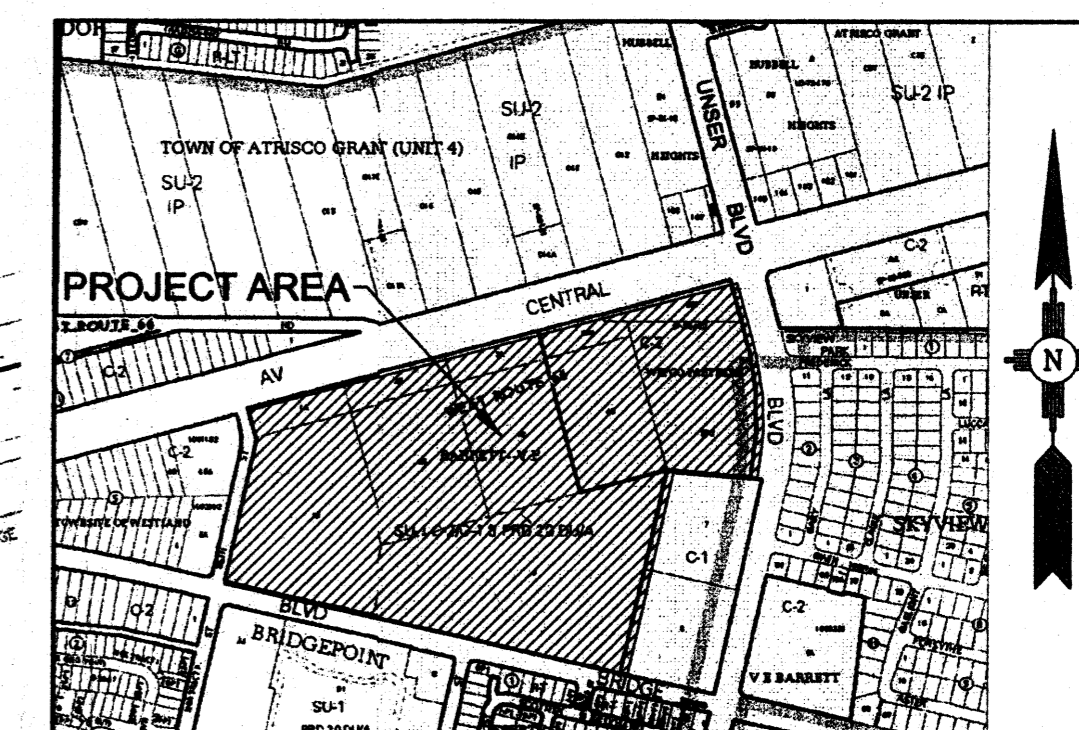


Building #	Use	Building SF	Parking Calculations										Plaza Requirement		
			Required	Transit	Required	Required	Required	Required	Required	Required	Required	Required	Required	Plaza SF	Plaza SF
1	Retail	6,500	33	5	28	56	72	2	4	3	4	2	5	130	2,249
2	Retail	6,500	33	5	28	56	72	2	4	3	4	2	5	130	5,422
3	Retail	6,500	33	5	28	56	72	2	4	3	4	2	5	130	1,499
4	Retail	6,500	33	5	28	56	72	2	4	3	4	2	5	234	2,001
5	Retail	6,500	33	5	28	56	72	2	4	3	4	2	5	130	800
6	Health Club	40,000	267	41	226	226	347	8	8	5	6	14	15	800	3,773
7A	Retail	30,000	135	21	114	114	171	4	4	3	4	2	5	130	1,499
7B	Retail	20,000	90	15	75	75	112	3	3	2	3	2	5	130	1,499
7C1	Retail	4,800	24	4	20	20	30	1	1	1	1	1	5	234	2,001
7C2	Retail	4,800	24	4	20	20	30	1	1	1	1	1	5	234	2,001
7D	Retail	18,000	87	14	73	73	112	4	4	3	4	2	5	130	1,499
7E	Retail	97,942	382	58	324	324	492	12	12	6	6	24	25	2,513	Shares with other
8	Home Improvement	125,801	474	73	402	402	438	12	12	6	6	24	25	2,513	Shares with other
Total		372,843	1,646	253	1,393	1,393	1,648	59	61	29	32	86	95	7,448	22,838

MONUMENT SIGNS	TYPE
◇	A
□	B
○	C
△	D
◇	E
◇	F
◇	G

\*ALL ON-SITE SIGNAGE HAS BEEN SUBMITTED TO EPC (08PC-40063) AND WILL RETURN SEPARATELY TO DRB.

- TRANSIT DEPARTMENT NOTE:
1. THE SW MESA PARK & RIDE IS LOCATED NEAR THE NW CORNER OF CENTRAL & UNSER.
  2. AS OF 3/15/08, BUS ROUTES 766, 162, 66, AND 54 HAVE A STOP NEAR OR ADJACENT TO THE SITE.
  3. PARTICIPATION IN TRANSIT DEMAND MANAGEMENT PROGRAM IS ENCOURAGED FOR USERS OF THE SITE.



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**ARMSTRONG DEVELOPMENT PROPERTIES, INC.**

VICINITY MAP  
 ZONE ATLAS PAGES K-09-Z & K-10-Z

**SHEET INDEX**

C-001	SITE PLAN FOR BUILDING PERMIT	A-107B	ELEVATIONS BUILDING 7
C-002	SITE PLAN DETAILS	A-107C	ELEVATIONS BUILDING 7
LS-101	LANDSCAPE PLAN	A-107D	ELEVATIONS BUILDING 7
LS-102	LANDSCAPE DETAILS	A-107E-1	ELEVATIONS BUILDING 7
C-101	CONCEPTUAL GRADING & DRAINAGE PLAN	A-107E-2	ELEVATIONS BUILDING 7
C-201	CONCEPTUAL UTILITY PLAN	A-108A	ELEVATIONS BUILDING 8
A-101	ELEVATIONS BUILDING 1	A-108B	ELEVATIONS BUILDING 8
A-102	ELEVATIONS BUILDING 2	A-108C	ELEVATIONS BUILDING 8
A-103	ELEVATIONS BUILDING 3		
A-104	ELEVATIONS BUILDING 4	C-003	SITE PLAN FOR SUBDIVISION
A-105	ELEVATIONS BUILDING 5	C-101	DESIGN STANDARDS
A-106A	ELEVATIONS BUILDING 6	C-102	DESIGN STANDARDS
A-106B	ELEVATIONS BUILDING 6	G-103	DESIGN STANDARDS
A-107A	ELEVATIONS BUILDING 7		

**KEYED NOTES**

1. 6" CONCRETE CURB.
2. COA STANDARD CURB & GUTTER PER COA STD DWG 2415A. TO BE COMPLETED AS A PUBLIC WORK ORDER.
3. 6" TEMPORARY ASPHALT CURB.
4. 14" WIDE CONCRETE SIDEWALK.
5. 6" WIDE CONCRETE SIDEWALK PER COA STD DWG 2450. TO BE COMPLETED AS A PUBLIC WORK ORDER.
6. 8" WIDE CONCRETE SIDEWALK.
7. 10" WIDE CONCRETE SIDEWALK. SLOPE TO LANDSCAPE AREA IF POSSIBLE.
8. 6"x8" LANDSCAPE PLANTER.
9. BIKE RACK PER 3/C-002.
10. LIGHT POLE PER 5/C-002.
11. REFUSE ENCLOSURE PER 2/C-002 & 9/C-002.
12. 6" HIGH SCREEN WALL PER 9/C-002.
13. HANDICAP PARKING SPACE PER 4/C-002.
14. TRANSIT STOP WITH SHELTER PER COA STD DWG 2453. PEDESTRIAN AMENITIES SHALL BE PER SECTION M OF THE SITE PLAN FOR SUBDIVISION.
15. COLORED, TEXTURED, CONCRETE CROSSWALK.
16. LOADING DOCK.
17. END ISLAND PLANTER PER 1/C-002.
18. 10" WIDE CONTRACTOR PARKING SPACES. TOTAL OF 24.
19. TRASH COMPACTOR.
20. NEW DRIVEWAY. FULL ACCESS. NEW SIGNAL RECOMMENDED BY TIA. DRIVEWAY PER COA STD DWG 2426. TO BE COMPLETED AS A PUBLIC WORK ORDER.
21. NEW RIGHT IN/RIGHT OUT DRIVEWAY. DRIVEWAY PER COA STD DWG 2426. TO BE COMPLETED AS A PUBLIC WORK ORDER.
22. NEW FULL ACCESS DRIVEWAY. DRIVEWAY PER COA STD DWG 2426. TO BE COMPLETED AS A PUBLIC WORK ORDER.
23. NEW RIGHT IN, RIGHT OUT, LEFT IN DRIVEWAY. DRIVEWAY PER COA STD DWG 2426. TO BE COMPLETED AS A PUBLIC WORK ORDER.
24. CART CORRAL, WELDED METAL PIPE, PAINTED TO MATCH BUILDING.
25. MOTORCYCLE PARKING WITH SIGN PER 8/C-002.
26. WALL MOUNTED LIGHT.
27. PROPOSED DECEL LANE/TURN LANE TO BE COMPLETED WITH PUBLIC INFRASTRUCTURE PLANS.
28. APPLIANCE AND PALLET RECYCLING STORAGE UNIT.
29. CROSS ACCESS EASEMENT TO BE CREATED BY PLATTING ACTION WITH THIS PROJECT.
30. COLUMN. SEE ARCHITECTURAL ELEVATION.
31. 8" HIGH SCREEN WALL BEHIND LOADING DOCKS PER 9/C-002.
32. PROPOSED FIRE HYDRANT LOCATION.
33. EXISTING BUS STOP LOCATION.
34. FUTURE PEDESTRIAN CONNECTION TO ADJACENT PAD SITES.
35. ADA ACCESSIBLE RAMP AND STEPS FOR PEDESTRIAN CONNECTION.
36. NEW HANDICAP RAMP PER COA STD DWG 2441. TO BE COMPLETED AS A PUBLIC WORK ORDER.
37. NEW WHEELCHAIR RAMP PER COA STD DWG 2426. MAX SLOPE IS 12:1.

PROJECT NUMBER: \_\_\_\_\_  
 Application Number: \_\_\_\_\_

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

Traffic Engineering, Transportation Division	Date _____
Water Utility Department	Date _____
Parks and Recreation Department	Date _____
City Engineer	Date _____
Solid Waste Management	Date _____
DRB Chairperson, Planning Department	Date _____

**Unser Crossing  
 DRB Submittal  
 Site Plan for Building Permit  
 Central Avenue and Unser Boulevard  
 Albuquerque, New Mexico 87121**

Rev. 1 June 24, 2008

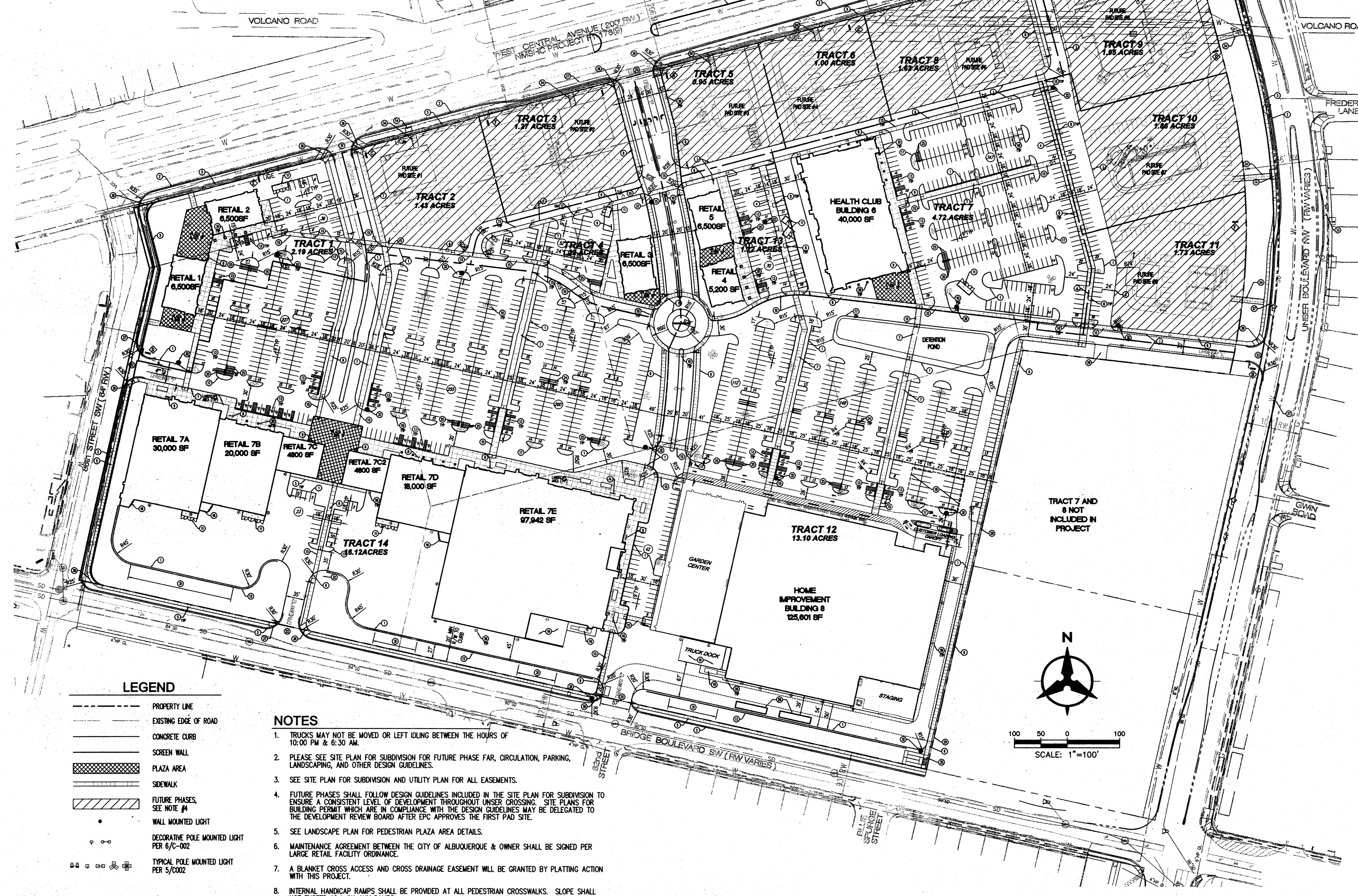
Job Number \_\_\_\_\_  
 Drawn By BO  
 Checked RM/BJS  
 Issue Date June 17, 2008

**SITE PLAN FOR BUILDING PERMIT**

Scale \_\_\_\_\_

**C-001**

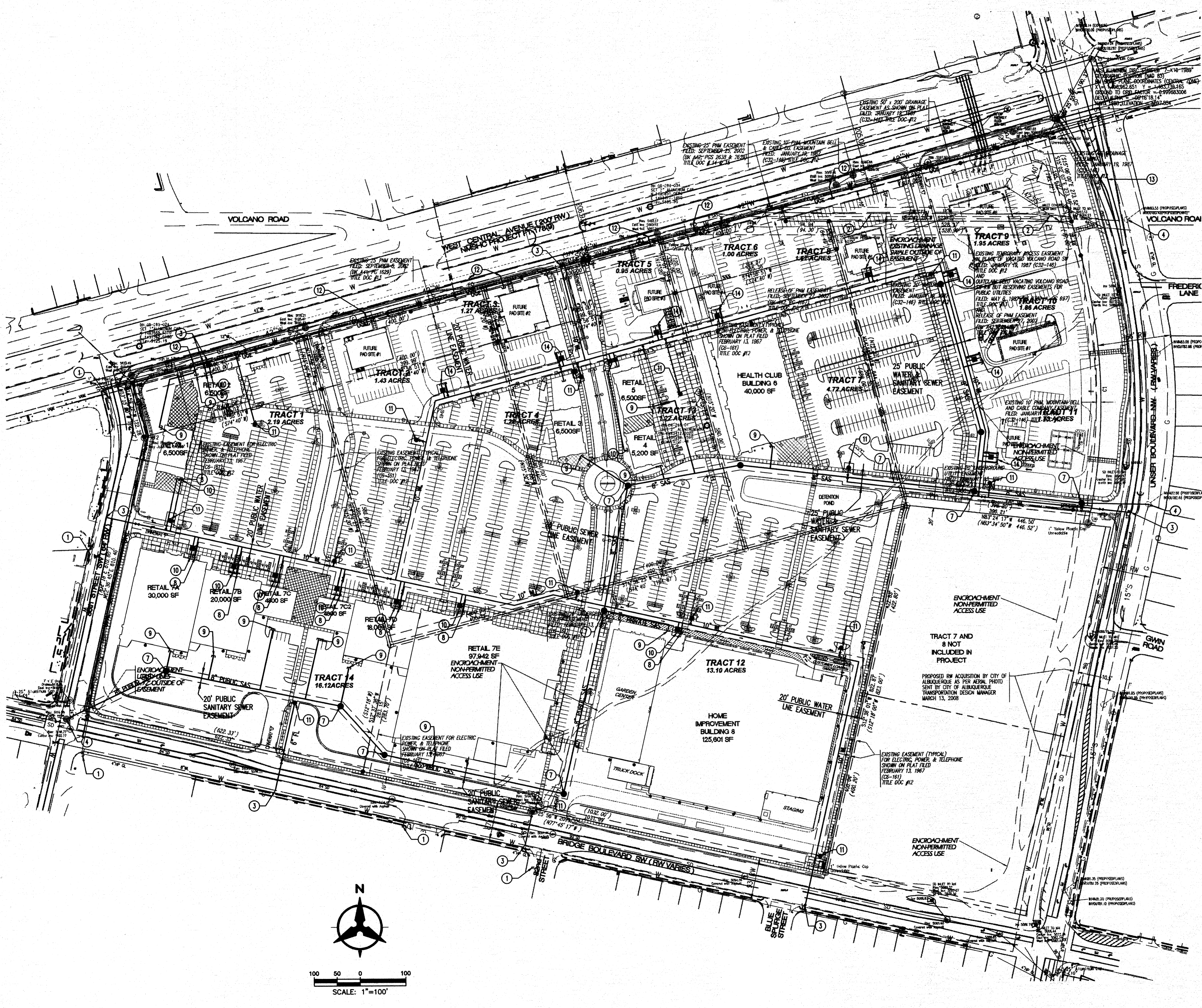
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**LEGEND**

---	PROPERTY LINE
---	EXISTING EDGE OF ROAD
---	CONCRETE CURB
---	SCREEN WALL
---	PLAZA AREA
---	SIDEWALK
---	FUTURE PHASES, SEE NOTE #4
○	WALL MOUNTED LIGHT
○	DECORATIVE POLE MOUNTED LIGHT PER 6/C-002
○	TYPICAL POLE MOUNTED LIGHT PER 5/C002

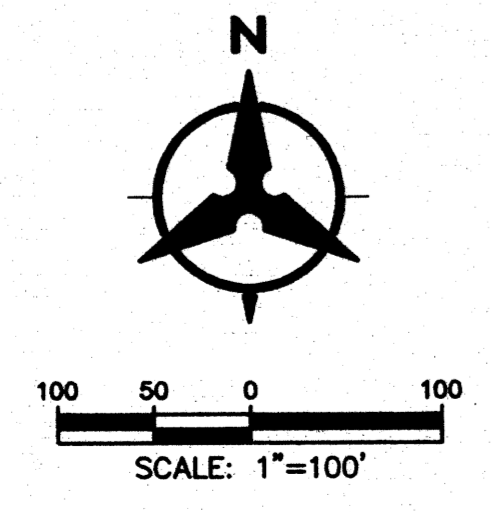
- NOTES**
1. TRUCKS MAY NOT BE MOVED OR LEFT IDLING BETWEEN THE HOURS OF 10:00 PM & 6:30 AM.
  2. PLEASE SEE SITE PLAN FOR SUBDIVISION FOR FUTURE PHASE FAR, CIRCULATION, PARKING, LANDSCAPING, AND OTHER DESIGN GUIDELINES.
  3. SEE SITE PLAN FOR SUBDIVISION AND UTILITY PLAN FOR ALL EASEMENTS.
  4. FUTURE PHASES SHALL FOLLOW DESIGN GUIDELINES INCLUDED IN THE SITE PLAN FOR SUBDIVISION TO ENSURE A CONSISTENT LEVEL OF DEVELOPMENT THROUGHOUT UNSER CROSSING. SITE PLANS FOR BUILDING PERMIT WHICH ARE IN COMPLIANCE WITH THE DESIGN GUIDELINES MAY BE DELEGATED TO THE DEVELOPMENT REVIEW BOARD AFTER EPC APPROVES THE FIRST PAD SITE.
  5. SEE LANDSCAPE PLAN FOR PEDESTRIAN PLAZA AREA DETAILS.
  6. MAINTENANCE AGREEMENT BETWEEN THE CITY OF ALBUQUERQUE & OWNER SHALL BE SIGNED PER LARGE RETAIL FACILITY ORDINANCE.
  7. A BLANKET CROSS ACCESS AND CROSS DRAINAGE EASEMENT WILL BE GRANTED BY PLATTING ACTION WITH THIS PROJECT.
  8. INTERNAL HANDICAP RAMPS SHALL BE PROVIDED AT ALL PEDESTRIAN CROSSWALKS. SLOPE SHALL NOT EXCEED 12:1 ON ANY RAMPS.



- KEYED NOTES**
- EXISTING FIRE HYDRANT
  - DEMO EXISTING WATERLINE
  - CONNECT WATER/FIRE SERVICE TO EXISTING WATERLINE.
  - CONNECT SEWER LINE TO EXISTING MANHOLE AT INVERT ELEVATION SHOWN.
  - CONNECT SEWER SERVICE TO NEW MANHOLE AT INVERT ELEVATION SHOWN.
  - NEW PUBLIC SEWER LINE.
  - NEW SAS MANHOLE.
  - CONNECT FIRE LINE TO WITHIN 5' OF BUILDING.
  - CONNECT SAS LINE TO WITHIN 5' OF BUILDING.
  - CONNECT WATER LINE TO WITHIN 5' OF BUILDING.
  - NEW FIRE HYDRANT.
  - CONNECT SEWER LINE TO EXISTING LINE.
  - CONNECT EXISTING WATERLINE IN CENTRAL TO EXISTING WATERLINE IN UNSER
  - STUB OUT DOMESTIC WATER SERVICE AND FIRE SERVICE LINES TO FUTURE PAD SITES.

**LEGEND**

---	PROPERTY LINE
---	EXISTING EASEMENT
SAS	EXISTING SANITARY SEWER
W	EXISTING WATER LINE
□	EXISTING WATER METER
⌈	EXISTING CAP
⌋	EXISTING VALVE
⊙	EXISTING FIRE HYDRANT
⊙	EXISTING SANITARY SEWER MANHOLE
⊙	EXISTING STORM DRAIN MANHOLE
□	EXISTING INLET
---	PROPOSED EASEMENT
SAS	PROPOSED SANITARY SEWER LINE
●	PROPOSED SANITARY SEWER MANHOLE
○	PROPOSED CLEANOUT
W	PROPOSED WATER LINE
+	PROPOSED VALVE
FL	PROPOSED FIRE LINE
⊙	PROPOSED HYDRANT
⌈	PROPOSED CAP
■	PROPOSED WATER METER



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**ARMSTRONG DEVELOPMENT**  
 PROPERTIES, INC.

**Unser Crossing**  
**DRB Submittal**  
**Site Plan for Building Permit**  
**Central Avenue and Unser Boulevard**  
**Albuquerque, New Mexico 87121**

Rev. 1 June 24, 2008

Job Number  
 Drawn By BO  
 Checked RM/BJS  
 Issue Date June 17, 2008

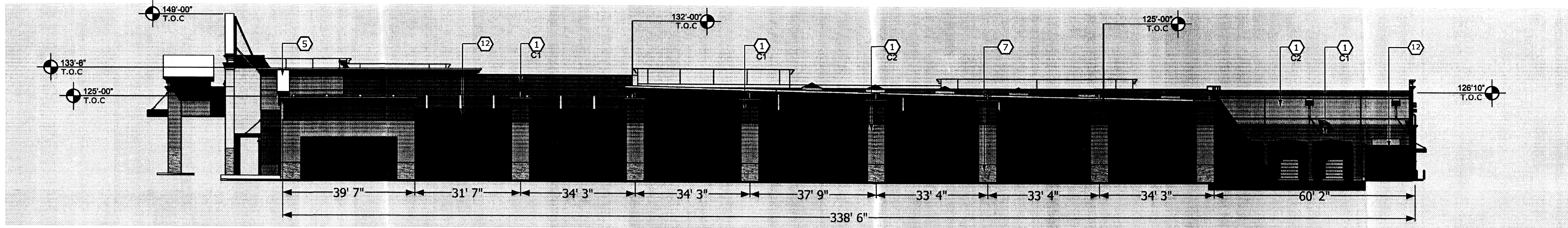
**CONCEPTUAL**  
**UTILITY PLAN**

Scale

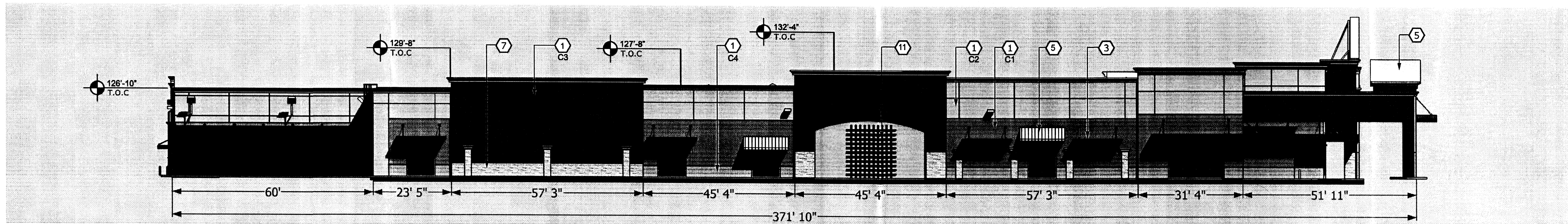
**C-201**

∞ OF ∞





3 Building Elevation - Right  
1/16" = 1'-0"



4 Building Elevation - Left  
1/16" = 1'-0"



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**Unser Crossing**  
**Permit for Building**  
**Central Avenue and Unser Boulevard**  
**Albuquerque, New Mexico 87121**

B | R | R



### STUCCO COLORS

- ALL COLORS ARE AS MANUFACTURED BY EL REY ACRYLIC
- C1 - 1565 RIVER ROCK (LIGHT BROWN)
  - C2 - 827 CASA (LIGHT TAN)
  - C3 - CUSTOM COLOR TO MATCH SW 6272 PLUM BROWN
  - C4 - 814 CACTUS FLOWER (LIGHT TERRA COTTA)
  - C5 - 1614 MIST (OFF WHITE)
  - C6 - 425 ACORN (LIGHT GREY)

### ELEVATION NOTES

- 1 STUCCO FINISH
- 2 CLEAR ANODIZED ALUMINUM STOREFRONT, TYPICAL
- 3 METAL AWNING - PAINT SW 7504 KEYSTONE GREY
- 4 METAL COPING - PREFINISHED TO MATCH, SW 7008 ALABASTER (WHITE)
- 5 METAL ROOF - SATIN ALUMINUM FINISH
- 6 SIGNAGE PER C-2 ZONING GUIDELINES
- 7 STONE VENEER - CANYON ROCK, PREMIUM LEDGESTONE (TAN)
- 10 CORNICE - 1614 MIST (OFF WHITE)
- 11 STEEL TRELLIS PAINTED SW 7177 ROOT BEER FLOAT (BROWN)
- 12 TUBE STEEL FENCE - POWDER COAT TO MATCH SW 6272 PLUM BROWN
- 13 PAINTED METAL DOOR & FRAME SW 7504 KEYSTONE GREY

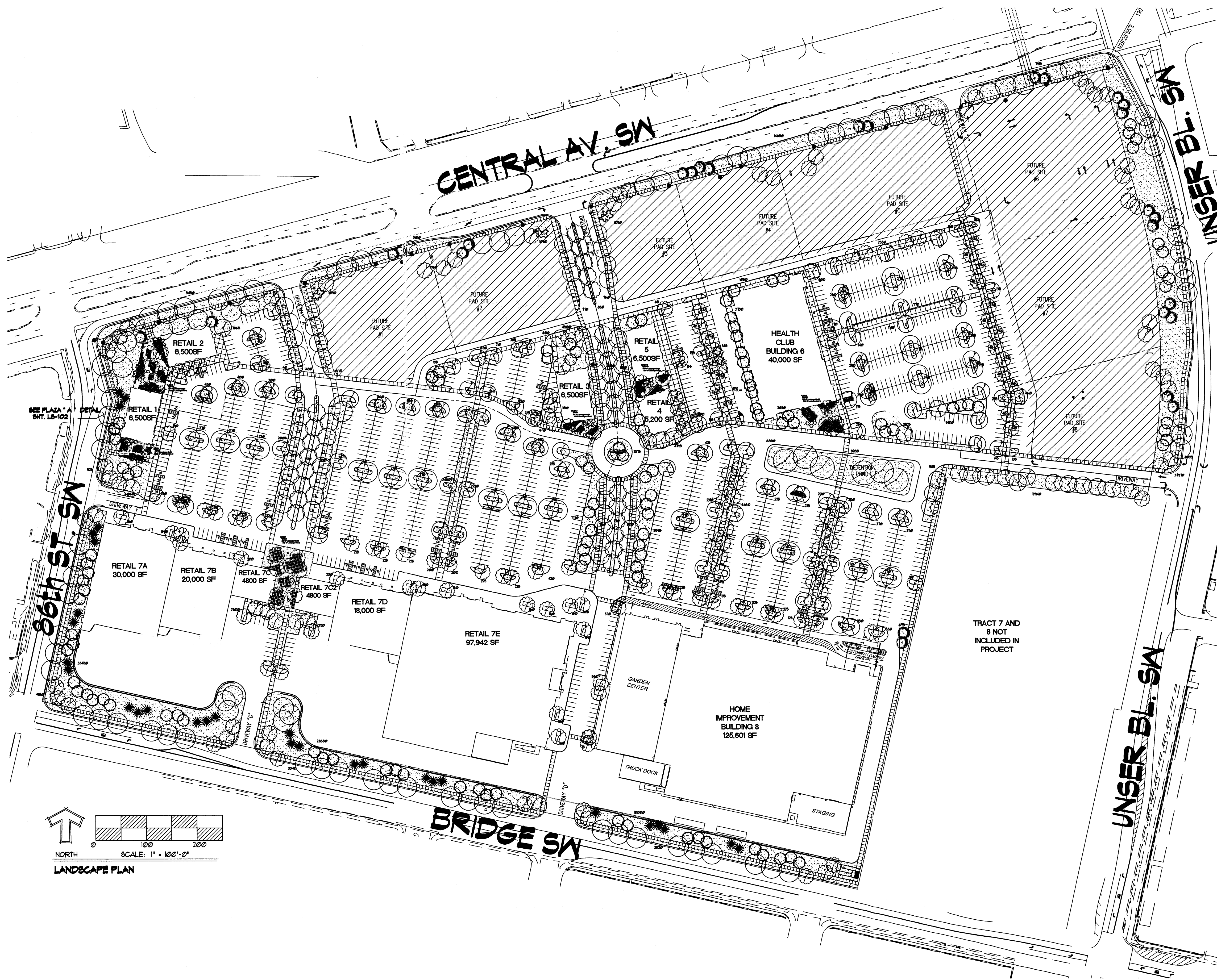
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Job Number \_\_\_\_\_  
 Drawn By \_\_\_\_\_  
 Checked \_\_\_\_\_  
 Issue Date July 1, 2018

Scale \_\_\_\_\_

**A-108B**  
OF

**Unser Crossing Building Permit**  
**Site Plan for Building Permit**  
**Central Avenue and Unser Boulevard**  
**Albuquerque, New Mexico 87121**



**LANDSCAPE LEGEND**

QTY	SIZE	COMMON / BOTANICAL	AV. SPREAD	H2O USE
131	2" cal	Ash <i>Fraxinus pennsylvanica</i> "Patmore", "Summit", or "Marshall"	35'-40'	M
127	2" cal	Honey Locust <i>Gleditsia triacanthos</i>	40'-45'	M
6	2" cal	Cottonwood, Rio Grande <i>Populus wislizeni</i>	50'-60'	M
54	2" cal	Chinese Flatlatch <i>Fistacia chinensis</i>	40'-45'	M
26	15 Gal.	Japanese Pagoda <i>Sophora japonica</i>	35'	M
213	15 Gal.	Chitalpa <i>Chitalpa x tashkenensis</i>	30'	M
9	15 Gal.	Washington Hawthorne <i>Crataegus phaenopyrum</i>	25'	M
115	15 Gal.	Desert Willow <i>Chilopsis linearis</i> "Lucretia Hamilton"	25'	L
21	6 - 8'	Austrian Pine <i>Pinus nigra</i>	25'	M
30	6 - 8'	Alghan Pine <i>Pinus eldarica</i>	25'	H
*	na	Spartan Juniper (female species) <i>Juniperus chinensis</i> "Spartan"	10'	L
na	5 Gal.	Wintergreen Barberry <i>Berberis julianae</i>	5'	M
na	5 Gal.	India Hawthorne	4'	M
na	5 Gal.	Honeyjuckle <i>Lonicera japonica</i>	12'	M
na	5 Gal.	Dwarf Butterfly Bush <i>Buddleia davidii</i> nanhoensis	5'	M
na	5 Gal.	Dwarf Feathertop <i>Pennisetum villosum</i>	2'	M
na	5 Gal.	Cherry Sage <i>Salvia greggii</i>	3'	M
na	5 Gal.	Rosemary <i>Rosemary officianalis</i>	6'	L
na	5 Gal.	English Lavender <i>lavendula angustifolia</i>	2'	M
na	5 Gal.	Apache Plume <i>Fouglia paradoxa</i>	5'	L
		Landscape Gravel, to be determined by Owner		
		Parking lot light poles,		

Note: Shrub's are not shown due to scale of drawing, 80% Live Cover @ Maturity  
 High water use turf is not used on this project.  
 Easement locations, Ref. Sit. Plan for Subdivision.

**LANDSCAPE NOTES**

Owner is responsible for maintenance of Irrigation System, Landscape Plantings, and Landscape Mulch.

Landscape shall be watered by a complete underground irrigation system operated by automatic timer. Trees shall have bubblers and shrubs shall have a minimum of 2 emitters per shrub. Trees and shrubs shall be zoned separately. Point of Connection for irrigation system shall be coordinated between the Landscape Contractor and the General Contractor of the project prior to construction.

All landscape areas shall be covered in 2-3" of landscape gravel, fines, bark mulch or other landscape mulch and commercial grade weed barrier fabric approved by the Owner's representative.

It is the intent of this plan to comply with the City of Albuquerque Landscape Regulations Applicable to Apartments and Nonresidential Development, Revised 6/24.

Landscape shall be installed according to the approved plan.

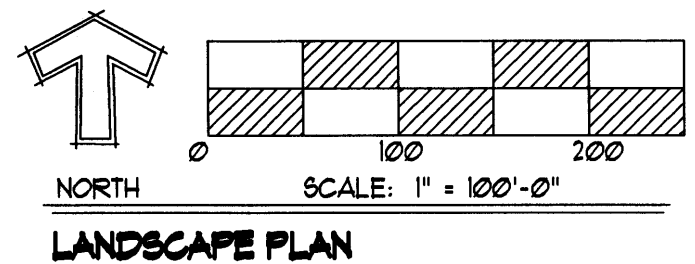
Landscape areas in excess of 36 square feet shall be planted so as to achieve 80% Live Ground Cover at maturity.

Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation landscaping and water waste ordinance. Water management is the sole responsibility of the property owner.

This plan shall comply with the Street Tree requirement's as defined in the Street Tree Ordinance 6-2-2-1.

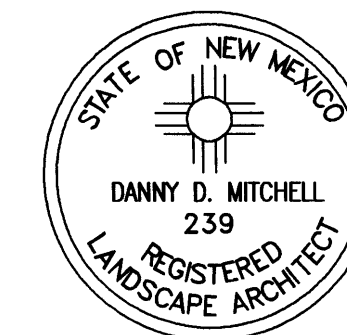
**LANDSCAPE CALCULATIONS**

PHASE ONE DEVELOPMENT	1694,066
TOTAL BUILDING AREA (sf)	311,043
NET LOT AREA (sf)	1323,023
LANDSCAPE REQUIREMENT (%)	.15
TOTAL LANDSCAPE REQUIRED (sf)	198,455
TOTAL LANDSCAPE PROVIDED (sf), 25.82%	341,383



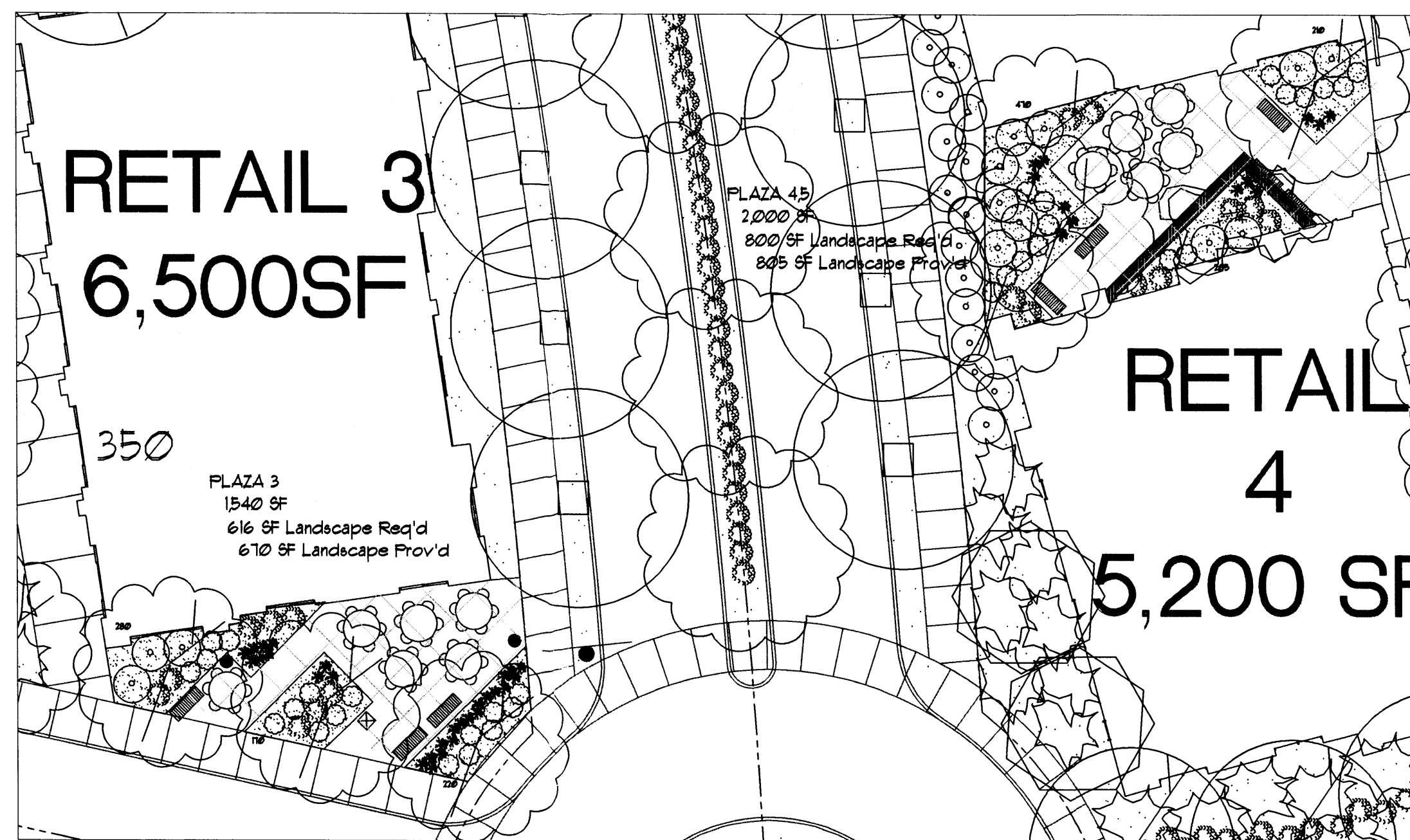
LANDSCAPE PLAN

preliminary  
 not for construction  
 06/17/2008

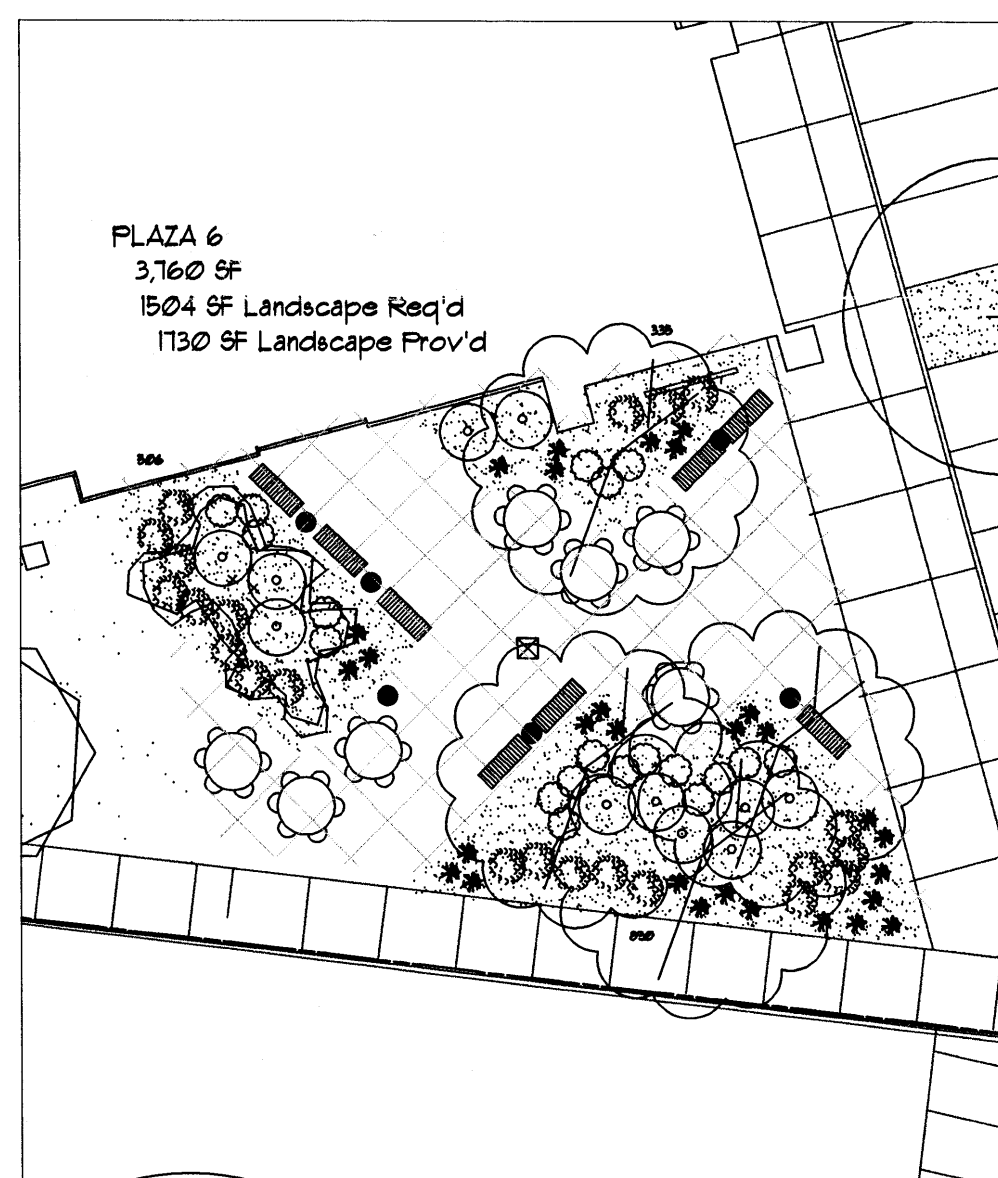
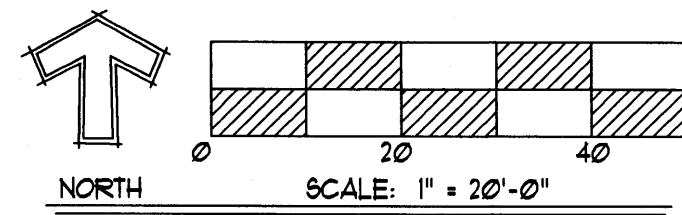




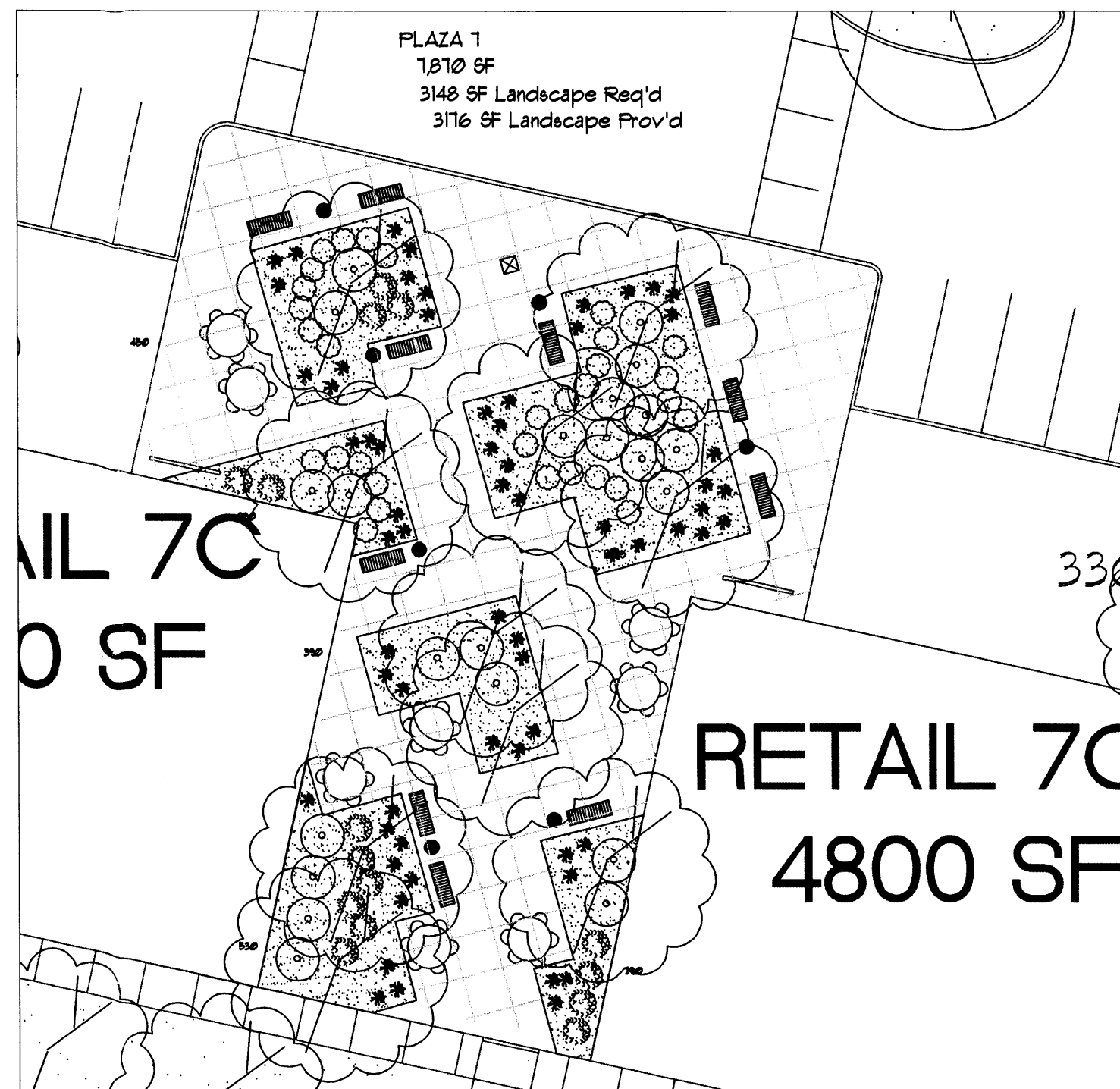
**PLAZA 1 AND 2, DETAIL**  
LANDSCAPE BEDS TO BE 80% LIVE GROUND COVER AT MATURITY.



**PLAZA 3, 4, AND 5, DETAIL**  
LANDSCAPE BEDS TO BE 80% LIVE GROUND COVER AT MATURITY.



**PLAZA 6 DETAIL**  
LANDSCAPE BEDS TO BE 80% LIVE GROUND COVER AT MATURITY.



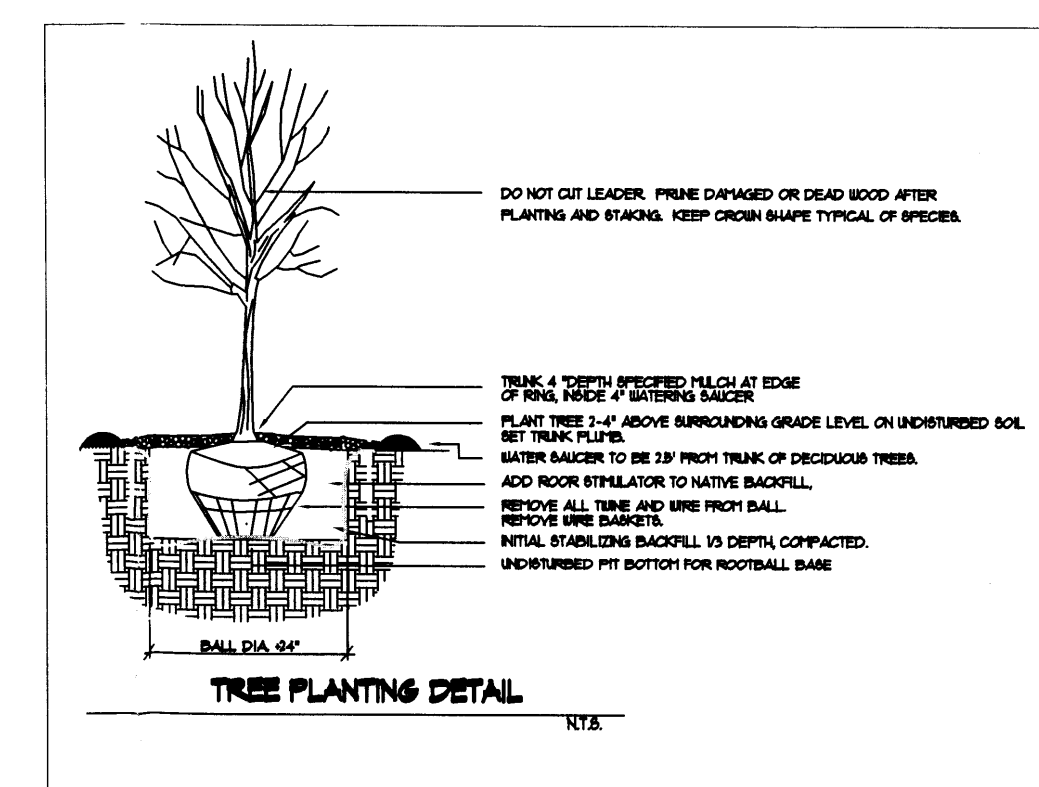
**PLAZA 7, DETAIL**  
LANDSCAPE BEDS TO BE 80% LIVE GROUND COVER AT MATURITY.

LANDSCAPE LEGEND			
QTY	SIZE	CATION / BOTANICAL	AV. SPREAD * M20 USE
131	2' cal	Ash <i>Fraxinus pennsylvanica</i>	35-40' M
171	2' cal	Honey Locust <i>Gleditsia triacanthos</i>	40-45' M
6	2' cal	Cottonwood, Rio Grande <i>Populus wislizeni</i>	50-60' M
54	2' cal	Chinese Pistache <i>Pistacia chinensis</i>	40-45' M
26	5 Gal.	Japanese Pagoda <i>Sophora japonica</i>	35' M
15 Gal.	5 Gal.	Chitalpa <i>Chitalpa x lachkenensis</i>	30' M
3	5 Gal.	Washington Hawthorn <i>Crataegus phaenopyrum</i>	25' M
15	5 Gal.	Desert Willow <i>Chilopsis linearis</i>	25' L
21	6 - 8'	Australian Pine <i>Pinus nigra</i>	25' M
30	6 - 8'	Alghan Pine <i>Pinus aldarica</i>	25' H
15 Gal.	5 Gal.	Spartan Juniper (female species) <i>Juniperus chinensis 'Spartan'</i>	10' L
na	5 Gal.	Wintergreen Barberry <i>Berberis julianae</i>	5' M
na	5 Gal.	India Hawthorn <i>Rachytetris indica</i>	4' M
na	5 Gal.	Honeylocust <i>Conocarpus japonica</i>	12' M
na	5 Gal.	Dwarf Butterfly Bush <i>Buddleia davidii nanhoensis</i>	5' M
na	5 Gal.	Dwarf Feathertop <i>Pennisetum villosum</i>	2' M
na	5 Gal.	Cherry Sage <i>Salvia greggii</i>	3' M
na	5 Gal.	Rosemary <i>Rosemary officinalis</i>	6' L*
na	5 Gal.	English Lavender <i>Lavandula angustifolia</i>	5' M
na	5 Gal.	Apache Pine <i>Fallugia paradoxa</i>	5' L
		Landscaping gravel, to be determined by Owner	
		Parking lot light poles.	

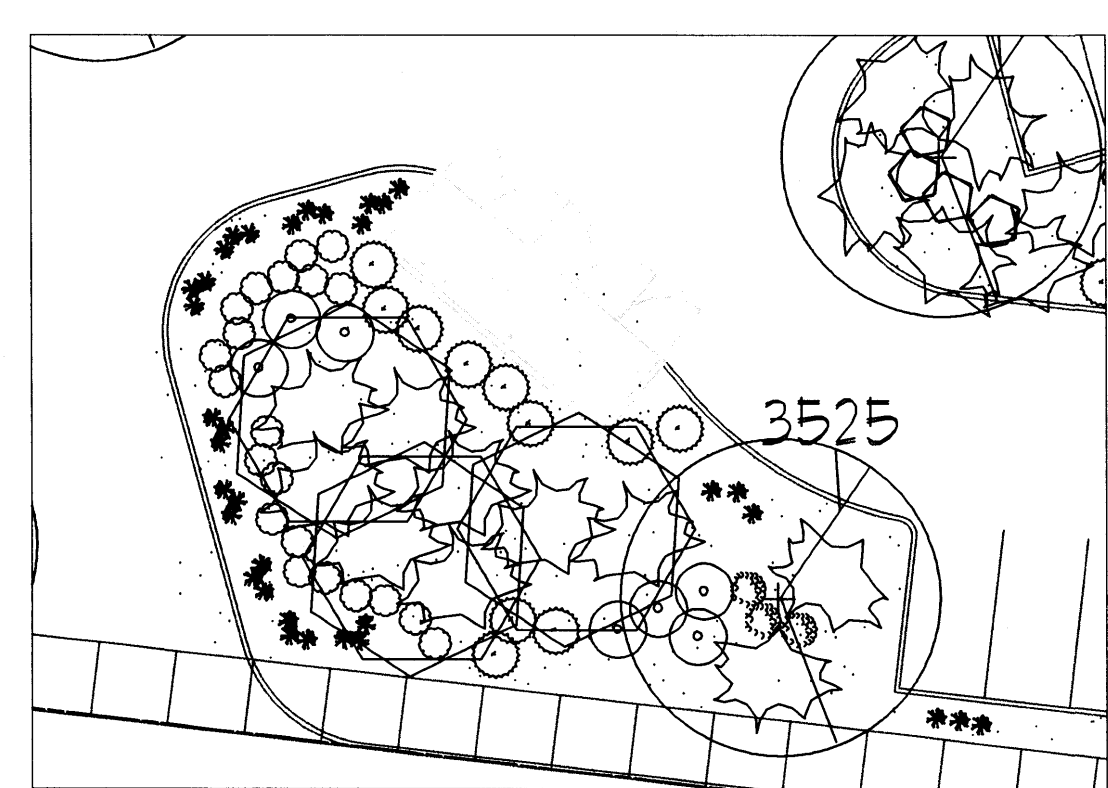
Note: Shrubs are not shown due to scale of drawing. 80% Live Cover \* Maturity  
High water use turf is not used on this project.  
Easement locations, Ref. Site Plan for Subdivision.  
---GOA-Plan-1-1-1-1-1---

**SITE FURNITURE**

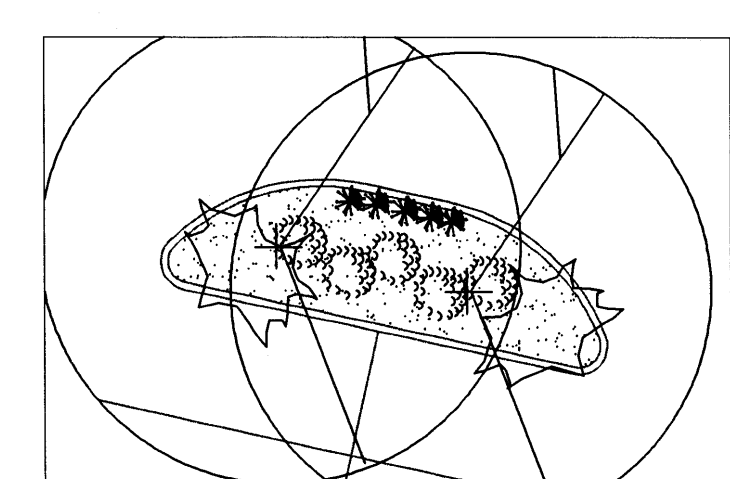
- BENCH, TYPICAL
- TABLE, TYPICAL
- TRASH CAN, TYPICAL
- KIOSK, TYPICAL



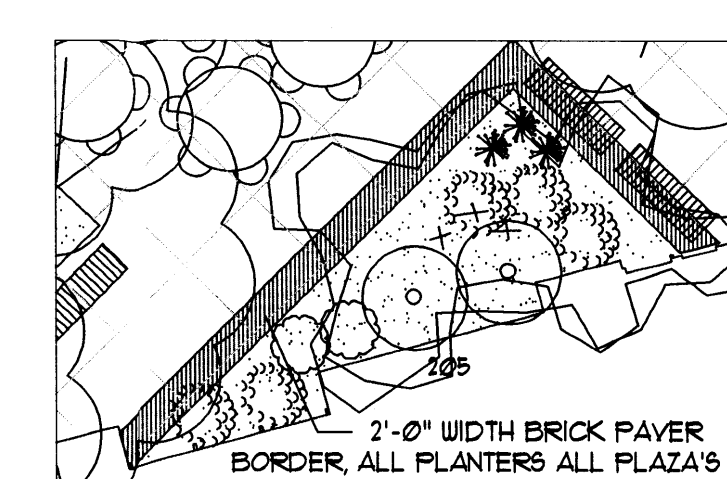
**TYP. TREE PLANTING DETAIL**



**IRREGULAR ISLAND DETAIL, TYP.**  
LANDSCAPE BEDS TO BE 80% LIVE GROUND COVER AT MATURITY.

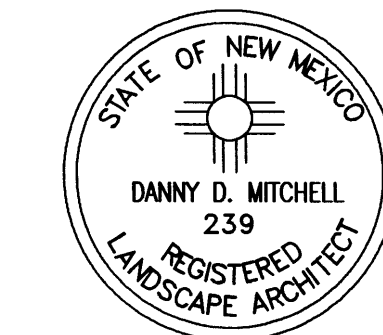


**PARKING ISLAND DETAIL NTS**  
LANDSCAPE BEDS TO BE 80% LIVE GROUND COVER AT MATURITY.



**PERMEABLE PAVING DETAIL, NTS**  
LANDSCAPE BEDS TO BE 80% LIVE GROUND COVER AT MATURITY.

preliminary  
not for construction  
05/01/2008



**DSA**  
Darren Sowell  
ARCHITECTS  
4700 Lincoln N.E., Suite 111  
Albuquerque, N.M. 87109  
Phone: (505) 342-6200  
Fax: (505) 342-6201

**Bohannon & Huston**

Mitchell Associates, LLC  
Landscape Architects  
3800 Carlisle Blvd NE, Suite 112  
Albuquerque, NM 87110  
(505) 830-6026  
danny@mitchellassociatesllc.com

**ARMSTRONG DEVELOPMENT PROPERTIES, INC.**

Unser Crossing  
Site Plan for Building Permit  
Central Avenue and Unser Boulevard  
Albuquerque, New Mexico 87121

06/17/2008	REVISION
05/01/2008	REVISION
	Job Number
	Drawn By DM
	Checked DS
	Issue Date April 3, 2008

**LANDSCAPE PLAN**  
Scale 1" = 100'-0"

**LS-102**

Building #	Use	Building SF	Parking Calculations										Plaza Requirements			
			Required	Transit Discount	Required	Provided	Disabled	Motorcycle	Motorcycle	Bike Pkg	Bike Pkg	Plaza SF Required	Plaza SF Shown			
1	Retail	6,500	33	5	28	56	72	2	4	3	4	2	2	5	130	2,248
2	Retail	6,500	33	5	28	28	52	2	2	2	2	2	2	5	130	5,422
3	Retail	6,500	33	5	28	50	70	1	4	2	2	1	5	234	2,001	
4	Retail	6,500	33	5	28	50	70	2	2	2	2	2	5	234	2,001	
5	Retail	6,500	33	5	28	50	70	2	2	2	2	2	5	234	2,001	
6	Health Club	40,000	267	41	226	226	347	8	8	5	6	7	14	15	800	3,773
7A	Retail	30,000	135	21	114	214	214	2	13	5	6	5	15			
7B	Retail	20,000	95	15	80											
7C1	Retail	4,800	24	4	20										3,511	7,904
7C2	Retail	4,800	24	4	20											
7D	Retail	19,000	87	14	73	417	455	1	18	6	6	2	25			
7E	Retail	87,843	382	58	324											
8	Home Improvement	125,601	474	72	402	402	438	12	12	6	6	24	25	2,513		Shore with Sign 9
<b>Total</b>		<b>372,343</b>	<b>1,848</b>	<b>283</b>	<b>1,283</b>	<b>1,283</b>	<b>1,848</b>	<b>69</b>	<b>61</b>	<b>29</b>	<b>32</b>	<b>88</b>	<b>95</b>	<b>7,448</b>	<b>22,838</b>	

- Parking Calculation Notes:**
- Parking provided includes disabled parking spaces.
  - Required parking for Building 6 (Health Club) calculated using 1 space per 150 SF. All other buildings follow section 14-16-3-1-A-27 of the City of Albuquerque zoning code.
  - Transit discount of 15% taken due to the fact that the site is adjacent to a regular Albuquerque Transit system route and two transit rider shelters will be built with this project.
  - First column of required parking is without transit discount.
  - Provided parking is divided into logical groupings of buildings to allow users to park once and visit multiple retailers.

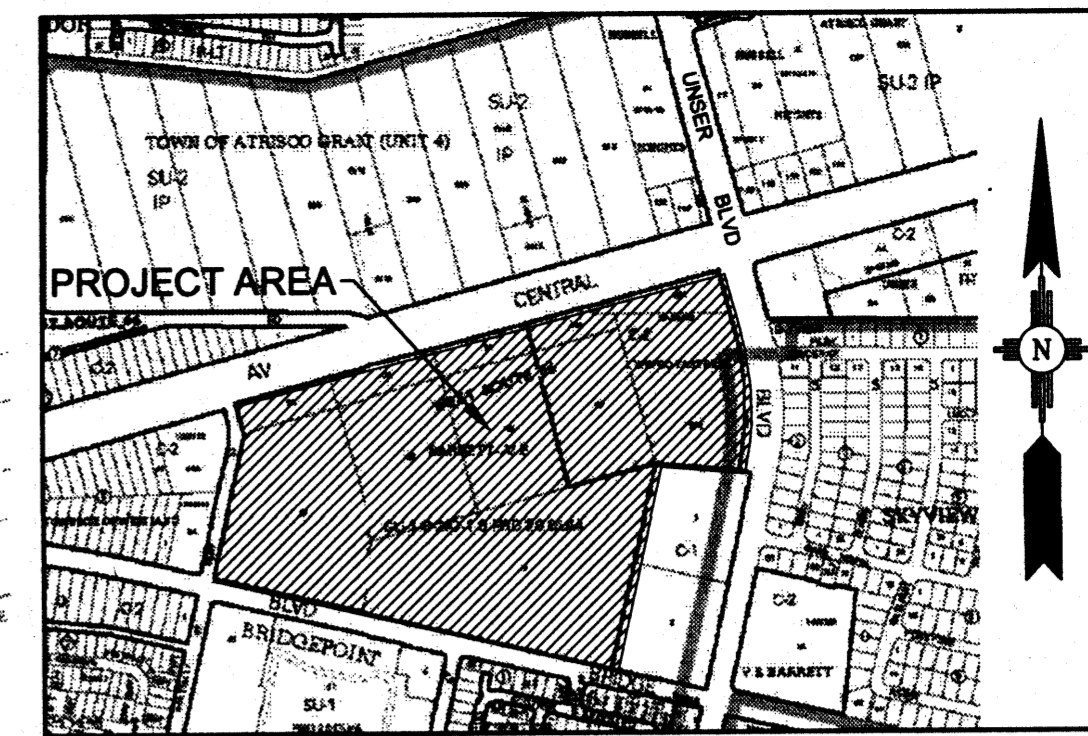
**MONUMENT SIGNS**

TYPE
A
B
C
D
E
F
G

\*ALL ON-SITE SIGNAGE HAS BEEN SUBMITTED TO EPC (08EPC-40063) AND WILL RETURN SEPARATELY TO DRB.

**TRANSIT DEPARTMENT NOTE:**

- THE SW MESA PARK & RIDE IS LOCATED NEAR THE NW CORNER OF CENTRAL & UNSER.
- AS OF 3/15/08, BUS ROUTES 766, 162, 66, AND 54 HAVE A STOP NEAR OR ADJACENT TO THE SITE.
- PARTICIPATION IN TRANSIT DEMAND MANAGEMENT PROGRAM IS ENCOURAGED FOR USERS OF THE SITE.



**DSIA**  
**Darren Sowell**  
**ARCHITECTS**  
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 Phone: (505) 342-6200  
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**Botanman & Huston**  
 Surveyors - Spatial Data - Advanced Technologies  
 1700 Johnson St. NE, Albuquerque, NM 87103-4525  
 Phone: (505) 639-6955  
 any@botanman.com

**Mitchell Associates, LLC**  
 Landscape Architects  
 1000 1st St. NE, Suite 112  
 Albuquerque, NM 87110  
 Phone: (505) 639-6955  
 any@mitassoc.com

**VICINITY MAP**  
 ZONE ATLAS PAGES K-09-2 & K-10-2  
 SCALE: 1"=100'

**SHEET INDEX**

C-001 SITE PLAN FOR BUILDING PERMIT	A-107B ELEVATIONS BUILDING 7
C-002 SITE PLAN DETAILS	A-107C ELEVATIONS BUILDING 7
LS-101 LANDSCAPE PLAN	A-107D ELEVATIONS BUILDING 7
LS-102 LANDSCAPE DETAILS	A-107E-1 ELEVATIONS BUILDING 7
C-101 CONCEPTUAL GRADING & DRAINAGE PLAN	A-107E-2 ELEVATIONS BUILDING 7
C-201 CONCEPTUAL UTILITY PLAN	A-107F ELEVATIONS BUILDING 7
A-101 ELEVATIONS BUILDING 1	A-108A ELEVATIONS BUILDING 8
A-102 ELEVATIONS BUILDING 2	A-108B ELEVATIONS BUILDING 8
A-103 ELEVATIONS BUILDING 3	A-108C ELEVATIONS BUILDING 8
A-104 ELEVATIONS BUILDING 4	C-003 SITE PLAN FOR SUBDIVISION
A-105 ELEVATIONS BUILDING 5	G-101 DESIGN STANDARDS
A-106A ELEVATIONS BUILDING 6	G-102 DESIGN STANDARDS
A-106B ELEVATIONS BUILDING 6	G-103 DESIGN STANDARDS
A-107A ELEVATIONS BUILDING 7	

**ARMSTRONG DEVELOPMENT PROPERTIES, INC.**

**KEYED NOTES**

- 6" CONCRETE CURB.
- COA STANDARD CURB & GUTTER.
- 6" TEMPORARY ASPHALT CURB.
- 14" WIDE CONCRETE SIDEWALK.
- 6" WIDE CONCRETE SIDEWALK.
- 8" WIDE CONCRETE SIDEWALK.
- 10" WIDE CONCRETE SIDEWALK. SLOPE TO LANDSCAPE AREA IF POSSIBLE.
- 6"x8" LANDSCAPE PLANTER.
- BIKE RACK PER 3/C-002.
- LIGHT POLE PER 5/C-002.
- REFUSE ENCLOSURE PER 2/C-002 & 9/C-002.
- 6" HIGH SCREEN WALL PER 9/C-002.
- HANDICAP PARKING SPACE PER 4/C-002.
- TRANSIT STOP WITH SHELTER PER COA STD DWG 2535. PEDESTRIAN AMENITIES SHALL BE PER SECTION M OF THE SITE PLAN FOR SUBDIVISION.
- COLORLED, TEXTURED, CONCRETE CROSSWALK.
- LOADING DOCK.
- END ISLAND PLANTER PER 1/C-002.
- 10" WIDE CONTRACTOR PARKING SPACES. TOTAL OF 24.
- TRASH COMPACTOR.
- NEW DRIVEWAY, FULL ACCESS, NEW SIGNAL RECOMMENDED BY TIA.
- NEW RIGHT IN/RIGHT OUT DRIVEWAY.
- NEW FULL ACCESS DRIVEWAY.
- NEW RIGHT IN, RIGHT OUT, LEFT IN DRIVEWAY.
- CART CORRAL, WELDED METAL PIPE, PAINTED TO MATCH BUILDING.
- MOTORCYCLE PARKING WITH SIGN PER 8/C-002.
- WALL MOUNTED LIGHT.
- PROPOSED DECEL LANE/TURN LANE TO BE COMPLETED WITH PUBLIC INFRASTRUCTURE PLANS.
- APPLIANCE AND PALLET RECYCLING STORAGE UNIT.
- CROSS ACCESS EASEMENT TO BE CREATED BY PLATTING ACTION WITH THIS PROJECT.
- COLUMN, SEE ARCHITECTURAL ELEVATION.
- 8" HIGH SCREEN WALL BEHIND LOADING DOCKS PER 9/C-002.
- PROPOSED FIRE HYDRANT LOCATION.
- EXISTING BUS STOP LOCATION.
- FUTURE PEDESTRIAN CONNECTION TO ADJACENT PAD SITES.
- ADA ACCESSIBLE RAMP AND STEPS FOR PEDESTRIAN CONNECTION.

PROJECT NUMBER: \_\_\_\_\_  
 Application Number: \_\_\_\_\_

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN - SIGNOFF APPROVAL:**

Traffic Engineering, Transportation Division	Date
Water Utility Department	Date
Parks and Recreation Department	Date
City Engineer	Date
Michael Helton (adjustments)	6/18/08
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

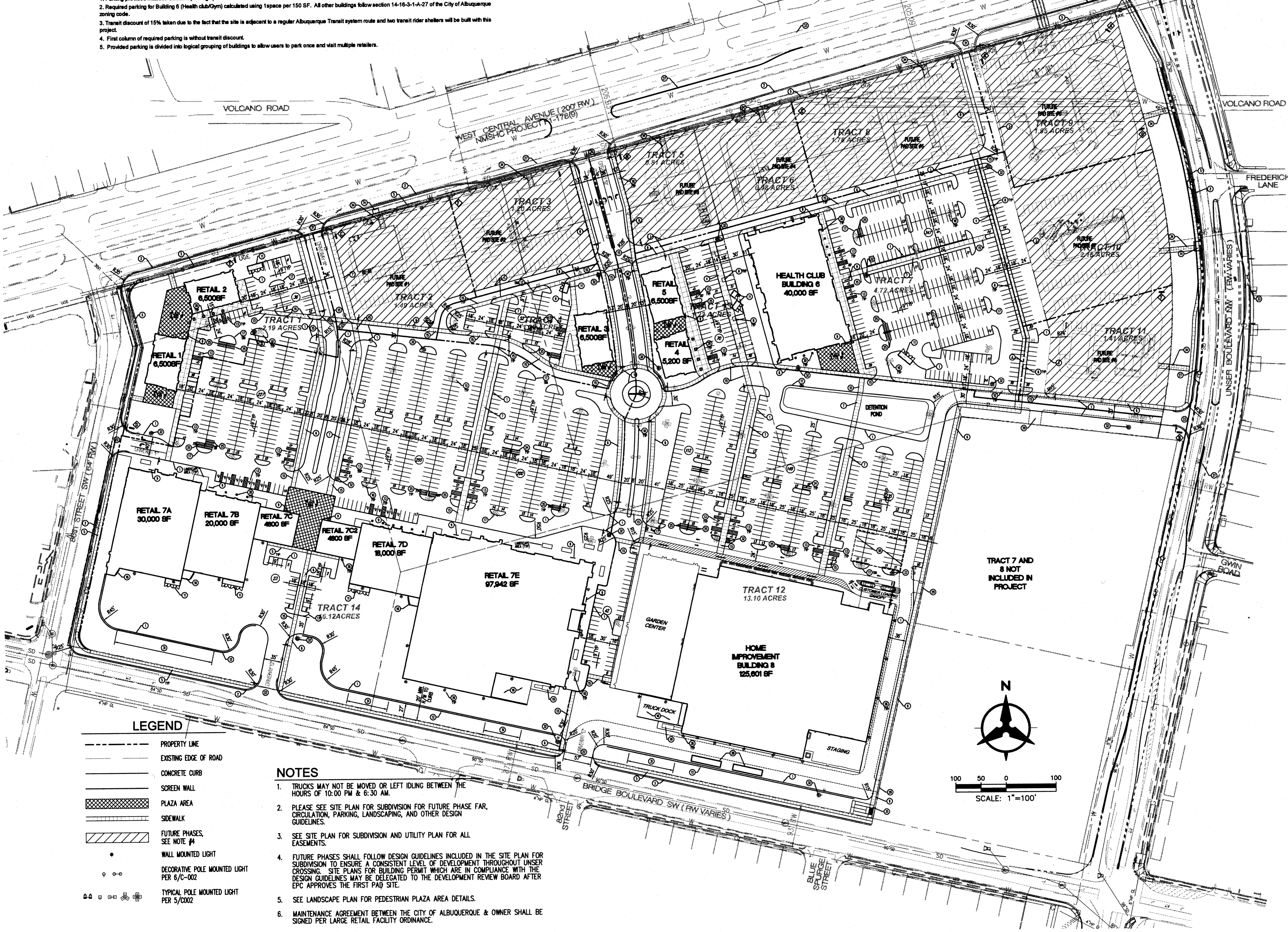
Job Number \_\_\_\_\_  
 Drawn By \_\_\_\_\_ BO  
 Checked \_\_\_\_\_ RM/BJS  
 Issue Date June 17, 2008

**SITE PLAN FOR BUILDING PERMIT**

Scale \_\_\_\_\_

**C-001**

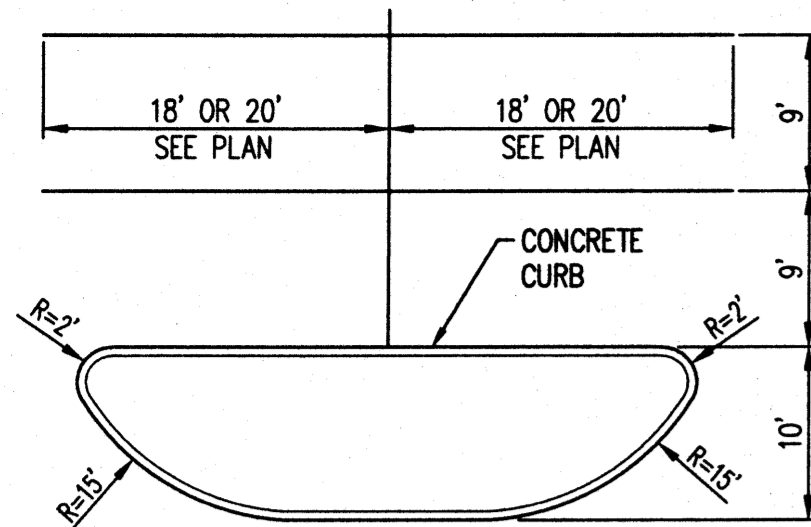
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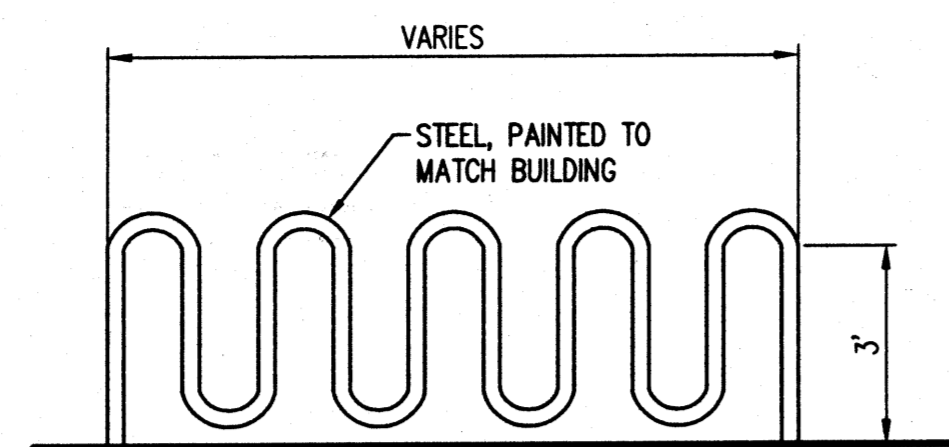
**LEGEND**

---	PROPERTY LINE
---	EXISTING EDGE OF ROAD
---	CONCRETE CURB
---	SCREEN WALL
---	PLAZA AREA
---	SIDEWALK
---	FUTURE PHASES, SEE NOTE #4
•	WALL MOUNTED LIGHT
○	DECORATIVE POLE MOUNTED LIGHT PER 6/C-002
□	TYPICAL POLE MOUNTED LIGHT PER 5/C002

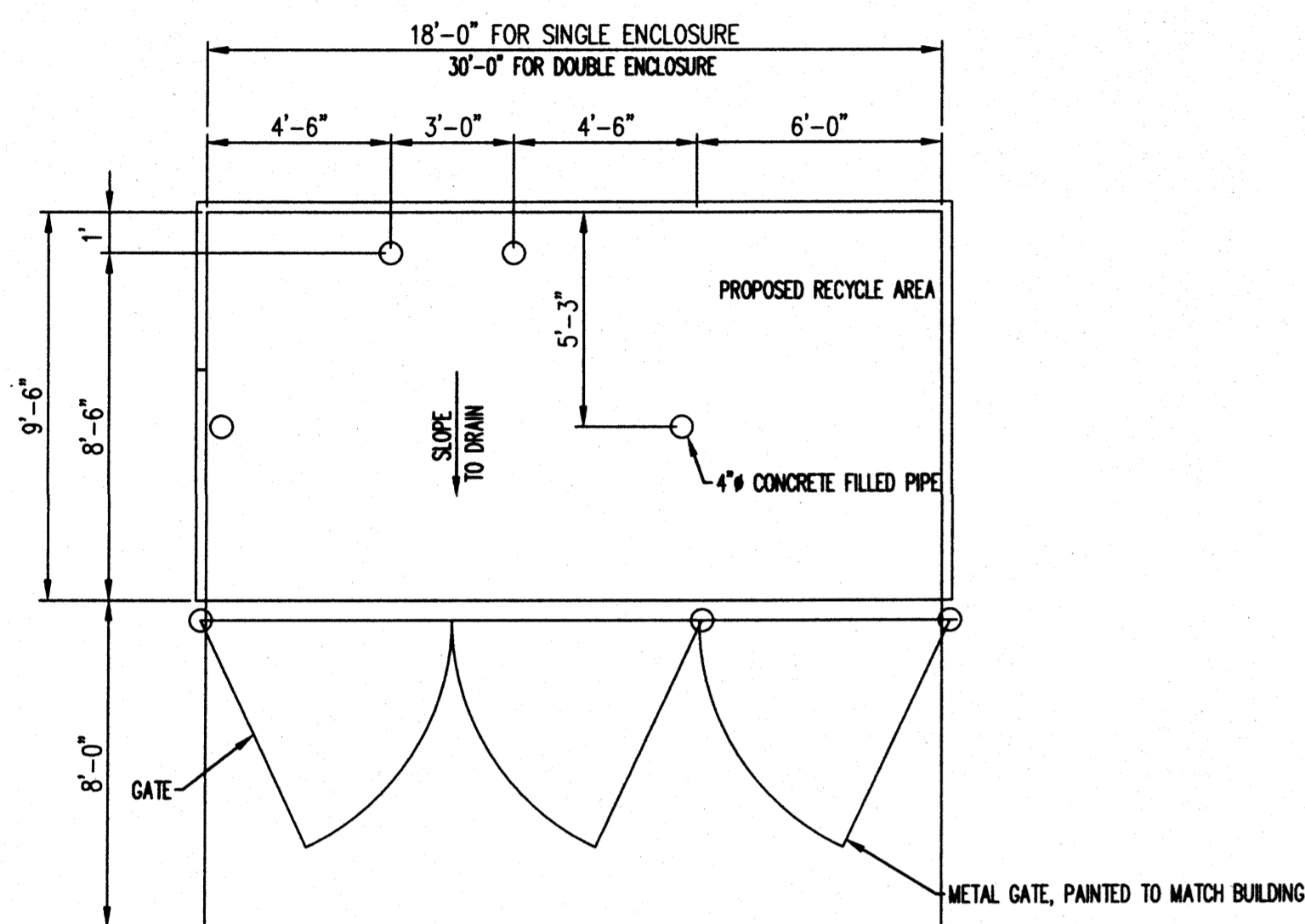
- NOTES**
- TRUCKS MAY NOT BE MOVED OR LEFT IDLING BETWEEN THE HOURS OF 10:00 PM & 6:30 AM.
  - PLEASE SEE SITE PLAN FOR SUBDIVISION FOR FUTURE PHASE FAR, CIRCULATION, PARKING, LANDSCAPING, AND OTHER DESIGN GUIDELINES.
  - SEE SITE PLAN FOR SUBDIVISION AND UTILITY PLAN FOR ALL EASEMENTS.
  - FUTURE PHASES SHALL FOLLOW DESIGN GUIDELINES INCLUDED IN THE SITE PLAN FOR SUBDIVISION TO ENSURE A CONSISTENT LEVEL OF DEVELOPMENT THROUGHOUT UNSER CROSSING. SITE PLANS FOR BUILDING PERMIT WHICH ARE IN COMPLIANCE WITH THE DESIGN GUIDELINES MAY BE DELEGATED TO THE DEVELOPMENT REVIEW BOARD AFTER EPC APPROVES THE FIRST PAD SITE.
  - SEE LANDSCAPE PLAN FOR PEDESTRIAN PLAZA AREA DETAILS.
  - MAINTENANCE AGREEMENT BETWEEN THE CITY OF ALBUQUERQUE & OWNER SHALL BE SIGNED PER LARGE RETAIL FACILITY ORDINANCE.



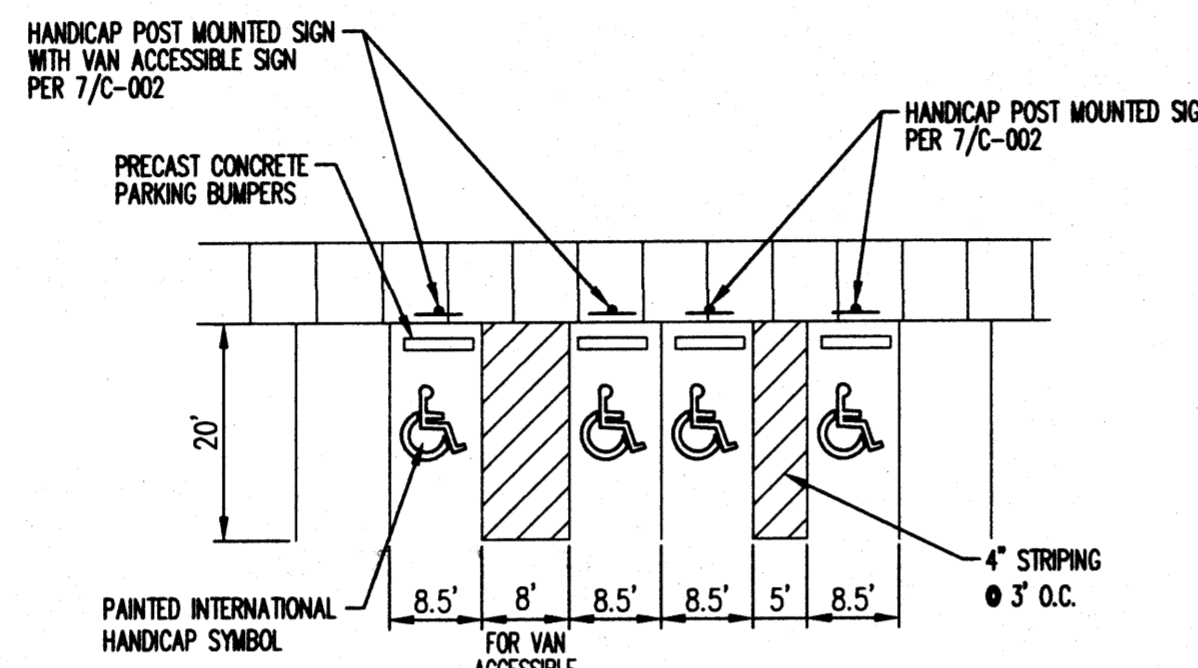
1 TYPICAL END PLANTER ISLAND & PARKING LOT STRIPING  
NTS



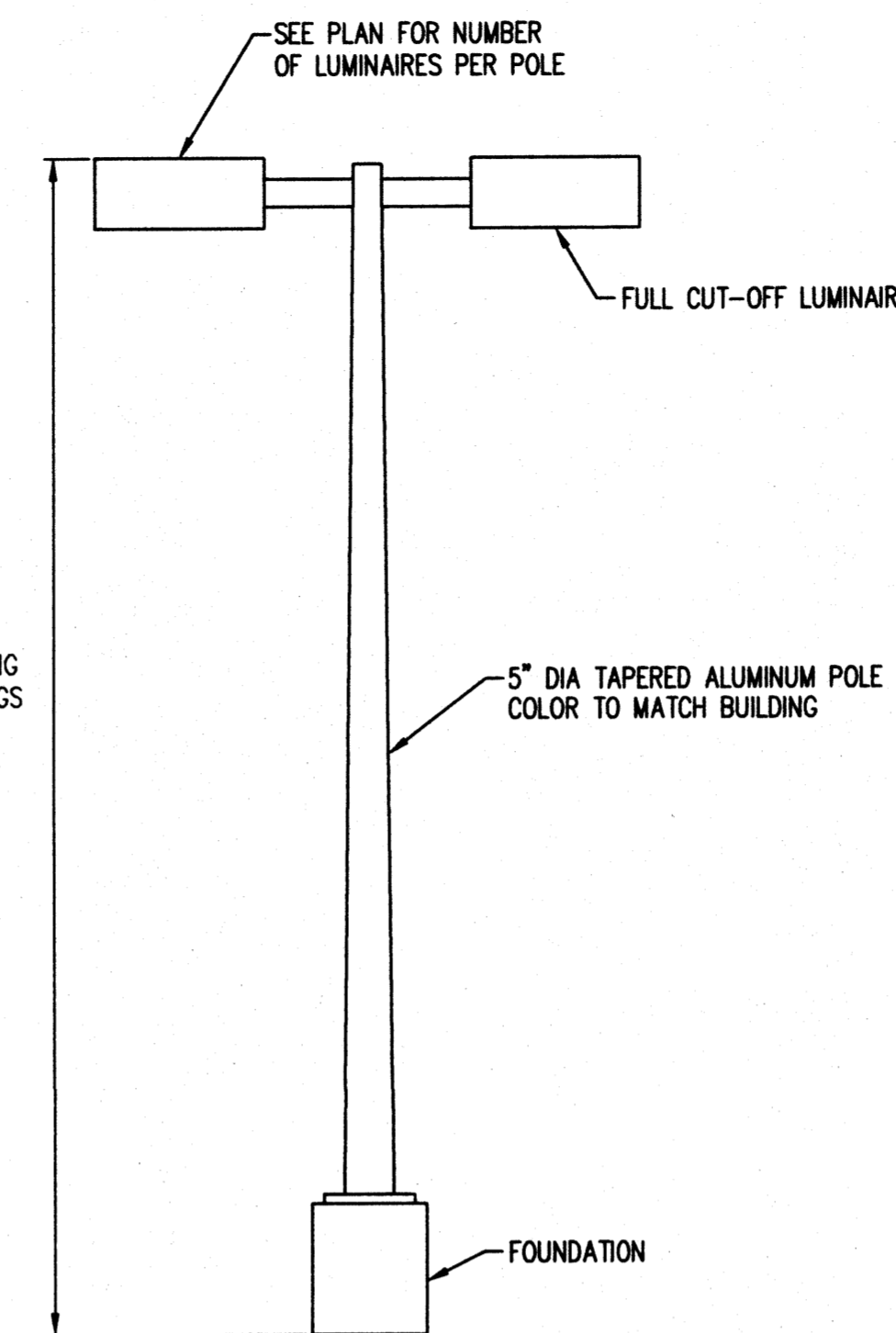
3 BIKE RACK  
NTS



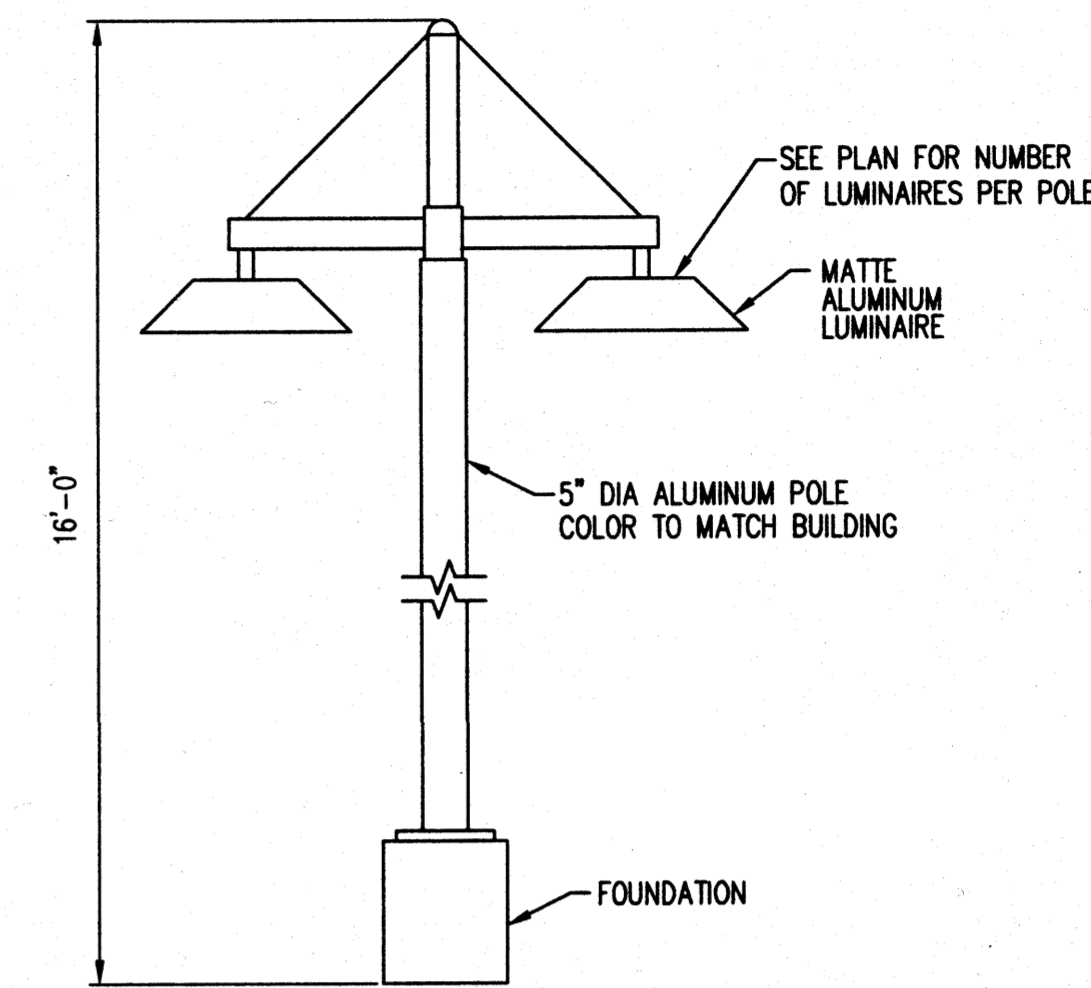
2 SINGLE & DOUBLE REFUSE ENCLOSURE  
NTS



4 TYPICAL HANDICAP PARKING DETAIL  
NTS



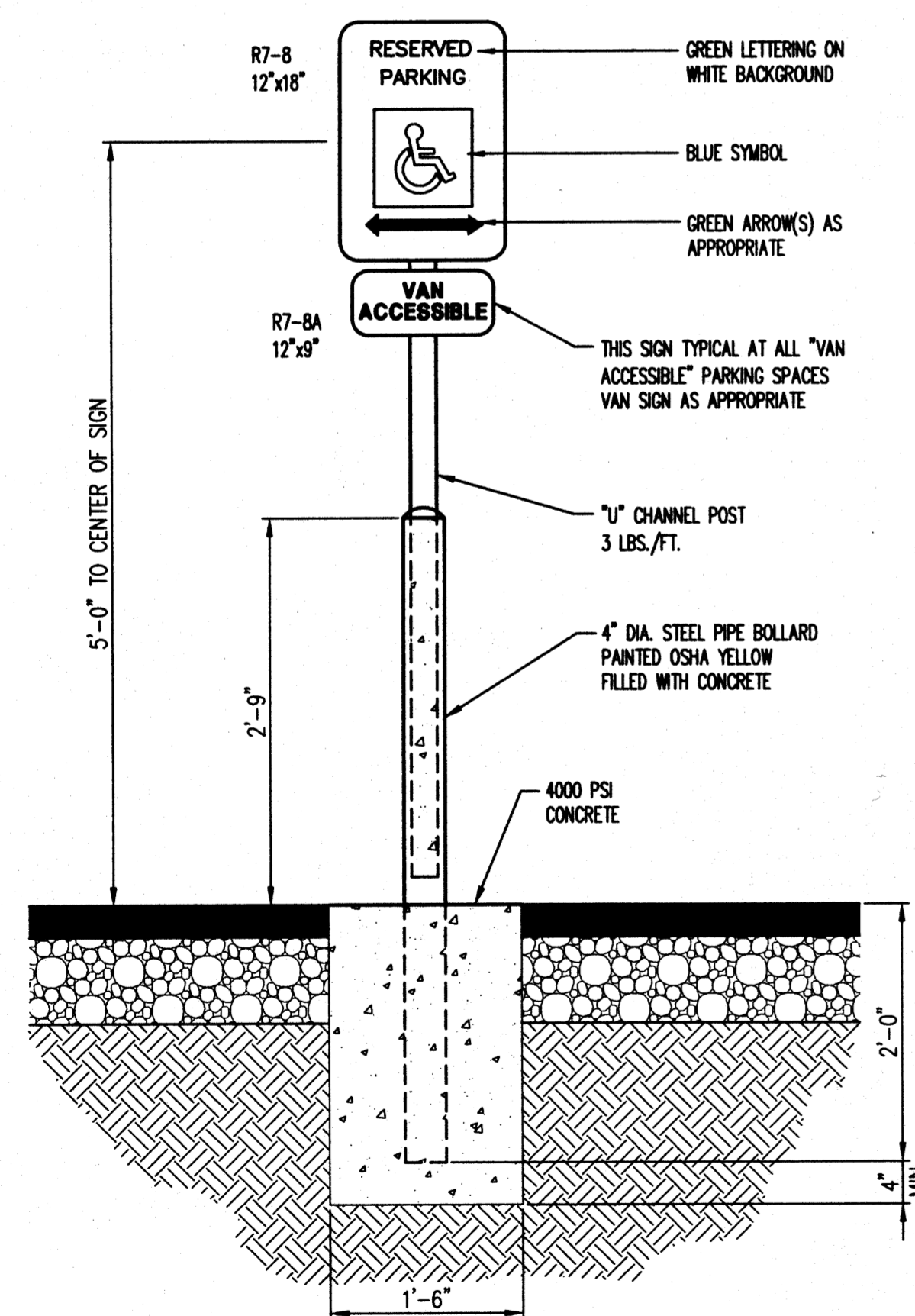
5 TYPICAL POLE MOUNTED LIGHT  
NTS



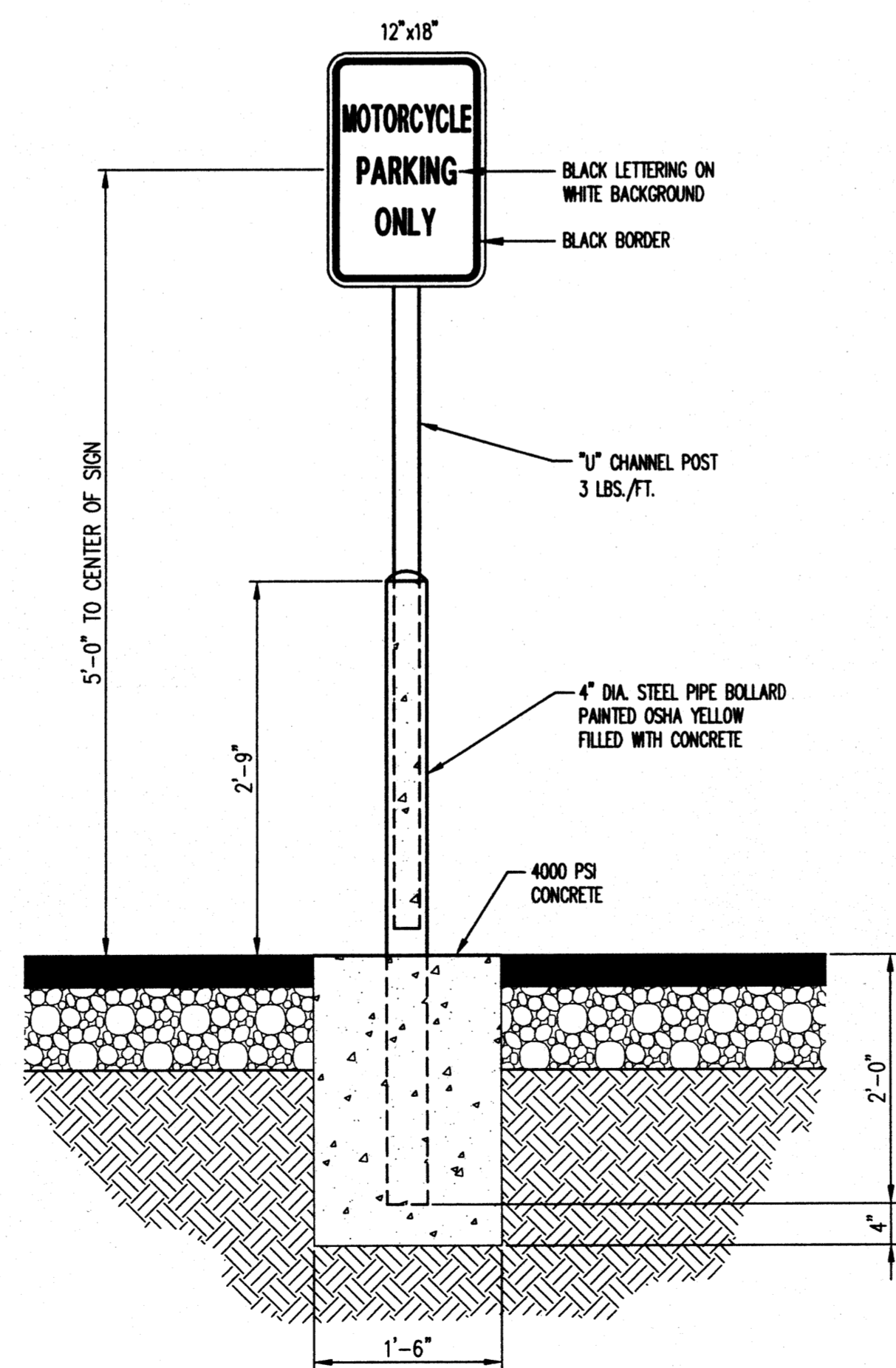
6 DECORATIVE POLE MOUNTED LIGHT  
NTS

30' HIGH IN PRIMARY PARKING FIELDS SHIELDED BY BUILDINGS  
20' HIGH IN ALL OTHER NON-PEDESTRIAN AREAS

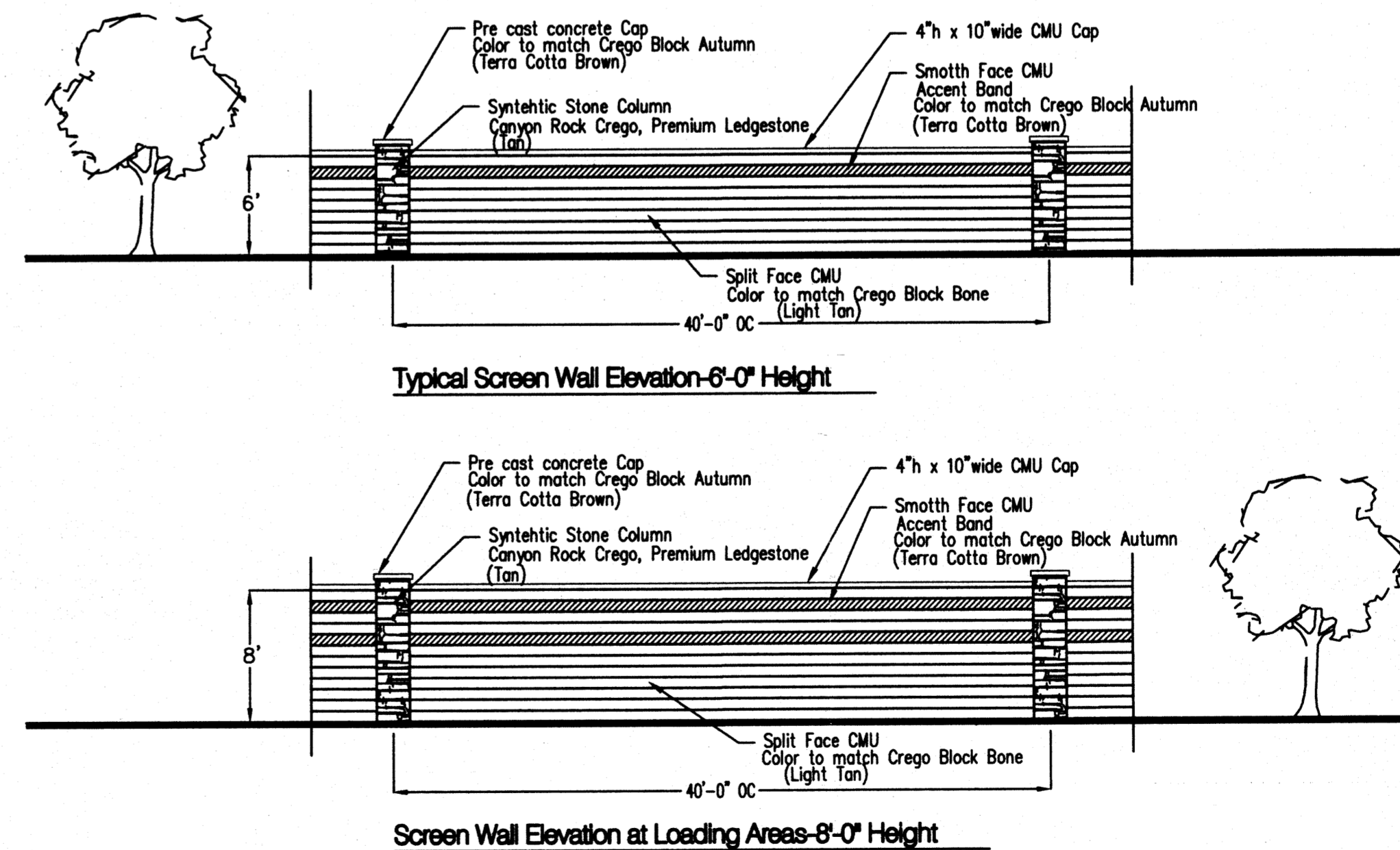
NOTE: THIS FIXTURE TO BE USED IN ALL PEDESTRIAN/PLAZA AREAS



7 HANDICAP PARKING SIGN MOUNTING DETAIL  
NTS



8 MOTORCYCLE PARKING SIGN  
NTS



9 SCREEN WALL ELEVATIONS  
NTS

NOTE: REFUSE ENCLOSURE SCREEN WALL DOES NOT INCLUDE PLASTERS.



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mitchell@bohannonhuston.com



Unser Crossing  
DRB Submittal  
Site Plan for Building Permit  
Central Avenue and Unser Boulevard  
Albuquerque, New Mexico 87121

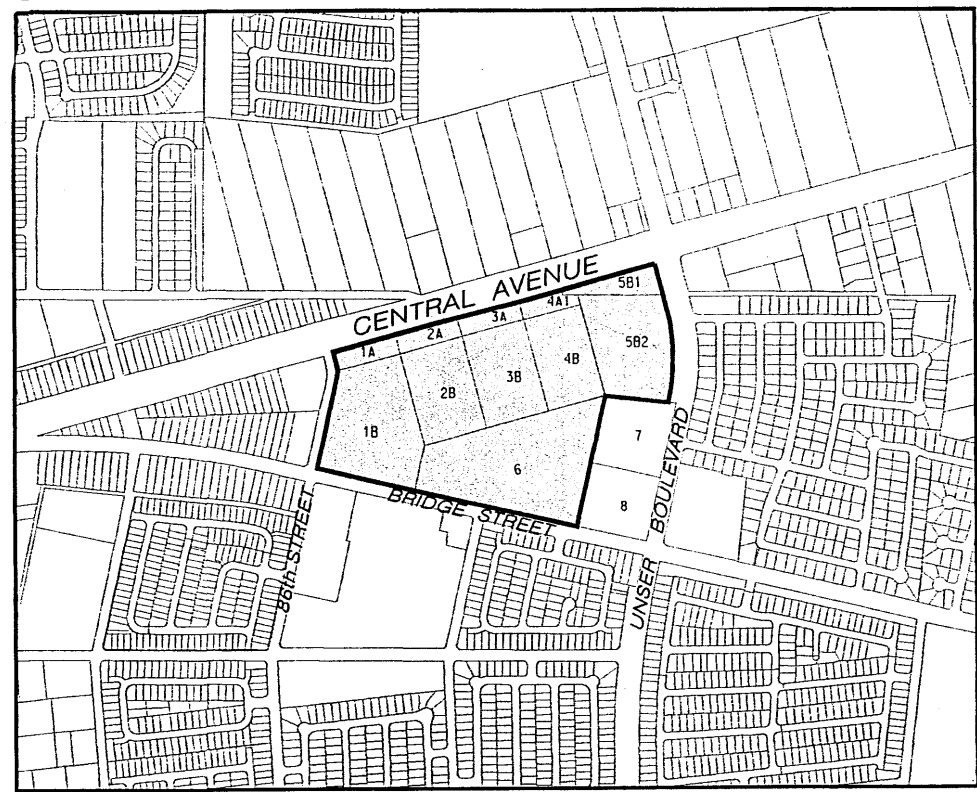
Job Number	
Drawn By	BO
Checked	RM/BJS
Issue Date	June 17, 2008

SITE PLAN  
DETAIL SHEET  
Scale

C-002  
OF 00



SP-2008242970



LOCATION MAP

ZONE ATLAS INDEX MAP Nos. K9 & K10
NOT TO SCALE

SUBDIVISION DATA

- 1. DRB No.
2. Zone Atlas Index Nos. K-9 and K-10
3. Zoning: C-2 & SU-1
4. Gross Subdivision Acreage: 50.6833 Acres.
5. Total Area of dedicated public street right-of-way: 0.3042 acre.
6. Date of Survey: June, 2008.
7. Plat is located within the Town of Atrisco Grant in projected Sections 21 & 22, Township 10 North, Range 2 East, NMPM, City of Albuquerque, Bernalillo County, New Mexico.

DISCLOSURE STATEMENT

The purpose of this Plat is to subdivide Tracts One-A (1-A), One-B (1-B), Two-A (2-A), Two-B (2-B), Three-A (3-A), Three-B (3-B), Four-B (4-B) and Six (6) of V.E. Barrett Subdivision, as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico, on February 13, 1967, in Book C6, Page 161 together with all of Tracts Four-A-1 (4-A-1), Five-B-1 (5-B-1), and Five-B-2 (5-B-2), Lands of Wefco, Partners, as the same are shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on April 6, 1987, in Book C-33 into fourteen (14) new tracts, to vacate easements, to dedicate public street right-of-way to the City of Albuquerque, and to grant easements.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are for the common joint use of:

- A. PNM Electric Services for the installation, maintenance and service of underground electrical lines, transformers, and other equipment, fixtures, structures, and related facilities reasonably necessary to provide electrical service.
B. PNM Gas services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
C. QWEST for the installation, maintenance, and service of all buried communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
D. Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool, (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

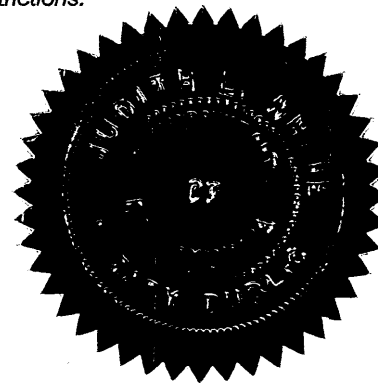
DESCRIPTION

A certain tract of land situate within the Town of Atrisco Grant in projected Sections 21 and 22, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being and comprising all of Tracts One-A (1-A), One-B (1-B), Two-A (2-A), Two-B (2-B), Three-A (3-A), Three-B (3-B), Four-B (4-B) and Six (6) of V.E. Barrett Subdivision, as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico, on February 13, 1967, in Book C6, Page 161 together with all of Tracts Four-A-1 (4-A-1), Five-B-1 (5-B-1), and Five-B-2 (5-B-2), Lands of Wefco, Partners, as the same are shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on April 6, 1987, in Book C-33, Page 81.

Tract contains 50.6833 acres of land, more or less.

NOTES

- 1. Bearings are New Mexico State Plane Grid Bearings (Central Zone) NAD 1983 and the Basis of Bearings is the inverse between Albuquerque Control Monuments "7-K10" and "14-K9" Bearing = S58°28'10"W.
2. Record Bearings and distances are shown in parenthesis.
3. Distances are ground distances.
4. All easements of record are as shown on the Plat of record or made known to me by the owner, utility companies, or other interested parties.
5. All interior tract corners to be monumented by a #5 rebar and yellow plastic survey cap stamped "GROMATZKY PS 16469".
6. All streets are public, to be dedicated to the City of Albuquerque with the filing of this plat.
7. Pursuant to section 14-14-4-7 of the City of Albuquerque Code of Ordinances, "No property within the area of this Plat shall at anytime be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirements shall be a condition to approval of this plat."
8. A reciprocal cross access easement for the benefit of Tracts 1 thru 14, to be maintained by same, is granted with the filing of this plat.
9. A blanket cross lot drainage easement for the benefit of Tracts 1 thru 14, to be maintained by same, is granted with the filing of this plat.
10. Tracts 1 thru 14 will be subject to future covenants and restrictions.



SURVEYOR'S CERTIFICATION

I, Robert Gromatzky, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements as shown on the plat of record, or made known to me by the owner, utility companies, or other interested parties and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors and meets the minimum requirements for monumentation and surveys contained in the City of Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

Robert Gromatzky
New Mexico Professional Surveyor 16469

Date: 6-26-08



FREE CONSENT AND DEDICATION

This plat of that certain tract of land situate within the Town of Atrisco Grant in projected Sections 21 & 22, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being and comprising all of Tracts One-A (1-A), One-B (1-B), Two-A (2-A), Two-B (2-B), Three-A (3-A), Three-B (3-B), Four-B (4-B) and Six (6) of V.E. Barrett Subdivision, as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico, on February 13, 1967, in Book C6, Page 161 together with all of Tracts Four-A-1 (4-A-1), Five-B-1 (5-B-1), and Five-B-2 (5-B-2), Lands of Wefco, Partners, as the same are shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on April 6, 1987, in Book C-33, Page 81, records of Bernalillo County, New Mexico, now comprising Tracts 1 thru 14, Unser Crossings is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof. Said owner(s) and/or proprietor(s) do hereby dedicate additional public right-of-way for 86th Street SW as shown hereon to the City of Albuquerque in fee simple with warranty covenants and do hereby grant: All Access, Utility and Drainage Easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all Public Utility Easements shown hereon for the common and joint use of Gas, Electrical Power, and Communication Services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. The City has the right to enter upon the easement property at any time and perform whatever inspection, installation, maintenance, repair, modification or removal ("Work") it deems appropriate without liability to the City. If the Work effects any improvements or encroachments by the grantor, their assigns or heirs, the City will not be financially or otherwise responsible for rebuilding or repairing of improvements or encroachments. If in the opinion of the City, the Work to be performed by the City could endanger the structural integrity or otherwise damage the improvements or encroachments, the grantor, their assigns or heirs, shall, at its own expense, take whatever protective measures are required to safeguard the improvements or encroachments. This plat shows all easements, lots, and tracts, as shown on the plat of record, or made known to me by either the owner, utility companies, commitment for title insurance, or other interested parties. All lots, tracts, and easements comprising the platted real property shall be known by the names and identifications made on this plat. All public utility easements, drainage easements, pedestrian access easements, vehicular non-access easements, and water and sewer line easements depicted on this plat are non-exclusive and are granted to the providing utility company or the City of Albuquerque, as applicable, for the specific purpose described on this plat. By recordation of this plat, all easements, restrictions, lots, and tracts which were created by any previously recorded plat or subdivision map which comprised or affected the real property subdivided by this plat shall be deemed vacated and abandoned unless otherwise noted on its plat. Said owner warrants that he holds complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed.

ARMSTRONG CENTRAL UNSER BLVD, LLC, a New Mexico Limited Liability Company

By: Armstrong Development Investments, LLC, a Delaware Limited Liability Company

By: Armstrong Development Holdings, Inc., a Delaware corporation, its sole member

By: Robert H. Gustine
Title Secy. Robert H. Gustine
Commonwealth of Pennsylvania
COUNTY OF ALLEGHENY

This instrument was acknowledged before me on 27th day of June 2008, by ARMSTRONG DEVELOPMENT HOLDINGS, INC., a New Mexico Corporation, as managing member of Armstrong Central Unser, LLC, a New Mexico limited liability company.

Judith L. White
Notary Public

By: \_\_\_\_\_

BY: \_\_\_\_\_
Title \_\_\_\_\_

State of New Mexico )
County of Bernalillo )

This instrument was acknowledged before me on \_\_\_\_\_ day of \_\_\_\_\_ 2008, by \_\_\_\_\_ of Sandia Plaza Partners, LLC a New Mexico limited liability company.

My Commission Expires: \_\_\_\_\_ Notary Public

JURISDICTIONAL AFFIDAVIT

I, Robert Gromatzky, a registered Professional New Mexico Surveyor, hereby affirm that the property described does lie within the platting and subdivision jurisdiction of the City of Albuquerque.

Robert Gromatzky
New Mexico Professional Surveyor 16469

Date: 6-26-08

PLAT OF UNSER CROSSINGS
(A REPLAT OF TRACTS 1A, 1B, 2A, 2B, 3A, 3B, 4B & TRACT 6 V.E. BARRETT SUBDIVISION AND TRACTS 4-A-1, 5-B-1 & 5-B-2 LANDS OF WEFECO, PARTNERS)
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
JUNE, 2008

PROJECT NUMBER \_\_\_\_\_

APPLICATION NUMBER \_\_\_\_\_

PLAT APPROVAL

UTILITY APPROVALS:

QWEST TELECOMMUNICATIONS DATE \_\_\_\_\_

COMCAST CABLE DATE \_\_\_\_\_

PNM ELECTRIC SERVICES DATE \_\_\_\_\_

PNM GAS SERVICES DATE \_\_\_\_\_

CITY APPROVALS:
for RCH Wilkie July 1, 2008
CITY SURVEYOR DATE

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE \_\_\_\_\_

ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY DATE \_\_\_\_\_

PARKS & RECREATION DEPARTMENT DATE \_\_\_\_\_

A.M.A.F.C.A. DATE \_\_\_\_\_

CITY ENGINEER DATE \_\_\_\_\_

DRB CHAIRPERSON, PLANNING DEPARTMENT DATE \_\_\_\_\_

REAL PROPERTY DIVISION DATE \_\_\_\_\_

TAX CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC # \_\_\_\_\_

PROPERTY OWNER OF RECORD \_\_\_\_\_

BERNALILLO COUNTY TREASURER'S OFFICE DATE \_\_\_\_\_

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

Bohannon & Huston

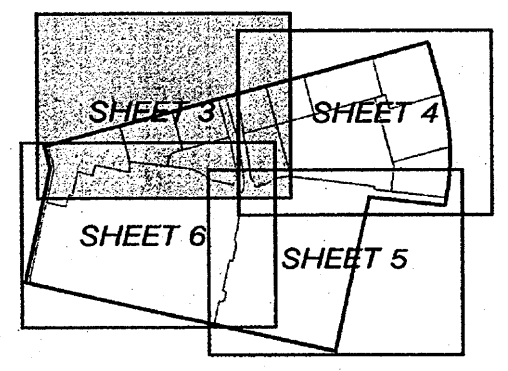
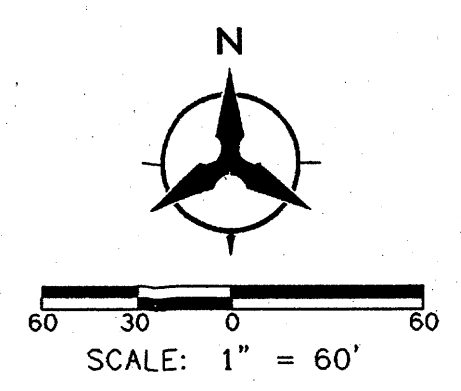
Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335

ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

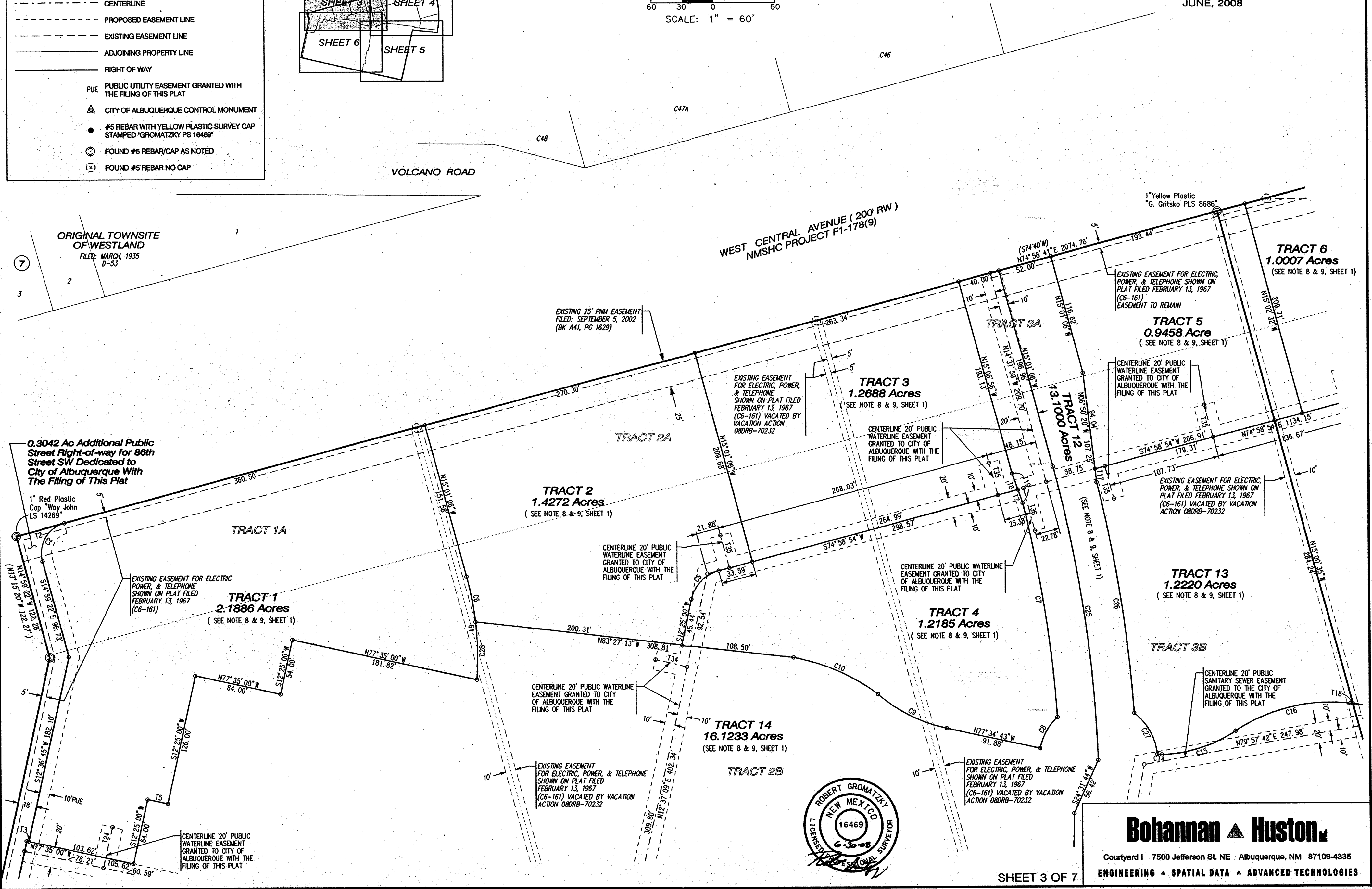


PLAT OF  
**UNSER CROSSINGS**  
 ( A REPLAT OF TRACTS 1A, 1B, 2A, 2B, 3A, 3B, 4B  
 & TRACT 6 V.E. BARRETT SUBDIVISION  
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 LANDS OF WEFCO, PARTNERS )  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
 JUNE, 2008

NOTE: SEE SHEET 7 FOR CURVE & TANGENT DATA



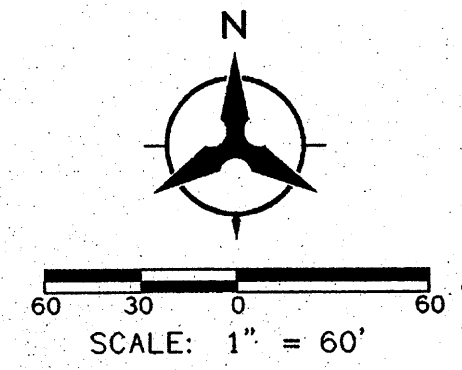
LEGEND	
	SUBDIVISION BOUNDARY LINE
	EXISTING (OLD) LOT LINE TO BE ELIMINATED WITH THE FILING OF THIS PLAT
	NEW LOT LINE
	CENTERLINE
	PROPOSED EASEMENT LINE
	EXISTING EASEMENT LINE
	ADJOINING PROPERTY LINE
	RIGHT OF WAY
	PUE PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	#5 REBAR WITH YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY PS 16469"
	FOUND #5 REBAR/CAP AS NOTED
	FOUND #5 REBAR NO CAP



**Bohannon & Huston**  
 Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

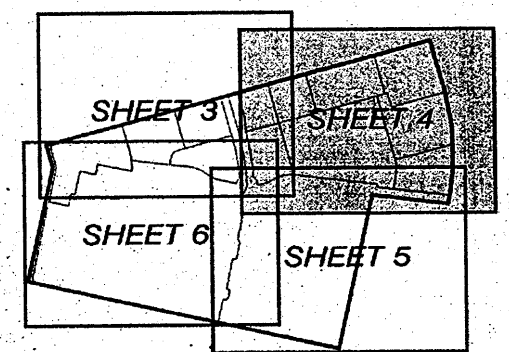
SHEET 3 OF 7

**PLAT OF  
UNSER CROSSINGS**  
( A REPLAT OF TRACTS 1A, 1B, 2A, 2B, 3A, 3B, 4B  
& TRACT 6 V.E. BARRETT SUBDIVISION  
AND TRACTS 4-A-1, 5-B-1 & 5-B-2  
LANDS OF WEFCO, PARTNERS )  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
JUNE, 2008



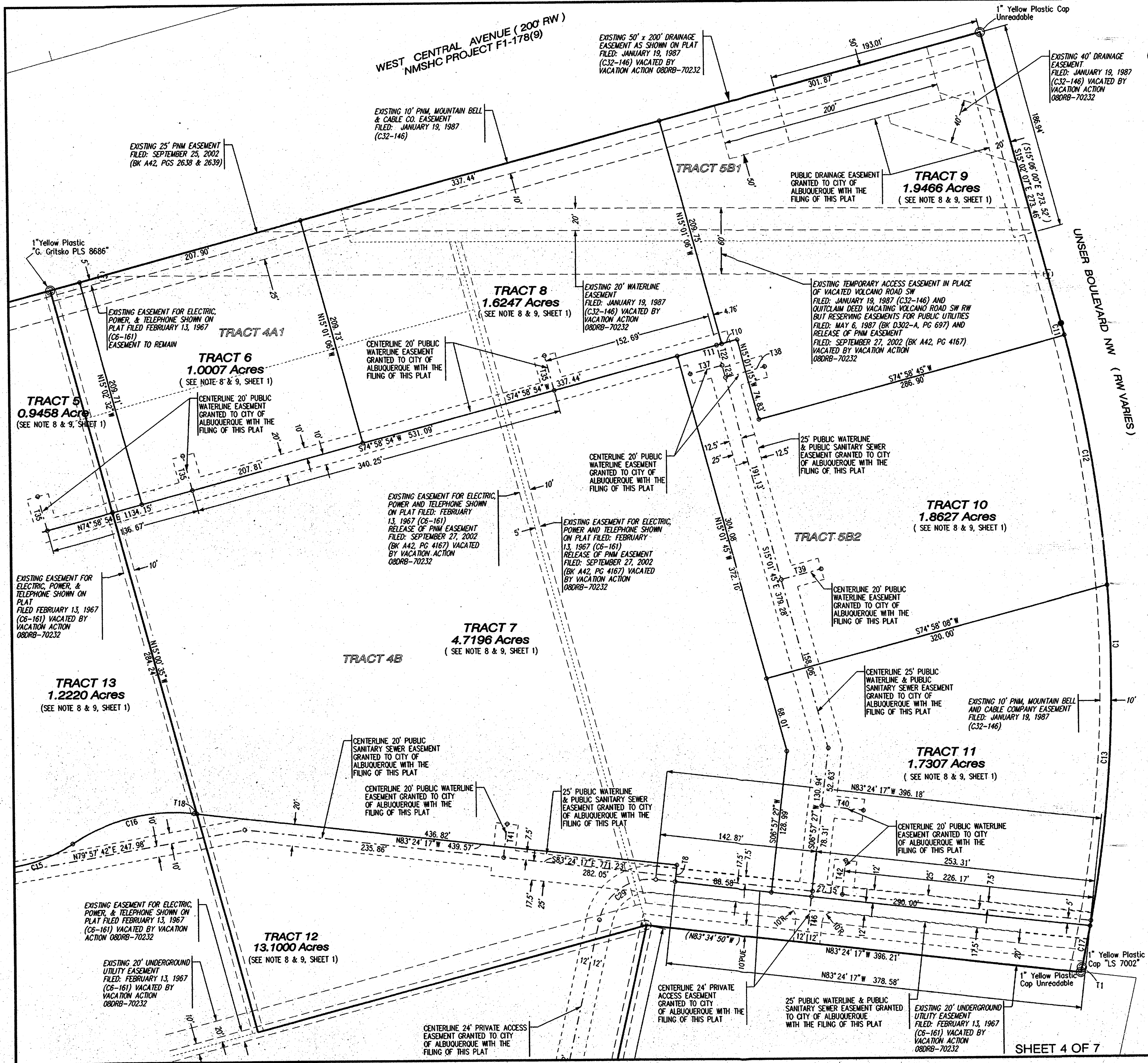
LEGEND	
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	EXISTING (OLD) LOT LINE TO BE ELIMINATED WITH THE FILING OF THIS PLAT
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NOTE: SEE SHEET 7 FOR CURVE & TANGENT DATA



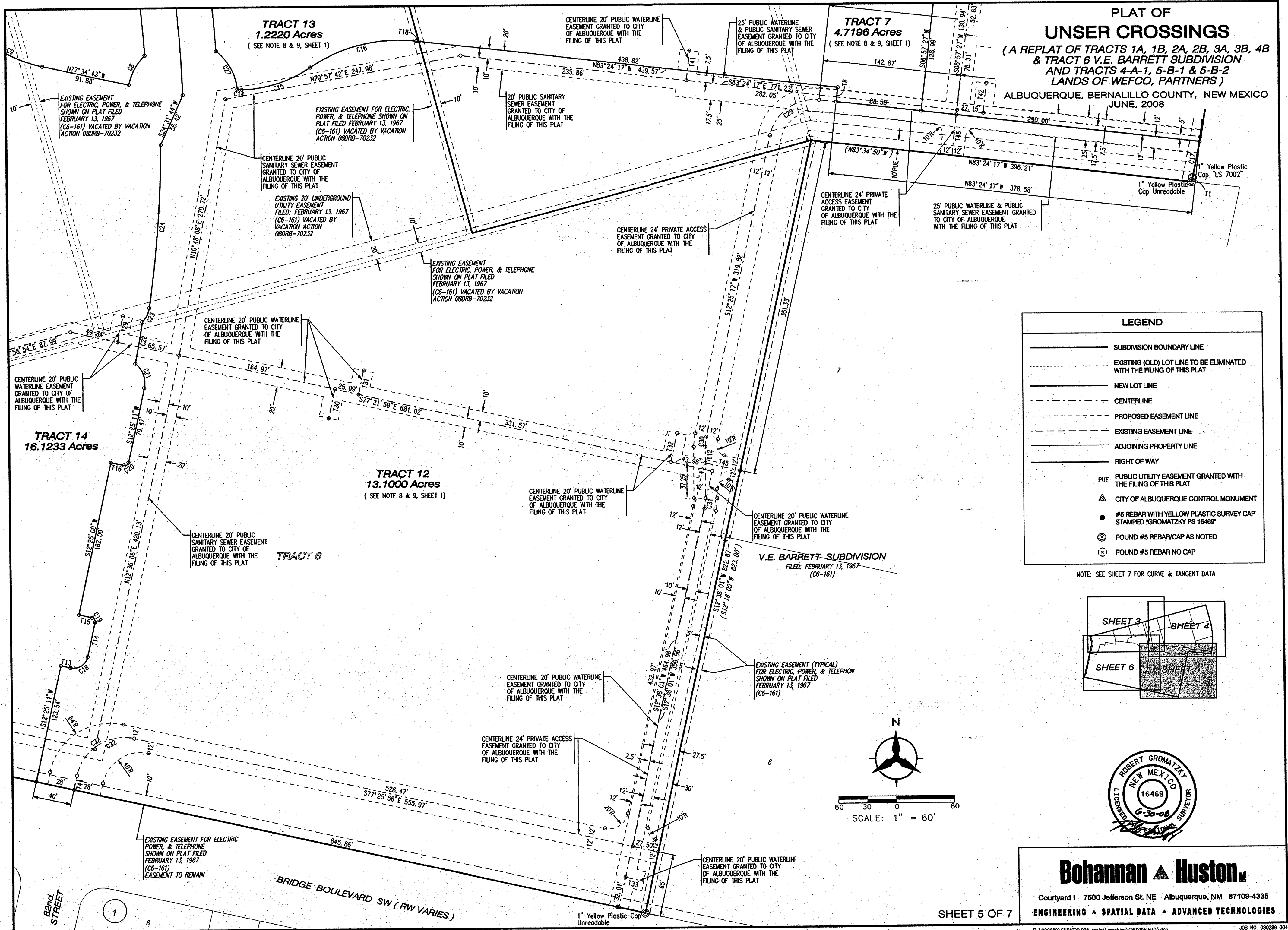
**Bohannon & Huston**

Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES



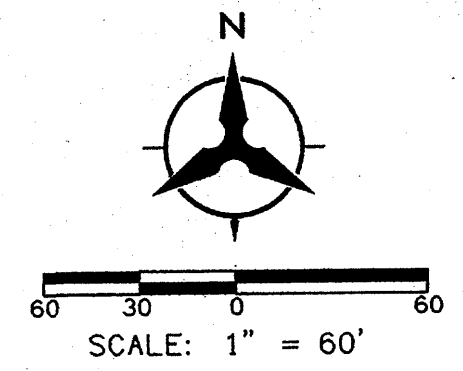
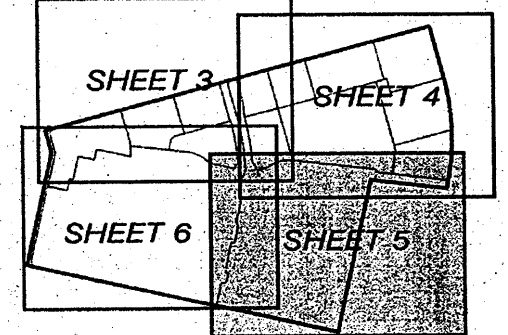
# PLAT OF UNSER CROSSINGS

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LANDS OF WEFCO, PARTNERS)  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
JUNE, 2008



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NOTE: SEE SHEET 7 FOR CURVE & TANGENT DATA



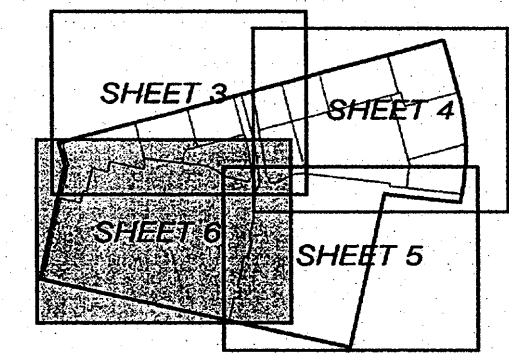
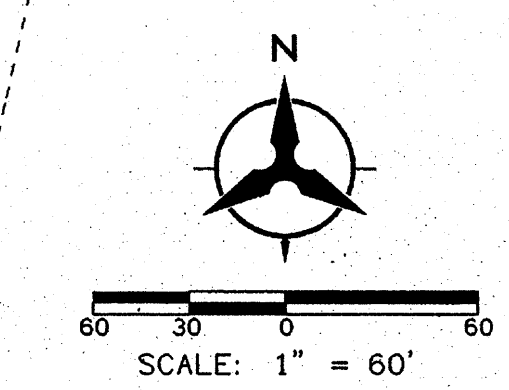
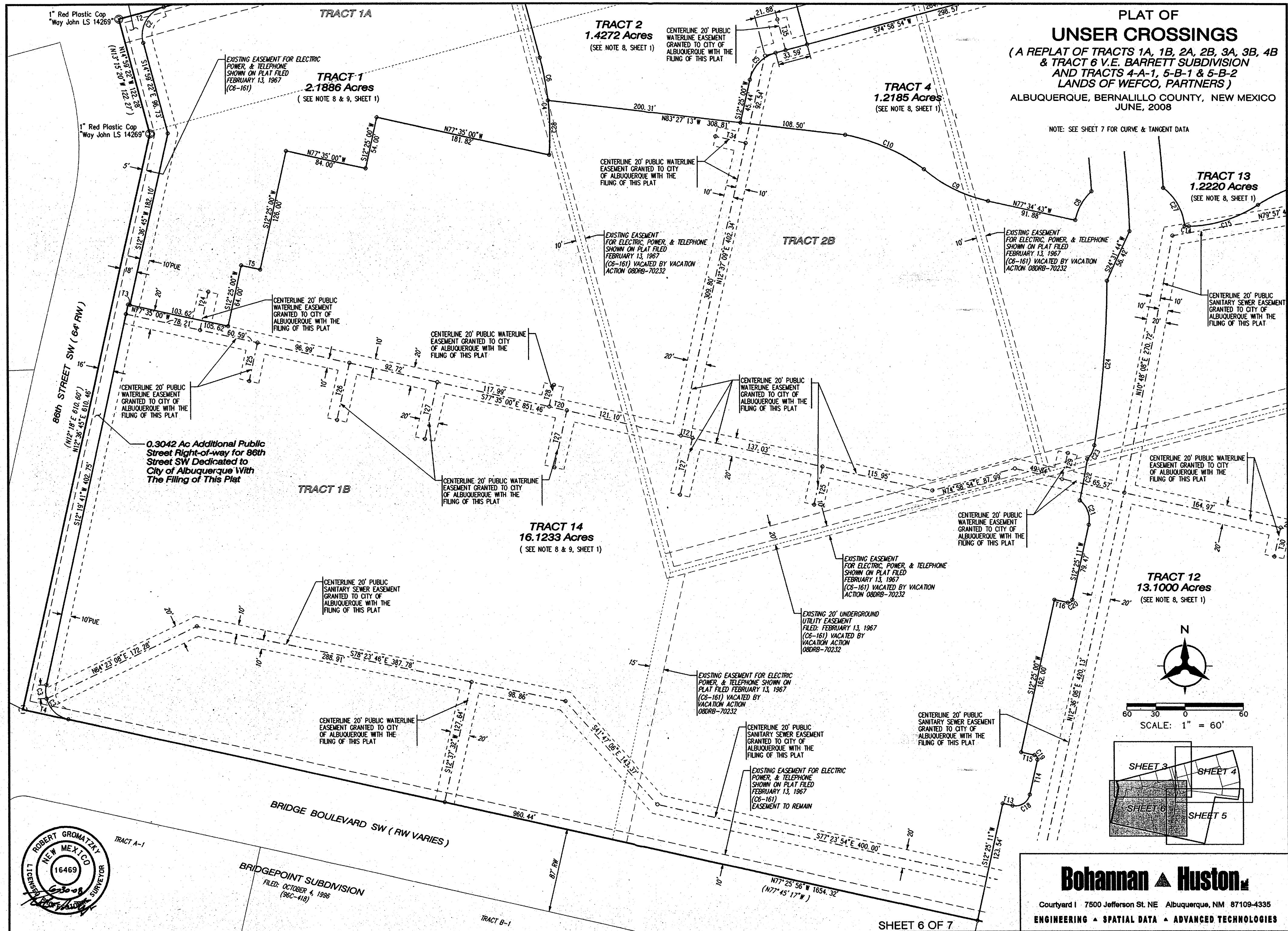
**Bohannon & Huston**

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

SHEET 5 OF 7

**PLAT OF  
UNSER CROSSINGS**  
(A REPLAT OF TRACTS 1A, 1B, 2A, 2B, 3A, 3B, 4B  
& TRACT 6 V.E. BARRETT SUBDIVISION  
AND TRACTS 4-A-1, 5-B-1 & 5-B-2  
LANDS OF WEFCO, PARTNERS)  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
JUNE, 2008

NOTE: SEE SHEET 7 FOR CURVE & TANGENT DATA



BRIDGEPOINT SUBDIVISION  
FILED: OCTOBER 4, 1996  
(96C-418)

SHEET 6 OF 7

**Bohannon & Huston**

Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

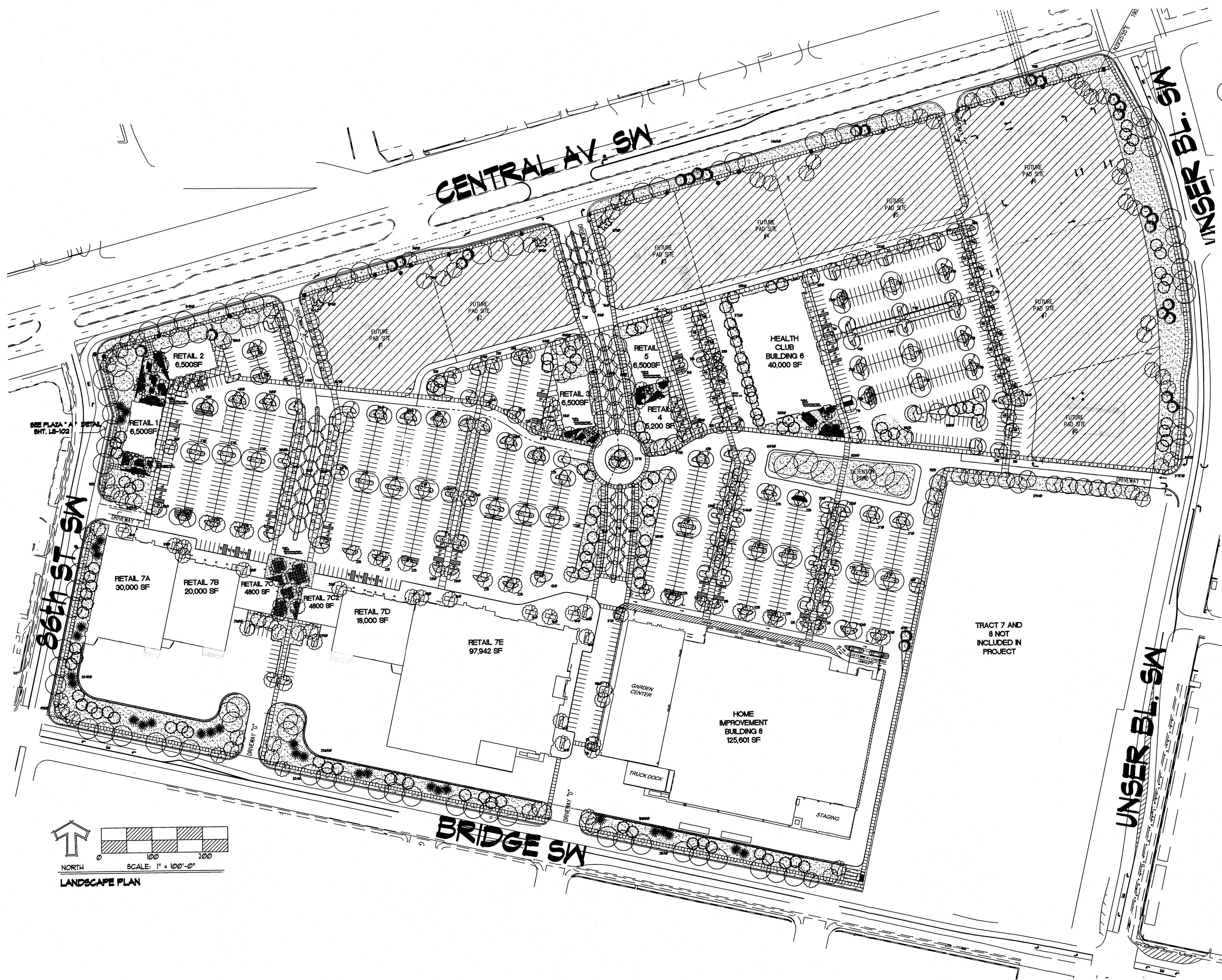
**PLAT OF**  
**UNSER CROSSINGS**  
 ( A REPLAT OF TRACTS 1A, 1B, 2A, 2B, 3A, 3B, 4B  
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 AND TRACTS 4-A-1, 5-B-1 & 5-B-2  
 LANDS OF WEFCO, PARTNERS )  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
 JUNE, 2008

Curve Data						
ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	27°34'44"	301.66'	591.62'	1229.11'	585.92'	S01°14'45"E
	(27°34'45")	(301.72')	(591.75')	(1229.36')	(586.05')	
C2	89°58'03"	29.98'	47.11'	30.00'	42.41'	S29°59'40"W
C3	90°02'40"	30.02'	47.15'	30.00'	42.44'	S32°24'35"E
C4	19°20'29"	51.12'	101.27'	300.00'	100.79'	S05°20'51"E
C5	62°33'54"	22.48'	40.40'	37.00'	38.43'	S43°41'57"W
C6	08°34'35"	22.49'	44.91'	300.00'	44.86'	N10°43'48"W
C7	09°56'21"	105.47'	210.42'	1213.00'	210.16'	S08°48'37"E
C8	35°08'42"	18.05'	34.96'	57.00'	34.42'	S29°07'40"W
C9	28°29'54"	38.09'	74.61'	150.00'	73.84'	N63°19'46"W
C10	25°49'36"	45.47'	89.40'	198.33'	88.65'	N66°16'01"W
C11	00°31'07"	5.56'	11.12'	1229.11'	11.12'	S14°46'33"E
C12	10°45'24"	115.71'	230.75'	1229.11'	230.41'	S09°08'18"E
C13	14°31'04"	156.56'	311.44'	1229.11'	310.60'	S03°29'56"W
C14	17°10'55"	2.27'	4.50'	15.00'	4.48'	S82°55'32"E
C15	32°05'30"	38.83'	75.61'	135.00'	74.63'	N72°26'16"E
C16	40°12'12"	60.39'	115.78'	165.00'	113.42'	N76°29'37"E
C17	01°47'09"	19.16'	38.31'	1229.11'	38.31'	S11°39'02"W
C18	90°00'00"	15.00'	23.56'	15.00'	21.21'	N57°25'11"E
C19	90°00'11"	4.00'	6.28'	4.00'	5.66'	N32°34'54"W
C20	89°59'49"	4.00'	6.28'	4.00'	5.66'	N57°25'06"E
C21	64°30'23"	15.78'	28.15'	25.00'	26.68'	N19°50'00"W
C22	02°03'08"	21.87'	43.73'	1221.00'	43.73'	N10°15'24"E
C23	37°13'34"	8.42'	16.24'	25.00'	15.96'	N27°08'02"E
C24	07°58'50"	85.52'	170.77'	1226.00'	170.63'	N04°31'50"E
C25	13°11'43"	144.58'	287.88'	1250.00'	287.24'	N08°25'14"E
C26	10°05'13"	113.58'	226.58'	1287.00'	226.28'	S08°49'31"E
C27	46°40'10"	24.59'	46.43'	57.00'	45.16'	S28°59'58"E
C28	10°45'54"	28.27'	56.37'	300.00'	56.28'	N01°03'34"W
C29	84°10'26"	42.45'	69.05'	47.00'	63.00'	S54°30'30"W
C30	12°11'31"	5.34'	10.64'	50.00'	10.62'	S06°19'32"W
C31	12°24'15"	5.43'	10.82'	50.00'	10.80'	S06°25'54"W
C32	90°08'53"	50.13'	78.67'	50.00'	70.80'	N57°29'38"E
C33	27°16'10"	7.28'	14.28'	30.00'	14.14'	S01°01'20"E

Tangent Data		
ID	BEARING	DISTANCE
T1	S12°48'38"W	4.37'
	(S12°48'43"W)	(3.87')
T2	N74°58'41"E	47.98'
T3	N77°35'00"W	2.00'
T4	N77°25'56"W	48.02'
T5	N77°35'00"W	20.00'
T6	N19°33'49"W	16.62'
T7	N19°33'49"W	13.52'
T8	S06°35'43"W	15.00'
T9	S74°58'54"W	41.76'
T10	S74°58'54"W	15.00'
T11	S74°58'54"W	56.76'
T12	S00°13'46"W	17.00'
T13	N77°34'49"W	10.28'
T14	S12°25'11"W	37.09'
T15	N77°35'00"W	14.00'
T16	N77°35'00"W	14.01'
T17	N06°50'20"W	13.22'
T18	N83°24'17"W	2.76'
T19	N19°33'49"W	30.14'
T20	S77°35'00"E	18.55'
T21	S77°35'00"E	12.33'
T22	S15°01'45"E	18.65'
T23	S15°01'45"E	11.44'
T24	N12°25'00"E	40.43'
T25	S12°25'00"W	40.49'
T26	S12°25'00"W	60.50'
T27	S12°25'00"W	60.51'
T28	N12°25'00"E	23.00'
T29	N12°38'01"E	27.37'
T30	S12°38'01"W	30.67'
T31	N12°38'01"E	25.29'
T32	N12°38'01"E	31.32'
T33	S77°21'59"E	19.59'
T34	N77°22'51"W	31.85'
T35	N15°01'06"W	32.50'
T36	S15°01'06"E	42.63'
T37	S74°58'15"W	29.92'
T38	N74°58'15"E	37.51'
T39	N74°58'15"E	37.50'
T40	S83°02'33"E	37.77'
T41	N06°35'43"E	30.83'
T42	N06°35'43"E	31.10'
T43	S00°13'46"W	54.25'
T44	N12°25'11"E	14.87'
T45	S77°11'06"E	36.67'
T46	N06°35'43"E	42.58'

**Bohannon & Huston**  
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES  
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**Unser Crossing Building Permit**  
**Site Plan for Building Permit**  
**Central Avenue and Unser Boulevard**  
**Albuquerque, New Mexico 87121**



**LANDSCAPE LEGEND**

QTY	SIZE	COMMON / BOTANICAL	AV. SPREAD	H2O USE
131	2" cal	Ash <i>Fraxinus pennsylvanica</i> <i>'Patmore', 'Summit', or 'Marshall'</i>	35-40'	M
127	2" cal	Honey Locust <i>Gleditsia triacanthos</i>	40-45'	M
6	2" cal	Cottonwood, Rio Grande <i>Populus wislizeni</i>	50-60'	M
54	2" cal	Chinese Pistache <i>Pistacia chinensis</i>	40-45'	M
26	15 Gal.	Japanese Pagoda <i>Sophora japonica</i>	35'	M
213	15 Gal.	Chitalpa <i>Chitalpa x tashkenensis</i>	30'	M
9	15 Gal.	Washington Hawthorne <i>Crataegus phoenopyrum</i>	25'	M
115	15 Gal.	Desert Willow <i>Chilopsis linearis 'Lucretia Hamilton'</i>	25'	L
27	6 - 8'	Austrian Pine <i>Pinus nigra</i>	25'	M
30	6 - 8'	Alghan Pine <i>Pinus eldarica</i>	25'	H
na	15 Gal.	Spartan Juniper (female species) <i>Juniperus chinensis 'Spartan'</i>	10'	L
na	5 Gal.	Wintergreen Barberry <i>Barberis julianae</i>	5'	M
na	5 Gal.	India Hawthorne <i>Raphiolepis indica</i>	4'	M
na	5 Gal.	Honeysuckle <i>Lonicera japonica</i>	12'	M
na	5 Gal.	Dwarf Butterfly Bush <i>Buddleia davidii nanhoensis</i>	5'	M
na	5 Gal.	Dwarf Feathertop <i>Pennisetum villosum</i>	2'	M
na	5 Gal.	Cherry Sage <i>Salvia greggii</i>	3'	M
na	5 Gal.	Rosemary <i>Rosemary officinalis</i>	6'	M
na	5 Gal.	English Lavender <i>Lavandula angustifolia</i>	8'	M
na	5 Gal.	Apache Plume <i>Folligia paradoxa</i>	5'	L
		Landscape Gravel, to be determined by Owner		
		Parking lot light poles.		

Note: Shrub's are not shown due to scale of drawing, 80% Live Cover • Maturity  
 High water use turf is not used on this project.  
 Easement locations, Ref. Site Plan for Subdivision.

**LANDSCAPE NOTES**

Owner is responsible for maintenance of Irrigation System, Landscape Plantings, and Landscape Mulch.

Landscape shall be watered by a complete underground irrigation system operated by automatic timer. Trees shall have bubblers and shrubs shall have a minimum of 2 emitters per shrub. Trees and shrubs shall be zoned separately. Point of Connection for irrigation system shall be coordinated between the Landscape Contractor and the General Contractor of the project prior to construction.

All landscape areas shall be covered in 2-3" of landscape gravel, fines, bark mulch or other landscape mulch and commercial grade weed barrier fabric approved by the Owner's representative.

It is the intent of this plan to comply with the City of Albuquerque Landscape Regulations Applicable to Apartments and Nonresidential Development, Revised 6/24.

Landscape shall be installed according to the approved plan.

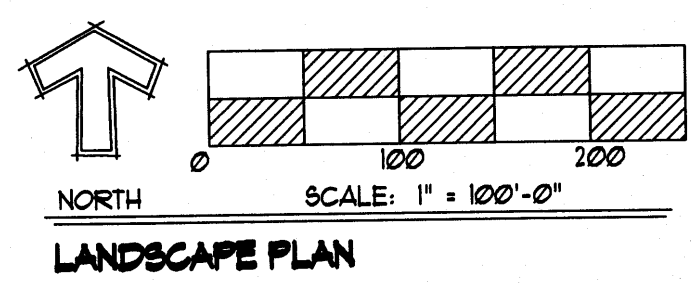
Landscape areas in excess of 36 square feet shall be planted so as to achieve 75% Live Ground Cover at maturity.

Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation landscaping and water waste ordinance. Water management is the sole responsibility of the property owner.

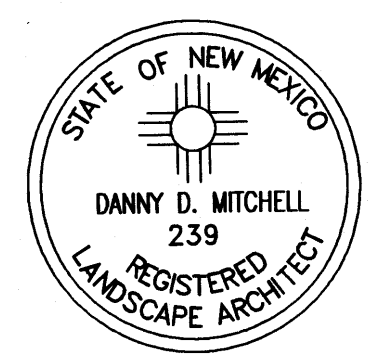
This plan shall comply with the Street Tree requirement's as defined in the Street Tree Ordinance 6-2-2-1.

**LANDSCAPE CALCULATIONS**

PHASE ONE DEVELOPMENT	1694,066
TOTAL BUILDING AREA (sf)	311,243
NET LOT AREA (sf)	1323,023
LANDSCAPE REQUIREMENT (%)	15
TOTAL LANDSCAPE REQUIRED (sf)	198,455
TOTAL LANDSCAPE PROVIDED (sf), 25.82%	341,383



preliminary  
 not for construction  
 06/17/2008

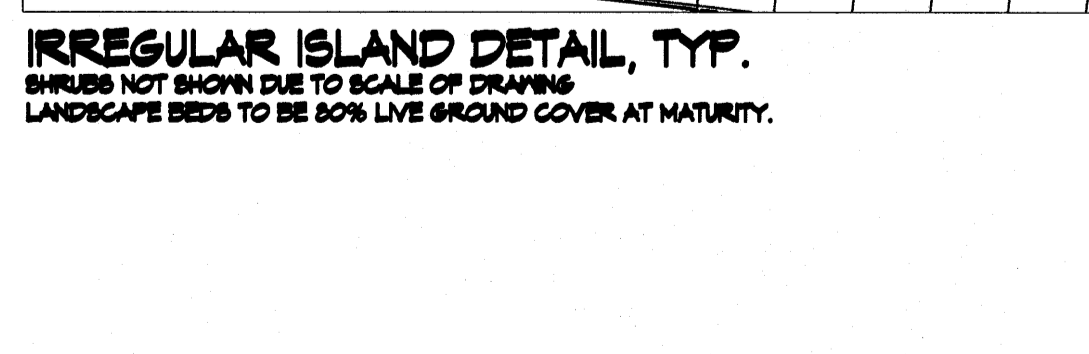
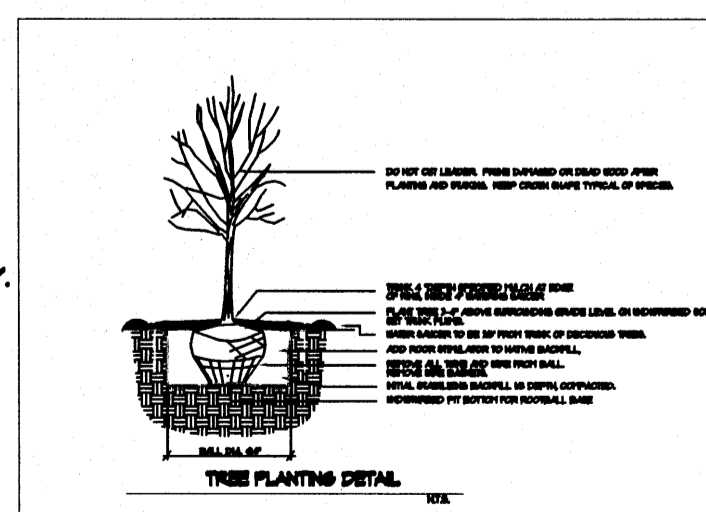
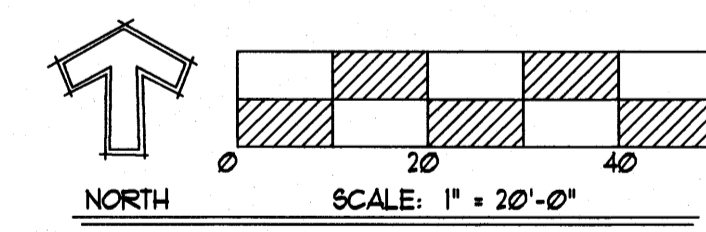
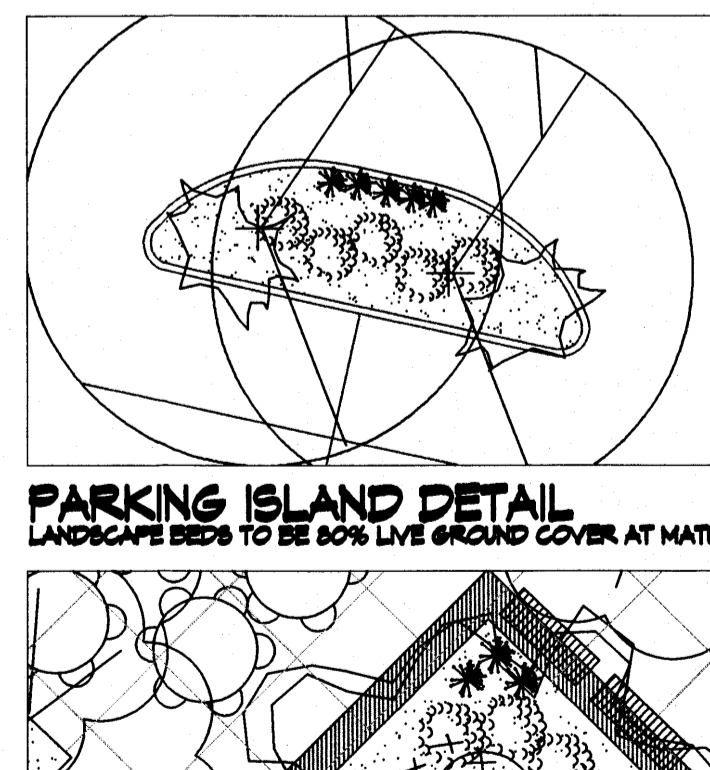
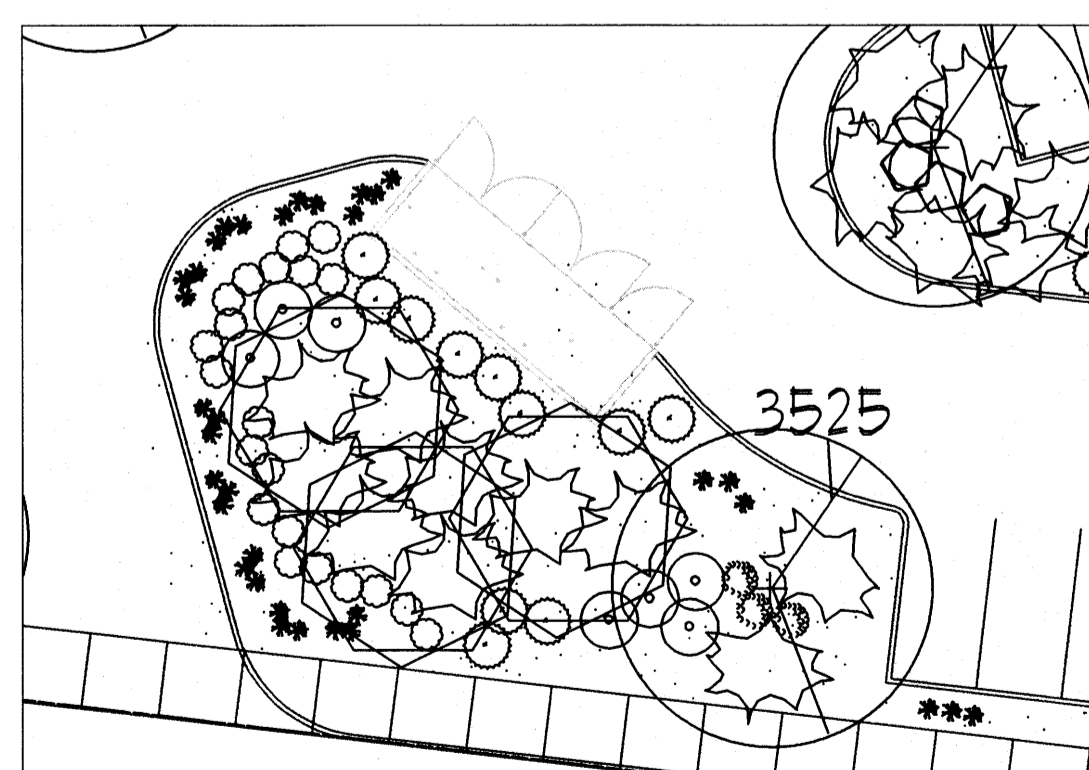
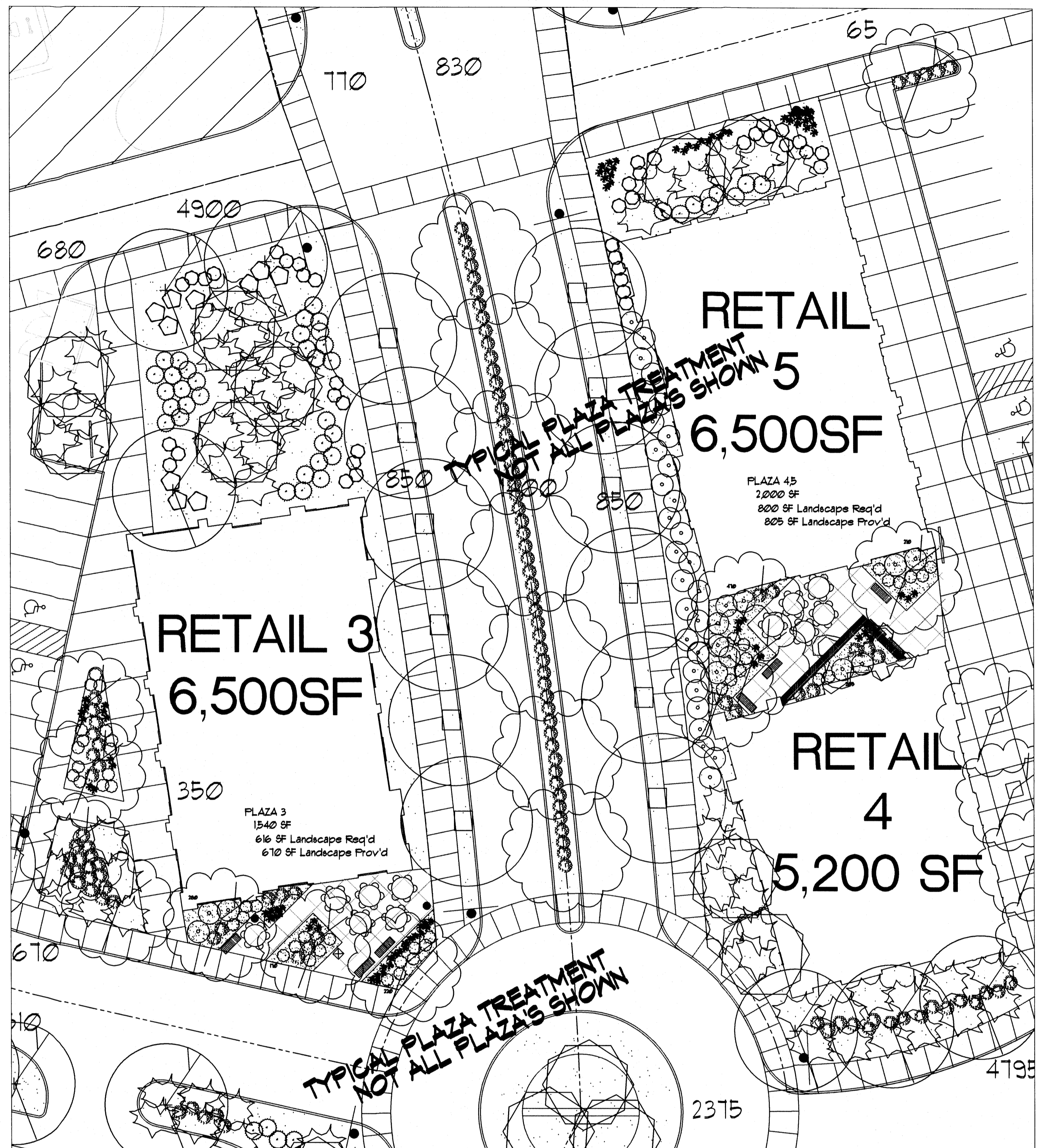
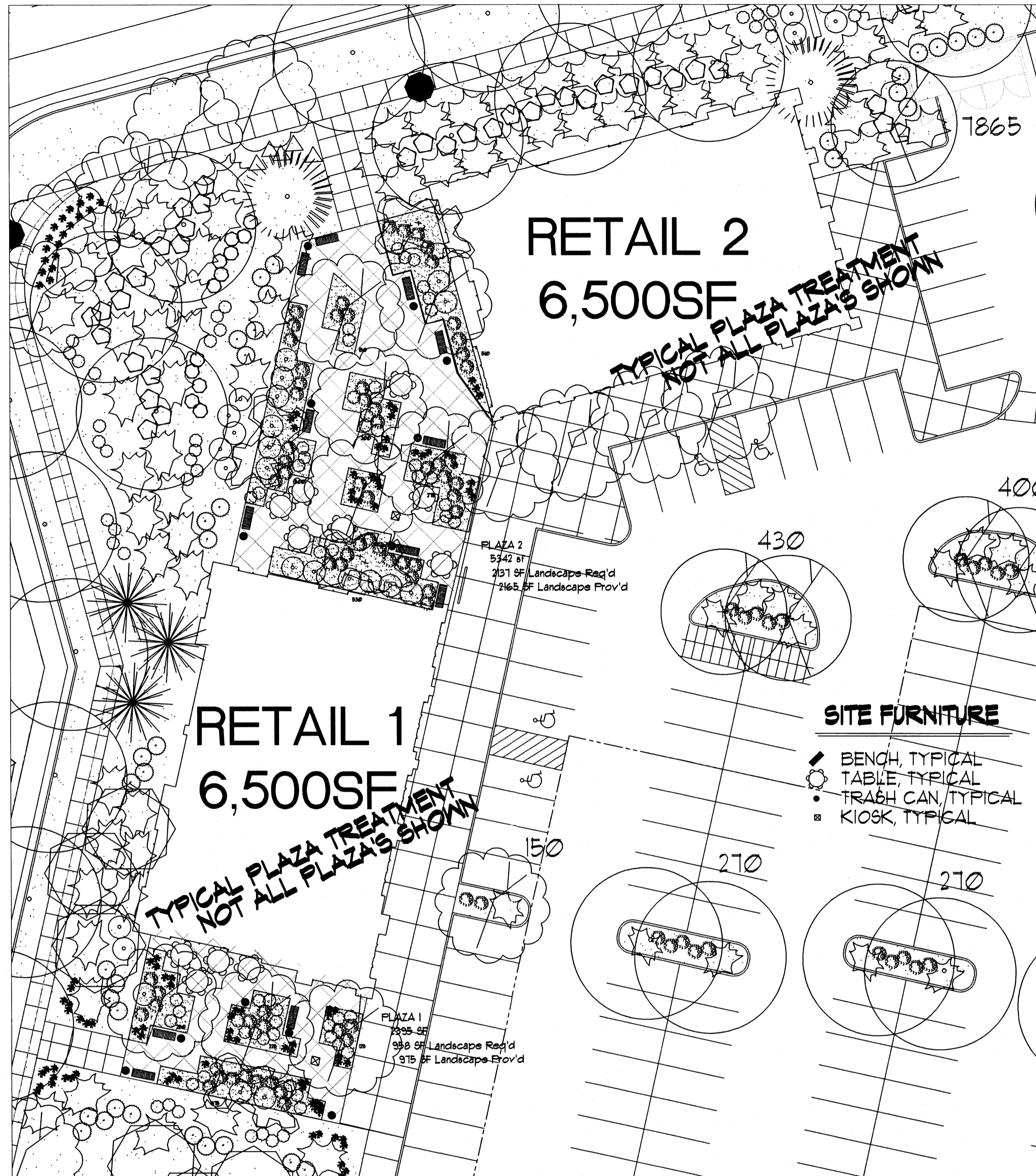


**LANDSCAPE PLAN**

Scale 1" = 100'-0"

**LS-101**  
 OF

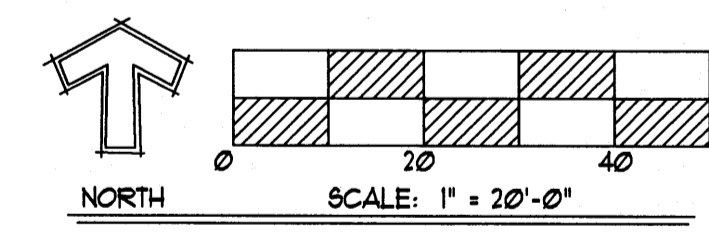




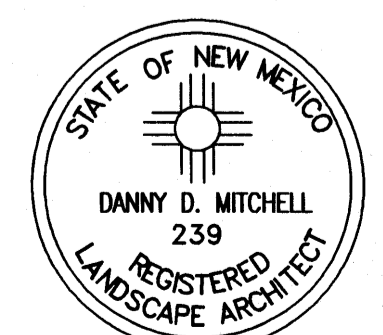
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54	2" cal	Chinese Pistache <i>Pistacia chinensis</i>	40-45' M
26	15 Gal	Japanese Pagoda <i>Sophora japonica</i>	30' M
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15	15 Gal	Desert Willow <i>Chilopsis linearis</i> "Lucretia Hamilton"	25' L
27	6 - 8'	Austrian Pine <i>Pinus nigra</i>	25' M
30	6 - 8'	Algarve Pine <i>Pinus eldarica</i>	25' H
5	15 Gal	Spartan Juniper (female species) <i>Juniperus chinensis</i> "Spartan"	10' L
na	5 Gal	Unkangreen Barberry <i>Berberis julianae</i>	5' M
na	5 Gal	India Hawthorn <i>Raphiolepis indica</i>	4' M
na	5 Gal	Honeysuckle <i>Lonicera japonica</i>	12' M
na	5 Gal	Desert Daisy Bush <i>Buddleia davidii</i> nanhoensis	5' M
na	5 Gal	Desert Feathertop <i>Pennisetum villosum</i>	2' M
na	5 Gal	Cherry Sage <i>Salvia greggii</i>	3' M
na	5 Gal	Rosemary <i>Rosemary officinalis</i>	6' L
na	5 Gal	English Lavender <i>Lavandula angustifolia</i>	8' M
na	5 Gal	Apache Pine <i>Follicia paradoxa</i>	5' L
na	na	Landscape Gravel, to be determined by Owner	na
na	na	Parking lot light poles	na

Note: Shrubs are not shown due to scale of drawing, 80% Live Cover • Maturity  
High water use turf is not used on this project.  
Elevation locations, Ref. Site Plan for Subdivision.  
—COA-Plant-List-deta—



preliminary  
not for construction  
05/01/2008



**DSA**  
Darren Sowell  
ARCHITECTS  
4700 Lincoln N.E., Suite 111  
Albuquerque, N.M. 87109  
Phone: (505) 342-6200  
Fax: (505) 342-6201

**Bohannon + Huston**

Mitchell Associates, LLC  
Landscape Architects  
3500 Carlisle Blvd. NE, Suite 102  
Albuquerque, NM 87110  
(505) 850-6096  
darryl@mitchellassociatesllc.com

**ARMSTRONG DEVELOPMENT PROPERTIES, INC.**

Unser Crossing Building Permit  
Site Plan for Building Permit  
Central Avenue and Unser Boulevard  
Albuquerque, New Mexico 87121

06/11/2008 REVISION  
05/01/2008 REVISION  
Job Number  
Drawn By DM  
Checked D.S.  
Issue Date April 3, 2008

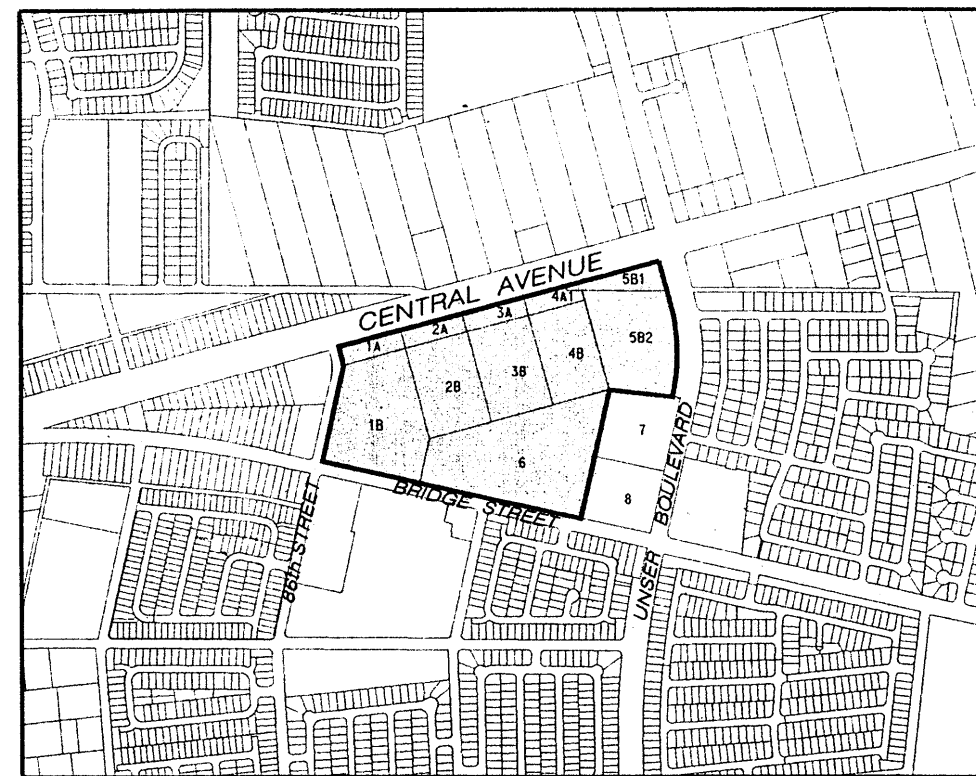
**LANDSCAPE PLAN**  
Scale 1" = 100'-0"  
**LS-102**  
OF







SP-2008242970



LOCATION MAP

ZONE ATLAS INDEX MAP Nos. K9 & K10  
NOT TO SCALE

SUBDIVISION DATA

- 1. DRB No.
2. Zone Atlas Index Nos. K-9 and K-10
3. Zoning: C-2 & SU-1
4. Gross Subdivision Acreage: 50.6833 Acres.
5. Total number of tracts Created: Fourteen (14) Tracts.
6. Total Area of dedicated public street right-of-way: 0.3042 acre.
7. Date of Survey: June, 2008.
8. Plat is located within the Town of Atrisco Grant in projected Sections 21 & 22, Township 10 North, Range 2 East, NMPM, City of Albuquerque, Bernalillo County, New Mexico.

DISCLOSURE STATEMENT

The purpose of this Plat is to subdivide Tracts One-A (1-A), One-B (1-B), Two-A (2-A), Two-B (2-B), Three-A (3-A), Three-B (3-B), Four-B (4-B) and Six (6) of V.E. Barrett Subdivision, as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico, on February 13, 1967, in Book C6, Page 161 together with all of Tracts Four-A-1 (4-A-1), Five-B-1 (5-B-1), and Five-B-2 (5-B-2), Lands of Weico, Partners, as the same are shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on April 6, 1987, in Book C-33 into fourteen (14) new tracts, to vacate easements, to dedicate public street right-of-way to the City of Albuquerque, and to grant easements.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are for the common joint use of:

- A. PNM Electric Services for the installation, maintenance and service of underground electrical lines, transformers, and other equipment, fixtures, structures, and related facilities reasonably necessary to provide electrical service.
B. PNM Gas services for installation, maintenance, and service of underground natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
C. QWEST for the installation, maintenance, and service of all buried communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
D. Comcast Cable for the installation, maintenance, and service of such underground lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool, (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed shall extend ten feet (10) in front of transformer/switchgear doors and five feet (5) on each side.

DESCRIPTION

A certain tract of land situate within the Town of Atrisco Grant in projected Sections 21 and 22, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being and comprising all of Tracts One-A (1-A), One-B (1-B), Two-A (2-A), Two-B (2-B), Three-A (3-A), Three-B (3-B), Four-B (4-B) and Six (6) of V.E. Barrett Subdivision, as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico, on February 13, 1967, in Book C6, Page 161 together with all of Tracts Four-A-1 (4-A-1), Five-B-1 (5-B-1), and Five-B-2 (5-B-2), Lands of Weico, Partners, as the same are shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on April 6, 1987, in Book C-33, Page 81.

Tract contains 50.6833 acres of land, more or less.

NOTES

- 1. Bearings are New Mexico State Plane Grid Bearings (Central Zone) NAD 1983 and the Basis of Bearings is the Inverse between Albuquerque Control Monuments "7-K10" and "14-K9" Bearing = S58°28'10"W.
2. Record Bearings and distances are shown in parenthesis.
3. Distances are ground distances.
4. All easements of record are as shown on the Plat of record or made known to me by the owner, utility companies, or other interested parties.
5. All interior tract corners to be monumented by a #5 rebar and yellow plastic survey cap stamped "GROMATZKY PS 16469".
6. All streets are public, to be dedicated to the City of Albuquerque with the filing of this plat.
7. Pursuant to section 14-14-4.7 of the City of Albuquerque Code of Ordinances, "No property within the area of this Plat shall at anytime be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of the proposed plat. The foregoing requirements shall be a condition to approval of this plat."
8. Reciprocal cross access easements for the benefit of Tracts 1 through 14, are granted by separate Easements, Convents, Conditions and Restrictions ("ECC&Rs") recorded concurrently herewith to be maintained by the owners of those Tracts as provided in the ECC&Rs.
9. Reciprocal storm water drainage easements for the benefit of Tracts 1 through 14 are granted by the ECC&Rs to be maintained by the owners of those Tracts as provided in the ECC&Rs.
10. Tracts 1 thru 14 are subject to covenants and restrictions in the ECC&Rs.
11. This grant of easement is for the benefit of the owners, tenants, employees and invitees of Tract 7 and 8, V.E. Barrett Subdivision for the sole purpose of vehicular access. Grantees' exercise of this easement shall not unreasonably interfere with business operations on the grantor's property. Grantees shall indemnify the grantor against claims arising from use of this easement. Grantees shall reimburse an equitable share of the reasonable costs of maintaining such vehicular access upon invoice from the party performing such maintenance and insuring such vehicular access. Grantees shall obtain general commercial liability insurance covering use of this easement with limits reasonably acceptable to grantors naming grantors as additional insureds.

SUBORDINATION CLAUSE:

The Undersigned Subordinates its interest in the herein - described Real Property to the Right and Interests of The City of Albuquerque in The Real Property and all interest herein dedicated to The City of Albuquerque.

LIENHOLDER

In witness thereof, The Huntington National Bank, as the existing lienholder, has caused these presents to be

Executed this 25th day July AD-2008

BY: JOHN CLINGAN

AS: VICE PRESIDENT - COMMERCIAL LENDING
Commonwealth of Pennsylvania, COUNTY of Allegheny

The foregoing instrument was acknowledged before me this 25th day of July 2008,

THE HUNTINGTON NATIONAL BANK
BY: JOHN CLINGAN

AS: VICE PRESIDENT - COMMERCIAL LENDING

Witness My Hand and Official Seal

Judith L. White
Notary Public, City of Pittsburgh

Notary Address: Allegheny County, My Commission Expires: 4-15-2010

SURVEYOR'S CERTIFICATION

I, Robert Gromatzky, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements as shown on the plat of record, or made known to me by the owner, utility companies, or other interested parties and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors and meets the minimum requirements for monumentation and surveys contained in the City of Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

Robert Gromatzky
New Mexico Professional Surveyor 16469

Date: 7-24-08

FREE CONSENT AND DEDICATION

This plat of that certain tract of land situate within the Town of Atrisco Grant in projected Sections 21 & 22, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being and comprising all of Tracts One-A (1-A), One-B (1-B), Two-A (2-A), Two-B (2-B), Three-A (3-A), Three-B (3-B), Four-B (4-B) and Six (6) of V.E. Barrett Subdivision, as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico, on February 13, 1967, in Book C6, Page 161 together with all of Tracts Four-A-1 (4-A-1), Five-B-1 (5-B-1), and Five-B-2 (5-B-2), Lands of Weico, Partners, as the same are shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on April 6, 1987, in Book C-33, Page 81, records of Bernalillo County, New Mexico, now comprising Tracts 1 thru 14, Unser Crossings is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof. Said owner(s) and/or proprietor(s) do hereby dedicate additional public right-of-way for 86th Street SW as shown hereon to the City of Albuquerque in fee simple with warranty covenants and do hereby grant to the City All Access, Utility and Drainage Easements shown hereon as granted to the City including the right to construct, operate, inspect, and maintain facilities therein; and to the providers of public utilities all Public Utility Easements shown hereon for the common and joint use of Gas, Electrical Power, and Communication Services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. The City has the right to enter upon the easement property at any time and perform whatever inspection, installation, maintenance, repair, modification or removal ("Work") it deems appropriate without liability to the City. If the Work effects any improvements or encroachments by the grantor, their assigns or heirs, the City will not be financially or otherwise responsible for rebuilding or repairing of improvements or encroachments. If in the opinion of the City, the Work to be performed by the City could endanger the structural integrity or otherwise damage the improvements or encroachments, the grantor, their assigns or heirs, shall, at its own expense, take whatever protective measures are required to safeguard the improvements or encroachments. This plat shows all easements, lots, and tracts, as shown on the plat of record, or made known to me by either the owner, utility companies, commitment for title insurance, or other interested parties. All lots, tracts, and easements comprising the platted real property shall be known by the names and identifications made on this plat. All public utility easements, drainage easements, pedestrian access easements, vehicular non-access easements, and water and sewer line easements depicted on this plat are non-exclusive and are granted to the providing utility company or the City of Albuquerque, as applicable, for the specific purpose described on this plat. By recodation of this plat, all easements, restrictions, lots, and tracts which were created by any previously recorded plat or subdivision map which comprised or affected the real property subdivided by this plat shall be deemed vacated and abandoned unless otherwise noted on its plat. Said owner warrants that he holds complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed.

ARMSTRONG CENTRAL UNSER BLVD, LLC, a New Mexico Limited Liability Company

By: Armstrong Development Investments, LLC, a Delaware Limited Liability Company

Armstrong Development Holdings, Inc., a Delaware corporation, its sole member

Robert W. FRISCH
Vice President
Commonwealth of Pennsylvania

County of Allegheny

This instrument was acknowledged before me on 25th day of July 2008, by ROBERT W. FRISCH VICE PRESIDENT managing member of Armstrong Central Unser, LLC, a New Mexico limited liability company.

My Commission Expires: 4-15-2010 Judith L. White
Notary Public

SANDIA PLAZA PARTNERS, LLC, a New Mexico Limited Liability Company

By: TRACI J. WOLF

MANAGING MEMBER

State of New Mexico )
County of Bernalillo )

This instrument was acknowledged before me on 20th day of July 2008, by TRACI J. WOLF of Sandia Plaza Partners, LLC a New Mexico limited liability company.

My Commission Expires: 11-8-2010 Rachel de Ruita Zychner
Notary Public

JURISDICTIONAL AFFIDAVIT

I, Robert Gromatzky, a registered Professional New Mexico Surveyor, hereby affirm that the property described does lie within the platting and subdivision jurisdiction of the City of Albuquerque.

Robert Gromatzky
New Mexico Professional Surveyor 16469

Date: 7-24-08

PLAT OF UNSER CROSSINGS

( A REPLAT OF TRACTS 1A, 1B, 2A, 2B, 3A, 3B, 4B & TRACT 6 V.E. BARRETT SUBDIVISION AND TRACTS 4-A-1, 5-B-1 & 5-B-2 LANDS OF WEICO, PARTNERS )

ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO JULY, 2008

PROJECT NUMBER

APPLICATION NUMBER

PLAT APPROVAL

UTILITY APPROVALS:

QWEST TELECOMMUNICATIONS DATE

COMCAST CABLE DATE

PNM ELECTRIC SERVICES DATE

PNM GAS SERVICES DATE

CITY APPROVALS: 7-29-08
CITY SURVEYOR DATE

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE

ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY DATE

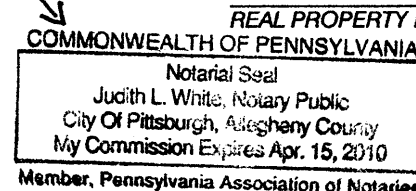
PARKS & RECREATION DEPARTMENT DATE

A.M.A.F.C.A. DATE

CITY ENGINEER DATE

DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

REAL PROPERTY DIVISION DATE

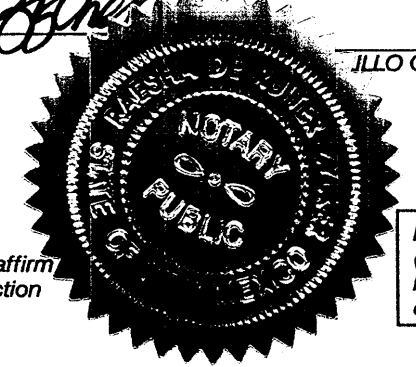


TAX CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC #

PROPERTY OWNER OF RECORD

BERNALILLO COUNTY TREASURER'S OFFICE DATE



In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

Bohannon & Huston

Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335

ENGINEERING SPATIAL DATA ADVANCED TECHNOLOGIES

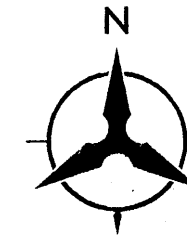
**PLAT OF  
UNSER CROSSINGS**  
(A REPLAT OF TRACTS 1A, 1B, 2A, 2B, 3A, 3B, 4B  
& TRACT 6 V.E. BARRETT SUBDIVISION  
AND TRACTS 4-A-1, 5-B-1 & 5-B-2  
LANDS OF WEFCO, PARTNERS)  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
JULY, 2008

NOTE: SEE SHEETS 3 THRU 7 FOR SUBDIVISION DETAILS

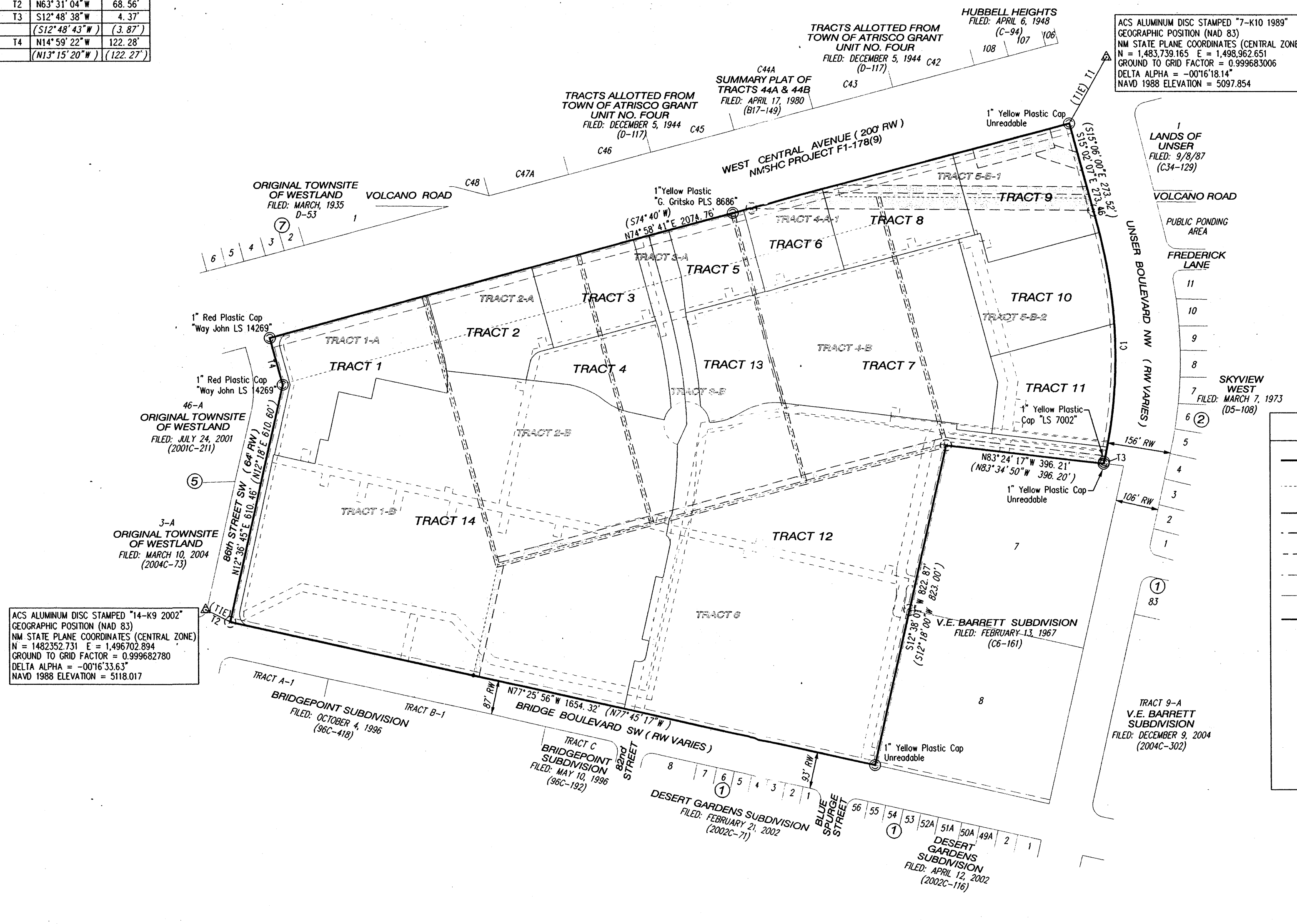
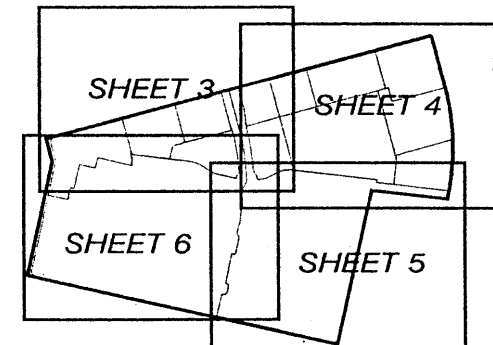
Curve Data						
ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	27° 34' 44"	301.66'	591.62'	1229.11'	585.92'	S01° 14' 45" E
	(27° 34' 45")	(301.72')	(591.75')	(1229.36')	(586.05')	

TABLES ARE FOR THIS SHEET ONLY

Tangent Data		
ID	BEARING	DISTANCE
T1	N29° 25' 55" E	190.37'
T2	N63° 31' 04" W	68.56'
T3	S12° 48' 38" W	4.37'
	(S12° 48' 43" W)	(3.87')
T4	N14° 59' 22" W	122.28'
	(N13° 15' 20" W)	(122.27')



200 100 0 100 200  
SCALE: 1" = 200'



ACS ALUMINUM DISC STAMPED "14-K9 2002"  
GEOGRAPHIC POSITION (NAD 83)  
NM STATE PLANE COORDINATES (CENTRAL ZONE)  
N = 1482352.731 E = 1,496702.894  
GROUND TO GRID FACTOR = 0.999682780  
DELTA ALPHA = -00°16'33.63"  
NAVD 1988 ELEVATION = 5118.017

ACS ALUMINUM DISC STAMPED "7-K10 1989"  
GEOGRAPHIC POSITION (NAD 83)  
NM STATE PLANE COORDINATES (CENTRAL ZONE)  
N = 1,483,739.165 E = 1,498,962.651  
GROUND TO GRID FACTOR = 0.999683006  
DELTA ALPHA = -00°16'18.14"  
NAVD 1988 ELEVATION = 5097.854

LEGEND	
	SUBDIVISION BOUNDARY LINE
	EXISTING (OLD) LOT LINE TO BE ELIMINATED WITH THE FILING OF THIS PLAT
	NEW LOT LINE
	CENTERLINE
	PROPOSED EASEMENT LINE
	EXISTING EASEMENT LINE
	ADJOINING PROPERTY LINE
	RIGHT OF WAY
	PUE PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	#5 REBAR WITH YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY PS 16469"
	FOUND #5 REBAR/CAP AS NOTED
	FOUND #5 REBAR NO CAP
	EXISTING EASEMENTS VACATED BY VACATION ACTION 08DRB-70232



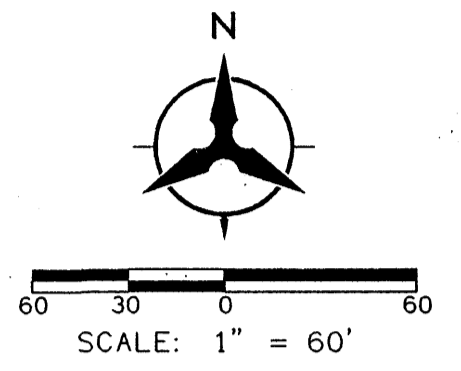
**Bohannon & Huston**

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

SHEET 2 OF 7

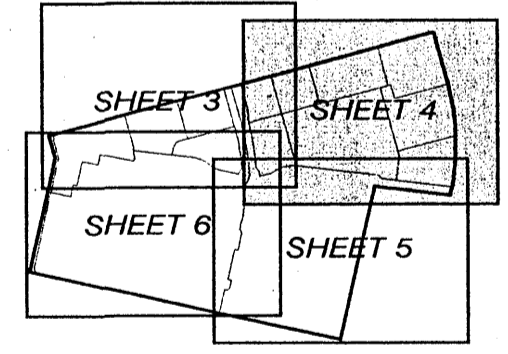


**PLAT OF  
UNSER CROSSINGS**  
( A REPLAT OF TRACTS 1A, 1B, 2A, 2B, 3A, 3B, 4B  
& TRACT 6 V.E. BARRETT SUBDIVISION  
AND TRACTS 4-A-1, 5-B-1 & 5-B-2  
LANDS OF WEFCO, PARTNERS )  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
JULY, 2008



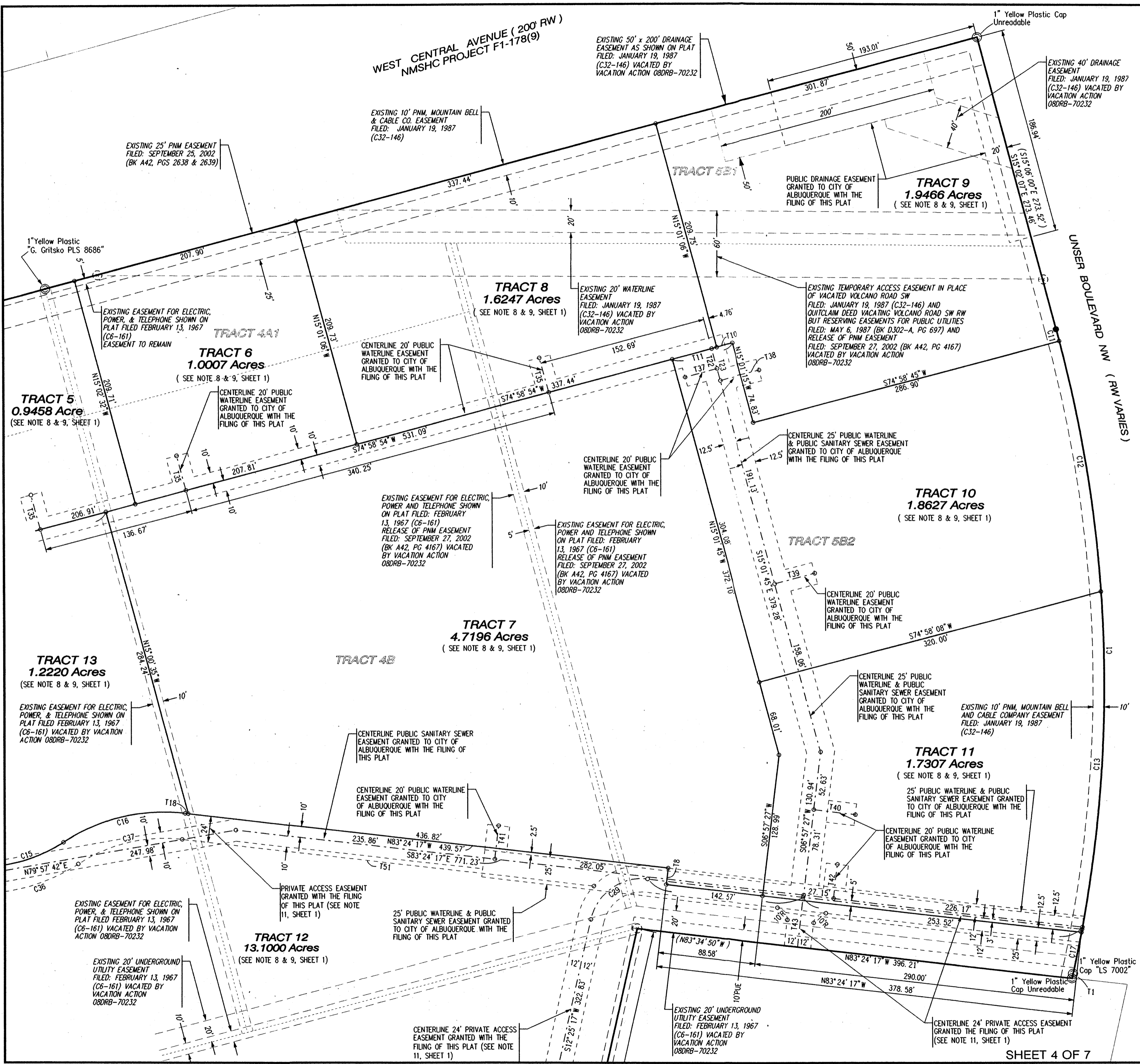
LEGEND	
	SUBDIVISION BOUNDARY LINE
	EXISTING (OLD) LOT LINE TO BE ELIMINATED WITH THE FILING OF THIS PLAT
	NEW LOT LINE
	CENTERLINE
	PROPOSED EASEMENT LINE
	EXISTING EASEMENT LINE
	ADJOINING PROPERTY LINE
	RIGHT OF WAY
	PUE PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	#5 REBAR WITH YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY PS 16469"
	FOUND #5 REBAR/CAP AS NOTED
	FOUND #5 REBAR NO CAP

NOTE: SEE SHEET 7 FOR CURVE & TANGENT DATA



**Bohannon & Huston**

Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES



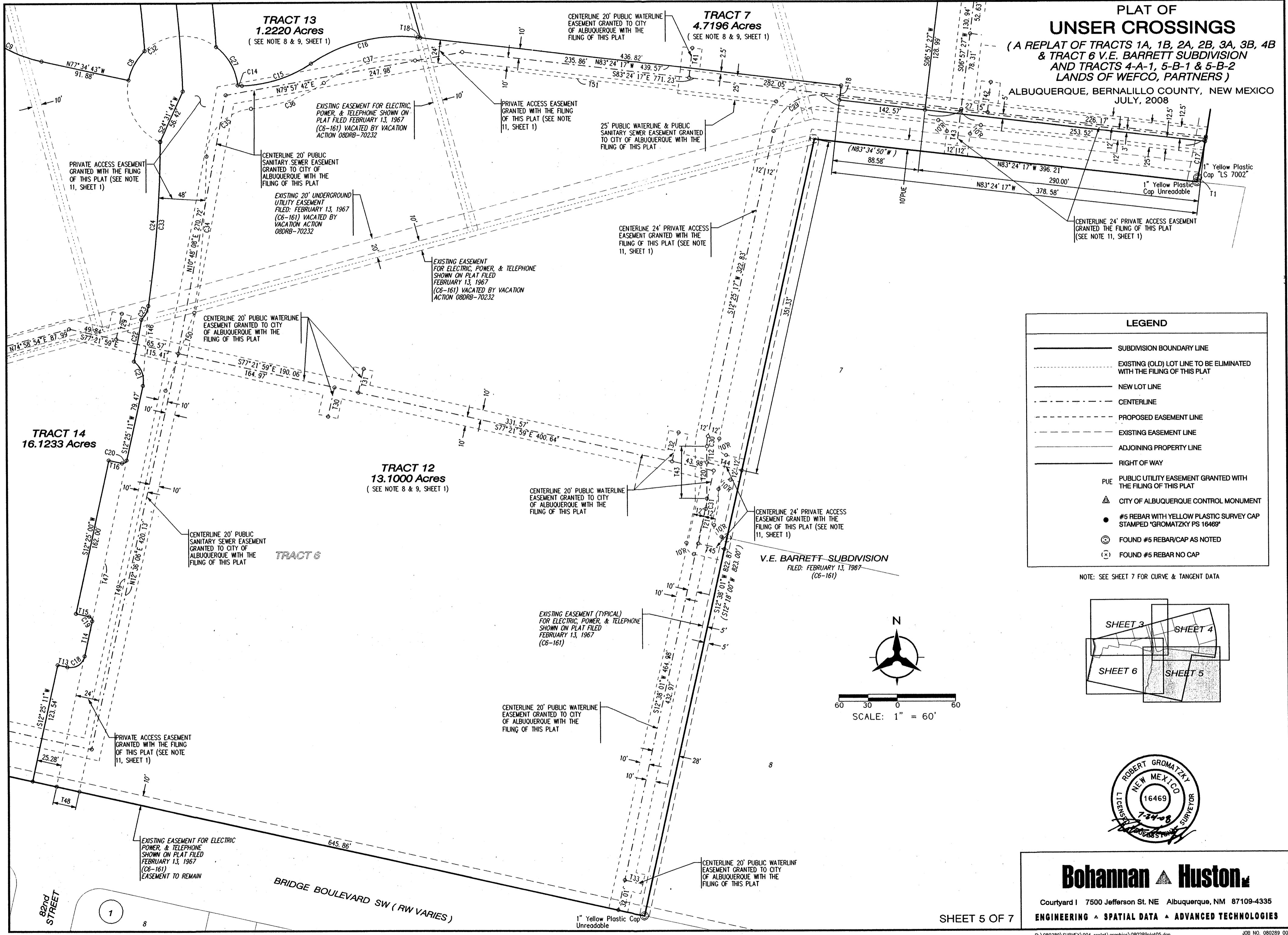


# PLAT OF UNSER CROSSINGS

(A REPLAT OF TRACTS 1A, 1B, 2A, 2B, 3A, 3B, 4B & TRACT 6 V.E. BARRETT SUBDIVISION AND TRACTS 4-A-1, 5-B-1 & 5-B-2 LANDS OF WEFCO, PARTNERS)

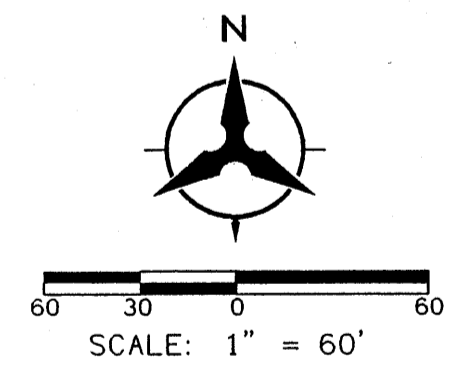
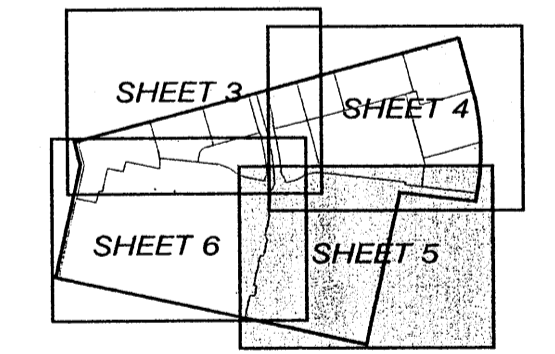
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

JULY, 2008



LEGEND	
	SUBDIVISION BOUNDARY LINE
	EXISTING (OLD) LOT LINE TO BE ELIMINATED WITH THE FILING OF THIS PLAT
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	PROPOSED EASEMENT LINE
	EXISTING EASEMENT LINE
	ADJOINING PROPERTY LINE
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	PUE PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT
	CITY OF ALBUQUERQUE CONTROL MONUMENT
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	FOUND #5 REBAR/CAP AS NOTED
	FOUND #5 REBAR NO CAP

NOTE: SEE SHEET 7 FOR CURVE & TANGENT DATA

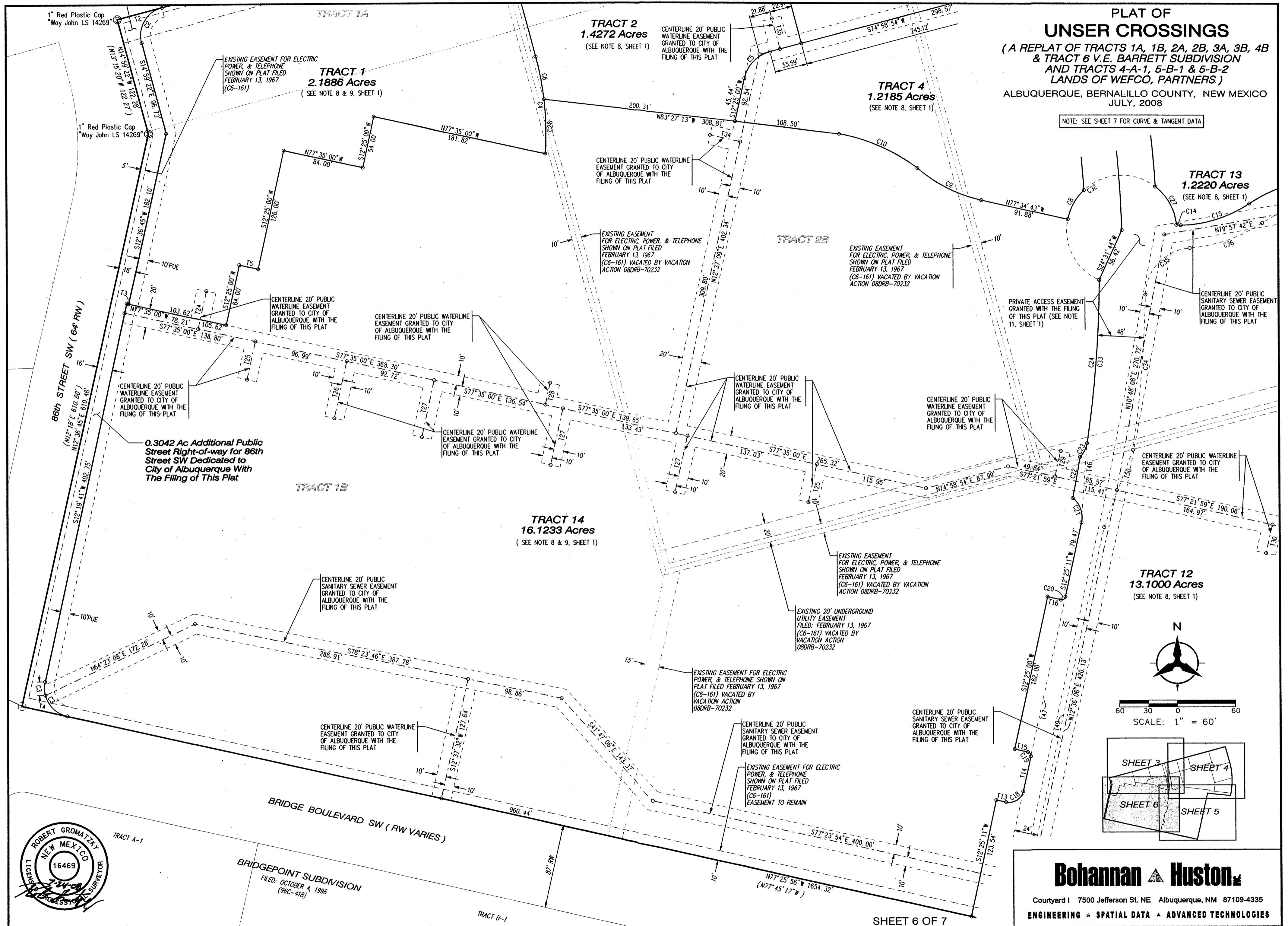


**Bohannon & Huston**  
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

SHEET 5 OF 7

**PLAT OF  
UNSER CROSSINGS**  
(A REPLAT OF TRACTS 1A, 1B, 2A, 2B, 3A, 3B, 4B  
& TRACT 6 V.E. BARRETT SUBDIVISION  
AND TRACTS 4-A-1, 5-B-1 & 5-B-2  
LANDS OF WEFCO, PARTNERS)  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
JULY, 2008

NOTE: SEE SHEET 7 FOR CURVE & TANGENT DATA



BRIDGEPOINT SUBDIVISION  
FILED: OCTOBER 4, 1996  
(96C-418)

**Bohannon & Huston**  
Court yard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
ENGINEERING ▴ SPATIAL DATA ▴ ADVANCED TECHNOLOGIES

**PLAT OF  
UNSER CROSSINGS**  
( A REPLAT OF TRACTS 1A, 1B, 2A, 2B, 3A, 3B, 4B  
& TRACT 6 V.E. BARRETT SUBDIVISION  
AND TRACTS 4-A-1, 5-B-1 & 5-B-2  
LANDS OF WEFCO, PARTNERS )  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
JULY, 2008

Curve Data						
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C1	27° 34' 44"	301.66'	591.62'	1229.11'	585.92'	S01° 14' 45" E
	(27° 34' 45")	(301.72')	(591.75')	(1229.36')	(586.05')	
C2	89° 58' 03"	29.98'	47.11'	30.00'	42.41'	S29° 59' 40" W
C3	90° 02' 40"	30.02'	47.15'	30.00'	42.44'	S32° 24' 35" E
C4	19° 20' 29"	51.12'	101.27'	300.00'	100.79'	S05° 20' 51" E
C5	62° 33' 54"	22.48'	40.40'	37.00'	38.43'	S43° 41' 57" W
C6	08° 34' 35"	22.49'	44.91'	300.00'	44.86'	N10° 43' 48" W
C7	09° 56' 21"	105.47'	210.42'	1213.00'	210.16'	S08° 48' 37" E
C8	35° 08' 42"	18.05'	34.96'	57.00'	34.42'	S29° 07' 40" W
C9	28° 29' 54"	38.09'	74.61'	150.00'	73.84'	N63° 19' 46" W
C10	25° 49' 36"	45.47'	89.40'	198.33'	88.65'	N66° 16' 01" W
C11	00° 31' 07"	5.56'	11.12'	1229.11'	11.12'	S14° 46' 33" E
C12	10° 45' 24"	115.71'	230.75'	1229.11'	230.41'	S09° 08' 18" E
C13	14° 31' 04"	156.56'	311.44'	1229.11'	310.60'	S03° 29' 56" W
C14	17° 10' 55"	2.27'	4.50'	15.00'	4.48'	S82° 55' 32" E
C15	32° 05' 30"	38.83'	75.61'	135.00'	74.63'	N72° 26' 16" E
C16	40° 12' 12"	60.39'	115.78'	165.00'	113.42'	N76° 29' 37" E
C17	01° 47' 09"	19.16'	38.31'	1229.11'	38.31'	S11° 39' 02" W
C18	90° 00' 00"	15.00'	23.56'	15.00'	21.21'	N57° 25' 11" E
C19	90° 00' 11"	4.00'	6.28'	4.00'	5.66'	N32° 34' 54" W
C20	89° 59' 49"	4.00'	6.28'	4.00'	5.66'	N57° 25' 06" E
C21	64° 30' 23"	15.78'	28.15'	25.00'	26.68'	N19° 50' 00" W
C22	02° 03' 08"	21.87'	43.73'	1221.00'	43.73'	N10° 15' 34" E
C23	37° 13' 34"	8.42'	16.24'	25.00'	15.96'	N27° 08' 42" E
C24	07° 58' 50"	85.52'	170.77'	1226.00'	170.63'	N04° 31' 50" E
C25	13° 11' 43"	144.58'	287.88'	1250.00'	287.24'	N08° 25' 14" W
C26	10° 05' 13"	113.58'	226.58'	1287.00'	226.28'	S08° 49' 31" E
C27	46° 40' 10"	24.59'	46.43'	57.00'	45.16'	S28° 59' 58" E
C28	10° 45' 54"	28.27'	56.37'	300.00'	56.28'	N01° 03' 34" W
C29	84° 10' 26"	42.45'	69.05'	47.00'	63.00'	S54° 30' 30" W
C30	12° 11' 31"	5.34'	10.64'	50.00'	10.62'	S06° 19' 32" W
C31	12° 24' 15"	5.43'	10.82'	50.00'	10.80'	S06° 25' 54" W
C32	240° 04' 00"	-----	238.83'	57.00'	98.69'	S54° 18' 07" W
C33	07° 57' 03"	85.20'	170.13'	1226.00'	169.99'	S04° 32' 43" W
C34	07° 17' 09"	81.11'	162.00'	1274.00'	161.89'	N04° 52' 40" E
C35	84° 10' 26"	45.16'	73.46'	50.00'	67.03'	N43° 19' 19" E
C36	29° 01' 01"	41.15'	80.52'	159.00'	79.67'	N70° 54' 02" E
C37	40° 12' 12"	51.60'	98.94'	141.00'	96.92'	N76° 29' 37" E

Tangent Data		
ID	BEARING	DISTANCE
T1	S12° 48' 38" W	4.37'
	(S12° 48' 43" W)	(3.87')
T2	N74° 58' 41" E	47.98'
T3	N77° 35' 00" W	2.00'
T4	N77° 25' 56" W	48.02'
T5	N77° 35' 00" W	20.00'
T6	N19° 33' 49" W	16.62'
T7	N19° 33' 49" W	13.52'
T8	S06° 35' 43" W	15.00'
T9	S74° 58' 54" W	41.76'
T10	S74° 58' 54" W	15.00'
T11	S74° 58' 54" W	56.76'
T12	S00° 13' 46" W	17.00'
T13	N77° 34' 49" W	10.28'
T14	S12° 25' 11" W	37.09'
T15	N77° 35' 00" W	14.00'
T16	N77° 35' 00" W	14.01'
T17	N06° 50' 20" W	13.22'
T18	N83° 24' 17" W	2.76'
T19	N19° 33' 49" W	30.14'
T20	S00° 13' 46" W	54.25'
T21	S12° 38' 01" W	36.53'
T22	S15° 01' 45" E	18.65'
T23	S15° 01' 45" E	11.44'
T24	N12° 25' 00" E	40.43'
T25	S12° 25' 00" W	40.49'
T26	S12° 25' 00" W	60.50'
T27	S12° 25' 00" W	60.51'
T28	N12° 25' 00" E	23.00'
T29	N12° 38' 01" E	27.37'
T30	S12° 38' 01" W	30.67'
T31	N12° 38' 01" E	25.29'
T32	N12° 38' 01" E	31.32'
T33	S77° 21' 59" E	19.59'
T34	N77° 22' 51" W	31.85'
T35	N15° 01' 06" W	32.50'
T36	S15° 01' 06" E	42.63'
T37	S74° 58' 15" W	29.92'
T38	N74° 58' 15" E	37.51'
T39	N74° 58' 15" E	37.50'
T40	S83° 02' 33" E	37.77'
T41	N06° 35' 43" E	30.83'
T42	N06° 35' 43" E	31.10'
T43	N06° 35' 43" E	45.58'
T44	S77° 11' 06" E	36.67'
T45	S77° 25' 56" E	27.50'
T46	S04° 10' 34" W	82.55'
T47	S12° 25' 11" W	425.17'
T48	S77° 25' 56" E	24.00'
T49	N12° 25' 11" E	425.23'
T50	N20° 29' 35" E	85.82'
T51	S83° 24' 17" E	374.78'

**Bohannon & Huston**

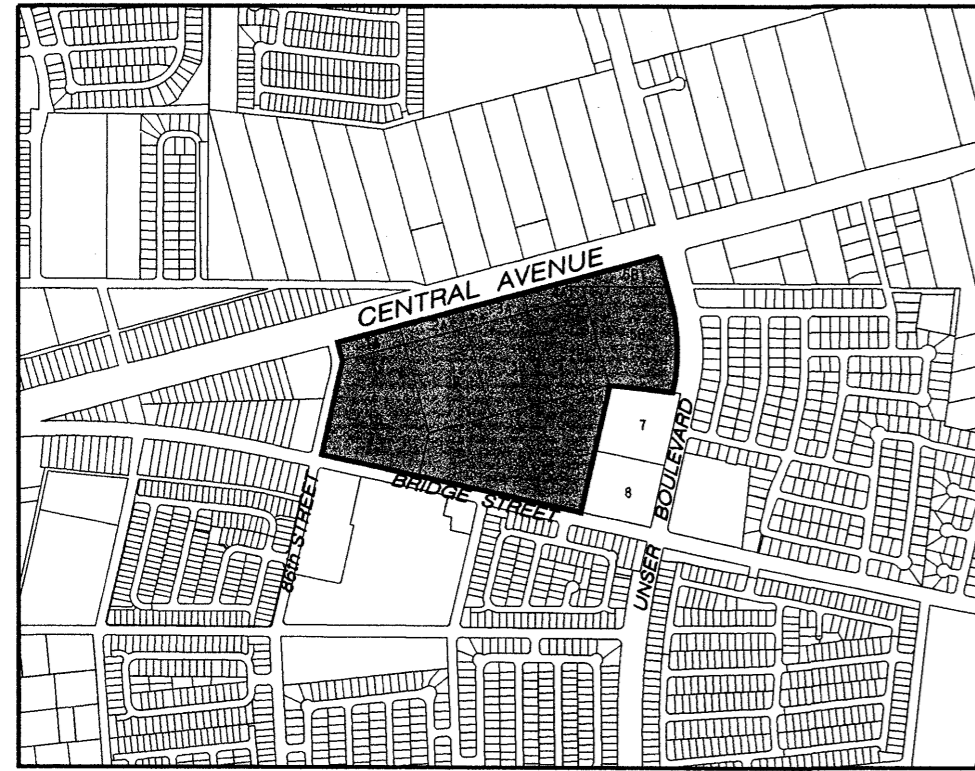
Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

SHEET 7 OF 7

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24-JUL-2008 17:26  
mcole

JOB NO. 080289 004

SP-2008242970



LOCATION MAP

ZONE ATLAS INDEX MAP Nos. K9 & K10  
NOT TO SCALE

SUBDIVISION DATA

- 1. DRB No.
2. Zone Atlas Index Nos. K-9 and K-10
3. Zoning: C-2
4. Gross Subdivision Acreage: 50.6833 Acres.
5. Total number of tracts Created: Fourteen (14) Tracts.
6. Total Area of dedicated public street right-of-way: 0.3042 acre.
7. Date of Survey: June, 2008.
8. Plat is located within Sections 21 & 22 Township 10 North, Range 2 East, NMPM, City of Albuquerque, Bernalillo County, New Mexico.

DISCLOSURE STATEMENT

The purpose of this Plat is to subdivide Tracts One-A (1-A), One-B (1-B), Two-A (2-A), Two-B (2-B), Three-A (3-A), Three-B (3-B) and Six (6) of V.E. Barrett Subdivision, as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico, on February 13, 1967, in Book C6, Page 161 together with all of Tracts Four-A-1 (4-A-1), Five-B-1 (5-B-1), and Five-B-2 (5-B-2), Lands of Wefco, Partners, as the same are shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on April 6, 1967, in Book C-33, Page 81 together with all of Tract Four-B (4-B) of the V.E. Barrett Subdivision as the same is shown and designated on the plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on February 13, 1967, in Plat Book C6, page 161 into fourteen new tracts, to vacate easements, to dedicate public street right-of-way to the City of Albuquerque, and to grant easements.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are for the common joint use of:

- A. PNM Electric Services for the installation, maintenance and service of underground electrical lines, transformers, and other equipment, fixtures, structures, and related facilities reasonably necessary to provide electrical service.
B. PNM Gas services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
C. QWEST for the installation, maintenance, and service of all buried communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
D. Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool, (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

DESCRIPTION

A certain tract of land situate within the Town of Atrisco Grant in projected Sections 21 and 22, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being and comprising all of Tracts One-A (1-A), One-B (1-B), Two-A (2-A), Two-B (2-B), Three-A (3-A), Three-B (3-B) and Six (6) of V.E. Barrett Subdivision, as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico, on February 13, 1967, in Book C6, Page 161 together with all of Tracts Four-A-1 (4-A-1), Five-B-1 (5-B-1), and Five-B-2 (5-B-2), Lands of Wefco, Partners, as the same are shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on April 6, 1967, in Book C-33, Page 81 together with all of Tract Four-B (4-B) of the V.E. BARRETT SUBDIVISION as the same is shown and designated on the plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on February 13, 1967, in Plat Book C6, page 161.

Tract contains 50.6833 acres of land, more or less.

NOTES

- 1. Bearings are New Mexico State Plane Grid Bearings (Central Zone) NAD 1983 and the Basis of Bearings is the inverse between Albuquerque Control Monuments "7-K10" and "14-K9" Bearing = S58°28'10"W.
2. Record Bearings and distances are shown in parenthesis.
3. Distances are ground distances.
4. All easements of record are as shown on the Plat of record or made known to me by the owner, utility companies, or other interested parties.
5. All interior tract corners to be monumented by a #5 rebar and yellow plastic survey cap stamped "GROMATZKY PS 16469".
6. All streets are public, to be dedicated to the City of Albuquerque with the filing of this plat.
7. Pursuant to section 14-14-4-7 of the City of Albuquerque Code of Ordinances, "No property within the area of this Plat shall at anytime be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirements shall be a condition to approval of this plat."

SURVEYOR'S CERTIFICATION

I, Robert Gromatzky, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements as shown on the plat of record, or made known to me by the owner, utility companies, or other interested parties and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors and meets the minimum requirements for monumentation and surveys contained in the City of Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

Robert Gromatzky
New Mexico Professional Surveyor 16469

Date:



FREE CONSENT AND DEDICATION

The foregoing plat of that certain tract of land situate within the Town of Atrisco Grant in projected Sections 21 & 22, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being and comprising all of Tracts One-A (1-A), One-B (1-B), Two-A (2-A), Two-B (2-B), Three-A (3-A), Three-B (3-B) and Six (6) of V.E. Barrett Subdivision, as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico, on February 13, 1967, in Book C6, Page 161 together with all of Tracts Four-A-1 (4-A-1), Five-B-1 (5-B-1), and Five-B-2 (5-B-2), Lands of Wefco, Partners, as the same are shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on April 6, 1967, in Book C-33, Page 81 together with all of Tract Four-B (4-B) of the V.E. Barrett Subdivision as the same is shown and designated on the plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on February 13, 1967, in Plat Book C6, page 161, records of Bernalillo County, New Mexico, now comprising Tracts 1 thru 14, Unser Crossings is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof. Said owner(s) and/or proprietor(s) do hereby dedicate all streets and public rights-of-way as shown hereon to the City of Albuquerque in fee simple with warranty covenants and do hereby grant: All Access, Utility and Drainage Easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all Public Utility Easements shown hereon for the common and joint use of Gas, Electrical Power, and Communication Services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. The City has the right to enter upon the Grantee's Property at any time and perform whatever inspection, installation, maintenance, repair, modification or removal ("Work") it deems appropriate without liability to the City. If the Work effects any improvements or Encroachments made by the Grantee, the City will not be financially or otherwise responsible for rebuilding or repairing of improvements or encroachments. If in the opinion of the City, the Work to be performed by the City could endanger the structural integrity or otherwise damage the improvements or encroachments, the Grantee shall, at its own expense, take whatever protective measures are required to safeguard the improvements or encroachments. Said owner warrants that he holds complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed.

ARMSTRONG CENTRAL UNSER, LLC

By: Gustine Investments, Inc.

BY:

Robert Gustine
Secretary

State of New Mexico )
SS
County of Bernalillo )

This instrument was acknowledged before me on day of 2008, by Robert Gustine, Secretary of Gustine Investments, Inc., a New Mexico Corporation, as managing member of Armstrong Central Unser, LLC, a New Mexico limited liability company.

My Commission Expires: Notary Public

PLAT OF
UNSER CROSSINGS
(A REPLAT OF TRACTS 1A, 1B, 2A, 2B, 3A, 3B, 4B & TRACT 6 V.E. BARRETT SUBDIVISION AND TRACTS 4-A-1, 5-B-1 & 5-B-2 LANDS OF WEFCO, PARTNERS)
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
JUNE, 2008

PROJECT NUMBER

APPLICATION NUMBER

PLAT APPROVAL

UTILITY APPROVALS:

QWEST TELECOMMUNICATIONS DATE

COMCAST CABLE DATE

PNM ELECTRIC SERVICES DATE

PNM GAS SERVICES DATE

CITY APPROVALS:

CITY SURVEYOR DATE

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE

ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY DATE

PARKS & RECREATION DEPARTMENT DATE

A.M.A.F.C.A. DATE

CITY ENGINEER DATE

DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

REAL PROPERTY DIVISION DATE

TAX CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC #

PROPERTY OWNER OF RECORD

BERNALILLO COUNTY TREASURER'S OFFICE DATE

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive or release any easement or easement rights to which it may be entitled.

Bohannon & Huston

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335

ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

NOTE: SEE SHEETS 3 THRU 7 FOR SUBDIVISION DETAILS

Curve Data						
ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	27° 34' 44"	301.66'	591.62'	1229.11'	585.92'	S01° 14' 45" E
	(27° 34' 45")	(301.72')	(591.75')	(1229.36')	(586.05')	

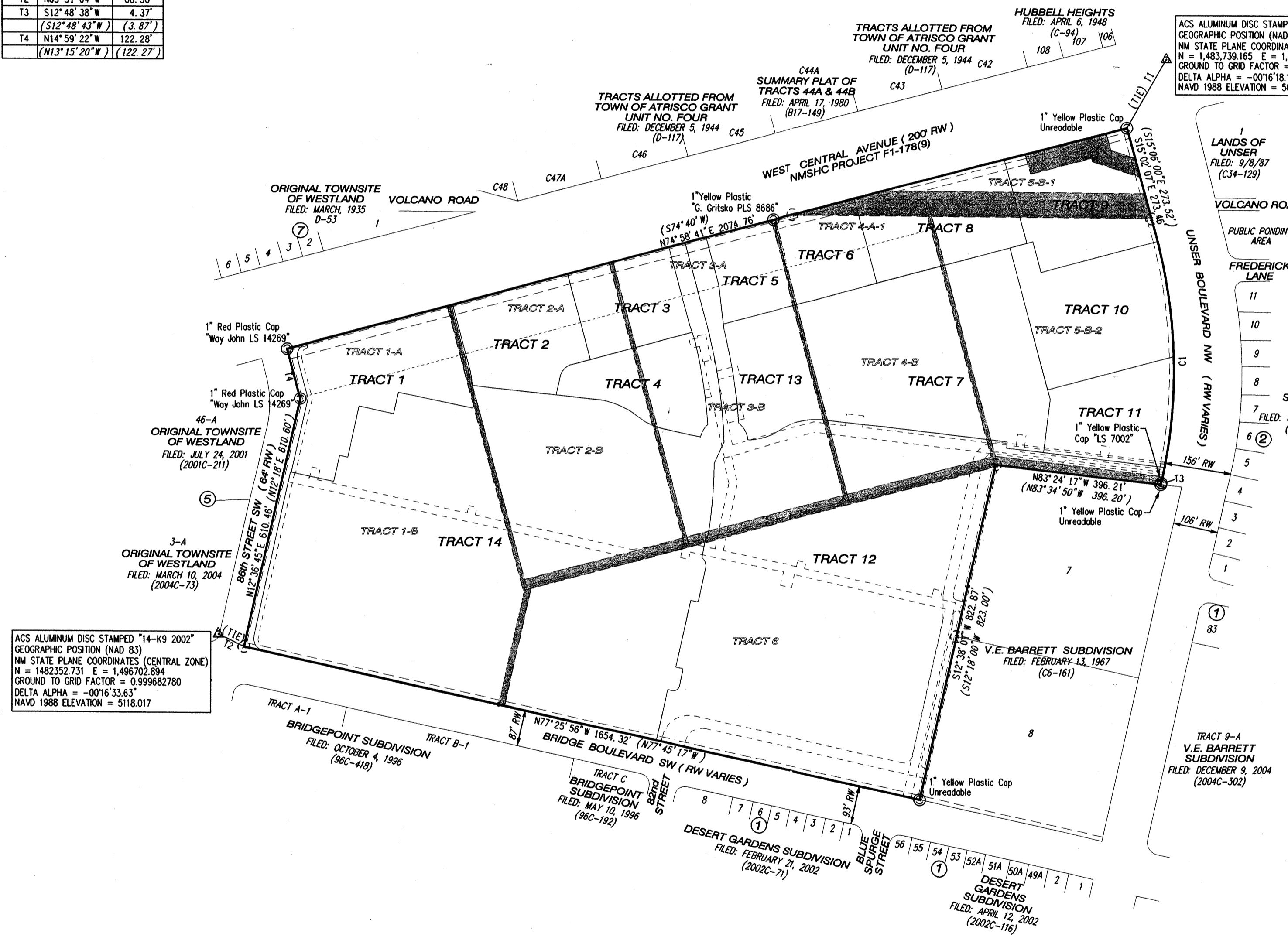
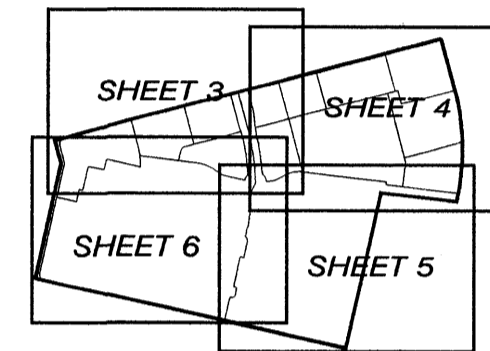
TABLES ARE FOR THIS SHEET ONLY

Tangent Data		
ID	BEARING	DISTANCE
T1	N29° 25' 55" E	190.37'
T2	N63° 31' 04" W	68.56'
T3	S12° 48' 38" W	4.37'
	(S12° 48' 43" W)	(3.87')
T4	N14° 59' 22" W	122.28'
	(N13° 15' 20" W)	(122.27')

PLAT OF  
**UNSER CROSSINGS**  
 (A REPLAT OF TRACTS 1A, 1B, 2A, 2B, 3A, 3B, 4B  
 & TRACT 6 V.E. BARRETT SUBDIVISION  
 AND TRACTS 4-A-1, 5-B-1 & 5-B-2  
 LANDS OF WEFCO, PARTNERS)  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
 JUNE, 2008



200 100 0 100  
 SCALE: 1" = 200'



ACS ALUMINUM DISC STAMPED "7-K10 1989"  
 GEOGRAPHIC POSITION (NAD 83)  
 NM STATE PLANE COORDINATES (CENTRAL ZONE)  
 N = 1,483,739.165 E = 1,498,962.651  
 GROUND TO GRID FACTOR = 0.999683006  
 DELTA ALPHA = -00°16'18.14"  
 NAVD 1988 ELEVATION = 5097.854

ACS ALUMINUM DISC STAMPED "14-K9 2002"  
 GEOGRAPHIC POSITION (NAD 83)  
 NM STATE PLANE COORDINATES (CENTRAL ZONE)  
 N = 1,482,352.731 E = 1,496,702.894  
 GROUND TO GRID FACTOR = 0.999682780  
 DELTA ALPHA = -00°16'33.63"  
 NAVD 1988 ELEVATION = 5118.017

LEGEND	
	SUBDIVISION BOUNDARY LINE
	EXISTING (OLD) LOT LINE TO BE ELIMINATED WITH THE FILING OF THIS PLAT
	NEW LOT LINE
	CENTERLINE
	PROPOSED EASEMENT LINE
	EXISTING EASEMENT LINE
	ADJOINING PROPERTY LINE
	RIGHT OF WAY
	PUE PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	#5 REBAR WITH YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY PS 16469"
	FOUND REBAR/CAP AS NOTED
	FOUND REBAR NO CAP
	EXISTING EASEMENTS VACATED BY VACATION ACTION 08DRB-70232



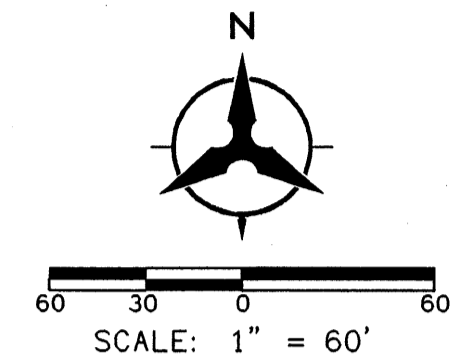
**Bohannon & Huston**

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

SHEET 2 OF 7

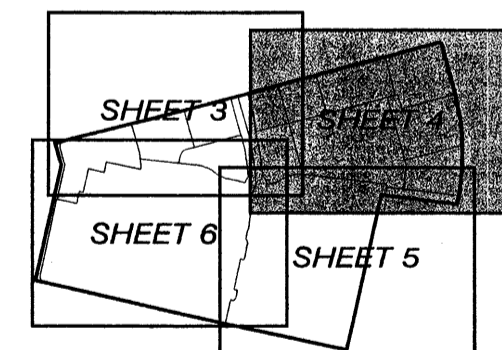


**PLAT OF  
UNSER CROSSINGS**  
(A REPLAT OF TRACTS 1A, 1B, 2A, 2B, 3A, 3B, 4B  
& TRACT 6 V.E. BARRETT SUBDIVISION  
AND TRACTS 4-A-1, 5-B-1 & 5-B-2  
LANDS OF WEFCO, PARTNERS)  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
JUNE, 2008



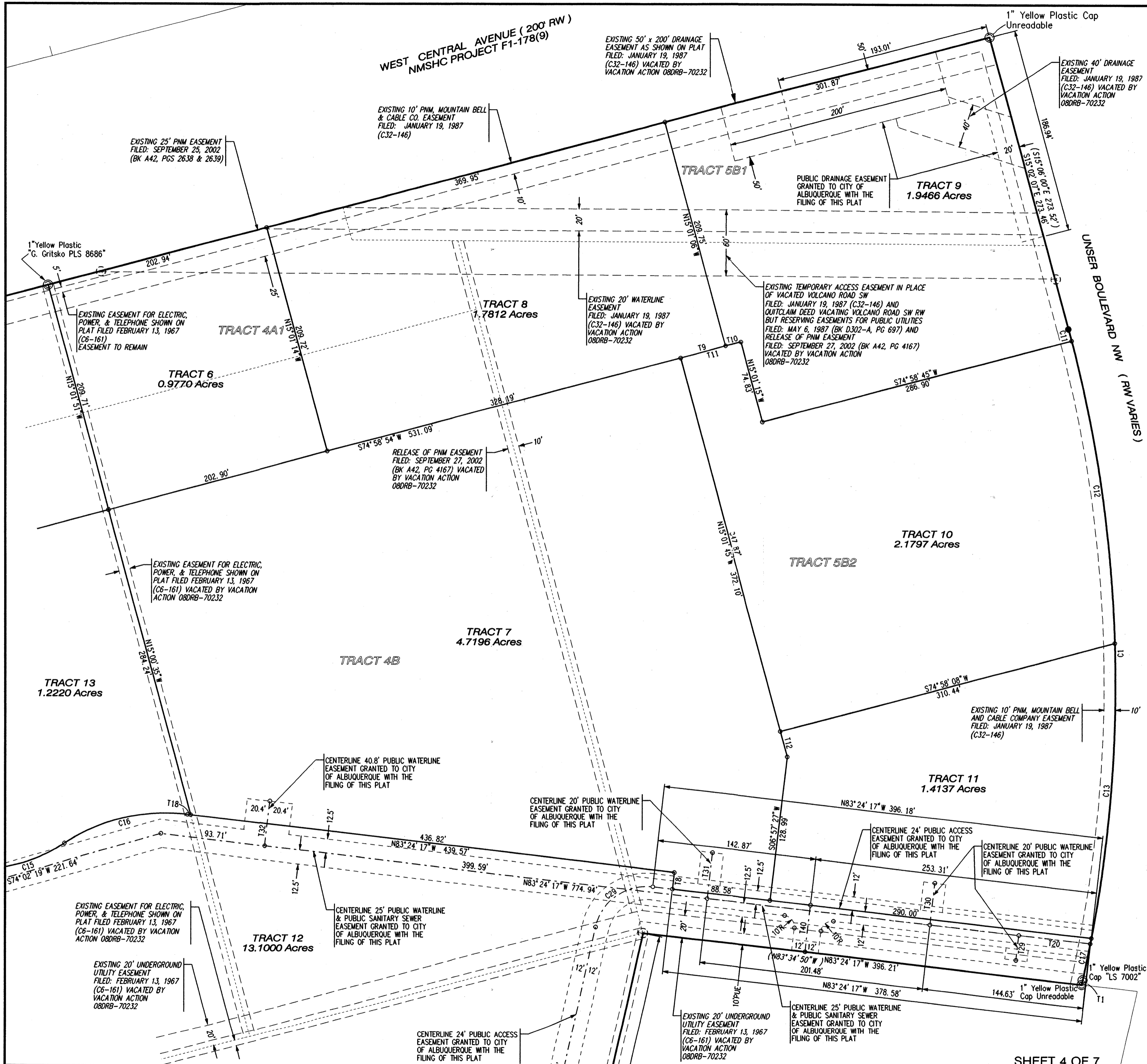
LEGEND	
	SUBDIVISION BOUNDARY LINE
	EXISTING (OLD) LOT LINE TO BE ELIMINATED WITH THE FILING OF THIS PLAT
	NEW LOT LINE
	CENTERLINE
	PROPOSED EASEMENT LINE
	EXISTING EASEMENT LINE
	ADJOINING PROPERTY LINE
	RIGHT OF WAY
	PUE PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	#5 REBAR WITH YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY PS 16469"
	FOUND REBAR/CAP AS NOTED
	FOUND REBAR NO CAP

NOTE: SEE SHEET 7 FOR CURVE & TANGENT DATA



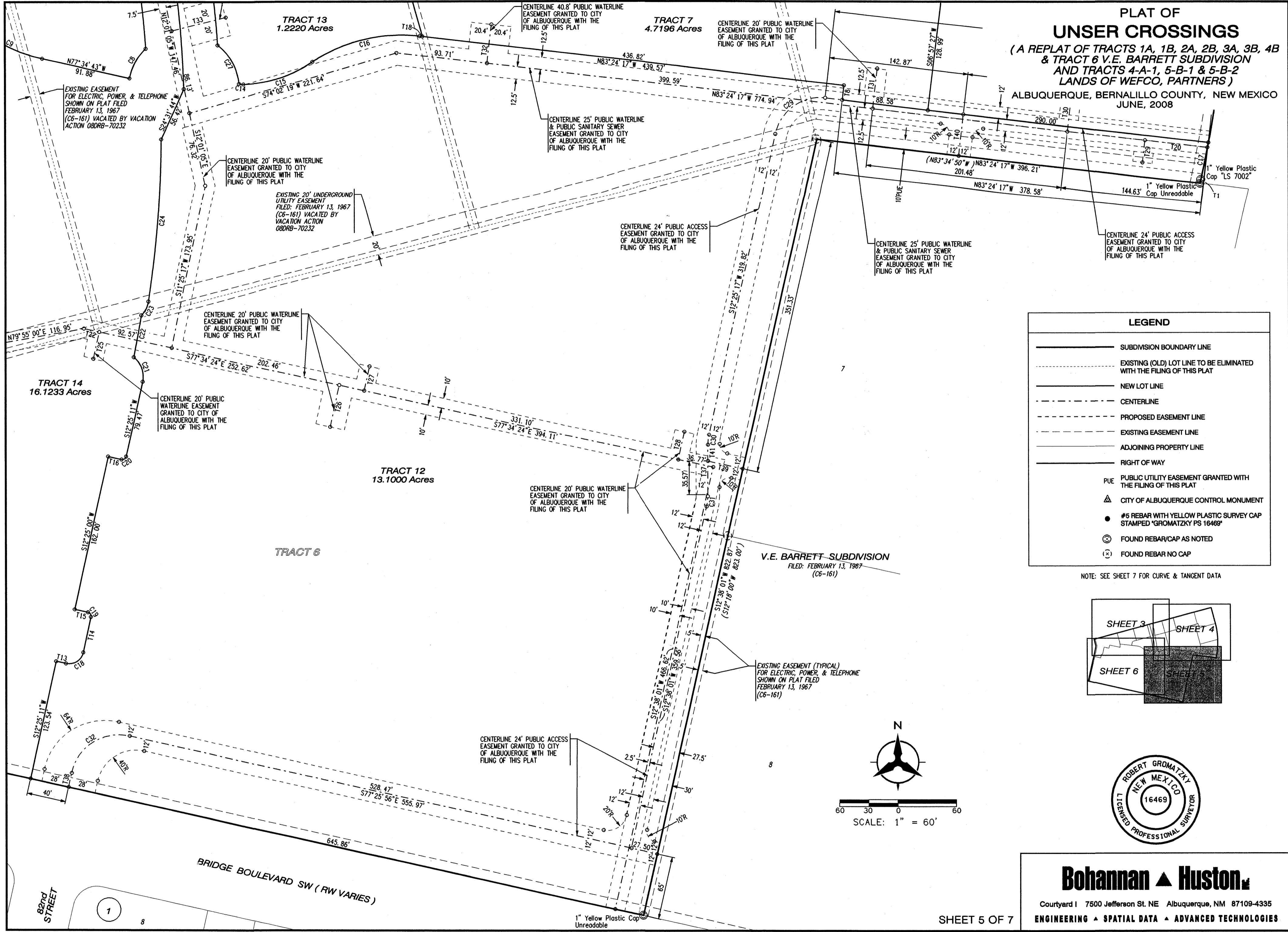
**Bohannon & Huston**

Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
ENGINEERING ■ SPATIAL DATA ■ ADVANCED TECHNOLOGIES



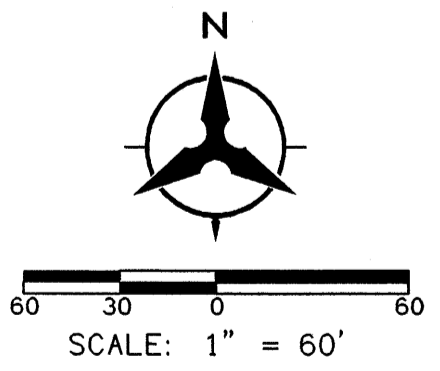
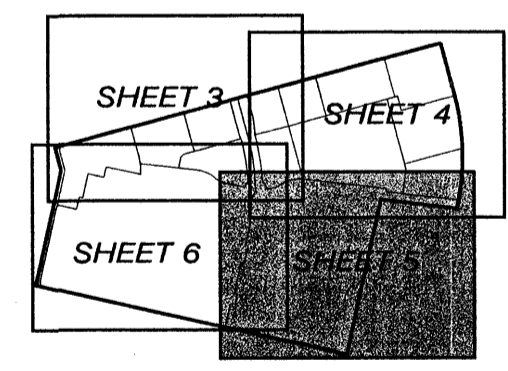
SHEET 4 OF 7

**PLAT OF  
UNSER CROSSINGS**  
(A REPLAT OF TRACTS 1A, 1B, 2A, 2B, 3A, 3B, 4B  
& TRACT 6 V.E. BARRETT SUBDIVISION  
AND TRACTS 4-A-1, 5-B-1 & 5-B-2  
LANDS OF WEFAO, PARTNERS)  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
JUNE, 2008



LEGEND	
	SUBDIVISION BOUNDARY LINE
	EXISTING (OLD) LOT LINE TO BE ELIMINATED WITH THE FILING OF THIS PLAT
	NEW LOT LINE
	CENTERLINE
	PROPOSED EASEMENT LINE
	EXISTING EASEMENT LINE
	ADJOINING PROPERTY LINE
	RIGHT OF WAY
	PUE PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	#5 REBAR WITH YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY PS 16469"
	FOUND REBAR/CAP AS NOTED
	FOUND REBAR NO CAP

NOTE: SEE SHEET 7 FOR CURVE & TANGENT DATA

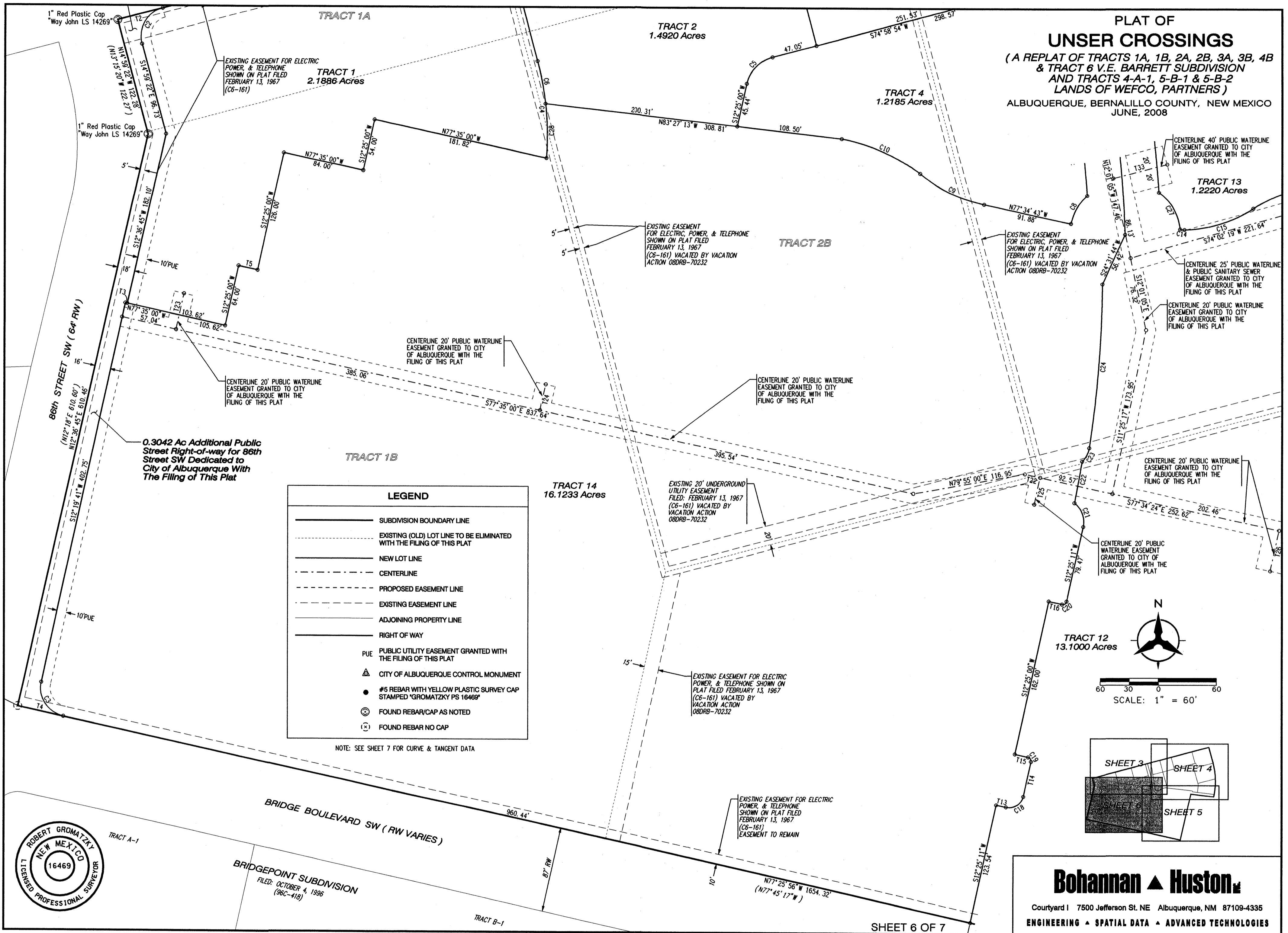


**Bohannon & Huston**  
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
 ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

SHEET 5 OF 7



**PLAT OF  
UNSER CROSSINGS**  
(A REPLAT OF TRACTS 1A, 1B, 2A, 2B, 3A, 3B, 4B  
& TRACT 6 V.E. BARRETT SUBDIVISION  
AND TRACTS 4-A-1, 5-B-1 & 5-B-2  
LANDS OF WEFCO, PARTNERS)  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
JUNE, 2008



**Bohannon & Huston**  
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
 ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

**PLAT OF  
UNSER CROSSINGS**  
( A REPLAT OF TRACTS 1A, 1B, 2A, 2B, 3A, 3B, 4B  
& TRACT 6 V.E. BARRETT SUBDIVISION  
AND TRACTS 4-A-1, 5-B-1 & 5-B-2  
LANDS OF WEFCO, PARTNERS )  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
JUNE, 2008

Curve Data						
ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	27° 34' 44"	301.66'	591.62'	1229.11'	585.92'	S01° 14' 45" E
	(27° 34' 45")	(301.72')	(591.75')	(1229.36')	(586.05')	
C2	89° 58' 03"	29.98'	47.11'	30.00'	42.41'	S29° 59' 40" W
C3	90° 02' 40"	30.02'	47.15'	30.00'	42.44'	S32° 24' 35" E
C4	19° 20' 29"	51.12'	101.27'	300.00'	100.79'	S05° 20' 51" E
C5	62° 33' 54"	22.48'	40.40'	37.00'	38.43'	S43° 41' 57" W
C6	08° 34' 35"	22.49'	44.91'	300.00'	44.86'	N10° 43' 48" W
C7	09° 56' 21"	105.47'	210.42'	1213.00'	210.16'	S08° 48' 37" E
C8	35° 08' 42"	18.05'	34.96'	57.00'	34.42'	S29° 07' 40" W
C9	28° 29' 54"	38.09'	74.61'	150.00'	73.84'	N63° 19' 46" W
C10	25° 49' 36"	45.47'	89.40'	198.33'	88.65'	N66° 16' 01" W
C11	00° 31' 07"	5.56'	11.12'	1229.11'	11.12'	S14° 46' 33" E
C12	12° 50' 46"	138.37'	275.57'	1229.11'	275.00'	S08° 05' 37" E
C13	12° 25' 42"	133.83'	266.61'	1229.11'	266.09'	S04° 32' 37" W
C14	17° 10' 55"	2.27'	4.50'	15.00'	4.48'	S82° 55' 32" E
C15	32° 05' 30"	38.83'	75.61'	135.00'	74.63'	N72° 26' 16" E
C16	40° 12' 12"	60.39'	115.78'	165.00'	113.42'	N76° 29' 37" E
C17	01° 47' 09"	19.16'	38.31'	1229.11'	38.31'	S11° 39' 02" W
C18	90° 00' 00"	15.00'	23.56'	15.00'	21.21'	N57° 25' 11" E
C19	90° 00' 11"	4.00'	6.28'	4.00'	5.66'	N32° 34' 54" W
C20	89° 59' 49"	4.00'	6.28'	4.00'	5.66'	N57° 25' 06" E
C21	64° 30' 23"	15.78'	28.15'	25.00'	26.68'	N19° 56' 00" W
C22	02° 03' 08"	21.87'	43.73'	1221.00'	43.73'	N10° 13' 24" E
C23	37° 13' 34"	8.42'	16.24'	25.00'	15.96'	N27° 08' 02" E
C24	07° 58' 50"	85.52'	170.77'	1226.00'	170.63'	N04° 31' 50" E
C25	13° 11' 43"	144.58'	287.88'	1250.00'	287.24'	N08° 25' 14" W
C26	10° 05' 13"	113.58'	226.58'	1287.00'	226.28'	S08° 49' 31" E
C27	46° 40' 10"	24.59'	46.43'	57.00'	45.16'	S28° 59' 58" E
C28	10° 45' 54"	28.27'	56.37'	300.00'	56.28'	N01° 03' 34" W
C29	84° 10' 26"	42.45'	69.05'	47.00'	63.00'	S54° 30' 30" W
C30	12° 11' 31"	5.34'	10.64'	50.00'	10.62'	S06° 19' 32" W
C31	12° 24' 15"	5.43'	10.82'	50.00'	10.80'	S06° 25' 54" W
C32	90° 08' 53"	50.13'	78.67'	50.00'	70.80'	N57° 29' 38" E

Tangent Data		
ID	BEARING	DISTANCE
T1	S12° 48' 38" W	4.37'
	(S12° 48' 43" W)	(3.87')
T2	N74° 58' 41" E	47.98'
T3	N77° 35' 00" W	2.00'
T4	N77° 25' 56" W	48.02'
T5	N77° 35' 00" W	20.00'
T6	N19° 33' 49" W	16.62'
T7	N19° 33' 49" W	13.52'
T8	S06° 35' 43" W	15.00'
T9	S74° 58' 54" W	41.76'
T10	S74° 58' 54" W	15.00'
T11	S74° 58' 54" W	56.76'
T12	N15° 01' 45" W	24.22'
T13	N77° 34' 49" W	10.28'
T14	S12° 25' 11" W	37.09'
T15	N77° 35' 00" W	14.00'
T16	N77° 35' 00" W	14.01'
T17	N06° 50' 20" W	13.22'
T18	N83° 24' 17" W	2.76'
T19	N19° 33' 49" W	30.14'
T20	N83° 24' 17" W	64.46'
T21	N12° 01' 05" W	15.00'
T22	S77° 34' 24" E	16.16'
T23	N12° 25' 00" E	38.00'
T24	N12° 25' 00" E	28.03'
T25	N12° 25' 36" E	28.00'
T26	N12° 25' 36" E	43.47'
T27	N12° 25' 36" E	25.83'
T28	S12° 25' 36" W	29.95'
T29	S06° 35' 43" W	22.76'
T30	N06° 35' 43" E	38.17'
T31	N06° 35' 43" E	40.99'
T32	N06° 35' 43" E	37.65'
T33	N75° 21' 31" E	57.42'
T34	S77° 58' 55" W	21.79'
T35	S77° 58' 55" W	31.07'
T36	N12° 01' 05" W	62.95'
T37	S00° 13' 46" W	54.25'
T38	N12° 25' 11" E	14.87'
T39	S77° 11' 06" E	36.67'
T40	N06° 35' 43" E	42.58'
T41	S00° 13' 46" W	17.00'

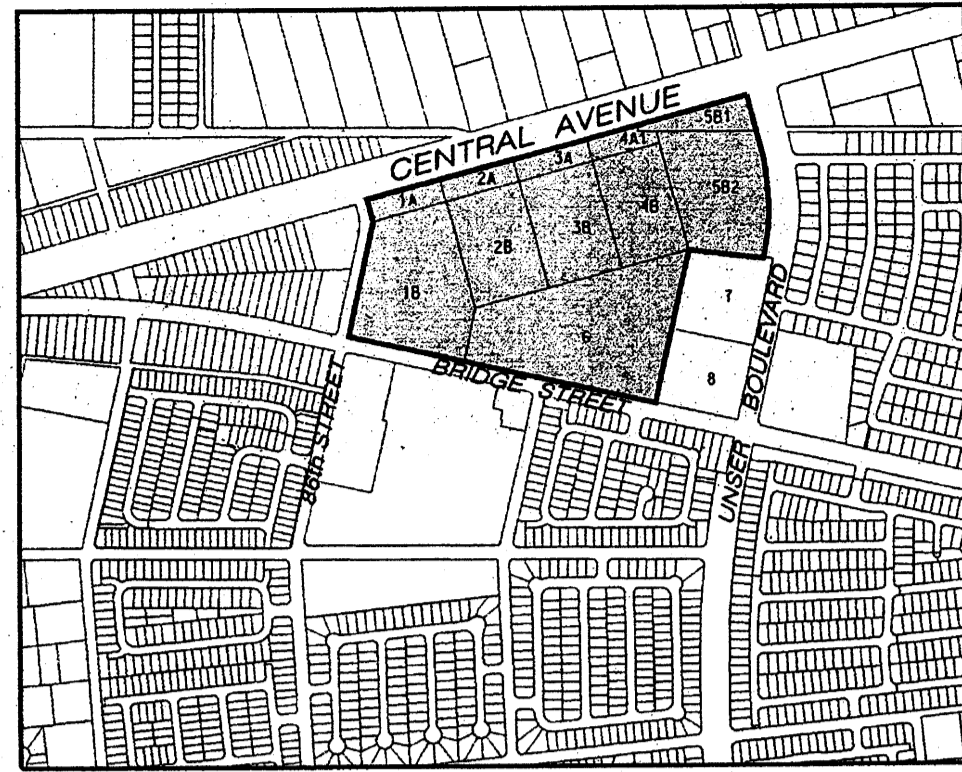
**Bohannon & Huston**

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

SHEET 7 OF 7

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**LOCATION MAP**  
ZONE ATLAS INDEX NOS. K9 AND K10  
NOT TO SCALE

**NOTES**

- Parcel is located within Sections 21 & 22, Township 10 North, Range 2 East, NMPM, City of Albuquerque, Bernalillo County, New Mexico.
- Zone Atlas Index Map Nos. K9 & K10.
- Gross Acreage of Parcel: 50.6833 acres.
- Bearings are New Mexico State Plane Grid Bearings (Central Zone, NAD 83).
- Record Bearings and distances are shown in parenthesis ( ).
- Basis of Bearings is the inverse between Albuquerque Control Monuments 7-K10' and 14-K9' Bearing = S58°28'10"W.
- Distances are ground distances.
- This ALTA was prepared with information included in the Title Commitment issued by Stewart Title Guaranty Company, Commitment file number: 7100078; Effective Date: October 4, 2007 and Title Commitment issued by Fidelity National Title Insurance Company, Commitment file number: FT00000544; Effective Date: November 14, 2007.
- Parcel lies within Zone X, Zone AE and Zone AO of FEMA Flood Map Number 35001C0328E, revised November 19, 2003.
- Project Coordinates are based on NAD 83 (ground modified) New Mexico State Plane Central Zone. Project combined ground to grid factor is 0.999682780. Elevations are NAVD 83.
- Land is vacant. There are no buildings.
- City of Albuquerque Zoning for Tracts 4-A-1, 4-B, 5-B-1 and 5-B-2 is C-2. City of Albuquerque Zoning for Tracts 1-A, 1-B, 2-A, 2-B, 3-A, 3-B, & Tract 6 is SU-1, SU-1 (Special Use-1) zoning requirements are unique to each site and are approved through the Planning Commission by Zone Amendment Action. Zone Amendment information for lots zoned SU-1 not provided to Bohannon Huston, Inc. Future development may be subject to the "Shopping Center Regulations" section 14-16-3-2 of the City of Albuquerque code of ordinances.
- Building Height:**  
Zone C-2 (O-1)  
Structure height up to 26 feet is permitted at any legal location. The height and width of the structure over 26 feet shall fall within 45° angle planes drawn from the horizontal at the mean grade along each internal boundary of the premises and each adjacent public right-of-way centerline. To protect solar access, a structure over 26 feet may not exceed the northern boundary of these 45° planes, but may be sited in any other direction within planes drawn at a 60° angle from the same boundaries or centerline. Exceptions to the above are provided in § 14-16-3-3 of this Zoning Code, and for sign and antenna height, in division (A) of this section. Notwithstanding any of the above regulations, structures shall not exceed 26 feet in height within 65 feet of a lot zoned specifically for houses.
- Building Setback:**  
Zone C-2 (O-1)
  - There shall be a front and a corner side yard setback of not less than five feet and a setback of 11 feet from the junction of a driveway or alley and a public sidewalk or planned public sidewalk location.
  - Near residential zones, the following greater setback requirements shall apply:
    - There shall be a front or corner side setback of not less than ten feet where the lot is across the street from the front lot line of a facing lot in a residential zone. This setback applies to on- and off-premise signs.
    - There shall be a side or rear setback of not less than five feet where the site abuts the side of a lot in a residential zone.
    - There shall be a side or rear setback of not less than 15 feet where the site abuts the rear of a lot in a residential zone.
  - The clear sight triangle shall not be infringed upon.
- Floor Space Area:**  
Zone C-2  
Residential uses permissible in the R-3 Zone with the following exceptions:
  - Houses are not allowed.
  - No less than 20% and no more than 60% of the gross floor area of the structures on the site shall be developed with residential uses.
  - Residential uses shall be part of a vertical mix of uses (e.g. residential over commercial or residential over office).
  - Where residential uses are proposed, the following regulations shall apply:
    - Area: Minimum of 5 acres.
    - Height: Pursuant to the R-3 Zone.
    - Density: The total square footage of all buildings shall achieve a minimum floor area ratio of 0.3.

**CONTROL REPORT**

**Introduction:**  
The purpose of the control listed below is to serve as a spatial reference for the project located at the southwest corner of Central Ave. and Unser Blvd. The intended accuracy is 0.10' horizontal and 0.10' vertical. Geographic coordinates and ellipsoid height were obtained from a primary point BH 08-289-01 using an autonomous GPS position which is accurate within 30 meters. All other points are relative to this position.

**Project Control Statistics:**  
Units: US Survey Foot  
Horizontal Datum: NAD83  
Vertical Datum: NAVD83  
Projection: Transverse Mercator  
State Plane and/or UTM Zone: New Mexico Central Zone (3002)  
Basis of Bearing: Grid Bearings  
Project Combined Factor: 0.999682780 from 14\_K9  
Modification Method Used: Scaled State Plane coordinates about origin (0,0) no truncation  
Field Methodology: RTK observations, Trimble site calibration to Primary control  
Equipment Used: Trimble GPS Equipment (4700, 5700, 5800 Dual Frequency Receivers)  
Control Set Date: February 28, 2008  
Observation Date: November 21, 2007 and February 28, 2008  
Adjustment/Publication Date: November 29, 2007

**Primary Control Used:**

Point	Latitude	Longitude	Ellipsoid	Elevation	Northing	Easting	Description
7_K9	35°04'29.85"N	106°43'56.94"W	5068.99	5140.08	1483375.28	1496536.47	AGRS
10_L9	35°04'22.21"N	106°44'33.24"W	5136.03	5207.17	1482617.47	1495514.59	AGRS
REWARD	35°05'13.72"N	106°44'55.82"W	5248.71	5319.89	1487838.03	1491664.01	AGRS
3_K10	35°04'59.14"N	106°42'38.11"W	5023.51	5094.52	1486305.81	1503103.98	AGRS
7_K10	35°04'38.24"N	106°43'22.09"W	5026.78	5097.85	1484209.99	1499438.30	AGRS
7_L10	35°04'18.50"N	106°43'22.92"W	5016.84	5088.07	1482213.55	1496359.43	AGRS
14_K9	35°04'24.42"N	106°43'49.20"W	5046.93	5118.02	1482823.11	1497177.83	AGRS

**Adjusted Coordinate Listing:**

Point	Latitude	Longitude	Ellipsoid	Elevation	Northing	Easting	Description
BH 08-289-01	35°04'30.32"N	106°43'32.15"W	5030.39	5101.48	1483412.20	1496598.86	Aluminum Cap
BH 08-289-02	35°04'32.00"N	106°43'47.03"W	5054.10	5125.19	1483598.63	1497082.02	Aluminum Cap
BH 08-289-03	35°04'35.04"N	106°43'33.63"W	5034.73	5105.78	1483991.06	1498477.20	Aluminum Cap
BH 08-289-04	35°04'39.74"N	106°43'17.94"W	5024.07	5095.13	1484360.11	1499783.84	Aluminum Cap
BH 08-289-05	35°04'18.32"N	106°43'17.08"W	5012.45	5083.56	1482182.90	1498945.23	PK Nail
BH 08-289-06	35°04'21.59"N	106°43'51.57"W	5051.06	5122.17	1482537.46	1498953.95	PK Nail
BH 08-289-07	35°04'34.80"N	106°43'54.22"W	5055.71	5133.79	1483874.61	1496765.46	PK Nail

**Geospatial Positional Accuracy Report:**

Point	Horizontal Positional Accuracy	Vertical Positional Accuracy
BH 08-289-01	0.086'	0.023'
BH 08-289-02	0.088'	0.037'
BH 08-289-03	0.099'	0.038'
BH 08-289-04	0.095'	0.039'
BH 08-289-05	0.089'	0.038'
BH 08-289-06	0.089'	0.043'
BH 08-289-07	0.098'	0.040'

**Note:** The method for establishing horizontal positions for established control points does not meet the criteria for horizontal positional accuracy classification according to the Geometric Geodetic Accuracy Standards and Specifications for Using GPS Relative Positioning Techniques, August 1, 1998. The estimated Network Horizontal RMS is 0.10' survey feet.

The method for establishing vertical positions for established control points does not meet the criteria for vertical positional accuracy classification according to the Standards and Specifications for Geodetic Control Network, September 1984. The estimated Network Vertical RMS is 0.10 survey feet.

The estimated Network Accuracy of control monuments included in the primary control, used to constrain the position of established control points has a published order of accuracy of 1st order Horizontal, 2nd Class 1 order vertical as published by the City of Albuquerque.

I, Robert Gromatzky, New Mexico Professional Surveyor No. 16469, do hereby certify that this Control Survey Report was prepared by me or under my direct supervision based on an actual survey on the ground as described herein; that I am responsible for this survey; and that the survey and report meets the minimum standards for surveying in New Mexico.

*Robert Gromatzky*  
Robert Gromatzky N.M.P.S. No. 16469  
Date: March 25, 2008

**SURVEYORS CERTIFICATION**

To: Armstrong Development Properties, Inc. a Pennsylvania corporation  
Robert W. Unser and Al Unser, Trustees of the Unser Brothers Real Property Trust dated December 7, 1998  
Doughty Enterprises Inc., a New Mexico Corporation, as to Parcel and Sandia Plaza Partners, LLC, a New Mexico limited liability company  
Fidelity National Title Insurance Company  
Stewart Title Guaranty Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with Minimum Standard Detail requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA, ACSM and NSPS in 2005, and includes items 1, 2, 3, 4, 5, 6, 7(a), 7(b), 7(c), 7(d), 8, 9, 10, 11(a), 11(b), and 13 of Table A thereof. The undersigned does certify that this boundary survey and the actual survey on the ground upon which it is based on was performed by me or under my direct supervision. I am responsible for this survey and that it is true and correct to the best of my knowledge and belief. This Plat meets the minimum standards for surveying in New Mexico. Pursuant to the Accuracy Standards as adopted by ALTA, NSPS, ACSM and in effect on the date of this certification, the undersigned further certifies that in my professional opinion as a Land Surveyor registered in the State of New Mexico, the Relative Positional Accuracy of this survey does not exceed that which is specified therein. The undersigned further certifies there are no gaps, gores, or overlaps along the exterior boundaries of the surveyed premises or interior to those exterior boundaries. This is not a land division or subdivision as defined in the New Mexico Subdivision Act and that this instrument is a boundary survey of an existing tracts of land.

EXECUTED this 25th day of March, 2008.

*Robert Gromatzky*  
Robert Gromatzky  
N.M.P.S. No. 16469



**ALTA/ACSM LAND TITLE SURVEY**

TRACTS 1A, 1B, 2A, 2B, 3A, 3B, 4B  
& TRACT 6 V.E. BARRETT SUBDIVISION  
AND TRACTS 4-A-1, 5-B-1 & 5-B-2  
LANDS OF WFCO, PARTNERS

ALBUQUERQUE, NEW MEXICO  
MARCH, 2008

**DESCRIPTION**

Tracts numbered One-A (1-A), One-B (1-B), Two-A (2-A), Two-B (2-B), Three-A (3-A), Three-B (3-B) and Six (6) of V.E. Barrett Subdivision, to the City of Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico, on February 13, 1967, in Plat Book C6, Page 161.

**AND**

Tracts Four-A-1 (4-A-1), Five-B-1 (5-B-1), and Five-B-2 (5-B-2), Lands of Wefco, Partners, Albuquerque, State of New Mexico, being a replat of all of Tract 4-A and a portion of Tract 5 of the V.E. Barrett Subdivision and portions of Lots numbered 1 thru 6, inclusive, of the H.C. Gonzalez Subdivision, together with a vacated portion of Volcano Road S.W., as the same are shown and designated on the plat of said subdivision, filed in the office of the County Clerk of Bernalillo County, New Mexico on April 6, 1967, in Plat Book C-33, Page 81, records of Bernalillo County, New Mexico;

**AND**

Tract Four-B (4-B) of the V.E. BARRETT SUBDIVISION, to the City of Albuquerque, New Mexico, as the same is shown and designated on the plat of said subdivision, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on February 13, 1967, in Plat Book C6, folio 161.

**TITLE DOCUMENTS**

Title Document Exceptions for Commitment Number: 7100078 (Tracts 1-A, 1-B, 2-A, 2-B, 3-A, 3-B and Tract 6)  
Effective date: October 4, 2007 at 8:00 AM.

- Reservations and exceptions in the Patent by the United States of America recorded on August 21, 1905, in Book 35, Page 91, records of Bernalillo County, New Mexico. (not plottable)
- Easements, and incidental purpose thereto, reserved along the insured premises, as shown on the recorded plat, recorded in Plat Book C6, Page 161, records of Bernalillo County, New Mexico. (as shown on this survey)
- Public Service Company of New Mexico Easement, and incidental purpose thereto, granted to Public Service Company of New Mexico, a New Mexico Corporation, recorded September 5, 2002, in Book A41, Page 1629, as Doc. No. 2002111949, records of Bernalillo County, New Mexico. (as shown on this survey)

Title Document Exceptions for Commitment No.: FT00000544 (Tracts 4-A-1, 5-B-1, 5-B-2 AND 4-B)  
Effective Date: November 14, 2007 at 08:00 AM

- Reservations, exceptions and provisions contained in the patent from the United States of America, and in the acts authorizing the issuance thereof, Recorded: Instrument No. Book 35 Page 91 of Official Records. (not plottable)
- Easements, covenants and other matters shown on the recorded map of said subdivision. Reference is made to said map for full particulars. (as shown on this survey)
- Easements, whether municipally owned, or privately owned, reserved by the City of Albuquerque in vacating ordinance No. ORES-85-628, as set forth in subsection filed for record May 6, 1987 in Book D302A, page 697 as Document No. 8746599 (as shown on this survey).
- Easement granted to Public Service Company of New Mexico by that document recorded September 25, 2002 in Book A42, Page 2638 as document no. 2002122983, records of Bernalillo County, New Mexico (as shown on this survey).
- Easement granted to Public Service Company of New Mexico by that document recorded September 25, 2002 in Book A42, Page 2639 as document no. 2002122984, records of Bernalillo County, New Mexico (as shown on this survey).
- Public Service Company of New Mexico Waiver and Release of Easement filed for record September 27, 2002, in Book A42, page 4167 as Document No. 2002124516, records of Bernalillo County, New Mexico (as shown on this survey)

**Bohannon & Huston**

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335



# V. E. BARRETT SUBDIVISION TO THE CITY OF ALBUQUERQUE, NEW MEXICO

S-1487

### AMENDED PLAT

Correcting distances and bearings on interior tracts and exterior boundaries

#### DEDICATION

THE FOREGOING SUBDIVISION BEING A REPLAT OF LOTS 1 THRU 26 AND 4 PORTION OF LOTS 27 AND 28 BLOCK 1, BLOCK 2, BLOCK 3, BLOCK 4, LOTS 3 THRU 29 OF BLOCK 14, BLOCK 15, BLOCK 16 AND THE SEVERAL VACATED ALLEYS, INCLUDING 75TH STREET, PORTION OF 78TH STREET AND 82ND STREET OF THE ORIGINAL TOWNSITE OF WESTLAND, WITHIN THE TOWN OF ATRISCO GRANT, AND BEING MORE PARTICULARLY DESCRIBED BY SURVEY AS FOLLOWS: BEGINNING AT THE S.E. CORNER OF THE SUBDIVISION HEREIN DESCRIBED SAID CORNER BEING THE S.E. CORNER OF LOT 1, BLOCK 16 OF THE ORIGINAL TOWNSITE OF WESTLAND; THENCE FROM SAID POINT OF BEGINNING N 3° 53' E, 1917.34 FEET; THENCE N 77° 35' 39" W 214.08 FEET; THENCE N 8° 22' 56" E 219.68 FEET; TO THE E. CORNER; THENCE WEST 1161.92 FEET; THENCE SOUTH 10 FEET; THENCE WEST 127.39 FEET; THENCE S 74° 40' W 1248.99 FEET TO THE N.W. CORNER; THENCE S 15° 20' E 122.27 FEET; THENCE S 12° 8' 00" W 610.60 FEET; THENCE S 77° 45' 17" E 1080 FEET; THENCE S 12° 18' 00" W 907.57 FEET TO THE S.W. CORNER; THENCE EAST 2856.57 FEET TO THE S.E. CORNER AND POINT OF BEGINNING, CONTAINING 159.820 ACRES, MORE OR LESS, SUBDIVIDED AS THE SAME APPEARS HEREON COMPRISING TRACTS 1-A THRU 4-A, TRACTS 1-B THRU 4-B AND TRACTS 5 THRU 14, THE OWNERS AND PROPRIETORS OF THIS PROPERTY DO HEREBY DEDICATE THE SEVERAL PUBLIC HIGHWAYS, ELECTRIC POWER AND TELEPHONE LINE EASEMENTS TOGETHER WITH THE UNDERGROUND UTILITY EASEMENT AS SHOWN ON THIS PLAT, ALL PORTIONS OF THE PLAT OF THE ORIGINAL TOWNSITE OF WESTLAND LYING WITHIN THE BOUNDARIES OF THIS REPLAT EXCEPT BRIDGE BOULEVARD ARE VACATED.

(SEE SIGNATURES OF OWNERS AND PROPRIETORS AT BOTTOM OF THIS SHEET)

TION JOINED BY THE ALBUQUERQUE NATIONAL BANK, A NATIONAL BANKING ORGANIZATION EXECUTOR OF THE ESTATE OF VINCENT E. BARRETT, (DECEASED)

*John F. Stannaway* VICE PRESIDENT  
*Frank E. Williams* ATTEST - ASS'T. CASHIER

STATE OF NEW MEXICO )  
COUNTY OF BERNALILLO)

The foregoing instrument was acknowledged, before me this 16th day of November 1966 by John F. Stannaway, Vice President of THE ALBUQUERQUE NATIONAL BANK a national banking organization organized under the laws of the United States of America on behalf of said organization  
My Commission Expires: September 16, 1969  
*Theresa P. School*  
*Theresa P. School*

APPROVED FOR UTILITIES, ETC.

- E. J. Stannaway* 10-5-66 PUBLIC SERVICE CO.
- Charles Howard* 10-5-66 MOUNTAIN STATES TEL. & TEL. CO.
- Ray M. Summers* 10-5-66 SOUTHWESTERN UNION GAS CO.
- Edwin J. Cook* 10-5-66 CITY TRAFFIC ENGINEER
- William J. Deane* 10-5-66 CITY ENGINEER
- Robert B. Berman* 10-5-66 DIRECTOR OF PARKS AND RECREATION
- R. F. Acuff* 10-19-66 CHAIRMAN, CITY PLANNING COMMISSION
- H. G. Curtis* 10-19-66 EXEC. SECRETARY, CITY PLANNING COMMISSION

WHITEMAN ENGINEERING CO.  
3609 PALO DURO AVE. N.E.  
ALBUQUERQUE, NEW MEXICO

LAND PLANNING  
KENNETH W. LARSEN & ASSOC.  
505 FRUIT AVE. N.W.  
ALBUQUERQUE, NEW MEXICO

State of New Mexico  
County of Bernalillo  
The undersigned  
Notary Public  
My Commission Expires  
Notary Public  
My Commission Expires  
Notary Public  
My Commission Expires



I, *Y. MALONE*, CITY CLERK OF THE CITY OF ALBUQUERQUE, NEW MEXICO, DO HEREBY CERTIFY THAT THE PLAT UPON WHICH THIS CERTIFICATE APPEARS WAS APPROVED FOR FILING BY THE CITY COMMISSION OF SAID CITY OF ITS MEETING HELD ON THE 21st DAY OF OCTOBER, 1966.

I, *DOUGLAS E. WHITEMAN*, P.E. & L.S. NO. 1544, DO HEREBY CERTIFY THAT THE ABOVE SUBDIVISION WAS PREPARED UNDER MY SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

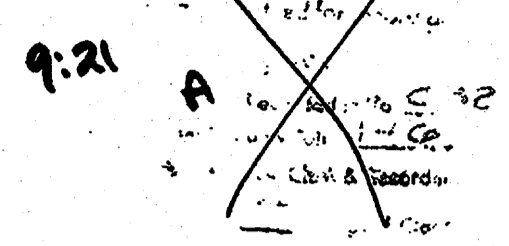
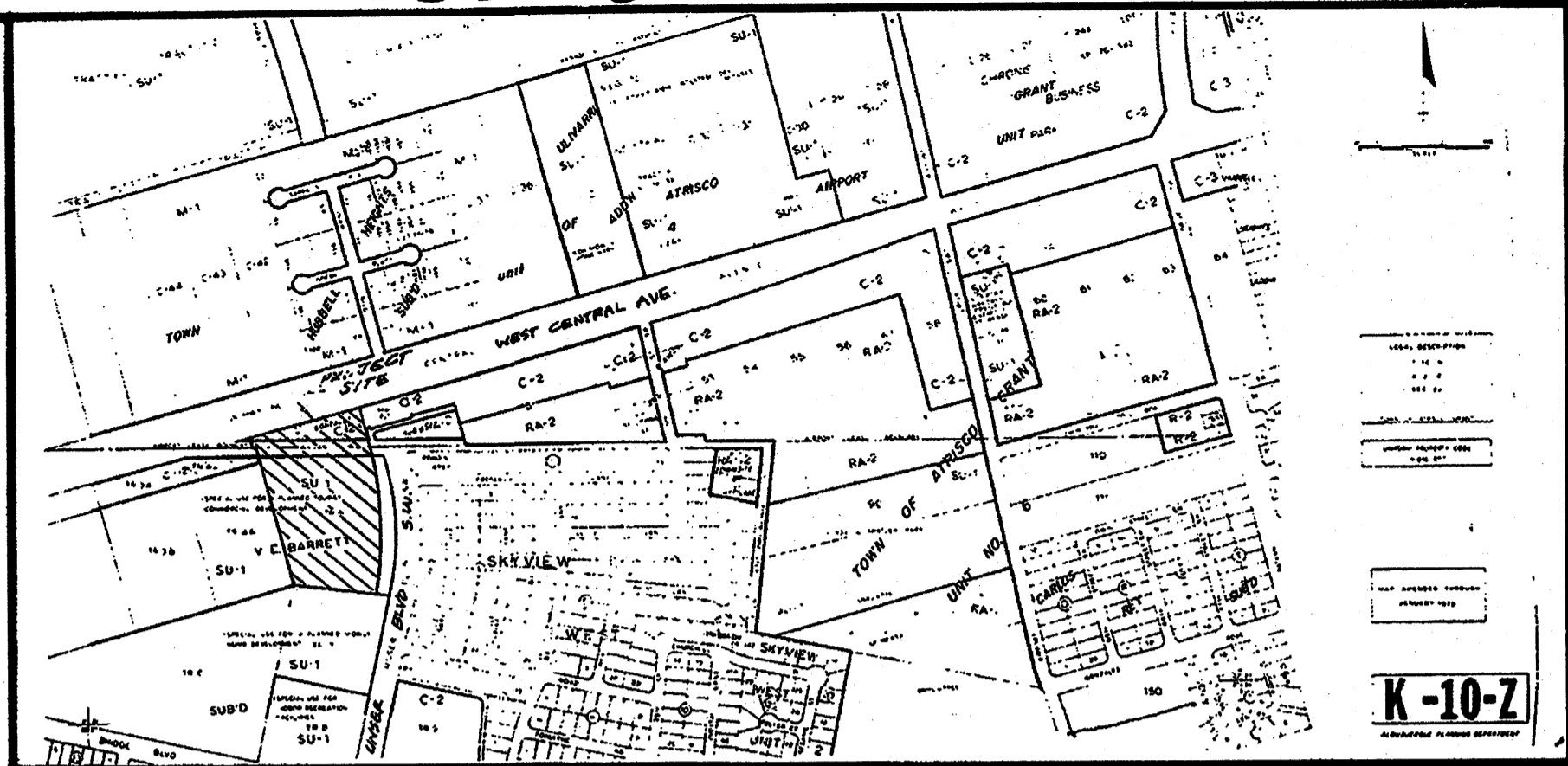
WE, THE REAL ESTATE TAX SERVICE HEREBY CERTIFY THAT ALL TAXES HAVE BEEN PAID IN FULL FOR THE PERIOD OF THE LAST TEN YEARS, UP TO AND INCLUDING 1965 FOR ALL THE PROPERTY INCLUDED IN THE PLAT, V.E. BARRETT SUBDIVISION, A SUBDIVISION IN THE CITY OF ALBUQUERQUE, NEW MEXICO, UPON WHICH THIS CERTIFICATE APPEARS.

*James Van Fleet* 10-19-66  
NAME DATE

NOTE:  
THE NECESSARY DRAINAGE EASEMENTS WILL BE PROVIDED THROUGH TRACT 10 WHEN REQUIRED BY THE CITY OF ALBUQUERQUE OR UPON THE PLATTING AND SUBDIVIDING OF THIS TRACT, WHICHEVER OCCURS FIRST.

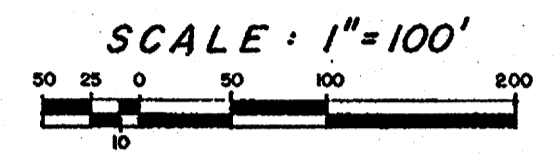
#### APPROVAL OF DEDICATION BY OWNERS & PROPRIETORS:

<i>Alvie A. Barrett</i> ALVIE A. BARRETT Before me personally appeared 9-23-67 My Commission Expires Notary Public Albuquerque, New Mexico	<i>Mrs. Vernon Barrett</i> MRS. VERNON BARRETT Before me personally appeared 6-1-67 My Commission Expires Notary Public Albuquerque, New Mexico	<i>William M. Salazar</i> WILLIAM M. SALAZAR Before me personally appeared 10-31-66 My Commission Expires Notary Public Albuquerque, New Mexico	<i>John F. Stannaway</i> JOHN F. STANNAWAY Before me personally appeared 10-5-66 My Commission Expires Notary Public Albuquerque, New Mexico	<i>Frank E. Williams</i> FRANK E. WILLIAMS Before me personally appeared 10-5-66 My Commission Expires Notary Public Albuquerque, New Mexico	<i>Miss H. C. Cramer</i> MISS H. C. CRAMER Before me personally appeared 10-5-66 My Commission Expires Notary Public Albuquerque, New Mexico
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08734995

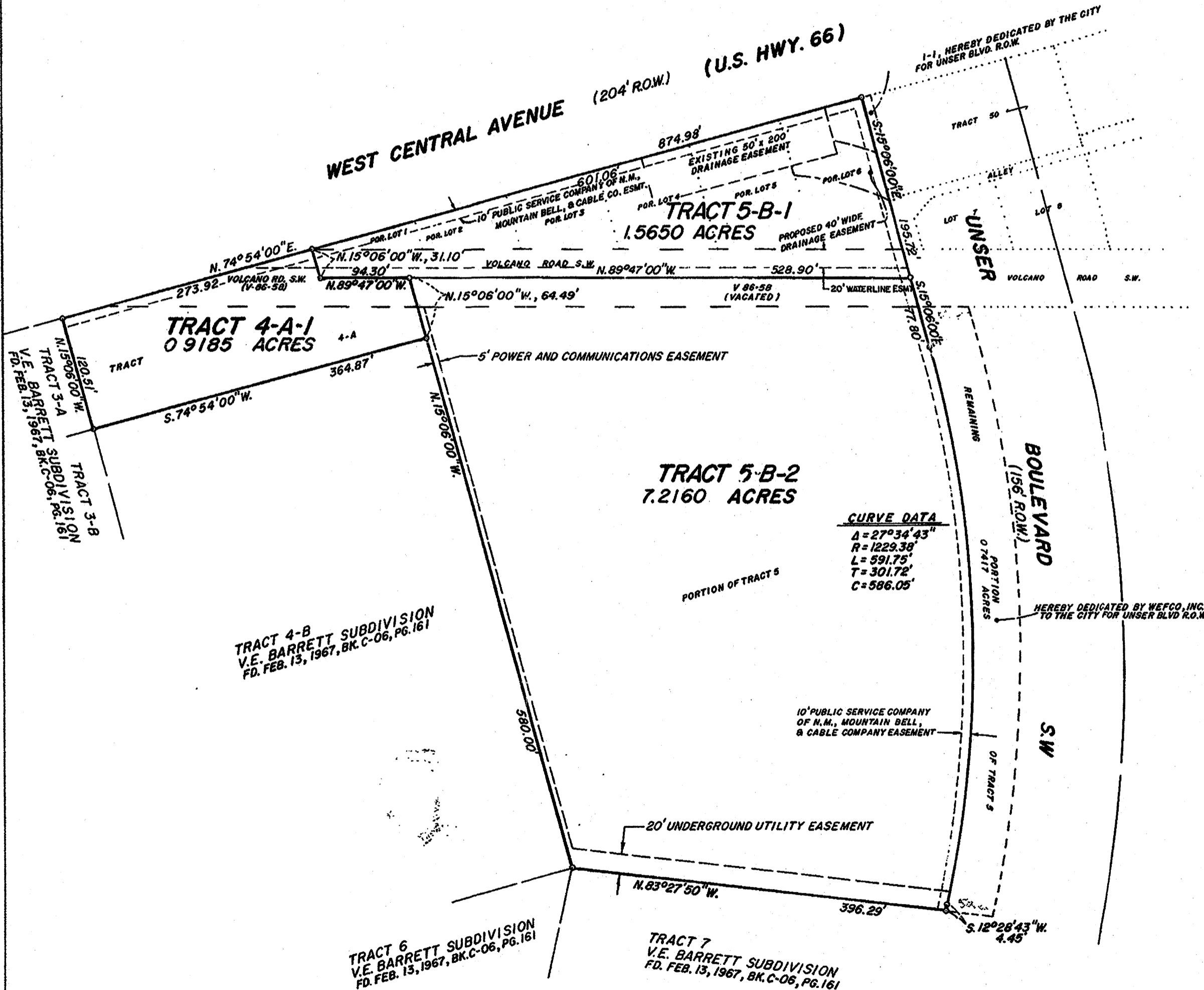
A PLAT OF  
**TRACT 4-A-1 AND TRACTS 5-B-1 AND 5-B-2**  
 LANDS OF WEFCO, PARTNERS  
 BEING A REPLAT OF ALL OF TR. 4-A AND A POR. OF TR. 5 OF THE  
 V.E. BARRETT SUBDIVISION AND PORTIONS OF LOTS  
 1 THRU 6, INCLUSIVE, OF THE H.C. GONZALEZ SUB-  
 DIVISION, TOGETHER WITH A VACATED PORTION OF  
 VOLCANO ROAD S.W.  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
 AUGUST 1986  
 SHEET 1 OF 2



The purpose of refiling this plat is to add the signature of Gene Romo,  
 the City of Albuquerque Chief Administrative Officer.

State of New Mexico }  
 County of Bernalillo }  
 This instrument was filed for record on  
**APR 6 1987**  
 of records of said County Folio **81112**  
 Clerk & Recorder

- NOTES:
- 1) Basis of Bearings - H. C. Gonzales' plat, filed June 20, 1951, in Book C-1, folio 182.
  - 2) Purpose of this platting is to create lots and dedicate street right-of-way.
  - 3) No field work performed.



NOTE:  
 The full vacated right-of-way width of Volcano Road S.W. shall be retained for temporary vehicular traffic until such time that Unser Blvd. S.W. is constructed, and shall be designated as a "Temporary Access Easement."

CITY/COUNTY APPROVALS:

<i>Rosie Shuell</i> Property Management	11-7-86
<i>Frank Willet</i> City Surveyor	092386
<i>Jon E. Edsgaard</i> City Water Resources	11-18-86
<i>Frank Prognos</i> City Engineer	12/31/86
<i>Robert A. ...</i> A.M.A.F.C.A. Traffic Engineer	12/31/86
<i>Robert A. ...</i> Traffic Engineer	12-1-86
<i>James H. ...</i> Parks and Recreation	11-18-86
<i>Jack Cloud</i> City Planning Director	12-31-86

**SURVEYOR'S CERTIFICATION**  
 I, Franklin E. Wilson, a registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my supervision and meets the minimum requirements of monumentation and surveys of the Comprehensive Subdivision Ordinance, and that it is true and correct to the best of my knowledge and belief.

*Franklin E. Wilson*  
 Franklin E. Wilson, S.P.No. 6446 Date

SOUTHWEST SURVEYING COMPANY, INC. 333 Lomas N.E., Albuquerque, N.M. 87102  
 (505) 247-4444

**ACKNOWLEDGEMENT**  
 STATE OF NEW MEXICO  
 COUNTY OF BERNALILLO

**DANIEL M. GRANEY**  
 NOTARY PUBLIC STATE OF NEW MEXICO  
 Notary Bond Filed with Secretary of State  
 My Commission Expires 8-2-87

The foregoing instrument was acknowledged before me this 10<sup>th</sup> day of Sept, 19 86, by Franklin E. Wilson.  
 My Commission Expires: 8-8-87  
*Daniel M. Graney*  
 Notary Public

A PLAT OF  
**TRACT 4-A-1 AND TRACTS 5-B-1 AND 5-B-2**  
**LANDS OF WEFCO, PARTNERS**  
 BEING A REPLAT OF ALL OF TR. 4-A AND A POR. OF TR. 5 OF THE  
 V.E. BARRETT SUBDIVISION AND PORTIONS OF LOTS  
 1 THRU 6, INCLUSIVE, OF THE H.C. GONZALEZ SUB-  
 DIVISION, TOGETHER WITH A VACATED PORTION OF  
 VOLCANO ROAD S.W.  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
 AUGUST 1986  
 SHEET 2 OF 2

8794995

State of New Mexico }  
 County of Bernalillo } 33  
 This instrument was filed for record on  
 109 APR 6 1987  
 of records of said County, Folio 8222  
 Clerk & Recorder

9:21  
 A  
 S

John Myer 10/23/86  
 MOUNTAIN BELL DATE  
John Myer 10/23/86  
 PUBLIC SERVICE COMPANY OF NEW MEXICO DATE  
Mal Grubbs 10/23/86  
 GAS COMPANY OF NEW MEXICO DATE

NOTES:

- 1) Tract 5-A as shown hereon is hereby dedicated to the City for Unser Blvd. right-of-way in exchange for City granting to WEFCO Partners the vacated portion of Volcano Road and that portion of Lot 6 of said H. C. Gonzales Subdivision south of Central, except the Easterly 10 feet, known as Parcel 1-1.

LEGAL DESCRIPTION - Tract 5-A

A certain tract, being the Easterly portion of Tract 5 of the V. E. BARRETT SUBDIVISION to the City of Albuquerque, New Mexico, as the same is shown and designated on said plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on November 18, 1966, in Book C-6, folio 143, and being more particularly described as follows:

BEGINNING at the Southeast corner of said tract, being the same Southeast corner of said Tract 5; thence, N 83° 27' 50" W, 50.26 feet to the Southwest corner; thence, N 12° 28' 43" E, 4.45 feet to a point of curvature; thence along a curve to the left having a radius of 1229.38 feet, a distance of 591.75 feet to a point of tangent; thence, N 15° 06' 00" W, 46.70 feet to the Northwest corner; thence, S 89° 47' 00" E, 51.85 feet to the Northeast corner; thence, S 15° 06' 00" E, 32.99 feet to a point of curvature; thence along a curve to the right having a radius of 1279.38 feet, a distance of 615.81 feet to the point of beginning, and containing 0.7414 acres, more or less.

- 2) Parcel 1-1 hereby dedicated to Unser Blvd. right-of-way, and being more particularly described as follows:

LEGAL DESCRIPTION - Parcel 1-1

A parcel of land situate within the Southwest 1/4 of Section 22, Township 10 North, Range 3 East, New Mexico Principal Meridian. Said parcel of land being the Easterly 10.00 feet of that portion of Lot 6 of H. C. Gonzales Subdivision of a portion of Tract 50, Unit No. 6, Town of Atrisco Grant, Albuquerque, New Mexico lying south of the southerly right-of-way line of Central Avenue West (U.S. Hwy. 66), and being more particularly described as follows:

Beginning at the point of intersection of the southerly right-of-way line of Central Ave. West (U.S. Hwy. 66) and the easterly line of Lot 6 of H. C. Gonzales Subdivision of a portion of Tract 50, Unit No. 6, Town of Atrisco Grant, Albuquerque, New Mexico, as said Lot 6 is shown on the plat of said subdivision filed for record in the office of the County Clerk of Bernalillo County, New Mexico on June 20, 1951, whence the Northeast corner of said Lot 6 bears N 15° 06' 00" W, a distance of 80.00 feet; Thence, S 15° 06' 00" E, along the easterly line of said Lot 6, a distance of 110.00 feet; Thence, S 74° 54' 00" W, along the southerly line of said Lot 6, a distance of 10.00 feet; Thence, N 15° 06' 00" W, a distance of 110.00 feet; Thence, N 74° 54' 00" W, along said southerly right-of-way line of Central Avenue West (U.S. Hwy. 66), 10.00 feet to the point of beginning, and containing 0.0253 acres, more or less.

- 3) Volcano Road right-of-way hereby granted to WEFCO Partners in exchange for Tract 5-A being dedicated to City for Unser Blvd. right-of-way.

FREE CONSENT & DEDICATION

The above plat is with the free consent of the undersigned owner(s). The undersigned owner(s) have title and acknowledge that this plat is within the covenants and restrictions on this property. The undersigned owner(s) do hereby dedicate the utility easements as shown hereon, including ingress, egress, maintenance, and the right to trim interfering trees.

LEGAL DESCRIPTION - Tracts 5-B & 4-A-1

A certain tract of land comprising the Southerly portions of Lots 1 through 6 inclusive of the H. C. GONZALEZ SUBDIVISION of a portion of Tract 50, Unit No. 6, Town of Atrisco Grant, as filed in the office of the County Clerk of Bernalillo County, New Mexico on June 20, 1951, in Book C-1, folio 182, together with a portion of Tract 5 and all of Tract 4 of the V. E. BARRETT SUBDIVISION to the City of Albuquerque, New Mexico, as the same is shown and designated on said plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on November 18, 1966, in Book C-6, folio 143, and a portion of vacated Volcano Road S.W. (V-86-58) being situate between said H. C. Gonzales Subdivision and V. E. Barrett Subdivision, and being more particularly described as follows:

BEGINNING at the Southwest corner of said tract, being the same point as the Southwest corner of said Tract 5 of the V. E. Barrett Subdivision; thence, N 15° 06' 00" W, 580.00 feet to a point; thence, S 74° 54' 00" W, 364.87 feet to a point; thence, N 15° 06' 00" W, 120.51 feet to the Northwest corner, a point on the South right-of-way of West Central Avenue; thence, N 74° 54' 00" E, 874.98 feet along said right-of-way to the Northeast corner, a point of intersection with the West right-of-way of Unser Blvd. S.W.; thence leaving said West Central Avenue right-of-way, S 15° 06' 00" E, 273.52 feet along the said West right-of-way of Unser Blvd. S.W. to a point of curvature; thence along a curve to the right having a radius of 1229.38 feet, a distance of 591.75 feet to a point of tangent; thence, S 12° 28' 43" W, 4.45 feet to the Southeast corner; thence leaving said right-of-way, N 83° 27' 50" W, 396.29 feet to the point of beginning, and containing 9.6995 acres, more or less.

and is with the free consent and in accordance with the desires of the undersigned owner(s) and proprietor(s) thereof.

The undersigned owner(s) hereby dedicate additional right-of-way as shown hereon  
W. J. Down 9-17-1986  
 Owner(s) WEFCO PARTNERS ARTHUR W. Down Date

ACKNOWLEDGEMENT

STATE OF NEW MEXICO )  
 COUNTY OF BERNALILLO )



OFFICIAL SEAL  
 DANIEL M. GRANEY  
 NOTARY PUBLIC - STATE OF NEW MEXICO  
 Notary Bond Filed with Secretary of State  
 My Commission Expires 8-8-87

The foregoing instrument was acknowledged before me this 17th day of September, 1986.

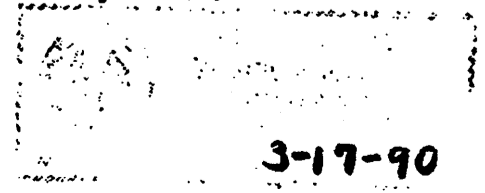
BY: WEFCO PARTNERS, ARTHUR W. Down  
 My Commission Expires: 8-8-87  
Daniel M. Graney  
 Notary Public

The above plat is with the free consent of the undersigned owner(s).

Gene Romo 3-11-87  
 CITY OF ALBUQUERQUE, C.A.O., GENE ROMO Date

ACKNOWLEDGEMENT

The foregoing instrument was acknowledged before me this 11th day of March, 1986, by Gene Romo, Chief Administrative Officer  
 My Commission Expires: 3-17-90  
Priscilla Phillips  
 Notary Public



Prior to development, City of Albuquerque Water and Sanitary Sewer Service to these properties must be verified and coordinated with the Public Works Department, City of Albuquerque, via a request for a water and sanitary sewer availability statement.

080289-010