



DRB CASE ACTION LOG (SDP – Building P.)

REVISED 10/08/07

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 08DRB-70036

Project # 1007231

Project Name: Original Townsite of Westland

Agent: Howard Cake

Phone No.: (480) 443-3705

Your request was approved on 2-4-09 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: — see comments
- UTILITIES: _____
- CITY ENGINEER / AMAFCA: _____
- PARKS / CIP: _____
- PLANNING (Last to sign): Full landscape plan on one sheet
JG
2-13-09
- Planning must record this plat. Please submit the following items:
- The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
 - 3 copies of the approved site plan. Include all pages.
 - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
 - Property Management's signature must be obtained prior to Planning Department's signature.
 - AGIS DXF File approval required.
 - Copy of recorded plat for Planning.



DRB CASE ACTION LOG (SDP – Building P.)

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OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: - see comments

UTILITIES:

CITY ENGINEER / AMAFCA:

PARKS / CIP:

PLANNING (Last to sign): - full landscape plan on site sheet

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). **RECORDED DATE:** _____
 - Tax printout from the County Assessor.
 - 3 copies of the approved site plan. Include all pages.
 - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
 - Property Management's signature must be obtained prior to Planning Department's signature.
 - AGIS DXF File approval required.
 - Copy of recorded plat for Planning.

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND
MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

2. **Project# 1007008**
09DRB-70037 EPC APPROVED SDP
FOR BUILD PERMIT
09DRB-70039 EPC APPROVED SDP
FOR SUBDIVISION

DARREN SOWELL ARCHITECTS agent(s) for RANDY KAUFMAN request(s) the above action(s) for all or a portion of Lot(s) 25 & X, Tract(s) 2, **GRACELAND ACRES ADDITION** zoned R-1, located on NW CORNER OF CANDELARIA RD NE AND ARNO ST NE containing approximately .56 acre(s). (G-15) **WITH AN APPROVED GRADING AND DRAINAGE PLAN DATED 10/30/08, THE SITE DEVELOPMENT PLANS FOR BUILDING PERMIT AND SUBDIVISION WERE APPROVED WITH FINAL SIGN-OFF DELEGATED TO TRANSPORTATION TO COMPLY WITH WRITTEN COMMENTS AND TO PLANNING TO ERASE WATERLINE ON COVER SHEET, A REVISED UTILITY PLAN AND FOR SOLID WASTE INFORMATION TO BE REMOVED.**

3. **~~Project# 1007231~~**
09DRB-70036 MINOR - SDP FOR
BUILDING PERMIT

HOWARD CAKE agent(s) for PENSKE TRUCK LEASING request(s) the above action(s) for all or a portion of Block(s) 11, Tract(s) B, **ORIGINAL TOWNSITE OF WESTLAND** zoned SU-2 FOR IP, located on CENTRAL BLVD SW BETWEEN 94TH SW AND 86TH SW containing approximately 3.6 acre(s). (K-9) **THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO TRANSPORTATION FOR COMMENTS AND TO PLANNING FOR FULL LANDSCAPE PLAN ON ONE SHEET.**

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT

February 4, 2009

DRB Comments

ITEM # 3

PROJECT # 1007231

APPLICATION # 09-70036

RE: Lot B, Block 11, Original Townsite of Westland

The Landscape Plan needs to comply with Section 14-16-3-10 of the Zoning Code – live ground cover needs to be included. Additionally, the entire street frontage of 94th Street needs to be landscaped.



Jack Cloud AICP, DRB Chairman
924-3880/ jcloud@cabq.gov

12. **Project# 1007442**
08DRB-70375 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

THE SURVEY OFFICE agent(s) for 3821 SINGER LLC request(s) the above action(s) for all or a portion of Tract(s) 6B-1 & 7-B, **MIDWAY BUSINESS PARK** zoned IP, located on MIDWAY PARK BLVD NE BETWEEN SINGER BLVD NE AND OFFICE BLVD NE containing approximately 3.54 acre(s). (E-17) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION FOR EXHIBIT SHOWING LOCATION OF SIDEWALK, PAVEMENT ,CURB AND GUTTER AND DISTANCE OF FACE OF CURB TO PROPERTY LINE. A COPY OF THE RECORDED PLAT MUST BE PROVIDED TO PLANNING IN ADDITION TO AGIS DXF FILE.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

13. **Project# 1006964**
08DRB-70372 SKETCH PLAT REVIEW
AND COMMENT

JACKS HIGH COUNTRY INC agent(s) for SANTOSH MODY request(s) the above action(s) for all or a portion of zoned C-2, located on CENTRAL AVE SE BETWEEN SAN MATEO SE AND MADERIA SE containing approximately 3.6719 acre(s). (K-18) **THE ABOVE ITEM WAS REVIEWED AND COMMENTS WERE GIVEN.**

14. ~~**Project# 1007231**~~
08DRB-70371 SKETCH PLAT REVIEW
AND COMMENT

K/G ARCHITECTS agent(s) for K/G ARCHITECTS request(s) the above action(s) for all or a portion of Lot(s) B & 12, Block(s) 11, zoned SU-2 IP, located on CENTRAL AVE W BETWEEN 94TH ST SW AND 90TH ST SW (K-9) **THE ABOVE ITEM WAS REVIEWED AND COMMENTS WERE GIVEN.**

15. **Project# 1007437**
08DRB-70369 SKETCH PLAT REVIEW
AND COMMENT

WAYJOHN SURVEYING INC agent(s) for GALLOWAY request(s) the above action(s) for all or a portion of Block(s) 2, Tract(s) A-1, **MESA PARK ADDITION** zoned C-1, located on ARIZONA SE BETWEEN ZUNI RD SE AND BELL AVE SE containing approximately .5792 acre(s). (L-18) **THE ABOVE ITEM WAS REVIEWED AND COMMENTS WERE GIVEN.**

16. Other Matters: None

ADJOURNED: 10:00

8. **Project# 1007139**
08DRB-70299 VACATION OF PUBLIC
EASEMENT
08DRB-70304 SIDEWALK WAIVER
08DRB-70305 MINOR - TEMP DEFR
SWDK CONST
08DRB-70306 MAJOR - PRELIMINARY
PLAT APPROVAL
08DRB-70307 MAJOR - SDP FOR
SUBDIVISION

MARK GOODWIN AND ASSOCIATES PA agent(s) for JUAN TABO HILLS LLC request(s) the above action(s) for all or a portion of Tract(s) 3-A & 4-A, **JUAN TABO HILLS Unit(s) 1**, zoned RD, SU-1, located on JUAN TABO BLVD SE BETWEEN N GULFSTREAM DR SE AND TIJERAS ARROYO containing approximately 14.3953 acre(s). (M-22) [Deferred from 7/30/08] **DEFERRED TO 9/17/08 AT THE AGENT'S REQUEST.**

9. **Project# 1007140**
08DRB-70297 VACATION OF PUBLIC
EASEMENT
08DRB-70300 SIDEWALK WAIVER
08DRB-70301 MINOR - TEMP DEFR
SWDK CONST
08DRB-70302 MAJOR - SDP FOR
SUBDIVISION
08DRB-70303 MAJOR - PRELIMINARY
PLAT APPROVAL

MARK GOODWIN AND ASSOCIATES PA agent(s) for JUAN TABO HILLS, LLC request(s) the above action(s) for all or a portion of Tract(s) 2-A, A-C, **JUAN TABO HILLS, UNIT 1** zoned AD, SU-1, located on JUAN TABO BLVD BETWEEN VIA POSADA RD AND JULFSTREAM DR containing approximately 41.0242 acre(s). (M-22) [Deferred from 7/30/08] **DEFERRED TO 9/17/08 AT THE AGENT'S REQUEST.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

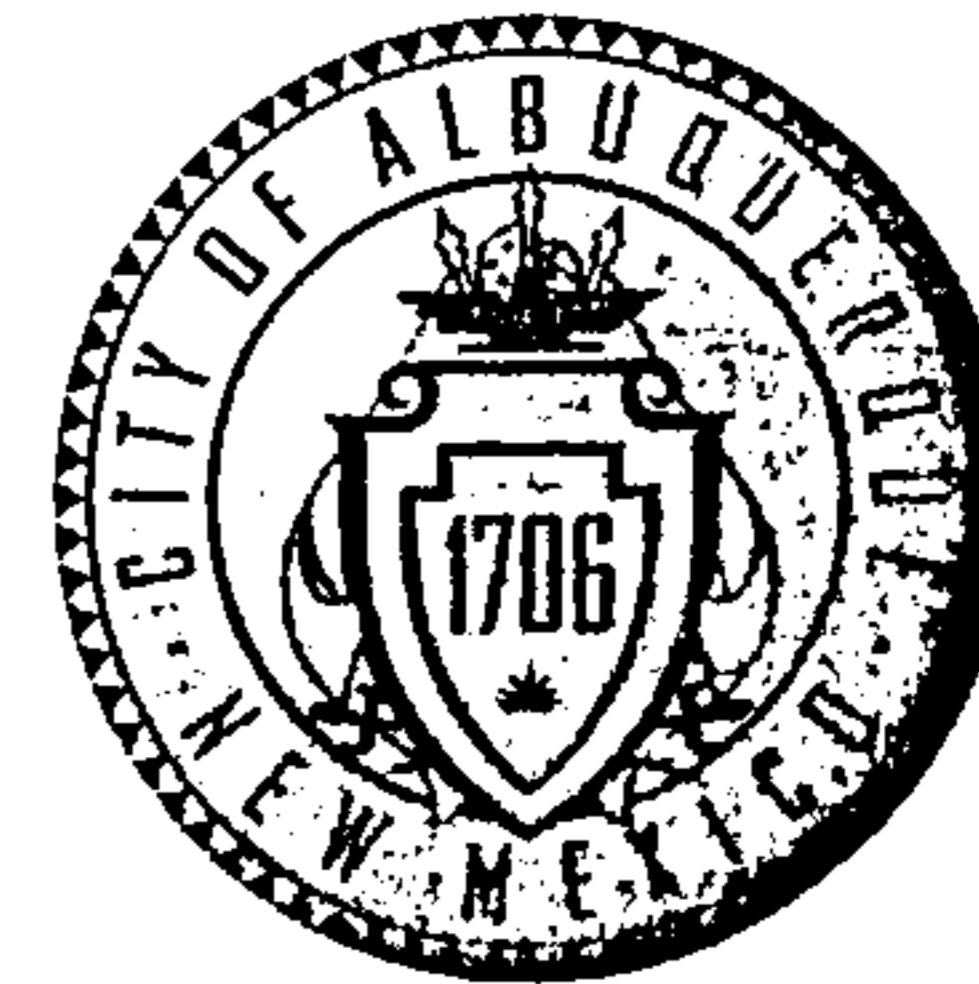
10. **Project# 1007440**
08DRB-70373 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

ROBERT LUPTON agent(s) for REX P WILSON request(s) the above action(s) for all or a portion of Lot(s) 14A & 15a, Block(s) 34, **PARKLAND HILLS ADDITION**, zoned R-1, located on RIDGECREST DR SE AND LAUREL CIR SE containing approximately .4807 acre(s). (L-17) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION FOR SITE SKETCH TO VERIFY LOCATION OF PAVEMENT, SIDEWALK AND CURB AND GUTTER AND INDICATION OF DISTANCE OF FACE OF CURB TO PROPERTY LINE, AND TO PLANNING FOR A SITE SKETCH INDICATING WHERE THE EXISTING BUILDINGS ARE LOCATED AND VERIFICATION OF SETBACKS, AND AGIS DXF FILE.**

11. **Project# 1007441**
08DRB-70374 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

ROBERT LUPTON agent(s) for REX P WILSON request(s) the above action(s) for all or a portion of Lot(s) 5A, 10A & 11A, Block(s) 61, **PARKLAND HILLS ADDITION** zoned R-1, located on INSPIRATION DR SE BETWEEN TRUMBULL SE AND ADAMS ST SE containing approximately .5129 acre(s). (L-17) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION FOR EXHIBIT INDICATING LOCATION OF PAVEMENT, SIDEWALK AND CURB AND GUTTER AND DISTANCE OF FACE OF CURB TO PROPERTY LINE AND TO PLANNING FOR A SITE SKETCH VERIFYING SETBACKS, AND FOR AGIS DXF FILE.**

CITY OF ALBUQUERQUE



CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1007231

AGENDA ITEM NO: 14

SUBJECT:

Sketch Plat/Plan

ACTION REQUESTED:

REV/CMT:(x) APP:() SIGN-OFF:() EXTN:() AMEND:()

PO Box 1293

ENGINEERING COMMENTS:

No adverse comments.

Albuquerque

NM 87103

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED *discussed* X; WITHDRAWN

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee
924-3986

DATE: September 3, 2008

**ALBUQUERQUE
PLANNING DEPARTMENT
September 3, 2008
DRB Comments**

ITEM # 14

PROJECT # 1007231

APPLICATION # 08-70371

RE: Lots B and 22, Block 11, Original Townsite of Westland

This site is within the West Route 66 Sector Development Plan – it is advised that the plan be reviewed with Zoning Enforcement, as this will be the division that reviews and approves building permits.

Site Development Plan approval by the DRB is required - again, refer to the West Route 66 Sector Plan.



Jack Cloud AICP, DRB Chairman
924-3880/ jcloud@cabq.gov

City of Albuquerque Planning Department

One Stop Shop – Development and Building Services

01/27/2009 Issued By: PLNSDH

Permit Number: 2009 070 036

Category Code 910

Application Number: 09DRB-70036, Minor - Sdp For Building Permit

Address:

Location Description: CENTRAL BLVD SW BETWEEN 94TH SW AND 86TH SW

Project Number: 1007231

Applicant
Penske Truck Leasing

Agent / Contact
Howard Cake

1541 West Bell De Mar Dr 2nd Flr
Tempe AZ 85283
480-755-1714

6501 Americas Parkway Ne Ste 400
Albuquerque NM 87110
348-5188

Application Fees

441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	\$20.00
441008/4983000	DRB Actions	\$385.00
TOTAL:		\$405.00

City of Albuquerque
Treasury Division

1/27/2009 11:05AM LOC: ANNX
 WSH 007 TRANS# 0012
 RECEIPT# 00109858-00109858
 PERMIT# 2009070036 TRSLJS
 Trans Amt \$405.00
 Conflict Manag. Fee \$385.00
 DRB Actions *405.00
 MC *0.00
 CHANGE

Thank You



Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- D** Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

Professional/Agent (if any): HOWARD CAKE PHONE: (505) 348-5186
 ADDRESS: 6501 AMERICAS PARKWAY NE, SUITE 400 FAX: (505)
 CITY: ALBUQUERQUE STATE NM ZIP 87110 E-MAIL: hcake@whpacific.com

APPLICANT: PENSKE TRUCK LEASING PHONE: 480-755-1714
 ADDRESS: 1541 WEST BELL DE MAR DRIVE 2nd FLOOR FAX: 480-755-4350
 CITY: TEMPE, AZ 85283 STATE AZ ZIP 85283 E-MAIL: EDWARD.KRESS@PENSKE.COM

Proprietary interest in site: _____ List all owners: _____

DESCRIPTION OF REQUEST: SITE PLAN APPROVAL FOR INTERIOR REMODEL AND PAVEMENT OVERLAY.

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. TRACT B Block: 11 Unit: _____
 Subdiv/Addn/TBKA: ORIGINAL TOWNSITE OF WESTLAND
 Existing Zoning: SU-2 IP Proposed zoning: SU-2
 Zone Atlas page(s): K-9 UPC Code: _____ MRGCD Map No _____

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): _____
DRB - 1007231

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No
 No. of existing lots: 1 No. of proposed lots: 1 Total area of site (acres): 3.6
 LOCATION OF PROPERTY BY STREETS: On or Near: CENTRAL BLVD SW
 Between: 94th SW and 86th SW

Check-off if project was previously reviewed by Sketch Plat/Plan or Pre-application Review Team . Date of review: 9/3/2008

SIGNATURE Howard Cake DATE 1/20/09
 (Print) HOWARD CAKE Applicant: Agent:

FOR OFFICIAL USE ONLY

Form revised 4/07

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>09DRB-70036</u>	<u>SBP</u>	<u>PL(3)</u>	<u>\$ 385.00</u>
_____	<u>CME</u>	_____	<u>\$ 20.00</u>
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
Total			<u>\$ 405.00</u>

Hearing date 02/04/09

Sandy Handley 01/27/09
 Planner signature / date

Project # 1007231

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** **Maximum Size: 24" x 36"**
- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)** **Maximum Size: 24" x 36"**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Completed Site Plan for Subdivision Checklist
 - Infrastructure List, if relevant to the site plan
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)** **Maximum Size: 24" x 36"**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB - PER RUSSELL PER NO. ROUTE 66 PLAN SU-2-1P PG. 75 GOES TO DRB. N
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist
 - Copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01)** **Maximum Size: 24" x 36"**
- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02)** **Maximum Size: 24" x 36"**
- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)**
- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Solid Waste Management Department signature on Site Plan for Building Permit
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
 - Infrastructure List, if relevant to the site plan
 - Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Howard CAKE
Applicant name (print)

Howard Cake 1/27/09
Applicant signature / date



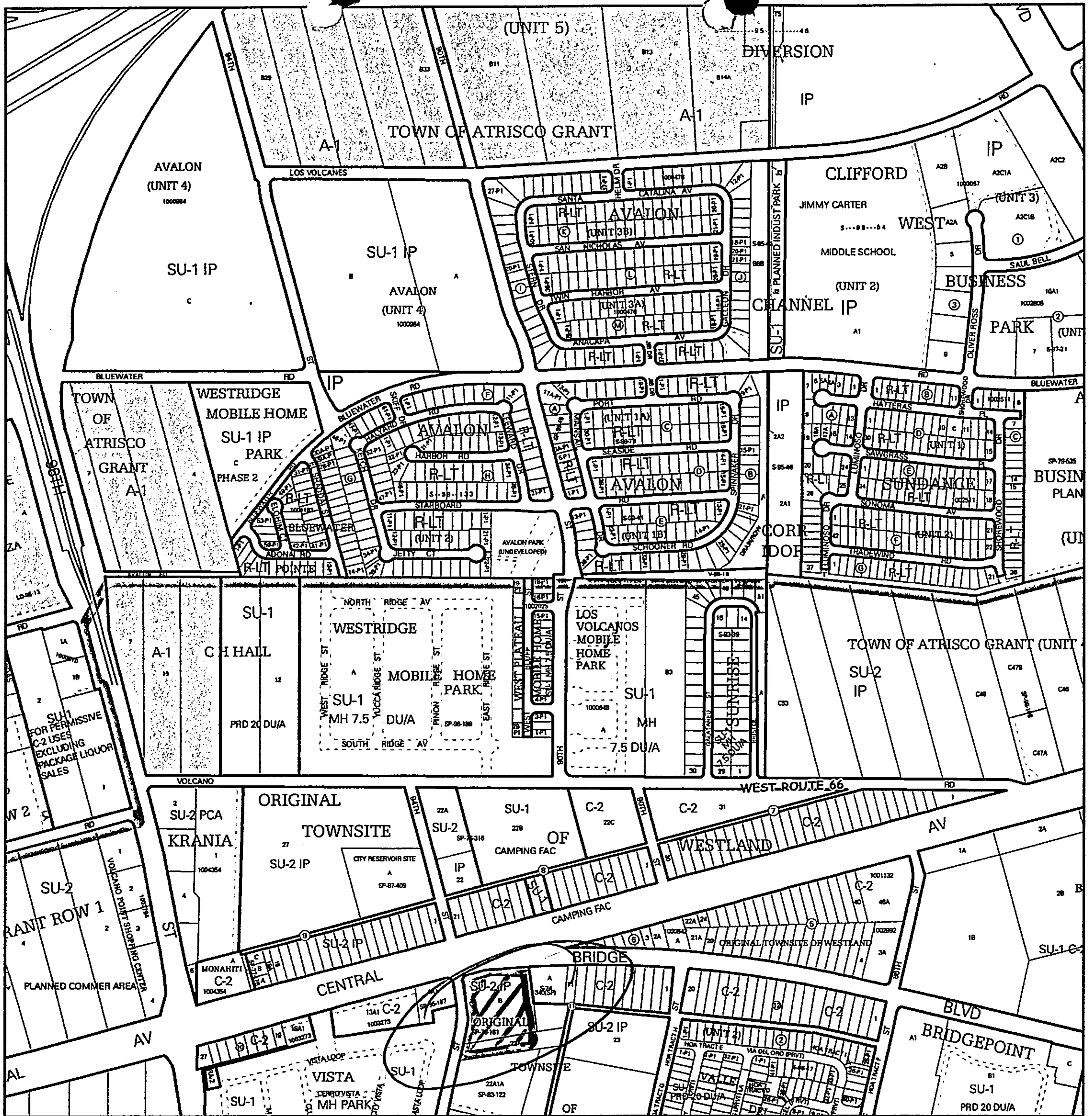
- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
09DRB-70036

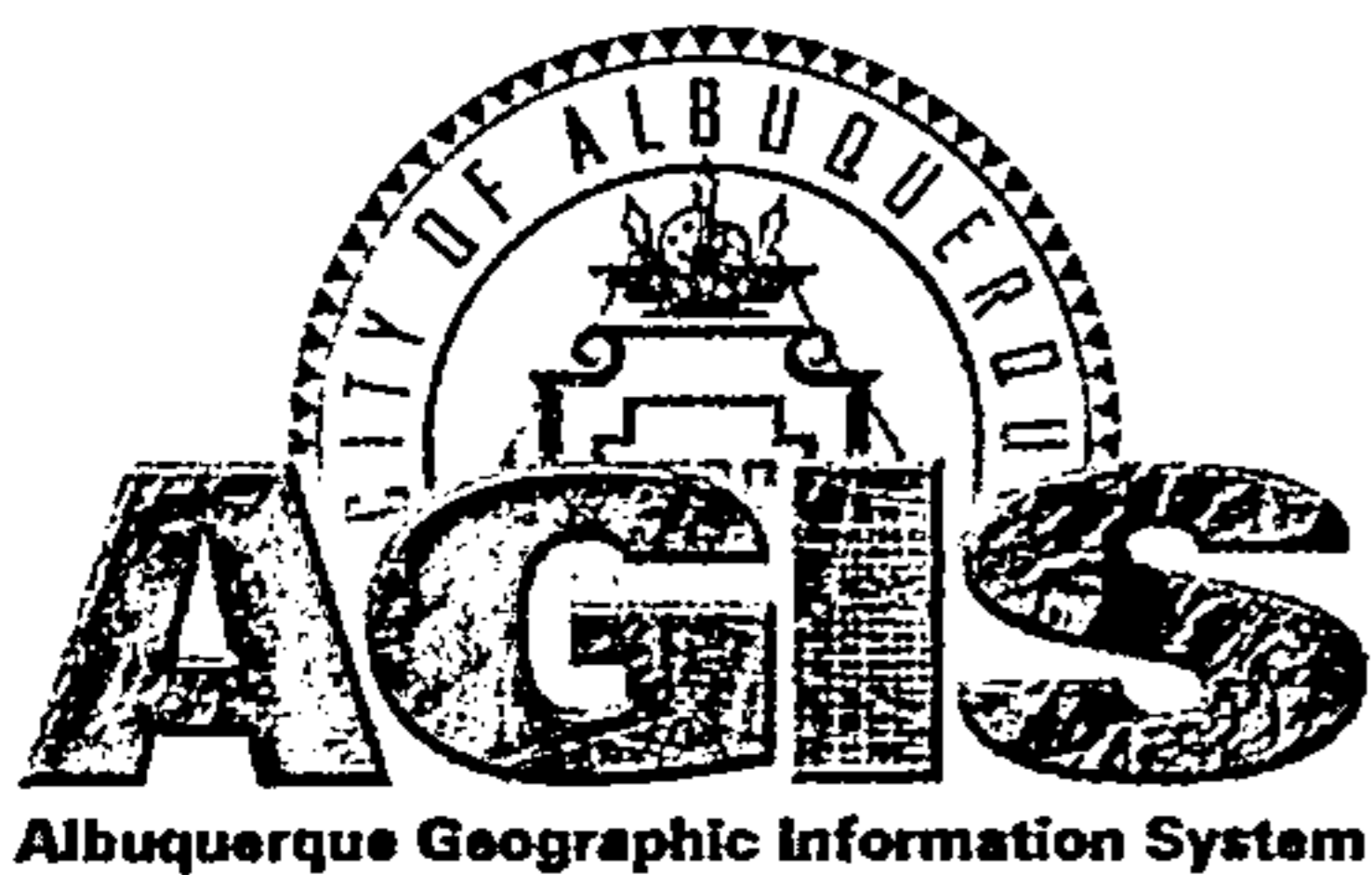
Form revised October 2007

Sandy Handley 01/27/09
Planner signature / date

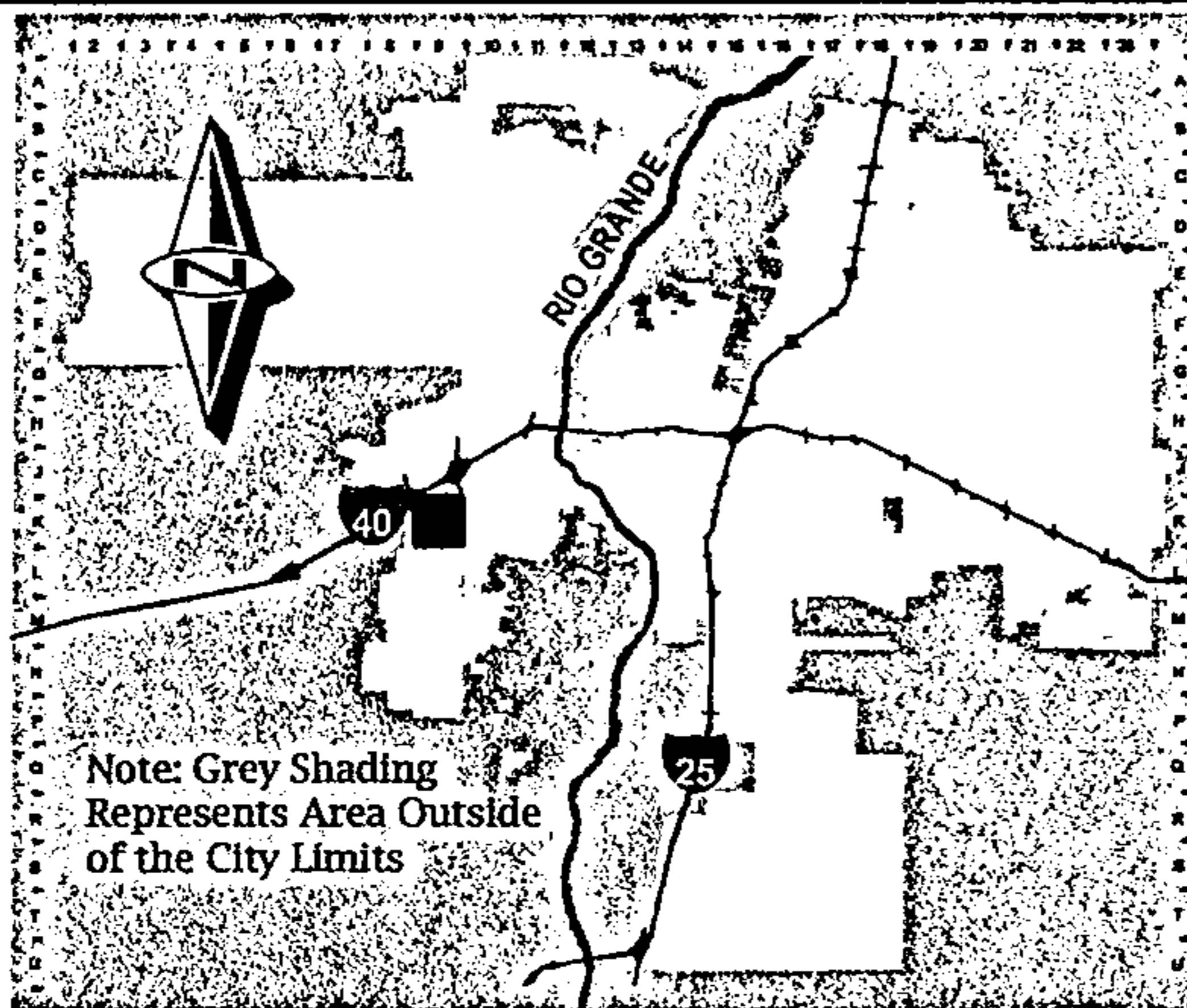
Project # 1007231



For more current information and more details visit: <http://www.cabq.gov/gis>




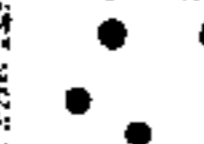


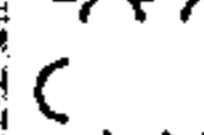

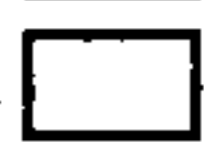


Map amended through: 6/13/2008

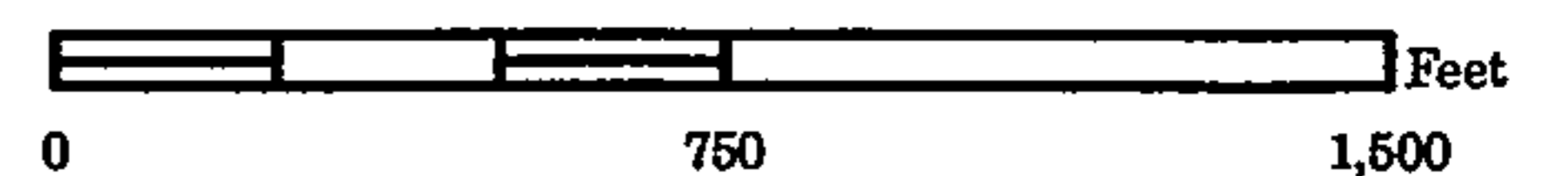


Zone Atlas Page:

K-09-Z

Selected Symbols

-  SECTOR PLANS
-  Design Overlay Zones
-  City Historic Zones
-  H-1 Buffer Zone
-  Petroglyph Mon.
-  Escarpment
-  2 Mile Airport Zone
-  Airport Noise Contours
-  Wall Overlay Zone



**FIRE HYDRANT AND INSTANTANEOUS
FIRE FLOW REQUIREMENTS**

ALBUQUERQUE FIRE DEPARTMENT
FIRE MARSHAL'S PLAN CHECKING OFFICE
600 2ND ST N.W., 8TH Floor, Plaza del Sol
Albuquerque, New Mexico 87102
(505) 924-3611 / FAX (505) 924-3619

ZONE MAP NUMBER K-9

REFERRAL # _____

SITE ADDRESS 9200 W. Central SW. Albu. N.M.

LEGAL DESCRIPTION: SUBJECT TRACT _____

NUMBER HYDRANTS REQUIRED FOR THE LARGEST BUILDING 2

INSTANTANEOUS FLOW REQUIRED 1438 GPM

SQUARE FOOTAGE - LARGEST BUILDING 6388

TYPE CONSTRUCTION new sprinkled

PERTINENT DATA FOR DETERMINATION AND LOCATION OF FIRE HYDRANTS

ALL REQUIRED HYDRANTS SHALL BE INSTALLED AND OPERABLE PRIOR TO CONSTRUCTION

- ALL REQUIRED HYDRANTS SHALL BE WITHIN 450 FEET TO THE FURTHEST POINT OF THE BUILDING AS A TRUCK ROLLS.
- ALL REQUIRED HYDRANTS SHALL BE WITHIN 300 FEET TO THE FURTHEST POINT OF THE BUILDING AS A TRUCK ROLLS.

TOTAL NUMBER HYDRANTS REQUIRED FOR THIS PHASE OF CONSTRUCTION OR SITE 2

DATE: 04/26/09

FIRE DEPARTMENT INSPECTOR: Richard Sano

RECEIVED BY: Bronnie Garcia TELEPHONE: 505-348-5238

NOTES:

1. ALL HYDRANTS NEEDED TO PROTECT AN INDIVIDUAL BUILDING MUST BE ABLE TO PROVIDE A MINIMUM RESIDUAL OF 20 PSI, UNDER REQUIRED FIRE FLOW CONDITIONS.
2. DETERMINATION OF THE WATER SYSTEM CAPASITY TO PROVIDE REQUIRED FIRE FLOW SHALL BE MADE BY THE PUBLIC WORKS DEPARTMENT, UTILITY DEVELOPMENT SECTION (924-3987), BASED ON PEAK DAY CRITERIA.
3. DESIGN OF PRIVATE FIRE PROTECTION SYSTEMS IS THE RESPOSIBILITY OF THE DEVELOPER'S CONSULTANT. APPROVAL OF DESIGN MUST BE MADE BY THE PUBLIC WORKS DEPARTMENT, UTILITY DEVELOPMENT SECTION.

WHPacific Project # 021126

January 27, 2009

Development Review Board
City of Albuquerque
Planning Department
600 2nd Street NW
Albuquerque, New Mexico 87103

RE: *Site Plan Review*
Penske Truck Rental Facility

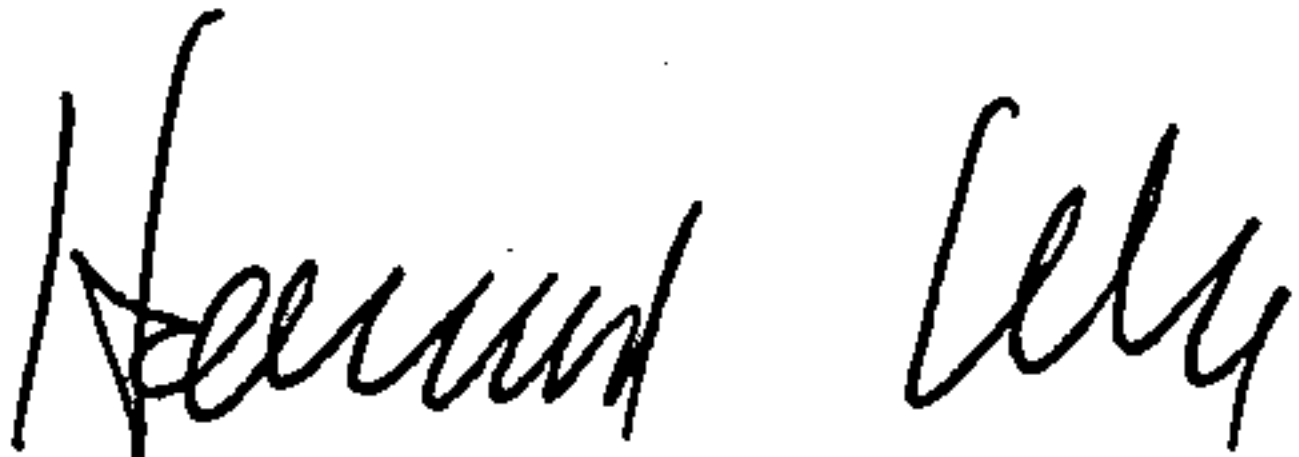
Dear Board:

Penske Truck Leasing would like to have site plan approval to convert the existing abandoned facility located at 9200 SW Central to an automotive rental, service and repair of moving trucks. The building will be repainted and interior modifications made to bring the building to a rental facility. These changes are expected to have no change in the size or location of the existing utilities and minor changes are proposed for the grading and drainage. The site will be using new proposed curb and gutter as well as adding landscaping to the site per the approved Conditional Use Permit by the City of Albuquerque Zoning. The decision is attached for your reference. We are requesting the site approval so that the remodel can take place and this abandoned building can be utilized.

If you have any questions, please contact me at (505) 348-5186.

Sincerely,

WHPacific



By: Howard Cake, PE
Director Land Development

January 1988

*City of Albuquerque
Planning Department/Planning Division*



***WEST ROUTE 66
SECTOR DEVELOPMENT PLAN***

3. The front yard setback shall remain free of buildings and permanent structures other than on-premise signs.
4. No buildings or structures, other than walls or fences, shall be permitted in the side or rear-yard setback. If there are not solid walls or fences along the rear property line, a ten-foot landscape buffer is required.
5. The following building setbacks shall apply to Tracts B4 and B5, Hubbell Heights Subdivision, located at the northwest and northeast corners respectively of Central Avenue and Unser Boulevard, N.W.
 - a. Building setbacks on Central Avenue shall be 25 feet.
 - b. Building setbacks from the north property line shall be 15 feet.
 - c. Building setbacks on Unser Boulevard shall be 20 feet.
 - d. Building setbacks from the east or west property line, opposite Unser Boulevard, shall be 0 feet.

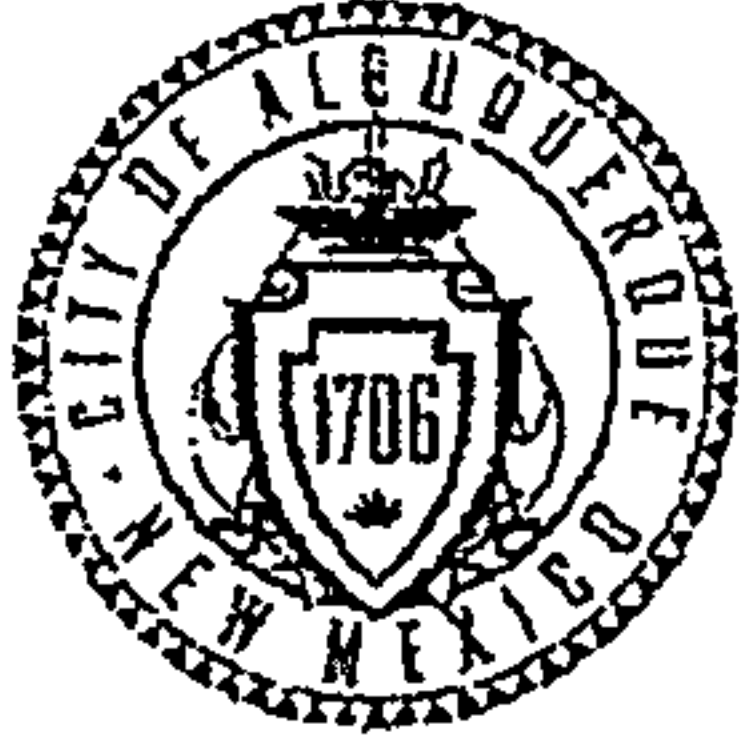
F. Off-Street Parking:

Off-street parking shall be as regulated in Section 40.A of the Comprehensive City Zoning Code.

G. Supplemental Regulations:

1. Development of a site shall be in compliance with the Design Overlay Zone of this plan. (See Section V)
2. A development plan showing the layout of the site, including the locations of streets, sidewalks, buildings, utilities, easements, parking lots, landscaping, and storage areas must be submitted and approved by the City Planner.
3. Uses which become non-conforming with the adoption of this plan shall be regulated as follows:
 - (a) A non-conforming building or structure shall be as regulated in Section 40.D of the Comprehensive City Zoning Code.
 - (b) A non-conforming use of land, shall be as regulated in Section 40.D of the Comprehensive City Zoning Code.

DRB PER
MEETING W/
RUSSELL BRIDG.



CITY OF ALBUQUERQUE
OFFICE OF ADMINISTRATIVE HEARINGS
ZONING HEARING EXAMINER
NOTIFICATION OF DECISION

RANDY SCHIEGEL (DAC ENT., AGENT) request(s) a special exception to Section WEST ROUTE 66 PG. 74 B. and 14-16-2-2(A)(17)(c): a CONDITIONAL USE to allow for a proposed automotive rental service repair & storage of moving trucks in an SU-2 IP zone on all or a portion of Lot(s) B&12, Block(s) 11, ORIGINAL TOWNSITE OF WESTLAND ADDN zoned SU-2 IP, located at 9200 CENTRAL AVE SW (K-9)

Special Exception No: ... 08ZHE-80182
Project No: Project# 1007231
Hearing Date: 05-20-08
Closing of Public Record: . 05-20-08
Date of Decision: 05-30-08

STATEMENT OF FACTS: The applicant, Randy Schiegel, requests a conditional use to allow for a proposed automotive rental service repair and storage of moving trucks in an SU-2 IP zone. Doug Crandall, agent for the applicant, testified that the proposed request is for a Penske rental and storage facility. The proposed days and hours of operation are Monday through Friday from 7:30 a.m. to 5:00 p.m. and Saturday from 7:30 a.m. to 12:00 p.m. Landscaping will be added along the front and side of the property. All signage will be in compliance with the Route 66 Plan.

Kelly Chappelle of the Avalon Neighborhood Association, testified that they are concerned about the appearance of the existing property, as well as "fleet trucks" being visible from the street. Mr. Crandall addressed these concerns and informed Mr. Chappelle that the overall appearance of the property will be aesthetically pleasing.

Based on all of the testimony and a review of the entire file, it is determined there is substantial evidence to make the following findings and conclusions:

FINDINGS AND CONCLUSIONS: I find that this request complies with Section 14.16.4.2.(C).1., for the granting of a conditional use upon a finding that the proposed use will not cause injury to the neighborhood, adjacent property or the community, nor will it be damaged by surrounding structures. For reasons stated above, this request is approved.

DECISION: Approved

If you wish to appeal this decision, you may do so by 5:00 p.m., on June 16, 2008 in the manner described below:

Appeal is to the Board of Appeals within 15 days of the decision. A filing fee of \$105.00 shall accompany each appeal application, as well as a written explanation outlining the reason for appeal and a copy of the ZHE decision. Appeals are taken at 600 2nd Street,

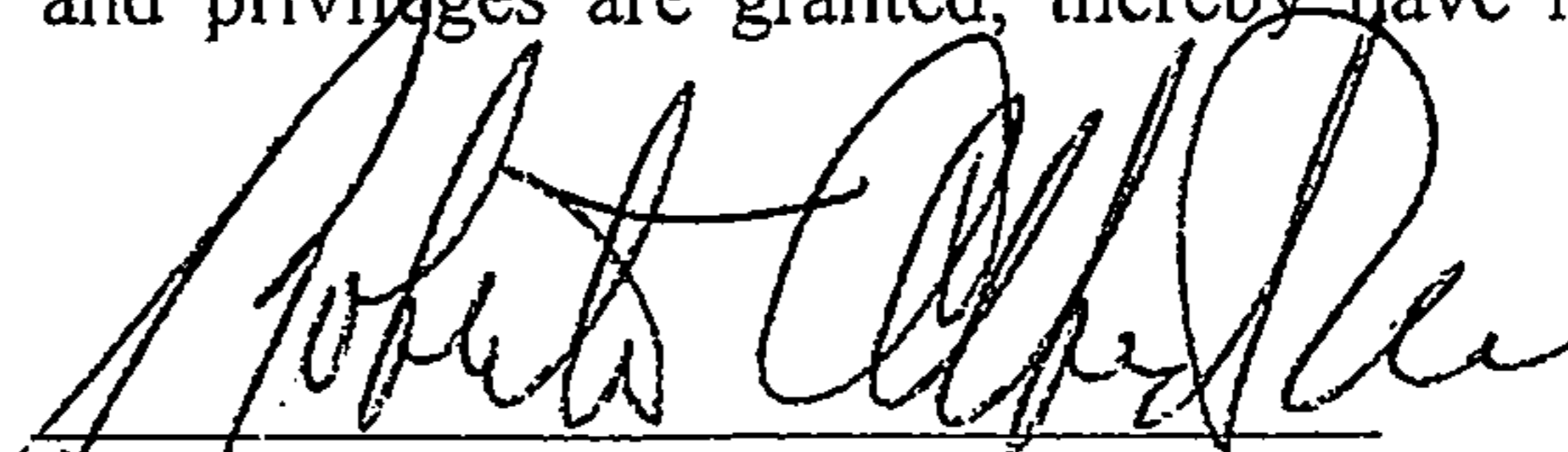
Plaza Del Sol Building, Ground Level, Planning Application Counter located on the west side of the lobby **Please present this letter of notification when filing an appeal.** When an application is withdrawn, the fee shall not be refunded

An appeal shall be heard by the Board of Appeals within 45 days of the appeal period and concluded within 75 days of the appeal period. The Planning Division shall give written notice of an appeal, together with a notice of the date, time and place of the hearing to the applicant, a representative of the opponents, if any are known, and the appellant.

Please note that pursuant to Section 14. 16. 4. 4. (B), of the City of Albuquerque Comprehensive Zoning Code, you must demonstrate that you have legal standing to file an appeal as defined

You will receive notice if any other person files an appeal. If there is no appeal, you can receive building permits any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. However, the Zoning Hearing Examiner may allow issuance of building permits if the public hearing produces no objection of any kind to the approval of an application. To receive this approval, the applicant agrees in writing to return the building permit or occupation tax number.

Successful applicants are reminded that other regulations of the City must be complied with, even after approval of a special exception is secured. This decision does not constitute approval of plans for a building permit. If your application is approved, bring this decision with you when you apply for any related building permit or occupation tax number. Approval of a conditional use or a variance application is void after one year from date of approval if the rights and privileges are granted, thereby have not been executed or utilized.



Roberto Albertorio, Esq.
Zoning Hearing Examiner

cc: Zoning Enforcement
ZHE File (2)
Randy Schiegel, CEO, 700 Osuna NE, 87113
DAC Enterprises, P O Box 16658, 87191
Kelly Chappelle, Avalon NA, 9135 Santa Catalina NW, 87121



Penske Truck Leasing
1541 West Bell de Mar Drive - 2nd Floor
Tempe, AZ 85283-4324

Tel: 480 755 1714

Fax: 480 775 4350

www.GoPenske.com

January 23, 2009

City of Albuquerque
Planning Department
Development & Building Services Division
600 2nd Street, NW
Albuquerque, NM 87103

RE: Penske Truck Leasing - 9200 Central Avenue SW

This letter is to authorize Howard Cake of WH Pacific to act as our agent for submittal of documents to COA Planning Department and the Building Department.

Thank You,


A handwritten signature in black ink, appearing to read "Edward Kress", written in a cursive style.

Edward Kress
Facility Project Manager

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission and Development Review Board. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.


1/27/09
 Applicant or Agent Signature / Date

NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36".

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. ✓ **Site Plan** (including utilities and easements)
2. **Landscaping Plan**
3. **Preliminary Grading Plan** (A separate Grading Plan sheet is required for a sites 1 acre or more) N/A NOT
4. **Building and Structure Elevations** - JACK CLOUD
5. **Conceptual Utility Plan** - IF APP - ZONE L HORN
6. **Previously approved Development Plan** (if applicable)

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

Accompanying Material

- A. 8-1/2" x 11" reduction for each plan sheet.
- B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

SHEET #1 - SITE PLAN

A. General Information

- ✓ 1. Date of drawing and/or last revision
- ✓ 2. Scale: 1.0 acre or less 1" = 10'
 1.0 - 5.0 acres 1" = 20'
 Over 5 acres 1" = 50'
 Over 20 acres 1" = 100' *[Other scales as approved by staff]*
- ✓ 3. Bar scale
- ✓ 4. North arrow
- ✓ 5. Scaled vicinity map
- ✓ 6. Property lines (clearly identify)
7. Existing and proposed easements (identify each)
- ✓ 8. Phases of development including location and square footages of structures, circulation, parking and landscaping

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

B. Proposed Development (If supplemental Sheets are used please indicate sheet #)

1. Structural **EXISTING BUILDING TO REMAIN- PHOTO PROVIDED AS REQUESTED.**

- NA** A. Location of existing & proposed structures (distinguish between existing & proposed, include phasing)
- NA** B. Square footage of each structure
- NA** C. Proposed use of each structure
- NA** D. Temporary structures, signs and other improvements
- NA** E. Walls, fences, and screening: indicate height, length, color and materials
- NA** F. Dimensions of all principal site elements or typical dimensions thereof
- NA** G. Loading facilities
- NA** H. Site lighting (indicate height & fixture type)
- NA** I. Indicate structures within 20 feet of site
- NA** J. Elevation drawing of refuse container and enclosure, if applicable.
- NA** K. Site amenities including patios, benches, tables, (indicating square footage of patios/ plazas).

2. Parking and Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. **Location and typical dimensions**, including handicapped spaces
 - 2. **Calculations:** spaces required: 11 provided: 16

Handicapped spaces (included in required total) required: 1 provided: 1
Motorcycle spaces (in addition to required total) required: 0 provided: 0

- NA** B. Bicycle parking & facilities
 - 1. Bicycle racks, spaces required: provided:
 - 2. Bikeways and other bicycle facilities, if applicable

- NA** C. Public Transit
 - 1. Bus facilities, including routes, bays and shelters existing or required

- NA** D. Pedestrian Circulation **NO SIDEWALKS AT OR AROUND SITE.**

- 1. Location and dimensions of all sidewalks and pedestrian paths
- 2. Location and dimension of drive aisle crossings, including paving treatment

- E. Vehicular Circulation (Refer to Chapter 23 of DPM)

- 1. Ingress and egress locations, including width and curve radii dimensions
- 2. Drive aisle locations, including width and curve radii dimensions
- 3. End aisle locations, including width and curve radii dimensions
- 4. Location & orientation of refuse enclosure, with dimensions
- 5. Curb cut locations and dimensions
- 6. Existing and proposed street widths, right-of-way widths and curve radii
- NA** 7. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions **NO TURN LANES.**
- 8. Location of traffic signs and signals related to the functioning of the proposal **NO SIGNAGE REQUIRED**
- 9. Identify existing and proposed medians and median cuts **NO MEDIAN CUTS ARE PROPOSED.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

3. Phasing

- NA A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping. *No PHASING PER THIS PLAN.*

SHEET #2 LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use
- 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system – Phase I & II . . .
- 9. Backflow prevention detail
- 10. Planting Beds, indicating square footage of each bed
- 11. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 12. Responsibility for Maintenance (statement)
- 13. Statement of compliance with Water Conservation...Ordinance, see article 6-1-1-1.
- 14. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 15. Landscaped area provided; square footage and percent (specify clearly on plan)
- 16. Planting or tree well detail
- 17. Street Tree Plan as defined in the Street Tree Ord.

SHEET # 3 PRELIMINARY GRADING PLAN

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1 with written approval from the Planning Department Staff. *WAIVED PER BRAD BINHAM FOR THIS SUBMITTAL*

A. General Information

- NA 1. Scale - must be same as Sheet #1 - Site Plan
- NA 2. Bar Scale
- NA 3. North Arrow
- NA 4. Property Lines
- NA 5. Existing and proposed easements

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

- NA 6. Building footprints
- NA 7. Location of Retaining walls

B. Grading Information

- NA 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- NA 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- NA 3. Identify ponding areas
- NA 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SHEET #4 UTILITY PLAN

- 1. Fire hydrant locations, existing and proposed.
- 2. Distribution lines
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Existing water, sewer, storm drainage facilities (public and/or private).
- NA 5. Proposed water, sewer, storm drainage facilities (public and/or private)

SHEET #5 BUILDING AND STRUCTURE ELEVATIONS

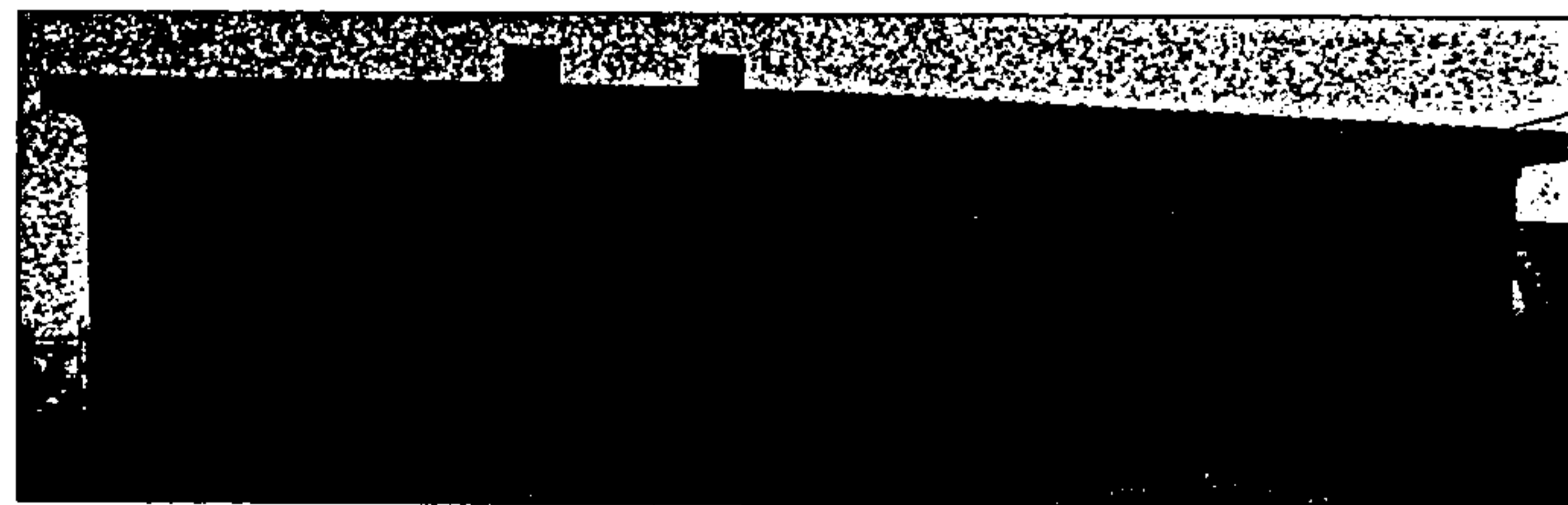
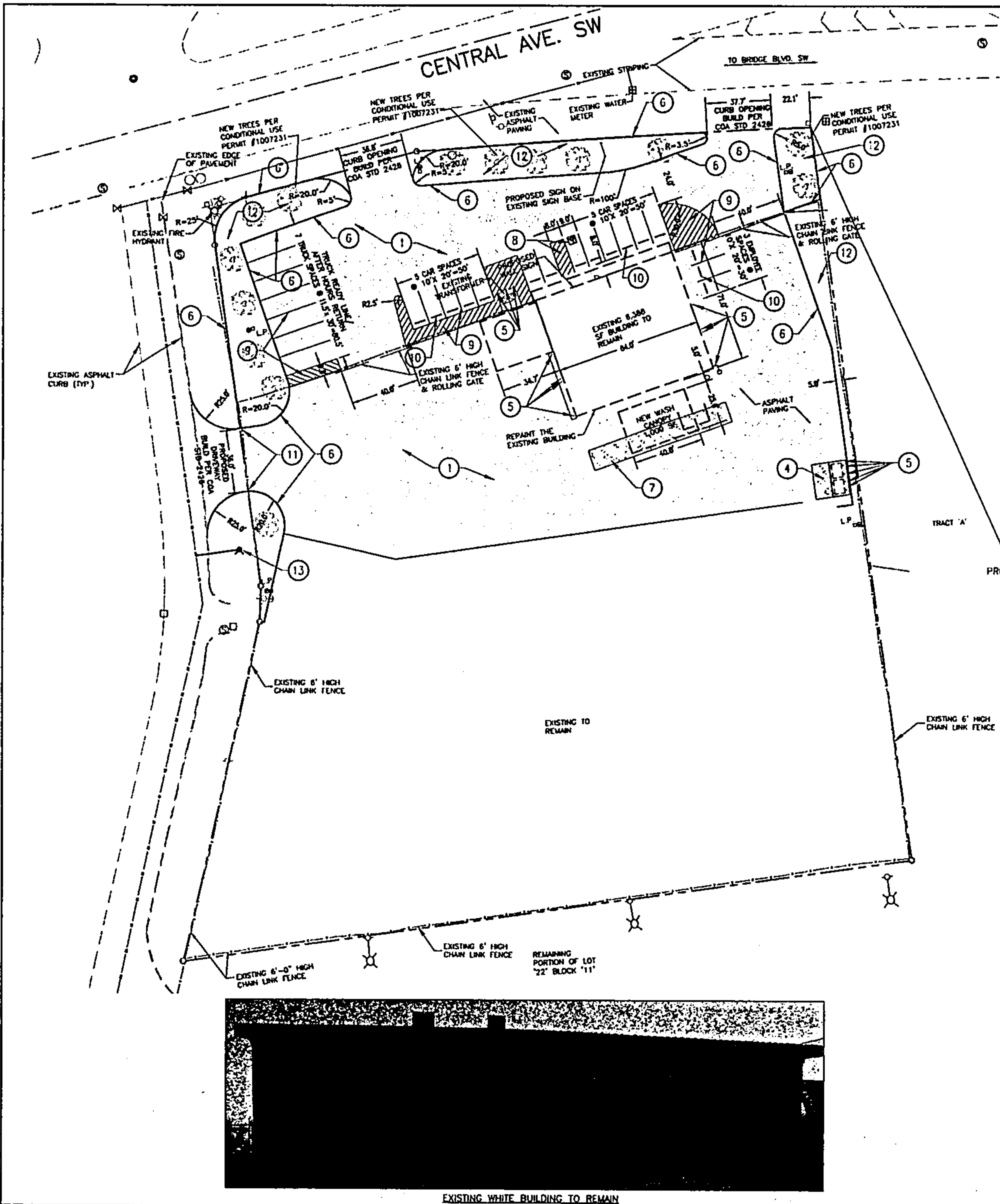
A. General Information

- NOT REQUIRED DUE TO NO EXTERIOR CHANGES TO BUILDINGS
PHOTO PROVIDED AS REQUESTION*
- NA A. Scale (minimum of 1/8" or as approved by Planning Staff).
 - NA B. Bar Scale
 - NA C. Detailed Building Elevations for each facade
 - NA 1. Identify facade orientation (north, south, east, & west).
 - NA 2. Facade dimensions including overall height and width
 - NA 3. Location, dimensions, materials, and colors of principle facade elements- windows, doors, etc.
 - NA 4. For EPC and DRB submittals only – Color renderings or similar (12 copies) illustrations
 - NA E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff.

B. Signage

- NA 1. Site location(s)
- NA 2. Sign elevations to scale
- NA 3. Dimensions, including height and width
- NA 4. Sign face area - dimensions and square footage clearly indicated
- NA 5. Lighting
- NA 6. Materials and colors for sign face and structural elements.

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EXISTING WHITE BUILDING TO REMAIN

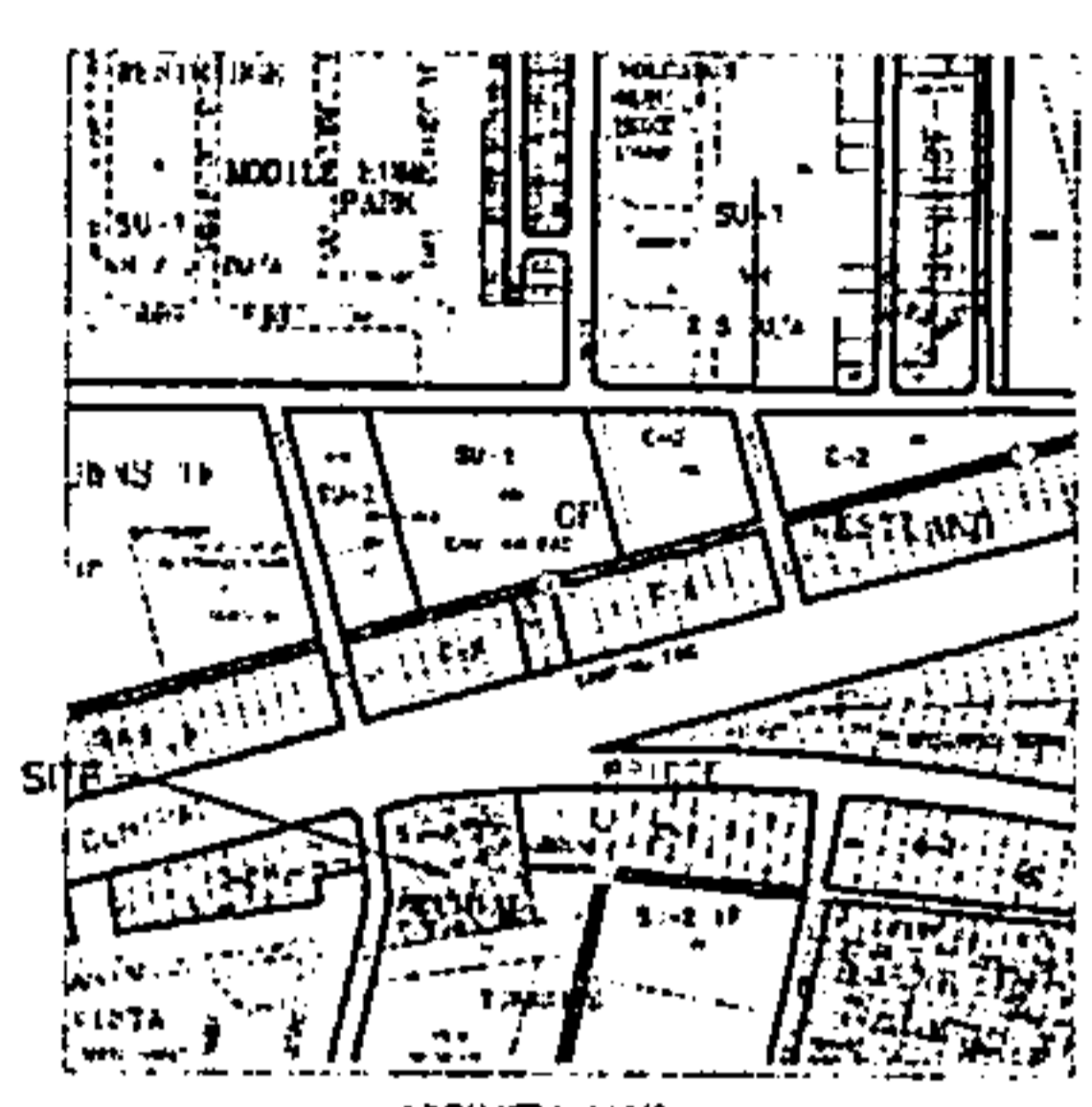
LEGEND

- EXISTING COMMUNICATION PEDESTAL
- EXISTING NUA GAS WARNING SIGN
- EXISTING FOUND 5/8" REBAR W/O CAP
- ⊕ EXISTING FOUND PK MAG. CONCRETE NAIL
- ⊖ EXISTING UTILITY POLE
- EXISTING TRANSMISSION LINE POLE
- ⊕ EXISTING WATER VALVE
- ⊕ EXISTING FIRE HYDRANT
- ⊕ EXISTING SENEY MANHOLE
- ⊕ EXISTING TELEPHONE BURIED CABLE WARNING SIGN
- ⊕ EXISTING STORM DRAINAGE MANHOLE
- ⊕ EXISTING LIGHT POLE
- ▭ PROPOSED ASPHALT
- ▭ PROPOSED CONCRETE

PARKING CALCULATIONS

PARKING REQUIRED:
 OFFICE 1,326 SF/200 = 7 SPACES
 WAREHOUSE 6,056 SF/2000 = 4 SPACES
 TOTAL REQUIRED = 11 SPACES

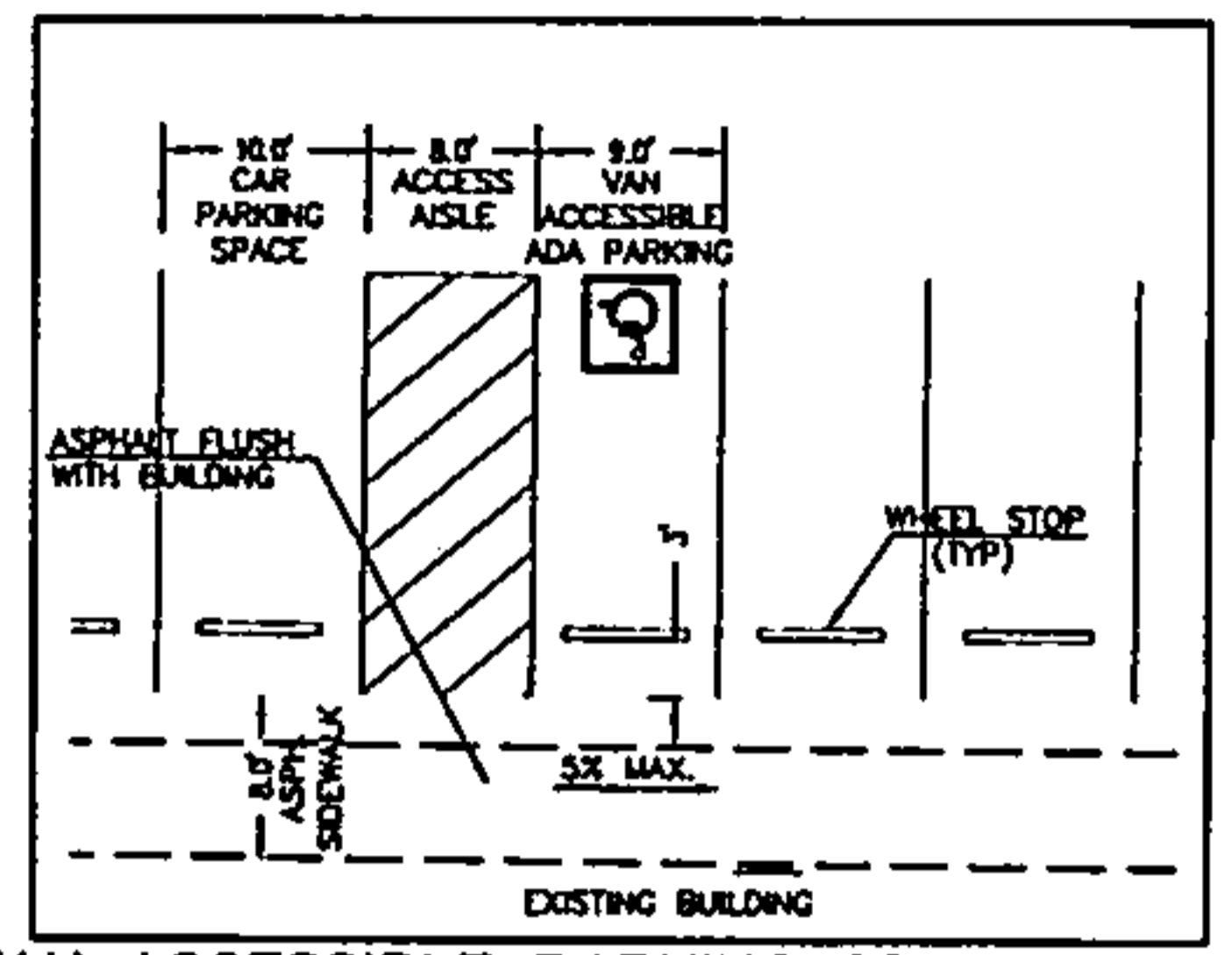
PARKING PROVIDED INCLUDING 1 VAN ACCESSIBLE SPACE = 16 SPACES



VICINITY MAP ZONE ATLAS K-9

CONSTRUCTION NOTES

1. CONSTRUCT NEW PAVEMENT PER DETAIL 11, SHEET C-501.
2. CONSTRUCT 4' CURB OPENING.
3. CONSTRUCT CONCRETE DOLLY PAD PER DETAIL 10, SHEET C-501.
4. CONSTRUCT TRASH ENCLOSURE PER DETAIL 1 SHEET A1-1.
5. CONSTRUCT BOLLARDS PER DETAIL 4, SHEET A1-1.
6. INSTALL HEADER CURB PER DETAIL 6, SHEET C-501.
7. CONSTRUCT 12'x 84' CONCRETE PAD PER DETAIL 10, SHEET C-501.
8. INSTALL VAN ACCESSIBLE ADA PARKING PER DETAILS 1, 2 & 3, SHEET C-501.
9. INSTALL PARKING STRIPING PER DETAILS 2 & 4, SHEET C-501.
10. INSTALL PRECAST BUMPER BLOCKS PER DETAIL 5, SHEET C-501.
11. INSTALL NEW CHAIN LINK SWING GATES.
12. LANDSCAPE AREA - SEE LANDSCAPE PLANS.
13. CONSTRUCT NEW FIRE HYDRANT



VAN ACCESSIBLE PARKING SPACE DETAIL

SCALE: 1" = 10'

PROJECT NUMBER: _____

Application Number: _____

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

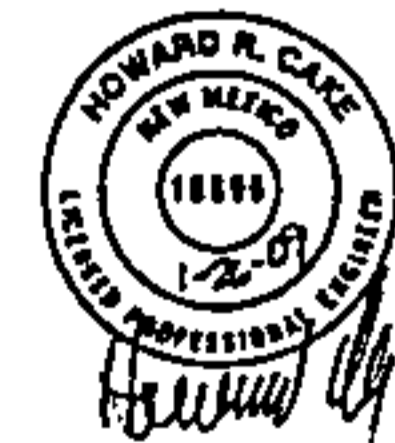
DRB SITE DEVELOPMENT PLAN APPROVAL:

- Traffic Engineering, Transportation Division _____ Date _____
- ASCHVA _____ Date _____
- Parks and Recreation Department _____ Date _____
- City Engineer _____ Date _____
- * Environmental Health Department (conditional) _____ Date _____
- Solid Waste Management _____ Date _____
- DRB Chairperson, Planning Department _____ Date _____

*Environmental Health, if necessary

6-28-07

AFD PLANS CHECKING OFFICE
 824-3611
 APPROVED/DISAPPROVED
 HYDRANT(S) ONLY
 SIGNATURE & DATE



0 15' 30' 60'
 SCALE: 1" = 30'

WHPacific
 6871 American Parkway, Suite 202
 Albuquerque, NM 87110
 505-347-4254 Fax 505-342-4645
 www.whpacific.com

PENSKE

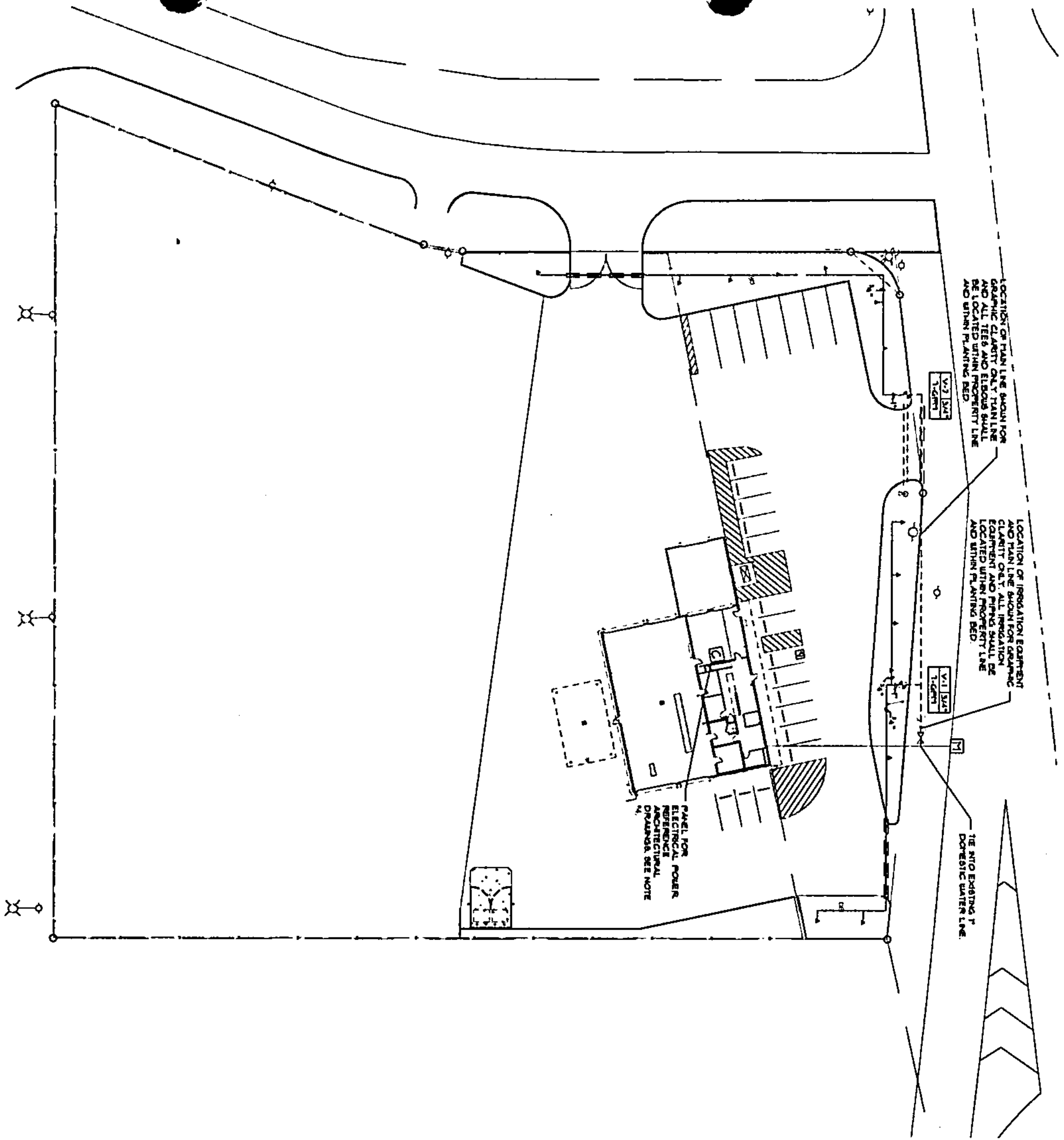
REVISIONS		NO.	BY	DATE	REMARKS

SHEET INFO

DRAWN	CA	CHECKED	IC	APPROVED	IC	DATE	12/22/08	PLANT DATE	3/17/09	SUBMITTAL
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SITE PLAN
 FACILITY UPGRADES FOR PENSKE TRUCK LEASING
 9200 W. CENTRAL S.W.
 ALBUQUERQUE, NM
 PROJECT NUMBER 021126
 DRAWING FILE NAME 021126 SITE PLAN
 SCALE 1" = 30'

SHEET NUMBER
C-101



LOCATION OF MAIN LINE EQUIPMENT FOR IRRIGATION SYSTEM SHALL BE LOCATED WITHIN PROPERTY LINE AND SHOWN PLANTING BED

LOCATION OF IRRIGATION EQUIPMENT AND MAIN LINE EQUIPMENT FOR DOMESTIC WATER LINE SHALL BE LOCATED WITHIN PROPERTY LINE AND SHOWN PLANTING BED

PANEL FOR ELECTRICAL POWER CONNECTION SHALL BE LOCATED WITHIN PROPERTY LINE SEE NOTE

THE PRO EXISTING DOMESTIC WATER LINE

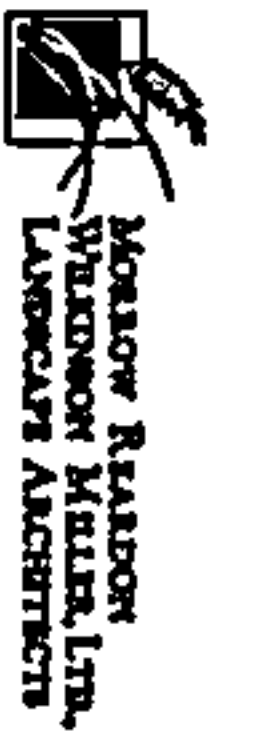
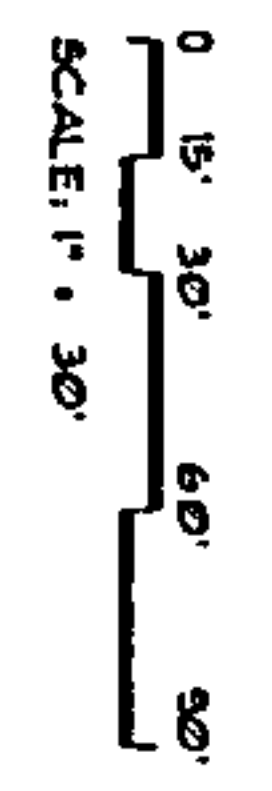
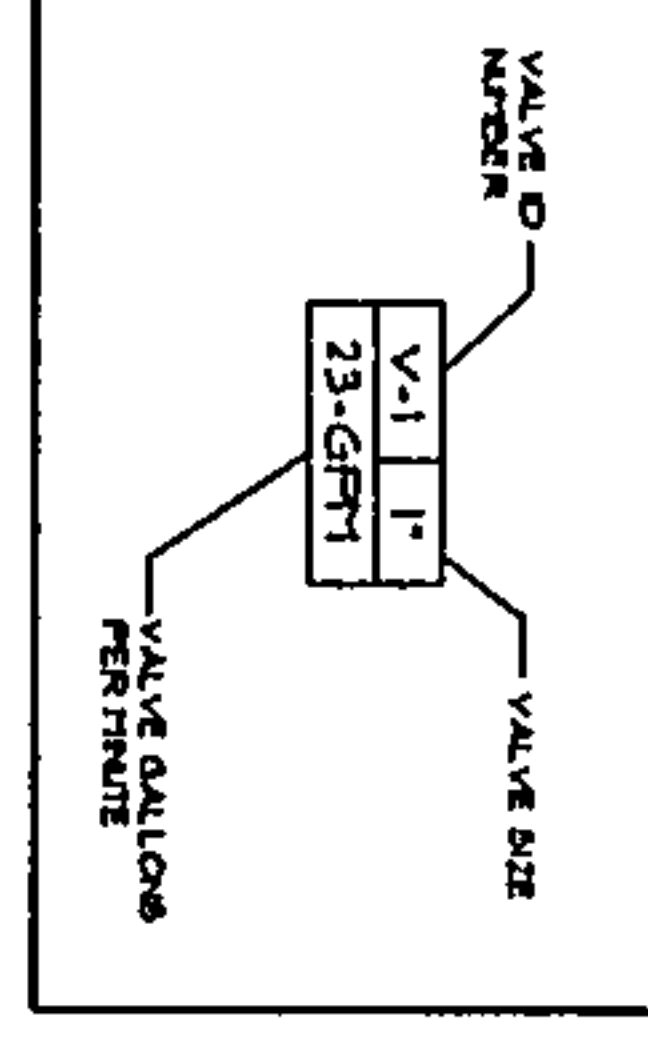
IRRIGATION LEGEND

- EXISTING WATER FEEDER. LOCATION IS SCHEMATIC. CONTRACTOR SHALL VERIFY LOCATION. SEE SITE UTILITY PLANS FOR RELATED INFORMATION.
- MAIN LINE AND LATERAL. SEE NOTE NO 7 BELOW
- 24-VOLT IRRIGATION LINE. SEE NOTE NO 7 BELOW
- EXISTING DOMESTIC WATER LINE TO BUILDING. LOCATION IS APPROXIMATE.
- CONTRACTOR SHALL VERIFY LOCATION AND SIZE.
- IRRIGATION MAIN LINE. 40' BELL-DIP. SOLVENT WELD 8" PVC. SIZE AS SHOWN ON PLAN. DEPTH OF BURIAL: 30" FOR CONTINUOUS PRESSURE IRRIGATION MAIN AND 30" FOR NON-CONTINUOUS. DEPTH OF BURIAL: 30" FOR CONNECTIONS TO VALVE. SEE NOTE NO 7 BELOW.
- POINT OF CONNECTION. 80' PVC BALL VALVE WITH 2" DIA. SIZE 1" SEE DETAIL D13.
- BALCOON. PREVENTER AND WATER VALVE ASSEMBLY. REDUCED FLOW RATE. PREVENTER SHALL BE INSTALLED WITH BALL VALVE IN FRONT DOOR HOOD PLASTIC BOOT 24-VOLT WATER VALVE. SIZE 1" SEE DETAIL D13.
- REPORT CONTROL VALVE ASSEMBLY. DEAN-EMERSON. 24-VOLT. IN ASIC BOOT 24-VOLT. AIRCHANGING VALVE. SEE AS SHOWN ON PLAN. SEE DETAIL D13.
- PREMIERE COMPENSATING DIAPHRAGM ASSEMBLY. 1/2" 24-VOLT. SEE DETAIL D13.
- 1. 100' 1.00' 3.0'
- 2. 100' 1.00' 3.0'
- 3. 100' 1.00' 3.0'
- 4. 100' 1.00' 3.0'

IRRIGATION NOTES

1. CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY TO CONSTRUCT PROPOSED IRRIGATION SYSTEM IN ACCORDANCE WITH PLANS, SPECIFICATIONS AND DETAILS.
2. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF SLAVE PIPING WITH ALL NOTES TO THESE PLANS. ALL PIPING SHALL BE INSTALLED PRIOR TO INSTALLATION OF CONCRETE AND OTHER APPLICABLE TRADES.
3. THIS SYSTEM WAS DESIGNED AT A PRELIMINARY STAGE. PRESSURES OF 80 PSI AT THE POINT OF CONNECTION. CONTRACTOR SHALL VERIFY ACTUAL PRESSURE AND DELIVER RESULTS TO ARCHITECT. CONTRACTOR SHALL PROVIDE DIRECTION FROM LABORER. ARCHITECT REGARDING DESIGN MODIFICATIONS IF NECESSARY.
4. THE CONTRACTOR SHALL PROVIDE TWO 24-VOLT 1.5 AMP CIRCUITS FROM ELECTRICAL PANEL TO IRRIGATION CONTROLLER AND BALCOON PREVENTER. ENCLOSE ONE TO EACH. ALL WORK AND MATERIALS SHALL MEET LOCAL CODES AND THE NATIONAL ELECTRIC CODE (NEC).

VALVE ID LEGEND



K/G
ARCHITECTS
3115 E. ALBUQUERQUE BLVD.
SUITE 100, ALBUQUERQUE, NM 87106
(505) 425-1137 FAX: (505) 425-1138

AD	
CHECKED BY:	
DATE:	
PROJECT NO:	



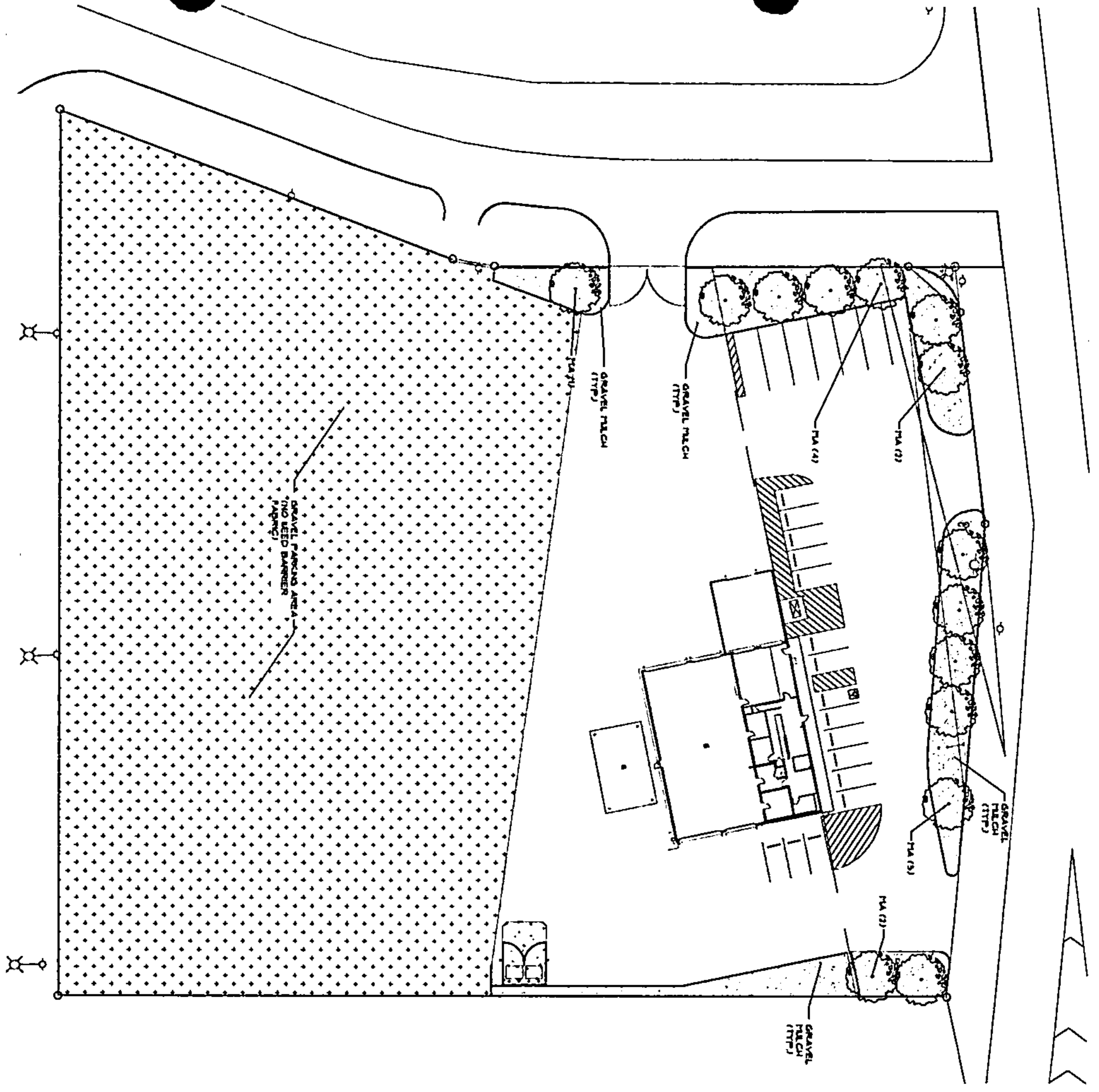
FACILITY UPGRADES
FOR
PENSKE TRUCK LEASING
9200 W. CENTRAL AVE. S.W.
ALBUQUERQUE, NM

DATE	REVISIONS

ISSUED FOR: PERMIT

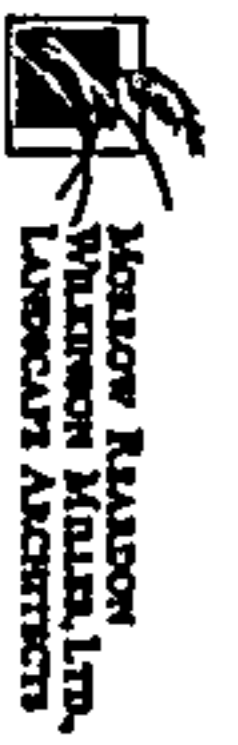
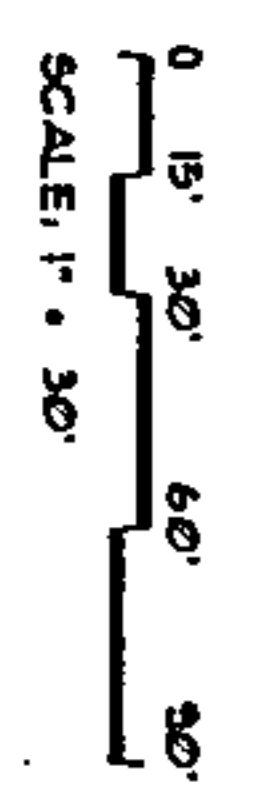
SHEET NO: **L1**

IRRIGATION PLAN

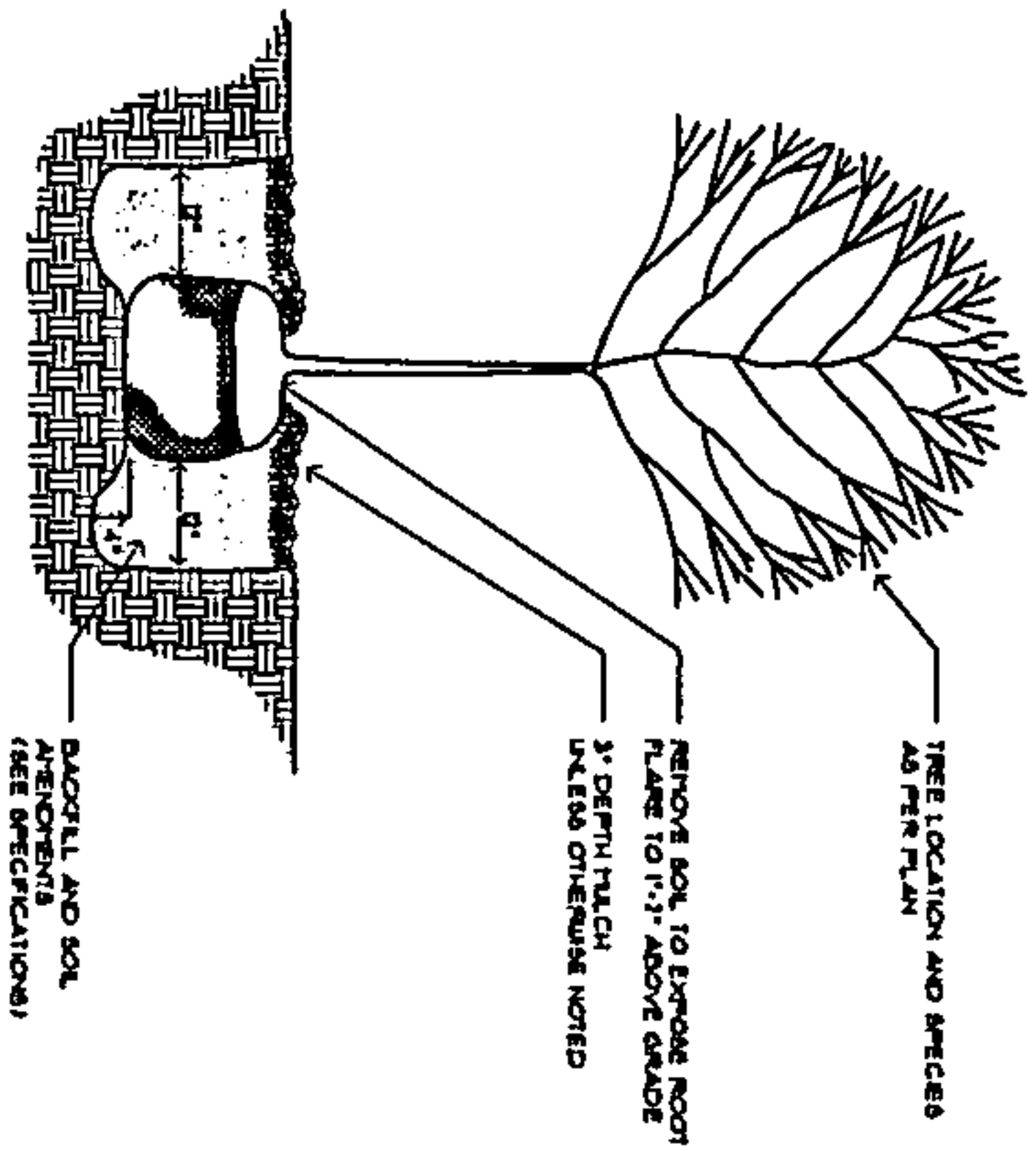


PLANT SCHEDULE					
KEY	COTTON NAME	BOTANICAL NAME	QUANTITY	SIZE	REMARKS
TR18A					
TA	Podocarpus	Fuchsia venusta	14	2" dia. 9-1/2' H.	30" Box
		Fuchsia			

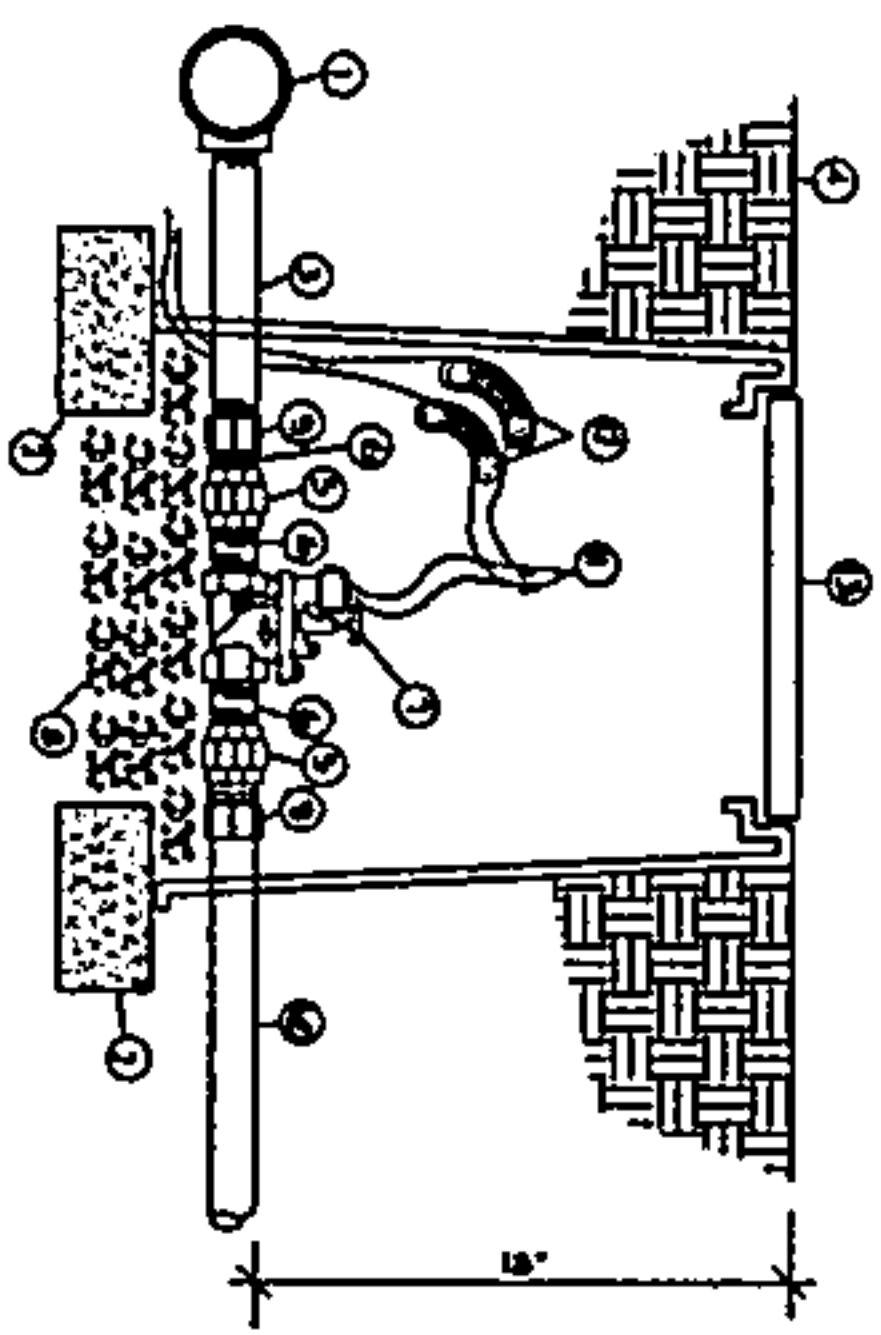
- PLANTING NOTES**
- IN CASE OF DISCREPANCY IN PLANT QUANTITIES SHOWN ON THE PLANT LIST AND THIS SCHEDULE, THE CONTRACTOR SHALL VERIFY ALL QUANTITIES PRIOR TO BID AND NOTIFICATION NO ADDITIONAL PAYMENT WILL BE MADE FOR ANY DISCREPANCIES IN QUANTITIES BETWEEN THE PLANTING PLAN AND THE PLANT LIST.
 - GRAVEL MATCH SHALL BE A 3" DEPTH OF 3/4" SAND AND 3/4" GRAVEL THROUGHOUT PLANTING BEDS AND PERFORATED AREAS AS SHOWN ON PLANT LIST OR EQUIVALENT. OPEN AT BEDS 3" THICK DOWN BEDS 6".
 - THE CONTRACTOR SHALL MAKE LOWER BEDS OR DECIDUOUS TREES TO 6 FEET ABOVE FINISH GRADE.
 - IF THERE IS A DISCREPANCY IN THE FIELD OR MARKET BETWEEN THE CONTAINER SIZE CALLED OUT UNDER "REMARKS" AND HEIGHT (E.G. 18" AND 24" CONTAINERS) THE CONTRACTOR SHALL VERIFY THE LARGER CONTAINER SIZE AND REPORT TO THE ARCHITECT PRIOR TO BID.
 - TREES SHALL BE PLANTED PER DETAIL A11.



K/R/G ARCHITECTS 7016 S. ALBUQUERQUE BL. SUITE 202 SCOTTSDALE, ARIZONA 85268 (480) 415-7195 • FAX: (480) 415-7196	DRAWN BY: AD	PENSKE	FACILITY UPGRADES FOR PENSKE TRUCK LEASING 9200 W. CENTRAL AVE. S.W. ALBUQUERQUE, NM	REVISIONS <table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	DATE	DESCRIPTION						
	NO.		DATE	DESCRIPTION									
CHECKED BY: BML	PROJECT NO: 4408	DATE: 10-24-08	ISSUED FOR: PERMIT	SHEET NO: L2									

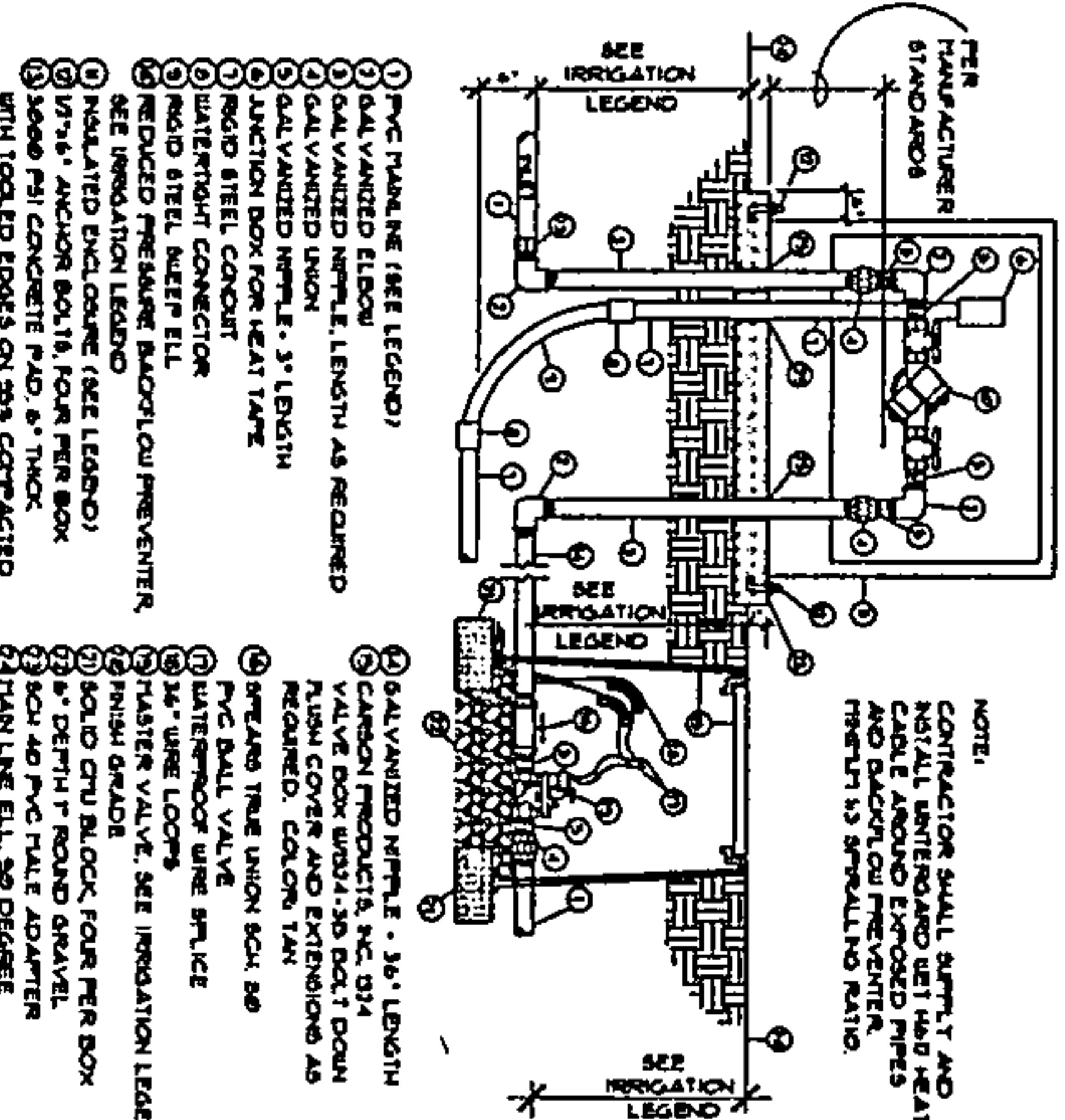


A TREE PLANTING DETAIL
 TCD-0607 NTA

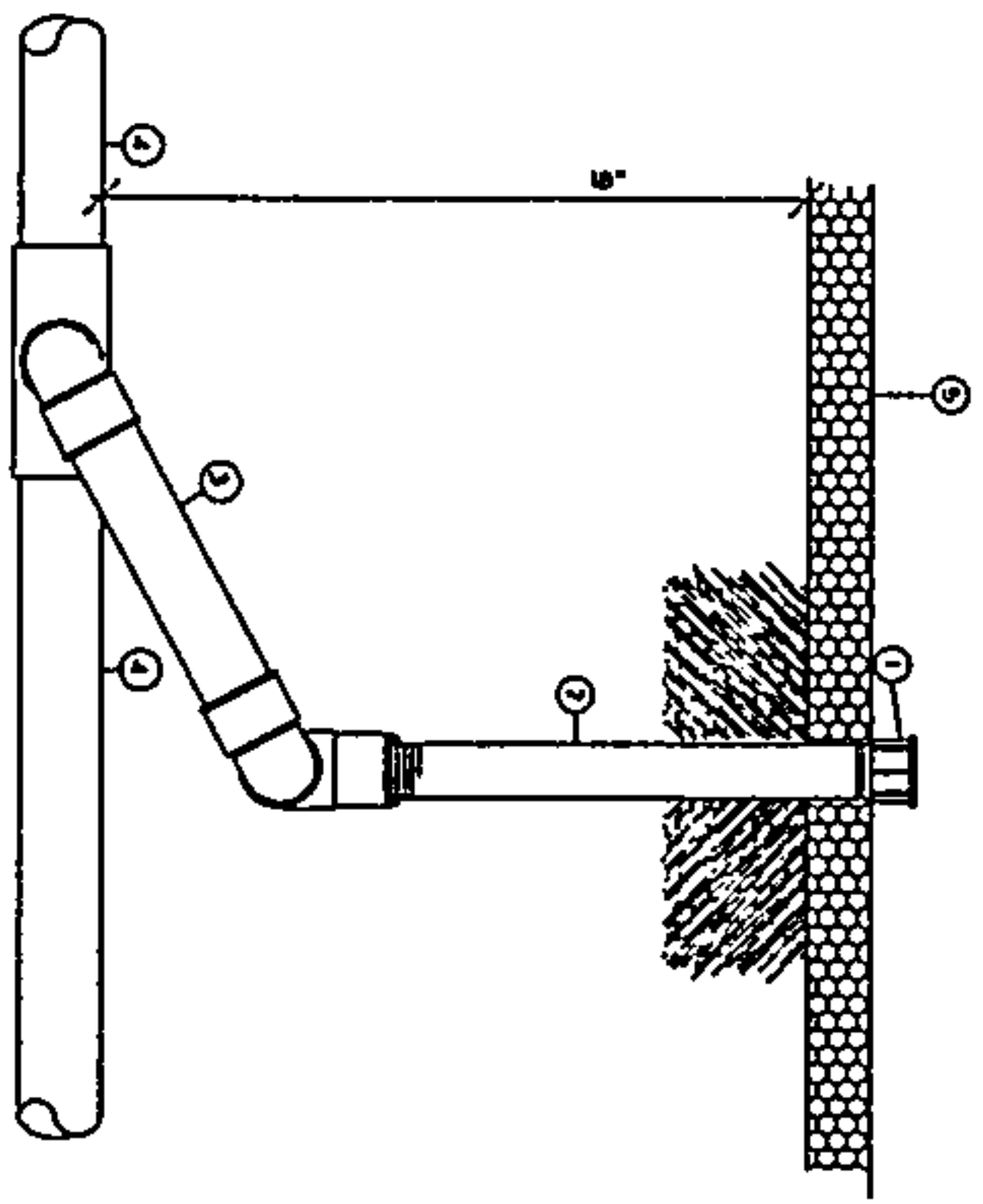


- NOTE: CONTRACTOR SHALL INSTALL ONE AUTOMATIC VALVE ASSEMBLY PER VALVE BOX.
- 1 PLUMB SERVICE TR.
 - 2 SOLID CRU BLOCK (FOUR PER BOX)
 - 3 SOIL AS PNC NIPPLE LENGTH AS REQUIRED
 - 4 TOP OF GRAVEL FILL
 - 5 GRAVEL SOIL AS PNC UNION
 - 6 SOIL AS PNC NIPPLE - 3' LENGTH
 - 7 AUTOMATIC VALVE (SEE LEGEND)
 - 8 SOIL AS PNC TUBE ADAPTER
 - 9 LATERAL PIPING (SEE LEGEND)
 - 10 WATERPROOF URSE CONNECTION

D AUTOMATIC VALVE ASSEMBLY
 TCD-0603 NTA

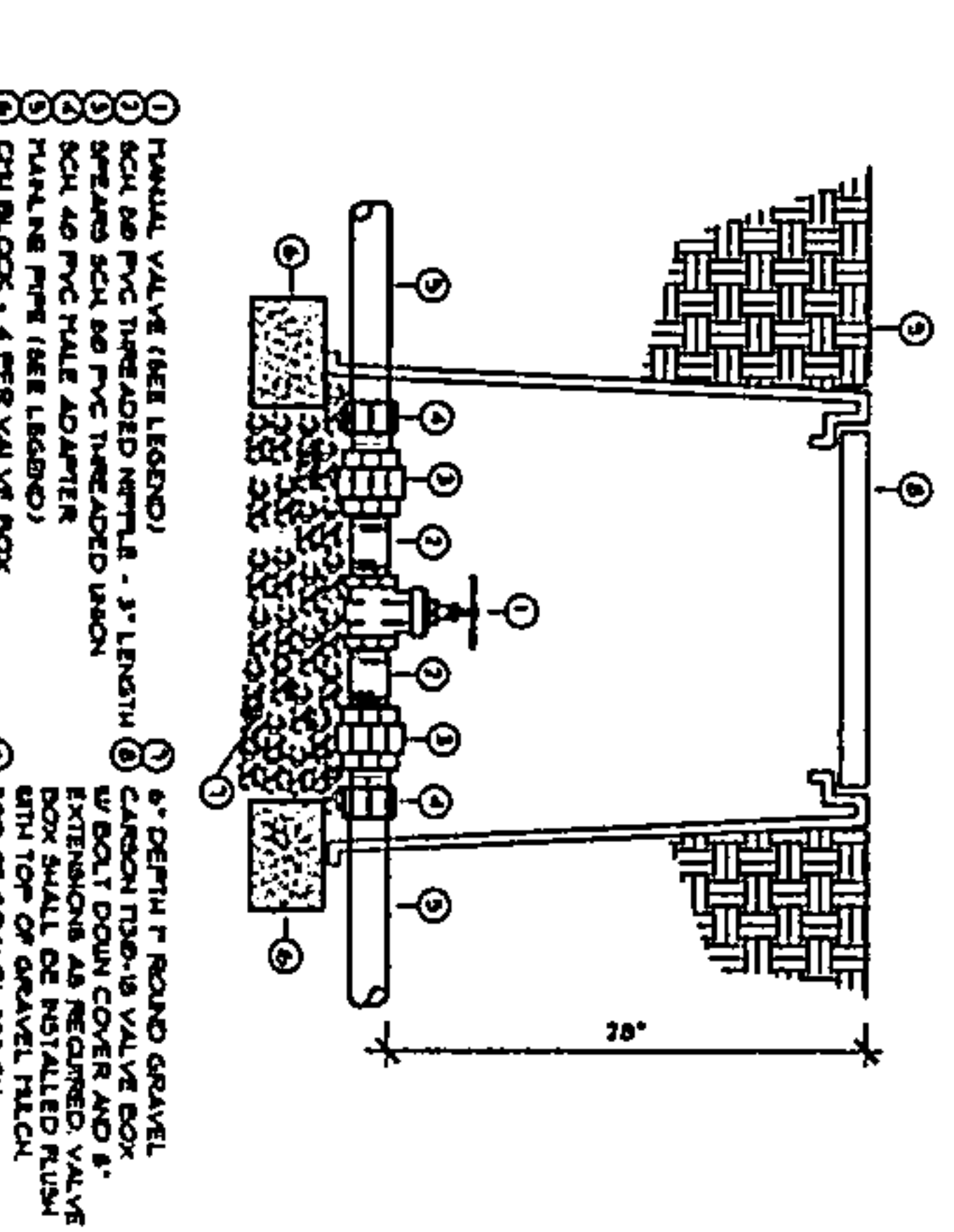


B BACKFLOW PREVENTER & MASTER VALVE ASSEMBLY
 TCD-0606 NTA

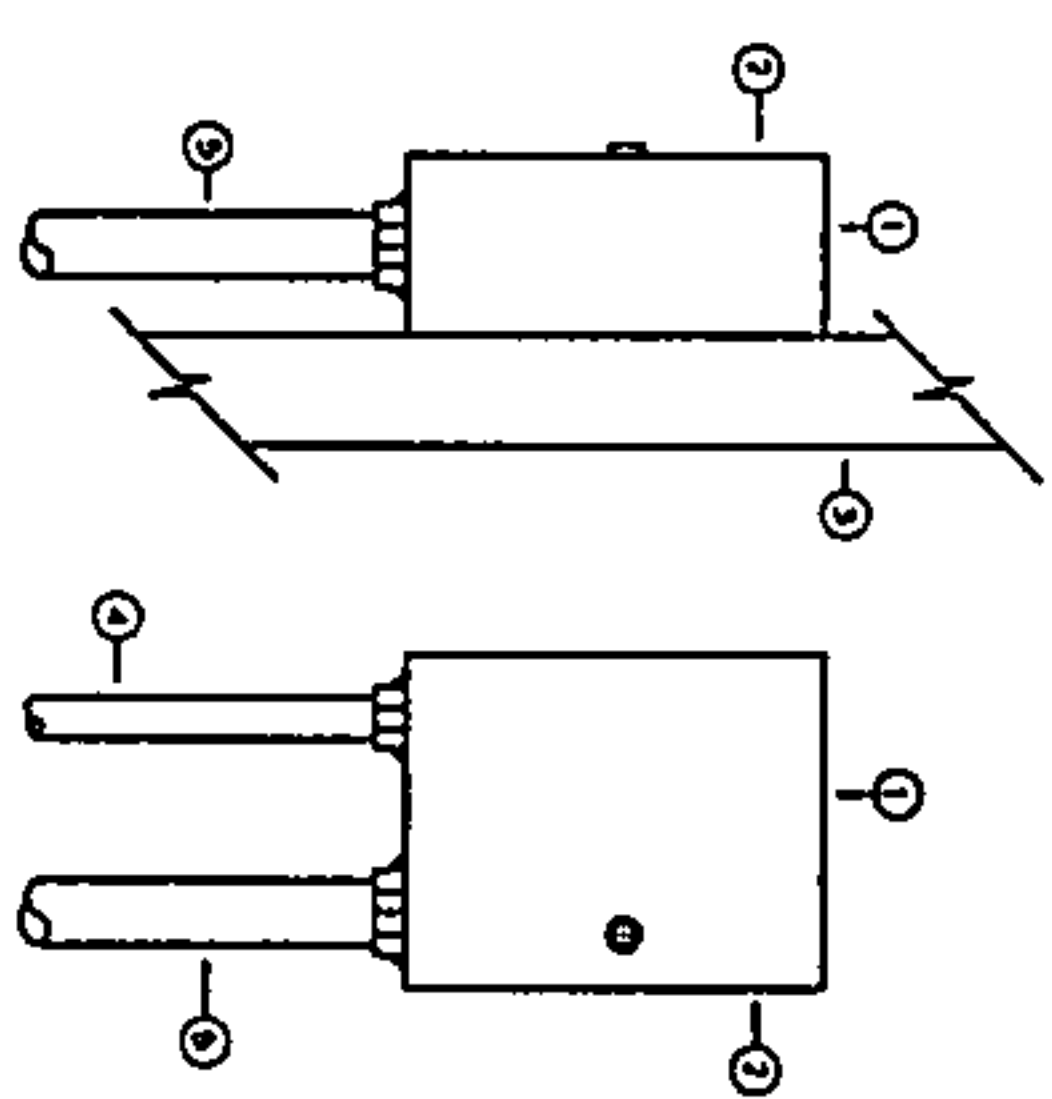


- NOTE: CONTRACTOR SHALL SUPPLY AND INSTALL WATERPROOF URSE AND LEAK DETECTOR AND EXPANDED PIPES PERMANENTLY TO PREVENTED RATIO.
- 1 PRESSURE COMPENSATING BUBBLER (SEE LEGEND)
 - 2 1/2\"/>
 - 3 LATERAL PIPING
 - 4 TOP OF GRAVEL FILL

E BUBBLER ASSEMBLY
 TCD-0605 NTA

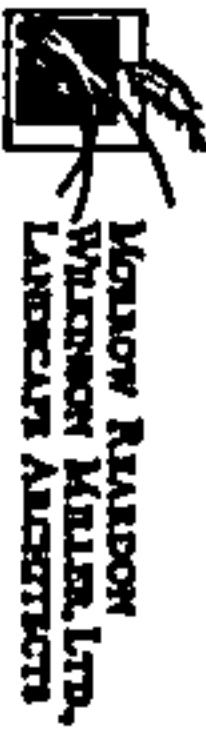


C GATE VALVE ASSEMBLY
 TCD-0605 NTA



- NOTE: CONTROLLER SHALL BE MOUNTED SECURELY TO WALL USING APPROPRIATE FASTENERS FOR WALL TYPE. ALL EXPOSED CONDUIT SHALL BE ENIT ON EQUAL AND ALL CONNECTIONS SHALL BE MADE USING WATERPROOF CONNECTIONS.
- 1 AUTOMATIC CONTROLLER (SEE LEGEND)
 - 2 EYE LEVEL
 - 3 WALL
 - 4 24\"/>

F WALL MOUNT AUTOMATIC CONTROLLER
 TCD-0604 NTA



K/G ARCHITECTS 1415 ALBU BLVD. SUITE 102 SCOTTSDALE, ARIZONA 85258 (480) 953-7121	DRAWN BY:	PENSKE	FACILITY UPGRADES FOR PENSKE TRUCK LEASING 9200 W. CENTRAL AVE. S.W. ALBUQUERQUE, NM
	CHECKED BY:		
BHA PROJECT NO: 0408	DATE:	REVISIONS:	SHEET NO:
ISSUED FOR:	DATE:	REVISIONS:	L3
POINT:	DATE:	REVISIONS:	



CITY OF ALBUQUERQUE
OFFICE OF ADMINISTRATIVE HEARINGS
ZONING HEARING EXAMINER
NOTIFICATION OF DECISION

RANDY SCHIEGEL (DAC ENT., AGENT) request(s) a special exception to Section WEST ROUTE 66 PG. 74 B. and 14-16-2-2(A)(17)(c): a CONDITIONAL USE to allow for a proposed automotive rental service repair & storage of moving trucks in an SU-2 IP zone on all or a portion of Lot(s) B&12, Block(s) 11, ORIGINAL TOWNSITE OF WESTLAND ADDN zoned SU-2 IP, located at 9200 CENTRAL AVE SW (K-9)

Special Exception No: ... 08ZHE-80182
Project No: Project# 1007231
Hearing Date: 05-20-08
Closing of Public Record: .. 05-20-08
Date of Decision: 05-30-08

STATEMENT OF FACTS: The applicant, Randy Schiegel, requests a conditional use to allow for a proposed automotive rental service repair and storage of moving trucks in an SU-2 IP zone Doug Crandall, agent for the applicant, testified that the proposed request is for a Penske rental and storage facility. The proposed days and hours of operation are Monday through Friday from 7:30 a.m. to 5:00 p.m. and Saturday from 7:30 a.m. to 12:00 p.m. Landscaping will be added along the front and side of the property All signage will be in compliance with the Route 66 Plan

Kelly Chappelle of the Avalon Neighborhood Association, testified that they are concerned about the appearance of the existing property, as well as "fleet trucks" being visible from the street. Mr. Crandall addressed these concerns and informed Mr. Chappelle that the overall appearance of the property will be aesthetically pleasing.

Based on all of the testimony and a review of the entire file, it is determined there is substantial evidence to make the following findings and conclusions:

FINDINGS AND CONCLUSIONS: I find that this request complies with Section 14.16.4.2.(C).1., for the granting of a conditional use upon a finding that the proposed use will not cause injury to the neighborhood, adjacent property or the community, nor will it be damaged by surrounding structures For reasons stated above, this request is approved

DECISION: Approved

If you wish to appeal this decision, you may do so by 5:00 p.m., on June 16, 2008 in the manner described below:

Appeal is to the Board of Appeals within 15 days of the decision. A filing fee of \$105.00 shall accompany each appeal application, as well as a written explanation outlining the reason for appeal and a copy of the ZHE decision. Appeals are taken at 600 2nd Street,

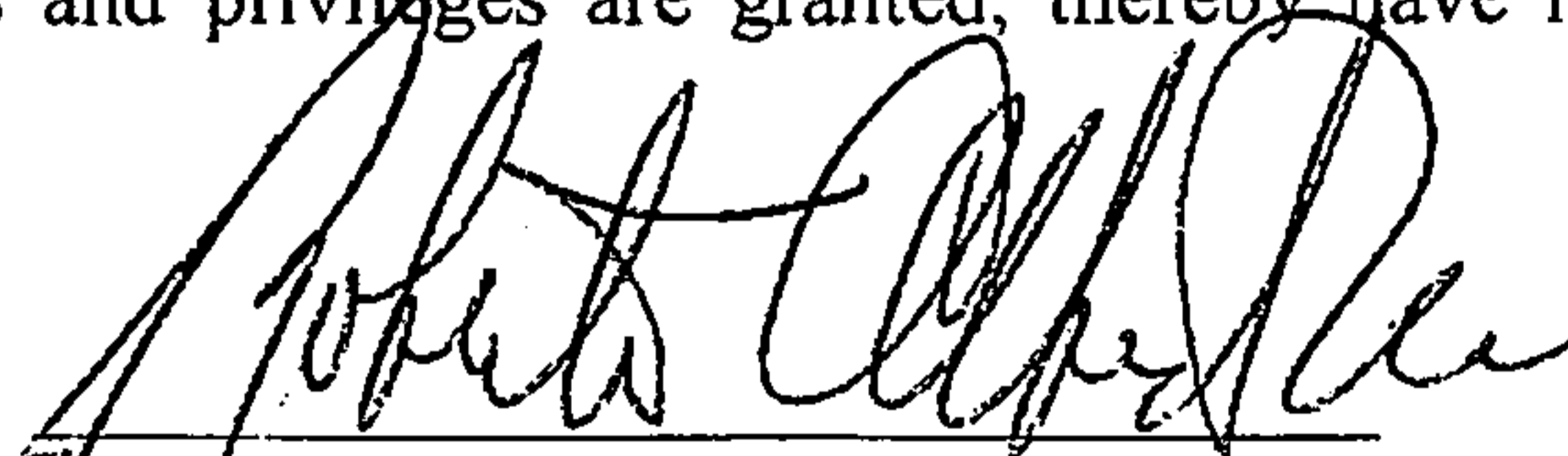
Plaza Del Sol Building, Ground Level, Planning Application Counter located on the west side of the lobby **Please present this letter of notification when filing an appeal.** When an application is withdrawn, the fee shall not be refunded

An appeal shall be heard by the Board of Appeals within 45 days of the appeal period and concluded within 75 days of the appeal period. The Planning Division shall give written notice of an appeal, together with a notice of the date, time and place of the hearing to the applicant, a representative of the opponents, if any are known, and the appellant.

Please note that pursuant to Section 14.16.4.4.(B), of the City of Albuquerque Comprehensive Zoning Code, you must demonstrate that you have legal standing to file an appeal as defined

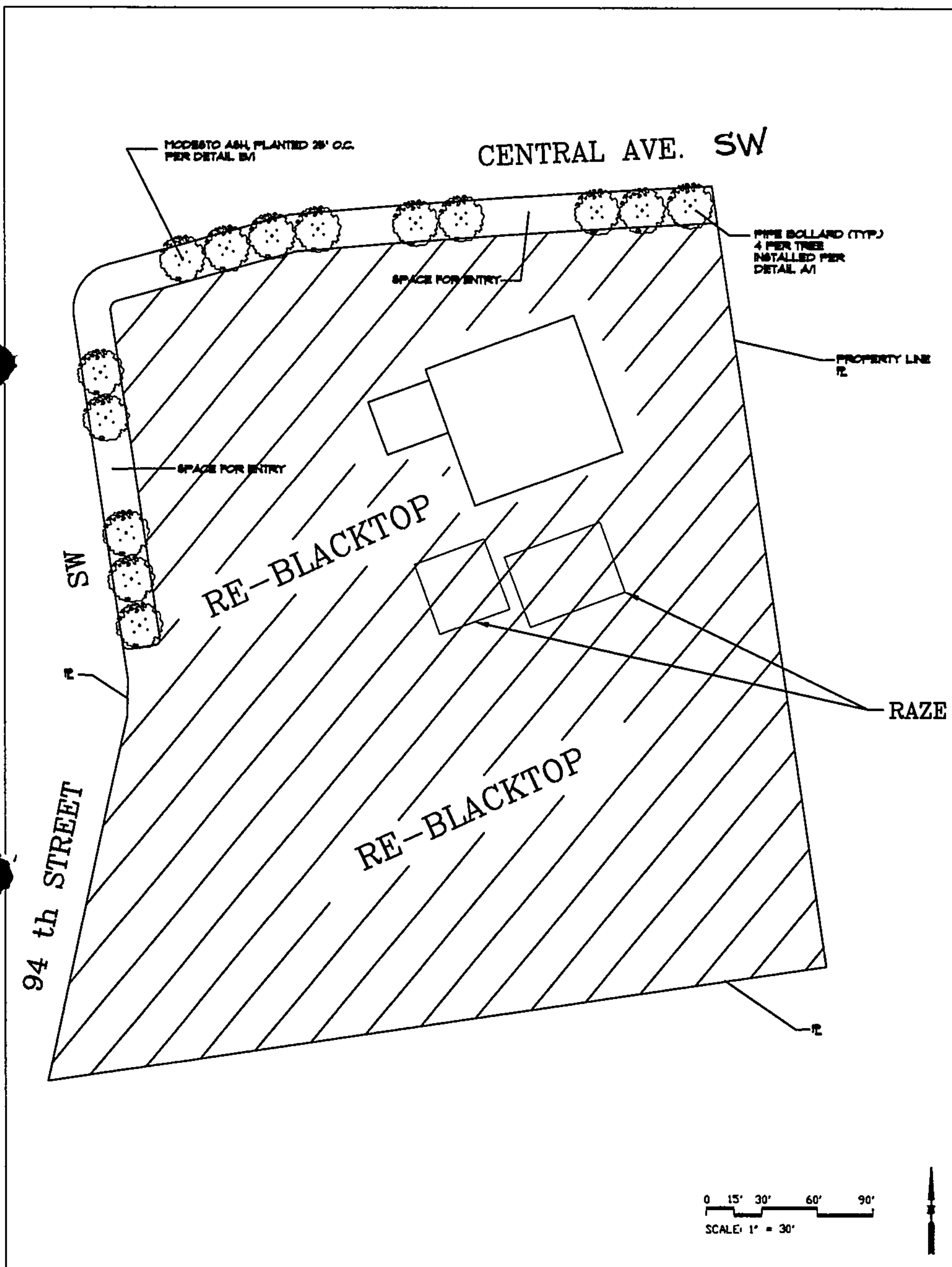
You will receive notice if any other person files an appeal. If there is no appeal, you can receive building permits any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. However, the Zoning Hearing Examiner may allow issuance of building permits if the public hearing produces no objection of any kind to the approval of an application. To receive this approval, the applicant agrees in writing to return the building permit or occupation tax number.


Successful applicants are reminded that other regulations of the City must be complied with, even after approval of a special exception is secured. This decision does not constitute approval of plans for a building permit. If your application is approved, bring this decision with you when you apply for any related building permit or occupation tax number. Approval of a conditional use or a variance application is void after one year from date of approval if the rights and privileges are granted, thereby have not been executed or utilized.



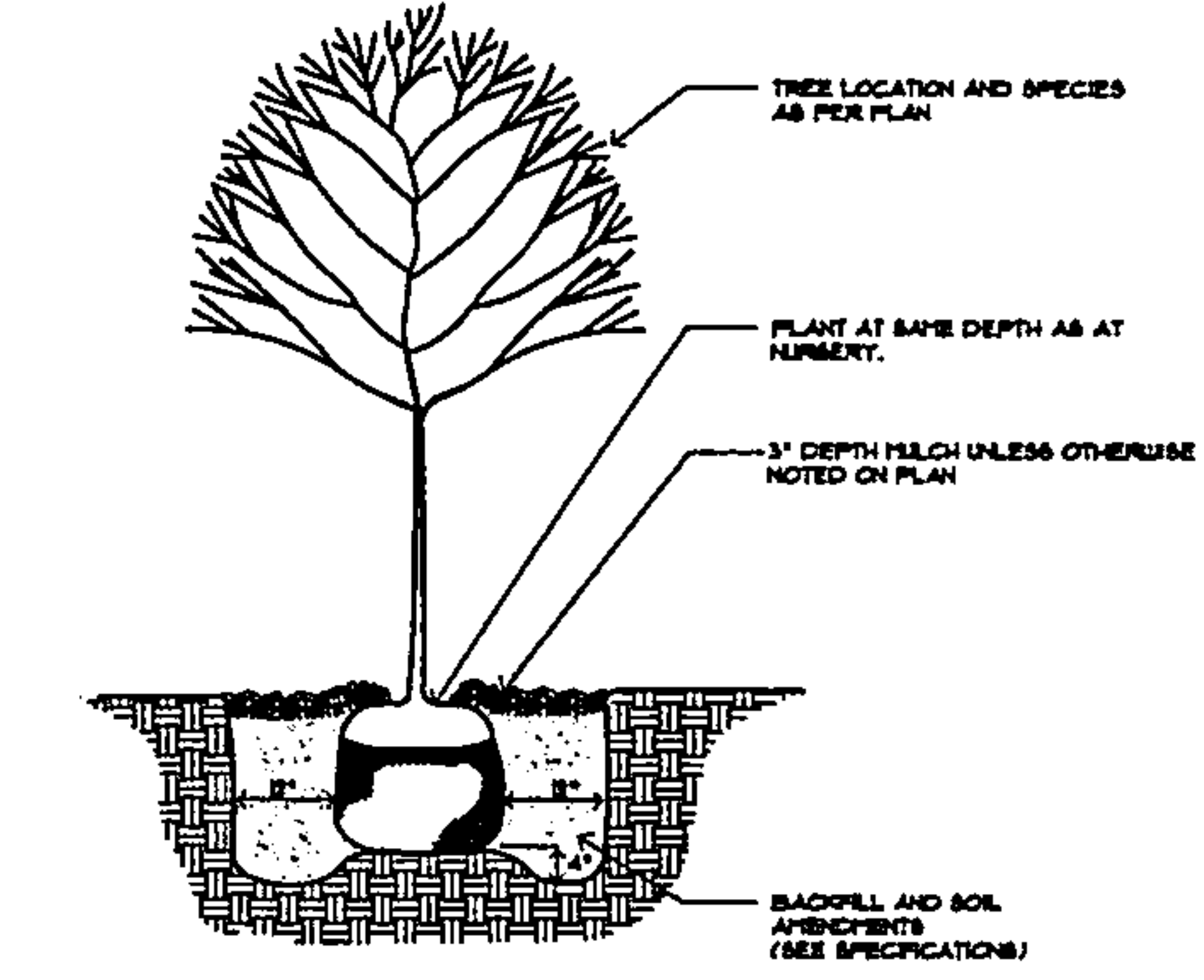
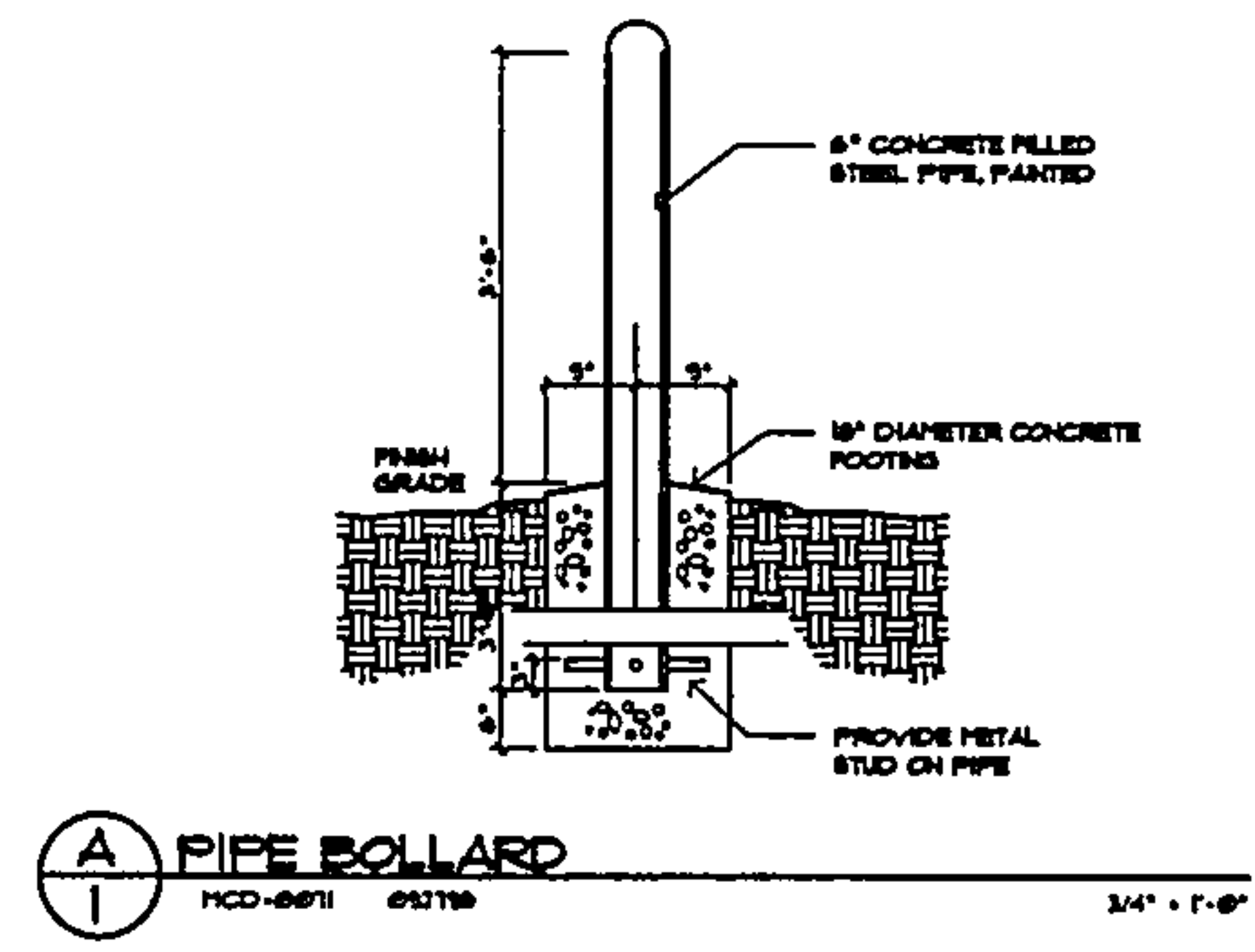
Roberto Albertorio, Esq.
Zoning Hearing Examiner

cc: Zoning Enforcement
ZHE File (2)
Randy Schiegel, CEO, 700 Osuna NE, 87113
DAC Enterprises, P O Box 16658, 87191
Kelly Chappelle, Avalon NA, 9135 Santa Catalina NW, 87121



PLANT SCHEDULE						
KEY	COMMON NAME	BOTANICAL NAME	QTY	SIZE	INSTALLED	REMARKS
TREE						
	Modesto Ash	Fraxinus Velutina 'Modesto'	15	2" cal, 12'-14' ht.	40' ht. 4 25' spd.	30" Box

- NOTES**
1. LANDSCAPE IRRIGATION SHALL BE AN AUTOMATIC SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER.
 2. IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO.
 3. MAINTENANCE OF LANDSCAPE SHALL BE THE RESPONSIBILITY OF THE OWNER.



DRAWN BY: ALB
 CHECKED BY: BEM
 DATE: 8/02/08
 EXTENSIONS

KERRY BRADSHAW
 LANDSCAPE ARCHITECTS
 1011 N. 1st St. SW, Albuquerque, NM 87102
 TEL: 505.243.1111
 WWW.KERRYBRADSHAW.COM

LANDSCAPE PLAN

9200 WEST CENTRAL,
 ALBUQUERQUE, NM

SHEET
 1
 OF
 1



Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- D** Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

Professional/Agent (if any): K/G ARCHITECTS PHONE: 480 443.3705
 ADDRESS: 7585 E. REDFIELD ROAD #102 FAX: _____
 CITY: SCOTTSDALE STATE AZ ZIP 85260 E-MAIL: LEW@KGARCHITECTS.NET

APPLICANT: K/G ARCHITECTS PHONE: 480 443.3705
 ADDRESS: 7585 E. REDFIELD ROAD #102 FAX: _____
 CITY: SCOTTSDALE STATE AZ ZIP 85260 E-MAIL: LEW@KGARCHITECTS.NET

Proprietary interest in site: _____ List all owners: RANDY SCHIEGEL

DESCRIPTION OF REQUEST: REMODEL EXISTING BUILDING, USE TO REMAIN UNCHANGED, NEW PAVING, NEW LANDSCAPING PER CUP #1007231, NEW SIGNAGE, NEW PAINT.

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. B AND 12 Block: 11 Unit: N/A
 Subdiv/Addn/TBKA: _____
 Existing Zoning: SU-2 IP Proposed zoning: SU-2 IP
 Zone Atlas page(s): K-09-2 UPC Code: 100 905 723500 MRGCD Map No N/A
840219

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): Z-883, Z-75-99, CONDITIONAL USE PERMIT CASE #1007231 APPROVED 5.30.08

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? _____
 No. of existing lots: 3 No. of proposed lots: _____ Total area of site (acres): _____
 LOCATION OF PROPERTY BY STREETS: On or Near: S.E.G. CENTRAL AVENUE AND 94TH ST.
 Between: 94TH ST and 90TH ST

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE [Signature] DATE 8.21.08
 (Print) LEWIS KAPLAN Applicant: Agent:

FOR OFFICIAL USE ONLY

Form revised 4/07

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>98DRB - 70371</u>	<u>SK</u>		\$ <u>0</u>
<input checked="" type="checkbox"/> All fees have been collected				\$ _____
<input checked="" type="checkbox"/> All case #s are assigned				\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent				\$ _____
<input checked="" type="checkbox"/> Case history #s are listed				\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill				\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus				\$ _____
<input checked="" type="checkbox"/> F.H.D.P. fee rebate				\$ _____
	Hearing date <u>September 3, 2008</u>			Total \$ <u>0</u>

[Signature] 8-25-08
 Planner signature / date

Project # 1007231

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

SKETCH PLAT REVIEW AND COMMENT (DRB22) Your attendance is required.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08) Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Copy of DRB approved infrastructure list
 - Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
 - List any original and/or related file numbers on the cover application
- Extension of preliminary plat approval expires after one year.**

MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12) Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations & cross sections of perimeter walls **3 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- List any original and/or related file numbers on the cover application
- DXF file and hard copy of final plat data for AGIS is required.

MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16) Your attendance is required.

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings ensure property owner's and City Surveyor's signatures are on the plat prior to submittal
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations and cross sections of perimeter walls (11" by 17" maximum) **3 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- Fee (see schedule)
- List any original and/or related file numbers on the cover application
- Infrastructure list if required (**verify with DRB Engineer**)
- DXF file and hard copy of final plat data for AGIS is required.

AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03) Your attendance is required.

- PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.
- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - List any original and/or related file numbers on the cover application
- Amended preliminary plat approval expires after one year**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

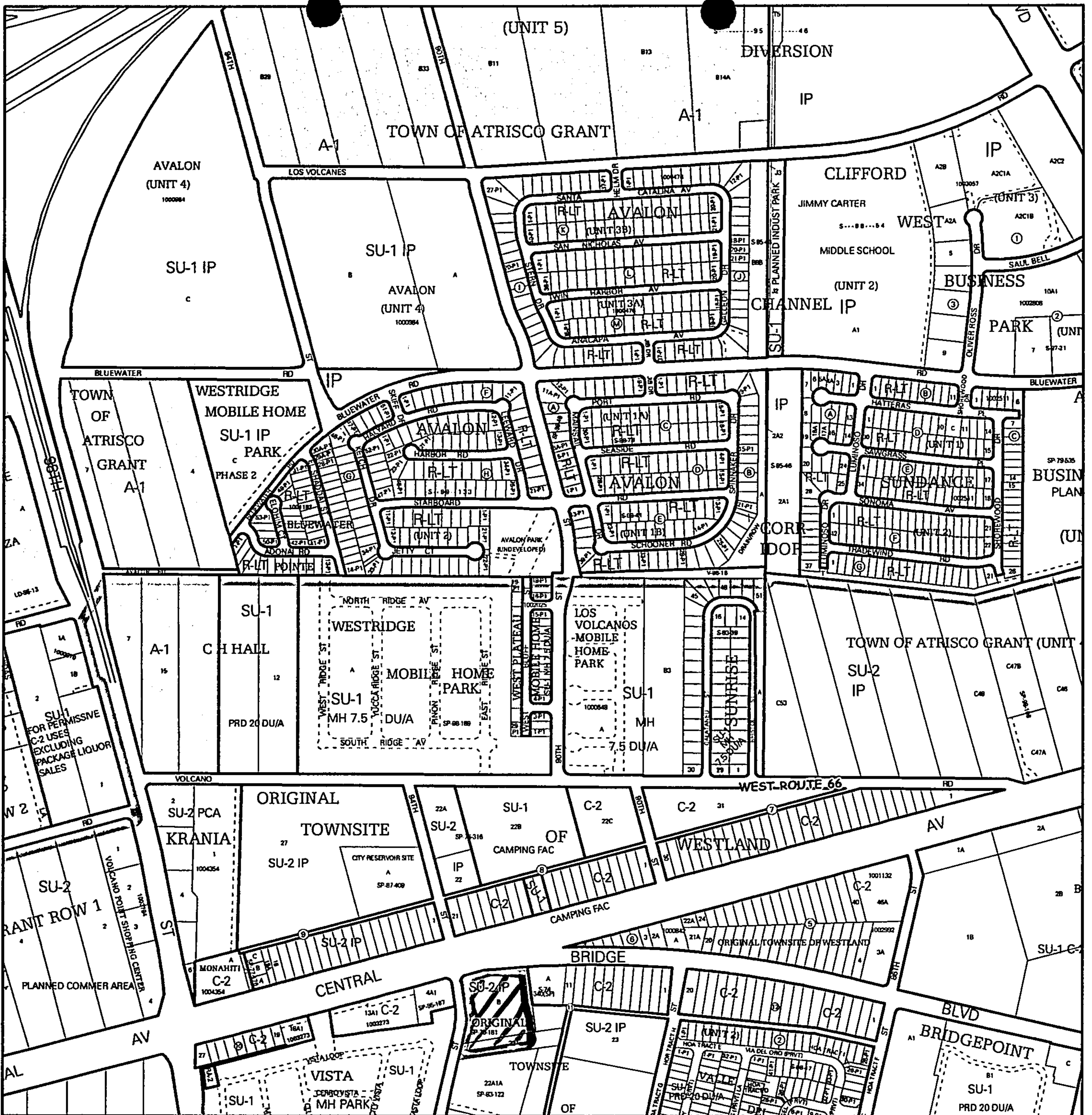
LEWIS KAPLAN
Applicant name (print)
[Signature] 8.21.08
Applicant signature / date



Form revised October 2007

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
08DRB - 70371

[Signature] 8.25.08
Planner signature / date
Project # 1007231



For more current information and more details visit: <http://www.cabq.gov/gis>

Map amended through: 6/13/2008

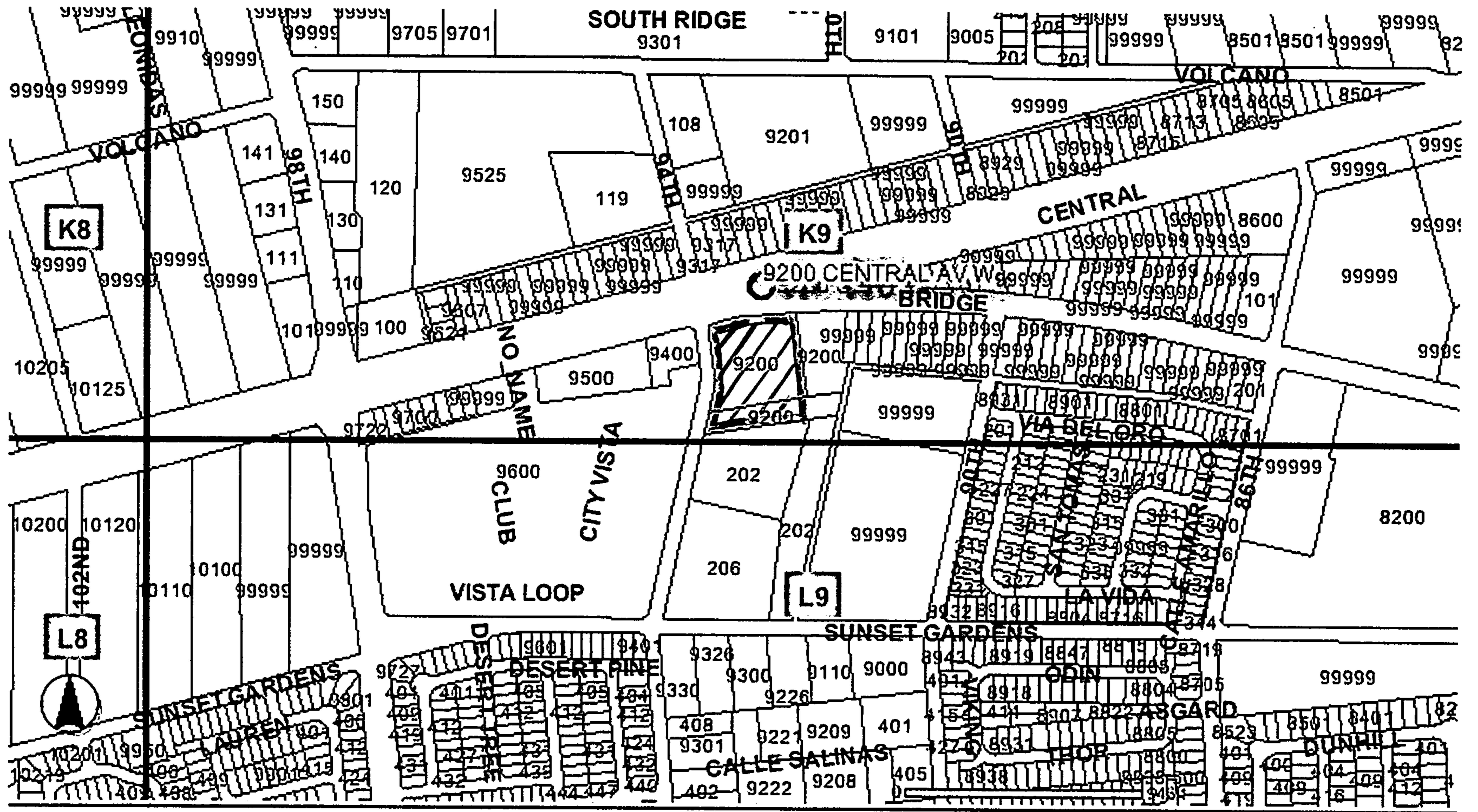
Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
K-09-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500
Feet



August 22, 2008

City of Albuquerque
Development Services Center
600 2nd Street NW
Main Level-West Lobby Counter
Albuquerque, NM 87103

Project: Penske Truck Leasing
Proposed Facility Improvements at 9200 Central Ave SW

Re: Sketch Plat Review – **Project Narrative**

Penske Truck Leasing is proposing to lease an existing vacant building located at 9200 Central Ave SW previously used as a truck stop facility. The existing building use of service shop area, office area, and ancillary storage rooms will not change. Penske Truck Leasing intends to remodel the existing building and fit up to satisfy their needs for truck rental and vehicle repair. Vehicle repair is limited to oil changes, tire repair, minor body work, and the exchange of parts. The repair work does not include engine overhaul or open fuel carburetor work

The following is a list of proposed work considered with this project.

1. Repaint the exterior of the existing buildings that are to remain.
2. Remove (two) 40' x 40' Storage Buildings for a total of 3,200 sf being removed.
3. Add a new 25' x 40' wash bay canopy structure.
4. Remodel the interior of the existing office and service bays, block in any unused door or window openings to match the existing building.
5. Add new monument sign and wall sign
6. Pave the remaining unpaved areas of the site, repair existing asphalt as necessary.
7. Add two driveways entrances along Central Avenue and one driveway along 94th Street.
8. Add trees in landscape strip along Central Ave and along 94th Street per the approved CUP case # 1007231.
9. Modify the perimeter chain link fence as necessary to secure the site with new gates and fence repairs.
10. Add new Site lighting pole fixtures around the interior perimeter of the site.

Prepared by


Phil Gallegos