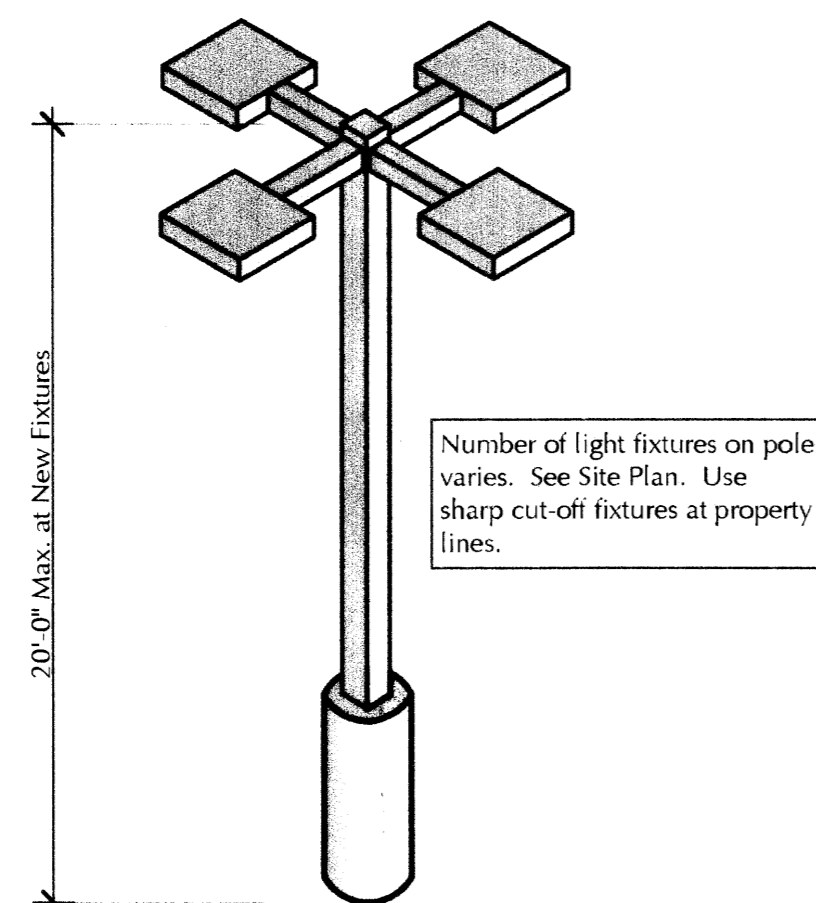
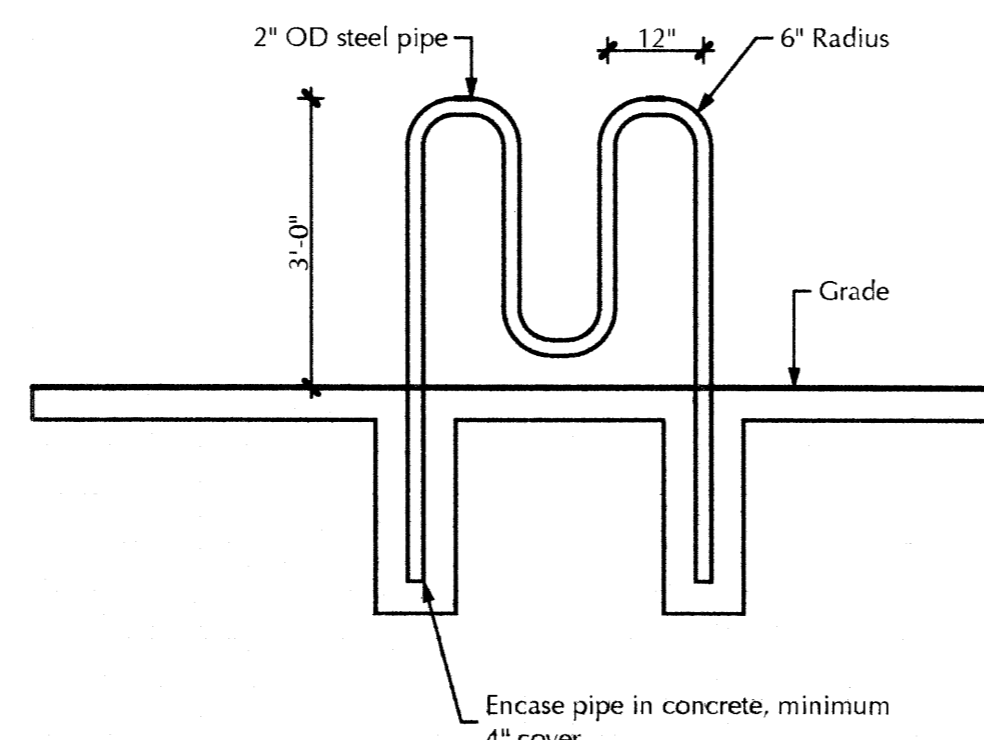


**A "Idling" Sign Detail**  
Not To Scale



**B Light Pole Detail**  
No Scale



**C Bicycle Rack Detail**  
Scale: 1/2" = 1'-0"

**Project Info**

**ADDRESS**  
5000 Montgomery Boulevard NE  
Albuquerque, NM 87109

**LEGAL DESCRIPTION**  
Lot: A3, Block: A  
Subdivision: Vista Grande Addition Unit One  
UPC: 101706050351711613

**PLANNING INFORMATION**  
Zone Atlas Page: G-17-Z  
Land Use Zoning: C2 (SC)

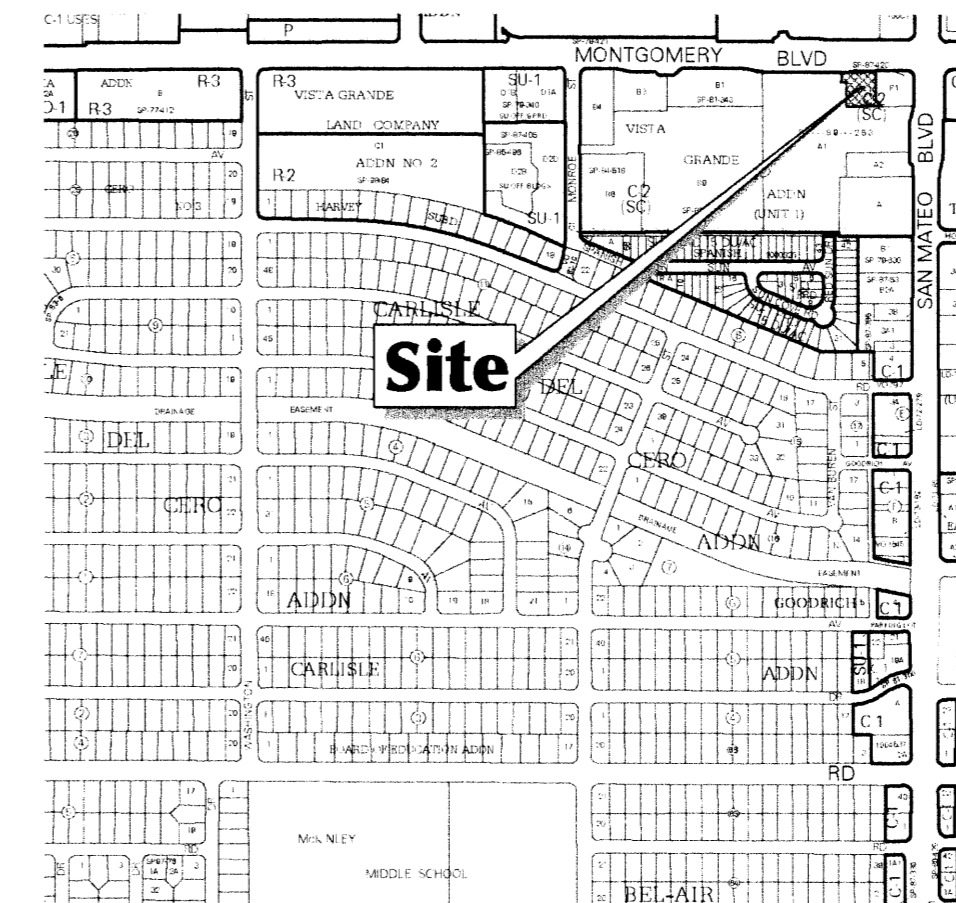
**PARKING**  
Required:  
Restaurant: (1 space per 4 seats) 62/4 = 15.5  
Buss Discount 10% (15.5x0.1=1.5) -1.5  
Total required 14 Spaces

Provided:  
Standard Spaces 13 Spaces  
HC Space 1 Spaces  
Total 14 Spaces

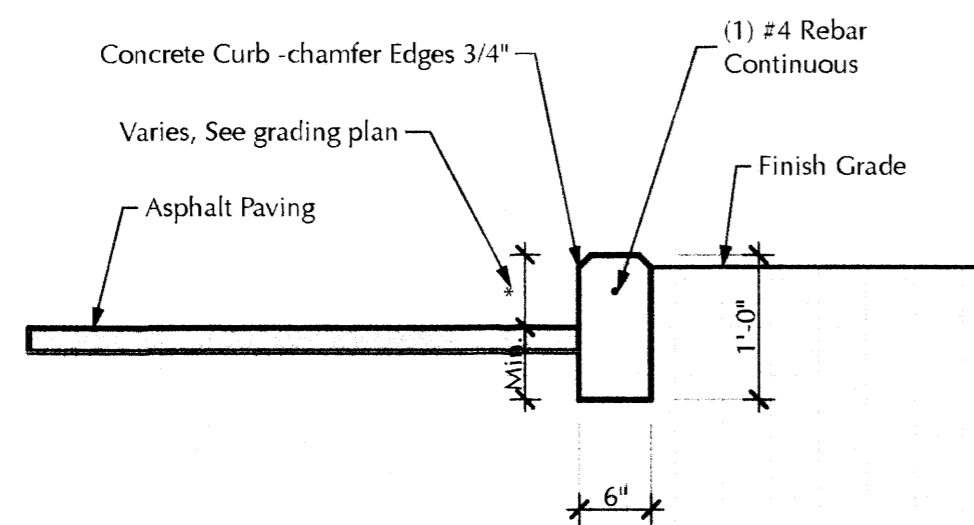
Note: Tract A-3 is subject to a reciprocal, non-exclusive easement over and through and across this parcel for parking, pedestrian traffic and pedestrian access. (Misc. 573, Page 575, AS document 77-74436)

**BICYCLE PARKING** (1 space per 20)  
Required: 2 Provided: 2

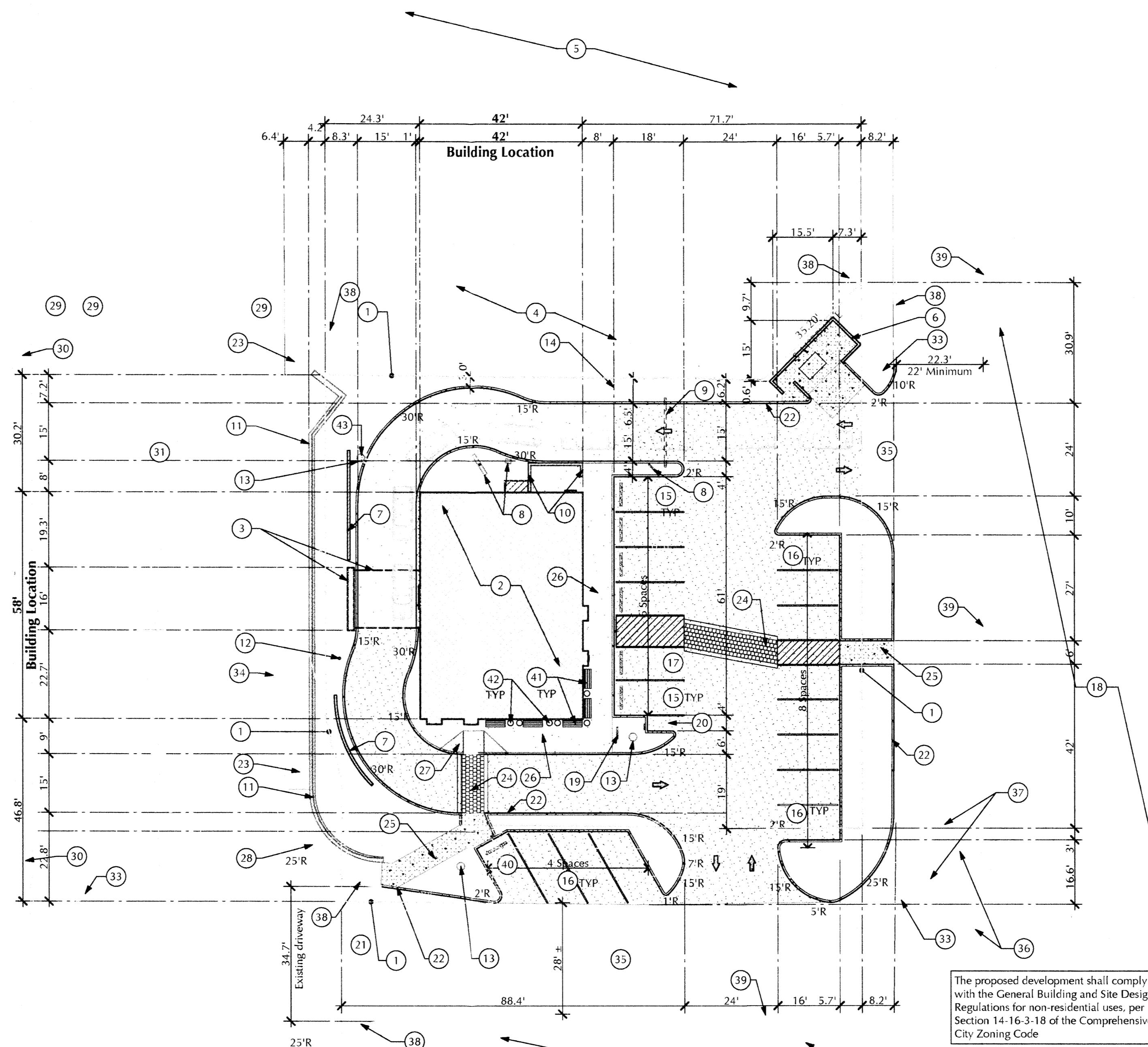
**MOTORCYCLE PARKING** (1 space per 25)  
Required: 1 Provided: 1



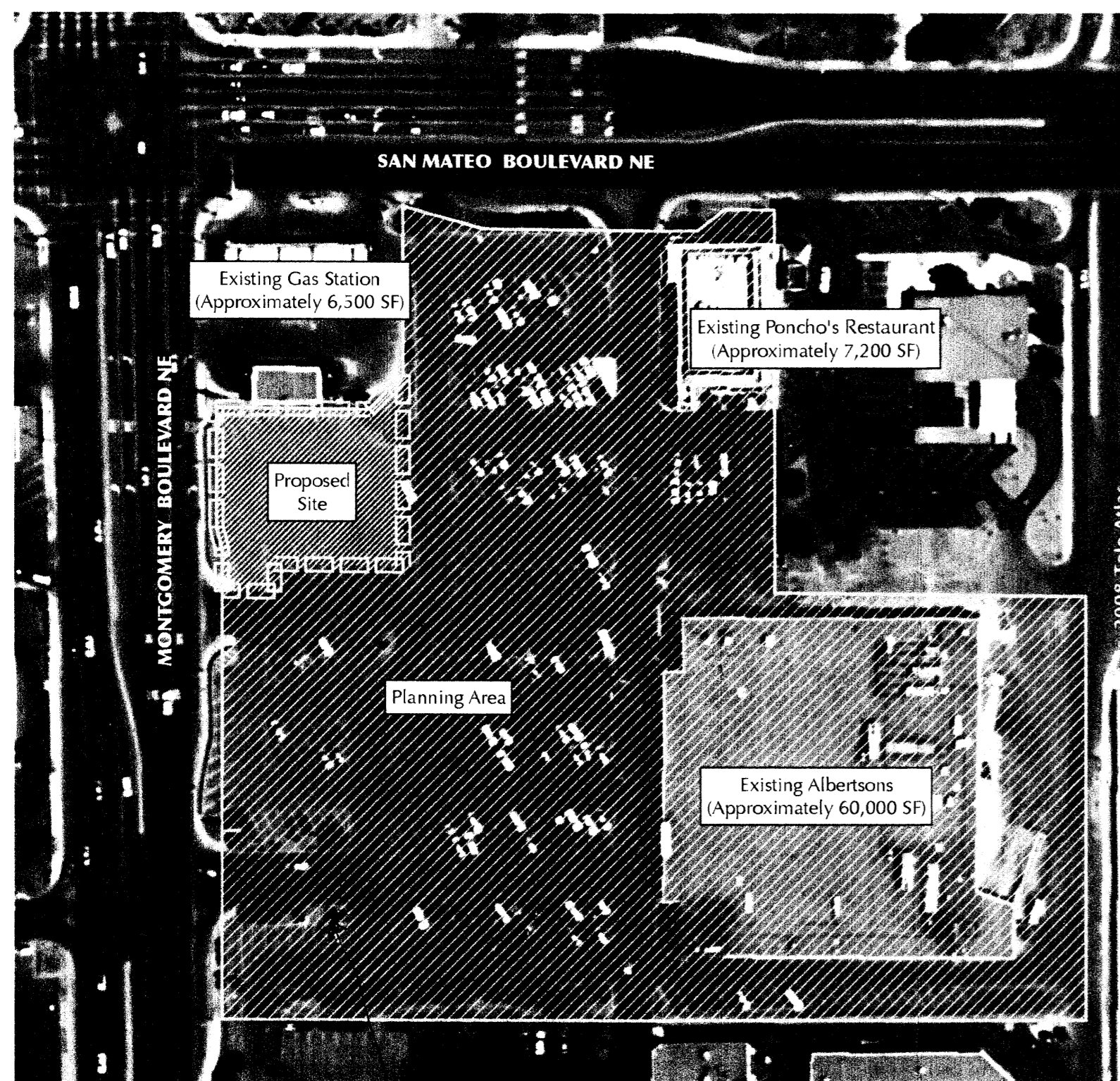
**E Vicinity Map**  
G-17-Z



**H Stand-up Curb Detail**  
Scale: 3/4" = 1'-0"



**U Conceptual Site Plan**  
Scale: 1" = 20'



**S Existing Overall Site Plan**  
Scale: 1" = 100'

**Keyed Notes**

- Property line (typical)
- Proposed Carl's Jr. restaurant building location (2,459 SF heated +291 SF Covered = 2,750± Total square feet)
- Cover over drive-thru service window
- Existing car wash building (part of adjacent development)
- Existing gas fueling canopy building (part of adjacent development)
- Dumpster enclosure - see elevation, detail 'L' on sheet SDP-5
- 3 foot high screen wall. See detail 'T' on sheet SDP-5.
- Drive through menu sign and order station or preview menu sign
- Drive through clearance bar
- Garden screen wall with gate
- Existing retaining wall with guard rail
- 25 foot tall flag pole
- Proposed 20'-0" tall site light fixture
- Existing site 50'-± tall lighting fixture to remain
- Parking space 9'-0" wide x 18' with concrete wheel stop (along sidewalk)
- Parking space 9'-0" wide x 16' (along landscaping)
- Typical HC parking space 9'-0" x 18' with concrete wheel stop. Provide an 8' wide handicap aisle for van space. Slope asphalt so that the asphalt is flush with the sidewalk, thus requiring no ramp.
- Existing shopping center parking
- Bicycle rack (2 spaces minimum)
- 6'x8' motorcycle parking space with upright sign
- Existing entrance for shopping center
- Typical concrete curb - see detail 'H' on this sheet
- Existing 6± foot wide concrete sidewalk
- Proposed 6 foot wide stamped concrete crosswalk with 1' wide painted markings on each side of crosswalk
- Proposed 4 foot wide concrete sidewalk with 5% maximum grade
- Proposed 8 foot wide wide minimum concrete sidewalk
- Concrete curb ramp
- Existing concrete curb ramp
- Existing turn lane
- Existing street median
- Bus rout 157 runs along Montgomery and routs 140, and 141 run along San Mateo with a buss stop directly to the east on the site.
- Existing fire hydrant
- Existing manhole
- Existing storm sewer inlet
- Tract A-3 is subject to a reciprocal, non-exclusive easement over, through and across its parcel for parking, pedestrian traffic and pedestrian access. (Misc. 573, page 575, as document 77-74436)
- 20' underground utility easement (10/12/89, C40-14)
- 14' underground utility easement (10/12/89, C40-14)
- Existing concrete curb
- Existing parking striping
- Compact parking space 9'-0" wide x 15' (paint "COMPACT" at front of space)
- 5 foot long (minimum) bench with back
- Potted plant in 18" diameter (minimum) planter
- 'Idling' sign. See detail 'A' on this sheet

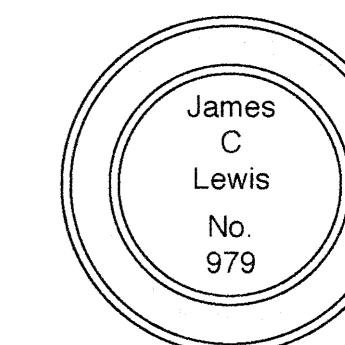
**PROJECT NUMBER: 1007255**  
**Application Number: 08EPC 40076**

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 21 August, 2008 and the Findings and Conditions in the Official Notification of Decision are satisfied.

If an Infrastructure List required ( ) Yes (x) No If yes, then a set of approved DRB plans with a work order is required for any construction within Public Right of Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

Traffic Engineering, Transportation Division	Date
ABC/WUA	Date
Parks and Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date
* Environmental Health, if necessary	Date



**James C Lewis Architect**  
General Design, Inc.  
1620 Central Avenue SE  
Albuquerque • NM • 87106  
(505) 247-1529 • jcl@mac.com



Site Development Plan for Building Permit  
**Carl's Jr. Restaurant**  
5000 Montgomery Boulevard NE  
Albuquerque, NM 87109

**ISSUE DATE:**  
30 June, 2008

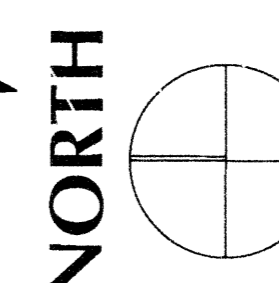
**REVISIONS:**  
09 September, 2008

**PROJECT #** 2007-0733

**Conceptual Site Plan**

**SDP-2**

AFD PLANS CHECKING OFFICE  
924-3611  
APPROVED/ DISAPPROVED  
HYDRANT(S) ONLY  
L.H.M. S.O. 9-15-08  
SIGNATURE & DATE



**Project Team**

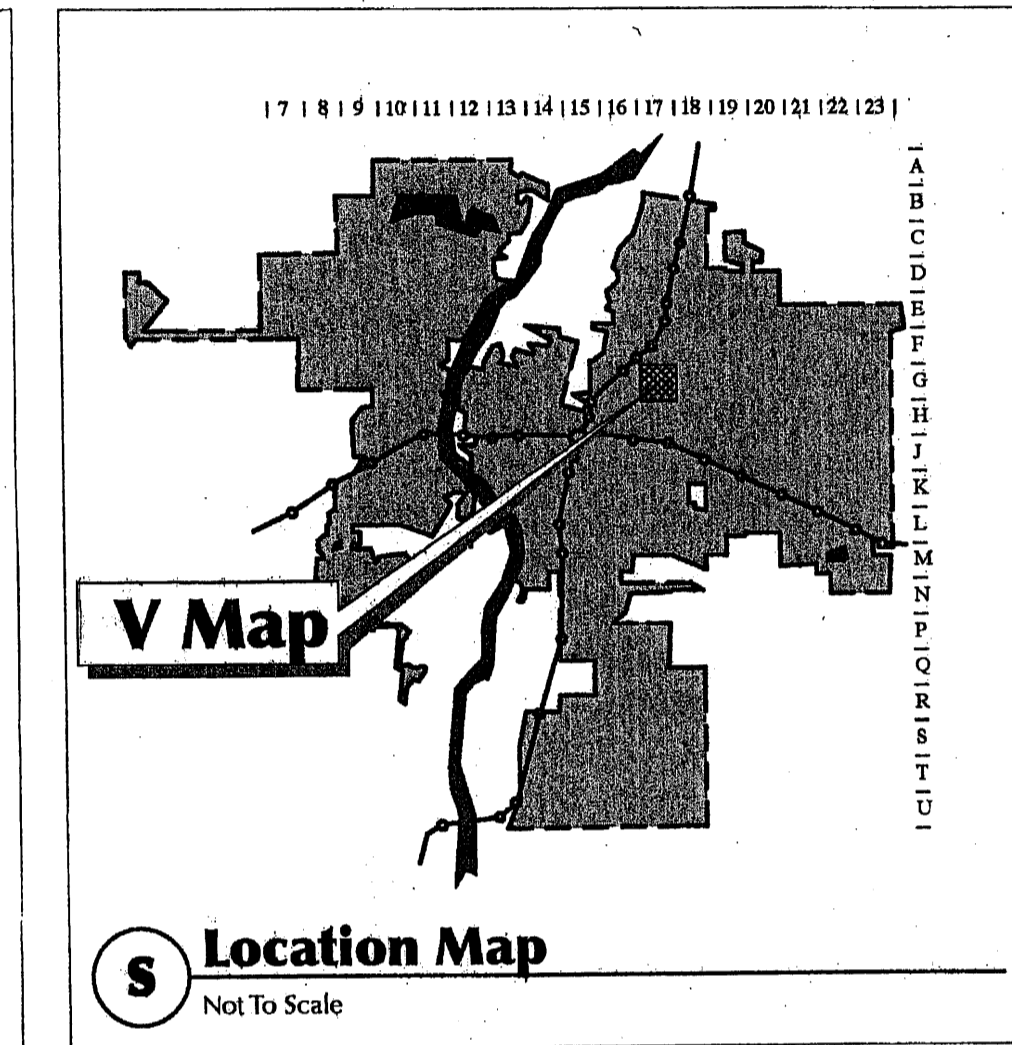
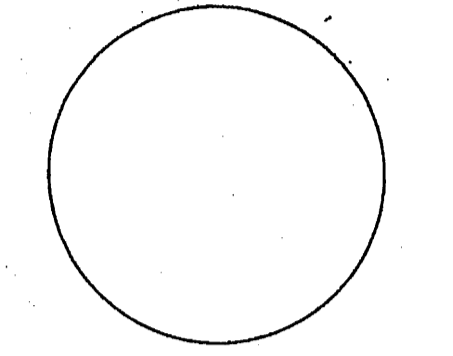
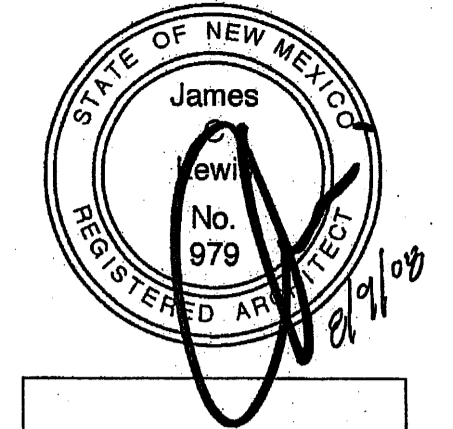
**OWNER**  
 Estrella del Rio Grande, Inc.  
 2715 Broadbent Parkway NE Unit A  
 Albuquerque, NM 87107  
 505-792-2752  
 E-mail: edrgnm@aol.com  
 Contact: Mr. Blaine Wiles

**ARCHITECT**  
 James C Lewis Architect  
 1620 Central Ave. SE  
 Albuquerque, NM 87106  
 (505) 247-1529  
 Fax: (505) 243-6701  
 E-mail: gdi@mac.com  
 Contact: James C Lewis

**PLANNING**  
 Consensus Planning  
 302 Eight Street NW  
 Albuquerque, NM 87106  
 (505) 764-9801  
 Fax: (505) 842-5495  
 E-mail: cp@consensusplanning.com  
 Contact: Jim Strozier

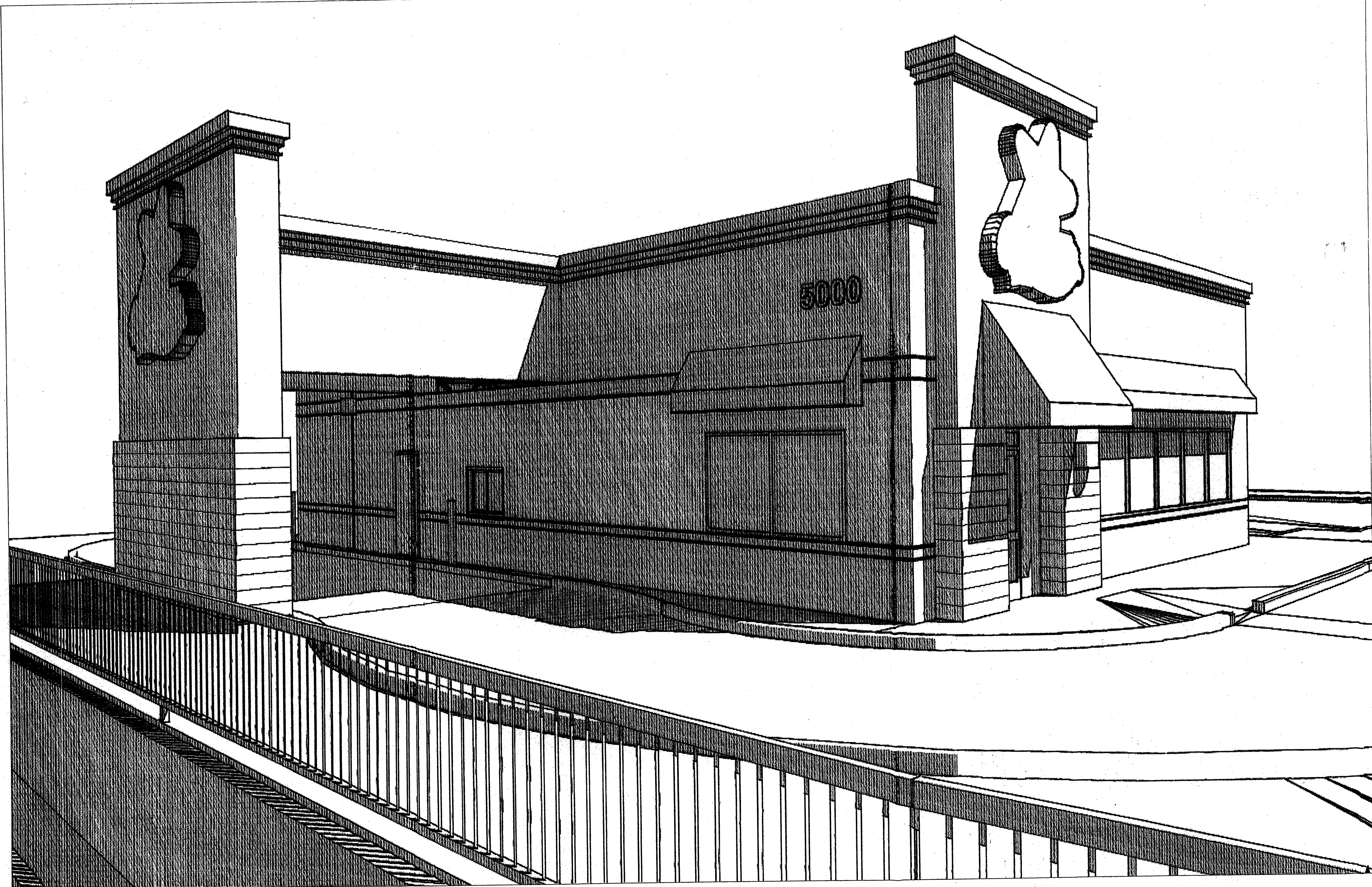
# Site Development Plan for Building Permit Carl's Jr. Restaurant

5000 Montgomery Boulevard NE • Albuquerque, NM 87109



**James C Lewis Architect**  
 General Design, Inc.  
 1620 Central Avenue SE  
 Albuquerque, NM 87106  
 (505) 247-1529 • gdi@mac.com  
 Architecture & Planning

These drawings are the "Instrument of Service" and shall not be reproduced, copied, or published without the written permission of the Architect. © 2008



**Project Summary**

This project incorporates approximately 2,750 square feet quick serve type restaurant building including drive through window for a Carl's Jr. restaurant. The proposed development is less than a 2% increase in size from the existing development.

The project includes towers, and awnings. The service window is located under a covered canopy that acts to shield the window from the street. The site features the building located toward the street with a large landscape buffer that screens the drive through lane with the parking located toward the back of the site.

The building use is compatible with the surrounding development, as is the style which is single story retail and restaurant. The color scheme, building materials and landscaping is similar to the surrounding development.

**Sheet Index**

- SDP-1 Cover Sheet**
- SDP-2 Conceptual Site Plan**
- SDP-3 Landscape Plan**
- SDP-4 Grading & Drainage Plan**
- SDP-5 Exterior Elevations**
- SDP-6 Utility Plan Site**

**Site Development Plan for Building Permit**  
**Carl's Jr. Restaurant**  
 5000 Montgomery Boulevard NE  
 Albuquerque, NM 87109

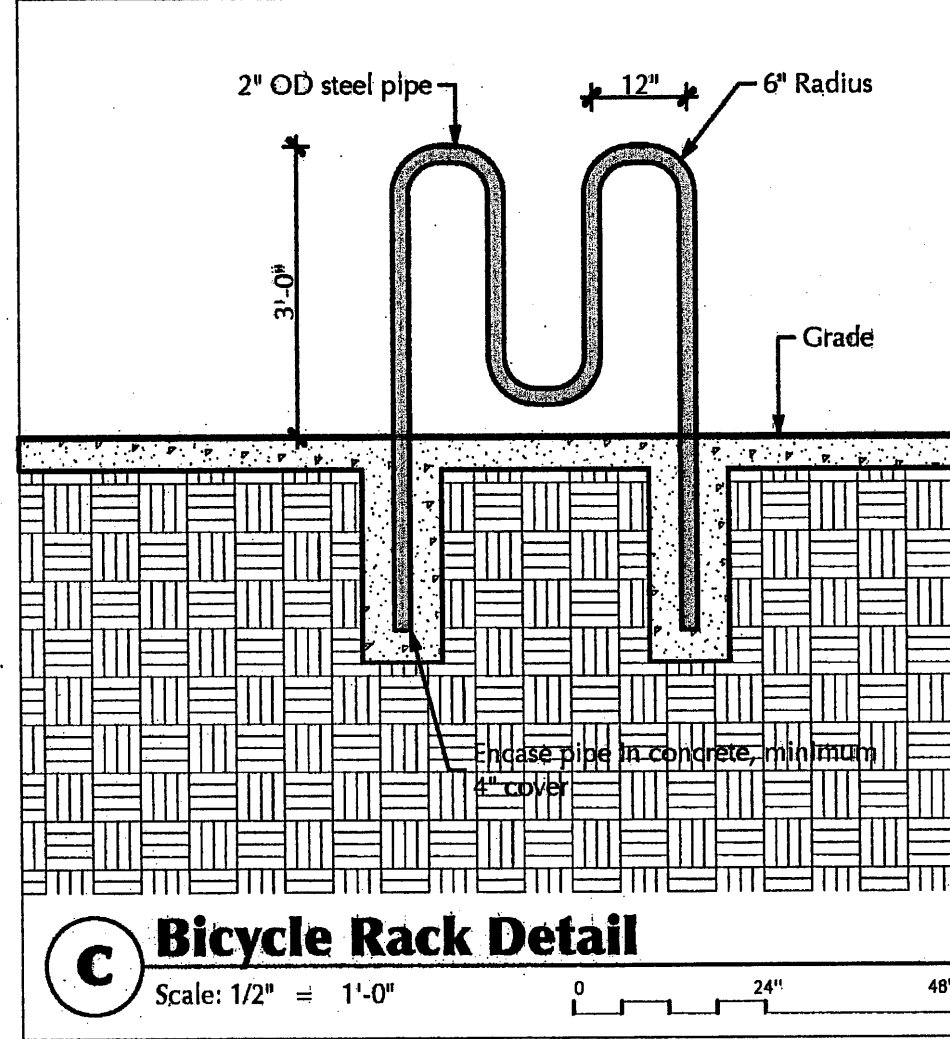
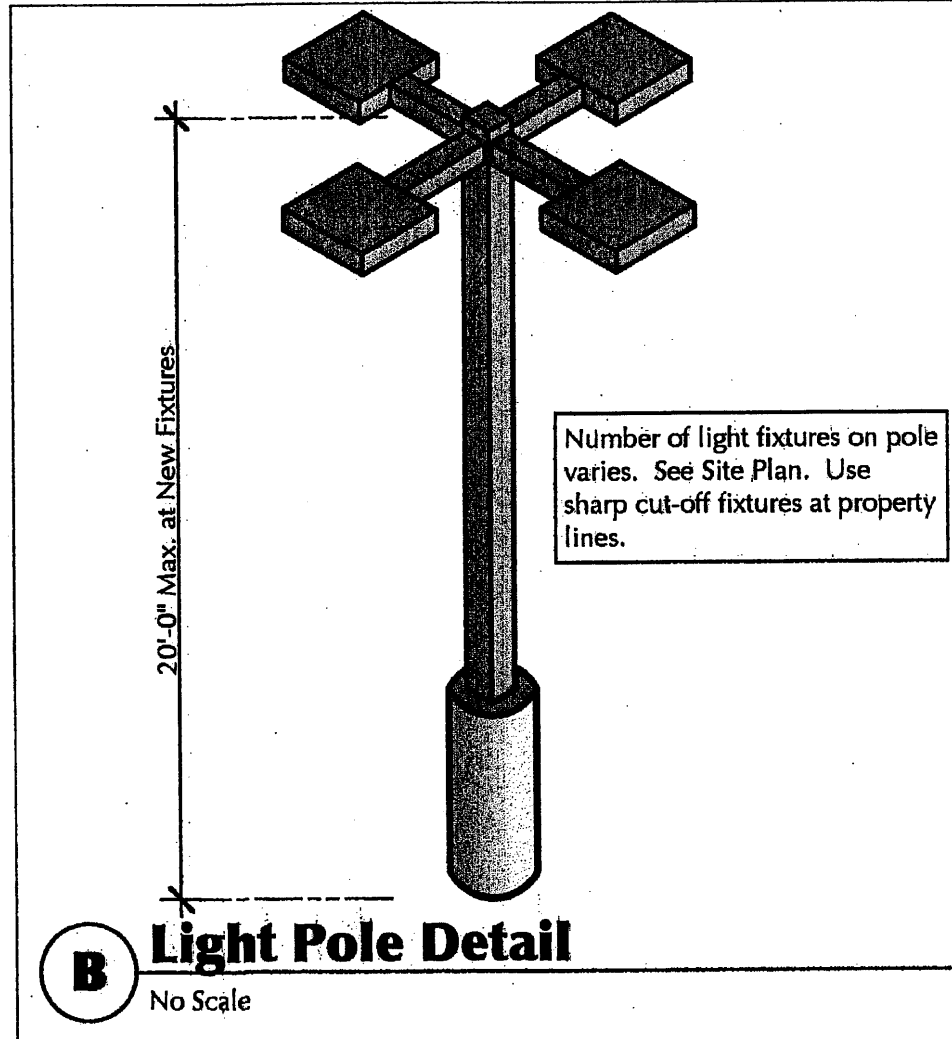
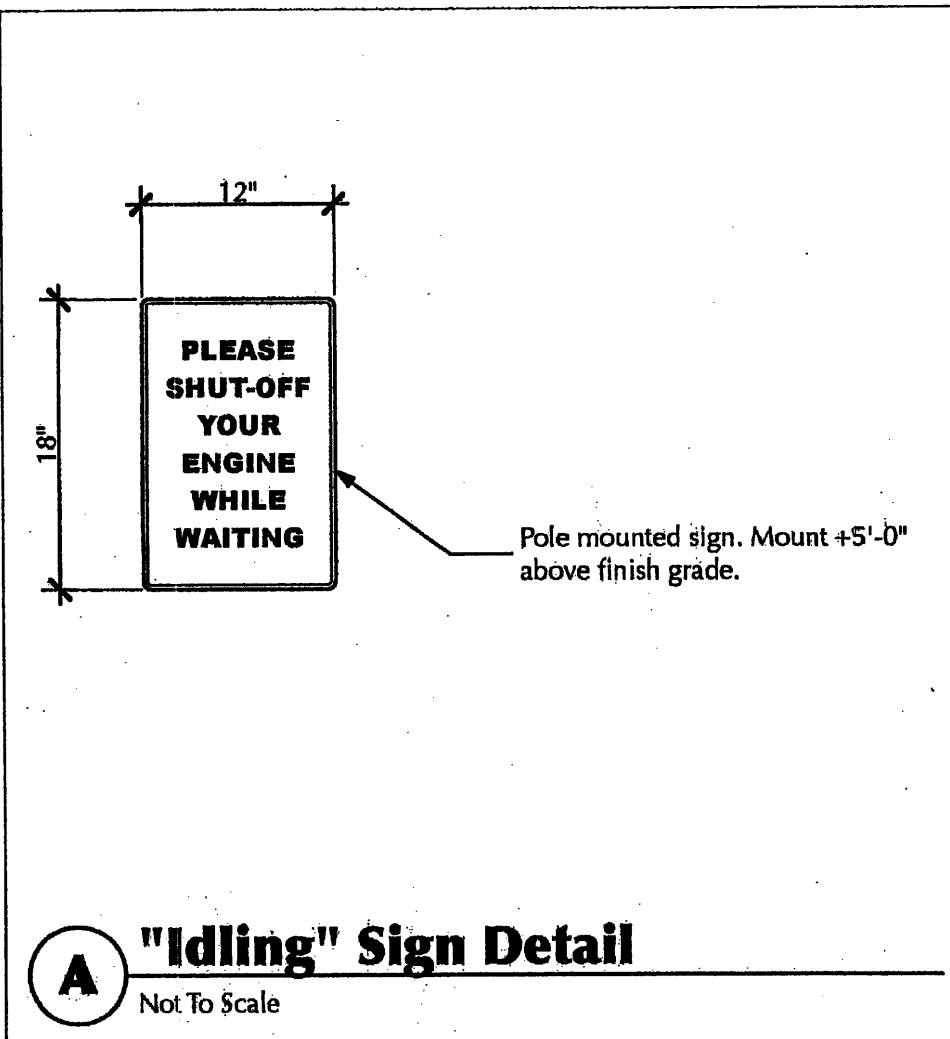
**ISSUE DATE:**  
 30 June, 2008

**REVISIONS:**  
 ▲09 September, 2008  
 ▲  
 ▲  
 ▲  
 ▲  
 ▲  
 ▲

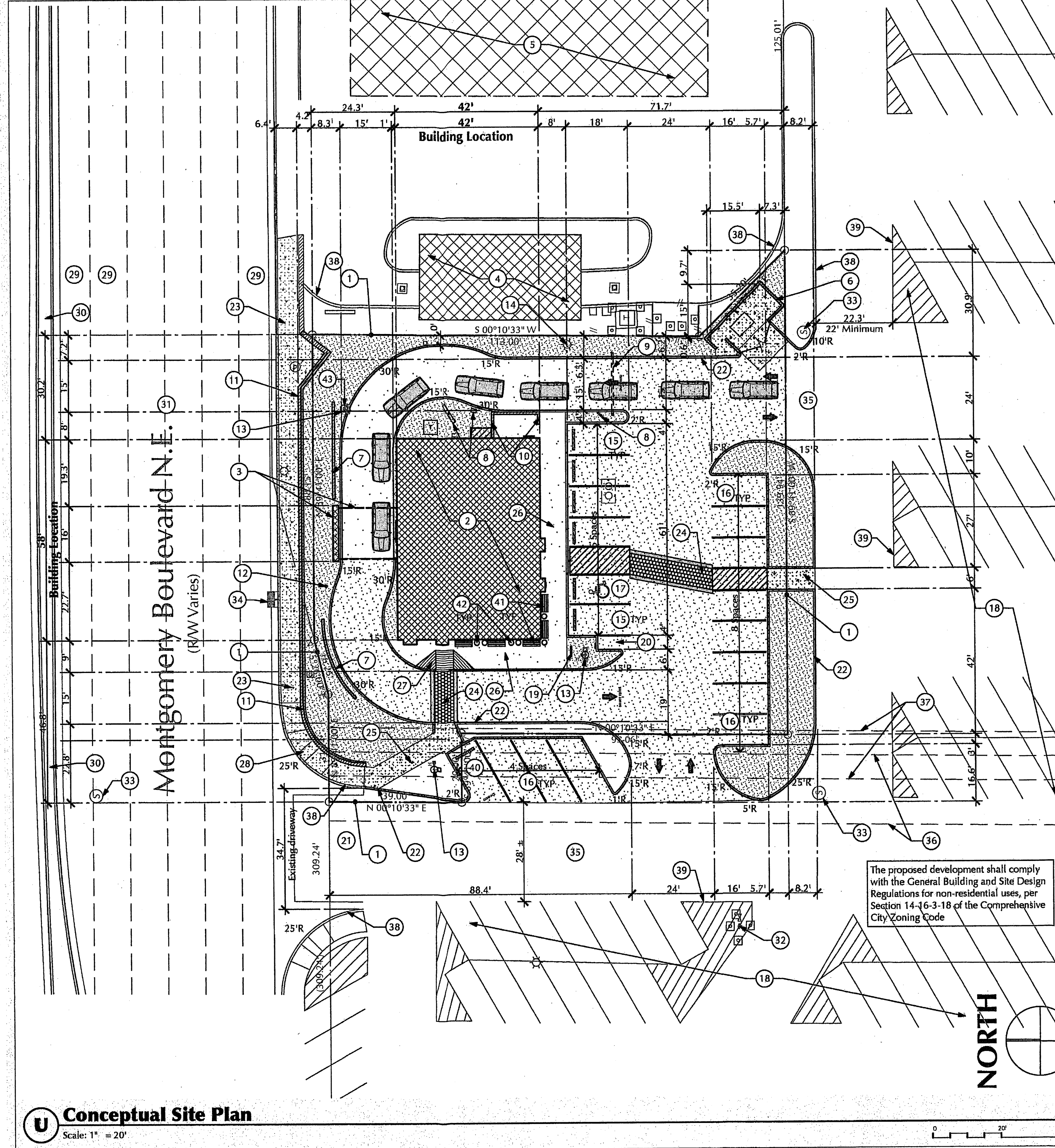
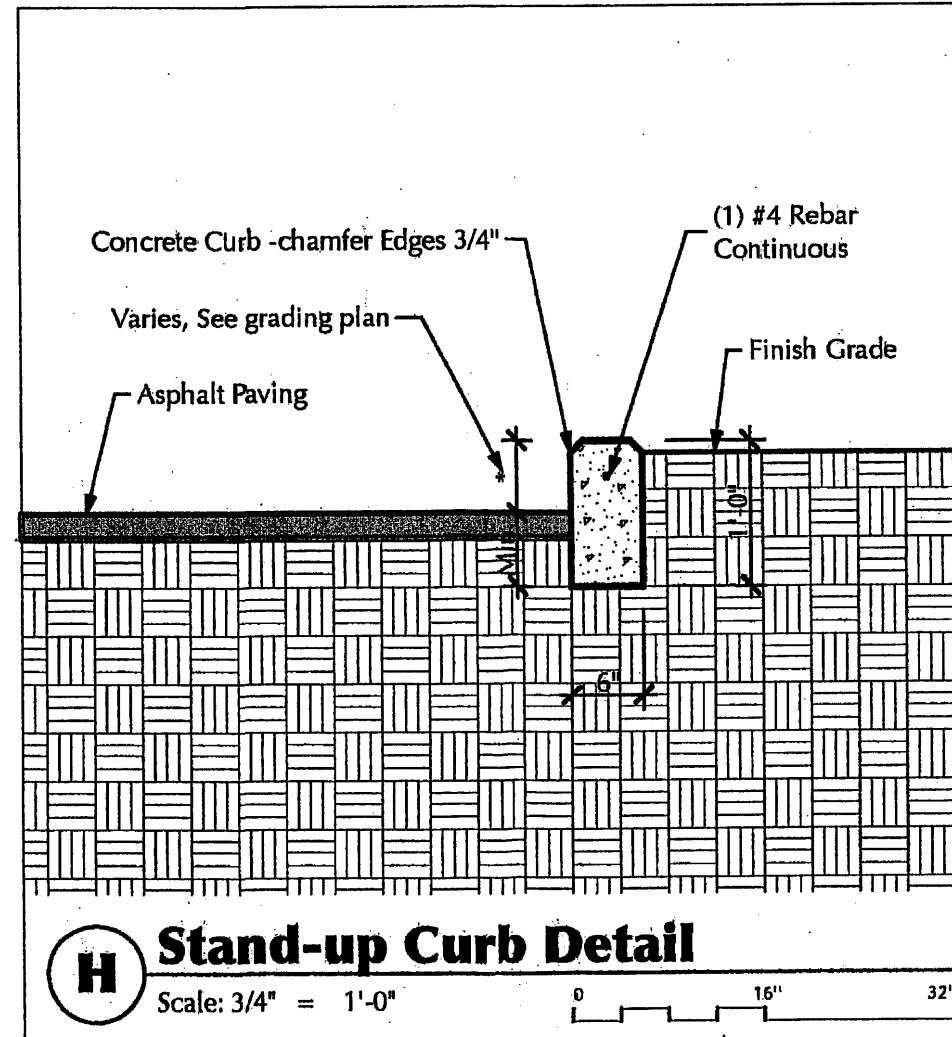
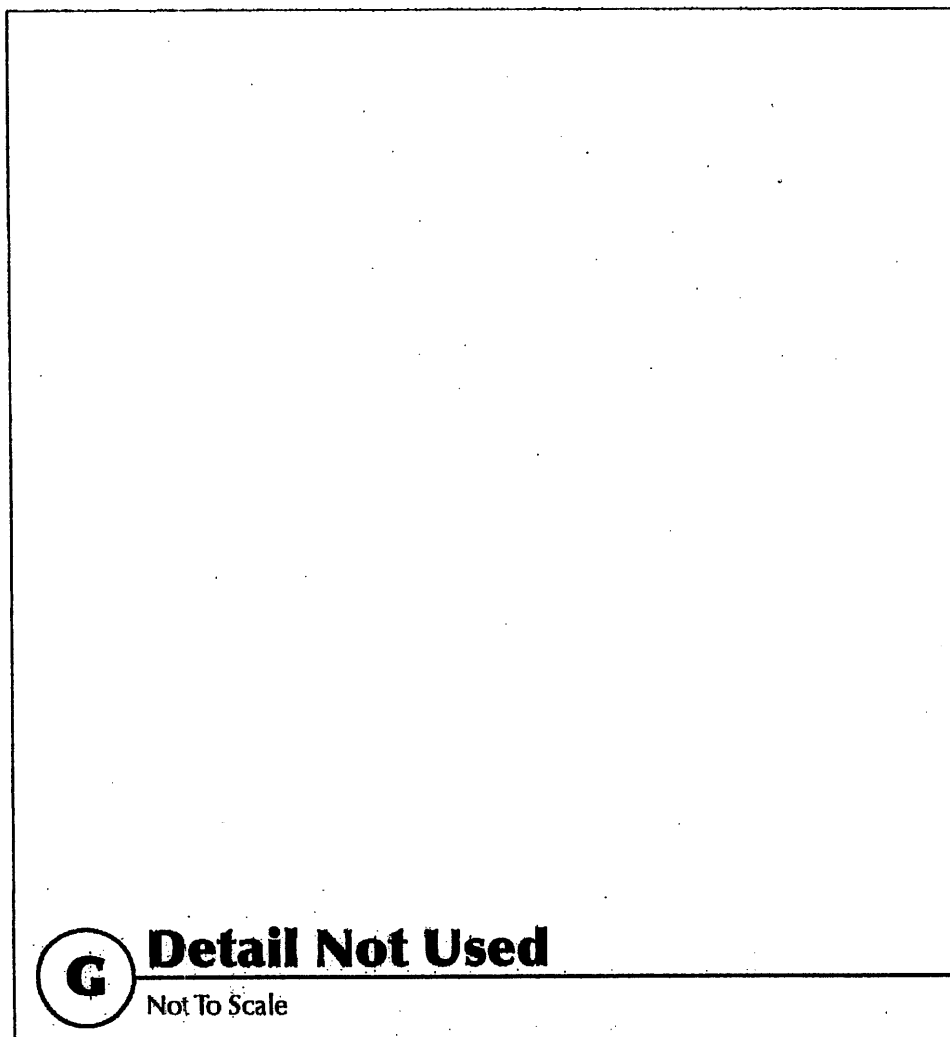
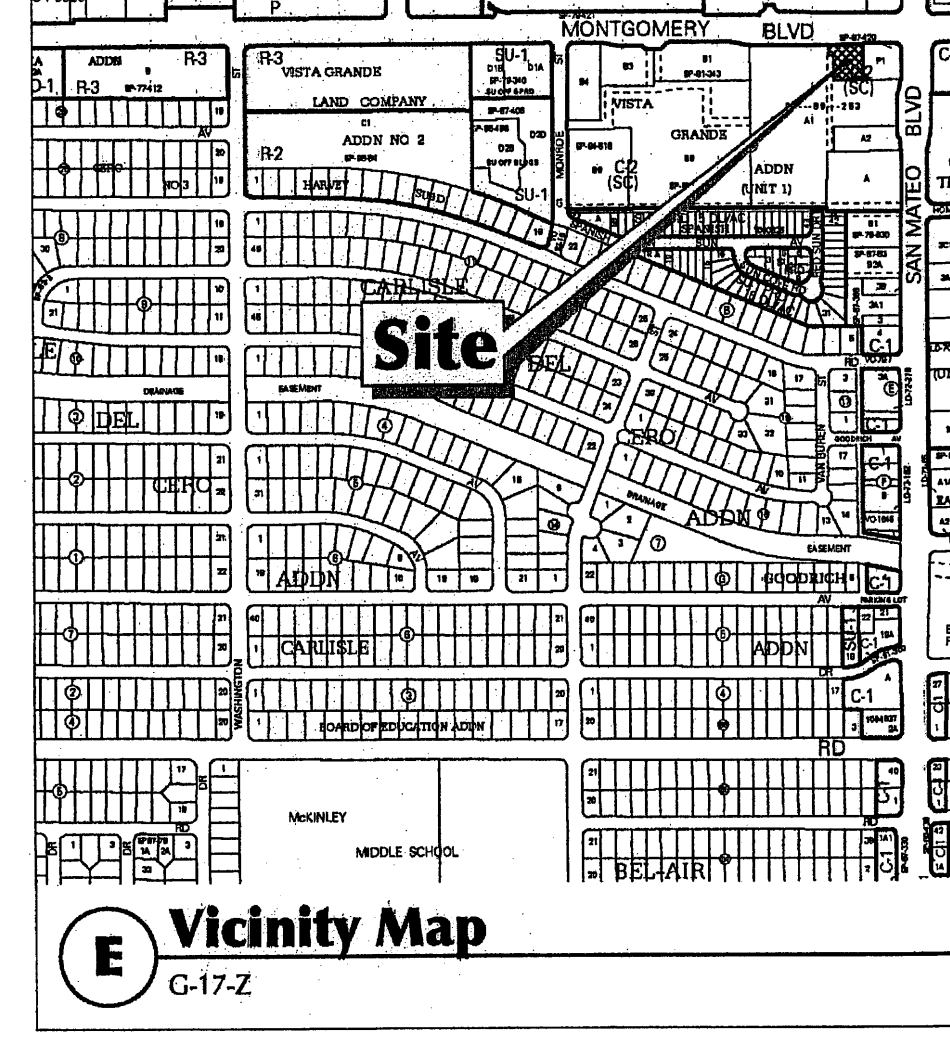
**PROJECT #** 2007-0733

**Cover Sheet**

**SHÉET**  
**SDP-1**  
 1 OF 6



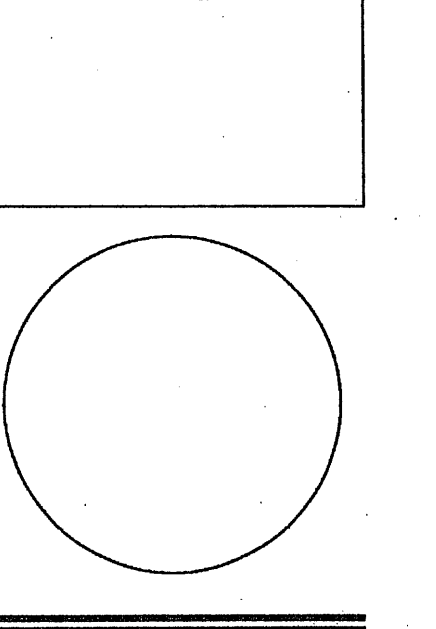
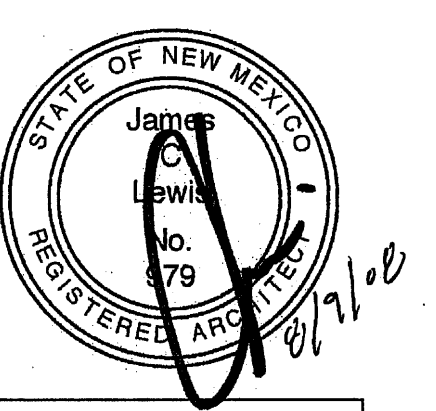
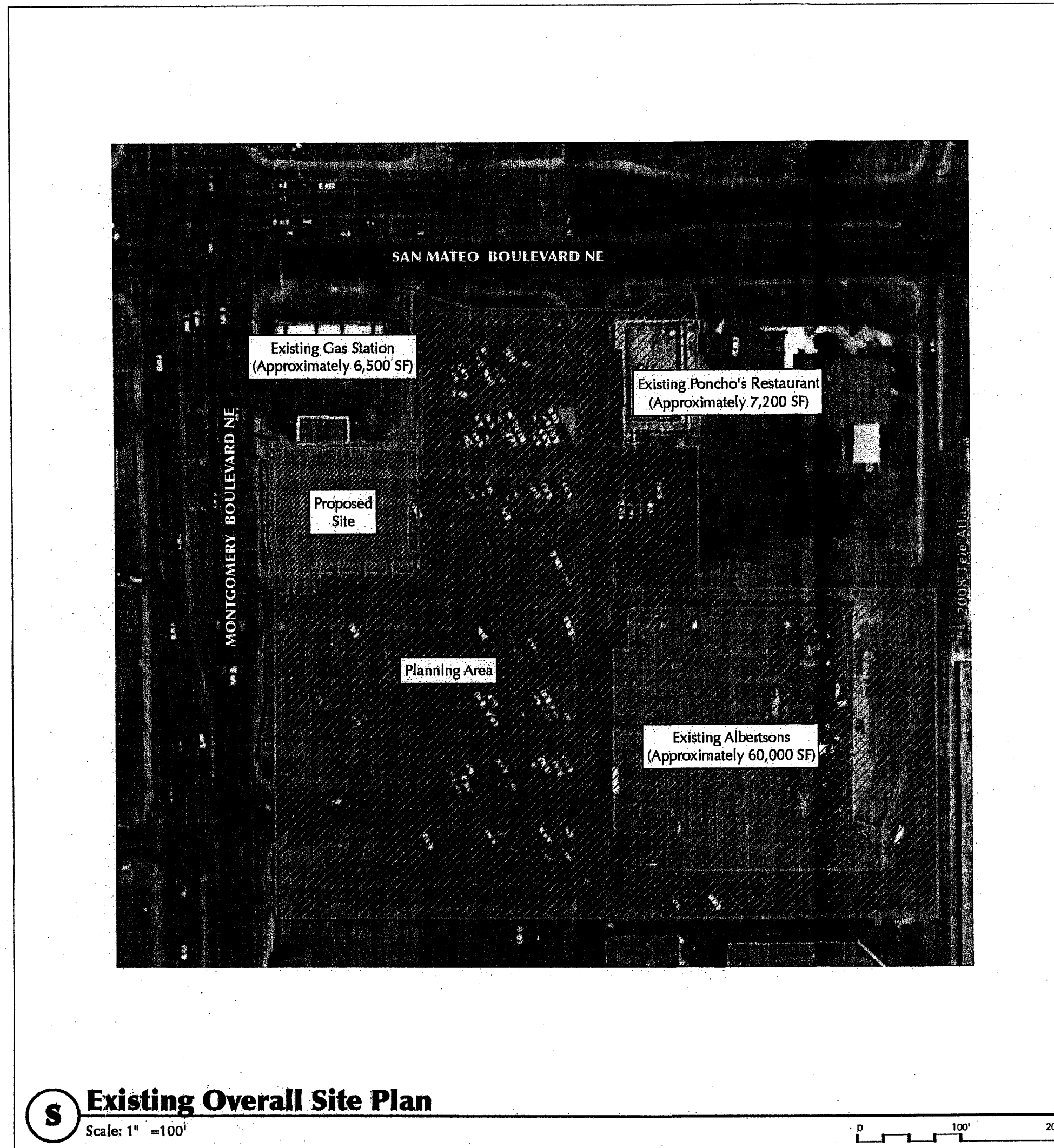
**Project Info**  
**ADDRESS**  
 5000 Montgomery Boulevard NE  
 Albuquerque, NM 87109  
**LEGAL DESCRIPTION**  
 Lot: A3, Block: A  
 Subdivision: Vista Grande Addition Unit One  
 UPC: 1017065935171613  
**PLANNING INFORMATION**  
 Zone Atlas Page: G-17-Z  
 Land Use Zoning: C2 (SC)  
**PARKING**  
 Required:  
 Restaurant: 1 space per 4 seats 62/4 = 15.5  
 Buss Discount 10% (15.5x0.1=1.5) -1.5  
 Total required 14 Spaces  
 Provided:  
 Standard Spaces 13 Spaces  
 HC Space 1 Space  
 Total 14 Spaces  
 Note: Tract A-3 is subject to a reciprocal, non-exclusive easement over and through and across this parcel for parking, pedestrian traffic and pedestrian access. (Misc. 573, Page 575, AS document 77-74436)  
**BICYCLE PARKING** (1 space per 20)  
 Required: 2 Provided: 2  
**MOTORCYCLE PARKING** (1 space per 25)  
 Required: 1 Provided: 1



- Keyed Notes**
- Property line (typical)
  - Proposed Carl's Jr. restaurant building location (2,459 SF heated +291 SF Covered = 2,750 Total square feet)
  - Cover over drive-thru service window
  - Existing car wash building (part of adjacent development)
  - Existing gas filling canopy building (part of adjacent development)
  - Dumpster enclosure - see elevation, detail 'L' on sheet SDP-5
  - 3 foot high screen wall. See detail 'T' on sheet SDP-5.
  - Drive through menu sign and order station or preview menu sign
  - Drive through clearance bar
  - Garden screen wall with gate
  - Existing retaining wall with guard rail
  - 25 foot tall flag pole
  - Proposed 20'-0" tall site light fixture
  - Existing site 50'± tall lighting fixture to remain
  - Parking space 9'-0" wide x 18' with concrete wheel stop (along sidewalk)
  - Parking space 9'-0" wide x 16' (along landscaping)
  - Typical HC parking space 9'-0" x 18' with concrete wheel stop. Provide an 8' wide handicap aisle for van space. Slope asphalt so that the asphalt is flush with the sidewalk, thus requiring no ramp.
  - Existing shopping center parking
  - Bicycle rack (2 spaces minimum)
  - 6'x8' motorcycle parking space with upright sign
  - Existing entrance for shopping center
  - Typical concrete curb - see detail 'H' on this sheet
  - Existing 6x6 foot wide concrete sidewalk
  - Proposed 6 foot wide stamped concrete crosswalk with 1' wide painted markings on each side of crosswalk
  - Proposed 4 foot wide concrete sidewalk with 5% maximum grade
  - Proposed 8 foot wide minimum concrete sidewalk
  - Concrete curb ramp
  - Existing concrete curb ramp
  - Existing turn lane
  - Existing street median
  - Bus route 157 runs along Montgomery and routes 140, and 141 run along San Mateo with a buss stop directly to the east on the site.
  - Existing fire hydrant
  - Existing manhole
  - Existing storm sewer inlet
  - Tract A-3 is subject to a reciprocal, non-exclusive easement over, through and across its parcel for parking, pedestrian traffic and pedestrian access. (Misc. 573, page 575, as document 77-74436)
  - 20' underground utility easement (10/12/89, C40-14)
  - 14' underground utility easement (10/12/89, C40-14)
  - Existing concrete curb
  - Existing parking striping
  - Compact parking space 9'-0" wide x 15' (paint "COMPACT" at front of space)
  - 5 foot long (minimum) bench with back
  - Potted plant in 18" diameter (minimum) planter
  - "Idling" sign, See detail 'A' on this sheet

**PROJECT NUMBER: 1007255**  
**Application Number: 09EPC 40076**  
 This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 21 August, 2008 and the Findings and Conditions in the Official Notification of Decision are satisfied.  
 Is an Infrastructure List required? ( ) Yes (X) No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.  
**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Michael Helton Solid Waste Management	9/10/08 Date
DRB Chairperson, Planning Department	Date
* Environmental Health, if necessary	



**James C Lewis Architect**  
 General Design, Inc.  
 1620 Central Avenue SE  
 Albuquerque, NM 87106  
 (505) 247-1529 • gdl@gdlmac.com  
 Architecture & Planning



Site Development Plan for Building Permit  
**Carl's Jr. Restaurant**  
 5000 Montgomery Boulevard NE  
 Albuquerque, NM 87109

**ISSUE DATE:**  
 30 June, 2008

**REVISIONS:**  
 09 September, 2008

**PROJECT # 2007-0733**

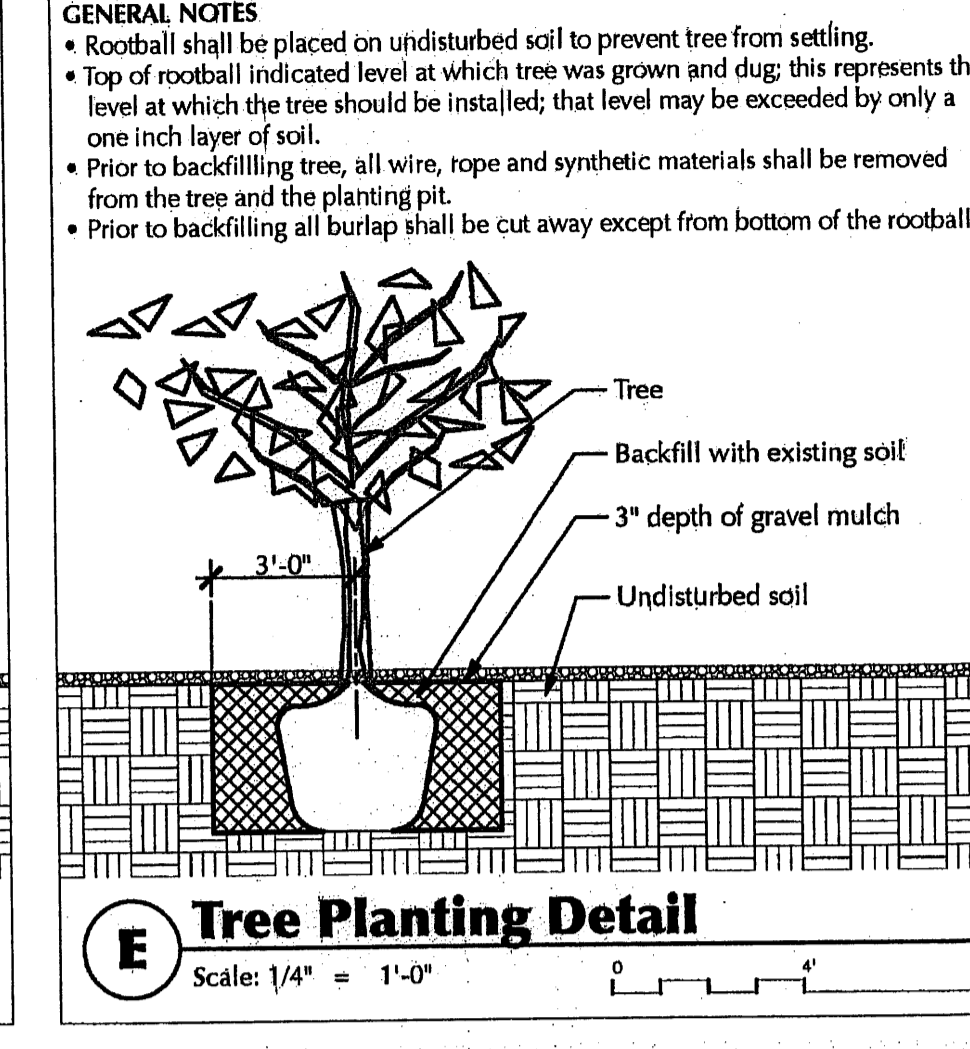
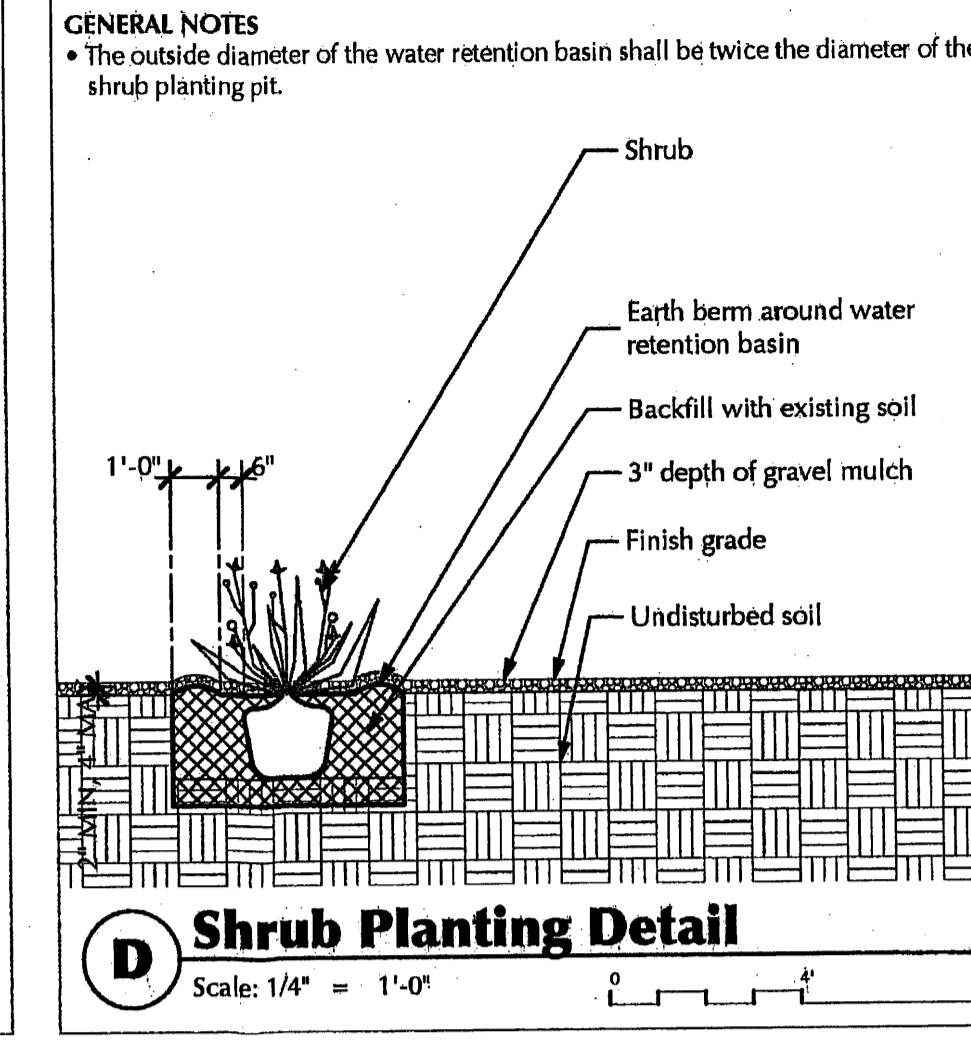
**Conceptual Site Plan**

**SHEET**  
**SDP-2**  
 2 OF 6

**A Detail Not Used**  
Not To Scale

**B Detail Not Used**  
Not To Scale

**C Detail Not Used**  
Not To Scale

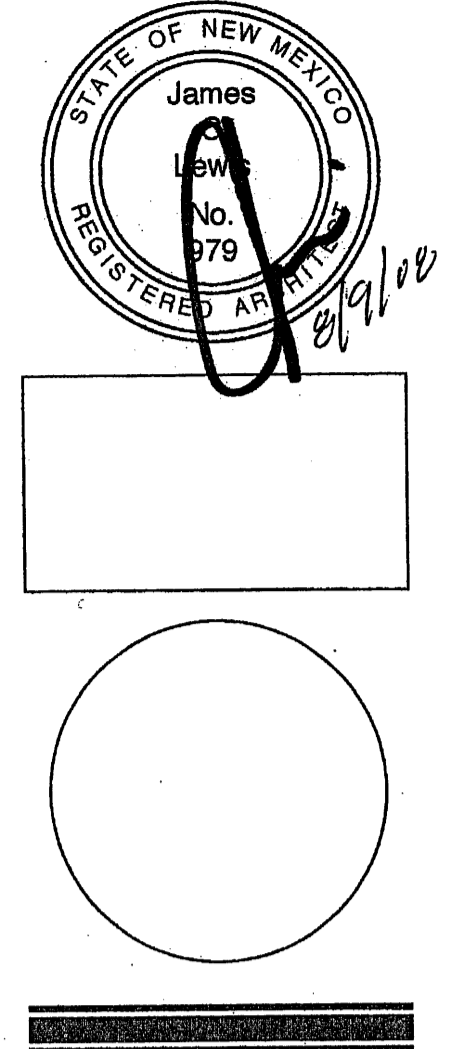


**Landscaping Calculations**

LANDSCAPE CALCULATIONS	
Total Lot Area	16,893 Square Feet
Total Building Area	2,750 Square Feet
Net Lot Area	14,143 Square Feet
Landscaping Requirement	15%
Total Landscaping Requirement	2,121 Square Feet
Total Bed Provided	4,647 Square Feet
Groundcover Required	75%
Total Groundcover Required	3,400 Square Feet
Total Groundcover Provided	3,459 Square Feet (76%)
Total Ponding Area	0 Square Feet
Total Sod Area	0 Square Feet
Total Native Seed Area	0 Square Feet
<b>Total Landscaping Provided</b>	<b>4,647 Square Feet (27%)</b>

**STREET TREE REQUIREMENTS**  
Provided at 30' on center along street 3 large +1 accent=4

**PARKING LOT TREE REQUIREMENTS**  
1 Shade tree per 10 spaces  
(22 spaces/10=2.2 trees)  
Required 3 Provided 3



**G Detail Not Used**  
Not To Scale

**Landscaping Notes**

**GENERAL**  
The design and provision of landscaping for this project will be in conformance with the City of Albuquerque Zoning Code, Pollen Ordinance, and the Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally-sound landscape principles will be followed in design and installation. The landscape design focuses on strategies to achieve a sustainable site, water reduction, and landscape aesthetics. The design is to be constructed in keeping with sustainable practices of increasing the efficiency of landscape/open space and their use of energy, water and materials through better design, construction, operation, and maintenance.

**MULCHES**  
All shrub planting areas shall be top dressed with a combination of Santa Fe Brown Crusher Fines, 7/8" Santa Fe Brown Rock Mulch, 2"-4" Santa Ana Tan Cobble. The cobble should be used in areas that require accenting. The cobble swales located within the site shall provide drainage and water harvesting opportunities. Mulches will suppress weed growth, isolate plant roots from both heat and cold temperatures, extending periods of active root growth, ultimately aiding plant growth and vigor.

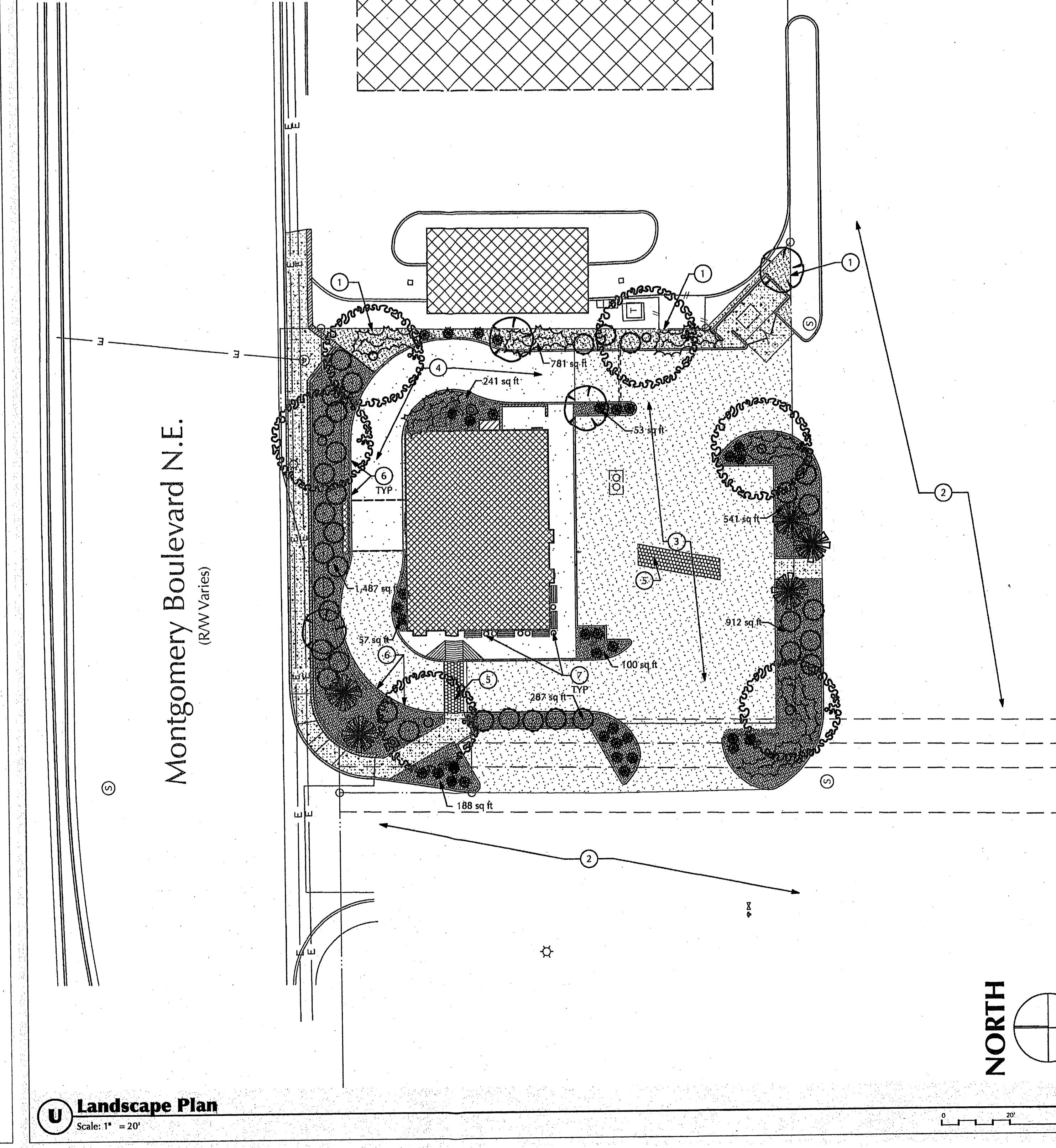
**STATEMENT OF WATER WASTE**  
All landscaping shall be in compliance with the Water Conservation Landscaping and Water Waste Ordinance.

**IRRIGATION**  
Irrigation system standards outlined in the Water Conservation Landscaping and Water Waste Ordinance shall be strictly adhered to. A fully automated drip irrigation system will be used to irrigate tree, shrub, and groundcover planting areas. Irrigation system design shall consider the ability to easily provide additional emitters for the expanding root zone. Trees shall receive (5) 1.0 gph emitters and shrubs shall receive (2) 1.0 gph emitters. Irrigation system to consist of Rain Bird 1400 series bubblers and Rain Bird PEB Series valves; and controlled by a Rain Bird ESP-LX series controller. Pop-up spray heads will be used as the turf irrigation methods, and are to be spaced evenly to reduce water waste. Trees shall be zoned separately from shrubs, perennials, and grasses. Plant beds shall achieve 75% live ground cover at maturity.

**MAINTENANCE RESPONSIBILITY**  
Maintenance of the landscaping and irrigation system, including those areas within the public R.O.W., shall be the responsibility of the owner. All plants and sod areas shall be guaranteed for one year from date of installation. Any plants that are not of satisfactory vigor shall be replaced at no additional expense to the owner. After two growing seasons, adjustments to plant watering will need to be made by reducing irrigation to established drought resistant plant material. Water management will vary from season to season and year to year to compensate for variations in rainfall, heat and wind. The irrigation and maintenance will need to be adjusted accordingly.

**STREET TREES**  
The street trees along Montgomery Boulevard comply with the Street Tree Ordinance, in that there is clustering of street trees of which the number of trees planted equals the number of trees that would be required if the trees were evenly-spaced. Also, according to the ordinance, every third street tree along Montgomery Boulevard may be an accent tree to promote variety in color, texture, form and height along the street way.

**LANDSCAPE COVERAGE**  
All landscape areas, including buffer strips adjacent to major streets, shall contain live vegetative material covering at least 75% of the area. The proposed plantings are to be established for general landscaping purposes for the site.



**Plant Legend**

TREES	Name/ Size	Water Usage	Qty	Height/ Spread
ASH or HONEY LOCUST Gleditsia triacanthos 2" Cal.	(H)	6	25/25'	
	(M+)	6	80/80'	
PURPLE-LEAF PLUM Prunus spp. 2" Cal.	(M)	4	20/20'	
ACCENTS	PALM YUCCA Yucca faxoniana 2 Gal. 36 sf	(L)	5	15/6'
	RED TIP PHOTINIA Photinia fraseri 5 Gal. 64 sf	(M)	36	8/8'
SHRUBS- 5 GALLON	BLUE MIST SPIREA Caryopteris clandonensis 5 Gal. 9sf	(M)	38	3/3'
TAM JUNIPER Juniperus sabina 5 Gal. 120sf/ea (Symbol indicates 2 plants)	(L+)	14	6/4'	
HARDSCAPES	Boulders		2	
	3/4" Gray gravel with filter fabric			
	Santa fe brown crusherfines with filter fabric			
	Commercial grade steel edging			

James C Lewis Architect  
General Design, Inc. SE  
Albuquerque, NM 87106  
(505) 247-1529 • gal@mac.com  
Architecture & Planning



Site Development Plan for Building Permit  
**Carl's Jr. Restaurant**  
5000 Montgomery Boulevard NE  
Albuquerque, NM 87109

**S Detail Not Used**  
Not To Scale

**Keyed Notes**

- Blend existing gravel into new landscaping
- Existing asphalt paving
- Proposed asphalt paving
- Proposed concrete paving
- Stamped concrete
- Cuts in curb for rain water
- Flowering plants in pot

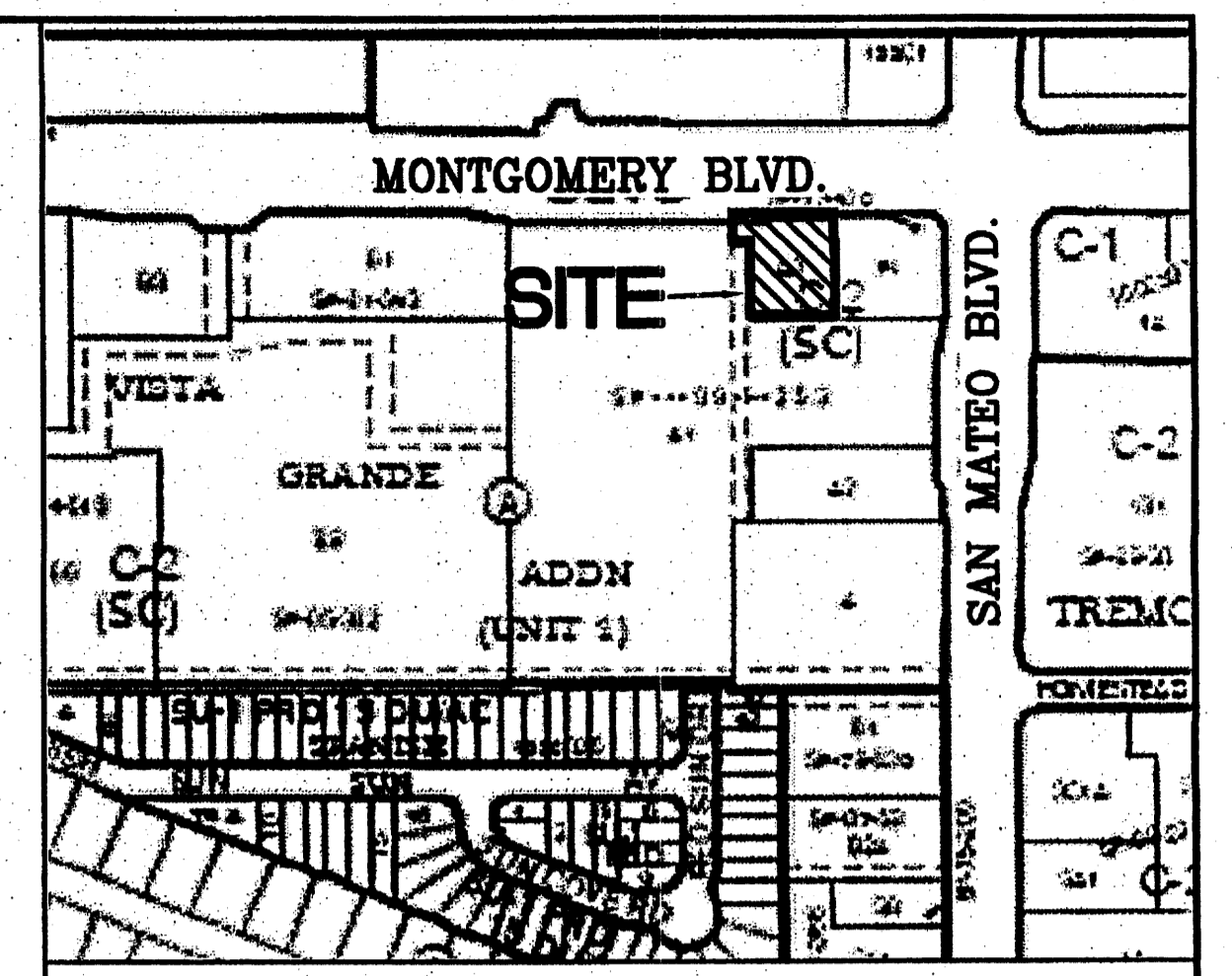
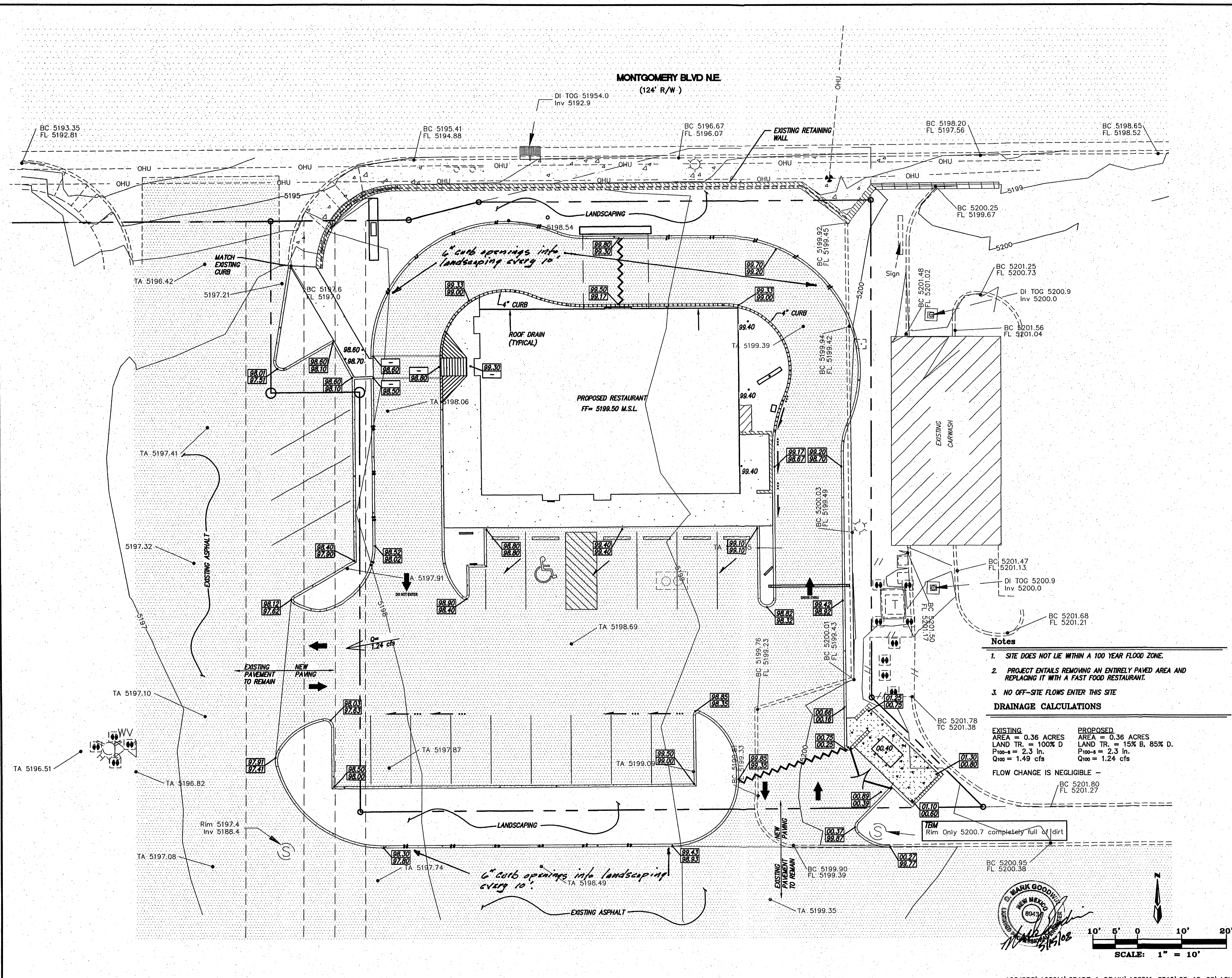
**ISSUE DATE:**  
30 June, 2008

**REVISIONS:**  
 09 September, 2008  
 (List of revision symbols)

**PROJECT #** 2007-0733

**Landscape Plan**

**SHEET**  
**SDP-3**  
3 OF 6



VICINITY MAP ZONE MAP: G-17-Z

**T B M (TEMPORARY BENCHMARK)**  
 TOP OF MANHOLE COVER @ S.E. CORNER  
 ELEVATION = 5200.70

**ACS BENCHMARK**  
 ACS BENCHMARK 10-F18. A City of Albuquerque 1 3/4" aluminum disk stamped "ACS BM 10-F18" applied to top of concrete drop inlet, ENE quadrant of Montgomery Blvd. & San Mateo Blvd. NE, centered on said drop inlet.

**LEGAL DESCRIPTION**  
 TRACT A-3, BLOCK A, VISTA GRANDE ADDITION, UNIT ONE, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON OCTOBER 12, 1989, IN PLAT BOOK C40, PAGE 14.

**LEGEND**

76.50	PROPOSED SPOT ELEVATION
FF= 78.50	FINISHED FLOOR ELEVATION
	PROPOSED DRAINAGE FLOW
	PROPOSED TOP OF CURB
	PROPOSED FLOWLINE
-5135-	EXISTING CONTOUR (MAJOR)
-TC-	EXISTING CONTOUR (MINOR)
FL=	EXISTING TOP OF CURB
> 00.00	EXISTING FLOWLINE
==	EXISTING SPOT ELEVATION
•	EXISTING CURB AND GUTTER
•	EXISTING SANITARY SEWER MANHOLE
•	EXISTING WATER VALVE
•	EXISTING OVERHEAD ELECTRIC LINE
•	EXISTING POWER POLE
•	EXISTING TELEPHONE PEDESTAL
•	EXISTING FIRE HYDRANT
•	EXISTING STORM SEWER MANHOLE
•	EXISTING DROP INLET
•	EXISTING STORM DRAIN
•	EXISTING GAS LINE
•	NEW PROPERTY LINE
•	NEW 6" CURB & GUTTER
•	NEW 4" CURB & GUTTER
•	NEW SIDEWALK
•	NEW WALL
•	NEW BUILDING
•	NEW SIGNS
•	EXISTING PAVEMENT
•	NEW PAVEMENT

**Notes**

- SITE DOES NOT LIE WITHIN A 100 YEAR FLOOD ZONE.
- PROJECT ENTAILS REMOVING AN ENTIRELY PAVED AREA AND REPLACING IT WITH A FAST FOOD RESTAURANT.
- NO OFF-SITE FLOWS ENTER THIS SITE

**DRAINAGE CALCULATIONS**

EXISTING AREA = 0.36 ACRES	PROPOSED AREA = 0.36 ACRES
LAND TR. = 100% D	LAND TR. = 15% B, 85% D.
P <sub>100</sub> = 2.3 in.	P <sub>100</sub> = 2.3 in.
Q <sub>100</sub> = 1.49 cfs	Q <sub>100</sub> = 1.24 cfs

FLOW CHANGE IS NEGLIGIBLE -

**Notes**

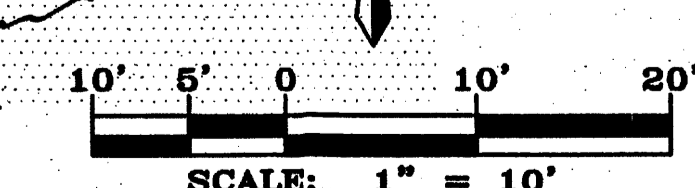
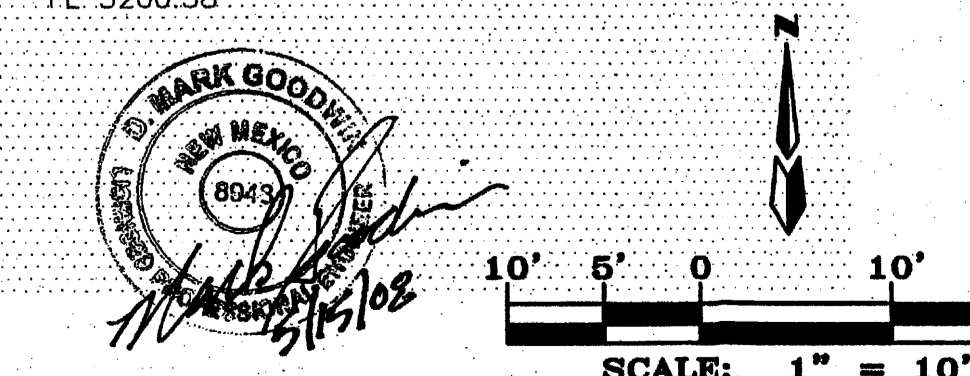
- SITE DOES NOT LIE WITHIN A 100 YEAR FLOOD ZONE.
- PROJECT ENTAILS REMOVING AN ENTIRELY PAVED AREA AND REPLACING IT WITH A FAST FOOD RESTAURANT.
- NO OFF-SITE FLOWS ENTER THIS SITE

**DRAINAGE CALCULATIONS**

EXISTING AREA = 0.36 ACRES	PROPOSED AREA = 0.36 ACRES
LAND TR. = 100% D	LAND TR. = 15% B, 85% D.
P <sub>100</sub> = 2.3 in.	P <sub>100</sub> = 2.3 in.
Q <sub>100</sub> = 1.49 cfs	Q <sub>100</sub> = 1.24 cfs

FLOW CHANGE IS NEGLIGIBLE -

TBM Rim Only 5200.7 completely full of dirt



**CARL'S JR.  
 SAN MATEO & MONTGOMERY  
 GRADING & DRAINAGE PLAN**

**dmg** MARK GOODWIN & ASSOCIATES, P.A.  
 CONSULTING ENGINEERS  
 P.O. BOX 90606  
 ALBUQUERQUE, NEW MEXICO 87199  
 (505)828-2200, FAX (505)797-9539

Designed: DMG Drawn: RFH Checked: DMG Sheet 1 of 1  
 Scale: 1" = 10' Date: 04-25-08 Job: A08011

F:\A08011\A08011\GRADE & DRAIN\A08011\_GD10\05-15-08\ACH



**A** Detail Not Used  
Not To Scale

**B** Detail Not Used  
Not To Scale

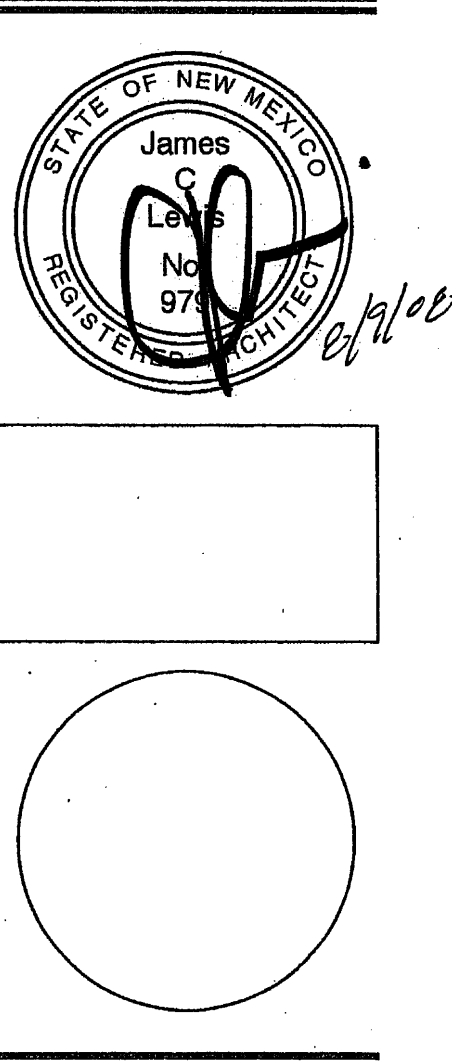
**C** Detail Not Used  
Not To Scale

**D** Detail Not Used  
Not To Scale

**E** Detail Not Used  
Not To Scale

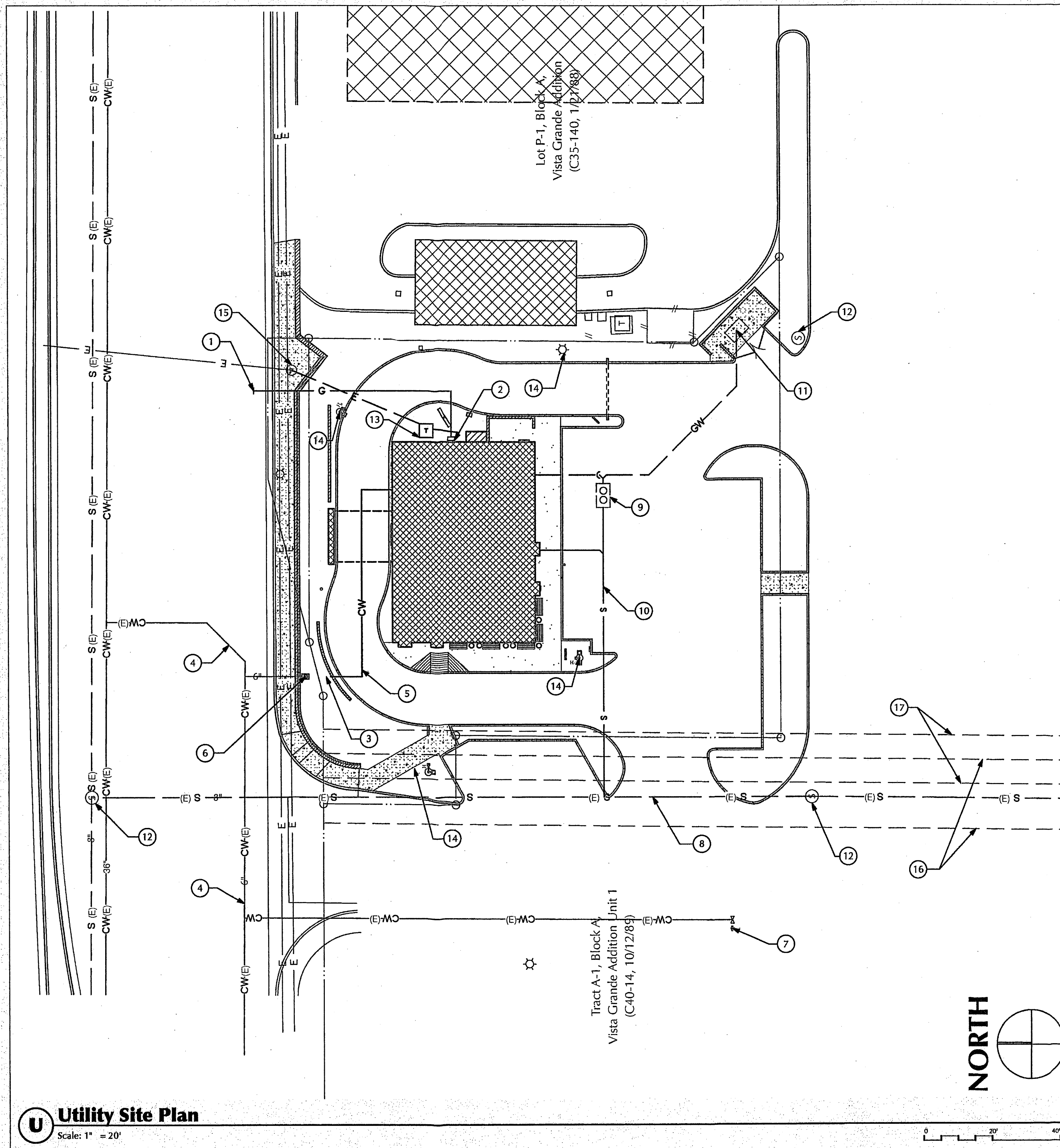
**Legend**

CW	Water line
HPG	High pressure gas line
HW	Hot water line
S	Sewer line
CW	Grease waste line
V	Vent line
⊙	Point of connection



**G** Detail Not Used  
Not To Scale

**H** Detail Not Used  
Not To Scale



- Keyed Notes**
- 1 Tie new gas line into existing gas line. Field verify with PNM exact location of existing high pressure gas line
  - 2 1,151.5 CHF gas meter and all high pressure gas piping to be paid for by contractor
  - 3 Existing 6" water line stub-out. FIELD VERIFY EXACT LOCATION
  - 4 Existing 6" waterline lateral
  - 5 New 2" water line
  - 6 New 1-1/2" water meter
  - 7 Existing fire hydrant
  - 8 Existing 8" sanitary sewer line. FIELD VERIFY EXACT LOCATION
  - 9 Grease interceptor
  - 10 4" sewer line
  - 11 Floor drain
  - 12 Existing manhole
  - 13 PNM-owned service transformer
  - 14 Parking lot lighting fixture
  - 15 Existing utility pole
  - 16 20' underground utility easement (10/12/89, C40-14)
  - 17 14' underground utility easement (10/12/89, C40-14)

**M** Detail Not Used  
Not To Scale

**N** Detail Not Used  
Not To Scale

**S** Detail Not Used  
Not To Scale

**T** Detail Not Used  
Not To Scale

**U** Utility Site Plan  
Scale: 1" = 20'

**James C Lewis Architect**  
General Design, Inc.  
Albuquerque, NM 87106  
(505) 247-1529 • gll@mac.com  
Architecture & Planning

These drawings are the "Instrument of Service" and shall not be reproduced, copied, or published without the written permission of the Architect. © 2008



Site Development Plan for Building Permit  
**Carl's Jr. Restaurant**  
5000 Montgomery Boulevard NE  
Albuquerque, NM 87109

ISSUE DATE:  
30 June, 2008

REVISIONS:  
09 September, 2008

PROJECT # 2007-0733

Utility Plan  
Site

SHEET  
**SDP-6**  
6 OF 6