

# LANDFILL DISCLOSURE STATEMENT

THE SUBJECT PROPERTY IS LOCATED NEAR A FORMER LANDFILL. DUE TO THE SUBJECT PROPERTY BEING NEAR A FORMER LANDFILL, CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILLS AND LANDFILL GAS ISSUES (AS REQUIRED BY THE MOST CURRENT VERSION OF THE INTERIM GUIDELINES FOR DEVELOPMENT WITHIN CITY DESIGNATED LANDFILL BUFFER ZONES) SHALL BE CONSULTED PRIOR TO DEVELOPMENT OF THE SITE.

6/23/08

## WRITTEN PROJECT SUMMARY

The proposed project is single story office building to be built in two phases. The initial phase will be approximately 10,000 square feet and the parking lot and associated features will be completed within this phase. The second phase will be approximately 7,000 square feet for a total building area of approximately 17,000 square feet. The proposed use of the building will be an office which is allowed within SU-2 IP-EP permissive and conditional uses. All elements of the site plan and building elevations have attempted to comply with the aesthetic requirements of North I-25 Sector Development Plan, the Alameda Design Overlay Zone and the Master Development Plan for the Alameda Business Park which specifically address the North Valley visual context.

## GENERAL NOTES

- BUILDING MOUNTED SIGNAGE : 15% MAXIMUM OF THE FACADE AREA. LETTERS TO BE CHANNELIZED OR NEON.
- ROOF TOP EQUIPMENT SHALL NOT BE VISIBLE FROM ADJACENT PROPERTY OR RIGHT-OF-WAYS. HEIGHT OF SUCH EQUIPMENT MUST BE BELOW PARAPET HEIGHT.

## PROJECT DATA

LEGAL DESCRIPTION:  
LOT NUMBERED ONE (1) OF ALAMEDA BUSINESS PARK, A REPLAT OF TRACT B-1-A-1, LANDS OF SPRINGER BUILDING MATERIALS CORPORATION, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF SAID SUBDIVISION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON JUNE 29, 1999 IN MAP BOOK 99C, FOLIO 167

ZONING:  
SU-2 IP-EP

AREAS:  
TRACT AREA: 2,204 ACRES BUILDING  
FOOTPRINT: 17,443 SF  
F.A.R.: .17

PROPOSED USE:  
OFFICE BUILDING

PARKING:  
PARKING REQUIRED (1 Per 200 S.F.) 88  
PARKING PROVIDED 93  
ADA PARKING REQUIRED 4  
ADA PARKING PROVIDED 4  
BICYCLE PARKING REQUIRED (1:20 AUTOS) 5  
BICYCLE PARKING PROVIDED 5  
MOTORCYCLE PARKING REQUIRED 3  
BICYCLE PARKING PROVIDED 4

peter butterfield

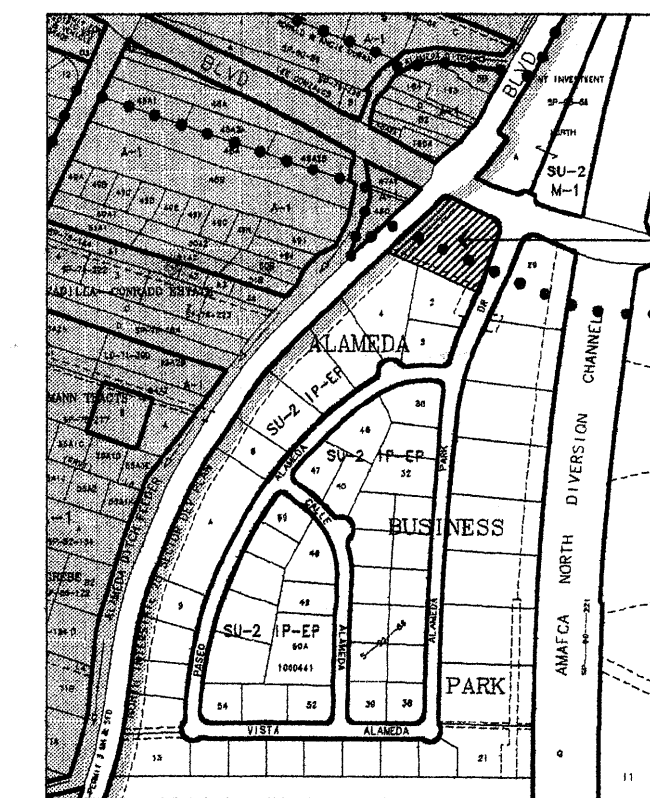
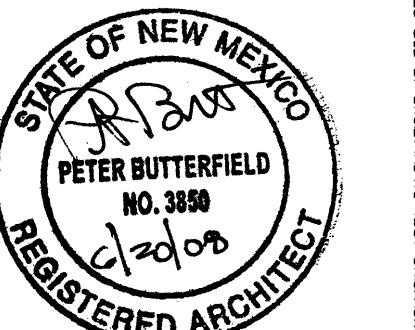
architect 13013 Glenwood Hills Ct NE

albuquerque nm 87111 (ph) 505 298 3099 (fax) 298 6320

DRAWING NAME

REVISIONS

06/20/08 DRB COMMENTS



## VICINITY MAP

PROJECT NUMBER: 1007259

APPLICATION NUMBER: 08-1020

DRB Site Development Plan Approval

TRAFFIC ENGINEER, TRANSPORTATION DIVISION 6/23/08 DATE

5-21-08 DATE

5/21/08 DATE

5/21/08 DATE

5/21/08 DATE

5/21/08 DATE

5/21/08 DATE

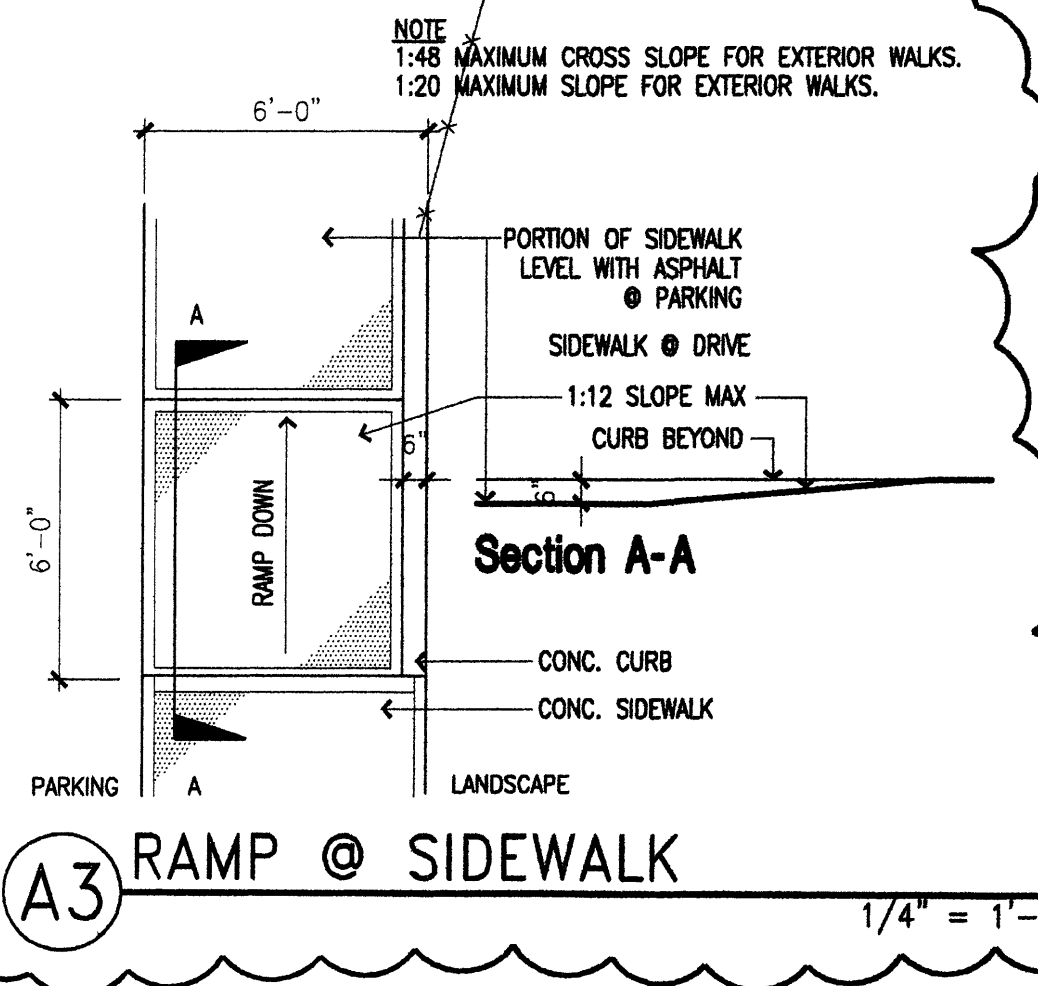
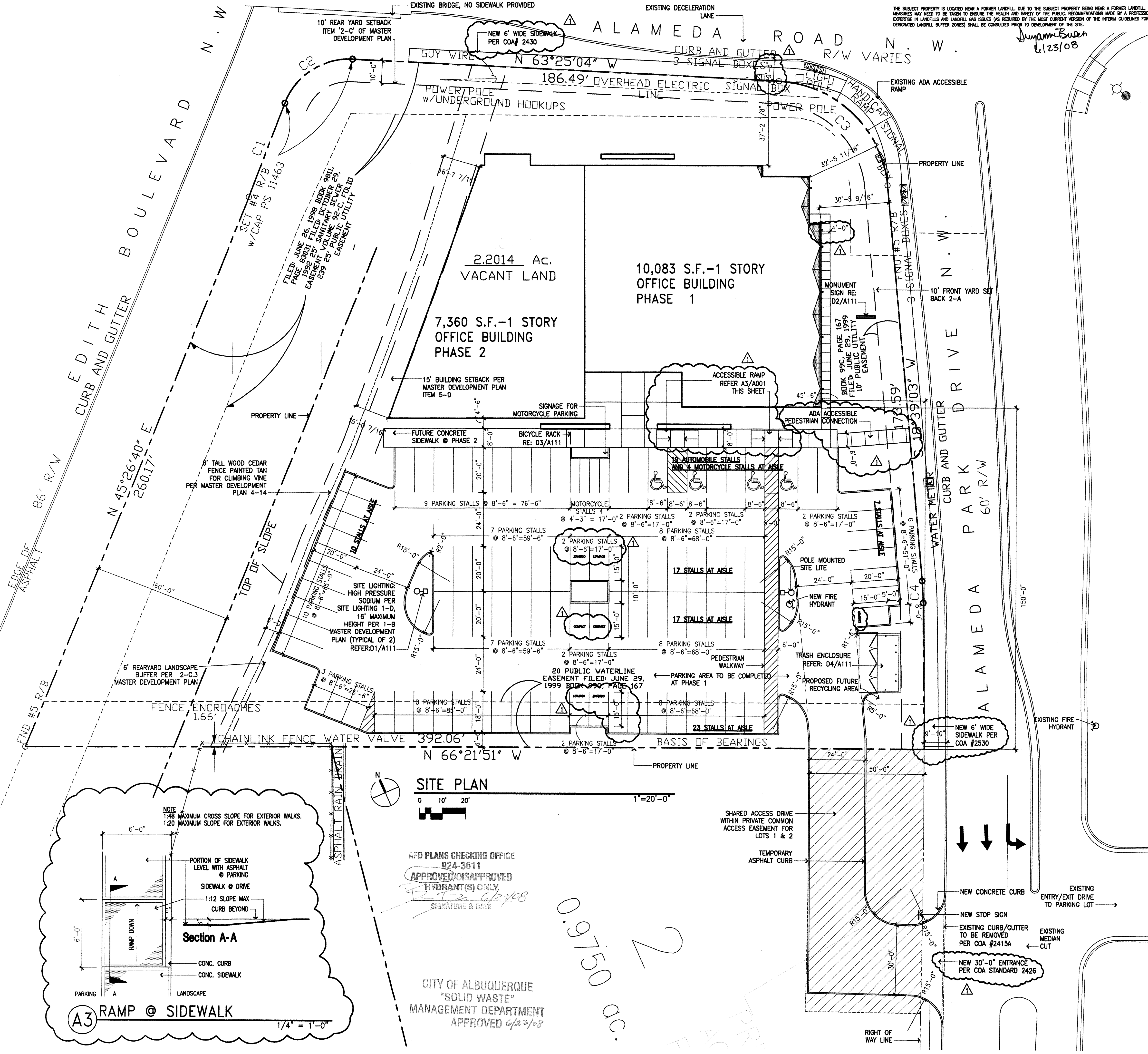
5-21-08 DATE

5-21-08 DATE

Office Building  
8725 Alameda Park Drive NE  
Albuquerque, New Mexico

A001

April 16, 2008



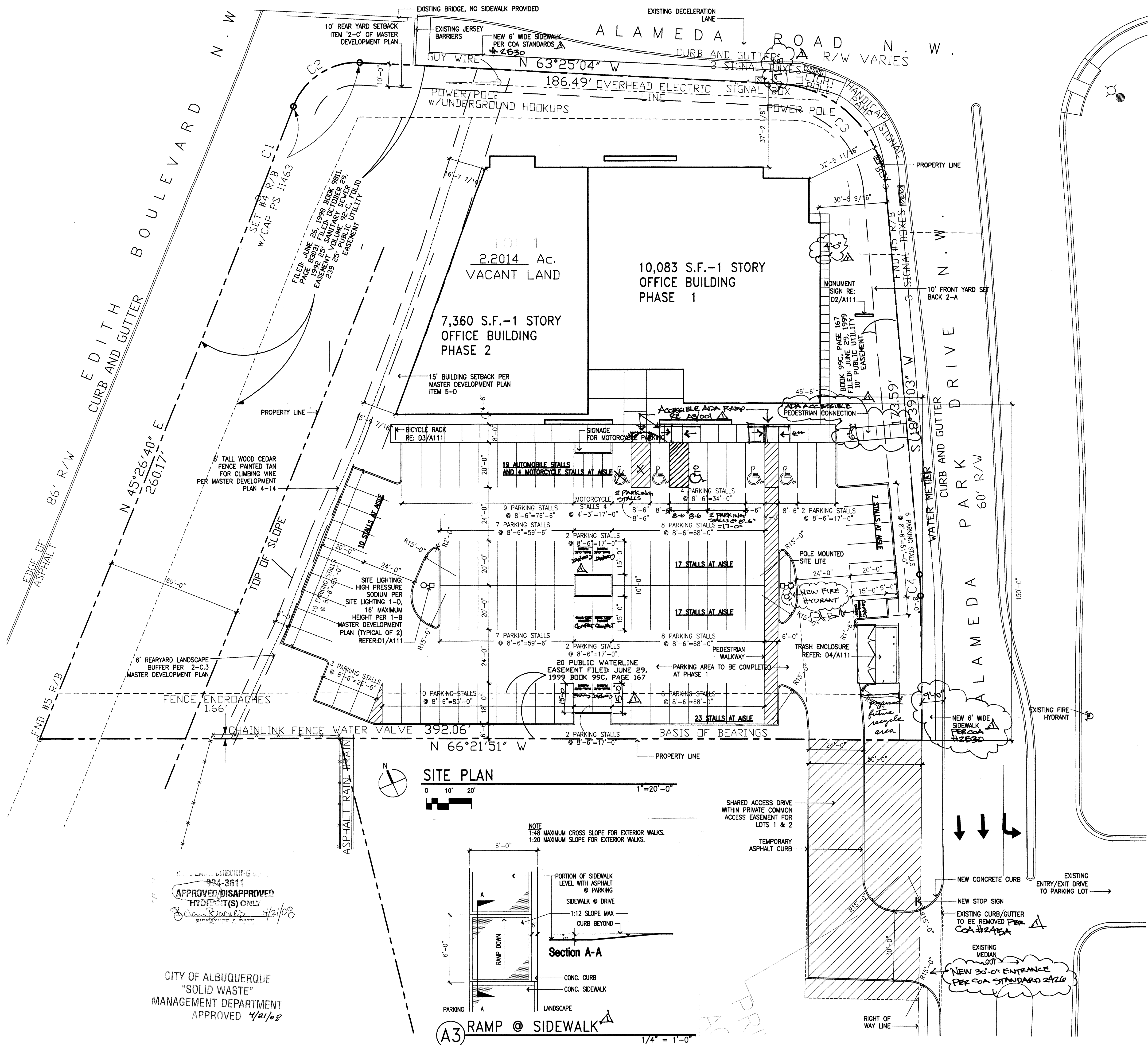
AFD PLANS CHECKING OFFICE  
924-3611  
APPROVED/DISAPPROVED  
HYDRANT(S) ONLY  
6/23/08  
SIGNATURE & DATE

CITY OF ALBUQUERQUE  
"SOLID WASTE"  
MANAGEMENT DEPARTMENT  
APPROVED 6/23/08

0.67500

PROJECT # 1007259





WRITTEN PROJECT SUMMARY

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PROJECT DATA

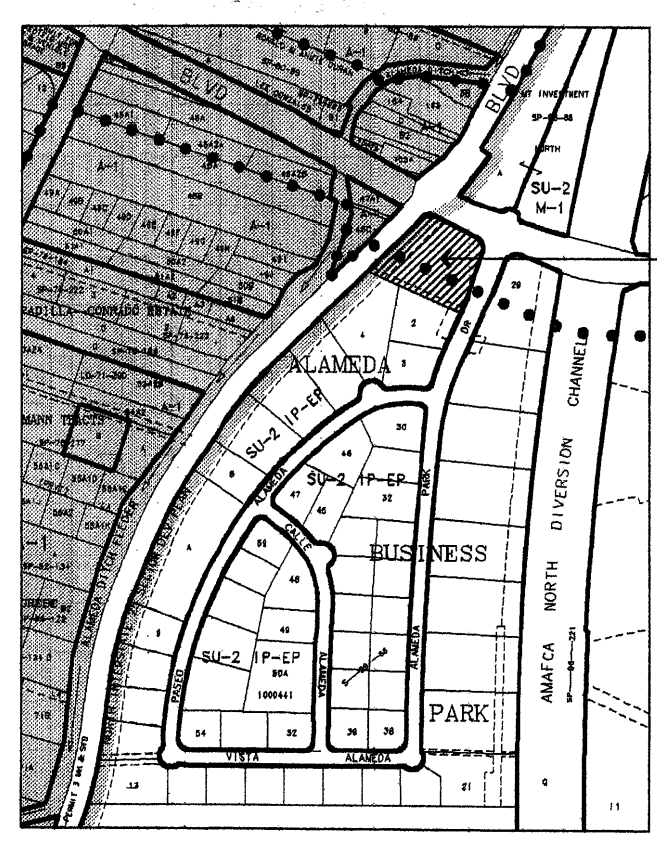
LEGAL DESCRIPTION:  
LOT NUMBERED ONE (1) OF ALAMEDA BUSINESS PARK, A REPLAT OF TRACT P-1-A-1, LANDS OF SPRINGER BUILDING MATERIALS CORPORATION, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF SAID SUBDIVISION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON JUNE 29, 1999 IN MAP BOOK 99C, FOLIO 167

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ADA PARKING REQUIRED 4  
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BICYCLE PARKING REQUIRED (1:20 AUTOS) 5  
BICYCLE PARKING PROVIDED 5  
MOTORCYCLE PARKING REQUIRED 3  
MOTORCYCLE PARKING PROVIDED 4



VICINITY MAP

PROJECT NUMBER: 1007257

APPLICATION NUMBER: 08-70201

DRB Site Development Plan Approval

<i>[Signature]</i> TRAFFIC ENGINEER, TRANSPORTATION DIVISION	6/23/08 DATE
<i>[Signature]</i> PARKS & RECREATION DEPARTMENT	5-21-08 DATE
<i>[Signature]</i> CITY ENGINEER	5/21/08 DATE
<i>[Signature]</i> SOLID WASTE	4/21/08 DATE
<i>[Signature]</i> DRB CHAIRPERSON, PLANNING DEPARTMENT	5-21-08 DATE

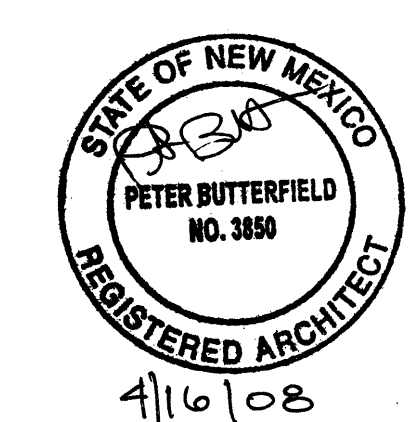
peter butterfield

architect 13013 glenwood hills ct ne  
albuquerque nm 87111 (ph) 505 298 3099 (fax) 298 6320

DRAWING NAME

REVISIONS

1. 6/11/08 DRB



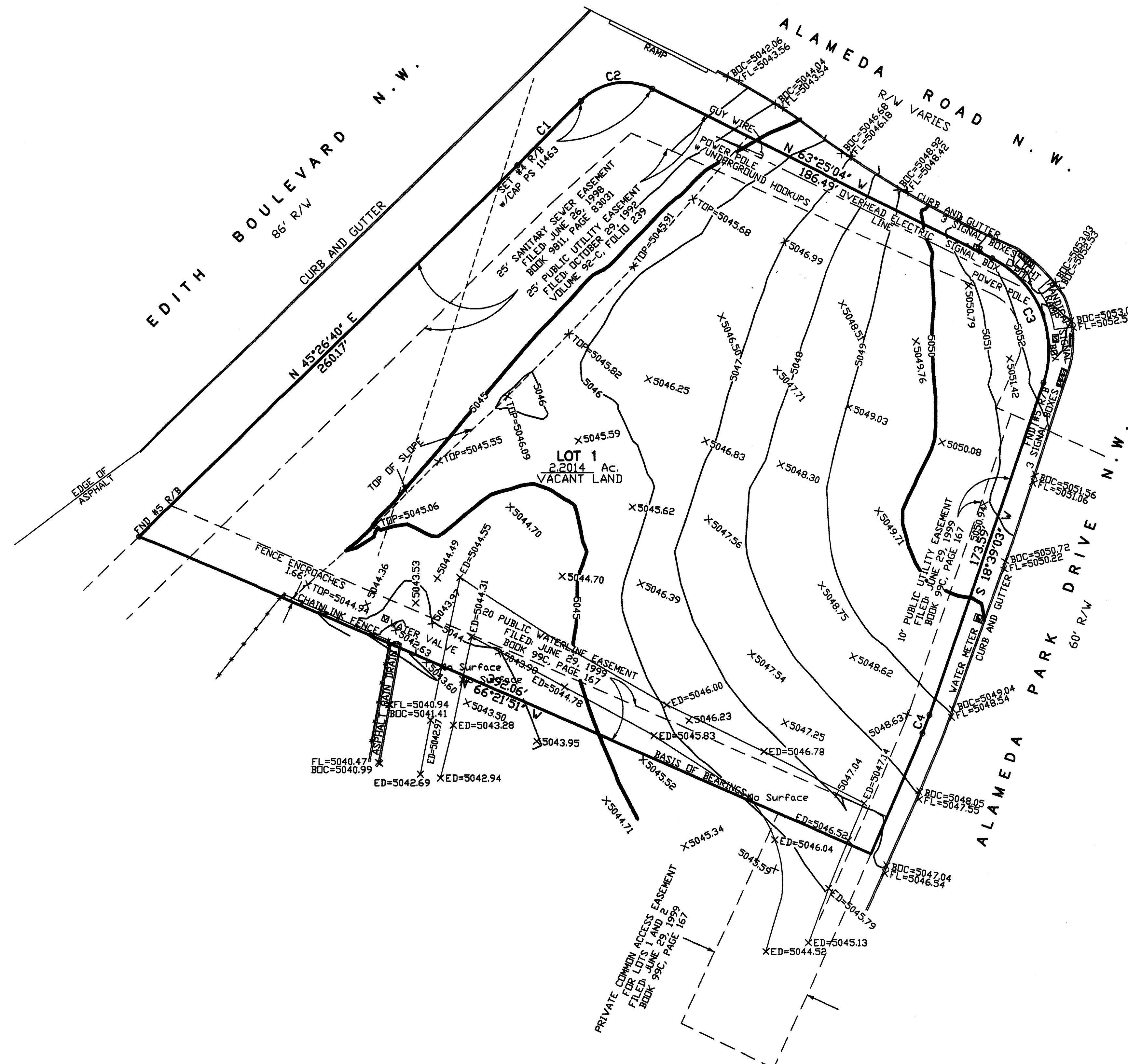
Office Building  
8725 Alameda Park Drive  
Albuquerque, New Mexico

A001

SHEET NO.

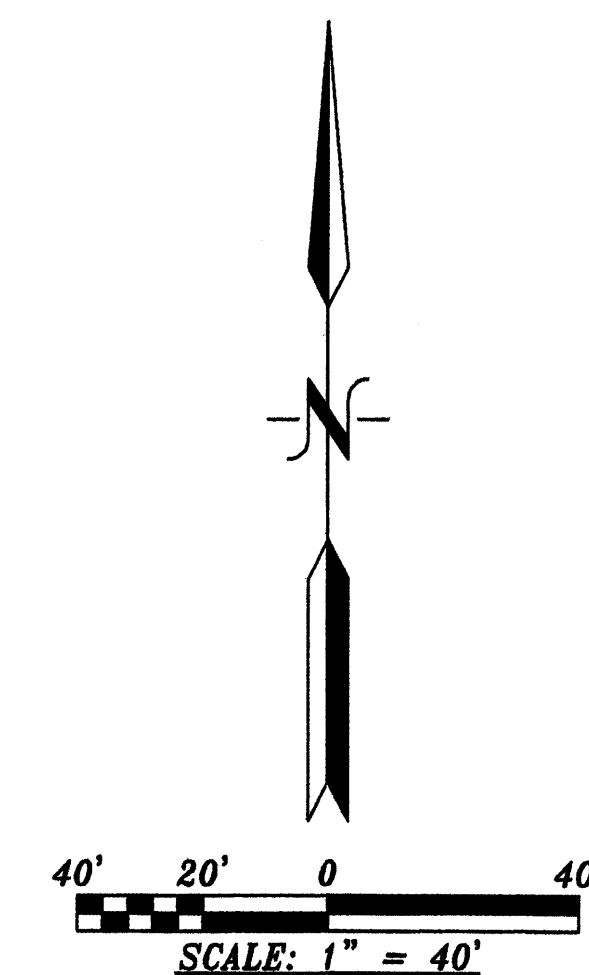
April 16, 2008

PLAT OF TOPOGRAPHY  
OF  
LOT 1  
ALAMEDA BUISNESS PARK  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
DECEMBER, 2006



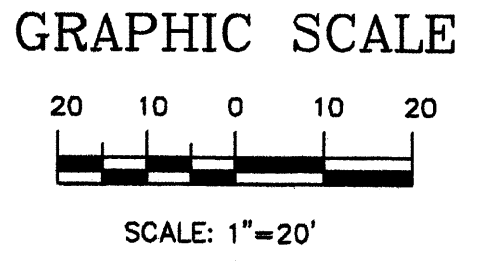
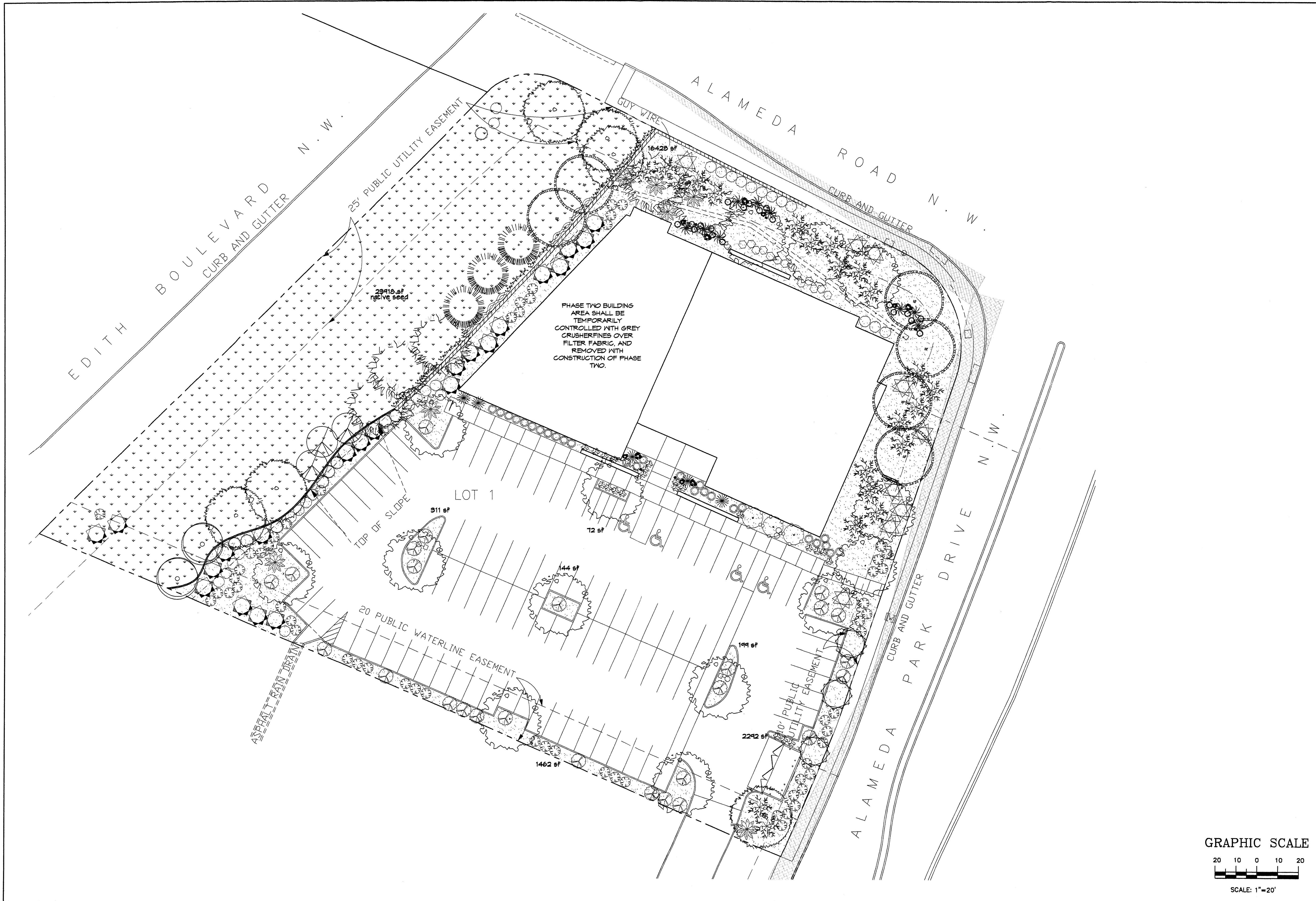
GENERAL NOTES:

- 1: CONTOUR INTERVAL IS ONE (1) FOOT.
- 2: ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION No. "NDC-7", HAVING AN ELEVATION OF 5062.60'.
- 3: UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
- 5: THIS IS NOT A BOUNDARY SURVEY. BEARINGS AND DISTANCES SHOWN HEREON ARE FOR REFERENCE ONLY.



Anthony L. Harris, N.M.P.S.#11463 HARRIS SURVEYING, INC.  
2412-D Monroe Street, NE • Albuquerque, New Mexico 87110  
Telephone (505) 889-8058 • FAX (505) 889-8645





Consulting  
2009 Edith  
Albuquerque, NM 87184  
Ph: (505) 898-9690  
Fax: (505) 898-7737  
cm@hilltoplandscaping.com

LANDSCAPE  
ARCHITECT'S  
SEAL

JAMES DE FLON  
#0007

8725 ALAMEDA PARK DRIVE  
ALAMEDA BUSINESS PARK  
ALBUQUERQUE, NM  
LANDSCAPE PLAN

All existing site conditions have been reviewed and verified by the designer. The design is based on the information provided by the client. This is an original design and must not be altered or reproduced without the written consent of the designer.

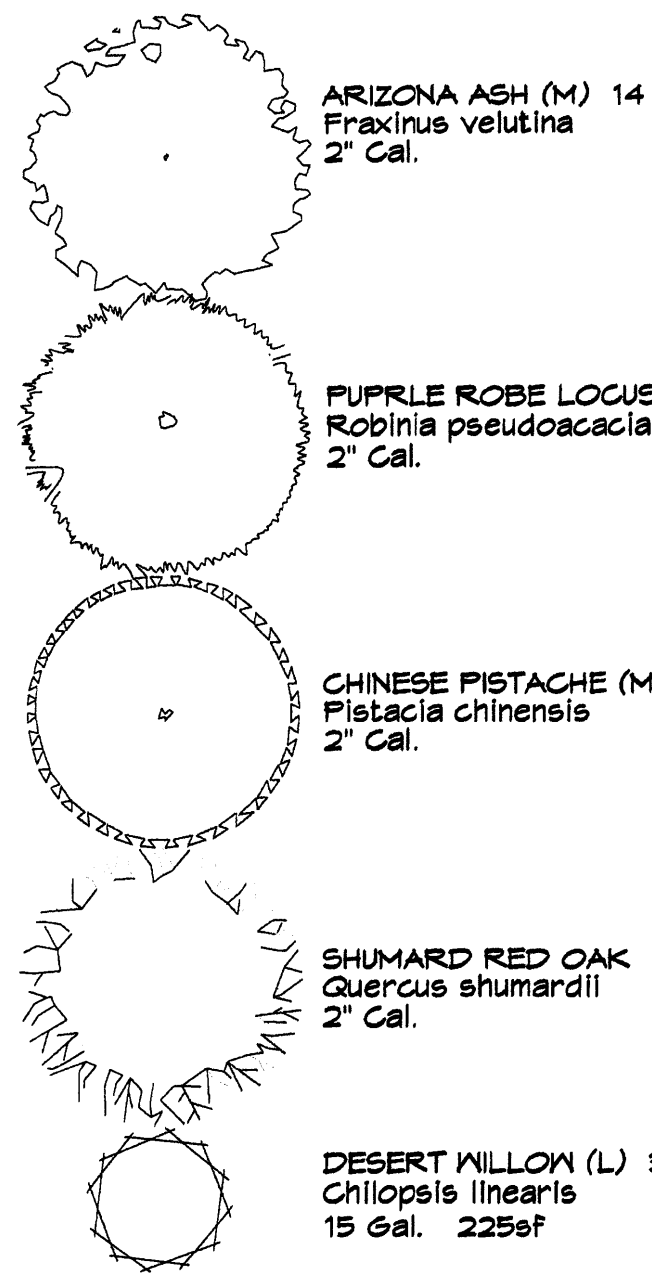
**The Hilltop**  
LANDSCAPE ARCHITECTS & CONTRACTORS

DRAWN BY RMC	REVISION # -	DATE 4-21-08
SHEET # L1 of L2		



## PLANT LEGEND

All plants shall be sized per American Standard for Nursery Stock



ARIZONA ASH (M) 14  
Fraxinus velutina  
2' Cal.

PURPLE ROBE LOCUST (M) 6  
Robinia pseudoacacia  
2' Cal.

CHINESE PISTACHE (M) 6  
Pistacia chinensis  
2' Cal.

SHUMARD RED OAK (M) 5  
Quercus shumardii  
2' Cal.

DESERT WILLOW (L) 3  
Chilopsis linearis  
15 Gal. 225sf

### SHRUBS/ORNAMENTAL GRASSES FIVE GAL.

PARNEY COTONEASTER (L) 22  
Cotoneaster lacteus  
5 Gal. 144sf

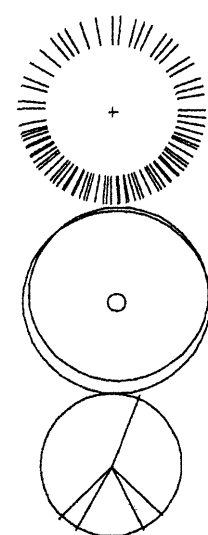
BIRD OF PARADISE (L) 3  
Caesalpinia gilliesii  
5 Gal. 100sf

MOCK ORANGE (M) 7  
Philadelphus cultivars  
5 Gal. 100sf

TRUE MOUNTAIN MAHOGANY (L) 9  
Cercocarpus montanus  
5 Gal. 36sf

THREE-LEAF SUMAC (L) 9  
Rhus trilobata  
5 Gal. 36sf

APACHE PLUME (L) 29  
Fallugia paradoxa  
5 Gal. 49sf



AUSTRIAN PINE (M) 3  
Pinus nigra  
6'-8'

AFGHAN PINE (M) 2  
Pinus eldarica  
6'-8'

LEYLAND CYPRESS (M) 3  
Cupressocyparis leylandii  
15 Gal. 225sf

### DESERT ACCENTS

BANANA YUCCA (L) 9  
Yucca baccata  
25 sf

BEARGRASS (L+) 5  
Nolina microcarpa  
5 Gal. 36sf

### SHRUBS/ORNAMENTAL GRASSES ONE GAL.

FOUR KING SALT BUSH (L) 22  
Atriplex canescens  
1 Gal. 81sf

CHAMISA (L) 59  
Chrysothamnus nauseosus  
1 Gal. 25sf

TURPENTINE BUSH (L+) 27  
Ericameria laricifolia  
1 Gal. 16sf

AUTUMN SAGE (M) 14  
Salvia greggii  
1 Gal. 4sf

CATMINT (M) 19  
Nepeta mussini  
1 Gal. 4sf, 1' H x 2' W

THREADGRASS (M) 22  
Stipa tenuisima  
1 Gal. 4sf

### VINES

BANK'S ROSE (M) 8  
Rosa banksiae  
1 Gal. 400sf

TRUMPET VINE (M) 4  
Campsis radicans  
1 Gal. 400sf

### GROUNDCOVERS

HONEYSUCKLE (M) 26  
Lonicera japonica 'Halliana'  
1 Gal. 124sf  
Unstaked-Groundcover

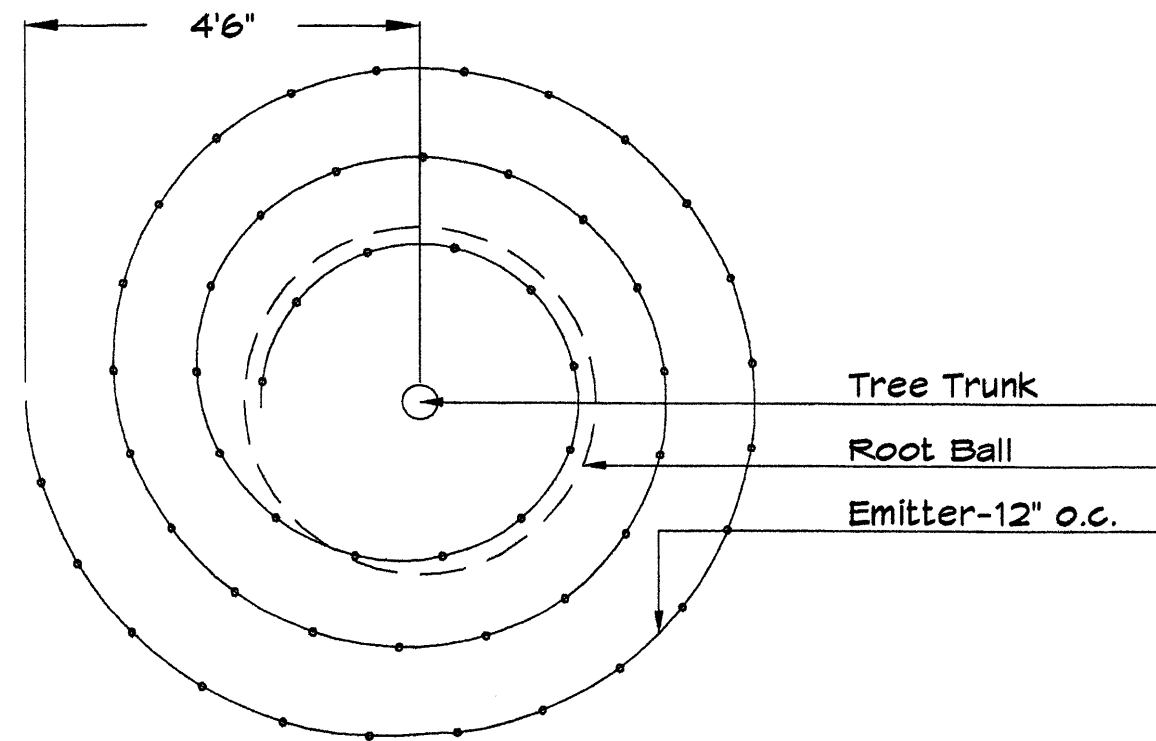
### HARDSCAPES

COMMERCIAL GRADE STEEL EDGE

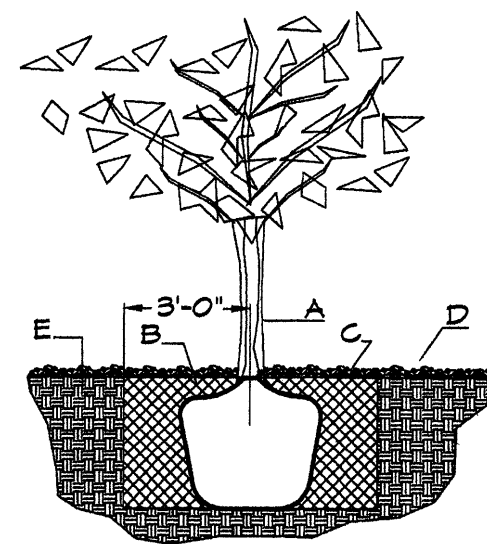
OVERSIZED GRAVEL  
4 15 BOULDERS

SANTA ANA TAN GRAVEL  
WITH FILTER FABRIC  
TO A MINIMUM 3" DEPTH

CRIMP STRAW/NATIVE SEED  
WITH GRAVEL PLATING AND  
LARGE AREA HEADS



Netafim Spiral Detail



TREE PLANTING DETAIL

NTS

### GENERAL NOTES:

1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
2. TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

### CONSTRUCTION NOTES:

- A. TREE
- B. BACKFILL WITH EXISTING SOIL.
- C. 3" DEPTH OF GRAVEL MULCH.
- D. UNDISTURBED SOIL.

### LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

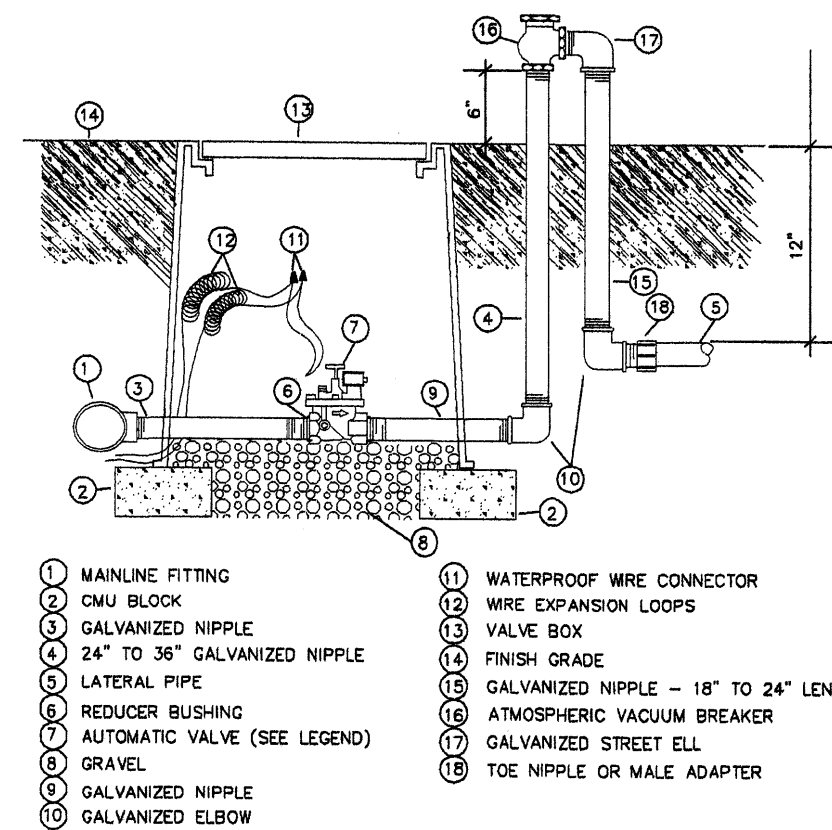
It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Follen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Ana Tan Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

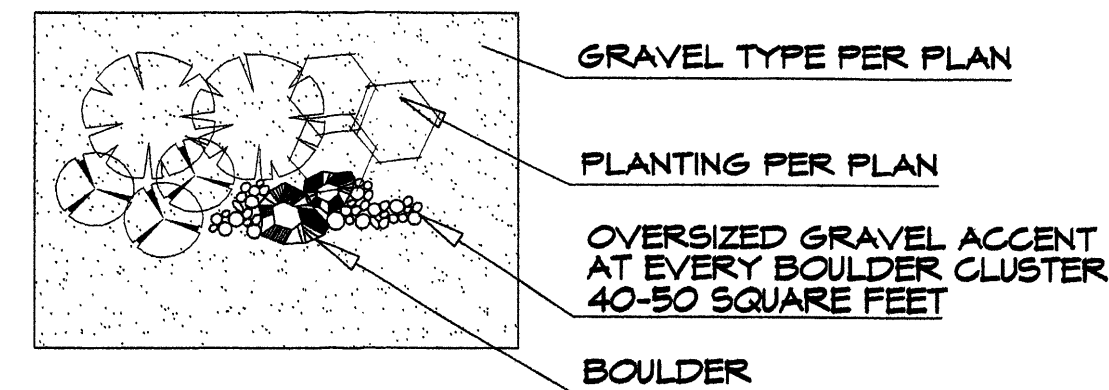
All landscaping shall be installed with Phase One Building and Site construction.



AUTOMATIC VALVE W/ ATMOSPHERIC  
VACUUM BREAKER

NTS

## GRAVEL ACCENT DETAIL



GRAVEL TYPE PER PLAN

PLANTING PER PLAN

OVERSIZED GRAVEL ACCENT  
AT EVERY BOULDER CLUSTER  
40-50 SQUARE FEET

BOULDER

## LANDSCAPE CALCULATIONS

TOTAL LOT AREA	95958	square feet
TOTAL BUILDINGS AREA	17383	square feet
NET LOT AREA	78575	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	11786	square feet

TOTAL BED PROVIDED	20908	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	15681	square feet
TOTAL GROUNDCOVER PROVIDED	13715 (75%)	square feet

TOTAL SOD AREA	0	square feet
(max. 20% of landscape required)		
TOTAL NATIVE SEED AREA	23918	square feet

TOTAL LANDSCAPE PROVIDED	44826	square feet
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## SHRUB PLANTING DETAIL

NTS

### GENERAL NOTES:

1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.

### CONSTRUCTION NOTES:

- A. SHRUB.
- B. BACKFILL WITH EXISTING SOIL.
- C. EARTH BERM AROUND WATER RETENTION BASIN.
- D. 3" DEPTH OF GRAVEL MULCH.
- E. FINISH GRADE.
- F. UNDISTURBED SOIL.

### STREET TREE REQUIREMENTS

Street trees required under Landscape Development Requirements for Alameda Business Park

Lots abutting Alameda Blvd. shall plant street trees in accordance with the COA Street Tree Ordinance. Trees shall be planted at twenty feet (20') o.c. at the top of the sloped portions of Lots 1 and 4-13 on the Edith abutting side. At least 50% of which shall be evergreen trees. The deciduous trees shall be:

Purple Robe Locust  
Chinese Pistache  
Desert Willow  
Arizona Ash  
Shumards Red Oak

The evergreen trees shall be:  
Leyland Cypress  
One-seed Juniper  
Afghan Pine  
Austrian Pine  
Scotch Pine

These trees shall form an opaque visual buffer to twenty feet (20') in height minimum in a 10-15 year growing period. No additional street tree planting will be required for these lots, except lot 1, which must conform to the COA street tree ordinance on Alameda Blvd.

### PARKING LOT TREE REQUIREMENTS

Shade trees required under Landscape Development Requirements for Alameda Business Park

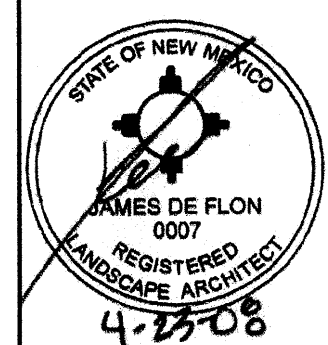
5. B. No tree shall be more than 50 ft from a tree.

### NOTE TO CLIENT:

Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an Infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.

Cont. Lic. #26458  
7909 Edith N.E.  
Albuquerque, NM 87184  
Ph. (505) 898-9690  
Fax (505) 898-7737  
cm@hilltoplandscaping.com

LANDSCAPE  
ARCHITECT'S  
SEAL



JAMES DE FLON  
#0007

8725 ALAMEDA PARK DRIVE  
ALAMEDA BUSINESS PARK

ALBUQUERQUE, NM  
LANDSCAPE LEGEND, NOTES AND DETAILS

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DRAWN BY  
RMC  
REVISION #  
DATE  
4-21-08

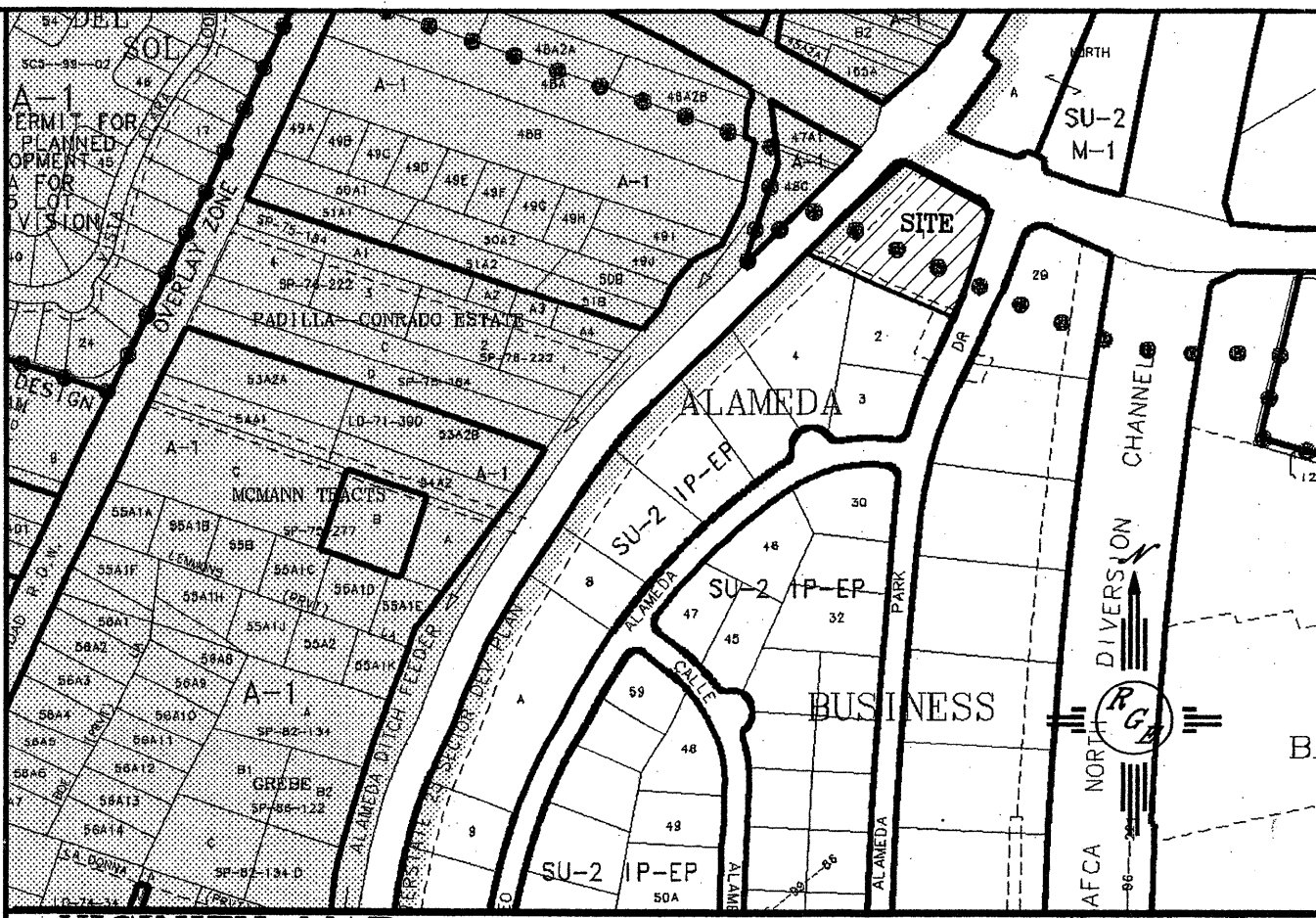
SHEET #

L2 OF L2

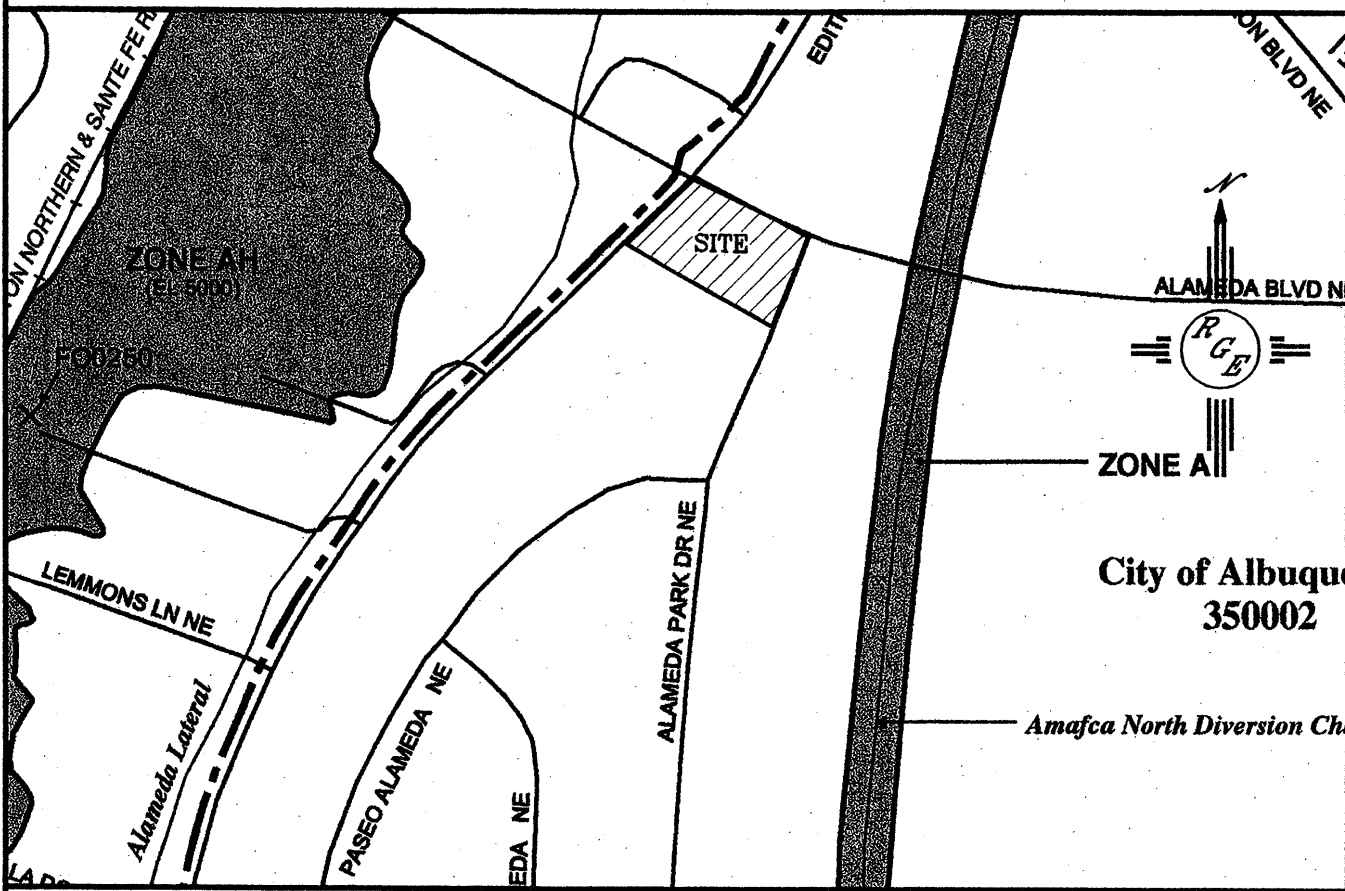


EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.



VICINITY MAP:



FIRM MAP:

35001C0136F

LEGAL DESCRIPTION:

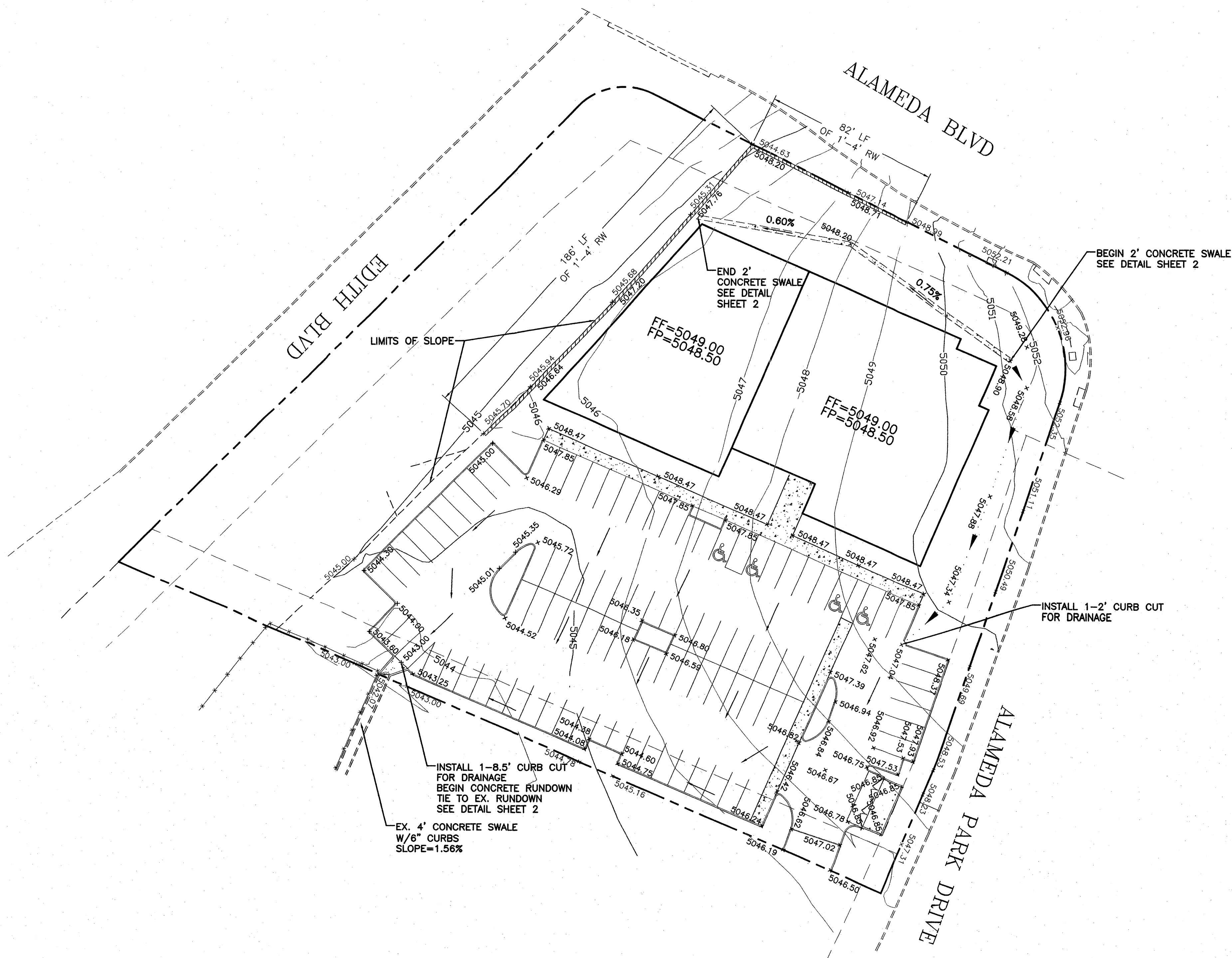
LOT 1 ALAMEDA BUSINESS PARK

NOTES:

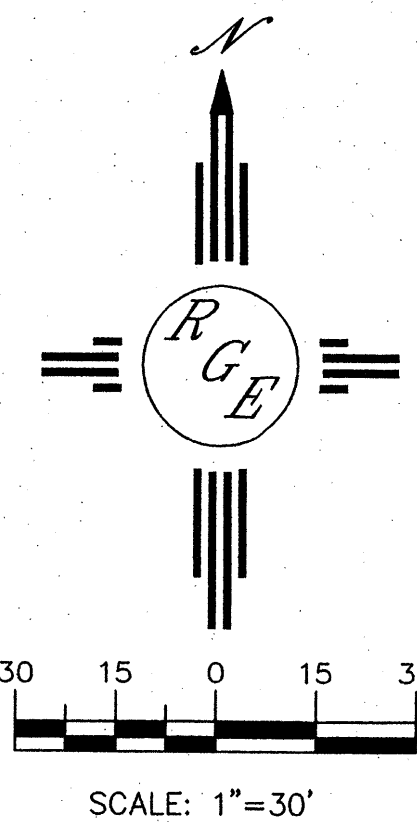
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL CURB AND GUTTER TO BE 6" HEADER UNLESS OTHERWISE NOTED ON SITE PLAN.

LEGEND

- ===== EXISTING CURB & GUTTER
- ===== PROPOSED CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- ===== PROPOSED RETAINING WALL
- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- FLOW ARROW
- FLOW LINE
- 1 5048.25 PROPOSED SPOT ELEVATION
- 1 5048.25 EXISTING SPOT ELEVATION
- CENTERLINE
- RIGHT-OF-WAY
- LOT LINES



CAUTION:  
EXISTING UTILITIES ARE NOT SHOWN.  
IT SHALL BE THE SOLE RESPONSIBILITY  
OF THE CONTRACTOR TO CONDUCT ALL  
NECESSARY FIELD INVESTIGATIONS PRIOR  
TO ANY EXCAVATION TO DETERMINE THE  
ACTUAL LOCATION OF UTILITIES & OTHER  
IMPROVEMENTS.



ROUGH GRADING APPROVAL

DATE

ENGINEER'S  
SEAL



DAVID SOULE  
P.E. #14522

LOT 1 ALAMEDA  
BUSINESS PARK

GRADING AND  
DRAINAGE PLAN

*Rio Grande  
Engineering*  
1606 CENTRAL AVENUE SE  
SUITE 201  
ALBUQUERQUE, NM 87106  
(505) 872-0999

DRAWN  
BY WCVJ

DATE  
4-16-08

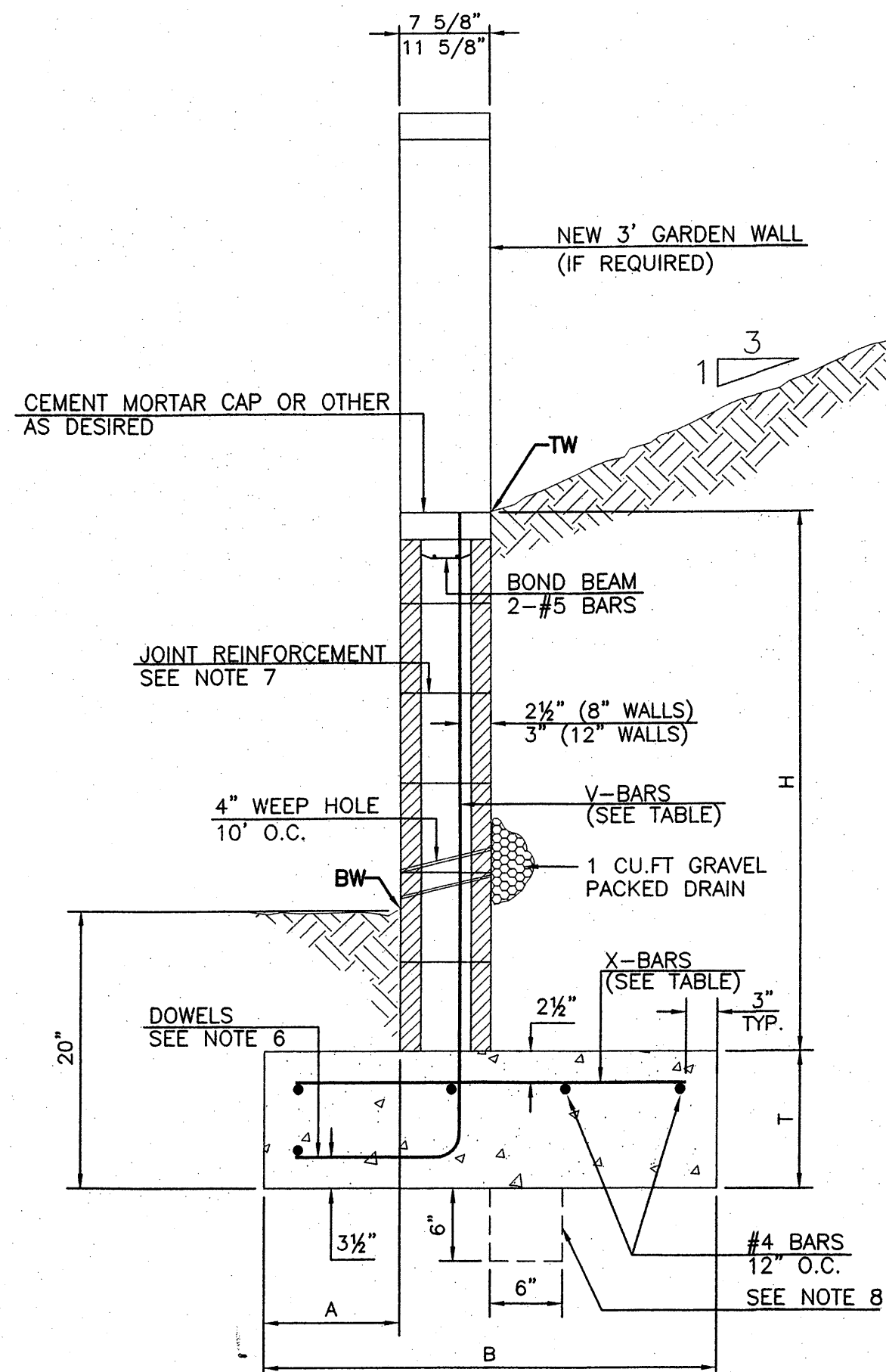
2813-GRAM-7-14-08X

SHEET #

1 OF 2

JOB #

2813



RETAINING WALL DETAIL  
NTS

**8 INCH REINFORCED CONCRETE MASONRY WALL**

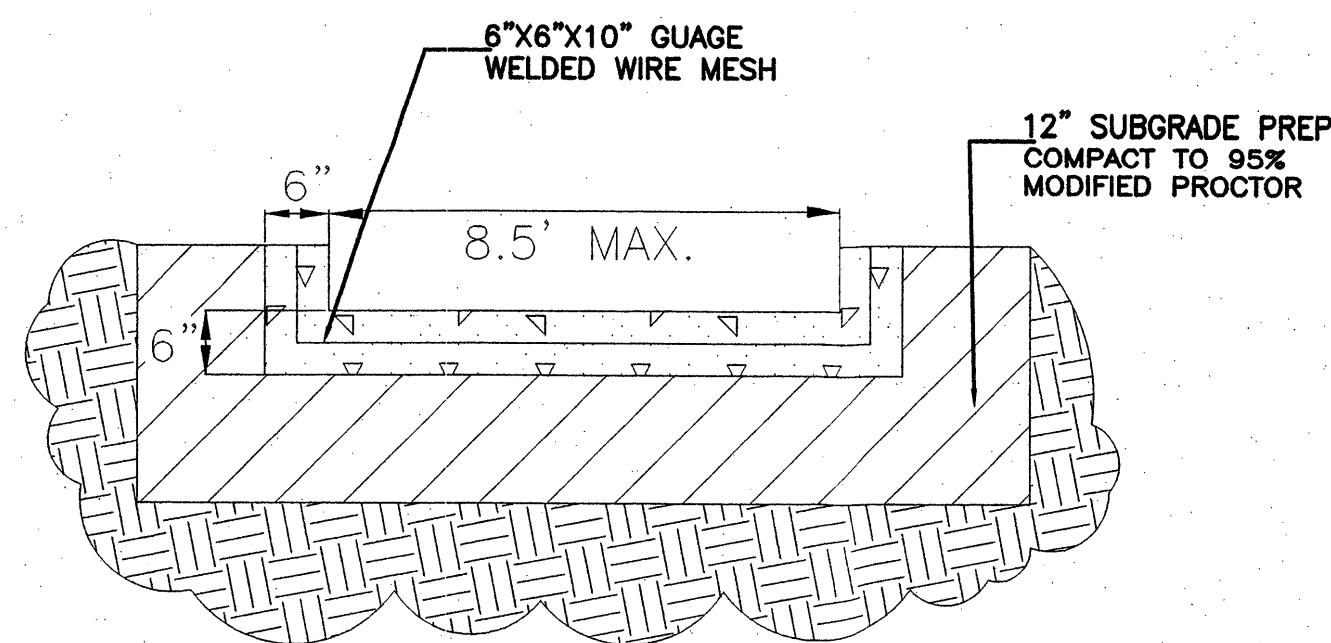
H	A	B	T	V-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
3'-4"	8"	2'-6"	10"	#4 @32" O.C.	#4 @32" O.C.
4'-0"	10"	2'-10"	10"	#4 @32" O.C.	#4 @32" O.C.
4'-8"	12"	3'-6"	12"	#4 @24" O.C.	#4 @24" O.C.
5'-4"	14"	3'-10"	12"	#4 @16" O.C.	#4 @16" O.C.
6'-0"	16"	4'-4"	12"	#4 @16" O.C.	#4 @16" O.C.
6'-8"	18"	4'-10"	14"	#5 @16" O.C.	#5 @16" O.C.

**12 INCH REINFORCED CONCRETE MASONRY WALL**

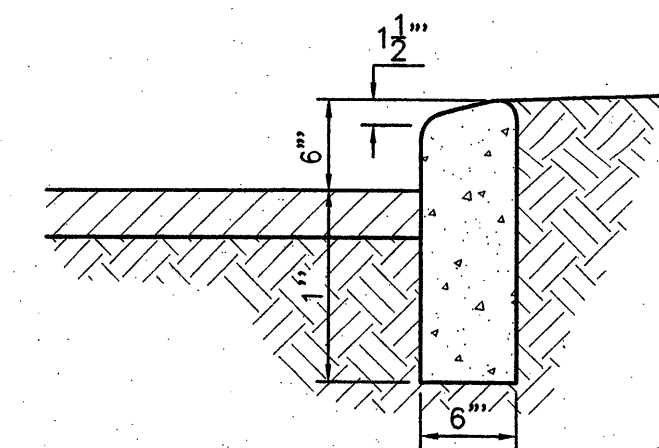
H	A	B	T	V-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
5'-4"	14"	3'-8"	10"	#4 @24" O.C.	#4 @24" O.C.
6'-0"	15"	4'-2"	12"	#4 @16" O.C.	#4 @16" O.C.
6'-8"	16"	4'-6"	12"	#5 @24" O.C.	#5 @24" O.C.
7'-4"	18"	4'-10"	12"	#6 @16" O.C.	#6 @16" O.C.
8'-0"	20"	5'-4"	12"	#7 @24" O.C.	#7 @24" O.C.

**GENERAL NOTES:**

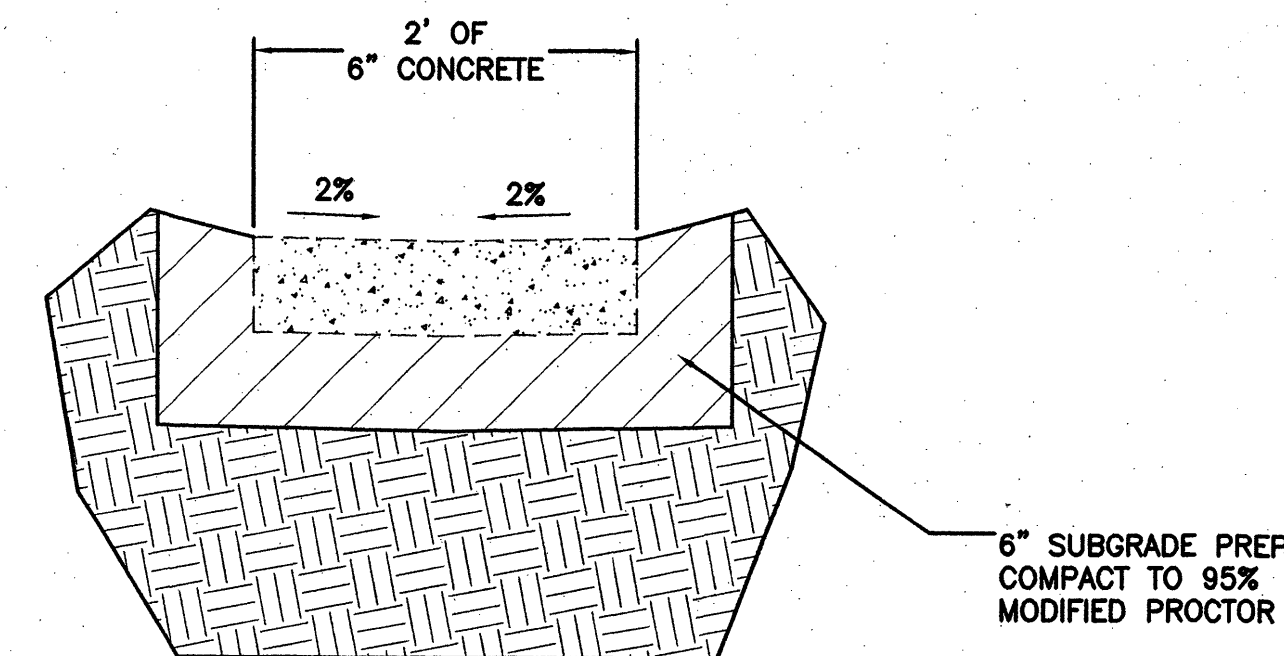
1. ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM. D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE  $\pm$  2.0%.
3. BACKFILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
6. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS. SHALL PROJECT A MINIMUM OF 30 BAR DIA INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
7. JOINT REINFORCEMENT CONSISTING OF 9GA. LONGITUDINAL WIRE AND 3/16" CROSS RODS SHALL BE PROVIDED AT 8" CENTERS VERTICALLY.
8. PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0"
9. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.




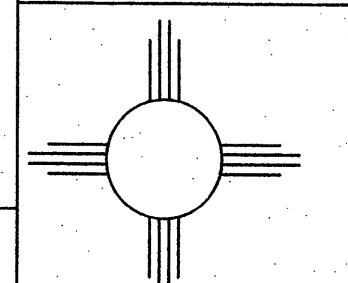
CONCRETE RUNDOWN DETAIL  
NTS



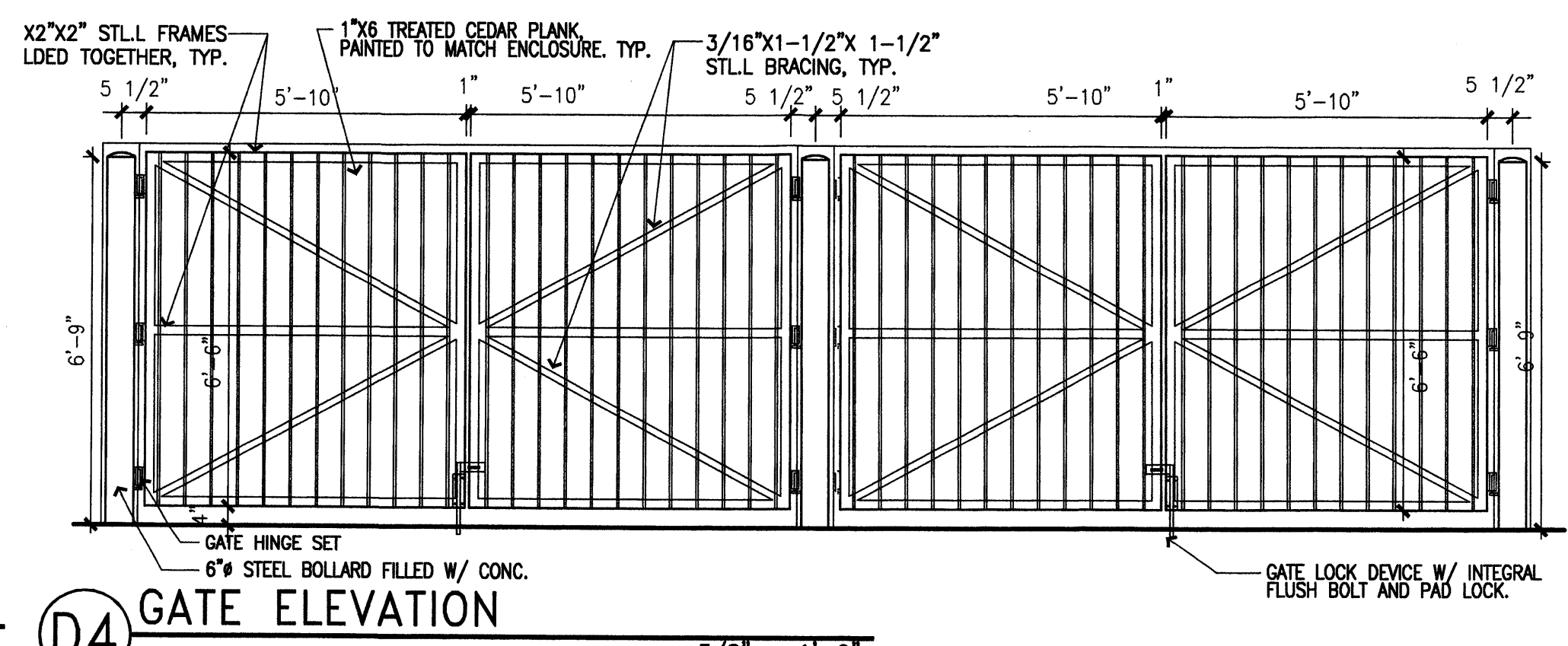
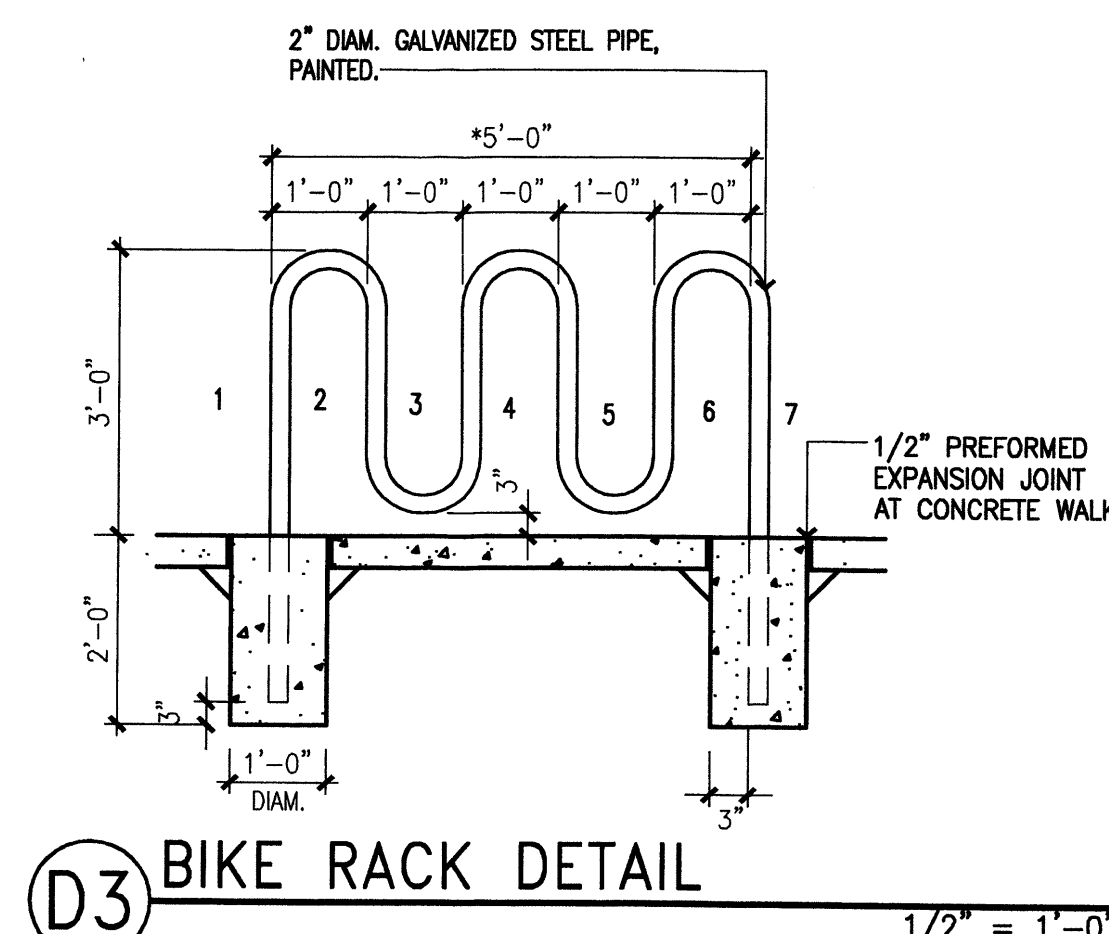
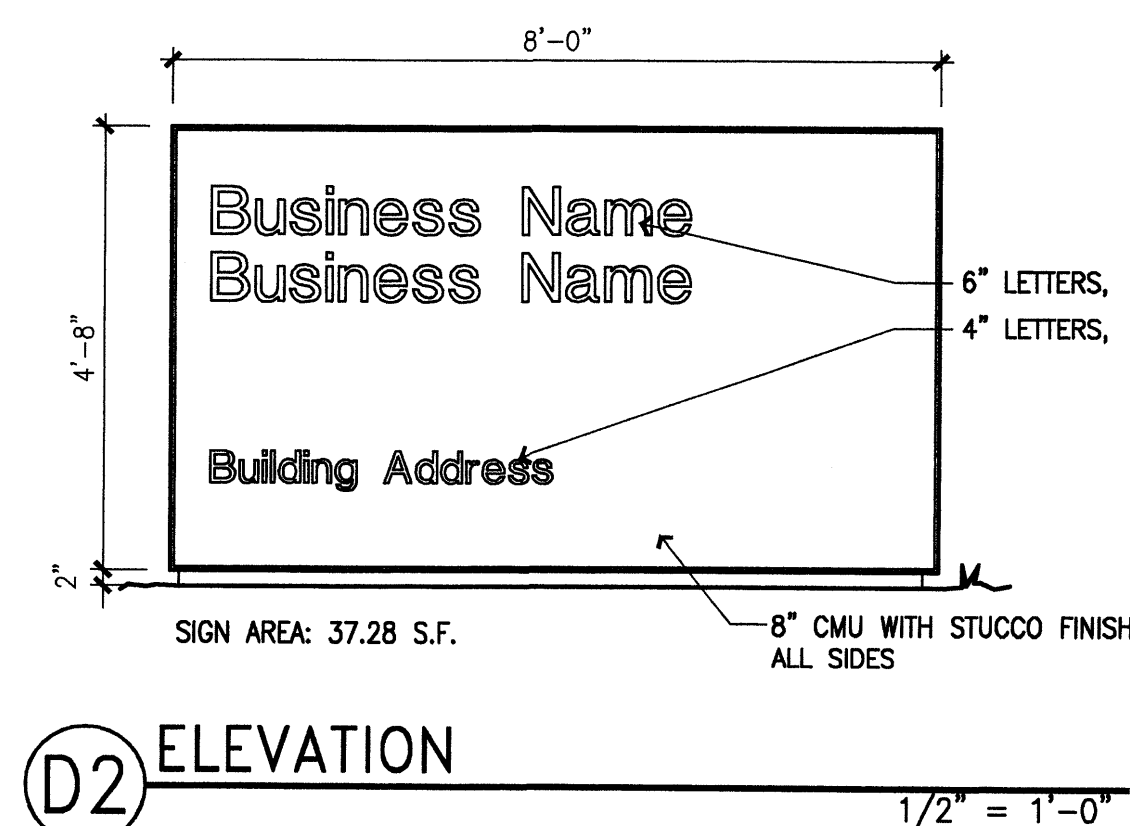
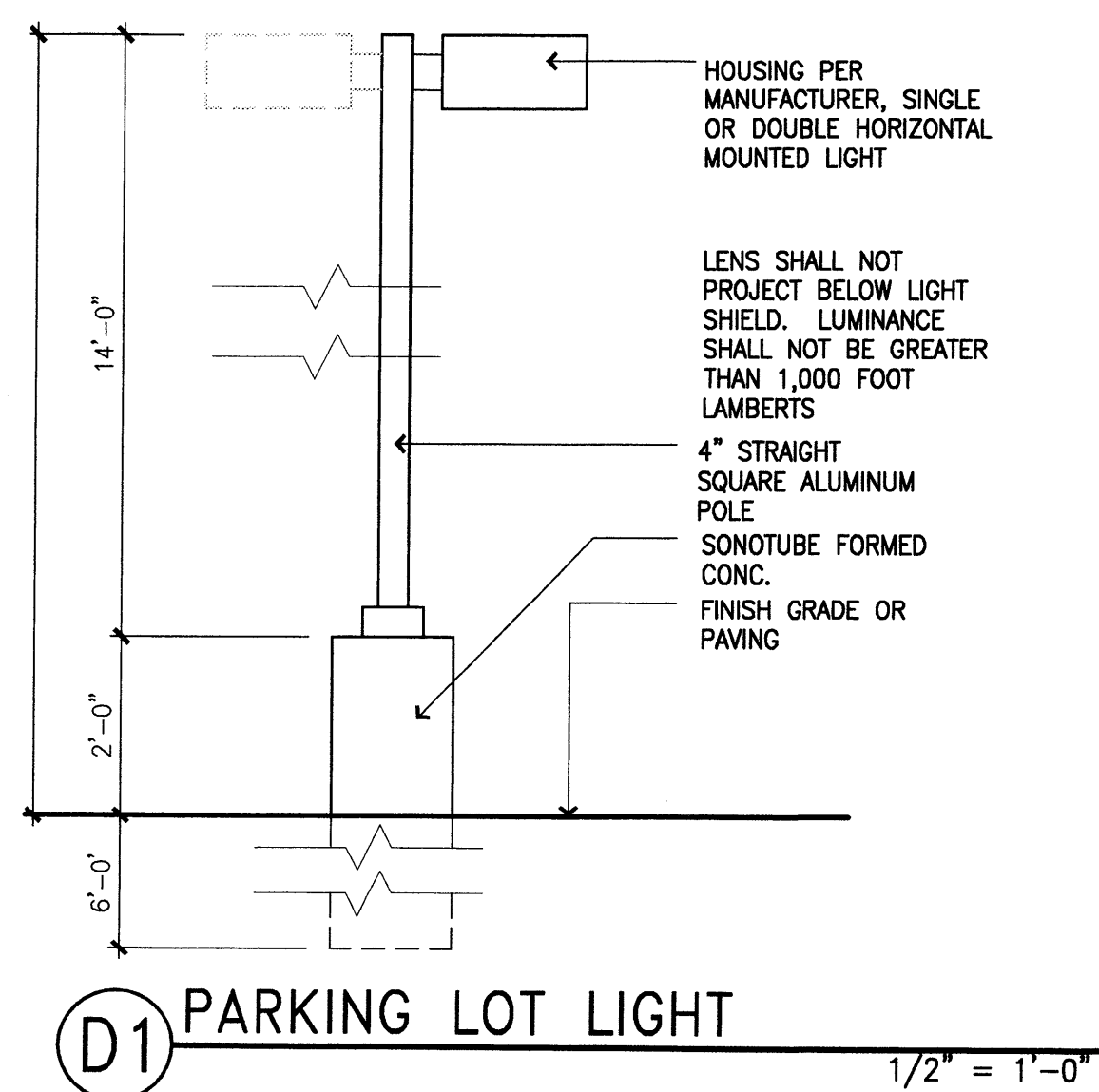
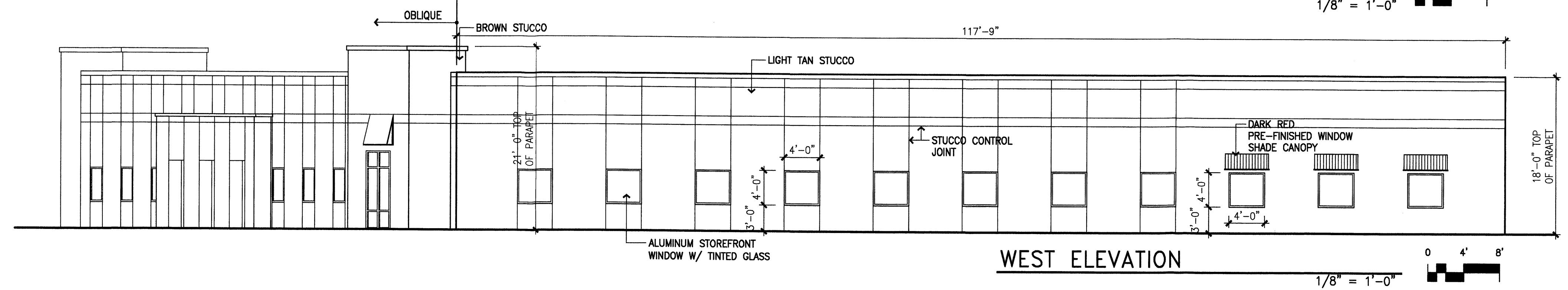
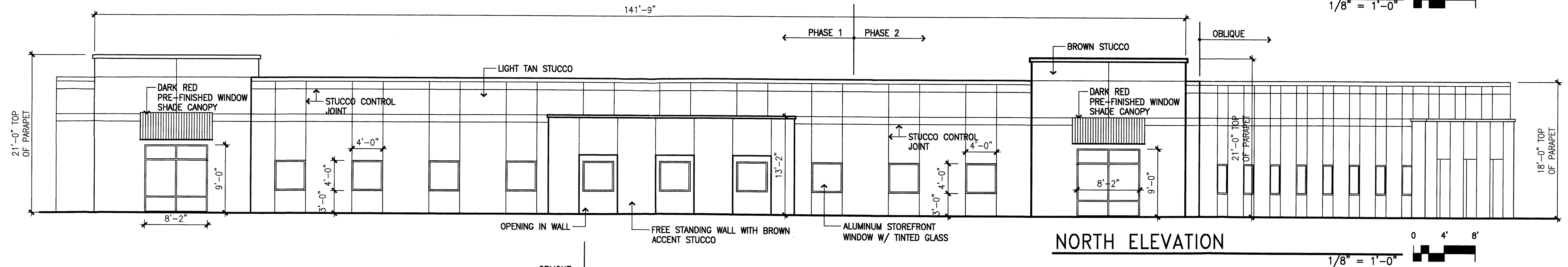
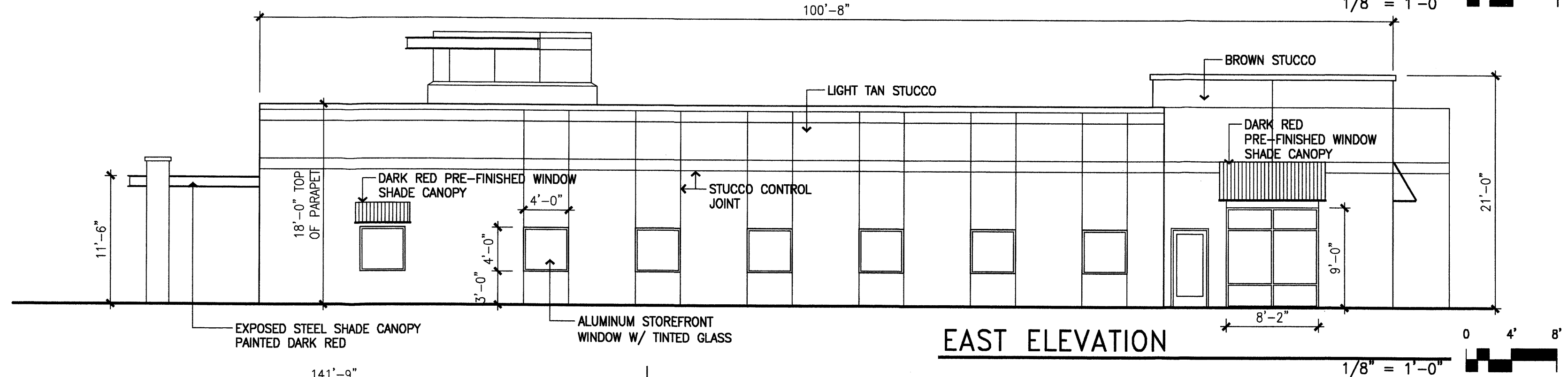
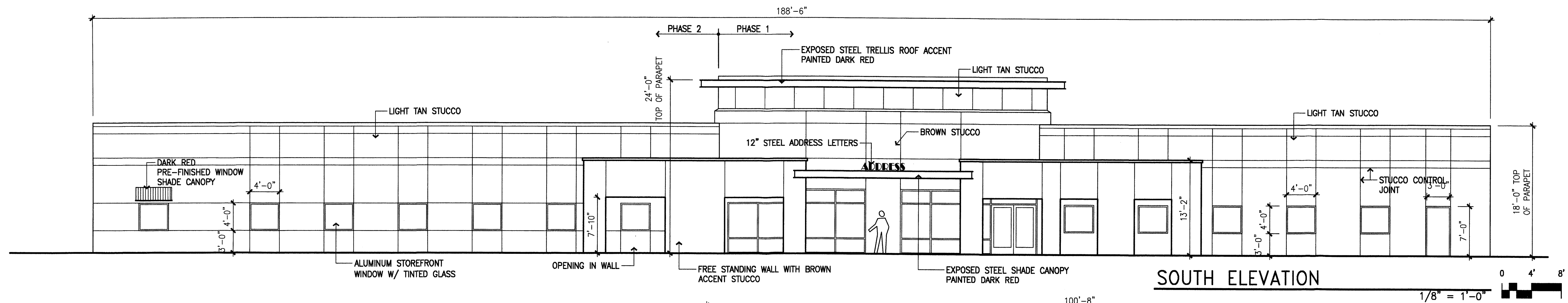
6" HEADER CURB DETAIL  
NTS



CONCRETE SWALE DETAIL  
NTS

<p>ENGINEER'S SEAL</p>  <p>DAVID SOULE P.E. #14522</p>	LOT 1 ALAMEDA BUSINESS PARK		DRAWN BY WCWJ
	GRADING AND DRAINAGE DETAILS		DATE 4-16-08
	 <p><i>Rio Grande Engineering</i> 1806 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0899</p>		2013-CRAMJ-7-14-08X
			SHEET # 2 OF 2
			JOB # 2813





peter butterfield

architect 13013 glenwood hills ct ne  
albuquerque nm 87111 (ph) 505 288 3089 (fax) 298 6320

DRAWING NAME  
REVISIONS  
△  
△

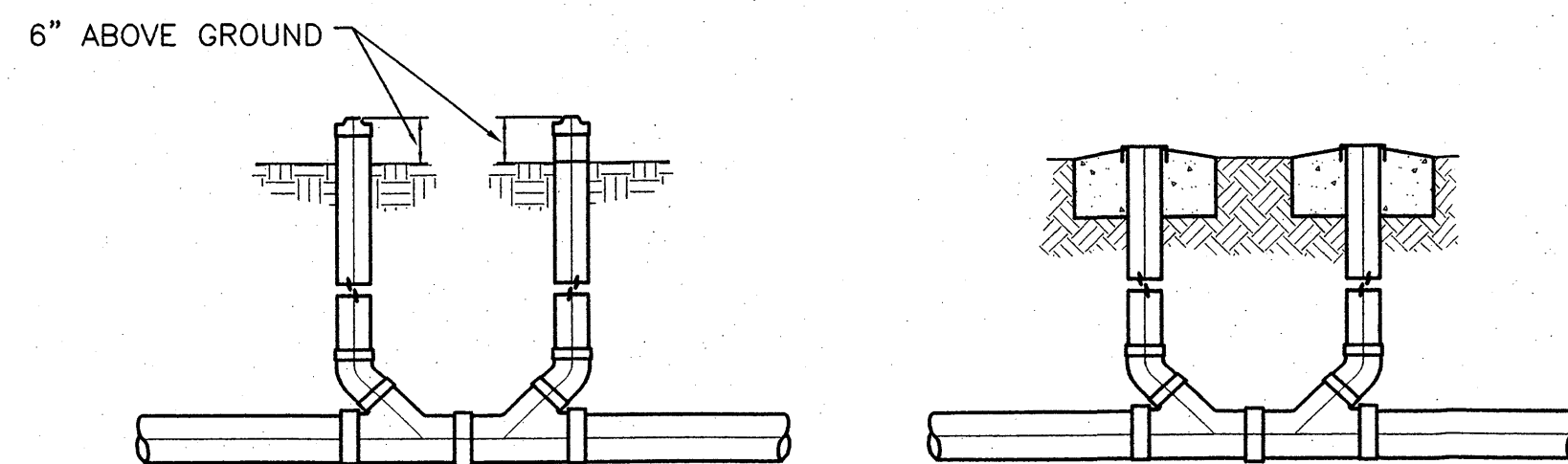


4/16/08

Office Building  
8725 Alameda Park Drive  
Albuquerque, New Mexico

A1111  
April 16, 2008



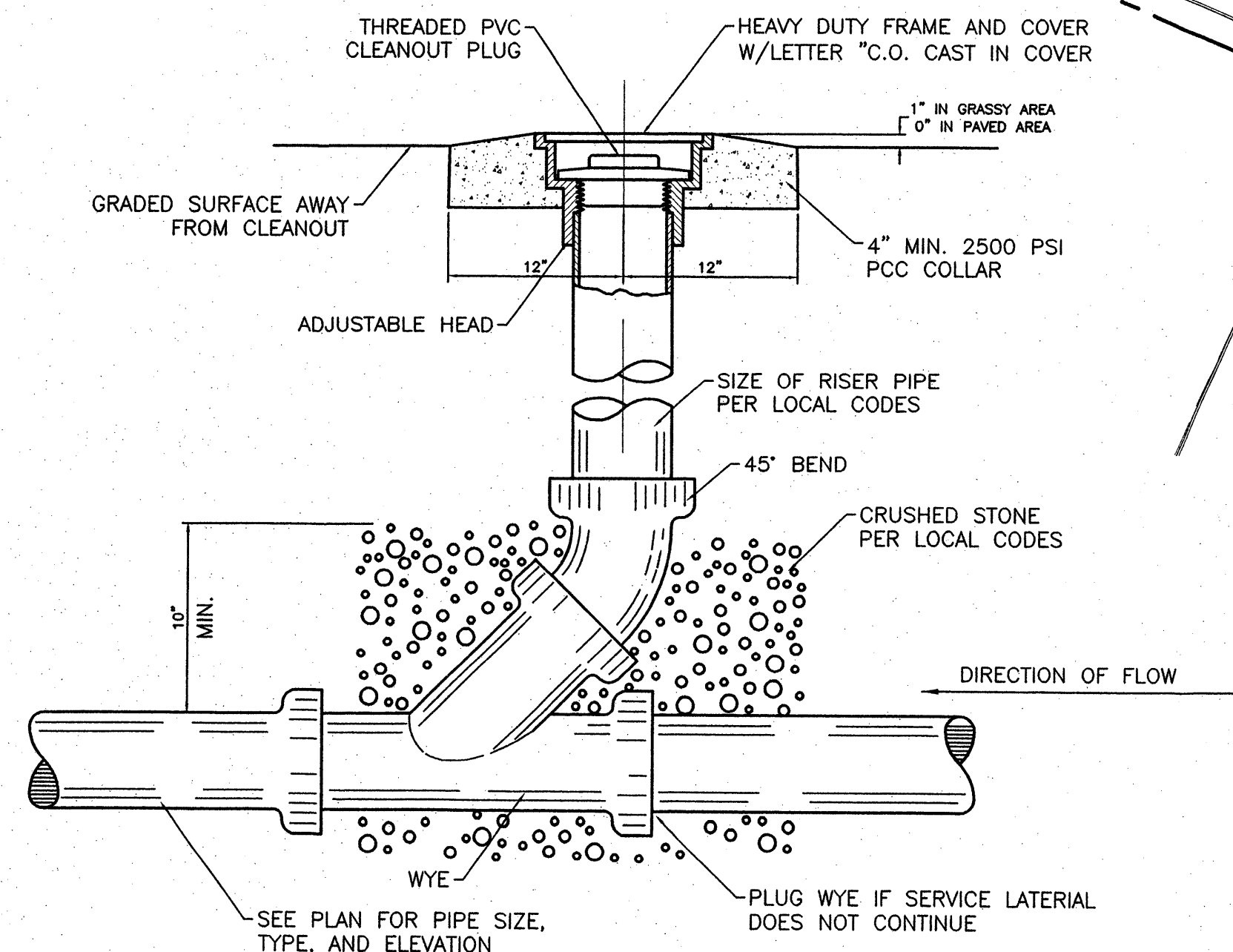


## SANITARY SEWER DOUBLE CLEAN-OUTS

NTS

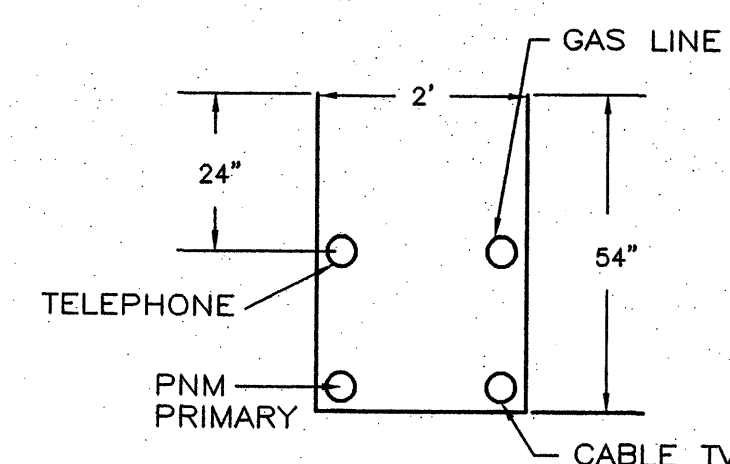
## NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. CONTRACTOR SHALL DETERMINE LOCATION OF ANY UNDERGROUND FACILITY IN OR NEAR WORK AREAS, INCLUDING REQUESTS TO OWNERS/OPERATORS OF SAID FACILITIES PER SECTION 62-14-5 NMSA 1978.
9. CONTRACTOR SHALL PLAN ALL EXCAVATION TO MINIMIZE INTERFERENCE OR DAMAGE OF UNDERGROUND FACILITIES.
10. CONTRACTOR SHALL PROVIDE ADVANCE TELEPHONE NOTICE OF COMMENCEMENT, EXTENT AND DURATION OF ALL EXCAVATION WORK TO THE ONE-CALL NOTIFICATION SYSTEM, OR TO OWNERS/OPERATORS OF ANY EXISTING UNDERGROUND FACILITY IN OR NEAR THE EXCAVATION AREA THAT ARE NOT MEMBERS OF THE ONE-CALL NOTIFICATION CENTER, IN ORDER THAT OWNERS/OPERATORS MAY LOCATE AND MARK UNDERGROUND FACILITY PER SECTION 62-14-5 NMSA 1978 PRIOR TO ANY COMMENCEMENT OF WORK. CONTRACTOR SHALL REQUEST REAFFIRMATION OF LOCATION EVERY TEN (10) WORKING DAYS AFTER INITIAL REQUEST.
11. CONTRACTOR SHALL MAINTAIN EIGHTEEN (18) INCHES BETWEEN EXISTING UNDERGROUND FACILITIES FOR WHICH HAVE BEEN PREVIOUSLY IDENTIFIED AND MARKED BY THE OWNERS/OPERATORS OF SAID FACILITIES. CUTTING EDGE OR POINT OF ANY MECHANICAL EXCAVATING EQUIPMENT UTILIZED IN EXCAVATION AREA WILL BE USED IN A MANNER NECESSARY TO PREVENT DAMAGE TO EXISTING UNDERGROUND FACILITIES.
12. CONTRACTOR SHALL PROVIDE SUPPORT FOR EXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA AS NECESSARY TO PREVENT DAMAGE TO SAID FACILITIES.
13. CONTRACTOR SHALL BACKFILL ALL EXCAVATIONS IN A MANNER AND WITH MATERIALS AS MAY BE NECESSARY TO PREVENT DAMAGE TO AND PROVIDE RELIABLE SUPPORT DURING AND FOLLOWING BACK FILLING ACTIVITIES FOR PREEXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA.
14. CONTRACTOR SHALL IMMEDIATELY NOTIFY BY TELEPHONE THE OWNER/OPERATOR OF ANY UNDERGROUND FACILITY WHICH MAY HAVE BEEN DAMAGED OR DISLODGED DURING EXCAVATION WORK.
15. CONTRACTOR SHALL NOT MOVE OR OBLITERATE MARKINGS MADE PURSUANT TO CHAPTER 62, ARTICLE 14 NMSA 1978, OR FABRICATE MARKINGS IN A UNMARKED LOCATION FOR THE PURPOSE OF CONCEALING OR AVOIDING LIABILITY FOR VIOLATION OF OR NONCOMPLIANCE WITH THE PROVISIONS OF CHAPTER 62, ARTICLE 11 NMSA 1978.
16. CONTRACTOR SHALL NOTIFY NEW MEXICO UTILITIES 3 DAYS IN ADVANCE OF CONSTRUCTION.



## SANITARY SEWER CLEAN-OUT

NTS



## UTILITY TRENCH DETAIL

NTS

## WATER SHUTOFF PLAN

SHUTOFF VALVES:

### NOTES:

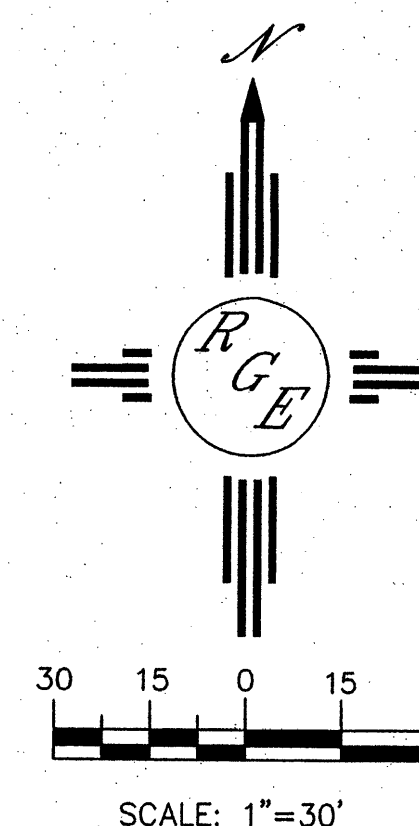
1. WATER SHUT-OFF SHALL BE COORDINATED WITH NEW MEXICO UTILITIES, INC.
2. ONLY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
3. NOTIFY NEW MEXICO UTILITIES (898-2661) THREE(3) WORKING DAYS IN ADVANCE OF EXECUTION OF THE WATER SHUT-OFF PLAN
4. ALL WATERLINE CONNECTIONS, CAP, JOINTS TO BE BLOCKED PER DETAILS THIS SHEET
5. ALL WATERLINES TO BE PVC, UNLESS OTHERWISE NOTED.
6. SHUT-OFF VALVES INDICATED IN THE ABOVE PLAN IN THE EVENT OF EMERGENCY

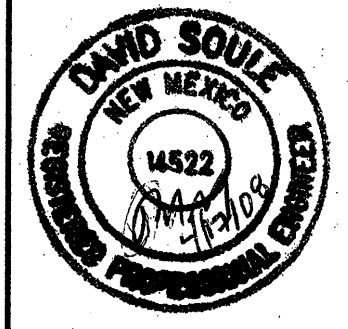
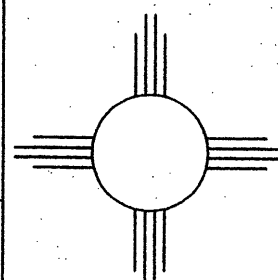
## LEGEND

○	EXISTING SAS MANHOLE
— EX. 8" SAS —	EXISTING SANITARY SEWER LINE
●	PROPOSED SAS MANHOLE
CO	PROPOSED CLEANOUT
— 8" SAS —	PROPOSED SANITARY SEWER LINE
—	SANITARY SEWER SERVICE LINE
— EX. 8" WL —	EXISTING WATER LINE
⊠	PROPOSED METER
●	PROPOSED FIRE HYDRANT
—	WATER SERVICE LINE
— 6" WL —	PROPOSED WATER LINE
—	PROPOSED STORM SEWER LINE
=====	EXISTING CURB & GUTTER
---	CENTERLINE
---	RIGHT-OF-WAY
---	BOUNDARY LINE
---	EASEMENT

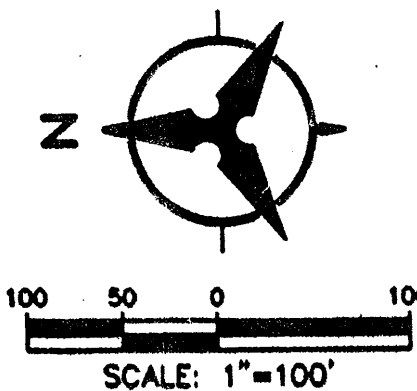
## GENERAL NOTES:

1. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
2. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
3. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
4. ALL BLOCKING IS PER CITY OF ALBUQUERQUE STANDARD DWG. 2320.
5. ALL PIPE MATERIAL TO BE USED PER UPC.



ENGINEER'S SEAL	LOT 1 ALAMEDA BUSINESS PARK	DRAWN BY WCVJ
	MASTER UTILITY PLAN	DATE 4-16-08
	 Rio Grande Engineering 1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999	2813-GRAMU-7-14-08X
DAVID SOULE P.E. #14522		SHEET #
		JOB # 2813



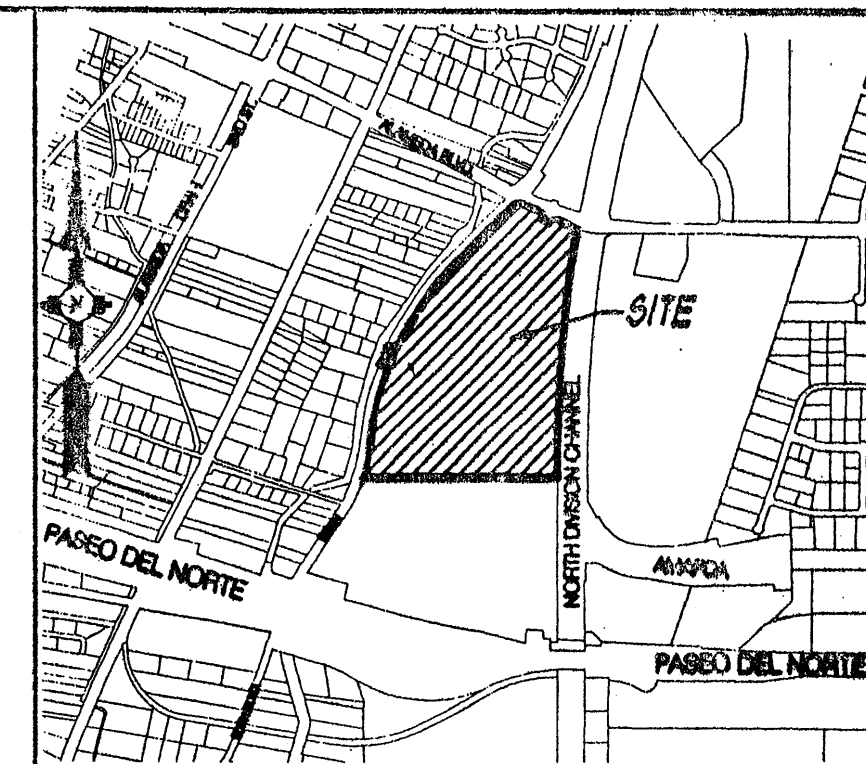


EXISTING TRACT C, LANDS OF  
SPRINGER BUILDING MATERIALS CORP.  
(OLD BALLOON HILL PARK)  
ZONED SU-2, PARK

NORTH DIVERSION CHANNEL

THESE AREAS ARE SUBJECT TO THE  
COVENANTS CONTAINED IN THE SPECIAL  
WARRANTY DEED RECORDED 10/2/80  
IN BOOK D3494, PAGES 3-6.

THIS AREA IS SUBJECT TO THE RESERVATIONS  
CONTAINED IN THE SPECIAL WARRANTY DEED  
RECORDED 10/2/80 IN BOOK D3494-A,  
PAGES 510-516.



VICINITY MAP

ZONE ATLAS MAP NO. C-16

N.T.S.

Amended 8/4/99

#### SITE DEVELOPMENT PLAN NOTES:

1. PROPOSED DEVELOPMENT PLAN MUST CONFORM TO THE REQUIREMENTS OF THE NORTH I-25 SECTOR DEVELOPMENT PLAN, THE ALAMEDA DESIGN OVERLAY ZONE, THE NORTH VALLEY AREA PLAN, AND THE INDUSTRIAL PARK ZONE.
2. SITE DEVELOPMENT PLANS AND LANDSCAPE PLANS ARE REQUIRED FOR PERMISSIBLE USES ON ALL LOTS. LOTS 23 AND 44-46 SHALL BE APPROVED BY THE PLANNING DIRECTOR. LOTS 1, 4-8, AND 9-10 SHALL BE APPROVED BY THE PLANNING DIRECTOR FOLLOWING NOTIFICATION OF AND OPPORTUNITY FOR REVIEW BY THE ALAMEDA NORTH VALLEY NEIGHBORHOOD ASSOCIATION.
3. ALL REFUSE COLLECTION AND OUTDOOR STORAGE AREAS SHALL BE VISUALLY SCREENED FROM THE PUBLIC RIGHT-OF-WAY AND FROM ADJACENT PROPERTY LINES. SCREENING SHALL CONSIST OF OPAQUE MATERIALS. SOLID WALLS OR PROPERTY FENCES SHALL BE AT LEAST SIX FEET HIGH AND BE CONSTRUCTED OF MATERIALS HARBORING WITH THE ARCHITECTURAL STYLE OF BUILDINGS ON SITE.
4. ALL LOADING AREAS USED FOR THE LOADING AND UNLOADING OF COMMERCIAL VEHICLES SHALL BE SET BACK FROM THE PUBLIC RIGHT-OF-WAY LINE AND FROM ALL PROPERTY LINES TO REDUCE THE VISUAL IMPACT OF LARGE COMMERCIAL VEHICLES AND LOADING AREAS.
5. BUILDING SETBACK REQUIREMENTS:  
A) FRONT YARD: NOT LESS THAN 20'  
B) SIDE YARD: NOT LESS THAN 10'  
C) REAR YARD: NOT LESS THAN 10'  
D) LOTS 1 AND 4-10 SHALL HAVE A 5' SETBACK FROM THE TOP OF THE SLOPED PORTION OF THE LOT, ABUTTING BENTH BLVD.
6. STRUCTURE HEIGHT AND WIDTH SHALL FALL WITHIN 40' AVIABLE PLANS DRAIN FROM THE HORIZONTAL AT THE REAR ORANGE ALONG EACH BOUNDARY OF THE PRESDUES, BUT A STRUCTURE SHALL NOT EXCEED A HEIGHT OF 60 FT (EXCEPT AS FURTHER DEFINED IN THE ZONING CODE).
7. NO MORE THAN 20% OF THE SURFACE OF ANY LOT SHALL BE COVERED WITH BUILDINGS.
8. FOR LANDSCAPE BUFFER REQUIREMENTS SEE LANDSCAPE NOTES ON SHEET 2 OF 2.
9. SEE SHEET 2 OF 2 FOR SIGNAGE, SITE LIGHTING, AND ARCHITECTURAL REQUIREMENTS.

DEB 98-223 Project # 1000624  
Application # 08450 - 00060 - 00853  
THIS PLAN IS CONSISTENT WITH THE REQUIREMENTS OF THE NORTH I-25 SECTOR DEVELOPMENT PLAN AND CITY OF ALBUQUERQUE ZONING ORDINANCE.

PLANNING DEPT.	7/28/00	DATE
TRANSPORTATION DEPT.	7/28/00	DATE
CITY ENGINEER/AMAFCA	7/28/00	DATE
UTILITY DEPT.	7/28/00	DATE
CIP	7/28/00	DATE

Amended 8/4/99  
NOTE:  
Approval of this site development subdivision plan by the COA.  
Transportation Development Division is based on the Traffic Impact Study (TIS) prepared by Bohannon Huston, Inc. dated December 24, 1998 and Letter Revision dated March 30, 1999. This trip generation was determined assuming an average overall development ratio of 28% office and 75% warehouse/storage yards. Any substantial deviation of this assumption, with respect to the actual development of this site, may require an updated TIS and on-site mitigation requirements.

Bohannon Huston

Courtesy Line 7500 JEFFERSON ALBUQUERQUE, NEW MEXICO 87109

ENGINEERS PLANNING PHOTOGRAPHY SURVEYING LANDSCAPE ARCHITECTURE

#### LEGEND

- PROPOSED PUBLIC ROADWAY CENTERLINE
- PROPOSED LOT LINE
- PROPOSED EASEMENT LINE
- EXISTING EASEMENT LINE
- SUBDIVISION BOUNDARY LINE
- PROPOSED RAIL LINE
- EXISTING RAIL SPURS
- EXISTING FENCE TO BE REMOVED UNLESS OTHERWISE SPECIFIED
- COA SURVEY CONTROL MONUMENT
- USABLE LOT AREA (NOT SUBJECT TO SEVERE SLOPE)
- GROSS LOT AREA

APPROVED AS AMENDED  
AMENDMENT 7/12/00  
Approval and Condition Acceptance as specified by DPM:  
City Planner 7/28/00  
City Engineer/AMAFCA 7/28/00  
Public Works, Water Utilities Division 7-27-00  
City Engineer, Engineering Division/AMAFCA 7-27-00

# MASTER DEVELOPMENT PLAN FOR ALAMEDA BUSINESS PARK ALBUQUERQUE, NEW MEXICO REVISED MARCH 3, 1999 REVISED JULY 2, 1999 REVISED 7/12/00

SHEET 1 OF 2



## LANDSCAPE DEVELOPMENT NOTES:

1. PROPOSED DEVELOPMENT PLAN MUST CONFORM TO THE REQUIREMENTS OF THE NORTH 1-25 SECTOR DEVELOPMENT PLAN, AND THE CITY OF ALBUQUERQUE COMPREHENSIVE ZONING CODE.

2. LANDSCAPING BUFFER AREAS SHALL BE REQUIRED ON EACH LOT.

A. FRONT YARD: 10 FT LANDSCAPING BUFFER

B. SIDE YARD: 6 FT MIN. LANDSCAPING BUFFER, EXCEPT AS FOLLOWS:

1) LOTS WITH SIDE YARDS ABUTTING ALAMEDA BLVD. SHALL HAVE A 10 FT SIDE YARD LANDSCAPING BUFFER REQUIRED ON THE ABUTTING SIDE.

C. REAR YARD: 6' REAR LANDSCAPING BUFFER IS REQUIRED, EXCEPT AS FOLLOWS:

1) LOTS WITH REAR YARDS ABUTTING ALAMEDA BLVD. SHALL HAVE A 10 FT REAR YARD LANDSCAPING BUFFER REQUIRED ON THE ABUTTING SIDE.

2) IF NOT REQUIRED BY COA ZONING ENFORCEMENT STAFF, THIS BUFFER SHALL NOT BE REQUIRED.

3) LOTS 1 AND 4-13 SHALL HAVE A 6' REAR YARD LANDSCAPING BUFFER AT THE TOP OF THE SLOPE. NO ADDITIONAL REAR YARD LANDSCAPING BUFFER SHALL BE REQUIRED AT THE REAR PROPERTY LINE (EDITH BLVD. ROW) HOWEVER, EACH LOT SHALL BE REQUIRED TO PLANT, IRRIGATE, UNTIL SELF SUSTAINING, AND MAINTAIN A MINIMUM OF SIX (6) NATIVE PLANT SHRUBS ON THE SIXTY FOOT (60') WIDE SLOPED AREA OF THE LOT (ABUTTING EDITH BLVD.) THE NATIVE SHRUBS SHALL BE SELECTED FROM THE FOLLOWING SPECIES:

CHRYSOTHAMNUS NAUSEOSUS  
ATRIPLEX CANESCENS  
FALLUGIA PARADOXA  
RHUS TRILOBATA

CHAMISA  
FOUR WING SALTBUSS  
APACHE PLUME  
THREE LEAF SUMAC

THESE PLANTS SHALL BE RANDOMLY PLANTED ON THE HILL, AND SPACED A MINIMUM OF 10' O.C. FROM OTHER PLANTS.

3. SLOPED PORTIONS OF LOTS ADJACENT TO EDITH BLVD. SHALL BE SEEDED PER C.O.A. SPECS. NO BUILDING SHALL BE CONSTRUCTED WITHIN THIS SIXTY FOOT (60') WIDE SLOPED AREA.

4. LOTS ABUTTING ALAMEDA BLVD. SHALL PLANT STREET TREES IN ACCORDANCE WITH THE C.O.A. STREET TREE ORDINANCE. TREES SHALL BE PLANTED AT TWENTY FEET (20') O.C. AT THE TOP OF THE SLOPED PORTION OF LOTS 1 AND 4-13 ON THE EDITH ABUTTING SIDE, AT LEAST 50% OF WHICH SHALL BE EVERGREEN TREES. THE DECIDUOUS TREES SHALL BE:

ROBINIA AMBIGUA  
PISTACHIA CHINENSIS  
CHILOPSIS LINEARS  
FRAXINUS VELUTINA  
QUERCUS SHUMARDI

PURPLE ROBE LOCUST  
CHINESE PISTACHE  
DESERT WILLOW  
ARIZONA ASH  
SHUMARDS RED OAK

THE EVERGREEN TREES SHALL BE:

CUPRESSOCYPARIS LEYLANDII  
JUNIFERUS MONOSPERMA (FEMALE VARIETY ONLY)  
PINUS ELDARICA  
PINUS NIGRA  
PINUS SYLVESTRIS

LEYLAND CYPRESS  
ONE SEED JUNIPER  
AFGHAN PINE  
AUSTRIAN PINE  
SCOTCH PINE

THESE TREES SHALL FORM AN OPAQUE VISUAL BUFFER TO TWENTY FEET (20') IN HEIGHT MINIMUM IN A 10-15 YEAR GROWING PERIOD. NO ADDITIONAL STREET TREE PLANTING WILL BE REQUIRED FOR THESE LOTS, EXCEPT LOT 1, WHICH MUST CONFORM TO THE COA STREET TREE ORDINANCE ON ALAMEDA BLVD.

5. ALL AREAS USED FOR OFF-STREET PARKING SHALL BE DESIGNED AND LANDSCAPED TO REDUCE THE VISUAL IMPACT OF PARKED CARS. LANDSCAPING SHALL BE IN ACCORDANCE WITH THE OFF-STREET PARKING LANDSCAPING REGULATIONS OF THE C.O.A. COMPREHENSIVE ZONING CODE, WITH THE FOLLOWING EXCEPTIONS:

A. ALL AREAS OF PARKING LOTS NOT USED FOR PARKING OR AUTO CIRCULATION MUST BE LANDSCAPED.

B. NO PARKING SPACE MAY BE MORE THAN 50 FT FROM A TREE.

6. TREES, SHRUBS, AND VEGETATIVE GROUND COVER SHALL BE SELECTED FROM PLANT LEGEND ON THIS PAGE.

7. PLANTINGS SHALL BE PLACED ON SITE TO PROVIDE SHADE FOR ALL PEDESTRIAN AREAS AND BUILDINGS DURING SUMMER MONTHS.

8. LANDSCAPING SHALL CONFORM TO TO C.O.A.'S WATER CONSERVATION POLICIES.

9. PLANTINGS SHALL BE LOCATED WITH RESPECT TO THE CLEAR SIGHT TRIANGLE REQUIREMENTS.

10. TREES SHALL NOT BE PLANTED IN PUBLIC UTILITY EASEMENTS.

11. ALL PLANTING BEDS SHALL BE MULCHED WITH A 3" LAYER OF 1-1/2" SANTA ANA TAN GRAVEL. ALL GRAVEL SHALL BE UNDERLINED WITH DE WITT PRO 5, 28 MIL. FILTER FABRIC OR APPROVED EQUAL. EXCLUDE FILTER FABRIC IN GROUND COVER AND PERENNIAL AREAS.

12. RESPONSIBILITY FOR LANDSCAPE MAINTENANCE ON THE SITE SHALL LIE WITH THE LOT OWNER.

13. AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM IS TO BE DESIGNED AND CONSTRUCTED FOR ALL INSTALLED PLANT MATERIALS. GRASS AREAS SHALL BE SPRAY IRRIGATED, TREES SHALL BE IRRIGATED WITH A LOW FLOW BUBBLER SYSTEM, SHRUBS AND GROUND COVERS SHALL BE IRRIGATED WITH A DRIP EMITTER SYSTEM.

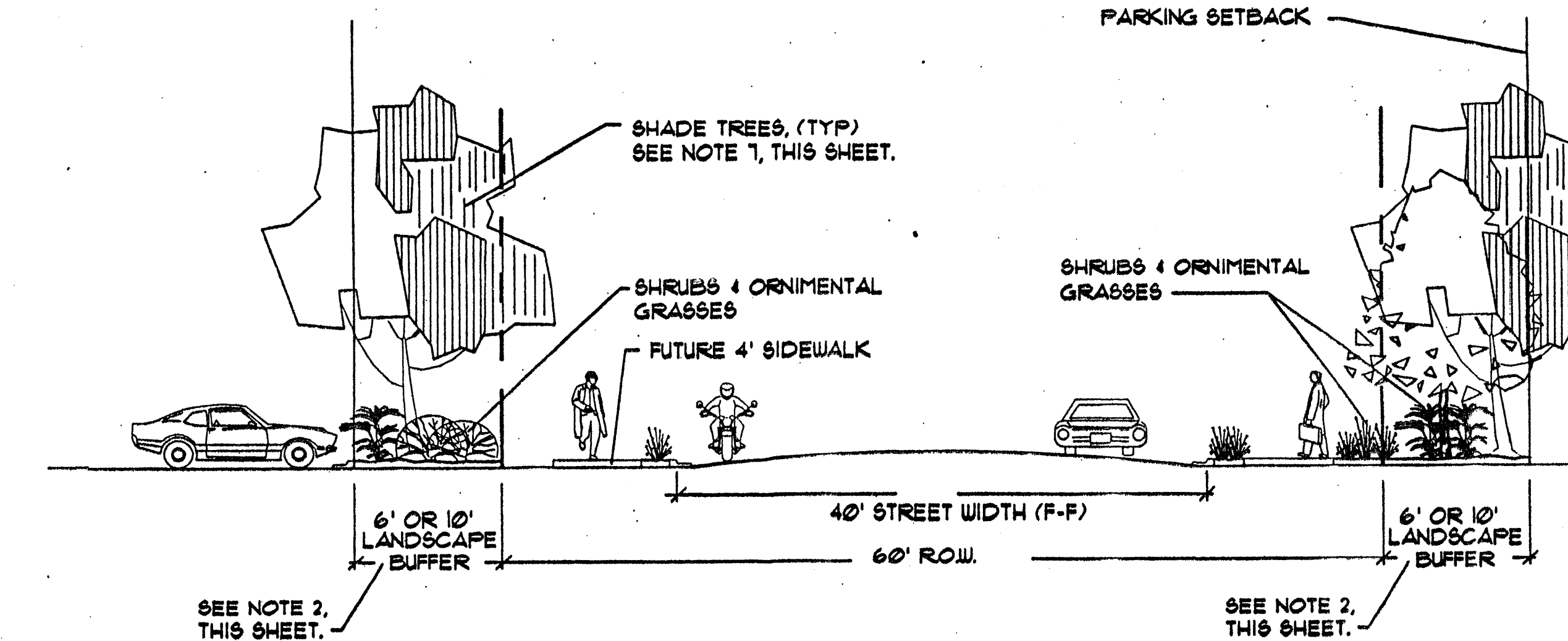
14. LOTS 1 AND 4-13 SHALL CONSTRUCT A SIX FOOT (6') HIGH FENCE CAPABLE OF SUPPORTING A CLIMBING VINE VEGETATIVE SCREENING AT THE TOP OF THE SLOPED AREA OF THE LOT ABUTTING EDITH BLVD. CLIMBING VINES SHALL BE PLANTED AT A SPACING WHICH WILL RESULT IN COMPLETE COVERAGE OF THE FENCE, AND SHALL BE SELECTED FROM THE FOLLOWING:

CAMPBELL RADICANS  
LONICERA JAPONICA HALLIANA  
LONICERA SEMPERVIRENS  
PARTHENOCISSUS INSERTA  
ROSA BANKSIAE

TRUMPET VINE  
HALL'S HONEYSUCKLE  
CORAL HONEYSUCKLE  
WOODBINE  
ROSE LADY BANKS

15. PLANTS AND TREES WHICH ARE PERMITTED INCLUDE ALL SPECIES ALLOWED BY THE CITY OF ALBUQUERQUE'S WATER CONSERVATION AND POLLEN ORDINANCES, AND MUST BE PLANTED IN ACCORDANCE WITH THE COMPREHENSIVE ZONING CODE, THE NORTH 1-25 SECTOR DEVELOPMENT PLAN, AND OTHER REGULATIONS CONTAINED IN THIS DOCUMENT.

15. PLANTS AND TREES WHICH ARE PERMITTED INCLUDE ALL SPECIES ALLOWED BY THE CITY OF ALBUQUERQUE'S WATER CONSERVATION AND POLLEN ORDINANCES, AND MUST BE PLANTED IN ACCORDANCE WITH THE COMPREHENSIVE ZONING CODE, THE NORTH 1-25 SECTOR DEVELOPMENT PLAN, AND OTHER REGULATIONS CONTAINED IN THIS DOCUMENT.



STREETSCAPE TYPICAL SECTION

NTA

## LANDSCAPING DEVELOPMENT REQUIREMENTS FOR ALAMEDA BUSINESS PARK

ALBUQUERQUE, NEW MEXICO

REVISED MARCH 3, 1999

REVISED JULY 2, 1999

REVISED 7/12/00

## DEVELOPMENT REQUIREMENTS

### Site Signage

1. Signage on each lot shall comply with the City of Albuquerque Comprehensive Zoning Code and the following:

A. Lot developments shall be allowed the following:

- A maximum of one building mounted sign per tenant. Total building mounted signage area per building shall not exceed 15% of the area of the facade.
- A maximum of one site monument sign.
- Building mounted signage area will not exceed 15% of the area of the facade on which it is mounted.

2. Projecting signs and roof signs are not allowed.

### Site Lighting

1. In addition to lighting regulations in the Zoning Code, and the Alameda Design Overlay Zone, the following shall apply:

- Site lighting of parking lots, drives, plazas and entries will be provided to insure adequate lighting for both vehicular and pedestrian traffic after dark.
- Site parking lot lighting fixtures will not exceed 24'-0" in height. For lots 1 and 4-13 on the side abutting Edith Blvd, site and building mounted lighting shall be no higher than sixteen feet (16') when located between the west side of the building and the top of the sloped area of the lot. Pole mounted lighting shall be placed a minimum distance of thirty feet (30') from the top of the sloped area of the lot.
- Light fixtures for walkways and plazas will be located between 8'-0" and 16'-0" in height.
- All parking lot lighting will be high pressure sodium type fixtures.
- Site and exterior area lighting pole mounted fixtures will be of the "shoebox" type with full cut-off features to avoid lights from interfering with local or adjacent traffic and nearby residential development. Finish of poles and fixtures are to be consistent with the colors of the building.
- The use of landscape and building exterior lighting is encouraged to accent building features and highlight site and landscape areas.

### Architectural Design Criteria

1. General

A. Architectural Design Criteria are established to promote a visual and aesthetic consistency within the development and to avoid incompatible design schemes and elements harmful to the overall and individual developments.

2. Building Heights

A. Structure height and width shall fall within a 45-degree angle drawn from the horizontal at the mean grade along each boundary of the premises, but a structure shall not exceed 120 feet, except as further defined in the Zoning Code, and clarified for specific lots as follows:  
For lots 1 and 4-13, structure placement is encouraged to be on the eastern side of the lot. In no case however, shall structure height on these lots exceed 26' and it's width and height shall fall within a 45 degree angle drawn from the horizontal at the mean grade along the north, south, and east property lines and the top of the sloped area of the lot.

3. Opaque exterior building materials used will be consistent with commonly used materials in Albuquerque and New Mexico. These include stucco, exterior finish and insulation system (EIFS) with synthetic stucco finishes, brick and stone masonry or veneer, concrete masonry with architectural exterior treatment, pre-cast architectural concrete. Materials not allowed are the predominant facades finishes include rough face concrete masonry, metal paneling, ceramic tile veneer or reflective glass. Windows and storefronts are to have tinted glass and are to be in anodized aluminum or pre-finished metal frames. Glass colors are to be compatible with the overall color scheme of the building. Glass curtainwalls are limited to building entries and should not exceed 25% of the area of the building facade of which they are part. Glass curtainwalls may have reflective glass of a color compatible with other glass used in windows and storefronts. Glass installed in the westerly facing facades shall be of a type which reduces light reflectance. Mirrored glass and/or highly reflective glass shall not be installed in westerly facing facades.

Accent walls or accent elements introduced to the building design to give it detailing may utilize any of the allowable materials above as well as painted or pre-finished metal, stainless steel, ceramic tile veneer or colored concrete.

4. Building Colors of major facades are to be muted or pastel rather than bright or brilliant. The use of primary colors for major building walls is prohibited. Architectural accent walls, detached entry walls or colonnades or attached accent elements (entry canopies, window shading devices, medallions, window transoms) may be primary or bright colors.

5. Roofs may be either flat or pitched. Flat roofs shall have a perimeter parapet which at no point will be lower than any portion of the roof it surrounds. Pitched roofs are to be of either concrete tiles, clay tiles or pre-finished ribbed metal. Tile and metal roof colors are to be consistent with the building colors are not to have a highly reflective surface. Metal buildings having a pre-finished metal roof with a pitch of at least 4:12 shall not require a parapet. Metal roofs may not be brightly, shiny colors or reflective metal surfaces. Roofs may be tan, brown, sand, green, blue, non-reflective white and grey.

6. Mechanical equipment on roofs is to be screened from public view as much as practical. Roof equipment screens are to be at least as high as the highest part of the equipment. Roof screens are to be architecturally compatible with the building.

7. Building mounted signage will conform to the zoning ordinance and the following:

- Dimensional height of any portion of the signs shall not exceed 3'-6".
- No portion of the sign shall protrude more than 6" from the building face on which it is mounted.
- Direct lot access to Edith Blvd. and/or Alameda Blvd. is not permitted.

APPROVED 7/12/00  
APPROVED 8/4/00

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SHEET 2 OF 2

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