W
L4	10.00	N00°33'24"W
L5	19.36	S89°26'36"W
L6	21.53	N00°33'24"W
L7	134.85	S89°26'36"W
L8	126.49	S89°26'36"W
L9	52.93	N70°46'22"E
L10	35.38	N70°46'22"E
L11	16.43	N19°13'38"W
L12	10.00	N70°46'22"E
L13	16.43	N19°13'38"W
L14	6.86	N70°46'22"E
L15	37.72	N10°31'33"E
L16	25.37	N00°33'24"W
L17	89.24	N04°05'25"W
L24	147.15	N00°33'24"W
L25	5.59	S19°26'21"E
L26	1.88	S70°46'22"W
L27	218.07	N89°51'00"E
L28	27.50	S79°16'13"E

CURVE	LENGTH	RADIUS	CHORD BEARING	CHORD	DELTA
C1	47.12	30.00	N44°51'00"E	42.43	90°00'00"
C5	162.02	638.80	N07°24'58"W	161.59	14°31'55"
C6	47.81	521.30	N17°05'42"W	47.79	5°15'17"
C8	286.89	353.80	N42°57'09"W	279.09	46°27'35"
C9	31.23	378.07	S16°55'24"E	31.22	4°43'56"
C10	10.05	378.07	S13°47'46"E	10.05	1°31'20"
C11	71.35	378.07	S07°37'42"E	71.25	10°48'48"
C12	21.26	23.50	S25°46'13"W	20.54	51°50'14"
C13	17.31	13.15	N41°48'09"W	16.09	75°25'28"
C14	7.82	5.00	N45°21'12"W	7.05	89°35'36"
C15	19.50	23.50	N15°04'29"E	18.95	47°32'40"
C16	8.65	23.50	N66°27'40"E	8.60	21°05'39"
C17	49.74	397.80	S15°17'54"E	49.71	7°09'50"
C18	52.60	403.80	S15°57'23"E	52.56	7°27'49"



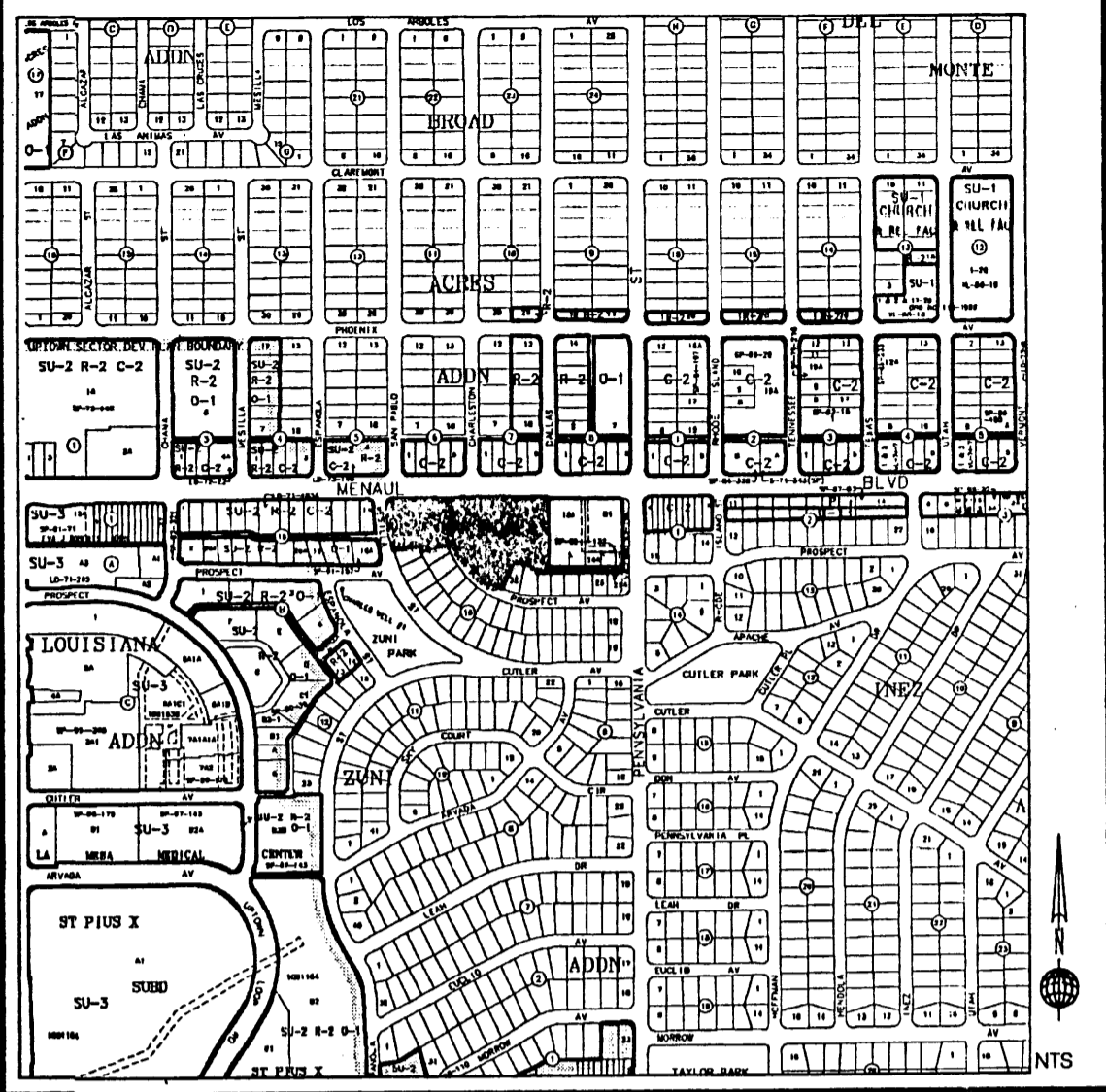
MONUMENT LEGEND

- ▲ - FOUND CONTROL STATION AS NOTED
- - FOUND MONUMENT AS NOTED
- - SET 1/2" REBAR W/YELLOW PLASTIC CAP STAMPED "G. GRITSKO PLS8686" UNLESS OTHERWISE NOTED

DOC# 2009065591
 06/11/2009 10:39 AM Page: 2 of 2
 City: PLAT R \$12.00 B: 2009C P: 0091 R: Toulouse Oliviere, Bernalillo Cou

SHEET 2 OF 2
ALPHA PROFESSIONAL SURVEYING, INC.
 P.O. BOX 46316, RIO RANCHO, NEW MEXICO 87174
 PHONE (505) 892-1076 FAX (505) 891-0471
 DRAWN BY: GEG FILE NO: 08-125P

Plat of
TRACT A,
Blocks 16 & 17,
ZUNI ADDITION
Section 7, T10N, R4E, NMPM,
City of Albuquerque,
Bernalillo County, New Mexico
November 2008



VICINITY MAP ZONE ATLAS H-19

LEGAL DESCRIPTION

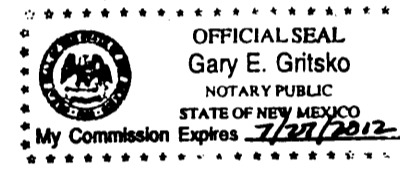
Lots 1, 2, 3, 37, 38, 39, EXCEPTING the southerly Eleven feet of Lot 37 as described in Warranty Deed dated February 27, 1969, filed in Book D959, Page 181, records of Bernalillo County, New Mexico, all within Block 16; the vacated southerly 40 feet of Menaul Blvd. N.E. between Mesilla NE and Prospect NE, adjacent to said Block 16; and Lots 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 33, 34, 35, 36, 37, & 38 all in Block 17 of ZUNI ADDITION, Albuquerque, Bernalillo County, New Mexico, as the same are shown and designated on the map thereof filed in the office of the County Clerk of Bernalillo County, New Mexico, on December 11, 1950, in Plat Volume D, folio 104; TOGETHER WITH a portion of the Prospect Avenue N.E. right of way as vacated by the City of Albuquerque Development Review Board action 08DRB-70414, Project #1007099, dated October 15, 2008. Said entire parcel being more particularly described as follows:
Beginning at the northeast corner of the tract herein described, being the northeast corner of Lot 11, Block 17, ZUNI ADDITION, whence the Albuquerque Geographic Reference System Station "11-H19" bears N.88°15'40"E., 1617.13 feet distant; thence, S.00°07'00"E., 303.80 feet to the southeast corner of Lot 11, Block 17, ZUNI ADDITION; thence, S.89°51'00"W., 45.05 feet; thence, N.77°09'11"W., 97.15 feet; thence, S.21°52'16"W., 120.10 feet to the southeast corner of Lot 33, Block 17, ZUNI ADDITION; thence, northwesterly, along a curve to the right with a radius of 353.80 feet, an arc length of 286.89 feet, a central angle of 46°27'35", and a chord bearing N.42°57'09"W., 279.09 feet to the northwest corner of Lot 36, Block 17, ZUNI ADDITION; thence, S.70°16'39"W., 167.50 feet to the southwest corner of Lot 3, Block 16, ZUNI ADDITION; thence, northwesterly, along a curve to the right with a radius of 521.30 feet, an arc length of 47.81 feet, a central angle of 05°15'17", and a chord bearing N.17°05'42"W., 47.79 feet to an angle point; thence, S.74°22'03"W., 117.52 feet to the southwest corner of the tract herein described, a point on the easterly right of way line of Mesilla Avenue N.E.; thence, northwesterly, along a curve to the right with a radius of 638.80 feet, an arc length of 162.02 feet, a central angle of 14°31'55", and a chord bearing N.07°24'58"W., 161.59 feet to a point of tangency; thence, N.00°09'00"W., 40.00 feet to a point of curvature; thence, northeasterly, along a curve to the right with a radius of 30.00 feet, an arc length of 47.12 feet, a central angle of 90°00'00", and a chord bearing N.44°51'00"E., 42.43 feet to a point of tangency on the present southerly right of way line of Menaul Boulevard N.E.; thence, N.89°51'00"E., 650.00 feet along said right of way line to the point of beginning. Containing 4.1830 acres, more or less.

FREE CONSENT

THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THE PROPERTY DESCRIBED HEREON DO HEREBY CONSENT TO THE PLATTING OF SAID PROPERTY AS SHOWN HEREON AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THEIR DESIRES AND DO HEREBY REPRESENT THAT THE UNDERSIGNED INDIVIDUALS ARE AUTHORIZED TO SO ACT AND DO HEREBY GRANT ADDITIONAL EASEMENT(S) AS SHOWN. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

Robert Goodman
Robert Goodman, Executive Director of Sandia Foundation, a NM Non-profit corporation.

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) SS
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON Nov. 17, 2008.
BY: Robert Goodman, Executive Director of Sandia Foundation, a NM Non-profit corporation
My Commission Expires: 7/27/2012 *Larry E. Gritsko*
NOTARY PUBLIC



PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- 1. THE PUBLIC SERVICE COMPANY OF NEW MEXICO ELECTRIC SERVICES FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
- 2. THE PUBLIC SERVICE COMPANY OF NEW MEXICO GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.
- 3. QWEST COMMUNICATIONS FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND ENCLOSURES.
- 4. COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND OVER-HEAD CABLE TV LINES, RELATED EQUIPMENT AND OTHER FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICES.

INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURES SHALL NOT BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING OR ANY STRUCTURES ADJACENT TO, WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

IN APPROVING THIS PLAT, P.N.M. ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED, EXCEPT THOSE EASEMENTS SPECIFICALLY SHOWN OR NOTED AS VACATED BY THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHEGARS, AS INSTALLED, SHALL EXTEND TEN FEET (10) IN FRONT OF TRANSFORMER/SWITCHEGAR DOORS AND FIVE FEET (5) ON EACH SIDE.

Thomas Vigil 11-24-08
P.N.M. ELECTRIC AND GAS SERVICES DATE
Greg Am... 12-9-08
QWEST COMMUNICATIONS DATE
Kevin... 11-24-08
COMCAST CABLE DATE

PURPOSE OF PLAT

THE PURPOSE OF THIS PLAT IS TO VACATE VARIOUS PUBLIC UTILITY EASEMENTS, VACATE A PORTION OF PROSPECT AVE. NE, TO ELIMINATE THE LOT LINES BETWEEN 23 EXISTING LOTS AND PORTIONS OF LOTS, CREATING ONE NEW TRACT, AND TO GRANT ADDITIONAL EASEMENTS AS SHOWN.

CITY DRB APPROVALS:

PROJECT NO: 1007099 APPLICATION NO. 08DRB- 70492
[Signature] 11-17-08
CITY SURVEYOR DATE
[Signature] 11/26/08
TRAFFIC ENGINEERING DATE
Christina Sandoval 11/26/08
PARKS & RECREATION DEPARTMENT DATE
[Signature] 11-26-08
UTILITIES DEVELOPMENT DATE
Bradley L. Bingham 11/26/08
A.M.A.F.C.A. DATE
Bradley L. Bingham 11/26/08
CITY ENGINEER DATE
[Signature] 6-4-09
DRB CHAIRPERSON, PLANNING DEPARTMENT DATE
[Signature] 5-21-09
PROPERTY MANAGEMENT DATE

SURVEYOR'S CERTIFICATION

I, Gary E. Gritsko, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico and is true and correct to the best of my knowledge and belief.

Larry E. Gritsko Nov. 14, 2008
Gary E. Gritsko, N.M.P.S. No. 8686 Date



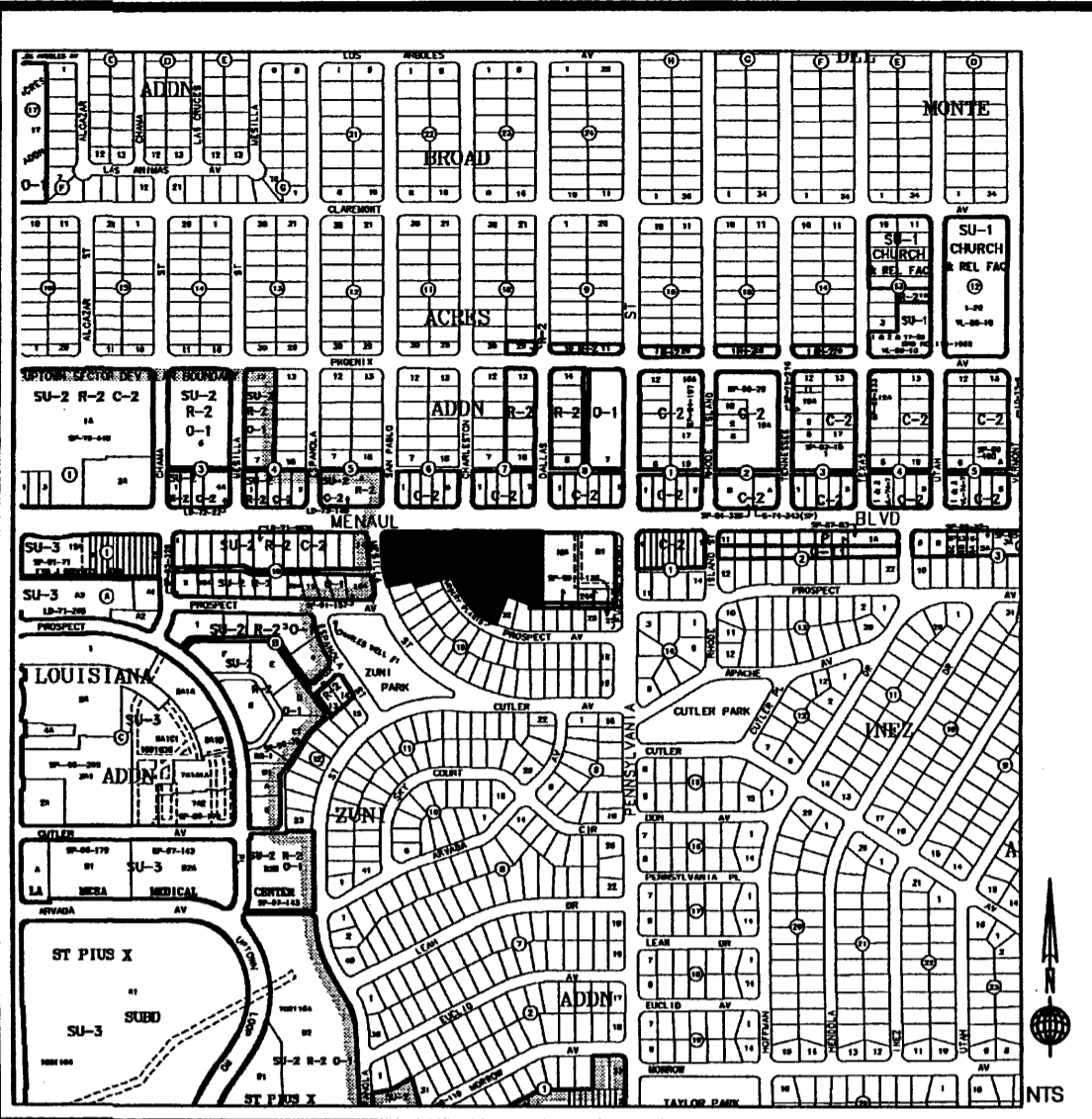
DOCH 2009065591
06/11/2009 10:39 AM Page: 1 of 2
PLAT R: \$12.00 B: 2009C P: 0051 M: Toulous Olivero, Bernalillo Cou

SUBDIVISION NOTES

- 1. BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE, NAD83, AND ARE BASED ON GPS OBSERVATIONS REFERENCED TO AGRS CONTROL STATION 11-H19.
- 2. RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESIS () WHERE RECORD DATA DIFFERS FROM MEASURED DATA.
- 3. DISTANCES ARE GROUND DISTANCES IN US FEET.
- 4. PLAT SHOWS ALL EASEMENTS OF RECORD.
- 5. GROSS AREA: 4.1830 ACRES, MORE OR LESS
- 6. NUMBER OF EXISTING LOTS: 23
- 7. NUMBER OF LOTS CREATED: 1

THIS IS TO CERTIFY THAT TAXES ARE CURRENT & PAID ON
UPC#: 0190519425231501
PROPERTY OWNER OF RECORD: Sandia Foundation
BERNALILLO COUNTY TREASURER'S OFFICE: Cynthia Trujillo 11/4/09

SHEET 1 OF 2
ALPHA PROFESSIONAL SURVEYING, INC.
P.O. BOX 46316, RIO RANCHO, NEW MEXICO 87174
(505) 892-1076 FAX (505) 891-0471
DRAWN BY: GEG FILE NO: 08-125P



VICINITY MAP ZONE ATLAS H19

SUBDIVISION NOTES

1. BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE, NAD83, AND ARE BASED ON GPS OBSERVATIONS REFERENCED TO ACS CONTROL MONUMENT 11-H19.
2. RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESIS () WHERE RECORD DATA DIFFERS FROM MEASURED DATA.
3. DISTANCES ARE GROUND DISTANCES IN US FEET.
4. PLAT SHOWS ALL EASEMENTS OF RECORD.
5. GROSS AREA: 4.1830 ACRES, MORE OR LESS
6. NUMBER OF EXISTING LOTS: 23
7. NUMBER OF LOTS CREATED: 1

THIS IS TO CERTIFY THAT TAXES ARE CURRENT & PAID ON

UPC#: _____
 PROPERTY OWNER OF RECORD: _____
 BERNALILLO COUNTY TREASURER'S OFFICE: _____

Talos Log No.: 2008-

LEGAL DESCRIPTION

Lots 1, 2, 3, 38, 39 and the Northerly 58.20 feet of Lot 37, and the vacated southerly 40 feet of Menaul Blvd. N.E. between Mesilla NE and Prospect NE, all in Block 16; AND Lots 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 33, 34, 35, 36, 37, & 38 all in Block 17 of ZUNI ADDITION, Albuquerque, Bernalillo County, New Mexico, as the same are shown and designated on the map thereof filed in the office of the County Clerk of Bernalillo County, New Mexico, on December 11, 1950, in Plat Volume D, folio 104.

FREE CONSENT

THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THE PROPERTY DESCRIBED HEREON DO HEREBY CONSENT TO THE PLATTING OF SAID PROPERTY AS SHOWN HEREON AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THEIR DESIRES AND DO HEREBY REPRESENT THAT THE UNDERSIGNED INDIVIDUALS ARE AUTHORIZED TO SO ACT AND DO HEREBY GRANT ADDITIONAL EASEMENT(S) AS SHOWN. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

Sandia Foundation

STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO)
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON _____, 2008.
 BY: _____
 MY COMMISSION EXPIRES: _____ NOTARY PUBLIC

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

1. THE PUBLIC SERVICE COMPANY OF NEW MEXICO ELECTRIC SERVICES FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
2. THE PUBLIC SERVICE COMPANY OF NEW MEXICO GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.
3. QWEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
4. COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRIC SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO, WITHIN, OR NEAR EASEMENTS SHOWN ON THIS PLAT.

PNM ELECTRIC AND GAS SERVICES EASEMENT RELEASE APPROVAL

PNM Electric and Gas Services does hereby release, waive, quitclaim and discharge its right, title and interest in the easements (granted by prior plat, replat or document) shown to be vacated on this plat.

 P.N.M. GAS SERVICES/P.N.M. ELECTRIC SERVICES DATE

 QWEST TELECOMMUNICATIONS DATE

 COMCAST CABLE DATE

PLAT OF
 Tract A in Blocks 16 & 17
 ZUNI ADDITION
 Section 7, T10N, R4E, NMPM
 City of Albuquerque
 Bernalillo County, New Mexico
 September 2008

PURPOSE OF PLAT

THE PURPOSE OF THIS PLAT IS TO VACATE VARIOUS PUBLIC UTILITY EASEMENTS, VACATE A PORTION OF PROSPECT AVE. AND ELIMINATE THE LOT LINES BETWEEN 23 EXISTING LOTS, CREATING ONE NEW TRACT.

CITY DRB APPROVALS:

PROJECT NO. _____ APPLICATION NO. _____

_____ CITY SURVEYOR	_____ DATE
_____ TRAFFIC ENGINEERING	_____ DATE
_____ PARKS & RECREATION DEPARTMENT	_____ DATE
_____ UTILITIES DEVELOPMENT	_____ DATE
_____ A.M.A.F.C.A.	_____ DATE
_____ CITY ENGINEER	_____ DATE
_____ DRB CHAIRPERSON, PLANNING DEPARTMENT	_____ DATE

SURVEYOR'S CERTIFICATION

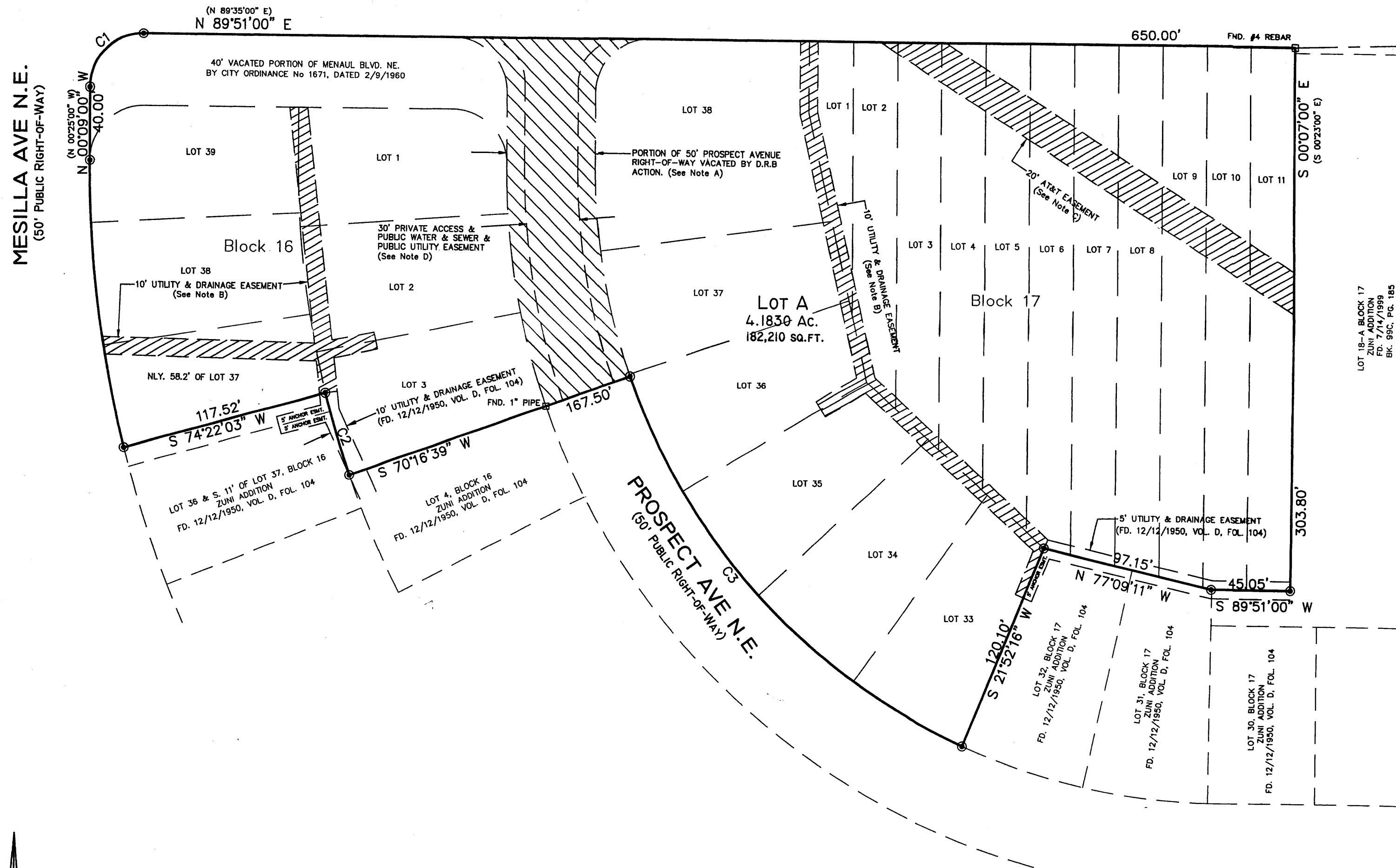
I, Gary E. Gritsko, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico and is true and correct to the best of my knowledge and belief.

 Gary E. Gritsko, N.M.P.S. No. 8686 Date

ALPHA PROFESSIONAL SURVEYING, INC.
 P.O. BOX 46316, RIO RANCHO, NEW MEXICO 87174
 (505) 892-1076 FAX (505) 891-0471
 DRAWN BY: GEG FILE NO: 08-125P

PLAT OF
 Tract A in Blocks 16 & 17
 ZUNI ADDITION
 Section 7, T10N, R4E, NMPM
 City of Albuquerque
 Bernalillo County, New Mexico
 September 2008

MENAUD BLVD. N.E.
 (100' PUBLIC RIGHT-OF-WAY)

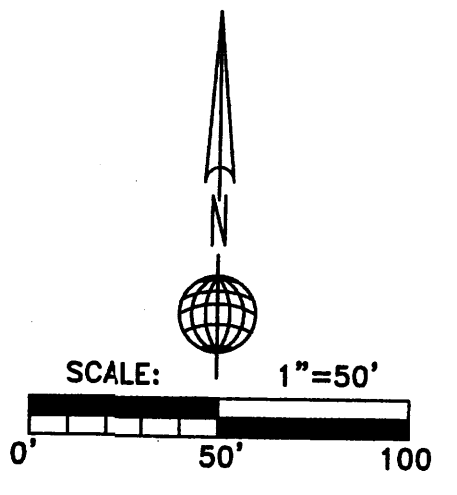


AGRS CONTROL STATION "11-H19"
 NM STATE PLANE COORDINATES
 (NAD 1983) CENTRAL ZONE
 N=1495164.914
 Y=1548977.780
 ELEV: 5364.257 (NAVD 88)
 G/G FAC.=0.999656857
 MAPPING ANGLE: -0°10'33"

NOTE: SOLAR RESTRICTIONS
 No property within the area of requested final action shall at any time be subject to a deed restriction, covenant or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat or site development plan for subdivision. (Section 14-14-4-7)

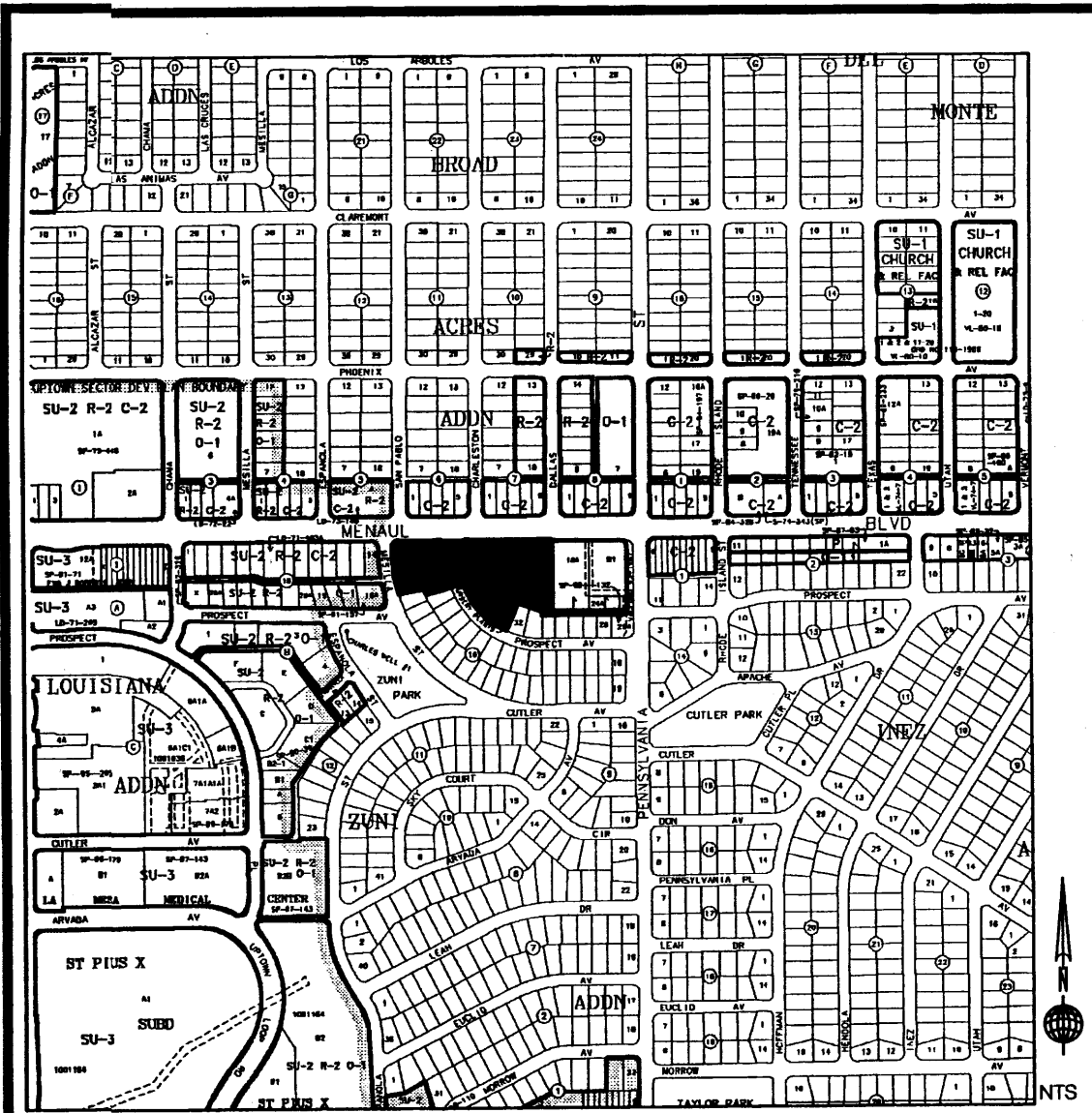
EASEMENT NOTES:
 A. Portion of the 50' Prospect Avenue right-of-way that was dedicated by the plat of Zuni Addition, is vacated by D.R.B. action, Case No. _____. The hatched area contains an area of 10,356 sq. ft.
 B. 10' Public Utility & Drainage Easement granted by the plat of Zuni Addition, recorded on December 12, 1950 in Vol. D, Folio 104. The hatched areas of this easement are hereby vacated by this platting action.
 C. 20' A.T. & T. Easement granted by the plat of Zuni Addition, recorded on December 12, 1950 in Vol. D, Folio 104. The hatched area of this easement is hereby vacated by this platting action.
 D. 30' Private Access, Public Water & Sewer & Public Utility Easement granted by this plat. The owners of Tract A shown hereon and the owners of the Lots with frontage on Prospect Avenue located south and east of Tract A shall benefit from this easement for ingress and egress to and from Menaul Blvd. NE. The road within this easement shall be maintained by the owners of said Tract A

CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD BEARING	CHORD
C1	47.12	30.00	S44°51'00"W	42.43
C2	47.81	521.30	S17°05'22"E	47.79
C3	286.89	353.80	N42°57'09"W	279.09



MONUMENT LEGEND
 △ - FOUND CONTROL STATION AS NOTED
 □ - FOUND MONUMENT AS NOTED
 ⊙ - SET 1/2" REBAR W/YELLOW PLASTIC CAP STAMPED "GRITSKO LS8686" UNLESS OTHERWISE NOTED

SHEET 2 OF 2
ALPHA PROFESSIONAL SURVEYING, INC.
 P.O. BOX 46316, RIO RANCHO, NEW MEXICO 87174
 PHONE (505) 892-1076 FAX (505) 891-0471
 DRAWN BY: GEG FILE NO: 08-125P



VICINITY MAP ZONE ATLAS H-19

SUBDIVISION NOTES

1. BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE, NAD83, AND ARE BASED ON GPS OBSERVATIONS REFERENCED TO AGRS CONTROL STATION 11-H19.
2. RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESIS () WHERE RECORD DATA DIFFERS FROM MEASURED DATA.
3. DISTANCES ARE GROUND DISTANCES IN US FEET.
4. PLAT SHOWS ALL EASEMENTS OF RECORD.
5. GROSS AREA: 4.1830 ACRES, MORE OR LESS
6. NUMBER OF EXISTING LOTS: 23
7. NUMBER OF LOTS CREATED: 1

THIS IS TO CERTIFY THAT TAXES ARE CURRENT & PAID ON
 UPC#: _____
 PROPERTY OWNER OF RECORD: _____
 BERNALILLO COUNTY TREASURER'S OFFICE: _____

LEGAL DESCRIPTION

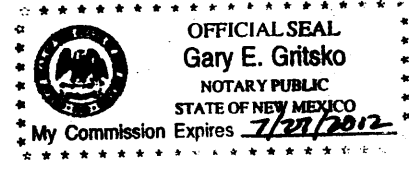
Lots 1, 2, 3, 37, 38, 39, EXCEPTING the southerly Eleven feet of Lot 37 as described in Warranty Deed dated February 27, 1969, filed in Book D959, Page 181, records of Bernalillo County, New Mexico, all within Block 16; the vacated southerly 40 feet of Menaul Blvd. N.E. between Mesilla NE and Prospect NE, adjacent to said Block 16; and Lots 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 33, 34, 35, 36, 37, & 38 all in Block 17 of ZUNI ADDITION, Albuquerque, Bernalillo County, New Mexico, as the same are shown and designated on the map thereof filed in the office of the County Clerk of Bernalillo County, New Mexico, on December 11, 1950, in Plat Volume D, folio 104: TOGETHER WITH a portion of the Prospect Avenue N.E. right of way as vacated by the City of Albuquerque Development Review Board action 08DRB-70414, Project #1007099, dated October 15, 2008. Said entire parcel being more particularly described as follows:
 Beginning at the northeast corner of the tract herein described, being the northeast corner of Lot 11, Block 17, ZUNI ADDITION, whence the Albuquerque Geographic Reference System Station "11-H19" bears N.88°15'40"E., 1617.13 feet distant; thence, S.00°07'00"E., 303.80 feet to the southeast corner of Lot 11, Block 17, ZUNI ADDITION; thence, S.89°51'00"W., 45.05 feet; thence, N.77°09'11"W., 97.15 feet; thence, S.21°52'16"W., 120.10 feet to the southeast corner of Lot 33, Block 17, ZUNI ADDITION; thence, northwesterly, along a curve to the right with a radius of 353.80 feet, an arc length of 286.89 feet, a central angle of 46°27'35", and a chord bearing N.42°57'09"W., 279.09 feet to the northwest corner of Lot 36, Block 17, ZUNI ADDITION; thence, S.70°16'39"W., 167.50 feet to the southwest corner of Lot 3, Block 16, ZUNI ADDITION; thence, northwesterly, along a curve to the right with a radius of 521.30 feet, an arc length of 47.81 feet, a central angle of 05°15'17", and a chord bearing N.17°05'42"W., 47.79 feet to an angle point; thence, S.74°22'03"W., 117.52 feet to the southwest corner of the tract herein described, a point on the easterly right of way line of Mesilla Avenue N.E.; thence, northwesterly, along a curve to the right with a radius of 638.80 feet, an arc length of 162.02 feet, a central angle of 14°31'55", and a chord bearing N.07°24'58"W., 161.59 feet to a point of tangency; thence, N.00°09'00"W., 40.00 feet to a point of curvature; thence, northeasterly, along a curve to the right with a radius of 30.00 feet, an arc length of 47.12 feet, a central angle of 90°00'00", and a chord bearing N.44°51'00"E., 42.43 feet to a point of tangency on the present southerly right of way line of Menaul Boulevard N.E.; thence, N.89°51'00"E., 650.00 feet along said right of way line to the point of beginning. Containing 4.1830 acres, more or less.

FREE CONSENT

THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THE PROPERTY DESCRIBED HEREON DO HEREBY CONSENT TO THE PLATTING OF SAID PROPERTY AS SHOWN HEREON AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THEIR DESIRES AND DO HEREBY REPRESENT THAT THE UNDERSIGNED INDIVIDUALS ARE AUTHORIZED TO SO ACT AND DO HEREBY GRANT ADDITIONAL EASEMENT(S) AS SHOWN. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

Robert Goodman
 Robert Goodman, Executive Director of Sandia Foundation, a NM Non-profit corporation.

STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO) SS
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON Nov. 17, 2008.
 BY: Robert Goodman, Executive Director of Sandia Foundation, a NM Non-profit corporation
 MY COMMISSION EXPIRES: 7/27/2012 *Lange E. Gritsko*
 NOTARY PUBLIC



PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

1. THE PUBLIC SERVICE COMPANY OF NEW MEXICO ELECTRIC SERVICES FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
2. THE PUBLIC SERVICE COMPANY OF NEW MEXICO GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.
3. QWEST COMMUNICATIONS FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND ENCLOSURES.
4. COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND OVERHEAD CABLE TV LINES, RELATED EQUIPMENT AND OTHER FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICES.

INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURES SHALL NOT BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING OR ANY STRUCTURES ADJACENT TO, WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

IN APPROVING THIS PLAT, P.N.M. ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED, EXCEPT THOSE EASEMENTS SPECIFICALLY SHOWN OR NOTED AS VACATED BY THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE FEET (5') ON EACH SIDE.

 P.N.M. ELECTRIC AND GAS SERVICES DATE _____

 QWEST COMMUNICATIONS DATE _____

 COMCAST CABLE DATE _____

Talos Log No.: 2008-4629-65

Plat of
TRACT A,
 Blocks 16 & 17,
ZUNI ADDITION
 Section 7, T10N, R4E, NMPM,
 City of Albuquerque,
 Bernalillo County, New Mexico
 November 2008

PURPOSE OF PLAT

THE PURPOSE OF THIS PLAT IS TO VACATE VARIOUS PUBLIC UTILITY EASEMENTS, VACATE A PORTION OF PROSPECT AVE. NE, TO ELIMINATE THE LOT LINES BETWEEN 23 EXISTING LOTS AND PORTIONS OF LOTS, CREATING ONE NEW TRACT, AND TO GRANT ADDITIONAL EASEMENTS AS SHOWN.

CITY DRB APPROVALS:

PROJECT NO: 1003604	APPLICATION NO. 08DRB-
<i>G. B. Smith</i>	11-17-08
CITY SURVEYOR	DATE
TRAFFIC ENGINEERING	DATE
PARKS & RECREATION DEPARTMENT	DATE
UTILITIES DEVELOPMENT	DATE
A.M.A.F.C.A.	DATE
CITY ENGINEER	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

SURVEYOR'S CERTIFICATION

I, Gary E. Gritsko, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico and is true and correct to the best of my knowledge and belief.

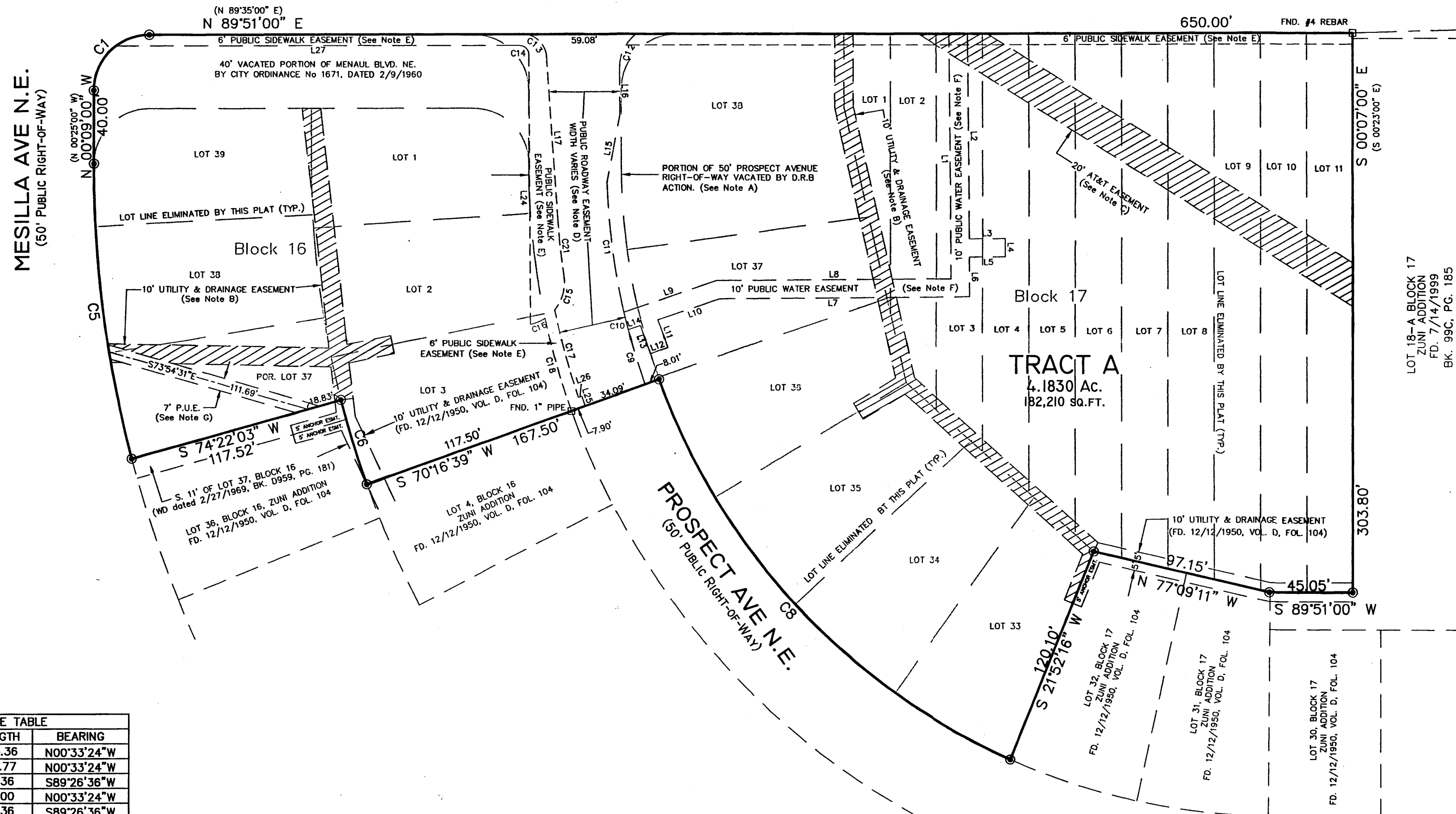
Gary E. Gritsko Nov. 14, 2008
 Gary E. Gritsko, N.M.P.S. No. 8686 Date



ALPHA PROFESSIONAL SURVEYING, INC.
 P.O. BOX 46316, RIO RANCHO, NEW MEXICO 87174
 (505) 892-1076 FAX (505) 891-0471
 DRAWN BY: GEG FILE NO: 08-125P

Plat of
TRACT A,
 Blocks 16 & 17,
ZUNI ADDITION
 Section 7, T10N, R4E, NMPM,
 City of Albuquerque,
 Bernalillo County, New Mexico
 November 2008

MENAU BLVD. N.E.
 (100' PUBLIC RIGHT-OF-WAY)



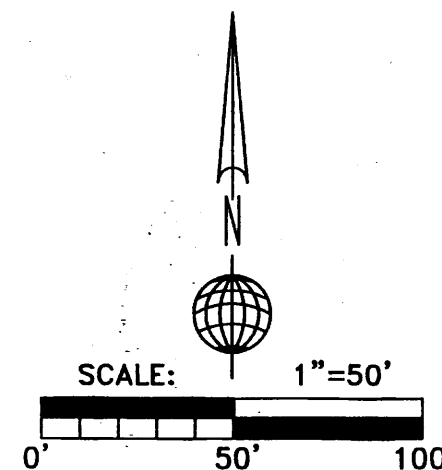
AGRS CONTROL STATION "11-H19"
 NM STATE PLANE COORDINATES
 (NAD 1983) CENTRAL ZONE
 N=1495164.914
 Y=1548977.780
 ELEV: 5364.257 (NAVD 88)
 G/G FAC.=0.999656857
 MAPPING ANGLE: -0°10' 33.04"

NOTE: SOLAR RESTRICTIONS
 No property within the area of requested final action shall at any time be subject to a deed restriction, covenant or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat or site development plan for subdivision. (Section 14-14-7)

- EASEMENT NOTES:**
- A. Portion of the 50' Prospect Avenue public right-of-way that was dedicated by the plat of Zuni Addition, is vacated by D.R.B. action: Project# 1007099, 08DRB-70414. The vacated right of way contains an area of 10,356 sq. ft.
 - B. 10' Public Utility & Drainage Easement granted by the plat of Zuni Addition, recorded on December 12, 1950 in Vol. D, Folio 104. The hatched areas of this easement are hereby vacated by D.R.B. action: Project# 1007099, 08DRB-70413.
 - C. 20' A.T. & T. Easement granted by the plat of Zuni Addition, recorded on December 12, 1950 in Vol. D, Folio 104. The hatched area of this easement is hereby vacated by D.R.B. action: Project# 1007099, 08DRB-70413.
 - D. Public Roadway Easement granted by this plat. The road within this easement shall be privately maintained by the owners of Tract A shown hereon. This easement shall also serve as a Public Water, Public Sanitary Sewer, Public Drainage and Public Utility Easement.
 - E. Public Sidewalk Easements granted by this plat.
 - F. 10' Public Water Easement granted by this plat.
 - G. 7' Public Utility Easement granted by this plat.

LINE	LENGTH	BEARING
L1	133.36	N00°33'24"W
L2	111.77	N00°33'24"W
L3	19.36	S89°26'36"W
L4	10.00	N00°33'24"W
L5	19.36	S89°26'36"W
L6	21.53	N00°33'24"W
L7	134.85	S89°26'36"W
L8	126.49	S89°26'36"W
L9	52.93	N70°46'22"E
L10	35.38	N70°46'22"E
L11	16.43	N19°13'38"W
L12	10.00	N70°46'22"E
L13	16.43	N19°13'38"W
L14	6.86	N70°46'22"E
L15	37.72	N10°31'33"E
L16	25.37	N00°33'24"W
L17	89.24	N04°05'25"W
L24	147.15	N00°33'24"W
L25	5.59	S19°26'21"E
L26	1.88	S70°46'22"W
L27	218.07	N89°51'00"E

CURVE	LENGTH	RADIUS	CHORD BEARING	CHORD	DELTA
C1	47.12	30.00	N44°51'00"E	42.43	90°00'00"
C5	162.02	638.80	N07°24'58"W	161.59	14°31'55"
C6	47.81	521.30	N17°05'42"W	47.79	5°15'17"
C8	286.89	353.80	N42°57'09"W	279.09	46°27'35"
C9	31.23	378.07	S16°55'24"E	31.22	4°43'56"
C10	10.05	378.07	S13°47'46"E	10.05	1°31'20"
C11	71.35	378.07	S07°37'42"E	71.25	10°48'48"
C12	21.26	23.50	S25°46'13"W	20.54	51°50'14"
C13	17.31	13.15	N41°48'09"W	16.09	75°25'28"
C14	7.82	5.00	N45°21'12"W	7.05	89°35'36"
C15	19.50	23.50	N15°04'29"E	18.95	47°32'40"
C16	8.65	23.50	N66°27'40"E	8.60	21°05'39"
C17	49.74	397.80	S15°17'54"E	49.71	7°09'50"
C18	52.80	403.80	S15°57'23"E	52.56	7°27'49"



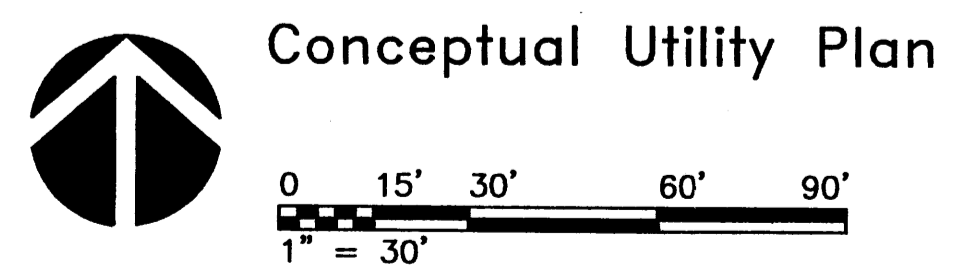
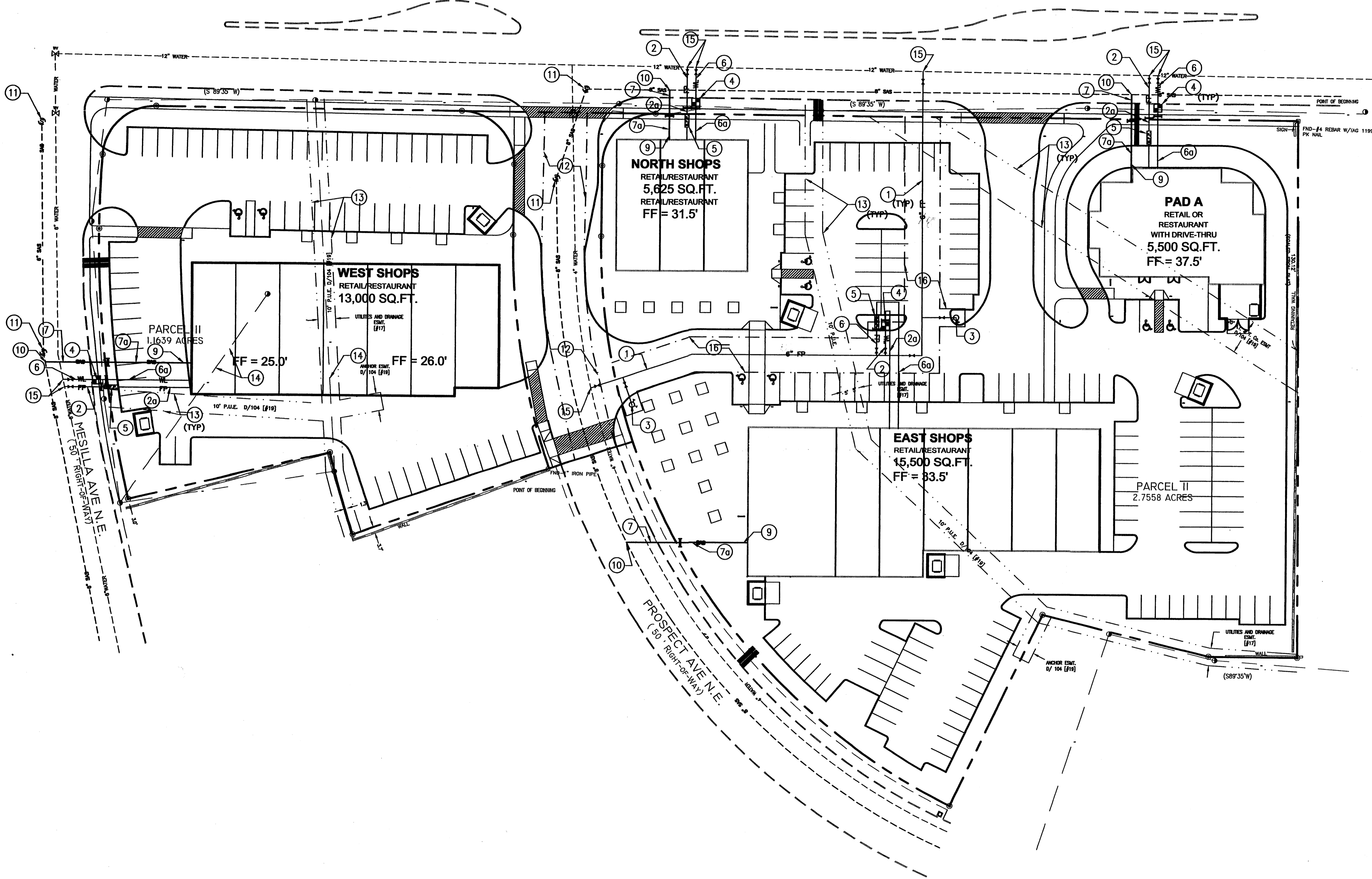
MONUMENT LEGEND

- △ - FOUND CONTROL STATION AS NOTED
- - FOUND MONUMENT AS NOTED
- ⊙ - SET 1/2" REBAR W/YELLOW PLASTIC CAP STAMPED "G. GRITSKO PLS8686" UNLESS OTHERWISE NOTED

ALPHA PROFESSIONAL SURVEYING, INC.
 P.O. BOX 46316, RIO RANCHO, NEW MEXICO 87174
 PHONE (505) 892-1076 FAX (505) 891-0471
 DRAWN BY: GEG FILE NO: 08-125P

File Path: E:\WORK\41084G.DWG
 File Name: 41084G.DWG
 Plot Date: 09-27-2008
 Plot Time: 10:00 am

7402 MENAUL BLVD. N.E.
 (100' RIGHT-OF-WAY)



Conceptual Utility Plan

KEYED NOTES:

1. NEW PUBLIC WATER LINE -BY CITY WORK ORDER
2. NEW FIRE LINE -BY CITY WORK ORDER
- 2a. NEW FIRE LINE -BY BUILDING PERMIT
3. NEW FIRE HYDRANT -BY CITY WORK ORDER
4. NEW WATER METER
5. NEW PRIVATE BACKFLOW PREVENTOR
6. NEW WATER SERVICE LINE -BY CITY WORK ORDER
- 6a. NEW WATER SERVICE LINE -BY BUILDING PERMIT
7. NEW SANITARY SEWER SERVICE LINE -BY CITY WORK ORDER
- 7a. NEW SANITARY SEWER SERVICE LINE -BY BUILDING PERMIT
8. NEW SINGLE CLEAN OUT -BY BUILDING PERMIT
9. NEW DOUBLE CLEAN-OUT -BY BUILDING PERMIT
10. CONNECT TO SANITARY SEWER MAIN
11. CONNECT TO EXISTING SANITARY SEWER MANHOLE
12. RETAIN 24' WIDE PUBLIC WATER & SEWER EASEMENT WITH PARTIAL VACATION OF PROSPECT AVE
13. EXISTING EASEMENTS TO BE VACATED
14. EXISTING OVERHEAD ELECTRICAL TO BE RELOCATED
15. CONNECT TO EXISTING WATER MAIN
16. NEW 20' PUBLIC WATER EASEMENT BY PLAT

DRB AGENDA #4
 10/7/08
 Site Plan Approval
 Menaul + Prospect
 Retail Center
 Jack Cloud

LEGEND

- WATER VALVE
- FIRE HYDRANT
- WATER METER
- B.F.P. BACKFLOW PREVENTOR
- SINGLE CLEANOUT
- DOUBLE CLEANOUT
- SEWER MANHOLE
- SIDEWALK CULVERT

Prepared for:
Menaul + Prospect Retail Center
 Conceptual Utility Plan
 10522 Florence Ave. NE, Albuquerque, NM
 505-235-1426
 City Jackson & Associates, LLC

SCALE: 1"=30'

REVISIONS

NO.	DESCRIPTION
1.	
2.	
3.	
4.	
5.	
6.	
7.	

ENGINEER: GJA
 DRAFTSMAN: GJA
 CHECKED BY: GJA
 DATE
 10-8-08

GENERAL NOTES

- MESILLA AVE. NE ABUTS THE PROPERTY AT THE WEST, MENAUL BLVD. NE ABUTS THE PROPERTY AT THE NORTH.
- CITY BUS ROUTE RUNS ALONG MENAUL BLVD. NE
- THERE IS AN EXISTING BIKE ROUTE CONNECTION SOUTH OF THE SITE AT CUTLER, AND A BIKE LANE EAST OF THE SITE ON PENNSYLVANIA
- IT IS ANTICIPATED THAT APPROXIMATELY 15,000 SF OF THE DEVELOPMENT WILL BE LEASED TO RESTAURANT TENANTS WITH THE BALANCE LEASED TO OTHER RETAIL USES. IT IS UNKNOWN WHICH PORTIONS OF WHICH BUILDINGS WILL HOUSE SPECIFIC USES AND/OR HOW MANY SEATS EACH RESTAURANT USE WILL REQUIRE. CALCULATIONS PROVIDED HERE ARE BASED ON A HYPOTHETICAL SCENARIO. THE APPLICANT REQUESTS THAT NO CAP BE PLACED ON ALLOWABLE RESTAURANT USES (OTHER THAN BY PARKING CAPACITY) SINCE MARKET CONDITIONS MAY DICTATE DIFFERENT COMBINATIONS OF USES FROM YEAR TO YEAR.
- ADJACENT DEVELOPMENT LOCATED ON PLAN IS APPROXIMATED FROM AN AERIAL PHOTOGRAPH. SURVEY INFORMATION FOR ADJACENT SITES WAS NOT AVAILABLE TO THE APPLICANT.
- OUTDOOR RESTAURANT SEATING WITHIN 75' OF A RESIDENTIAL ZONE SHALL NOT OPERATE PAST 10 P.M.
- SITE DEVELOPMENT PLAN SHALL COMPLY WITH COA ZONE CODE SECTION 14-16-3-18 GENERAL BUILDING AND SITE DESIGN REGULATIONS FOR NON-RESIDENTIAL USES.
- NO LIGHTING SHALL SHINE DIRECTLY ON PUBLIC R.O.W.S OR RESIDENTIAL PROPERTIES PER SECTION 14-16-3-9 COA ZONE CODE. LIGHT POLES WITHIN 100' OF RESIDENTIAL PROPERTIES SHALL NOT EXCEED 16'.
- AT A MINIMUM, THE USABLE OUTDOOR AREA SHALL CONSIST OF AN 8' WALKWAY ALONG THE MAIN FACADE OF EACH BUILDING WITH PUBLIC ENTRANCES, A 6' CLEAR PATH ON ALL WALKWAYS AND ANY OTHER USABLE PUBLIC OUTDOOR AREA INCLUDED IN THE LANDSCAPE PROVIDED. THE USABLE PUBLIC OUTDOOR AREA SHALL EXCLUDE PRIVATE OUTDOOR RESTAURANT SEATING.
- OUTDOOR AMENITIES WILL INCLUDE SEATING AND/OR DINING PATIOS ALONG PEDESTRIAN PATHS WITH BOLLARDS AND/OR OVERHEAD CANOPY LIGHTING, SURROUNDED BY DECIDUOUS SHADE TREES AND SHRUBS SELECTED TO PROVIDE YEAR-ROUND COLOR AND INTEREST.
- ALL ROOF TOP AND/OR GROUND MOUNTED EQUIPMENT SHALL BE SCREENED PER SECTION 14-16-3-18 OF THE ZONING CODE.
- LINES SPLITTING SHOPS BUILDINGS INTO TENANT SPACES ARE NOT FIXED; TENANT SPACES MAY BE COMBINED INTO LARGER SPACES.

SIGNATURE BLOCK

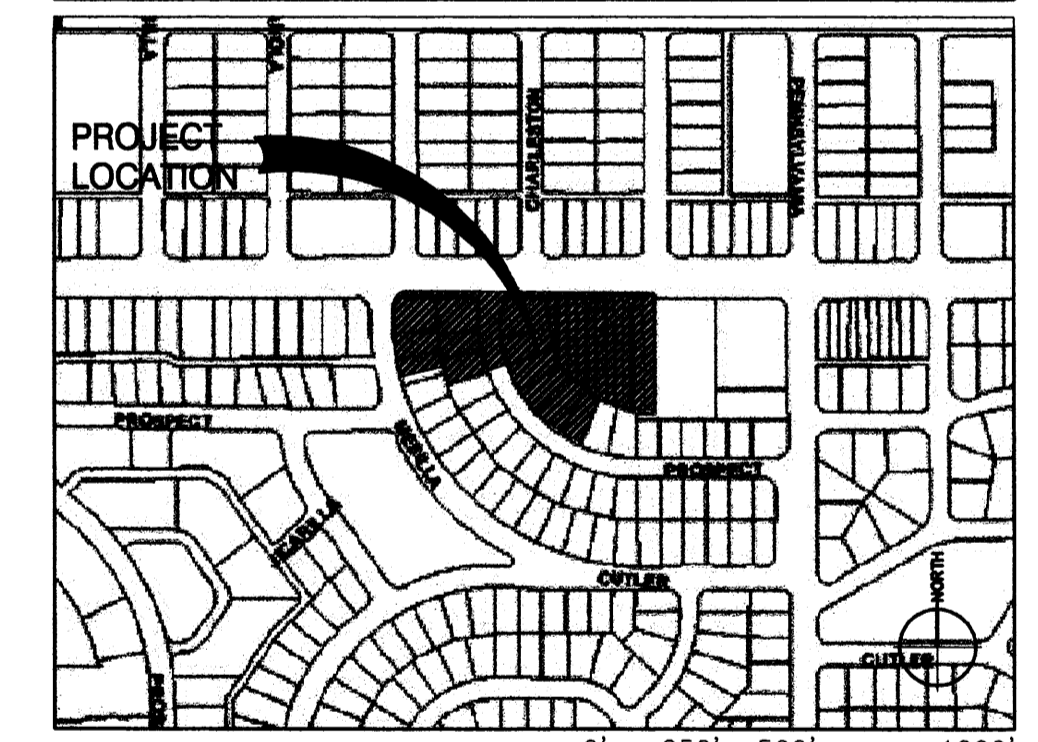
PROJECT NUMBER:	
APPLICATION NUMBER:	
THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) DATED _____ AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.	
IS AN INFRASTRUCTURE LIST REQUIRED? () YES () NO IF YES, THEN A SET OF APPROVED DEC DRAWS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC INFRASTRUCTURE.	
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:	
TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
UTILITIES DEVELOPMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
ENVIRONMENTAL HEALTH DEPARTMENT (Conditional)	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

KEYED NOTES

- PROPOSED 6'-8" HIGH SPLIT FACE CMU SCREEN WALL, MED. TAN
- PROPOSED 6" HIGH SPLIT FACE LIGHT TAN CMU REFUSE ENCLOSURE WITH ALUMINUM COLOR GATES AND CONCRETE APRON PER COA STANDARDS (DOUBLE WIDTH WHERE SHOWN)
- PROPOSED 6" HIGH SPLIT FACE LIGHT TAN CMU SERVICE YARD SCREEN WALL WITH ALUMINUM COLOR GATES.
- PROPOSED LIGHT BOLLARD, SEE SHEET 7.
- PROPOSED PRIMARY MONUMENT SIGN, SEE SHEET 7.
- PROPOSED SECONDARY MONUMENT SIGN, SEE SHEET 7.
- PROPOSED BICYCLE RACK FOR 2 BICYCLES.
- PROPOSED ACCESSIBLE PARKING.
- PROPOSED AWNING ABOVE, TYP.
- PROPOSED ACCESSIBLE CONCRETE CURB RAMP WITH TRUNCATED DOMES CONSTRUCTED TO COA STANDARDS (STD DRAWING 2440)
- PROPOSED DRIVE THROUGH LANE
- PROPOSED PEDESTRIAN CONNECTION WITH TEXTURED PAVING.
- PROPOSED FIRE HYDRANT
- PROPOSED 30' WIDE CONCRETE SITE DRIVE TO BE CONSTRUCTED TO COA STANDARDS (STANDARD DRAWING 2426)
- PROPOSED ASPHALT CONCRETE PAVEMENT
- PROPOSED CONCRETE PAVEMENT
- RECONFIGURED CONCRETE MEDIAN
- PROPOSED LOADING AREA (ACCESSED BY MOUNTABLE CURB)
- EXISTING CITY SIDEWALK TO REMAIN.
- PROPOSED MOTORCYCLE SPACES, SIGNAGE AT EACH SPACE
- PROPOSED HANDICAP PARKING SIGN, TYPICAL OF 6.
- EXISTING PROPERTY LINE TO REMAIN
- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE TO BE VACATED
- PROPOSED STOP SIGN
- PROPOSED PAINTED PARKING STRIPING, TYP.
- PROPOSED PLAZA AREA WITH CONTRASTING COLOR AND/OR TEXTURED PAVING. EXTENT AS INDICATED BY HATCH.
- PROPOSED LANDSCAPING AREA WITH DRIP IRRIGATION, TYP.
- PROPOSED CONCRETE CURB, TYP.
- NOT USED.
- PROPOSED COA TYPE 'C' SHELTER AT RE-LOCATED BUS STOP.
- EXISTING CITY TRANSIT ROUTE.
- PROPOSED VACATION OF PROSPECT AVE. NE.; PUBLIC UTILITY, ACCESS AND DRAINAGE EASEMENTS WILL BE PROVIDED.
- PROPOSED RIGHT-IN, RIGHT-OUT ENTRY, 30' WIDE W/25' CURB RETURN RADI.
- PROPOSED FULL ACCESS ENTRY, 36" WIDE W/25' CURB RETURN RADI.
- PROPOSED VAN ACCESSIBLE PARKING SIGN, TYPICAL OF 2.
- PROPOSED RECYCLING AREA.
- RETAINING WALL FOR RAISED PATIO.
- SERVICE/LOADING AREA (TEMPORARY PARKING FOR DELIVERIES AND SERVICE VEHICLES).
- PROPOSED 16" HIGH SITE LIGHTING, TYPICAL, SEE SHEET 7.
- PROPOSED 20" HIGH SITE LIGHTING, TYPICAL, SEE SHEET 7.
- PROPOSED 32" HIGH MEDIUM TAN SPLIT FACE CMU SCREEN WALL
- PROPOSED 40" HIGH MEDIUM TAN SPLIT FACE CMU SCREEN WALL
- EACH COMPACT SPACE SHALL HAVE THE WORD "COMPACT" PAINTED WITHIN THE SPACE, TYPICAL.
- DRIVE THRU WINDOW LOCATION.
- CURB CUTS FOR WATER HARVESTING, TYPICAL WHERE INDICATED.
- OVERHEAD CANOPY LIGHTING, TYPICAL WHERE INDICATED.
- 4' LONG SITE BENCH, TYPICAL WHERE INDICATED.

BUILDING CRITERIA

PROJECT:	MENAU & PROSPECT NE RETAIL CENTER
OWNER:	SANDIA FOUNDATION
ARCHITECT:	Van H. Gilbert Architect PC 2428 Baylor Drive SE Albuquerque, NM 87106 Phone: (505) 247-9955
LEGAL DESCRIPTION:	LOTS 1-11 & 33-38 BLOCK 17 AND LOTS 1-3 & PORTION LOT 37, 38-39 BLOCK 16 ZUNI ADDITION #1192
ZONING ATLAS MAP:	C-2.3 UT FOR NURSERY
CURRENT ZONING:	SU-1 for C-2 permissive uses, including a full service liquor license only in conjunction with a restaurant, excluding sale of alcohol for off-site consumption and excluding off-premise signs; no more than 16,000 SF net leasable area may be used for restaurant purposes
PROPOSED ZONING:	
OCCUPANCY GROUP:	M
CONSTRUCTION TYPE:	VB
NUMBER OF FLOORS:	1
GROSS SQUARE FOOTAGE:	
	WEST SHOPS 11,700 SF
	NORTH SHOPS 5,625 SF
	EAST SHOPS 15,206 SF
	PAD A 5,440 SF
	TOTAL 37,971 SF
ALLOWABLE AREA (per building):	
	M OCCUPANCY & VB-CONSTRUCTION= 9,000 SF/FLOOR
	FULLY SPRINKLERED x 300% (ONE-STORY)= 27,000 SF
	TOTAL= 36,000 SF
PARKING ANALYSIS:	
	1/200 SF NET LEASABLE AREA (1ST 15,000 + 1/250 SF NET LEASABLE AREA + 1/3 SEATS FOR REST. W/LIQUOR & 1/4 ALLOW. FIRE OCC. LOAD FOR REST. W/OUT LIQUOR = 19,125 NET LEASABLE AREA RETAIL = 75 + 15 SPACES; RESTAURANT (15,000 SF): 184 SEATS W/LIQUOR = 62 SPACES + 317 OCC. W/OUT LIQUOR = 80 SPACES; 232 TOTAL REQUIRED (PER C-2)
	TRANSIT REDUCTION (10%), BUS SHELTER REDUCTION (5%) 23 SPACES + 12 SPACES = 35 SPACES
	ADJUSTED REQUIRED (PER C-2 ZONING) 187 SPACES, 5 MC SPACES
	PARKING PROVIDED 191 SPACES, 5 MC SPACES
PARKING SPACE SIZES:	
	ACCESSIBLE PARKING REQUIRED: 8 SPACES ACCESSIBLE PARKING PROVIDED: 2 VAN SPACE, 6 CAR SPACES
	STD. CAR SPACE 8'6" TO 9' X 18' (140)
	COMPACT SPACE 8' X 15' (43)
	MOTORCYCLE SPACE 4' X 8' (6)
	STANDARD ACCESSIBLE SPACE 8'6" TO 9' X 18' w/ 5' ACCESS STRIP (8)
	VAN ACCESSIBLE SPACE 9' X 20' w/ 8' ACCESS STRIP (2)
BICYCLE RACK SPACES:	10 REQUIRED 10 PROVIDED
TOTAL LOT AREA:	4.1623 ACRES = 180,972 SF
NET LOT AREA:	3.14 ACRES = 135,744 SF
FLOOR AREA RATIO:	37,971 SF/180,972 SF 20.8 %
TOTAL LANDSCAPE AREA REQUIRED:	20,362 SF
TOTAL LANDSCAPE AREA PROVIDED:	25,131 SF



LOCATION PLAN
1"=500'
1"=±500'

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
REVISED 10/8/08 FOR DRB DEFERRAL TO 10/15/08

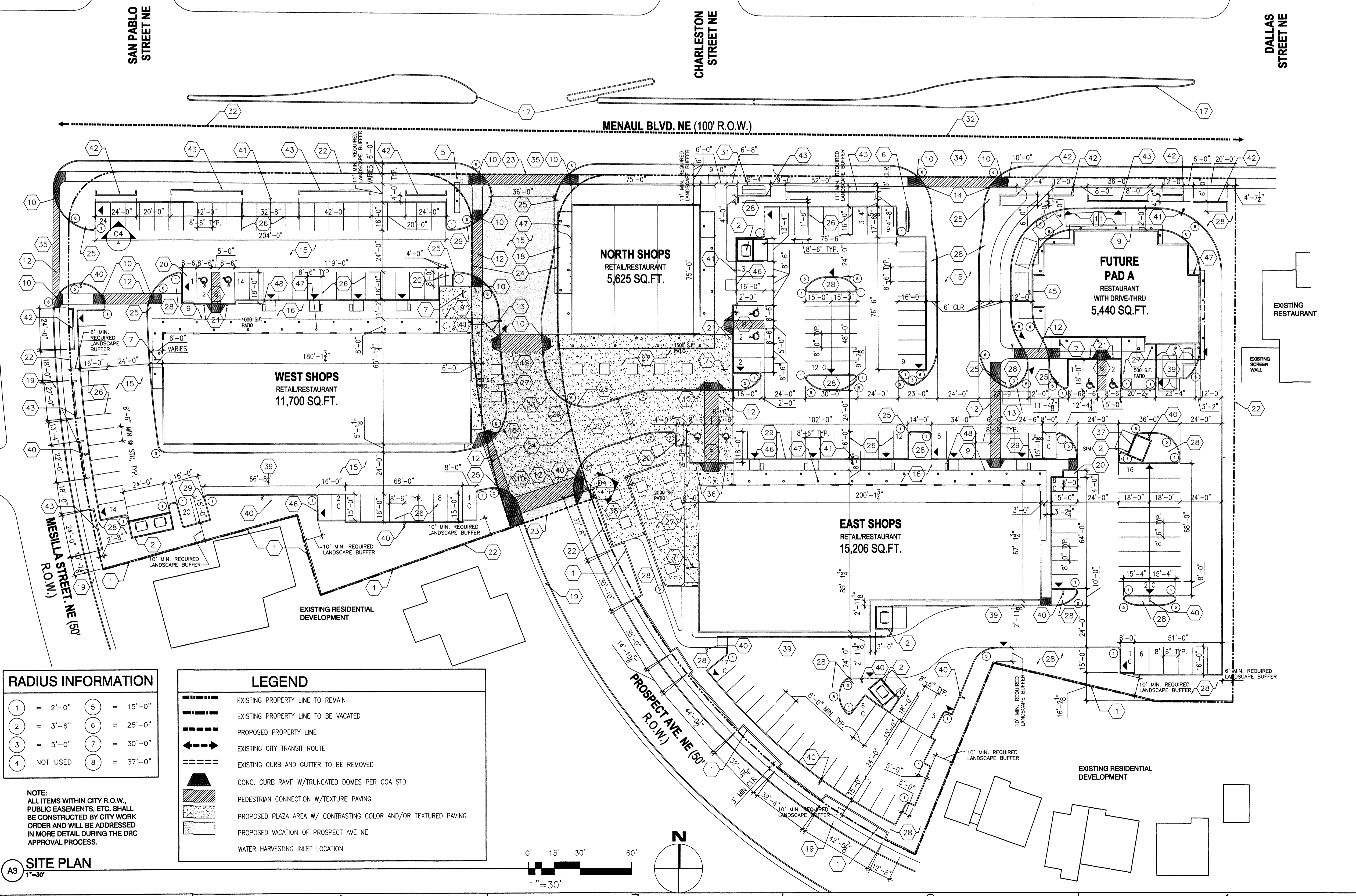
MENAU & PROSPECT RETAIL CENTER
FOR THE SANDIA FOUNDATION
ALBUQUERQUE, NEW MEXICO

Van H Gilbert Architect PC
ARCHITECTURE · INTERIORS · PLANNING

2428 baylor drive se albuquerque, nm 87106
tel 505 . 247 . 9955 fax 505 . 247 . 8226

Drawn By: STAFF VHA Project No: 920 . 00
Checked By: STAFF Date: 09 / M / 08

SITE PLAN
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Sheet No. **1**
SHEET 1 OF 8



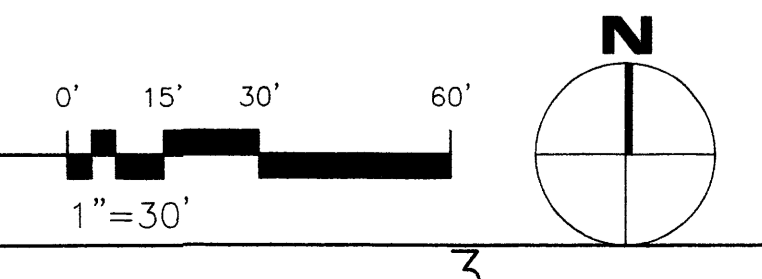
RADIUS INFORMATION

1 = 2'-0"	5 = 15'-0"
2 = 3'-6"	6 = 25'-0"
3 = 5'-0"	7 = 30'-0"
4 NOT USED	8 = 37'-0"

NOTE:
ALL ITEMS WITHIN CITY R.O.W., PUBLIC EASEMENTS, ETC. SHALL BE CONSTRUCTED BY CITY WORK ORDER AND WILL BE ADDRESSED IN MORE DETAIL DURING THE DRB APPROVAL PROCESS.

LEGEND

	EXISTING PROPERTY LINE TO REMAIN
	EXISTING PROPERTY LINE TO BE VACATED
	PROPOSED PROPERTY LINE
	EXISTING CITY TRANSIT ROUTE
	EXISTING CURB AND GUTTER TO BE REMOVED
	CONC. CURB RAMP W/TRUNCATED DOMES PER COA STD.
	PEDESTRIAN CONNECTION W/TEXTURE PAVING
	PROPOSED PLAZA AREA W/ CONTRASTING COLOR AND/OR TEXTURED PAVING
	PROPOSED VACATION OF PROSPECT AVE NE
	WATER HARVESTING INLET LOCATION



SITE PLAN
1"=30'



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CONSULTANTS

PROJECT

MENAU/PROSPECT
RETAIL CENTER
SANDIA FOUNDATION

ADDRESS
Albuquerque, New Mexico

REV. 10/08/08 REVISIONS FOR DRB DEFERRAL TO 10/15/08

Mark	Date	Description
	September 22, 2008	
		Project Number 920.00
		Project File
		Drawn By Author
		Checked By Checker
		Copyright © VAN H. GILBERT ARCHITECT PC

SHEET TITLE
LANDSCAPE
SITE PLAN

2 (LC100)
SHEET OF

GENERAL SHEET NOTES

- MESILLA AVE. NE ABUTS THE PROPERTY AT THE WEST, MENAU BLVD. NE ABUTS THE PROPERTY AT THE NORTH
- CITY BUS ROUTE RUNS ALONG MENAU BLVD. NE
- THERE IS AN EXISTING BIKE TRAIL CONNECTION SOUTH OF THE SITE AT CUTLER, AND A BIKE ROUTE EAST OF THE SITE AT PENNSYLVANIA
- IT IS ANTICIPATED THAT APPROXIMATELY 15,000 SF OF THE DEVELOPMENT WILL BE LEASED TO RESTAURANT TENANTS RANGING IN SIZE FROM 1200-2000 SF (WITH ONE POSSIBLE 5500 RESTAURANT WITH THE BALANCE OTHER RETAIL USES. AT THIS TIME, IT IS UNKNOWN WHICH PORTIONS OF WHICH BUILDINGS WILL HOUSE THESE USES AND/OR HOW MANY SEATS EACH RESTAURANT USE WILL REQUIRE. IN ORDER TO SIMPLIFY REQUIRED AND PROVIDED PARKING CALCULATIONS, WHICH CAN ONLY BE HYPOTHETICAL UNTIL ACTUAL TENANTS ARE IDENTIFIED, THE CALCULATIONS CURRENTLY SHOWN ARE BASED ON GROSS (VERUS NET) SQUARE FOOTAGE OF ALL BUILDINGS WITH REQUIRED PARKING BASED ONLY ON RETAIL USES. THE APPLICANT WOULD PREFER NOT TO HAVE A CAP ON ALLOWABLE RESTAURANT USES (OTHER THAN BY PARKING CAPACITY) SINCE MARKET CONDITIONS MAY DICTATE A DIFFERENT COMBINATION OF USES FROM YEAR TO YEAR.
- OUTDOOR AMENITIES WILL INCLUDE SEATING AND/OR DINING PATIOS ALONG PEDESTRIAN PATHS WITH BOLLARDS AND/OR OVERHEAD CANOPY LIGHTING, SURROUNDED BY DECIDUOUS SHADE TREES AND SHRUBS SELECTED TO PROVIDE YEAR-ROUND COLOR AND INTEREST.

LANDSCAPE CALCULATIONS

SITE AREA	180,972 SF
- BUILDING AREA	38,725 SF
SUBTOTAL	142,247 SF
- TOTAL OFF-SITE AREA	5,103 SF
NET LOT AREA:	136,144 SF
REQUIRED LANDSCAPE AREA	20,421 SF
136,144 SF x 15% =	20,421 SF
LANDSCAPE AREA PROVIDED:	25,131 SF
75% LIVE VEGETATIVE COVER REQUIRED:	18,848 SF
75% LIVE VEGETATIVE COVER PROVIDED:	20,717 SF
STREET TREE FRONTAGE AT MENAU =	685 LF
STREET TREES REQUIRED = 685 / 30 FEET O.C. =	23 TREES
STREET TREES PROVIDED =	27 TREES

EXISTING RESTAURANT

Trees	SYMBOL	QUANTITY	INSTALLED SIZE	WATER USE	WATER SCHEDULE	BOTANICAL NAME	COMMON NAME	
27		27	10-12 high 25 caliper	M	4@2gph	Robinia ambigua	Purple Robe Locust (D)	
17		17	10-12 high 25 high 20 wide	M	4@2gph	Koeleria paniculata	Golden Rain Tree (D) STREET TREE	
7		7	10-12 high 30 high 25 wide	M	6@2gph	Pinus thunbergiana	Japanese Black Pine (E)	
25		25	10-12 high 20 high 20 wide	L	4@2gph	Chilopsis linearis	Desert Willow (D)	
48		48	10-12 high 20 high 18 wide	M	6@2gph	Pinus caleyana	Cleveland Select Cleveland Select Forsythia (D) STREET TREE	
7		7	10-12 high 30 high 30 wide	M	6@2gph	Crataegus crugalli inermis	Thornless Hawthorn (D) STREET TREE	
28		28	10-12 high 20 high 20 wide	M	6@2gph	Malus 'Adams'	Crabapple (D) STREET TREE	
12		12	Various	Existing	N/A	Arizona Cypress	(Existing) (E)	
Shrubs	SYMBOL	QUANTITY	INSTALLED SIZE	WATER USE	WATER SCHEDULE	BOTANICAL NAME	COMMON NAME	
71		71	15 gallon	12" o.c.	M	2@2gph	Pyracantha coccinea	Firethorn (E)
80		80	5 gallon	12" o.c.	L	2@2gph	Rhus aromatica 'Gro-Low'	Gro-Low Sumac (D)
103		103	5 gallon	8" o.c.	L	1@2gph	Artemisia tridentata	Big Sage (E)
90		90	5 gallon	12" o.c.	L	1@2gph	Artemisia x 'Powis Castle'	Wormwood (E)
186		186	1 gallon	5" o.c.	M	3@2gph	Miscanthus sinensis 'Yakushima'	Dwarf Madragras (D)
86		86	5 gallon	4" o.c.	L	2@2gph	Amorpha canescens	Leadplant (D)
94		94	5 gallon	4" o.c.	L	1@2gph	Penstemon pseudospectabilis	Desert Beardtongue (E)
131		131	5 gallon	3" o.c.	M	1@2gph	Salsola rigida 'Fireworx'	Fireworx Goldenrod (D)
151		151	1 gallon	3" o.c.	M	2@2gph	Rapiclolepis indica 'Blueberry Muffin'	Blueberry Muffin Indica Hawthorne (D)
149		149	5 gallon	4" o.c.	L	1@2gph	Salvia plicata 'Grandiflora'	Ritcher's Blue Sage (D)
100		100	1 gallon	4" o.c.	L	1@2gph	Achillea 'Terra Cotta'	Terra Cotta Yarrow (E)
141		141	1 gallon	30" o.c.	L	1@2gph	Nepeta 'Walker's Low'	Walker's Low Catmint (D)
108		108	1 gallon	30" o.c.	L	1@2gph	Artemisia tridactyla	Fringed Sage (E)
222		222	1 gallon	2" o.c.	M	1@2gph	Hosta x 'Minuteman'	Minuteman Hosta (D)
218		218	1 gallon	2" o.c.	L	1@2gph	Liatris punctata	Gayfeather (D)
Ground Covers	SYMBOL	QUANTITY	SPACING/ (OR SIZE)	WATER USE	WATER SCHEDULE	BOTANICAL NAME	COMMON NAME	
1989		1989	12" o.c. 8" x 24" w	L	1@2gph	Artemisia versicolor 'Seaform'	Curlicue Sage (E)	
2202		2202	18" o.c. 12" x 12" w	M	1@2gph	Festuca glauca 'Boulder Blue'	Boulder Blue Fescue (E)	
2116		2116	12" o.c. 5" x 5" w	L	1@2gph	Hymenocallis scopaspa	Thrift-Leaf Perly Sue (E)	

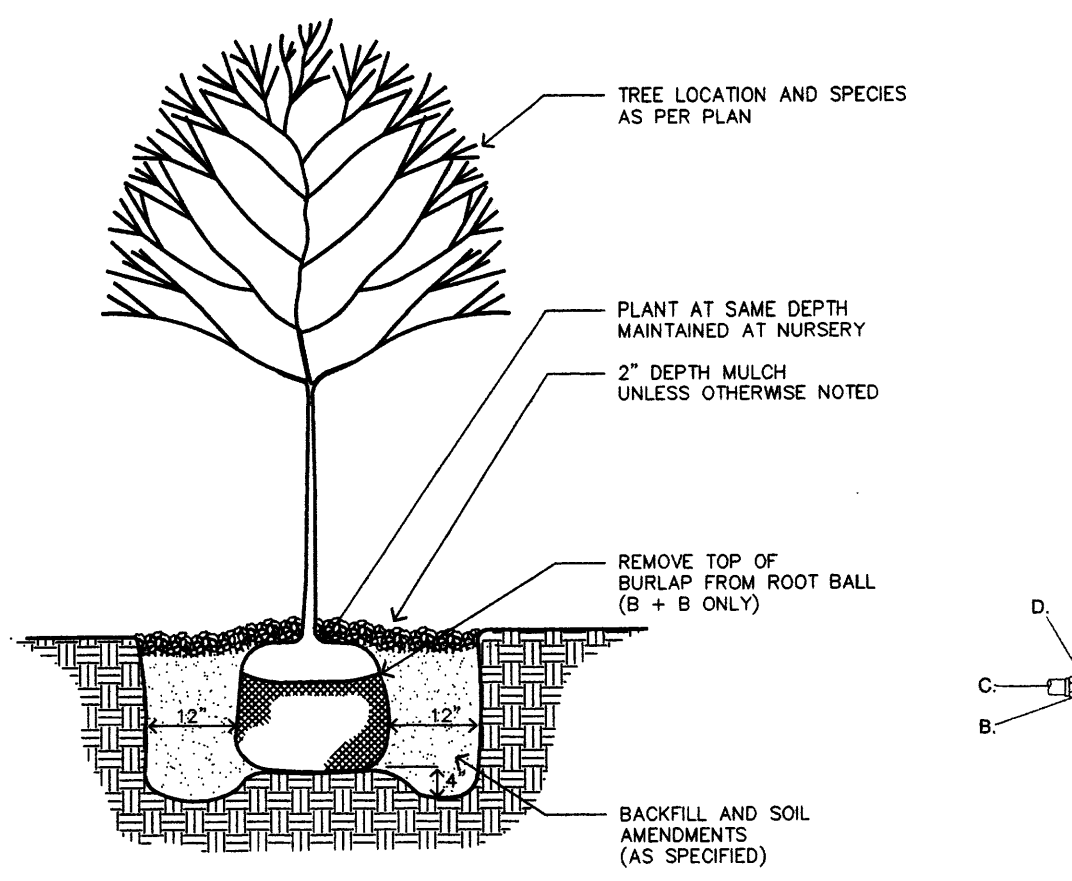
LANDSCAPE & IRRIGATION NOTES

- PLANT SUBSTITUTIONS SHALL BE ALLOWABLE ONLY IF INSUFFICIENT QUANTITIES OF PLANTS INDICATED ARE AVAILABLE. NO PARTIAL SUBSTITUTIONS SHALL BE PERMITTED.
- THIS LANDSCAPE SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE AS WELL AS THE CITY OF ALBUQUERQUE POLLEN CONTROL AND WASTE WATER ORDINANCES.
- ALL LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- THE IRRIGATION SYSTEM SHALL CONSIST OF A MASTER VALVE AND REDUCED PRESSURE BACKFLOW PREVENTER, PROGRAMMABLE AUTOMATIC CONTROLLER, WITH ELECTRIC IRRIGATION VALVES ZONED BY WATER DISTRIBUTION REQUIREMENTS, AND CONNECTED TO DROP EMITTERS LOCATED TO PROVIDE WATER AT ROOT ZONES OF PLANTS. FLOW RATES AND ZONES SHALL BE MATCHED TO EACH PLANT'S SPECIFIC WATER NEEDS. MICRO SPRAY HEADS MAY BE USED IN LIMITED AREAS ONLY AS NEEDED FOR SMALL SHRUB OR GROUND COVER AREAS.
- GRAVEL MULCH SHALL BE USED AT ALL AREAS NOT COVERED BY LIVING GROUND COVERS
- PLANTING AREAS FOLLOWED WITH AN ASTERISK INDICATE LOCATIONS OF TREE GRATES.
- IRRIGATION SYSTEM RUN TIMES OF 30 MINUTES EACH SHALL BE BASED ON THE FOLLOWING SCHEDULE ONCE LANDSCAPE IS ESTABLISHED: 2 MONTHS @ 1 x PER MONTH, 3 MONTHS @ 1 x PER WEEK, 2 MONTHS @ 2 x PER WEEK, 2 MONTHS @ 3 x PER WEEK, AND 3 MONTHS @ 4 x PER WEEK. RUN TIMES DURING ESTABLISHMENT PERIOD OF 1-2 YEARS WILL VARY AND MAY INCLUDE DAILY WATERING DEPENDING ON TEMPERATURES AND ACTUAL PLANTING DATES. (NOTE THAT RUN TIMES ARE BASED ON 4.33 WEEKS/MONTH).

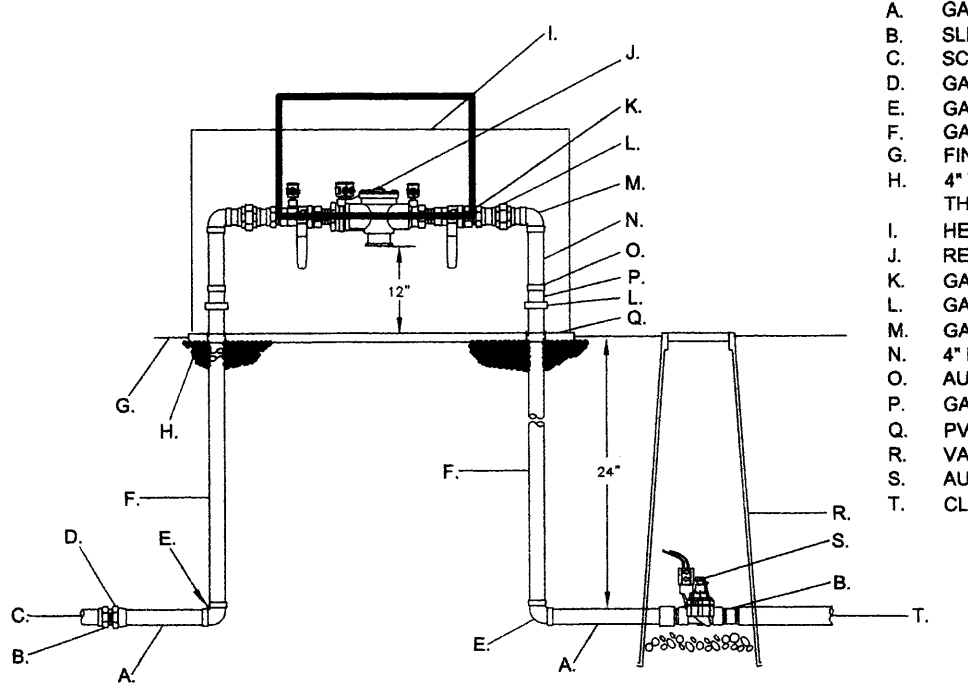
- A. GALVANIZED 12" NIPPLE
- B. SLP X THREADED MALE ADAPTOR
- C. SCH 40 PVC MAIN
- D. GALVANIZED COUPLING
- E. GALVANIZED 90°
- F. GALVANIZED 24" NIPPLE
- G. FINISH GRADE
- H. 4" THICK CONCRETE PAD 6" WIDER THAN ASSEMBLY ON ALL SIDES
- I. HEATED ENCLOSURE
- J. REDUCED PRESSURE BACKFLOW PREVENTER
- K. GALVANIZED MALE ADAPTOR (1 OF 2)
- L. GALVANIZED UNION (1 OF 2)
- M. GALVANIZED STREET 90° (1 OF 4)
- N. 4" NIPPLE (TYP.)
- O. AUTO DRAIN VALVE WITH GALVANIZED TEE (TYP.)
- P. GALVANIZED CLOSE NIPPLE (TYP.)
- Q. PVC SLEEVE THROUGH CONCRETE (TYP.)
- R. VALVE BOX
- S. AUTO VALVE
- T. CL 200 PVC MASTERLINE

NOTE:
1. INSTALL BACKFLOW PREVENTER AS REQUIRED BY LOCAL CODES AND HEALTH DEPARTMENT. VERIFY LOCAL REQUIREMENTS PRIOR TO INSTALLATION.

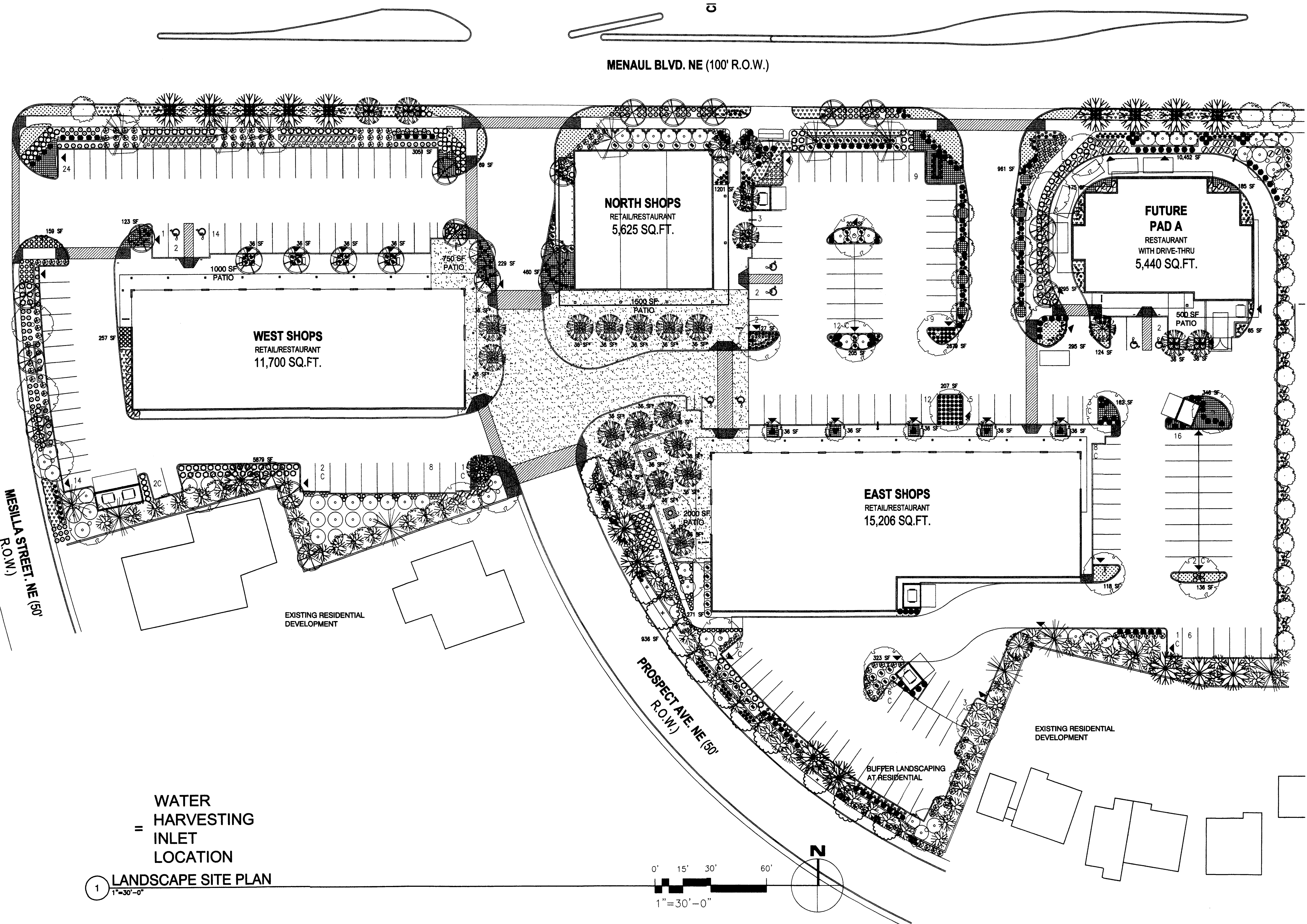
RPBA AND MASTER VALVE
IRRIGATION SYSTEM DETAIL
SCALE: NTS



D1 TREE PLANTING DETAIL
SCALE: NTS

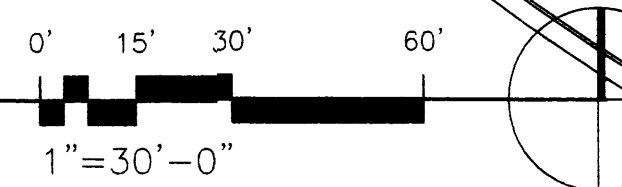


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WATER HARVESTING INLET LOCATION

1 LANDSCAPE SITE PLAN
1" = 30'-0"



7/9/2008 4:22:33 PM Z:\Revit\Retail Center.rvt

CONSULTANTS

GENERAL SHEET NOTES

- DOOR LOCATIONS ARE "ILLUSTRATIVE" AND MAY NOT ALL BE USED. LOCATIONS WILL BE DETERMINED BY INDIVIDUAL TENANTS BASED ON LEASING AREAS. EXITS WILL BE PROVIDED AS REQUIRED BY APPLICABLE BUILDING CODES.

COLOR SCHEDULE

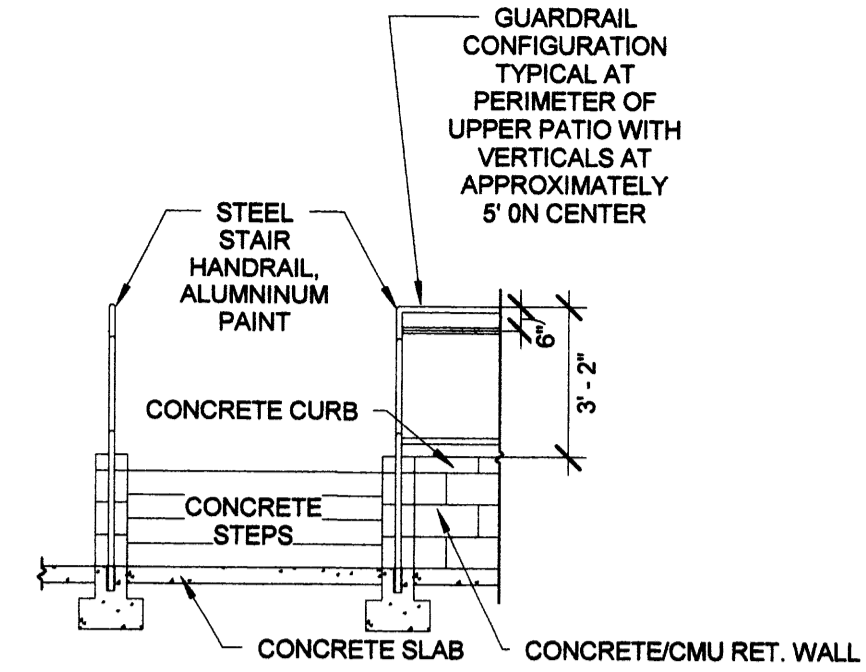
- S1 ORANGE STUCCO
- S2 TEAL STUCCO
- S3 PURPLE STUCCO
- S4 RED STUCCO
- S5 BEIGE STUCCO
- P1 ORANGE PAINT
- P2 TEAL PAINT
- P3 PURPLE PAINT
- P4 RED PAINT
- P5 ALUMINUM PAINT
- P6 BEIGE PAINT

REFERENCE KEYNOTES

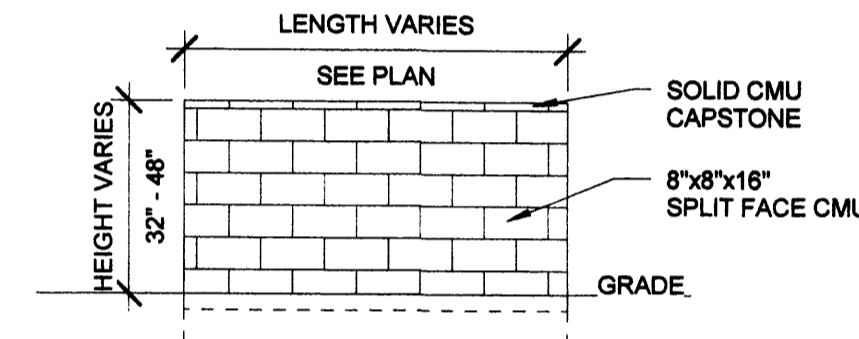
- 03 31 00.01 CONC SLAB
- 05 50 00.03 1x1 STEEL TUBE SIGN VALANCE-PAINTED
- 05 50 00.51 METAL COLUMN COVER
- 07 54 23.14 PREMANUFACTURED FLASHING
- 07 62 00.02 GAP FLASHING/COPING-PAINT
- 07 62 00.03 GALV SHEET METAL SCUPPER
- 08 11 00.04 INSULATED HOLLOW METAL DOOR
- 08 41 13.01 ALUM STOREFRONT SYSTEM
- 09 24 00.01 7/8" 3-COAT STUCCO SYSTEM
- 26 00 00.07 LIGHTING FIXTURE

SHEET KEYNOTES

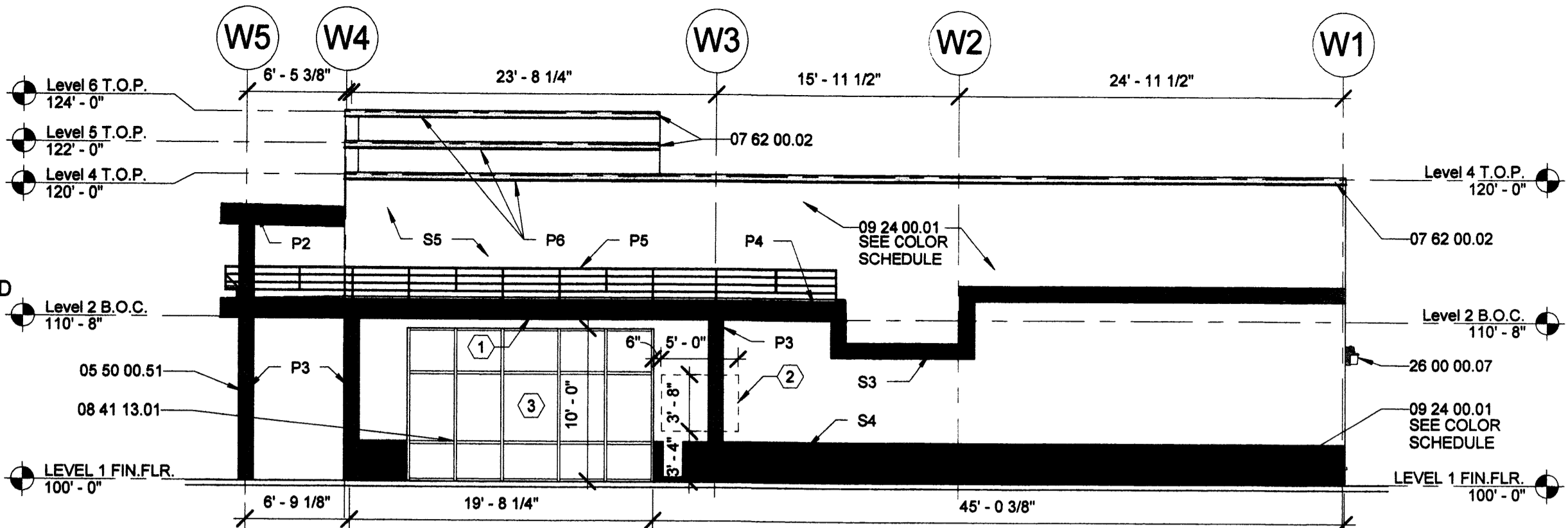
- RECESSED CANOPY LIGHT LOCATION, TYPICAL
- POTENTIAL PARAPET SIGN OR WALL SIGN LOCATION. SEE GUIDELINES FOR SPECIFIC REQUIREMENTS.
- POTENTIAL DOOR LOCATION.



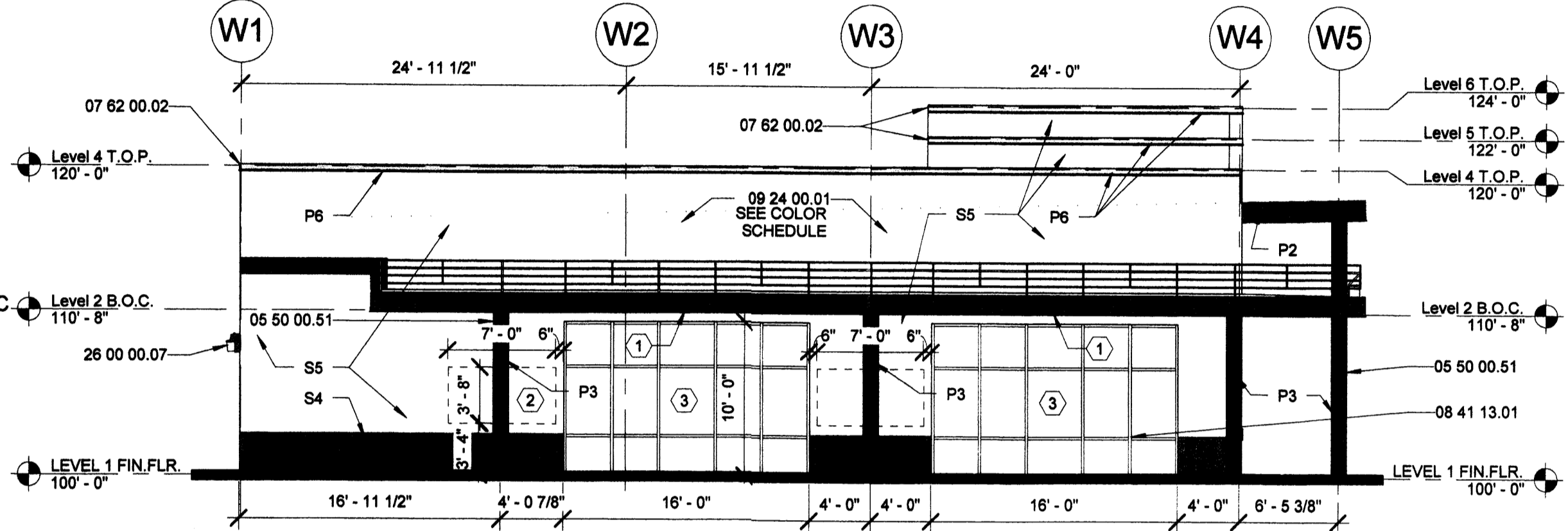
D4 PARTIAL RET. WALL ELEV-TYP.
Scale: 1/4" = 1'-0"



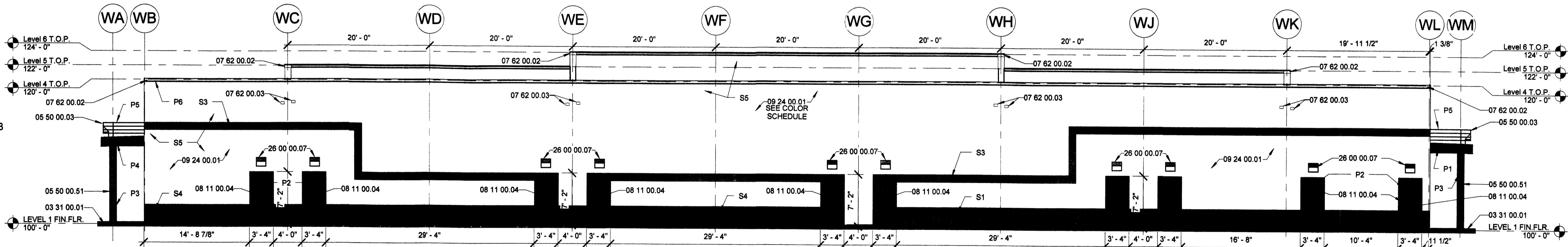
C4 SCREEN WALL ELEV-TYP.
Scale: 1/4" = 1'-0"



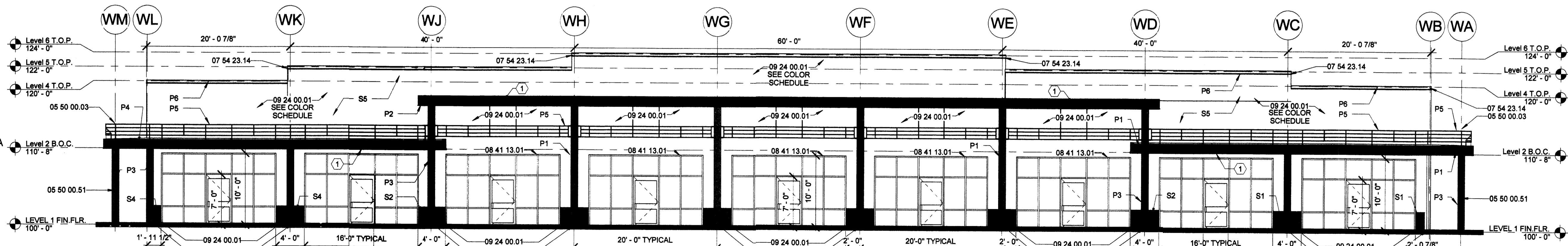
D1 WEST SHOPS - WEST ELEVATION
Scale: 1/8" = 1'-0"



C1 WEST SHOPS - EAST ELEVATION
Scale: 1/8" = 1'-0"



B1 WEST SHOPS - SOUTH ELEVATION
Scale: 1/8" = 1'-0"



A1 WEST SHOPS - NORTH ELEVATION
Scale: 1/8" = 1'-0"

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PROJECT

**MENaul / PROSPECT
RETAIL CENTER**

SANDIA FOUNDATION

ADDRESS

Albuquerque, New Mexico

REV.	DATE	DESCRIPTION
REV. 2	10/09/08	REVISIONS FOR ORB DEFERRAL TO 10/15/08
REV. 1	2/21/08	HEIGHT MODIFICATIONS

Mark	Date	Description
Date	September 22, 2008	
Project Number	920.00	
Project File		
Drawn By	Staff	
Checked By	Staff	
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SHEET TITLE

**BUILDING
ELEVATIONS - WEST
SHOPS**

4 (A-201)

SHEET

OF

GENERAL SHEET NOTES

1. DOOR LOCATIONS ARE "ILLUSTRATIVE" AND MAY NOT ALL BE USED. LOCATIONS WILL BE DETERMINED BY INDIVIDUAL TENANTS BASED ON LEASING AREAS. EXITS WILL BE PROVIDED AS REQUIRED BY APPLICABLE BUILDING CODES.

COLOR SCHEDULE

- S1 ORANGE STUCCO
- S2 TEAL STUCCO
- S3 PURPLE STUCCO
- S4 RED STUCCO
- S5 BEIGE STUCCO
- P1 ORANGE PAINT
- P2 TEAL PAINT
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- 09 24 00.01 7/8" 3-COAT STUCCO SYSTEM
- 26 00 00.07 LIGHTING FIXTURE

SHEET KEYNOTES

- 1. RECESSED CANOPY LIGHT LOCATION, TYPICAL
- 2. POTENTIAL PARAPET SIGN OR WALL SIGN LOCATION. SEE GUIDELINES FOR SPECIFIC REQUIREMENTS.
- 3. POTENTIAL DOOR LOCATION.

CONSULTANTS

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SANDIA FOUNDATION

ADDRESS
Albuquerque, New Mexico

REV. 2 10/2008 REVISIONS FOR DRG DEFERRAL TO 10/15/08

REV. 1 2/21/08 HEIGHT MODIFICATIONS

Mark Date Description

Date September 22, 2008

Project Number 920.00

Project File 05 50 00.03

Drawn By Author

Checked By Checker

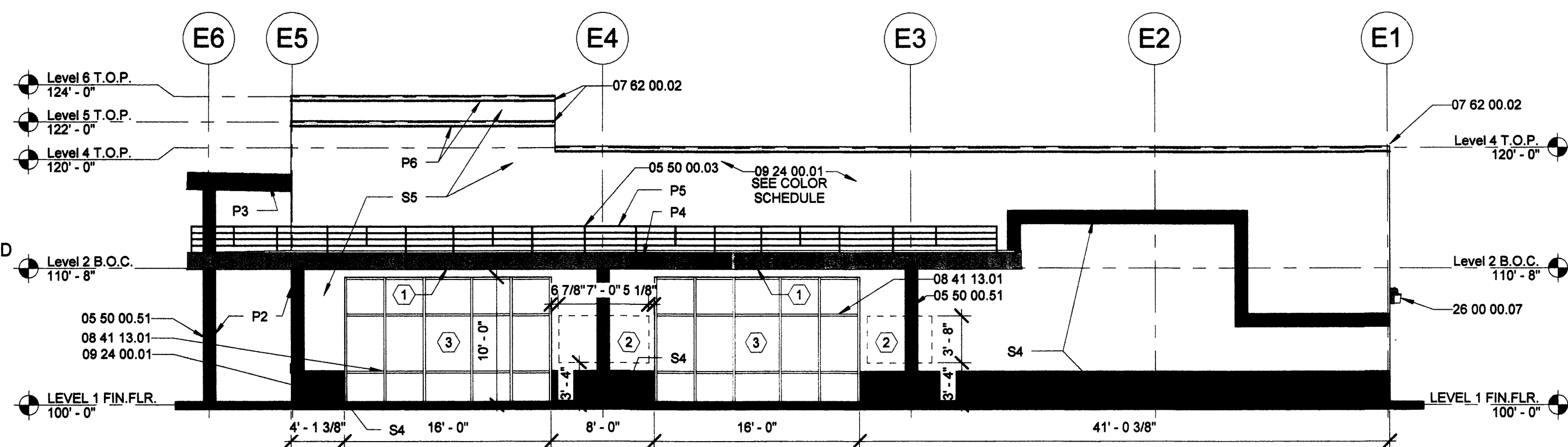
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SHEET TITLE

BUILDING ELEVATIONS - EAST SHOPS

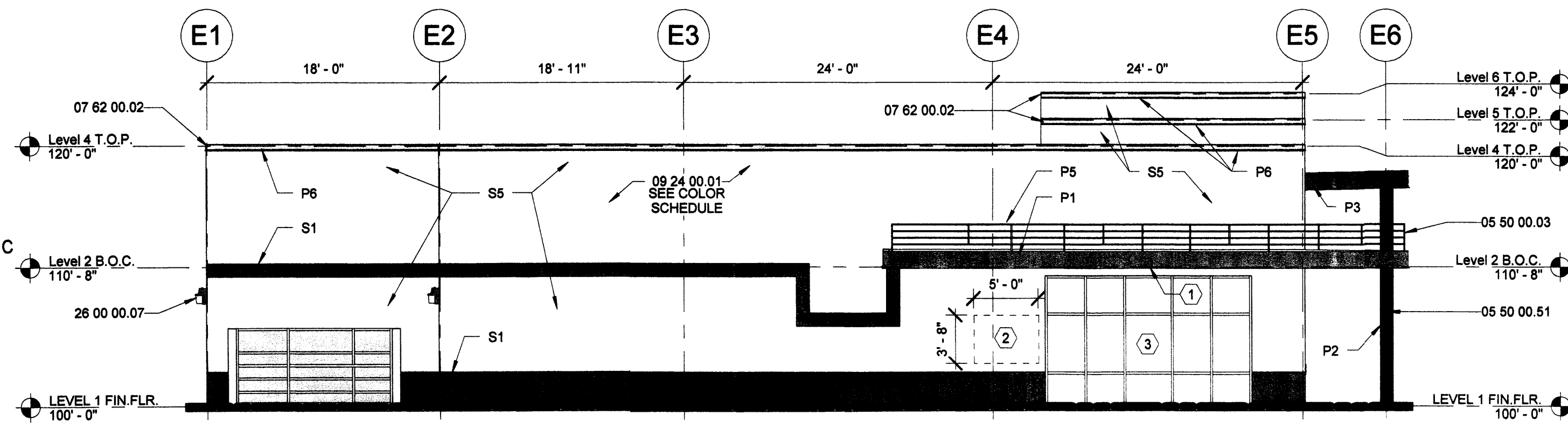
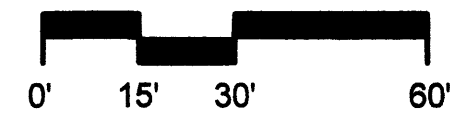
5 (A-202)

SHEET OF



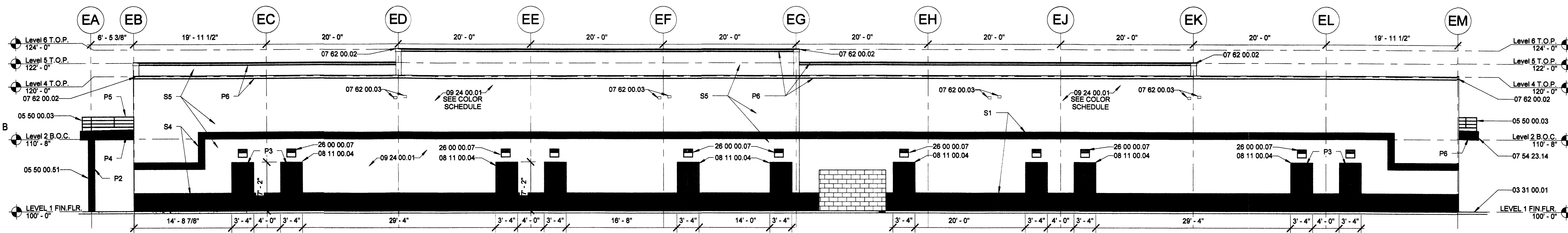
D1 EAST SHOPS - WEST ELEVATION

Scale: 1/8" = 1'-0"



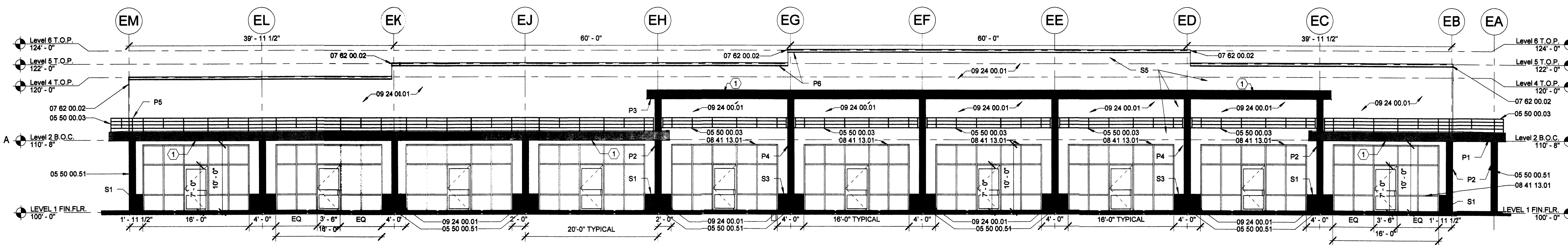
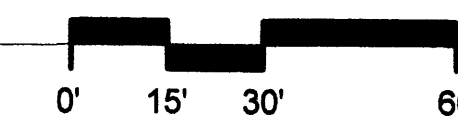
C1 EAST SHOPS - EAST ELEVATION

Scale: 1/8" = 1'-0"



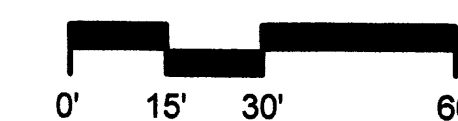
B1 EAST SHOPS - SOUTH ELEVATION

Scale: 1/8" = 1'-0"



A1 EAST SHOPS - NORTH ELEVATION

Scale: 1/8" = 1'-0"





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Tel 505-247-9955 Fax 505-247-1826
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Web Site www.vhgarchitect.com

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NOT FOR CONSTRUCTION

PROJECT
**MENAU / PROSPECT
RETAIL CENTER**

SANDIA FOUNDATION

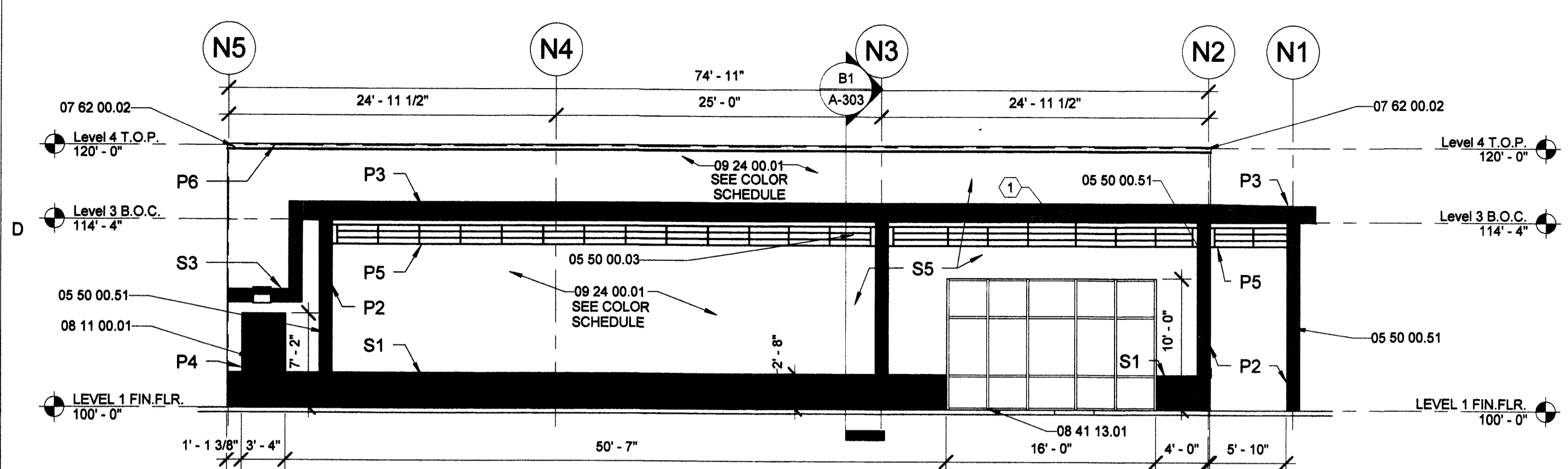
ADDRESS
B **Albuquerque, New Mexico**

REV.	NO.	DATE	DESCRIPTION
REV. 2	10/09/08		REVISIONS FOR DRB DEFERRAL TO 10/15/08
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Mark	Date	Description	
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Project File			
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Checked By		Checker	
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SHEET TITLE
**BUILDING
ELEVATIONS-NORTH
SHOPS**

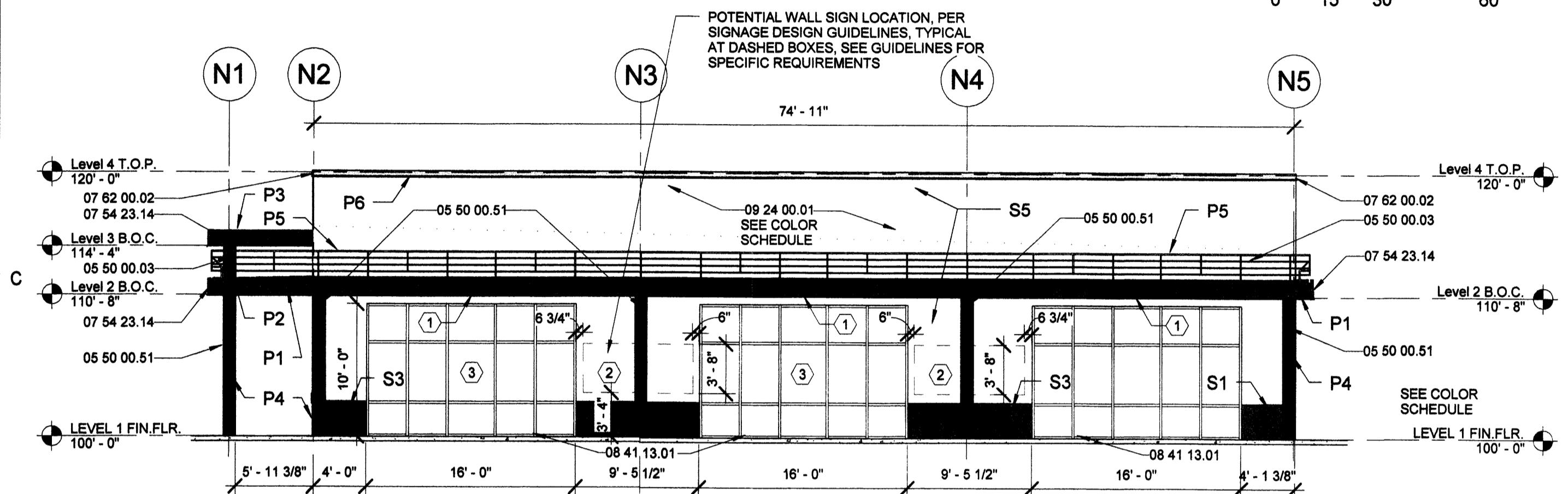
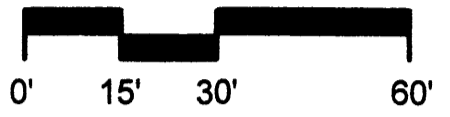
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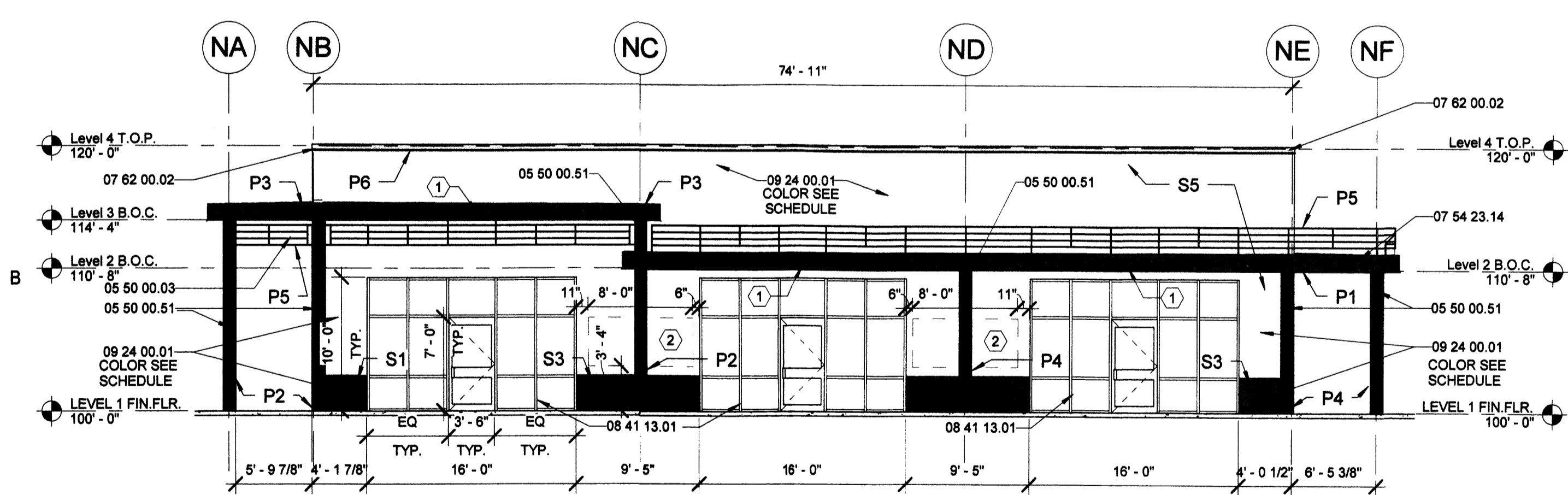
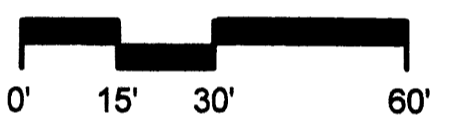
D1 NORTH SHOPS - WEST ELEVATION

Scale: 1/8" = 1'-0"



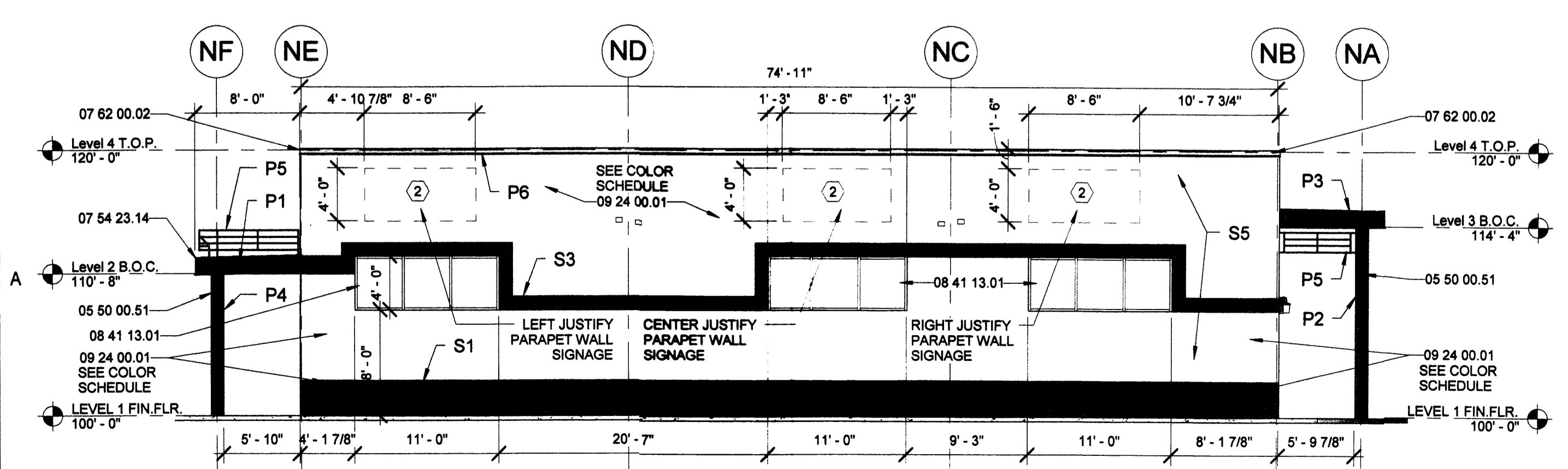
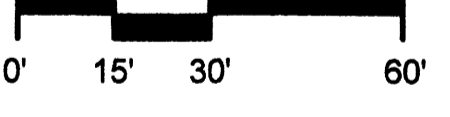
C1 NORTH SHOPS - EAST ELEVATION

Scale: 1/8" = 1'-0"



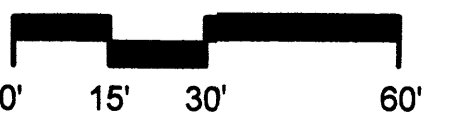
B1 NORTH SHOPS - SOUTH ELEVATIONS

Scale: 1/8" = 1'-0"



A1 NORTH SHOPS - NORTH ELEVATIONS

Scale: 1/8" = 1'-0"



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2428 Baylor Dr SE Albuquerque, NM 87106
Tel 505-247-9955 Fax 505-247-1826
E-mail info@vhgarchitect.com
Web Site www.vhgarchitect.com

CONSULTANTS

PROJECT

Sandia Foundation
Menaul Prospect Retail Center
Menaul Boulevard NE
Albuquerque, NM

REV.	10/8/08	REVISIONS FOR DRB DEFERRAL TO 10/15/08
Mark	Date	Description
Date		September 16, 2008
Project Number		920.01
Project File		
Drawn By		Author
Checked By		Checker
Copyright ©		VAN H. GILBERT ARCHITECT PC

SHEET TITLE
DETAILS

SHEET 7 OF

GENERAL SHEET NOTES

SIGNAGE DESIGN GUIDELINES

A. GENERAL

1. ALL SIGNAGE AND SIGNAGE LIGHTING SHALL BE IN CONFORMANCE WITH THE STATE OF NEW MEXICO NIGHT SKY PROTECTION ACT, CITY OF ALBUQUERQUE ZONING CODE GENERAL SIGN REGULATIONS, AND THE C-2 REGULATIONS OR THESE SIGNAGE DESIGN GUIDELINES, WHICHEVER IS MOST RESTRICTIVE.
2. ONE BUILDING MOUNTED SIGN, INCLUDING PARAPET WALL OR MARQUEE SIGN PER TENANT STREET FRONTAGE SHALL BE PERMITTED. BLADE SIGN SHALL BE ADDITIONAL.
3. OFF-PREMISE SIGNS ARE PROHIBITED.
4. AUDIBLE SIGNS OR DEVICES IN CONJUNCTION WITH SIGNAGE SHALL NOT BE PERMITTED.
5. ROTATING, PULSATING OR OSCILLATING BEACONS OF LIGHT, INCLUDING SEARCHLIGHTS USED FOR COMMERCIAL OR PROMOTIONAL PURPOSES SHALL NOT BE PERMITTED.
6. A SIGN SHALL NOT OVERHANG INTO THE PUBLIC RIGHT-OF-WAY MORE THAN FIVE FEET.
7. SIGNS SHALL NOT BE LOCATED WITHIN A CLEAR SIGHT TRIANGLE.
8. NO PORTION OF AN ILLUMINATED SIGN SHALL HAVE A LUMINANCE OF GREATER THAN 320 FOOTLAMBERTS AT NIGHT.
9. SIGNAGE FACING IN THE DIRECTION OF A EXISTING RESIDENTIAL USE OR WITHIN 40' OF A RESIDENTIAL ZONE SHALL NOT BE ILLUMINATED UNLESS OTHERWISE SHIELDED BY A WALL, BUILDING, OR OTHER ACCEPTABLE NON-TRANSPARENT OBJECT.

B. FREE-STANDING SITE SIGNS

1. A TOTAL OF TWO FREE-STANDING SITE SIGNS, ONE PRIMARY SIGN, AND ONE SECONDARY SIGN (REFERENCE RELATED DRAWINGS THIS SHEET), WILL BE PROVIDED AT EAST AND WEST PORTIONS OF THE SITE. AREA OF EACH SIGN FACE SHALL BE LIMITED TO 60 S.F.
2. NO LIGHT BULB USED TO INDICATE TIME SHALL HAVE A RATING GREATER THAN 40 WATTS; NO REFLECTORS SHALL BE USED IN CONJUNCTION WITH SUCH BULBS.

C. BUILDING MOUNTED TENANT SIGNS

1. ALL BUILDING-MOUNTED SIGNAGE SHALL BE APPROVED BY OWNER OR OWNER'S DESIGNATED REPRESENTATIVE PRIOR TO FABRICATION AND/OR INSTALLATION. SIGNS FOR WHICH PRIOR APPROVAL HAS NOT BEEN OBTAINED MAY BE REMOVED BY OWNER. TENANTS WILL BE RESPONSIBLE FOR ALL CHARGES ASSOCIATED WITH BUILDING REPAIRS NEEDED FROM INAPPROPRIATELY MOUNTED SIGNAGE.
2. BUILDING MOUNTED SIGNAGE SHALL BE LIMITED TO THE FOLLOWING TYPES, QUANTITIES AND LOCATIONS (REFERENCE ASSOCIATED DIAGRAMS):

a. ONE "MARQUEE SIGN" PER TENANT FAÇADE (WHERE NO PARAPET WALL SIGN IS PROVIDED) ATTACHED TO SIGNAGE STRUCTURE (WHERE SIGNAGE STRUCTURE ALLOWS):

- i. MARQUEE SIGNAGE SHALL CONSIST OF INDIVIDUAL CHANNEL LETTERS. MARQUEE SIGNS MAY BE INTERNALLY OR EXTERNALLY ILLUMINATED PROVIDED THAT THEY COMPLY WITH GUIDELINE A.8. ABOVE.
- ii. CHANNEL LETTERS SHALL NOT EXTEND BEYOND SIGNAGE STRUCTURE. OVERALL HEIGHT OF CHANNEL LETTER SIGNAGE SHALL NOT EXCEED 30" IN HEIGHT AND SHALL BE LIMITED TO TWO LINES OF TEXT.
- iii. MARQUEE SIGNS SHALL BE LIMITED TO 75% OF THE TENANT FAÇADE WIDTH TO A MAXIMUM WIDTH OF 75'. MARQUEE SIGNS SHALL BE CENTERED ON SUCH WIDTH UNLESS OTHERWISE APPROVED BY OWNER OR OWNER'S DESIGNATED REPRESENTATIVE.

b. ONE "PARAPET WALL SIGN" PER TENANT STREET FRONTAGE (WHERE NO MARQUEE SIGN IS PROVIDED) SHALL BE ALLOWABLE ONLY WHERE INDICATED ON SPECIFIC BUILDING ELEVATIONS:

- i. PARAPET WALL SIGNS SHALL CONSIST OF INDIVIDUAL CHANNEL LETTERS, INTERNALLY OR EXTERNALLY ILLUMINATED PROVIDED THAT THEY COMPLY WITH GUIDELINE A.8. ABOVE.
- ii. ALLOWABLE PARAPET WALL SIGN LOCATIONS AND SIGN FACE AREAS SHALL BE WITHIN AREAS INDICATED ON THE BUILDING ELEVATIONS.
- iii. SIGNAGE AREA SHALL BE A MAXIMUM OF 40 S.F. WITH A MAXIMUM OF THREE LINES OF TEXT. LETTER SIZE SHALL BE A MAXIMUM OF 14" HIGH.

c. ONE "BLADE SIGN" PER PUBLIC ENTRANCE:

- i. BLADE SIGNS SHALL CONSIST OF CEILING-HUNG SIGNS ADJACENT AND PERPENDICULAR TO AN ENTRY WHERE POSSIBLE TO LOCATE 9'-0" MINIMUM ABOVE WALKWAY (SEE BLADE SIGN DIAGRAM).
- ii. WALL SIGNS SHALL NOT BE MOUNTED LESS THAN 3'-4" ABOVE FINISH FLOOR; TOP OF WALL SIGNS SHALL BE 7'-4" ABOVE FINISH FLOOR (SEE CANOPY SIGN DIAGRAM).
- iii. WALL SIGNS SHALL BE MOUNTED 6" FROM JUSTIFIED TO ADJACENT ENTRY AND ONLY WITH LOCATIONS DESIGNATED ON BUILDING ELEVATIONS (SEE DETAIL).
- iii. SIGN FACE AREA SHALL NOT EXCEED 20 S.F. EACH.

e. ROOF AND PROJECTING SIGNS ARE PROHIBITED.

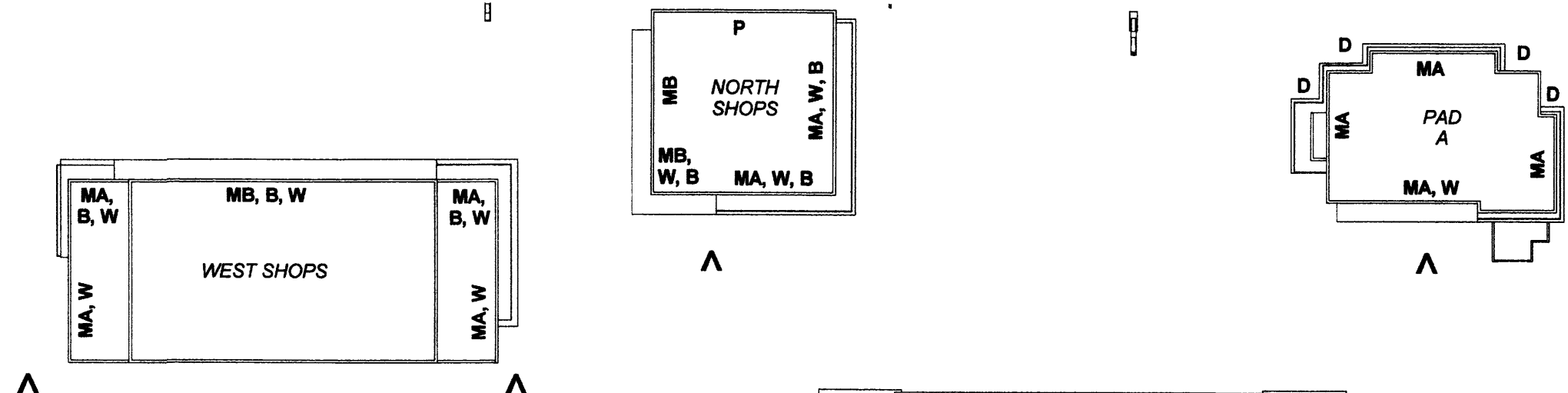
D. DRIVE-THRU SIGNAGE

1. IN ADDITION TO THE BUILDING-MOUNTED TENANT SIGNS ALLOWED IN SECTION C. ABOVE, A DRIVE-THRU SHALL BE ALLOWED UP TO THREE ADDITIONAL FREE-STANDING OR WALL-MOUNTED MENU SIGNS NOT TO EXCEED A COMBINED TOTAL OF 160 S.F.

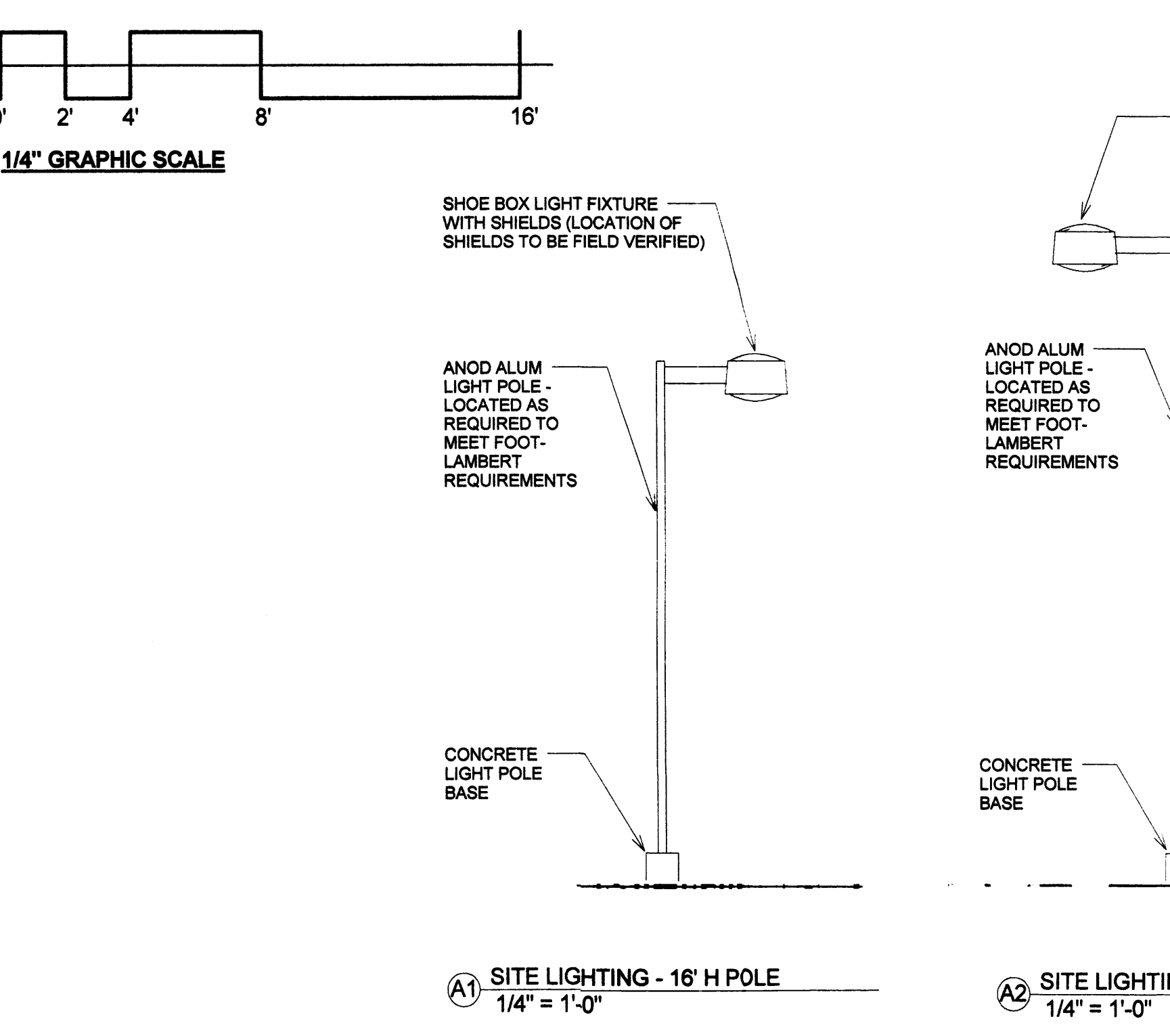
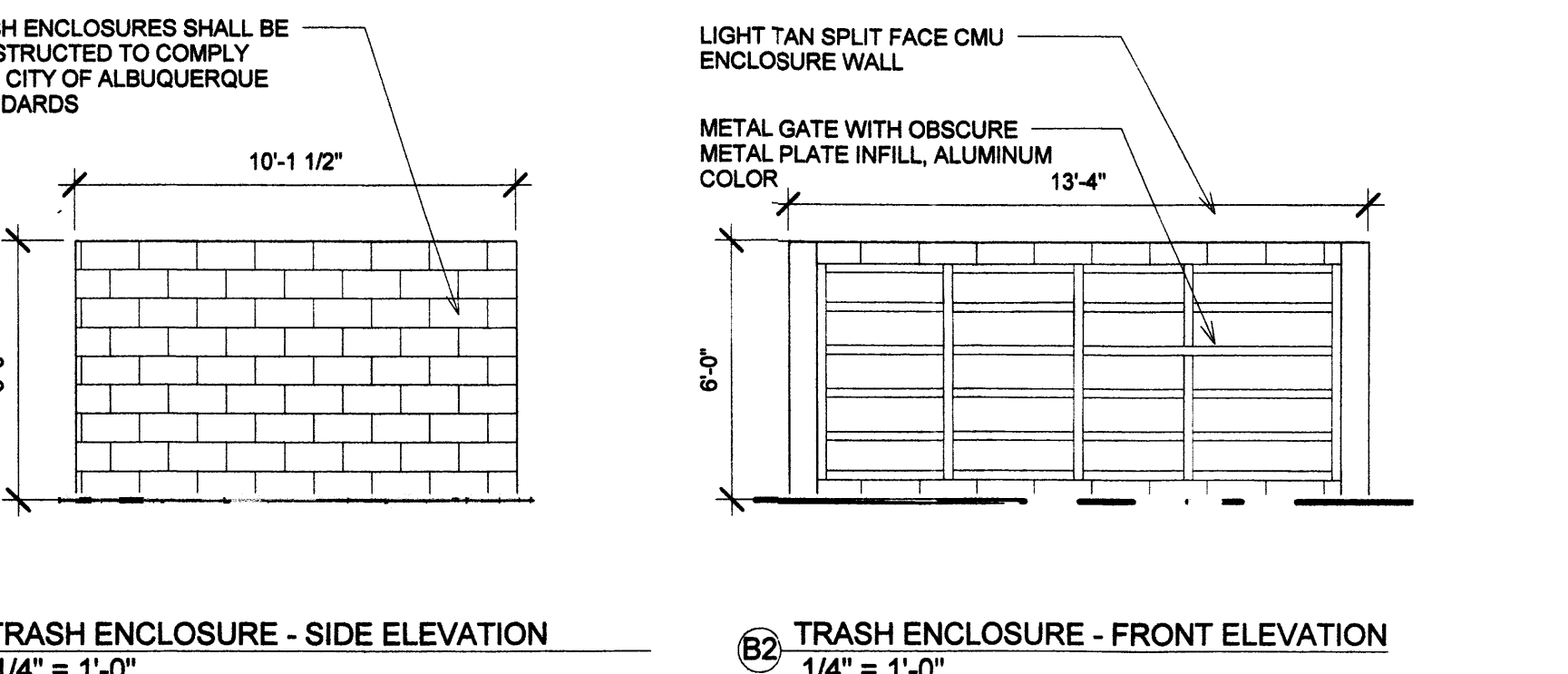
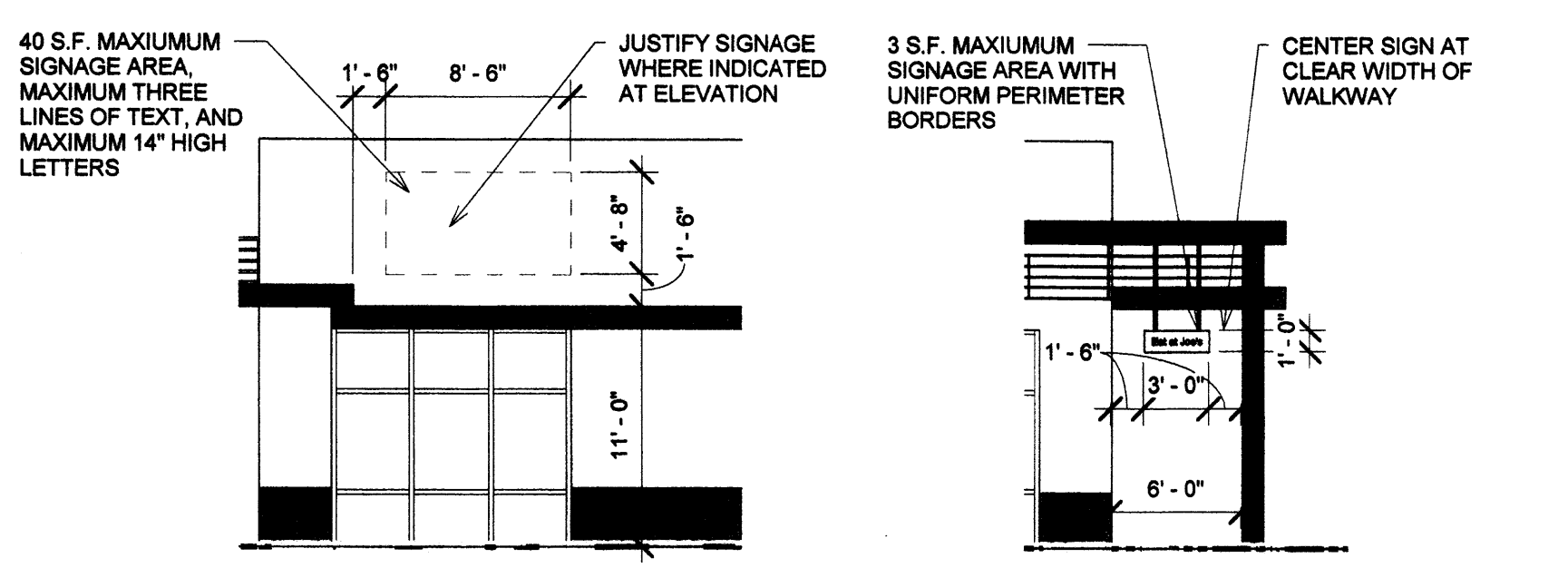
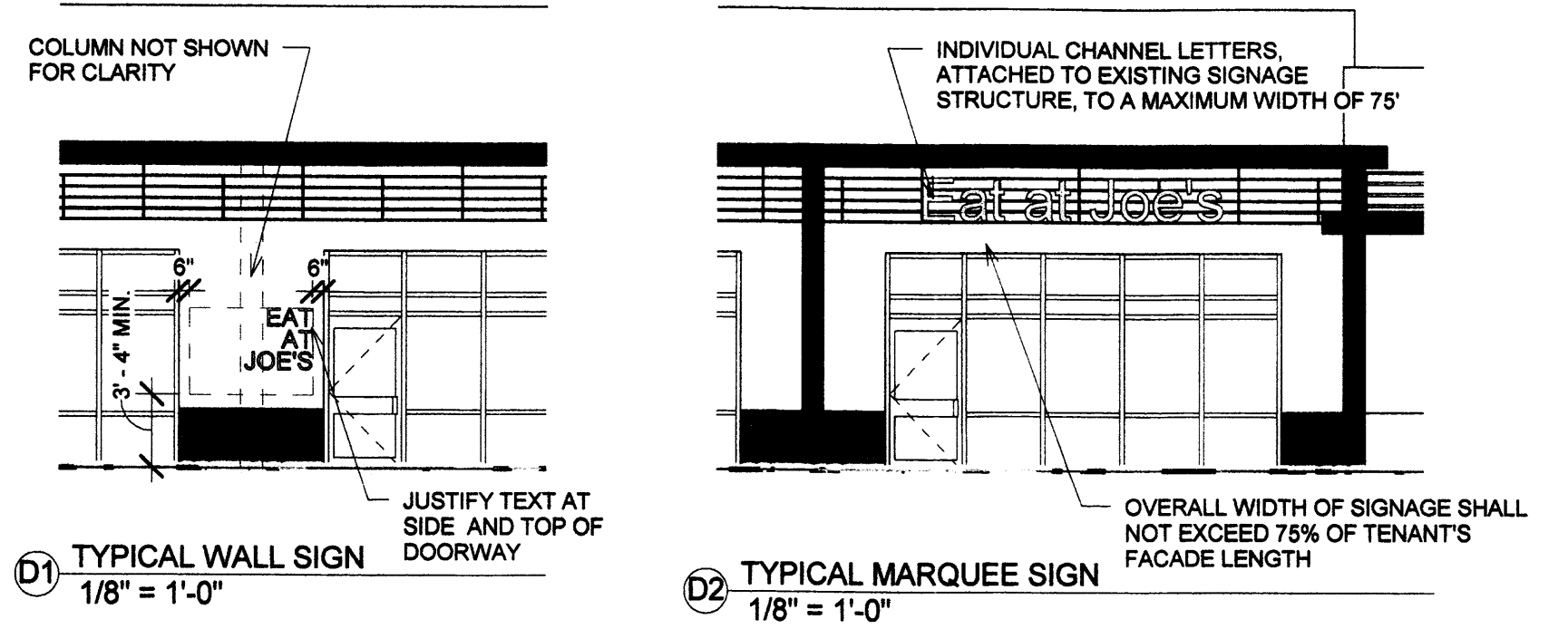
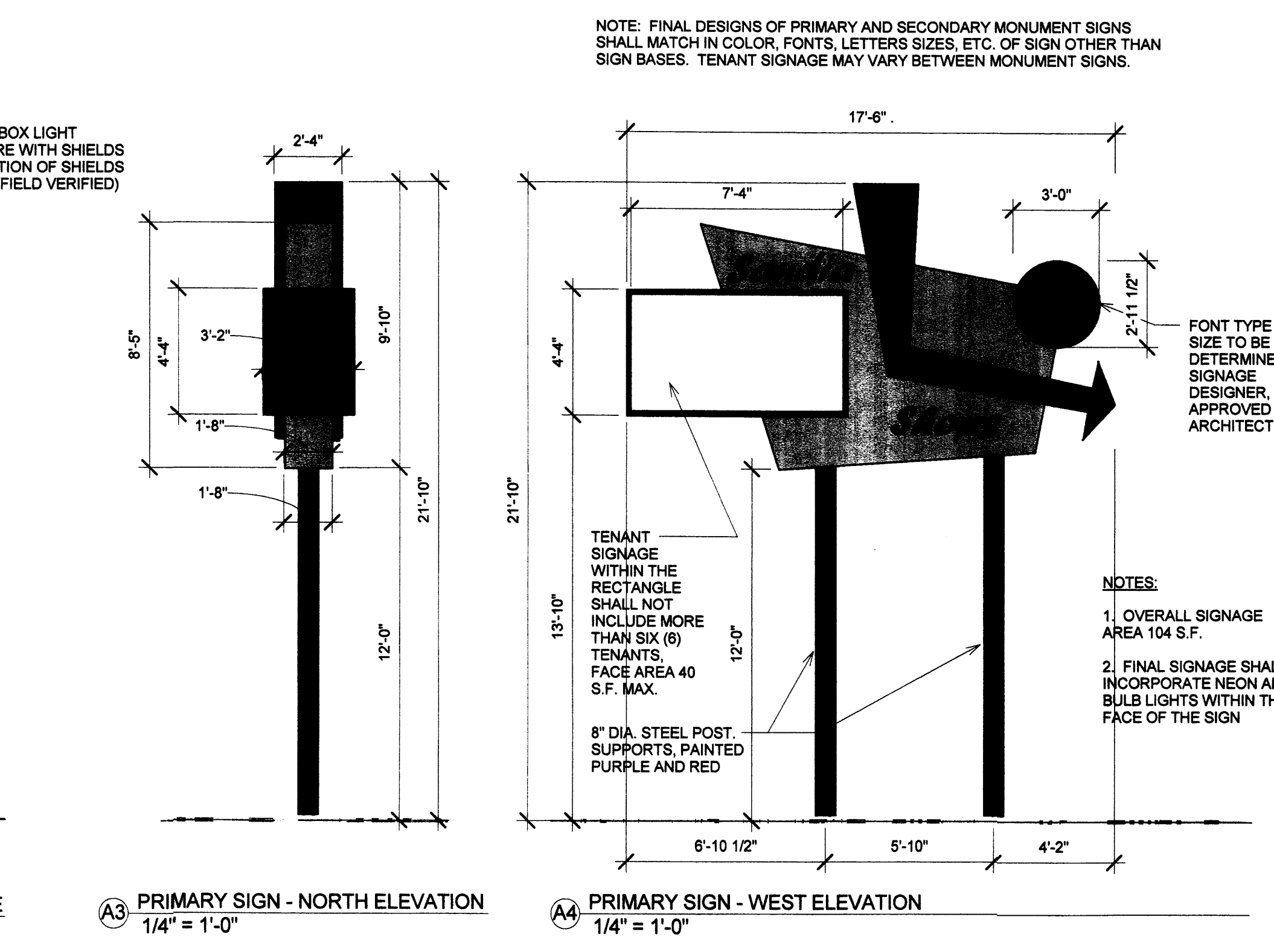
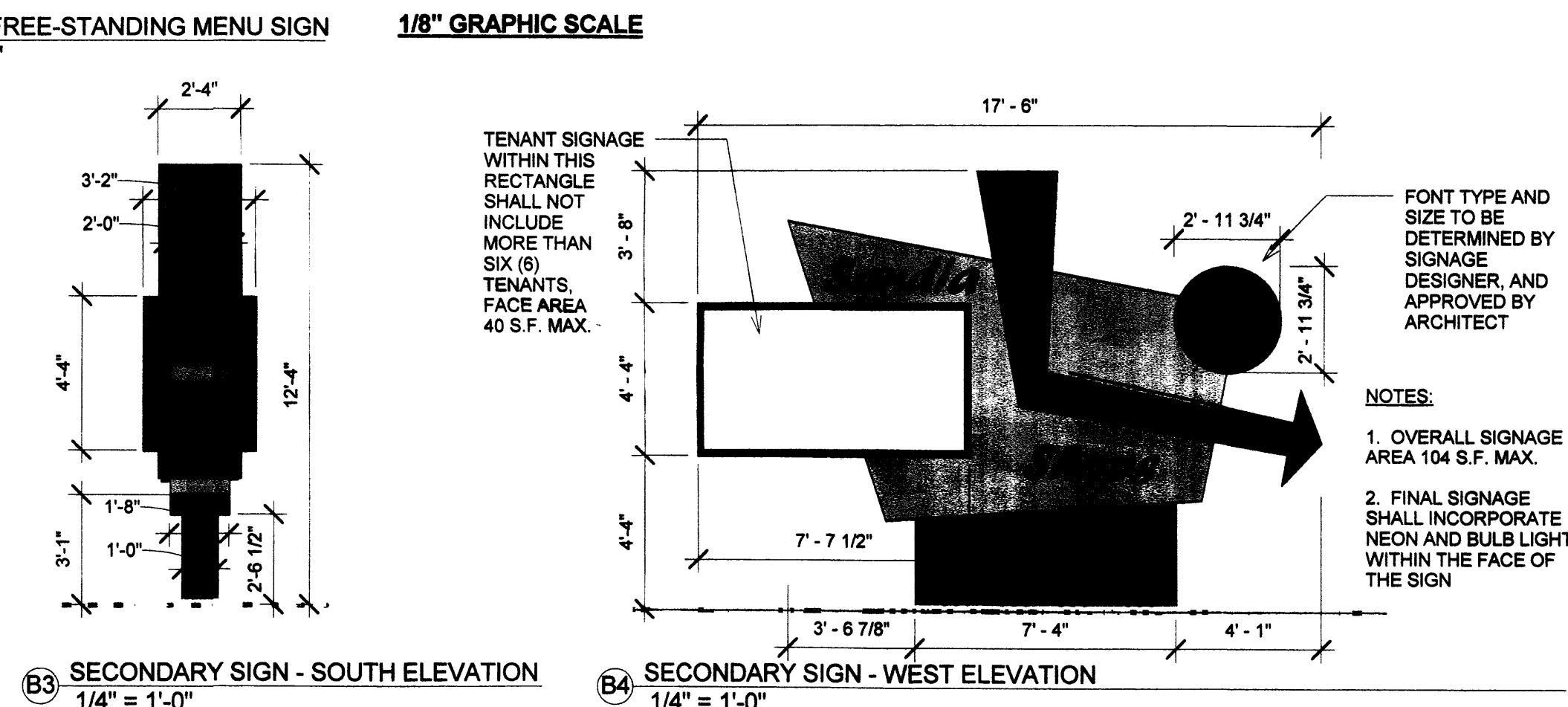
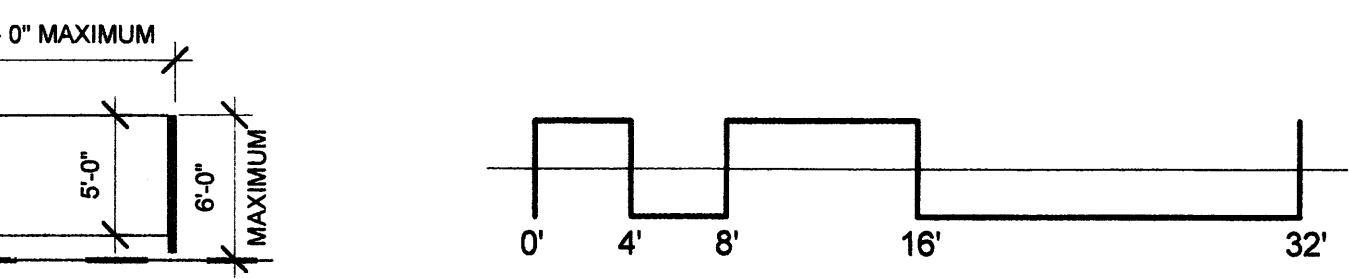
a. ALL DRIVE-THRU SIGNAGE SHALL BE APPROVED BY OWNER OR OWNER'S DESIGNATED REPRESENTATIVE PRIOR TO FABRICATION AND/OR INSTALLATION. SIGNS FOR WHICH PRIOR APPROVAL HAS NOT BEEN OBTAINED MAY BE REMOVED BY OWNER. TENANTS WILL BE RESPONSIBLE FOR ALL CHARGES ASSOCIATED WITH BUILDING AND/OR SITE REPAIRS NEEDED FROM INAPPROPRIATELY MOUNTED SIGNAGE.

b. FREE-STANDING DRIVE-THRU MENU SIGNS, INCLUDING ANY SUPPORTING STRUCTURE, SHALL BE A MAXIMUM OF 10' WIDE, AND 6' FROM THE ADJACENT GRADE (SEE MENU SIGN DIAGRAM).

c. WALL MOUNTED MENU SIGNS SHALL BE LOCATED A MINIMUM OF 3'-4" ABOVE FINISH FLOOR AND A MAXIMUM OF 7'-4" ABOVE FINISH FLOOR (SEE WALL SIGN DIAGRAM).



POTENTIAL SIGNAGE LOCATIONS
W = WALL SIGN LOCATION, WHERE INDICATED ON ELEVATIONS
MA = ON MARQUEE SIGN BAND LOCATED ABOVE CANOPY
MB = ON MARQUEE SIGN BAND LOCATED BELOW CANOPY
P = PARAPET WALL SIGN LOCATION, WHERE INDICATED ON ELEVATIONS
B = BLADE SIGN LOCATION,
D = DRIVE THRU MENU SIGNAGE LOCATION
A = ILLUMINATED SIGNAGE ALLOWABLE THIS ELEVATION ONLY IF DEMONSTRATED THAT IT WILL NOT BE VISIBLE FROM EXISTING RESIDENTIAL USES OR ZONE WITHIN 40'



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GENERAL NOTES

- MESILLA AVE. NE ABUTS THE PROPERTY AT THE WEST, MENAUL BLVD. NE ABUTS THE PROPERTY AT THE NORTH.
- CITY BUS ROUTE RUNS ALONG MENAUL BLVD. NE
- THERE IS AN EXISTING BIKE ROUTE CONNECTION SOUTH OF THE SITE AT CUTLER, AND A BIKE LANE EAST OF THE SITE ON PENNSYLVANIA
- IT IS ANTICIPATED THAT APPROXIMATELY 15,000 SF OF THE DEVELOPMENT WILL BE LEASED TO RESTAURANT TENANTS WITH THE BALANCE LEASED TO OTHER RETAIL USES. IT IS UNKNOWN WHICH PORTIONS OF WHICH BUILDINGS WILL HOUSE SPECIFIC USES AND/OR HOW MANY SEATS EACH RESTAURANT USE WILL REQUIRE. CALCULATIONS PROVIDED HERE ARE BASED ON A HYPOTHETICAL SCENARIO. THE APPLICANT REQUESTS THAT NO CAP BE PLACED ON ALLOWABLE RESTAURANT USES (OTHER THAN BY PARKING CAPACITY) SINCE MARKET CONDITIONS MAY DICTATE DIFFERENT COMBINATIONS OF USES FROM YEAR TO YEAR.
- ADJACENT DEVELOPMENT LOCATED ON PLAN IS APPROXIMATED FROM AN AERIAL PHOTOGRAPH. SURVEY INFORMATION FOR ADJACENT SITES WAS NOT AVAILABLE TO THE APPLICANT.
- OUTDOOR RESTAURANT SEATING WITHIN 75' OF A RESIDENTIAL ZONE SHALL NOT OPERATE PAST 10 P.M.
- SITE DEVELOPMENT PLAN SHALL COMPLY WITH COA ZONE CODE SECTION 14-16-3-18 GENERAL BUILDING AND SITE DESIGN REGULATIONS FOR NON-RESIDENTIAL USES.
- NO LIGHTING SHALL SHINE DIRECTLY ON PUBLIC R.O.W.S OR RESIDENTIAL PROPERTIES PER SECTION 14-16-3-9 COA ZONE CODE. LIGHT POLES WITHIN 100' OF RESIDENTIAL PROPERTIES SHALL NOT EXCEED 16'.
- AT A MINIMUM, THE USABLE OUTDOOR AREA SHALL CONSIST OF AN 8' WALKWAY ALONG THE MAIN FACADE OF EACH BUILDING WITH PUBLIC ENTRANCES, A 6' CLEAR PATH ON ALL WALKWAYS AND ANY OTHER USABLE PUBLIC OUTDOOR AREA INCLUDED IN THE LANDSCAPE PROVIDED. THE USABLE PUBLIC OUTDOOR AREA SHALL EXCLUDE PRIVATE OUTDOOR RESTAURANT SEATING.
- OUTDOOR AMENITIES WILL INCLUDE SEATING AND/OR DINING PATIOS ALONG PEDESTRIAN PATHS WITH BOLLARDS AND/OR OVERHEAD CANOPY LIGHTING, SURROUNDED BY DECIDUOUS SHADE TREES AND SHRUBS SELECTED TO PROVIDE YEAR-ROUND COLOR AND INTEREST.
- ALL ROOF TOP AND/OR GROUND MOUNTED EQUIPMENT SHALL BE SCREENED PER SECTION 14-16-3-18 OF THE ZONING CODE.
- LINE SPLITTING SHOPS BUILDINGS INTO TENANT SPACES ARE NOT FIXED; TENANT SPACES MAY BE COMBINED INTO LARGER SPACES.

SIGNATURE BLOCK

PROJECT NUMBER:	
APPLICATION NUMBER:	
<small>THIS PLAN IS CONFORMANT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) AND THE PROVISIONS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION AND FACTS.</small>	
<small>IF AN INFRASTRUCTURE LIGHT REQUIREMENT (1) YES (2) NO (3) IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.</small>	
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:	
TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
UTILITIES DEVELOPMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
*ENVIRONMENTAL HEALTH DEPARTMENT (Conditional)	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

KEYED NOTES

- PROPOSED 6'-8" HIGH SPLIT FACE CMU SCREEN WALL, MED.TAN ENCLOSURE WITH ALUMINUM COLOR GATES AND CONCRETE APRON PER COA STANDARDS (DOUBLE WIDTH WHERE SHOWN).
- PROPOSED 6" HIGH SPLIT FACE LIGHT TAN CMU SERVICE YARD SCREEN WALL WITH ALUMINUM COLOR GATES.
- PROPOSED LIGHT BOLLARD, SEE SHEET 7.
- PROPOSED PRIMARY MONUMENT SIGN, SEE SHEET 7.
- PROPOSED SECONDARY MONUMENT SIGN, SEE SHEET 7.
- PROPOSED BICYCLE RACK FOR 2 BICYCLES.
- PROPOSED AWNING ABOVE, TYP.
- PROPOSED ACCESSIBLE CONCRETE CURB RAMP WITH TRUNCATED DOMES CONSTRUCTED TO COA STANDARDS (STD DRAWING 2440)
- PROPOSED DRIVE THROUGH LANE
- PROPOSED PEDESTRIAN CONNECTION WITH TEXTURED PAVING.
- PROPOSED FIRE HYDRANT
- PROPOSED 30" WIDE CONCRETE SITE DRIVE TO BE CONSTRUCTED TO COA STANDARDS (STANDARD DRAWING 2426)
- PROPOSED ASPHALT CONCRETE PAVEMENT
- PROPOSED CONCRETE PAVEMENT
- RECONFIGURED CONCRETE MEDIAN
- PROPOSED LOADING AREA (ACCESSED BY MOUNTABLE CURB)
- EXISTING CITY SIDEWALK TO REMAIN.
- PROPOSED MOTORCYCLE SPACES, SIGNAGE AT EACH SPACE
- PROPOSED HANDICAP PARKING SIGN, TYPICAL OF 6.
- EXISTING PROPERTY LINE TO REMAIN
- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE TO BE VACATED
- PROPOSED STOP SIGN
- PROPOSED PAINTED PARKING STRIPING, TYP.
- PROPOSED PLAZA AREA WITH CONTRASTING COLOR AND/OR TEXTURED PAVING. EXTENT AS INDICATED BY HATCH.
- PROPOSED LANDSCAPING AREA WITH DRIP IRRIGATION, TYP.
- PROPOSED CONCRETE CURB, TYP.
- NOT USED.
- PROPOSED COA TYPE 'C' SHELTER AT RE-LOCATED BUS STOP.
- EXISTING CITY TRANSIT ROUTE.
- PROPOSED VACATION OF PROSPECT AVE. NE.; PUBLIC ROADWAY AND SIDEWALK EASEMENTS WILL BE PROVIDED.
- PROPOSED RIGHT-IN, RIGHT-OUT ENTRY, 30" WIDE W/25' CURB RETURN RADI.
- PROPOSED FULL ACCESS ENTRY, 36" WIDE W/25' CURB RETURN RADI.
- PROPOSED VAN ACCESSIBLE PARKING SIGN, TYPICAL OF 2.
- PROPOSED RECYCLING AREA.
- RETAINING WALL FOR RAISED PATIO.
- SERVICE/LOADING AREA (TEMPORARY PARKING FOR DELIVERIES AND SERVICE VEHICLES).
- PROPOSED 16' HIGH SITE LIGHTING, TYPICAL, SEE SHEET 7.
- PROPOSED 20' HIGH SITE LIGHTING, TYPICAL, SEE SHEET 7.
- PROPOSED 32" HIGH MEDIUM TAN SPLIT FACE CMU SCREEN WALL
- PROPOSED 40" HIGH MEDIUM TAN SPLIT FACE CMU SCREEN WALL
- EACH COMPACT SPACE SHALL HAVE THE WORD "COMPACT" PAINTED WITHIN THE SPACE, TYPICAL.
- DRIVE THRU WINDOW LOCATION.
- CURB CUTS FOR WATER HARVESTING, TYPICAL WHERE INDICATED.
- OVERHEAD CANOPY LIGHTING, TYPICAL WHERE INDICATED.
- 4' LONG SITE BENCH, TYPICAL WHERE INDICATED.

BUILDING CRITERIA

PROJECT:	MENAU & PROSPECT NE RETAIL CENTER	
OWNER:	SANDIA FOUNDATION	
ARCHITECT:	Van H. Gilbert Architect PC 2428 Baylor Drive SE Albuquerque, NM 87106 Phone: (505) 247-9955	
LEGAL DESCRIPTION:	LOTS 1-11 & 33-38 BLOCK 17 AND LOTS 1-3 & PORTION LOT 37, 38-39 BLOCK 16 ZUNI ADDITION N-19-2	
ZONING ATLAS MAP:	C-2, SU-1 for NURSERY	
CURRENT ZONING:	SU-1 for C-2 permissive uses, including a full service liquor license only in conjunction with a restaurant, excluding sale of alcohol for off-site consumption and excluding off-premise signs; no more than 16,000 SF net leasable area may be used for restaurant purposes	
PROPOSED ZONING:	M	
OCCUPANCY GROUP:	M	
CONSTRUCTION TYPE:	VB	
NUMBER OF FLOORS:	1	
GROSS SQUARE FOOTAGE:	WEST SHOPS	11,700 SF
	NORTH SHOPS	5,625 SF
	EAST SHOPS	15,206 SF
	PAD A	5,440 SF
	TOTAL	37,971 SF
ALLOWABLE AREA (per building):	M OCCUPANCY & VB-CONSTRUCTION =	9,000 SF/FLOOR
	FULLY SPRINKLED x 300% (ONE-STORY) =	27,000 SF
	TOTAL:	36,000 SF
PARKING ANALYSIS:	1/200 SF NET LEASABLE AREA (1ST 15,000) + 1/250 SF NET LEASABLE AREA + 1/3 SEATS FOR REST. W/LIQUOR & 1/4 ALLOW. FIRE OCC. LOAD FOR REST. W/OUT LIQUOR	19,125 NET LEASABLE AREA RETAIL = 75 + 15,000 SPACES; RESTAURANT (15,000 SF); 184 SEATS W/LIQUOR = 82 SPACES + 317 OCC. W/OUT LIQUOR = 90 SPACES; 232 TOTAL REQUIRED (PER C-2)
	TRANSIT REDUCTION (10%), BUS SHELTER REDUCTION (5%)	23 SPACES + 12 SPACES = 35 SPACES
	ADJUSTED REQUIRED (PER C-2 ZONING)	197 SPACES, 5 MC
	PARKING PROVIDED	190 SPACES, 5 MC SPACES
	ACCESSIBLE PARKING REQUIRED: 8 SPACES	ACCESSIBLE PARKING PROVIDED: 2 VAN SPACE, 6 CAR SPACES
PARKING SPACE SIZES:	STD. CAR SPACE COMPACT SPACE MOTORCYCLE SPACE STANDARD ACCESSIBLE SPACE VAN ACCESSIBLE SPACE	8'-6" TO 9' X 18' (140) 8' X 15' (42) 4' X 8' (5) 8'-6" TO 9' X 18' w/ 5' ACCESS STRIP (8) 8' X 20' w/ 9' ACCESS STRIP (2)
BICYCLE RACK SPACES:	10 REQUIRED	10 PROVIDED
TOTAL LOT AREA:	4.1623 ACRES =	180,972 SF
NET LOT AREA:	3.14 ACRES =	135,744 SF
FLOOR AREA RATIO:	37,971 SF/180,972 SF	20.8 %
TOTAL LANDSCAPE AREA REQUIRED:	20,362 SF	
TOTAL LANDSCAPE AREA PROVIDED:	25,131 SF	



LOCATION PLAN
1" = ±500'

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
REVISED 10/8/08 FOR DRB DEFERRAL TO 10/15/08
REVISED 10/17/08 FOR DRB DEFERRAL TO 10/22/08

MENAU & PROSPECT RETAIL CENTER
FOR THE SANDIA FOUNDATION
ALBUQUERQUE, NEW MEXICO

Van H Gilbert Architect PC
ARCHITECTURE · INTERIORS · PLANNING

2428 baylor drive se albuquerque, nm 87106
tel 505 . 247 . 9955 fax 505 . 247 . 9826
Drawn By: STAFF WGA Project No: 920.00
Checked By: STAFF Date: 09/17/08

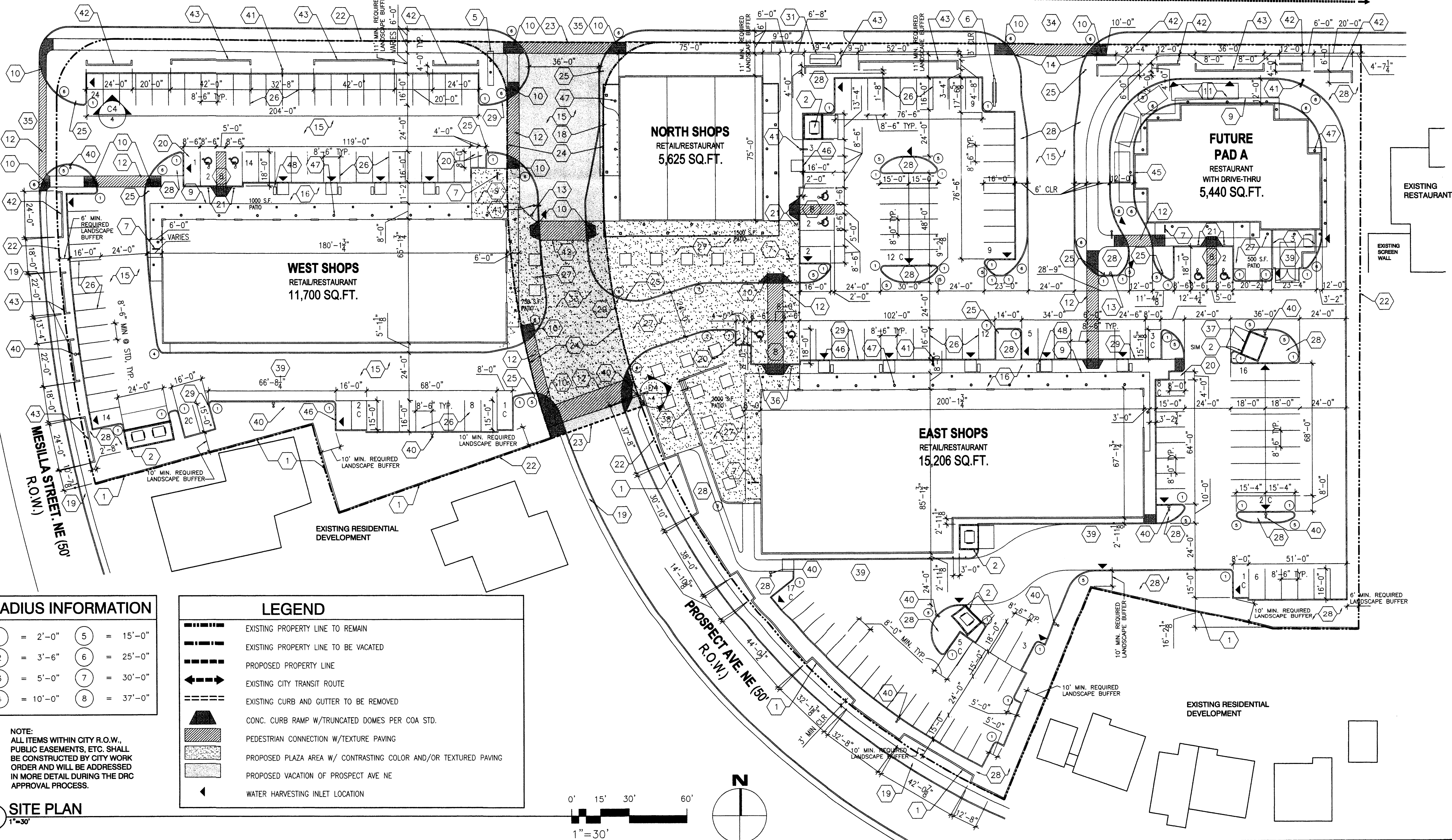
SITE PLAN
SHEET No. 1
SHEET 1 OF 8

SAN PABLO STREET NE

CHARLESTON STREET NE

DALLAS STREET NE

MENAU BLVD. NE (100' R.O.W.)



RADIUS INFORMATION

1 = 2'-0"	5 = 15'-0"
2 = 3'-6"	6 = 25'-0"
3 = 5'-0"	7 = 30'-0"
4 = 10'-0"	8 = 37'-0"

LEGEND

	EXISTING PROPERTY LINE TO REMAIN
	EXISTING PROPERTY LINE TO BE VACATED
	PROPOSED PROPERTY LINE
	EXISTING CITY TRANSIT ROUTE
	EXISTING CURB AND GUTTER TO BE REMOVED
	CONC. CURB RAMP W/TRUNCATED DOMES PER COA STD.
	PEDESTRIAN CONNECTION W/TEXTURE PAVING
	PROPOSED PLAZA AREA W/ CONTRASTING COLOR AND/OR TEXTURED PAVING
	PROPOSED VACATION OF PROSPECT AVE NE
	WATER HARVESTING INLET LOCATION

NOTE:
ALL ITEMS WITHIN CITY R.O.W., PUBLIC EASEMENTS, ETC. SHALL BE CONSTRUCTED BY CITY WORK ORDER AND WILL BE ADDRESSED IN MORE DETAIL DURING THE DRG APPROVAL PROCESS.

SITE PLAN
1" = 30'

5

4

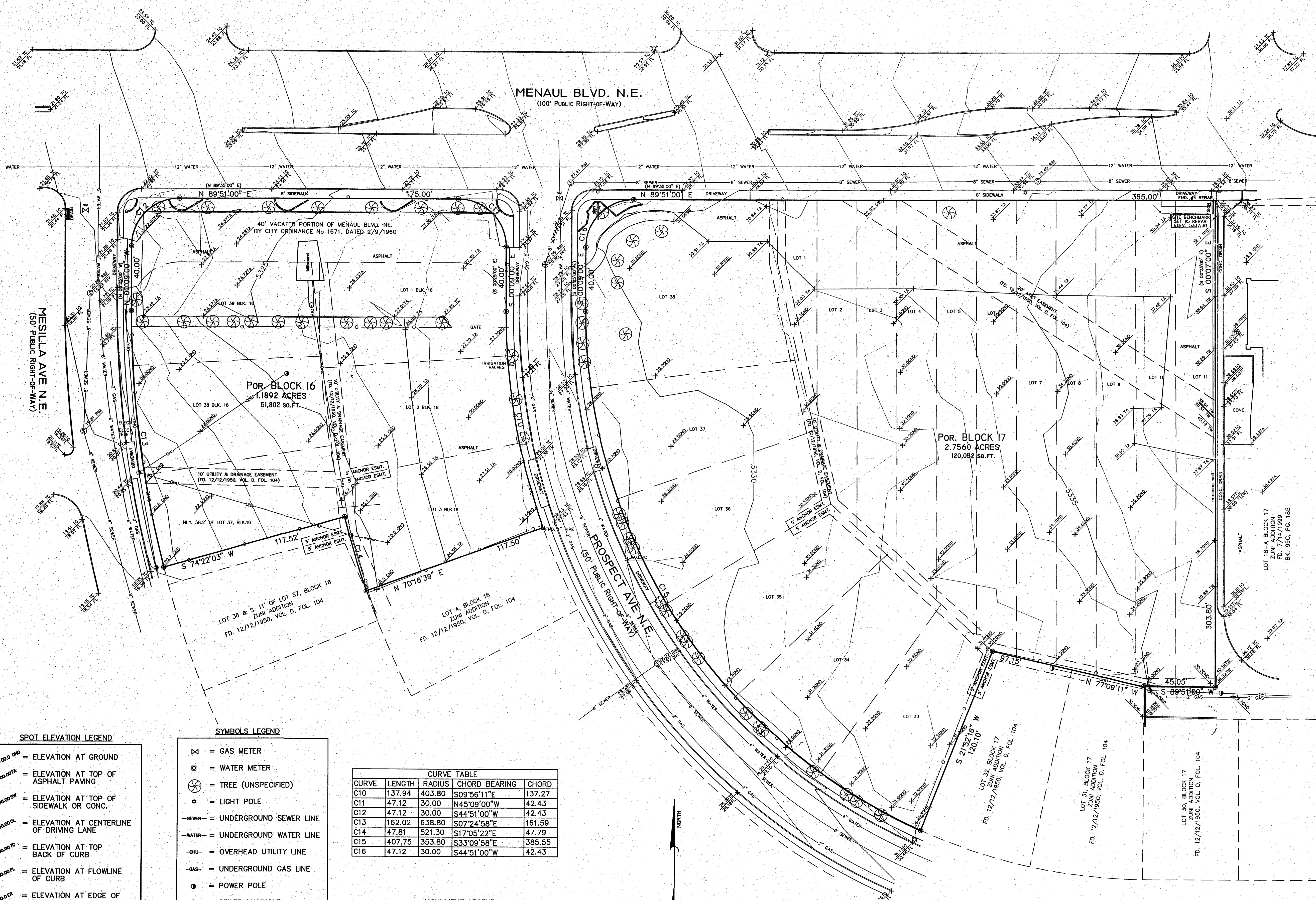
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1

**BOUNDARY SURVEY PLAT &
TOPOGRAPHIC MAP**
Portion of Blocks 16 & 17
ZUNI ADDITION
SECTION 7, T. 10 N., R. 4 E., N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

AGRS CONTROL STATION "11-H19"
NM STATE PLANE COORDINATES
(NAD 1983) CENTRAL ZONE
X=148977.80
Y=1548977.80
ELEV: 5364.257 (NAVD 88)
G.D. FAC: 0.000000000000000000
MAPPING ANGLE: -01°33'



LEGAL DESCRIPTION
Lots 1, 2, 3, 38, 39 and the Northerly 58.20 feet of Lot 37, and the vacated southerly 40 feet of Menaul Blvd. N.E. between Mesilla NE and Prospect NE, all in Block 16; AND Lots 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 33, 34, 35, 36, 37, & 38 all in Block 17 of ZUNI ADDITION, Albuquerque, Bernalillo County, New Mexico, as the same are shown and designated on the map thereof filed in the office of the County Clerk of Bernalillo County, New Mexico, on December 11, 1950, in Plat Volume D, folio 104.

NOTES:
1. Bearings are NM State Plane Grid bearings, central zone, NAD 83.
2. Bearings and distances shown in parenthesis are record from Zuni Addition plat.
3. Distances are horizontal ground distances in US feet.
4. Subject property is located in Zone X, areas determined to be outside the 0.2% annual chance flood plain, according to the Flood Insurance Rate Map of Bernalillo County and Incorporated areas, Panel No. 35001C0356E, effective date November 19, 2003.
5. Elevations are based on AGRS Station "11-H19", located on Menaul Blvd. NE, east of Hoffman Drive NE. Elevation = 5364.26 ft (NAVD 1988 datum).
6. Reference Documents:
a. Plat of Zuni Addition, filed 12/11/1950, Vol. D, folio 104.
b. Replat of Zuni Addition, filed 7/13/1999, Book 99c, Pg. 185.

SURVEYORS CERTIFICATE
I, Gary E. Gritsko, licensed under the laws of the State of New Mexico, do hereby certify that this plat and the actual field survey on which it is based, were prepared by me or under my direction, that this plat and survey meet the Minimum Standards for Surveying in New Mexico, and that the same are true and correct to the best of my knowledge and belief. I further certify that this instrument is a Boundary Survey Plat of an existing tract or tracts and is not a subdivision or land division as defined by the New Mexico Subdivision Act or local subdivision ordinances.

Gary E. Gritsko
Gary E. Gritsko, NMPS No. 8686
Date: Sept 9, 2008



SPOT ELEVATION LEGEND

- 400.00 = ELEVATION AT GROUND
- 400.00A = ELEVATION AT TOP OF ASPHALT PAVING
- 400.00SB = ELEVATION AT TOP OF SIDEWALK OR CONC.
- 400.00CL = ELEVATION AT CENTERLINE OF DRIVING LANE
- 400.00TC = ELEVATION AT TOP BACK OF CURB
- 400.00FL = ELEVATION AT FLOWLINE OF CURB
- 400.00ER = ELEVATION AT EDGE OF ROAD
- 400.00TW = ELEVATION AT TOP OF WALL
- 400.00RM = ELEVATION AT RIM OF MANHOLE

SYMBOLS LEGEND

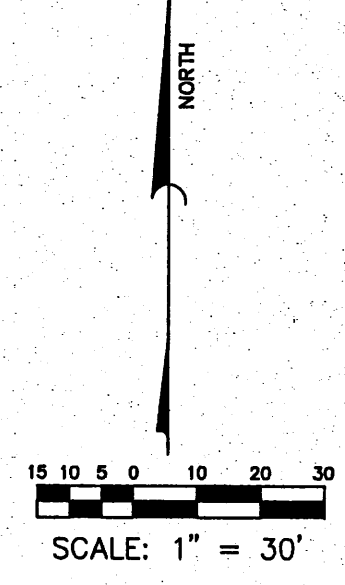
- ⊗ = GAS METER
- ⊕ = WATER METER
- ⊙ = TREE (UNSPECIFIED)
- ☆ = LIGHT POLE
- SEWER- = UNDERGROUND SEWER LINE
- WATER- = UNDERGROUND WATER LINE
- OU- = OVERHEAD UTILITY LINE
- GAS- = UNDERGROUND GAS LINE
- ⊙ = POWER POLE
- ⊙ = SEWER MANHOLE
- ⊙ = ANCHOR
- ⊕ = WATER VALVE
- ⊙ = CHAINLINK FENCE

CURVE TABLE

CURVE	LENGTH	RADIUS	CHORD BEARING	CHORD
C10	137.94	403.80	S09°56'11"E	137.27
C11	47.12	30.00	N45°09'00"W	42.43
C12	47.12	30.00	S44°51'00"W	42.43
C13	162.02	638.80	S07°24'58"E	161.59
C14	47.81	521.30	S17°05'22"E	47.79
C15	407.75	353.80	S33°09'58"E	385.55
C16	47.12	30.00	S44°51'00"W	42.43

MONUMENT LEGEND

- = FOUND MONUMENT AS NOTED
- ⊙ = SET 1/2" REBAR W/PLASTIC CAP STAMPED "G.GRITSKO PLS 8686" UNLESS OTHERWISE NOTED



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