

**SITE PLAN FOR SUBDIVISION-REQUIRED INFORMATION**

**THE SITE:**  
TRACT A, BLOCKS 16 & 17, ZUNI ADDITION. THE SITE CONSISTS OF APPROXIMATELY 4.13 ACRES. NO SUBDIVISION IS ANTICIPATED AT THIS TIME. HOWEVER, THE MODIFIED ACCESS AT PROSPECT AVENUE AND THE VACATION OF PUBLIC ROADWAY EASEMENT REQUIRE A REPEAT AT DRB.

**EXISTING ZONING:**  
SU-1 FOR C-2 PERMISSIVE USES, INCLUDING A FULL SERVICE LIQUOR LICENSE ONLY IN CONJUNCTION WITH A RESTAURANT, EXCLUDING SALE OF ALCOHOL FOR OFF-SITE CONSUMPTION AND EXCLUDING OFF-PREMISE SIGNS.

**PROPOSED USE:**  
PER C-2 PERMISSIVE USES, WITH EXCEPTIONS AS DESCRIBED ABOVE.

**PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS:**

**VEHICULAR ACCESS:**  
VEHICULAR ACCESS TO THE SITE WILL BE FROM ACCESS POINTS ALONG MENAUL BOULEVARD NE AND MESILLA STREET NE. A FULL MOVEMENT INTERSECTION WILL BE CREATED WITH REALIGNMENT OF PROSPECT AVENUE NE (A PRIVATE ROAD WITH A PUBLIC ACCESS EASEMENT) TO LINE UP WITH CHARLESTON STREET NE. A SECOND MENAUL ACCESS POINT WILL BE RIGHT-IN, RIGHT-OUT TURN MOVEMENT ONLY EAST OF PROSPECT AVENUE.

**PEDESTRIAN ACCESS CIRCULATION:**  
THE EXISTING PUBLIC SIDEWALK ALONG MENAUL BOULEVARD WILL BE REPLACED WITH A NEW 6 FOOT PUBLIC SIDEWALK WITHIN THE PROPERTY IN ORDER TO FACILITATE THE PLACEMENT OF LANDSCAPE BETWEEN THE BACK OF CURB AND THE NEW SIDEWALK IN COMPLIANCE WITH DEVELOPMENT PROCESS MANUAL. THE PROPOSED PUBLIC SIDEWALK WILL REQUIRE A SIDEWALK ACCESS EASEMENT TO BE GRANTED. THERE IS AN EXISTING 4 FOOT SIDEWALK ALONG MESILLA STREET. 6 FOOT SIDEWALK CONNECTIONS WILL BE MADE BETWEEN THE PUBLIC SIDEWALK AND FUTURE BUILDINGS. ADA ACCESS WILL BE PROVIDED FROM THE SIDEWALK TO THE FUTURE BUILDINGS ON FUTURE SITE PLANS FOR BUILDING PERMIT.

**TRANSIT ACCESS:**  
MENAUL BOULEVARD IS AN ENHANCED TRANSIT CORRIDOR. ABO RIDE ROUTE #8 PROVIDES SERVICE ALONG MENAUL BOULEVARD. THERE IS AN EXISTING BUS STOP LOCATED ALONG MENAUL JUST WEST OF PROSPECT AVENUE, WHICH SHALL BE MOVED BY ABO RIDE TO 280 FEET EAST AS SHOWN ON THIS SITE PLAN.

**BICYCLE ACCESS:**  
THERE IS AN EXISTING BIKE ROUTE SOUTH OF THIS SITE ALONG CUTLER AVENUE AND ESPANOLA STREET.

**INTERNAL CIRCULATION:**  
CONCEPTUAL LOCATIONS FOR THE ACCESS POINTS HAVE BEEN IDENTIFIED AND WILL BE INDICATED ON FUTURE SITE PLANS FOR BUILDING PERMIT. SIDEWALKS WILL BE PROVIDED THROUGHOUT THE SITE AND BETWEEN ALL BUILDINGS AND PARKING AREAS.

**BUILDING HEIGHTS AND SETBACKS:**  
BUILDING HEIGHT AND SETBACKS SHALL BE PER THE O-1 ZONE, SECTION 14-16-2-15(C)(1).

**MAXIMUM F.A.R.: .75**

**LANDSCAPE PLAN:**  
SEE DESIGN STANDARDS SHEET 2. LANDSCAPE PLANS WILL BE CREATED IN CONJUNCTION WITH FUTURE SITE PLANS FOR BUILDING PERMIT, AND CONSISTENT WITH THE DESIGN STANDARDS.

PROJECT NUMBER: 1007099  
Application Number

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated April 16, 2012 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes (X) No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

**AFD PLANS CHECKING OFFICE**  
924-3611  
**APPROVED/DISAPPROVED**  
SIGNATURE & DATE

- GENERAL NOTES**
- THIS SITE PLAN FOR SUBDIVISION (12EPC-40006) VOIDS THE PREVIOUSLY APPROVED SITE PLAN FOR BUILDING PERMIT (08EPC-40021).
  - THE PUBLIC ROADWAY EASEMENT WILL BE VACATED AND ACCESS TO THE SITE SHALL BE MOVED TO ALIGN WITH CHARLESTON STREET. THE MEDIANS IN MENAUL BOULEVARD WILL BE RECONSTRUCTED ACCORDINGLY, WITH QUEUING LENGTHS TO BE DETERMINED AT FUTURE SITE PLAN FOR BUILDING PERMIT.
  - CITY TRANSIT REQUIRES THE EXISTING BUS STOP TO BE MOVED APPROXIMATELY 280 FEET EAST. A 5' WIDE X 20' LONG EASEMENT IS REQUIRED AS PART OF THE PLATTING PROCESS AT DRB.
  - VEHICULAR ACCESS IS PROHIBITED TO AND FROM THE SITE FROM THE NEIGHBORHOOD TO THE SOUTH.

# MENAUL SITE - TRACT A

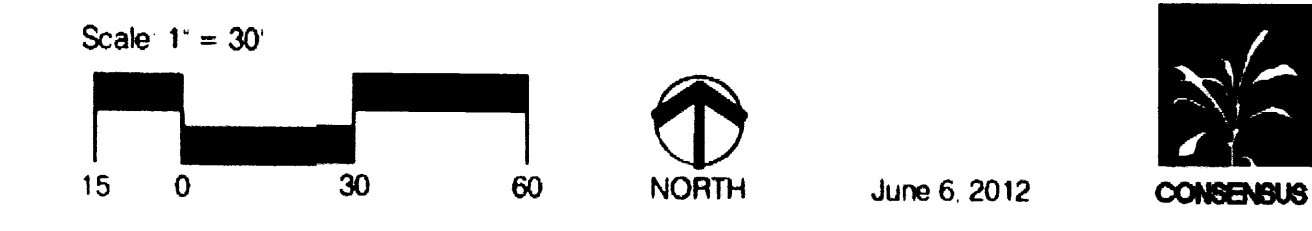
## ZUNI ADDITION

### SITE DEVELOPMENT PLAN FOR SUBDIVISION

Prepared for:  
Sandia Foundation  
6211 San Mateo  
Suite 100  
Albuquerque, NM 87109

Prepared by:  
Consensus Planning, Inc.  
302 Eighth Street NW  
Albuquerque, NM 87102

Isaacson & Arfman, P.A.  
128 Monroe Street NE  
Albuquerque, NM 87108



PLAT OF  
**TRACTS A-1A AND A-1B**  
**BLOCKS 16 AND 17**  
**ZUNI ADDITION**

(BEING A REPLAT OF TRACT A-1, BLOCKS 16 & 17, ZUNI ADDITION)

SITUATE WITHIN  
**SECTION 7, TOWNSHIP 10 NORTH, RANGE 4 EAST**  
**NEW MEXICO PRINCIPAL MERIDIAN**  
**CITY OF ALBUQUERQUE**  
**BERNALILLO COUNTY, NEW MEXICO**

JULY, 2013

PROJECT NUMBER: 1007099

Application Number: 13DRB-70659

**PLAT APPROVAL**

**UTILITY APPROVALS:**

[Signature] 8-5-13  
 Public Service Company of New Mexico  
 Date

[Signature] 8/30/2013  
 New Mexico Gas Company  
 Date

[Signature] 4/5/13  
 Qwest Corporation d/b/a CenturyLink QC.  
 Date

[Signature] 8/5/13  
 Comcast  
 Date

**CITY APPROVALS:**

[Signature] 8-8-13  
 City Surveyor  
 Department of Municipal Development  
 Date

NC  
 Real Property Division  
 Date

NA  
 Environmental Health Department  
 Date

[Signature] 8-28-13  
 Traffic Engineering, Transportation Division  
 Date

[Signature] 08/28/13  
 ABCWA  
 Date

[Signature] 8-28-13  
 Parks and Recreation Department  
 Date

[Signature] 8-28-13  
 AMAFCA  
 Date

[Signature] 8-28-13  
 City Engineer  
 Date

[Signature] 9-17-13  
 DRB Chairperson, Planning Department  
 Date

DOCH 2013104705  
 09/17/2013 02:30 PM Page 1 of 3  
 PLAT R \$25.00 B 2013C P 0108 M Toulous Olivere, Bernalillo Cour

SHEET 1 OF 3  
**SURVOTEK, INC.**

Consulting Surveyors Phone: 505-897-3366  
 9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114 Fax: 505-897-3377

**TREASURERS CERTIFICATION**

This is to certify that taxes are current and paid  
 on the following: 101905920424831501  
Sandia Foundation

[Signature] 9/17/13  
 Bernalillo County Treasurer Date

**PUBLIC UTILITY EASEMENTS**

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the  
 common and joint use of:

- Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- Qwest Corporation d/b/a CenturyLink QC. for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

**DISCLAIMER**

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

**PURPOSE OF PLAT**

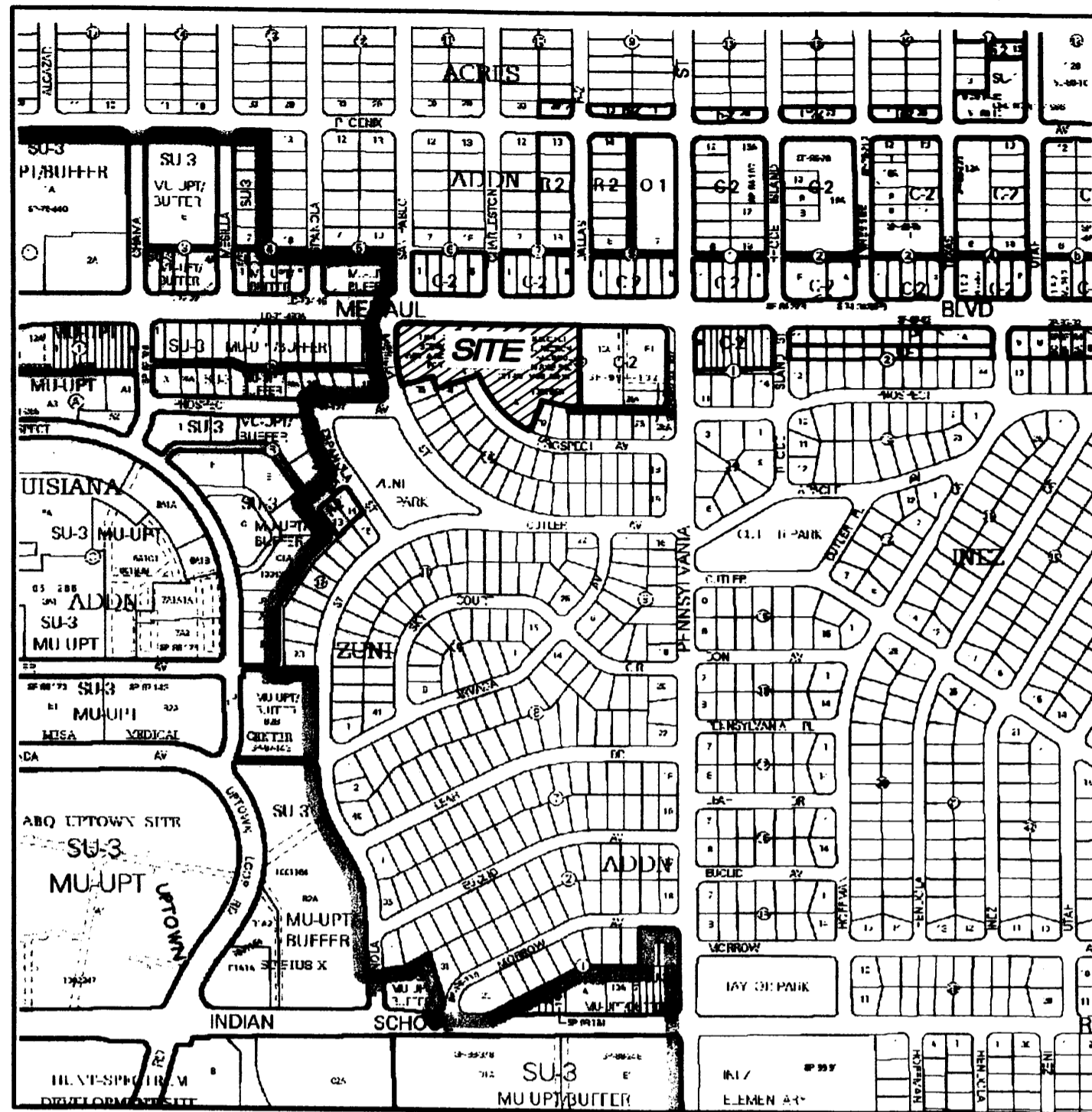
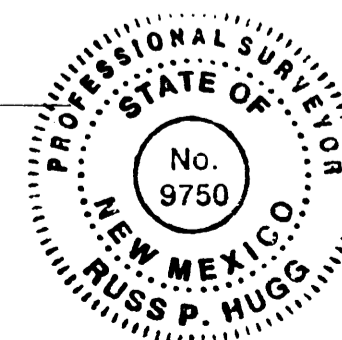
The purpose of this plat is to:

- Grant the new easements as shown hereon.
- Divide existing Tract A-1 into two (2) tracts shown hereon.

**SURVEYORS CERTIFICATION**

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

[Signature]  
 Russ P. Hugg  
 NMPS No. 9750  
 July 23, 2013



**VICINITY MAP**  
 Not To Scale

**GENERAL NOTES**

- Bearings are grid and based on the New Mexico State Plane Coordinate System, Central Zone (NAD83).
- Distances are ground.
- Distances along curved lines are arc lengths.
- Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ( ).
- All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- City of Albuquerque Zone Atlas Page H-19-Z.

**SUBMISSION DATA**

- Total number of existing Tracts: 1
- Total number of Tracts created: 2
- Gross Subdivision acreage: 4.1320 acres

PLAT OF  
**TRACTS A-1A AND A-1B**  
**BLOCKS 16 AND 17**  
**ZUNI ADDITION**  
 (BEING A REPLAT OF TRACT A-1, BLOCKS 16 & 17, ZUNI ADDITION)  
 SITUATE WITHIN  
**SECTION 7, TOWNSHIP 10 NORTH, RANGE 4 EAST**  
**NEW MEXICO PRINCIPAL MERIDIAN**  
**CITY OF ALBUQUERQUE**  
**BERNALILLO COUNTY, NEW MEXICO**  
 JULY, 2013

**LEGAL DESCRIPTION**

That certain parcel of land situate within Section 7, Township 10 North, Range 4 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, comprising all of Tract A-1, Blocks 16 and 17, Zuni Addition, as the same is shown and designated on the plat entitled "PLAT OF TRACT A-1, BLOCKS 16 & 17, ZUNI ADDITION, (BEING A REPLAT OF TRACT A, BLOCK 16 & 17, ZUNI ADDITION) SITUATE WITHIN SECTION 7, TOWNSHIP 10 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico, on August 15, 2013, in Plat Book 2013C, Page 98.

Said parcel contains 4.xxx acres, more or less.

**FREE CONSENT AND DEDICATION**

SURVEYED and REPLATTED and now comprising PLAT OF TRACTS A-1A AND A-1B, BLOCKS 16 AND 17, ZUNI ADDITION (BEING A REPLAT OF TRACT A-1, BLOCKS 16 AND 17, ZUNI ADDITION) SITUATE WITHIN SECTION 7, TOWNSHIP 10 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, COUNTY, NEW MEXICO, with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby dedicate the additional public street right of way as shown hereon to the City of Albuquerque in fee simple with warranty covenants. Said owner(s) and proprietor(s) do hereby grant the easements as shown hereon. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

**OWNER(S)**

Sandia Foundation, a New Mexico Non-profit corporation



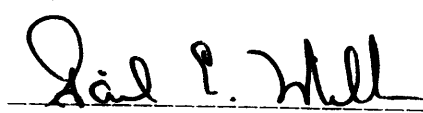
By: Robert Goodman, Executive Director

**ACKNOWLEDGMENT**

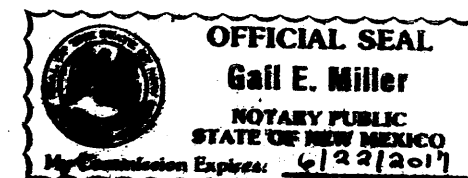
STATE OF NEW MEXICO  
 COUNTY OF BERNALILLO SS

The foregoing instrument was acknowledged before me this 5<sup>th</sup>

day of August, 2013, by Robert Goodman, Executive Director of The Sandia Foundation, a New Mexico Non-profit Corporation.

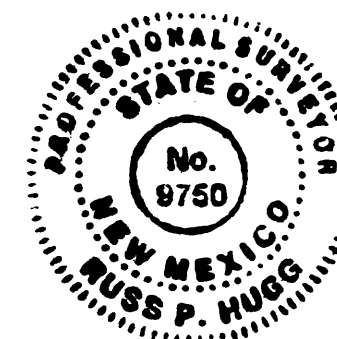


Notary Public My commission expires 6/22/2017



**SECTION 14-14-4-7 PROHIBITION ON PRIVATE RESTRICTIONS ON THE INSTALLATION OF SOLAR COLLECTORS**

"No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat."



DOCH 2013104705  
 09/17/2013 02:30 PM Page 2 of 3  
 Plot R 525 00 B 2013C P 0108 M Toulouse Olivere, Bernalillo Cour

SHEET 2 OF 3

**SURVOTEK, INC.**

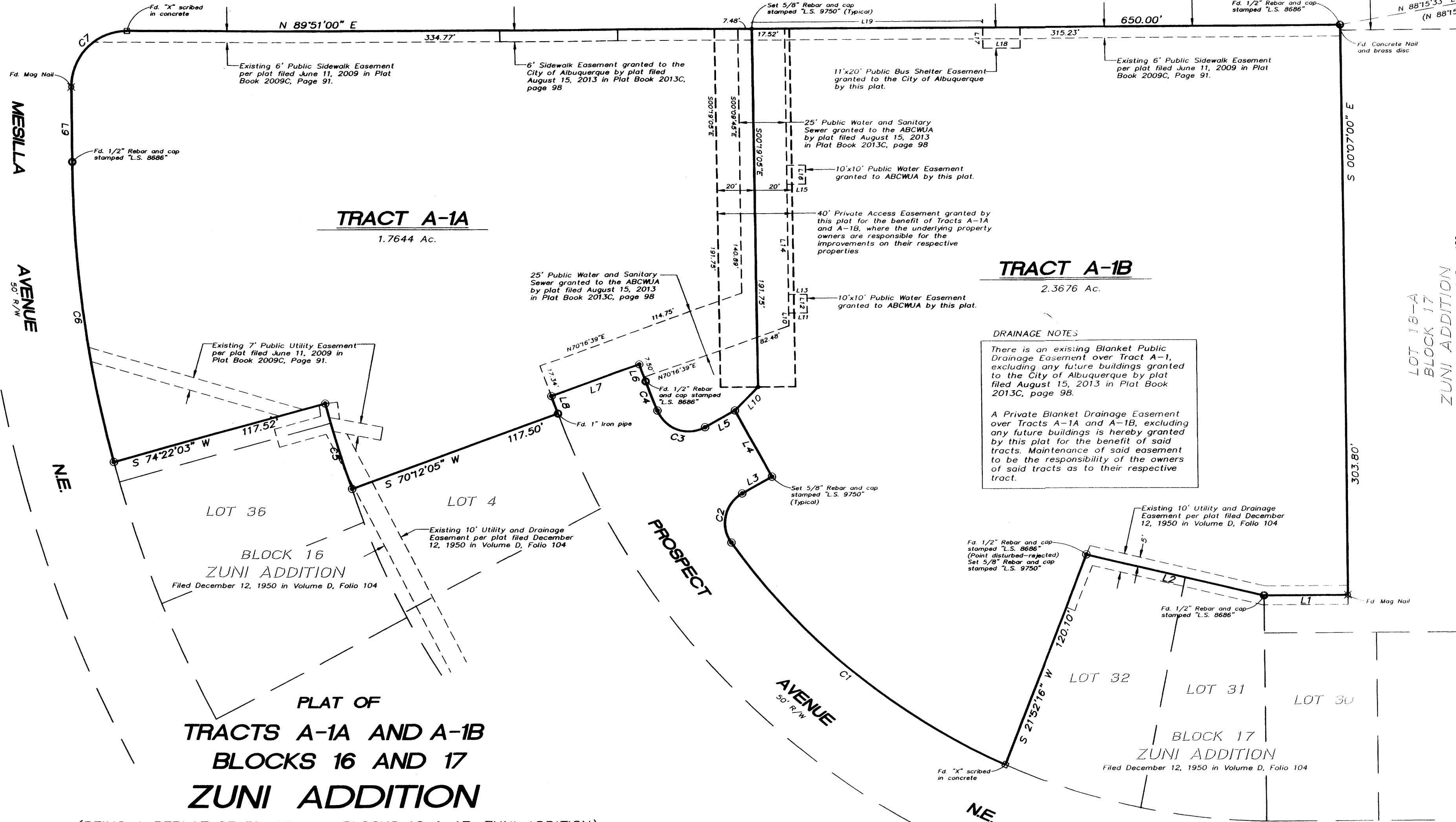
Consulting Surveyors Phone: 505-897-3366  
 9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114 Fax: 505-897-3377

LINE	LENGTH	BEARING
L1	45.05	S89°51'00"W
L2	97.15	N77°09'11"W
L3	18.28	N61°04'11"E
L4	40.00	N28°55'49"W
L5	18.30	S61°04'11"W
L6	10.00	N19°32'37"W
L7	50.00	S70°27'23"W
L8	10.00	S19°32'37"E
L9	40.00	N00°09'00"W
L10	6.82	N00°09'45"W
L11	10.00	N89°50'15"E
L12	10.00	N00°09'45"W
L13	10.00	N89°50'15"E
L14	58.78	N00°09'45"W
L15	10.00	N89°50'15"E
L16	10.00	N00°09'45"W
L17	11.00	S00°09'00"E
L18	20.00	N89°51'00"E
L19	123.58	N89°51'00"E

CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	189.84'	353.80'	97.26'	187.57'	S50°48'38"E	30°44'35"
C2	30.32'	18.00'	20.17'	26.86'	S12°48'55"W	96°30'31"
C3	30.31'	18.00'	20.16'	26.86'	S70°41'13"E	96°29'12"
C4	16.80'	353.80'	8.40'	16.80'	S21°05'00"E	2°43'15"
C5	47.81'	521.30'	23.92'	47.79'	S17°05'42"E	5°15'16"
C6	162.02'	638.80'	81.45'	161.59'	S07°25'06"E	14°31'55"
C7	47.13'	30.00'	30.01'	42.43'	S44°51'00"W	90°00'35"

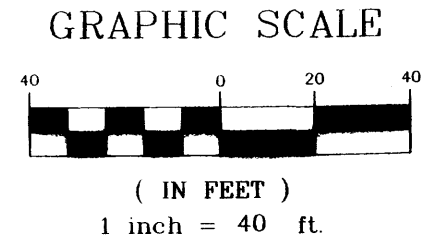
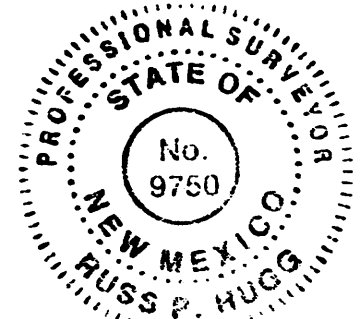
Albuquerque Control Survey Monument "11-H19"  
 New Mexico State Plane Coordinates  
 (Central Zone - NAD 83)  
 North = 1,495,164.914 feet  
 East = 1,548,977.780 feet  
 Elevation = 5,364.257 feet (NAVD 1988)  
 Delta Alpha = -00°10'33.04"  
 Ground To Grid Factor = 0.999656857

**MENAU BOULEVARD N.E.**  
 100' R/W

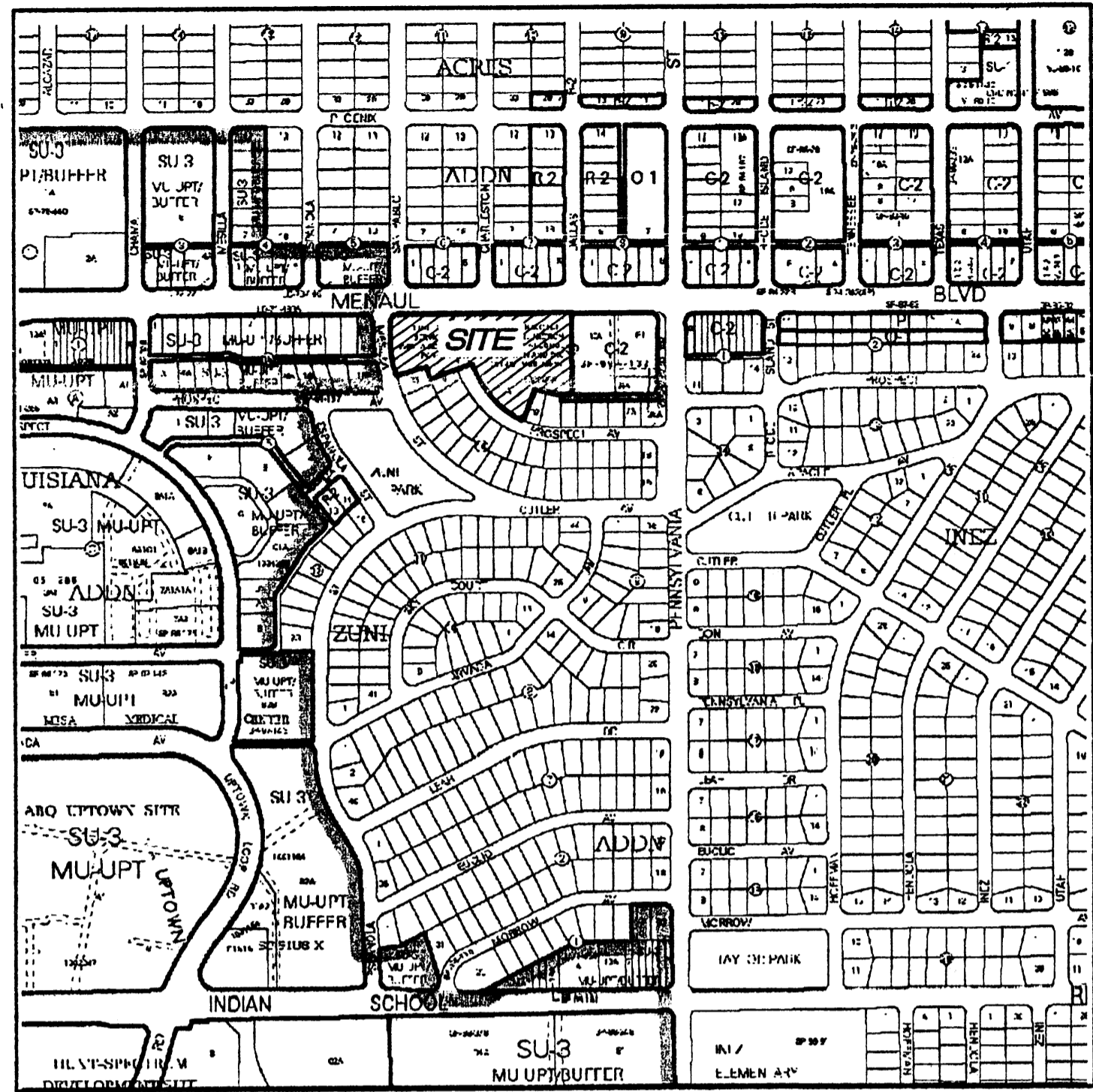


**DRAINAGE NOTES**  
 There is an existing Blanket Public Drainage Easement over Tract A-1, excluding any future buildings granted to the City of Albuquerque by plat filed August 15, 2013 in Plat Book 2013C, page 98.  
 A Private Blanket Drainage Easement over Tracts A-1A and A-1B, excluding any future buildings is hereby granted by this plat for the benefit of said tracts. Maintenance of said easement to be the responsibility of the owners of said tracts as to their respective tract.

**PLAT OF TRACTS A-1A AND A-1B BLOCKS 16 AND 17 ZUNI ADDITION**  
 (BEING A REPLAT OF TRACT A-1, BLOCKS 16 & 17, ZUNI ADDITION)  
 SITUATE WITHIN  
 SECTION 7, TOWNSHIP 10 NORTH, RANGE 4 EAST  
 NEW MEXICO PRINCIPAL MERIDIAN  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO



**SURVOTEK, INC.**  
 Consulting Surveyors  
 9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114  
 Phone: 505-897-3366  
 Fax: 505-897-3377



VICINITY MAP  
Not To Scale

**GENERAL NOTES**

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- City of Albuquerque Zone Atlas Page H-19-Z.

**SUBDIVISION DATA**

- Total number of existing Tracts: 1
- Total number of Tracts created: 1
- Gross Subdivision acreage: 4.1826 acres
- Public street R/W dedicated: 0.0391 acres

**TREASURERS CERTIFICATION**

This is to certify that taxes are current and paid on the following:

10190920424231501

Sandie Foundation

*[Signature]*

8/15/13

Bernalillo County Treasurer

**PUBLIC UTILITY EASEMENTS**

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- Qwest Corporation d/b/a CenturyLink QC, for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

**DISCLAIMER**

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

**PURPOSE OF PLAT**

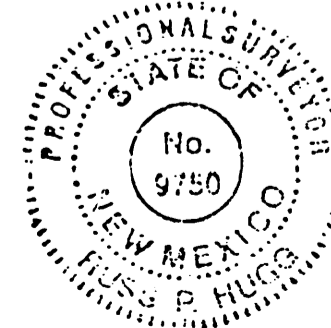
The purpose of this plat is to:

- Show the easements Vacated by 12DRB-70189 and 70190.
- Grant the new easements as shown hereon.
- Dedicate the additional public street right of way as shown hereon.

**SURVEYORS CERTIFICATION**

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

Russ P. Hugg  
NMPS No. 9750  
July 2, 2012



PLAT OF  
TRACT A-1  
BLOCKS 16 AND 17  
ZUNI ADDITION  
(BEING A REPLAT OF TRACT A, BLOCKS 16 & 17, ZUNI ADDITION)

SITUATE WITHIN  
SECTION 7, TOWNSHIP 10 NORTH, RANGE 4 EAST  
NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
JULY, 2012

PROJECT NUMBER: 1007099

Application Number: 12DRB-70243

**PLAT APPROVAL**

**UTILITY APPROVALS:**

<i>[Signature]</i> Public Service Company of New Mexico	7-22-13 Date
<i>[Signature]</i> New Mexico Gas Company	8/13/2013 Date
<i>[Signature]</i> Qwest Corporation d/b/a CenturyLink QC.	8-14-13 Date
<i>[Signature]</i> Comcast	7/22/13 Date

**CITY APPROVALS**

FOR <i>[Signature]</i> City Surveyor Department of Municipal Development	7-24-12 Date
<i>[Signature]</i> Real Property Division	Date
<i>[Signature]</i> Environmental Health Department	Date
<i>[Signature]</i> Traffic Engineering, Transportation Division	08-07-13 Date
<i>[Signature]</i> ABCWA	08/07/13 Date
<i>[Signature]</i> Parks and Recreation Department	8-7-13 Date
<i>[Signature]</i> AMAFC	8-7-13 Date
<i>[Signature]</i> City Engineer	8-7-13 Date
<i>[Signature]</i> DRB Chairperson, Planning Department	8-14-13 Date

DOCH 2013091237  
08/15/2013 11:25 AM Page 1 of 3  
PLAT R 225 00 B 2013C P 0098 R Toulous Oliveira, Bernalillo Co.

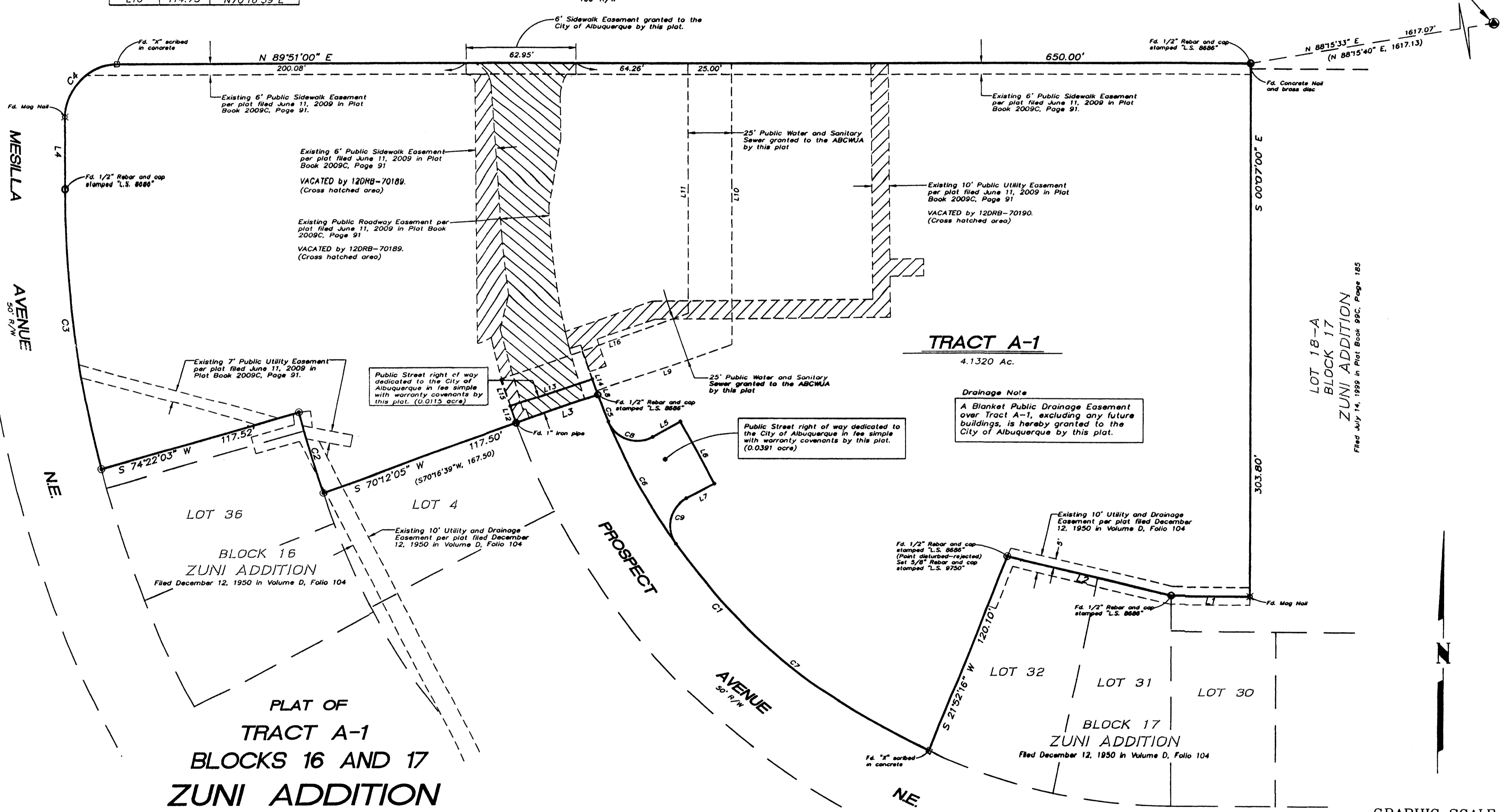


LINE	LENGTH	BEARING
L1	45.05	S89°51'00"W
L2	97.15	N77°09'11"W
L3	50.00	S70°27'23"W
L4	40.00	N00°09'00"W
L5	18.30	N61°04'11"E
L6	40.00	S28°55'49"E
L7	18.28	S61°04'11"W
L8	2.50	N19°43'21"W
L9	82.48	N70°16'39"E
L10	158.54	N00°09'45"W
L11	140.89	S00°09'45"E
L12	10.00	N19°32'38"W
L13	50.00	N70°27'23"E
L14	10.00	S19°32'38"E
L15	17.34	N19°32'38"W
L16	114.75	N70°16'39"E

CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	286.89'	353.80'	151.86'	279.09'	S42°57'09"E	46°27'34"
C2	47.81'	521.30'	23.92'	47.79'	S17°05'42"E	5°15'16"
C3	162.02'	638.80'	81.45'	161.59'	S07°25'06"E	14°31'55"
C4	47.13'	30.00'	30.01'	42.43'	S44°51'00"W	90°00'35"
C5	16.80'	353.80'	8.40'	16.80'	S21°05'00"E	2°43'15"
C6	80.25'	353.80'	40.30'	80.07'	S28°56'29"E	12°59'43"
C7	189.84'	353.80'	97.26'	187.57'	S50°48'38"E	30°44'35"
C8	30.31'	18.00'	20.16'	26.86'	S70°41'13"E	96°29'12"
C9	30.32'	18.00'	20.17'	26.86'	S12°48'55"W	96°30'31"

Albuquerque Control Survey Monument "11-H19"  
 New Mexico State Plane Coordinates  
 (Central Zone - NAD 83)  
 North = 1,495,164.914 feet  
 East = 1,548,977.780 feet  
 Elevation = 5364.257 feet (NAVD 1988)  
 Delta Alpha = -00°10'33.04"  
 Ground To Grid Factor = 0.999656857

**MENAU BOULEVARD N.E.**  
 100' R/W



**PLAT OF  
 TRACT A-1  
 BLOCKS 16 AND 17  
 ZUNI ADDITION**  
 (BEING A REPLAT OF TRACT A, BLOCKS 16 & 17, ZUNI ADDITION)

SITUATE WITHIN  
**SECTION 7, TOWNSHIP 10 NORTH, RANGE 4 EAST**  
**NEW MEXICO PRINCIPAL MERIDIAN**  
**CITY OF ALBUQUERQUE**  
**BERNALILLO COUNTY, NEW MEXICO**

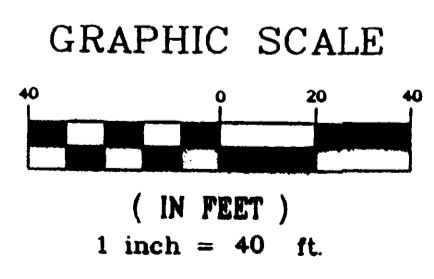
JULY, 2012

120336.dwg



SHEET 3 OF 3

DOC# 2013091237  
 08/15/2013 11:25 AM Page: 3 of 3  
 PLAT R \$25.00 B 2013C P 0098 M Toulouse Oliveira, Bernalillo Co.

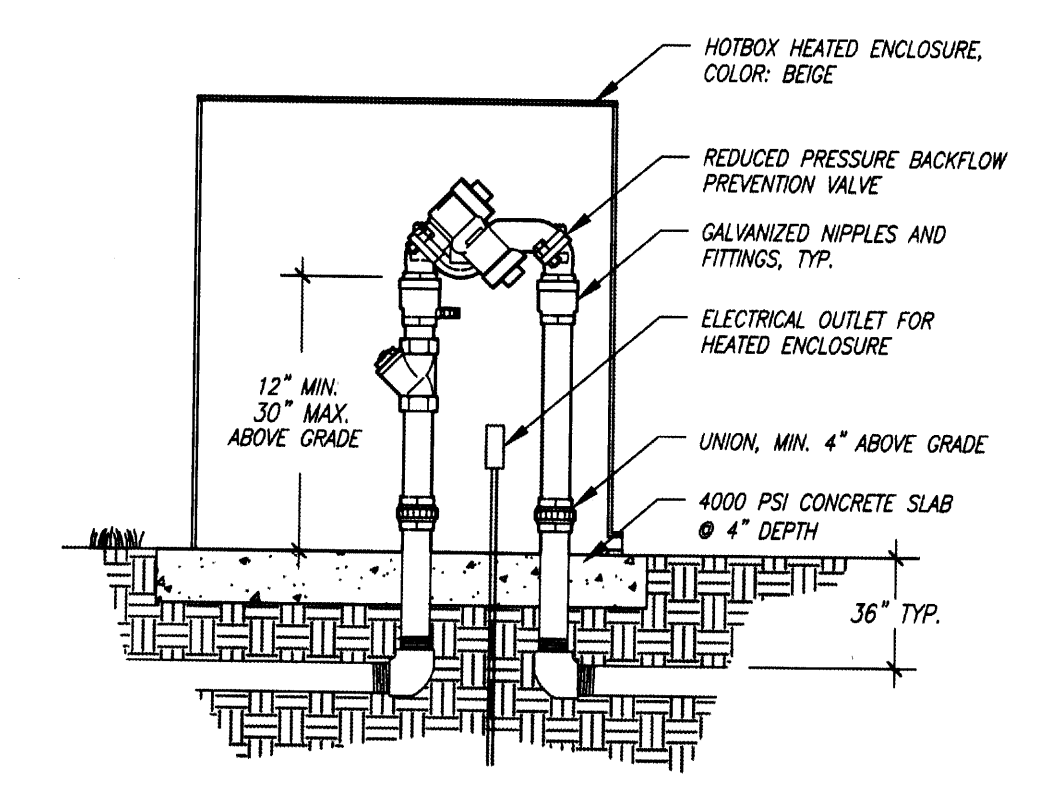
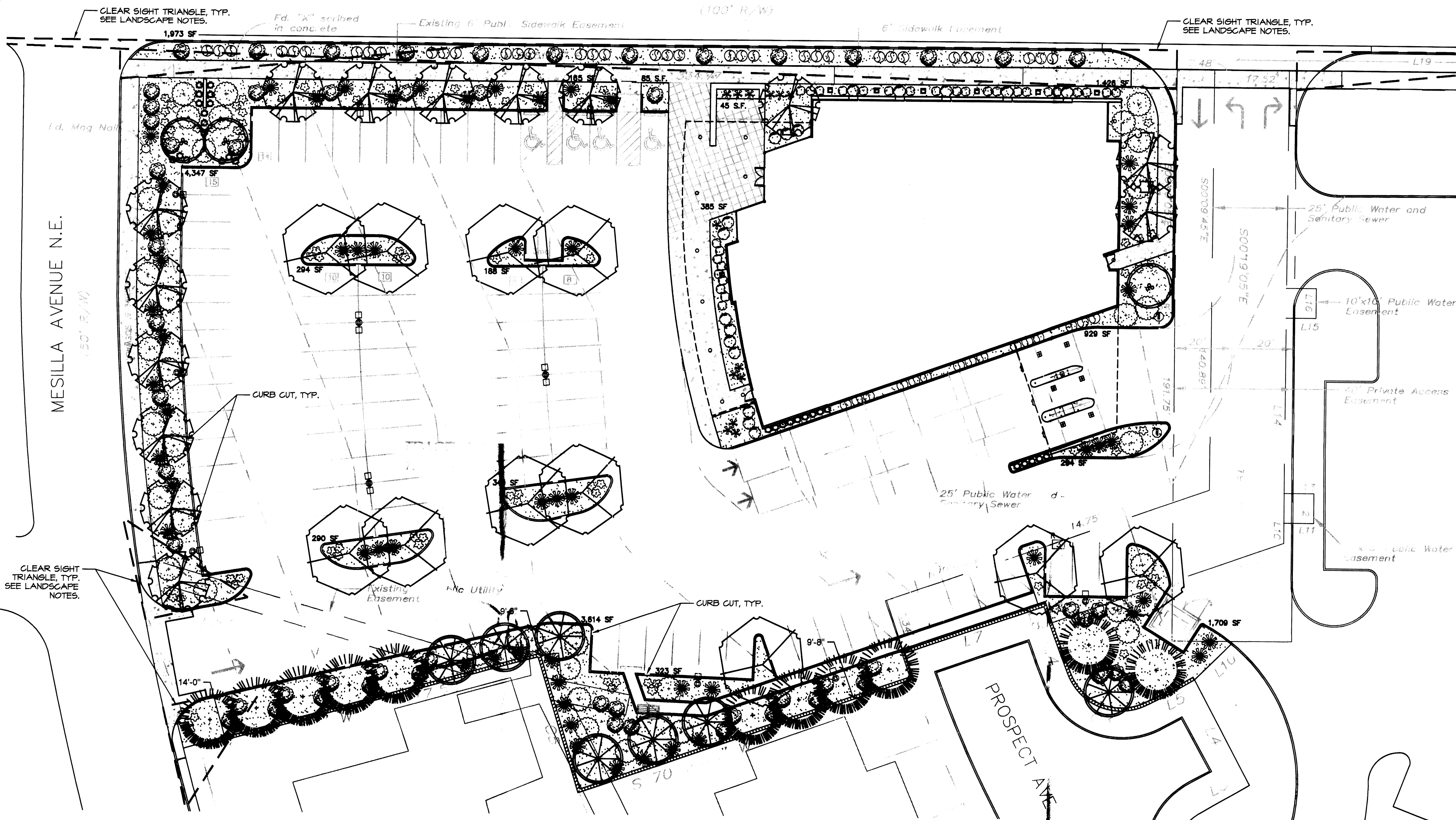


**SURV TEK, INC.**  
 Consulting Surveyors  
 9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114  
 Phone: 505-897-3366  
 Fax: 505-897-3377



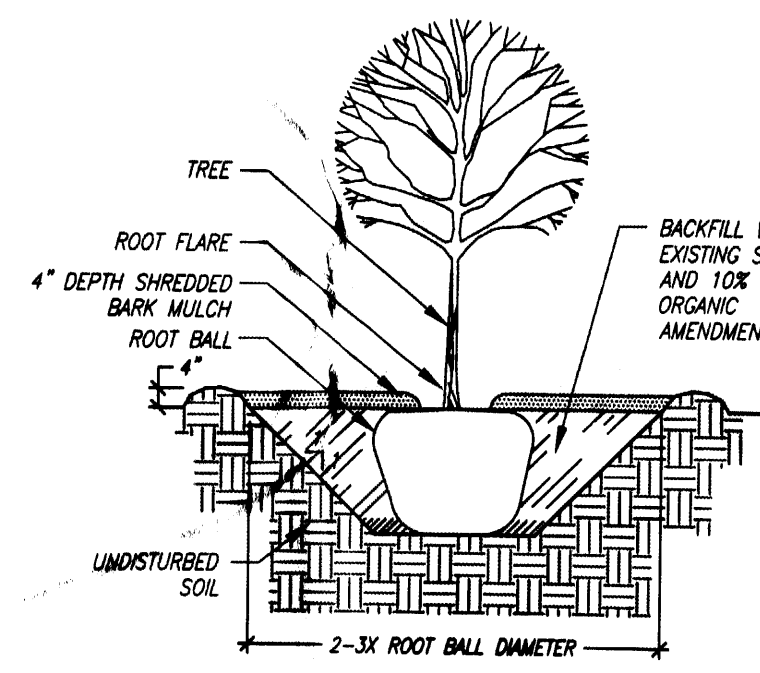


MENAU BLVD. N.E.



GENERAL NOTES:  
 1. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING, COORDINATING, AND INSTALLING ALL ELECTRICAL AND ELECTRICAL SUPPLIES NECESSARY FOR THE INSTALLATION AND OPERATION OF THE IRRIGATION SYSTEM SPECIFIED.  
 2. BFP ASSEMBLY MAY ALTERNATELY BE INSTALLED WITHIN FIRE SPRINKLER ROOM. HOTBOX NOT REQUIRED IF BFP IS LOCATED IN BUILDING INTERIOR.

**A REDUCED PRESSURE BACKFLOW PREVENTOR ASSEMBLY** NOT TO SCALE



GENERAL NOTES:  
 1. KEEP SOIL BELOW ROOT BALL UNDISTURBED TO PREVENT TREE FROM SETTLING.  
 2. REMOVE ANY EXCESS SOIL FROM TOP OF ROOTBALL TO EXPOSE ROOT FLARE (WHERE TOP MOST ROOT EMERGES FROM THE TRUNK). PLANT WITH ROOT FLARE LEVEL TO FINISH GRADE (OR 1'-2" HIGHER IN SLOWLY DRAINING SOIL).  
 3. TAMP SOIL FIRMLY AROUND BASE OF ROOTBALL WITH FOOT PRESSURE.  
 4. DO NOT PLACE MULCH IN CONTACT WITH TREE, KEEP AT LEAST 4" AWAY FROM TRUNK.  
 5. AFTER PLANTING, THOROUGHLY WATER TO ELIMINATE AIR POCKETS.

**B TREE PLANTING** NOT TO SCALE

**PLANT SCHEDULE**

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	HT. X SPR.
TREES (IRRIGATION: (3) 30 GPH BUBBLERS PER TREE)					
	<i>Sapindus drummondii</i>	WESTERN SOAPBERRY	11	2" CAL.	30' X 30'
	<i>Cercis occidentalis</i>	WESTERN REDBUD	14	2" CAL.	20' X 20'
	<i>Quercus turbinella</i>	SHRUB LIVE OAK	7	2" CAL.	18' X 20'
	<i>Pinus eldarica</i>	AFGHAN PINE	11	10'-12' HT. B&B	40' X 20'
	<i>Chilopsis linearis</i> 'Bubba'	BUBBA DESERT WILLOW	3	6'-8' MULTI-TRUNK	20' X 15'
SHRUBS (IRRIGATION: (1) 15 GPH BUBBLER PER SHRUB)					
	<i>Juniperus sabina</i> 'Tamariscifolia'	TAM JUNIPER	36	5 GAL.	18" X 8'
	<i>Rhus aromatica</i> 'Gro-Lo'	GRO-LO SUMAC	57	5 GAL.	4' X 6'
	<i>Salvia greggii</i>	CHERRY SAGE	76	1 GAL.	2' X 3'
	<i>Nolina texana</i>	BEARGRASS	58	5 GAL.	4' X 5'
	<i>Mahonia aquifolium</i> 'Compacta'	DWARF OREGON GRAPE	17	5 GAL.	2' X 3'
	<i>Potentilla fruticosa</i>	POTENTILLA	13	5 GAL.	5' X 7'
	<i>Miscanthus sinensis</i> 'Yaku Jima'	MAIDEN GRASS	29	5 GAL.	4' X 3'
	<i>Rosmarinus officinalis</i> 'Arp'	ROSEMARY	51	5 GAL.	3' X 4'
	<i>Calamagrostis acutiflora</i> 'Karl Foerster'	FEATHER REED GRASS	29	5 GAL.	3' X 2'

**MATERIALS LEGEND**

DESCRIPTION  
 2" ANGULAR GRAVEL AT 4" DEPTH, WITH DEWITT PRO-5 FILTER FABRIC.

**AREA CALCULATIONS**

TOTAL SITE AREA =	76,084 SF (1.75 AC)
GROSS COVERED AREA =	14,238 SF (0.33 AC)
NET SITE AREA =	61,846 SF (1.42 AC)
LANDSCAPE AREA REQ. (15%) =	9,271 SF (0.21 AC)
LANDSCAPE AREA PROVIDED =	16,416 SF (0.38 AC)
LANDSCAPE AREA AS PERCENT OF NET SITE AREA =	23%
REQUIRED VEGETATIVE COVER AT MATURITY (15%) =	12,312 SF (0.28 AC)
PROVIDED VEGETATIVE COVER AT MATURITY =	12,568 SF (0.29 AC)
PROVIDED COVER AS PERCENT OF LANDSCAPE AREA =	76%

**LANDSCAPE NOTES**

ALL PLANTING BEDS SHALL BE MULCHED WITH A 4" LAYER OF 2" ANGULAR GRAVEL. ALL GRAVEL SHALL BE UNDERLINED WITH DE WITT PRO 5 28 MIL. FILTER FABRIC OR APPROVED EQUAL. ALL LANDSCAPE AREAS, EXCEPT THOSE WITHIN 10' OF THE BUILDING, SHALL BE DEPRESSED FOR WATER HARVESTING.

TREE LOCATIONS AS SHOWN ARE BASED ON SIGNAGE LOCATIONS AND OTHER CONSTRAINTS. TREE LOCATIONS SHALL COMPLY WITH ALL JURISDICTIONAL ORDINANCES WHICH APPLY.

RESPONSIBILITY FOR LANDSCAPE MAINTENANCE ON THE SITE SHALL LIE WITH THE OWNER.

AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM SHALL BE DESIGNED AND CONSTRUCTED FOR ALL EXISTING AND INSTALLED PLANT MATERIALS. TREES WILL BE IRRIGATED WITH A LOW FLOW BUBBLER SYSTEM, AND SHRUBS AND GROUND COVERS WILL BE IRRIGATED WITH A DRIP EMITTER SYSTEM.

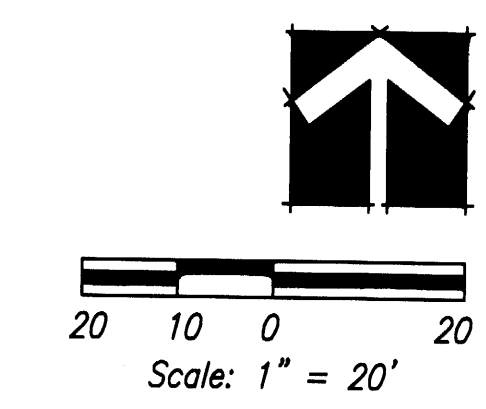
AT MATURITY, PLANTS WILL PROVIDE MINIMUM COVERAGE OF 75% OF THE LANDSCAPE AREA.

LANDSCAPING AND SIGNAGE SHALL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. SIGNAGE, WALLS AND PLANT MATERIAL BETWEEN 3 FEET AND 8 FEET TALL IN CLEAR SIGHT AREAS IS NOT ACCEPTABLE.

LANDSCAPE PLAN WILL MEET THE REQUIREMENTS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE C ORD 18-1995.

ALL PLANTINGS TO BE ESTABLISHED FOR GENERAL LANDSCAPE PURPOSES, UNLESS OTHERWISE NOTED ON THE PLANS.

CONTRACTOR SHALL FIELD VERIFY LOCATION OF POINT OF CONNECTION FOR IRRIGATION SERVICE LINE. AT POINT OF CONNECTION FOR IRRIGATION SYSTEM, CONTRACTOR SHALL PROVIDE A FEBCO MODEL 825Y RPBA BACKFLOW PREVENTER (OR APPROVED EQUAL) PER DETAIL A, THIS SHEET. INSTALL 12" ABOVE HIGHEST HEAD ON IRRIGATION SYSTEM.



121 TIJERAS AVE. NE, SUITE 3100  
 ALBUQUERQUE, NM 87102  
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 FAX: 505-822-8282  
 E-MAIL: ml@sites-nw.com  
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**PLANNING**  
 LANDSCAPE ARCHITECTURE  
 ENVIRONMENTAL

Site Development Plan for Building Permit

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**DORMAN and BREEN**  
 LAURENCE BREEN A.I.A.  
 Albuquerque Westside 505-792-8160

**R+B**  
 RICHARD DORMAN F.A.I.A.  
 ALBUQUERQUE, NM 505-299-5940

MAIN BANK  
 Ameriplex Mortgage  
 7300 Menaul Blvd. NE  
 Albuquerque, New Mexico 87109

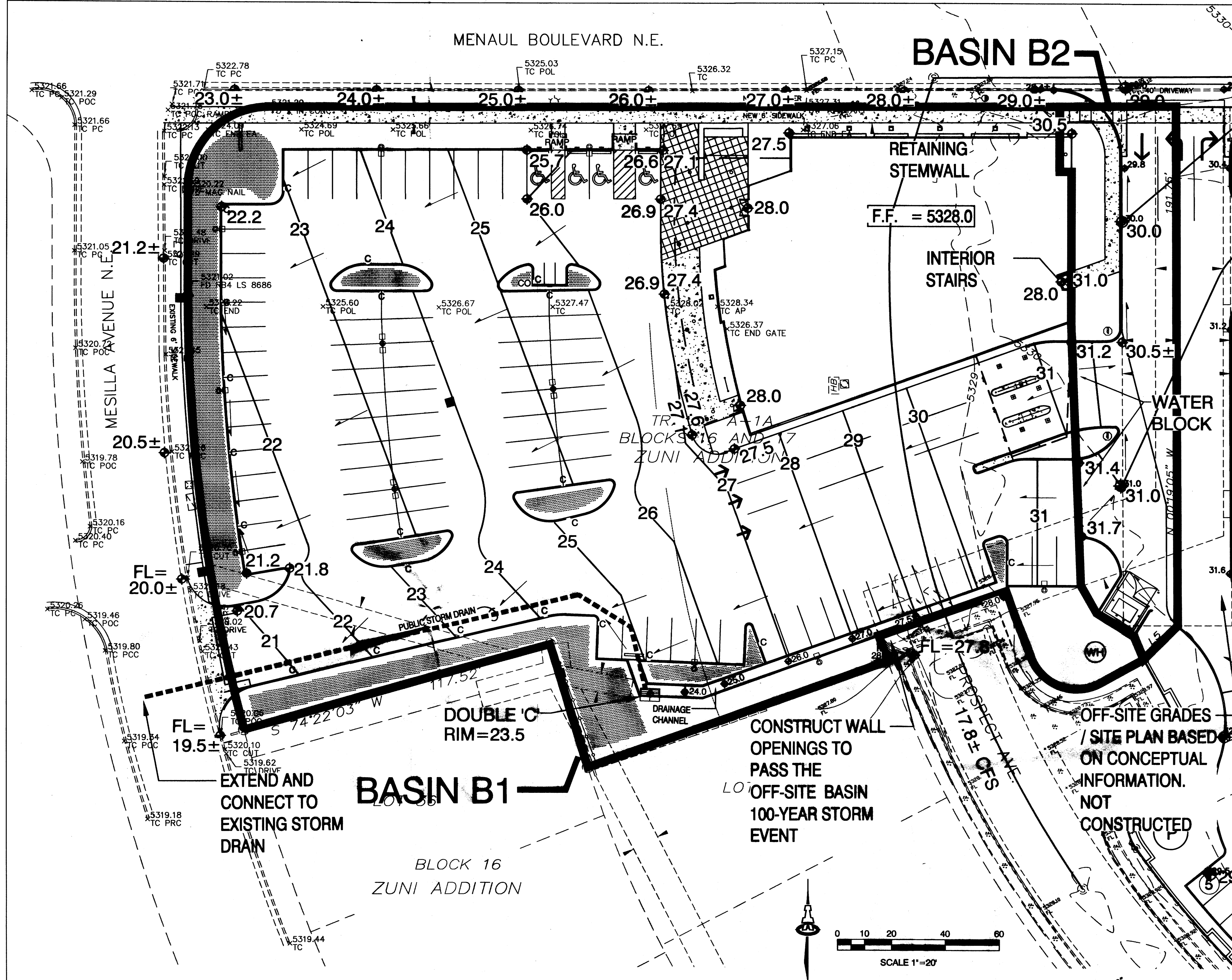
SHEET TITLE:  
**LANDSCAPE PLAN**

JOB NUMBER:  
 1329

DATE:  
 10/30/14

REVISIONS: \_\_\_\_\_ DATE: \_\_\_\_\_

SHEET:  
**L-1**  
 1 OF 1



**DRAINAGE CONCEPT**

OFF-SITE FLOW FROM PROSPECT AVE. N.E. WILL BE ACCEPTED INTO THIS PROPERTY AT THE RECENTLY CONSTRUCTED SIDEWALK CULVERT / WALK DIP SECTION. WALL OPENINGS WILL BE CALCULATED AS PART OF THE BUILDING PERMIT SET. OFF-SITE FLOW RATE IS BASED ON THE 100-YEAR 6-HOUR STORM EVENT (APPROX. 17.8 CFS). OFF-SITE FLOW WILL BE ROUTED THROUGH THE PROPERTY TO A NEW DOUBLE 'C' INLET WITH 18" OUTLET PIPE EXTENDED TO THE PUBLIC STORM DRAIN MAIN IN MESILLA AVE.

THIS SITE IS WILL FREE DISCHARGE WITH THE MAJORITY EXITING THE SITE TO MESILLA AVE. (SEE BASIN B1).

THE PROPOSED PUBLIC STORM DRAIN SYSTEM PASSING THROUGH THE PROPERTY WILL BE ANALYZED AND SIZED AS PART OF THE BUILDING PERMIT PLANS SUBMITTAL.

STORMWATER CONTROL MEASURES ARE REQUIRED TO PROVIDE MANAGEMENT OF 'FIRST FLUSH' (DEFINED AS THE 90TH PERCENTILE STORM EVENT OR 0.34" [0.44" LESS 0.1" FOR INITIAL ABSTRACTION] OF STORMWATER WHICH DISCHARGES DIRECTLY TO A PUBLIC STORM DRAINAGE SYSTEM).

THE ESTIMATED PONDING VOLUME REQUIRED IS 0.34" \* TYPE 'D' AREA: 0.34/12 \* 1.2 AC \* 43560 = 1,481 CF

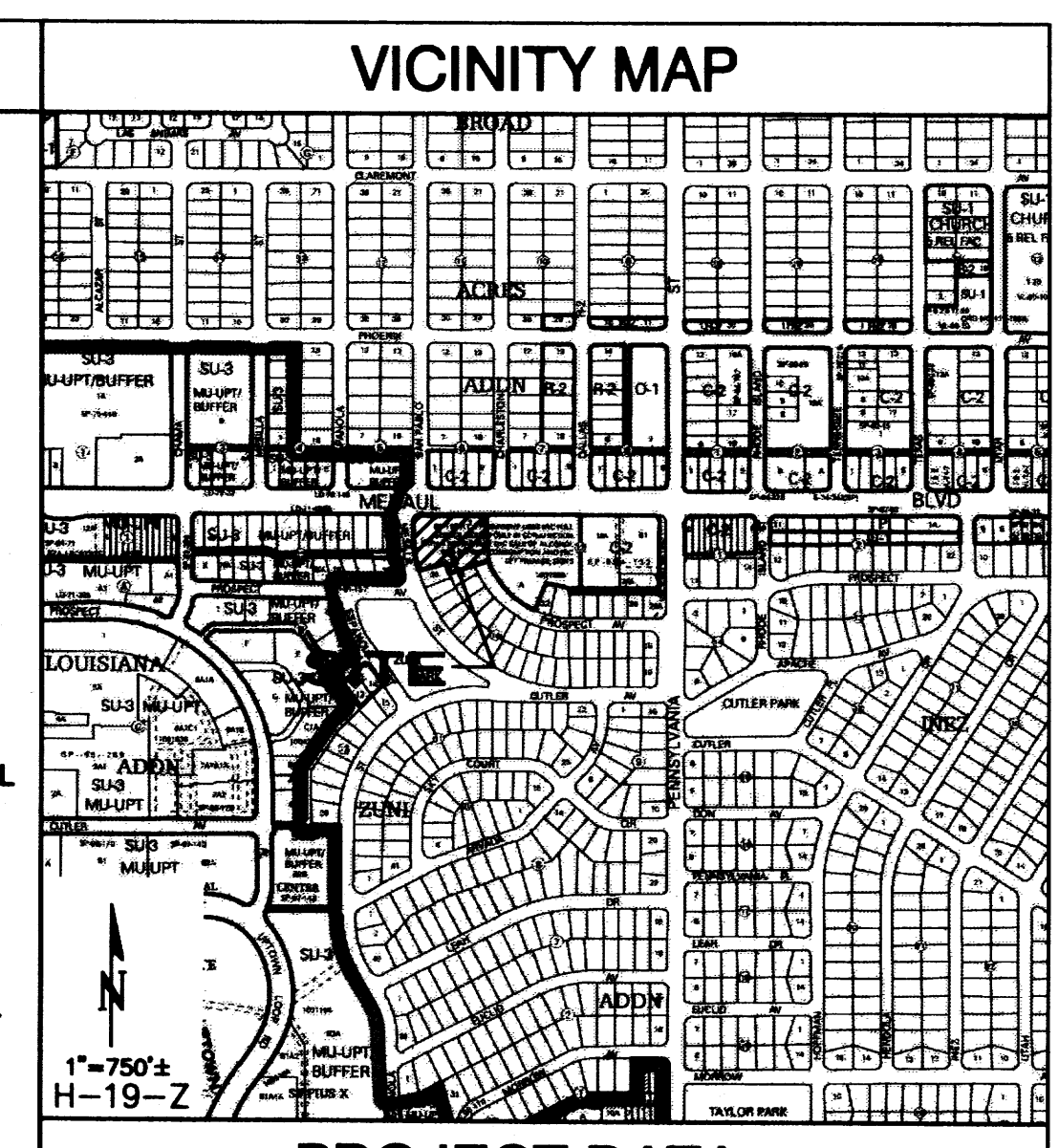
THERE ARE 'FIRST FLUSH' RETENTION BASIN AREAS THROUGHOUT THE SITE (HATCHED AREAS). STORM WATER FROM THE IMPERVIOUS AREAS SHALL BE DIRECTED TO THESE BASINS VIA CURB OPENINGS (LABELED 'C').

THE 'FIRST FLUSH' BASIN VOLUMES SHALL BE ANALYZED AND SIZED AS PART OF THE BUILDING PERMIT PLANS SUBMITTAL. CURB OPENING LOCATIONS ARE SHOWN CONCEPTUALLY AND SHALL BE LOCATED AND SIZED WITH FINAL DESIGN.

**DRAINAGE NOTES**

There is an existing Blanket Public Drainage Easement over Tract A-1, excluding any future buildings granted to the City of Albuquerque by plat filed August 15, 2013 in Plat Book 2013C, page 98.

A Private Blanket Drainage Easement over Tracts A-1A and A-1B, excluding any future buildings is hereby granted by this plat for the benefit of said tracts. Maintenance of said easement to be the responsibility of the owners of said tracts as to their respective tract.



**PROJECT DATA**

**LEGAL DESCRIPTION:** TRACT A-1, BLOCK 16 AND 17, ZUNI ADDITION

**SITE AREA:** 1.76 AC.

**FLOOD ZONE:** PER BERNALILLO COUNTY FIRM MAP #35001C0356H, THE SITE IS LOCATED WITHIN FLOODZONE 'X' (UNSHADED) DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN.

**ENGINEER:** FRED C. ARFMAN  
ISAACSON & ARFMAN, P.A.  
128 MONROE ST NE, ABO, NM 87108  
PHONE: (505) 268-8828

**SURVEYOR:** RUSS HUGG  
SURV-TEK, INC.  
9384 VALLEY VIEW DR NW, ABO, NM 87114  
PHONE: (505) 897-3366

**BENCHMARK:** BENCHMARK: PER THE ADJACENT PROPERTY TOPOGRAPHIC SURVEY PROVIDED, VERTICAL DATUM SHOWN HEREON IS BASED UPON CITY OF ALBUQUERQUE SURVEY CONTROL MONUMENT "11-H19" HAVING A PUBLISHED ELEVATION OF 5364.26 FEET (NAVD 88). TO BE UPDATED UPON RECEIPT OF FINAL SURVEY.

**LEGEND**

- C PROPOSED CURB OPENING
- ◆ 27.1 PROPOSED SPOT ELEVATION
- 27 PROPOSED STOUR
- PROPOSED STORM DRAIN
- FLOW ARROW
- ▨ FIRST FLUSH RETENTION (DEPRESSED LANDSCAPING)

**CONCEPTUAL**

**ISAACSON & ARFMAN, P.A.**  
Consulting Engineering Associates  
128 Monroe Street N.E.  
Albuquerque, New Mexico 87108  
Ph. 505-268-8828 www.isacoll.com

2072 CG-101 CONCEPTUAL.dwg Oct 28, 2014

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**MAIN BANK**  
MENAU BLVD.  
Dorman Breen Architects

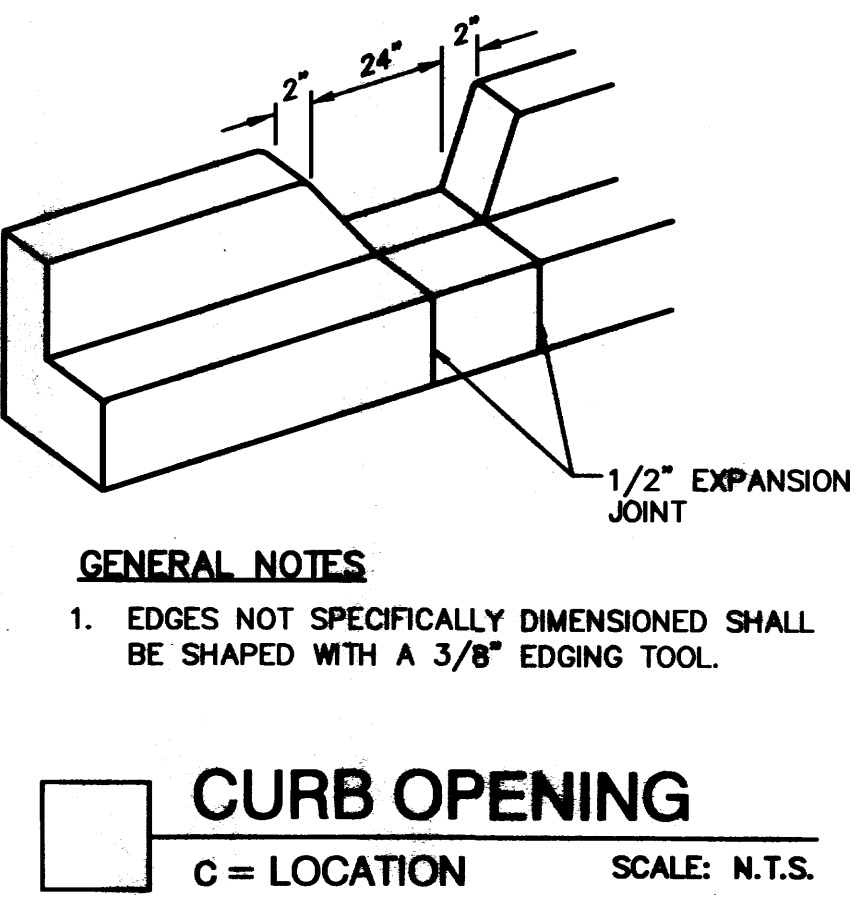
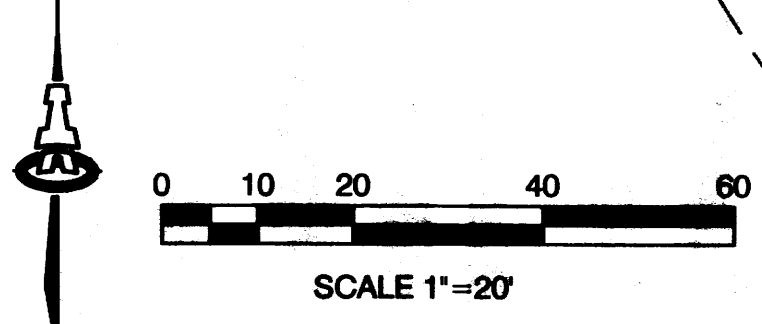
**GRADING & DRAINAGE PLAN**

Date:	No.:	Revised:	Date:	Job No.:
10-29-14				2072
Drawn By:				CG-101
BJB				
Chd By:				SH. OF
FCA				

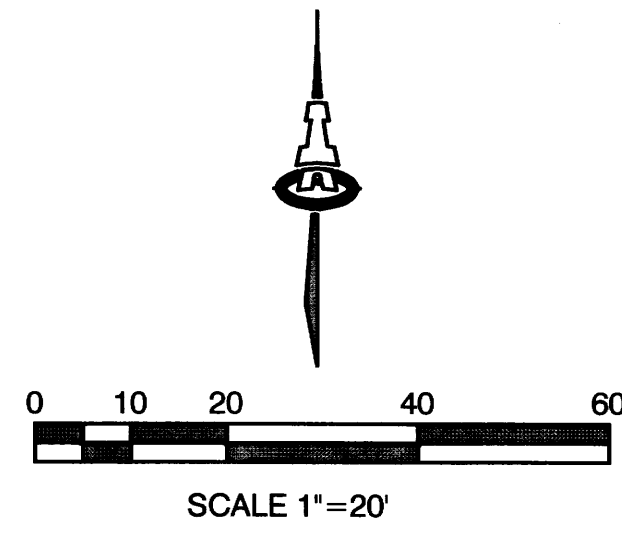
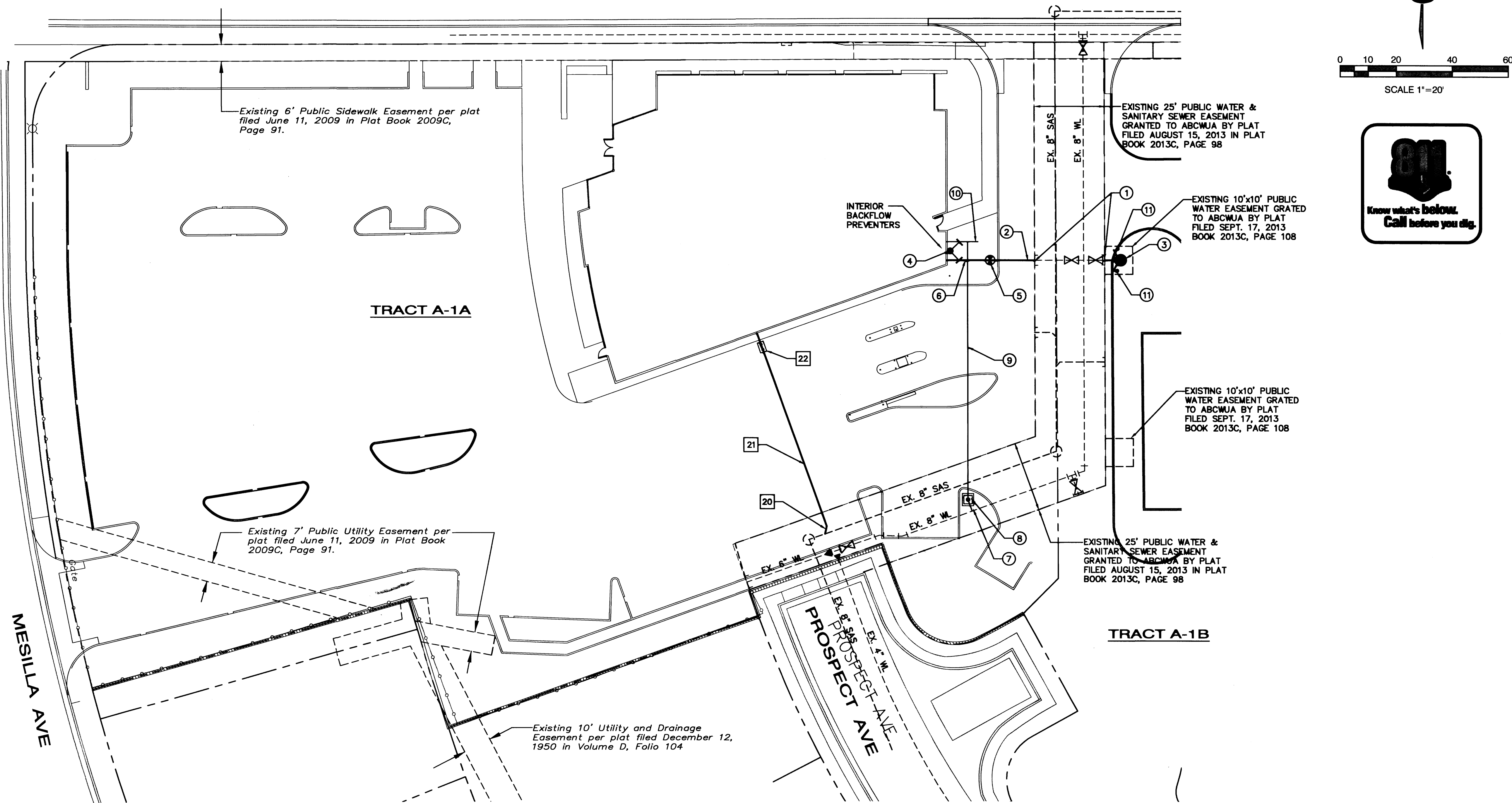
BASIN NO.	B1	B2
Area of basin flows =	69922 SF	7282 SF
Area of basin flows =	1.6 Ac.	0.2 Ac.
The following calculations are based on Treatment areas as shown in table to the right		
Sub-basin Weighted Excess Precipitation (see formula above)		
Weighted E =	1.24 in.	1.40 in.
Sub-basin Volume of Runoff (see formula above)		
Volume =	10677 CF	943 CF
Sub-basin Peak Discharge Rate (see formula above)		
Q <sub>p</sub> =	0.6 cfs	0.6 cfs

**BASIN B1** CONSISTS OF THE MAJORITY OF THE SITE (BUILDING AND PAVEMENT). THE BASIN WILL FREE DISCHARGE TO MESILLA AVE. AT THE PROPOSED SW ENTRY DRIVE TO CONTINUE ALONG THE HISTORIC FLOWPATH.

**BASIN B2** CONSISTS OF THE EASTERN PORTION OF THE SITE AND 1/2 OF THE EAST SHARED ACCESS ROAD. THIS BASIN WILL FREE DISCHARGE TO MENAU BLVD. TO CONTINUE ALONG THE HISTORIC FLOWPATH.



MENAU BLVD



GENERAL NOTES

- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- WATER AND/OR SANITARY SEWER IMPROVEMENTS WITHIN A PUBLIC EASEMENT OR RIGHT-OF-WAY SHALL BE BUILT BY SEPARATE, PUBLIC WORK ORDER, PLANS.
- CONTRACTOR SHALL NOT USE VIBRATORY COMPACTION EQUIPMENT OR HEAVY VEHICLES OVER EXISTING UTILITIES.
- SITE STORM DRAIN, ELECTRIC AND GAS LINES ARE SHOWN FOR GENERAL INFORMATION ONLY TO PROVIDE AN OVERVIEW OF SITE UTILITIES AND POTENTIAL CONFLICTS. SEE MECHANICAL PLANS FOR GAS LINE SIZING. SEE CG-101 FOR STORM DRAIN DESIGN.
- ALL WATER FITTING SHALL HAVE JOINT RESTRAINTS. (LT=X')

KEYED NOTES

- WATER KEYED NOTES**
- REMOVE CAP. CONNECT NEW 6" FIRE LINE.
  - 6" FIRE LINE.
  - FIRE HYDRANT PER ABCWJA STD DWG 2340. (LT=46')
  - WALL MOUNTED FIRE DEPT. CONNECTION (FDC).
  - POST INDICATOR VALVE (PIV). (LT=46')
  - 3/4" CONDUIT W/ PULL CORD FOR PIV SENSOR WIRE FROM BUILDING TO PIV PLACED IN SAME TRENCH ABOVE 4" WATERLINE.
  - 1" SERVICE PER ABCWJA STD. DWG. 2261 & 2362.
  - METER BOX PER ABCWJA STD. DWG. 2366.
  - 1" WATER SERVICE LINE.
  - IRRIGATION STUB.
  - BOLLARD PER DETAIL THIS SHEET.
- SEWER**
- NEW 4" SAS SERVICE CONNECTION PER ABCWJA STD DWG 2125.
  - NEW 4" SAS SERVICE LINE AT 2% MIN. SLOPE
  - DOUBLE CLEANOUT PER DETAIL THIS SHEET.

LEGEND

- WATER METER & BOX
- GATE VALVE W/ BOX
- POST INDICATOR VALVE
- FIRE DEPARTMENT CONNECTION
- SAS SINGLE CLEANOUT
- SAS DOUBLE CLEANOUT
- NEW GAS METER
- WL- EXISTING WATERLINE
- SAS- EXISTING SEWER LINE

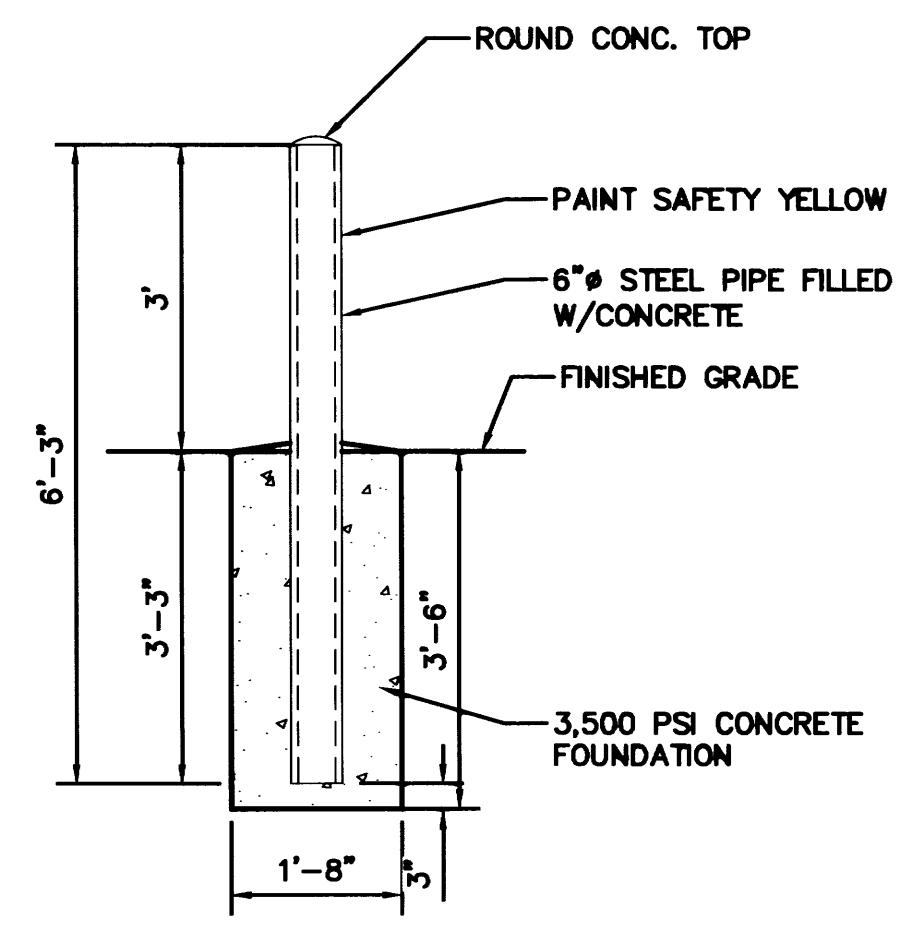
NOTES:

- ALL MECHANICAL JOINTS SHALL BE RESTRAINED AT THE FITTING.
- THE CONTRACTOR SHALL PROVIDE A MINIMUM PIPE LENGTH OF 20 LF FROM ALL MECHANICAL JOINTS. ALL PIPE JOINTS WITHIN 20 LF OF A MECHANICAL JOINT SHALL BE RESTRAINED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL RESTRAIN ALL PIPE JOINTS IN THE SPECIFIED DISTANCE LISTED IN THE TABLE ON THIS SHEET.
- THE CONTRACTOR SHALL RESTRAIN ALL PIPE JOINTS FROM THE TEE ON THE MAIN TO THE FIRE HYDRANT FLANGE.
- PER NOTE #2, RESTRAIN ALL JOINTS WITHIN THE TEE BUT NOT ON THE RUNS OR BRANCHES.

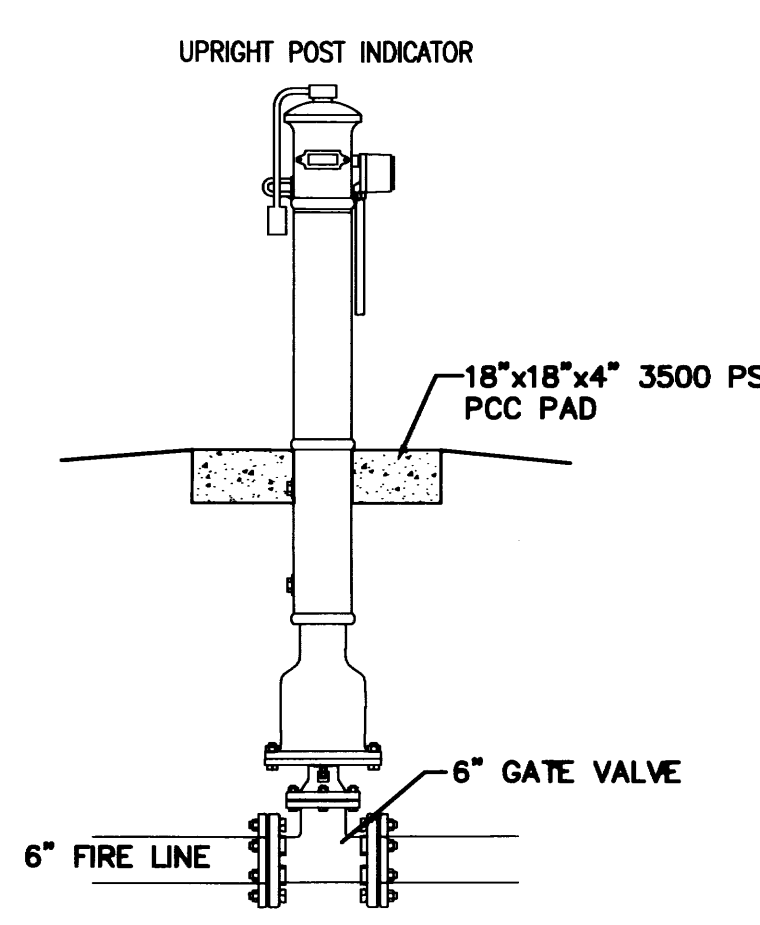
DEPTH OF BURY:	3.0 FT. MINIMUM
FACTOR OF SAFETY:	1.50
MATERIAL:	PVC
SOIL TYPE:	GM/SM - SILTY GRAVELS AND SILTY
TEST PRESSURE:	150 PSI
TRENCH TYPE 4:	PIPE BEDDED IN SAND, GRAVEL, OR

DIFFERENT CRITERIA, E.G., GREATER DEPTH OF BURY, ETC., WILL REQUIRE DIFFERENT RESTRAINED LENGTHS. THESE MUST BE CALCULATED BY A QUALIFIED PROFESSIONAL ENGINEER AND APPROVED BY ABCWJA.

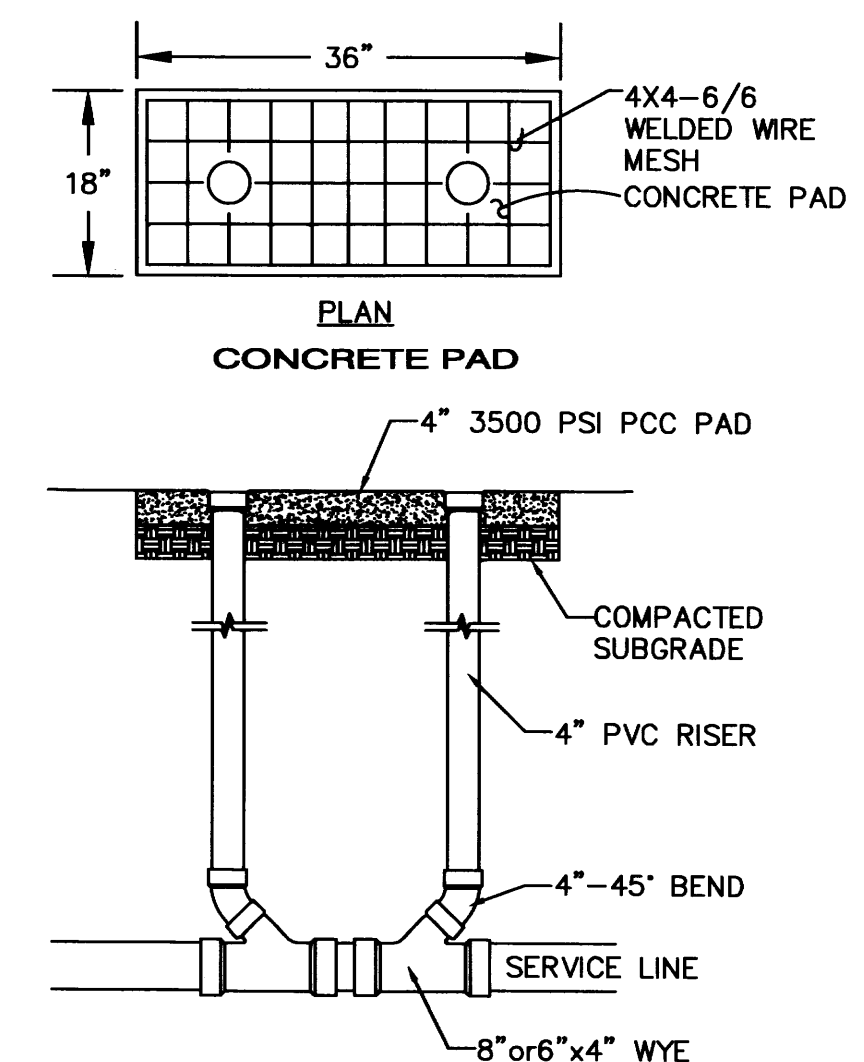
RESTRAINED JOINT CRITERIA FOR WATERLINE FITTINGS



BOLLARD DETAIL  
NTS



POST INDICATOR VALVE  
NTS



DOUBLE CLEANOUT DETAIL  
NTS

**ISAACSON & ARFMAN, P.A.**  
 Consulting Engineering Associates  
 128 Monroe Street N.E.  
 Albuquerque, New Mexico 87108  
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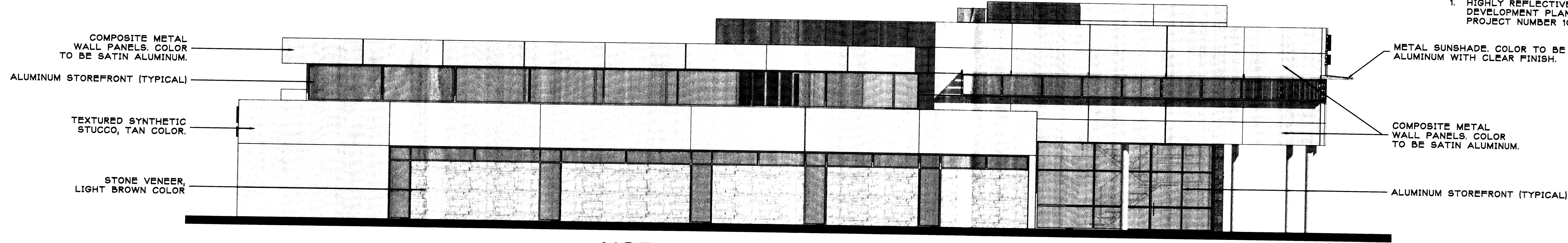
MAIN BANK  
MENAU BLVD.  
Dorman Breen Architects

UTILITY PLAN

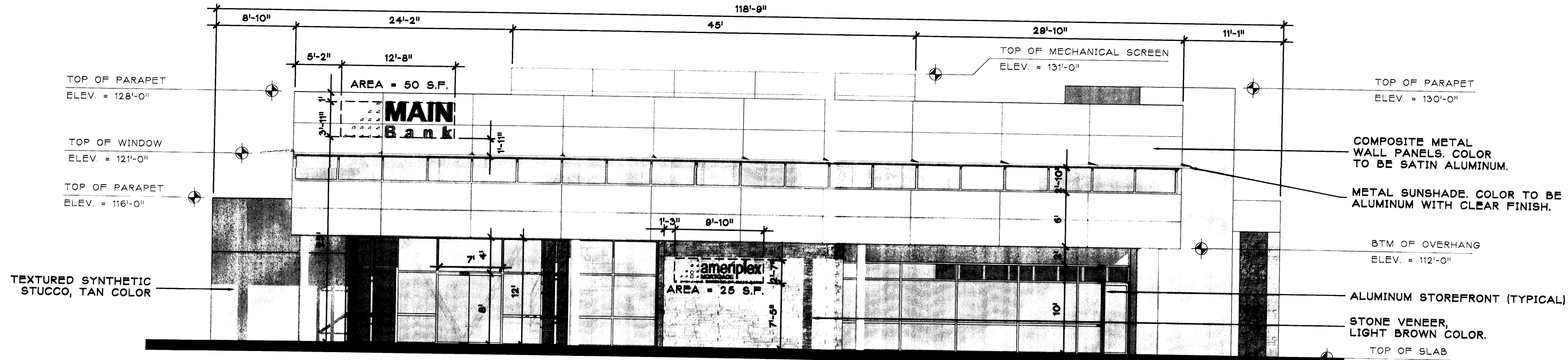
Date:	No.:	Revision:	Date:	Job No.:
09-24-14				2072
Drawn By:				CU-101
DCA				
Chk By:				SH. OF
FCA				

**GENERAL NOTES**

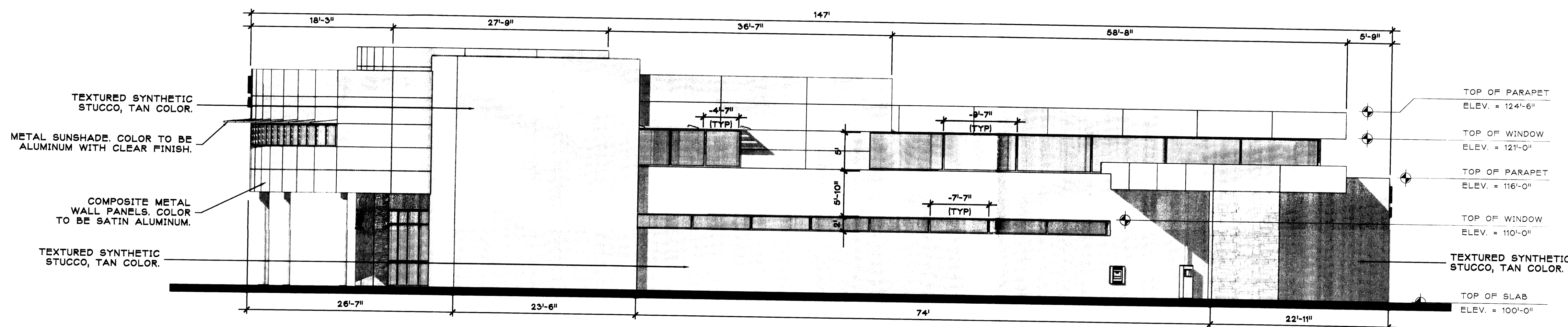
1. HIGHLY REFLECTIVE SURFACES ARE PROHIBITED PER THE SITE DEVELOPMENT PLAN FOR SUBDIVISION, DESIGN STANDARDS, PROJECT NUMBER 1007099.



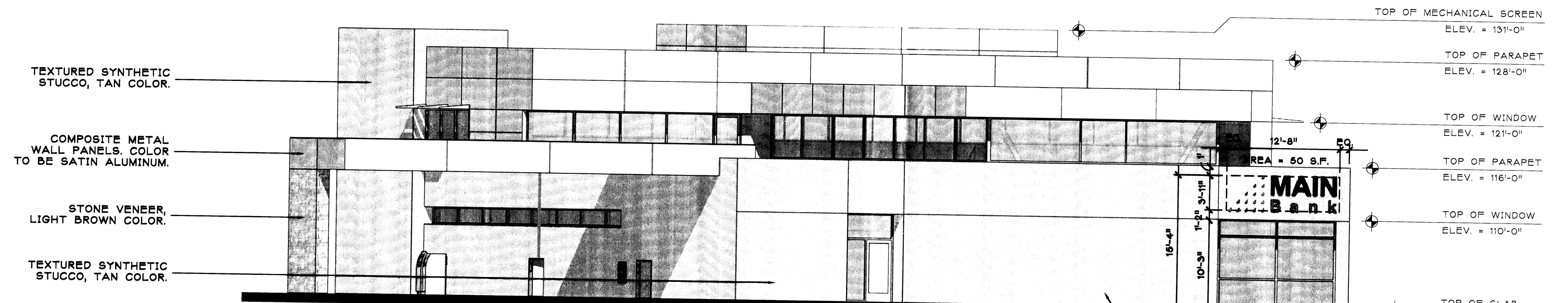
**NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



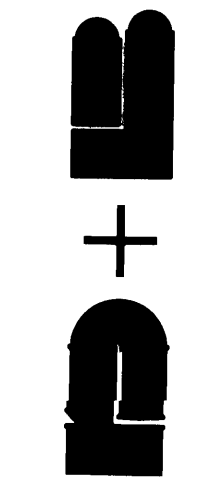
**SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**EAST ELEVATION**  
SCALE: 1/8" = 1'-0"

Site Development Plan for Building Permit

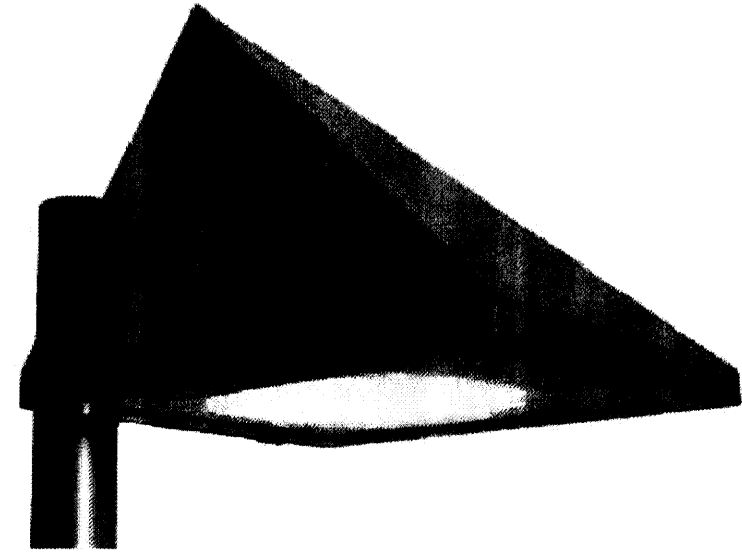
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**DORMAN and BREEN**  
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Albuquerque Westside 505-792-8180



RICHARD DORMAN F.A.I.A.  
ALBUQUERQUE, NM 505-299-5940

**MAIN BANK**  
Ameriplex Mortgage  
7300 Menaul Blvd. NE  
Albuquerque, New Mexico 87109

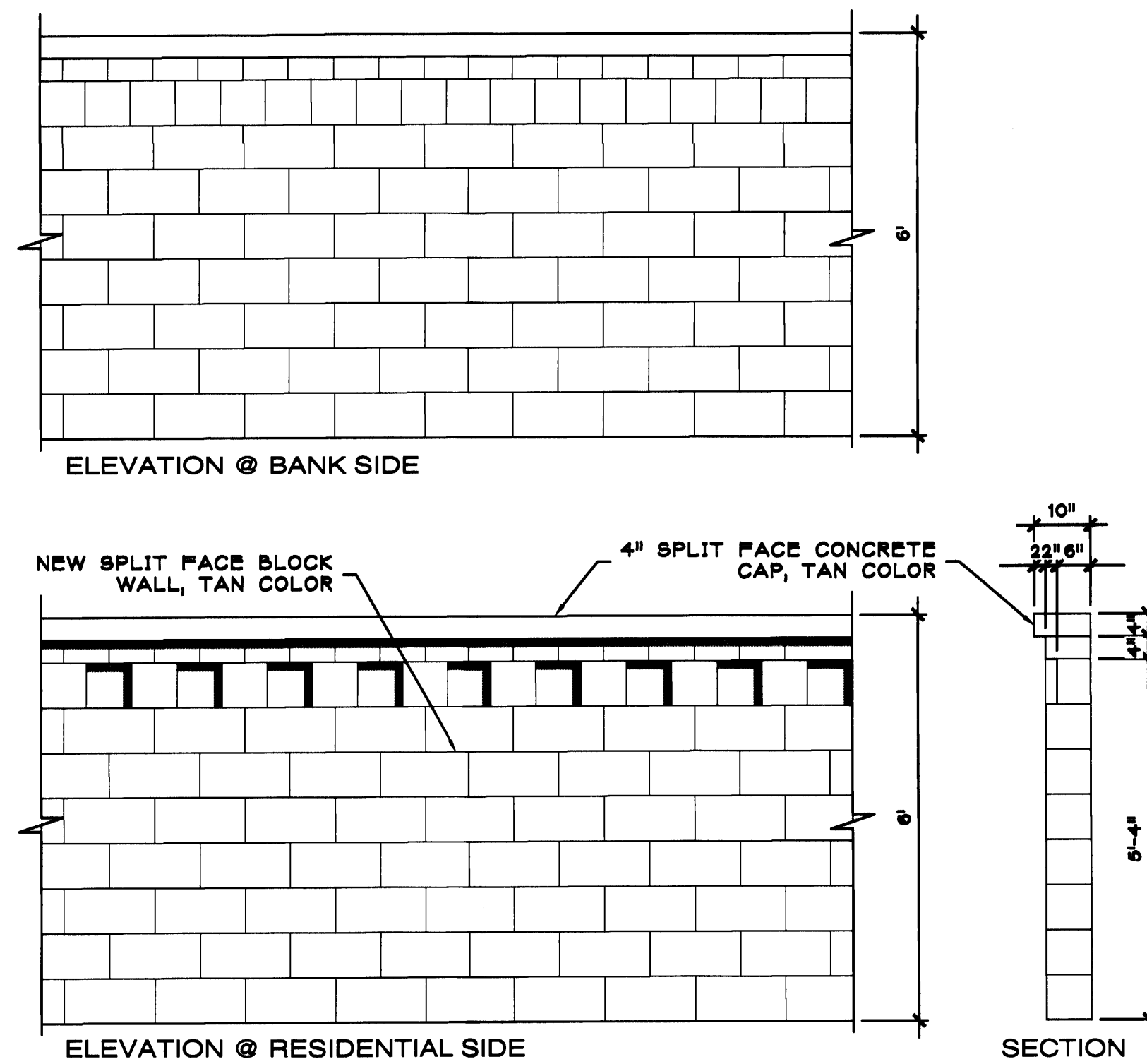
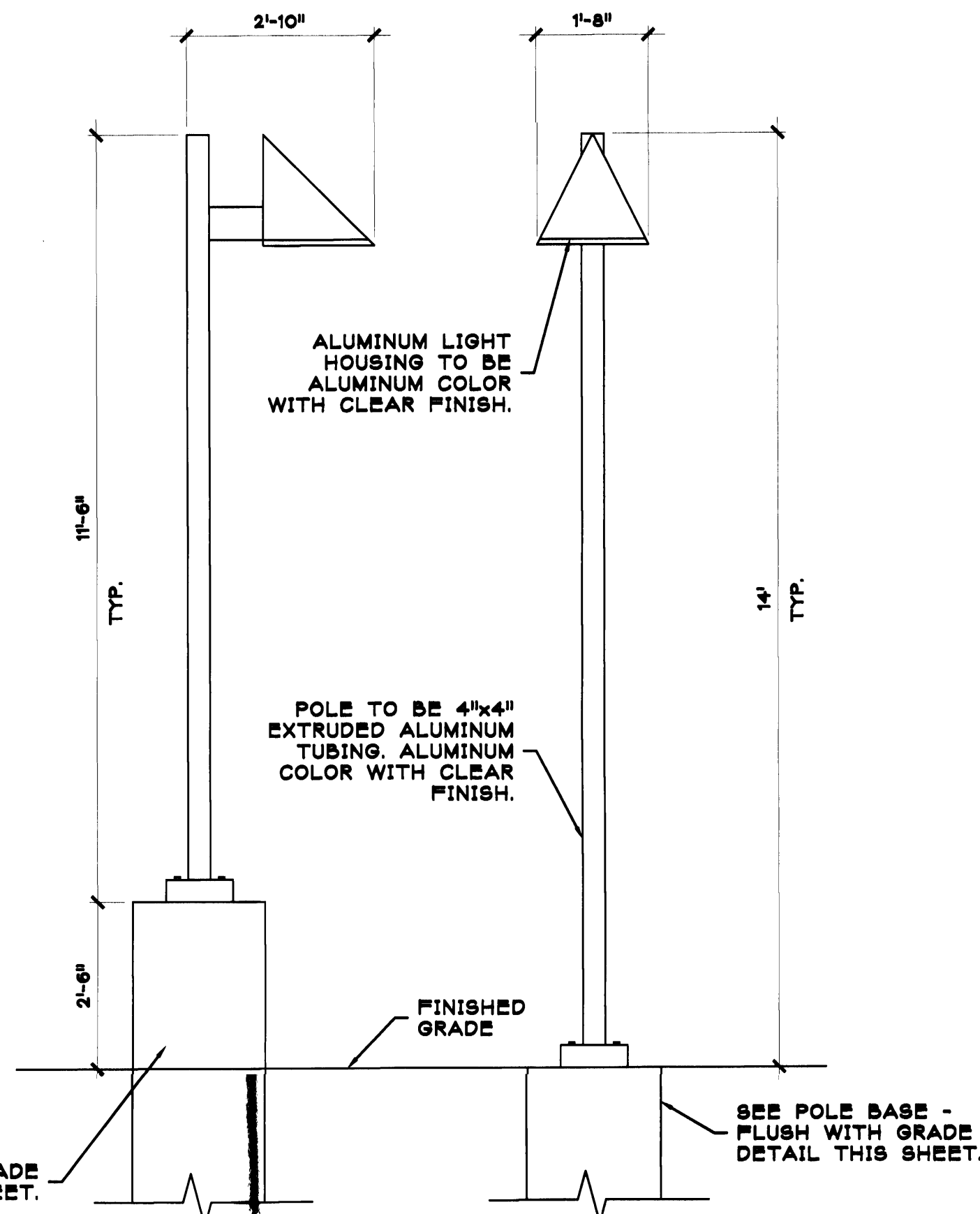
SHEET TITLE: <b>ELEVATIONS</b>	
JOB NUMBER: <b>1329</b>	DATE: <b>8/28/14</b>
REVISIONS:	DATE:
E.P.C. PRE-REVIEW UPDATES	8/24/14
E.P.C. CONDITIONS	10/28/14
SHEET: <b>A2</b>	
5 OF 7	



**FIXTURE TYPE A:**  
 "VISIONAIRE" #8AH-2 TO 250 M 1 BOA10 CC  
 9P ON POLE #5N1A 48 .125 14 AKB 343 91 CC  
 LAMPS: 1-250W/MH  
 POLE MOUNTED AT MAXIMUM HEIGHT OF 16'-0"  
 SEE DETAILS THIS SHEET.

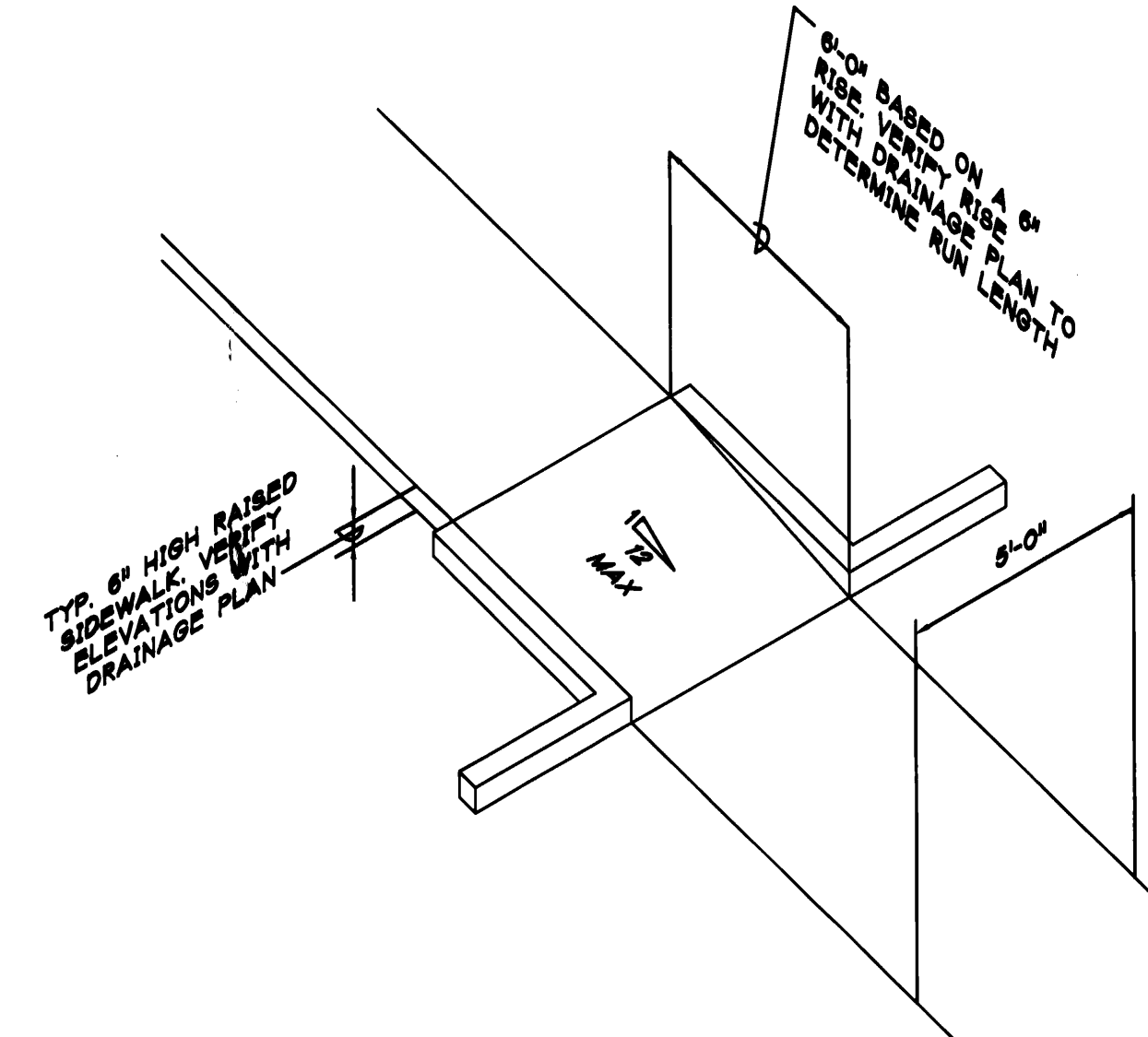
NOTE: SODIUM LIGHTING IS PROHIBITED PER THE  
 DESIGN STANDARDS.

SEE POLE BASE - ABOVE GRADE  
 DETAIL THIS SHEET.



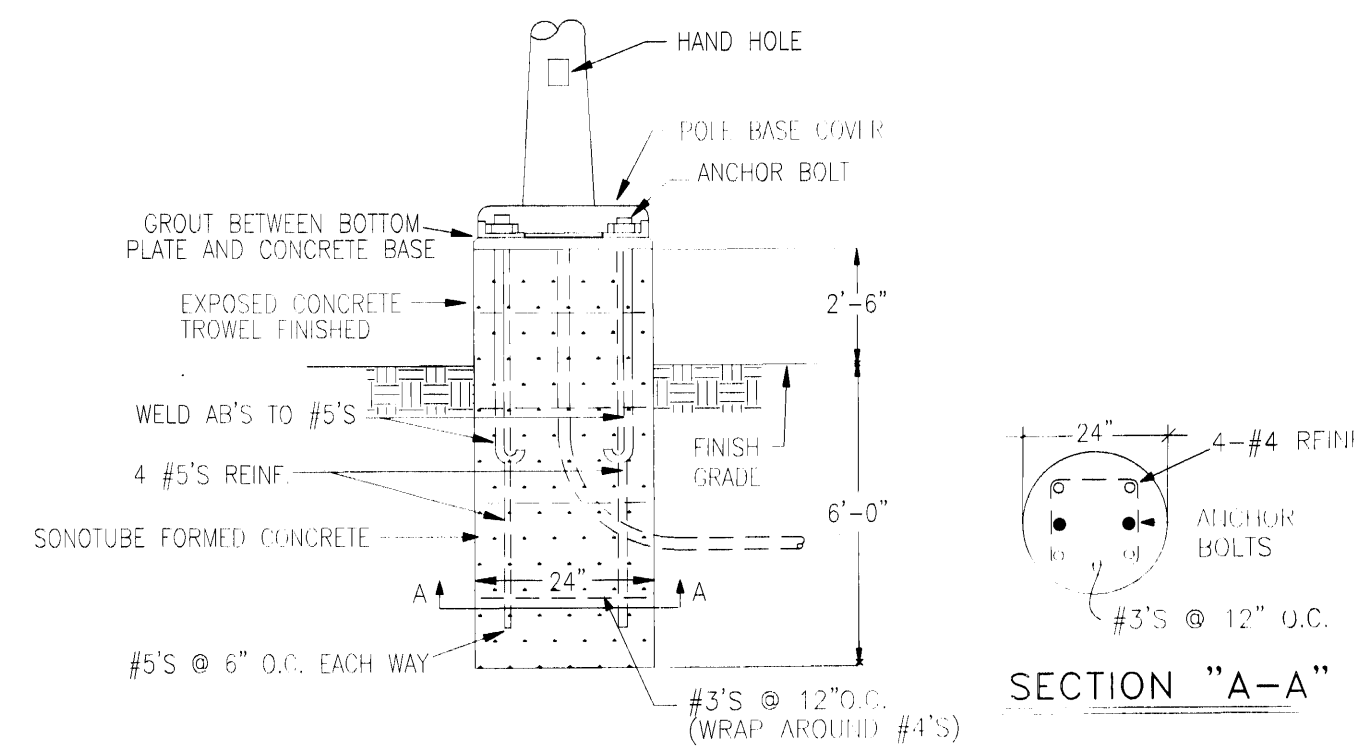
**PERIMETER WALL DETAILS**

SCALE: 1/2" = 1'-0"



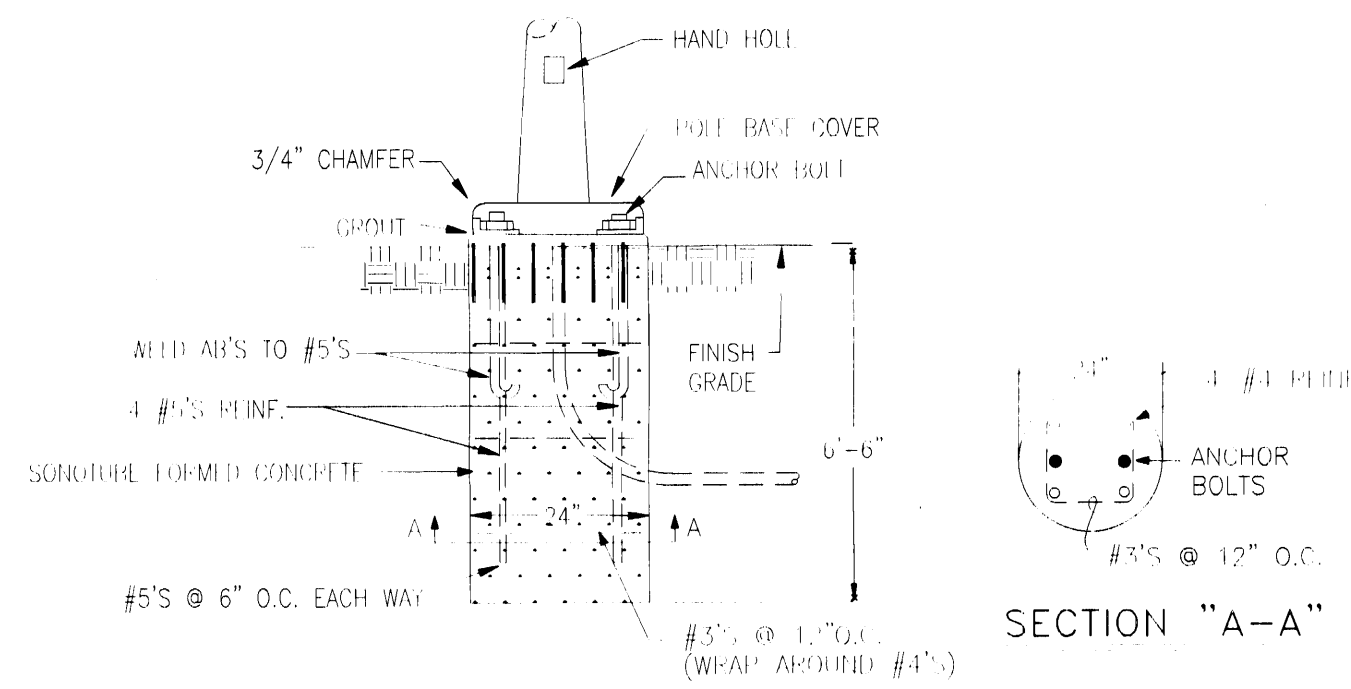
**WHEELCHAIR RAMP DETAIL**

SCALE: N.T.S.



**SINGLE POLE LIGHT DETAILS**

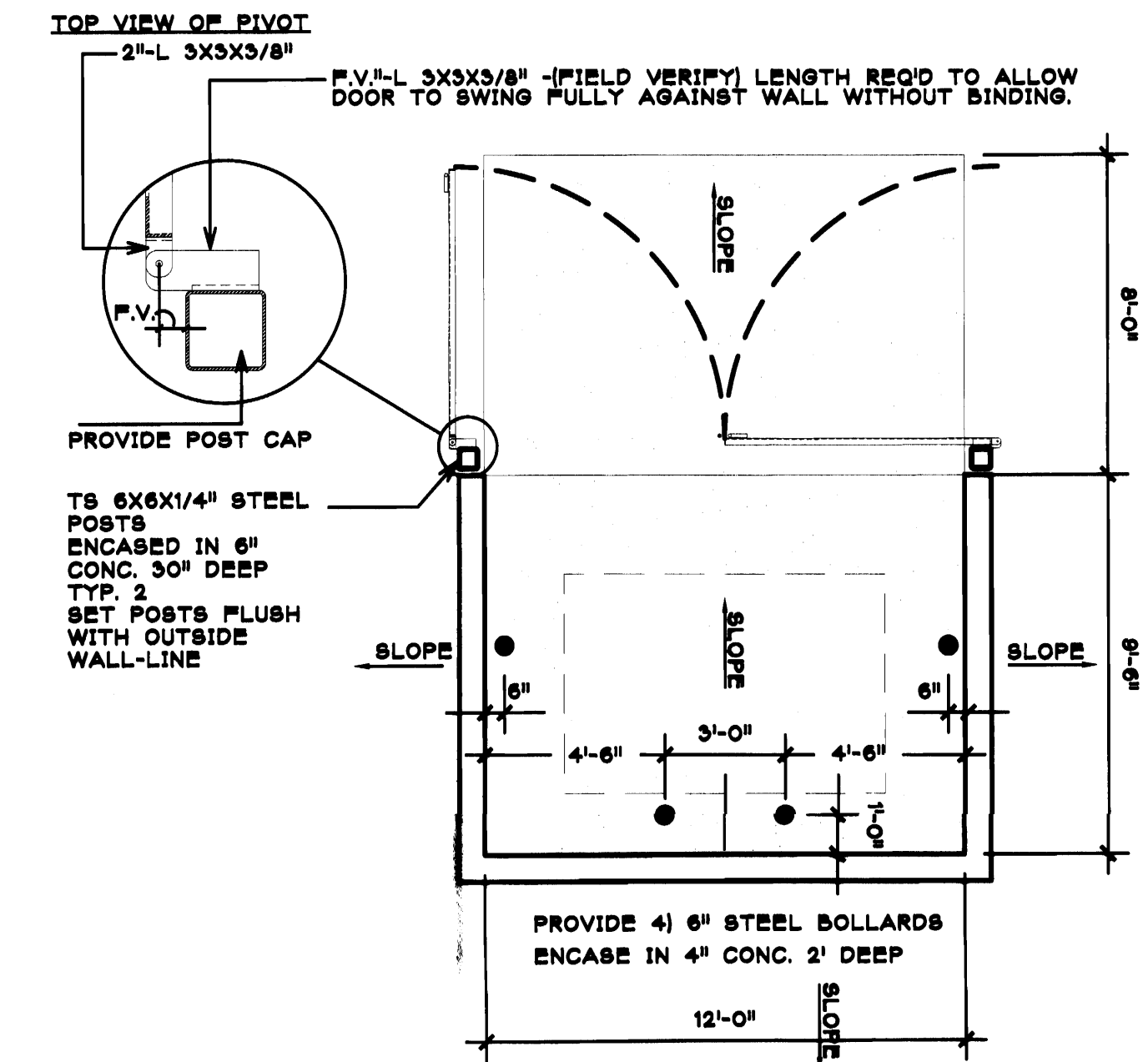
SCALE: N.T.S.



**POLE BASE DETAIL - FLUSH W/GRADE**

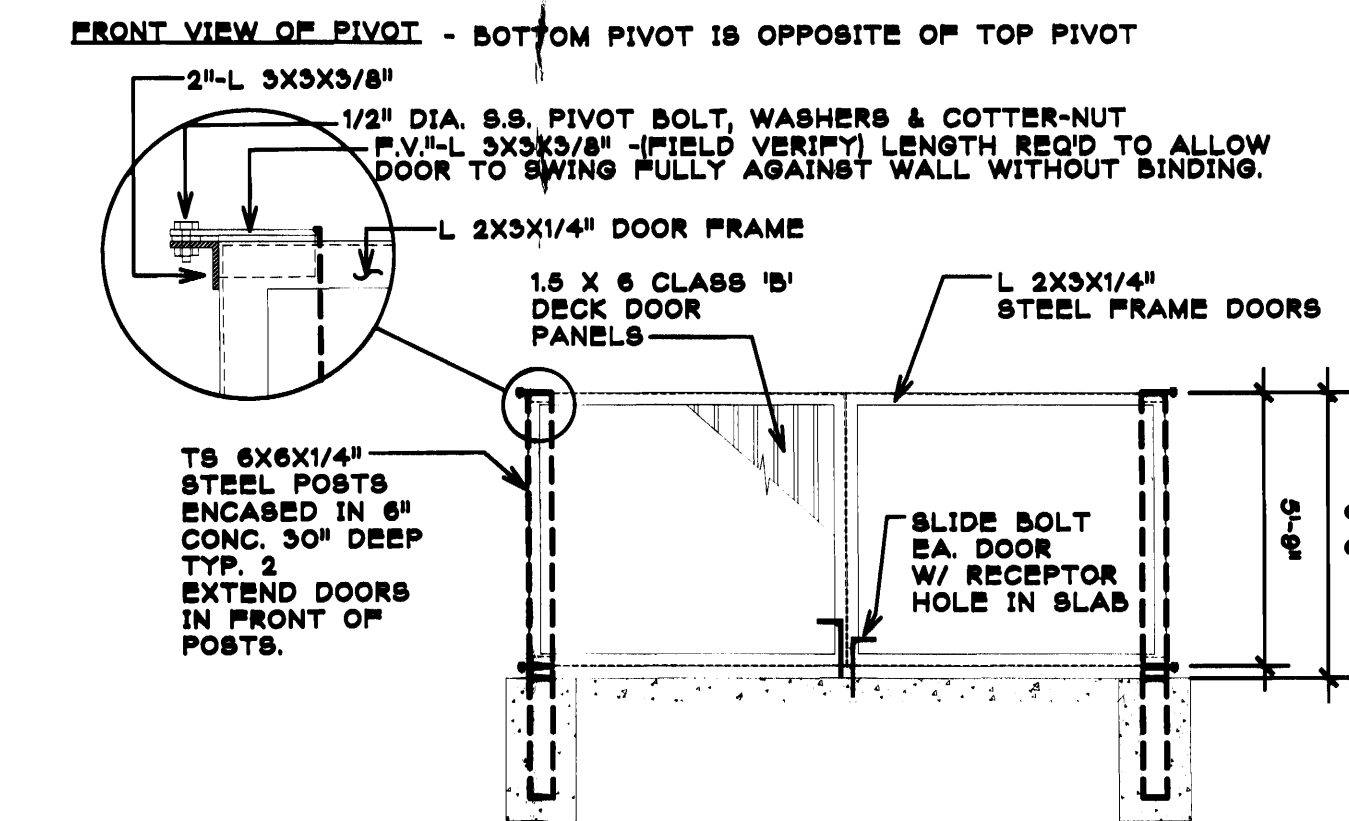
NOT TO SCALE

CONCRETE SLAB IN ENCLOSURE: 6" THK. 4,000 PSI, 3/4" AGG. W/ 6X6-10/10 WWM. SLOPE TO DRAIN @ 1/8" PER FT. MIN.  
 CONCRETE APRON SLAB: 6" THK. 12" x 8". 4,000 PSI, 3/4" AGG. W/ 6X6-10/10 WWM. SLOPE TO DRAIN @ 1/8" PER FT. MIN.  
 CMU WALL: SEE SECTION BELOW



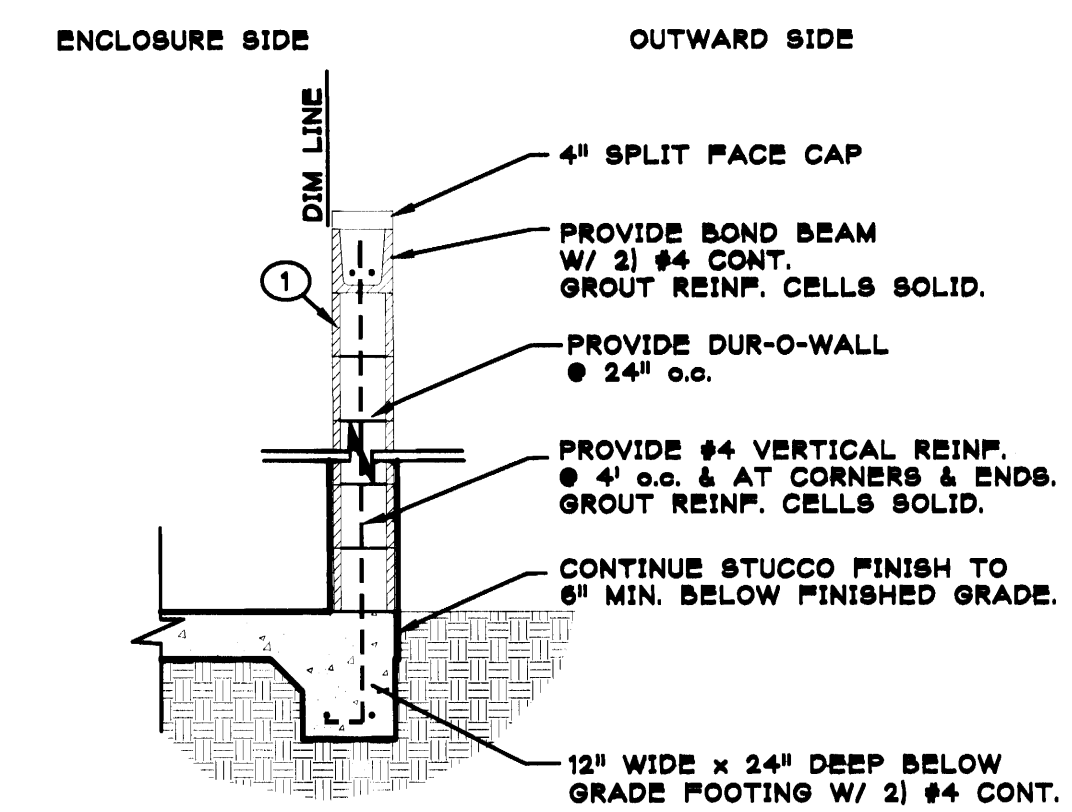
**TYPICAL PLAN**

SCALE: 1/4" = 1'-0"



**FRONT VIEW OF GATES**

SCALE: 1/4" = 1'-0"

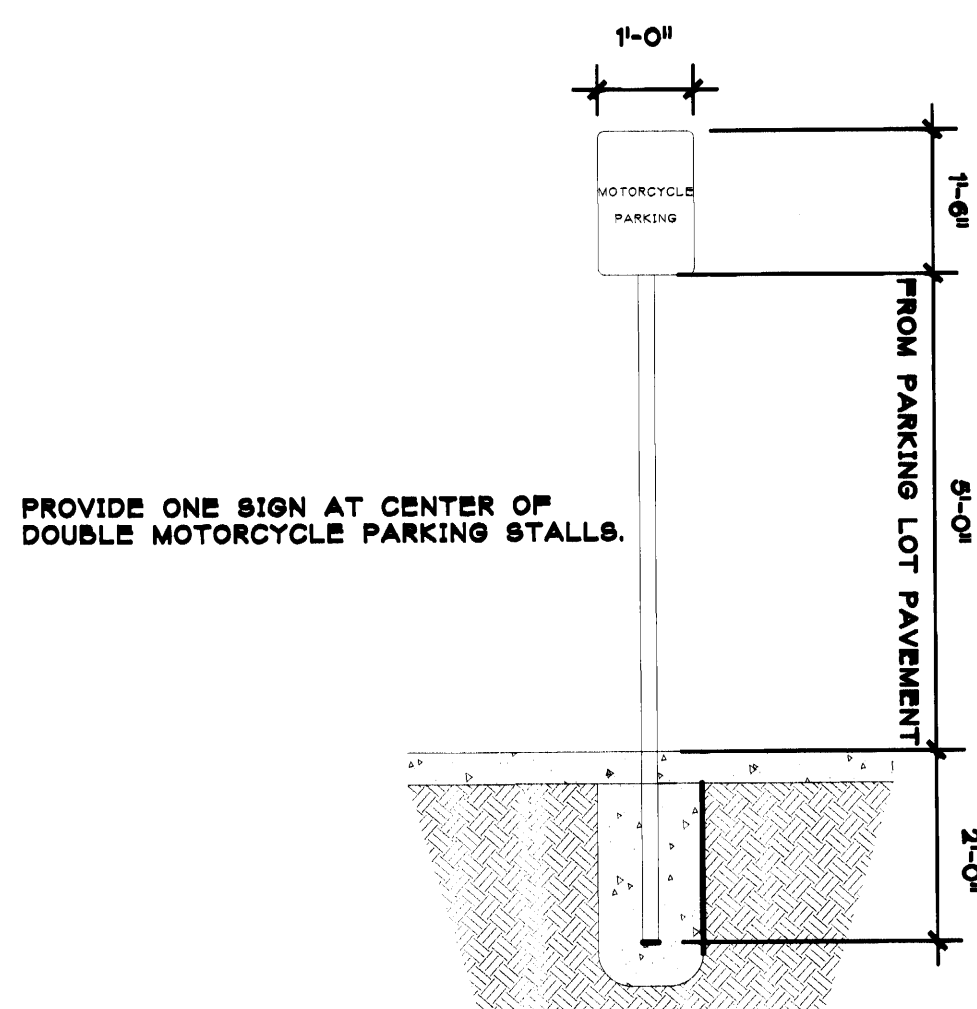


(1) PROVIDE 8" SPLIT FACED CMU WALL 6" HIGH @ DUMPSTER & AS NOTED OTHERWISE IN PLAN. ENTIRE ENCLOSURE INCLUDING GATE TO BE TAN COLOR.

**WALL SECTION**

SCALE: 1/2" = 1'-0"

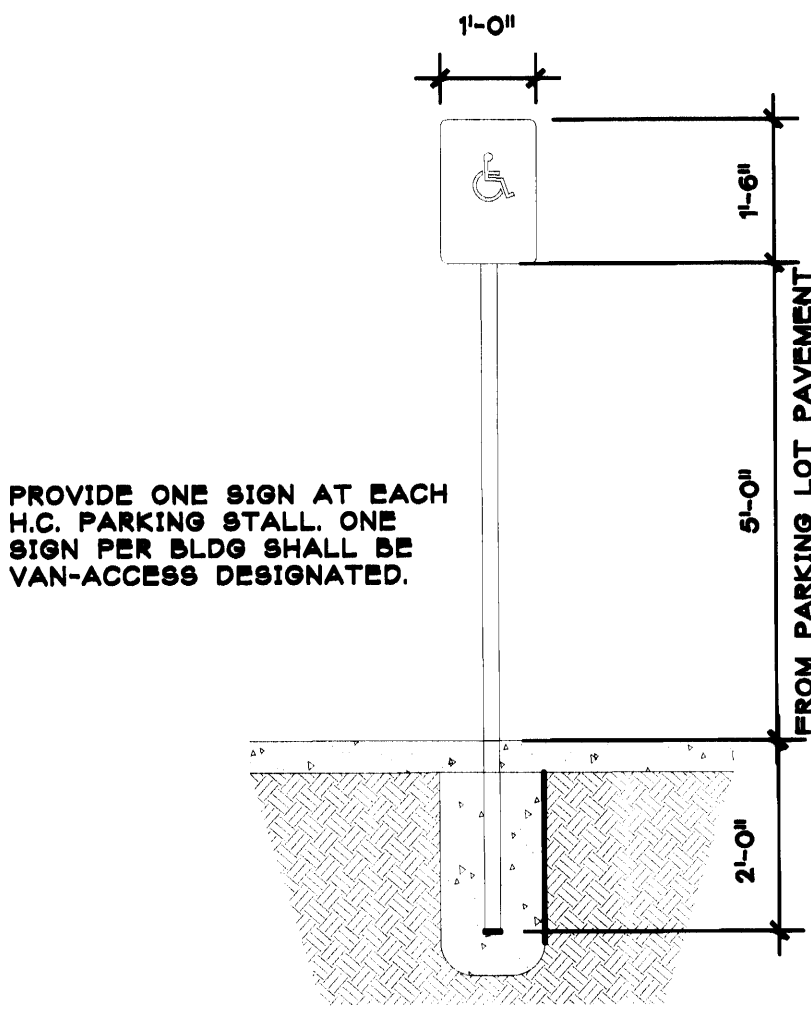
**TRASH DUMPSTER ENCLOSURE**



SIGN TO READ "MOTORCYCLE PARKING" TYPICAL. SIGN SIZE 12" W X 18" H. SEE SITE PLAN.

**MOTORCYCLE PARKING SIGN**

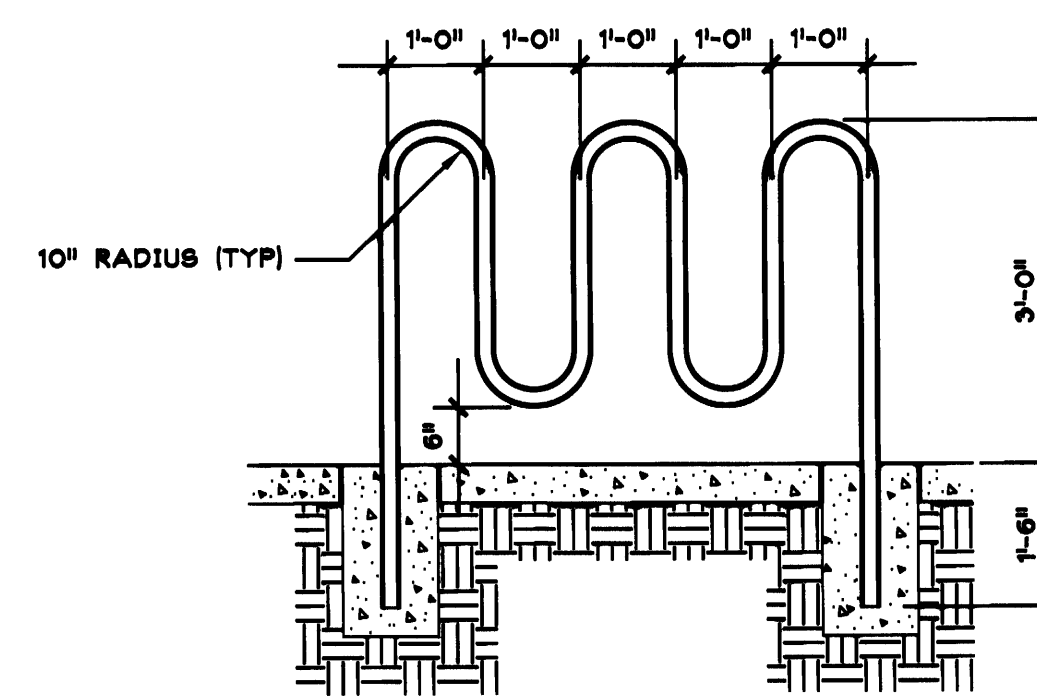
SCALE: 1/2" = 1'-0"



SIGN TO READ "ACCESSIBLE PARKING" TYPICAL. TWO SIGNS SHALL BE DESIGNATED AS "VAN ACCESSIBLE". SIGN SIZE 11.75" W X 18" H. SEE SITE PLAN.

**H.C. SIGN DETAIL**

SCALE: 1/2" = 1'-0"



**BIKE RACK (5 SPACES)**

SCALE: 1/2" = 1'-0"

Site Development Plan for Building Permit

**MAIN BANK**  
 Ameriplex Mortgage  
 7300 Menaul Blvd. NE  
 Albuquerque, New Mexico 87109

SHEET TITLE:  
 SITE DETAILS

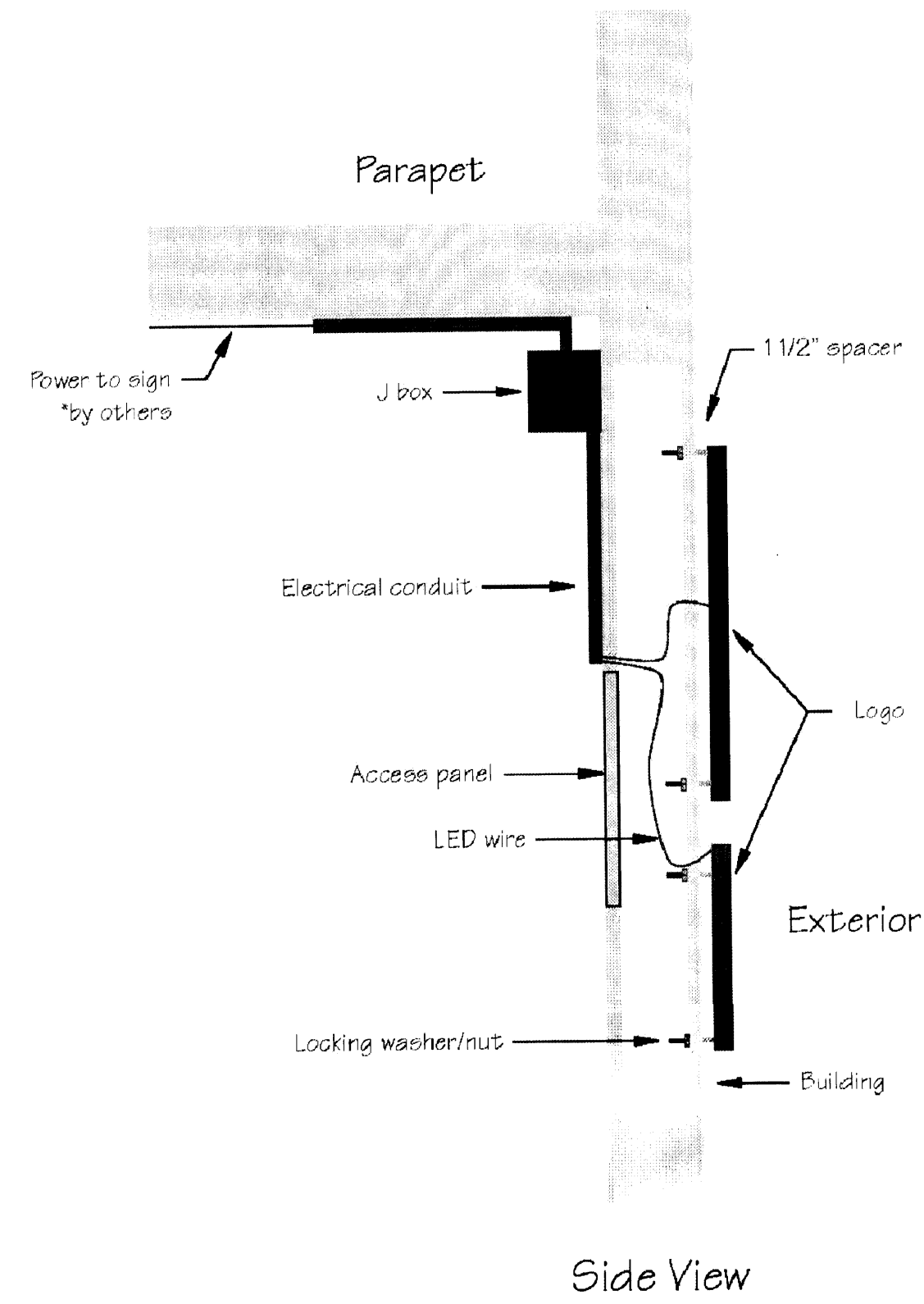
JOB NUMBER:  
 1329

DATE:  
 8/28/14

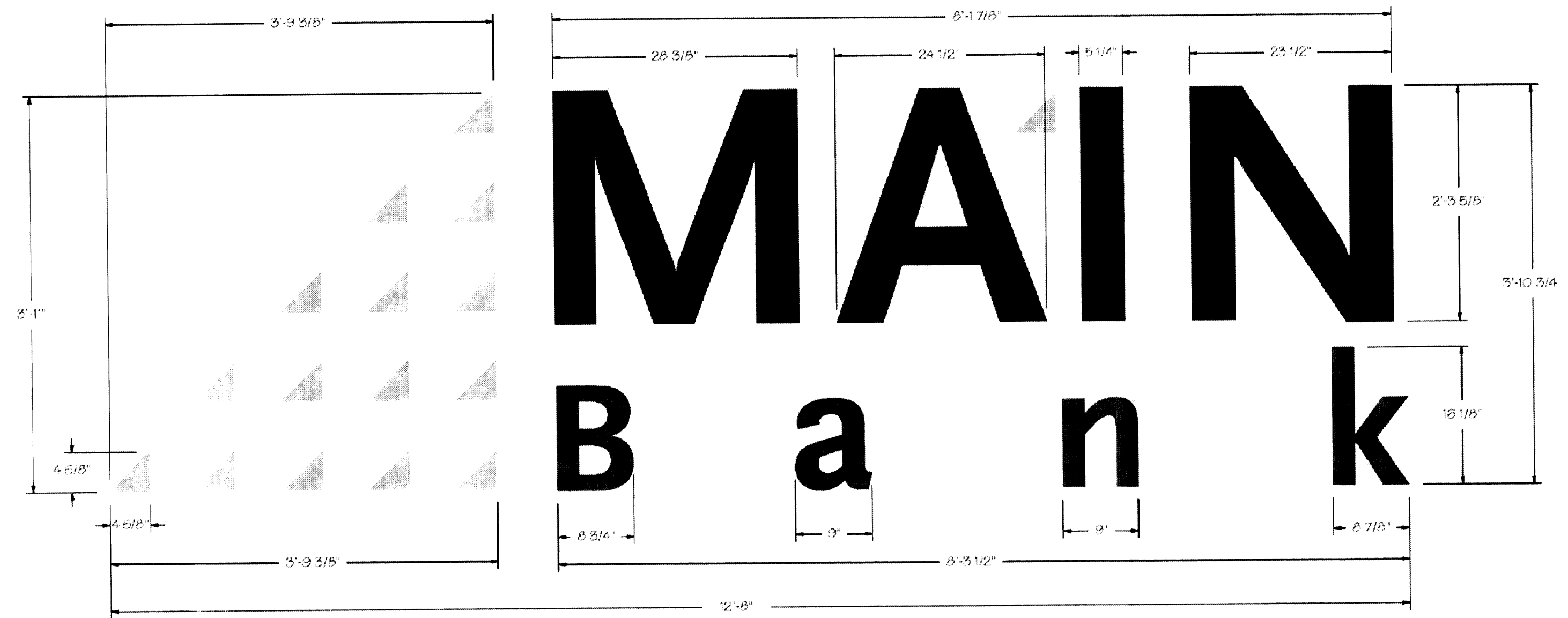
REVISIONS: DATE:  
 E.P.C. PRE-REVIEW UPDATES 8/24/14  
 E.P.C. CONDITIONS 10/28/14

SHEET:  
 A3

6 OF 7



AL1 Halo LED logo - Fabrication Detail  
Scale 1"=1"



**LED Halo Illuminated Channel Letters**  
 Material: Stainless Steel  
 Paint (to match):  
 - PMS Yellow TBD  
 - PMS Red TBD  
 - PMS Blue TBD  
 Finish: Matte  
 LED Color: White  
 Return: 1 1/2"  
 Spacing: 1/2"  
 Mounting: Stud mount  
 Mounting pattern: Yes

**Power Requirements**  
 - Power input: 120V  
 - 2.5A  
 - Power output: 12V  
 - Transformer required: TBD

MNT Illuminated Monument - Routed Face with Lexan Logo  
Scale 1/2"=1"

**SPECIFICATIONS**

**A. SIGN**  
 DOUBLE LED - INTERNALLY ILLUMINATED  
 ALUMINUM CABINET SIGN (LED BULBS)  
 NO REFLECTIVE  
 ALL SIDES PAINTED TAN TPO, SATIN FINISH  
 AUTOMATIC PHOTOCELL SWITCH PROVIDED

**B. FACE PANELS**  
 1/8" ALUMINUM  
 PRINTED WHITE, SATIN FINISH  
 FASTENED TO CABINET WITH TAMPER RESISTANT COUNTERSINK SCREWS

**C. LOGOS & LETTERS**  
 FACE PANELS ARE ROUTED TO REVEAL WHITE LEXAN PANEL  
 LOGO IS TRANSLUCENT VINYL  
 LETTERS WILL ILLUMINATE FROM FACES  
 3M TRANSLUCENT STANFORD VINYL OVER FRONT OF LETTERS  
 BLUE VINYL 3M 3630-56 BLUE  
 RED VINYL 3M 3630-45 TOMATO RED  
 YELLOW VINYL - GERBER 230-015 YELLOW

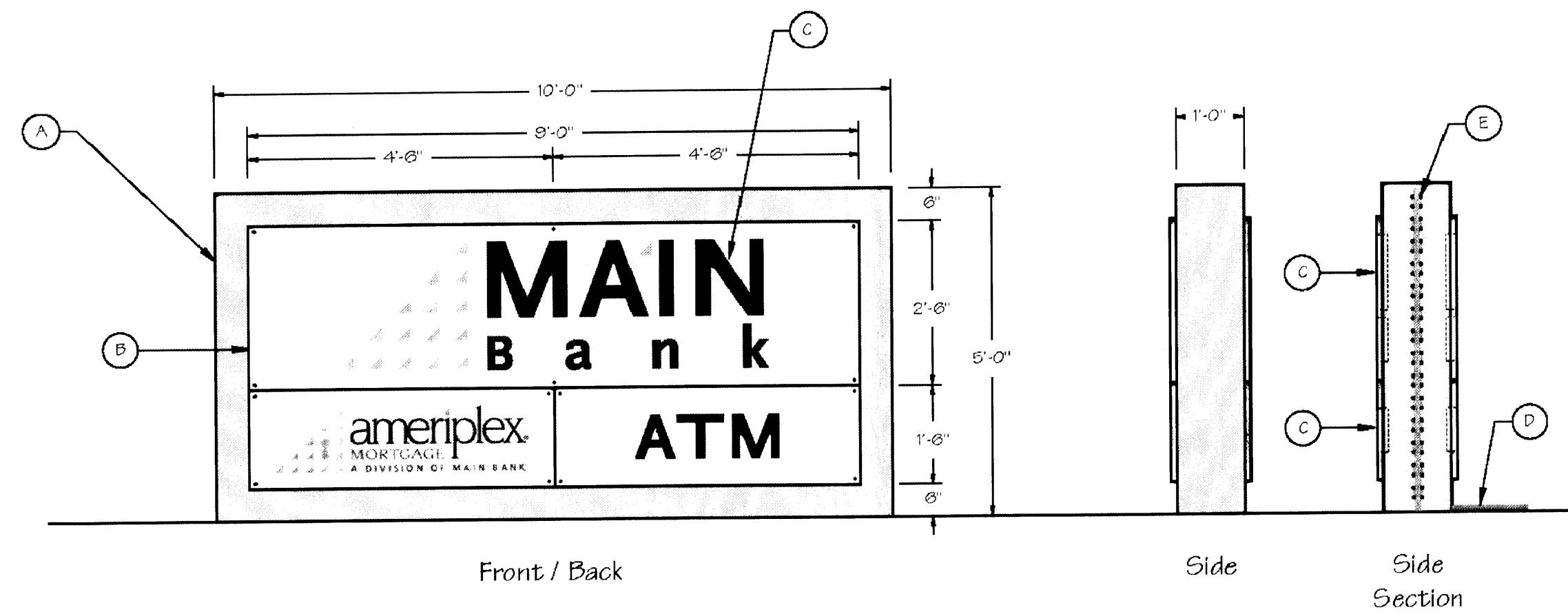
**SPECIFICATIONS**

**D. POWER TO SIGN**  
 TRANSFORMERS LOCATED INSIDE SIGN CABINET

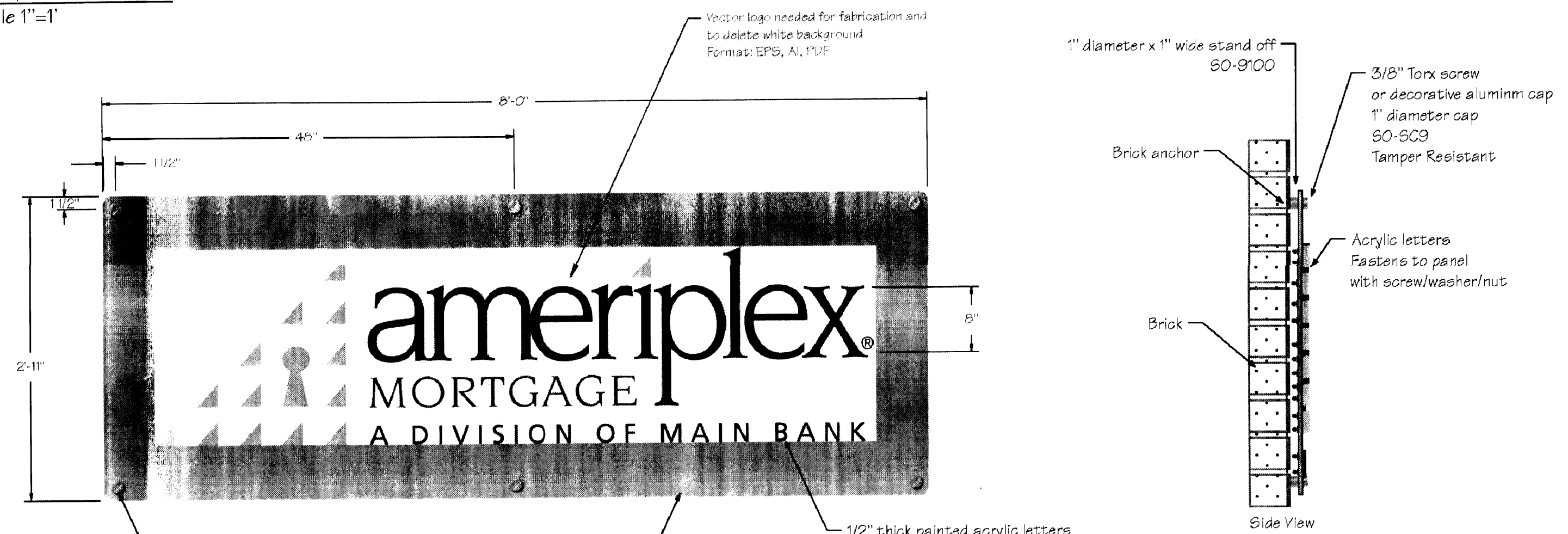
**E. LED GRID**

**POWER REQUIREMENTS:**  
 120V

**INSTALLATION**  
 INSTALL ON CONCRETE BASE  
 PIPE STUD LOCATED INSIDE CABINET



AL3 ameriplex logo on parapet  
Scale 1"=1"



Panel: 1/8" aluminum  
 Finish/Color:  
 - PMS Yellow TBD  
 - PMS Red TBD  
 - PMS Blue TBD  
 Clear Coat: Semi-gloss  
 Distance seen: ~300'  
 Studs/Tape: Blind stud  
 Standoffs: 3/8"  
 Mounting Pattern: Yes

Site Development Plan for Building Permit

MAIN BANK  
 Ameriplex Mortgage  
 7300 Menaul Blvd. NE  
 Albuquerque, New Mexico 87109

SHEET TITLE:  
 SIGNAGE  
 DETAILS

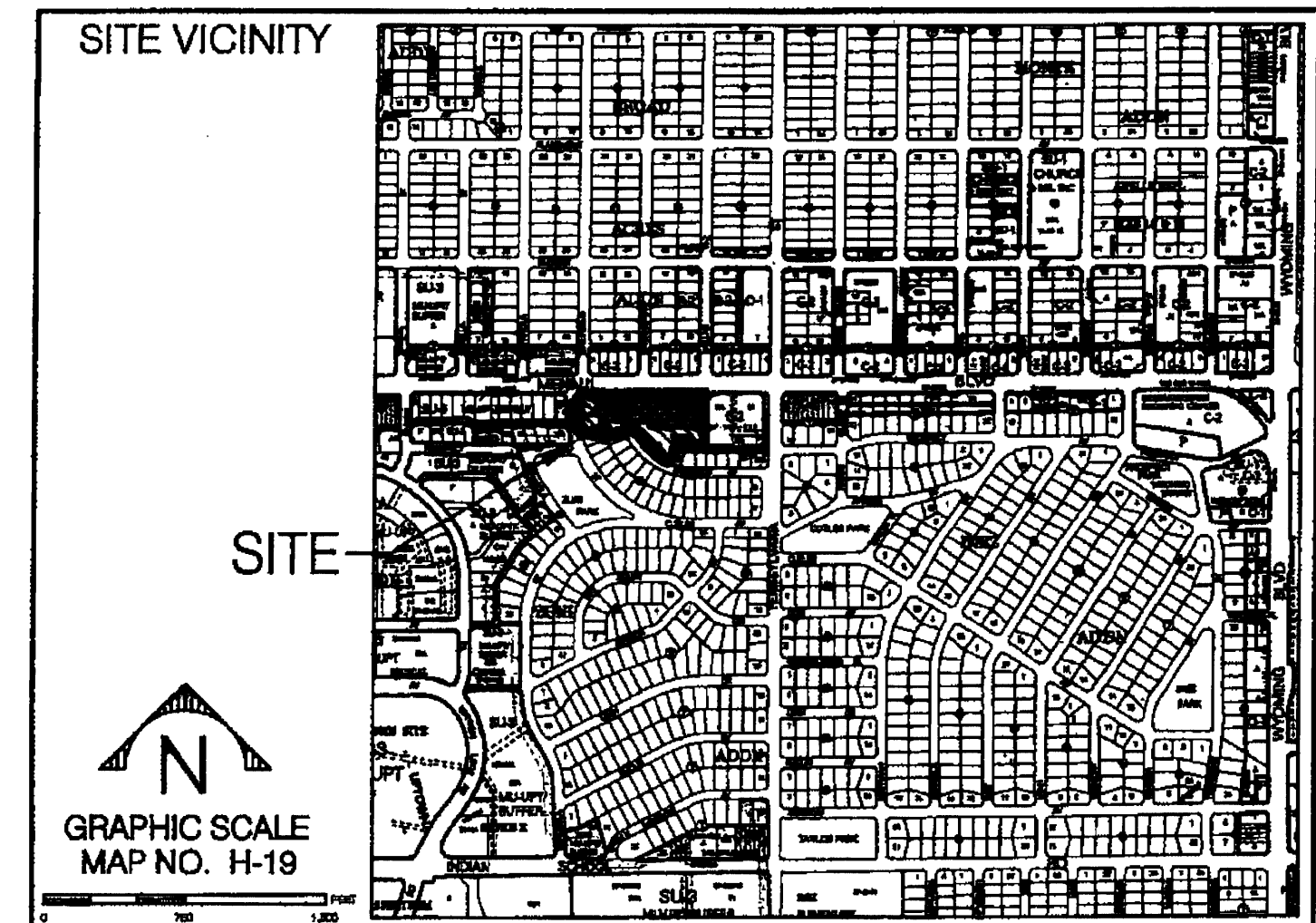
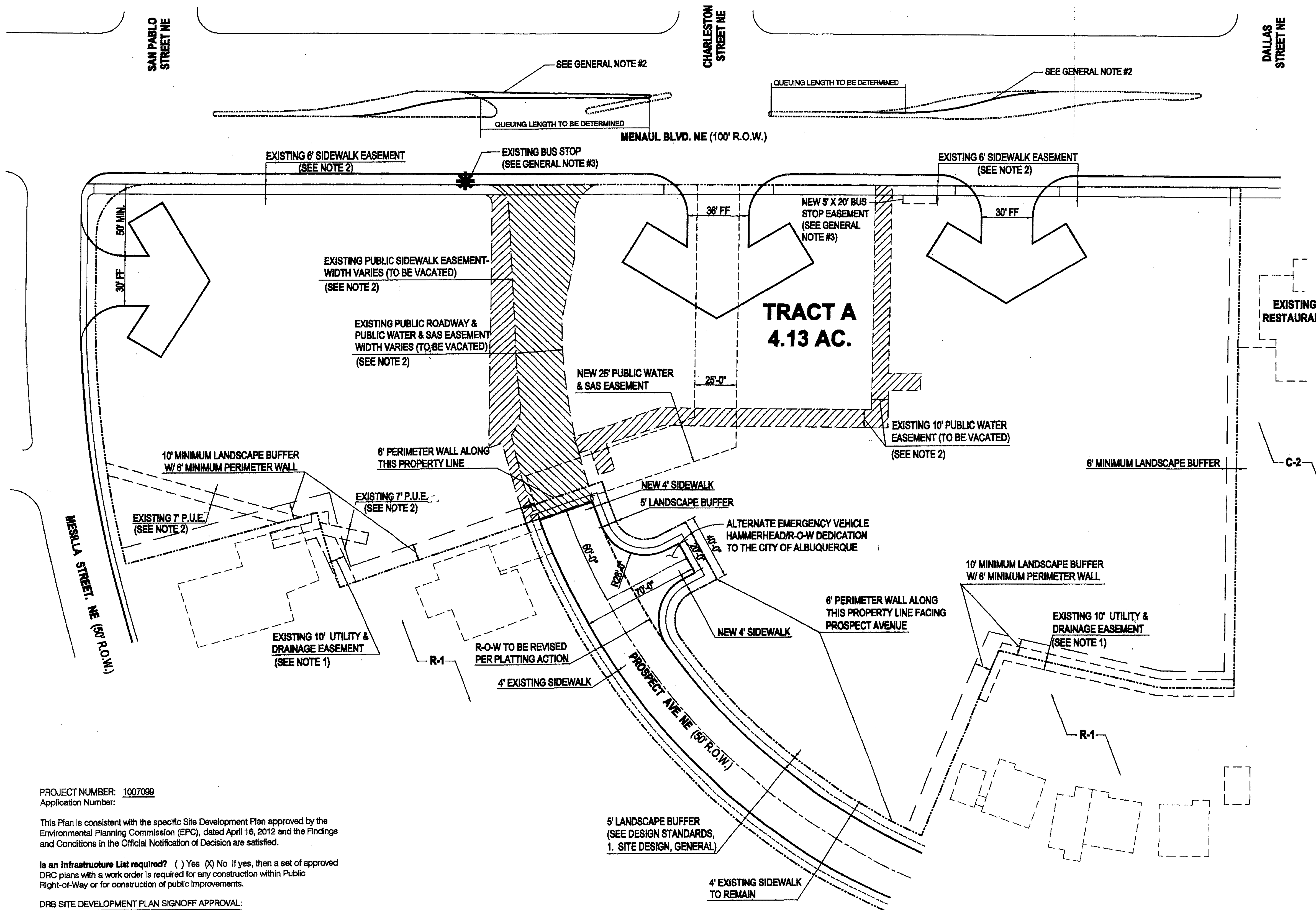
JOB NUMBER:  
 1329  
 DATE:  
 8/28/14

REVISIONS	DATE
E.P.C. PRE-REVIEW UPDATES	8/24/14
E.P.C. CONDITIONS	10/28/14

SHEET:  
 A4  
 7 OF 7

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 DORMAN and BREEN  
 LAURENCE BREEN A.I.A.  
 Albuquerque Westside 505-792-8160

RICHARD DORMAN F.A.I.A.  
 ALBUQUERQUE, NM 505-299-5940



**SITE PLAN FOR SUBMISSION-REQUIRED INFORMATION**

THE SITE: TRACT A, BLOCKS 16 & 17, ZUNI ADDITION. THE SITE CONSISTS OF APPROXIMATELY 4.13 ACRES. NO SUBDIVISION IS ANTICIPATED AT THIS TIME; HOWEVER, THE MODIFIED ACCESS AT PROSPECT AVENUE AND THE VACATION OF PUBLIC ROADWAY EASEMENT REQUIRE A REPEAT AT DRB.

**EXISTING ZONING:** SU-1 FOR C-2 PERMISSIVE USES, INCLUDING A FULL SERVICE LIQUOR LICENSE ONLY IN CONJUNCTION WITH A RESTAURANT, EXCLUDING SALE OF ALCOHOL FOR OFF-SITE CONSUMPTION AND EXCLUDING OFF-PREMISE SIGNS.

**PROPOSED USE:** PER C-2 PERMISSIVE USES, WITH EXCEPTIONS AS DESCRIBED ABOVE.

**PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS:**  
**VEHICULAR ACCESS:** VEHICULAR ACCESS TO THE SITE WILL BE FROM ACCESS POINTS ALONG MENAUL BOULEVARD NE AND MESILLA STREET NE. A FULL MOVEMENT INTERSECTION WILL BE CREATED WITH REALIGNMENT OF PROSPECT AVENUE NE (A PRIVATE ROAD WITH A PUBLIC ACCESS EASEMENT) TO LINE UP WITH CHARLESTON STREET NE. A SECOND MENAUL ACCESS POINT WILL BE RIGHT-IN, RIGHT-OUT TURN MOVEMENT ONLY, EAST OF PROSPECT AVENUE.

**PEDESTRIAN ACCESS CIRCULATION:** THE EXISTING PUBLIC SIDEWALK ALONG MENAUL BOULEVARD WILL BE REPLACED WITH A NEW 6 FOOT PUBLIC SIDEWALK WITHIN THE PROPERTY IN ORDER TO FACILITATE THE PLACEMENT OF LANDSCAPE BETWEEN THE BACK OF CURB AND THE NEW SIDEWALK IN COMPLIANCE WITH DEVELOPMENT PROCESS MANUAL. THE PROPOSED PUBLIC SIDEWALK WILL REQUIRE A SIDEWALK ACCESS EASEMENT TO BE GRANTED. THERE IS AN EXISTING 4 FOOT SIDEWALK ALONG MESILLA STREET. 6 FOOT SIDEWALK CONNECTIONS WILL BE MADE BETWEEN THE PUBLIC SIDEWALK AND FUTURE BUILDINGS. ADA ACCESS WILL BE PROVIDED FROM THE SIDEWALK TO THE FUTURE BUILDINGS ON FUTURE SITE PLANS FOR BUILDING PERMIT.

**TRANSIT ACCESS:** MENAUL BOULEVARD IS AN ENHANCED TRANSIT CORRIDOR. ABQ RIDE ROUTE #8 PROVIDES SERVICE ALONG MENAUL BOULEVARD. THERE IS AN EXISTING BUS STOP LOCATED ALONG MENAUL, JUST WEST OF PROSPECT AVENUE, WHICH SHALL BE MOVED BY ABQ RIDE TO 280 FEET EAST AS SHOWN ON THIS SITE PLAN.

**BICYCLE ACCESS:** THERE IS AN EXISTING BIKE ROUTE SOUTH OF THIS SITE ALONG CUTLER AVENUE AND ESPANOLA STREET.

**INTERNAL CIRCULATION:** CONCEPTUAL LOCATIONS FOR THE ACCESS POINTS HAVE BEEN IDENTIFIED AND WILL BE INDICATED ON FUTURE SITE PLANS FOR BUILDING PERMIT. SIDEWALKS WILL BE PROVIDED THROUGHOUT THE SITE AND BETWEEN ALL BUILDINGS AND PARKING AREAS.

**BUILDING HEIGHTS AND SETBACKS:** BUILDING HEIGHT AND SETBACKS SHALL BE PER THE O-1 ZONE, SECTION 14-16-2-15(C)(1).

**MAXIMUM F.A.R.:** .75

**LANDSCAPE PLAN:** SEE DESIGN STANDARDS, SHEET 2. LANDSCAPE PLANS WILL BE CREATED IN CONJUNCTION WITH FUTURE SITE PLANS FOR BUILDING PERMIT, AND CONSISTENT WITH THE DESIGN STANDARDS.

PROJECT NUMBER: 1007099  
 Application Number:

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated April 16, 2012 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes (X) No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>[Signature]</i>	08-15-12
Traffic Engineering, Transportation Division	Date
<i>[Signature]</i>	08-15-12
ABCWUA	Date
<i>[Signature]</i>	8-15-12
Parks and Recreation Department	Date
<i>[Signature]</i>	8-15-12
City Engineer	Date
<i>[Signature]</i>	8-1-2012
Solid Waste Management	Date
<i>[Signature]</i>	8-16-12
DRB Chairperson, Planning Department	Date

**EASEMENT NOTES**

- FILED 12/12/1960, VOL. D, FOL. 104
- FILED 08/11/2009, BK. 2009C, PG. 0081 M
- A BLANKET PUBLIC DRAINAGE EASEMENT OVER TRACT A-1, EXCLUDING ANY FUTURE BUILDINGS, IS HEREBY GRANTED TO THE CITY OF ALBUQUERQUE.

**GENERAL NOTES**

- THIS SITE PLAN FOR SUBDIVISION (12EPC-40005) VOIDS THE PREVIOUSLY APPROVED SITE PLAN FOR BUILDING PERMIT (08EPC-40021).
- THE PUBLIC ROADWAY EASEMENT WILL BE VACATED AND ACCESS TO THE SITE SHALL BE MOVED TO ALIGN WITH CHARLESTON STREET. THE MEDIANS IN MENAUL BOULEVARD WILL BE RECONSTRUCTED ACCORDINGLY, WITH QUEUING LENGTHS TO BE DETERMINED AT FUTURE SITE PLAN FOR BUILDING PERMIT.
- CITY TRANSIT REQUIRES THE EXISTING BUS STOP TO BE MOVED APPROXIMATELY 280 FEET EAST. A 5' WIDE X 20' LONG EASEMENT IS REQUIRED AS PART OF THE PLATTING PROCESS AT DRB.
- VEHICULAR ACCESS IS PROHIBITED TO AND FROM THE SITE FROM THE NEIGHBORHOOD TO THE SOUTH.

## MENAUL SITE - TRACT A

### ZUNI ADDITION

#### SITE DEVELOPMENT PLAN FOR SUBDIVISION

Prepared for: Sandia Foundation 8211 San Mateo Suite 100 Albuquerque, NM 87108	Prepared by: Consensus Planning, Inc. 302 Eighth Street NW Albuquerque, NM 87102  Isaacson & Arfman, P.A. 128 Monroe Street NE Albuquerque, NM 87108
--	---

Scale: 1" = 30'

NORTH

July 9, 2012

## DESIGN STANDARDS

The purpose of these Design Standards is to provide a framework to assist developers and designers in understanding the development goals and objectives for Tract A-Zuni Addition. These standards address landscape, setbacks, pedestrian amenities, screening, lighting, signage, and architecture that will create the visual image desired for this property. Development shall be in compliance with the City of Albuquerque Comprehensive Zoning Code. Future Site Development Plans for Building Permit shall refer to the Environmental Planning Commission (EPC) for review and approval.

### 1. SITE DESIGN

The following standards were created in order to facilitate high quality development that furthers the City's objectives for an Enhanced Transit Corridor.

#### General

Sidewalks shall be provided per Section 14-16-3-18 (C) (1) General Building and Site Design Regulations for Non-Residential Uses of the City Comprehensive Zoning Code.

All drive-up uses shall be designed so traffic and queuing shall cause no deleterious effects on the pedestrian qualities of the center. Drive up service windows shall not face adjacent residential development.

Drive-up service windows shall be constructed in accordance with Section 14-16-3-18 (D) (5) General Building and Site Design Regulations for Non-Residential Uses of the City Comprehensive Zoning Code.

Building access and entries shall be visible from the street.

Entry ways shall be clearly defined, either by a canopy or inset (minimum 4 feet), and linked to the pedestrian pathways.

Loading areas shall follow Section 14-16-3-18 (C) (6) General Building and Site Design Regulations for Non-Residential Uses of the City Comprehensive Zoning Code.

Any exterior storage and sales areas shall be architecturally integrated to the main building by use of walls, roofs, and fencing.

Roof-mounted mechanical equipment shall be screened from the public right-of-way as prescribed by Section 14-16-3-18 (C) (6) General Building and Design Regulations for Non-Residential Uses of the City Comprehensive Zoning Code.

Screening devices for parking lots, loading areas, refuse collection, delivery/storage areas, and drive-up service windows shall be used to limit their adverse visual impact on surrounding developments. Walls and fences shall be kept as low as possible while performing their screening and security functions.

Parking located adjacent to Menaul Boulevard and Mesilla Street shall be screened by buildings or a combination of landscaping, walls, and earthen berms to a minimum height of 2.5 feet (30 inches). Screen walls shall be compatible with the building architecture relative to materials and color and a maximum of 42 inches.

A six foot wall shall be located along Prospect Avenue, where the property faces residential development. The design of the wall shall comply with Section 14-16-3-19 of the Comprehensive Zoning Code. A minimum 5 foot wide landscape buffer shall be provided between the wall and the existing 4 foot public sidewalk. The design of the wall shall meet Section 14-16-3-19 General Height and Design Regulations for Walls, Fences, and Retaining Walls, and specifically Subsection (b) e. Facade, which requires "A variety of living shrubs, trees and/or vines covering or overhanging at least one third of the length of the wall..." The existing mature evergreen trees may be counted towards meeting the landscape requirement under the City's Wall Regulations.

All outdoor refuse containers shall be screened within a minimum 6-foot tall enclosure and large enough to contain all refuse generated between collections, and provide an area for recycling. Design and materials of enclosures shall be compatible with the building architecture.

No engineered wood panels; or cyclone, chain-link, razor-wire, and vinyl plastic fencing shall be permitted.

#### Accessibility & Safety

Sites shall be designed for accessibility at all facilities and outdoor public areas.

Sites shall be designed in accordance with the Americans with Disabilities Act, the American National Standards for Accessible and Usable Buildings and Facilities, and the New Mexico Building Codes for accessibility criteria for places of public use.

Close attention shall be paid to ramps and to how the entire site may be traversed. All ramps within the City right-of-way shall include truncated domes, as required by the Development Review Board.

Entrances and exits to buildings shall be flush.

A constant elevation shall be maintained at all curb cuts and junctions between driveways and pedestrian sidewalks for compliance with ADA standards.

#### Circulation

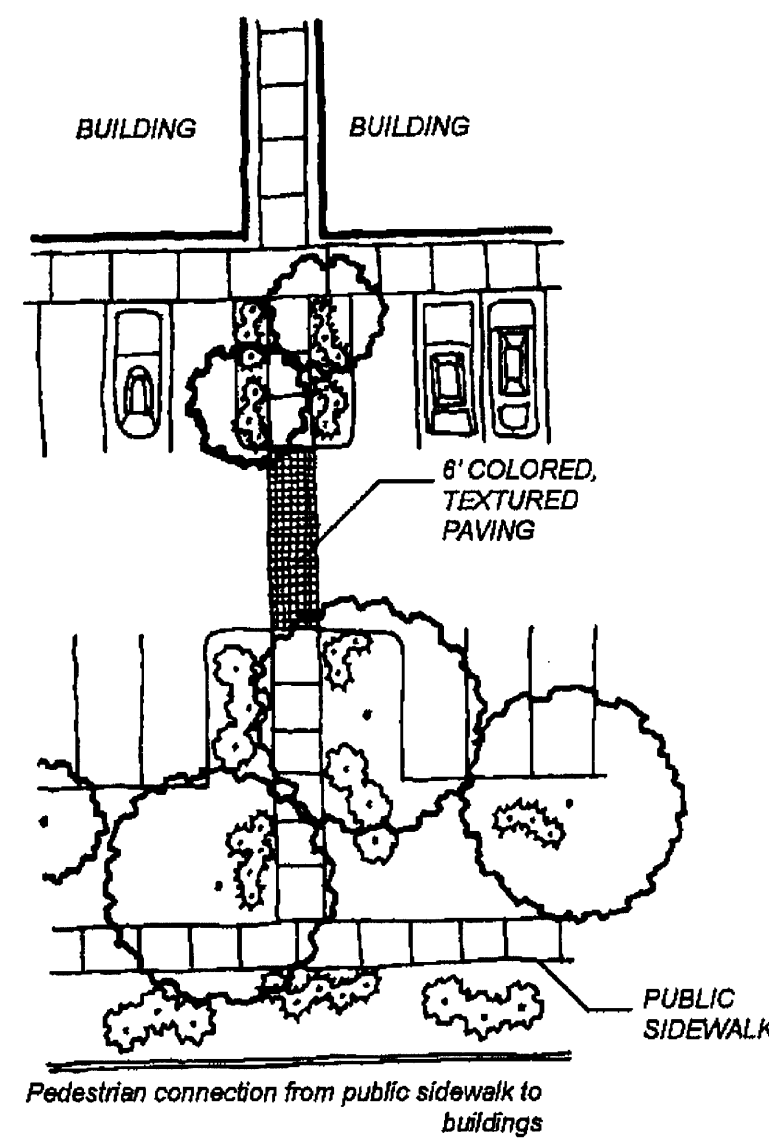
Pedestrian access shall be separated from vehicular access.

The interior of the center shall be very accommodating to the pedestrian, even within the predominantly off-street parking areas.

Pedestrian walkways within a site shall be a minimum of 6 feet in width, unobstructed, and clearly demarcated by use of techniques such as special paving, grade separation, or pavement marking of a permanent nature.

Pedestrian connections shall be provided to the existing transit stop (to be relocated approximately 280' east per ABQ Ride proposal) on Menaul Boulevard in order to facilitate multi-modal transportation.

Pedestrian crosswalks shall be a minimum of 6 feet in width and constructed of colored textured paving.



#### Parking

The minimum number of vehicular, disabled, motorcycle and bicycle parking spaces shall be per Section 14-16-3-1 Off-street Parking Regulations contained in the City Comprehensive Zoning Code.

Parking areas shall be visually segmented into smaller subareas separated by landscaping and/or pedestrian walkways.

Parking shall be placed on at least two sides of a building. Parking shall not dominate the street frontage.

Parking areas shall be designed to include a pedestrian link to the public sidewalk network and pedestrian access shall be provided to link structures to the public sidewalk.

#### Setbacks

The use of building and parking area setbacks is required to provide space for the creation of visually attractive streetscapes. Required within these setbacks will be pedestrian walkways and screening materials, including landscaping, earthen berms, or walls, or a combination. Setbacks shall be per Section 14-16-2-15 O-1 Office and Institution Zone contained in the City Comprehensive Zoning Code.

### 2. SUSTAINABILITY

Energy efficient techniques shall be utilized to reduce energy and water consumption, where possible.

Water harvesting techniques such as curb cuts for drainage to landscaped areas, permeable paving, bioswales to slow and treat storm water runoff, or cisterns for the collection and reuse of storm water and gray water shall be provided.

Buildings shall be oriented to take advantage of heat gain in the winter where possible while coordinating with shading strategies to inhibit solar gain in the summer.

Grasses and other ground vegetation should be near edges to help filter and slow runoff as it enters the site.

Convenient recyclable collection facilities shall be provided by all tenants of the site.

### 3. ARCHITECTURAL DESIGN

Specific architectural style shall not be dictated. The design shall, however, demonstrate a high quality aesthetic character throughout the property. Architectural design should respond to climate, views, solar access, and aesthetic considerations, with the architectural design being in harmony with adjoining projects.

Building heights shall be per the O-1 Zone, Section 14-16-2-15 of the Comprehensive City Zoning Code.

Buildings shall employ a variety of structural forms to create visual character and interest. Columns, arcades, corner articulation, overhangs, awnings, marquees, gutters and scuppers, breezeways, vertical fins, wall recesses, soffits, and deciduous tree canopies should be carefully dimensioned and detailed to provide a human-scale, visual interest, and a means of shading building facades while lending color and formal articulation to the buildings.

#### Roofs

Roofs shall drain water to areas which are landscaped appropriately for such run-off.

#### Building Facades

The scale, proportion, and composition of fenestration of facades shall be designed to give visual interest from the exterior, to provide variation in quality of light on the interior, and to coordinate with the lighting requirements for each activity area.

All canopies, roof structures, and design elements of related buildings shall be architecturally integrated to the main building design.

Use of plastic or vinyl is prohibited on building panels and awnings.

Buildings shall have windows on the front elevations. The windows may be display windows or viewing windows with a glazing transparency that allows a pedestrian to see inside the window or a combination thereof.

Major facades greater than 100 feet in length shall be per Section 14-16-3-18(C)(3) of the Comprehensive City Zoning Code.

Facades SHALL:

- vary in height, depth and articulation to create a pedestrian-scaled environment

- be articulated with a variety of architectural elements, colors and materials

- have all accessory buildings and enclosures, whether attached or detached from the main building, treated with similar compatible design and materials as the main structure or structures

- be treated with a consistent level of detail at all sides of all buildings and structures

#### Building Materials & Colors

Materials prohibited as the main architectural feature include the following:

- exposed, untreated precision block or wood walls within public view

- highly reflective surfaces

- metal paneling

- The use of contrasting colors between roofs and walls shall be used to further differentiate the planes of building masses.

- Colors shall be the natural tone of materials (earthy tones such as sands, creams, tans, etc.) rather than applied color (painted), except where used as an accent color.

### 4. LIGHTING

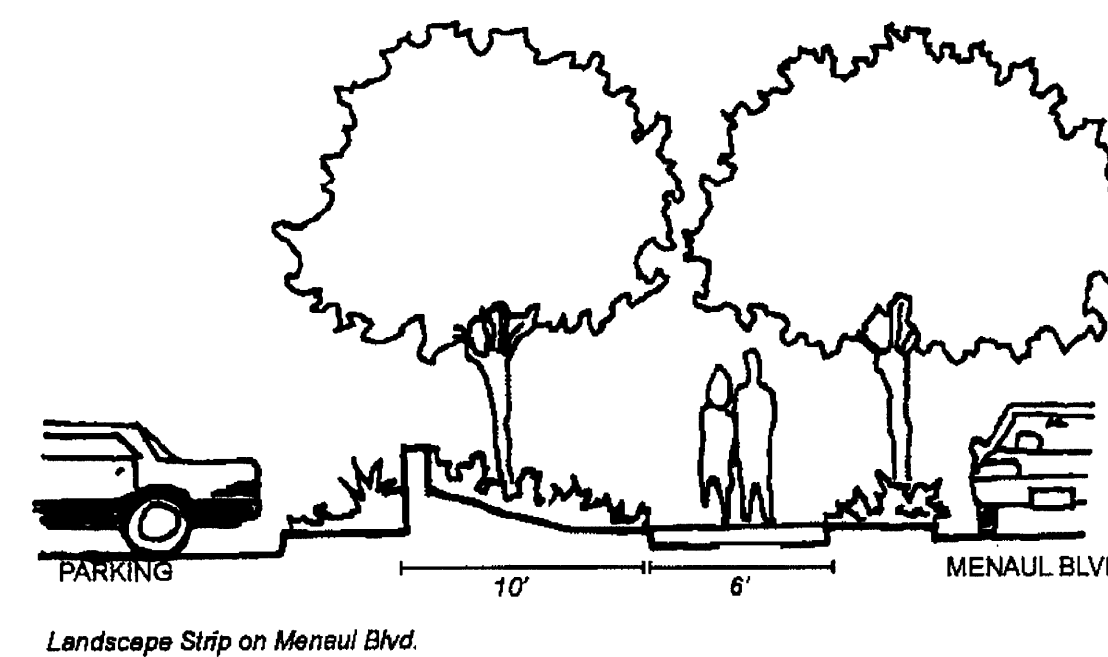
In order to enhance the safety, security, and visual aesthetics of the property, careful consideration must be given to selection of outdoor furniture, lighting design, site materials and other features. It is important to consider the daytime appearance of all materials.

Placement of fixtures and standards shall conform to State Night Sky Protection Act and City Comprehensive Zoning Code Section 14-16-3-9.

A design objective of the site lighting system shall be to maximize public safety while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection. All lights, including stand alone fixtures and building mounted, shall be shielded source to prevent spillage onto adjoining properties or light pollution of the existing "Dark Sky".

Individual site lighting standards shall blend with the architectural character of the building and other site fixtures.

Sodium lighting is prohibited.



### 5. LANDSCAPE

The development of an overall landscape concept will establish a framework that unifies the entire property. To achieve a cohesive development, all areas of design need to be coordinated and responsive to existing environmental conditions and local building policies. These standards shall be used as a supplement to the City requirements in the Water Conservation Landscaping and Water Waste Ordinance, the Pollen Ordinance, the Street Tree Ordinance and other landscape regulations included in the City Comprehensive Zoning Code under Section 14-16-3-10 Landscaping Regulations Applicable to Apartment and Nonresidential Development.

Low water use turf may be provided at a maximum of 40% of the landscaped area. High water use turf is not allowed.

Landscape buffers shall be provided in all locations that abut residential development. The landscape buffer shall be a minimum of 10 feet in width and shall be comprised primarily of trees, 10 foot minimum height at the time of planting, and shall be capable of reaching a mature height of at least 25 feet. A minimum of 40% of the trees in the landscape buffer shall be evergreen. Spacing of all trees shall be equal to 75% of the mature canopy diameter of the trees.

An automatic underground irrigation system shall be provided to support all landscaping. The system shall be designed to avoid overspraying of walks, buildings, fences, etc. Backflow preventers shall be provided in accordance with City of Albuquerque Codes.

Proposed lighting and landscaping shall be placed so they are not in conflict with each other.

All plant material, including trees, shrubs, groundcovers, turf, wildflowers, etc. shall be maintained by the Owner in a living, attractive condition. All areas shall be maintained free of weeds through the use of previous filter material. Each individual lot owner will be responsible for the installation and maintenance of the landscape on their property and within the adjacent public right-of-way.

### 6. SIGNAGE

The following signage standards were developed to regulate the size, location, type, and quality of sign elements within this property. A properly implemented signage program will serve four very important functions: to direct and inform employees and visitors; to provide circulation requirements and restrictions; to provide for public safety, and to complement the visual character of the development.

All freestanding signs shall be monument signs only.

Location, number and illumination of signs shall be per the C-2 Zone, Section 14-16-2-17 (A)(10) of the City Comprehensive Zoning Code. Monument sign height shall not exceed 9 feet in height and shall have a maximum sign area of 50 square feet, except no signage shall be allowed along Prospect Avenue, across from residential development.

Building-mounted signs shall not exceed 6 percent of the facade area. Building-mounted signs are prohibited along Prospect Avenue across from residential development and along the south property boundary within 50 feet of an abutting residential development. Illuminated plastic panel signs are prohibited.

Signs perpendicular to an elevation shall only occur under an awning or canopy/portal and shall not be more than 8 square feet. These signs may not project past the overhang.

Off-premise signs are prohibited.

Freestanding monument signs SHALL:

- be designed to be in compliance with Section 14-16-3-5 General Sign Regulations of the City Comprehensive Zoning Code

- be designed to be consistent with and complement the materials, color and architectural style of the building or site location

- identify only the name and business of the occupant or of those offering the premises for sale or lease; and

- have a minimum contrast of 70% between the background and the text.

Freestanding monument signs SHALL NOT:

- intrude upon any architectural features, including windows, columns, moldings or any decorative features; and

- include illuminated plastic panels or backlit plastic/vinyl signs, except logo designs are permitted.

### 7. UTILITIES

Developers shall contact PNM's New Service Delivery Department to coordinate electric service and options for the location of electric service connection. Any existing or proposed public utility easements are to be indicated on subsequent Site Plan for Building Permit utility sheets. PNM's standard for public utility easements is 10 feet in width to ensure adequate, safe clearances.

All electric distribution lines shall be placed underground.

Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from the public right-of-way. Screening of transformers, electric boxes and other utility structures shall not impede access to the equipment and shall provide for safe maintenance and repair by utility workers.

When an above-ground backflow prevention device is required by the City of Albuquerque, the heated enclosure shall be constructed of materials compatible with the architectural materials used as the main elements of the building. If pre-fabricated fiberglass enclosures are used they shall be appropriately screened from view by walls and/or landscaping.

Any wireless communication facilities shall be concealed and architecturally integrated.

# MENAUL SITE - TRACT A

## ZUNI ADDITION

### DESIGN STANDARDS

Prepared for:  
Sandila Foundation  
6211 San Mateo  
Suite 100  
Albuquerque, NM 87109

Prepared by:  
Consensus Planning, Inc.  
302 Eighth Street NW  
Albuquerque, NM 87102

Isaacson & Artman, P.A.  
128 Monroe Street NE  
Albuquerque, NM 87108

July, 2012

Sheet 2 of 2



SAN PABLO STREET NE

PUBLIC TRANSIT: LOCAL ROUTE #8 ALL DAY SERVICE

CHARLESTON STREET NE

**LEGAL DESCRIPTION**

Tract "A" of the plat of Tract A, Block: 16&17, Subdivision: ZUNI ADDN, City of Albuquerque, Bernalillo County, New Mexico.

**ZONING DATA**

CITY OF ALBUQUERQUE - APPLICABLE ZONE CODE DATA

ZONE CLASSIFICATION: SU-1 FOR C-2 PERMISSIVE USES INCLUDING FULL SERVICE LIQUOR ONLY IN CONJUNCTION WITH RESTAURANT EXCEPT SALE OF ALCOHOL FOR OFF-SITE CONSUMPTION AND EXCEPT OFF-PREMISE SIGNS.

ZONE ATLAS PAGE: H-19-Z

LOT AREA = 1.764 AC OR 76,841 SQ. FT.  
BUILDING ROOF AREA = 14,238 SQ. FT.  
LANDSCAPE IN RIGHT OF WAY = 2,508 SQ. FT.  
NET LOT AREA = 60,102 SQ. FT.

OFF STREET PARKING SPACES REQUIRED = 1ST FLOOR AREA = 11,046/200 = 55 SPACES  
2ND FLOOR AREA = 6,050/300 = 20 SPACES  
TOTAL REQUIRED = 75 SPACES  
OFF STREET PARKING SPACES PROVIDED = 85 SPACES + 18 DRIVE UP TELLER SPACES

H.C. SPACES REQUIRED = 75/20 = 4, PROVIDED = 4  
MOTORCYCLE SPACES REQUIRED = 3, PROVIDED = 4  
BICYCLE SPACES REQUIRED = 4, PROVIDED = 5

REQUIRED SETBACKS: 5' FRONT SETBACK, 15' SIDE SETBACK AND 5' SIDE SETBACK AT STREETS FOR CORNER LOTS, 5' REAR SETBACK

SITE SEATING REQUIRED = 1 SEAT / 25' OF MAIN FACADE  
112' FACADE / 25 = 5 SEATS REQUIRED  
SITE SEATING PROVIDED = 40' OF BENCH / 2' PER SEAT = 20 SEATS PROVIDED

**GENERAL NOTES**

- LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SITE REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
- HIGHLY REFLECTIVE SURFACES ARE PROHIBITED PER THE SITE DEVELOPMENT PLAN FOR SUBDIVISION, DESIGN STANDARDS, PROJECT NUMBER 1007099.
- OWNER SHALL CONTACT PNM TO COORDINATE COMPLIANCE WITH PNM REQUIREMENTS.

**KEYED NOTES**

- PROVIDE RAMP PER C.O.A. STANDARD SPECIFICATIONS SECTION 2400, DWG 2426. ALL RAMP IN R.O.W. MUST HAVE TRUNCATED DOMES. (TYPICAL)
- MAINTAIN 460'X13' CLEAR SITE TRIANGLE. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SITE REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
- MAINTAIN 120'X13' CLEAR SITE TRIANGLE. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SITE REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
- MAINTAIN 35'X35' CLEAR SITE TRIANGLE. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SITE REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
- DRIVE-AISLE CROSSINGS SHALL BE STANDARD GREY CONCRETE.

PROJECT NO.  
APPLICATION NO.  
IS AN APPROVED INFRASTRUCTURE LIST REQUIRED?  
[ ] YES [ ] NO. IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT OF WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

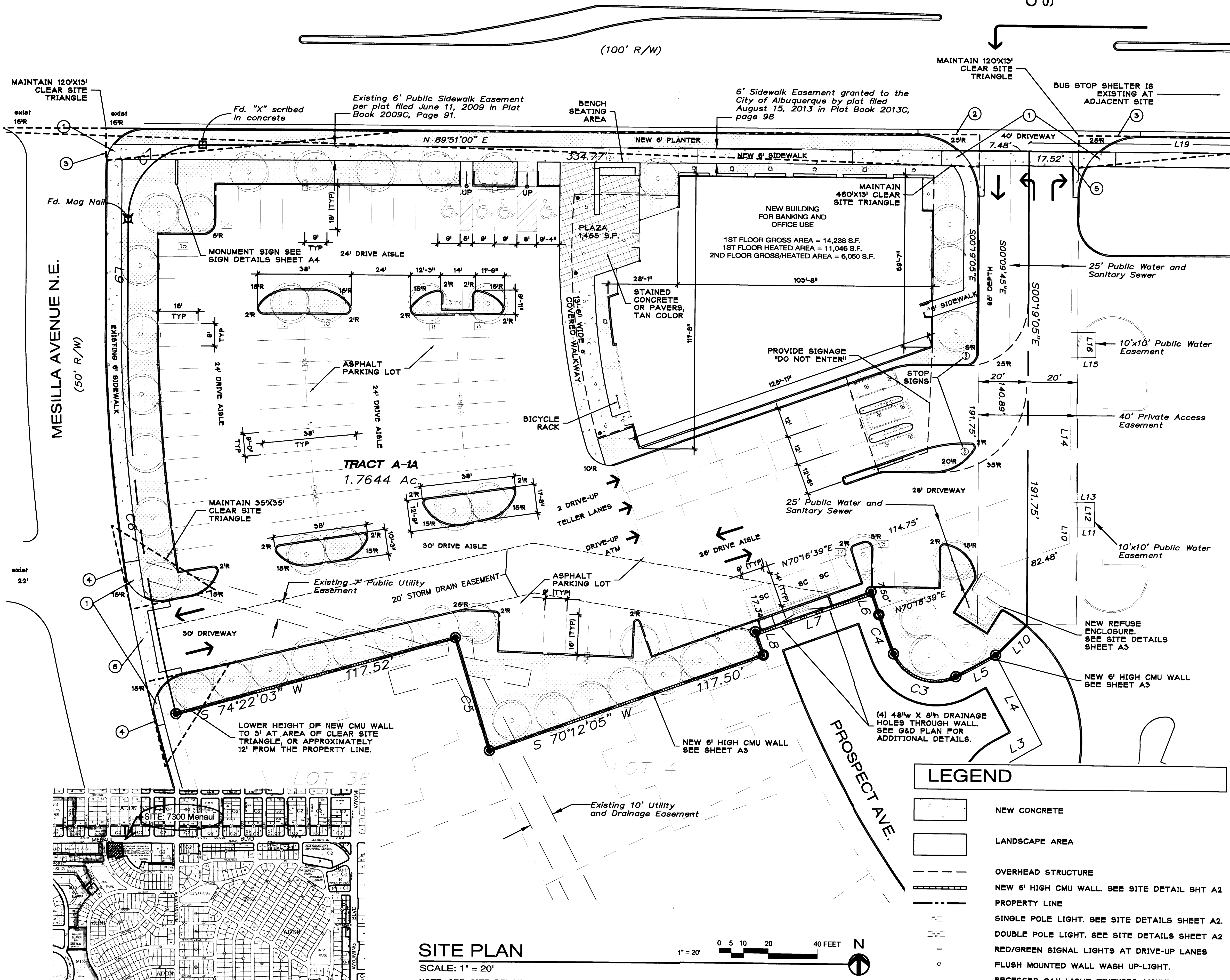
**DRB SITE DEVELOPMENT PLAN APPROVAL:**

TRAFFIC ENGINEERING TRANSPORTATION DIVISION	DATE:
WATER UTILITY DEPARTMENT	DATE:
PARKS & RECREATION DEPARTMENT	DATE:
CITY ENGINEER	DATE:
ENVIRONMENTAL HEALTH (CONDITIONAL)	DATE:
SOLID WASTE MANAGEMENT	DATE:
DRB CHAIRPERSON, PLANNING DEPT.	DATE:

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**DORMAN and BREEN**  
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RICHARD DORMAN F.A.I.A.  
ALBUQUERQUE, NM 505-299-5940

MAIN BANK  
Ameriplex Mortgage  
7300 Menaul Blvd. NE  
Albuquerque, New Mexico 87109

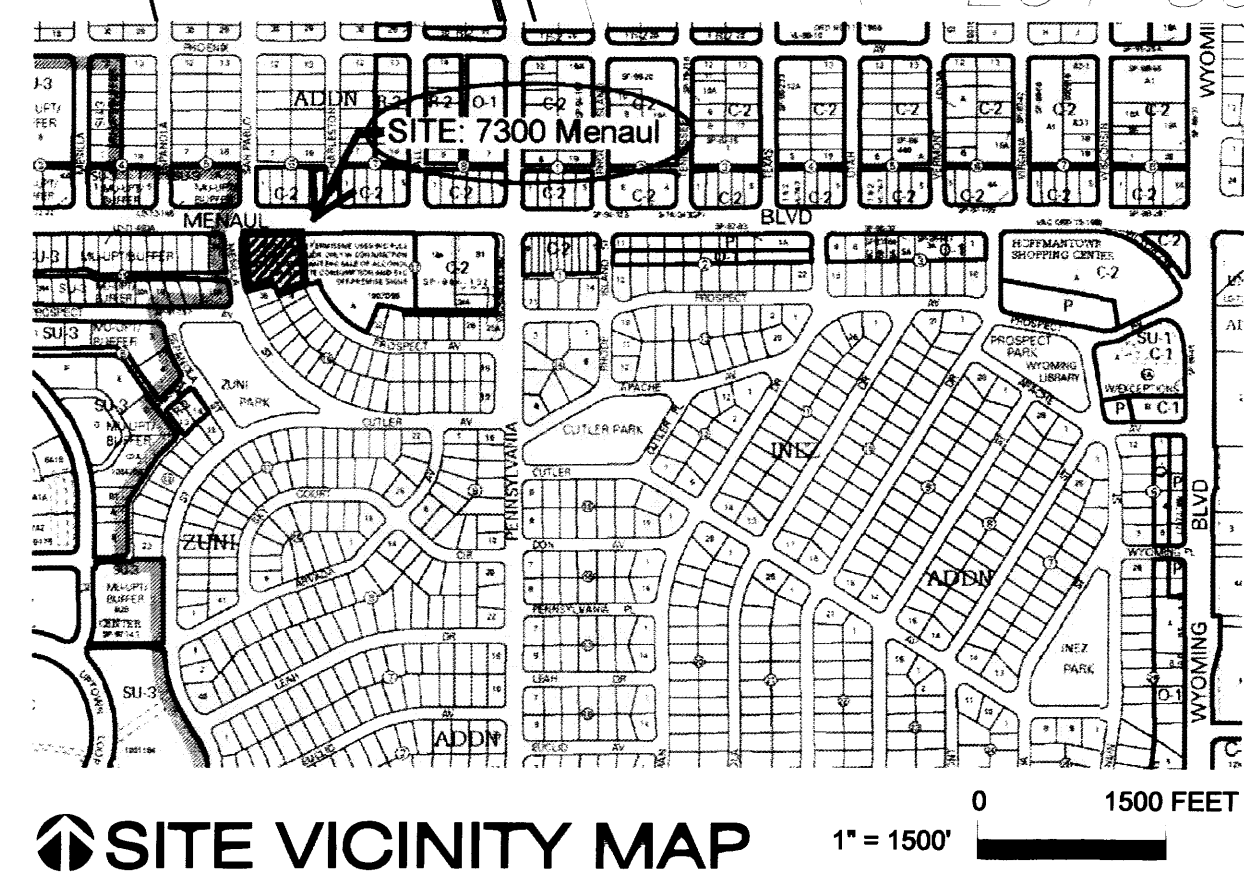
Site Development Plan for Building Permit

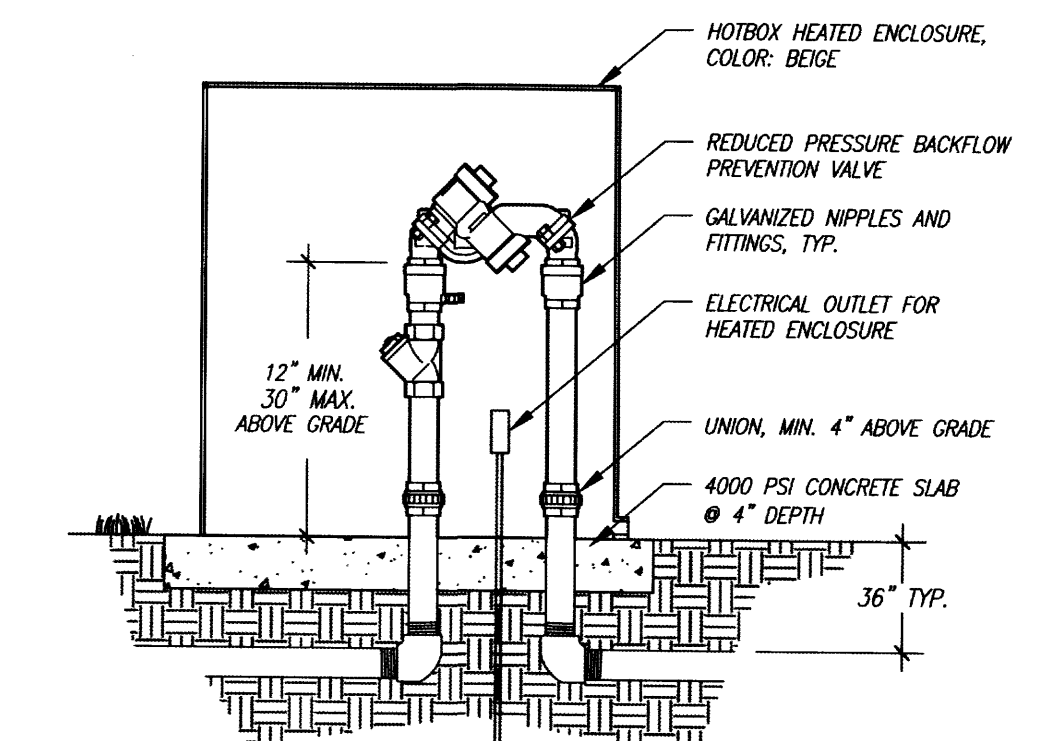
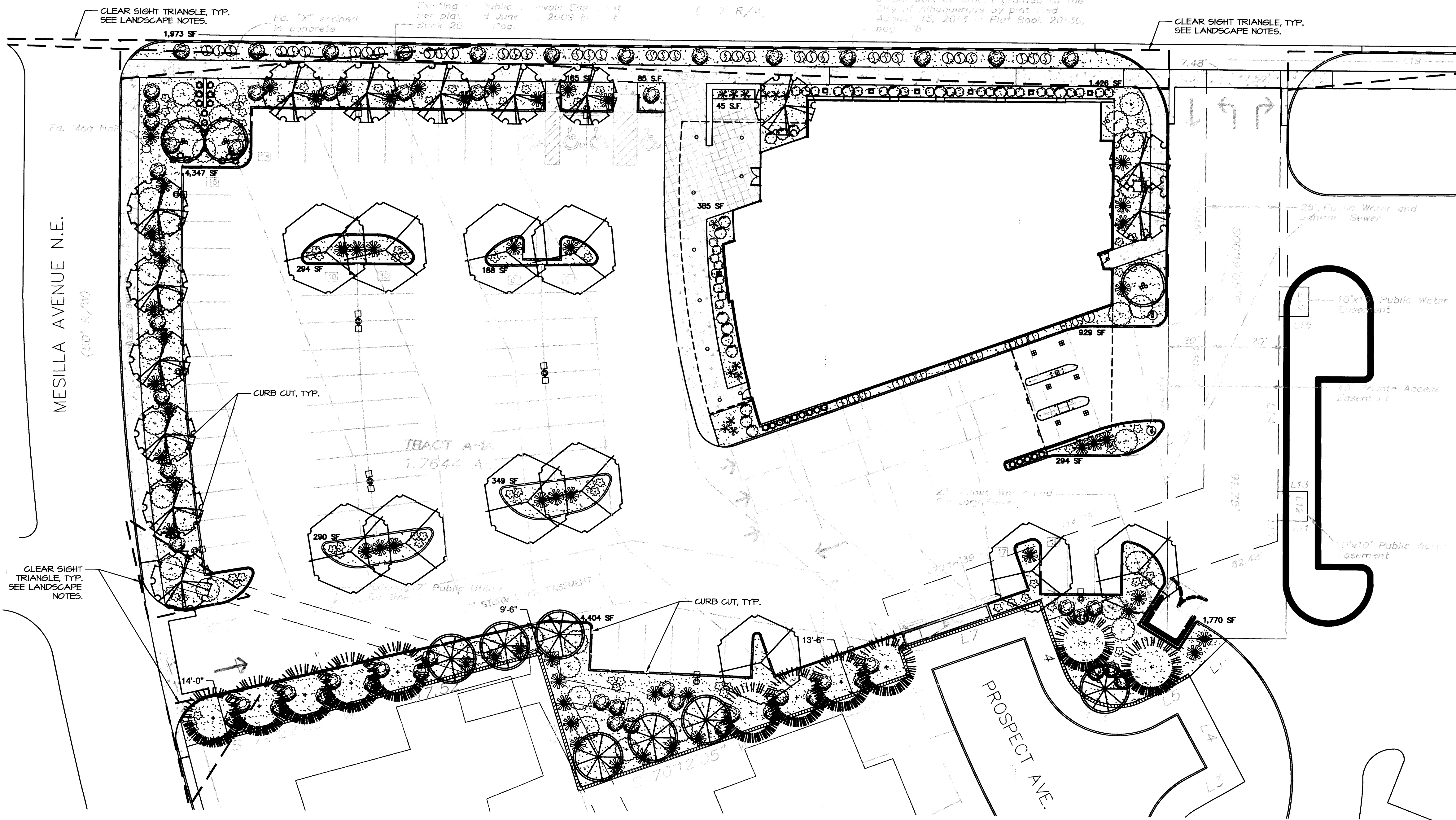


**LEGEND**

- NEW CONCRETE
- LANDSCAPE AREA
- OVERHEAD STRUCTURE
- NEW 6' HIGH CMU WALL. SEE SITE DETAIL SHT A2
- PROPERTY LINE
- SINGLE POLE LIGHT. SEE SITE DETAILS SHEET A2.
- DOUBLE POLE LIGHT. SEE SITE DETAILS SHEET A2
- RED/GREEN SIGNAL LIGHTS AT DRIVE-UP LANES
- FLUSH MOUNTED WALL WASH-UP-LIGHT.
- RECESSED CAN LIGHT FIXTURES, MOUNTED IN CEILING OF OVERHANGS.
- RECESSED CAN LIGHT FIXTURES, MOUNTED IN CEILING OF DRIVE-UP OVERHANG.
- SMALL CAR SPACE

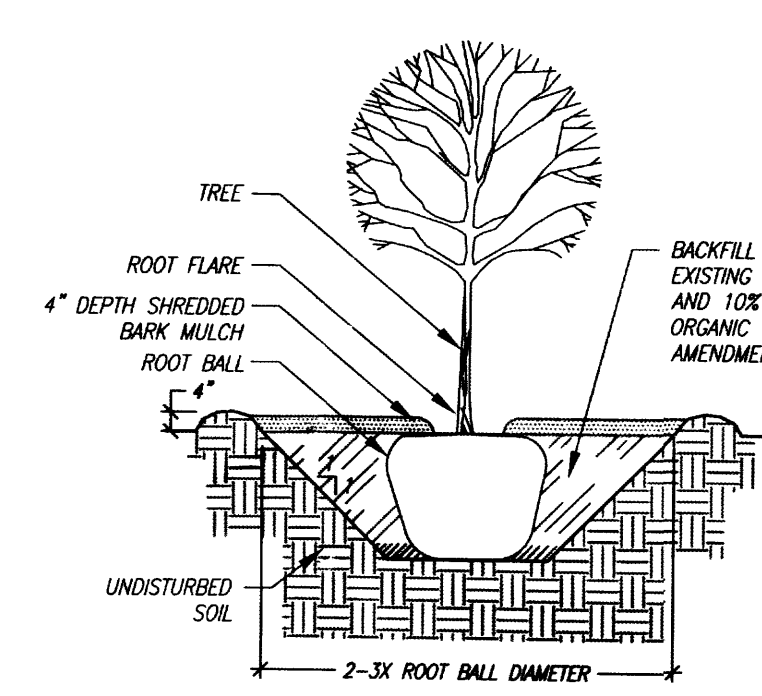
**SITE PLAN**  
SCALE: 1" = 20'  
NOTE: SEE SITE DETAIL SHEET A2 FOR ADDITIONAL INFORMATION





- GENERAL NOTES:**
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING, COORDINATING, AND INSTALLING ALL ELECTRICAL AND ELECTRICAL SUPPLIES NECESSARY FOR THE INSTALLATION AND OPERATION OF THE IRRIGATION SYSTEM SPECIFIED.
  - BFP ASSEMBLY MAY ALTERNATELY BE INSTALLED WITHIN FIRE SPRINKLER ROOM. HOTBOX NOT REQUIRED IF BFP IS LOCATED IN BUILDING INTERIOR.

**A REDUCED PRESSURE BACKFLOW PREVENTOR ASSEMBLY**  
NOT TO SCALE



- GENERAL NOTES:**
- KEEP SOIL BELOW ROOT BALL UNDISTURBED TO PREVENT TREE FROM SETTLING.
  - REMOVE ANY EXCESS SOIL FROM TOP OF ROOTBALL TO EXPOSE ROOT FLARE (WHERE TOP MOST ROOT EMERGES FROM THE TRUNK). PLANT WITH ROOT FLARE LEVEL TO FINISH GRADE (OR 1"-2" HIGHER IN SLOWLY DRAINING SOIL).
  - TAMP SOIL FIRMLY AROUND BASE OF ROOTBALL WITH FOOT PRESSURE.
  - DO NOT PLACE MULCH IN CONTACT WITH TREE, KEEP AT LEAST 4" AWAY FROM TRUNK.
  - AFTER PLANTING, THOROUGHLY WATER TO ELIMINATE AIR POCKETS.

**B TREE PLANTING**  
NOT TO SCALE

**PLANT SCHEDULE**

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	HT. X SPR.
TREES (IRRIGATION: (3) 30 GPH BUBBLERS PER TREE)					
	<i>Sapindus drummondii</i>	WESTERN SOAPBERRY	11	2" CAL.	30' X 30'
	<i>Cercis occidentalis</i>	WESTERN REDBUD	14	2" CAL.	20' X 20'
	<i>Quercus turbinella</i>	SHRUB LIVE OAK	7	2" CAL.	18' X 20'
	<i>Pinus eldarica</i>	AFGHAN PINE	11	10'-12' HT. B&B	40' X 20'
	<i>Chloopsis linearis</i>	BUBBA DESERT WILLOW 'Bubba'	3	6'-8' MULTI-TRUNK	20' X 15'
SHRUBS (IRRIGATION: (1) 15 GPH BUBBLER PER SHRUB)					
	<i>Juniperus sabina</i>	TAM JUNIPER	36	5 GAL.	18" X 8'
	<i>Rhus aromatica</i>	GRO-LO SUMAC	54	5 GAL.	4' X 6'
	<i>Salvia greggii</i>	CHERRY SAGE	74	1 GAL.	2' X 3'
	<i>Nolina texana</i>	BEARGRASS	58	5 GAL.	4' X 5'
	<i>Mahonia aquifolium</i>	DWARF OREGON GRAPE 'Compacta'	17	5 GAL.	2' X 3'
	<i>Potentilla fruticosa</i>	POTENTILLA	13	5 GAL.	5' X 7'
	<i>Miscanthus sinensis</i>	MAIDEN GRASS	24	5 GAL.	4' X 3'
	<i>Rosmarinus officinalis</i>	ROSEMARY	51	5 GAL.	3' X 4'
	<i>Calamagrostis acutiflora</i>	FEATHER REED GRASS 'Karl Foerster'	24	5 GAL.	3' X 2'

**MATERIALS LEGEND**

DESCRIPTION
2" ANGULAR GRAVEL AT 4" DEPTH, WITH DEWITT PRO-5 FILTER FABRIC.

**AREA CALCULATIONS**

TOTAL SITE AREA =	16,084 SF (1.75 AC)
GROSS COVERED AREA =	14,238 SF (0.33 AC)
NET SITE AREA =	61,846 SF (1.42 AC)
LANDSCAPE AREA REQ. (15%) =	9,277 SF (0.21 AC)
LANDSCAPE AREA PROVIDED =	16,944 SF (0.39 AC)
LANDSCAPE AREA AS PERCENT OF NET SITE AREA =	27%
REQUIRED VEGETATIVE COVER AT MATURITY (15%) =	12,708 SF (0.29 AC)
PROVIDED VEGETATIVE COVER AT MATURITY =	12,722 SF (0.29 AC)
PROVIDED COVER AS PERCENT OF LANDSCAPE AREA =	75%

**LANDSCAPE NOTES**

ALL PLANTING BEDS SHALL BE MULCHED WITH A 4" LAYER OF 2" ANGULAR GRAVEL. ALL GRAVEL SHALL BE UNDERLINED WITH DE WITT PRO 5 2B MIL. FILTER FABRIC OR APPROVED EQUAL. ALL LANDSCAPE AREAS, EXCEPT THOSE WITHIN 10' OF THE BUILDING, SHALL BE DEPRESSED FOR WATER HARVESTING.

TREE LOCATIONS AS SHOWN ARE BASED ON SIGNAGE LOCATIONS AND OTHER CONSTRAINTS. TREE LOCATIONS SHALL COMPLY WITH ALL JURISDICTIONAL ORDINANCES WHICH APPLY.

RESPONSIBILITY FOR LANDSCAPE MAINTENANCE ON THE SITE SHALL LIE WITH THE OWNER.

AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM SHALL BE DESIGNED AND CONSTRUCTED FOR ALL EXISTING AND INSTALLED PLANT MATERIALS. TREES WILL BE IRRIGATED WITH A LOW FLOW BUBBLER SYSTEM, AND SHRUBS AND GROUND COVERS WILL BE IRRIGATED WITH A DRIP EMITTER SYSTEM.

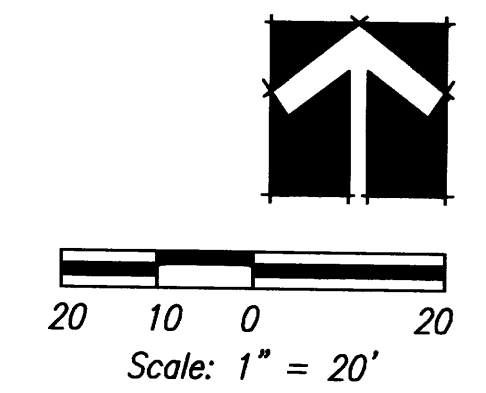
AT MATURITY, PLANTS WILL PROVIDE MINIMUM COVERAGE OF 75% OF THE LANDSCAPE AREA.

LANDSCAPING AND SIGNAGE SHALL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. SIGNAGE, WALLS AND PLANT MATERIAL BETWEEN 3 FEET AND 8 FEET TALL IN CLEAR SIGHT AREAS IS NOT ACCEPTABLE.

LANDSCAPE PLAN WILL MEET THE REQUIREMENTS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE C ORD 18-1945.

ALL PLANTINGS TO BE ESTABLISHED FOR GENERAL LANDSCAPE PURPOSES, UNLESS OTHERWISE NOTED ON THE PLANS.

CONTRACTOR SHALL FIELD VERIFY LOCATION OF POINT OF CONNECTION FOR IRRIGATION SERVICE LINE. AT POINT OF CONNECTION FOR IRRIGATION SYSTEM, CONTRACTOR SHALL PROVIDE A FEBCO MODEL 825Y RPBA BACKFLOW PREVENTER (OR APPROVED EQUAL) PER DETAIL A, THIS SHEET. INSTALL 12" ABOVE HIGHEST HEAD ON IRRIGATION SYSTEM.



Site Development Plan for Building Permit

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**DORMAN and BREEN**

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LAURENCE BREEN A.I.A.  
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---

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Ameriplex Mortgage  
7300 Menaul Blvd. NE  
Albuquerque, New Mexico 87109

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SHEET TITLE:  
**LANDSCAPE PLAN**

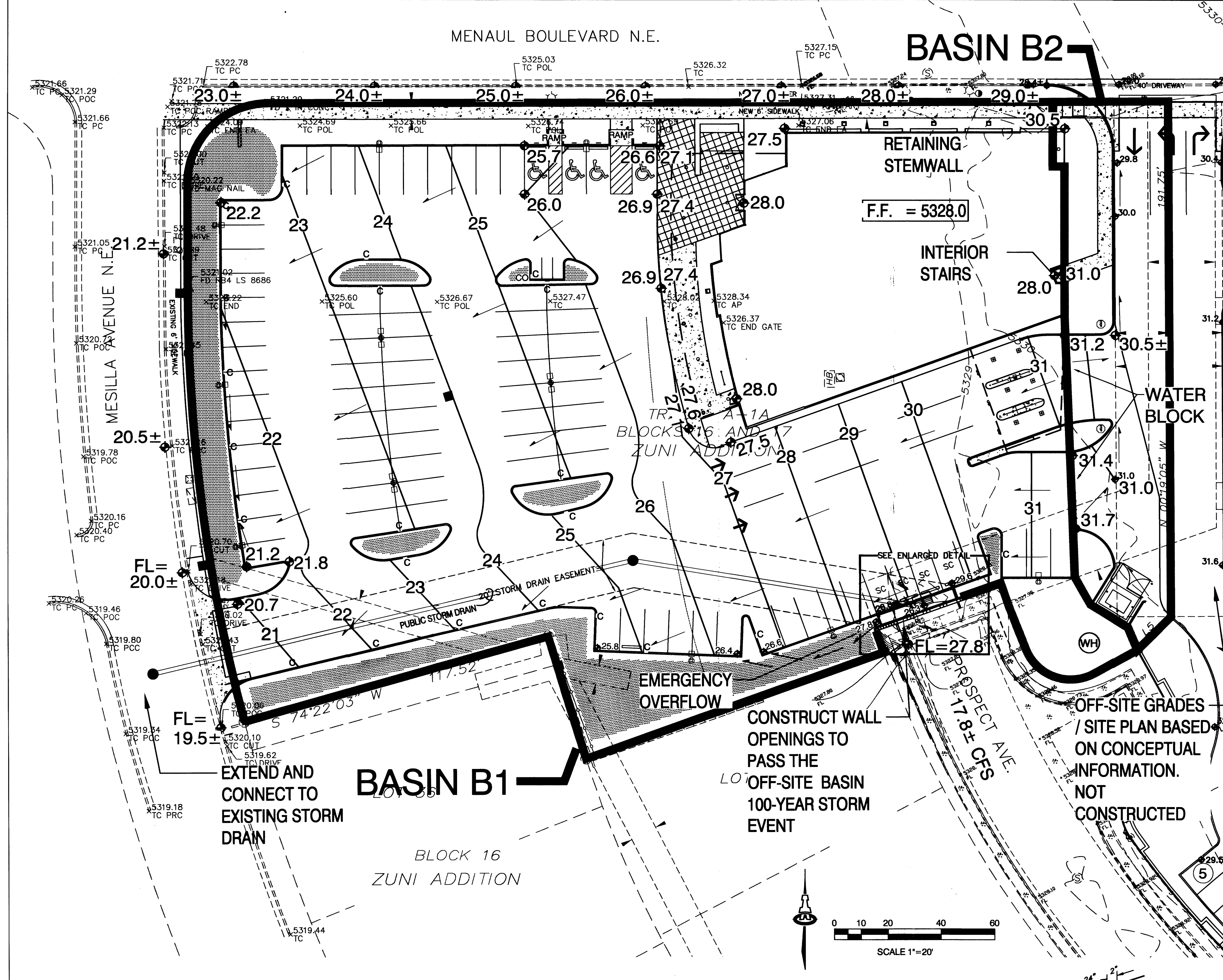
JOB NUMBER:  
1329

DATE:  
11/14/14

REVISIONS: \_\_\_\_\_ DATE: \_\_\_\_\_

SHEET:  
**L-1**  
1 OF 1





### DRAINAGE CONCEPT

OFF-SITE FLOW FROM PROSPECT AVE. N.E. WILL BE ACCEPTED INTO THIS PROPERTY AT THE RECENTLY CONSTRUCTED SIDEWALK CULVERT / WALK DIP SECTION. WALL OPENINGS WILL BE CALCULATED AS PART OF THE BUILDING PERMIT SET. OFF-SITE FLOW RATE IS BASED ON THE 100-YEAR 6-HOUR STORM EVENT (APPROX. 17.8 CFS). OFF-SITE FLOW WILL BE ROUTED THROUGH THE PROPERTY TO A NEW DOUBLE 'C' INLET WITH 18" OUTLET PIPE EXTENDED TO THE PUBLIC STORM DRAIN MAIN IN MESILLA AVE.

THIS SITE IS WILL FREE DISCHARGE WITH THE MAJORITY EXITING THE SITE TO MESILLA AVE. (SEE BASIN B1).

THE PROPOSED PUBLIC STORM DRAIN SYSTEM PASSING THROUGH THE PROPERTY WILL BE ANALYZED AND SIZED AS PART OF THE BUILDING PERMIT PLANS SUBMITTAL.

STORMWATER CONTROL MEASURES ARE REQUIRED TO PROVIDE MANAGEMENT OF 'FIRST FLUSH' (DEFINED AS THE 90TH PERCENTILE STORM EVENT OR 0.34" [0.44" LESS 0.1" FOR INITIAL ABSTRACTION] OF STORMWATER WHICH DISCHARGES DIRECTLY TO A PUBLIC STORM DRAINAGE SYSTEM).

THE ESTIMATED PONDING VOLUME REQUIRED IS 0.34" \* TYPE 'D' AREA: 0.34/12 \* 1.2 AC \* 43560 = 1,481 CF

THERE ARE 'FIRST FLUSH' RETENTION BASIN AREAS THROUGHOUT THE SITE (HATCHED AREAS). STORM WATER FROM THE IMPERVIOUS AREAS SHALL BE DIRECTED TO THESE BASINS VIA CURB OPENINGS (LABELED 'C').

THE 'FIRST FLUSH' BASIN VOLUMES SHALL BE ANALYZED AND SIZED AS PART OF THE BUILDING PERMIT PLANS SUBMITTAL. CURB OPENING LOCATIONS ARE SHOWN CONCEPTUALLY AND SHALL BE LOCATED AND SIZED WITH FINAL DESIGN.

### DRAINAGE NOTES

THERE IS AN EXISTING BLANKET PUBLIC DRAINAGE EASEMENT OVER TRACT A-1, EXCLUDING ANY FUTURE BUILDINGS GRANTED TO THE CITY OF ALBUQUERQUE BY PLAT FILED AUGUST 15, 2013 IN PLAT BOOK 2013C, PAGE 98.

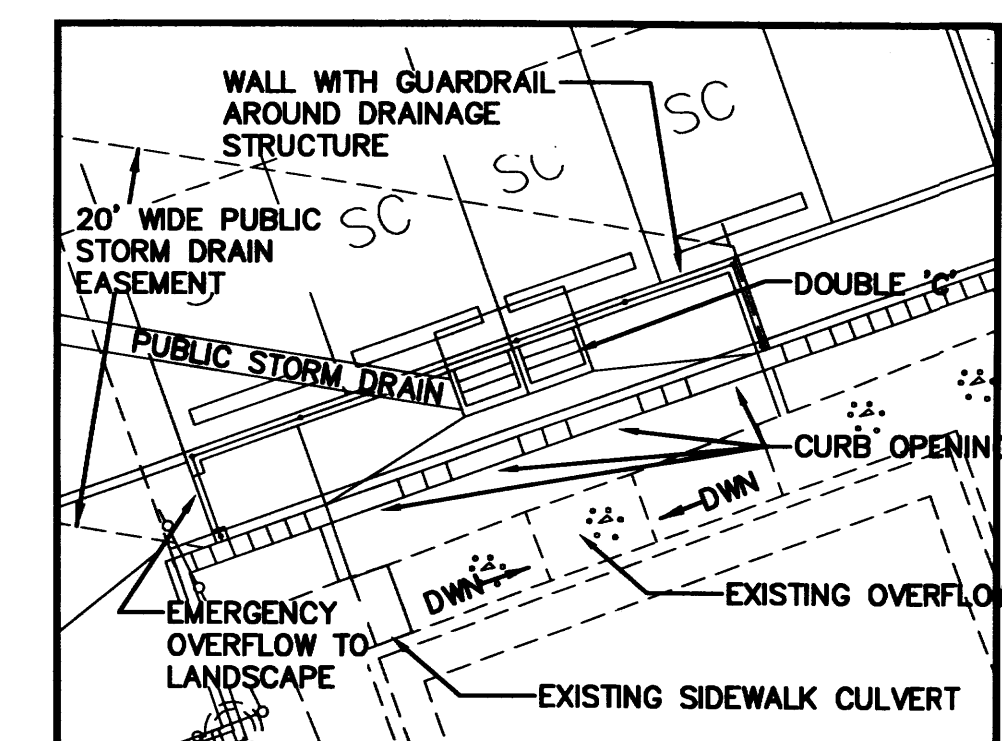
A PRIVATE BLANKET DRAINAGE EASEMENT OVER TRACTS A-1A AND A-1B, EXCLUDING ANY FUTURE BUILDINGS IS HEREBY GRANTED BY THIS PLAT FOR THE BENEFIT OF SAID TRACTS. MAINTENANCE OF SAID EASEMENT TO BE THE RESPONSIBILITY OF THE OWNERS OF SAID TRACTS AS TO THEIR RESPECTIVE TRACT.

### PUBLIC STORM DRAIN

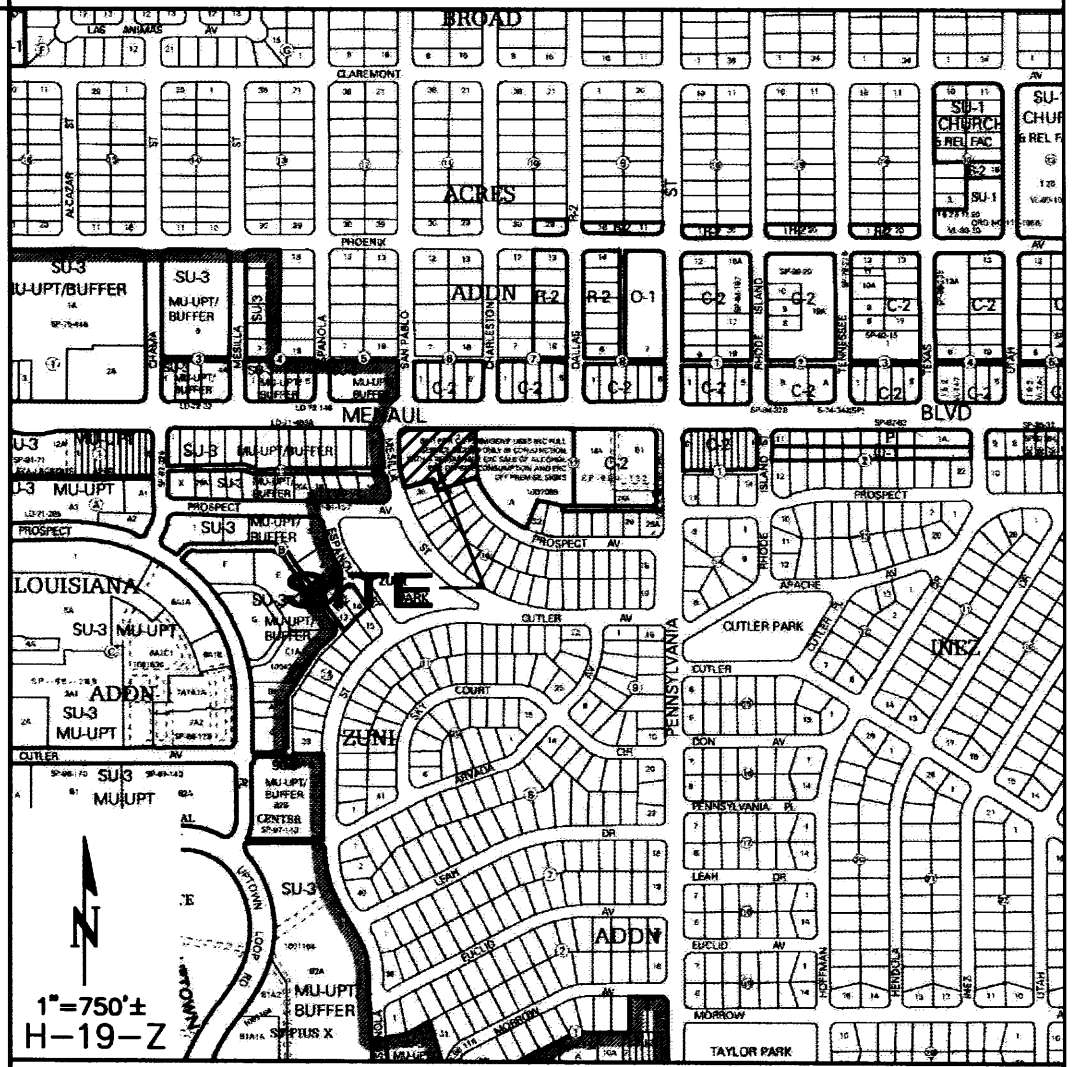
THE STORMWATER WITHIN PROSPECT AVE. WILL PASS THROUGH THE PROPOSED WALL VIA FOUR 4'X8" WIDE OPENINGS. THE FLOW WILL BE ACCEPTED INTO A PROPOSED DOUBLE 'C' INLET SITUATED WITHIN A SUMP AS SHOWN.

A PUBLIC STORM DRAIN WITHIN A DEDICATED EASEMENT (ESTIMATED AT 18"±-24"±) WILL BE DESIGNED AS PART OF THE CONSTRUCTION DOCUMENTS. BASED ON PRELIMINARY CALCULATIONS, A DOUBLE 'C' WITH 50% CLOGGING FACTOR HAS A CAPACITY GREATER THAN THE 17.8 CFS.

AN EMERGENCY OVERFLOW WILL BE PROVIDED THROUGH THE LANDSCAPING AS SHOWN.



### VICINITY MAP



### PROJECT DATA

**LEGAL DESCRIPTION:** TRACT A-1, BLOCK 16 AND 17, ZUNI ADDITION

**SITE AREA:** 1.76 AC.

**FLOOD ZONE:** PER BERNALILLO COUNTY FIRM MAP #35001C0356H, THE SITE IS LOCATED WITHIN FLOODZONE 'X' (UNSHADED) DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN.

**ENGINEER:** FRED C. ARFMAN  
ISAACSON & ARFMAN, P.A.  
128 MONROE ST NE, ABO. NM 87108  
PHONE: (505) 268-8828

**SURVEYOR:** RUSS HUGG  
SURV-TEK, INC.  
9384 VALLEY VIEW DR NW, ABO. NM 87114  
PHONE: (505) 897-3366

**BENCHMARK:** BENCHMARK: PER THE ADJACENT PROPERTY TOPOGRAPHIC SURVEY PROVIDED, VERTICAL DATUM SHOWN HEREON IS BASED UPON CITY OF ALBUQUERQUE SURVEY CONTROL MONUMENT "11-H19" HAVING A PUBLISHED ELEVATION OF 5364.26 FEET (NAVD 88), TO BE UPDATED UPON RECEIPT OF FINAL SURVEY.

### LEGEND

- C PROPOSED CURB OPENING
- 27.1 PROPOSED SPOT ELEVATION
- 27 PROPOSED CONTOUR
- PROPOSED PUBLIC STORM DRAIN
- FLOW ARROW
- FIRST FLUSH RETENTION (DEPRESSED LANDSCAPING)

**CONCEPTUAL**

**ISAACSON & ARFMAN, P.A.**  
Consulting Engineering Associates  
128 Monroe Street N.E.  
Albuquerque, New Mexico 87108  
Ph. 505-268-8828 www.iactll.com

2072 CG-101 CONCEPTUAL.dwg Nov 13, 2014

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**MAIN BANK**  
**MENAU BLVD.**  
Dorman Breen Architects

### GRADING & DRAINAGE PLAN

Date:	11-13-14	No.:	Revision:	Date:	Job No.:
Drawn By:	BJB				2072
Chk By:	FCA				CG-101
					SH. OF

BASIN NO.	B1	DESCRIPTION	1.6 Ac.
Area of basin in flows =	69402 SF		
The following calculations are based on Treatment areas as shown in table to the right			
Sub-basin in Weighted Excess Precipitation (see formula above)		LAND TREATMENT	
Weighted E =	1.76 in.	A =	5%
Sub-basin in Volume of Runoff (see formula above)		B =	10%
V <sub>500</sub> =	10197 CF	C =	15%
Sub-basin in Peak Discharge Rate: (see formula above)		D =	70%
Q <sub>p</sub> =	6.5 cfs		

BASIN B1 CONSISTS OF THE MAJORITY OF THE SITE (BUILDING AND PAVEMENT). THE BASIN WILL FREE DISCHARGE TO MESILLA AVE. AT THE PROPOSED SW ENTRY DRIVE. TO CONTINUE ALONG THE HISTORIC FLOWPATH.

BASIN NO.	B2	DESCRIPTION	0.2 Ac.
Area of basin in flows =	7249 SF		
The following calculations are based on Treatment areas as shown in table to the right			
Sub-basin in Weighted Excess Precipitation (see formula above)		LAND TREATMENT	
Weighted E =	1.40 in.	A =	10%
Sub-basin in Volume of Runoff (see formula above)		B =	20%
V <sub>500</sub> =	843 CF	C =	30%
Sub-basin in Peak Discharge Rate: (see formula above)		D =	40%
Q <sub>p</sub> =	0.6 cfs		

BASIN B2 CONSISTS OF THE EASTERN PORTION OF THE SITE AND 1/2 OF THE EAST SHARED ACCESS ROAD. THIS BASIN WILL FREE DISCHARGE TO MENAU BLVD. TO CONTINUE ALONG THE HISTORIC FLOWPATH.

**GENERAL NOTES**

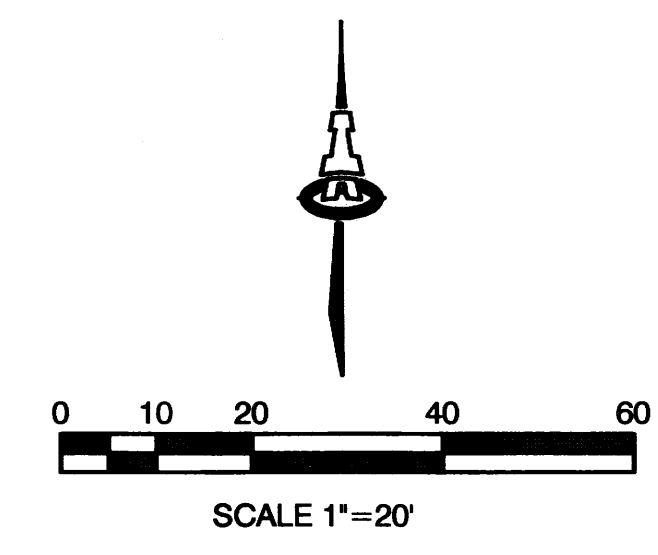
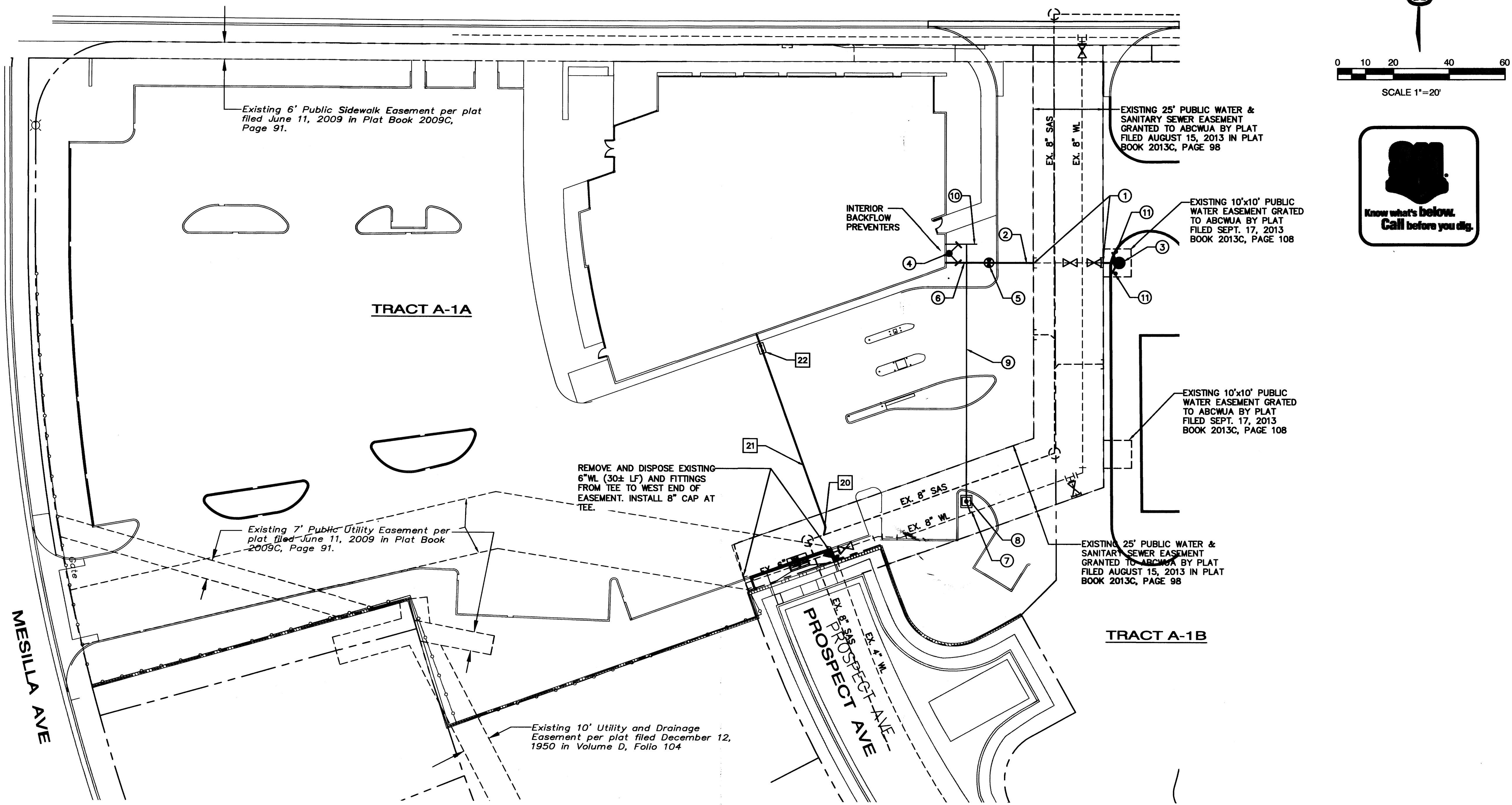
1. EDGES NOT SPECIFICALLY DIMENSIONED SHALL BE SHAPED WITH A 3/8" EDGING TOOL.

**CURB OPENING**

C = LOCATION SCALE: N.T.S.



MENAU BLVD



GENERAL NOTES

- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- WATER AND/OR SANITARY SEWER IMPROVEMENTS WITHIN A PUBLIC EASEMENT OR RIGHT-OF-WAY SHALL BE BUILT BY SEPARATE, PUBLIC WORK ORDER, PLANS.
- CONTRACTOR SHALL NOT USE VIBRATORY COMPACTION EQUIPMENT OR HEAVY VEHICLES OVER EXISTING UTILITIES.
- SITE STORM DRAIN, ELECTRIC AND GAS LINES ARE SHOWN FOR GENERAL INFORMATION ONLY TO PROVIDE AN OVERVIEW OF SITE UTILITIES AND POTENTIAL CONFLICTS. SEE MECHANICAL PLANS FOR GAS LINE SIZING. SEE CG-101 FOR STORM DRAIN DESIGN.
- ALL WATER FITTING SHALL HAVE JOINT RESTRAINTS. (LT=X')

KEYED NOTES

- WATER KEYED NOTES**
- REMOVE CAP. CONNECT NEW 6" FIRE LINE.
  - 6" FIRE LINE.
  - FIRE HYDRANT PER ABCWUA STD DWG 2340. (LT=46')
  - WALL MOUNTED FIRE DEPT. CONNECTION (FDC).
  - POST INDICATOR VALVE (PIV). (LT=46')
  - 3/4" CONDUIT W/ PULL CORD FOR PIV SENSOR WIRE FROM BUILDING TO PIV PLACED IN SAME TRENCH ABOVE 4" WATERLINE.
  - 1" SERVICE PER ABCWUA STD. DWG. 2261 & 2362.
  - METER BOX PER ABCWUA STD. DWG. 2366.
  - 1" WATER SERVICE LINE.
  - IRRIGATION STUB.
  - BOLLARD PER DETAIL THIS SHEET.
- SEWER**
- NEW 4" SAS SERVICE CONNECTION PER ABCWUA STD DWG 2125.
  - NEW 4" SAS SERVICE LINE AT 2% MIN. SLOPE
  - DOUBLE CLEANOUT PER DETAIL THIS SHEET.

LEGEND

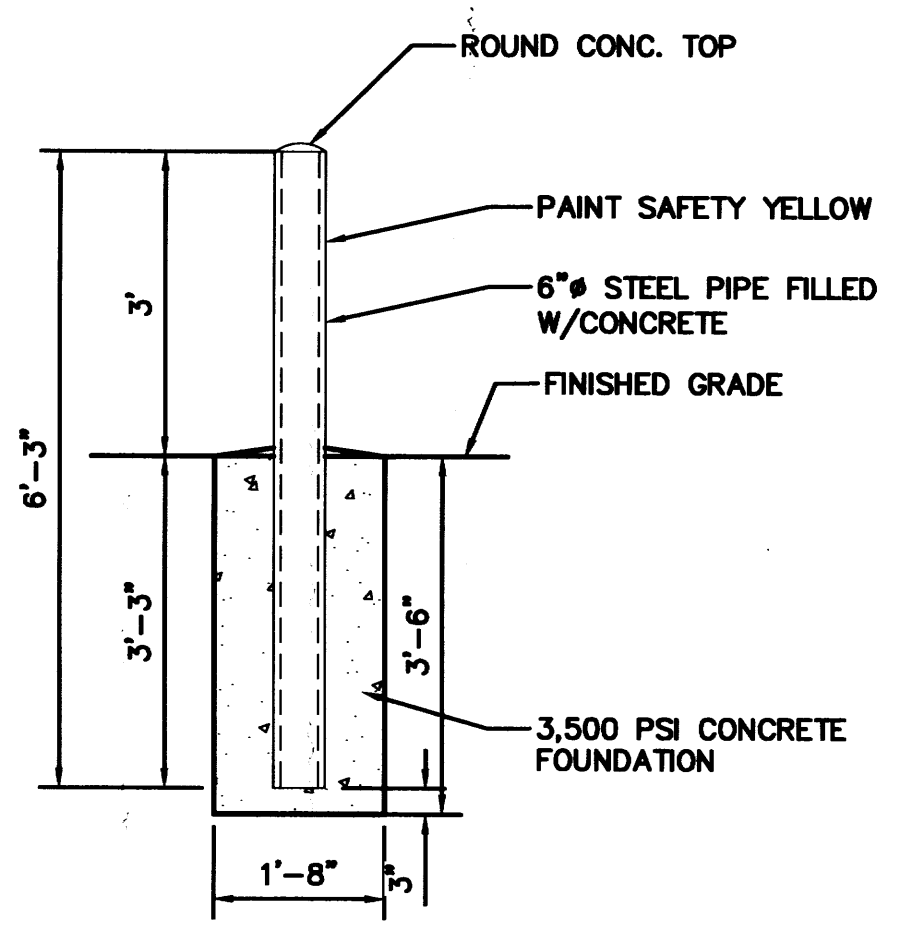
- WATER METER & BOX
- GATE VALVE W/ BOX
- POST INDICATOR VALVE
- FIRE DEPARTMENT CONNECTION
- SAS SINGLE CLEANOUT
- SAS DOUBLE CLEANOUT
- NEW GAS METER
- WL— EXISTING WATERLINE
- SAS— EXISTING SEWER LINE

NOTES:

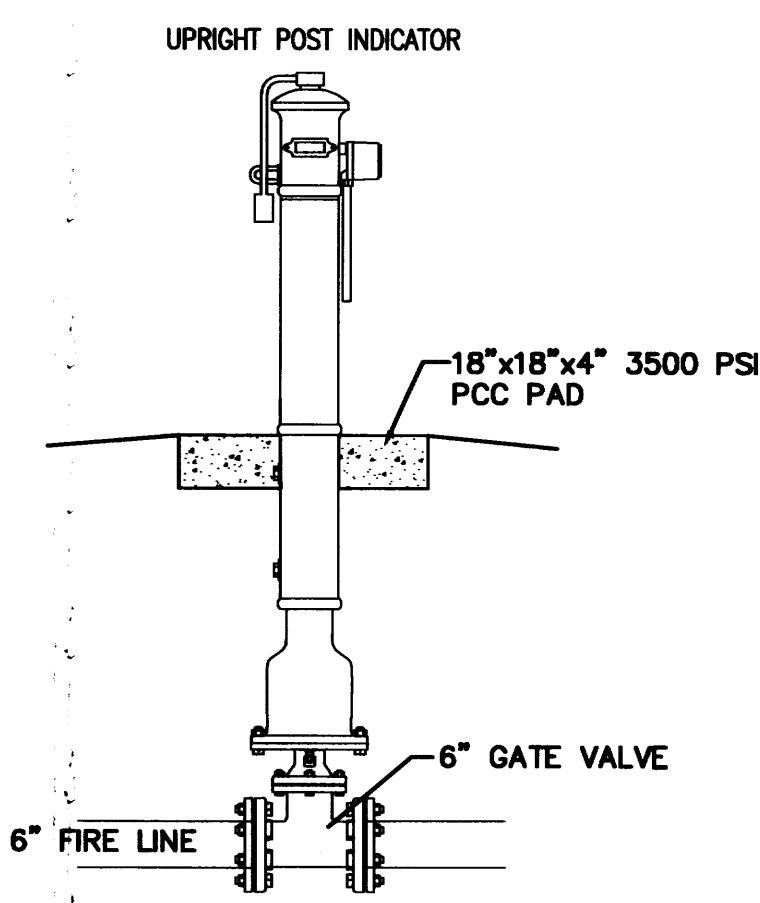
- ALL MECHANICAL JOINTS SHALL BE RESTRAINED AT THE FITTING.
  - THE CONTRACTOR SHALL PROVIDE A MINIMUM PIPE LENGTH OF 20 LF FROM ALL MECHANICAL JOINTS. ALL PIPE JOINTS WITHIN 20 LF OF A MECHANICAL JOINT SHALL BE RESTRAINED AT THE CONTRACTOR'S EXPENSE.
  - THE CONTRACTOR SHALL RESTRAIN ALL PIPE JOINTS IN THE SPECIFIED DISTANCE LISTED IN THE TABLE ON THIS SHEET.
  - THE CONTRACTOR SHALL RESTRAIN ALL MECHANICAL HYDRANT JOINTS FROM THE TEE ON THE MAIN TO THE FIRE HYDRANT FLANGE.
  - PER NOTE #2, RESTRAIN ALL 1/2" MINIMUM DIAMETER FIRE SERVICE WIRE BACKFILL THE TEE BUT NOT ON THE RUNS OR BRANCHES.
- DEPTH OF BURY: 3.0 FT. MINIMUM  
 FACTOR OF SAFETY: 1.50  
 MATERIAL: PVC  
 SOIL TYPE: GM/SM - SILTY GRAVELS AND SILTY  
 TEST PRESSURE: 150 PSI  
 TRENCH TYPE 4: PIPE BEDDED IN SAND, GRAVEL, OR

DIFFERENT CRITERIA, E.G., GREATER DEPTH OF BURY, ETC., WILL REQUIRE DIFFERENT RESTRAINED LENGTHS. THESE MUST BE CALCULATED BY A QUALIFIED PROFESSIONAL ENGINEER AND APPROVED BY ABCWUA.

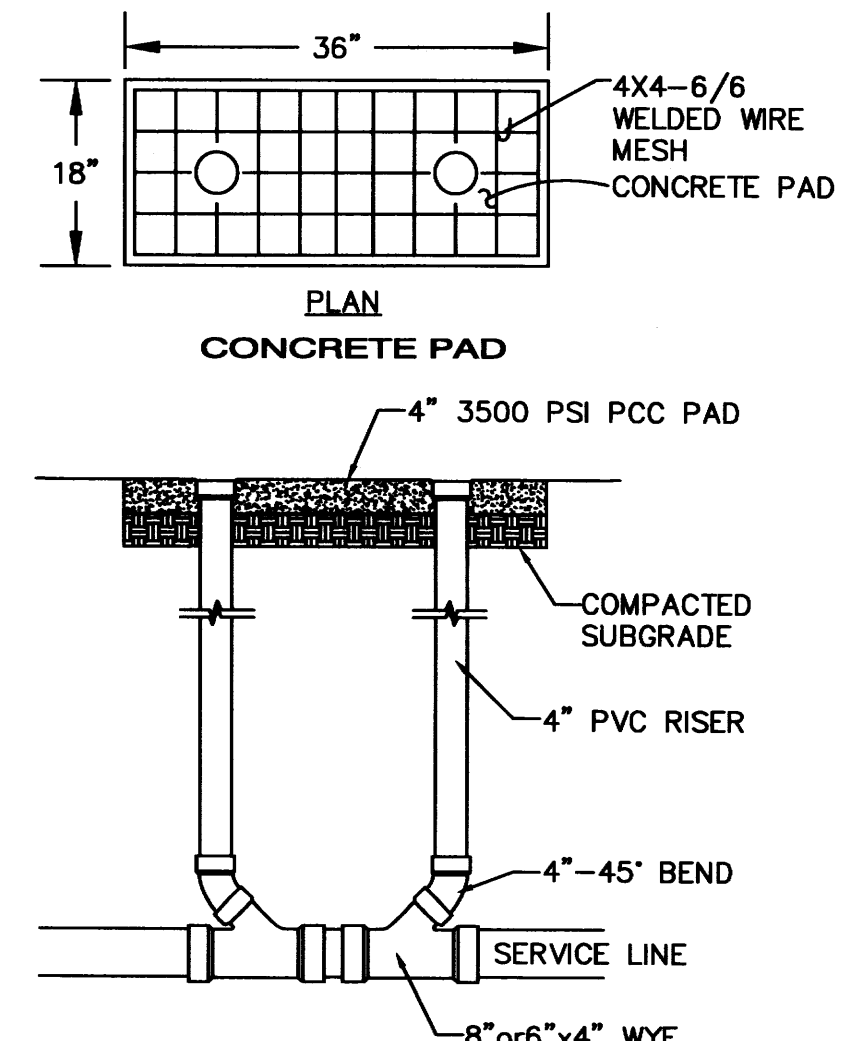
**RESTRAINED JOINT CRITERIA FOR WATERLINE FITTINGS**



BOLLARD DETAIL NTS



POST INDICATOR VALVE NTS



DOUBLE CLEANOUT DETAIL NTS

**ISAACSON & ARFMAN, P.A.**  
 Consulting Engineering Associates  
 128 Monroe Street N.E.  
 Albuquerque, New Mexico 87108  
 Ph. 505-268-8828 www.isacsv.com  
 2072 CU-101.dwg Oct 28, 2014

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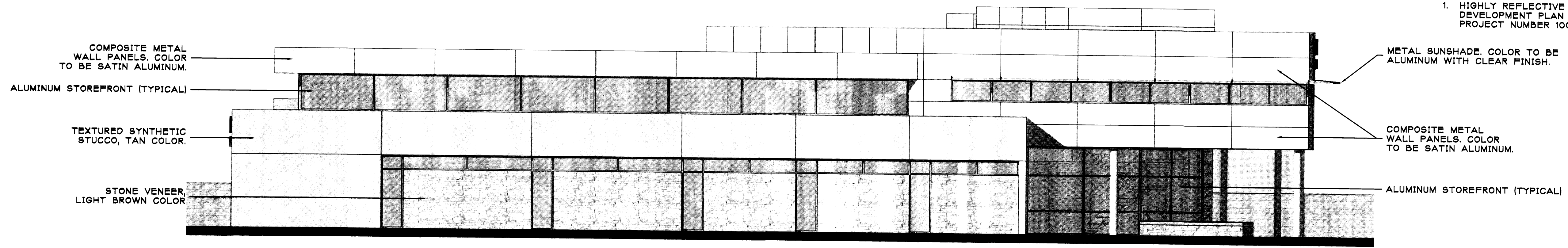
**MAIN BANK  
 MENAU BLVD.**  
 Dorman Breen Architects

UTILITY PLAN

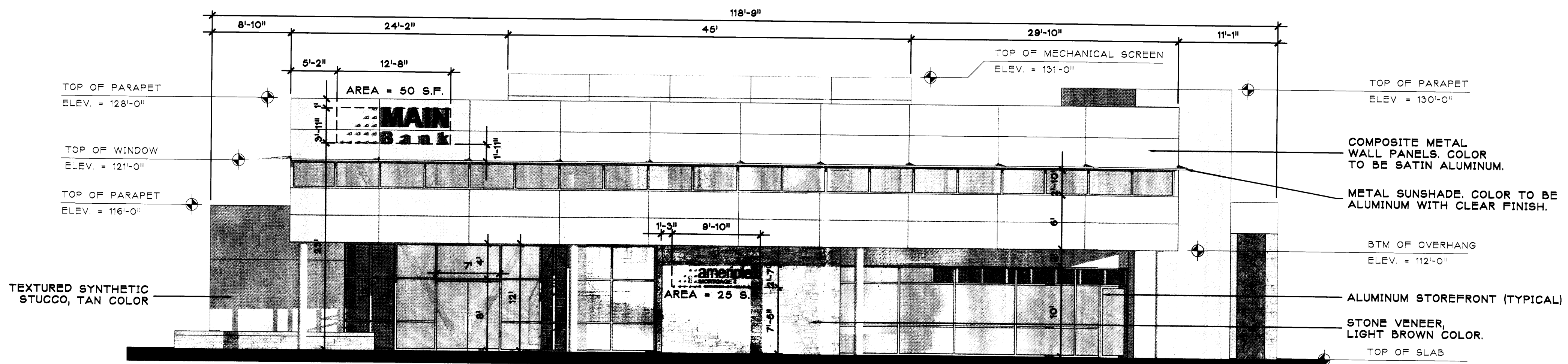
Date: 11-14-14	No. Revision:	Date:	Job No. 2072
Drawn By: DC			CU-101
Chk By: FCA			SH. OF

**GENERAL NOTES**

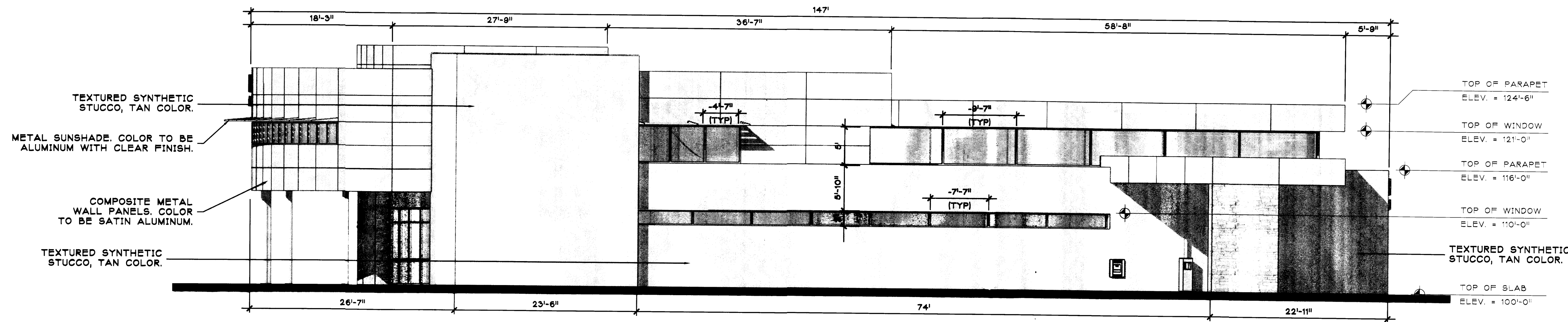
1. HIGHLY REFLECTIVE SURFACES ARE PROHIBITED PER THE SITE DEVELOPMENT PLAN FOR SUBDIVISION, DESIGN STANDARDS, PROJECT NUMBER 1007089.



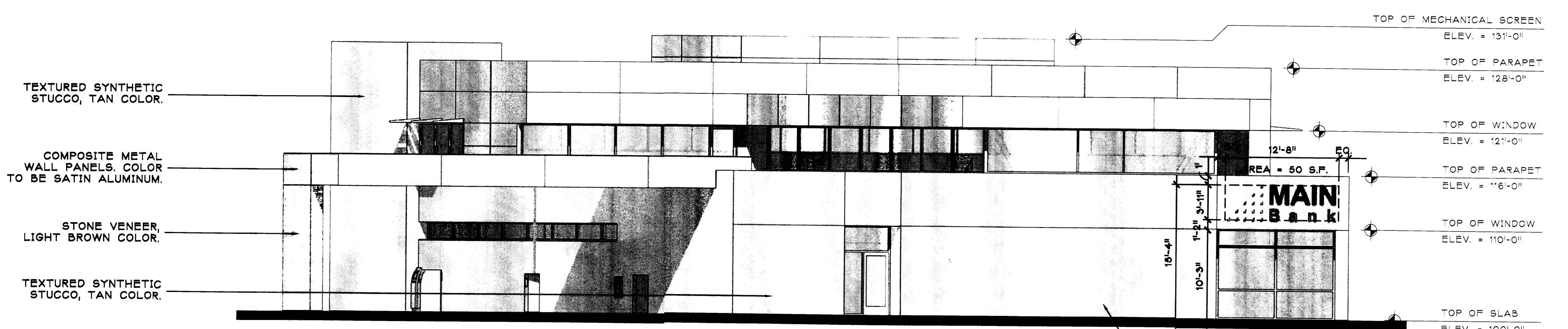
**NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**WEST ELEVATION**  
SCALE: 1/8" = 1'-0"

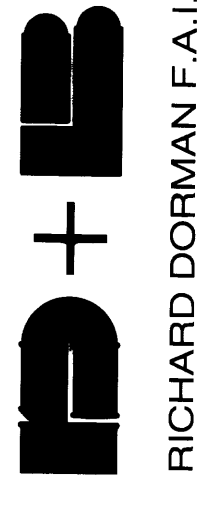


**SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**EAST ELEVATION**  
SCALE: 1/8" = 1'-0"

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**DORMAN and BREEN**  
LAURENCE BREEN A.I.A.  
Albuquerque Westside 505-792-8160

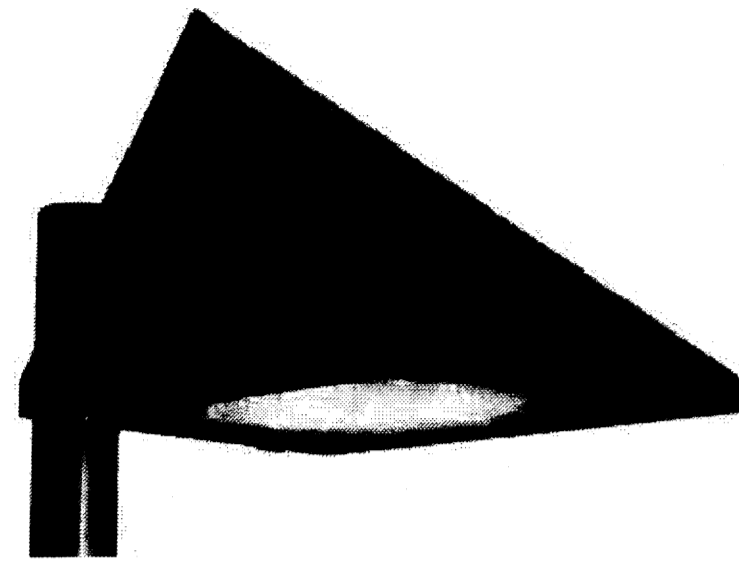


RICHARD DORMAN F.A.I.A.  
ALBUQUERQUE, NM 505-298-5940

Site Development Plan for Building Permit

**MAIN BANK**  
Ameriplex Mortgage  
7300 Menaul Blvd. NE  
Albuquerque, New Mexico 87109

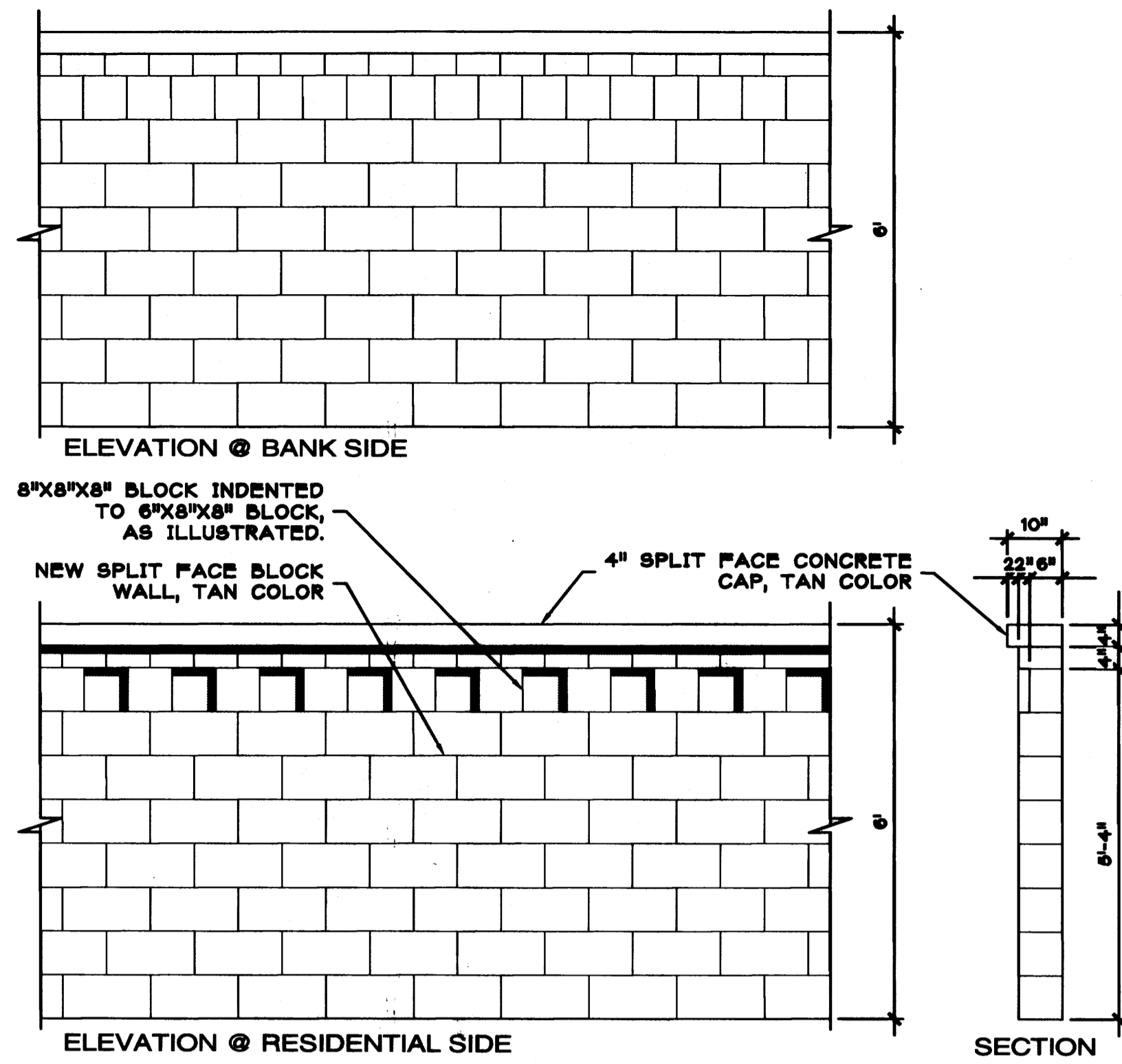
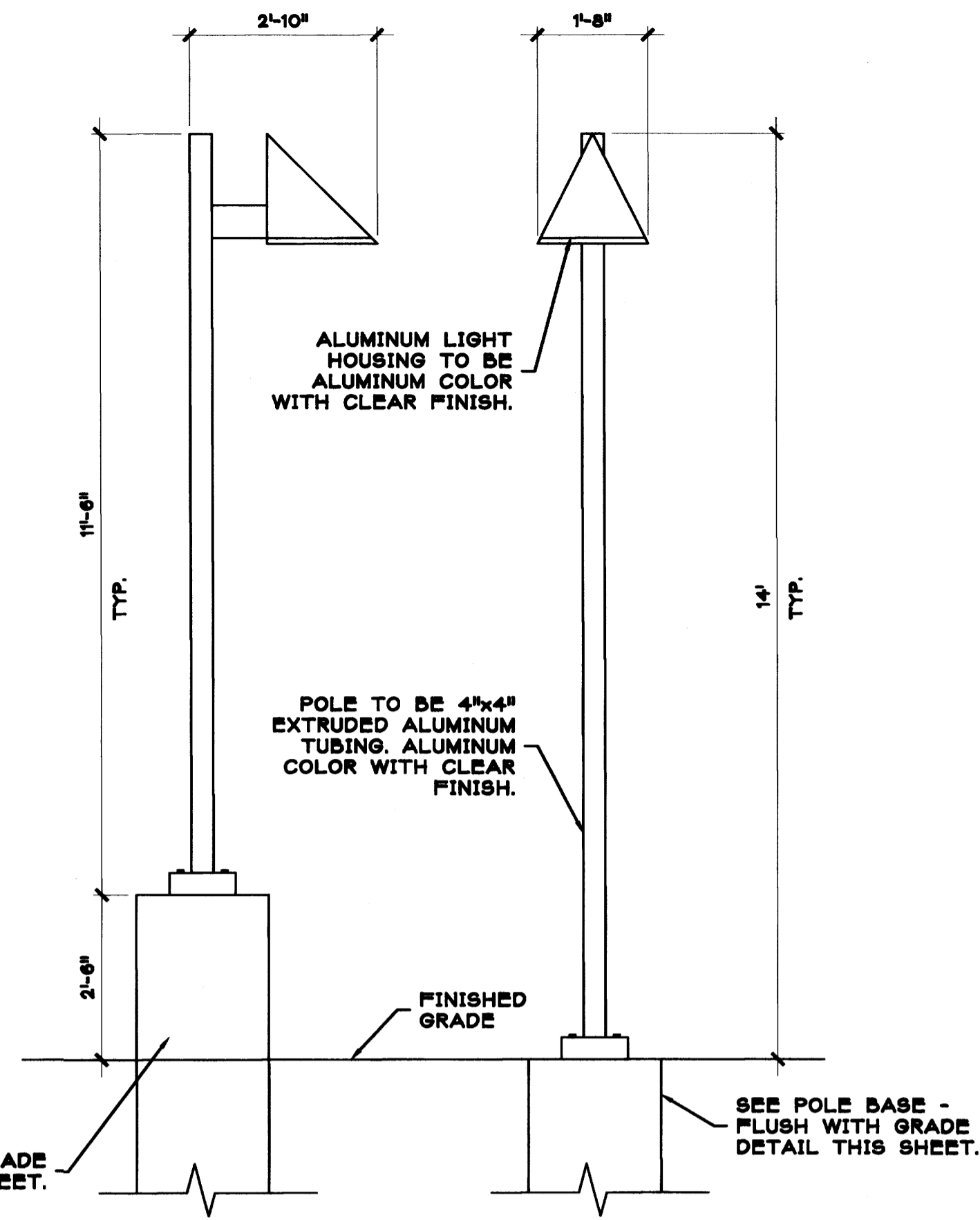
SHEET TITLE: <b>ELEVATIONS</b>	
JOB NUMBER: <b>1329</b>	
DATE: <b>8/28/14</b>	
REVISIONS:	DATE:
E.P.C. PRE-REVIEW UPDATES	8/24/14
E.P.C. CONDITIONS	10/28/14
D.B. COMMENTS	11/25/14
SHEET: <b>A2</b> 5 OF 7	



**FIXTURE TYPE A:**  
VISIONAIRE® #SAH-2 T3 250 M 1 B0A10 CC  
5P ON POLE #SNTA 48 .125 14 AKB 343 S1 CC  
LAMPS: 1250W/MH  
POLE MOUNTED AT MAXIMUM HEIGHT OF 16'-0"  
SEE DETAILS THIS SHEET.

**NOTE:** SODIUM LIGHTING IS PROHIBITED PER THE DESIGN STANDARDS.

SEE POLE BASE - ABOVE GRADE  
DETAIL THIS SHEET.



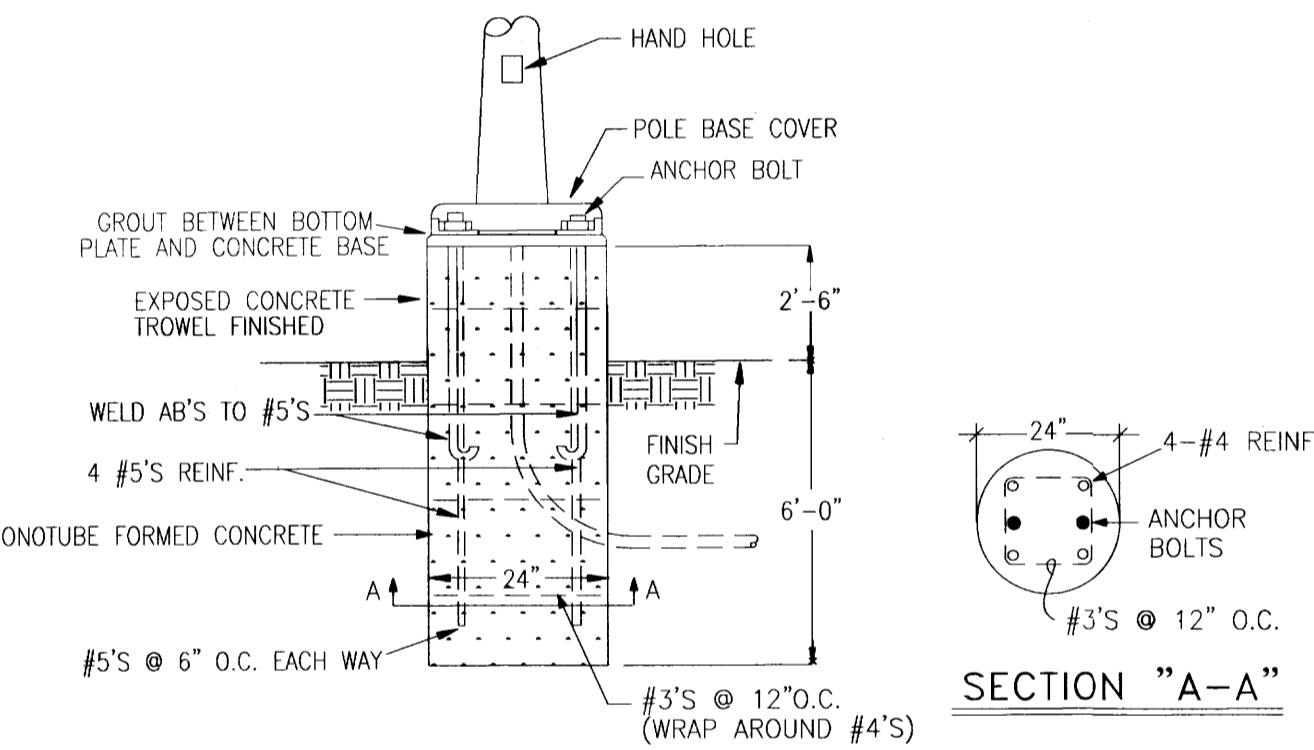
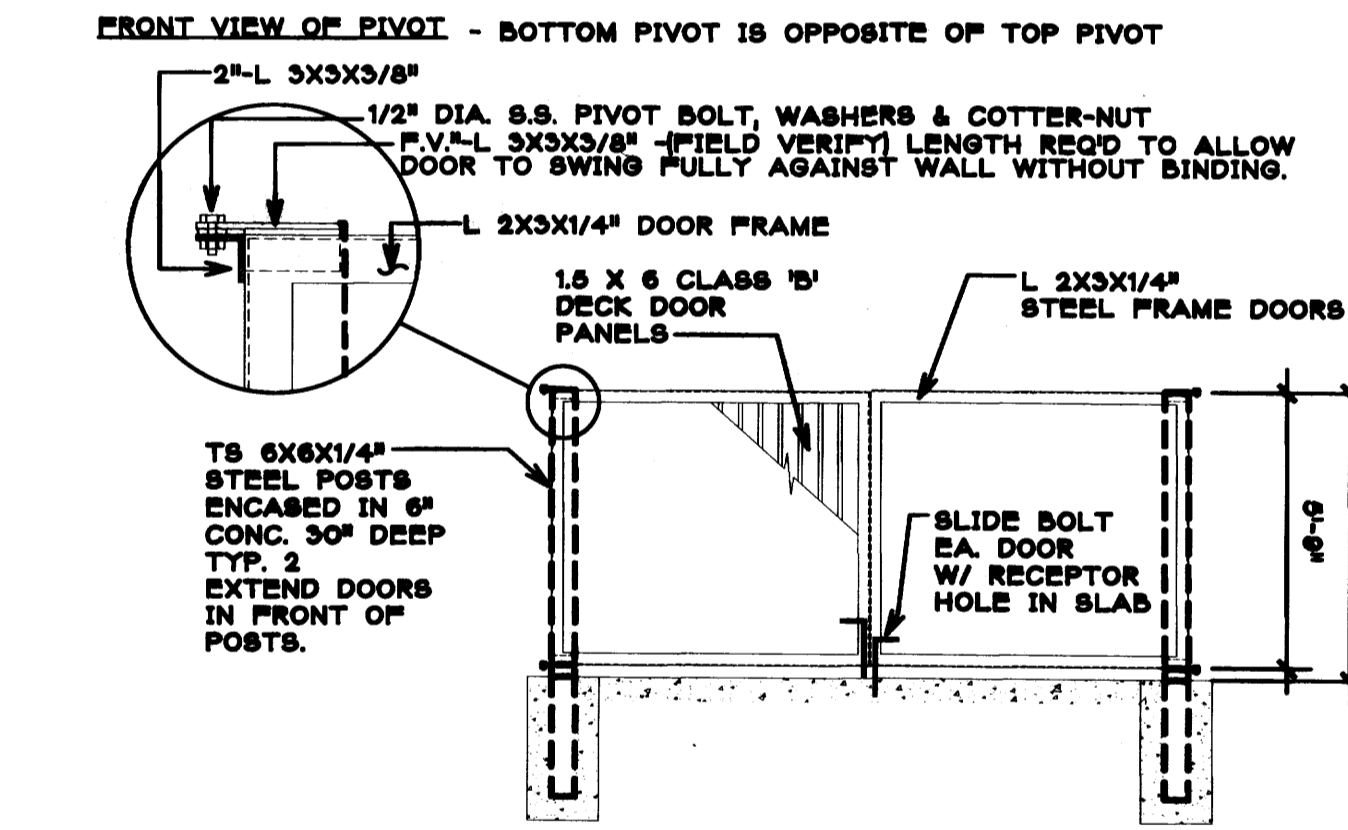
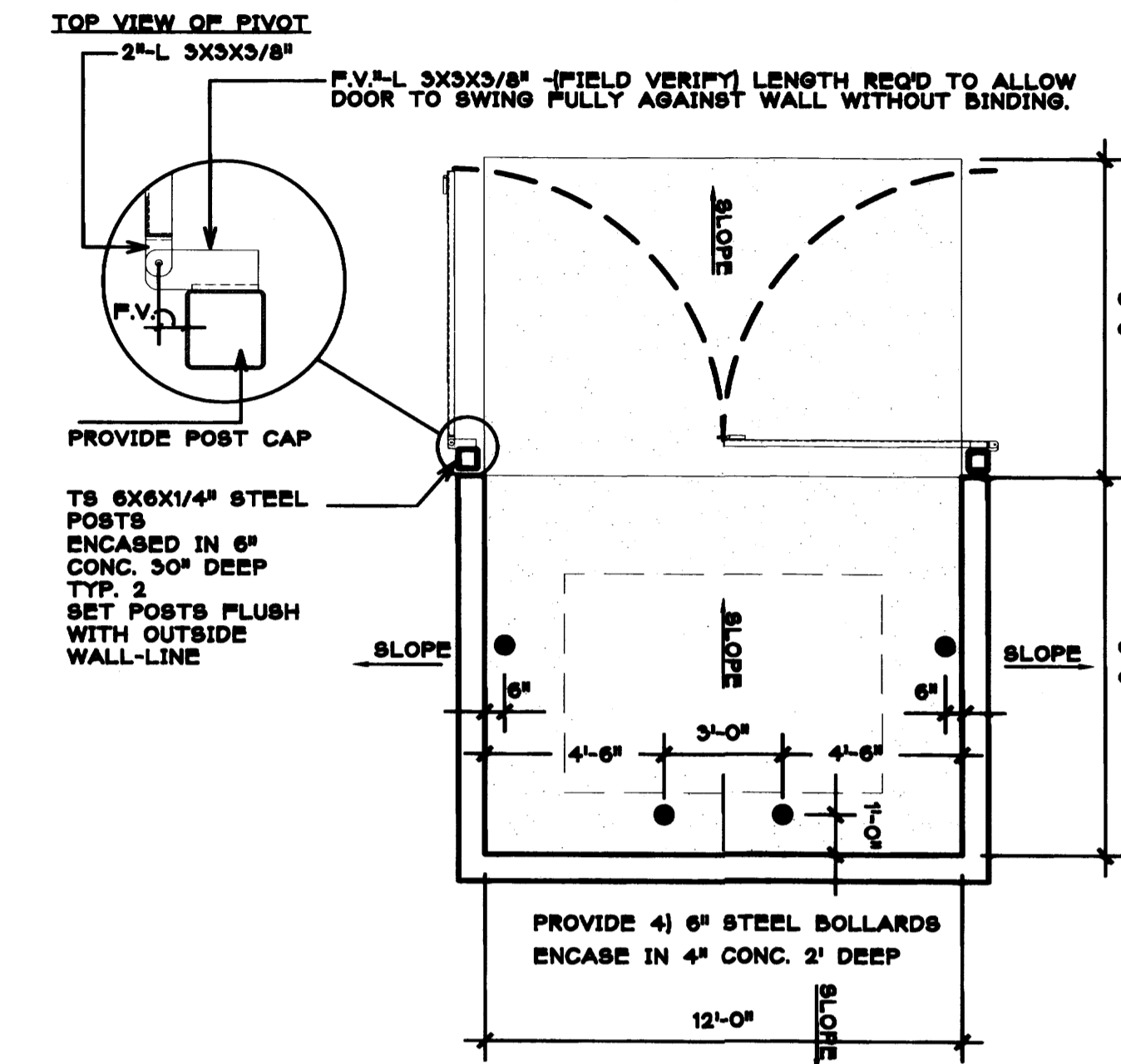
**PERIMETER WALL DETAILS**

SCALE: 1/2" = 1'-0"

CONCRETE SLAB IN ENCLOSURE, 6" THK. 4,000 PSI, 3/4" AGG. W/ 6X6-10/10 WWM. SLOPE TO DRAIN @ 1/8" PER FT. MIN.

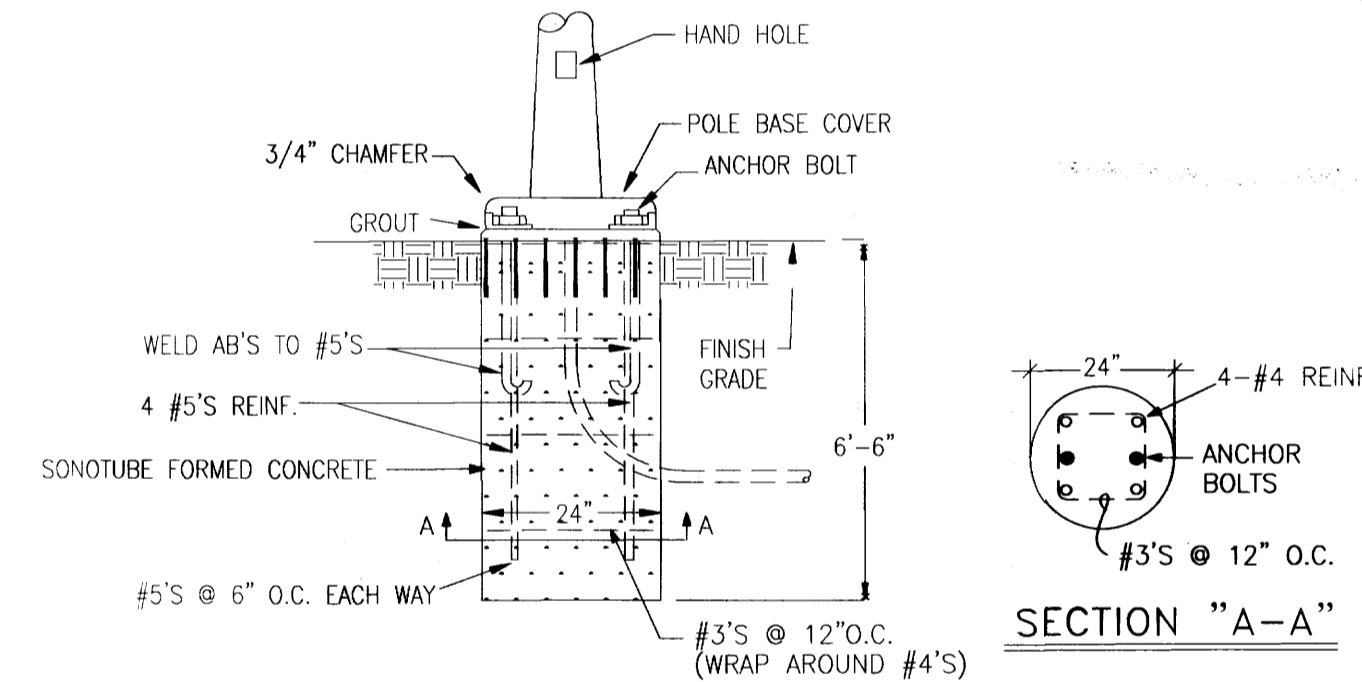
CONCRETE APRON SLAB, 6" THK. 12' x 8', 4,000 PSI, 3/4" AGG. W/ 6X6-10/10 WWM. SLOPE TO DRAIN @ 1/8" PER FT. MIN.

CMU WALL: SEE SECTION BELOW



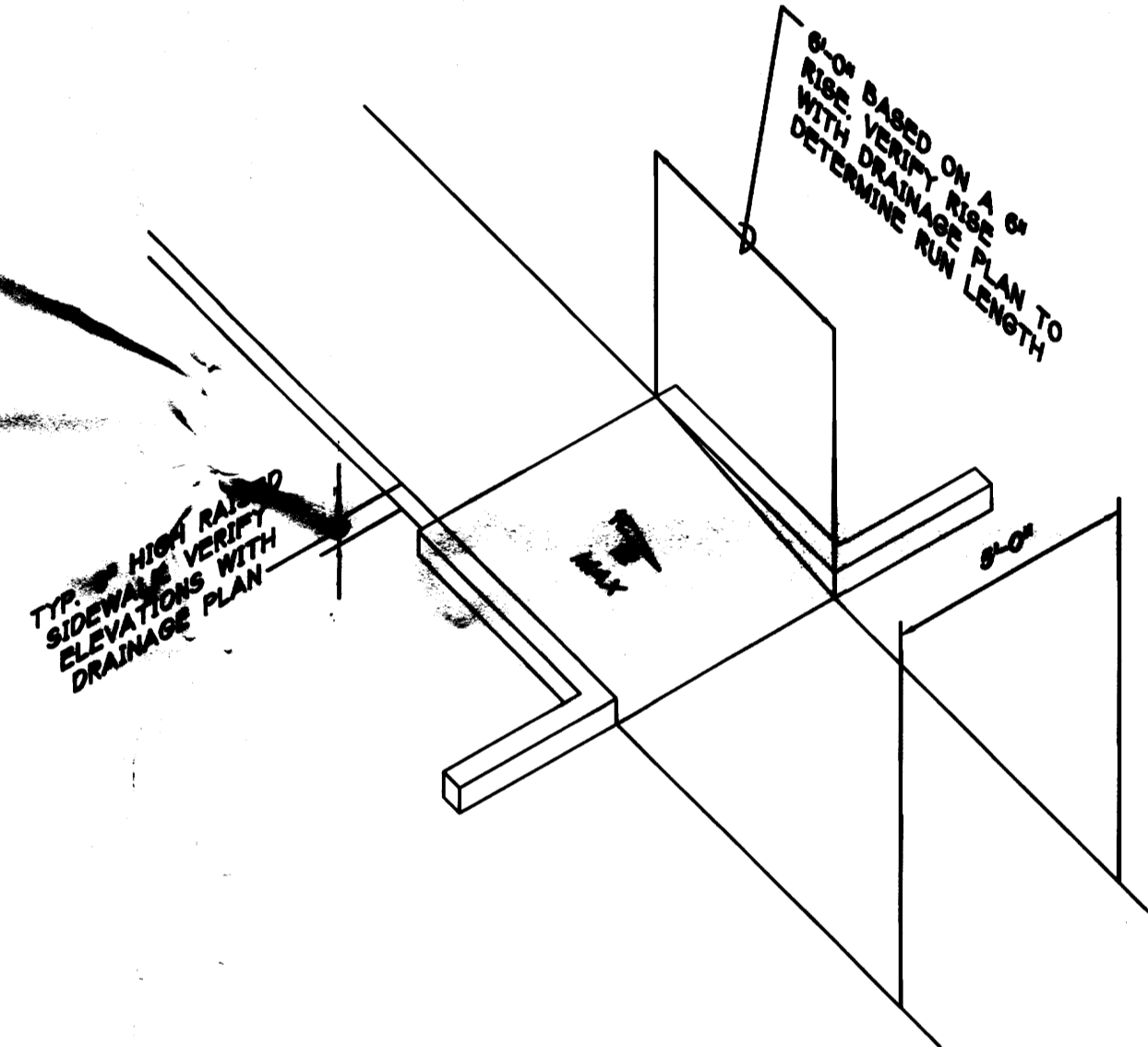
**POLE BASE DETAIL - ABOVE GRADE**

NOT TO SCALE



**POLE BASE DETAIL - FLUSH W/GRADE**

NOT TO SCALE

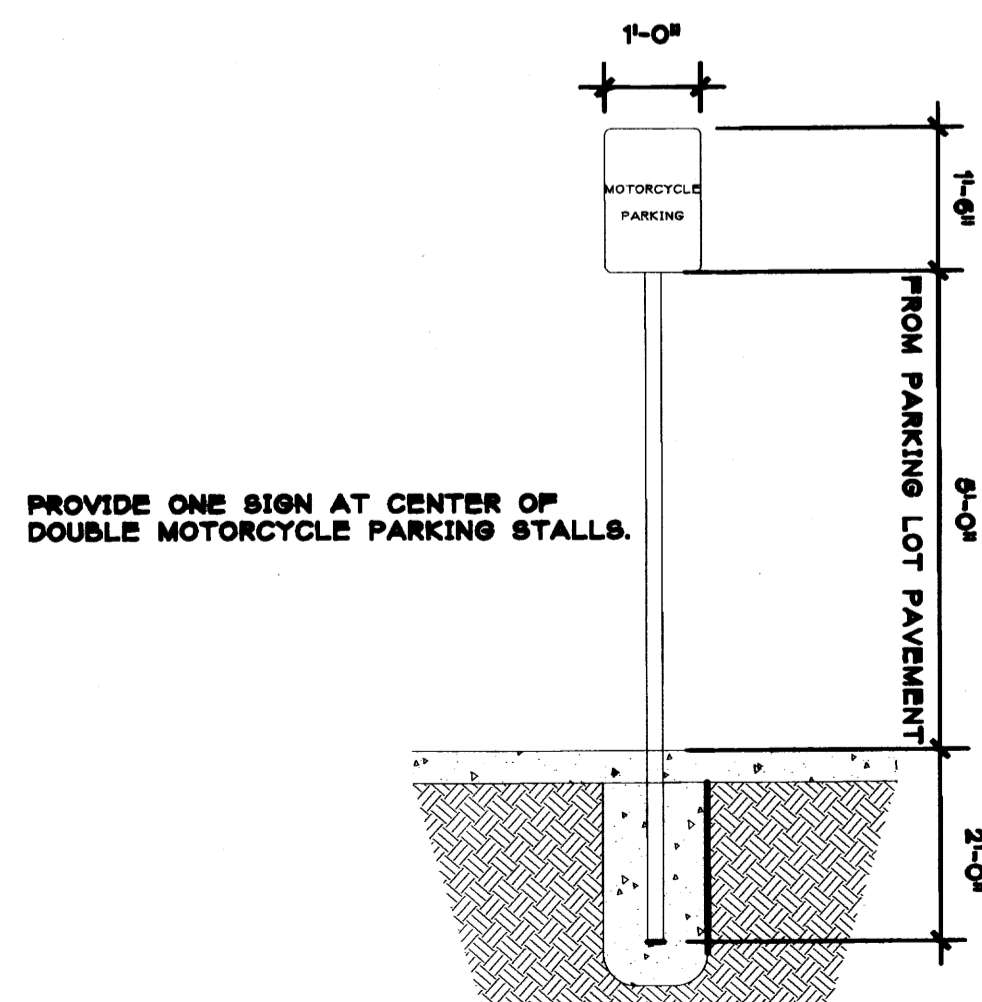


**WHEELCHAIR RAMP DETAIL**

SCALE: N.T.S.

**SINGLE POLE LIGHT DETAILS**

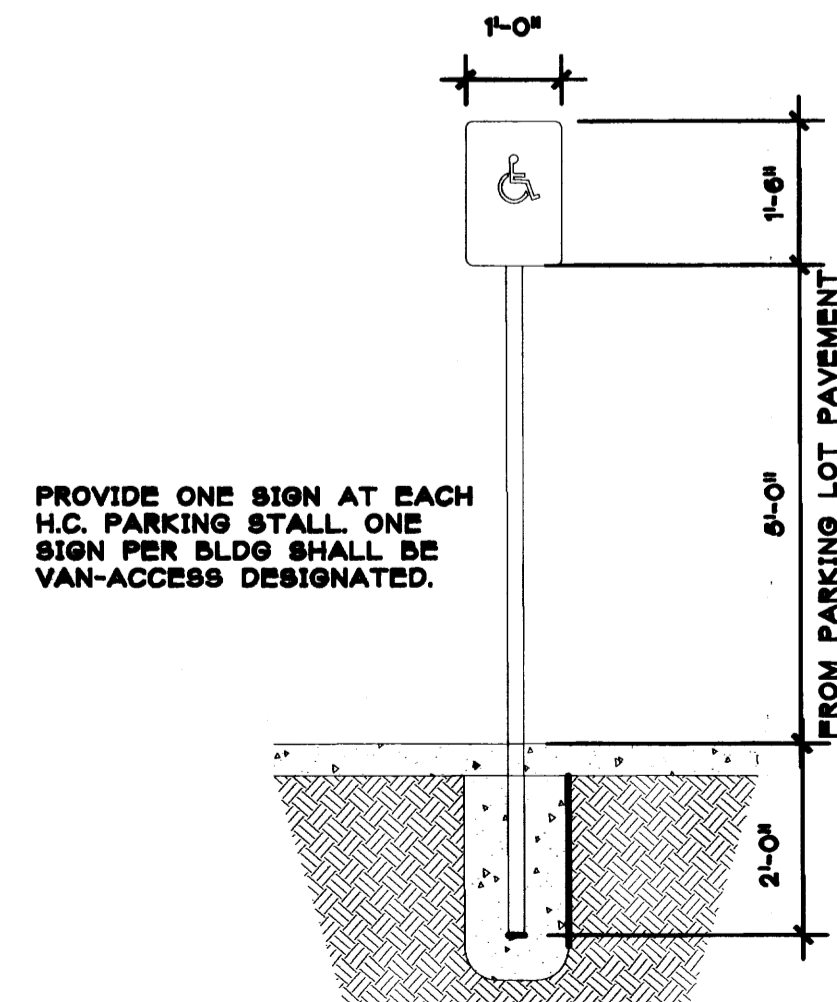
SCALE: N.T.S.



SIGN TO READ "MOTORCYCLE PARKING" TYPICAL. SIGN SIZE 12" W X 18" H. SEE SITE PLAN.

**MOTORCYCLE PARKING SIGN**

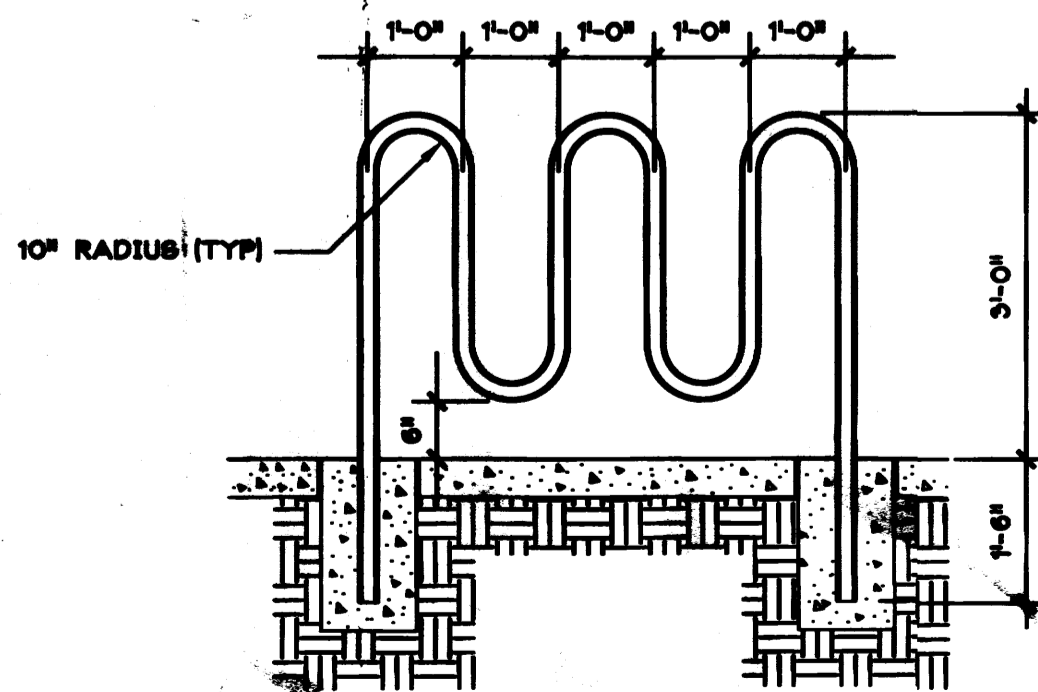
SCALE: 1/2" = 1'-0"



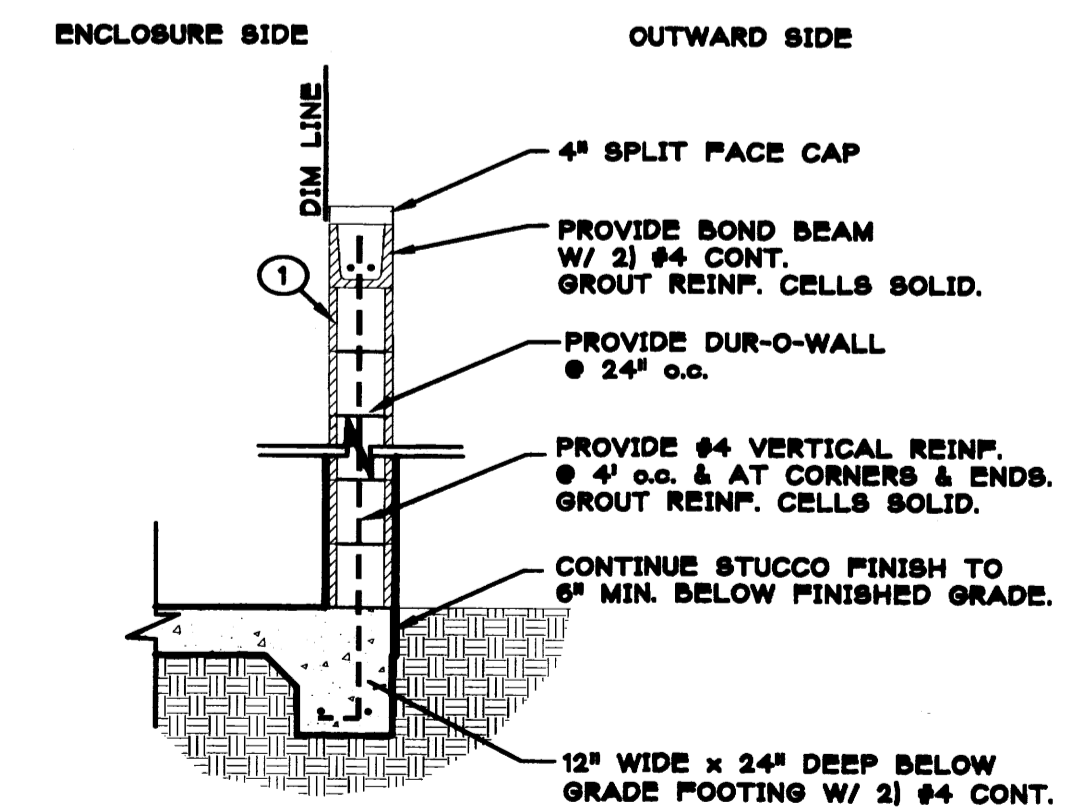
SIGN TO READ "ACCESSIBLE PARKING" TYPICAL. TWO SIGNS SHALL BE DESIGNATED AS "VAN ACCESSIBLE". SIGN SIZE 11.75" W X 18" H. SEE SITE PLAN.

**H.C. SIGN DETAIL**

SCALE: 1/2" = 1'-0"



SCALE: 1/2" = 1'-0"



(1) PROVIDE 8" SPLIT FACED CMU WALL 6" HIGH @ DUMPSTER & AS NOTED OTHERWISE IN PLAN. ENTIRE ENCLOSURE INCLUDING GATE TO BE TAN COLOR.

**TRASH DUMPSTER ENCLOSURE**

Site Development Plan for Building Permit

MAIN BANK  
Ameriplex Mortgage  
7300 Menaul Blvd. NE  
Albuquerque, New Mexico 87109

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**DORMAN and BREEN**  
LAURENCE BREEN A.I.A.  
Albuquerque Westside 505-792-8160

**D+B**  
RICHARD DORMAN F.A.I.A.  
ALBUQUERQUE, NM 505-299-5940

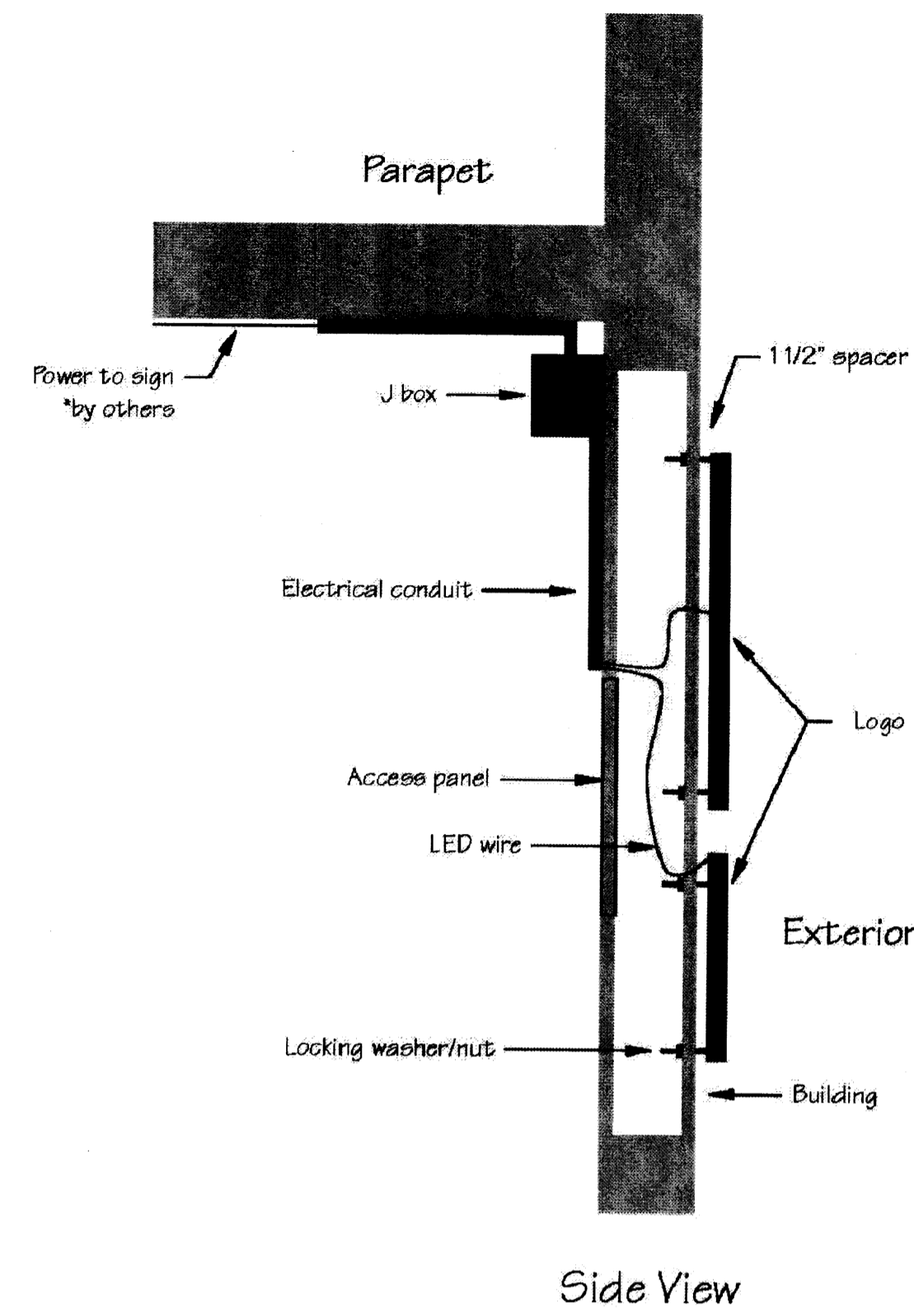
SHEET TITLE:  
**SITE DETAILS**

JOB NUMBER:  
**1329**

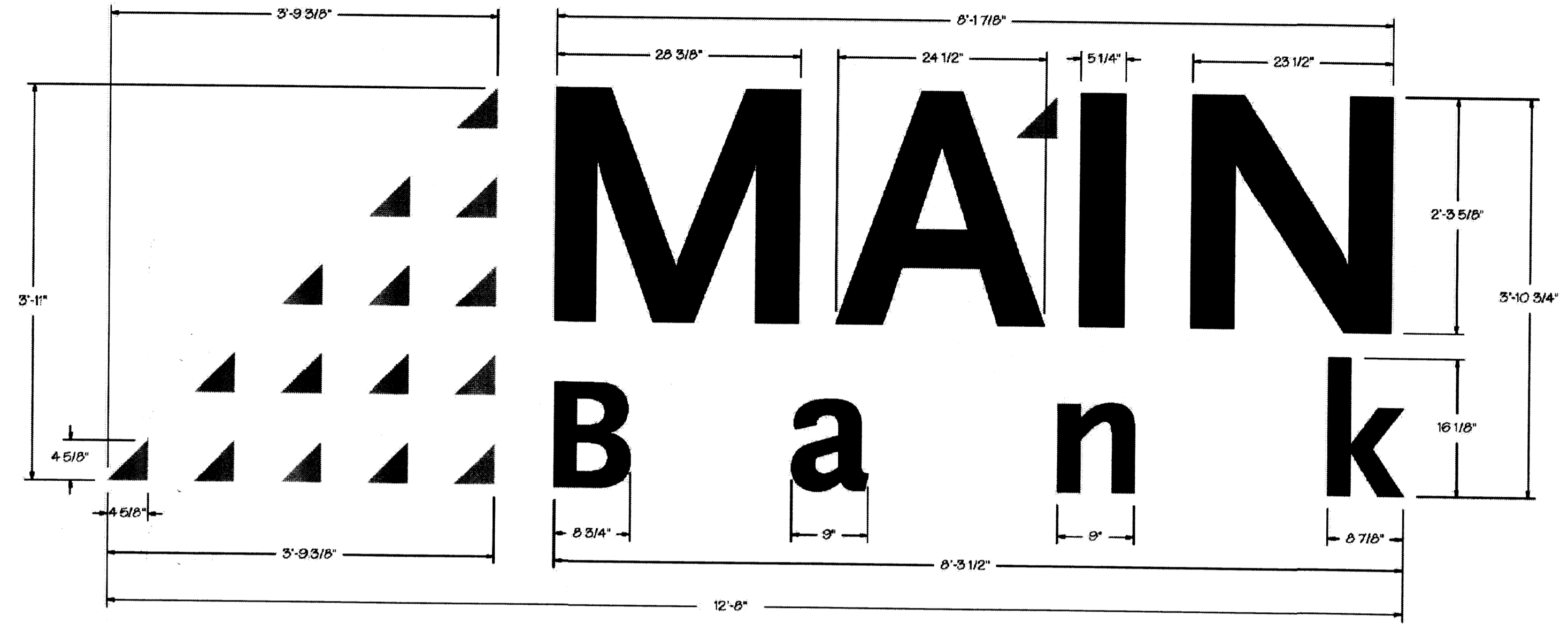
DATE:  
**8/28/14**

REVISIONS:	DATE:
E.P.C. PRE-REVIEW UPDATES	8/28/14
E.P.C. CONDITIONS	10/28/14
D.R.A. COMMENTS	8/28/14

SHEET:  
**A3**  
6 OF 7



AL1 Halo LED logo - Fabrication Detail  
Scale 1"=1'



**LED Halo Illuminated Channel Letters**  
Material: Stainless Steel  
Paint (to match):  
- PMS Yellow TBD  
- PMS Red TBD  
- PMS Blue TBD  
Finish: Matte  
LED Color: White  
Return: 1 1/2"  
Stand-off: 1 1/2"  
Mounting: Stud mount  
Mounting pattern: Yes

**Power Requirements**  
- Power input: 110V  
- 2.5A  
- Power output: 12V  
- Transformers required: TBD

49.6 square feet

MNT Illuminated Monument - Routed Face with Lexan Logo  
Scale 1/2"=1'

**SPECIFICATIONS**

**A. SIGN**  
DOUBLE SIDED - INTERNALLY ILLUMINATED  
ALUMINUM CABINET SIGN (LED BULBS)  
NO REFLECTOR  
ALL SIDES PAINTED TAN TBD, SATIN FINISH  
AUTOMATIC PHOTOCELL SWITCH PROVIDED

**B. FACE PANELS**  
1/8" ALUMINUM  
PAINTED WHITE, SATIN FINISH  
FASTENED TO CABINET WITH TAMPER RESISTANT COUNTERSUNK SCREWS

**C. LOGOS/LETTERS**  
FACE PANELS ARE ROUTED TO REVEAL WHITE LEXAN PANEL  
LOGO IS TRANSLUCENT VINYL  
LETTERS WILL ILLUMINATED FROM FACES  
3M TRANSLUCENT STANDARD VINYL OVER FRONT OF LETTERS  
BLUE VINYL 3M 3630-36 BLUE  
RED VINYL 3M 3630-48 TOMATO RED  
YELLOW VINYL: GERBER 250-015 YELLOW

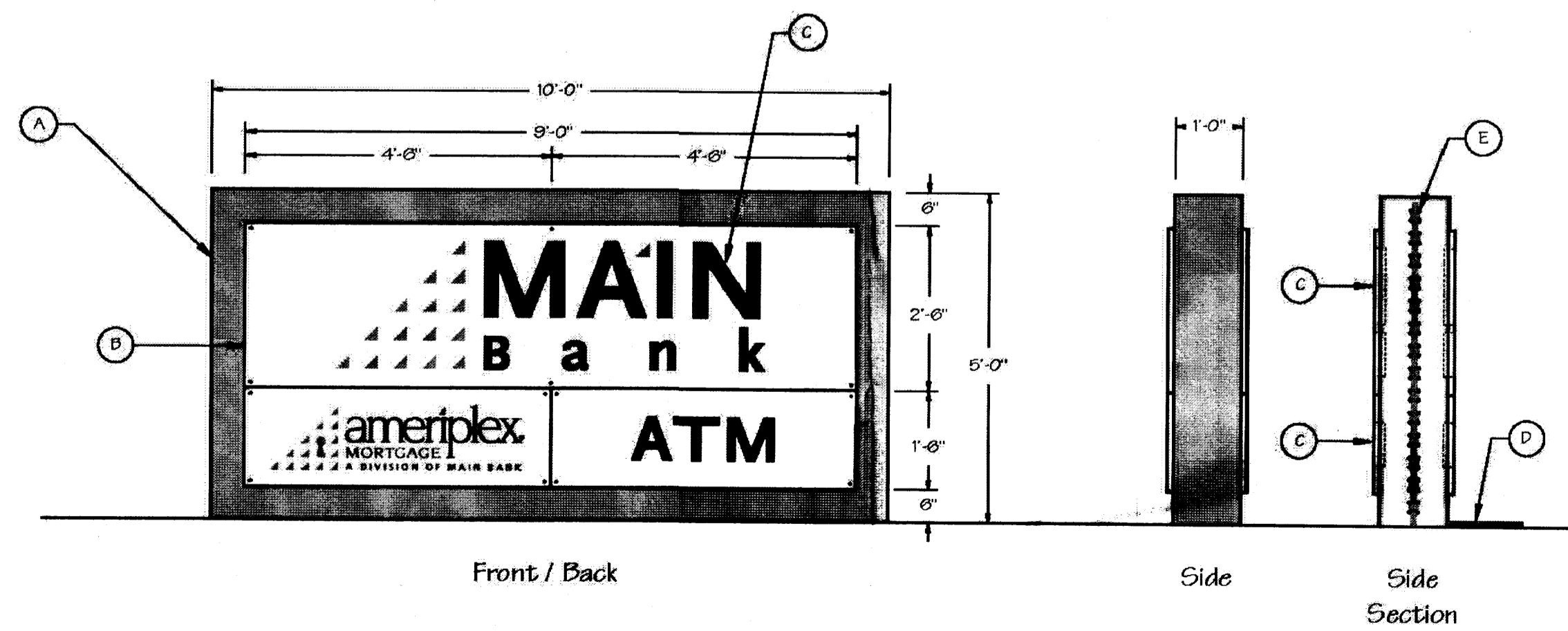
**SPECIFICATIONS**

**D. POWER TO SIGN**  
TRANSFORMERS LOCATED INSIDE SIGN CABINET

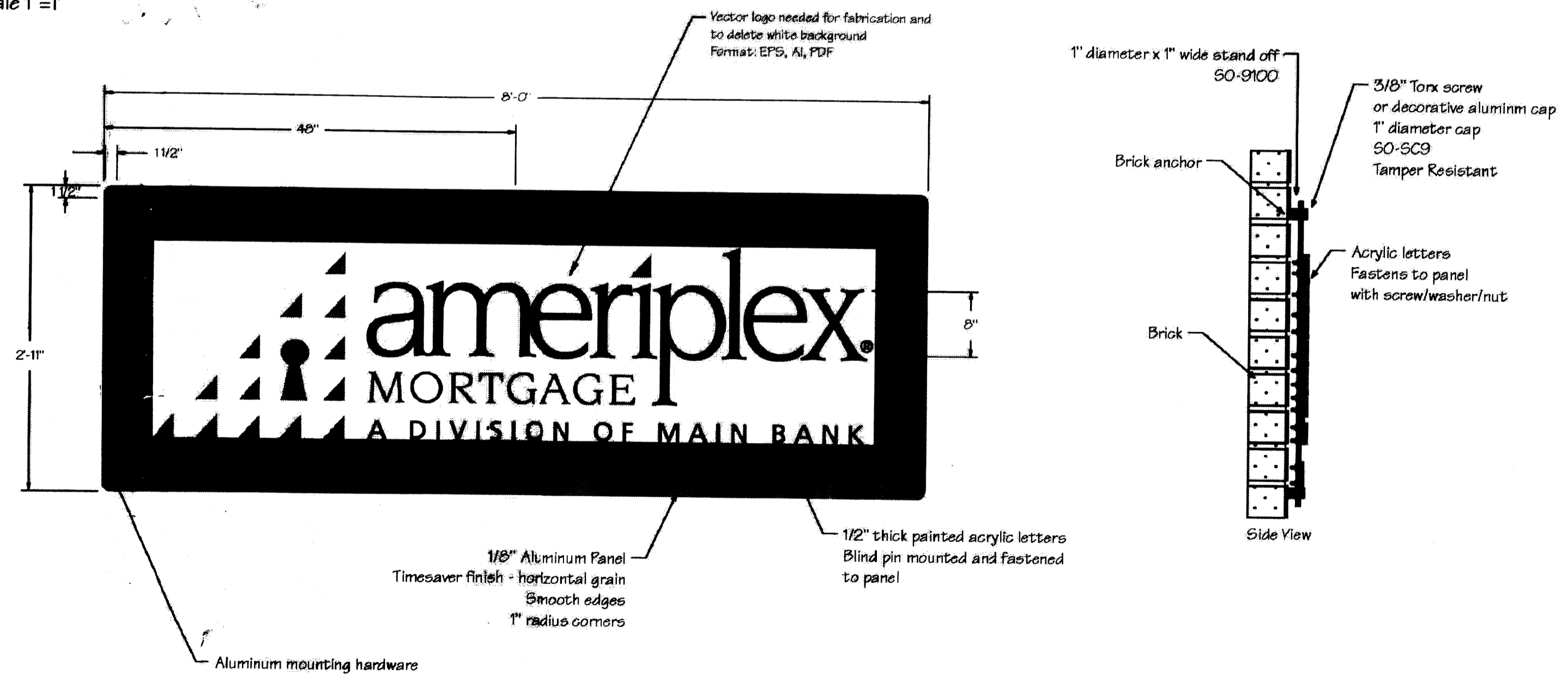
**E. LED GRID**

**POWER REQUIREMENTS:**  
120V

**INSTALLATION**  
INSTALL ON CONCRETE BASE  
PIPE STUDS LOCATED INSIDE CABINET



AL3 ameriplex logo on panel  
Scale 1"=1'



Panel: 1/8" aluminum  
Finish/Color:  
- PMS Yellow TBD  
- PMS Red TBD  
- PMS Blue TBD  
Clear Coat: Semi-gloss  
Distance seen: ~300'  
Studs/Tape: Blind stud  
Standoffs: 3/8"  
Mounting Pattern: Yes

Site Development Plan for Building Permit

**MAIN BANK**  
Ameriplex Mortgage  
7300 Menaul Blvd. NE  
Albuquerque, New Mexico 87109

SHEET TITLE:  
SIGNAGE  
DETAILS

JOB NUMBER:  
1329

DATE:  
8/28/14

REVISIONS:	DATE:
E.P.C. PRE-REVIEW UPDATE	8/24/14
E.P.C. COMMENTS	10/28/14
D.A. COMMENTS	1/15/14

SHEET:  
**A4**  
7 OF 7

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**DORMAN and BREEN**  
LAURENCE BREEN A.I.A.  
Albuquerque Westside 505-792-8160

**RICHARD DORMAN F.A.I.A.**  
ALBUQUERQUE, NM 505-299-5940

**GENERAL NOTES**

- MESILLA AVE. NE ABUTS THE PROPERTY AT THE WEST, MENAUL BLVD. NE ABUTS THE PROPERTY AT THE NORTH.
- CITY BUS ROUTE RUNS ALONG MENAUL BLVD. NE.
- THERE IS AN EXISTING BIKE ROUTE CONNECTION SOUTH OF THE SITE AT CUTLER, AND A BIKE LANE EAST OF THE SITE ON PENNSYLVANIA.
- IT IS ANTICIPATED THAT APPROXIMATELY 15,000 SF OF THE DEVELOPMENT WILL BE LEASED TO RESTAURANT TENANTS WITH THE BALANCE LEASED TO OTHER RETAIL USES. IT IS UNKNOWN WHICH PORTIONS OF WHICH BUILDINGS WILL HOUSE SPECIFIC USES AND/OR HOW MANY SEATS EACH RESTAURANT USE WILL REQUIRE. CALCULATIONS PROVIDED HERE ARE BASED ON A HYPOTHETICAL SCENARIO. THE APPLICANT REQUESTS THAT NO CAP BE PLACED ON ALLOWABLE RESTAURANT USES (OTHER THAN BY PARKING CAPACITY) SINCE MARKET CONDITIONS MAY DICTATE DIFFERENT COMBINATIONS OF USES FROM YEAR TO YEAR.
- ADJACENT DEVELOPMENT LOCATED ON PLAN IS APPROXIMATED FROM AN AERIAL PHOTOGRAPH. SURVEY INFORMATION FOR ADJACENT SITES WAS NOT AVAILABLE TO THE APPLICANT.
- OUTDOOR RESTAURANT SEATING WITHIN 75' OF A RESIDENTIAL ZONE SHALL NOT OPERATE PAST 10 P.M.
- SITE DEVELOPMENT PLAN SHALL COMPLY WITH COA ZONE CODE SECTION 14-16-3-18 GENERAL BUILDING AND SITE DESIGN REGULATIONS FOR NON-RESIDENTIAL USES.
- NO LIGHTING SHALL SHINE DIRECTLY ON PUBLIC R.O.W.S OR RESIDENTIAL PROPERTIES PER SECTION 14-16-3-9 COA ZONE CODE. LIGHT POLES WITHIN 100' OF RESIDENTIAL PROPERTIES SHALL NOT EXCEED 16'.
- AT A MINIMUM, THE USABLE OUTDOOR AREA SHALL CONSIST OF AN 8' WALKWAY ALONG THE MAIN FACADE OF EACH BUILDING WITH PUBLIC ENTRANCES, A 6' CLEAR PATH ON ALL WALKWAYS AND ANY OTHER USABLE PUBLIC OUTDOOR AREA INCLUDED IN THE LANDSCAPE PROVIDED. THE USABLE PUBLIC OUTDOOR AREA SHALL EXCLUDE PRIVATE OUTDOOR RESTAURANT SEATING.
- OUTDOOR AMENITIES WILL INCLUDE SEATING AND/OR DINING PATIOS ALONG PEDESTRIAN PATHS WITH BOLLARDS AND/OR OVERHEAD CANOPY LIGHTING, SURROUNDED BY DECIDUOUS SHADE TREES AND SHRUBS SELECTED TO PROVIDE YEAR-ROUND COLOR AND INTEREST.
- ALL ROOF TOP AND/OR GROUND MOUNTED EQUIPMENT SHALL BE SCREENED PER SECTION 14-16-3-18 OF THE ZONING CODE.
- LINES SPLITTING SHOPS BUILDINGS INTO TENANT SPACES ARE NOT FIXED; TENANT SPACES MAY BE COMBINED INTO LARGER SPACES.

**SIGNATURE BLOCK**

**PROJECT NUMBER:**

**APPLICATION NUMBER:**

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

TRAFFIC ENGINEER, TRANSPORTATION DIVISION DATE

UTILITIES DEVELOPMENT DATE

PARKS AND RECREATION DEPARTMENT DATE

CITY ENGINEER DATE

ENVIRONMENTAL HEALTH DEPARTMENT (Consultant) DATE

SOLID WASTE MANAGEMENT DATE

DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

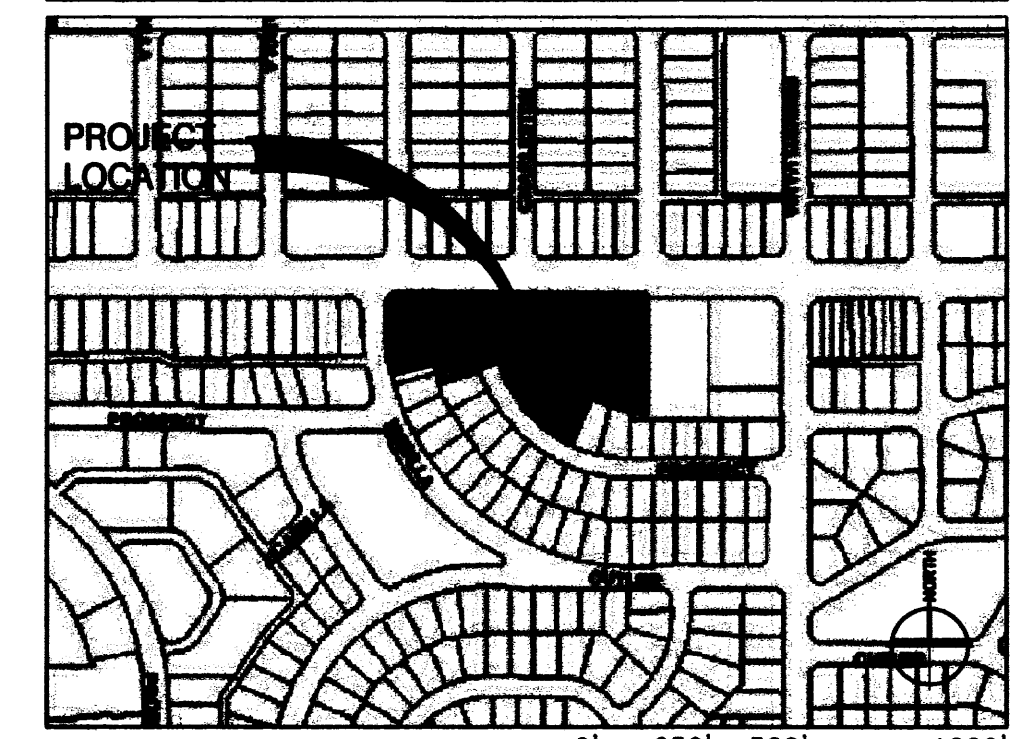
*Michael Bolton* 9/19/08

**KEYED NOTES**

- PROPOSED 6"-8" HIGH SPLIT FACE CMU SCREEN WALL, MED. TAN
- PROPOSED 6" HIGH SPLIT FACE LIGHT TAN CMU REFUSE ENCLOSURE WITH ALUMINUM COLOR GATES AND CONCRETE APRON PER COA STANDARDS (DOUBLE WIDTH WHERE SHOWN).
- PROPOSED 6" HIGH SPLIT FACE LIGHT TAN CMU SERVICE YARD SCREEN WALL WITH ALUMINUM COLOR GATES.
- PROPOSED LIGHT BOLLARD, SEE SHEET 7.
- PROPOSED PRIMARY MONUMENT SIGN, SEE SHEET 7.
- PROPOSED SECONDARY MONUMENT SIGN, SEE SHEET 7.
- PROPOSED BICYCLE RACK FOR 2 BICYCLES.
- PROPOSED ACCESSIBLE PARKING.
- PROPOSED AWNING ABOVE, TYP.
- PROPOSED ACCESSIBLE CONCRETE CURB RAMP WITH TRUNCATED DOMES CONSTRUCTED TO COA STANDARDS (STD DRAWING 2440)
- PROPOSED DRIVE THROUGH LANE
- PROPOSED PEDESTRIAN CONNECTION WITH TEXTURED PAVING.
- PROPOSED FIRE HYDRANT
- PROPOSED 30' WIDE CONCRETE SITE DRIVE TO BE CONSTRUCTED TO COA STANDARDS (STANDARD DRAWING 2420)
- PROPOSED ASPHALT CONCRETE PAVEMENT
- PROPOSED CONCRETE PAVEMENT
- RECONFIGURED CONCRETE MEDIAN
- PROPOSED LOADING AREA (ACCESSED BY MOUNTABLE CURB)
- EXISTING CITY SIDEWALK TO REMAIN.
- PROPOSED MOTORCYCLE SPACES, SIGNAGE AT EACH SPACE
- PROPOSED HANDICAP PARKING SIGN, TYPICAL OF 6.
- EXISTING PROPERTY LINE TO REMAIN
- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE TO BE VACATED
- PROPOSED STOP SIGN
- PROPOSED PAINTED PARKING STRIPING, TYP.
- PROPOSED PLAZA AREA WITH CONTRASTING COLOR AND/OR TEXTURED PAVING, EXTENT AS INDICATED BY HATCH.
- PROPOSED LANDSCAPING AREA WITH DRIP IRRIGATION, TYP.
- PROPOSED CONCRETE CURB, TYP.
- PROPOSED UTILITY EASEMENT, SEE CONCEPTUAL UTILITY PLAN
- PROPOSED COA TYPE "C" SHELTER AT RE-LOCATED BUS STOP.
- EXISTING CITY TRANSIT ROUTE
- PROPOSED VACATION OF PROSPECT AVE. NE.; PUBLIC UTILITY AND ACCESS EASEMENTS WILL BE PROVIDED.
- PROPOSED RIGHT-IN, RIGHT OUT ENTRY, 30' WIDE WITH 25' CURB RETURN RADI.
- PROPOSED FULL ACCESS ENTRY, 36' WIDE WITH 25' CURB RETURN RADI.
- PROPOSED VAN ACCESSIBLE PARKING SIGN, TYPICAL OF 2.
- PROPOSED RECYCLING AREA.
- RETAINING WALL FOR RAISED PATIO.
- SERVICE/LOADING AREA (TEMPORARY PARKING FOR DELIVERIES AND SERVICE VEHICLES).
- PROPOSED 16' HIGH SITE LIGHTING, TYPICAL, SEE SHEET 7.
- PROPOSED 20' HIGH SITE LIGHTING, TYPICAL, SEE SHEET 7.
- PROPOSED 32" HIGH MEDIUM TAN SPLIT FACE CMU SCREEN WALL
- PROPOSED 40" HIGH MEDIUM TAN SPLIT FACE CMU SCREEN WALL
- NOT USED
- DRIVE THRU WINDOW LOCATION.
- CURB CUTS FOR WATER HARVESTING, TYPICAL WHERE INDICATED.
- OVERHEAD CANOPY LIGHTING, TYPICAL WHERE INDICATED.
- 4' LONG SITE BENCH, TYPICAL WHERE INDICATED.

**BUILDING CRITERIA**

PROJECT:	MENAUL & PROSPECT NE RETAIL CENTER
OWNER:	SANDIA FOUNDATION
ARCHITECT:	Van H. Gilbert Architect PC 2428 Baylor Drive SE Albuquerque, NM 87106 Phone: (505) 247-9955
LEGAL DESCRIPTION:	LOTS 1-11 & 33-38 BLOCK 17 AND LOTS 1-3 & PORTION LOT 37, 38-39 BLOCK 16 ZUNI ADDITION
ZONING ATLAS MAP:	H-18-Z
CURRENT ZONING:	C-2, SU-1 FOR NURSERY
PROPOSED ZONING:	SU-1 for C-2 permissive uses, including a full service liquor license only in conjunction with a restaurant, excluding sale of alcohol for off-site consumption and excluding off-premise signs; no more than 16,000 SF net leasable area may be used for restaurant purposes
OCCUPANCY GROUP:	M
CONSTRUCTION TYPE:	VB
NUMBER OF FLOORS:	1
GROSS SQUARE FOOTAGE:	WEST SHOPS 11,700 SF NORTH SHOPS 5,625 SF EAST SHOPS 15,206 SF PAD A 5,440 SF TOTAL 37,971 SF
ALLOWABLE AREA (per building):	M/OCCUPANCY & VB-CONSTRUCTION = 27,000 SF/FLOOR FULLY SPRINKLERED x 300% (ONE-STORY) = 9,000 SF TOTAL = 36,000 SF
PARKING ANALYSIS:	17200 SF NET LEASABLE AREA (1ST 15,000) + 1/280 SF NET LEASABLE AREA + 1/3 SEATS FOR REST. W/ LIQUOR = 62 ALLOW. FIRE OCC. LOAD W/OUT LIQUOR = 80 SPACES; 232 TOTAL REQUIRED (PER C-2) TRANSIT REDUCTION (10%), BUS SHELTER REDUCTION (5%) ADJUSTED REQUIRED (PER C-2 ZONING) = 197 SPACES, 5 MC SPACES PARKING PROVIDED = 193 SPACES, 5 MC SPACES ACCESSIBLE PARKING REQUIRED: 8 SPACES ACCESSIBLE PARKING PROVIDED: 2 VAN SPACE, 6 CAR SPACES
PARKING SPACE SIZES:	STD. CAR SPACE 8'-6" TO 9' X 18' (140) COMPACT SPACE 8' X 15' (45) MOTORCYCLE SPACE 4' X 8' (6) STANDARD ACCESSIBLE SPACE 8'-6" TO 9' X 18' w/ 5' ACCESS STRIP (8) VAN ACCESSIBLE SPACE 9' X 20' w/ ACCESS STRIP (2)
BICYCLE RACK SPACES:	10 REQUIRED 10 PROVIDED
TOTAL LOT AREA:	4.1623 ACRES = 180,972 SF
NET LOT AREA:	3.14 ACRES = 135,744 SF
FLOOR AREA RATIO:	37,971 SF/180,972 SF 20.8%
TOTAL LANDSCAPE AREA REQUIRED:	20,362 SF
TOTAL LANDSCAPE AREA PROVIDED:	25,131 SF



LOCATION PLAN  
1" = ±500'

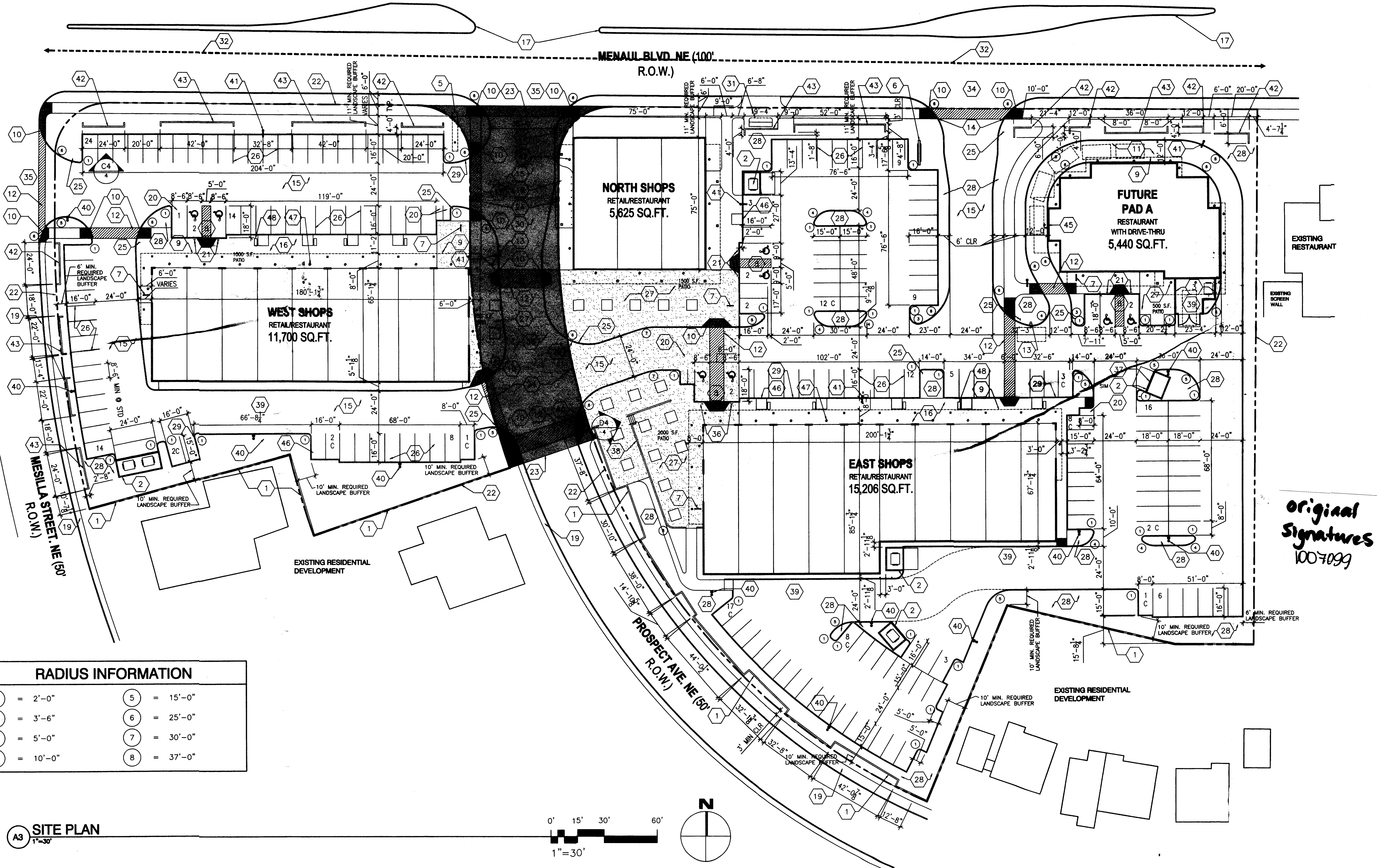
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

MENAUL & PROSPECT RETAIL CENTER  
FOR THE SANDIA FOUNDATION  
ALBUQUERQUE, NEW MEXICO

**Van H Gilbert Architect PC**  
ARCHITECTURE · INTERIORS · PLANNING

2428 baylor drive se albuquerque, nm 87106  
tel 505 . 247 . 9955 fax 505 . 247 . 8226

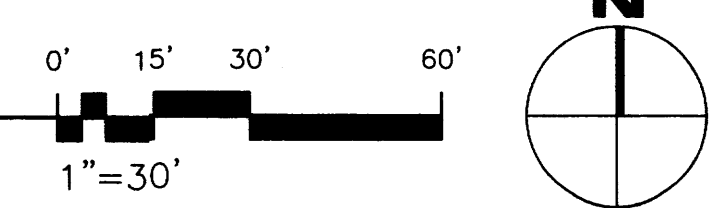
Drawn By: STAFF WGA Project No: 920 . 00  
Checked By: STAFF Date: 09/16/08



**RADIUS INFORMATION**

1 = 2'-0"	5 = 15'-0"
2 = 3'-6"	6 = 25'-0"
3 = 5'-0"	7 = 30'-0"
4 = 10'-0"	8 = 37'-0"

A3 SITE PLAN  
1" = 30'







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E-mail info@vhgarchitect.com  
Web Site www.vhgarchitect.com

CONSULTANTS

PROJECT

ADDRESS

B

Albuquerque, New Mexico

Mark

Date

Description

Date

September 16, 2008

Project Number

920.00

Project File

Drawn By

Author

Checked By

Checker

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SHEET TITLE

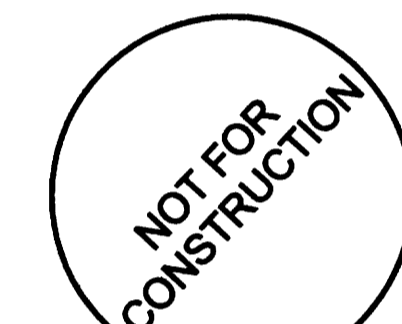
LANDSCAPE

SITE PLAN

2 (LC100)

SHEET

OF



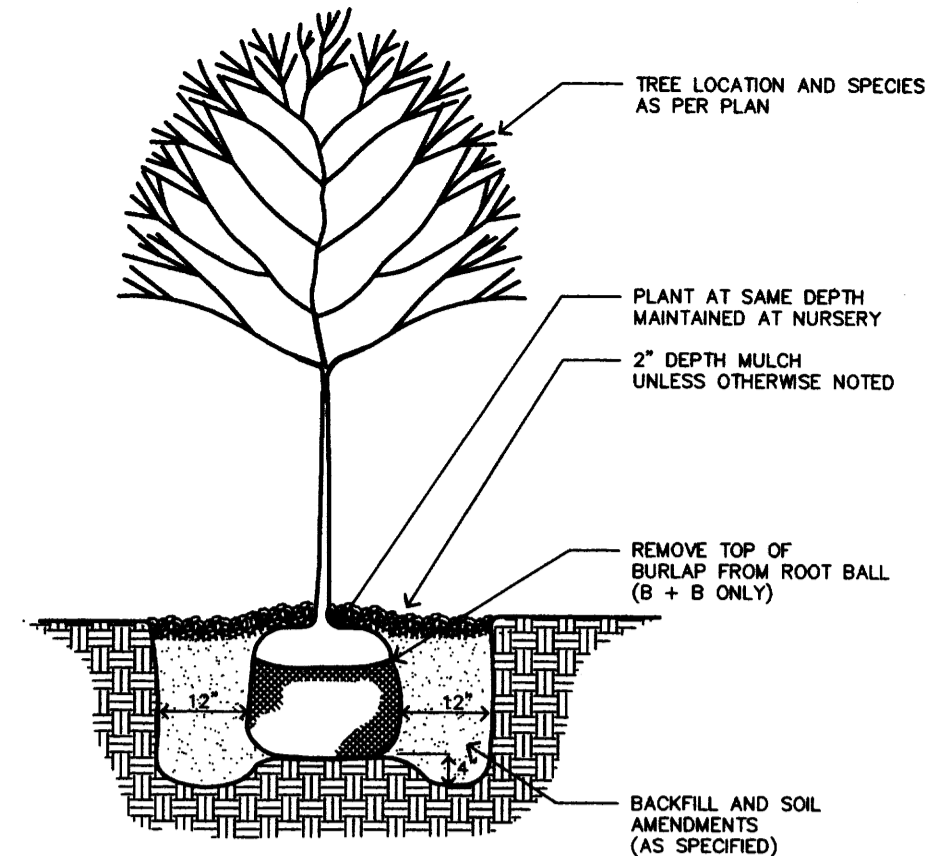
### LANDSCAPE & IRRIGATION NOTES

- PLANT SUBSTITUTIONS SHALL BE ALLOWABLE ONLY IF INSUFFICIENT QUANTITIES OF PLANTS INDICATED ARE AVAILABLE. NO PARTIAL SUBSTITUTIONS SHALL BE PERMITTED.
- THIS LANDSCAPE SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE AS WELL AS THE CITY OF ALBUQUERQUE POLLEN CONTROL AND WASTE WATER ORDINANCES.
- ALL LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- THE IRRIGATION SYSTEM SHALL CONSIST OF A MASTER VALVE AND REDUCED PRESSURE BACKFLOW PREVENTER, PROGRAMMABLE AUTOMATIC CONTROLLER, WITH ELECTRIC IRRIGATION VALVES ZONED BY WATER DISTRIBUTION REQUIREMENTS, AND CONNECTED TO DROP EMITTERS LOCATED TO PROVIDE WATER AT ROOT ZONES OF PLANTS. FLOW RATES AND ZONES SHALL BE MATCHED TO EACH PLANT'S SPECIFIC WATER NEEDS. MICRO SPRAY HEADS MAY BE USED IN LIMITED AREAS ONLY AS NEEDED FOR SMALL SHRUB OR GROUND COVER AREAS.
- GRAVEL MULCH SHALL BE USED AT ALL AREAS NOT COVERED BY LIVING GROUND COVERS.
- PLANTING AREAS FOLLOWED WITH AN ASTERISK INDICATE LOCATIONS OF TREE GRATES.
- IRRIGATION SYSTEM RUN TIMES OF 30 MINUTES EACH SHALL BE BASED ON THE FOLLOWING SCHEDULE ONCE LANDSCAPE IS ESTABLISHED:  
2 MONTHS @ 1 x PER MONTH, 3 MONTHS @ 1 x PER WEEK, 2 MONTHS @ 2 x PER WEEK, 2 MONTHS @ 3 x PER WEEK, AND 3 MONTHS @ 4 x PER WEEK. RUN TIMES DURING ESTABLISHMENT PERIOD OF 1-2 YEARS WILL VARY AND MAY INCLUDE DAILY WATERING DEPENDING ON TEMPERATURES AND ACTUAL PLANTING DATES. (NOTE THAT RUN TIMES ARE BASED ON 4.33 WEEKS/MONTH).

- A. GALVANIZED 1/2" NIPPLE
- B. SLIP X THREAD MALE ADAPTOR
- C. SCH 40 PVC MAIN
- D. GALVANIZED COUPLING
- E. GALVANIZED 2" NIPPLE
- F. FINISH GRADE
- G. 4" THICK CONCRETE PAD 6" WIDER THAN ASSEMBLY ON ALL SIDES
- H. HEATED ENCLOSURE
- I. REDUCED PRESSURE BACKFLOW PREVENTER
- J. GALVANIZED MALE ADAPTOR (1 OF 2)
- K. GALVANIZED UNION (1 OF 2)
- L. GALVANIZED STREET 90° (1 OF 4)
- M. 4" NIPPLE (TYP.)
- N. AUTO DRAIN VALVE WITH GALVANIZED TEE (TYP.)
- O. GALVANIZED CLOSE NIPPLE (TYP.)
- P. PVC SLEEVE THROUGH CONCRETE (TYP.)
- Q. VALVE BOX
- R. AUTO VALVE
- S. CL 200 PVC MASTERLINE

NOTE:  
1. INSTALL BACKFLOW PREVENTER AS REQUIRED BY LOCAL CODES AND HEALTH DEPARTMENT. VERIFY LOCAL REQUIREMENTS PRIOR TO INSTALLATION.

**RPBA AND MASTER VALVE IRRIGATION SYSTEM DETAIL**  
SCALE: NTS



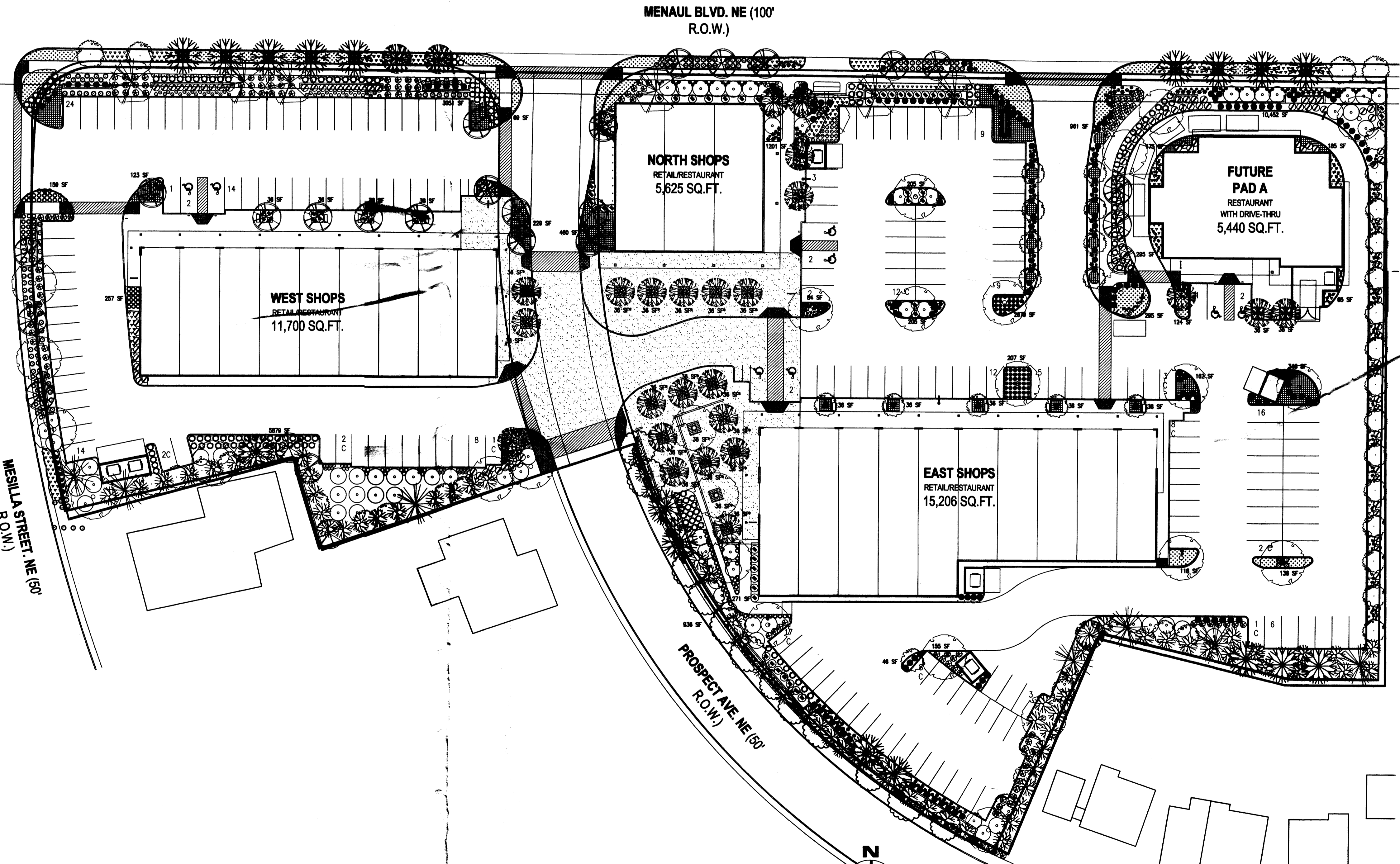
**TREE PLANTING DETAIL**  
SCALE: NTS

### GENERAL SHEET NOTES

- MESILLA AVE. NE ABUTS THE PROPERTY AT THE WEST, MENAUL BLVD. NE ABUTS THE PROPERTY AT THE NORTH
- CITY BUS ROUTE RUNS ALONG MENAUL BLVD. NE
- THERE IS AN EXISTING BIKE TRAIL CONNECTION SOUTH OF THE SITE AT CUTLER, AND A BIKE ROUTE EAST OF THE SITE AT PENNSYLVANIA
- IT IS ANTICIPATED THAT APPROXIMATELY 15,000 SF OF THE DEVELOPMENT WILL BE LEASED TO RESTAURANT TENANTS RANGING IN SIZE FROM 1,000-2,000 SF (WITH ONE POSSIBLE 5500 RESTAURANT) WITH THE BALANCE OTHER RETAIL USES. AT THIS TIME, IT IS UNKNOWN WHICH PORTIONS OF WHICH BUILDINGS WILL HOUSE THESE USES AND/OR HOW MANY SEATS EACH RESTAURANT USE WILL REQUIRE. IN ORDER TO SIMPLY REQUIRED AND PROVIDED PARKING CALCULATIONS, WHICH CAN ONLY BE HYPOTHETICAL UNTIL ACTUAL TENANTS ARE IDENTIFIED, THE CALCULATIONS CURRENTLY SHOWN ARE BASED ON GROSS (VERUS NET) SQUARE FOOTAGE OF ALL BUILDINGS WITH REQUIRED PARKING BASED ONLY ON RETAIL USES. THE APPLICANT WOULD PREFER NOT TO HAVE A CAP ON ALLOWABLE RESTAURANT USES (OTHER THAN BY PARKING CAPACITY) SINCE MARKET CONDITIONS MAY DICTATE A DIFFERENT COMBINATION OF USES FROM YEAR TO YEAR.
- OUTDOOR AMENITIES WILL INCLUDE SEATING AND/OR DINING PATIOS ALONG PEDESTRIAN PATHS WITH BOLLARDS AND/OR OVERHEAD CANOPY LIGHTING, SURROUNDED BY DECIDUOUS SHADE TREES AND SHRUBS SELECTED TO PROVIDE YEAR-ROUND COLOR AND INTEREST.

### LANDSCAPE CALCULATIONS

SITE AREA	180,972 SF
- BUILDING AREA	- 39,725 SF
SUBTOTAL	141,247 SF
- TOTAL OFF-SITE AREA	- 5,103 SF
NET LOT AREA:	136,144 SF
REQUIRED LANDSCAPE AREA	135,747 SF x 15% = 20,421 SF
LANDSCAPE AREA PROVIDED:	25,131 SF
75% LIVE VEGETATIVE COVER REQUIRED:	18,846 SF
75% LIVE VEGETATIVE COVER PROVIDED:	20,717 SF
STREET TREE FRONTAGE AT MENAUL =	685 LF
STREET TREES REQUIRED = 685 / 30 FEET O.C. =	23 TREES
STREET TREES PROVIDED =	27 TREES



### Tree

SYMBOL	QUANTITY	INSTALLED SIZE	MATURE SIZE	WATER USE / SCHEDULE	BOTANICAL NAME / COMMON NAME
(Symbol)	27	10-12" caliper	10-12" high, 25" wide	M 4@2gph	Robinia ambigua Purple Robe Locust (D)
(Symbol)	17	10-12" caliper	10-12" high, 20" wide	M 4@2gph	Koeleria paniculata Striped Bass Tree (D) STREET TREE
(Symbol)	7	10-12" caliper	10-12" high, 20" wide	M 6@2gph	Pinus thunbergiana Japanese Black Pine (E)
(Symbol)	25	10-12" caliper	10-12" high, 20" wide	L 1@2gph	Chilopsis linearis Desert Willow (D) STREET TREE
(Symbol)	28	10-12" caliper	10-12" high, 20" wide	M 6@2gph	Pinus cemburiana Cleveland Select Cleveland Select (D) STREET TREE
(Symbol)	7	10-12" caliper	10-12" high, 30" wide	M 6@2gph	Quercus crumegalliana Thicket Hawthorn (D) STREET TREE
(Symbol)	26	10-12" caliper	10-12" high, 20" wide	M 6@2gph	Malus 'Adams' Crabapple (D) STREET TREE
(Symbol)	12	Various	Existing	N/A	Arctostaphylos (Existing) (E)

### Shrubs

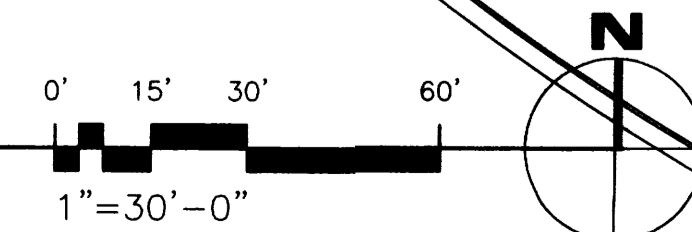
SYMBOL	QUANTITY	INSTALLED SIZE	MATURE SIZE	WATER USE	BOTANICAL NAME / COMMON NAME
(Symbol)	71	15 gallon	12" o.c. 10h x 10w	M 2@2gph	Pyracantha coccinea Firethorn (E)
(Symbol)	86	12" o.c.	12" o.c. 3h x 5w	L 2@2gph	Rhus aromatica 'Gro-Low' Gro-Low Sumac (D)
(Symbol)	82	6" o.c.	4h x 4w	L 1@2gph	Artemisia tridentata Big Sage (E)
(Symbol)	90	12" o.c.	3h x 42w	L 1@2gph	Artemisia x 'Purpurea' Wormwood (E)
(Symbol)	188	1 gallon	5" o.c. 3-4h x 3w	M 3@2gph	Microrhiza sinensis 'Yakuohime' Dwarf Midwintergreen (D)
(Symbol)	75	1 gallon	4" o.c. 3-4h x 3w	L 1@2gph	Artemisia tridentata
(Symbol)	94	1 gallon	4" o.c. 3h x 3w	L 1@2gph	Penstemon pseudospectabilis Desert Beechongue (E)
(Symbol)	128	1 gallon	3" o.c. 3h x 2w	M 1@2gph	Solidago rigida 'Fireworks' Fireworks Goldenrod (D)
(Symbol)	151	1 gallon	3" o.c. 2h x 2w	M 2@2gph	Raphanistrum indicum 'Blueberry Muffin' Blueberry Muffin India Hawthorne (D)
(Symbol)	167	1 gallon	4" o.c. 4h x 2w	L 1@2gph	Saxifraga phyllitidis 'Sandstone' Peck's Blue Saxifrage (D)
(Symbol)	100	1 gallon	4" o.c. 30h x 2w	L 1@2gph	Achillea 'Terra Cotta' Terra Cotta Yarrow (E)
(Symbol)	141	1 gallon	3" o.c. 24h x 18w	L 1@2gph	Hesperis matronalis 'Walker's Low' Walker's Low Catmint (D)
(Symbol)	108	1 gallon	3" o.c. 18h x 18w	L 1@2gph	Artemisia tridentata
(Symbol)	227	1 gallon	2" o.c. 24h x 18w	M 1@2gph	Hedera x 'Mantling' Mantling Plantain Lily (D)
(Symbol)	218	1 gallon	2" o.c. 18h x 12w	L 1@2gph	Liatris punctata Gayfeather (D)

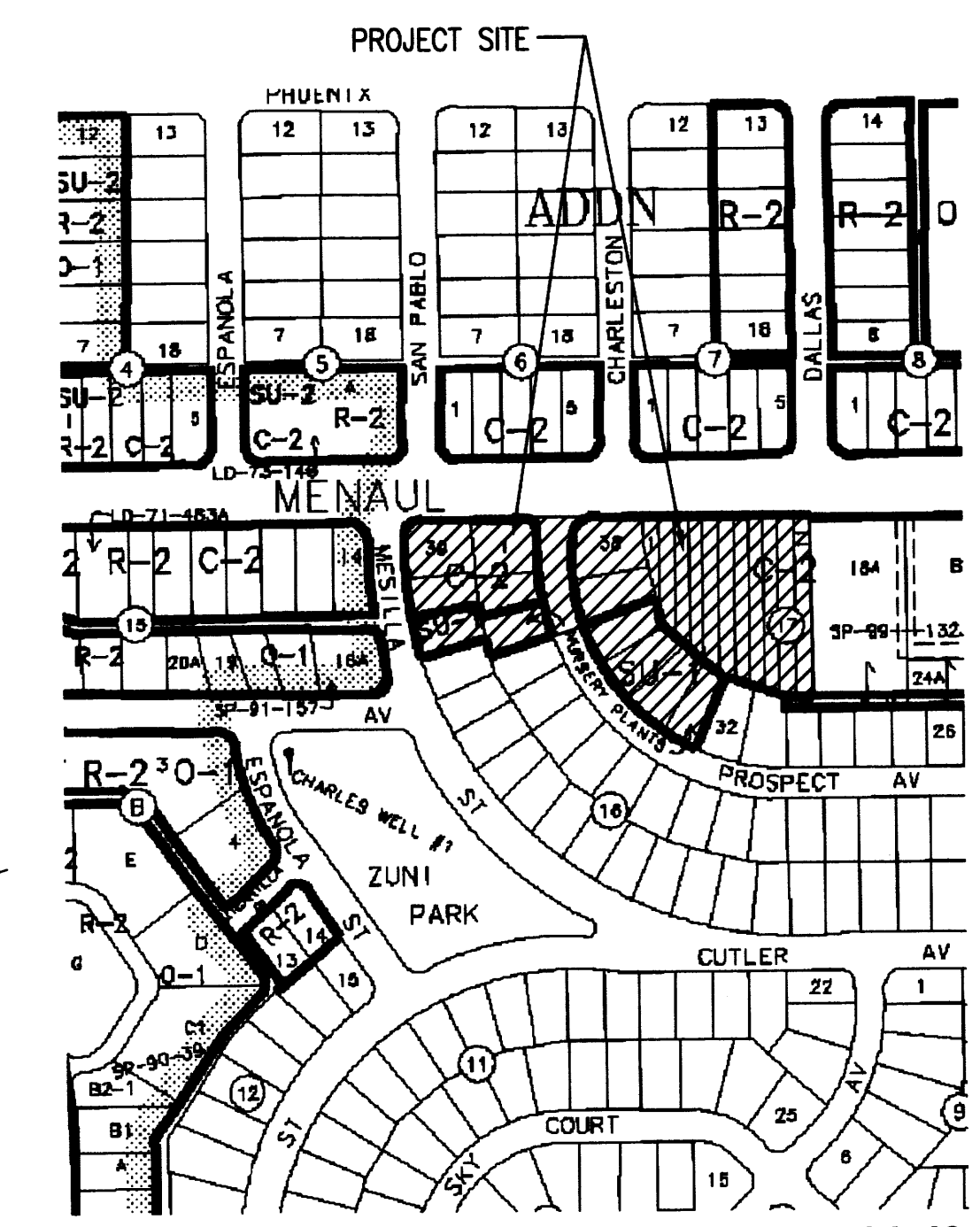
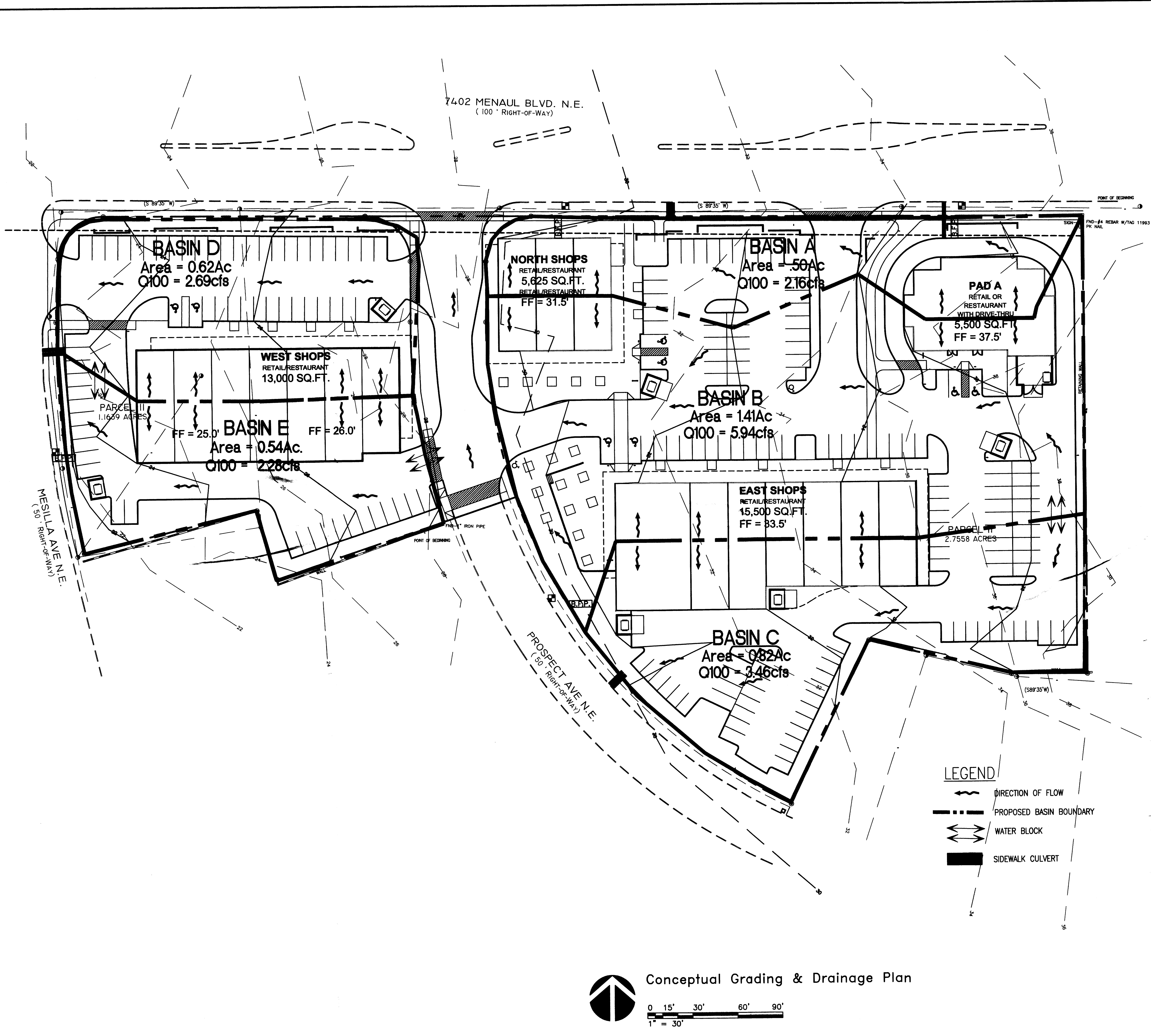
### Ground Covers

SYMBOL	QUANTITY	INSTALLED SIZE	MATURE SIZE	WATER USE	BOTANICAL NAME / COMMON NAME
(Symbol)	1980 s.f. (V.I.F.)	12" o.c.	8h x 24w	L 1@2gph	Artemisia tridentata 'Seaform' Seaform Sage (E)
(Symbol)	2202 s.f. (V.I.F.)	18" o.c.	12h x 12w	M 1@2gph	Festuca glauca 'Boulder Blue' Boulder Blue Fescue (D)
(Symbol)	2115 s.f. (V.I.F.)	12" o.c.	5h x 5w	L 1@2gph	Hemerocallis arifolia Turf-Land Party Sue (E)

**LANDSCAPE SITE PLAN**  
SCALE: 1"=30'-0"



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 Plot Time: 10:00 am



VICINITY MAP H-19

**DRAINAGE ANALYSIS**

**PROJECT DESCRIPTION:**  
 THE PROJECT SITE, FORMERLY ROLAND NURSERY, IS LOCATED AT 7402 MENAUL BLVD. N.E. THE NURSERY OPERATED FOR APPROX. 40 YEARS AND CLOSED OPERATIONS IN 2006. CURRENTLY, THE BUILDINGS AND MOST OF THE SITE PAVING HAVE BEEN REMOVED FROM THE 2 PARCELS THAT ARE SEPARATED BY PROSPECT AVE. N.E. THE EASTERN SITE (2.76AC) IS BOUND BY MENAUL BLVD. ON THE NORTH, PROSPECT AVE. TO THE WEST, AND TO THE EAST AND A RESIDENTIAL SUBDIVISION TO THE SOUTH. THE WEST PROPERTY IS BOUND BY MENAUL BLVD. TO THE NORTH, PROSPECT AVE. TO THE EAST, MESILLA AVE. TO THE WEST AND A RESIDENTIAL SUBDIVISION TO THE SOUTH.

**EXISTING CONDITIONS:**  
 THE EXISTING HYDROLOGY FILE NUMBERS WERE MISSING FROM THE COA HYDROLOGY DEPT. THE MISSING FILES WERE H19-005 & H19-006 AND WERE PREPARED BY FRANK LOVELLOY IN 1990 AND 1994. THESE FILES CONTAINED THE GRADING & DRAINAGE PLANS FOR THE DEVELOPMENT OF THE EAST & WEST PROPERTIES. ON JANUARY 17, 2008, I SPOKE WITH FRANK LOVELLOY, PE WHO INFORMED ME THAT HE DID NOT HAVE COPIES OF THE GRADING & DRAINAGE PLANS THAT HE PREPARED AS MENTIONED ABOVE. THE SITES HAVE BEEN DEMOLISHED.

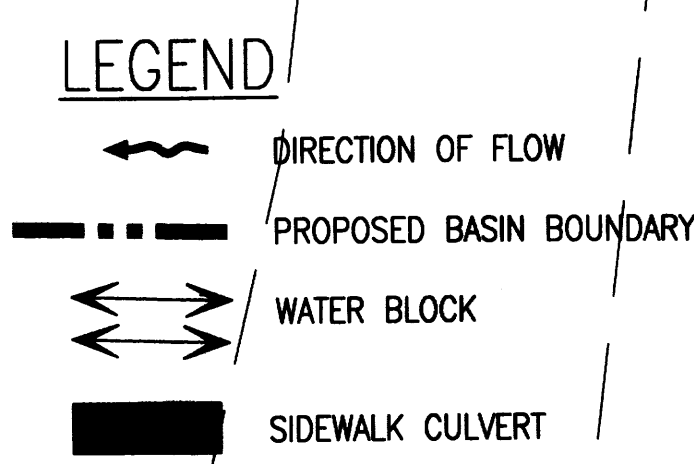
UPON NOTIFYING ERIC BINGHAM (COA HYDROLOGY) ABOUT THE MISSING FILES, ON JANUARY 22, 2008, MR. BINGHAM CONFIRMED THAT THE FORMER NURSERY SITE'S DRAINAGE BASIN WAS SMALL IN COMPARISON TO THE ENTIRE BASIN THAT IT DRAINS INTO AND THAT POUNDING OF THE DEVELOPED FLOWS WAS NOT NECESSARY. THEREFORE, OTHER THAN LOCAL "WATER HARVESTING" OF PORTIONS OF DEVELOPED STORM WATER FOR LANDSCAPING, THE SITE WILL FREE DISCHARGE INTO THE ADJACENT MENAUL BLVD., MESILLA AVE. AND PROSPECT AVE. RIGHT-OF-WAY.

ACCORDING TO THE AAS MAP FOR ZONE ATLAS H-19, THE EASTERN SITE (EAST PARCEL: 2.76 ACRES) CURRENTLY DRAINS FROM EAST TO WEST INTO THE PROSPECT AVE. RIGHT-OF-WAY AT AN AVERAGE SLOPE OF APPROX. 2% AND THEN DRAINS NORTH INTO THE MENAUL BLVD. STORM DRAIN. THE WESTERN SITE (WEST PARCEL: 1.16 ACRES) ALSO DRAINS FROM EAST TO WEST INTO THE MESILLA AVE. RIGHT-OF-WAY AT AN AVERAGE SLOPE OF APPROX. 2.5%. AND THEN DRAINS NORTH INTO THE MENAUL STORM DRAIN SYSTEM. THE SITES CURRENTLY EXPERIENCE NO OFFSITE FLOWS. THE SITE IS NOT LOCATED IN OR IS ADJACENT TO A FLOOD ZONE AS INDICATED ON FIRM MAPS 352 & 356. AN APPROXIMATION OF THE PREVIOUS LAND TREATMENT OF THE SITES RELATING TO THE PREVIOUS BUILDINGS AND HARDSCAPE NETS THE FOLLOWING: EAST & WEST SITES TREATMENT IS 20% TREATMENT D - 75% EAST PARCEL. IT HAS AN EXISTING DISCHARGE RATE OF 11.303FS AND WEST PARCEL. IT HAS AN EXISTING DISCHARGE RATE OF 4.702FS. THE COMBINED EXISTING DISCHARGE IS 16.1 CFS.

**PROPOSED CONDITIONS:**  
 THE MENAUL & PROSPECT RETAIL CENTER WILL BE DEVELOPED WITH A PARTIAL VARIATION OF THE PROSPECT AVE. RIGHT-OF-WAY THAT CURRENTLY DIVIDES THE EASTERN AND WESTERN SITES. UPON THE VARIATION OF THE PROSPECT RIGHT-OF-WAY, A PUBLIC UTILITY EASEMENT WILL REMAIN FOR THE PRESENCE OF THE EXISTING PUBLIC UTILITIES.  
 NEW RETAIL SHOPS AND TWO INDIVIDUAL BUILDINGS ARE PROPOSED FOR THE SITES AS SHOWN ON THE SITE PLAN.

AS SHOWN ON THIS PLAN, THE SITES HAVE BEEN DIVIDED INTO 5 BASINS. BASIN A (0.50 ACRES) WILL DRAIN APPROX. 2.16CFS OF DEVELOPED RUNOFF DIRECTLY NORTH INTO THE MENAUL RIGHT-OF-WAY THROUGH SIDEWALK CULVERTS AND THROUGH THE PROPOSED ENTRANCE DRIVE AT MENAUL BLVD. BASIN B (1.41 ACRES) WILL DRAIN APPROX. 5.94CFS FROM EAST TO WEST AND INTO PROSPECT AVE. AND CONTINUE NORTH INTO THE MENAUL RIGHT-OF-WAY AND STORM DRAIN SYSTEM. BASIN C (0.82 ACRES) WILL DRAIN APPROX. 3.46CFS FROM EAST TO WEST AND INTO PROSPECT AVE. VIA SIDEWALK CULVERTS AND CONTINUE NORTH INTO THE MENAUL RIGHT-OF-WAY AND STORM DRAIN SYSTEM. BASIN D (0.62 ACRES) WILL DRAIN APPROX. 2.69CFS OF DEVELOPED RUNOFF DIRECTLY WEST INTO THE MESILLA AVE. RIGHT-OF-WAY AND THEN NORTH INTO THE MENAUL RIGHT-OF-WAY THROUGH THE PROPOSED DRIVEWAY ENTRANCE. BASIN E (0.54 ACRES) WILL DRAIN APPROX. 2.28CFS FROM EAST TO WEST AND INTO THE MESILLA AVE. RIGHT-OF-WAY VIA SIDEWALK CULVERTS AND CONTINUE NORTH INTO THE MENAUL BLVD. RIGHT-OF-WAY AND STORM DRAIN SYSTEM. THE VARIOUS PORTION OF THE PROSPECT AVE. RIGHT-OF-WAY WILL NOT IMPED THE EXISTING RUNOFF THAT DRAINS INTO PROSPECT AVE. AND WILL CONTINUE TO CONVEY THE DEVELOPED FLOWS FROM THE NEIGHBORHOOD LOCATED SOUTH AND SOUTHWEST OF THE PROJECT SITE. THE TOTAL 100 YR. 6 HR EVENT RUNOFF FROM BASINS A, B, C, D & E IS 16.530FS.

**CONCLUSIONS:**  
 THE MENAUL & PROSPECT RETAIL CENTER WILL ADD APPROXIMATELY 0.530FS OF ADDITIONAL RUNOFF IN COMPARISON OF THE APPROXIMATION OF THE PREVIOUS DEVELOPMENT VERSUS THE PROPOSED MENAUL & PROSPECT RETAIL CENTER DEVELOPMENT. THIS DIFFERENCE IN ADDED RUNOFF IS CONSIDERED NEGLIGIBLE.



Conceptual Grading & Drainage Plan

0 15' 30' 60' 90'  
 1" = 30'

SCALE: 1"=30'

REVISIONS

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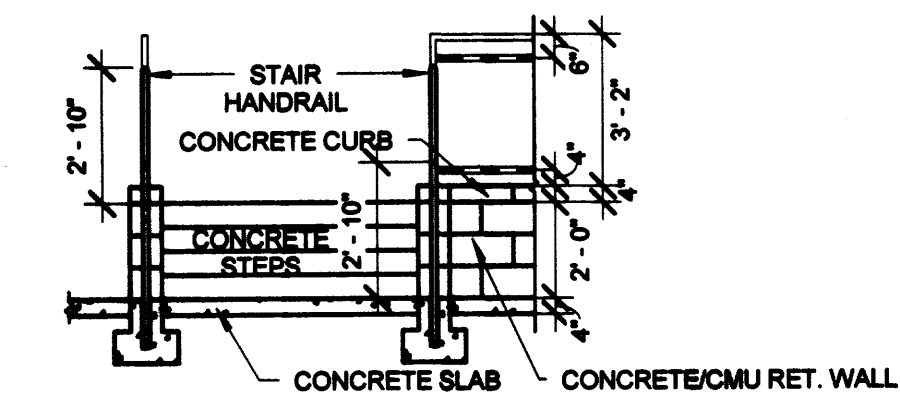
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CONSULTANTS

GENERAL SHEET NOTES



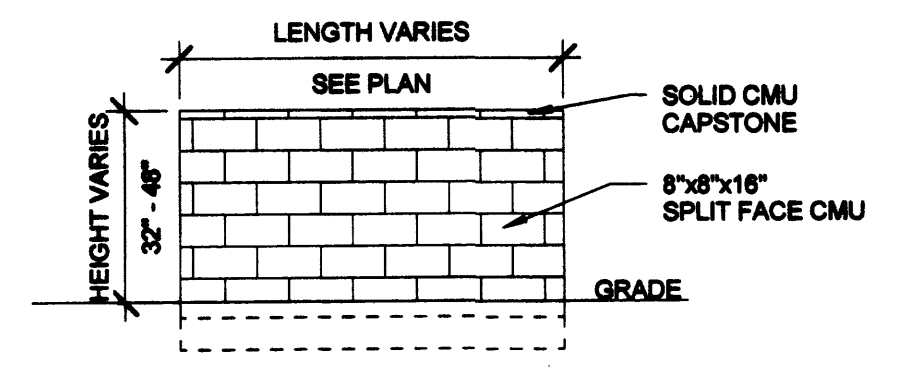
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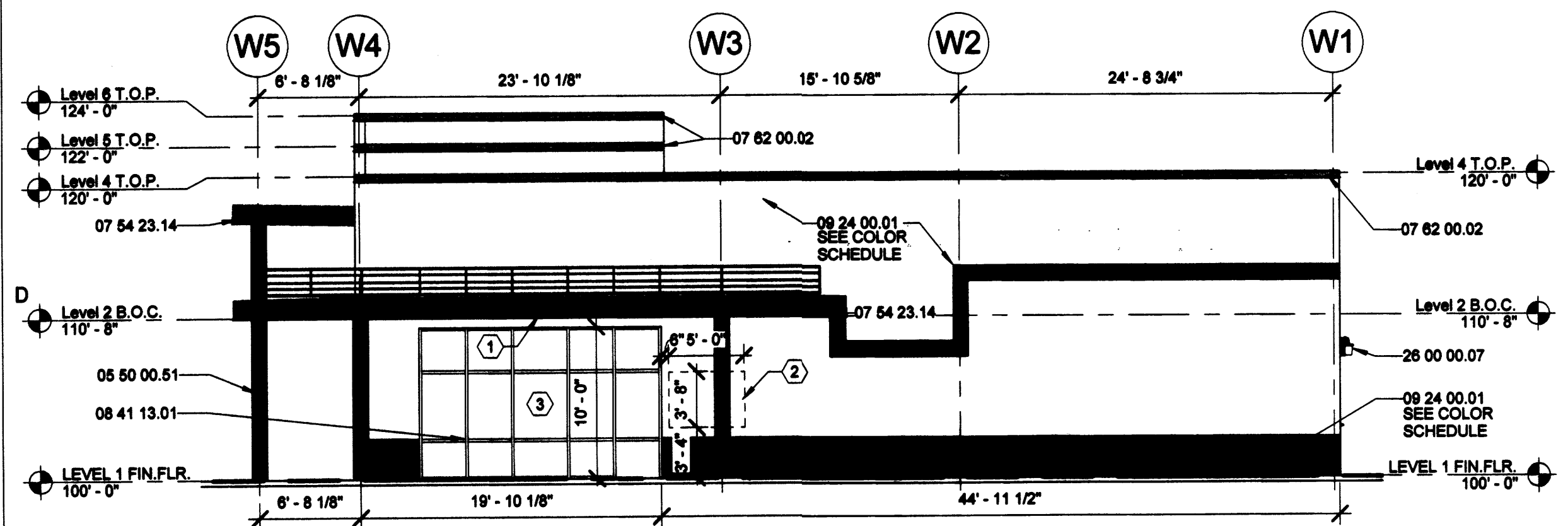
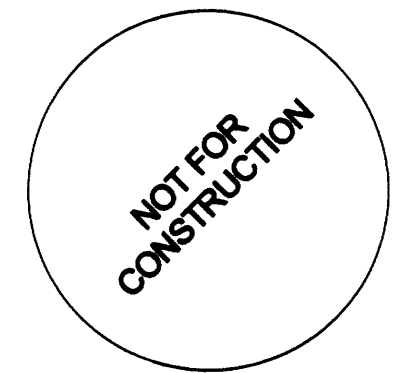
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- 07 54 23.14 PREMANUFACTURED FLASHING
- 07 62 00.02 CAP FLASHING/JCOPIING
- 07 62 00.03 GALV SHEET METAL SCUPPER
- 08 11 00.04 INSULATED HOLLOW METAL DOOR
- 08 41 13.01 ALUM STOREFRONT SYSTEM
- 09 24 00.01 7/8" 3-COAT STUCCO SYSTEM
- 26 00 00.07 LIGHTING FIXTURE

SHEET KEYNOTES

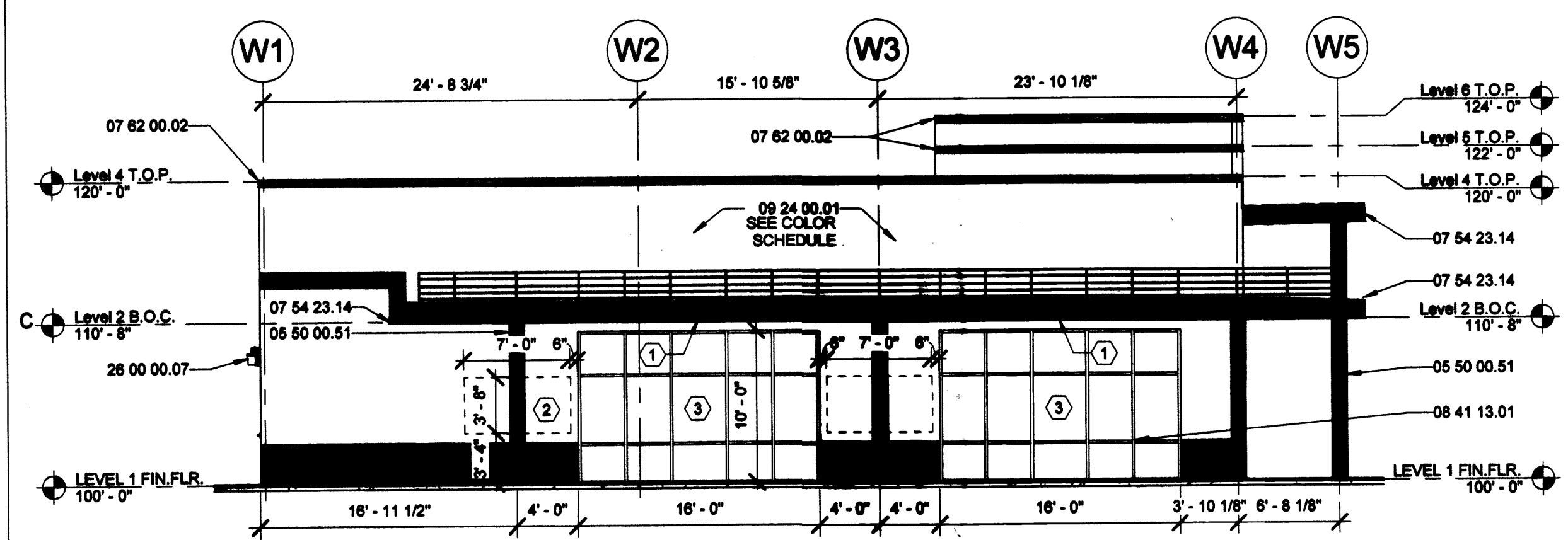
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2. POTENTIAL PARAPET SIGN WALL LOCATION. SEE GUIDELINES FOR SPECIFIC REQUIREMENTS.
3. POTENTIAL DOOR LOCATION.



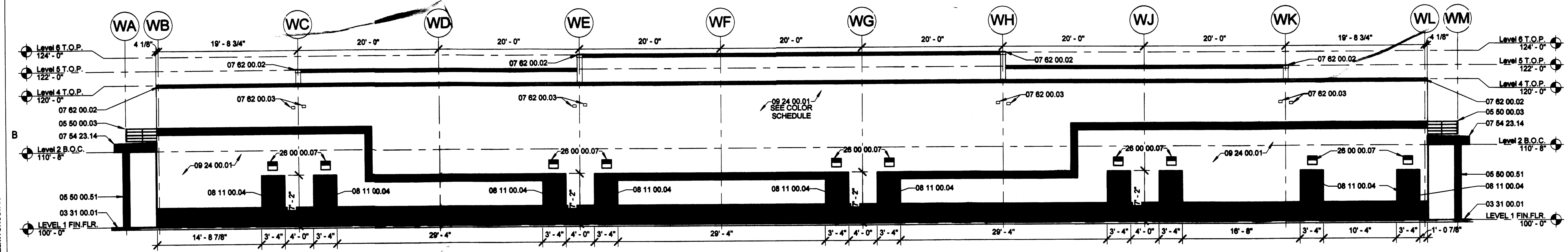
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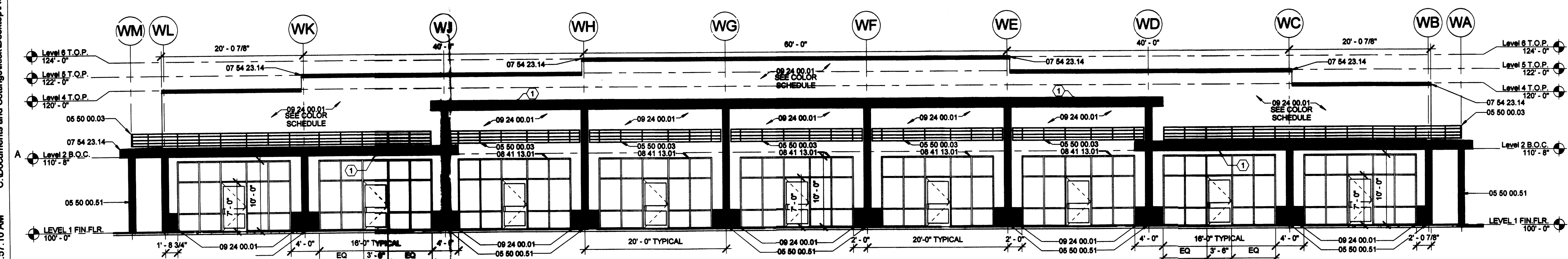
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B1 WEST SHOPS - SOUTH ELEVATION  
Scale: 1/8" = 1'-0"



A1 WEST SHOPS - NORTH ELEVATION  
Scale: 1/8" = 1'-0"

PROJECT

MENAU / PROSPECT  
RETAIL CENTER

SANDIA FOUNDATION

ADDRESS  
Albuquerque, New Mexico

B

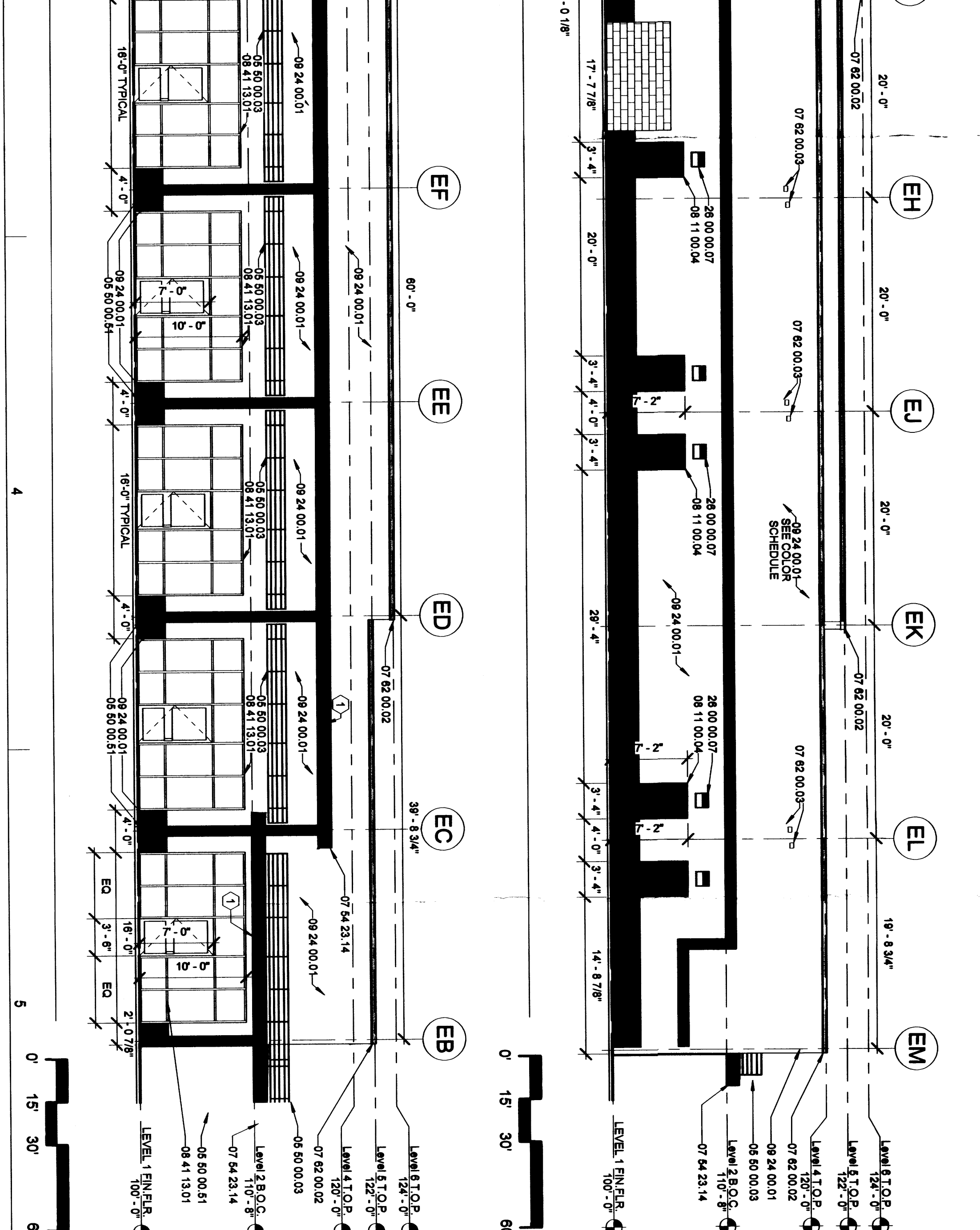
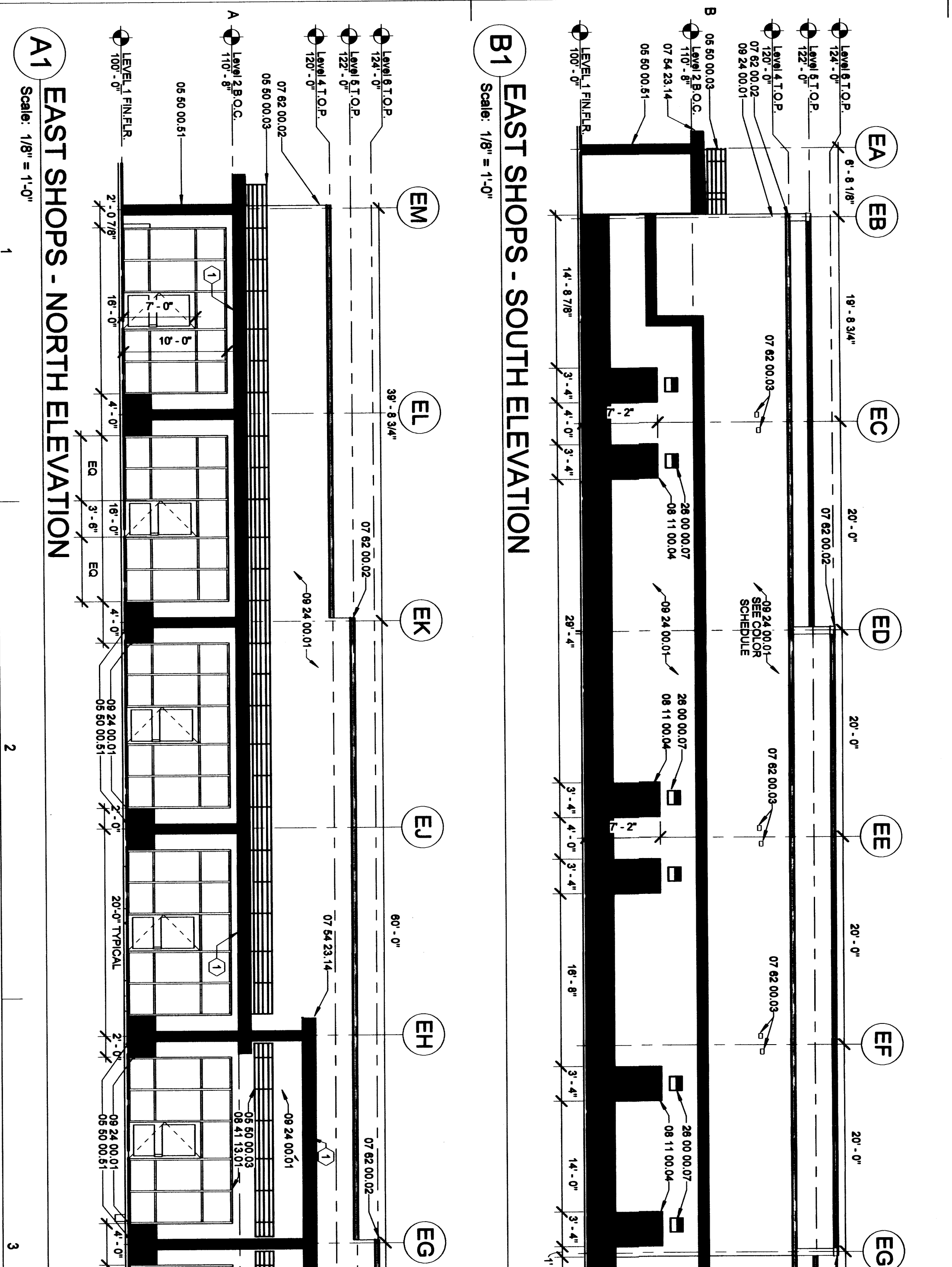
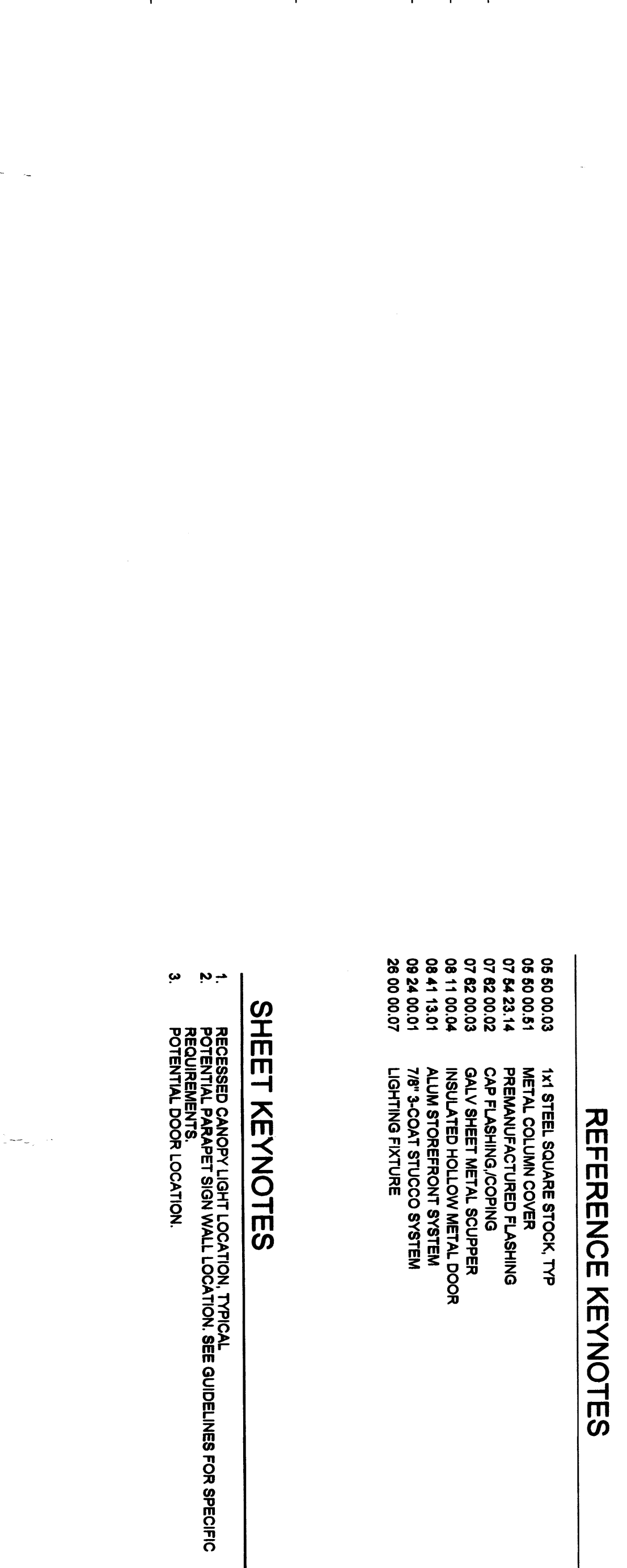
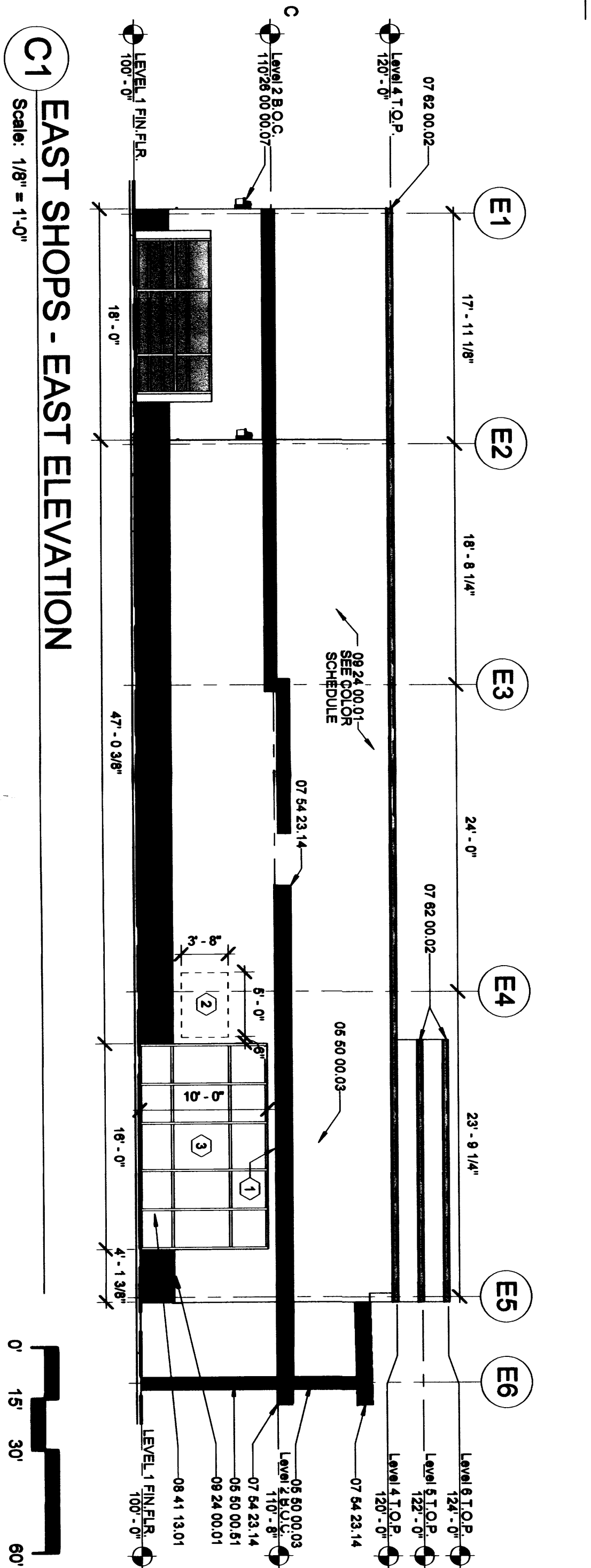
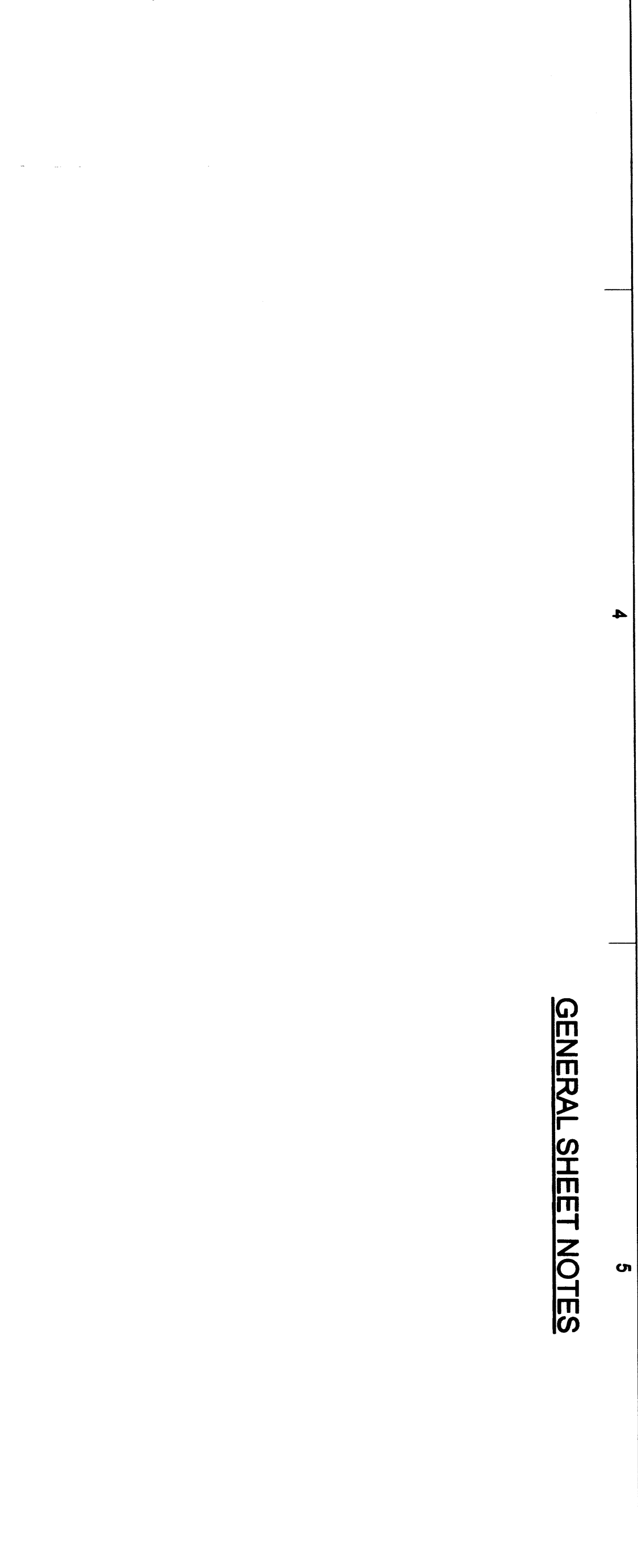
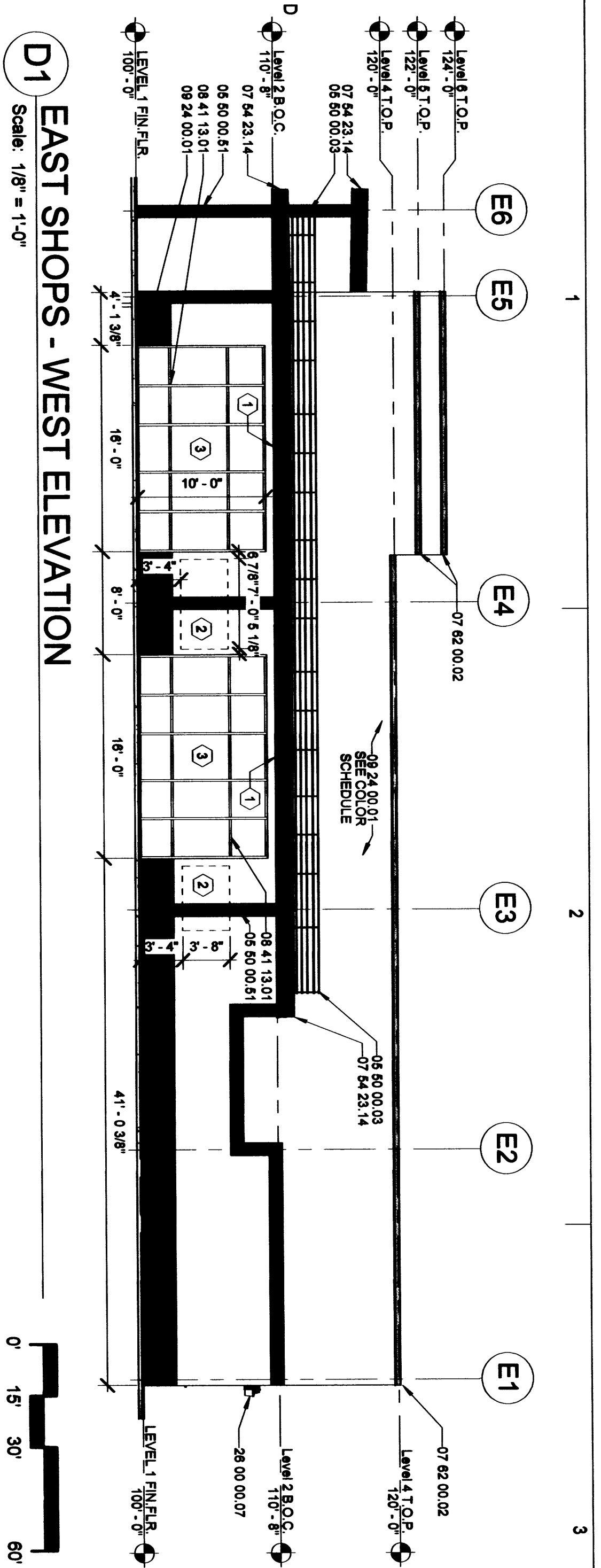
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	Project Number	920.00
	Project File	
	Drawn By	Staff
	Checked By	Staff
	Copyright ©	VAN H. GILBERT ARCHITECT PC

SHEET TITLE

BUILDING  
ELEVATIONS - WEST  
SHOPS

4 (A-201)  
SHEET OF

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GENERAL SHEET NOTES

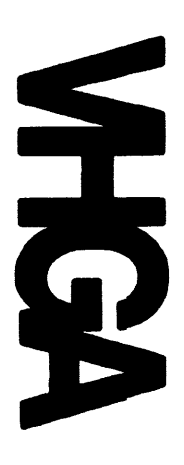
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- 07 62 00 02 CAP FLASHING/COPING
- 07 62 00 03 GALV SHEET METAL SCUPPER
- 08 11 00 04 INSULATED HOLLOW METAL DOOR
- 08 41 13 01 ALUM STOREFRONT SYSTEM
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- 28 00 00 07 LIGHTING FIXTURE

REFERENCE KEYNOTES

SHEET KEYNOTES

1. RECESSED CANOPY LIGHT LOCATION, TYPICAL
2. SHEET METAL SIGN WALL LOCATION, SEE GUIDELINES FOR SPECIFIC REQUIREMENTS
3. POTENTIAL DOOR LOCATION.

Van H. Gilbert Architect PC  
ARCHITECTURE • INTERIORS • PLANNING



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CONSULTANTS

NOT FOR CONSTRUCTION

PROJECT  
MENAUL / PROSPECT  
RETAIL CENTER

SANDIA FOUNDATION

ADDRESS  
Albuquerque, New Mexico

REV.	DATE	DESCRIPTION	BY	CHKD.

Project Number: September 16, 2008  
Date: 9/20/08  
Project File: 920.00  
Drawn By: Author  
Checked By: Checker  
Copyright © VAN H. GILBERT ARCHITECT PC

SHEET TITLE  
BUILDING  
ELEVATIONS - EAST  
SHOPS

SHEET 5 (A-202)  
OF

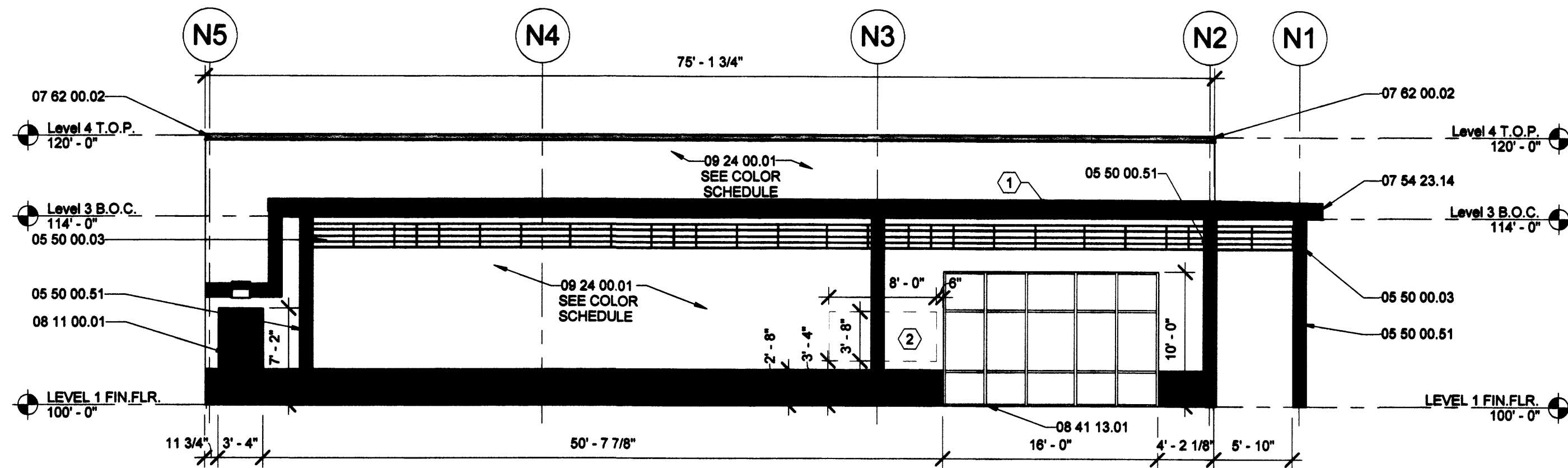
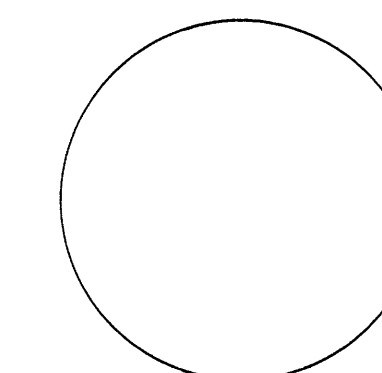
GENERAL SHEET NOTES

REFERENCE KEYNOTES

- 05 50 00.03 1x1 STEEL SQUARE STOCK, TYP
- 05 50 00.51 METAL COLUMN COVER
- 07 54 23.14 PREMANUFACTURED FLASHING
- 07 62 00.02 CAP FLASHING/COPING
- 08 11 00.01 HOLLOW METAL DOOR
- 08 41 13.01 ALUM STOREFRONT SYSTEM
- 09 24 00.01 7/8" 3-COAT STUCCO SYSTEM

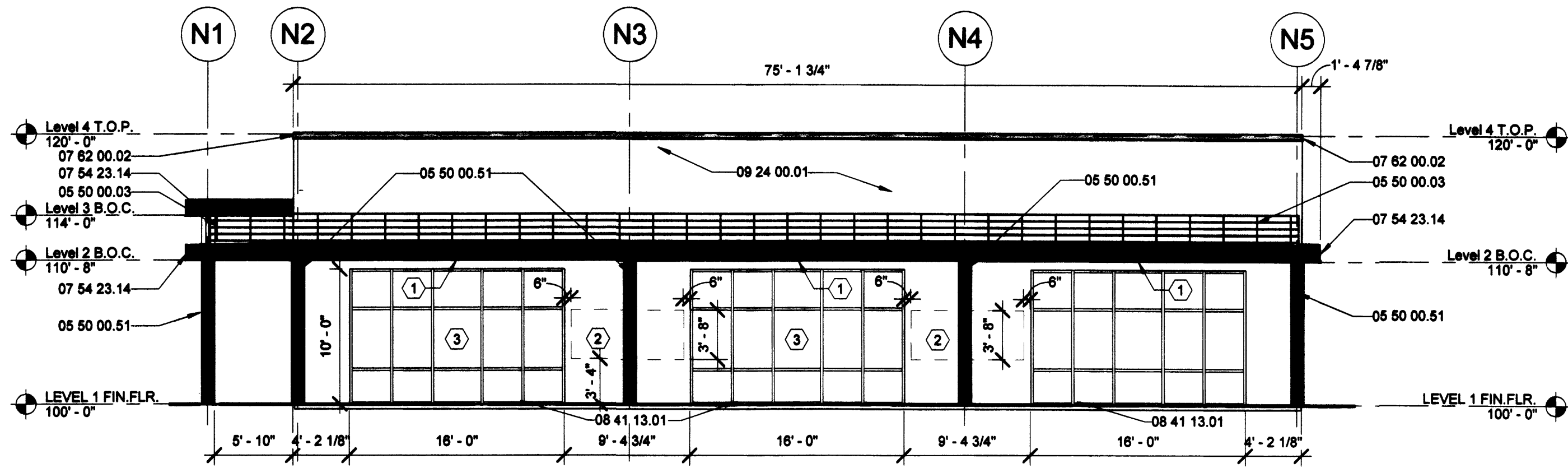
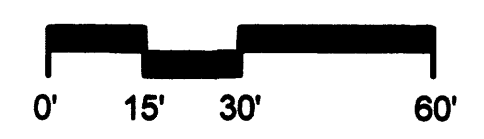
SHEET KEYNOTES

1. RECESSED CANOPY LIGHT LOCATION, TYPICAL
2. POTENTIAL PARAPET SIGN WALL LOCATION. SEE GUIDELINES FOR SPECIFIC REQUIREMENTS.
3. POTENTIAL DOOR LOCATION.



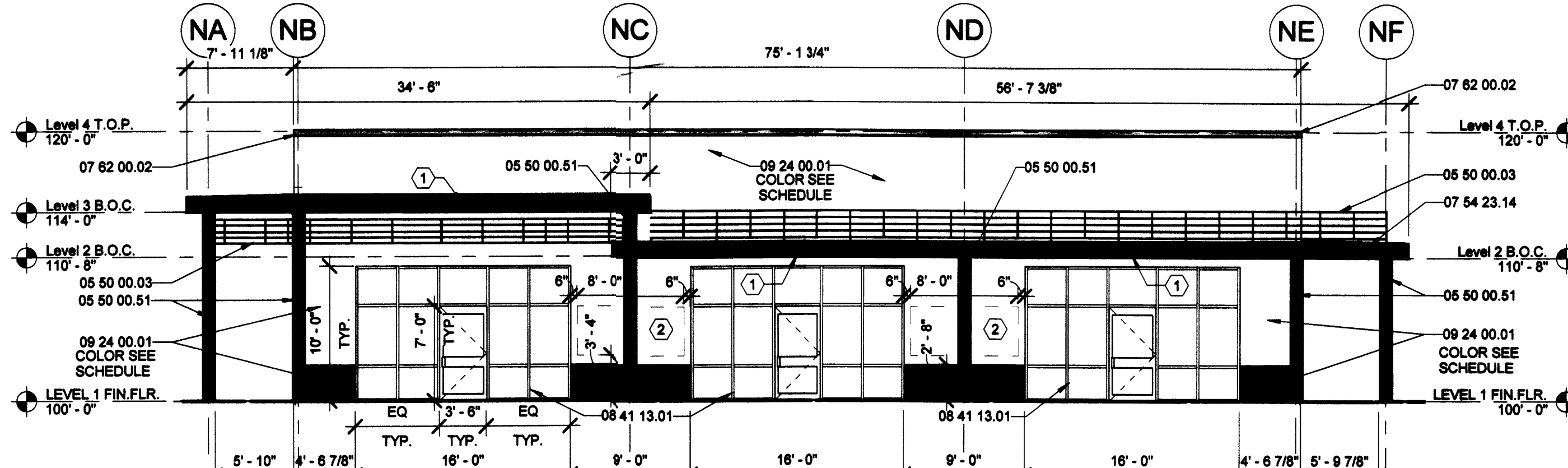
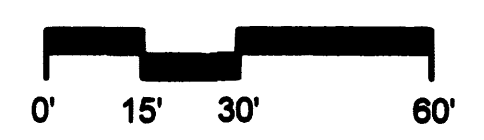
**D1 NORTH SHOPS - WEST ELEVATION**

Scale: 1/8" = 1'-0"



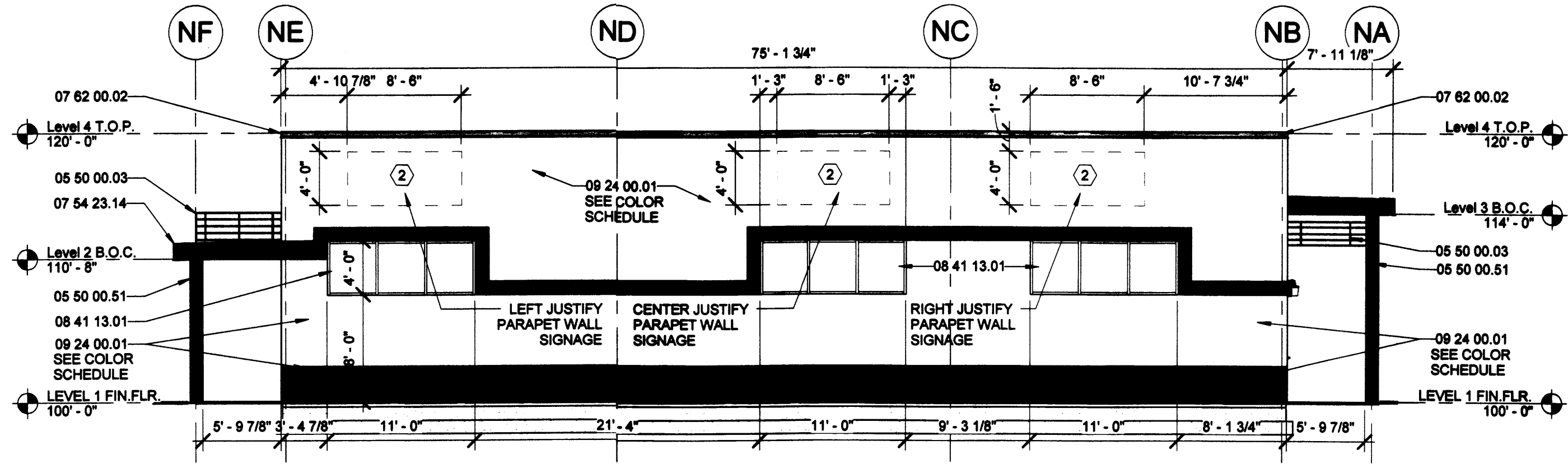
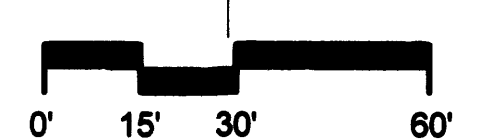
**C1 NORTH SHOPS - EAST ELEVATION**

Scale: 1/8" = 1'-0"



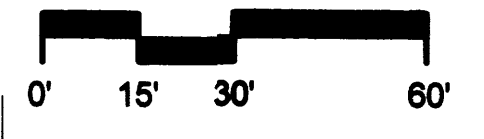
**B1 NORTH SHOPS - SOUTH ELEVATIONS**

Scale: 1/8" = 1'-0"



**A1 NORTH SHOPS - NORTH ELEVATIONS**

Scale: 1/8" = 1'-0"



PROJECT  
**MENAU / PROSPECT  
RETAIL CENTER**  
  
**SANDIA FOUNDATION**  
  
ADDRESS  
Albuquerque, New Mexico

Mark	Date	Description
	September 16, 2008	
Project Number	920.00	
Project File		
Drawn By	Author	
Checked By	Checker	
Copyright ©	VAN H. GILBERT ARCHITECT PC	

SHEET TITLE  
**BUILDING  
ELEVATIONS-NORTH  
SHOPS**  
  
**6 (A-203)**

SHEET OF



2428 Baylor Dr SE Albuquerque, NM 87106  
Tel 505-247-9955 Fax 505-247-1826  
E-mail info@vhgarchitect.com  
Web Site www.vhgarchitect.com

GENERAL SHEET NOTES

SIGNAGE DESIGN GUIDELINES

A. GENERAL

1. ALL SIGNAGE AND SIGNAGE LIGHTING SHALL BE IN CONFORMANCE WITH THE STATE OF NEW MEXICO NIGHT SKY PROTECTION ACT, CITY OF ALBUQUERQUE ZONING CODE GENERAL SIGN REGULATIONS, AND THE C-2 REGULATIONS OR THESE SIGNAGE DESIGN GUIDELINES, WHICHEVER IS MOST RESTRICTIVE.
2. ONE BUILDING MOUNTED SIGN, INCLUDING PARAPET WALL OR MARQUEE SIGN PER TENANT STREET FRONTAGE SHALL BE PERMITTED. BLADE SIGN SHALL BE PERMITTED.
3. OFF-PREMISE SIGNS ARE PROHIBITED.
4. AUDIBLE SIGNS OR DEVICES IN CONJUNCTION WITH SIGNAGE SHALL NOT BE PERMITTED.
5. ROTATING, PULSATING OR OSCILLATING BEACONS OF LIGHT, INCLUDING SEARCHLIGHTS USED FOR COMMERCIAL OR PROMOTIONAL PURPOSES SHALL NOT BE PERMITTED.
6. A SIGN SHALL NOT OVERHANG INTO THE PUBLIC RIGHT-OF-WAY MORE THAN FIVE FEET.
7. SIGNS SHALL NOT BE LOCATED WITHIN A CLEAR SIGHT TRIANGLE.
8. NO PORTION OF AN ILLUMINATED SIGN SHALL HAVE A LUMINANCE OF GREATER THAN 320 FOOTLAMBERTS AT NIGHT.
9. SIGNAGE FACING IN THE DIRECTION OF AN EXISTING RESIDENTIAL USE OR WITHIN 40' OF A RESIDENTIAL ZONE SHALL NOT BE ILLUMINATED UNLESS OTHERWISE SHIELDED BY A WALL, BUILDING, OR OTHER ACCEPTABLE NON-TRANSPARENT OBJECT.

B. FREE-STANDING SITE SIGNS

1. A TOTAL OF TWO FREE-STANDING SITE SIGNS, ONE PRIMARY SIGN, AND ONE SECONDARY SIGN (REFERENCE RELATED DRAWINGS THIS SHEET), WILL BE PROVIDED AT EAST AND WEST PORTIONS OF THE SITE. AREA OF EACH SIGN FACE SHALL BE LIMITED TO 60 S.F.
2. NO LIGHT BULB USED TO INDICATE TIME SHALL HAVE A RATING GREATER THAN 40 WATTS. NO REFLECTORS SHALL BE USED IN CONJUNCTION WITH SUCH BULBS.

C. BUILDING MOUNTED TENANT SIGNS

1. ALL BUILDING-MOUNTED SIGNAGE SHALL BE APPROVED BY OWNER OR OWNER'S DESIGNATED REPRESENTATIVE PRIOR TO FABRICATION AND/OR INSTALLATION. SIGNS FOR WHICH PRIOR APPROVAL HAS NOT BEEN OBTAINED MAY BE REMOVED BY OWNER. TENANTS WILL BE RESPONSIBLE FOR ALL CHARGES ASSOCIATED WITH BUILDING REPAIRS NEEDED FROM INAPPROPRIATELY MOUNTED SIGNAGE.
2. BUILDING MOUNTED SIGNAGE SHALL BE LIMITED TO THE FOLLOWING TYPES, QUANTITIES AND LOCATIONS (REFERENCE ASSOCIATED DIAGRAMS):

a. ONE "MARQUEE SIGN" PER TENANT FAÇADE (WHERE NO PARAPET WALL SIGN IS PROVIDED) ATTACHED TO SIGNAGE STRUCTURE (WHERE SIGNAGE STRUCTURE ALLOWS):

- i. MARQUEE SIGNAGE SHALL CONSIST OF INDIVIDUAL CHANNEL LETTERS. MARQUEE SIGNS MAY BE INTERNALLY OR EXTERNALLY ILLUMINATED PROVIDED THAT THEY COMPLY WITH GUIDELINE A.8. ABOVE.
- ii. CHANNEL LETTERS SHALL NOT EXTEND BEYOND SIGNAGE STRUCTURE. OVERALL HEIGHT OF CHANNEL LETTER SIGNAGE SHALL NOT EXCEED 30" IN HEIGHT AND SHALL BE LIMITED TO TWO LINES OF TEXT.
- iii. MARQUEE SIGNS SHALL BE LIMITED TO 75% OF THE TENANT FAÇADE WIDTH TO A MAXIMUM OF 75' WIDTH. MARQUEE SIGNS SHALL BE CENTERED ON SUCH WIDTH UNLESS OTHERWISE APPROVED BY OWNER OR OWNER'S DESIGNATED REPRESENTATIVE.

b. ONE "PARAPET WALL SIGN" PER TENANT STREET FRONTAGE (WHERE NO MARQUEE SIGN IS PROVIDED) SHALL BE ALLOWABLE ONLY WHERE INDICATED ON SPECIFIC BUILDING ELEVATIONS:

- i. PARAPET WALL SIGNS SHALL CONSIST OF INDIVIDUAL CHANNEL LETTERS, INTERNALLY OR EXTERNALLY ILLUMINATED PROVIDED THAT THEY COMPLY WITH GUIDELINE A.8. ABOVE.
- ii. ALLOWABLE PARAPET WALL SIGN LOCATIONS AND SIGN FACE AREAS SHALL BE WITHIN AREAS INDICATED ON THE BUILDING ELEVATIONS.
- iii. SIGNAGE AREA SHALL BE A MAXIMUM OF 40 S.F. WITH A MAXIMUM OF THREE LINES OF TEXT. LETTER SIZE SHALL BE A MAXIMUM OF 14" HIGH.

c. ONE "BLADE SIGN" PER PUBLIC ENTRANCE:

- i. BLADE SIGNS SHALL CONSIST OF CEILING-HUNG SIGNS ADJACENT AND PERPENDICULAR TO AN ENTRY WHERE POSSIBLE TO LOCATE 9'-0" MINIMUM ABOVE WALKWAY (SEE BLADE SIGN DIAGRAM).

d. ONE "WALL SIGN" PER PUBLIC ENTRANCE:

- i. WALL SIGNS SHALL NOT BE MOUNTED LESS THAN 3'-4" ABOVE FINISH FLOOR. TOP OF WALL SIGNS SHALL BE 7'-4" ABOVE FINISH FLOOR (SEE CANOPY SIGN DIAGRAM).
- ii. WALL SIGNS SHALL BE MOUNTED 6" FROM, JUSTIFIED TO ADJACENT ENTRY AND ONLY WITHIN LOCATIONS DESIGNATED ON BUILDING ELEVATIONS (SEE DETAIL).
- iii. SIGN FACE AREA SHALL NOT EXCEED 20 S.F. EACH.

D. DRIVE-THRU SIGNAGE

1. IN ADDITION TO THE BUILDING-MOUNTED TENANT SIGNS ALLOWED IN SECTION C. ABOVE, A DRIVE-THRU SHALL BE ALLOWED UP TO THREE ADDITIONAL FREE-STANDING OR WALL-MOUNTED MENU SIGNS NOT TO EXCEED A COMBINED TOTAL OF 180 S.F.

a. ALL DRIVE-THRU SIGNAGE SHALL BE APPROVED BY OWNER OR OWNER'S DESIGNATED REPRESENTATIVE PRIOR TO FABRICATION AND/OR INSTALLATION. SIGNS FOR WHICH PRIOR APPROVAL HAS NOT BEEN OBTAINED MAY BE REMOVED BY OWNER. TENANTS WILL BE RESPONSIBLE FOR ALL CHARGES ASSOCIATED WITH BUILDING AND/OR SITE REPAIRS NEEDED FROM INAPPROPRIATELY MOUNTED SIGNAGE.

b. FREE-STANDING DRIVE-THRU MENU SIGNS, INCLUDING ANY SUPPORTING STRUCTURE, SHALL BE A MAXIMUM OF 10' WIDE, AND 6' FROM THE ADJACENT GRADE (SEE MENU SIGN DIAGRAM).

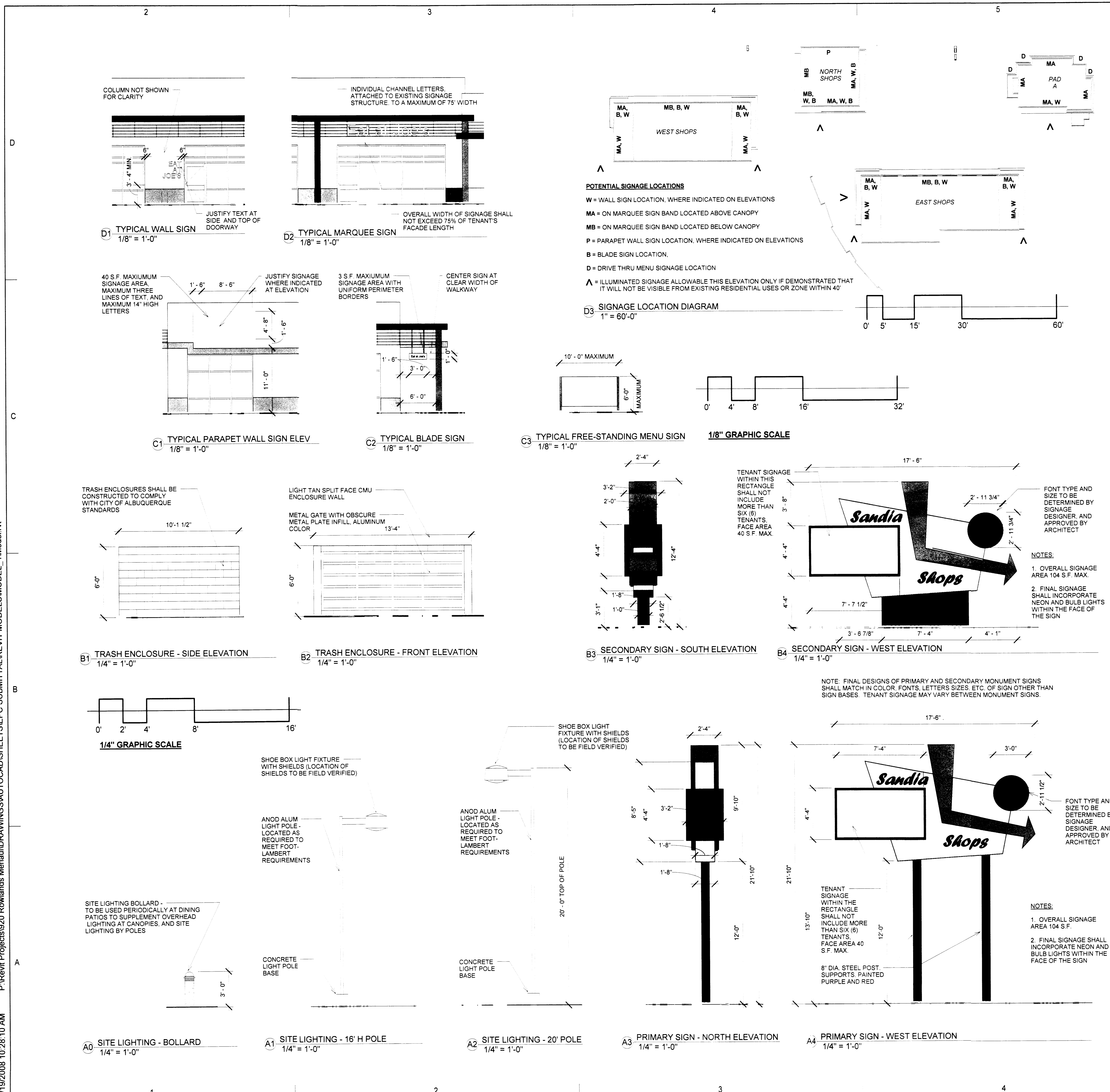
c. WALL MOUNTED MENU SIGNS SHALL BE LOCATED A MINIMUM OF 3'-4" ABOVE FINISH FLOOR AND A MAXIMUM OF 7'-4" ABOVE FINISH FLOOR (SEE WALL SIGN DIAGRAM).

CONSULTANTS

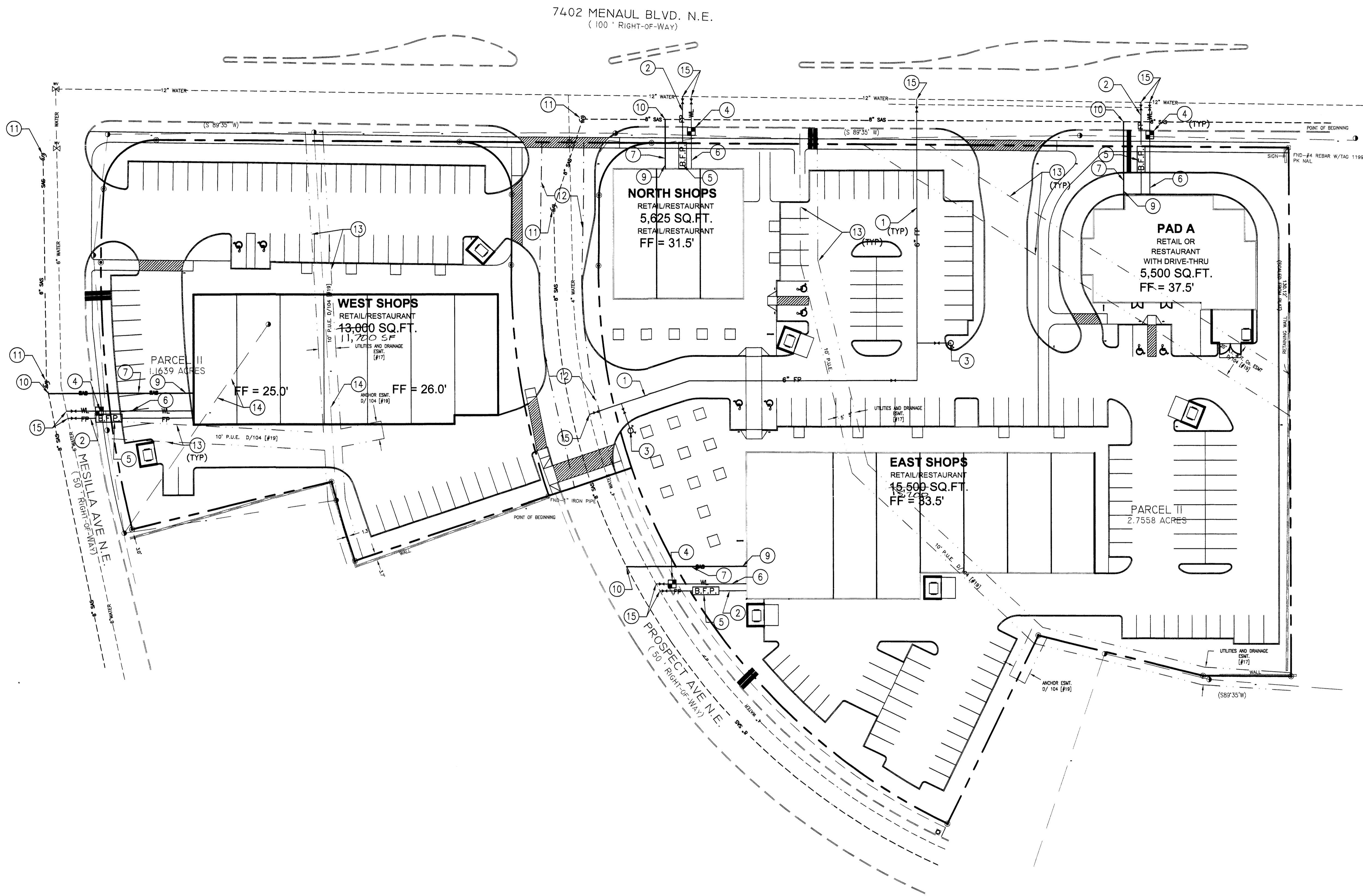
PROJECT  
Sandia Foundation  
Menaul Prospect Retail Center  
Menaul Boulevard NE  
Albuquerque, NM

Mark	Date	Description
Date	September 16, 2008	
Project Number	920.01	
Project File		
Drawn By	Author	
Checked By	Checker	
Copyright ©	VAN H. GILBERT ARCHITECT PC	

SHEET TITLE  
DETAILS



9/19/2008 10:28:10 AM P:\Revit\Projects\920 Rowlands Menaul\DRAWINGS\AUTOCAD\SHEETS\PC SUBMITTAL\REVIT MODELS\MODEL.rvt

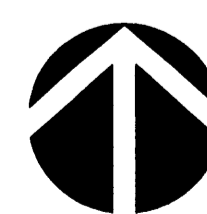


**KEYED NOTES:**

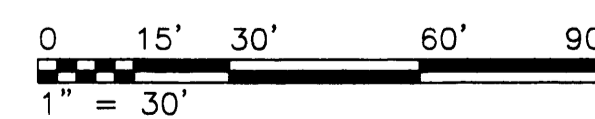
1. NEW PUBLIC WATER LINE
2. NEW FIRE LINE
3. NEW FIRE HYDRANT
4. NEW WATER METER
5. NEW BACKFLOW PREVENTOR
6. NEW WATER SERVICE LINE
7. NEW SANITARY SEWER SERVICE LINE
8. NEW SINGLE CLEAN OUT
9. NEW DOUBLE CLEAN-OUT
10. CONNECT TO SANITARY SEWER MAIN
11. CONNECT TO EXISTING SANITARY SEWER MANHOLE
12. RETAIN 24' WIDE PUBLIC WATER & SEWER EASEMENT WITH PARTIAL VACATION OF PROSPECT AVE
13. EXISTING EASEMENTS TO BE VACATED
14. EXISTING OVERHEAD ELECTRICAL TO BE RELOCATED
15. CONNECT TO EXISTING WATER MAIN

**LEGEND**

- WATER VALVE
- FIRE HYDRANT
- WATER METER
- B.F.P.** BACKFLOW PREVENTOR
- SINGLE CLEANOUT
- DOUBLE CLEANOUT
- SEWER MANHOLE
- SIDEWALK CULVERT



Conceptual Utility Plan



AFD PLANS CHECKING OFFICE  
 924-3611  
 APPROVED/DISAPPROVED  
 HYDRANT(S) ONLY

SIGNATURE & DATE

SCALE: 1"=30'

REVISIONS

1.
2.
3.
4.
5.
6.
7.

ENGINEER: GJA

DRAFTSMAN: GJA

CHECKED BY: GJA

DATE  
 05-5-08

GENERAL SHEET NOTES

Van H. Gilbert Architect PC  
ARCHITECTURE • INTERIORS • PLANNING



2428 Baylor Dr SE Albuquerque, NM 87106  
Tel 505-247-9955 Fax 505-247-1826  
E-mail info@vhgarchitect.com  
Web Site www.vhgarchitect.com

CONSULTANTS

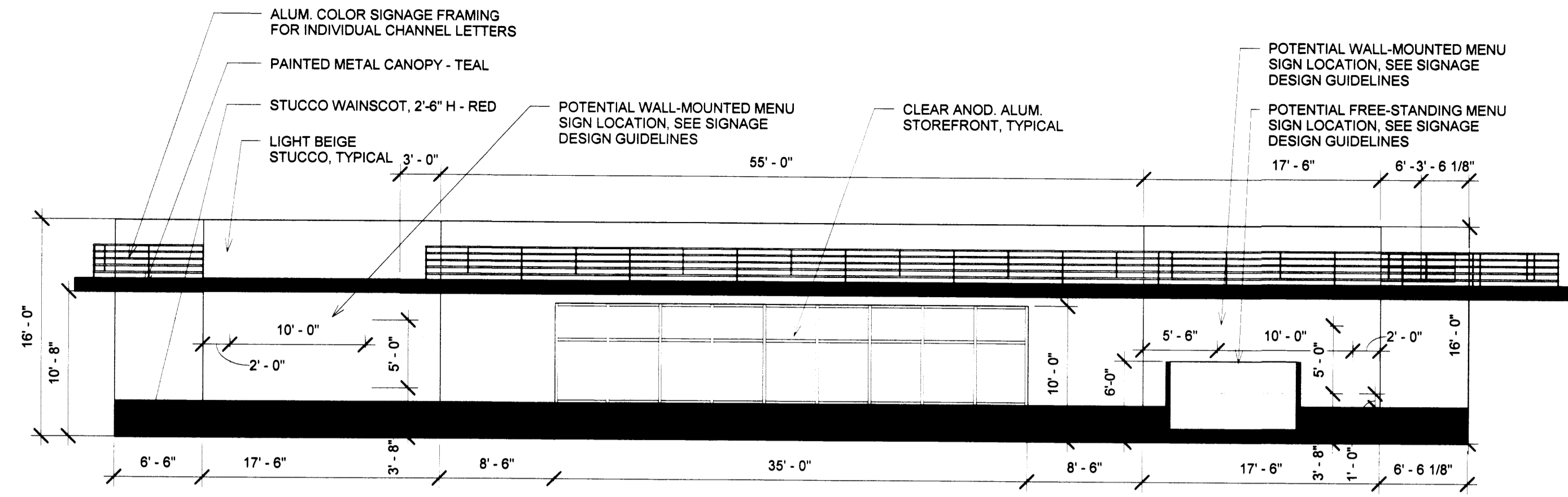
PROJECT

Sandia Foundation  
Menaul Prospect Retail Center  
Menaul Boulevard NE  
Albuquerque, NM

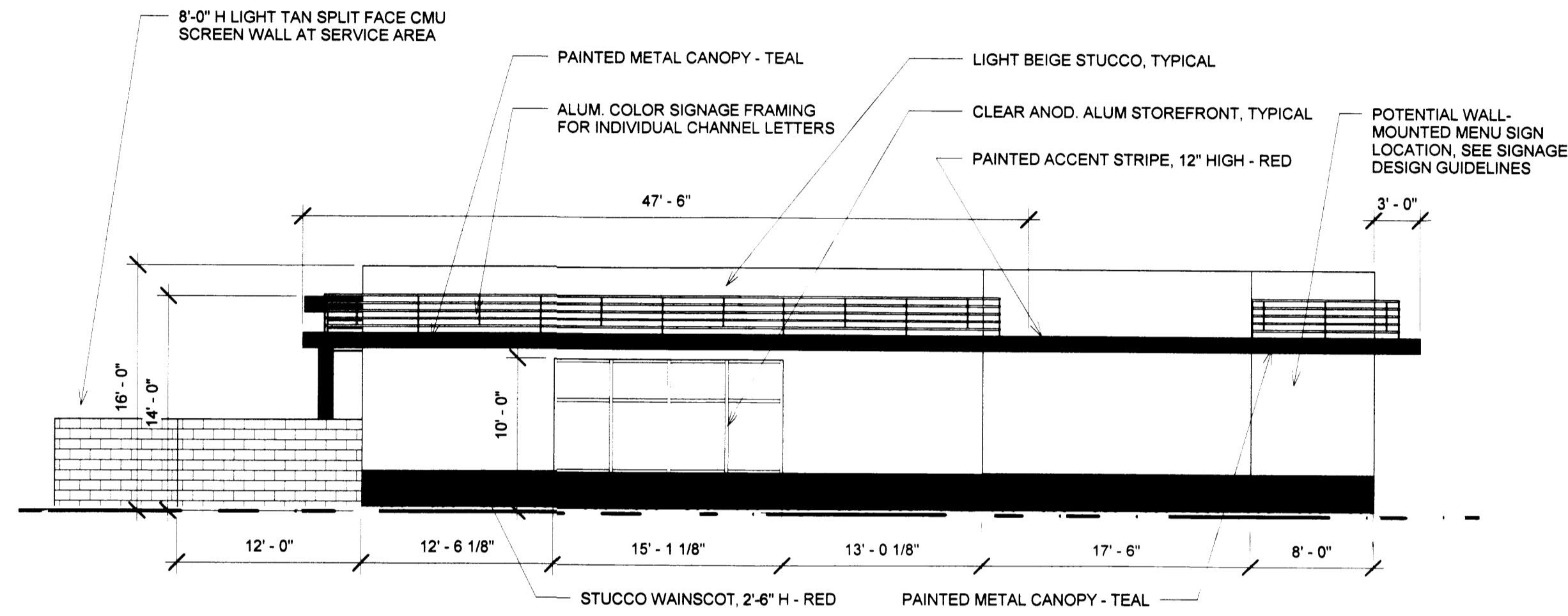
Mark	Date	Description
	September 16, 2008	
		Project Number 920.01
		Project File
		Drawn By Author
		Checked By Checker
		Copyright © VAN H. GILBERT ARCHITECT PC

SHEET TITLE

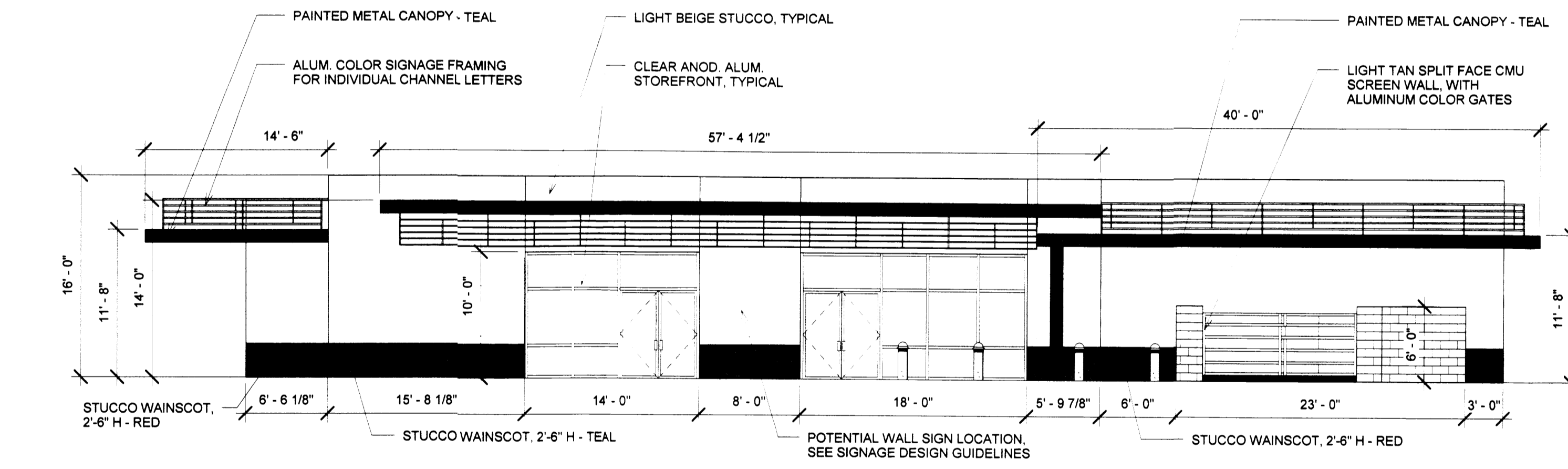
**BUILDING ELEVATIONS - PAD A**



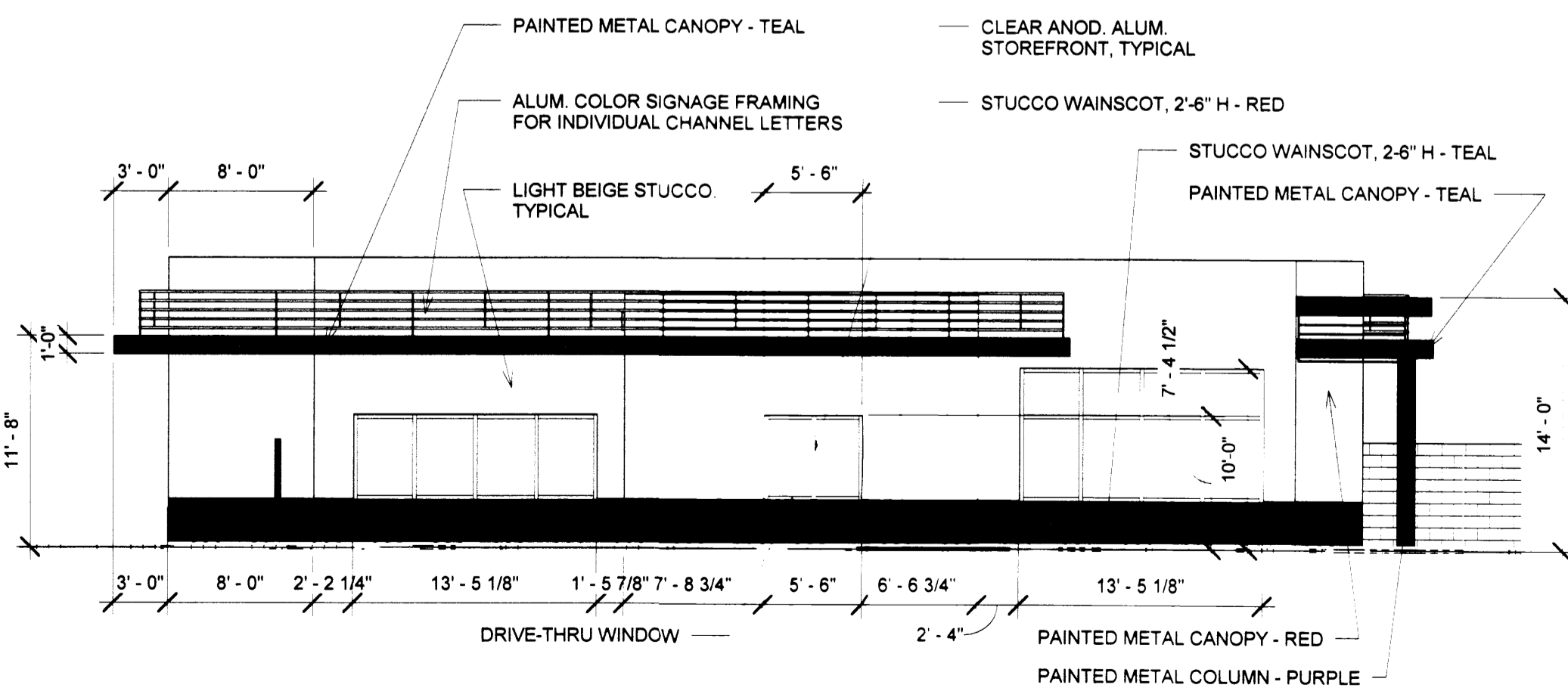
1 PAD A - NORTH ELEVATION  
1/8" = 1'-0"



2 PAD A - EAST ELEVATION  
1/8" = 1'-0"

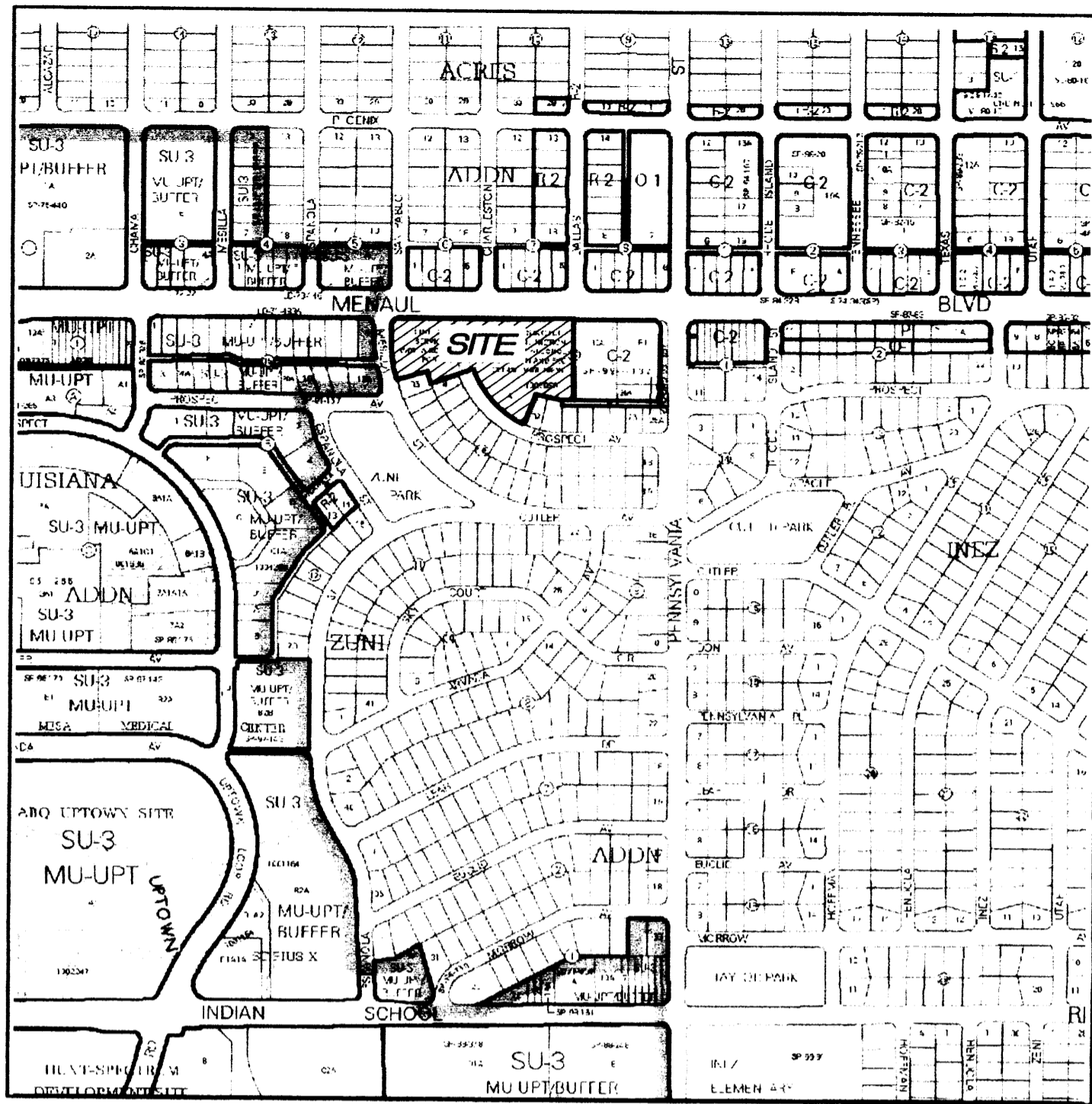


3 PAD A - SOUTH ELEVATION  
1/8" = 1'-0"



4 PAD A - WEST ELEVATION  
1/8" = 1'-0"





**VICINITY MAP**  
Not To Scale

**GENERAL NOTES**

1. Bearings are grid and based on the New Mexico State Plane Coordinate System, Central Zone (NAD83).
2. Distances are ground.
3. Distances along curved lines are arc lengths.
4. Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ( ).
5. All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
6. All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
7. City of Albuquerque Zone Atlas Page H-19-Z.

**SUBDIVISION DATA**

1. Total number of existing Tracts: 1
2. Total number of Tracts created: 2
3. Gross Subdivision acreage: 4.1320 acres

**TREASURERS CERTIFICATION**

This is to certify that taxes are current and paid on the following:

Bernalillo County Treasurer \_\_\_\_\_ Date \_\_\_\_\_

**PUBLIC UTILITY EASEMENTS**

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- A. Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- B. New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- C. Qwest Corporation d/b/a CenturyLink QC. for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- D. Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear door and five (5) feet on each side.

**DISCLAIMER**

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

**PURPOSE OF PLAT**

The purpose of this plat is to:

1. Grant the new easements as shown hereon.
2. Divide existing Tract A-1 into two (2) tracts shown hereon.

**SURVEYORS CERTIFICATION**

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

*Russ P. Hugg*  
Russ P. Hugg  
NMPS No. 9750  
July 23, 2013



PLAT OF  
**TRACTS A-1A AND A-1B**  
**BLOCKS 16 AND 17**  
**ZUNI ADDITION**

(BEING A REPLAT OF TRACT A-1, BLOCKS 16 & 17, ZUNI ADDITION)

SITUATE WITHIN

**SECTION 7, TOWNSHIP 10 NORTH, RANGE 4 EAST**  
**NEW MEXICO PRINCIPAL MERIDIAN**  
**CITY OF ALBUQUERQUE**  
**BERNALILLO COUNTY, NEW MEXICO**

JULY, 2013

PROJECT NUMBER: \_\_\_\_\_

Application Number: \_\_\_\_\_

**PLAT APPROVAL**

**UTILITY APPROVALS:**

*Terrence Sigel* \_\_\_\_\_ **8-5-13**  
Public Service Company of New Mexico \_\_\_\_\_ Date

New Mexico Gas Company \_\_\_\_\_ Date

Qwest Corporation d/b/a CenturyLink QC. \_\_\_\_\_ Date  
*[Signature]* \_\_\_\_\_ **8-5-13**  
Comcast \_\_\_\_\_ Date

**CITY APPROVALS:**

*Phil P. Acosta* \_\_\_\_\_ **8-8-13**  
City Surveyor \_\_\_\_\_ Date  
Department of Municipal Development \_\_\_\_\_

Real Property Division \_\_\_\_\_ Date

Environmental Health Department \_\_\_\_\_ Date

Traffic Engineering, Transportation Division \_\_\_\_\_ Date

ABCWUA \_\_\_\_\_ Date

Parks and Recreation Department \_\_\_\_\_ Date

AMAFA \_\_\_\_\_ Date

City Engineer \_\_\_\_\_ Date

DRB Chairperson, Planning Department \_\_\_\_\_ Date

SHEET 1 OF  
**SURV T**  
Consulting Surveyors  
9384 Valley View Drive,

PROJECT #: 1007099  
DATE: 8-28-13  
APP#: 13-70659

PLAT OF  
TRACTS A-1A AND A-1B  
BLOCKS 16 AND 17  
ZUNI ADDITION  
(BEING A REPLAT OF TRACT A-1, BLOCKS 16 & 17, ZUNI ADDITION)

SITUATE WITHIN  
SECTION 7, TOWNSHIP 10 NORTH, RANGE 4 EAST  
NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO

JULY, 2013

**LEGAL DESCRIPTION**

That certain parcel of land situate within Section 7, Township 10 North, Range 4 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, comprising all of Tract A-1, Blocks 16 and 17, Zuni Addition, as the same is shown and designated on the plat entitled "PLAT OF TRACT A-1, BLOCKS 16 & 17, ZUNI ADDITION, (BEING A REPLAT OF TRACT A, BLOCK 16 & 17, ZUNI ADDITION) SITUATE WITHIN SECTION 7, TOWNSHIP 10 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico, on August 15, 2013, in Plat Book 2013C, Page 98.

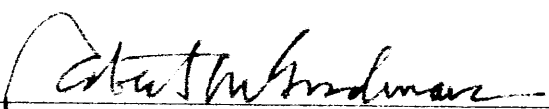
Said parcel contains 4.xxx acres, more or less.

**FREE CONSENT AND DEDICATION**

SURVEYED and REPLATTED and now comprising PLAT OF TRACTS A-1A AND A-1B, BLOCKS 16 AND 17, ZUNI ADDITION (BEING A REPLAT OF TRACT A-1, BLOCKS 16 AND 17, ZUNI ADDITION) SITUATE WITHIN SECTION 7, TOWNSHIP 10 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, COUNTY, NEW MEXICO", with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby dedicate the additional public street right of way as shown hereon to the City of Albuquerque in fee simple with warranty covenants. Said owner(s) and proprietor(s) do hereby grant the easements as shown hereon. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

**OWNER(S)**

Sandia Foundation, a New Mexico Non-profit corporation




By: Robert Goodman, Executive Director

**ACKNOWLEDGMENT**

STATE OF NEW MEXICO  
COUNTY OF BERNALILLO SS

The foregoing instrument was acknowledged before me this 5th

day of August, 2013, by Robert Goodman, Executive Director of The Sandia Foundation, a New Mexico Non-profit Corporation.

 My commission expires 6/22/2017  
Notary Public



**SECTION 14-14-4-7 PROHIBITION ON PRIVATE RESTRICTIONS  
ON THE INSTALLATION OF SOLAR COLLECTORS**

"No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of this plat. The foregoing requirement shall be a condition precedent of this plat."



SHEET 2 OF 3  
**SURV●TEK, INC.**

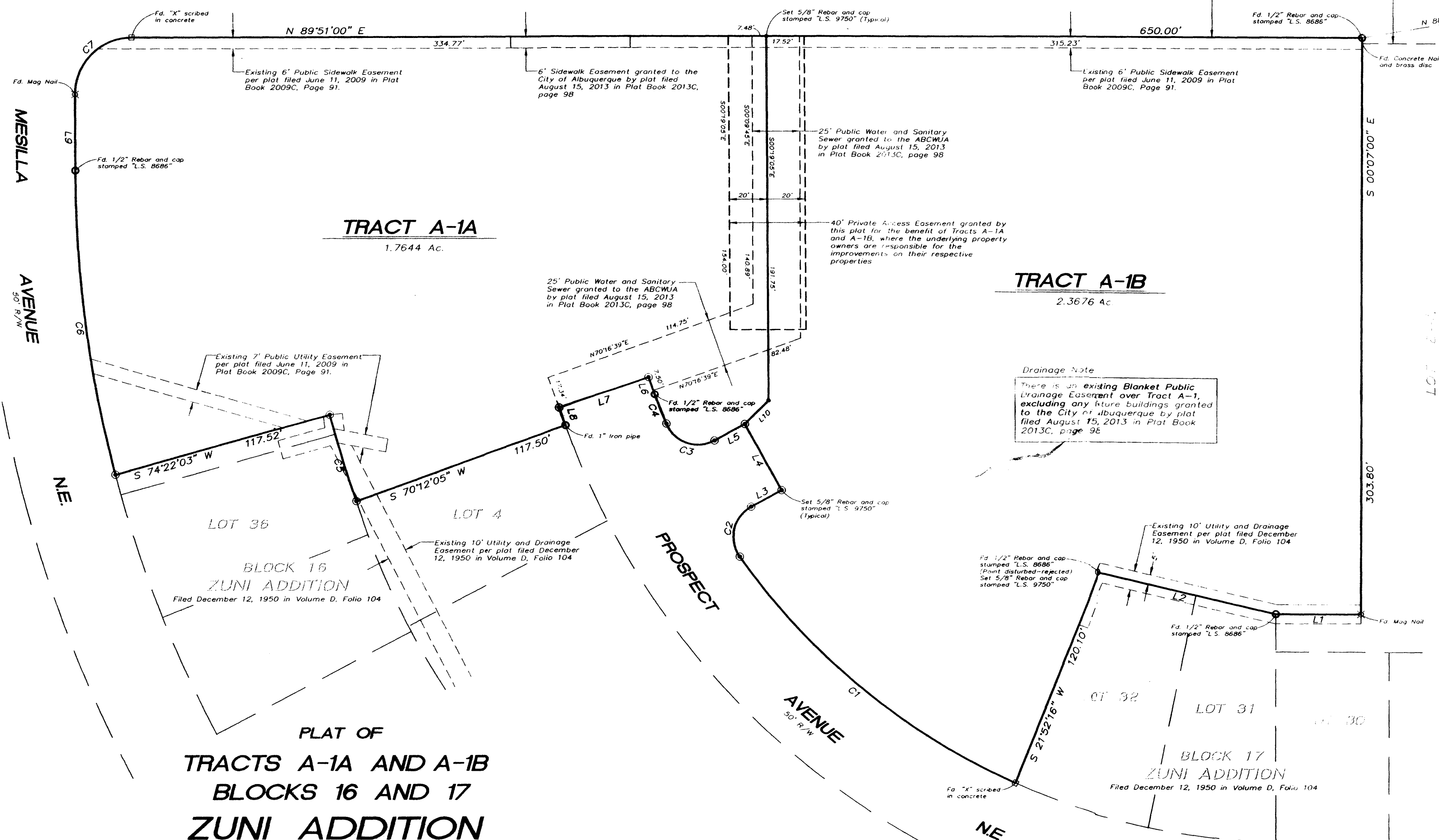
Consulting Surveyors  
9384 Valley View Drive, N.W., Albuquerque, New Mexico 87114 Phone: 505 897 3366  
Fax: 505 897 3377

LINE TABLE		
LINE	LENGTH	BEARING
L1	45.05	S89°51'00"W
L2	97.15	N77°09'11"W
L3	18.28	N61°04'11"E
L4	40.00	N28°55'49"W
L5	18.30	S61°04'11"W
L6	10.00	N19°32'37"W
L7	50.00	S70°27'23"W
L8	10.00	S19°32'37"E
L9	40.00	N00°09'00"W
L10	17.77	N44°40'55"E

CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	189.84'	353.80'	97.26'	187.57'	S50°48'38"E	30°44'35"
C2	30.32'	18.00'	20.17'	26.86'	S12°48'55"W	96°30'31"
C3	30.31'	18.00'	20.16'	26.86'	S70°41'13"E	96°29'12"
C4	16.80'	353.80'	8.40'	16.80'	S21°05'00"E	2°43'15"
C5	47.81'	521.30'	23.92'	47.79'	S17°05'42"E	5°15'16"
C6	162.02'	638.80'	81.45'	161.59'	S07°25'06"E	14°31'55"
C7	47.13'	30.00'	30.01'	42.43'	S44°51'00"W	90°00'35"

Albuquerque Control Survey Monument "11-1119"  
 New Mexico State Plane Coordinates  
 (Central Zone - NAD 83)  
 North= 1,495,164.914 feet  
 East= 1,548,977.780 feet  
 Elevation= 5364.257 feet (NAVD 1988)  
 Delta Alpha= -00°10'33.04"  
 Ground To Grid Factor= 0.999656857

MENAU BOULEVARD N.E.  
 100' R/W

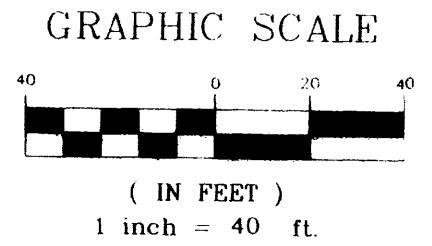


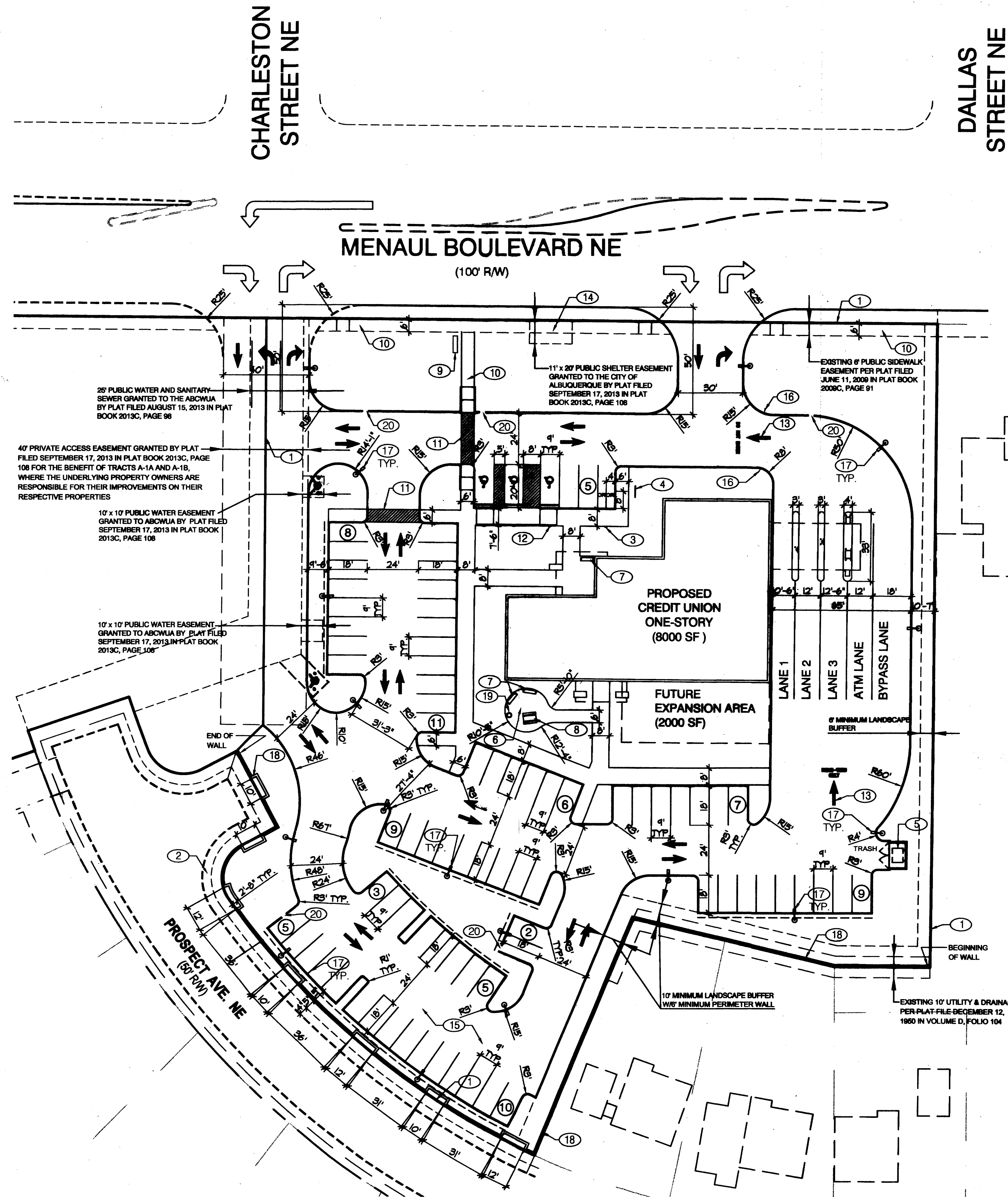
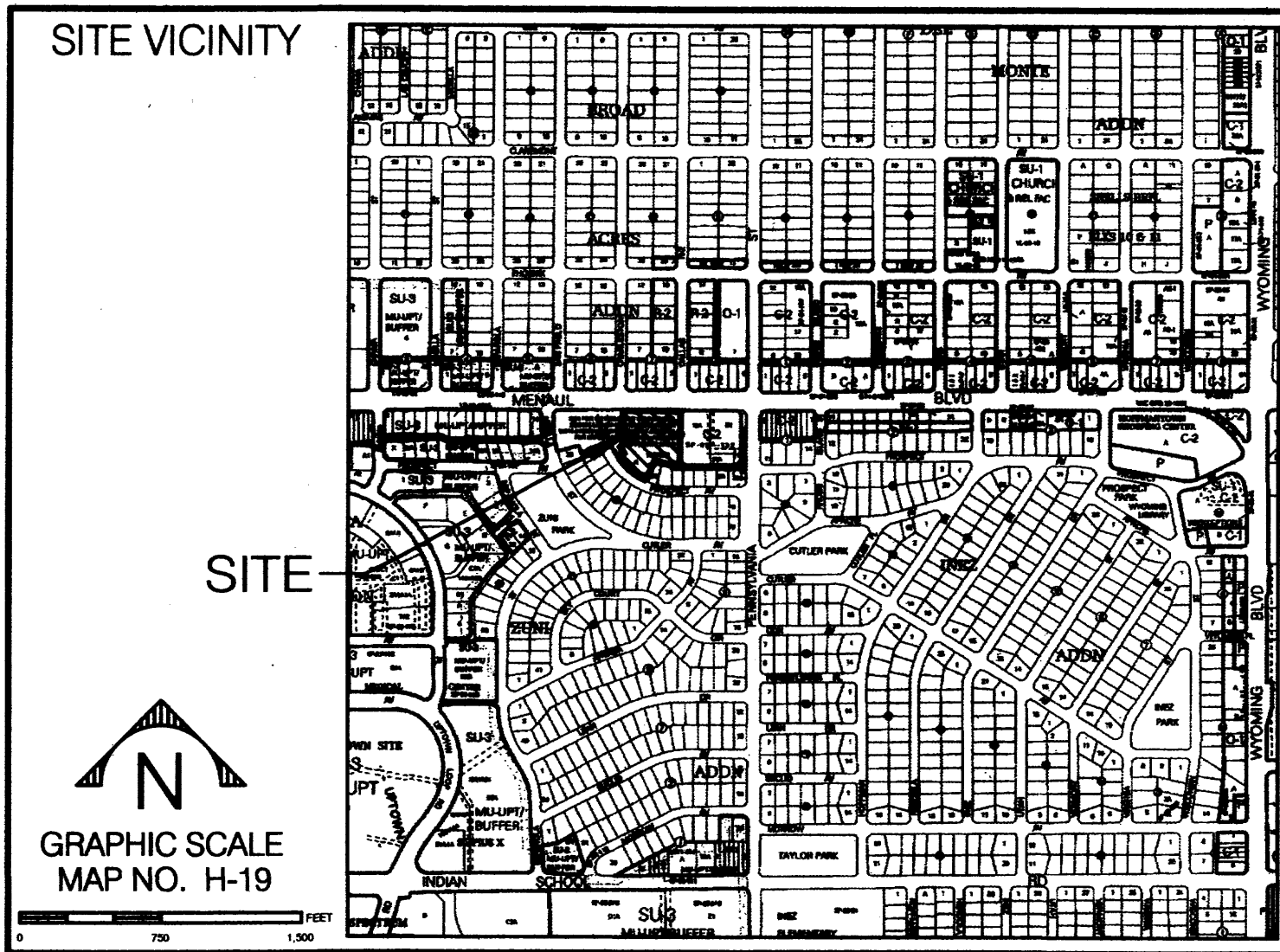
PLAT OF  
**TRACTS A-1A AND A-1B**  
**BLOCKS 16 AND 17**  
**ZUNI ADDITION**

(BEING A REPLAT OF TRACT A-1, BLOCKS 16 & 17, ZUNI ADDITION)

SITUATE WITHIN  
 SECTION 7, TOWNSHIP 10 NORTH, RANGE 4 EAST  
 NEW MEXICO PRINCIPAL MERIDIAN  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO

JULY, 2013





**SITE DATA:**  
**LEGAL DESCRIPTION:** TRACT A-18, BLOCKS 16 AND 17, ZUNI ADDITION  
**SITE AREA:** 2.91 ACRES  
**EXISTING ZONING:** S-1 FOR G-2 PERMISSIVE USES INCLUDING FULL SERVICE LIQUOR ONLY IN CONJUNCTION WITH A RESTAURANT, EXCLUDING THE SALE OF ALCOHOL FOR OFF-SITE CONSUMPTION AND EXCLUDING OFF-PREMISE SIGNS  
**LAND USE:** 1-STORY CREDIT UNION WITH DRIVE-UP FACILITIES  
**BUILDING AREA:** 8,000 S.F. (PHASE 1) 2,000 S.F. (FUTURE PHASE 2)  
**MAXIMUM TOTAL BUILDING HEIGHT:** 26 FEET.  
**PARKING:** REQUIRED MINIMUM PARKING: 1 PER 200 S.F. = 50.  
**TOTAL PROVIDED PARKING:** 80 (INCLUDES 15 SPACES IN REPO AREA)  
**HANDICAPPED REQUIRED:** 9  
**HANDICAPPED PROVIDED:** 9  
**MOTORCYCLE REQUIRED:** 2  
**MOTORCYCLE PROVIDED:** 2  
**BICYCLE REQUIRED:** 9  
**BICYCLE PROVIDED:** 9

**PROJECT #: 1007099**  
**DATE: 12-18-13**  
**APP#: B-70784(SB)**

- KEY NOTES**
- 1 PROPERTY LINE
  - 2 EXISTING 4' SIDEWALK
  - 3 MOTORCYCLE SIGN
  - 4 BICYCLE RACK (3 SPACES)
  - 5 TRASH ENCLOSURE (SEE DETAIL, SHEET 5)
  - 6 OUTDOOR EMPLOYEE PATIO, 536 SF
  - 7 6' BENCH
  - 8 6' PICNIC TABLE
  - 9 MONUMENT SIGN-4 FT. MAXIMUM HEIGHT, WITH 50 SF MAXIMUM SIGN AREA
  - 10 6' ADA ACCESSIBLE SIDEWALK
  - 11 6' TEXTURED, COLORED PEDESTRIAN CROSSING, TYP.
  - 12 HANDICAP SIGN, TYP. (2'x18" MOUNTED ON POLE)
  - 13 PAINTED DIRECTIONAL ARROW-1'-6" TALL LETTERS, TYP.
  - 14 BUS SHELTER (SEE GENERAL NOTE 1)
  - 15 REPOSESSED CAR PARKING
  - 16 NO ENTRY SIGNS
  - 17 LIGHT FIXTURE, 20 FEET IN HEIGHT, 16 FEET WITHIN 100 FEET OF A RESIDENTIAL ZONE
  - 18 6' CHAI MALL, SEE DETAIL, SHEET 6
  - 19 TRASH RECEPTACLE
  - 20 CURB CUTS FOR WATER HARVESTING, (SEE GRADING & DRAINAGE PLAN).

PROJECT NUMBER: 1007099  
 Application Number: 13EPC-40144

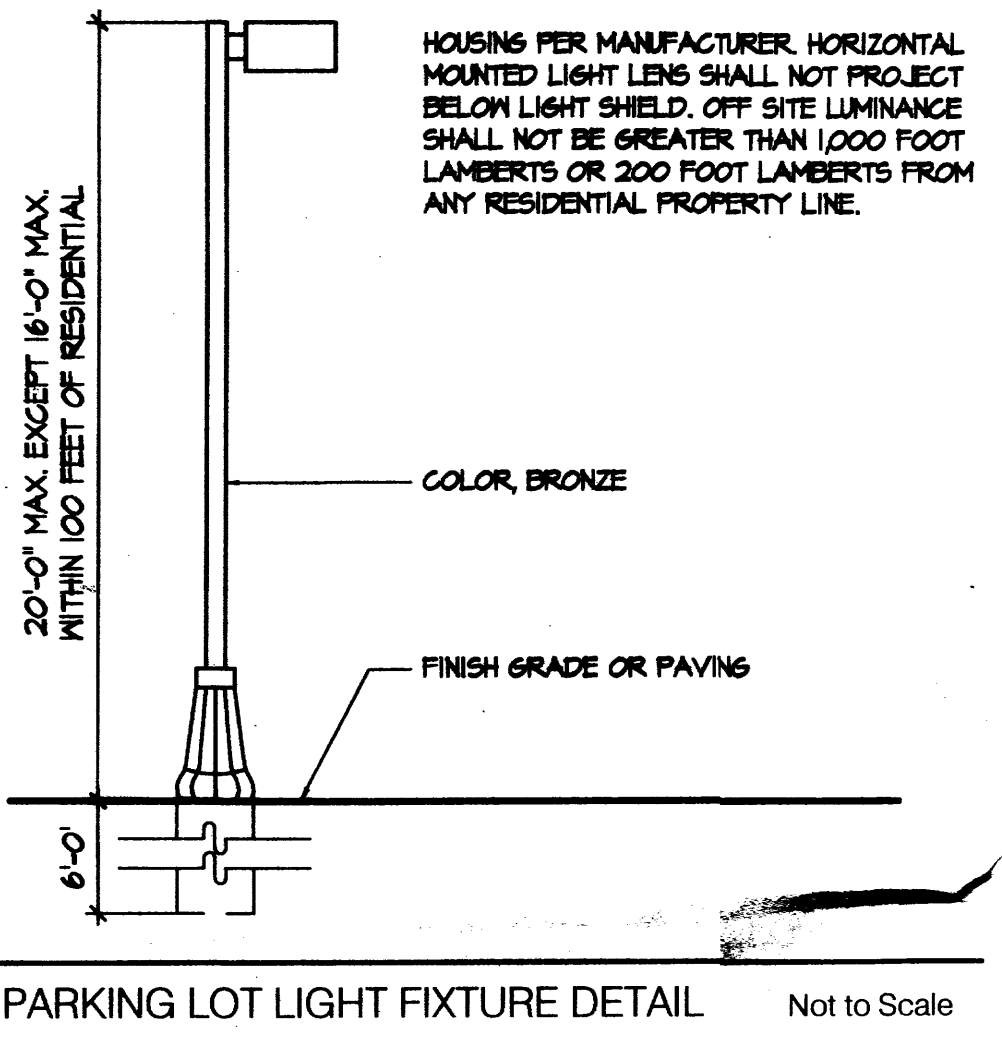
This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated November 4, 2013 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer	Date
<i>Karen Marquez</i>	11.27.2013
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

- GENERAL NOTES**
1. THE PROPOSED PROJECT SHALL BE CONSISTENT WITH THE APPROVED SITE DEVELOPMENT PLAN FOR SUBDIVISION (PROJECT 1007099, 12EPC-40005).
  2. SIGNAGE SHALL COMPLY WITH THE APPROVED SITE PLAN FOR SUBDIVISION DESIGN STANDARDS FOR THIS SITE. ONE MONUMENT SIGN IS PROPOSED AT THE PRIMARY ENTRY TO THE PROPERTY AND IS LIMITED TO 50 S.F. SIGN AREA AND A MAXIMUM HEIGHT OF 4 FEET.
  3. BUILDING MOUNTED SIGNS SHALL NOT EXCEED 6% OF FACADE AREA. BUILDING MOUNTED SIGNS ARE PROHIBITED ALONG PROSPECT AVENUE AND ALONG THE SOUTH BOUNDARY WITHIN 50' OF RESIDENTIAL DEVELOPMENT.
  4. ALL LIGHTING SHALL COMPLY WITH THE STANDARDS OF §4-16-3-1, AREA REGULATIONS OF THE CITY COMPREHENSIVE ZONING CODE, AND THE SITE PLAN FOR SUBDIVISION DESIGN STANDARDS.
  5. ROOF-MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED.
  6. THE MECHANICAL SYSTEMS (HEATING AND COOLING) AND BUILDING ENVELOPE (WALLS, ROOF, AND WINDOWS) SHALL BE DESIGNED AND MAINTAINED TO PROMOTE THE EFFICIENT USE OF ENERGY.
  7. RAINWATER HARVESTING MEASURES, SUCH AS CURB CUTS, SHALL BE PROVIDED.
  8. ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES.
  9. RECYCLING CARTS SHALL BE PROVIDED IN THE BUILDING AND PICKED UP THROUGH A PRIVATE CONTRACTOR.
  10. PNM COORDINATION: DEVELOPMENT SHALL ABIDE BY ALL CONDITIONS OR TERMS OF UTILITY EASEMENTS PRIOR TO DEVELOPMENT. CONTACT SHALL BE MADE TO PNM'S NEW SERVICE DELIVERY DEPARTMENT TO COORDINATE ELECTRIC SERVICE AND OPTIONS FOR THE LOCATION OF ELECTRIC SERVICE CONNECTION.
  11. ALL SIDEWALKS, RAMPS (INCLUDING REQUIRED TRUNCATED DOMES) CURB CUTS, AND CURB AND GUTTER LOCATED WITHIN CITY RIGHT-OF-WAY AND BUS SHELTER LOCATED WITHIN THE SITE SHALL BE BUILT PER C.O.A. STANDARD DRAWINGS: SIDEWALK (2430), RAMPS (2440), CURB CUTS (2426), BUS SHELTER (2555.02), CURB AND GUTTER (2415A).
  12. A CROSS ACCESS EASEMENT WAS INCLUDED AS PART OF THE REPLAT FOR THIS PROPERTY.
  13. DEVELOPER SHALL COORDINATE WITH THE TRANSIT DEPARTMENT ON THE INSTALLATION OF A TYPE C BUS SHELTER.



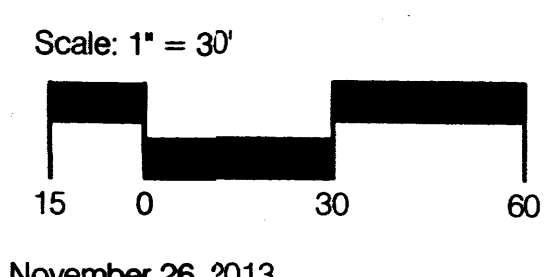
# U.S. NEW MEXICO FEDERAL CREDIT UNION

## SITE PLAN FOR BUILDING PERMIT

Prepared for:  
**U.S. New Mexico FEDERAL CREDIT UNION**  
 PO Box 129  
 Albuquerque, NM 87103

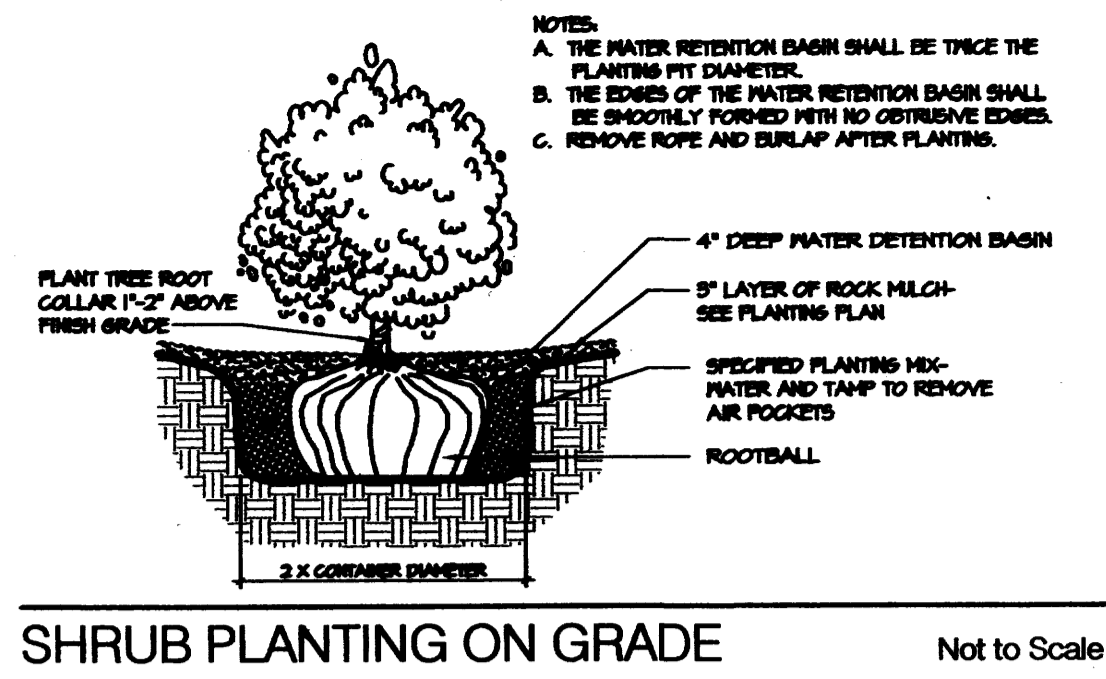
Prepared by:  
 Consensus Planning, Inc.  
 302 Eighth Street NW  
 Albuquerque, NM 87102

NewGround  
 15450 South Outer Forty Drive  
 Suite 300  
 Chesterfield, MO 63017

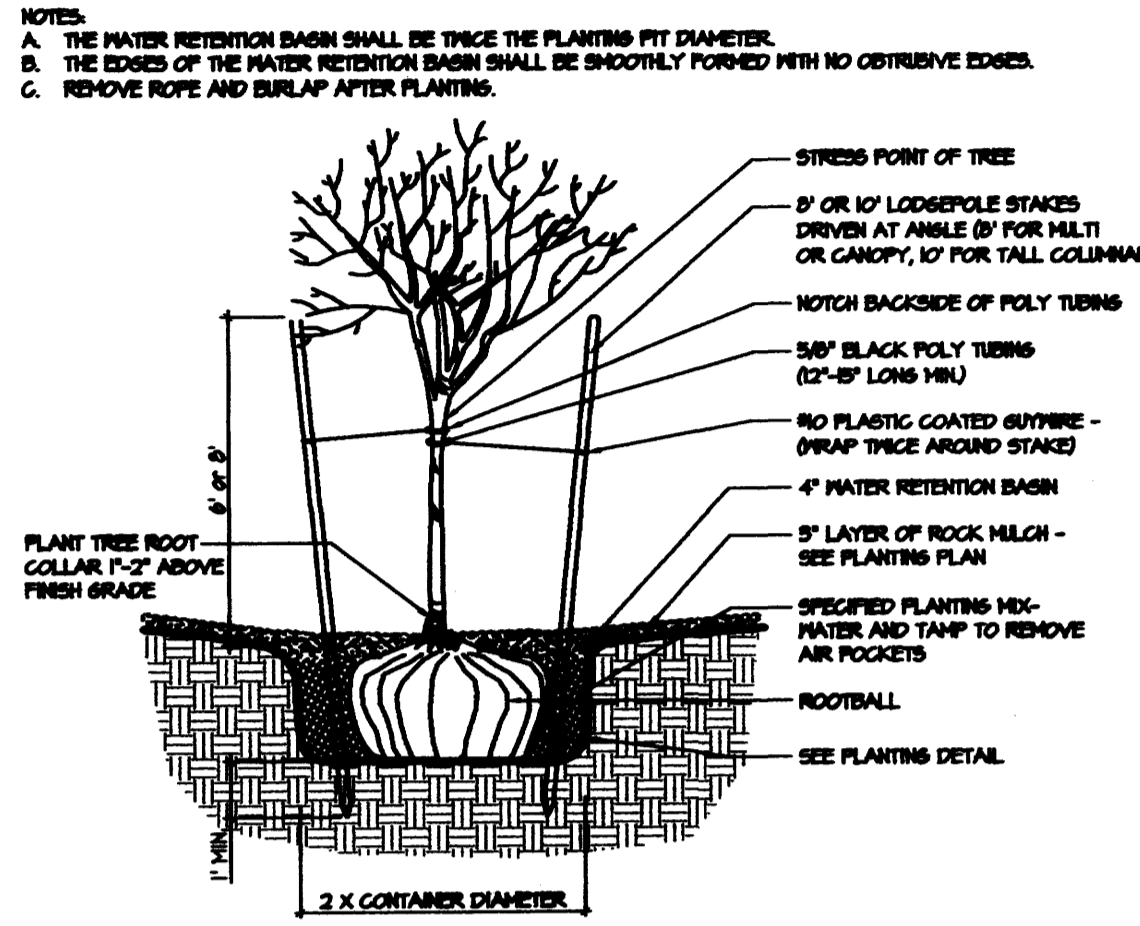


November 26, 2013

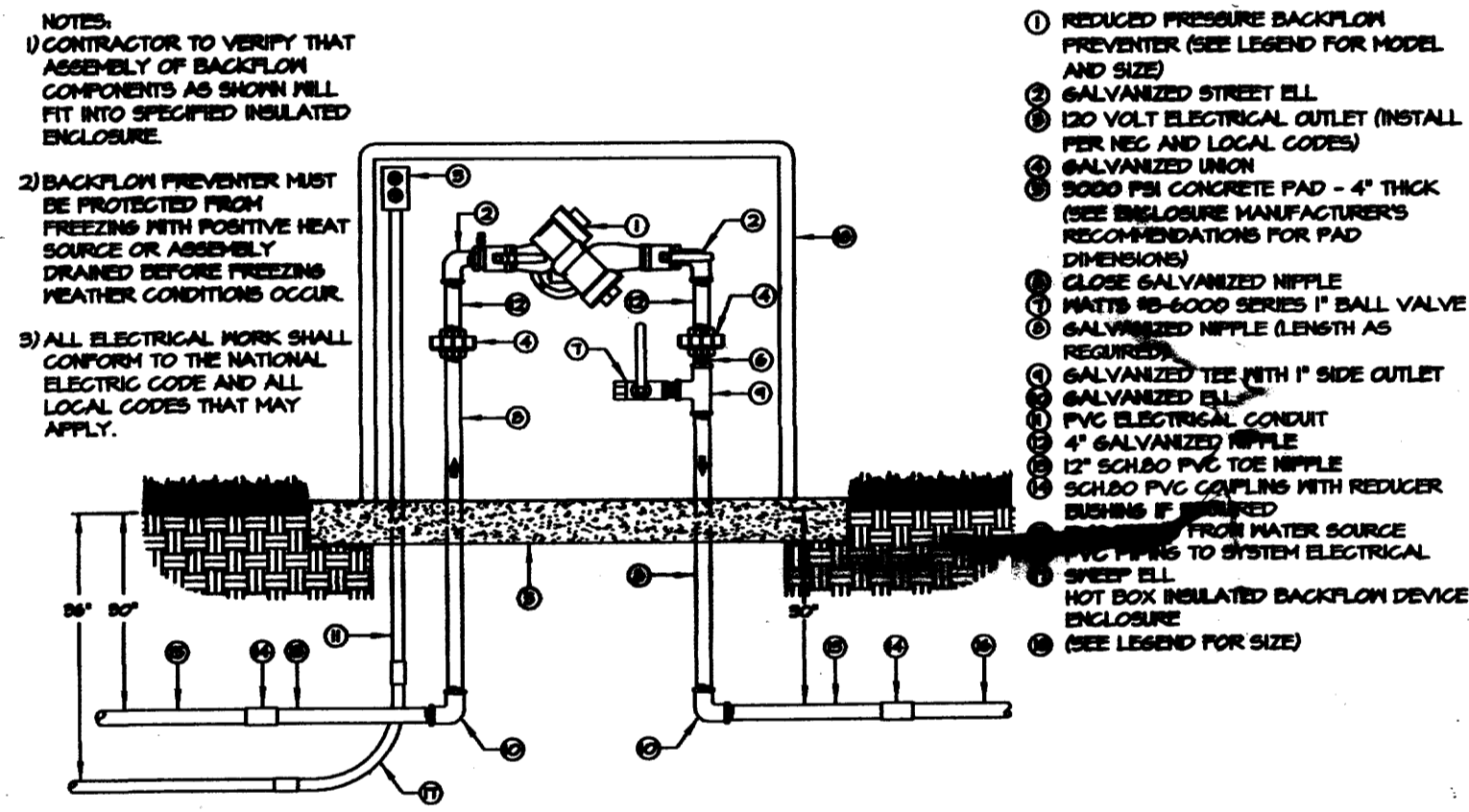
Isaacson & Arfman, P.A.  
 128 Monroe St, NE  
 Albuquerque, NM 87108



SHRUB PLANTING ON GRADE Not to Scale



TREE PLANTING ON GRADE Not to Scale



BACKFLOW PREVENTER Not to Scale

**GENERAL LANDSCAPE NOTES**  
**LANDSCAPE DESIGN**  
 ALL PLANTING AREAS SHALL BE TOP DRESSED WITH 1/4" BUILDOLOGY BROWN ROCK MULCH AND 2"-4" COBBLE MULCH.  
**IRRIGATION**  
 IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM SHALL BE USED TO IRRIGATE TREE, SHRUB AND GROUNDCOVER PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE TREES WILL BE PROVIDED WITH (6) 2 1/2" EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 1/2" EMITTERS. TREES, SHRUBS AND GROUNDCOVERS WILL BE GROUPED ON THE SAME VALVE.

**RESPONSIBILITY OF MAINTENANCE**  
 MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.  
**METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE**  
 THE PLANT PALETTE IS PREDOMINANTLY COMPOSED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS. AN EVAPOTRANSPIRATION MANAGEMENT CONTROLLER WILL BE INCLUDED IN THE DESIGN OF THE IRRIGATION SYSTEM TO MONITOR WEATHER CONDITIONS SO THAT THE OPTIMUM MOISTURE BALANCE IS ACHIEVED AND THE POSSIBILITY OF OVER-WATERING IS REDUCED.

**P.M. COORDINATION**  
 COORDINATION WITH P.M.'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

**CLEAR SIGHT DISTANCE**  
 LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

**LANDSCAPE COVERAGE**

TOTAL SITE AREA:	108,281 SF (2.31 AC)
BUILDING AREA (BUILDING ENVELOPE):	10,000 SF
NET AREA:	98,281 SF
REQUIRED LANDSCAPE AREA (15% OF NET AREA):	14,742 SF
PROVIDED LANDSCAPE AREA (ONSITE):	39,844 SF (36%)
PROVIDED LANDSCAPE AREA (R.O.W.):	1,128 SF
TOTAL LANDSCAPE PROVIDED:	34,945 SF
REQUIRED LIVE VEGETATIVE COVERAGE (75% OF REQUIRED 15% LANDSCAPE AREA):	10,441 SF
PROVIDED LIVE VEGETATIVE COVER (75%):	11,042 SF

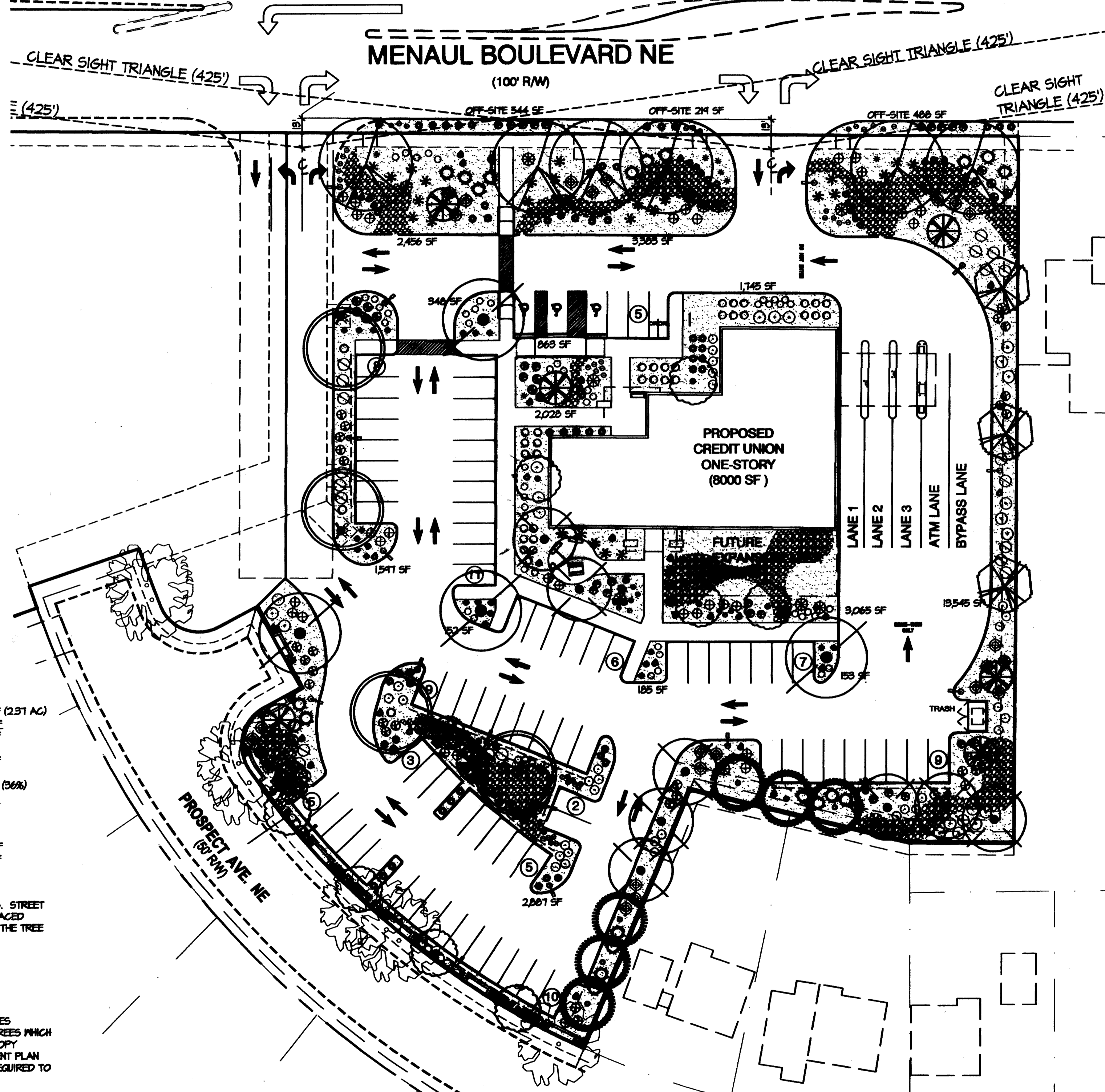
**STREET TREES**  
 MENAUL BLVD. IS 230' LINEAR FEET, EXCLUDING INGRESS/EGRESS. STREET TREE REQUIREMENTS SPECIFY THE SPACING BETWEEN EVENLY SPACED STREET TREES SHOULD BE NO GREATER THAN THE DIAMETER OF THE TREE CANOPY AT MATURITY.

**SPECIAL BUFFER LANDSCAPING (STREET TREES)**  
 THE LANDSCAPE BUFFERS ADJACENT TO RESIDENTIAL PROPERTIES CONSISTS OF A COMBINATION OF DECIDUOUS AND EVERGREEN TREES WHICH ARE SPACED AT DISTANCE EQUAL TO 1/2 OF THE MATURE CANOPY DIAMETER OF THE TREE. IN ADDITION TO THE SITE DEVELOPMENT PLAN FOR SUBDIVISION, 40% OF THE TREES WITHIN THE BUFFER ARE REQUIRED TO BE EVERGREEN.

TOTAL TREES WITHIN BUFFER REQUIRED: 12 (5 EVERGREEN TREES REQUIRED)  
 PROVIDED TREES WITHIN BUFFER: 12 (6 EVERGREEN TREES PROVIDED)

**PARKING LOT TREES**  
 U.S. NEW MEXICO FEDERAL CREDIT UNION PROVIDING 80 PARKING SPACES. PARKING LOT TREE REQUIREMENTS ARE BASED UPON ONE TREE PER 10 SPACES.

NOTE: EXISTING HEALTHY TREES ON PROSPECT AVE. ARE TO REMAIN AND PERIMETER WALL SHALL BE CONSTRUCTED AROUND THESE TREES. (SEE SITE PLAN FOR DIMENSIONS)



**PLANT LEGEND**

QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME	SIZE	INSTALLED SIZE MATURE SIZE	WATER USE
<b>TREES</b>					
8	(Symbol)	EXISTING TREE TO REMAIN			
3	(Symbol)	CHILOPSIS LINEARIS 'BUBBA' DESERT MALLOW	24" BOX	8' HT. X 6' SPR. 20' HT. X 25' SPR.	LOW +
4	(Symbol)	FRAXINUS VELLUTINA 'MODESTO' MODESTO ASH	25" B4B	14' HT. X 6' SPR. 40' HT. X 35' SPR.	MEDIUM +
4	(Symbol)	GLEDTISIA TRIACANTHOS 'SINGOLETS' SUNBURST HONEYLOCUST	25" B4B	12' HT. X 5' SPR. 40' HT. X 35' SPR.	MEDIUM
8	(Symbol)	MALLUS 'SPRING SNOW' SPRING SNOW CRABAPPLE	2" B4B	14' HT. X 5' SPR. 25' HT. X 20' SPR.	MEDIUM +
6	(Symbol)	PINUS NIGRA AFGHAN PINE	B4B	10' MIN HT. 20' HT. X 25' SPR.	MEDIUM
6	(Symbol)	PISTACHIA CHINENSIS CHINESE PISTACHE	3" B4B	14' HT. X 6' SPR. 40' HT. X 40' SPR.	MEDIUM
8	(Symbol)	ROBINIA AMBIGUA 'PURPLE ROBE' PURPLE ROBE LOCUST	2" B4B	16' HT. X 6' SPR. 30' HT. X 30' SPR.	MEDIUM
<b>SHRUBS/GROUNDCOVERS</b>					
1	(Symbol)	AGAVE HARVARDIANA HARVARD AGAVE	5-GAL	3' O.C. 2' HT. X 2' SPR.	MEDIUM
25	(Symbol)	ARTHEMIS FILIFOLIA SAND SAGE	1-GAL	4' O.C. 4' HT. X 4' SPR.	LOW
22	(Symbol)	Buddleia DAVIDII 'BLACK KNIGHT' BLACK KNIGHT BUTTERFLY BUSH	5-GAL	5' O.C. 5' HT. X 5' SPR.	MEDIUM
27	(Symbol)	CARYOPTERIS GLANDONENSIS BLUE MIST	5-GAL	3' O.C. 3' HT. X 3' SPR.	MEDIUM
18	(Symbol)	CYTISUS SCOP. LENA'S BROOM LENA'S BROOM	1-GAL	4' O.C. 4' HT. X 4' SPR.	LOW
51	(Symbol)	ERICACERIA LARICIFOLIA 'ASURRE' TURPENTINE BUSH	1-GAL	2' O.C. 2' HT. X 3' SPR.	LOW
52	(Symbol)	GENISTA LYDIA LYDIA'S BROOM	1-GAL	3' O.C. 2' HT. X 3' SPR.	LOW +
34	(Symbol)	LAVENDULA ANGSTIFOLIA ENGLISH LAVENDER	1-GAL	3' O.C. 3' HT. X 3' SPR.	MEDIUM
15	(Symbol)	PINUS MISO MISO PINE	5-GAL	5' O.C. 4' HT. X 5' SPR.	MEDIUM
24	(Symbol)	PRUNUS BESSYI WESTERN SAND CHERRY	5-GAL	5' O.C. 5' HT. X 5' SPR.	MEDIUM
25	(Symbol)	PSORTHANUS SCOPARIUS BROOM DALEA	5-GAL	5' O.C. 5' HT. X 5' SPR.	LOW
35	(Symbol)	RHAPHIOLEPIS INDICA INDIA HANTHORN	5-GAL	3' O.C. 4' HT. X 4' SPR.	MEDIUM
31	(Symbol)	RIBUS TRILOBATA THREE-LEAF SUMAC	5-GAL	4' O.C. 4' HT. X 4' SPR.	LOW +
22	(Symbol)	ROSMARINUS OFFICINALIS CREEPING ROSEMARY	5-GAL	5' O.C. 3' HT. X 5' SPR.	MEDIUM
4	(Symbol)	VITEX AGNUS-CASTUS VITEX	5-GAL	15' O.C. 15' HT. X 15' SPR.	MEDIUM
<b>ORNAMENTAL GRASSES</b>					
41	(Symbol)	GALMAGROSTIS KARL FOERSTER FEATHER REED GRASS	5-GAL	3' O.C. 3' HT. X 2' SPR.	LOW +
35	(Symbol)	MISCANTHUS SINENSIS GRACILLIUS MAIDEN GRASS	5-GAL	5' O.C. 5' HT. X 4' SPR.	MEDIUM
53	(Symbol)	PANICUM VIRGATUM 'SHENANDOAH' SHENANDOAH SWITCH GRASS	5-GAL	3' O.C. 3' HT. X 3' SPR.	MEDIUM
<b>VINES</b>					
5	(Symbol)	HALL'S HONEYSUCKLE LONGICERA JAPONICA HALLIANA	5-GAL	20' O.C. 12' HT. X 10' SPR.	MEDIUM
<b>GRAVEL MULCHES/ACCENT BOLDERS</b>					
			(Symbol)	2"-4" BUILDOLOGY BROWN COBBLE MULCH (6" DEPTH OVER DENITIT PRO-5 WEED CONTROL FABRIC)	
			(Symbol)	1/16" SANTA FE BROWN GRAVEL MULCH (5" DEPTH OVER DENITIT PRO-5 WEED CONTROL FABRIC)	
			(Symbol)	MOSS-ROCK BOLDERS (5'X5' MINIMUM)	

# U.S. NEW MEXICO FEDERAL CREDIT UNION

## LANDSCAPE PLAN

Prepared for:  
 U.S. New Mexico  
 FEDERAL CREDIT UNION

Prepared by:  
 Consensus Planning, Inc.  
 302 Eighth Street NW  
 Albuquerque, NM 87102

PO Box 129  
 Albuquerque, NM 87103

NewGround  
 15450 South Outer Forty Drive  
 Suite 300  
 Chesterfield, MO 63017

Scale: 1" = 30'

15 0 30 60

NORTH

November 26, 2013

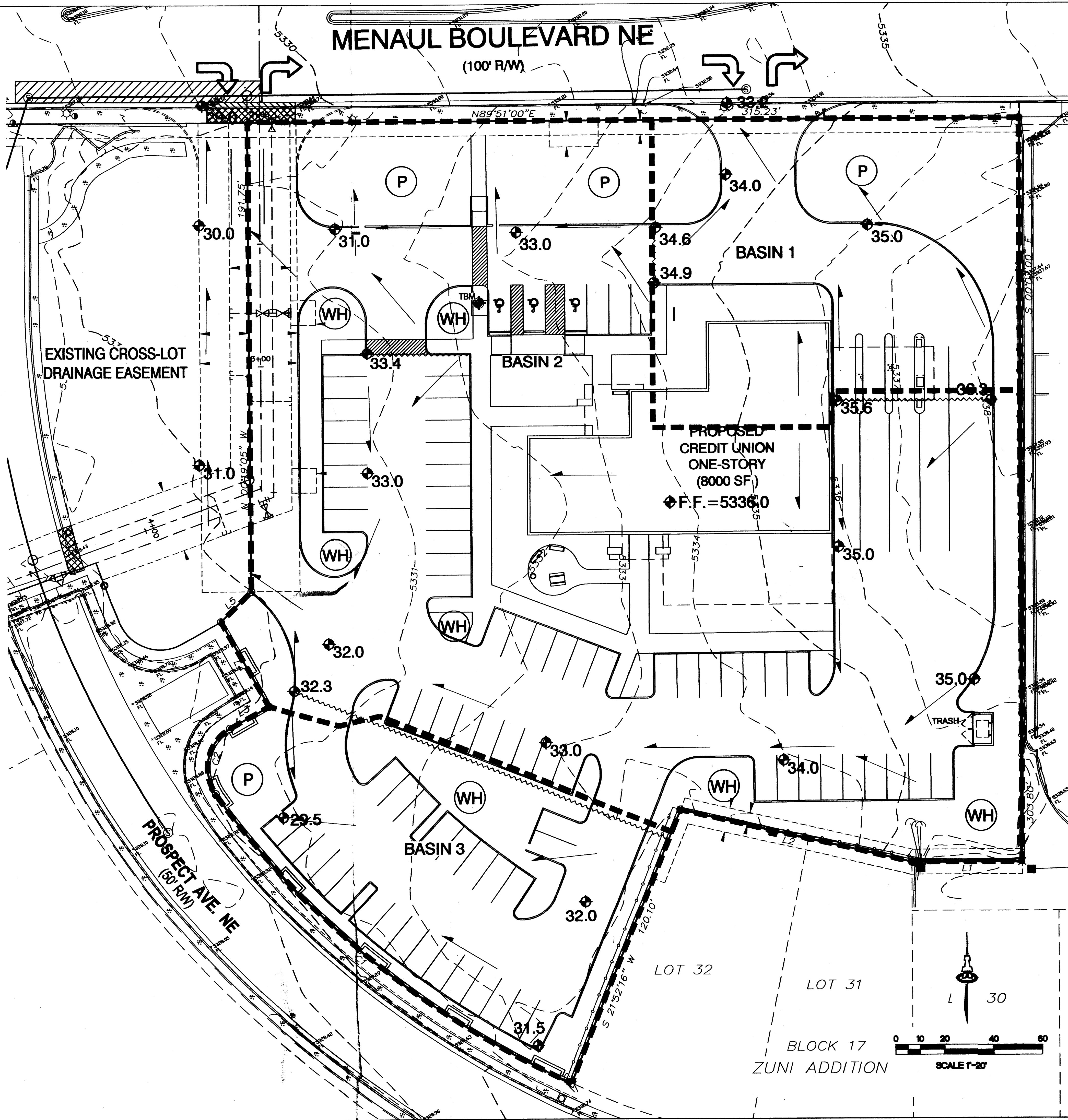
Isaacson & Arfman, P.A.  
 128 Monroe St. NE  
 Albuquerque, NM 87108

Sheet 2 of 6

# MENAU BOULEVARD NE

(100' R/W)

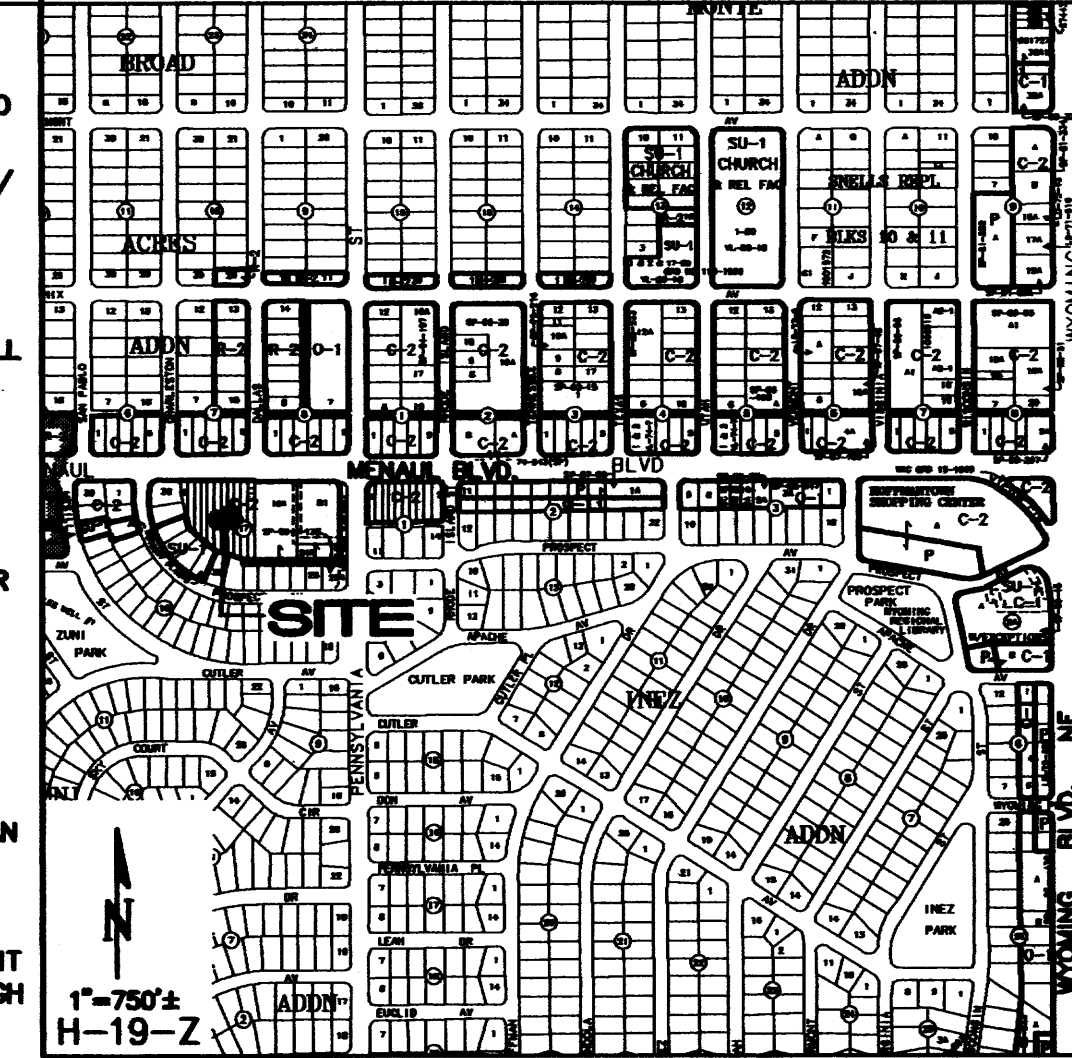
N89°51'00"E



## GENERAL NOTES

- COORDINATE WORK WITH SITE PLAN, UTILITY PLAN, DEMOLITION PLAN, AND LANDSCAPE PLAN.
- ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OF.
- ALL SUBGRADE, OVEREXCAVATION, AND FILL SHALL BE PLACED AND/OR COMPACTED PER THE GEOTECHNICAL REPORT AND CITY OF ALBUQUERQUE SPECIFICATIONS.
- FINAL GRADES SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS FINISH MATERIAL THICKNESSES.
- MINIMUM SLOPES SHALL BE 1% UNLESS OTHERWISE NOTED.
- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. CONTRACTOR SHALL CONTACT NM-811 FOR UTILITY LINE SPOTS TWO WORKING DAYS PRIOR TO CONDUCTING SITE FIELD WORK. CONTRACTOR SHALL FIELD VERIFY AND LOCATE ALL UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- THE ENVIRONMENTAL PROTECTION AGENCY (EPA) AND THE CITY OF ALBUQUERQUE REQUIRE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP), AN NPDES PERMIT, AND AN EROSION AND SEDIMENT CONTROL (ESC) PERMIT FOR PROJECTS WHERE CONSTRUCTION ACTIVITIES MEET THE EPA THRESHOLD. IF REQUIRED, (SWPPP, NPDES PERMIT, AND ESC PLAN BY OTHERS.) A CITY-APPROVED E.S.C. PERMIT MUST BE INCLUDED WITH THE CONTRACTOR'S SUBMITTAL FOR A ROUGH GRADING, GRADING, PAVING, BUILDING, OR WORK ORDER PERMIT.
- ADJUST RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES, TYPICAL.
- ALL NEW PAVEMENT SURFACES SHALL BE CONSTRUCTED WITH POSITIVE SLOPE AWAY FROM BUILDING(S) AND POSITIVE SLOPE TOWARD EXISTING AND/OR PROPOSED DRAINAGE PATHS. WHERE NEW GRADES ARE SHOWN AS "MATCH" OR "±", TRANSITIONS BETWEEN NEW AND EXISTING SHALL BE SMOOTH AND LEVEL.
- ALL FRACTURED FACE ROCK (F.F. ROCK) TO BE 6" AVG. DIA. ANGULAR FACED ROCK PLACED OVER GEOTEX 501 NON-WOVEN GEOTEXTILE (O.E.).
- ENGINEER RECOMMENDS THAT OWNER MAINTAIN EROSION PROTECTION ELEMENTS. ENGINEER RECOMMENDS THAT OWNER INSPECT SITE YEARLY AND AFTER EACH RAINFALL TO IDENTIFY NEW AREAS OF EROSION AND INSTALL ADDITIONAL EROSION PROTECTION AS NEEDED BASED ON ACTUAL OCCURRENCES.

## VICINITY MAP



## PROJECT DATA

PROPERTY: THE SITE IS A PREVIOUSLY DEVELOPED COMMERCIAL PROPERTY LOCATED WITHIN CITY OF ALBUQUERQUE ZONE MAP H-18. THE SITE IS BOUND TO THE WEST BY A PREVIOUSLY DEVELOPED (NOW DEMOLISHED) COMMERCIAL PROPERTY, TO THE NORTH BY MENAU BLVD NE, TO THE EAST BY FULLY DEVELOPED COMMERCIAL PROPERTY AND TO THE SOUTH BY PROSPECT AVE. NE.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE THE CONSTRUCTION OF A NEW BANK FACILITY WITH ASSOCIATED ASPHALT PAVED ACCESS, PARKING, AND LANDSCAPING.

LEGAL: TRACT A-18 BLOCKS 16 AND 17 ZUNI ADDITION, CITY OF ALBUQUERQUE, NM

ADDRESS: 7402 MENAU BLVD. NE

AREA: 103134 SF (2.368 ACRE)

BENCHMARK: PER THE TOPOGRAPHIC SURVEY PROVIDED, VERTICAL DATUM SHOWN HEREON IS BASED UPON CITY OF ALBUQUERQUE SURVEY CONTROL MONUMENT "11-H19" HAVING A PUBLISHED ELEVATION OF 5364.26 FEET (NAVD 88).

TEMPORARY BENCHMARKS: TBM: 5/8" REBAR AND CAP STAMPED "SURV-TEK, INC- CONTROL" ELEVATION= 5332.02 (NGVD 88)

OFF-SITE: NO OFF-SITE FLOW IMPACTS THIS PROPERTY.

FLOOD HAZARD: PER BERNALILLO COUNTY FIRM MAP #3500100356H, THE SITE IS LOCATED WITHIN FLOODZONE "X" (UNSHADED) DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN.

SURVEYOR: RUSS P. HUGG  
SURV-TEC INC.  
9384 VALLEY VIEW DRIVE, N.W.  
ALBUQUERQUE, NEW MEXICO 87114  
PHONE: 505-897-3366

## DRAINAGE CONCEPT

THE SITE DRAINAGE WILL DISCHARGE FROM THE PROPOSED DEVELOPMENT TO MENAU BLVD. UTILIZING THREE SUB-BASINS. BASED ON THE 100-YEAR 6-HOUR CALCULATIONS PROVIDED THE DEVELOPED SITE WILL GENERATE 11.2 CFS:

BASIN 1: APPROXIMATELY 2 CFS MAY FREE DISCHARGE AT THE EAST MENAU ACCESS DRIVE.

BASIN 2: APPROXIMATELY 8 CFS WILL MAY DISCHARGE AT THE WEST MENAU ACCESS DRIVE.

BASIN 3: APPROXIMATELY 2 CFS MAY FREE DISCHARGE TO PROSPECT AVENUE TO BE ROUTED TO MENAU BLVD.

ALL LANDSCAPE AREAS, OTHER THAN THOSE ADJACENT TO THE BUILDING, WILL BE DEPRESSED FOR WATER HARVESTING.

18" DEEP DETENTION PONDS WITHIN EACH OF THE THREE BASIN AREAS WILL BE UTILIZED TO DETAIN PORTIONS OF SURFACE PAVEMENT AND ROOF DISCHARGE, UTILIZE FOR LANDSCAPING / INFILTRATION AND RELEASE EXCESS TO MENAU BLVD.

## CALCULATIONS

CALCULATIONS: US NM FEDERAL CREDIT UNION : Sept 20, 2013

Based on Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol 2, dated Jan., 1993

ON-SITE CALCULATIONS: 100-YEAR, 6-HOUR STORM

AREA OF SITE: 103134 SF = 2.4

HISTORIC FLOWS:

Area	Treatment SI	%
Area A	0	0%
Area B	30940.2	30%
Area C	30940.2	30%
Area D	41253.6	40%
Total Area	103134	100%

DEVELOPED FLOWS:

Area	Treatment SI	%	EXCESS PRECIP:
Area A	0	0%	Precip. Zone 3
Area B	5157	5%	E <sub>A</sub> = 0.66
Area C	10313	10%	E <sub>B</sub> = 0.92
Area D	87664	85%	E <sub>C</sub> = 1.29
Total Area	103134	100%	E <sub>D</sub> = 2.36

On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)

Weighted E =  $E_A A_A + E_B A_B + E_C A_C + E_D A_D$

$A_A + A_B + A_C + A_D$

Historic = 1.61 in. Developed E = 2.18 in.

On-Site Volume of Runoff: V360 =  $B^*A / 12$

Historic V = 13811 CF Developed V<sub>36</sub> = 18745 CF

On-Site Peak Discharge Rate:  $Q_p = Q_{pA} + Q_{pB} + Q_{pC} + Q_{pD} / 43,566$

For Precipitation Z<sub>3</sub>

Q <sub>pA</sub>	= 1.87	Q <sub>pC</sub>	= 3.45
Q <sub>pB</sub>	= 2.60	Q <sub>pD</sub>	= 5.02
Historic C	= 9.1 CFS	Developed Q <sub>p</sub>	= 11.2 CFS

## LEGEND

- (P) PROPOSED POND LOCATION (12"-18" DEEP)
- PROPOSED FLOW DIRECTION
- F.F.= PROPOSED FINISH FLOOR ELEVATION
- SUB-BASIN BOUNDARY
- (WH) PROPOSED WATER HARVESTING BASIN (6" DEPRESSED)

**ISAACSON & ARMAN, P.A.**  
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128 Monroe Street N.E.  
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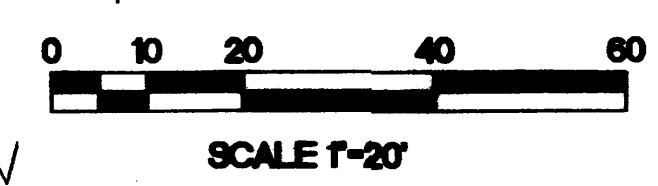
2005 CG-101-CONCEPTUAL.dwg Sep 25, 2013

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## US NEW MEXICO FEDERAL CREDIT UNION

## CONCEPTUAL GRADING & DRAINAGE PLAN

Date:	No.:	Revised:	Date:	Job No.:
11/25/13				2005
Drawn By:				CG-101
Chk By:				
FC				

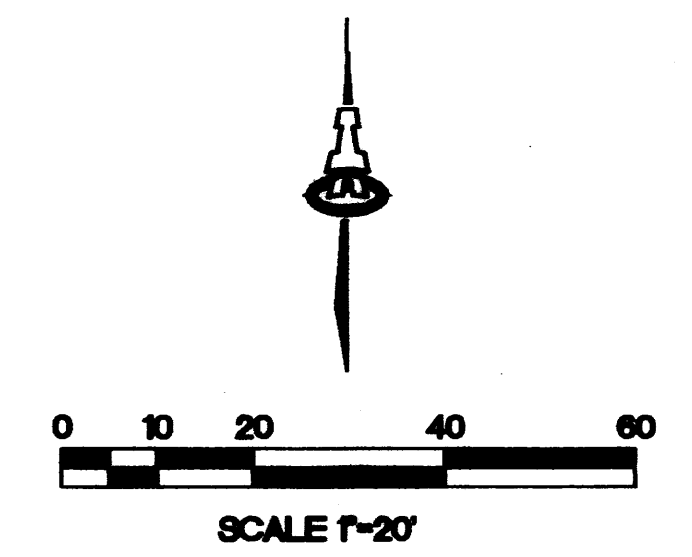


LOT 32  
LOT 31  
BLOCK 17  
ZUNI ADDITION

# MENAU BOULEVARD NE

(100' R/W)

134' TO EXISTING FIRE HYDRANT



### RESTRAINT NOTES:

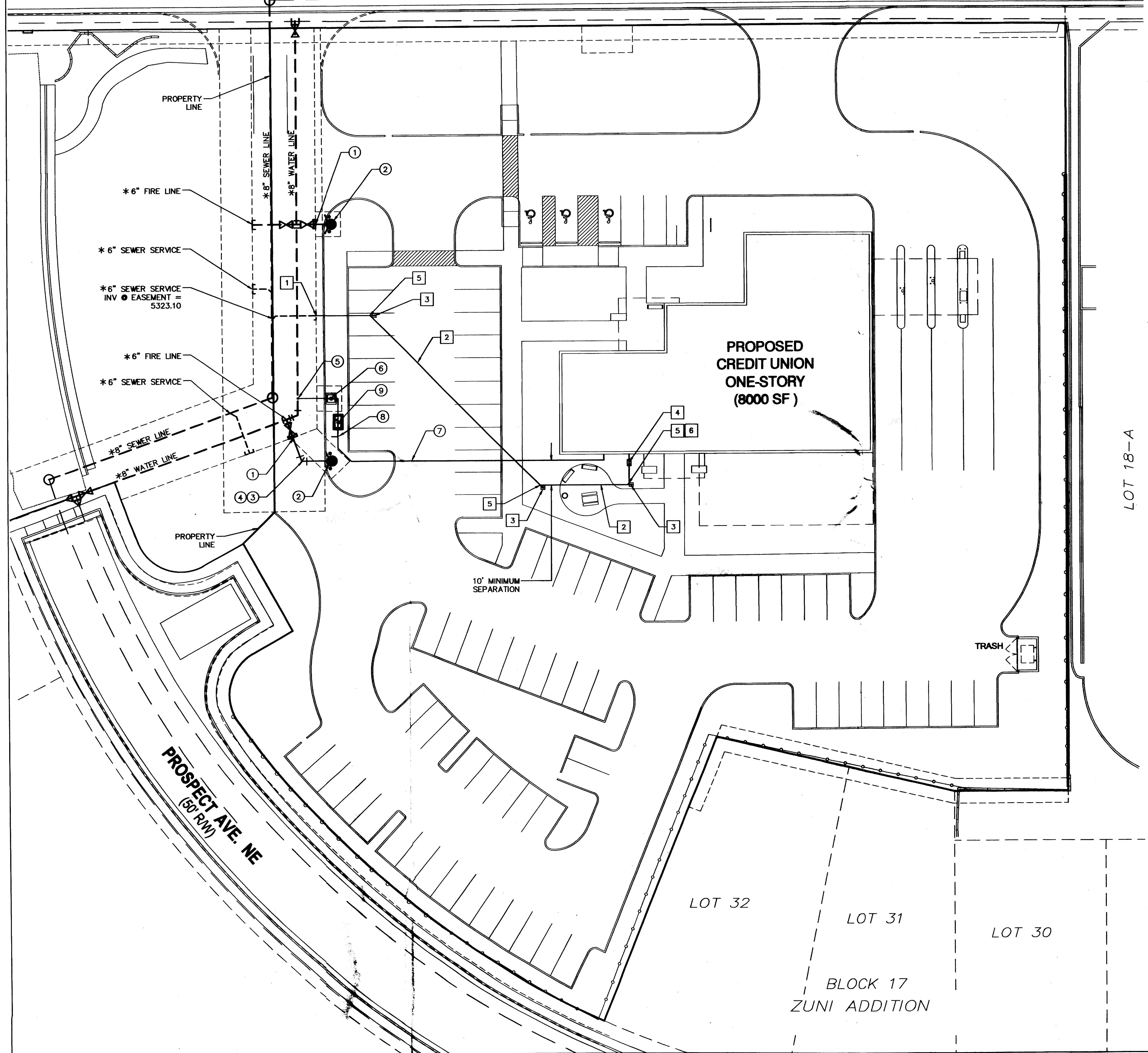
1. ALL MECHANICAL JOINTS SHALL BE RESTRAINED AT THE FITTING.
2. THE CONTRACTOR SHALL PROVIDE A MINIMUM PIPE LENGTH OF 20 LF FROM ALL MECHANICAL JOINTS. ALL PIPE JOINTS WITHIN 20 LF OF A MECHANICAL JOINT SHALL BE RESTRAINED AT THE CONTRACTOR'S EXPENSE.
3. THE CONTRACTOR SHALL RESTRAIN ALL PIPE JOINTS IN THE SPECIFIED DISTANCE LISTED IN THE TABLE ON THIS SHEET.
4. THE CONTRACTOR SHALL RESTRAIN ALL FIRE HYDRANT JOINTS FROM THE TEE ON THE MAIN TO THE FIRE HYDRANT FLANGE.
5. THE CONTRACTOR SHALL INSTALL PCC BLOCKING AT ALL CAPS (UNLESS OTHERWISE NOTED ON PLANS).

### RESTRAINTS ARE BASED UPON THE FOLLOWING CRITERIA:

DEPTH OF BURY: 3.0 FT. MINIMUM  
 FACTOR OF SAFETY: 1.25  
 MATERIAL: PVC PIPE  
 SOIL TYPE: GM/SM - SILTY GRAVELS AND SILTY SANDS, GRAVEL-SAND-SILT MIXTURES.  
 TEST PRESSURE: 150 PSI  
 TRENCH TYPE 4: PIPE BEDDED IN SAND, GRAVEL OR CRUSHED STONE TO DEPTH OF 1/8 PIPE DIAMETER, 4 INCH MINIMUM; BACKFILL COMPACTED TO TOP OF PIPE.

### LEGEND

- SAS SINGLE CLEANOUT
- SAS DOUBLE CLEANOUT
- WATER METER & BOX
- FIRE HYDRANT
- GATE VALVE W/ BOX
- POST INDICATOR VALVE
- FIRE DEPARTMENT CONNECTION
- BACK FLOW PREVENTER
- EXISTING WATERLINE
- EXISTING SEWER LINE



### GENERAL NOTES

1. EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
2. WATER AND/OR SANITARY SEWER IMPROVEMENTS WITHIN A PUBLIC EASEMENT OR RIGHT-OF-WAY SHALL BE BUILT BY SEPARATE, PUBLIC WORK ORDER, PLANS.
3. CONTRACTOR SHALL NOT USE VIBRATORY COMPACTION EQUIPMENT OR HEAVY VEHICLES OVER EXISTING UTILITIES.
4. SITE STORM DRAIN, ELECTRIC AND GAS LINES ARE SHOWN FOR GENERAL INFORMATION ONLY TO PROVIDE AN OVERVIEW OF SITE UTILITIES AND POTENTIAL CONFLICTS. SEE MECHANICAL PLANS FOR GAS LINE SIZING. SEE CG-101 FOR STORM DRAIN DESIGN.
5. ALL WATER FITTING SHALL HAVE JOINT RESTRAINTS.
6. \* PUBLIC IMPROVEMENTS TO BE CONSTRUCTED UNDER CITY PUBLIC WORK ORDER No. 762383.

### KEYED NOTES

#### WATER KEYED NOTES

1. REMOVE EXISTING CAP AND CONNECT NEW FIRE LINE TO EXISTING 8" FIRE LINE STUB.
2. FIRE HYDRANT PER ABCWJA STD. DWG. 2340 W/ BOLLARDS PER DETAIL THIS SHEET (LT=46').
3. 6" - 45' BEND (LT=9').
4. 6" - 22 1/2' BEND (LT=4').
5. 1" SERVICE PER ABCWJA STD. DWG. 2262.
6. METER BOX PER ABCWJA STD. DWG. 2368.
7. 1 1/2" WATER SERVICE LINE.
8. IRRIGATION STUB W/ 1 1/2" X 3/4" TEE & 3/4" GATE VALVE.
9. FEBCO MODEL 860 1 1/2" PRESSURE REDUCING BACK FLOW PREVENTER. (DOMESTIC) SAFE-T-COVER MODEL 3000-AL INSULATED ENCLOSURE, WITH CONCRETE BASE.

#### SEWER

1. CONNECT NEW SEWER SERVICE TO EXISTING 6" STUB.
2. NEW 6" SAS SERVICE LINE AT 2% MIN. SLOPE.
3. SINGLE CLEANOUT PER DETAIL THIS SHEET.
4. DOUBLE CLEANOUT PER DETAIL THIS SHEET.
5. 6" WYE.
6. 6" 45' BEND.

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2005 CU-101-CONCEPTUAL.dwg Dec 02,2013

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 FEDERAL CREDIT UNION

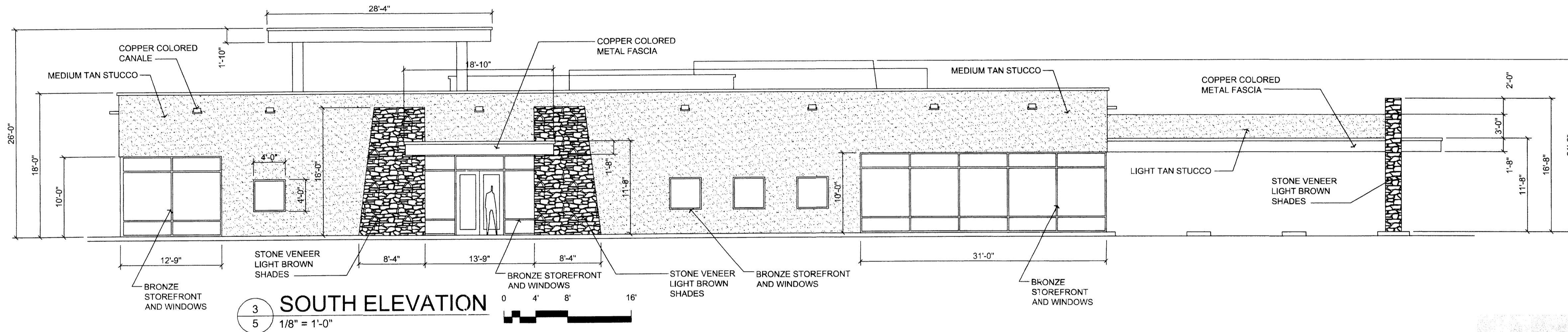
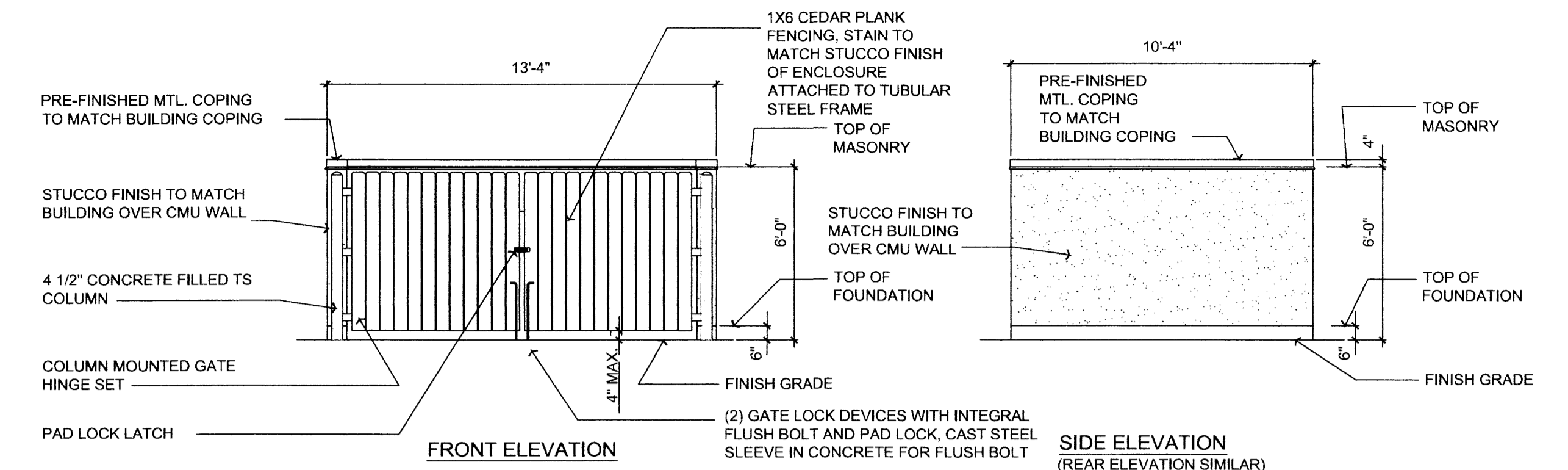
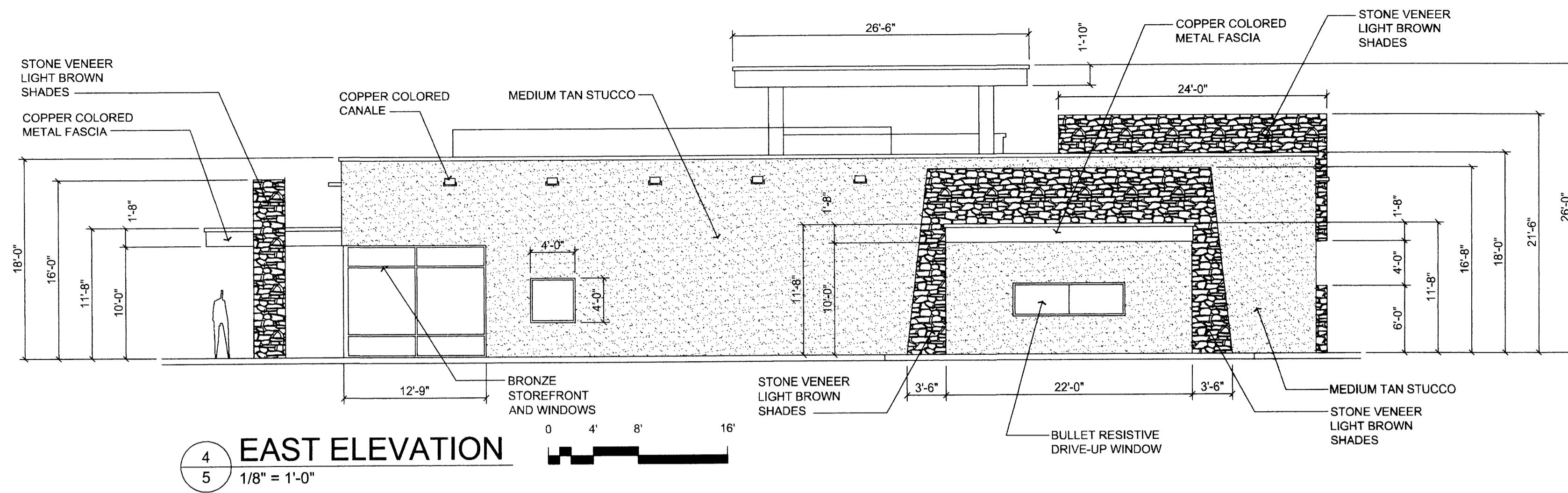
### CONCEPTUAL UTILITY PLAN

Date:	11/25/13	No. Revision:		Date:		Job No.	2005
Drawn By:	DEC						CU-101
Chk By:	FCA						SHEET 4

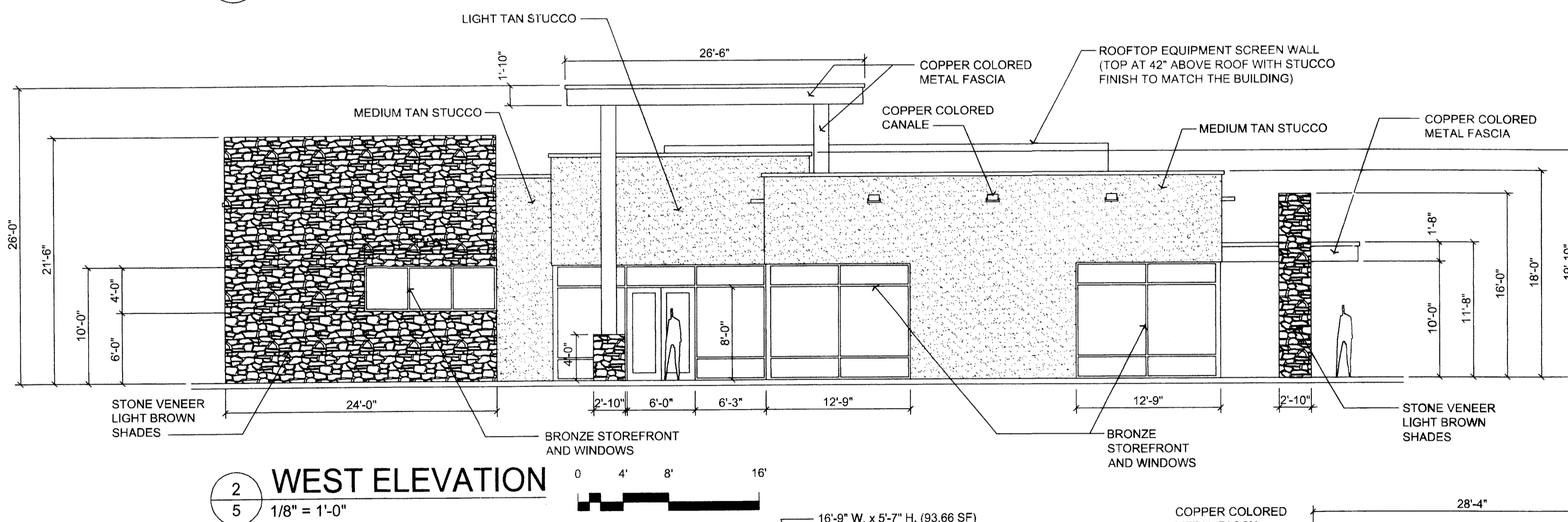
LOT 32 LOT 31 LOT 30  
 BLOCK 17 ZUNI ADDITION

PROSPECT AVE. NE  
 (60' R/W)

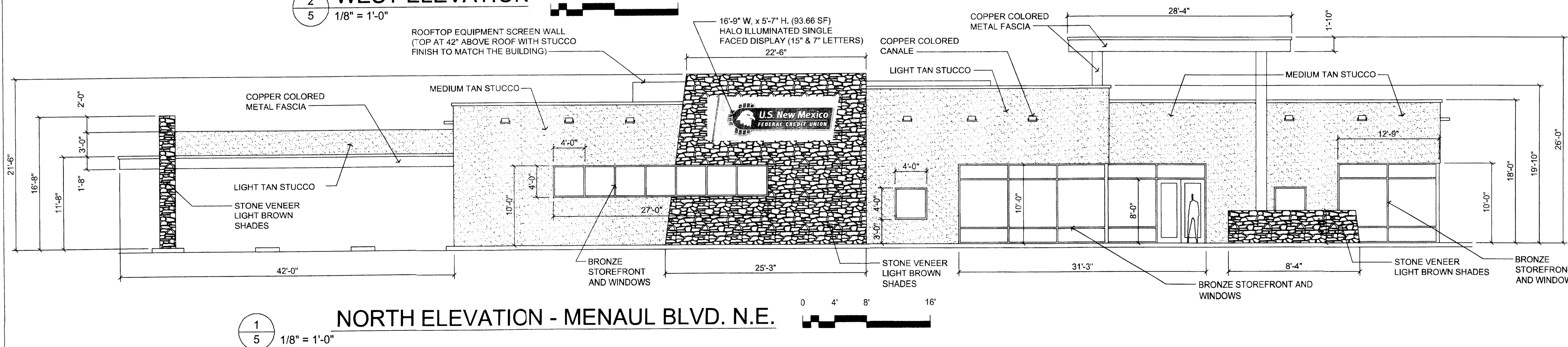
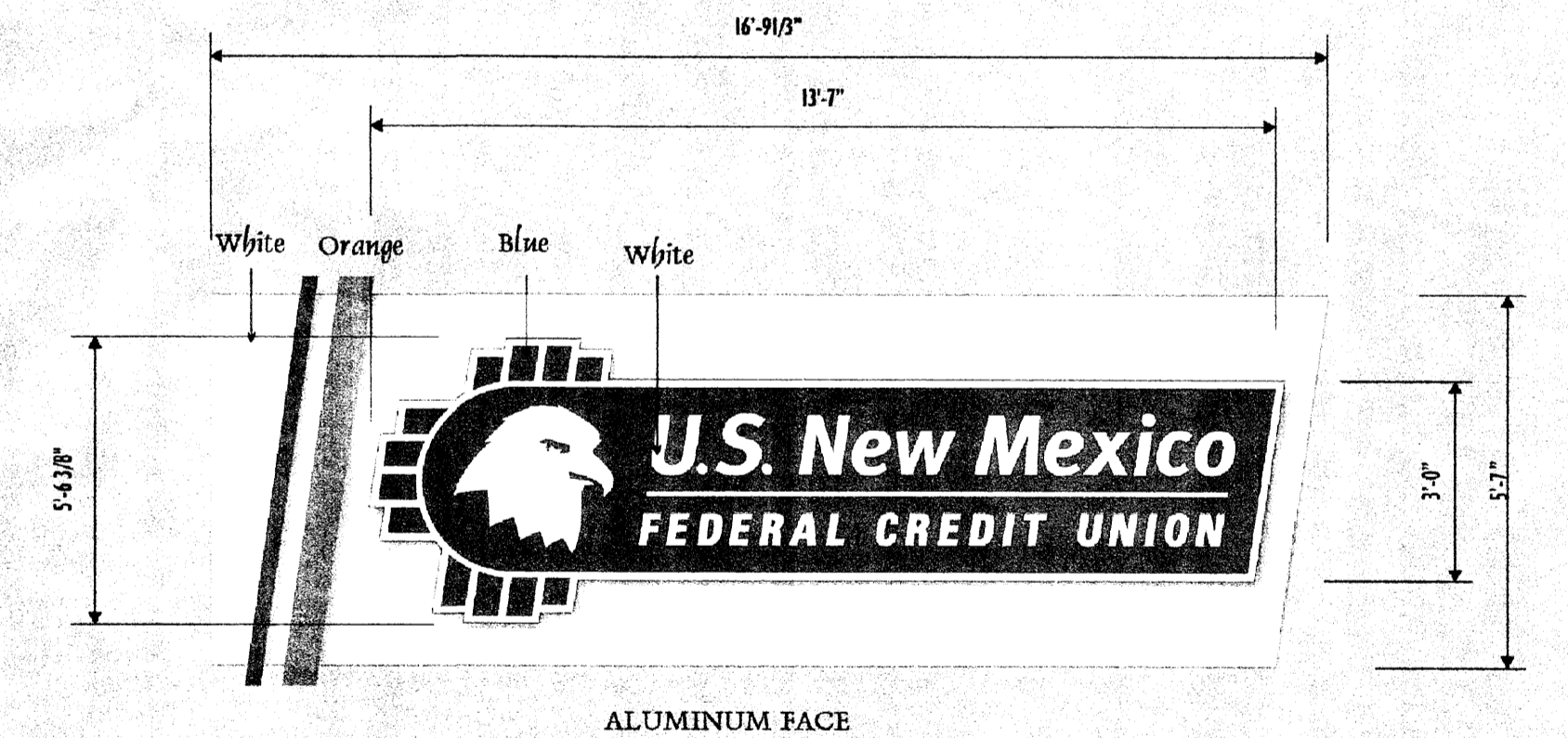
LOT 18-A



BUILDING SIGN AREA SUMMARY	
NORTH ELEVATION	
16'-9 1/3" LONG U.S. NEW MEXICO FEDERAL CREDIT UNION SIGN	93.66 S.F.
NORTH FACADE ALLOWABLE	141.19 S.F.
6% OF FACADE AREA (2353.22 S.F.) = 141.19 S.F.	
TOTAL BUILDING SIGNAGE	93.66 S.F.



**6**  
**5** FACE / HALO-ILLUMINATED SINGLE FACED DISPLAY  
SCALE 3/8" = 1'-0"



# U.S. NEW MEXICO FEDERAL CREDIT UNION ELEVATIONS

Prepared for:



PO Box 129  
Albuquerque, NM 87103

Prepared by:  
Consensus Planning, Inc.  
302 Eighth Street NW  
Albuquerque, NM 87102

NewGround  
15450 South Outer Forty Drive  
Suite 300  
Chesterfield, MO 63017

Scale: 1" = 8'

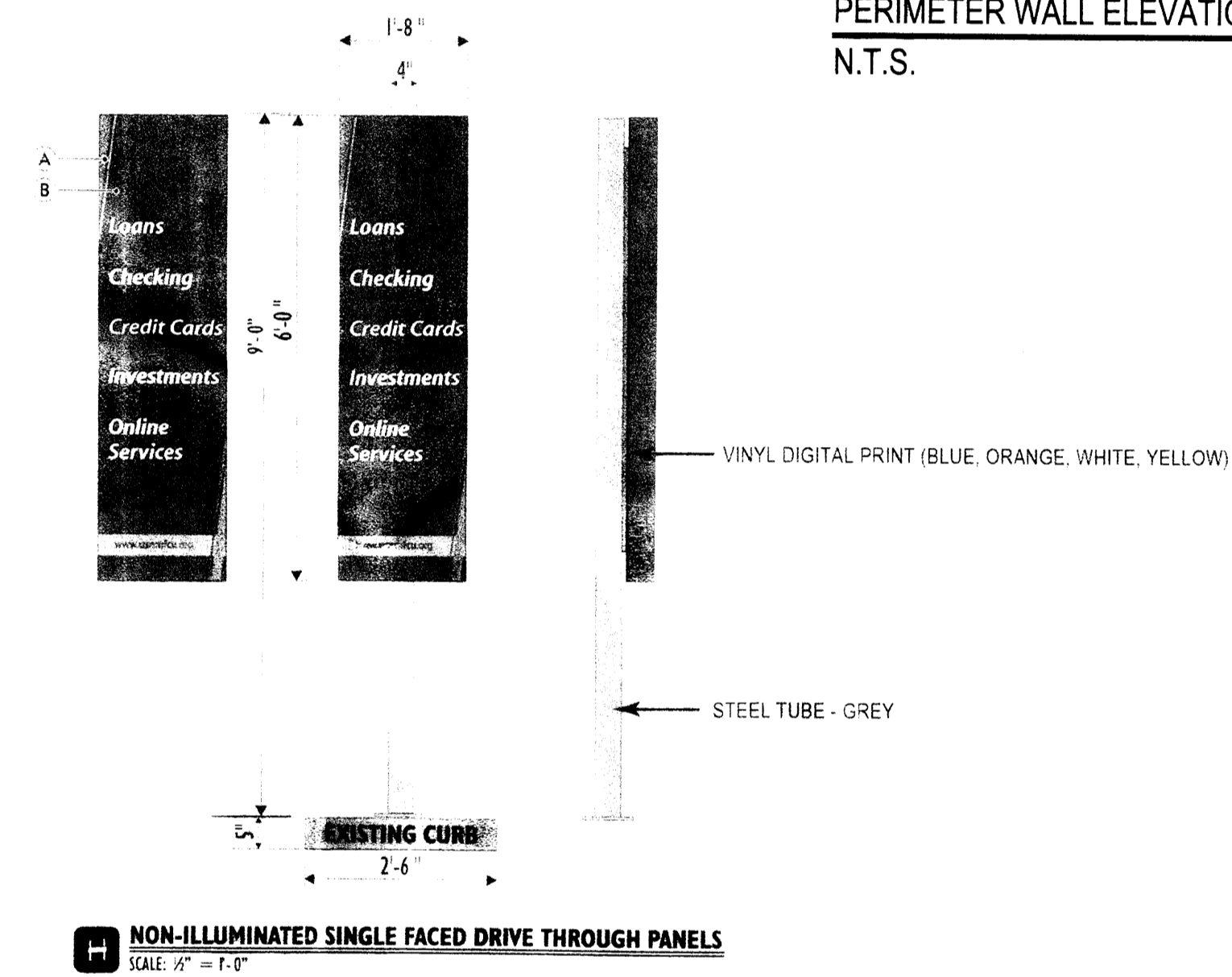
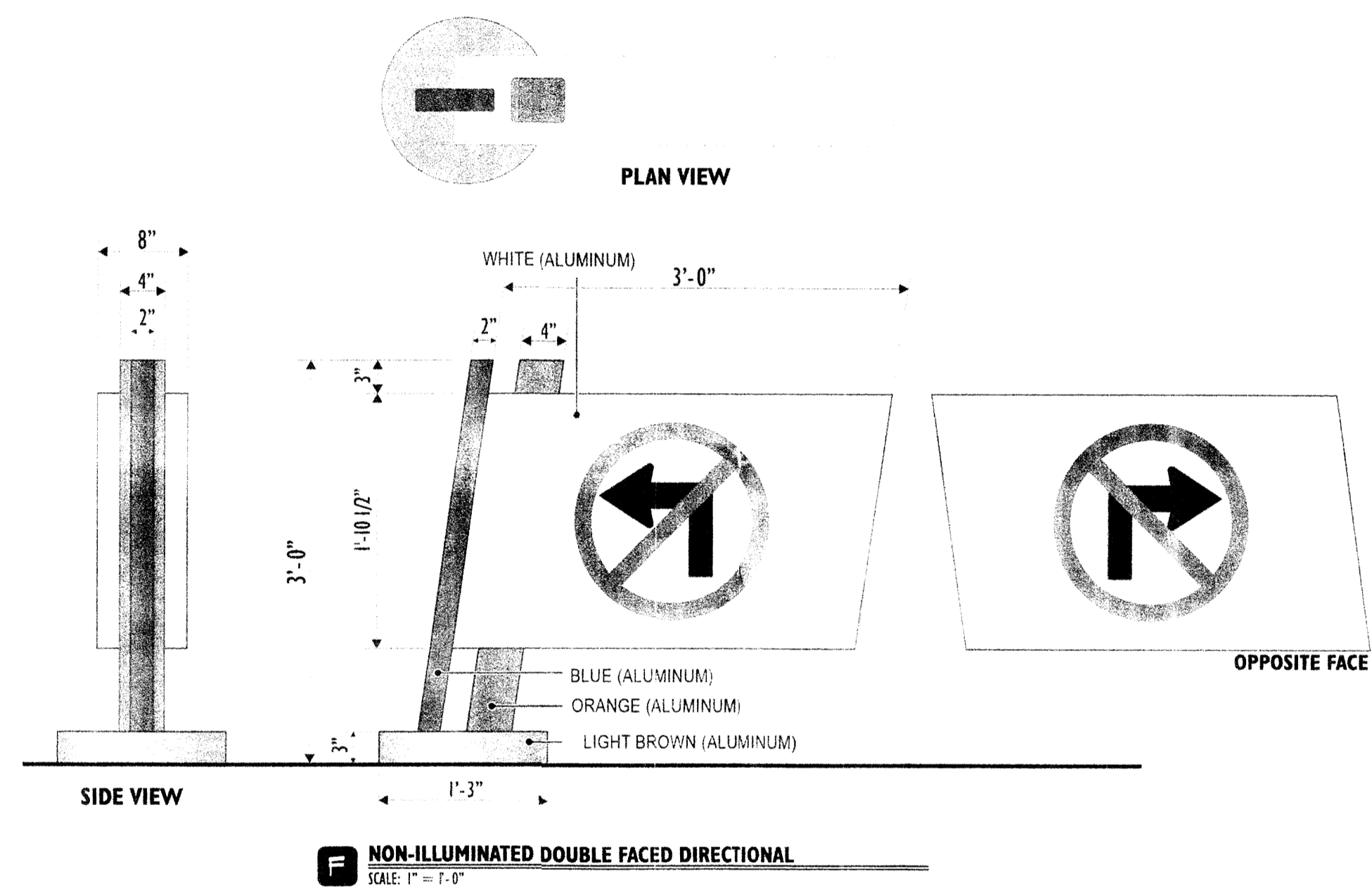


SEPTEMBER 26, 2013

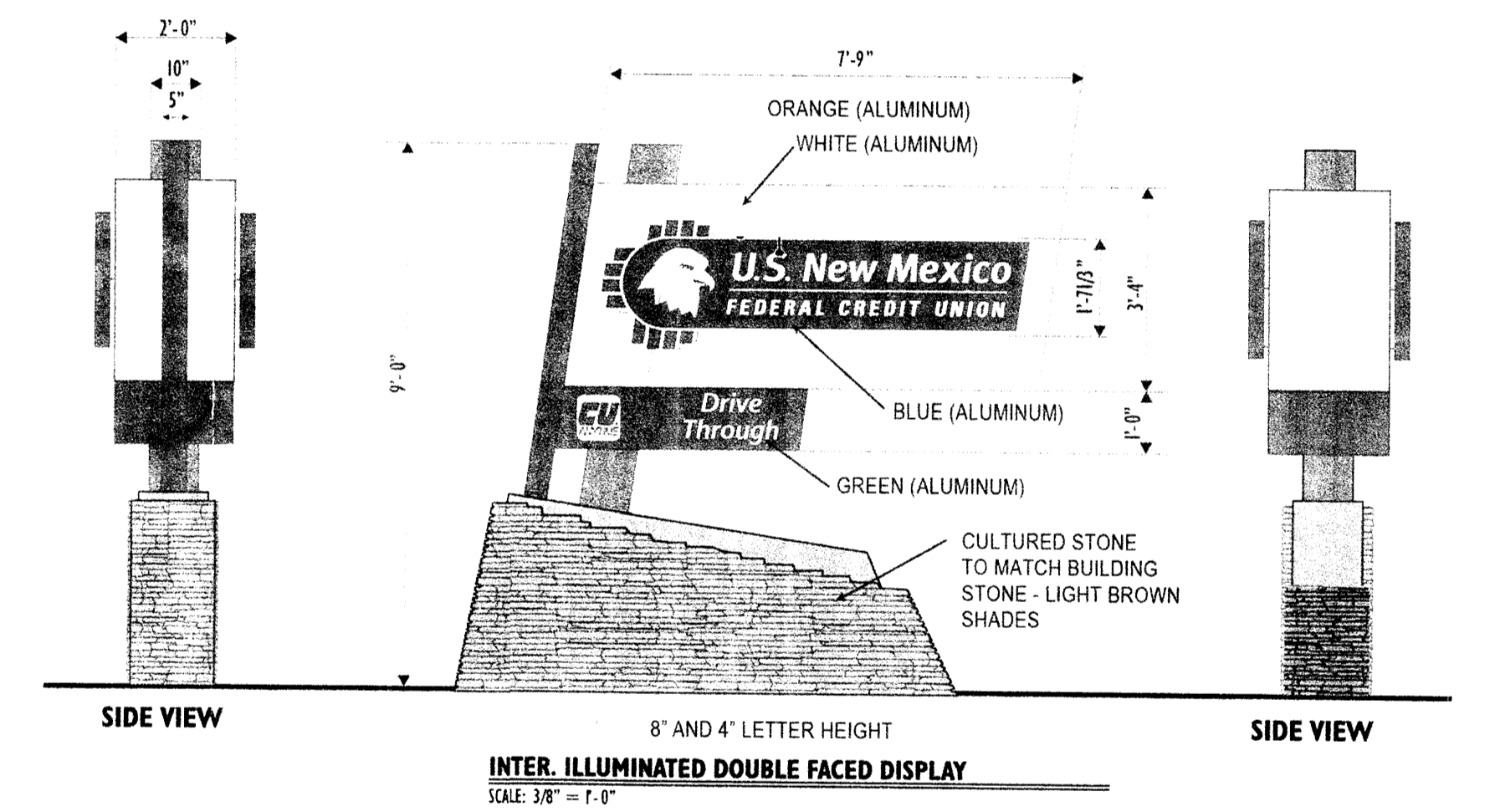
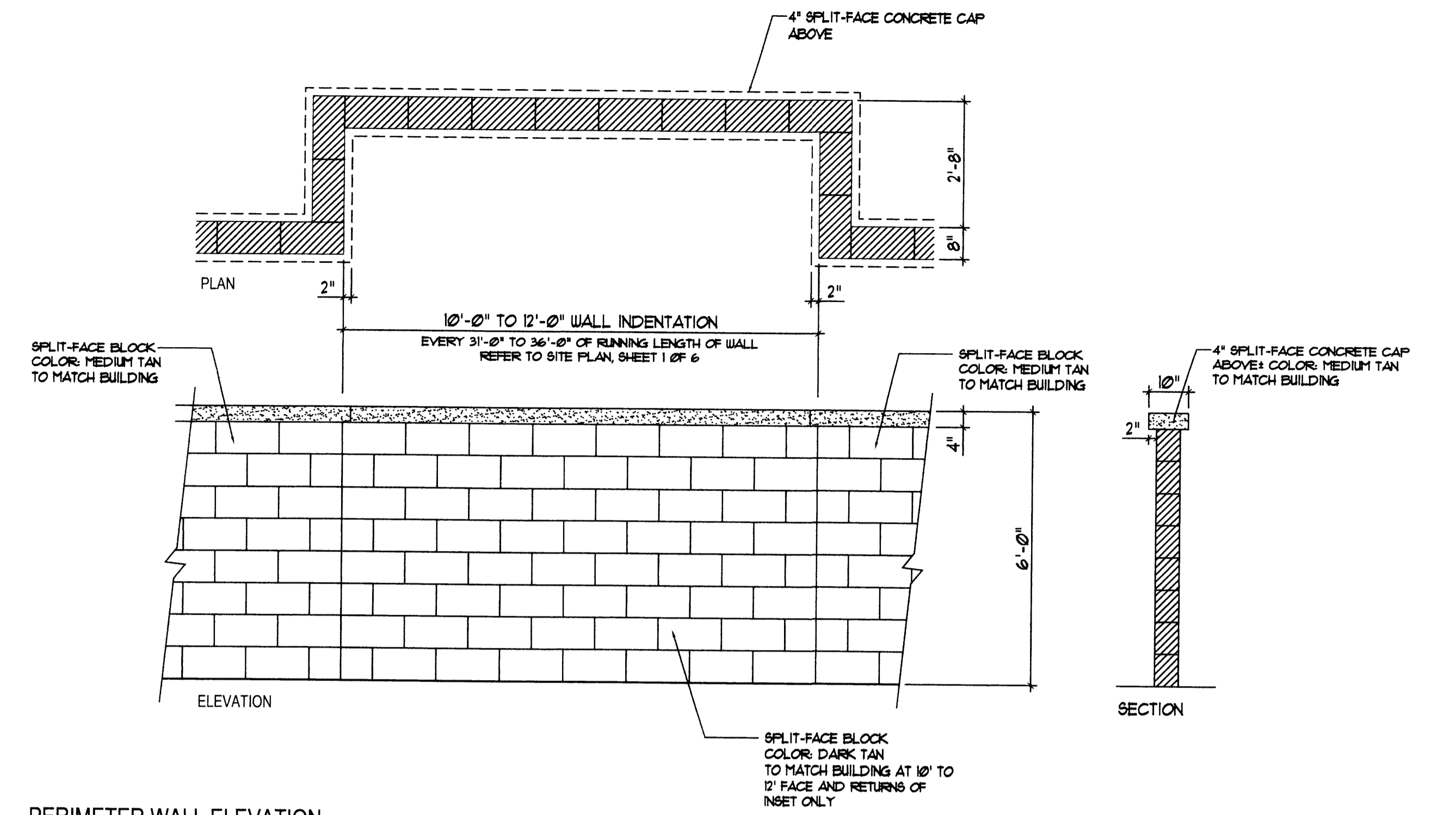
Isaacson & Arfman, P.A.  
128 Monroe St. NE  
Albuquerque, NM 87108

Sheet 5 of 6





**PERIMETER WALL ELEVATION**  
N.T.S.



MONUMENT SIGN SUMMARY	
<b>ONE MONUMENT SIGN PROPOSED (TWO-SIDED)</b>	
NORTH ELEVATION	29.69 SF
SOUTH ELEVATION	29.69 SF
MONUMENT SIGN AREA ALLOWABLE = 50 SF (PER SIDE)	

# U.S. NEW MEXICO FEDERAL CREDIT UNION

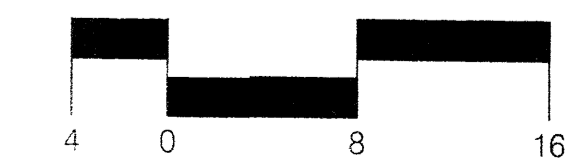
SITE SIGNAGE

Prepared for:



PO Box 129  
Albuquerque, NM 87103

Scale: 1" = 8'



NOVEMBER 26, 2013

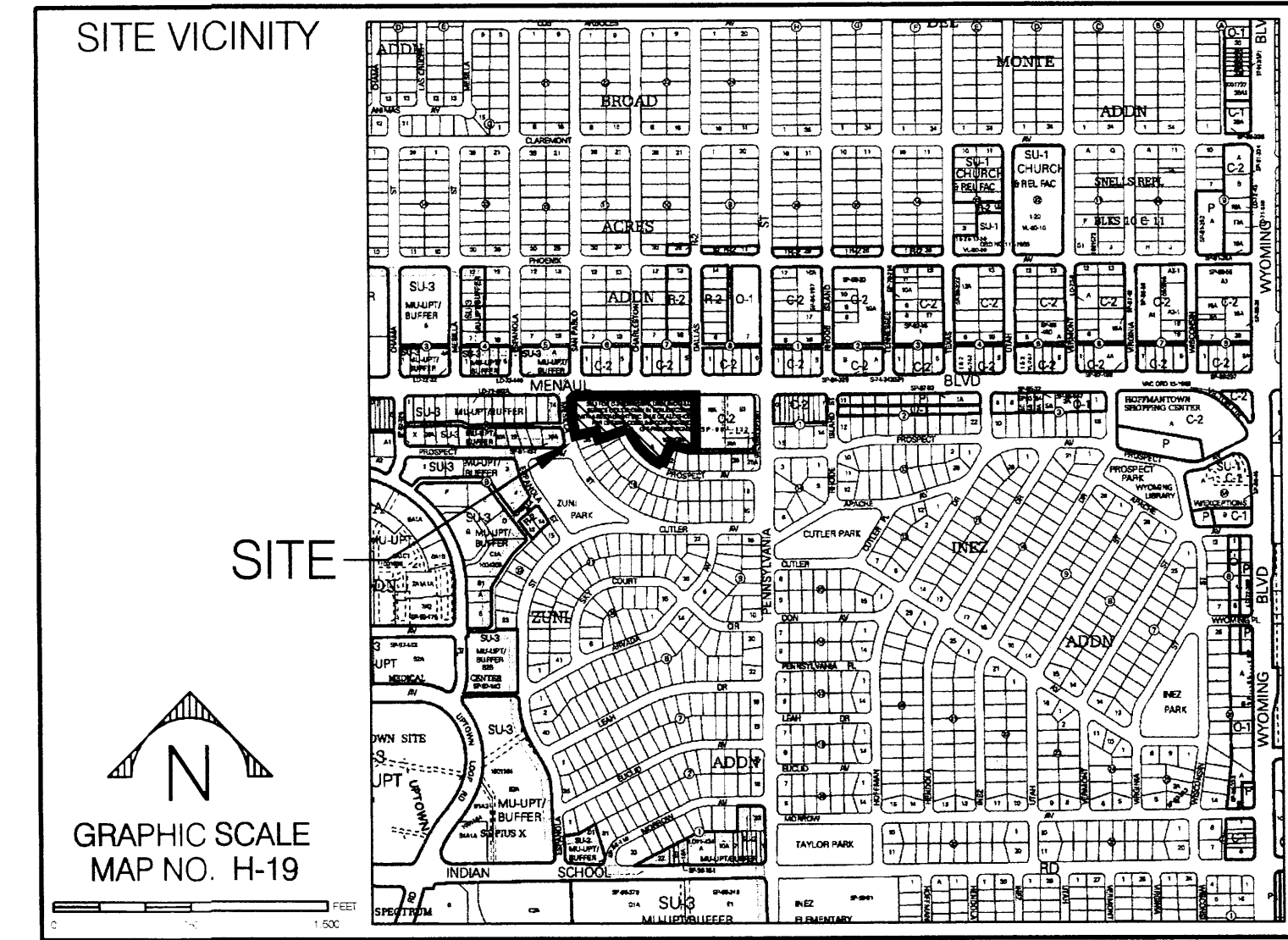
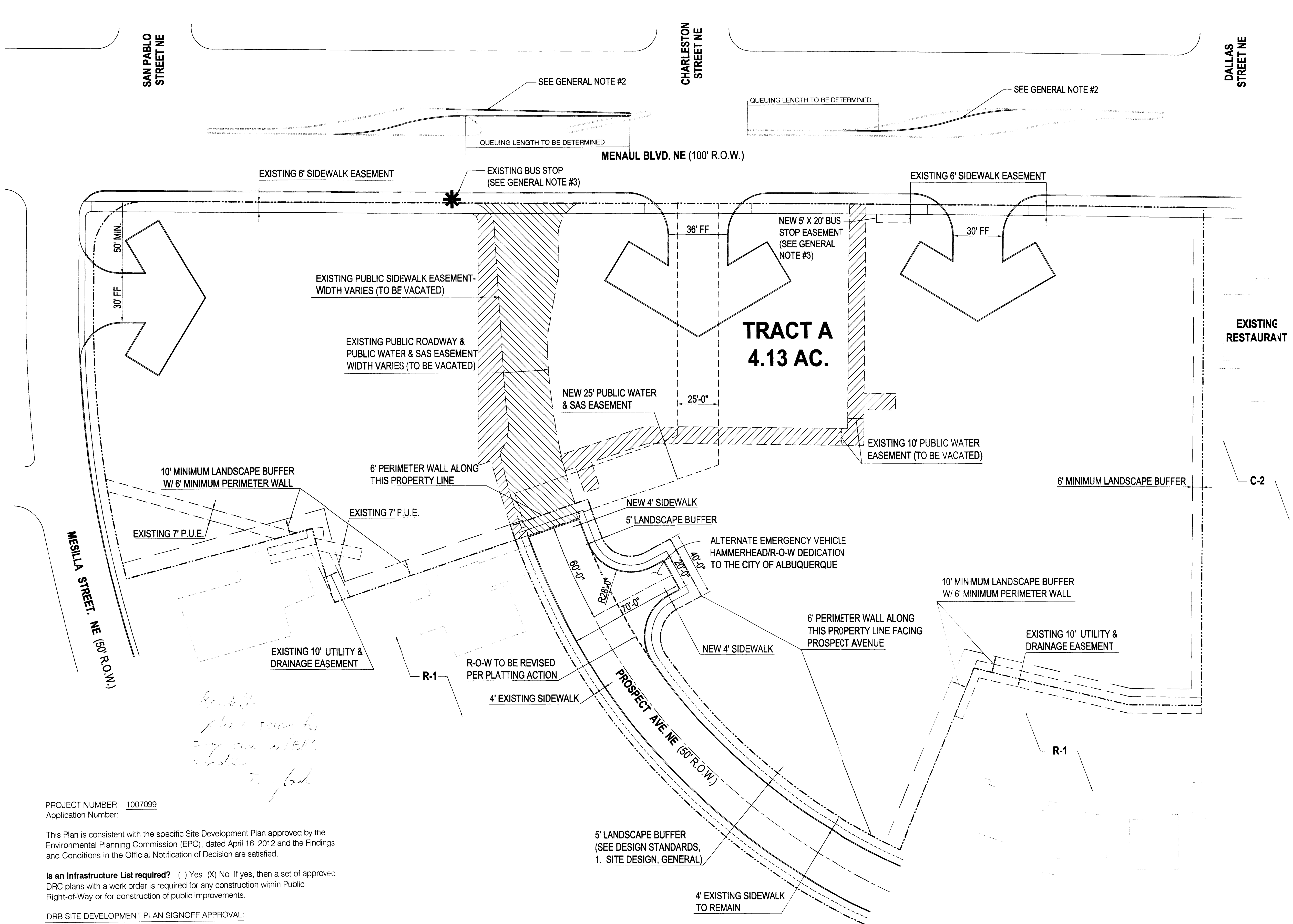
Prepared by:

Consensus Planning, Inc.  
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15450 South Outer Forty Drive  
Suite 300  
Chesterfield, MO 63017

Isaacson & Arfman, P.A.  
128 Monroe St, NE  
Albuquerque, NM 87108

Sheet 6 of 6



**SITE VICINITY**

**SITE**

**GRAPHIC SCALE**  
MAP NO. H-19

**SITE PLAN FOR SUBDIVISION-REQUIRED INFORMATION**

**THE SITE:**  
TRACT A, BLOCKS 16 & 17, ZUNI ADDITION. THE SITE CONSISTS OF APPROXIMATELY 4.13 ACRES. NO SUBDIVISION IS ANTICIPATED AT THIS TIME; HOWEVER, THE MODIFIED ACCESS AT PROSPECT AVENUE AND THE VACATION OF PUBLIC ROADWAY EASEMENT REQUIRE A REPEAT AT DRB.

**EXISTING ZONING:**  
SU-1 FOR C-2 PERMISSIVE USES, INCLUDING A FULL SERVICE LIQUOR LICENSE ONLY IN CONJUNCTION WITH A RESTAURANT, EXCLUDING SALE OF ALCOHOL FOR OFF-SITE CONSUMPTION AND EXCLUDING OFF-PREMISE SIGNS.

**PROPOSED USE:**  
PER C-2 PERMISSIVE USES, WITH EXCEPTIONS AS DESCRIBED ABOVE.

**PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS:**

**VEHICULAR ACCESS:**  
VEHICULAR ACCESS TO THE SITE WILL BE FROM ACCESS POINTS ALONG MENAUL BOULEVARD NE AND MESILLA STREET NE. A FULL MOVEMENT INTERSECTION WILL BE CREATED WITH REALIGNMENT OF PROSPECT AVENUE NE (A PRIVATE ROAD WITH A PUBLIC ACCESS EASEMENT) TO LINE UP WITH CHARLESTON STREET NE. A SECOND MENAUL ACCESS POINT WILL BE RIGHT-IN, RIGHT-OUT TURN MOVEMENT ONLY, EAST OF PROSPECT AVENUE.

**PEDESTRIAN ACCESS CIRCULATION:**  
THE EXISTING PUBLIC SIDEWALK ALONG MENAUL BOULEVARD WILL BE REPLACED WITH A NEW 6 FOOT PUBLIC SIDEWALK WITHIN THE PROPERTY IN ORDER TO FACILITATE THE PLACEMENT OF LANDSCAPE BETWEEN THE BACK OF CURB AND THE NEW SIDEWALK IN COMPLIANCE WITH DEVELOPMENT PROCESS MANUAL. THE PROPOSED PUBLIC SIDEWALK WILL REQUIRE A SIDEWALK ACCESS EASEMENT TO BE GRANTED. THERE IS AN EXISTING 4 FOOT SIDEWALK ALONG MESILLA STREET. 6 FOOT SIDEWALK CONNECTIONS WILL BE MADE BETWEEN THE PUBLIC SIDEWALK AND FUTURE BUILDINGS. ADA ACCESS WILL BE PROVIDED FROM THE SIDEWALK TO THE FUTURE BUILDINGS ON FUTURE SITE PLANS FOR BUILDING PERMIT.

**TRANSIT ACCESS:**  
MENAU BOULEVARD IS AN ENHANCED TRANSIT CORRIDOR. ABQ RIDE ROUTE #8 PROVIDES SERVICE ALONG MENAU BOULEVARD. THERE IS AN EXISTING BUS STOP LOCATED ALONG MENAU, JUST WEST OF PROSPECT AVENUE, WHICH SHALL BE MOVED BY ABQ RIDE TO 280 FEET EAST AS SHOWN ON THIS SITE PLAN.

**BICYCLE ACCESS:**  
THERE IS AN EXISTING BIKE ROUTE SOUTH OF THIS SITE ALONG CUTLER AVENUE AND ESPANOLA STREET.

**INTERNAL CIRCULATION:**  
CONCEPTUAL LOCATIONS FOR THE ACCESS POINTS HAVE BEEN IDENTIFIED AND WILL BE INDICATED ON FUTURE SITE PLANS FOR BUILDING PERMIT. SIDEWALKS WILL BE PROVIDED THROUGHOUT THE SITE AND BETWEEN ALL BUILDINGS AND PARKING AREAS.

**BUILDING HEIGHTS AND SETBACKS:**  
BUILDING HEIGHT AND SETBACKS SHALL BE PER THE O-1 ZONE, SECTION 14-16-2-15(C)(1).

**MAXIMUM F.A.R.: .75**

**LANDSCAPE PLAN:**  
SEE DESIGN STANDARDS, SHEET 2. LANDSCAPE PLANS WILL BE CREATED IN CONJUNCTION WITH FUTURE SITE PLANS FOR BUILDING PERMIT, AND CONSISTENT WITH THE DESIGN STANDARDS.

PROJECT NUMBER: 1007099  
Application Number:

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated April 16, 2012 and the Findings and Conditions in the Official Notification of Decision are satisfied.

**Is an Infrastructure List required?** ( ) Yes (X) No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

- GENERAL NOTES**
- THIS SITE PLAN FOR SUBDIVISION (12EPC-40005) VOIDS THE PREVIOUSLY APPROVED SITE PLAN FOR BUILDING PERMIT (08EPC-40021).
  - THE PUBLIC ROADWAY EASEMENT WILL BE VACATED AND ACCESS TO THE SITE SHALL BE MOVED TO ALIGN WITH CHARLESTON STREET. THE MEDIANS IN MENAUL BOULEVARD WILL BE RECONSTRUCTED ACCORDINGLY, WITH QUEUING LENGTHS TO BE DETERMINED AT FUTURE SITE PLAN FOR BUILDING PERMIT.
  - CITY TRANSIT REQUIRES THE EXISTING BUS STOP TO BE MOVED APPROXIMATELY 280 FEET EAST. A 5' WIDE X 20' LONG EASEMENT IS REQUIRED AS PART OF THE PLATTING PROCESS AT DRB.
  - VEHICULAR ACCESS IS PROHIBITED TO AND FROM THE SITE FROM THE NEIGHBORHOOD TO THE SOUTH.

# MENAU SITE - TRACT A

## ZUNI ADDITION

### SITE DEVELOPMENT PLAN FOR SUBDIVISION

Prepared for:  
Sandia Foundation  
6211 San Mateo  
Suite 100  
Albuquerque, NM 87109

Prepared by:  
Consensus Planning, Inc.  
302 Eighth Street NW  
Albuquerque, NM 87102

Isaacson & Arfman, P.A.  
128 Monroe Street NE  
Albuquerque, NM 87108

## DESIGN STANDARDS

The purpose of these Design Standards is to provide a framework to assist developers and designers in understanding the development goals and objectives for Tract A-Zuni Addition. These standards address landscape, setbacks, pedestrian amenities, screening, lighting, signage, and architecture that will create the visual image desired for this property. Development shall be in compliance with the City of Albuquerque Comprehensive Zoning Code. Future Site Development Plans for Building Permit shall return to the Environmental Planning Commission (EPC) for review and approval.

### 1. SITE DESIGN

The following standards were created in order to facilitate high quality development that furthers the City's objectives for an Enhanced Transit Corridor.

#### General

- Sidewalks shall be provided per Section 14-16-3-18 (C) (1) General Building and Site Design Regulations for Non-Residential Uses of the City Comprehensive Zoning Code.

- All drive-up uses shall be designed so traffic and queuing shall cause no deleterious effects on the pedestrian qualities of the center. Drive up service windows shall not face adjacent residential development.

- Drive-up service windows shall be constructed in accordance with Section 14-16-3-18 (D) (5) General Building and Site Design Regulations for Non-Residential Uses of the City Comprehensive Zoning Code.

- Building access and entries shall be visible from the street.

- Entry ways shall be clearly defined, either by a canopy or inset (minimum 4 feet), and linked to the pedestrian pathways.

- Loading areas shall follow Section 14-16-3-18 (C) (6) General Building and Site Design Regulations for Non-Residential Uses of the City Comprehensive Zoning Code.

- Any exterior storage and sales areas shall be architecturally integrated to the main building by use of walls, roofs, and fencing.

- Roof-mounted mechanical equipment shall be screened from the public right-of-way as prescribed by Section 14-16-3-18 (C) (6) General Building and Design Regulations for Non-Residential Uses of the City Comprehensive Zoning Code.

- Screening devices for parking lots, loading areas, refuse collection, delivery/storage areas, and drive-up service windows shall be used to limit their adverse visual impact on surrounding developments. Walls and fences shall be kept as low as possible while performing their screening and security functions.

- Parking located adjacent to Menaul Boulevard and Mesilla Street shall be screened by buildings or a combination of landscaping, walls, and earthen berms to a minimum height of 2.5 feet (30 inches). Screen walls shall be compatible with the building architecture relative to materials and color and a maximum of 42 inches.

- A six foot wall shall be located along Prospect Avenue, where the property faces residential development. The design of the wall shall comply with Section 14-16-3-19 of the Comprehensive Zoning Code. A minimum 5 foot wide landscape buffer shall be provided between the wall and the existing 4 foot public sidewalk. The design of the wall shall meet Section 14-16-3-19 General Height and Design Regulations for Walls, Fences, and Retaining Walls, and specifically Subsection (b) e. Facade, which requires "A variety of living shrubs, trees and/or vines covering or overhanging at least one third of the length of the wall..." The existing mature evergreen trees may be counted towards meeting the landscape requirement under the City's Wall Regulations.

- All outdoor refuse containers shall be screened within a minimum 6-foot tall enclosure and large enough to contain all refuse generated between collections, and provide an area for recycling. Design and materials of enclosures shall be compatible with the building architecture.

- No engineered wood panels, or cyclone, chain-link, razor-wire, and vinyl plastic fencing shall be permitted.

#### Accessibility & Safety

- Sites shall be designed for accessibility at all facilities and outdoor public areas.

- Sites shall be designed in accordance with the Americans with Disabilities Act, the American National Standards for Accessible and Usable Buildings and Facilities, and the New Mexico Building Codes for accessibility criteria for places of public use.

- Close attention shall be paid to ramps and to how the entire site may be traversed. All ramps within the City right-of-way shall include truncated domes, as required by the Development Review Board.

- Entrances and exits to buildings shall be flush.

- A constant elevation shall be maintained at all curb cuts and junctions between driveways and pedestrian sidewalks for compliance with ADA standards.

#### Circulation

- Pedestrian access shall be separated from vehicular access.

- The interior of the center shall be very accommodating to the pedestrian, even within the predominantly off-street parking areas.

- Pedestrian walkways within a site shall be a minimum of 6 feet in width, unobstructed, and clearly demarcated by use of techniques such as special paving, grade separation, or pavement marking of a permanent nature.

- Pedestrian connections shall be provided to the existing transit stop (to be relocated approximately 280' east per ABQ Ride proposal) on Menaul Boulevard in order to facilitate multi-modal transportation.

- Pedestrian crosswalks shall be a minimum of 6 feet in width and constructed of colored textured paving.

#### Parking

- The minimum number of vehicular, disabled, motorcycle and bicycle parking spaces shall be per Section 14-16-3-1 Off-street Parking Regulations contained in the City Comprehensive Zoning Code.

- Parking areas shall be visually segmented into smaller subareas separated by landscaping and/or pedestrian walkways.

- Parking shall be placed on at least two sides of a building. Parking shall not dominate the street frontage.

- Parking areas shall be designed to include a pedestrian link to the public sidewalk network and pedestrian access shall be provided to link structures to the public sidewalk.

#### Setbacks

The use of building and parking area setbacks is required to provide space for the creation of visually attractive streetscapes. Required within these setbacks will be pedestrian walkways and screening materials, including landscaping, earthen berms, or walls, or a combination. Setbacks shall be per Section 14-16-2-15 O-1 Office and Institution Zone contained in the City Comprehensive Zoning Code.

### 2. SUSTAINABILITY

- Energy efficient techniques shall be utilized to reduce energy and water consumption, where possible.

- Water harvesting techniques such as curb cuts for drainage to landscaped areas, permeable paving, bioswales to slow and treat storm water runoff, or cisterns for the collection and reuse of storm water and gray water shall be provided.

- Buildings shall be oriented to take advantage of heat gain in the winter where possible while coordinating with shading strategies to inhibit solar gain in the summer.

- Grasses and other ground vegetation should be near edges to help filter and slow runoff as it enters the site.

- Convenient recyclable collection facilities shall be provided by all tenants of the site.

### 3. ARCHITECTURAL DESIGN

Specific architectural style shall not be dictated. The design shall, however, demonstrate a high quality aesthetic character throughout the property. Architectural design should respond to climate, views, solar access, and aesthetic considerations, with the architectural design being in harmony with adjoining projects.

- Building heights shall be per the O-1 Zone, Section 14-16-2-15 of the Comprehensive City Zoning Code.

- Buildings shall employ a variety of structural forms to create visual character and interest. Columns, arcades, corner articulation, overhangs, awnings, marquees, gutters and scuppers, breezeways, vertical fins, wall recesses, soffits, and deciduous tree canopies should be carefully dimensioned and detailed to provide a human-scale, visual interest, and a means of shading building facades while lending color and formal articulation to the buildings.

#### Roofs

- Roofs shall drain water to areas which are landscaped appropriately for such run-off.

#### Building Facades

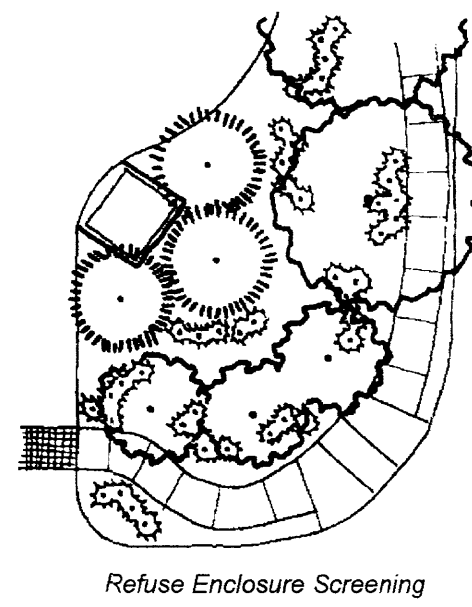
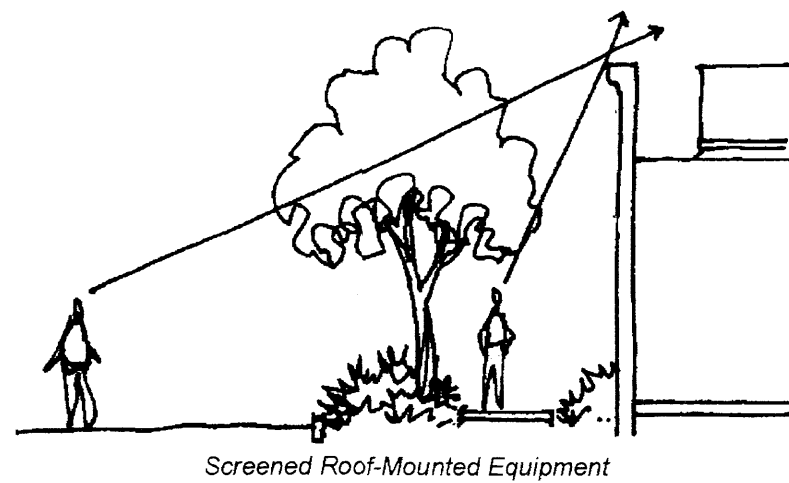
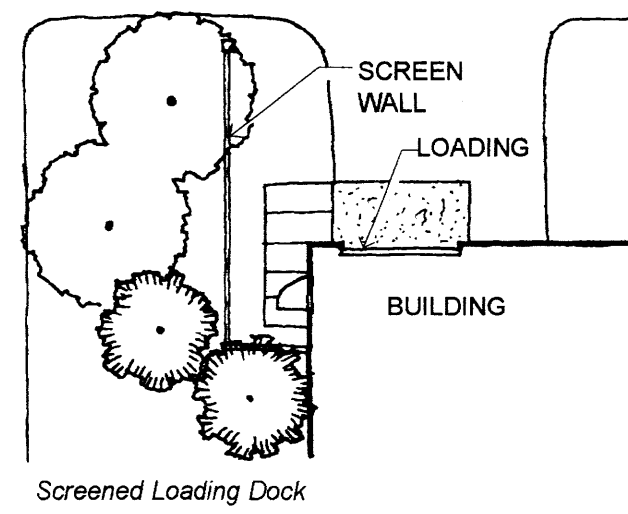
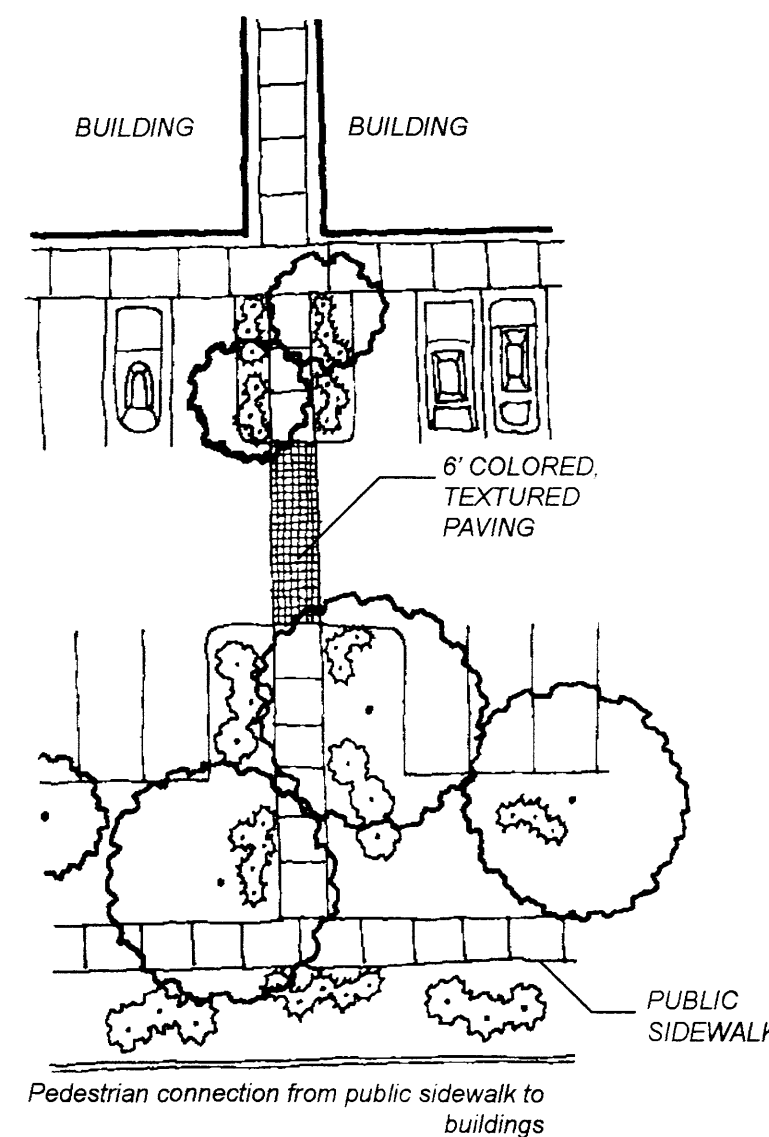
- The scale, proportion, and composition of fenestration of facades shall be designed to give visual interest from the exterior, to provide variation in quality of light on the interior, and to coordinate with the lighting requirements for each activity area.

- All canopies, roof structures, and design elements of related buildings shall be architecturally integrated to the main building design.

- Use of plastic or vinyl is prohibited on building panels and awnings.

- Buildings shall have windows on the front elevations. The windows may be display windows or viewing windows with a glazing transparency that allows a pedestrian to see inside the window or a combination thereof.

- Major facades greater than 100 feet in length shall be per Section 14-16-3-18(C)(3) of the Comprehensive City Zoning Code.



- Facades SHALL:
  - vary in height, depth and articulation to create a pedestrian-scaled environment

- be articulated with a variety of architectural elements, colors and materials

- have all accessory buildings and enclosures, whether attached or detached from the main building, treated with similar compatible design and materials as the main structure or structures

- be treated with a consistent level of detail at all sides of all buildings and structures

#### Building Materials & Colors

Materials prohibited as the main architectural feature include the following:

- exposed, untreated precision block or wood walls within public view
- highly reflective surfaces
- metal paneling
- The use of contrasting colors between roofs and walls shall be used to further differentiate the planes of building masses.
- Colors shall be the natural tone of materials (earthtones such as sands, creams, tans, etc.) rather than applied color (painted), except where used as an accent color.

### 4. LIGHTING

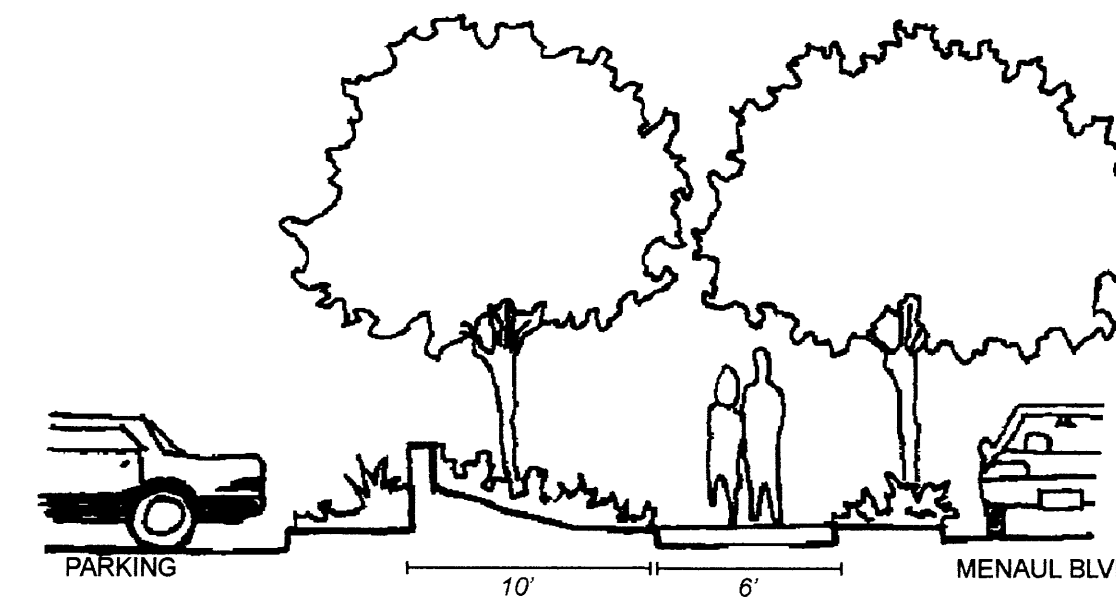
In order to enhance the safety, security, and visual aesthetics of the property, careful consideration must be given to selection of outdoor furniture, lighting design, site materials and other features. It is important to consider the daytime appearance of all materials.

- Placement of fixtures and standards shall conform to State Night Sky Protection Act and City Comprehensive Zoning Code Section 14-16-3-9.

- A design objective of the site lighting system shall be to maximize public safety while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection. All lights, including stand alone fixtures and building mounted, shall be shielded source to prevent spillage onto adjoining properties or light pollution of the existing "Dark Sky".

- Individual site lighting standards shall blend with the architectural character of the building and other site fixtures.

- Sodium lighting is prohibited.



Landscape Strip on Menaul Blvd.

### 5. LANDSCAPE

The development of an overall landscape concept will establish a framework that unifies the entire property. To achieve a cohesive development, all areas of design need to be coordinated and responsive to existing environmental conditions and local building policies. These standards shall be used as a supplement to the City requirements in the Water Conservation Landscaping and Water Waste Ordinance, the Pollen Ordinance, the Street Tree Ordinance and other landscaping regulations included in the City Comprehensive Zoning Code under Section 14-16-3-10 Landscaping Regulations Applicable to Apartment and Nonresidential Development.

- Low water use turf may be provided at a maximum of 40% of the landscaped area. High water use turf is not allowed.

- Landscape buffers shall be provided in all locations that abut residential development. The landscape buffer shall be a minimum of 10 feet in width and shall be comprised primarily of trees, 10 foot minimum height at the time of planting, and shall be capable of reaching a mature height of at least 25 feet. A minimum of 40% of the trees in the landscape buffer shall be evergreen. Spacing of all trees shall be equal to 75% of the mature canopy diameter of the trees.

- An automatic underground irrigation system shall be provided to support all landscaping. The system shall be designed to avoid overspraying of walks, buildings, fences, etc. Backflow preventers shall be provided in accordance with City of Albuquerque Codes.

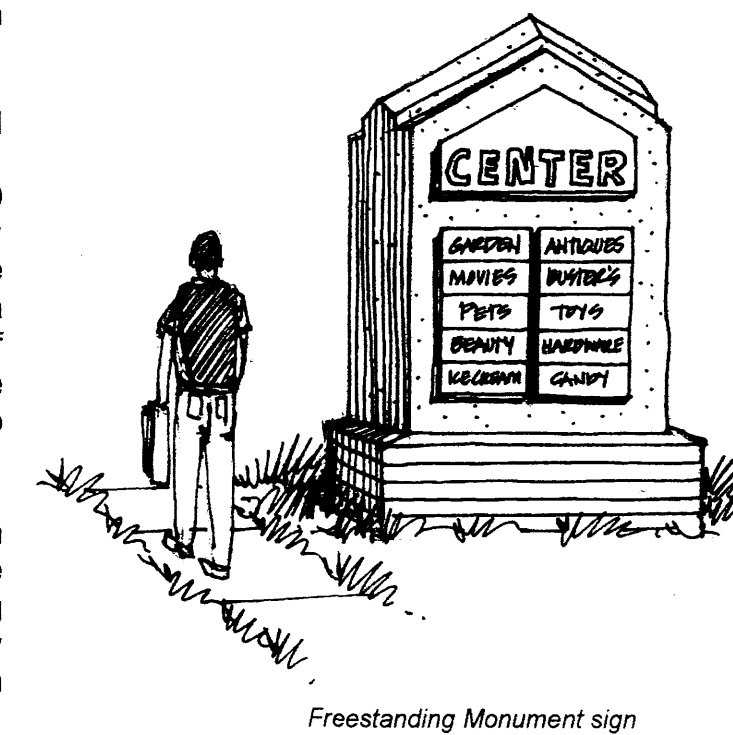
- Proposed lighting and landscaping shall be placed so they are not in conflict with each other.

- All plant material, including trees, shrubs, groundcovers, turf, wildflowers, etc. shall be maintained by the Owner in a living, attractive condition. All areas shall be maintained free of weeds through the use of pervious filter material. Each individual lot owner will be responsible for the installation and maintenance of the landscape on their property and within the adjacent public right-of-way.

### 6. SIGNAGE

The following signage standards were developed to regulate the size, location, type, and quality of sign elements within this property. A properly implemented signage program will serve four very important functions: to direct and inform employees and visitors; to provide circulation requirements and restrictions; to provide for public safety, and to complement the visual character of the development.

- All freestanding signs shall be monument signs only.



Freestanding Monument sign

- Location, number and illumination of signs shall be per the C-2 Zone, Section 14-16-2-17 (A)(10) of the City Comprehensive Zoning Code. Monument sign height shall not exceed 9 feet in height and shall have a maximum sign area of 50 square feet, except no signage shall be allowed along Prospect Avenue, across from residential development.

- Building-mounted signs shall not exceed 6 percent of the facade area. Building-mounted signs are prohibited along Prospect Avenue across from residential development and along the south property boundary within 50 feet of an abutting residential development. Illuminated plastic panel signs are prohibited.

- Signs perpendicular to an elevation shall only occur under an awning or canopy/portal and shall not be more than 8 square feet. These signs may not project past the overhang.

- Off-premise signs are prohibited.

#### Freestanding monument signs SHALL:

- be designed to be in compliance with Section 14-16-3-5 General Sign Regulations of the City Comprehensive Zoning Code

- be designed to be consistent with and complement the materials, color and architectural style of the building or site location

- identify only the name and business of the occupant or of those offering the premises for sale or lease, and

- have a minimum contrast of 70% between the background and the text.

#### Freestanding monument signs SHALL NOT:

- intrude upon any architectural features, including windows, columns, moldings or any decorative features; and

- include illuminated plastic panels or backlit plastic/vinyl signs, except logo designs are permitted.

### 7. UTILITIES

- Developers shall contact PNM's New Service Delivery Department to coordinate electric service and options for the location of electric service connection. Any existing or proposed public utility easements are to be indicated on subsequent Site Plan for Building Permit utility sheets. PNM's standard for public utility easements is 10 feet in width to ensure adequate, safe clearances.

- All electric distribution lines shall be placed underground.

- Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from the public right-of-way. Screening of transformers, electric boxes and other utility structures shall not impede access to the equipment and shall provide for safe maintenance and repair by utility workers.

- When an above-ground backflow prevention device is required by the City of Albuquerque, the heated enclosure shall be constructed of materials compatible with the architectural materials used as the main elements of the building. If pre-fabricated fiberglass enclosures are used they shall be appropriately screened from view by walls and/or landscaping.

- Any wireless communication facilities shall be concealed and architecturally integrated.

# MENAU SITE - TRACT A

## ZUNI ADDITION

## DESIGN STANDARDS

Prepared for:  
Sandia Foundation  
6211 San Mateo  
Suite 100  
Albuquerque, NM 87109

Prepared by:  
Consensus Planning, Inc.  
302 Eighth Street NW  
Albuquerque, NM 87102

Isaacson & Arfman, P.A.  
128 Monroe Street NE  
Albuquerque, NM 87108

July, 2012

Sheet 2 of 2

PLAT OF  
TRACT A-1  
BLOCKS 16 AND 17  
**ZUNI ADDITION**

(BEING A REPLAT OF TRACT A, BLOCKS 16 & 17, ZUNI ADDITION)

SITUATE WITHIN  
**SECTION 7, TOWNSHIP 10 NORTH, RANGE 4 EAST**  
**NEW MEXICO PRINCIPAL MERIDIAN**  
**CITY OF ALBUQUERQUE**  
**BERNALILLO COUNTY, NEW MEXICO**

JULY, 2012

PROJECT NUMBER: 1007099

Application Number: \_\_\_\_\_

**PLAT APPROVAL**

**UTILITY APPROVALS:**

Fernando Vigil 7-22-13  
Public Service Company of New Mexico Date

\_\_\_\_\_  
New Mexico Gas Company Date

\_\_\_\_\_  
Qwest Corporation d/b/a CenturyLink QC. Date  
7/22/13  
Comcast Date

**CITY APPROVALS**  
**FOR ADP. APPROVAL** 7-24-12  
City Surveyor Date  
Department of Municipal Development

\_\_\_\_\_  
Real Property Division Date

\_\_\_\_\_  
Environmental Health Department Date

\_\_\_\_\_  
Traffic Engineering, Transportation Division Date

\_\_\_\_\_  
ABCWUA Date

\_\_\_\_\_  
Parks and Recreation Department Date

\_\_\_\_\_  
AMAFCA Date

\_\_\_\_\_  
City Engineer Date

\_\_\_\_\_  
DRB Chairperson, Planning Department Date

**TREASURERS CERTIFICATION**

This is to certify that taxes are current and paid on the following:

\_\_\_\_\_  
Bernalillo County Treasurer Date

**PUBLIC UTILITY EASEMENTS**

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
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- Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgear, as installed, shall extend ten (10) feet from front of transformer/switchgear doors and five (5) feet on each side.

**DISCLAIMER**

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

**PURPOSE OF PLAT**

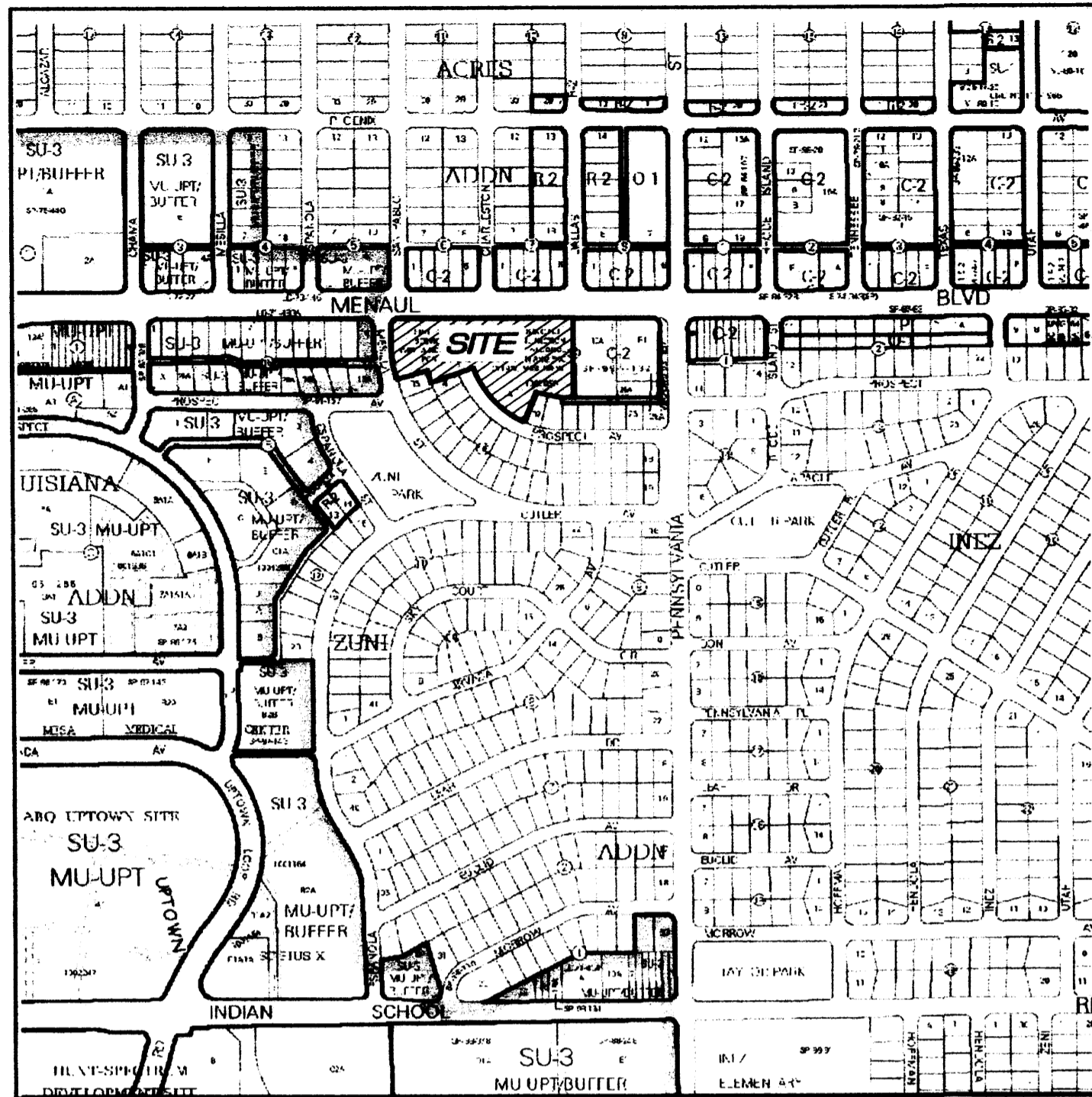
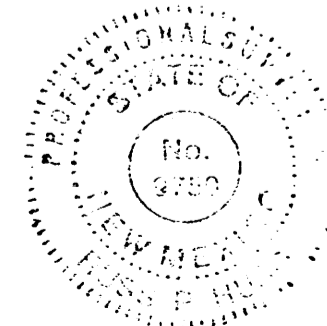
The purpose of this plat is to:

- Show the easements Vacated by 12DRB-70189 and 70190.
- Grant the new easements as shown hereon.
- Dedicate the additional public street right of way as shown hereon.

**SURVEYORS CERTIFICATION**

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

Russ P. Hugg  
NMPS No. 9750  
July 2, 2012



**VICINITY MAP**  
Not To Scale

**GENERAL NOTES**

- Bearings are grid and based on the New Mexico State Plane Coordinate System, Central Zone (NAD83).
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- City of Albuquerque Zone Atlas Page H-19-Z.

**SUBDIVISION DATA**

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- Total number of Tracts created: 1
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- Public street R/W dedicated: 0.0391 acres

PLAT OF  
TRACT A-1  
BLOCKS 16 AND 17  
ZUNI ADDITION

(BEING A REPLAT OF TRACT A, BLOCKS 16 & 17, ZUNI ADDITION)

SITUATE WITHIN  
SECTION 7, TOWNSHIP 10 NORTH, RANGE 4 EAST  
NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO

JULY, 2012

**LEGAL DESCRIPTION**

That certain parcel of land situate within Section 7, Township 10 North, Range 4 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, comprising all of Tract A, Blocks 16 and 17, Zuni Addition, as the same is shown and designated on the plat entitled "PLAT OF TRACT A, BLOCKS 16 & 17, ZUNI ADDITION, SECTION 7, T10N, R4E, NMPM, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico, on June 11, 2009, in Plat Book 2009C, Page 91.

Said parcel contains 4.1826 acres, more or less.

**FREE CONSENT AND DEDICATION**

SURVEYED and REPLATTED and now comprising PLAT OF TRACT A-1, BLOCKS 16 AND 17, ZUNI ADDITION (BEING A REPLAT OF TRACT A, BLOCKS 16 AND 17, ZUNI ADDITION) SITUATE WITHIN SECTION 7, TOWNSHIP 10 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, COUNTY, NEW MEXICO", with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby dedicate the additional public street right of way as shown hereon to the City of Albuquerque in fee simple with warranty covenants. Said owner(s) and proprietor(s) do hereby grant the easements as shown hereon. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

**OWNER(S)**

Sandia Foundation, a New Mexico Non-profit corporation




By: Robert Goodman, Executive Director

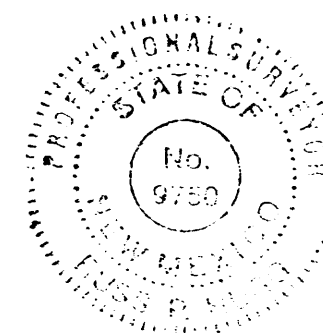
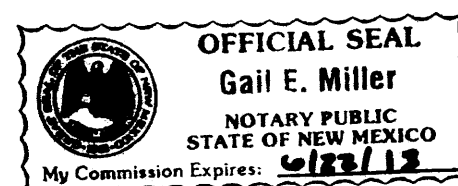
**ACKNOWLEDGMENT**

STATE OF NEW MEXICO  
COUNTY OF BERNALILLO SS

The foregoing instrument was acknowledged before me this 24<sup>th</sup>

day of July, 2012, by Robert Goodman, Executive Director of The Sandia Foundation, a New Mexico Non-profit Corporation.

 My commission expires 6/22/2013  
Notary Public



SHEET 2 OF 3

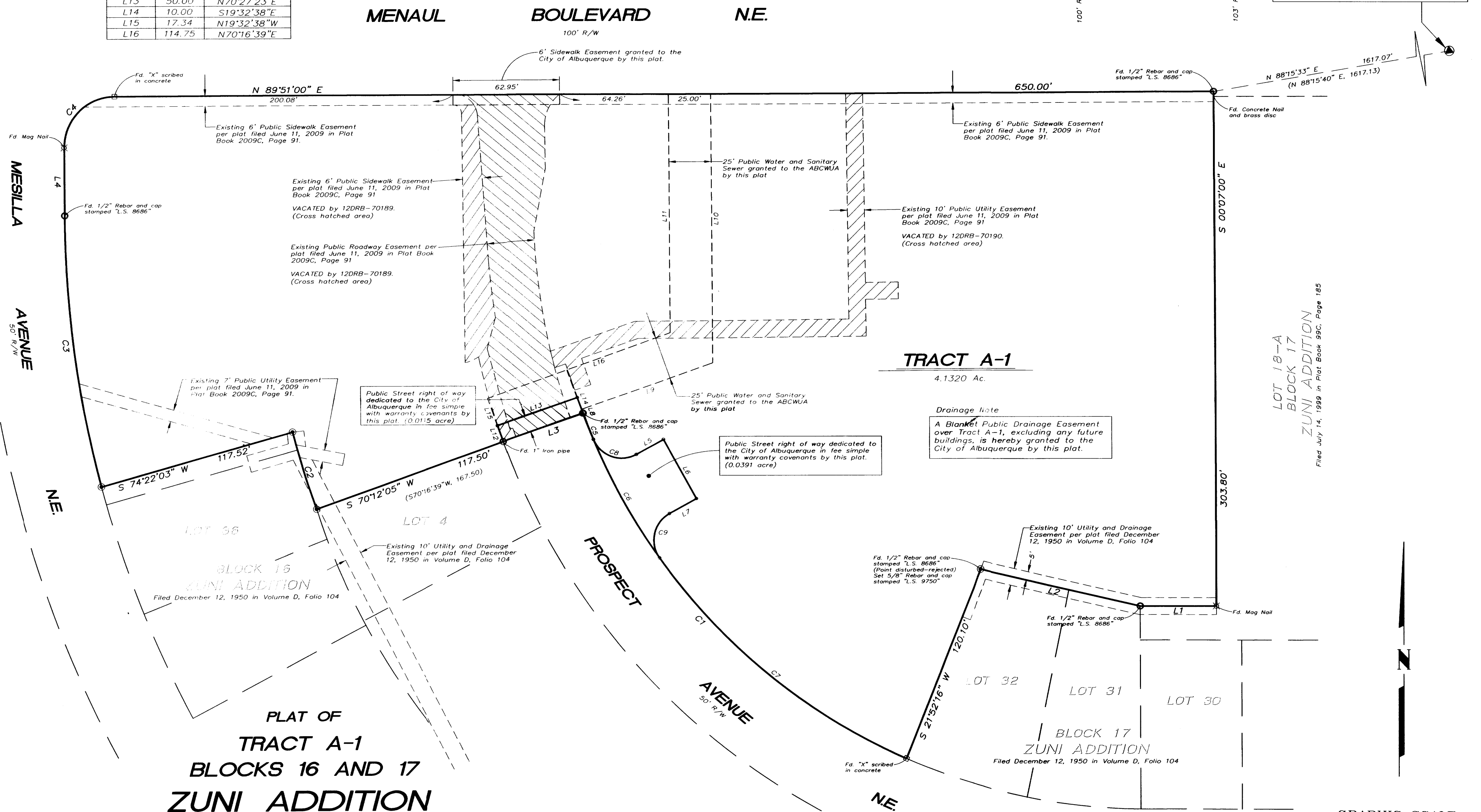
**SURVOTEK, INC.**

Consulting Surveyors  
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114 Phone: 505-897-3366  
Fax: 505-897-3377

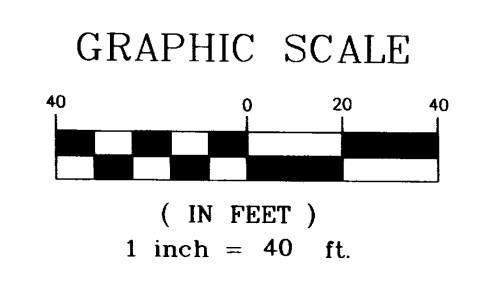
LINE TABLE		
LINE	LENGTH	BEARING
L1	45.05	S89°51'00"W
L2	97.15	N77°09'11"W
L3	50.00	S70°27'23"W
L4	40.00	N00°09'00"W
L5	18.30	N61°04'11"E
L6	40.00	S28°55'49"E
L7	18.28	S61°04'11"W
L8	2.50	N19°43'21"W
L9	82.48	N70°16'39"E
L10	158.54	N00°09'45"W
L11	140.89	S00°09'45"E
L12	10.00	N19°32'38"W
L13	50.00	N70°27'23"E
L14	10.00	S19°32'38"E
L15	17.34	N19°32'38"W
L16	114.75	N70°16'39"E

CURVE TABLE CHORD						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	BEARING	DELTA
C1	286.89'	353.80'	151.86'	279.09'	S42°57'09"E	46°27'34"
C2	47.81'	521.30'	23.92'	47.79'	S17°05'42"E	5°15'16"
C3	162.02'	638.80'	81.45'	161.59'	S07°25'06"E	14°31'55"
C4	47.13'	30.00'	30.01'	42.43'	S44°51'00"W	90°00'35"
C5	16.80'	353.80'	8.40'	16.80'	S21°05'00"E	2°43'15"
C6	80.25'	353.80'	40.30'	80.07'	S28°56'29"E	12°59'43"
C7	189.84'	353.80'	97.26'	187.57'	S50°48'38"E	30°44'35"
C8	30.31'	18.00'	20.16'	26.86'	S70°41'13"E	96°29'12"
C9	30.32'	18.00'	20.17'	26.86'	S12°48'55"W	96°30'31"

Albuquerque Control Survey Monument "11-H19"  
 New Mexico State Plane Coordinates  
 (Central Zone - NAD 83)  
 North = 1,495,164.914 feet  
 East = 1,548,977.780 feet  
 Elevation = 5,364.257 feet (NAVD 1988)  
 Delta Alpha = -0°01'33.04"  
 Ground To Grid Factor = 0.999656857



**PLAT OF**  
**TRACT A-1**  
**BLOCKS 16 AND 17**  
**ZUNI ADDITION**  
 (BEING A REPLAT OF TRACT A, BLOCKS 16 & 17, ZUNI ADDITION)  
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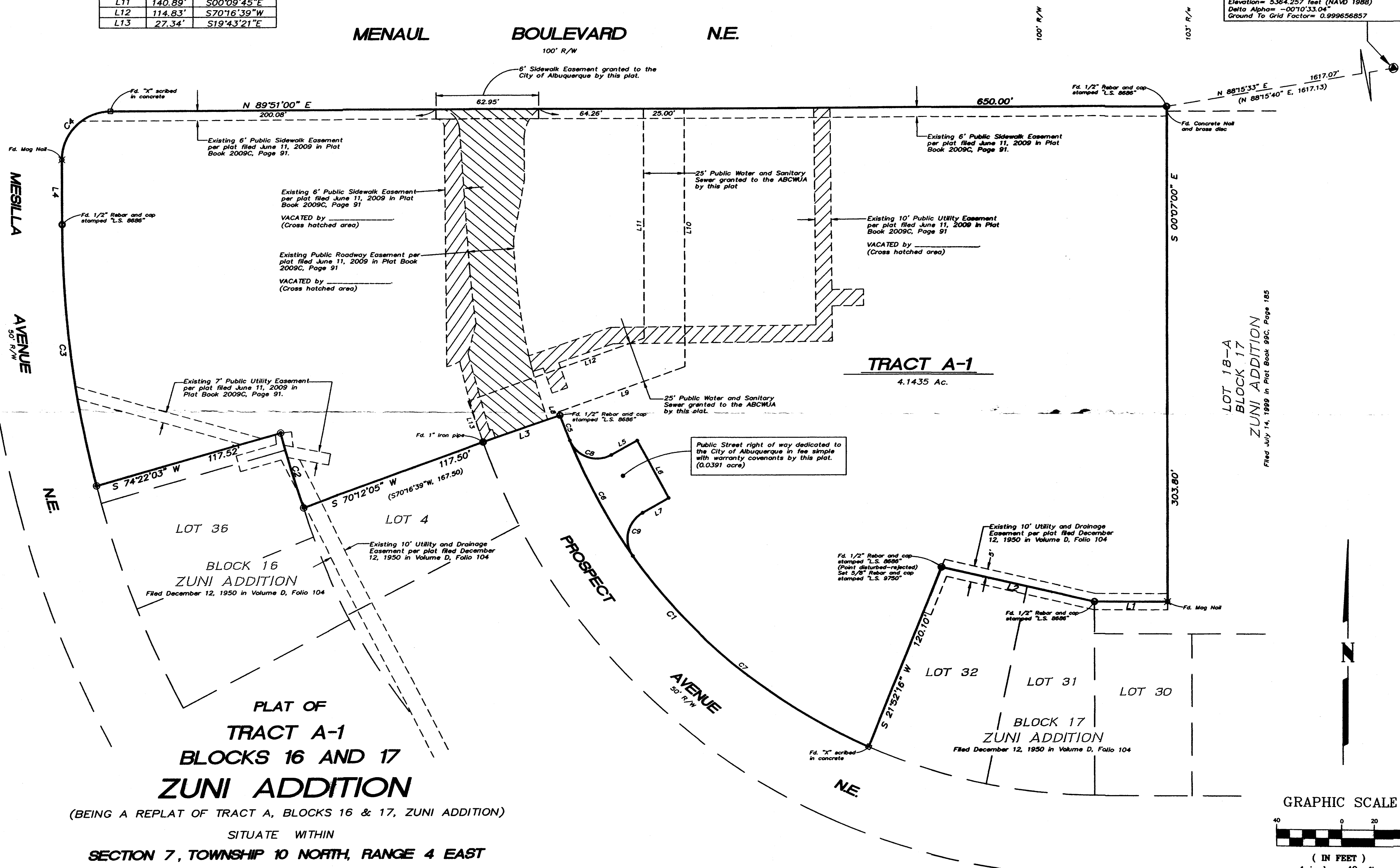


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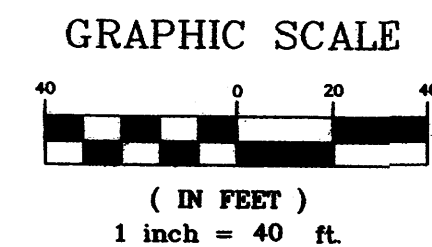
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**MENAU BOULEVARD N.E.**  
 100' R/W



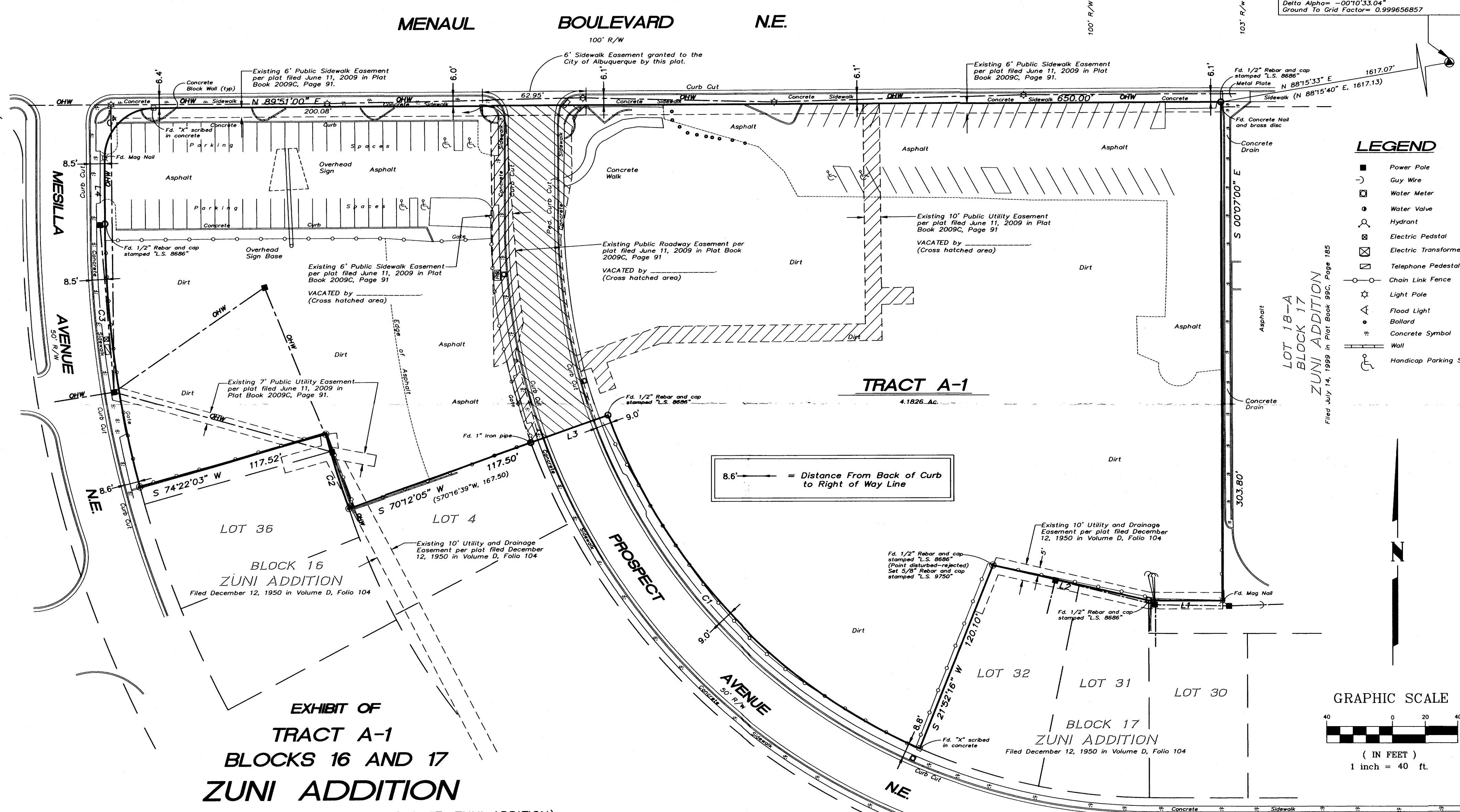
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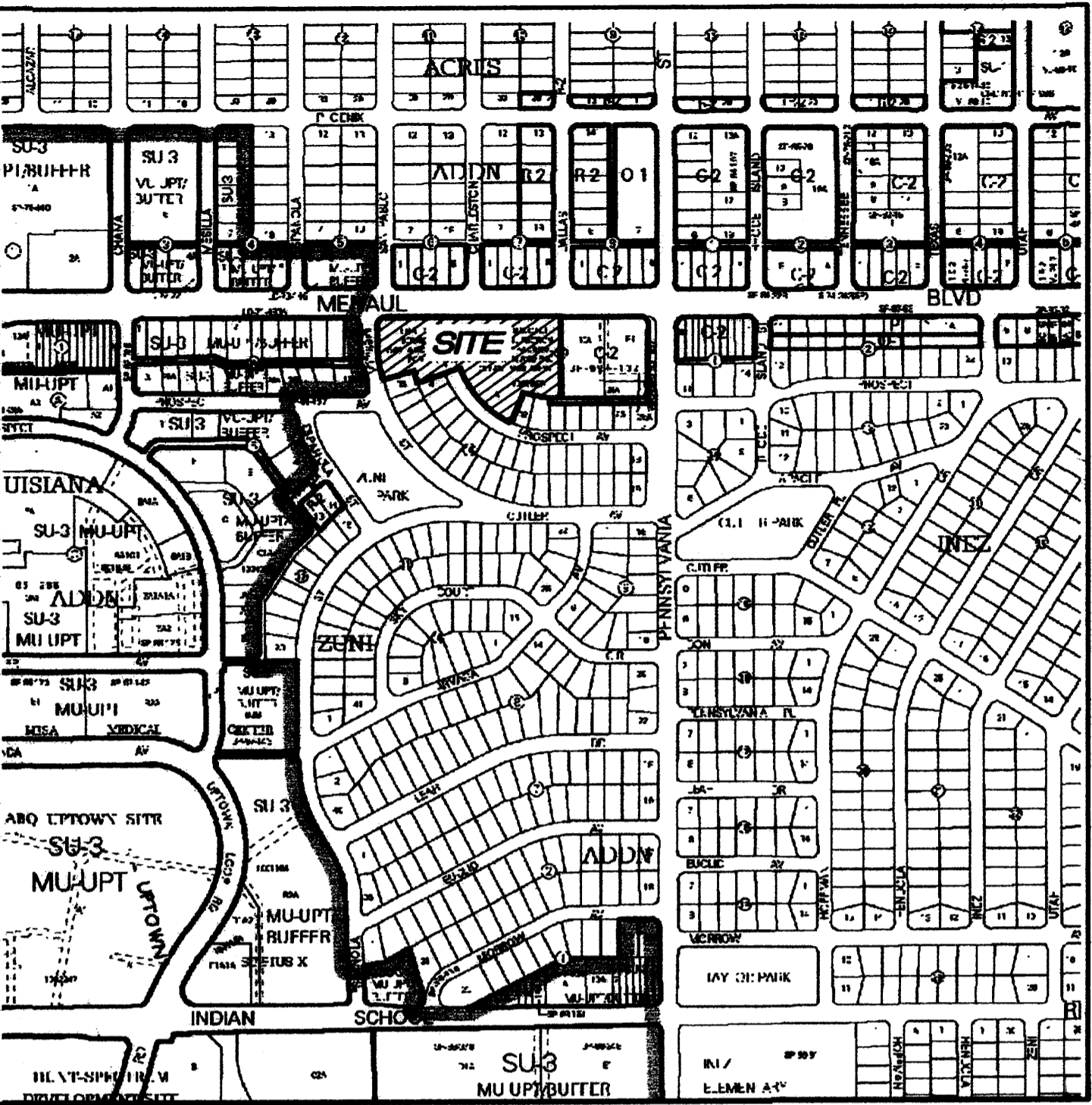
JULY, 2012

**SURV TEK, INC.**  
 Consulting Surveyors  
 8384 Valley View Drive, N.W. Albuquerque, New Mexico 87114  
 Phone: 505-897-3368 Fax: 505-897-3377

12-70243

120336\_EXHIBIT.dwg





**VICINITY MAP**  
Not To Scale

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- Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

**DISCLAIMER**

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

**PURPOSE OF PLAT**

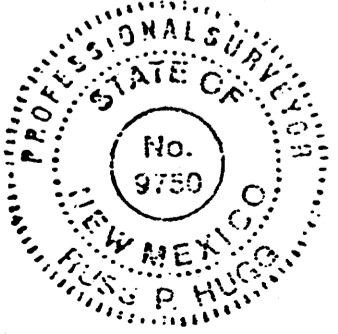
The purpose of this plat is to:

- Show the easements Vacated by 12DRB-70189 and 70190.
- Grant the new easements as shown hereon.
- Dedicate the additional public street right of way as shown hereon.

**SURVEYORS CERTIFICATION**

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

*[Signature]*  
Russ P. Hugg  
NMPS No. 9750  
July 2, 2012



PLAT OF  
TRACT A-1  
BLOCKS 16 AND 17  
ZUNI ADDITION

(BEING A REPLAT OF TRACT A, BLOCKS 16 & 17, ZUNI ADDITION)

SITUATE WITHIN  
SECTION 7, TOWNSHIP 10 NORTH, RANGE 4 EAST  
NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO

JULY, 2012

PROJECT NUMBER: 1007099

Application Number: \_\_\_\_\_

**PLAT APPROVAL**

**UTILITY APPROVALS**

Public Service Company of New Mexico	_____	Date
New Mexico Gas Company	_____	Date
Qwest Corporation d/b/a CenturyLink QC.	_____	Date
Comcast	_____	Date

CITY APPROVAL  
FOR *[Signature]* 7-29-12  
City Surveyor  
Department of Municipal Development

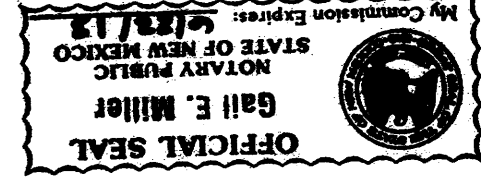
Real Property Division	_____	Date
Environmental Health Department	_____	Date
Traffic Engineering, Transportation Division	_____	Date
ABCWUA	_____	Date
Parks and Recreation Department	_____	Date
AMAFCA	_____	Date
City Engineer	_____	Date
DRB Chairperson, Planning Department	_____	Date

SHEET 1 OF 3

**SURVOTEK, INC.**

Consulting Surveyors Phone: 505-897-3366  
6364 Valley View Drive, N.E. Albuquerque, New Mexico 87114 Fax: 505-897-3877

12-70243



Notary Public  
Gail E. Miller  
My Commission Expires 6/23/2012

ACKNOWLEDGMENT  
STATE OF NEW MEXICO  
COUNTY OF BERNALILLO SS  
The foregoing instrument was acknowledged before me this 24th day of July 2012, by Robert Goodman, Executive Director of The Sandia Foundation, a New Mexico Non-profit Corporation.

Sandia Foundation, a New Mexico Non-profit corporation  
*Robert Goodman*  
By: Robert Goodman, Executive Director

**OWNERS)**  
SURVEYED and REPLATED and now comprising PLAT OF TRACT A-1, BLOCKS 16 AND 17, ZUNI ADDITION (BEING A REPLAT OF TRACT A, BLOCKS 16 AND 17, ZUNI ADDITION) SITUATE WITHIN SECTION 7, TOWNSHIP 10 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby dedicate the additional public street right of way as shown hereon to the City of Albuquerque in fee simple with warranty covenants. Said owner(s) and proprietor(s) do hereby grant the easements as shown hereon. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

**FREE CONSENT AND DEDICATION**

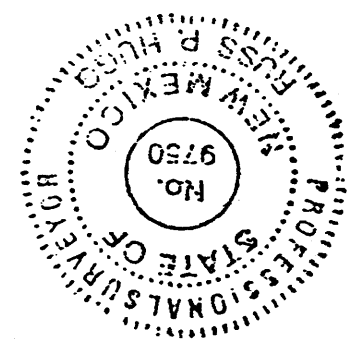
LEGAL DESCRIPTION  
That certain parcel of land situate within Section 7, Township 10 North, Range 4 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, comprising all of Tract A, Blocks 16 and 17, Zuni Addition, as the same is shown and designated on the plat entitled "PLAT OF TRACT A, BLOCKS 16 & 17, ZUNI ADDITION, SECTION 7, T10N, R4E, NMPM, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico, on June 11, 2009, in Plat Book 2009C, Page 91.

Said parcel contains 4.1826 acres, more or less.

PLAT OF  
TRACT A-1  
BLOCKS 16 AND 17  
ZUNI ADDITION  
(BEING A REPLAT OF TRACT A, BLOCKS 16 & 17, ZUNI ADDITION)  
SITUATE WITHIN  
SECTION 7, TOWNSHIP 10 NORTH, RANGE 4 EAST  
NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
JULY, 2012

**SECTION 14-14-4-7 PROHIBITION ON PRIVATE RESTRICTIONS ON THE INSTALLATION OF SOLAR COLLECTORS**

"No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat."



SHEET 2 OF 3  
**SURV-TEK, INC.**  
Consulting Surveyors  
5984 Valley View Drive, N.W. Albuquerque, New Mexico 87114  
Phone: 505-897-8986 Fax: 505-897-8977

