

**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

**February 20, 2008 9:00 AM
MEMBERS:**

**Jack Cloud, AICP, DRB Chairman, Planning Department
Angela Gomez, Administrative Assistant**

**Kristal Metro, P.E. , Transportation Development Roger Green, P.E., Albuquerque/ Bernalillo Co.WUA
Brad Bingham, P.E., Hydrology/ Alternate City Engineer Christina Sandoval, Parks/Municipal Development**

CASES WHICH REQUIRE PUBLIC NOTIFICATION
MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

- 1. Project# 1007081**
08DRB-70046 VACATION OF PUBLIC
RIGHT-OF-WAY

PULLMAN INVESTMENTS LLC agent(s) for CRIS DiGREGORY request(s) the above action(s) for all or a portion of WILLIS PL SW, located on WILLIS PL SW EAST OF RIO GRANDE BLVD SW. (J-13) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A) (1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE. PER ABCWUA, THE PLAT MUST RETAIN PUBLIC WATER AND SANITARY AND SEWER EASEMENTS OVER THE ENTIRE VACATED RIGHT-OF-WAY. PER TRANSPORTATION, ALL SITES MUST BE PLATTED CONCURRENTLY, AND IT WILL BE REQUIRED TO PLACE ACCESS EASEMENTS ON REPLAT.**

- 2. Project# 1007083**
08DRB-70050 VACATION OF PUBLIC
RIGHT-OF-WAY

JACKS HIGH COUNTRY INC agent(s) for JULIA SAMORA ESTATE request(s) the above action(s) for all or a portion of the NORTH-SOUTH ALLEY Lot, between the **JM MOORE REALTY COMPANY'S ADDITION # 1, and BLOCK B, BRANSON ADDITION**, located east of 8TH ST NW BETWEEN MOUNTAIN RD NW AND SUMMER NW. (J-14) **DEFERRED TO 2/27/08 FOR LEGAL OPINION.**

3. **Project# 1002535**
08DRB-70003 VACATION OF PUBLIC
EASEMENT
08DRB-70004 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

SURVEYS SOUTHWEST LTD agent(s) for CHRONIS DEVELOPMENT request(s) the above action(s) for all or a portion of Lot(s) 32-35, W35' OF LOT 37, & 38, **TOGETHER W/ LOT 36A, HUBBEL HEIGHTS ADDN & TRACT 64, UNIT 6, TOWN OF ATRISCO GRANT**, zoned SU-1 FOR O-1 & C-1 AND RESTAURANT AND LIQUOR, located on 65TH ST SW BETWEEN CENTRAL AVE SW AND COORS BLVD SW containing approximately 5.555 acre(s). (K-11) *(Deferred from 1/30/08 & 2/6/08)* **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A) (1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 2/20/08, THE PRELIMINARY PLAT WAS APPROVED. CONDITION OF FINAL PLAT WILL BE AN AMENDMENT TO THE SITE DEVELOPMENT PLAN AND NOTATIONS ON PLAT FOR ACCESS TO ADJACENT PROPERTIES.**

4. **Project# 1003364**
08DRB-70049 VACATION OF PUBLIC
EASEMENT

GARCIA/KRAEMER & ASSOC. agent(s) for PR INVESTMENTS LLC request(s) the above action(s) on a portion of Lot(s) 1-A-1A-1, Block 10, **TRACT 2 UNIT 3 North Albuquerque Acres**, zoned SU-2 MIXED USE, located on the SE corner of LOUISIANA NE AND HOLLY NE. (C-19) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A) (1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE.**

08DRB-70069 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

CARTESIAN SURVEYS INC agent(s) for PHIL LINDBORG request(s) the above action(s) for all or a portion of Lot(s) 1-A-1-A-1, Block(s) 10, Tract(s) 2, **NORTH ALBUQUERQUE ACRES Unit(s) 3**, zoned SU-2/MIXED USE, located on HOLLY AVE NE BETWEEN LOUISIANA BLVD NE AND WYOIMING BLVD NE containing approximately 1.0041 acre(s). (C-19) **THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD AND FOR CURVE 'C1' BE INCREASED TO 30 FEET, AND TO ABCWUA FOR RELOCATION AND ACCEPTANCE OF WATERLINE.**

5. **Project# 1000081**
08DRB-70047 VACATION OF PUBLIC
EASEMENT

TIERRA WEST LLC agent(s) for RSF LAND & CATTLE COMPANY request(s) the above action(s) on a portion of Tract(s) A & H, **COTTONWOOD CORNERS**, zoned SU-1 FOR IP USES, located on the north side of ELLISON DR NW BETWEEN COTTONWOOD DR NW AND ALAMEDA BLVD NW (A-14) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A) (1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE. CONDITION PER ABCWUA IS THAT NEW MEXICO UTILITIES SHALL ACKNOWLEDGE THE VACATION BY SIGNATURE ON THE PLAT.**

6. **Project# 1004354**
08DRB-70048 SITE DEVELOPMENT
PLAN FOR BUILDING PERMIT

TIERRA WEST LLC agent(s) for MCDONALD'S CORPORATION request(s) the above action(s) for all or a portion of Lot 2, **KRANIA ADDITION**, zoned SU-2 PCA, located on the SE corner of 98TH ST NW AND VOLCANO RD NW containing approximately 1.1172 acre(s). (K-9) **DEFERRED TO 3/5/08 AT THE AGENT'S REQUEST.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

7. **Project# 1007018**
08DRB-70066 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

CARTESIAN SURVEYS INC agent(s) for BRUCE PONDER/CONTACT BRENT TIANO request(s) the above action(s) for all or a portion of Block(s) 6, Tract(s) A & B, **CIRCLE K CORPORATION**, zoned C-1, located on WYOMING NE BETWEEN COMANCHE NE AND CANLELARIA NE containing approximately 0.58 acre(s). (G-19) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR SOLAR COLLECTOR LANGUAGE AND TO RECORD.**

8. **Project# 1006200**
08DRB-70070 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

BOHANNAN HUSTON INC agent(s) for MESA DEL SOL LLC request(s) the above action(s) for all or a portion of Tract(s) 1&2, **MESA DEL SOL INNOVATION PARK**, zoned PC, located on CRICK AVE SE BETWEEN UNIVERSITY BLVD SE AND WATSON DR SE containing approximately 41.2085 acre(s). (Q-16) **RESCHEDULED TO 2/27/08 TO BE HEARD WITH VACATION REQUEST.**

9. **Project# 1003798**
08DRB-70068 MAJOR - FINAL PLAT
APPROVAL

GREATER ALBUQUERQUE HOUSING PARTNERSHIP request(s) the above action(s) for all or a portion of Lot(s) 7-12, Block(s) 27, **EMIL MANN ADDITION**, zoned RT, located on PENNSYLVANIA SE BETWEEN SOUTHERN AVE SE AND TRUMBULL AVE SE containing approximately 1.1 acre(s). (L-19) **THE FINAL PLAT WAS APROVED WITH FINAL SIGN-OFF DELEGATED TO CITY ENGINEER FOR ENGINEERING CERTIFICATION ON THE PLAT, AND TO PLANNING FOR AGIS DXF.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

10. ~~Project# 1007112~~
08DRB-70067 SKETCH PLAT REVIEW
AND COMMENT

MARK S HALPER request(s) the above action(s) for all or a portion of Lot(s) A, Block(s) 9, **ROYAL HEIGHTS**, zoned R-3, located on CHELWOOD PARK BLVD BETWEEN LOMAS AND CONSTITUTION containing approximately .5172 acre(s). (J-22) **THE ABOVE ITEM WAS REVIEWED AND COMMENTS WERE GIVEN.**

11. Other Matters: None

ADJOURNED: 10:00

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
February 20, 2008
DRB Comments**

ITEM # 10

PROJECT # 1007112

APPLICATION # 08-70067

RE: Lot A, Block 9, Royal Heights

Please refer to the R-3 zone for development regulations – minimum lot size for multi-family development (apartments/ 4-plex) is 150 feet by 150 feet. Check with Zoning Enforcement whether existing lot could be used for multi-family without subdividing (e.g. two 4-plexes). The R-2 zone minimum lot size for apartments is 6,000 sq ft, but it may be difficult to meet City policies for a spot zone change.

Alternatively, this existing lot could be subdivided in accordance with the R-T zone regulations (e.g. four townhouses).

Please note that there is a 10 foot setback on the street side of a corner lot.

Jack Cloud AICP, DRB Chairman
924-3934/ jcloud@cabq.gov

AA R-3

SUMMER

Item# 10
Project# 1007112
Hearing Date: Feb. 20, 2008

A
R-3

CHELWOOD PARK

VAC

32A/UNIT 5 32A/UNIT 7

32A/COMMON AREA



CITY OF ALBUQUERQUE



CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1007112

AGENDA ITEM NO: 10

SUBJECT:

Sketch Plat/Plan

ACTION REQUESTED:

REV/CMT:0 APP:(x) SIGN-OFF:0 EXTN:0 AMEND:0

P.O. Box 1293

ENGINEERING COMMENTS:

An approved grading and drainage plan is required for Preliminary Plat approval.

Albuquerque

New Mexico 87103

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED X; WITHDRAWN

Discussed

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee
924-3986

DATE: February 20, 2008



Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

Professional/Agent (if any): MARK S. HALPER PHONE: 798-9889
 ADDRESS: 12606 CARMEL CT NE FAX: _____
 CITY: ABQ STATE NM ZIP 87122 E-MAIL: N/A

APPLICANT: MARK S. HALPER PHONE: 798-9889
 ADDRESS: 12606 CARMEL CT NE FAX: _____
 CITY: ABQ STATE NM ZIP 87122 E-MAIL: N/A

Proprietary interest in site: OWNER List all owners: ABOVE

DESCRIPTION OF REQUEST: LOT SPLIT FOR TOWNHOMES & 4-PLYX DEVELOPMENT

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. A Block: 9 Unit: _____
 Subdiv/Addn/TBKA: ROYAL HEIGHTS
 Existing Zoning: R-3 Proposed zoning: SAME
 Zone Atlas page(s): J-22-2 UPC Code: 102205825719231022 MRGCD Map No _____

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): _____

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO
 No. of existing lots: 1 No. of proposed lots: 3 Total area of site (acres): .5172
 LOCATION OF PROPERTY BY STREETS: On or Near: CHELWOOD PARK BLVD & SUMMER AVE
 Between: LOMAS and CONSTITUTION

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE Mark S Halper DATE 2/11/08
 (Print) MARK S. HALPER Applicant: Agent:

FOR OFFICIAL USE ONLY

Form revised 4/07

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>08DRB - 70067</u>	<u>SK</u>		\$ <u>0</u>
<input checked="" type="checkbox"/> All fees have been collected				\$ _____
<input checked="" type="checkbox"/> All case #'s are assigned				\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent				\$ _____
<input checked="" type="checkbox"/> Case history #'s are listed				\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill				\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus				\$ _____
<input checked="" type="checkbox"/> F.H.D.P. fee rebate				\$ _____
				Total
				\$ <u>0</u>

Hearing date February 20, 2008

[Signature]
 2/11/08
 Planner signature / date

Project # 1007112

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

SKETCH PLAT REVIEW AND COMMENT (DRB22)

Your attendance is required.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08)

Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Copy of DRB approved infrastructure list
 - Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
 - List any original and/or related file numbers on the cover application
- Extension of preliminary plat approval expires after one year.**

MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12)

Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations & cross sections of perimeter walls **3 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- List any original and/or related file numbers on the cover application
- DXF file and hard copy of final plat data for AGIS is required.

MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16)

Your attendance is required.

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations and cross sections of perimeter walls (11" by 17" maximum) **3 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- Fee (see schedule)
- List any original and/or related file numbers on the cover application
- Infrastructure list if required (**verify with DRB Engineer**)
- DXF file and hard copy of final plat data for AGIS is required.

AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03)

Your attendance is required.

- PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.
- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - List any original and/or related file numbers on the cover application
- Amended preliminary plat approval expires after one year**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

MARIE S. HALPER
Applicant name (print)

[Signature]
Applicant signature / date



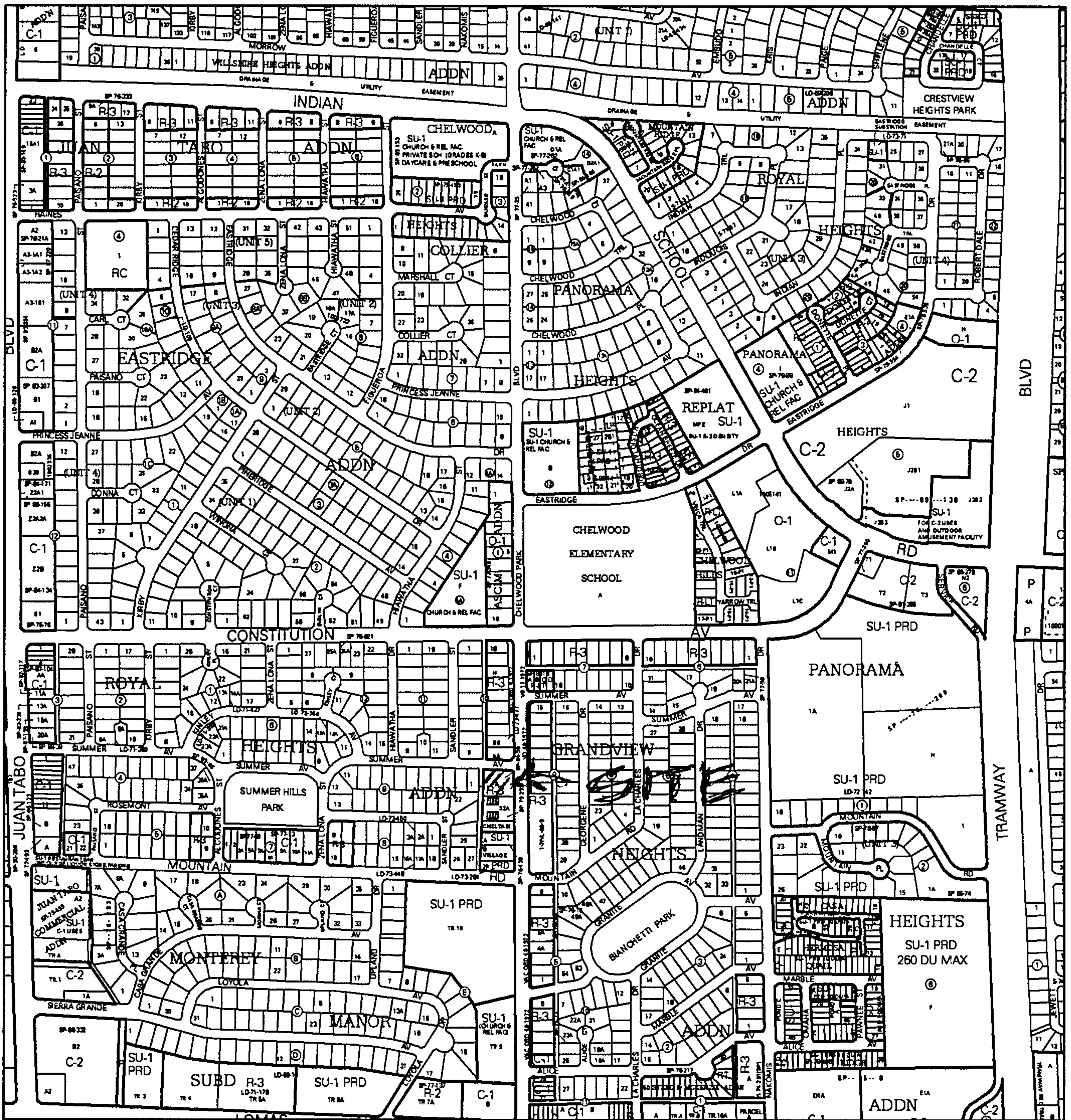
Form revised October 2007

[Signature] 2/11/08
Planner signature / date

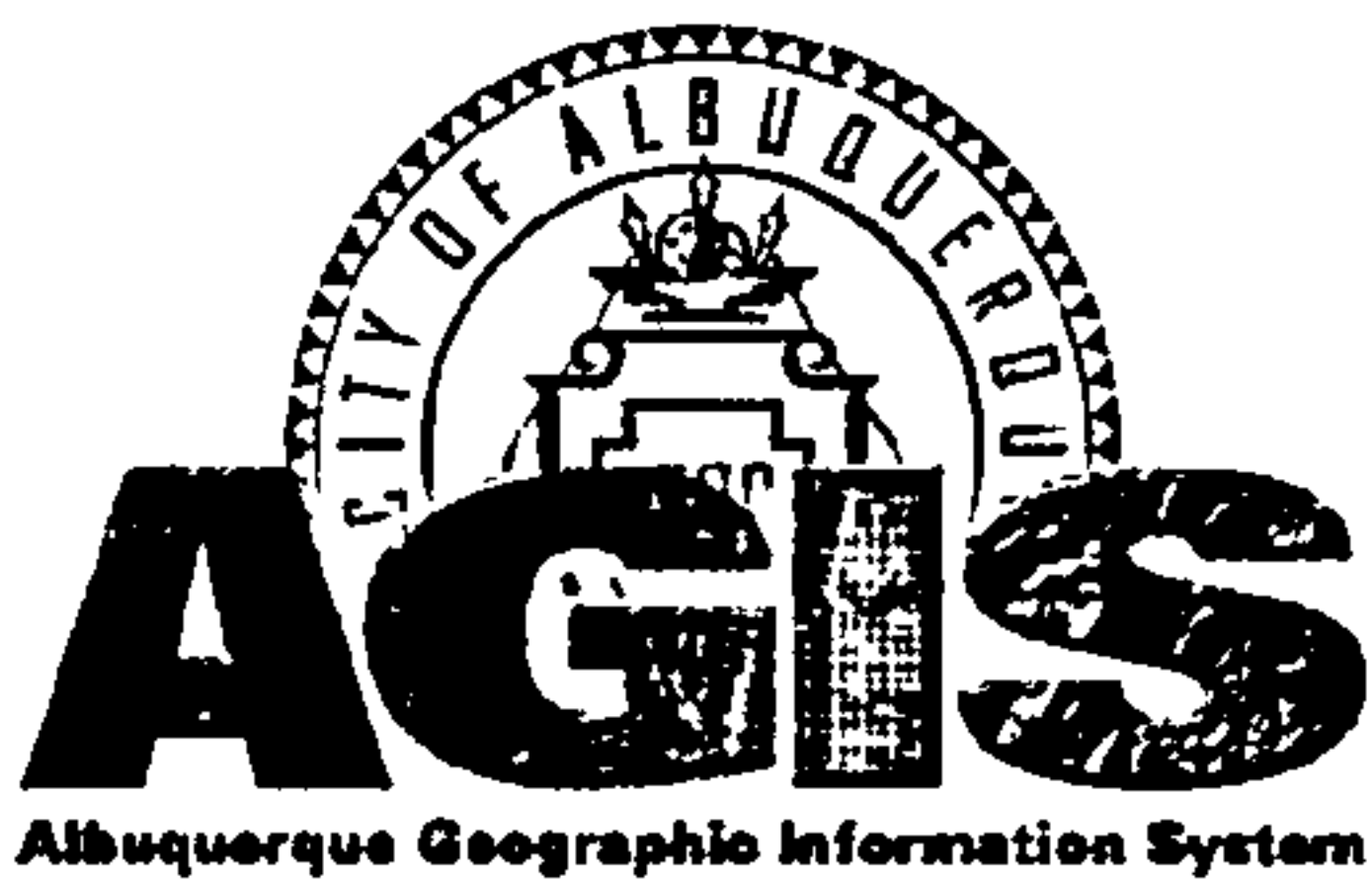
Project # 1002112

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

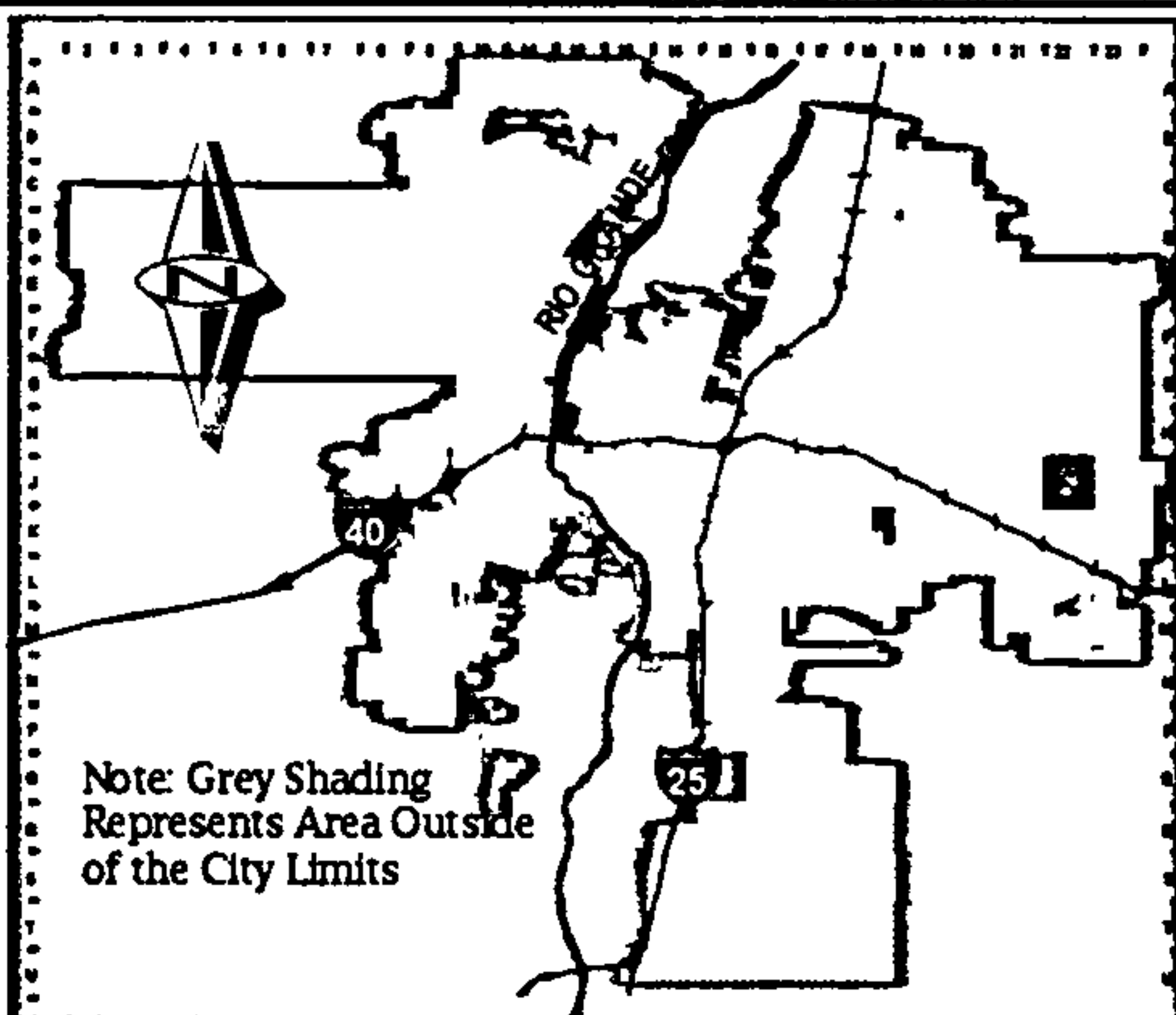
Application case numbers
O&DRB - - 20067
 - - -
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For more current information and more details visit: <http://www.cabq.gov/gis>



Map amended through: 1/4/2008



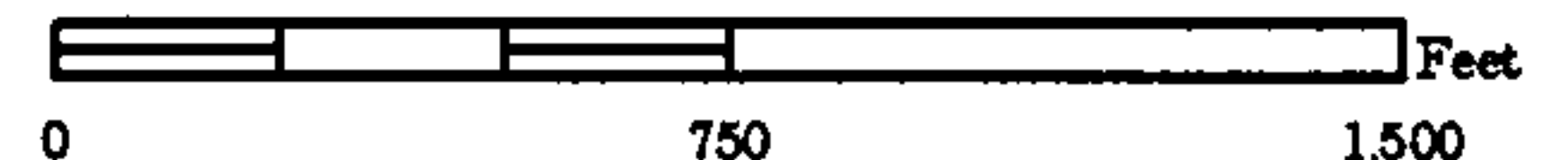
Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:

J-22-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone



TO WHOM IT MAY CONCERN.

I AM REQUESTING A

LOT SPLIT FROM A SINGLE

P-3 LOT TO MAKE 3 SEPARATE

LOTS. ONE FOR AN APARTMENT

UNIT (4-PLEX) AND THE OTHER

TWO FOR TOWN HOUSE UNITS.

YOUR INPUT IS ~~ESSENTIAL~~

APPRECIATED.

SINCERELY

Mark Miller

SP. 01-31-1524
ZONE ATLAS P. J-22-Z

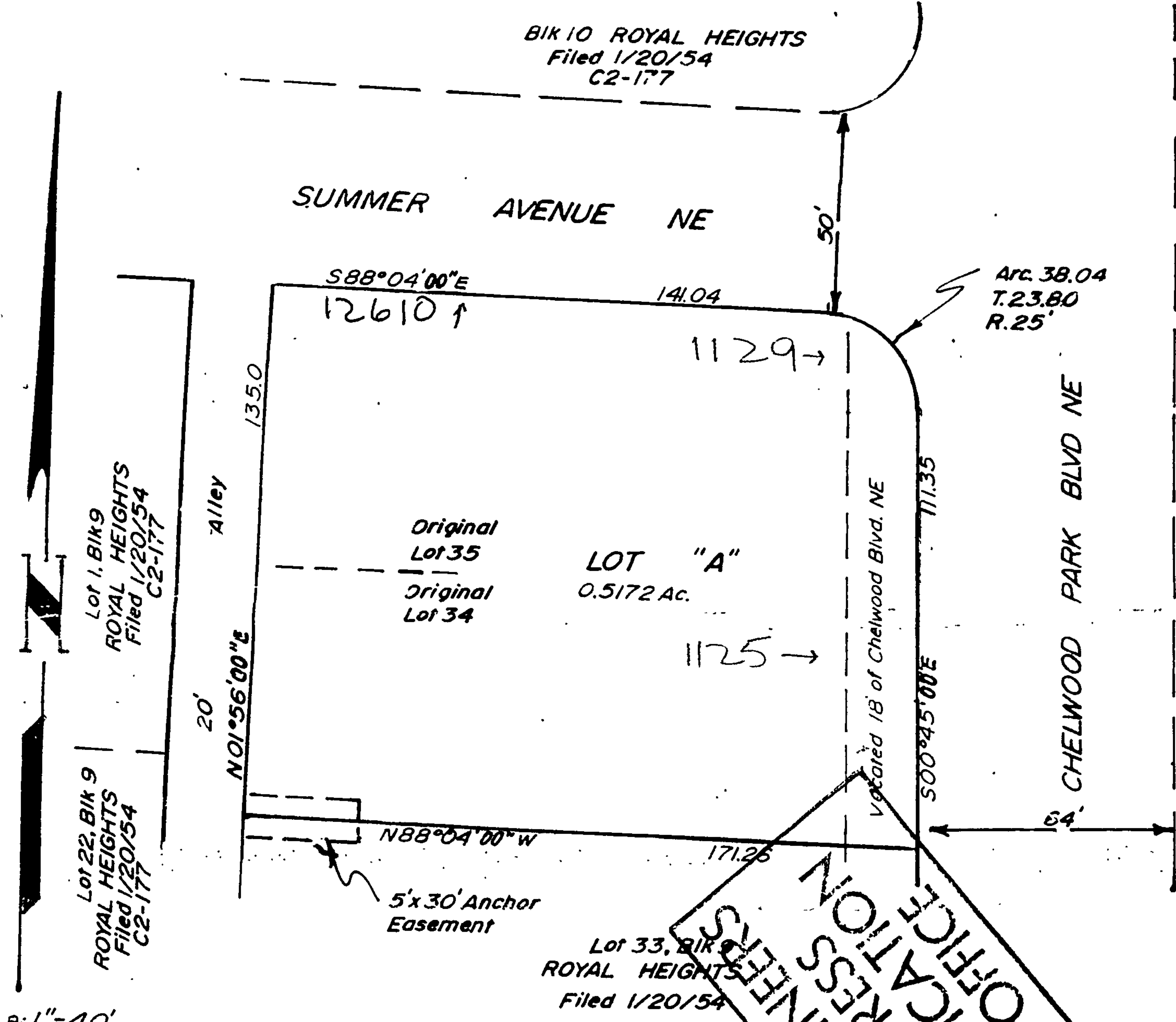
SUMMARY PLAT OF
LOTS 34 & 35, BLOCK 9

ROYAL HEIGHTS
ALBUQUERQUE, NEW MEXICO

PLAT No. _____
Planning Director
City of Albuquerque, New Mexico
Paul J. Burnett 3-15-83
City Engineer & A.E. Date
for *Martin Vally* 3-15-83
Parks & Recreation Date
Robert A. Parnell 3-15-83
Traffic Engineer Date
R. Storkman 3/15/83
Water Resources Date

City Surveyor
Rosie Skwell 3/15/83
Property Management Date

Blk. 9
GRANDVIEW HEIGHTS
Filed 9/15/54
DI-129



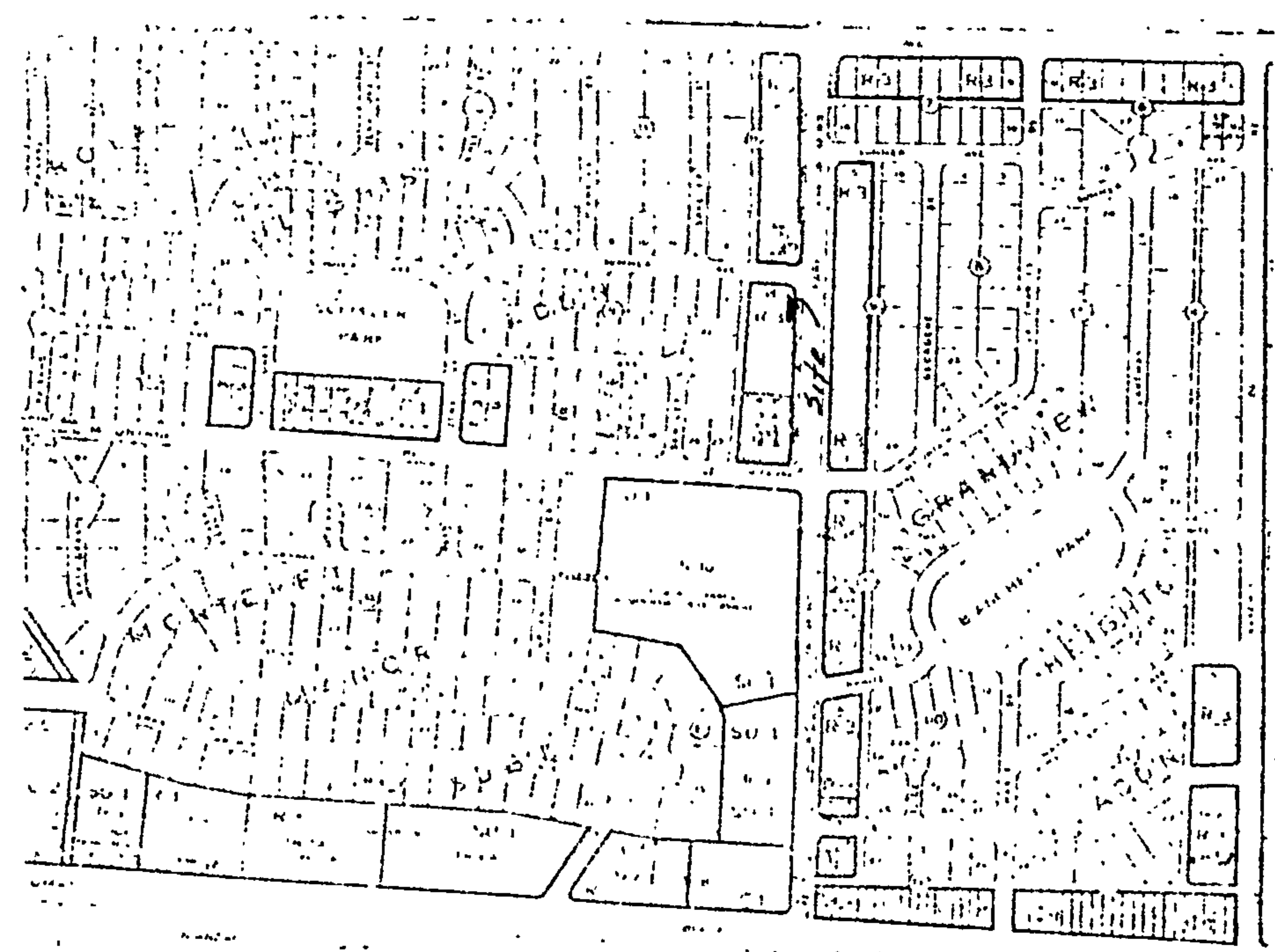
1"=40'

NOTES:
No field work was performed.
Bearings and distances derived
from filed plat.

A certain parcel of land being identified as Lots Three and Four (33) and Three and Five (34) in Block numbered Nine (9) of ROYAL HEIGHTS, ALBUQUERQUE, NEW MEXICO, as shown on a plat designated as Lot 34, filed in the office of the County Clerk of Bernalillo County, New Mexico, on January 20, 1954, together with the 12-foot wide portion of Chelwood Park Boulevard NE, vacated by City Ordinance 4-4-1972, and Ordinance 3, 1972, and containing 0.5172 acres, more or less.

Platted as shown hereon and now comprising Lot "A" in Block 9, ROYAL HEIGHTS, Albuquerque, New Mexico, as shown hereon is with the free consent of and in accordance with the wishes and desires of the undersigned owners and proprietors thereof.

Owners



STATE OF NEW MEXICO)
COUNTY OF BERNALILLO)
I, the undersigned, on this _____ day of _____, 1983, the contents of this instrument was acknowledged before me.

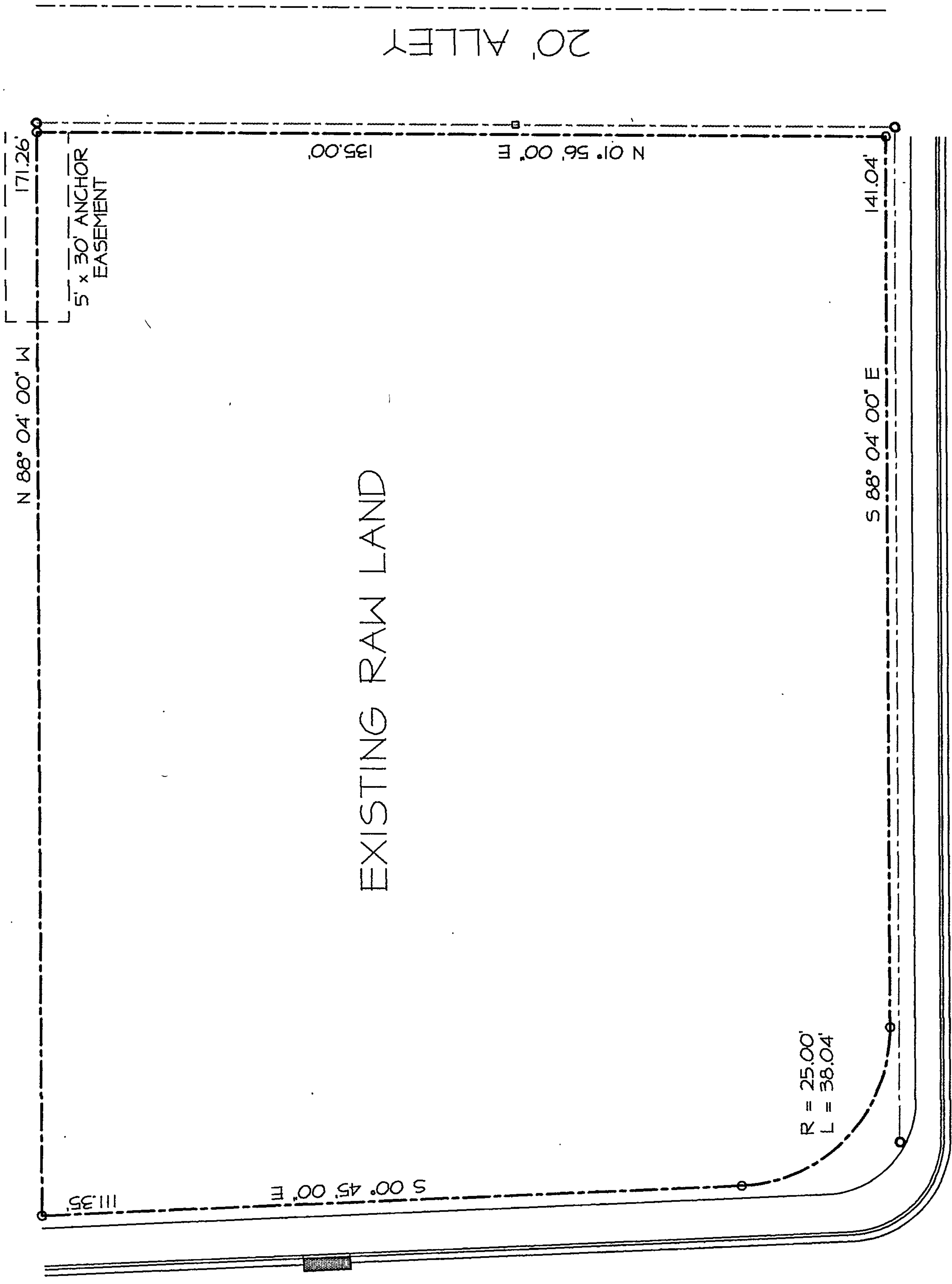


OFFICIAL SEAL
ICU ANN McALEXANDER
NOTARY PUBLIC, NEW MEXICO
Notary Public for the County of Bernalillo

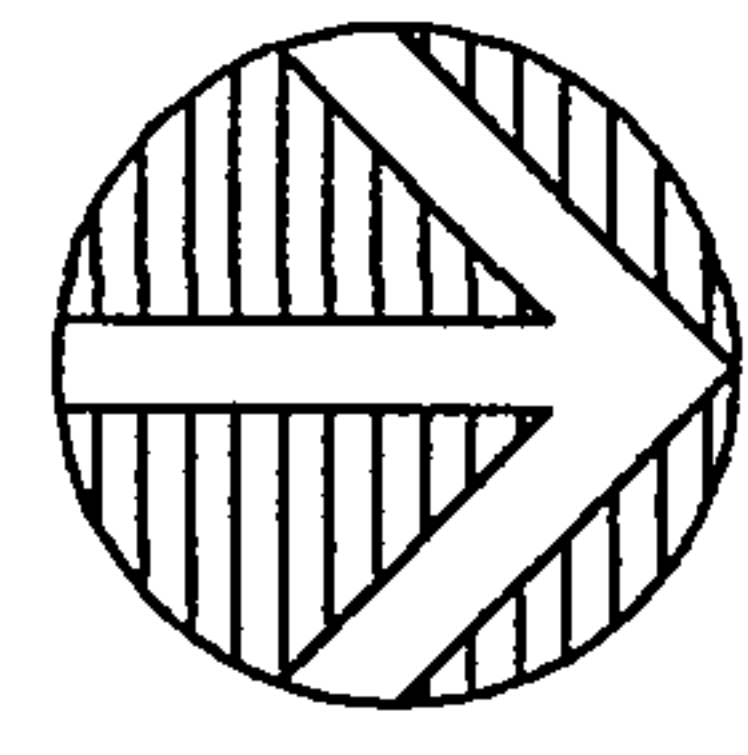
I, Douglas H. Smith, New Mexico Registered Land Surveyor No. 7002, do hereby certify that the plat as shown hereon was prepared by me or under my direct supervision and in accordance with the minimum requirements of the Albuquerque Sanitation Ordinance, shows all easements of record and is true and correct to the best of my belief and knowledge.

Douglas H. Smith
Douglas H. Smith, N.M.R.L.S. No. 7002

CHELLWOOD PARK BOULEVARD N.E.
(MIN. OF 10'-0" BETWEEN STRUCTURES)



12610 SUMMER AVENUE N.E.

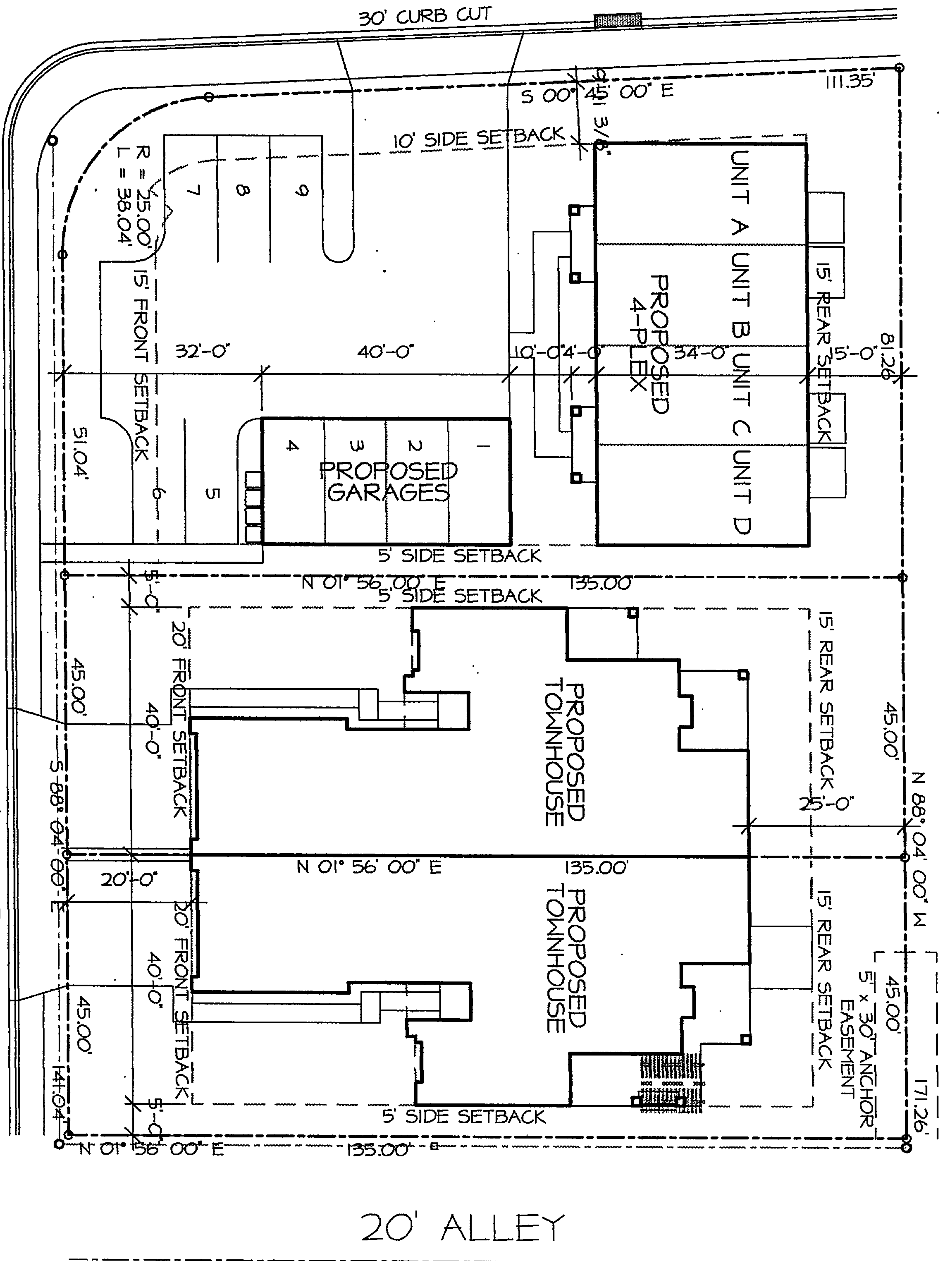


SITE PLAN SCALE: 1" = 20.00'

LOT #A BLOCK #09
ROYAL HEIGHTS
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
LOT AREA = 0.5182± ACRES

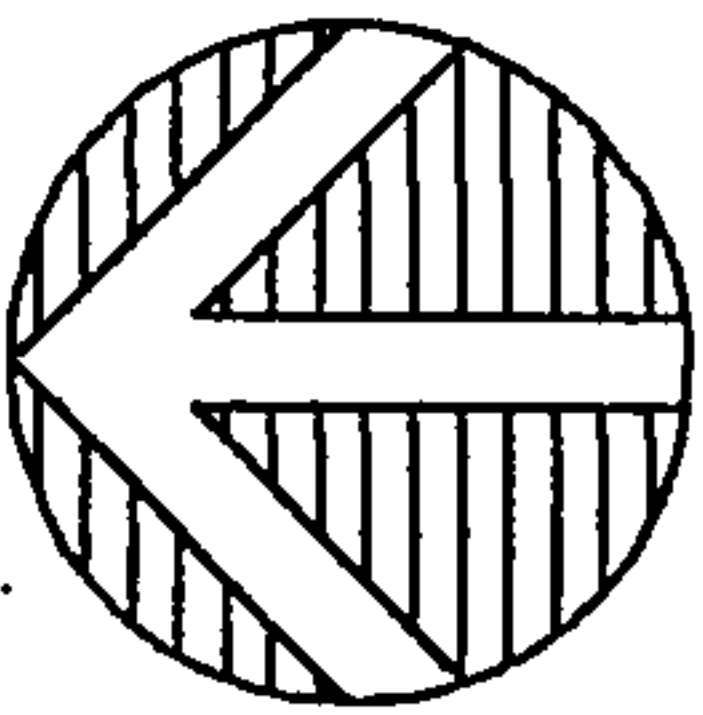
CHELWOOD PARK BOULEVARD N.E.
(MIN. OF 10'-0" BETWEEN STRUCTURES)

PROPOSED SPLIT & DEVELOPMENT



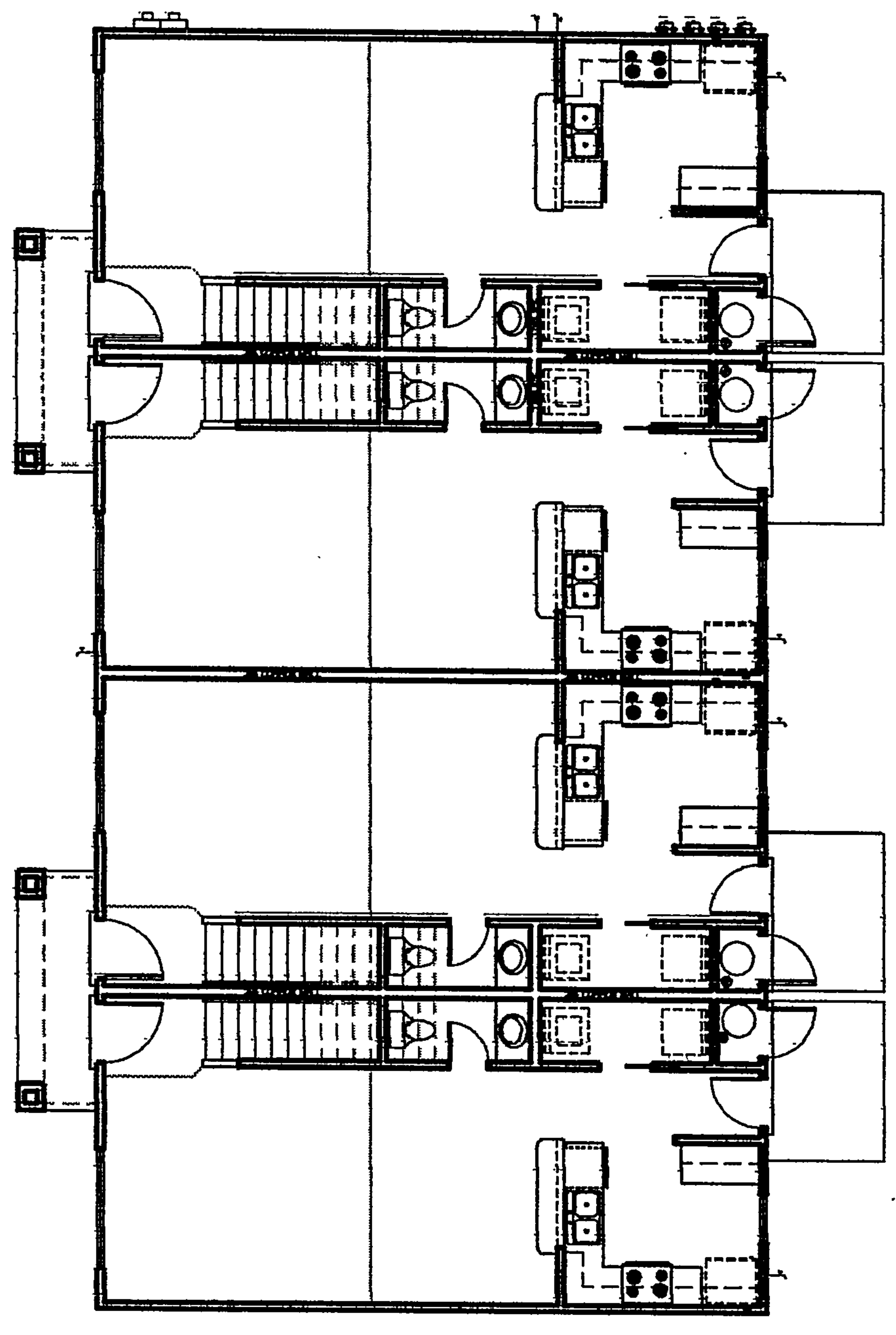
SITE PLAN

SCALE: 1" = 20.00'

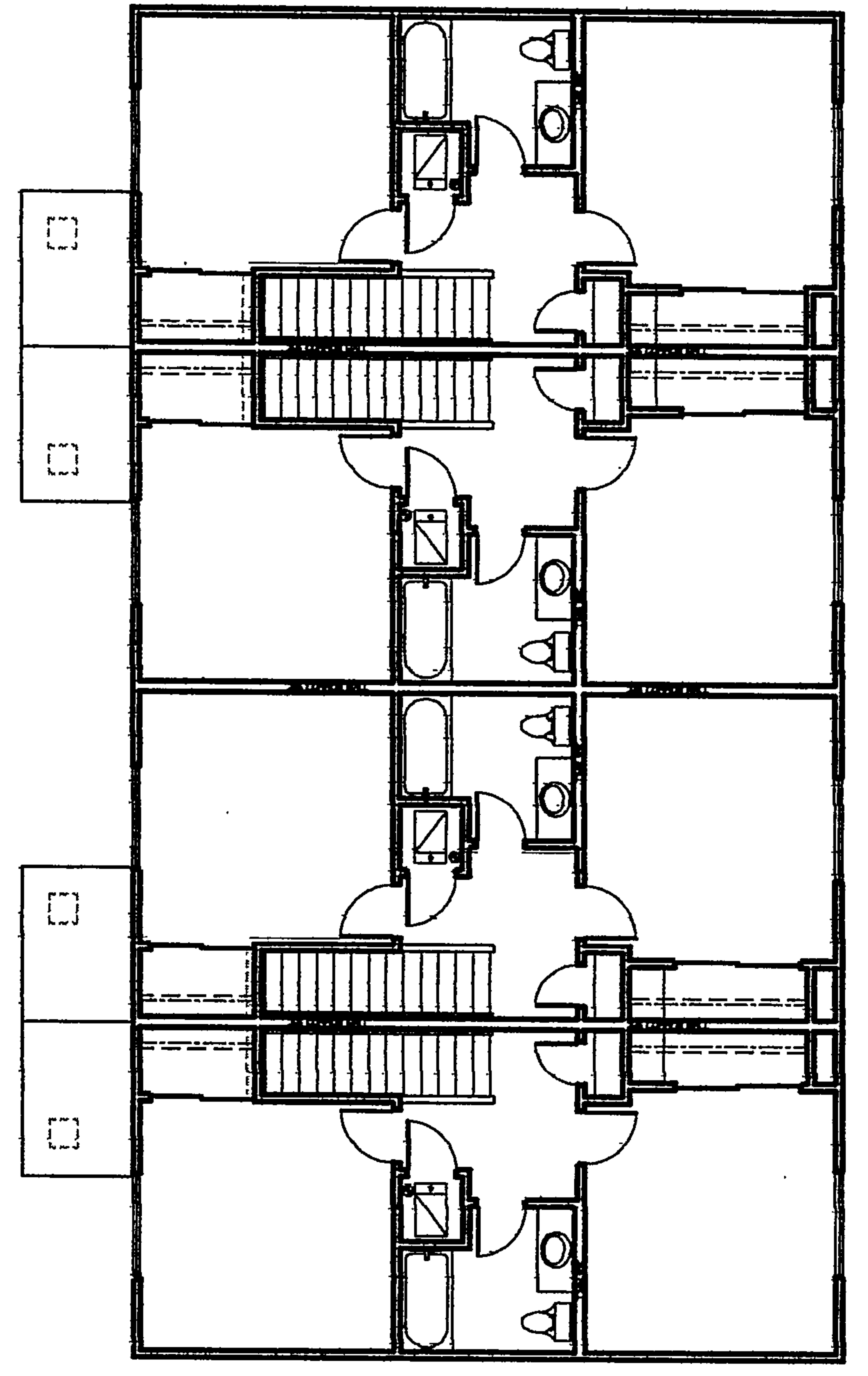


LOT #A BLOCK #09 (J-22-Z)
ROYAL HEIGHTS
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
LOT AREA = 0.5182± ACRES

1st FLOOR PLAN



2nd FLOOR PLAN



2004 TMM 10/24/02 (V2) 09/08 TMM 10/24/02 (V2) 09/08 TMM 10/24/02 (V2) 09/08

