



# COMPLETED 10/01/08 DRB CASE ACTION LOG (SITE PLAN BUILDING P.)

REVISED 10/08/07

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 08DRB-70405

Project # 1007255

Project Name: VISTA GRANDE ADDITION UNIT 1

Agent: CONSENSUS PLANNING

Phone No.:

Your request was approved on 9-24-08 by the DRB with delegation of signature(s) to the following departments.

### OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: - see comments  
- Key Note 25 to state 6 foot SW

UTILITIES: - revise utility plan

CITY ENGINEER / AMAFCA: \_\_\_\_\_

PARKS / CIP: \_\_\_\_\_

PLANNING (Last to sign): \_\_\_\_\_

**Planning must record this plat. Please submit the following items:**

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). **RECORDED DATE:** \_\_\_\_\_
- Tax printout from the County Assessor.

- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

Created On:

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    - Copy of recorded plat for Planning.

Created On:

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8. **Project# 1007139**  
 08DRB-70299 VACATION OF PUBLIC EASEMENT  
 08DRB-70304 SIDEWALK WAIVER  
 08DRB-70305 MINOR - TEMP DEFR SWDK CONST  
 08DRB-70306 MAJOR - PRELIMINARY PLAT APPROVAL  
 08DRB-70307 MAJOR - SDP FOR SUBDIVISION

MARK GOODWIN AND ASSOCIATES PA agent(s) for JUAN TABO HILLS LLC request(s) the above action(s) for all or a portion of Tract(s) 3-A & 4-A, **JUAN TABO HILLS Unit(s) 1**, zoned RD, SU-1, located on JUAN TABO BLVD SE BETWEEN GULFSTREAM DR SE AND TIJERAS ARROYO containing approximately 14.3953 acre(s). (M-22) [Deferred from 7/30/08, 8/20/08 8/27/08, 9/3/08, 9/17/08.] **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 9/24/08 AND WITH AN APPROVED GRADING AND DRAINAGE PLAN ENGINEER STAMP DATED 9/11/08 THE PRELIMINARY PLAT WAS APPROVED. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT 'C' IN THE PLANNING FILE. THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A) (1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE. THE SITE DEVELOPMENT PLAN FOR SUBDIVISION WAS APPROVED.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

9. **Project#-1007255**  
 08DRB-70405 EPC APPROVED SDP FOR BUILD PERMIT

CONSENSUS PLANNING agent(s) for TEKIN GROUP INC request(s) the above action(s) for all or a portion of Lot(s) A-3, **VISTA GRANDE ADDITION Unit(s) 1**, zoned C-2 (SC), located on MONTGOMERY BLVD NE BETWEEN MONROE ST NE AND SAN MATEO BLVD NE containing approximately .39 acre(s). (G-17) **THE SITE DEVELOPMENT PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO TRANSPORTATION FOR RAMP DETAIL, ANGLED PARKING SPACES DETAIL, EXISTING AND PROPOSED CONDITION CLARIFICATION, 6 FT SIDEWALK PER EPC NOTE # 25 AND FOR 3 COPIES OF THE APPROVED SITE PLAN AND TO ABCWUA FOR REVISED UTILITY PLAN.**

**MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS**

10. **Project# 1000081**  
 08DRB-70409 MINOR - PRELIMINARY/FINAL PLAT APPROVAL

TIERRA WEST LLC agent(s) for RSF LAND & CATTLE COMPANY request(s) the above action(s) for all or a portion of Tract(s) A & H, **COTTONWOOD CORNERS/TBK TRACT A-1, COTTON WOOD CORNERS** zoned SU-1 FOR IP USES, located on ELLISON DR NW BETWEEN COTTONWOOD DR NW AND ALAMEDA BLVD NW containing approximately 8.0448 acre(s). (A-14) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION FOR A MORE DETAILED HISTORY OF SITE PLAN, AND TOR PLANNING FOR NEW MEXICO UTILITIES SIGNATURE, SOLAR COLLECTOR'S NOTE AND TO RECORD.**

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City of Albuquerque  
**Planning Department**  
**Inter-Office Memorandum**

TO: Jack Cloud, DRB Chair

FROM: Randall Falkner, Planner

SUBJECT: Project # 1007255

On August 21, 2008, the Environmental Planning Commission approved Project # 1007255 08EPC-40076, a site development plan for building permit for Tract A-3, Block A, Vista Grande, Unit 1, zoned C-2 (SC), located on Montgomery Boulevard NE, between Monroe Street and San Mateo Boulevard, containing approximately 0.39 acres.

The applicant has satisfied all of the EPC conditions of approval for the site development plan for building permit, with the following exception:

Condition #6 requires that proposed 4 foot wide sidewalks and 4 foot wide stamped concrete crosswalks shall be a minimum of 6 feet wide to ensure better pedestrian connectivity and to allow for better wheelchair access. The stamped concrete crosswalks have been widened to 6 feet, but the proposed sidewalk (keyed note # 25) is still listed as 4 foot wide.

Compliance with City Engineer conditions should be verified with the City Engineer. If you should have any questions regarding this case, please do not hesitate to call me at 924-3933.

Thank you.

**City of Albuquerque Planning Department**  
**One Stop Shop – Development and Building Services**

09/16/2008 Issued By: PLNSDH

**Permit Number:** 2008 070 405 **Category Code 910**

**Application Number:** 08DRB-70405, Epc Approved Sdp For Build Permit

**Address:**

**Location Description:** MONTGOMERY BLVD NE BETWEEN MONROE ST NE AND SAN MATEO BLVD NE

**Project Number:** 1007255

**Applicant**  
Tekin Group Inc  
  
4113 Eubank Ne Ste 400  
Albuquerque NM 87111  
921-2911

**Agent / Contact**  
Consensus Planning  
James Strozier  
302 8th St Nw  
Albuquerque NM 87102  
  
cp@consensusplanning

**Application Fees**

441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	\$20.00
441008/4983000	DRB Actions	
<b>TOTAL:</b>		<b>\$20.00</b>

City Of Albuquerque  
Treasury Division

9/16/2008 8:42AM LOC: ANNX  
WSH 006 TRANS# 0002  
RECEIPT# 00097775-00097775  
PERMITH 2008070405 TRSDMG  
Trans Amt \$20.00  
Conflict Manag. Fee \$20.00  
CK \$20.00  
CHANGE \$0.00

Thank You

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94  
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Supplemental form

**SUBDIVISION**

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

**STORM DRAINAGE (Form D)**

- Storm Drainage Cost Allocation Plan

**S Z ZONING & PLANNING**

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
  - Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICATION INFORMATION:**

Professional/Agent (if any): Consensus Planning, Inc. PHONE: 505-764-9801  
 ADDRESS: 302 Eighth Street NW FAX: 505-842-5495  
 CITY: Albuquerque STATE NM ZIP 87102 E-MAIL: cp@consensusplanning.com

APPLICANT: Tekin Group, Inc. PHONE: 505-821-2911  
 ADDRESS: 4113 Eubank NE, Suite 400 FAX: 505-821-2912  
 CITY: Albuquerque STATE NM ZIP 87111 E-MAIL: tekingroup@comcast.net

Proprietary interest in site: owners List all owners: \_\_\_\_\_

DESCRIPTION OF REQUEST: Site Development Plan for Building Permit

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. Tract A-3 Block: na Unit: 1  
 Subdiv/Addn/TBKA: Vista Grande Addition  
 Existing Zoning: C-2 (SC) Proposed zoning: same MRGCD Map No na  
 Zone Atlas page(s): G-17-Z UPC Code: 101706050351711613

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX\_, Z\_, V\_, S\_, etc.): Project #1007255  
Z-73-13, 08 EPC - 40076

**CASE INFORMATION:**

Within city limits?  Yes Within 1000FT of a landfill? no  
 No. of existing lots: 1 No. of proposed lots: 1 Total area of site (acres): .39  
 LOCATION OF PROPERTY BY STREETS: On or Near: Montgomery Boulevard NE  
 Between: Monroe Street and San Mateo Boulevard

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: \_\_\_\_\_

SIGNATURE [Signature] DATE 9/16/08  
 (Print) James K. Strozier, AICP Applicant:  Agent:

**FOR OFFICIAL USE ONLY**

Form revised 4/07

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>08DRB - 70405</u>	<u>SBP</u>	<u>P(3)</u>	<u>\$ 0</u>
_____	<u>CME</u>	_____	<u>\$ 20.00</u>
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
Total			<u>\$ 20.00</u>

Hearing date 09/24/08

[Signature] 09/16/08  
 Planner signature / date

Project # 1007255



**FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)**

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** **Maximum Size: 24" x 36"**
  - \_\_\_ Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
  - \_\_\_ Letter briefly describing, explaining, and justifying the request
  - \_\_\_ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)** **Maximum Size: 24" x 36"**
  - \_\_\_ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
  - \_\_\_ Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
  - \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
  - \_\_\_ Letter briefly describing, explaining, and justifying the request
  - \_\_\_ Letter of authorization from the property owner if application is submitted by an agent
  - \_\_\_ Copy of the document delegating approval authority to the DRB
  - \_\_\_ Completed Site Plan for Subdivision Checklist
  - \_\_\_ Infrastructure List, if relevant to the site plan
  - \_\_\_ Fee (see schedule)
  - \_\_\_ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)** **Maximum Size: 24" x 36"**
  - \_\_\_ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
  - \_\_\_ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
  - \_\_\_ Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
  - \_\_\_ Solid Waste Management Department signature on Site Plan
  - \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
  - \_\_\_ Letter briefly describing, explaining, and justifying the request
  - \_\_\_ Letter of authorization from the property owner if application is submitted by an agent
  - \_\_\_ Copy of the document delegating approval authority to the DRB
  - \_\_\_ Infrastructure List, if relevant to the site plan
  - \_\_\_ Completed Site Plan for Building Permit Checklist
  - \_\_\_ Copy of Site Plan with Fire Marshal's stamp
  - \_\_\_ Fee (see schedule)
  - \_\_\_ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01)** **Maximum Size: 24" x 36"**
- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02)** **Maximum Size: 24" x 36"**
  - \_\_\_ Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
  - \_\_\_ DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) 6 copies
  - \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
  - \_\_\_ Letter briefly describing, explaining, and justifying the request
  - \_\_\_ Letter of authorization from the property owner if application is submitted by an agent
  - \_\_\_ Infrastructure List, if relevant to the site plan
  - \_\_\_ Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
  - \_\_\_ Fee (see schedule)
  - \_\_\_ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)**
- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)**
  - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
  - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
  - Solid Waste Management Department signature on Site Plan for Building Permit
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
  - Infrastructure List, if relevant to the site plan
  - Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
  - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

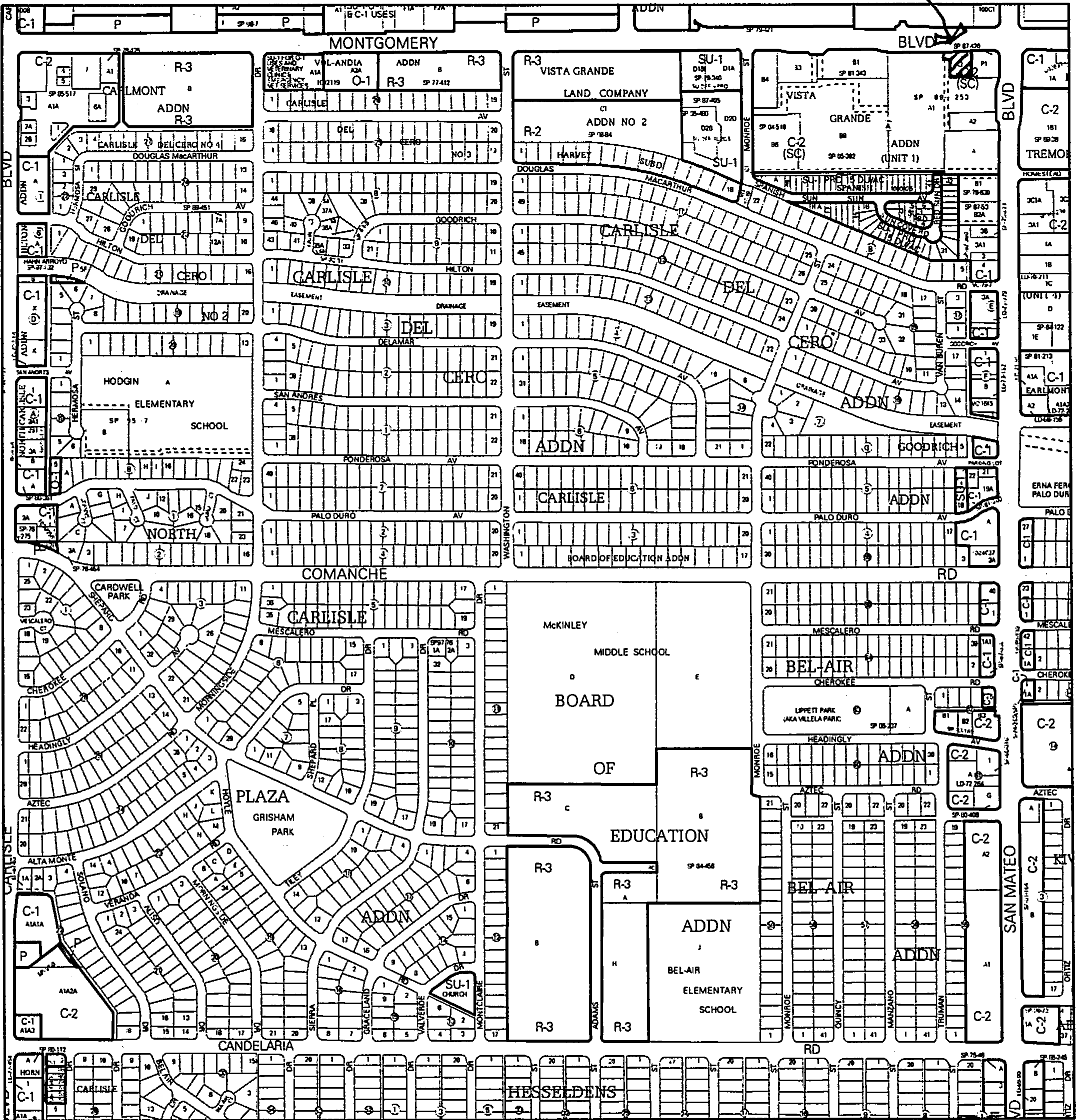
James K. Strozic ACP  
 Applicant name (print)  
[Signature] 9/16/08  
 Applicant signature / date



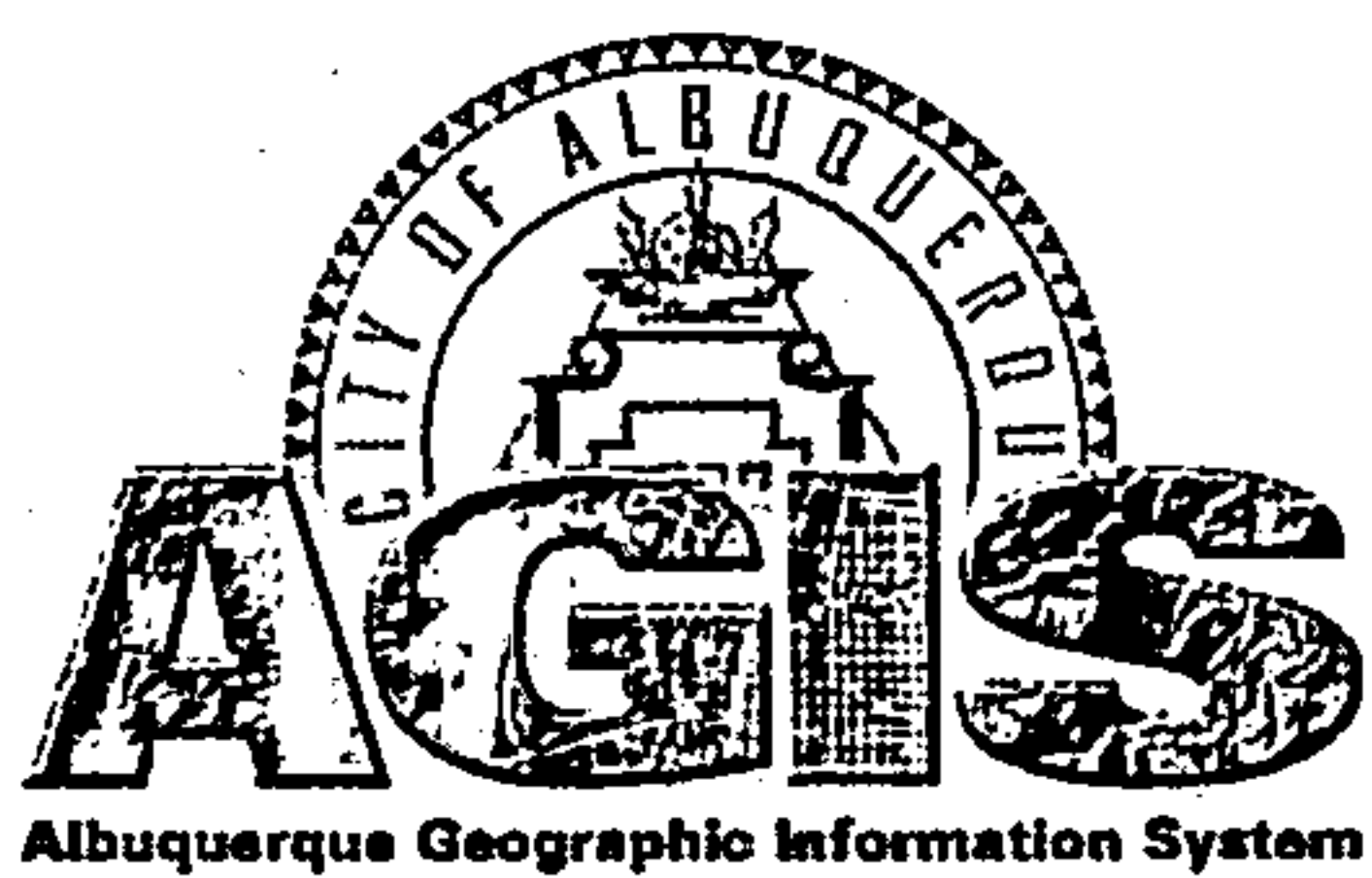
Checklists complete  
 Fees collected  
 Case #s assigned  
 Related #s listed

	Application case numbers	
	08DRB- 70405	<u>Sandy Handley</u> 09/16/08 Planner signature / date
		Project # 1007255

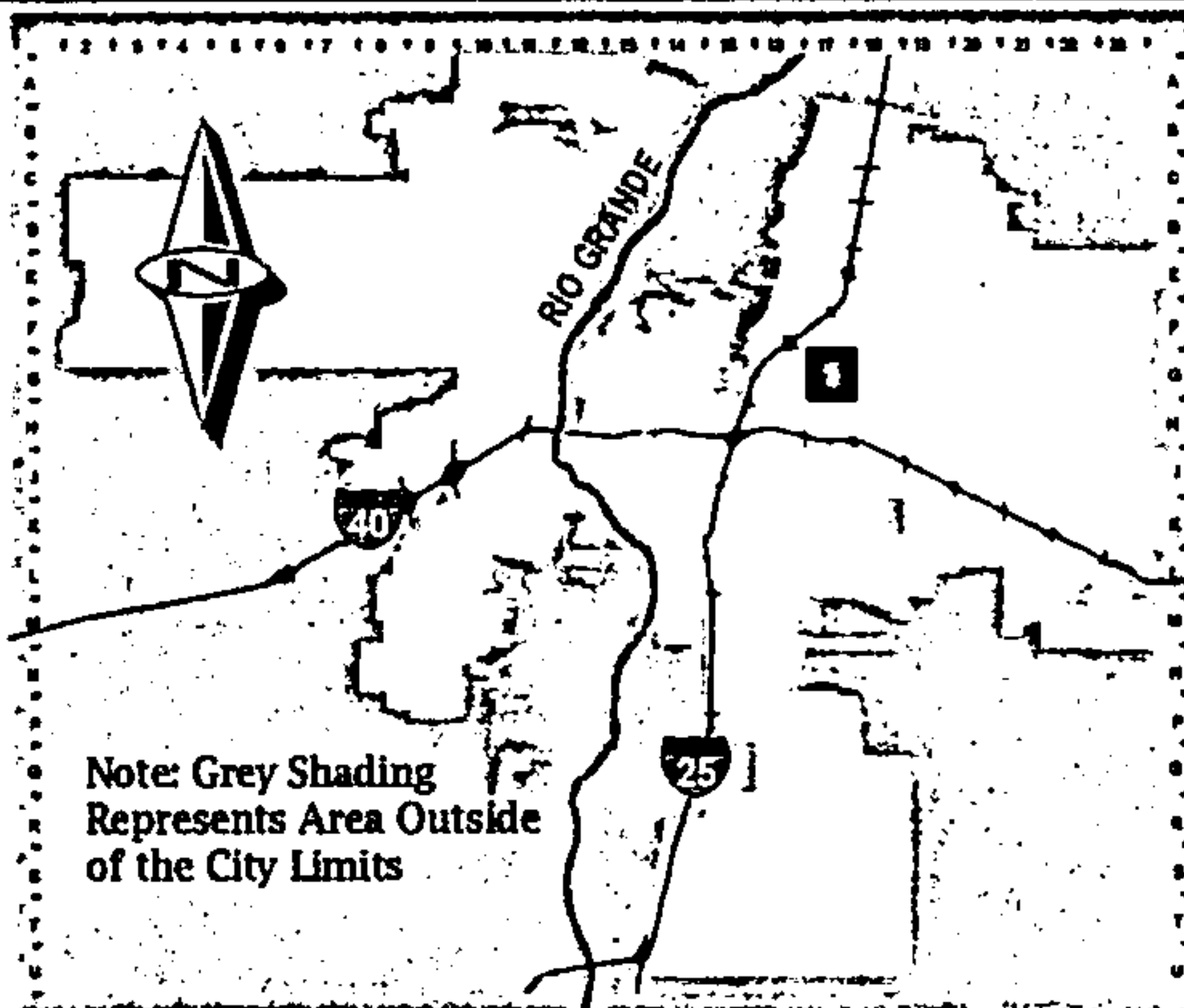




For more current information and more details visit: <http://www.cabq.gov/gis>



Map amended through: 6/13/2008

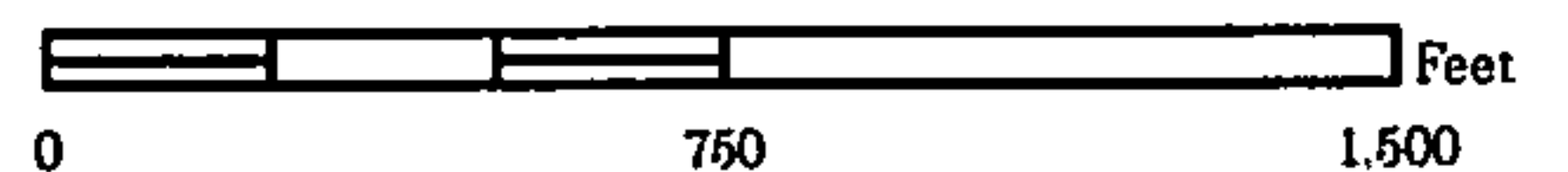


Zone Atlas Page:

**G-17-Z**

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone







September 11, 2008

Jack Cloud, Chair  
Development Review Board  
Planning Department  
600 North 2<sup>nd</sup> Street  
Albuquerque, New Mexico 87102

RE: Project # 1007255

Landscape Architecture  
Urban Design  
Planning Services

302 Eighth St. NW  
Albuquerque, NM 87102

(505) 764-9801  
Fax 842-5495  
cp@consensusplanning.com  
www.consensusplanning.com

Dear Mr. Cloud:

The purpose of this letter is to address each condition listed on the Official Notification of Decision dated August 22, 2008. On August 21, 2008 the Environmental Planning Commission voted to approve Project 1007255/08EPC 40076, a site development plan for building permit, for Tract A-3, Block A, Vista Grande, Unit 1, subject to the following conditions:

**CONDITIONS:**

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to the site plan, including before or after DRB final sign-off, may result in a forfeiture of approvals.

*This letter is intended to satisfy this requirement.*

2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.

*Jim Strozier and David Abbott met with Randall Falkner on September 2, 2008.*

3. The site development plan shall comply with all Solid Waste Management Department ordinances and requirements, including recycle areas.

*Agreed.*

4. The following deficiencies in the site development plan and exterior elevations shall be addressed:
  - a. Keyed not #6 for the dumpster enclosure on the conceptual site plan (SDP-2) that states "see elevation detail L on sheet SDP-4" shall be corrected to SDP-5.
  - b. A site detail of the garden wall screen wall shall be shown on the exterior elevations page (SDP-5).

PRINCIPALS

Karen R. Marcotte, AICP  
James K. Strozier, AICP  
Christopher J. Green, ASLA

ASSOCIATES

Jacqueline Fishman, AICP

- c. Keyed Notes/Materials Q on the Exterior Elevations sheet shall be corrected from Comprehensive City Zoning Code Section 14-16-3-18(5)(a) to 14-16-3-08(6)(a).

*These corrections have been made to the Site Plan.*

5. Construct a 3 foot high wall and/or amend the landscape plan on the northeast corner, north side and northwest corner of the drive up lane that begins where the curb starts to widen on the east side of the building to prevent headlights from blinding motorist on Montgomery. The wall shall integrate with building material and colors.

*The Site Plans have been modified to show two new sections of screen wall and the Landscaping was also revised.*

6. The proposed 4 foot wide sidewalks and 4 foot wide stamped concrete crosswalks shall be a minimum of 6 feet wide to ensure better pedestrian connectivity and to allow for better wheelchair access.

*Agreed, these have been widened to 6 feet.*

7. A note should be added specifying that the proposed development shall comply with the General Building and Site Design Regulations for non-residential uses, per Section 14-16-3-18 of the Comprehensive City Zoning Code as requested by Zoning Code Services.

*Agreed, a note has been added.*

8. Landscaping
  - a. Applicant shall change water use of Honey Locust from High to Medium.
  - b. Make cuts in the curb so rainwater can flow into the landscaping.
  - c. Mature height and spread of all landscaping shall be shown on the landscape plan, per Section 14-16-3-10(C)(3)(e).
  - d. The plant size of the Palm Yucca shall be shown, and shall be a 2 gallon minimum.
  - e. The plant sizes for all trees shall be a least two inches in caliper measured six inches above grade, or 10 – 12 feet in height, per Section 14-16-3-10 (F)(1).
  - f. The Purple Leaf Plum tree shall be replaced with a tree on the City Forester's list that has a minimum mature canopy diameter of 25 feet, and that is not high in water use or allergy potential, per Section 14-16-3-10(G)(1)(d).

*The Landscape Plan has been revised to comply with Items a – e. Item f does not correctly interpret the parking lot tree requirement. The Purple Leaf Plums are not required parking lot trees, but rather accent trees. One accent tree is permitted pursuant to the street tree*



*ordinance and the others are in addition to the Zone Code requirements. Mr. Falkner agreed to this change.*

9. The proposed benches and planters and their dimensions shall be shown as a site detail on the site development plan.

*Agreed, the sizes of these items have been noted.*

10. The free-standing monument sign shall be eliminated.

*Agreed, it has been eliminated.*

11. RECOMMENDED CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT and NMDOT:


- a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
- b. Site plan shall comply and be designed per DPM Standards.

*Agreed.*

12. Add a sign that says "we request that you shut of your vehicles engine rather than idling" and that sign shall be located at the drive up lane.

*A sign has been added to the Site Plan that states "Please shut-off your engine while waiting".*

Sincerely,



James K. Strozier, AICP  
Principal

Ken Tekin, The Tekin Group  
David Abbott, Jim Lewis Architects