

Project Team

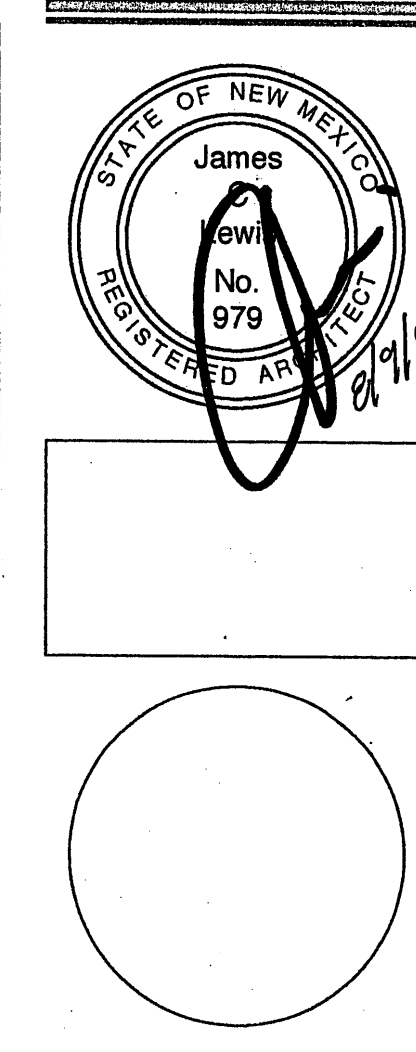
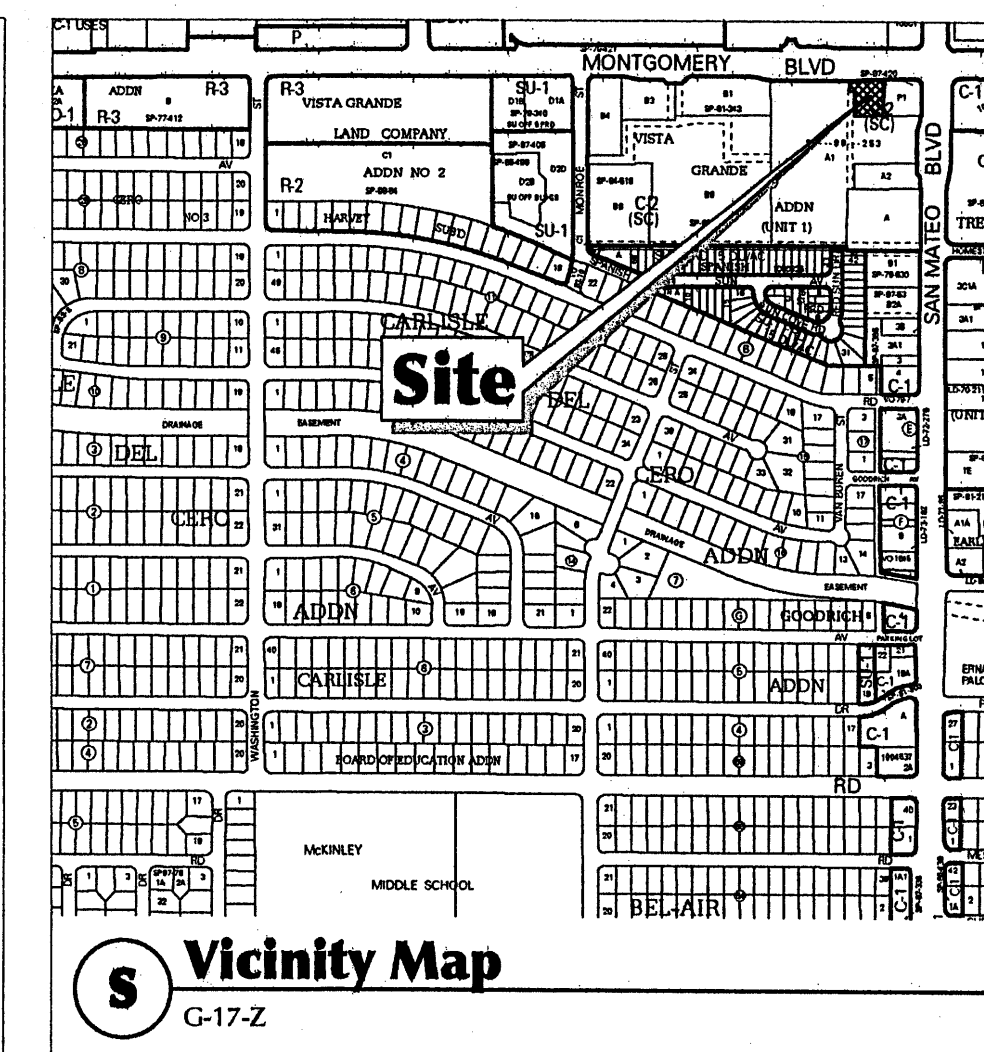
OWNER
 Estrella del Rio Grande, Inc.
 2715 Broadbent Parkway NE Unit A
 Albuquerque, NM 87107
 505-792-2752
 E-mail: edrgnm@aol.com
 Contact: Mr. Blaine Wiles

ARCHITECT
 James C Lewis Architect
 1620 Central Ave. SE
 Albuquerque, NM 87106
 (505) 247-1529
 Fax: (505) 243-6701
 E-mail: gdi@mac.com
 Contact: James C Lewis

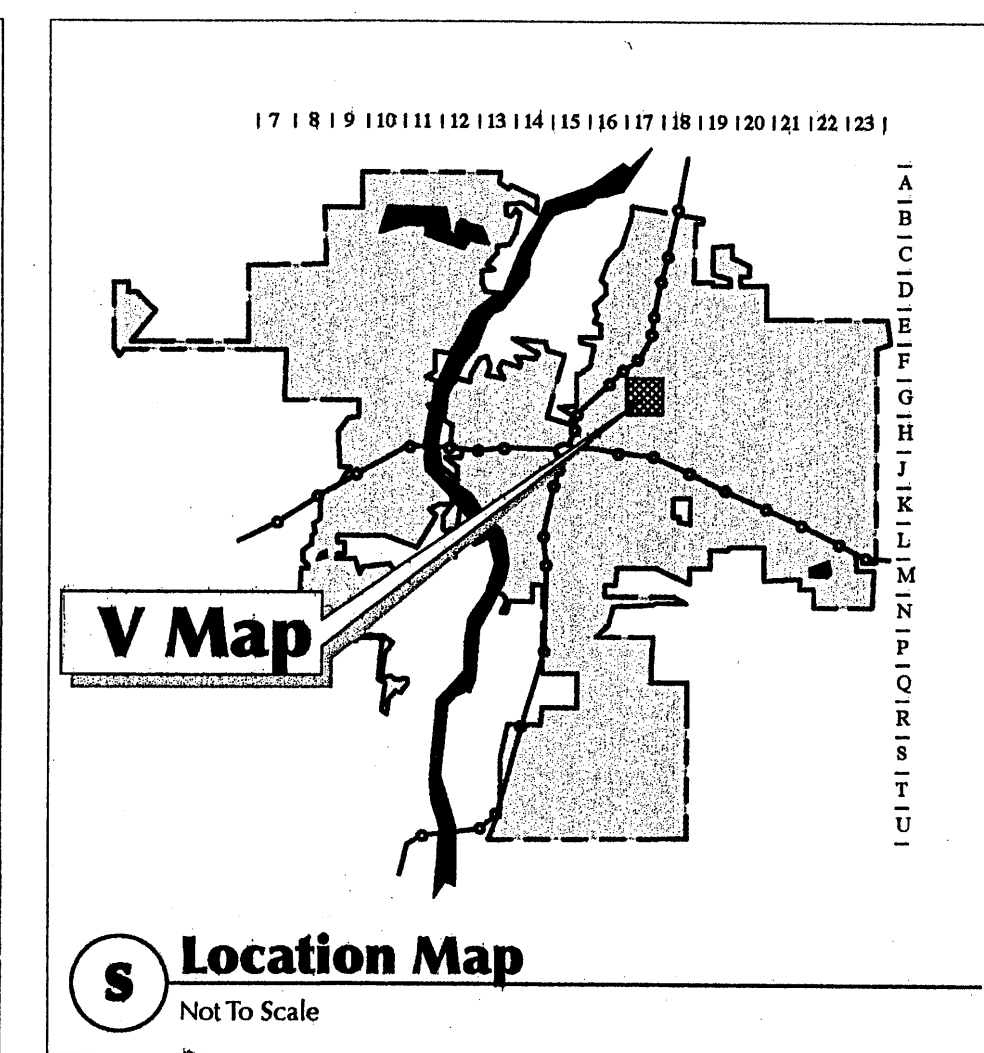
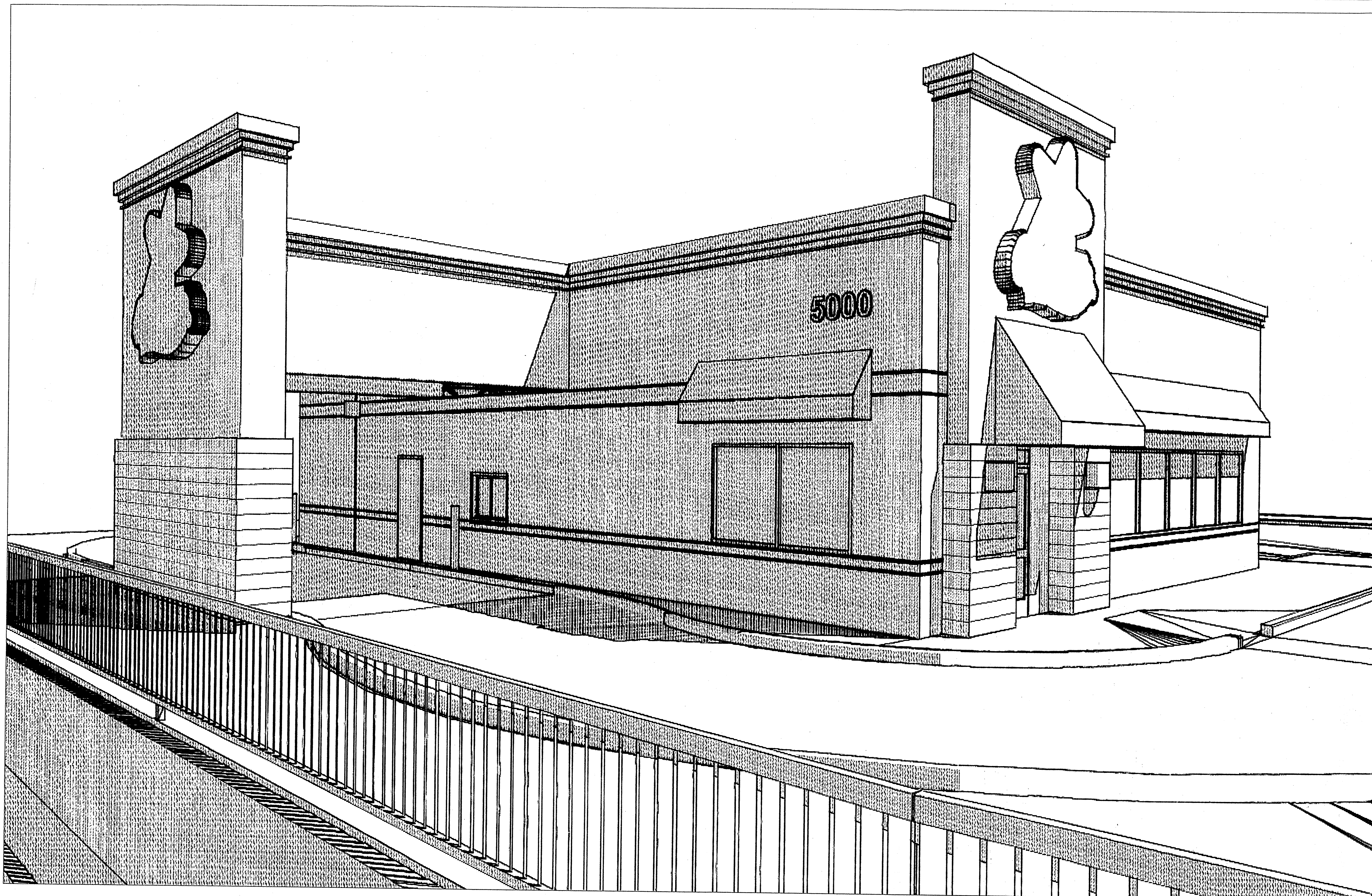
PLANNING
 Consensus Planning
 302 Eight Street NW
 Albuquerque, NM 87106
 (505) 764-9801
 Fax: (505) 842-5495
 E-mail: cp@consensusplanning.com
 Contact: Jim Strozier

Site Development Plan for Building Permit Carl's Jr. Restaurant

5000 Montgomery Boulevard NE • Albuquerque, NM 87109



PROJECT #



James C Lewis Architect
 General Design, Inc.
 1620 Central Ave. SE #106
 Albuquerque, NM 87106
 (505) 247-1529 - gdi@mac.com
 Architecture & Planning

1007255

Project Summary

This project incorporates approximately 2,750 square feet quick serve type restaurant building including drive through window for a Carl's Jr. restaurant. The proposed development is less than a 2% increase in size from the existing development.

The project includes towers, and awnings. The service window is located under a covered canopy that acts to shield the window from the street. The site features the building located toward the street with a large landscape buffer that screens the drive through lane with the parking located toward the back of the site.

The building use is compatible with the surrounding development, as is the style which is single story retail and restaurant. The color scheme, building materials and landscaping is similar to the surrounding development.

Site Development Plan for Building Permit
Carl's Jr. Restaurant
 5000 Montgomery Boulevard NE
 Albuquerque, NM 87109

Sheet Index

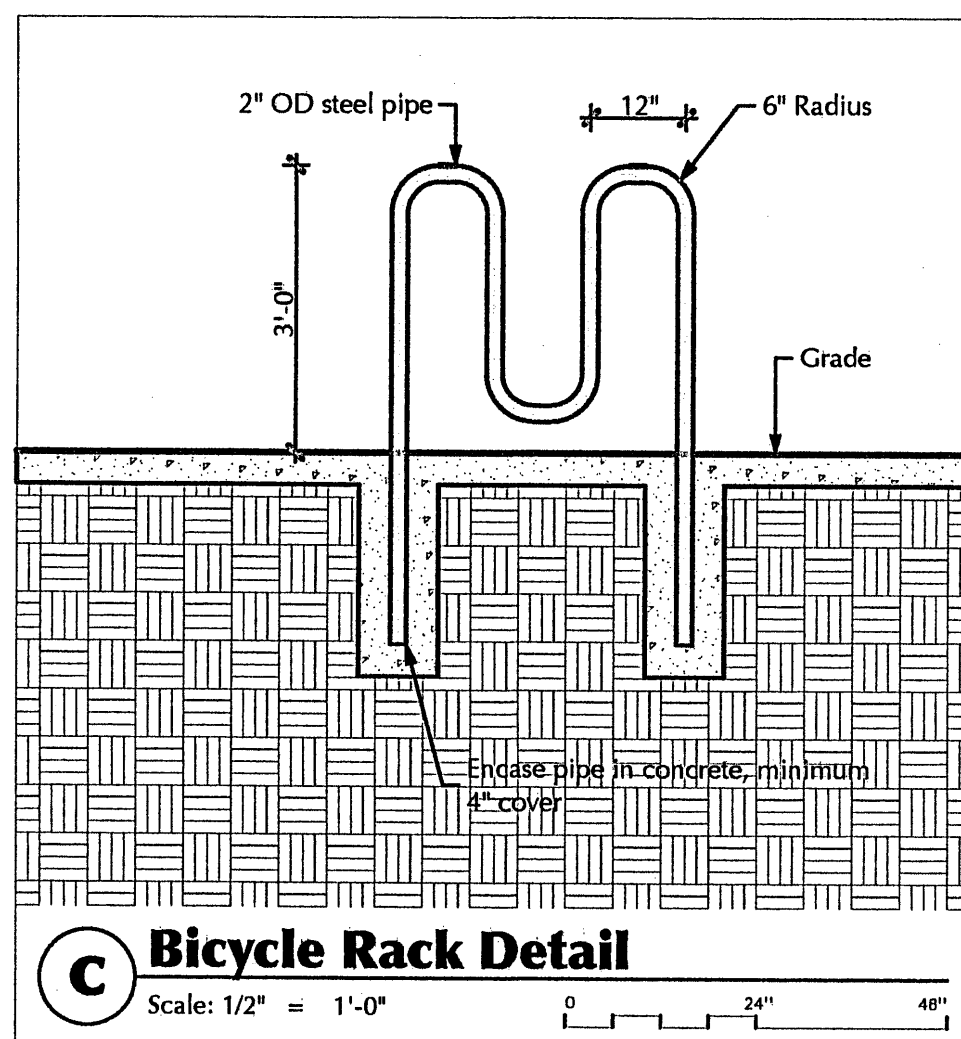
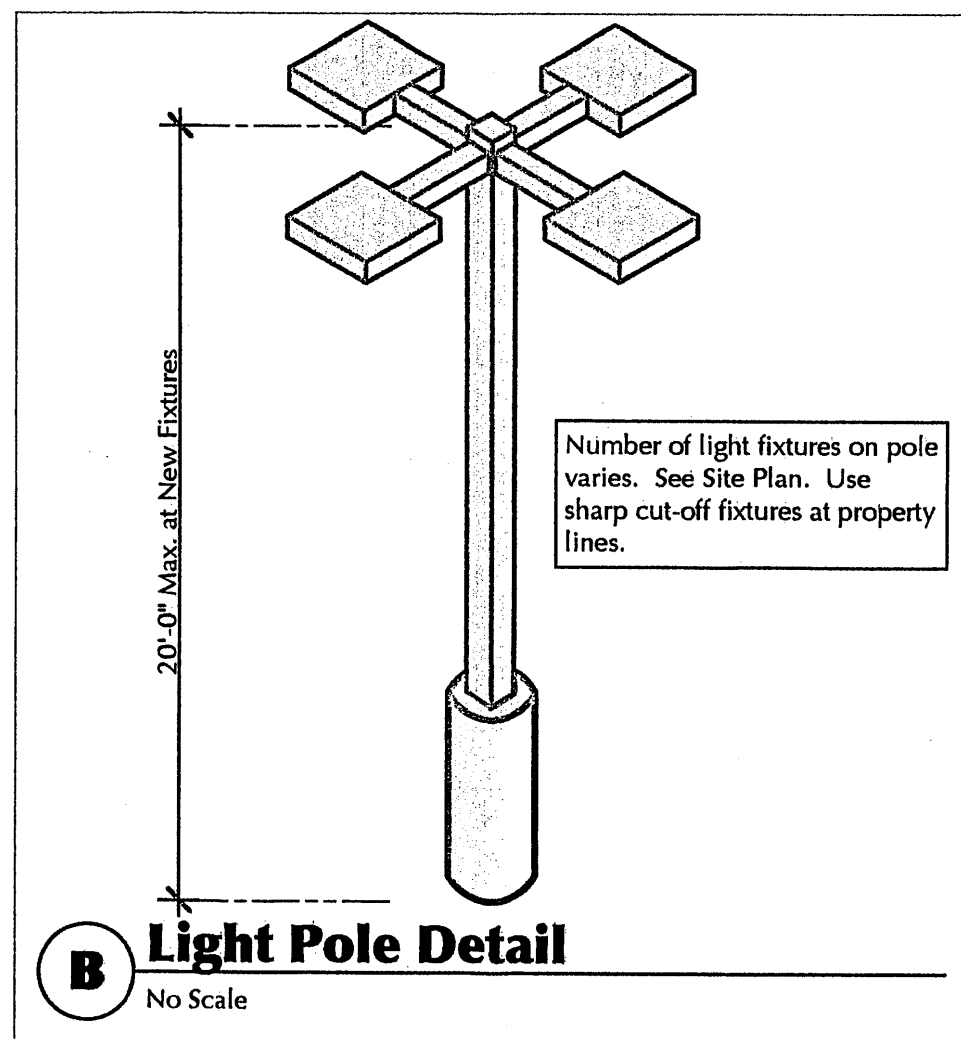
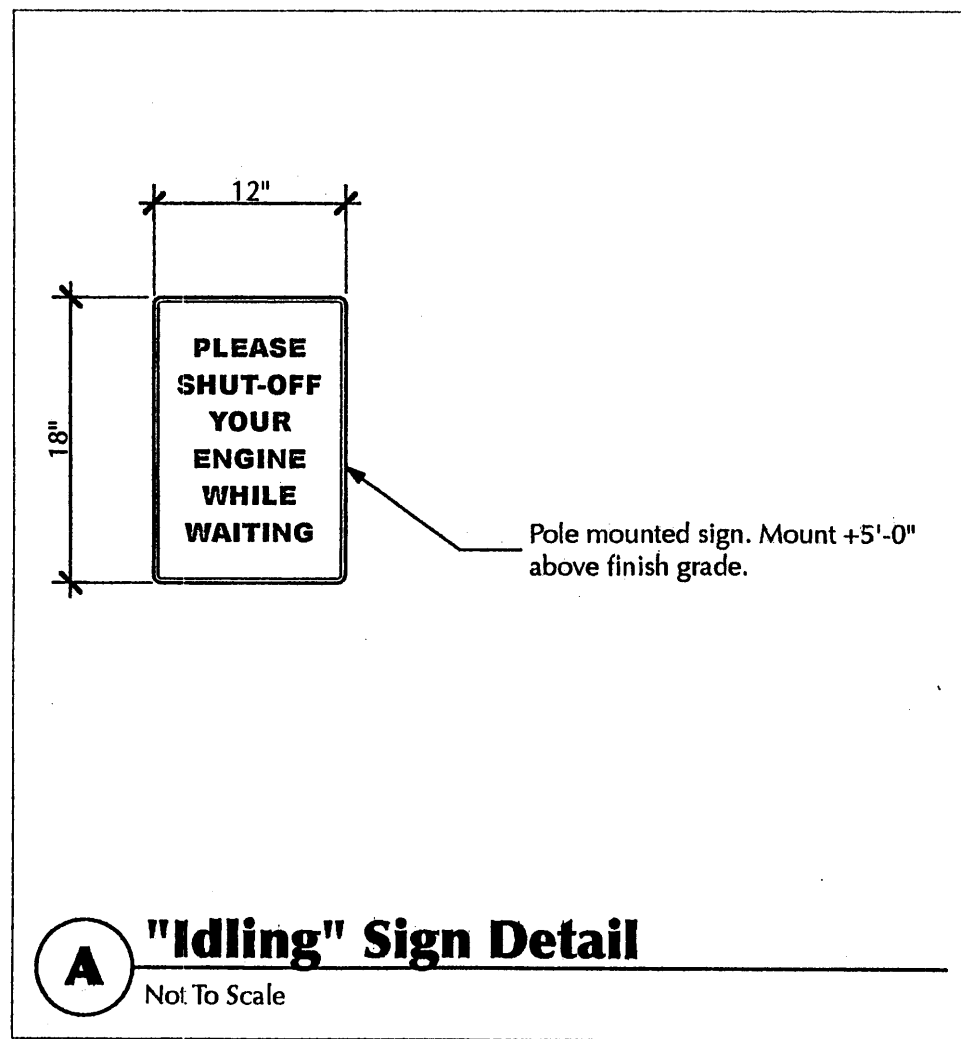
- SDP-1 Cover Sheet**
- SDP-2 Conceptual Site Plan**
- SDP-3 Landscape Plan**
- SDP-4 Grading & Drainage Plan**
- SDP-5 Exterior Elevations**
- SDP-6 Utility Plan Site**

ISSUE DATE:
 30 June, 2008

REVISIONS:
 ▲09 September, 2008

PROJECT # 2007-0733

Cover Sheet
 SHEET
SDP-1
 1 OF 6



Project Info

ADDRESS
5000 Montgomery Boulevard NE
Albuquerque, NM 87109

LEGAL DESCRIPTION
Lot: A3, Block: A
Subdivision: Vista Grande Addition Unit One
UPC: 101706050351711613

PLANNING INFORMATION
Zone Atlas Page: G-17-Z
Land Use Zoning: C2 (ZC)

PARKING

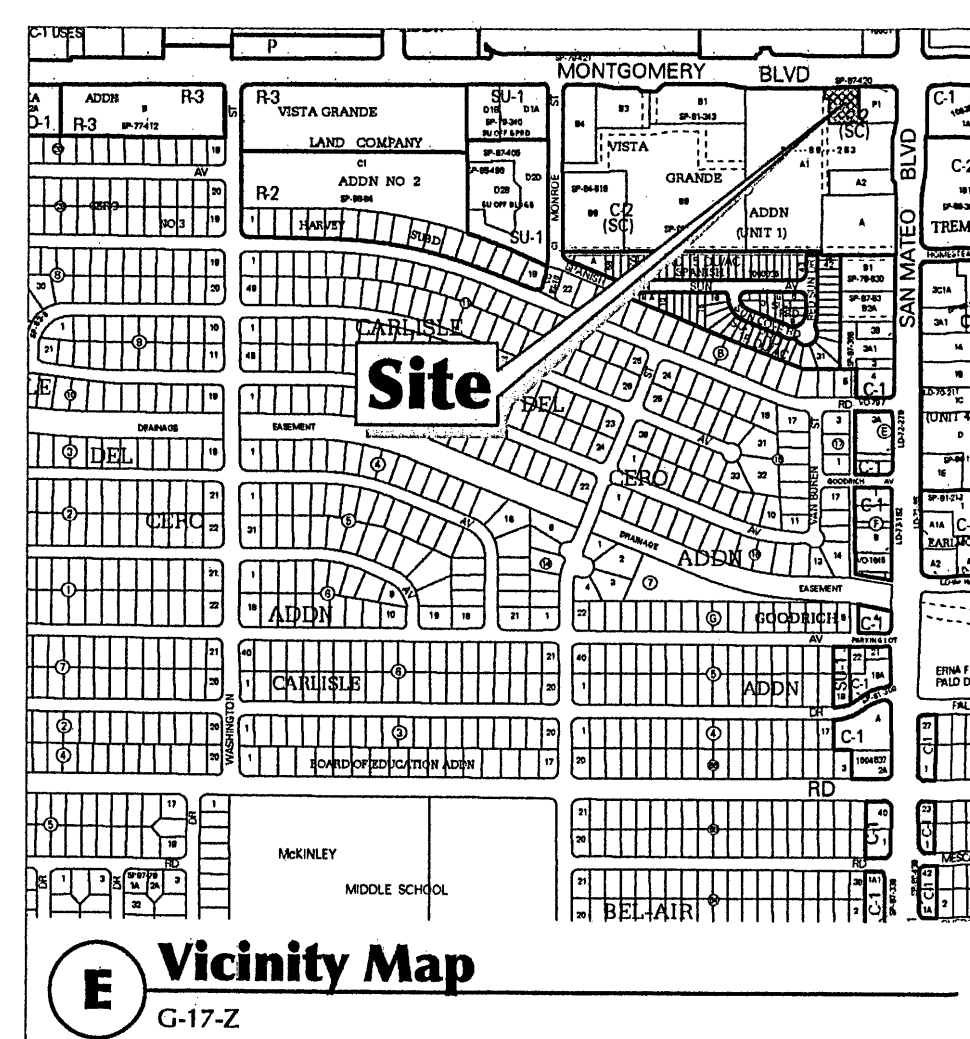
Required:
Restaurant: (1 space per 4 seats) 62/4 = 15.5
Buss Discount 10% (15.5x0.1=1.5) -1.5
Total required 14 Spaces

Provided:
Standard Spaces 13 Spaces
HC Space 1 Spaces
Total 14 Spaces

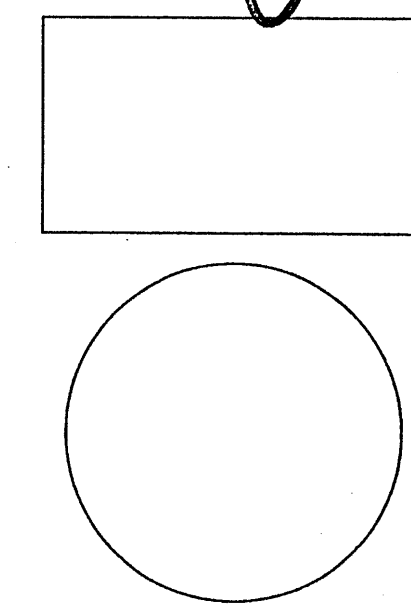
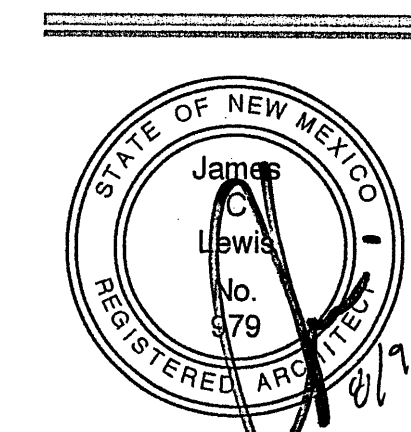
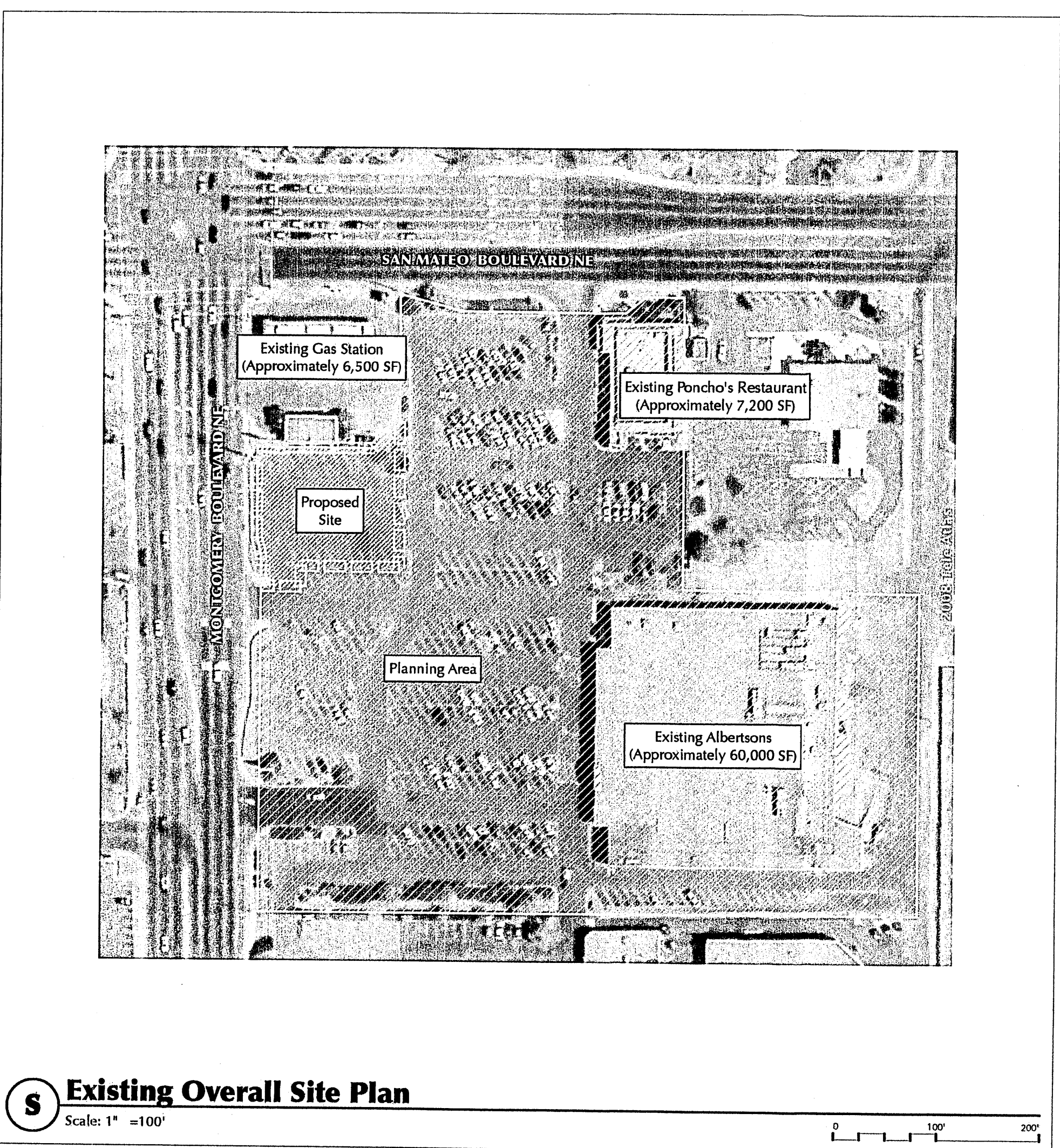
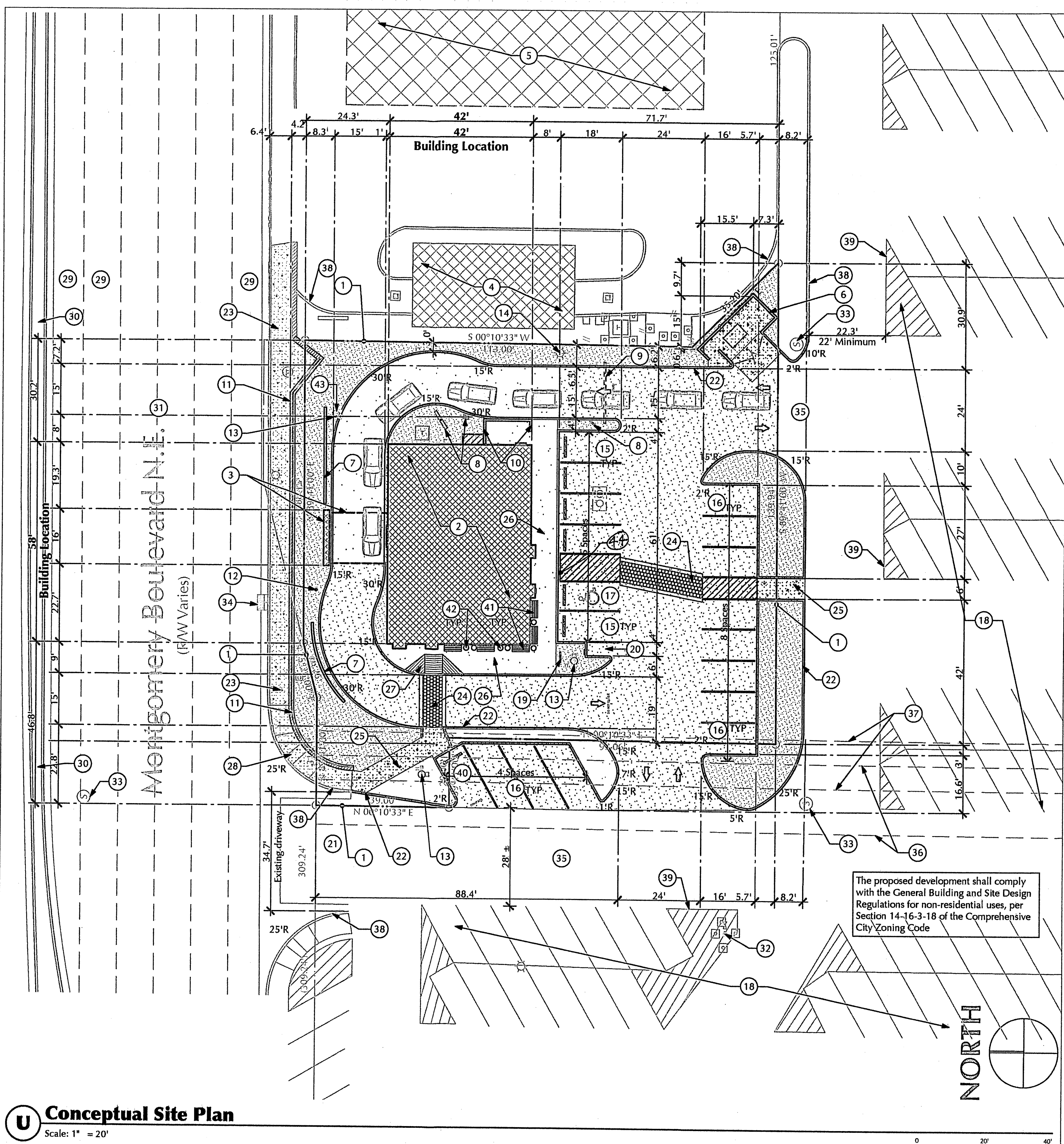
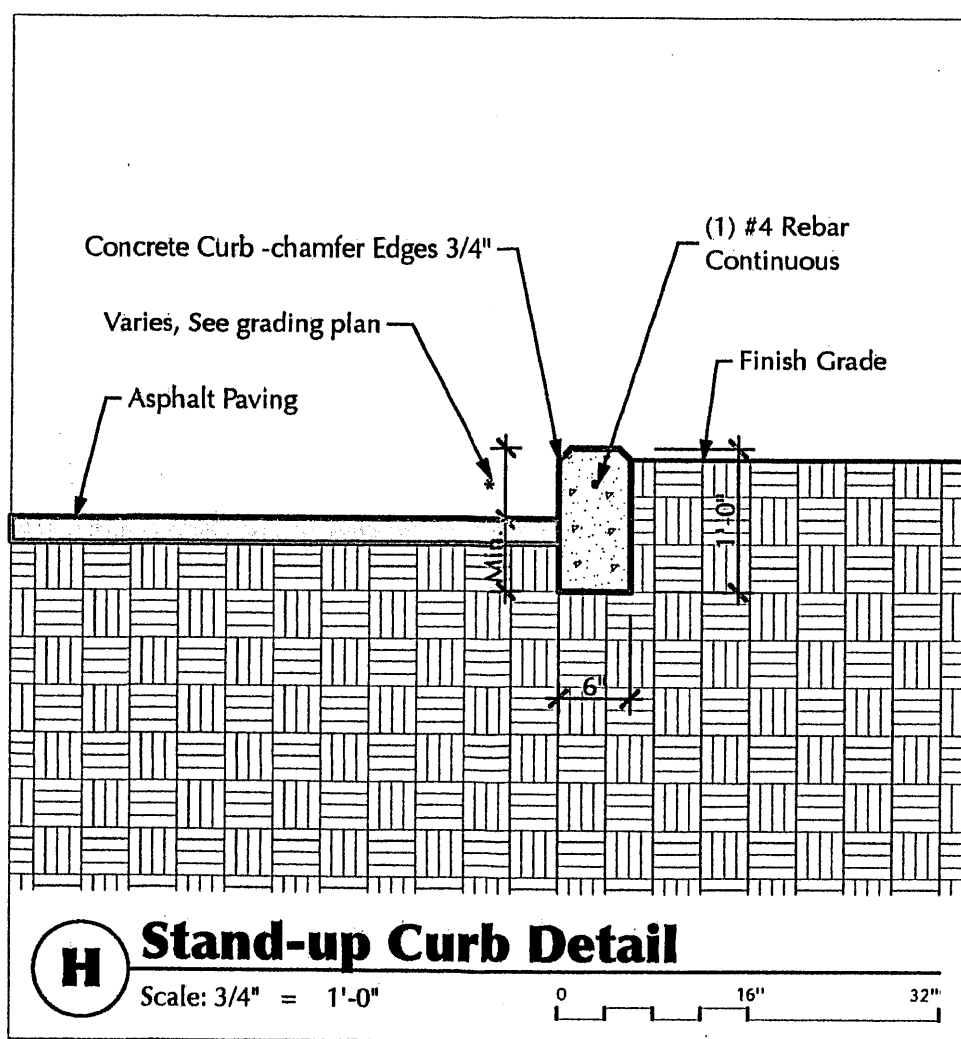
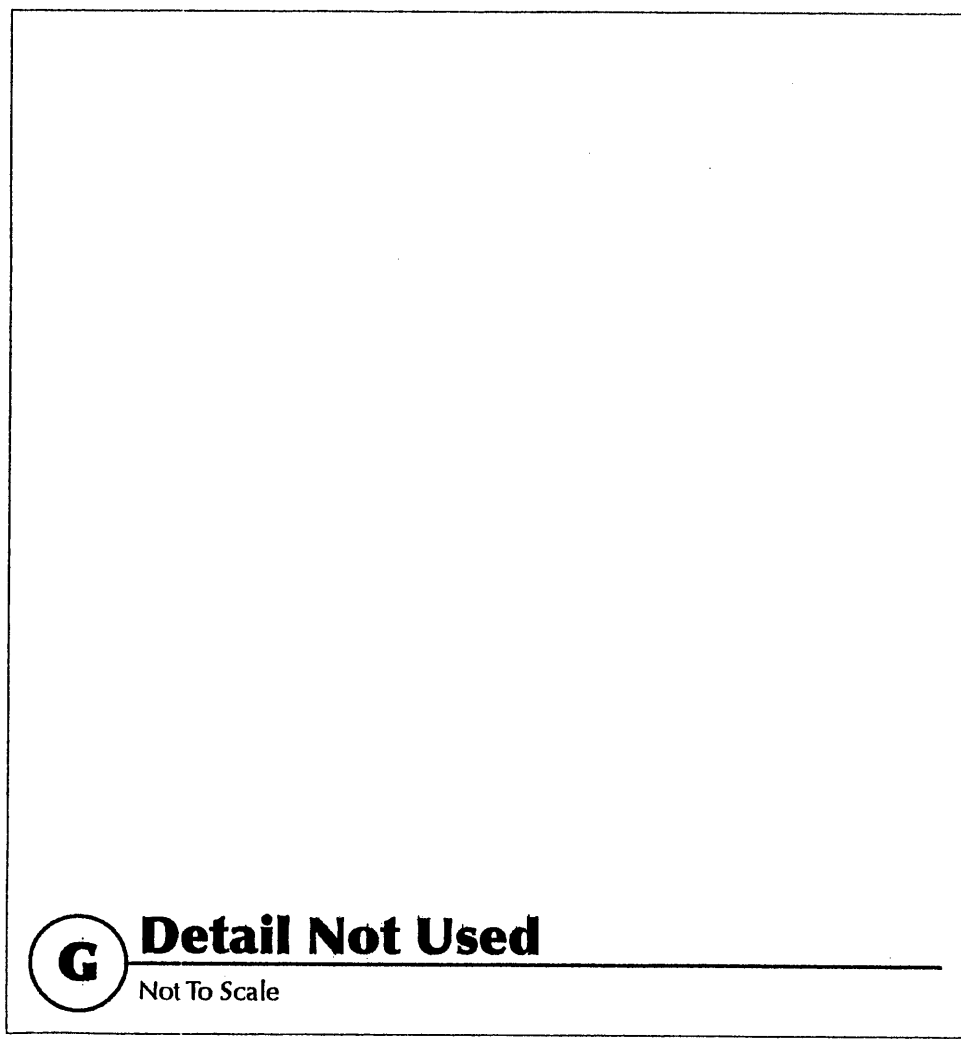
Note: Tract A-3 is subject to a reciprocal, non-exclusive easement over and through and across this parcel for parking, pedestrian traffic and pedestrian access. (Misc. 573, Page 575, AS document 77-74436)

BICYCLE PARKING (1 space per 20)
Required: 2 Provided: 2

MOTORCYCLE PARKING (1 space per 25)
Required: 1 Provided: 1

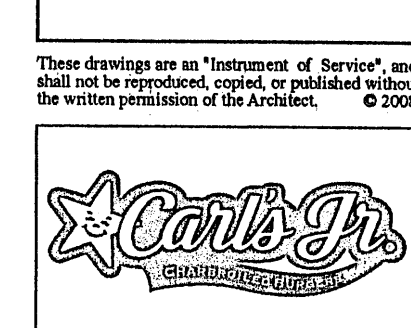


- Keyed Notes**
- Property line (typical)
 - Proposed Carl's Jr. restaurant building location (2,459 SF heated +291 SF Covered = 2,750± Total square feet)
 - Cover over drive-thru service window
 - Existing car wash building (part of adjacent development)
 - Existing gas filling canopy building (part of adjacent development)
 - Dumpster enclosure - see elevation, detail 'L' on sheet SDP-5
 - 3 foot high screen wall. See detail 'T' on sheet SDP-5.
 - Drive through menu sign and order station or preview menu sign
 - Drive through clearance bar
 - Garden screen wall with gate
 - Existing retaining wall with guard rail
 - 25 foot tall flag pole
 - Proposed 20'-0" tall site light fixture
 - Existing site 50'± tall lighting fixture to remain
 - Parking space 9'-0" wide x 18' with concrete wheel stop (along sidewalk)
 - Parking space 9'-0" wide x 16' (along landscaping)
 - Typical HC parking space 9'-0" x 18' with concrete wheel stop. Provide an 8' wide handicap aisle for van space. Slope asphalt so that the asphalt is flush with the sidewalk, thus requiring no ramp.
 - Existing shopping center parking
 - Bicycle rack (2 spaces minimum)
 - 6'x8' motorcycle parking space with upright sign
 - Existing entrance for shopping center
 - Typical concrete curb - see detail 'H' on this sheet
 - Existing 6± foot wide concrete sidewalk
 - Proposed 6 foot wide concrete sidewalk with 5% maximum grade
 - Proposed 8 foot wide wide minimum concrete sidewalk
 - Concrete curb ramp 1:12 GLOPE MAX
 - Existing concrete curb ramp
 - Existing turn lane
 - Existing street median
 - Bus rout 157 runs along Montgomery and routs 140, and 141 run along San Mateo with a buss stop directly to the east on the site.
 - Existing fire hydrant
 - Existing manhole
 - Existing storm sewer inlet
 - Tract A-3 is subject to a reciprocal, non-exclusive easement over, through and across its parcel for parking, pedestrian traffic and pedestrian access. (Misc. 573, page 575, as document 77-74436)
 - 20' underground utility easement (10/12/89, C40-14)
 - 14' underground utility easement (10/12/89, C40-14)
 - Existing concrete curb
 - Existing parking striping
 - Compact parking space 9'-0" wide x 15' (paint "COMPACT" at front of space)
 - 5 foot long (minimum) bench with back
 - Potted plant in 18" diameter (minimum) planter
 - "Idling" sign. See detail 'A' on this sheet
 - FLUSH SIDEWALK IS FLUSH WITH ASPHALT



James C. Lewis Architect
General Design, Inc.
1620 Central Avenue SE
Albuquerque, NM 87106
(505) 247-1529 - gdl@jamesc.com

Architecture & Planning



Site Development Plan for Building Permit

Carl's Jr. RESTAURANT

5000 Montgomery Boulevard NE
Albuquerque, NM 87109

PROJECT NUMBER: 1007255
Application Number: 08EPC 40076
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) dated 21 August, 2008 and the Findings and Conditions in the Official Notification of Decision are satisfied.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>[Signature]</i> Traffic Engineering, Transportation Division	Date: 9/24/08
<i>[Signature]</i> ABCWUA	Date: 9-24-08
<i>[Signature]</i> Parks and Recreation Department	Date: 9/24/08
<i>[Signature]</i> City Engineer	Date: 9/24/08
<i>[Signature]</i> Environmental Health Department (conditional)	Date: 9/24/08
<i>[Signature]</i> Solid Waste Management	Date: 9/24/08
<i>[Signature]</i> DRB Chairperson, Planning Department	Date: 9/24/08

* Environmental Health, if necessary

ISSUE DATE: 30 June, 2008

REVISIONS:
09 September, 2008

PROJECT # 2007-0733

Conceptual Site Plan

SHEET

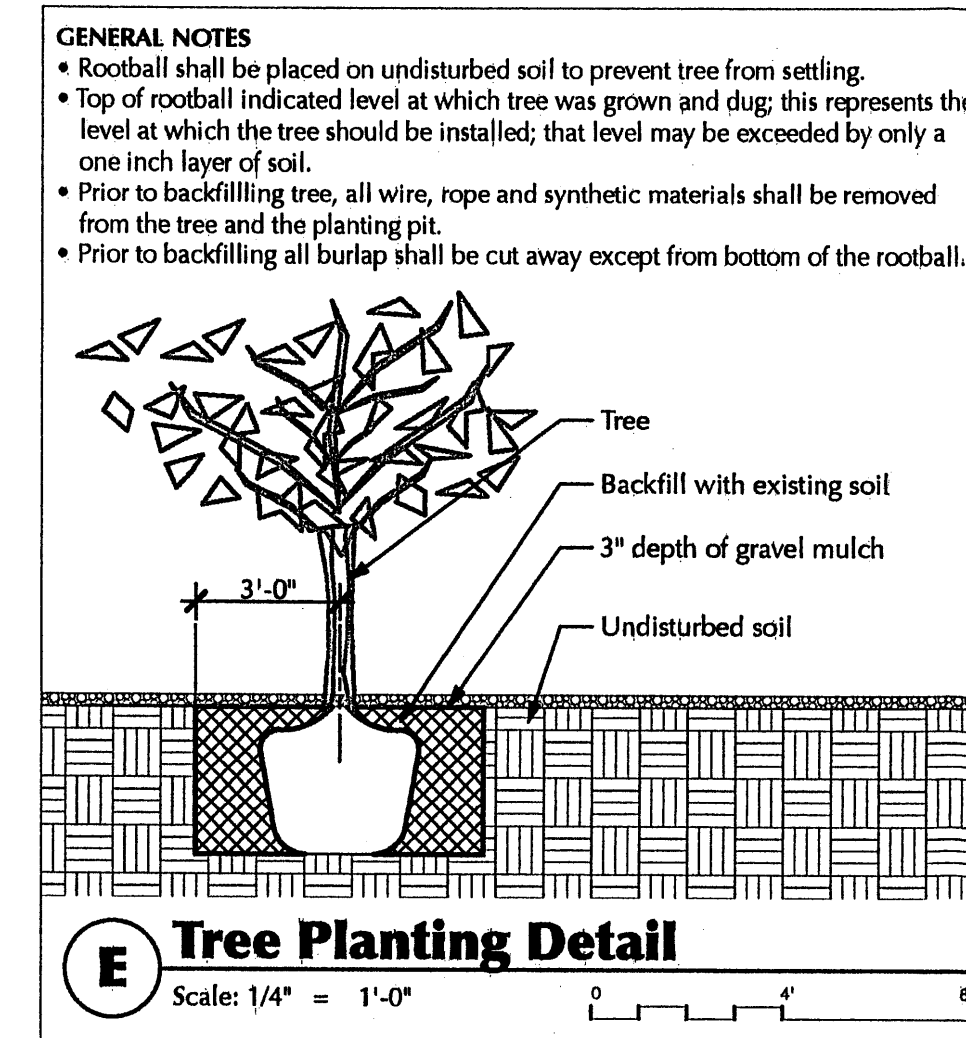
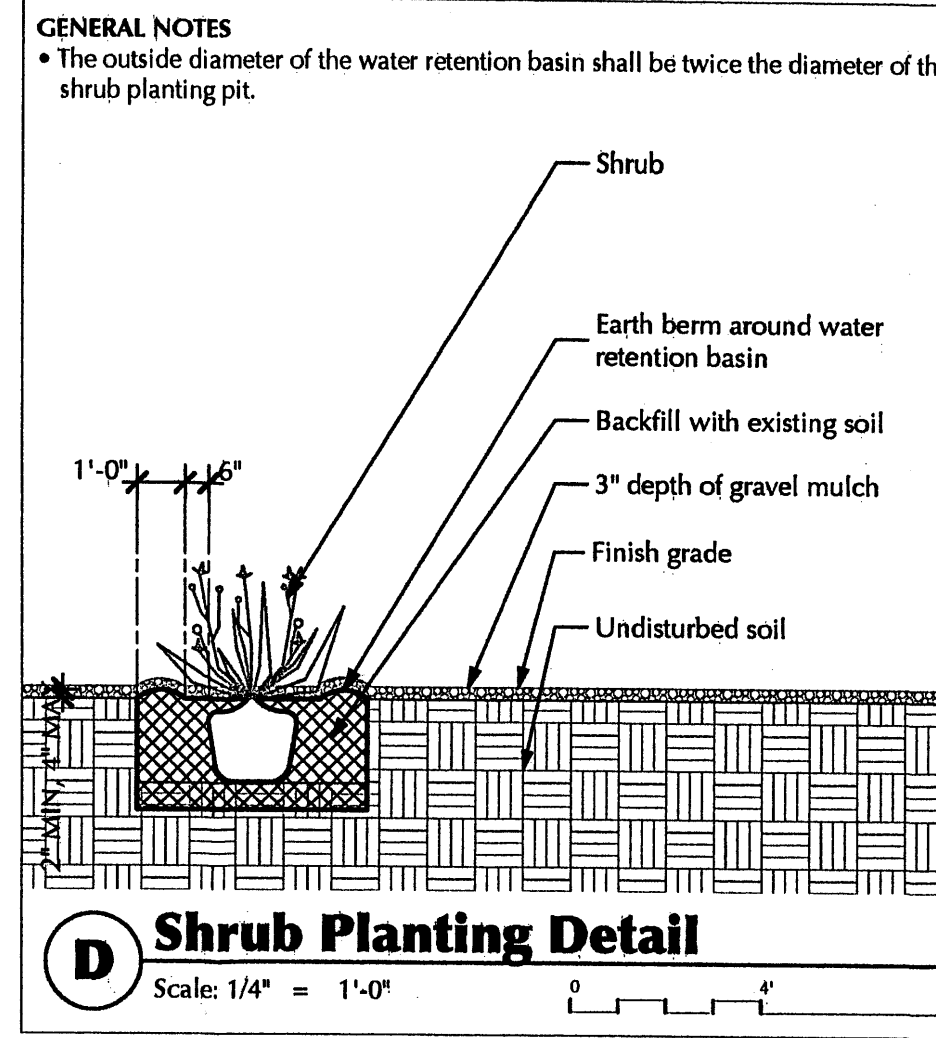
SDP-2

2 OF 6

A Detail Not Used
Not To Scale

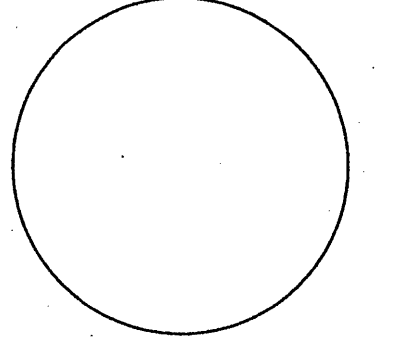
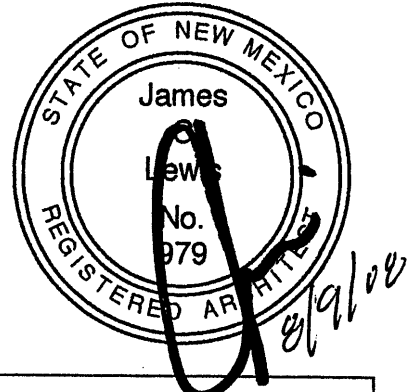
B Detail Not Used
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C Detail Not Used
Not To Scale



Landscaping Calculations

LANDSCAPE CALCULATIONS	
Total Lot Area	16,893 Square Feet
Total Building Area	2,750 Square Feet
Net Lot Area	14,143 Square Feet
Landscaping Requirement	15%
Total Landscape Requirement	2,121 Square Feet
Total Bed Provided	4,647 Square Feet
Groundcover Required	75%
Total Groundcover Required	3,400 Square Feet
Total Groundcover Provided	3,459 Square Feet (76%)
Total Ponding Area	0 Square Feet
Total Sod Area	0 Square Feet
Total Native Seed Area	0 Square Feet
Total Landscaping Provided	4,647 Square Feet (27%)
STREET TREE REQUIREMENTS	
Provided at 30' on center along street	3 large + 1 accent=4
PARKING LOT TREE REQUIREMENTS	
1 Shade tree per 10 spaces (22 spaces/10=2.2 trees)	
Required 3	Provided 3



G Detail Not Used
Not To Scale

Landscaping Notes

GENERAL
The design and provision of landscaping for this project will be in conformance with the City of Albuquerque Zoning Code, Pollen Ordinance, and the Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally-sound landscape principles will be followed in design and installation. The landscape design focuses on strategies to achieve a sustainable site, water reduction, and landscape aesthetics. The design is to be constructed in keeping with sustainable practices of increasing the efficiency of landscape/open space and their use of energy, water and materials through better design, construction, operation, and maintenance.

MULCHES
All shrub planting areas shall be top dressed with a combination of Santa Fe Brown Crusher Fines, 7/8" Santa Fe Brown Rock Mulch, 2"-4" Santa Ana Tan Cobble. The cobble should be used in areas that require accenting. The cobble swales located within the site shall provide drainage and water harvesting opportunities. Mulches will suppress weed growth, isolate plant roots from both heat and cold temperatures, extending periods of active root growth, ultimately aiding plant growth and vigor.

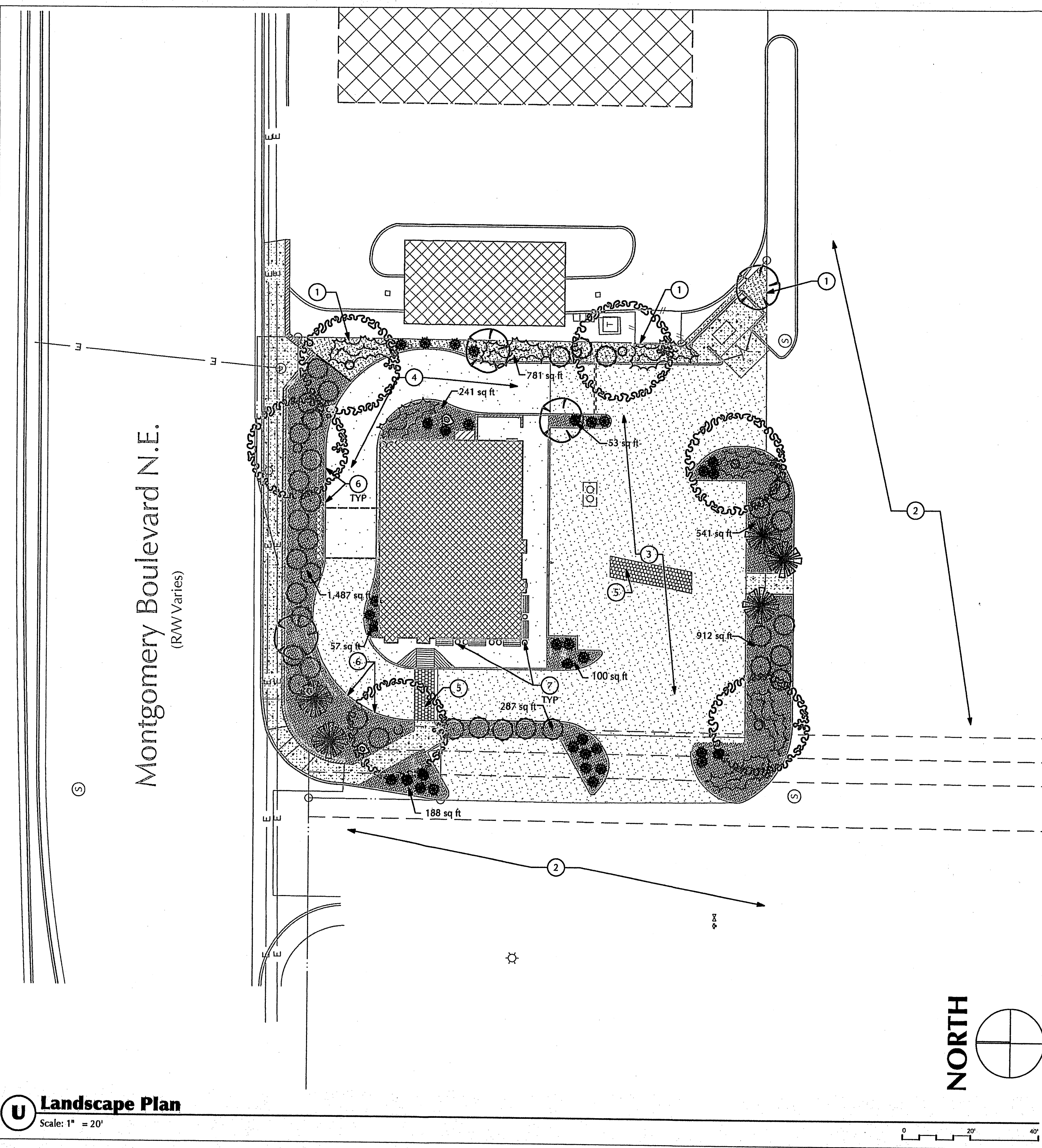
STATEMENT OF WATER WASTE
All landscaping shall be in compliance with the Water Conservation Landscaping and Water Waste Ordinance.

IRRIGATION
Irrigation system standards outlined in the Water Conservation Landscaping and Water Waste Ordinance shall be strictly adhered to. A fully automated drip irrigation system will be used to irrigate tree, shrub, and groundcover planting areas. Irrigation system design shall consider the ability to easily provide additional emitters for the expanding root zone. Trees shall receive (5) 1.0 gph emitters and shrubs shall receive (2) 1.0 gph emitters. Irrigation system to consist of Rain Bird 1400 series bubblers and Rain Bird PEB Series valves, and controlled by a Rain Bird ESP-LX series controller. Pop-up spray heads will be used as the turf irrigation methods, and are to be spaced evenly to reduce water waste. Trees shall be zoned separately from shrubs, perennials, and grasses. Plant beds shall achieve 75% live ground cover at maturity.

MAINTENANCE RESPONSIBILITY
Maintenance of the landscaping and irrigation system, including those areas within the public R.O.W., shall be the responsibility of the owner. All plants and sod areas shall be guaranteed for one year from date of installation. Any plants that are not of satisfactory vigor shall be replaced at no additional expense to the owner. After two growing seasons, adjustments to plant watering will need to be made by reducing irrigation to established drought resistant plant material. Water management will vary from season to season and year to year to compensate for variations in rainfall, heat and wind. The irrigation and maintenance will need to be adjusted accordingly.

STREET TREES
The street trees along Montgomery Boulevard comply with the Street Tree Ordinance, in that there is clustering of street trees of which the number of trees planted equals the number of trees that would be required if the trees were evenly-spaced. Also, according to the ordinance, every third street tree along Montgomery Boulevard may be an accent tree to promote variety in color, texture, form and height along the street way.

LANDSCAPE COVERAGE
All landscape areas, including buffer strips adjacent to major streets, shall contain live vegetative material covering at least 75% of the area. The proposed plantings are to be established for general landscaping purposes for the site.



Plant Legend

TREES	Name/Size	Water Usage	Qty	Height/Spread
	ASH or HONEY LOCUST Gleditsia triacanthos 2" Cal.	(H)	6	25'/25'
	PURPLE-LEAF PLUM Prunus spp. 2" Cal.	(M)	4	20'/20'
	PALM YUCCA Yucca faxoniana 2 Cal. 36 sf	(L)	5	15'/6'
	RED TIP PHOTINIA Photinia fraseri 5 Cal. 64 sf	(M)	36	8'/8'
	BLUE MIST SPIREA Caryopteris clandonensis 5 Cal. 9sf	(M)	38	3'/3'
	TAM JUNIPER Juniperus sabinia 5 Cal. 120s/fea (Symbol indicates 2 plants)	(L+)	14	6'/4'
		Boulders	2	
	3/4" Gray gravel with filter fabric			
	Santa fe brown crusherfines with filter fabric			
	Commercial grade steel edging			

Keyed Notes

- Blend existing gravel into new landscaping
- Existing asphalt paving
- Proposed asphalt paving
- Proposed concrete paving
- Stamped concrete
- Cuts in curb for rain water
- Flowering plants in pot

James C. Lewis Architect
General Design, Inc.
Albuquerque, NM 87106
(505) 247-1523 - cell@mac.com
Architecture & Planning

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Site Development Plan for Building Permit
Carl's Jr. Restaurant
5000 Montgomery Boulevard NE
Albuquerque, NM 87109

ISSUE DATE:
30 June, 2008

REVISIONS:
09 September, 2008

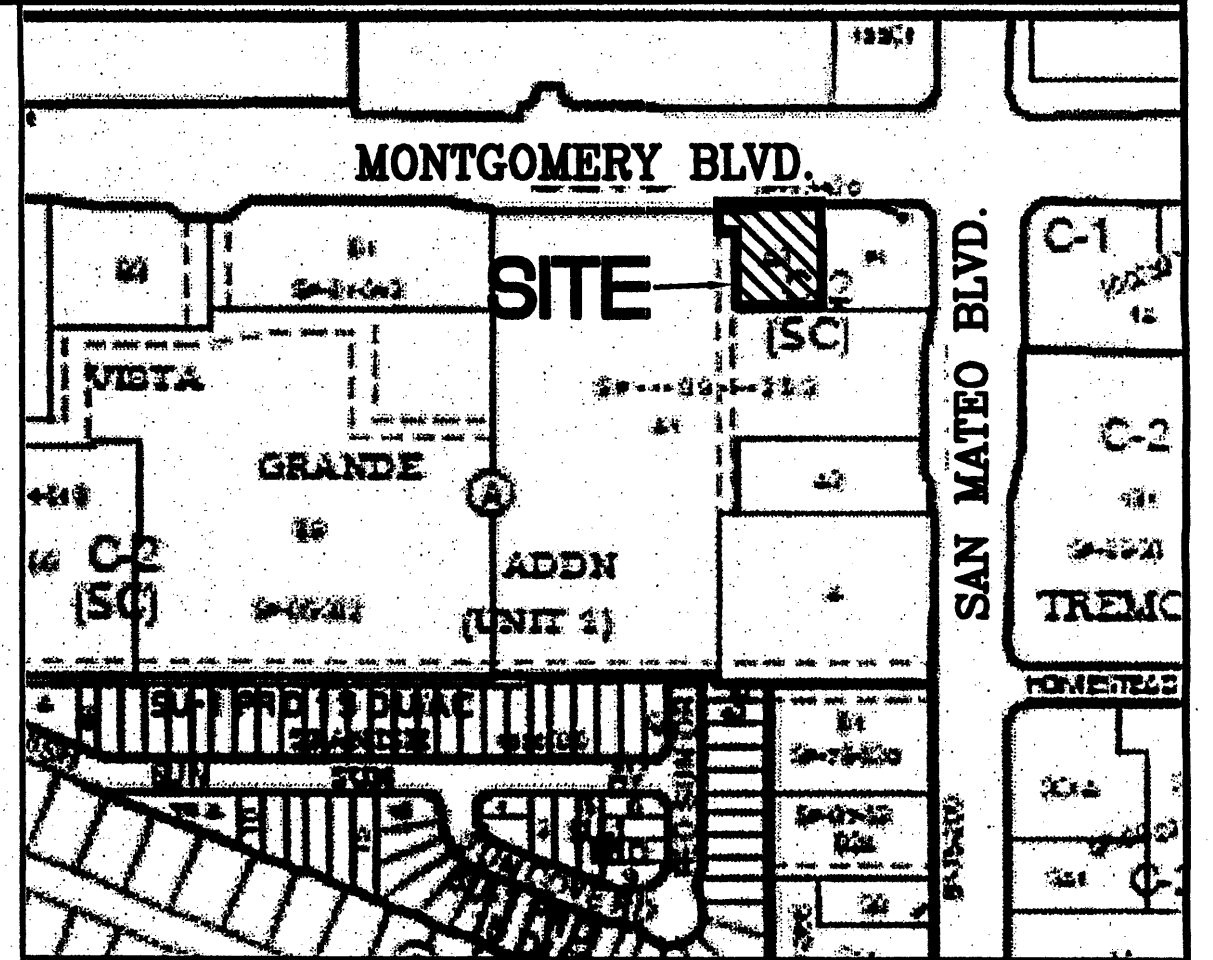
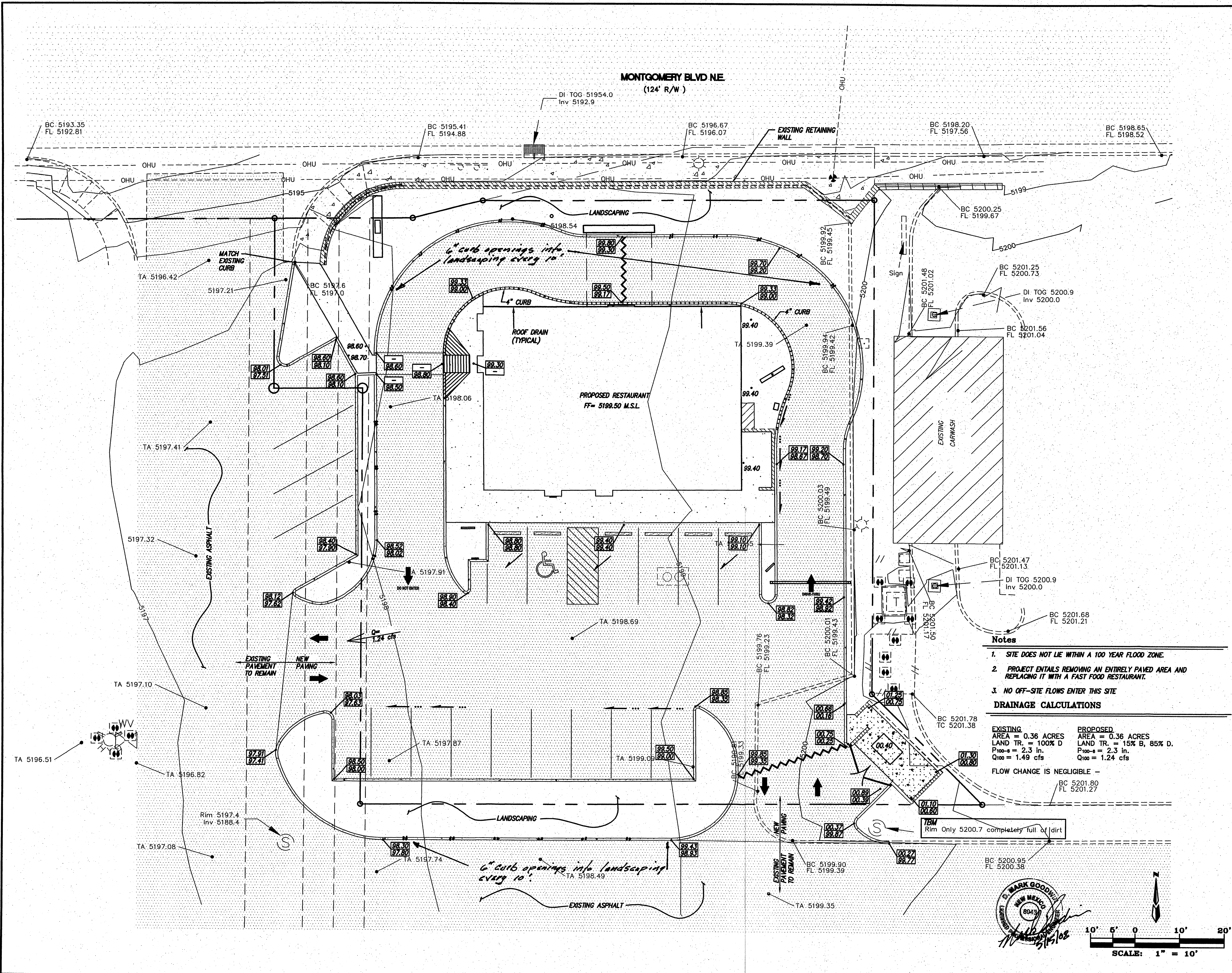
PROJECT # 2007-0733

Landscape Plan

SHEET
SDP-3
3 OF 6

M Detail Not Used
Not To Scale

S Detail Not Used
Not To Scale



VICINITY MAP ZONE MAP: G-17-Z

T B M (TEMPORARY BENCHMARK)

TOP OF MANHOLE COVER @ S.E. CORNER.
ELEVATION = 5200.70

ACS BENCHMARK

ACS BENCHMARK 10-F18. A City of Albuquerque 1 3/4" aluminum disk, stamped "ACS BM, 10-F18", spaled to top of concrete drop inlet, ENE quadrant of Montgomery Blvd. & San Mateo Blvd. NE, centered on said drop inlet.

LEGAL DESCRIPTION

TRACT A-3, BLOCK A, VISTA GRANDE ADDITION, UNIT ONE, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON OCTOBER 12, 1989, IN PLAT BOOK C40, PAGE 14.

LEGEND

76.50	PROPOSED SPOT ELEVATION
FF= 78.50	FINISHED FLOOR ELEVATION
	PROPOSED DRAINAGE FLOW
	PROPOSED TOP OF CURB PROPOSED FLOWLINE
5135	EXISTING CONTOUR (MAJOR)
	EXISTING CONTOUR (MINOR)
TC=	EXISTING TOP OF CURB
FL=	EXISTING FLOWLINE
x 00.00	EXISTING SPOT ELEVATION
	EXISTING CURB AND GUTTER
	EXISTING SANITARY SEWER MANHOLE
	EXISTING WATER VALVE
	EXISTING OVERHEAD ELECTRIC LINE
	EXISTING POWER POLE
	EXISTING TELEPHONE PEDESTAL
	EXISTING FIRE HYDRANT
	EXISTING STORM SEWER MANHOLE
	EXISTING DROP INLET
	EXISTING STORM DRAIN
	EXISTING GAS LINE
	NEW PROPERTY LINE
	NEW 6" CURB & GUTTER
	NEW 4" CURB & GUTTER
	NEW SIDEWALK
	NEW WALL
	NEW BUILDING
	NEW SIGNS
	EXISTING PAVEMENT
	NEW PAVEMENT

Notes

- SITE DOES NOT LIE WITHIN A 100 YEAR FLOOD ZONE.
- PROJECT ENTAILS REMOVING AN ENTIRELY PAVED AREA AND REPLACING IT WITH A FAST FOOD RESTAURANT.
- NO OFF-SITE FLOWS ENTER THIS SITE

DRAINAGE CALCULATIONS

EXISTING AREA = 0.36 ACRES LAND TR. = 100% D P ₁₀₀ -s = 2.3 in. Q ₁₀₀ = 1.49 cfs	PROPOSED AREA = 0.36 ACRES LAND TR. = 15% B, 85% D. P ₁₀₀ -s = 2.3 in. Q ₁₀₀ = 1.24 cfs
--	---

FLOW CHANGE IS NEGLIGIBLE -

BC 5201.80
FL 5201.27

BC 5201.78
TC 5201.38

BC 5201.50
FL 5201.17

BC 5201.47
FL 5201.13

BC 5201.25
FL 5200.73

BC 5201.02
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BC 5199.92
FL 5199.45

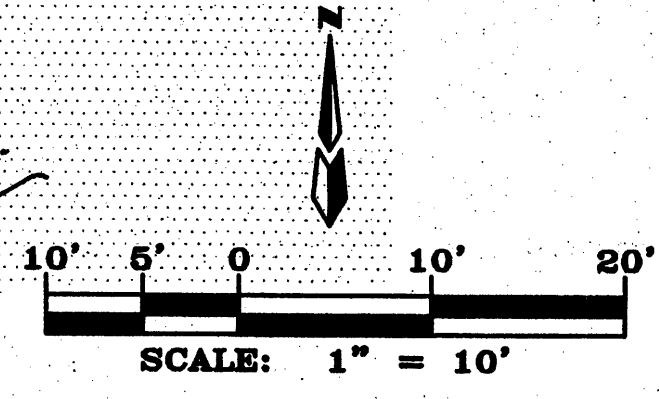
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FL 5197.56

BC 5198.65
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FL 5192.81

DI TOG 5195.40
Inv 5192.9



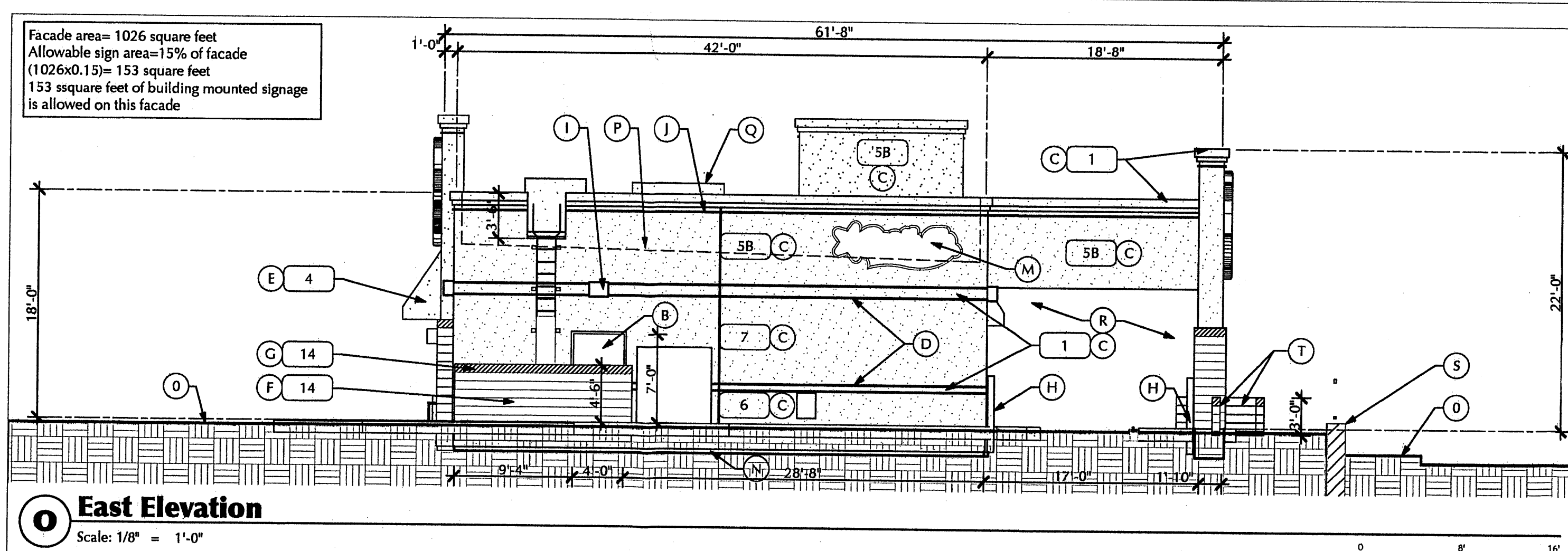
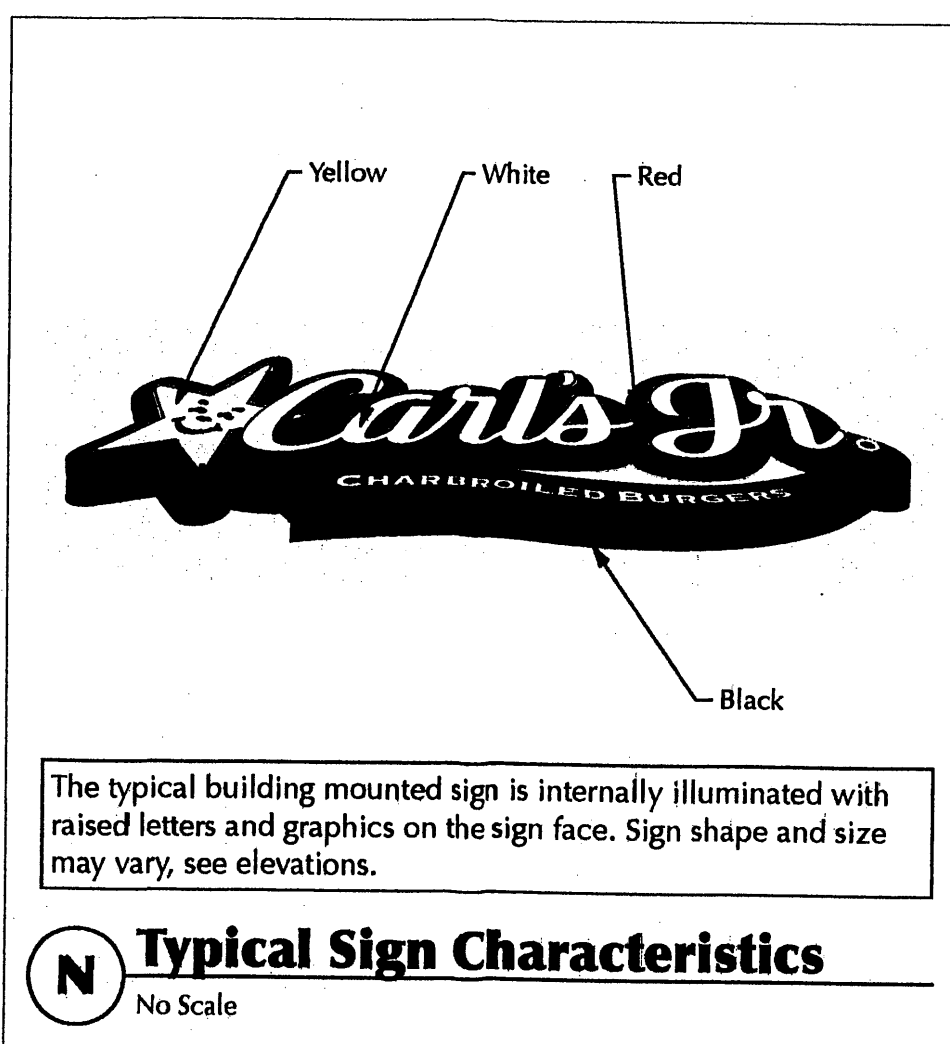
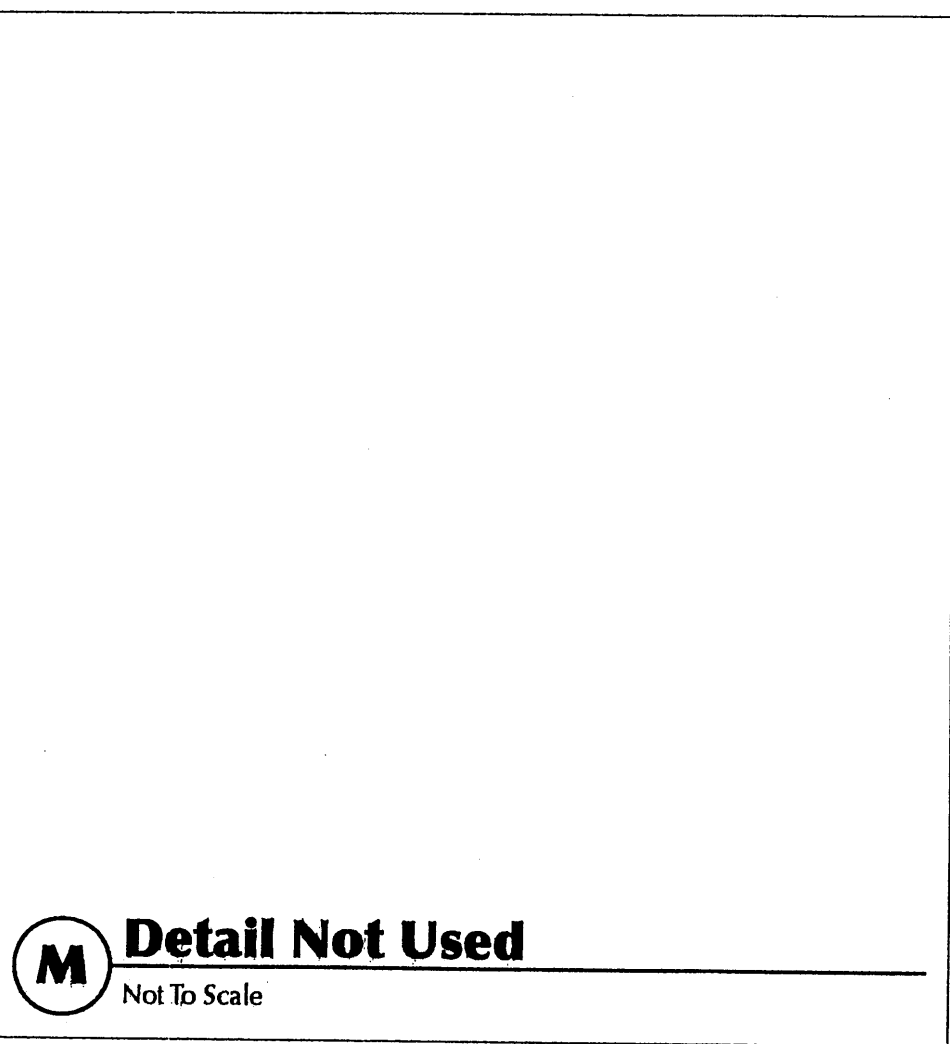
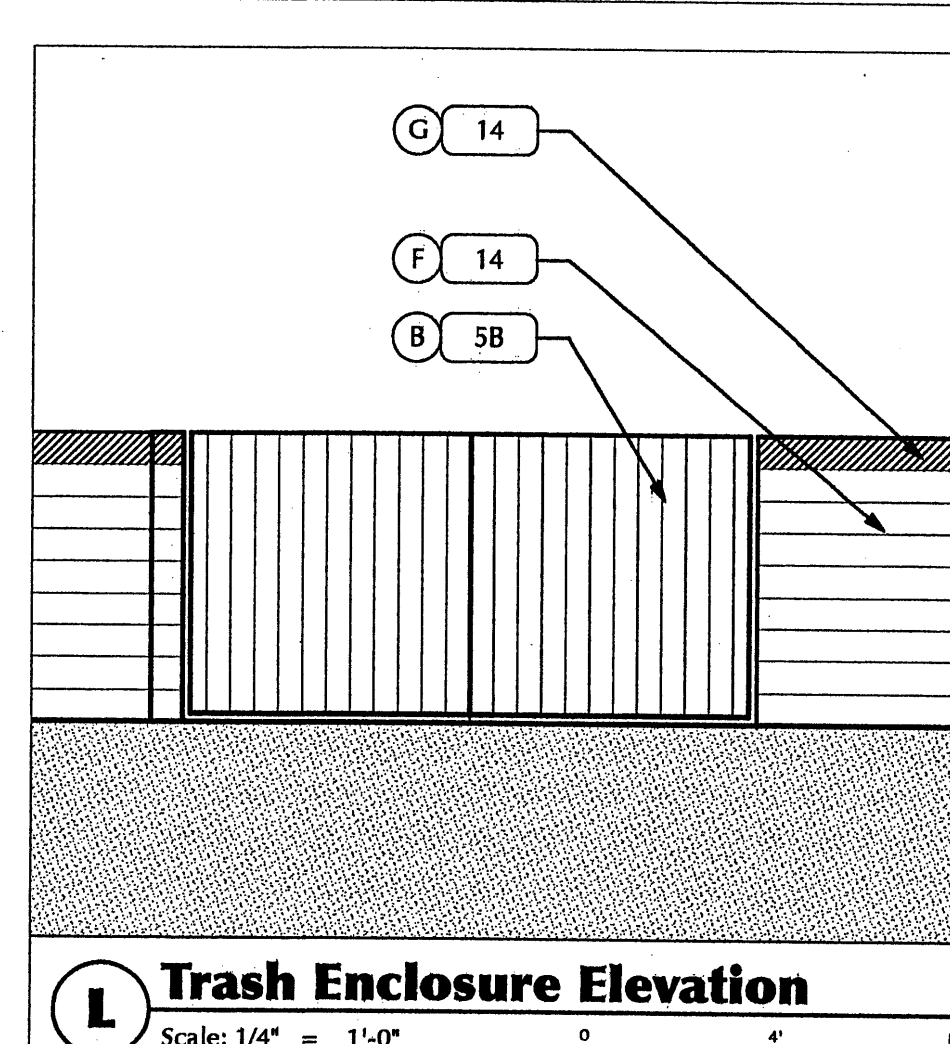
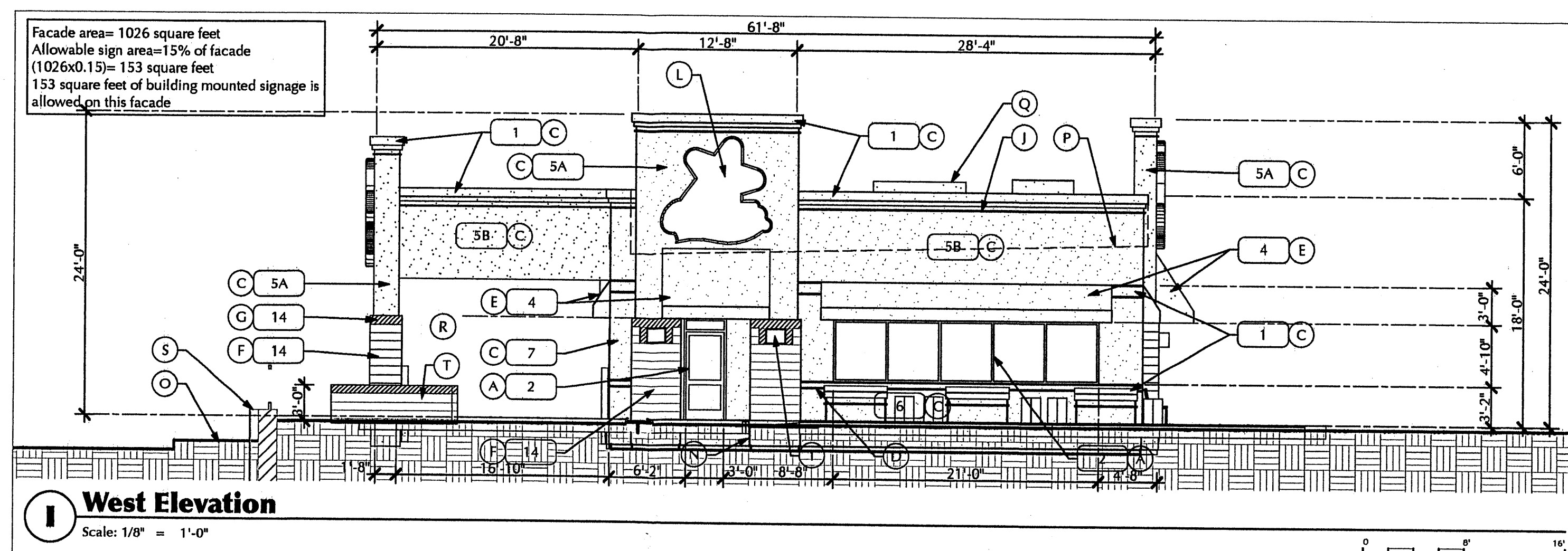
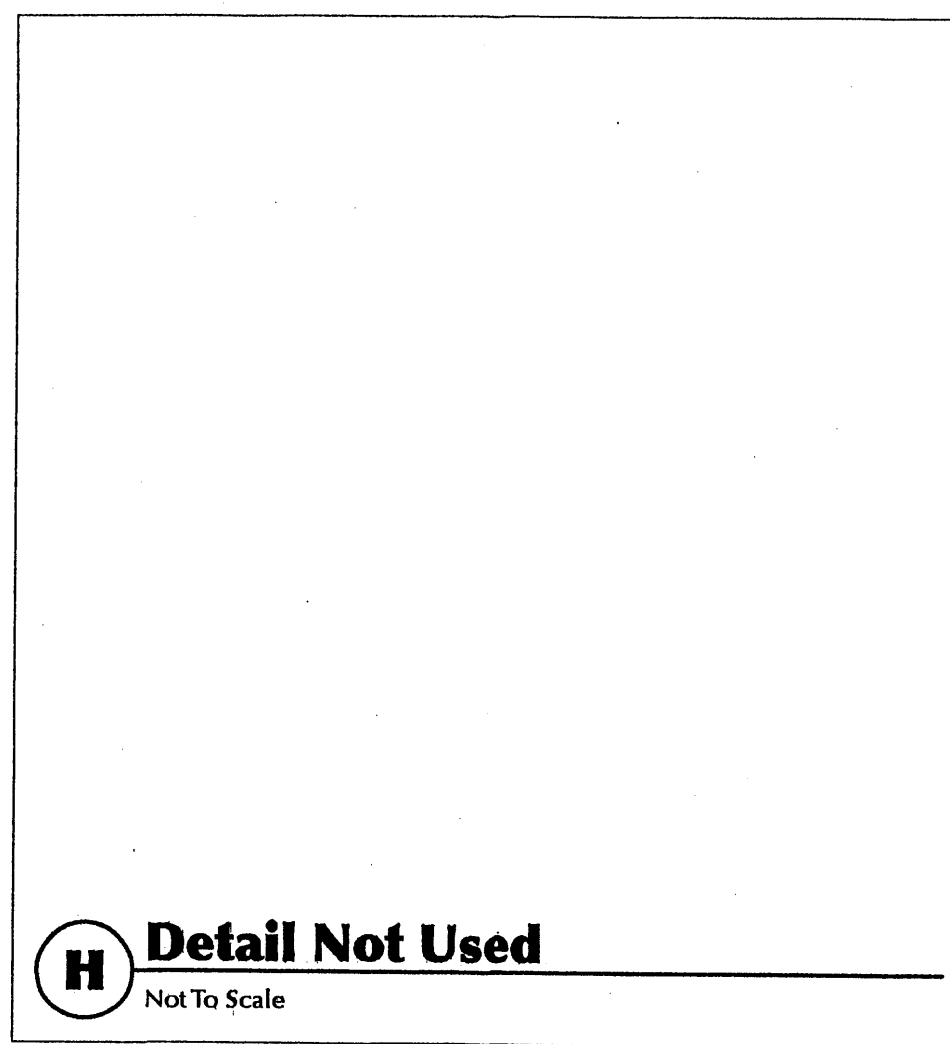
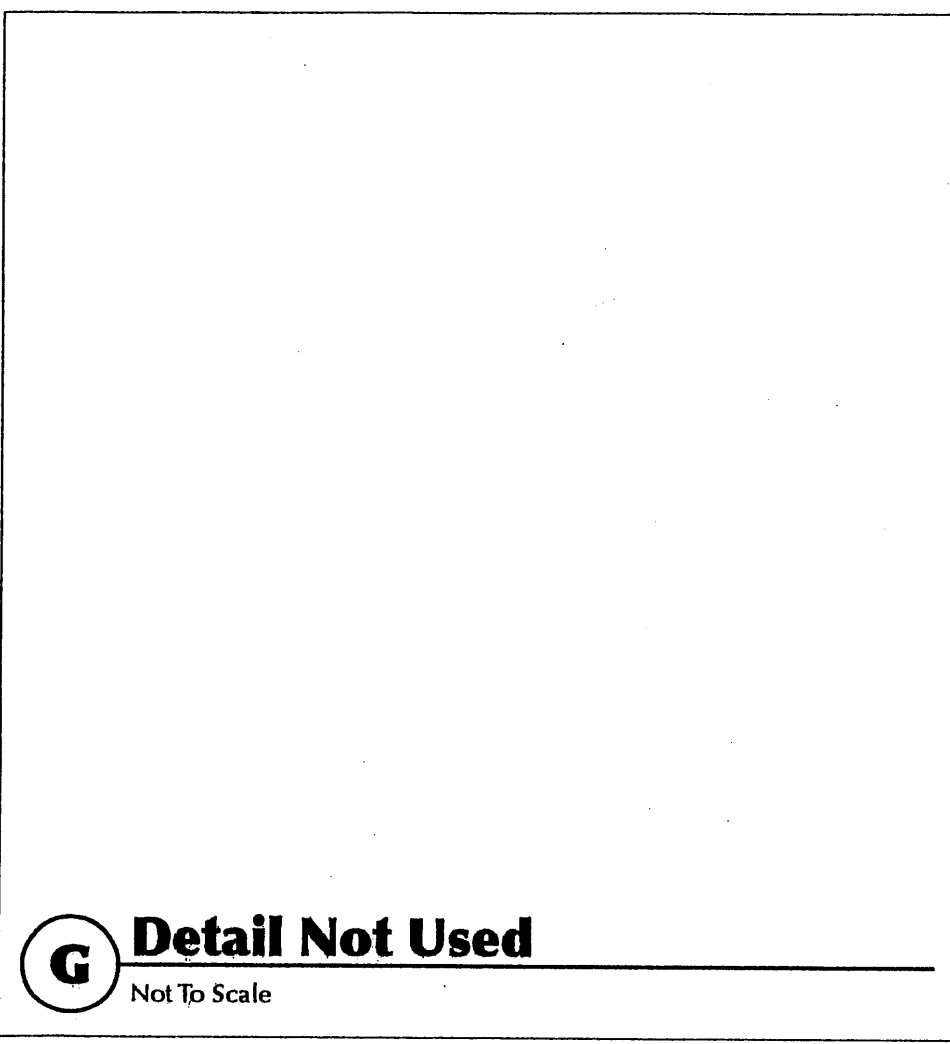
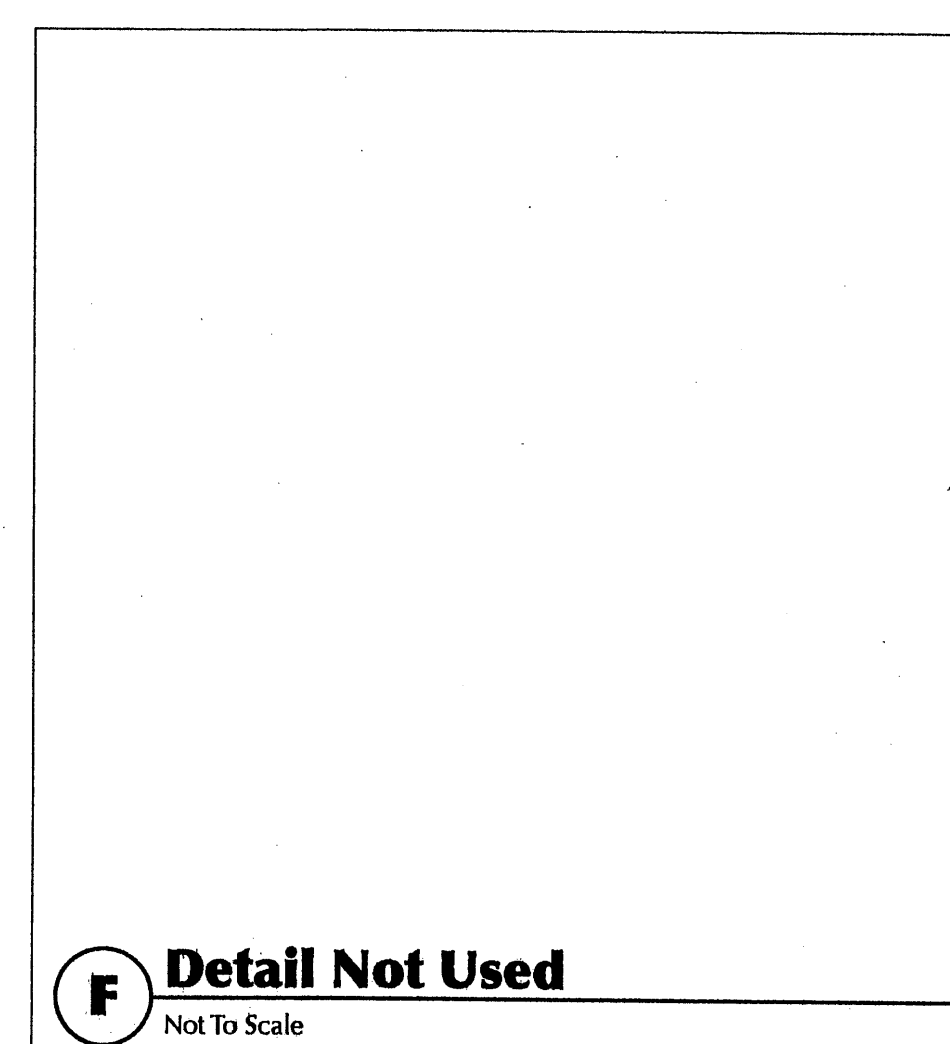
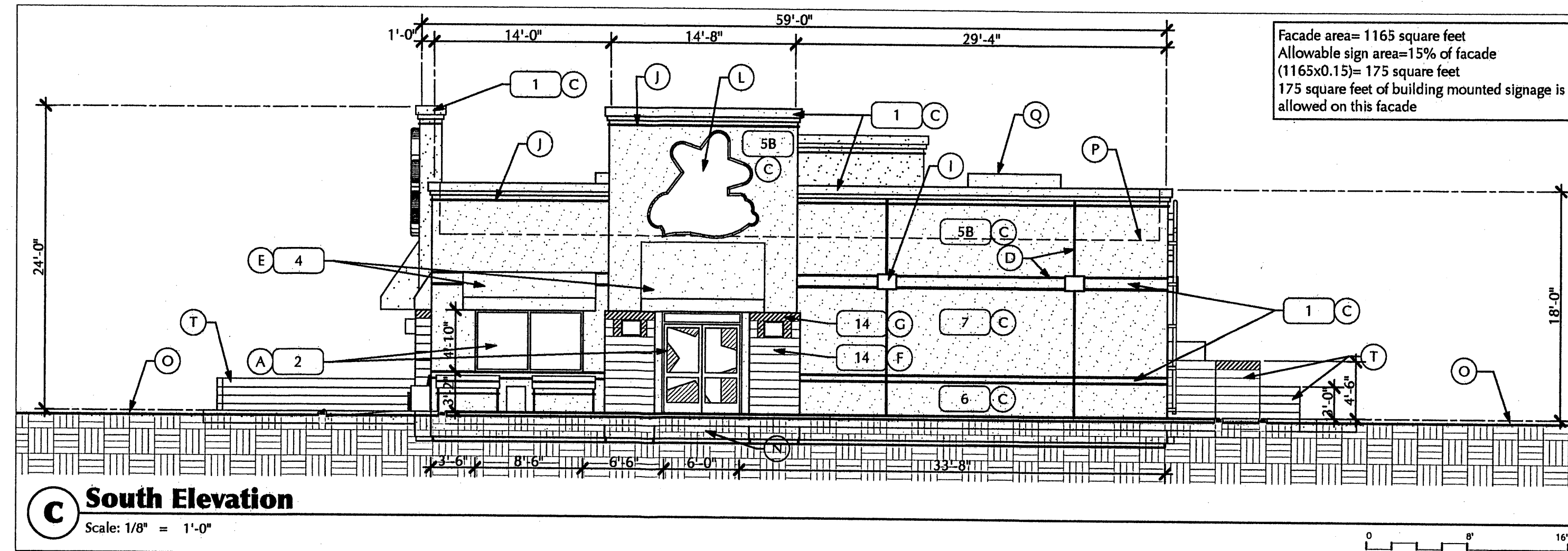
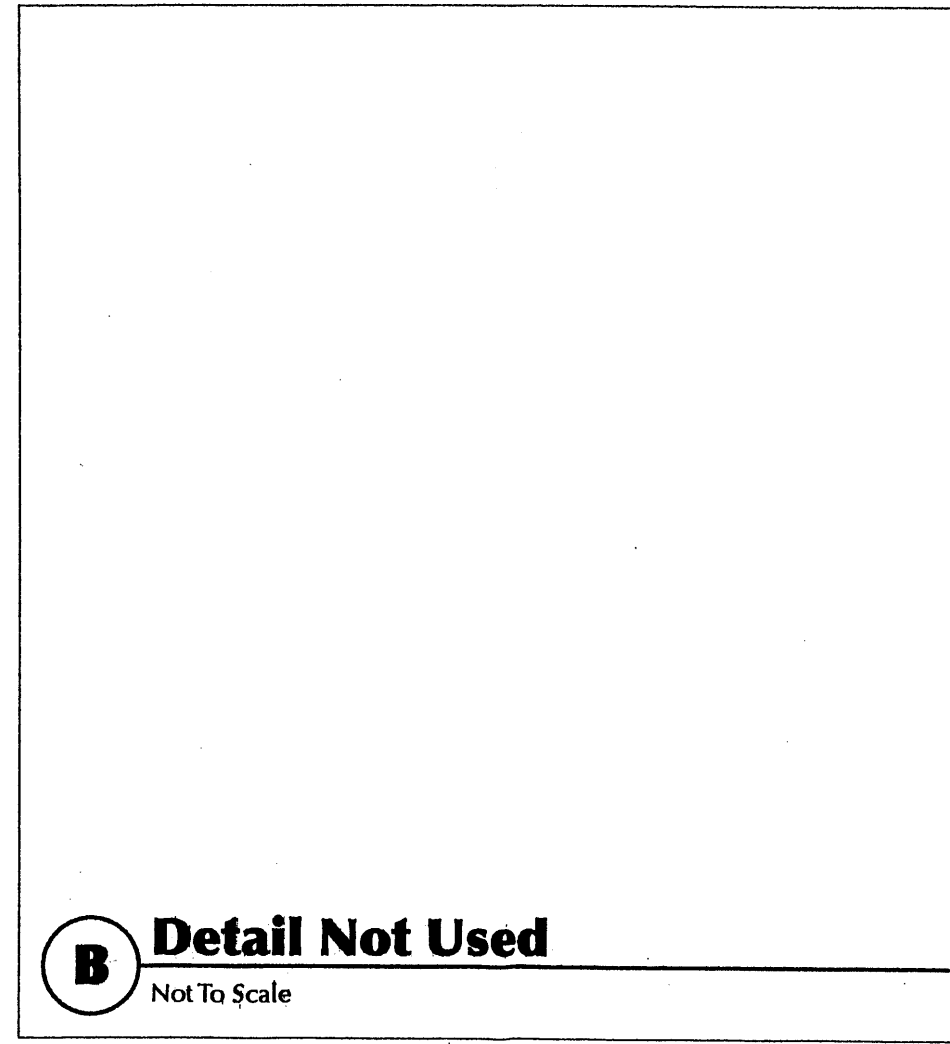
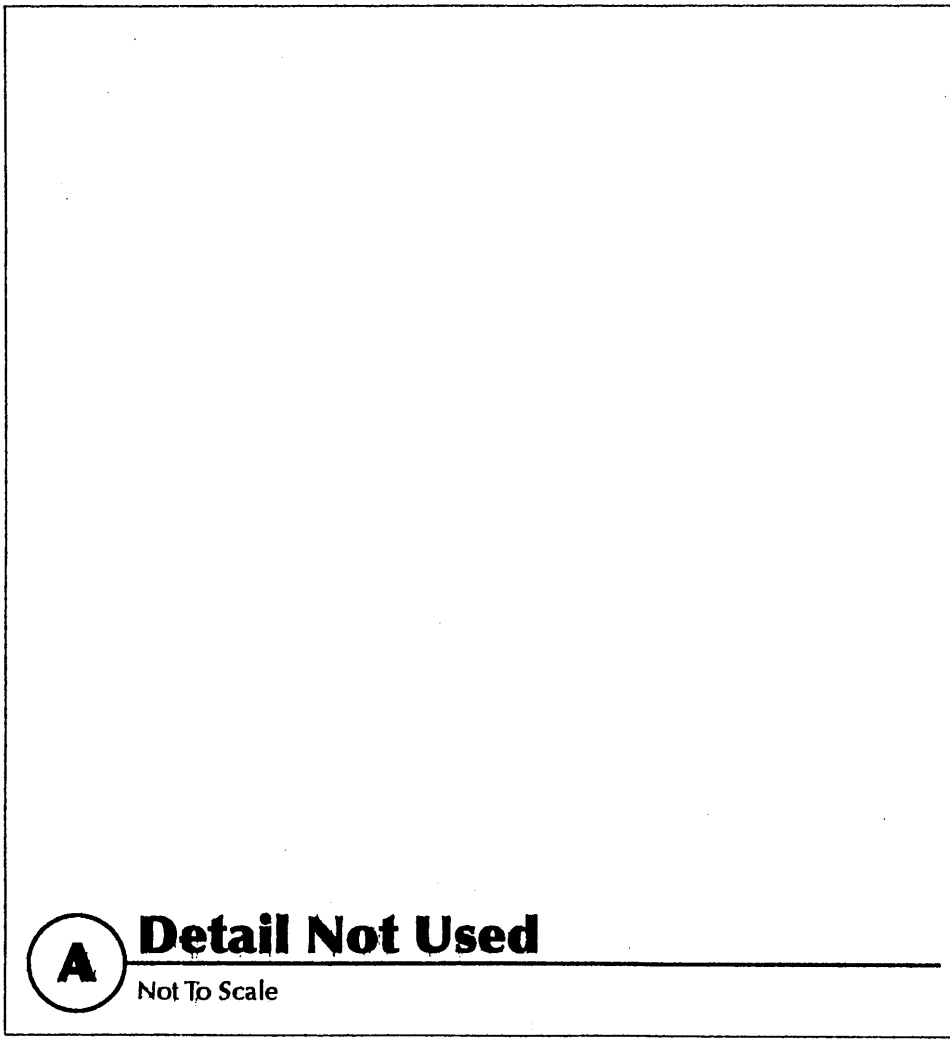
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A08011\A08011\GRADE & DRAIN\A08011_GD10\05-15-08\ACH

**CARL'S JR.
SAN MATEO & MONTGOMERY
GRADING & DRAINAGE PLAN**

MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

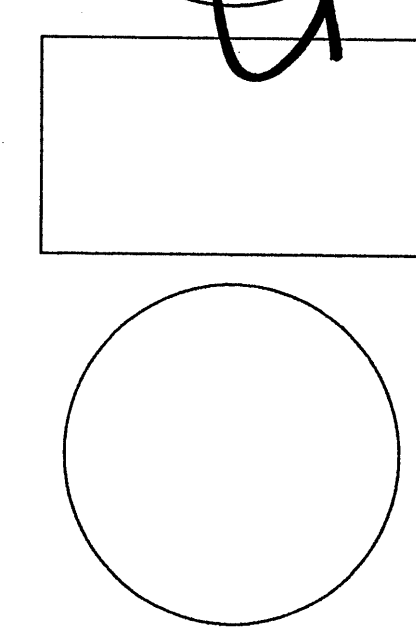
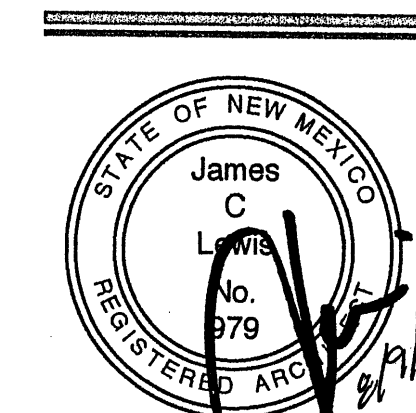
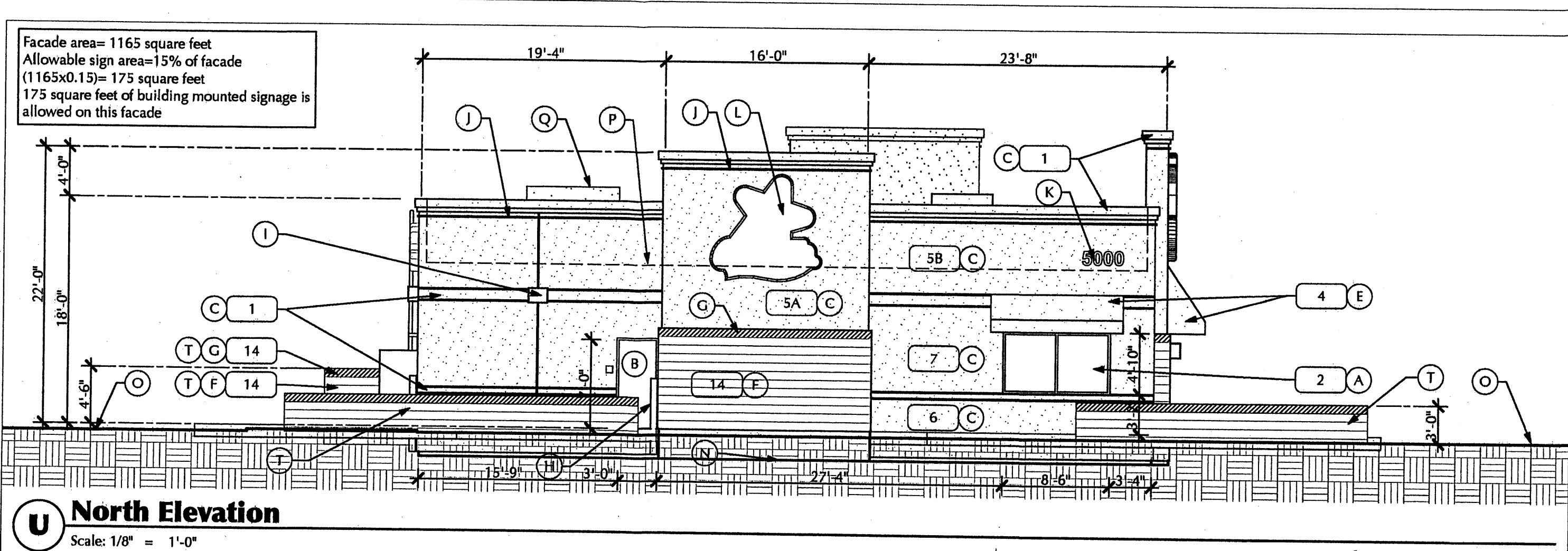
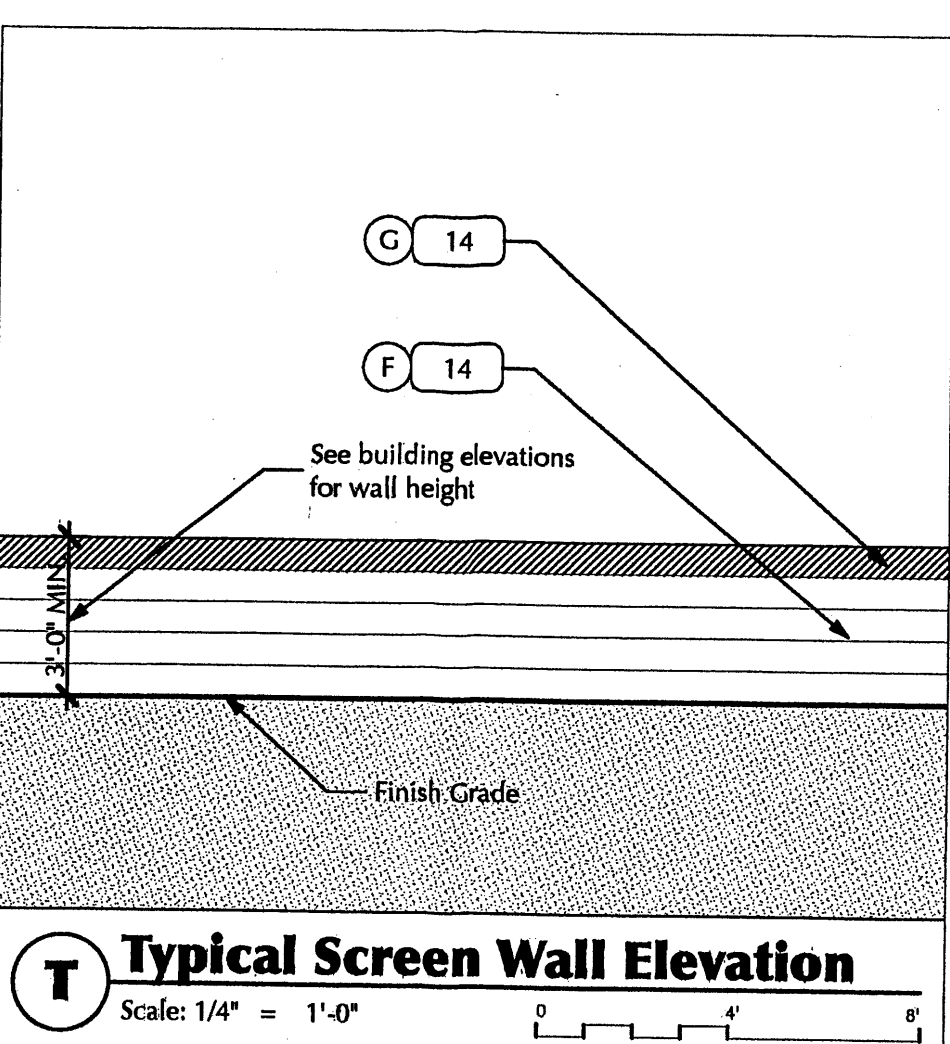
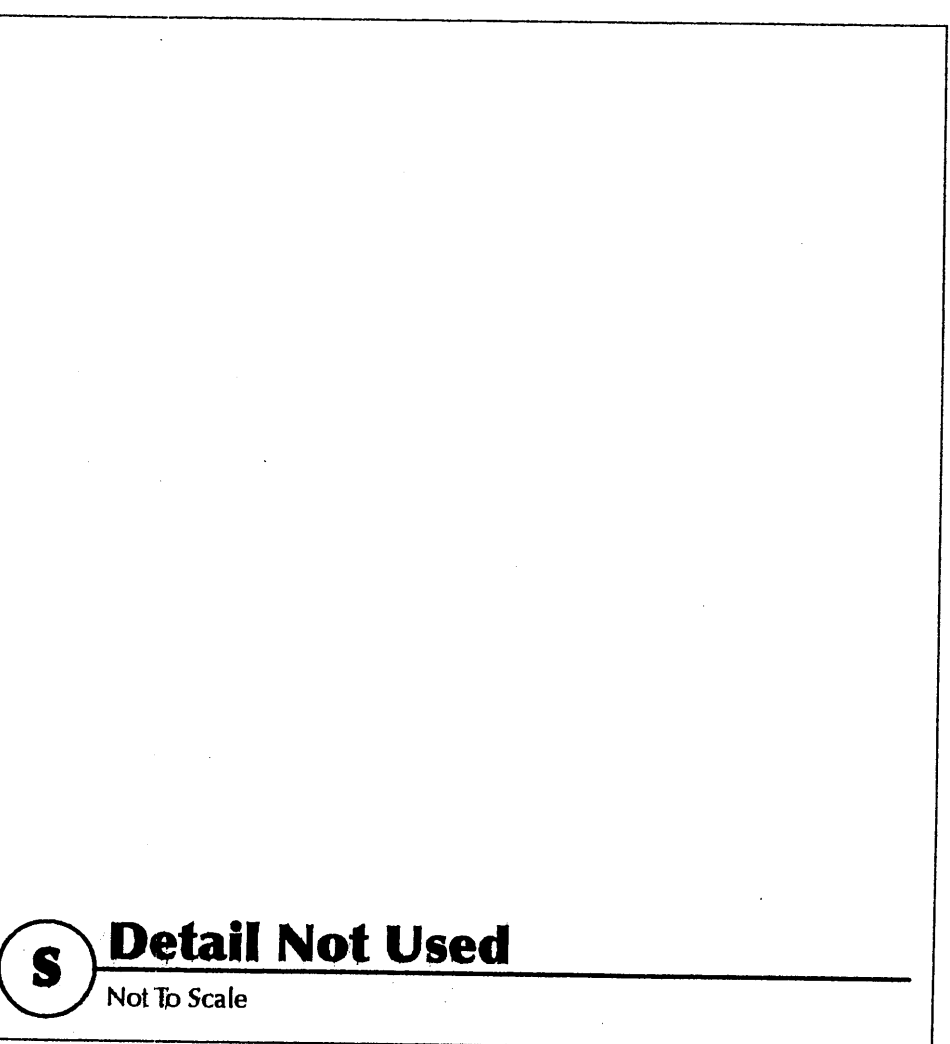
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Scale: 1" = 10' Date: 04-25-08 Job: A08011



Notes

COLORS	
1	Harthrob SW 6866 (red)
2	Clear Aluminum with Clear Glass
4	Scarlet Supreme (red)
5A	Hopsack SW 6109 (dark tan)
5B	Butternut SW 6389 (dark mustard)
6	Steady Brown SW 6110 (dark brownish tan)
7	Latte SW 6108 (medium tan)
14	Domino Utility 810 (dark grey)

KEYED NOTES/MATERIALS	
A	Aluminum door/window and frame
B	Painted metal door and frame
C	Stucco
D	Stucco reveal
E	Fabric Awning
F	Split faced CMU
G	Burnished/smooth CMU
H	Bollard
I	Light fixture
J	LED lighting band (red)
K	12" high address letters
L	Sign, internally illuminated, 75 square feet (9'-0"x8'-6")±
M	Sign, internally illuminated, 40 square feet (10'-6"x4'-0")±
N	Line of foundation
O	Line of finish grade
P	Line of roof
Q	Mechanical Unit, the parapet is greater than 42", therefore the mechanical unit is sufficiently screened per 14-16-3-18 (6)(a)
R	Open
S	Existing retaining wall and guardrail
T	Screen wall, see detail 'T' on this sheet



James C Lewis Architect
General Design, Inc.
1620 Central Ave. SE
Albuquerque, NM 87106
(505) 247-1529 • gcl@mac.com
Architecture & Planning

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Carl's Jr. Restaurant
5000 Montgomery Boulevard NE
Albuquerque, NM 87109

ISSUE DATE:
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09 September, 2008

PROJECT # 2007-0733

Exterior Elevations

SHEET
SDP-5
5 OF 6

A Detail Not Used
Not To Scale

B Detail Not Used
Not To Scale

C Detail Not Used
Not To Scale

D Detail Not Used
Not To Scale

E Detail Not Used
Not To Scale

G Detail Not Used
Not To Scale

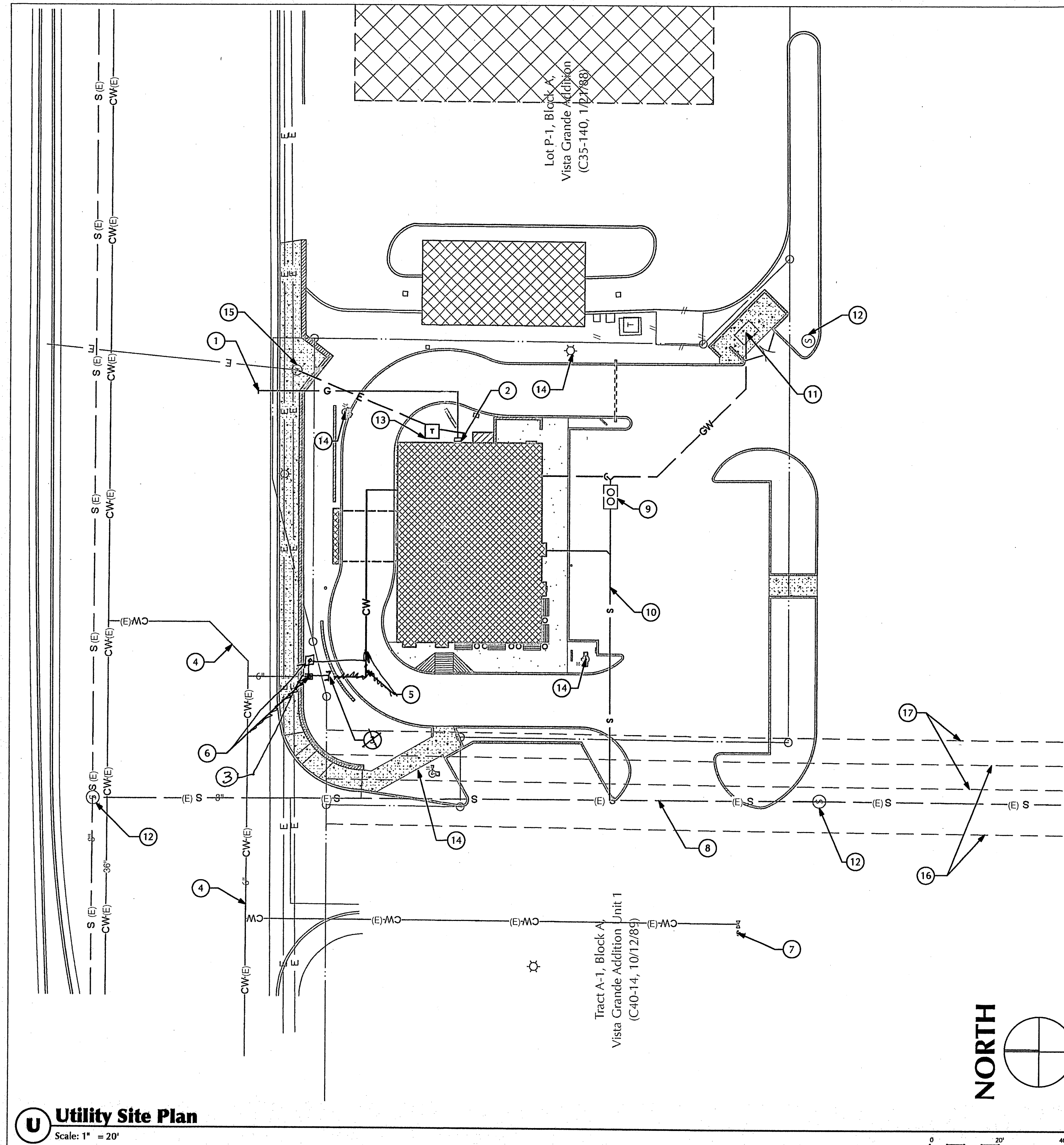
H Detail Not Used
Not To Scale

M Detail Not Used
Not To Scale

N Detail Not Used
Not To Scale

S Detail Not Used
Not To Scale

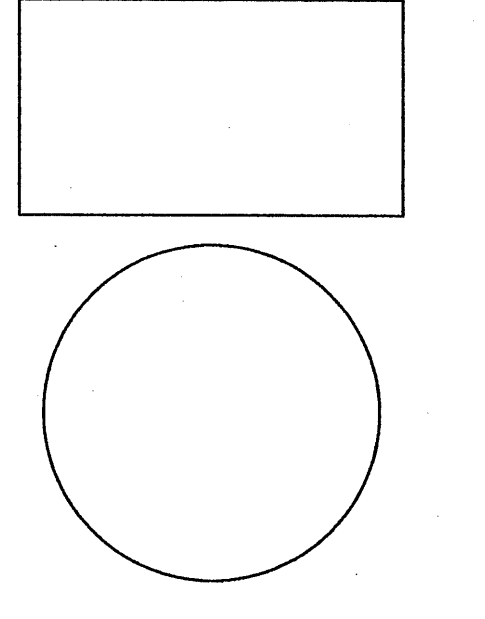
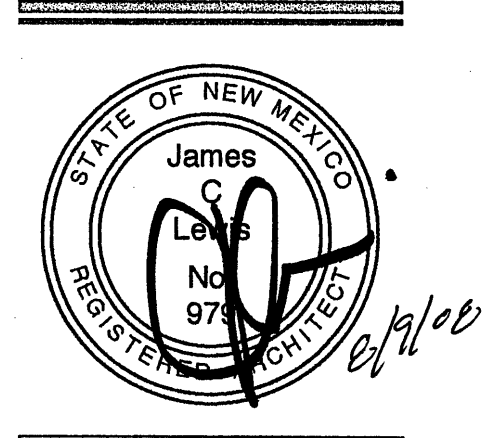
T Detail Not Used
Not To Scale



Legend

CW	Water line
HPG	High pressure gas line
HW	Hot water line
S	Sewer line
CW	Grease waste line
V	Vent line
⊕	Point of connection

- Keyed Notes**
- The new gas line into existing gas line. Field verify with PNM exact location of existing high pressure gas line
 - 1,151.5 CHF gas meter and all high pressure gas piping to be paid for by contractor
 - Existing 6" water line stub-out. FIELD VERIFY EXACT LOCATION
 - Existing 6" waterline lateral
 - New 2" water line
 - New 1-1/2" water meter
 - Existing fire hydrant - BY OTHERS - TAPPING PERMIT
 - Existing 8" sanitary sewer line. FIELD VERIFY EXACT LOCATION
 - Grease interceptor
 - 4" sewer line - BY OTHERS - TAPPING PERMIT
 - Floor drain
 - Existing manhole
 - PNM-owned service transformer
 - Parking lot lighting fixture
 - Existing utility pole
 - 20' underground utility easement (10/12/89, C40-14)
 - 14' underground utility easement (10/12/89, C40-14)



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Utility Plan Site

SHEET
SDP-6
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