

GENERAL NOTES

1. VERIFY SITE UTILITY ROUTING AND NEW UTILITY CONNECTIONS WITH UTILITY PROVIDERS.
2. CURBS DIMENSIONED TO FACE OF CURB U.N.O.
3. PATCH AND REPAIR OR REPLACE EXISTING CURB & GUTTER ALONG STREET FRONTS AS NECESSARY IN COORDINATION WITH DRIVEWAY CONSTRUCTION.
4. VERIFY ALL NEW DRIVEWAY REQUIREMENTS WITH CITY OF ALBUQUERQUE STANDARDS.
5. SITE LIGHTING

- NOTES:**
1. FORM TIES SHALL BE SPACED AT 16" O.C. EACH WAY, SPACED EVENLY AND DESIGNED TO BE EXPOSED.
 2. FORMS SHALL BE SMOOTH FACE.
 3. CONCRETE SHALL REMAIN EXPOSED-DO NOT HAND RUB.

SITE DATA

LOCATION: 7501 ALAMEDA BLVD. NE
ALBUQUERQUE, NM 87113

LEGAL DESCRIPTION: LOT 20, BLOCK 3, TRACT 2, UNIT 3
NORTH ALBUQUERQUE ACRES

UPC #: 101906420538720313

OWNER: JAMES TWOHIG DDS. AND MARY ROSE TWOHIG DDS
6800 MONTGOMERY NE SUITE E
ALBUQUERQUE NM 87109

CURRENT ZONING: SU-2/0-1

ZONE ATLAS PAGE: C-19

BUILDING CONSTRUCTION: SB (NON-SPRINKLED)

APPLICABLE CODE: 2006 IBC

TOTAL LOT AREA: (0.886 AC) 38,617 S.F.

BUILDING FOOTPRINT AREA: 6,800 S.F.

NET LOT AREA (LOT AREA-BLD. FOOTPRINT): 31,817 S.F.

FLOOR AREA RATIO (GROSS BLD. AREA/LOT AREA): 17.6 %

PAVED AREA: 17,023 S.F.

LANDSCAPE AREA: 14,794 S.F.

LANDSCAPE % NET LOT AREA: 53 %

LANDSCAPE TO PAVED AREA RATIO: 1 : 1.15

REQUIRED PARKING: 27 SPACES

MEDICAL AND DENTAL OFFICE: 5 SPACES PER DOCTOR
(ESTIMATED 6 DOCTORS, DENTISTS)
6 DOCTORS X 5 SPACES = 30 SPACES
10% REDUCTION FOR BUS ROUTE = 3 SPACES

PARKING PROVIDED: 30 SPACES

REQUIRED H.C. PARKING: 2 SPACES

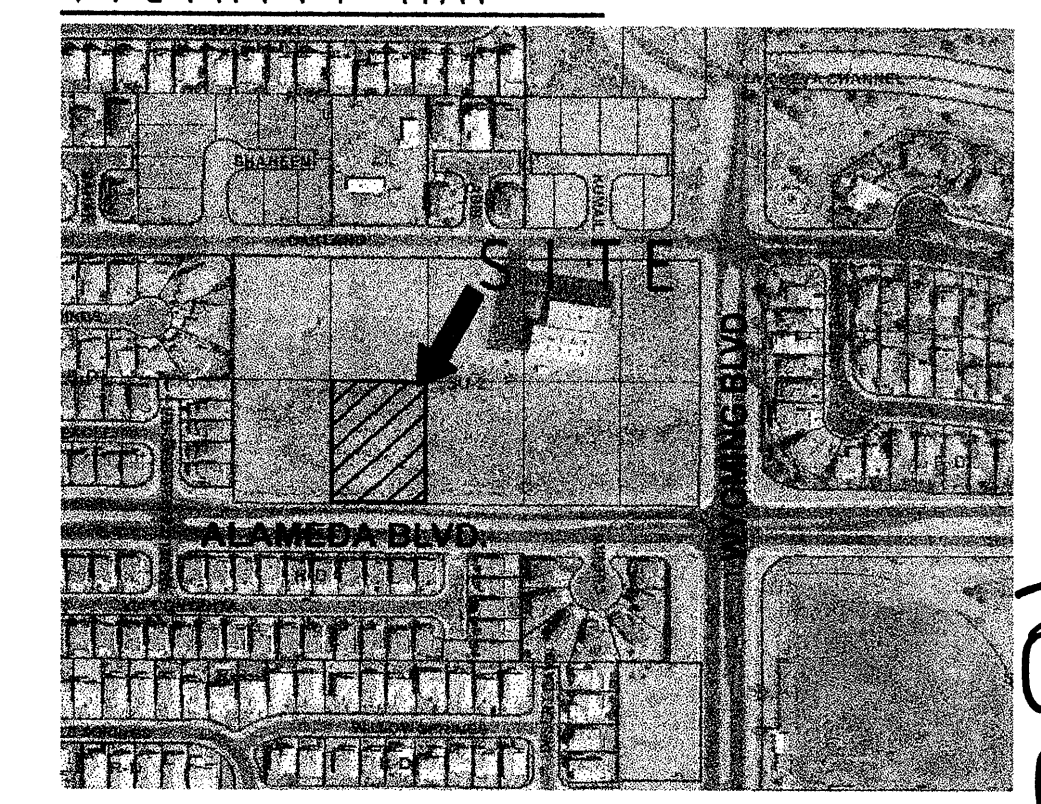
H.C. PARKING PROVIDED: 2 SPACES

BICYCLE PARKING PROVIDED: 5 SPACES

REQUIRED MOTORCYCLE PARKING: 2 SPACES

MOTORCYCLE PARKING PROVIDED: 2 SPACES

VICINITY MAP



SIGNATURE BLOCK

PROJECT NUMBER: 1007266

APPLICATION NUMBER: 09288-70968

Is an infrastructure list required? (Yes/No) (No) If yes, then a set of approved DRG plans with a work order is required for any construction within public right-of-way or for construction of public improvements.

Robert A. Hean 8/27/08
ENGINEERING, TRANSPORTATION DIVISION DATE: 8-5-08

Christina Sandoval 8/27/08
UTILITIES DEVELOPMENT DATE: 8-27-08

Bradley S. Bigh 1/29/09
PARKS AND RECREATION DATE: 1/29/09

N/A
CITY ENGINEER DATE:

N/A
ENVIRONMENTAL HEALTH DEPT. (if required) DATE:

Michael Holton 7/14/08
UTILITIES DEVELOPMENT DATE: 7/14/08

Pat Ch... 8/27/08
SOLID WASTE MANAGEMENT DATE: 8/27/08

N/A
DBP CHAIRPERSON, PLANNING DEPARTMENT DATE:

N/A
NEW MEXICO UTILITIES DATE:

NEW OFFICES FOR:
DR. JAMES TWOHIG D.D.S.
DR. MARY ROSE TWOHIG D.D.S.
7441 ALAMEDA BLVD. NE
ALBUQUERQUE, NEW MEXICO

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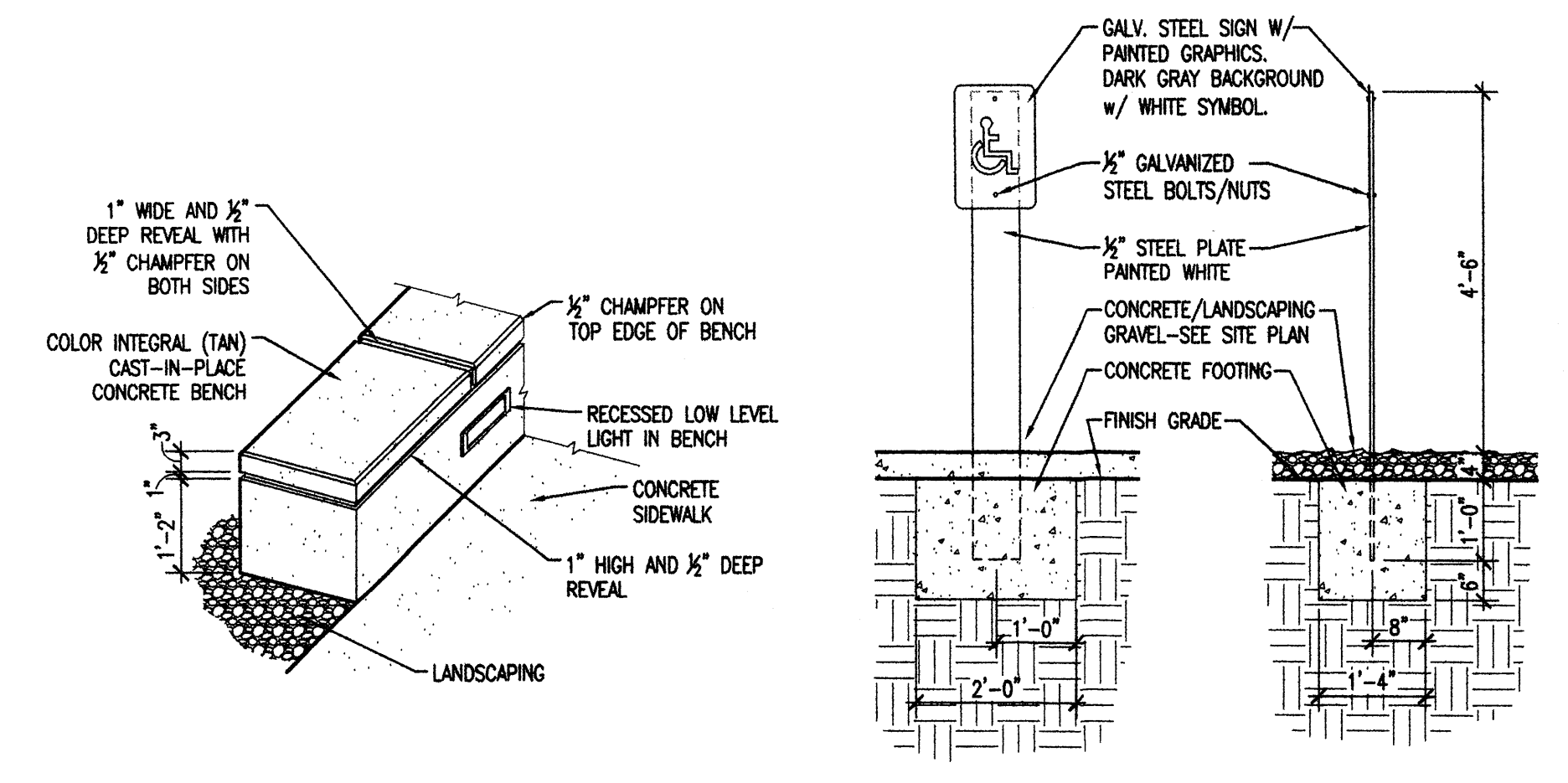
ARCHITECTURAL SITE PLAN AND DETAILS



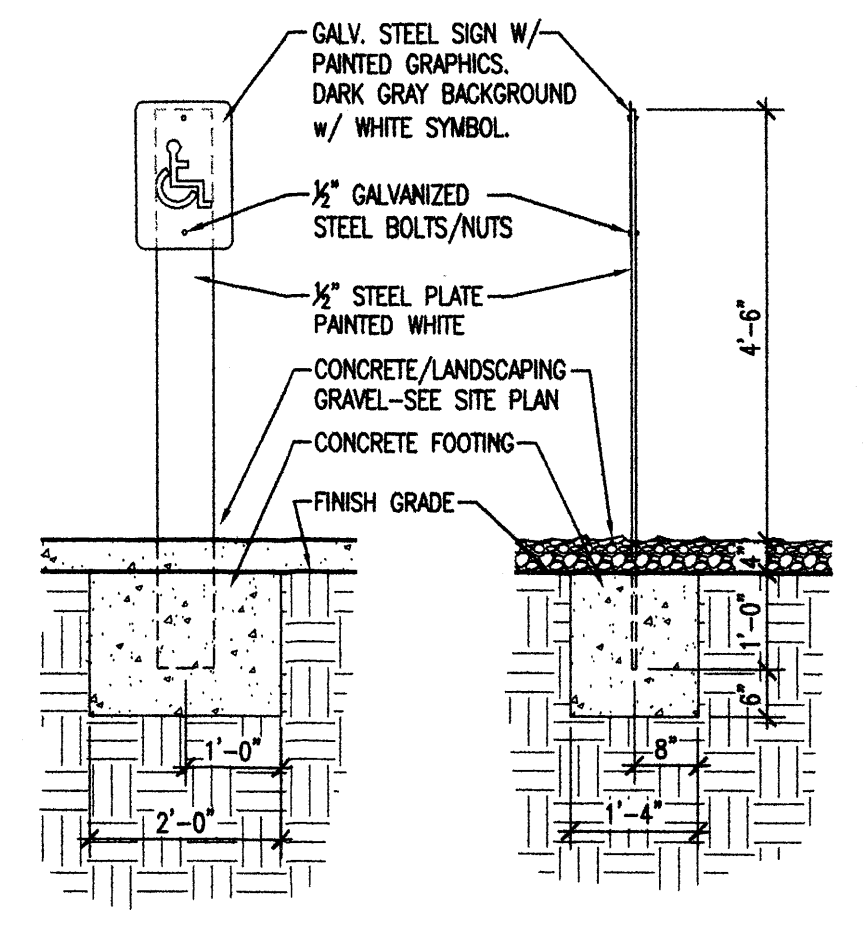
revisions:

APD PLANS CHECKING OFFICE
924-3611
APPROVED/DISAPPROVED
HYDRANT(S) ONLY
Pat Ch... 7/14/08
SIGNATURE & DATE

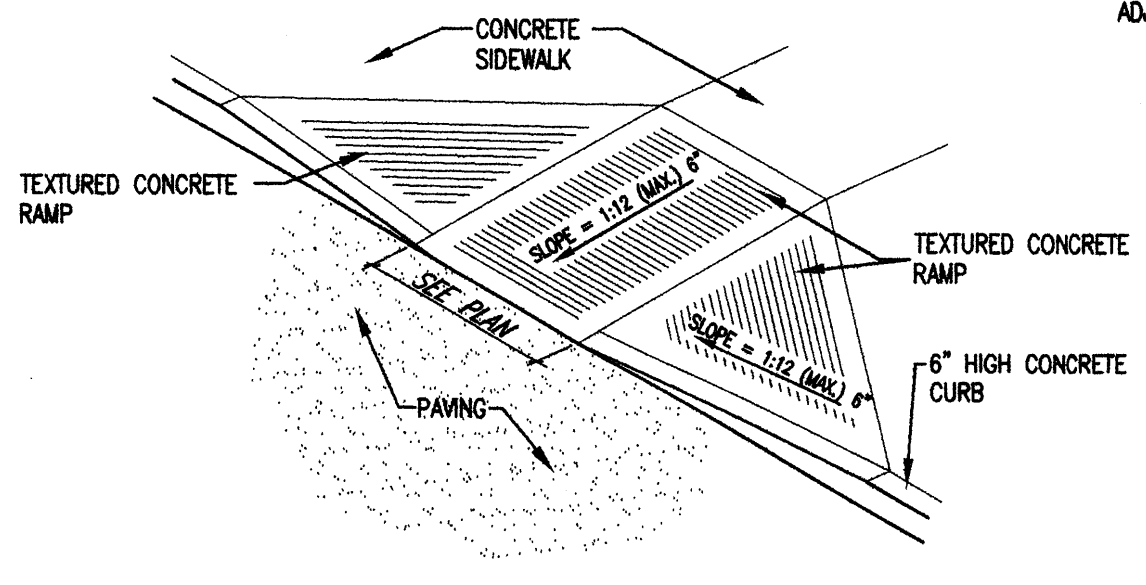
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sheet: A001



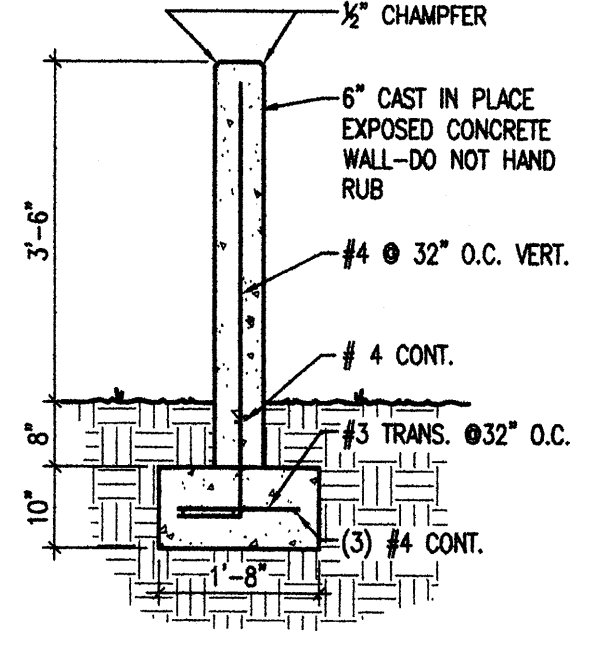
15 BENCH DETAIL
A001 1/2" = 1'-0"



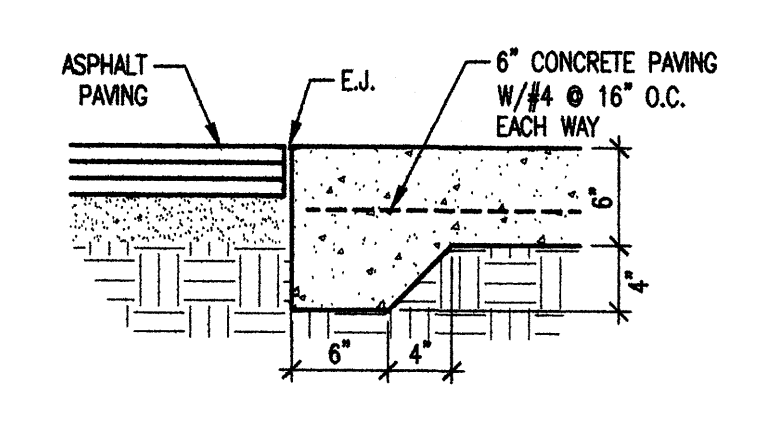
14 H.C. SIGN DETAIL
A001 1/2" = 1'-0"



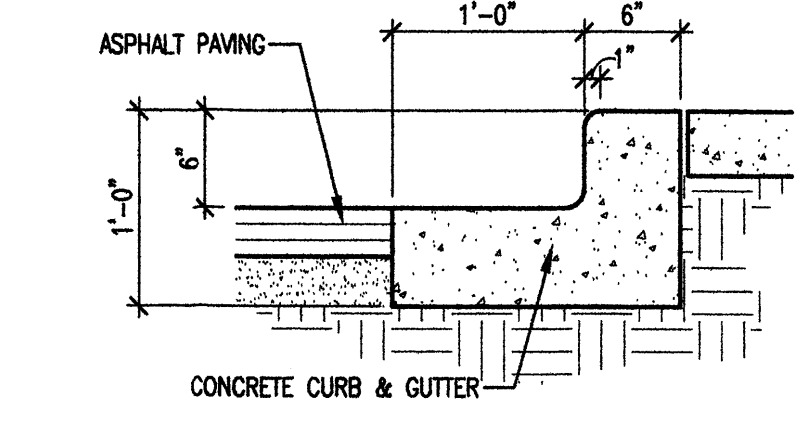
13 H.C. RAMP DETAIL
A001 N.T.S.



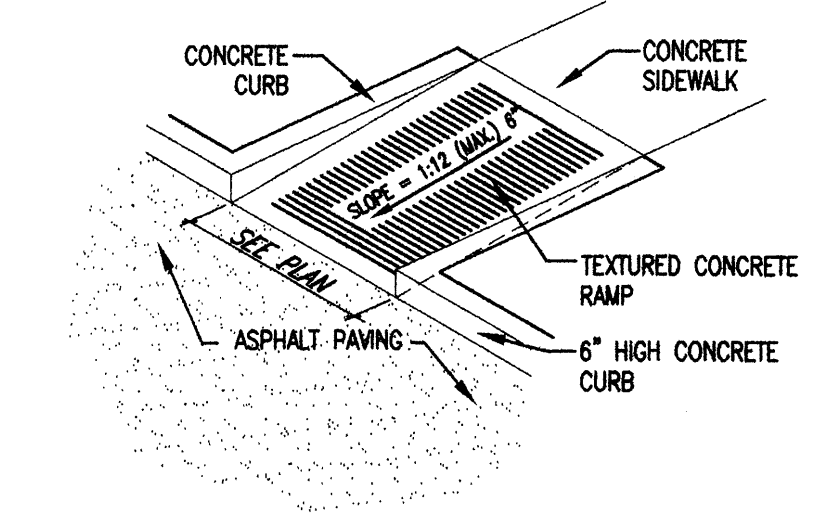
12 WALL DETAIL
A001 1/2" = 1'-0"



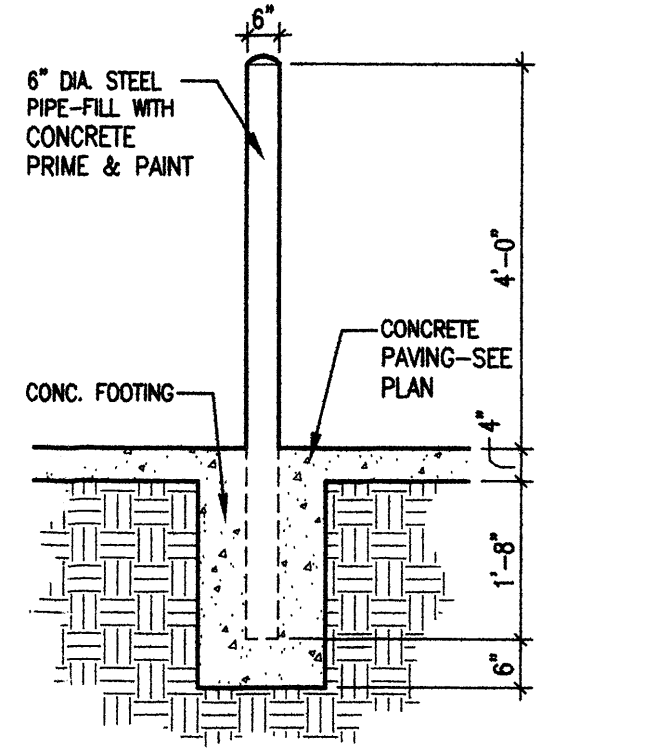
11 PAVING DETAIL
A001 1" = 1'-0"



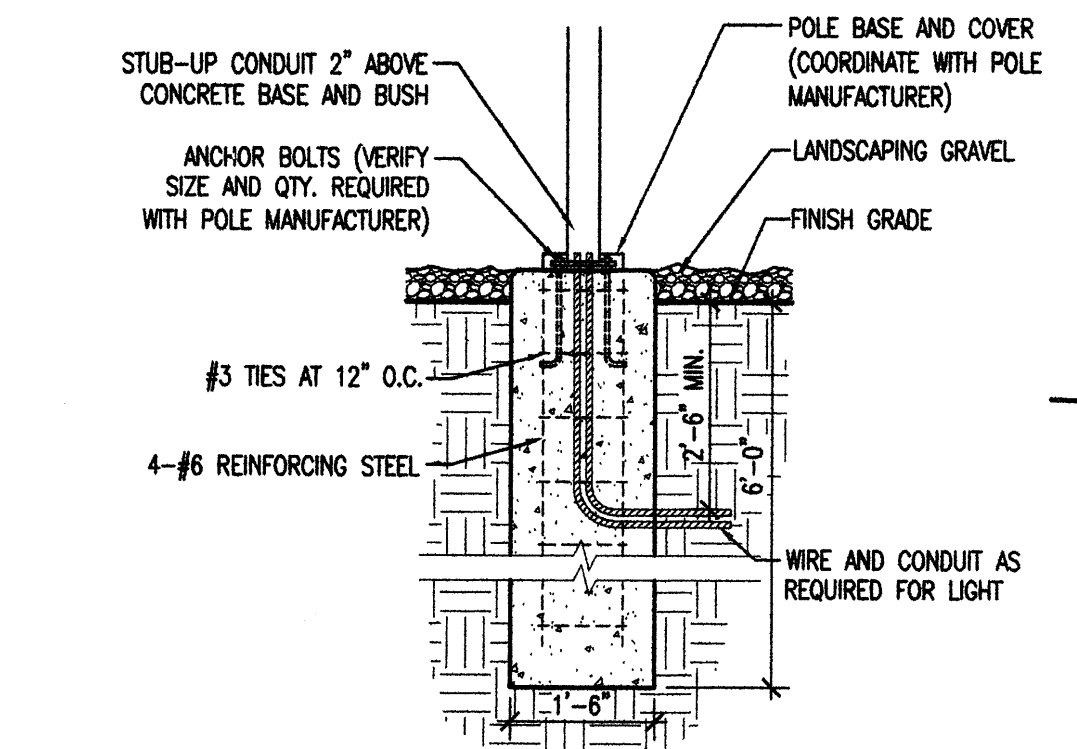
10 TYPICAL CURB DETAIL
A001 1" = 1'-0"



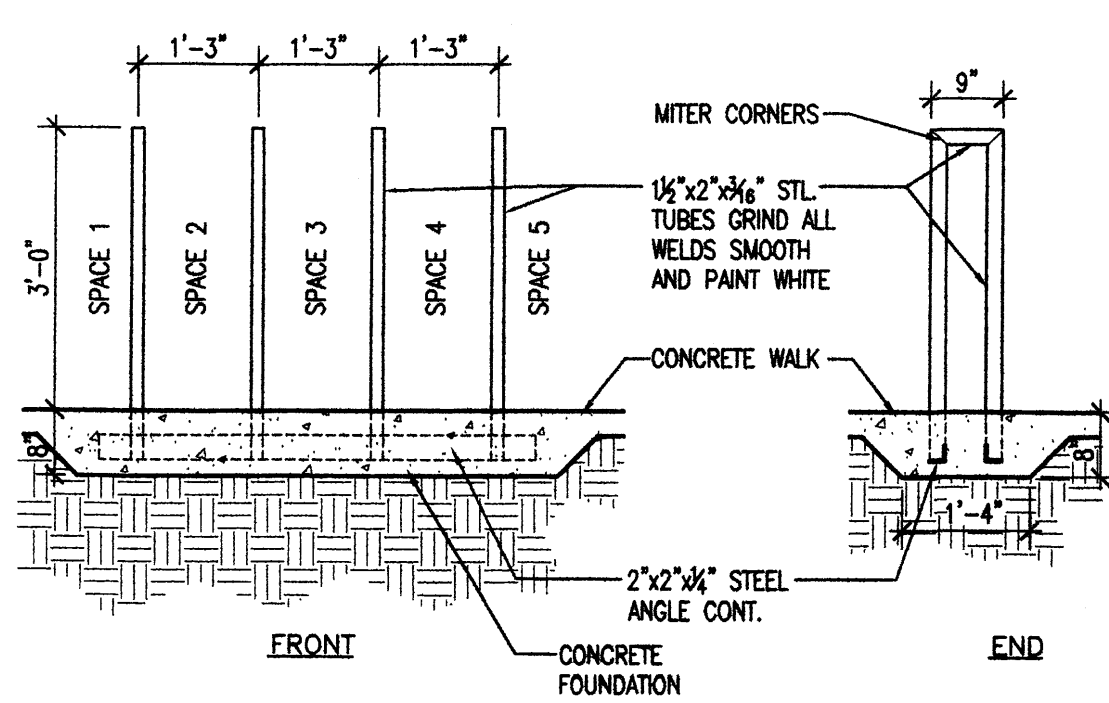
9 H.C. RAMP DETAIL
A001 N.T.S.



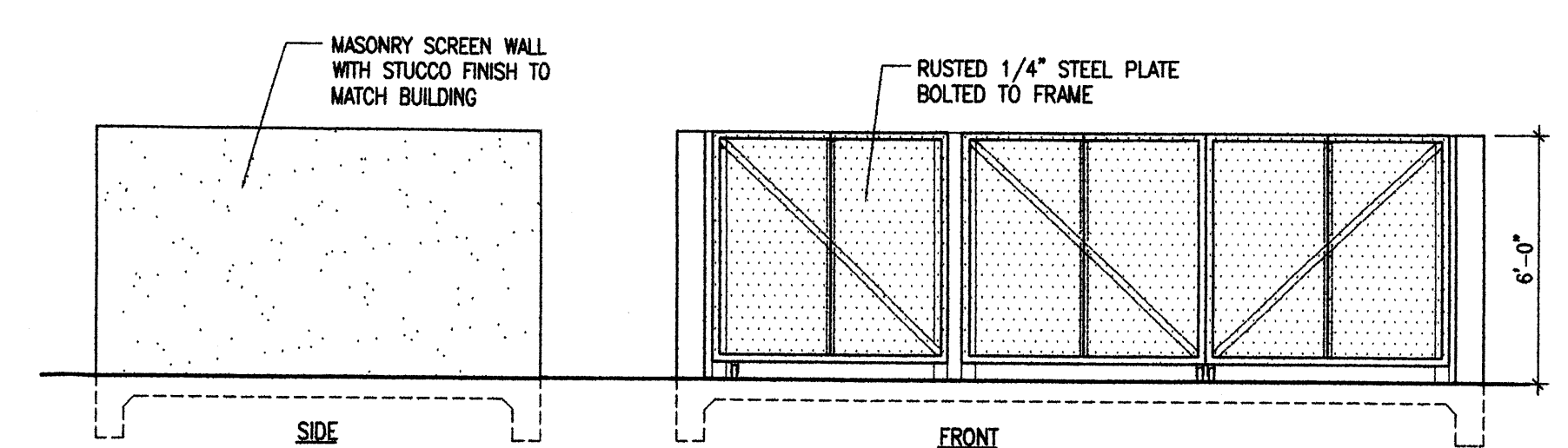
8 BOLLARD DETAIL
A001 1/2" = 1'-0"



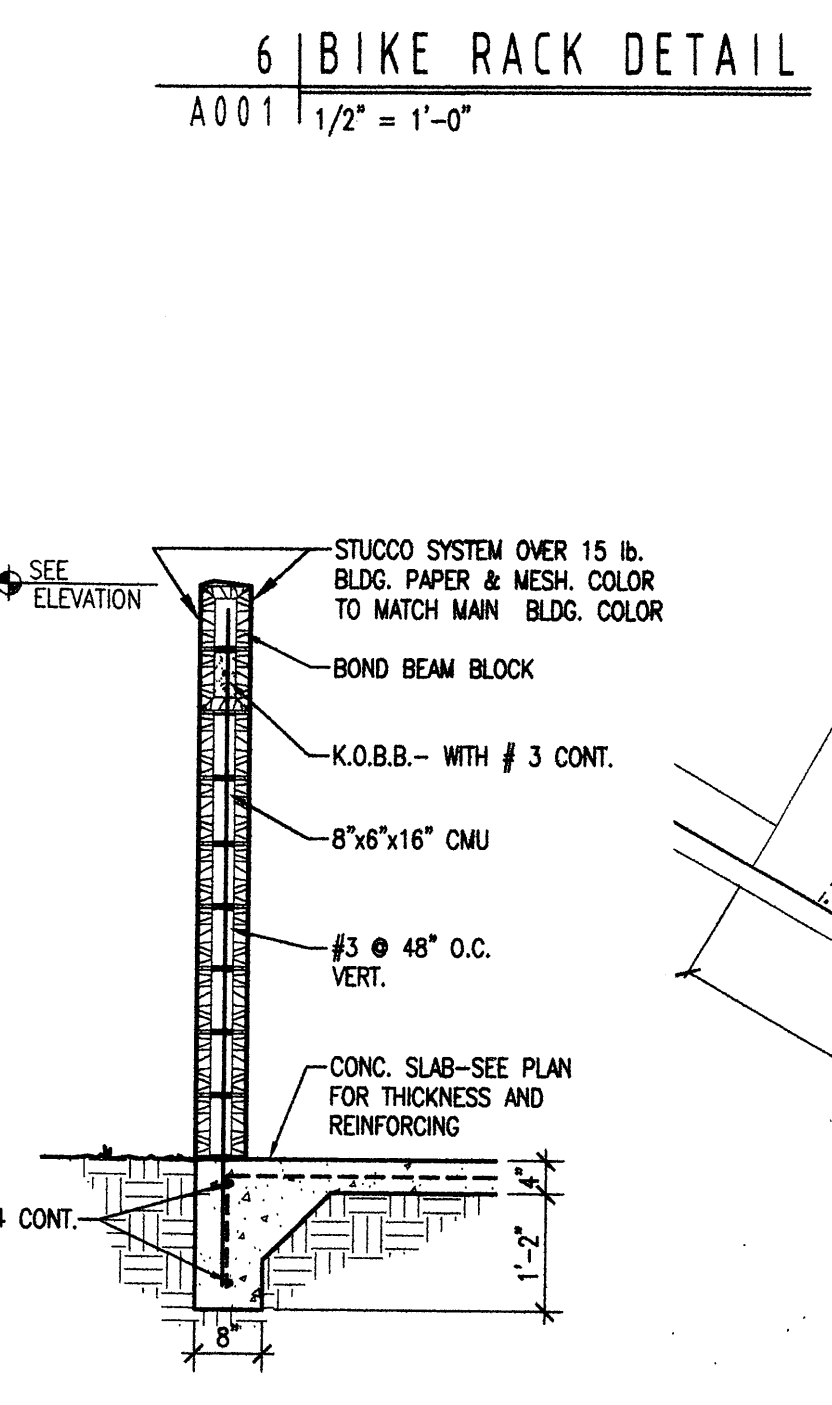
7 LIGHT BASE DETAIL
A001 1/2" = 1'-0"



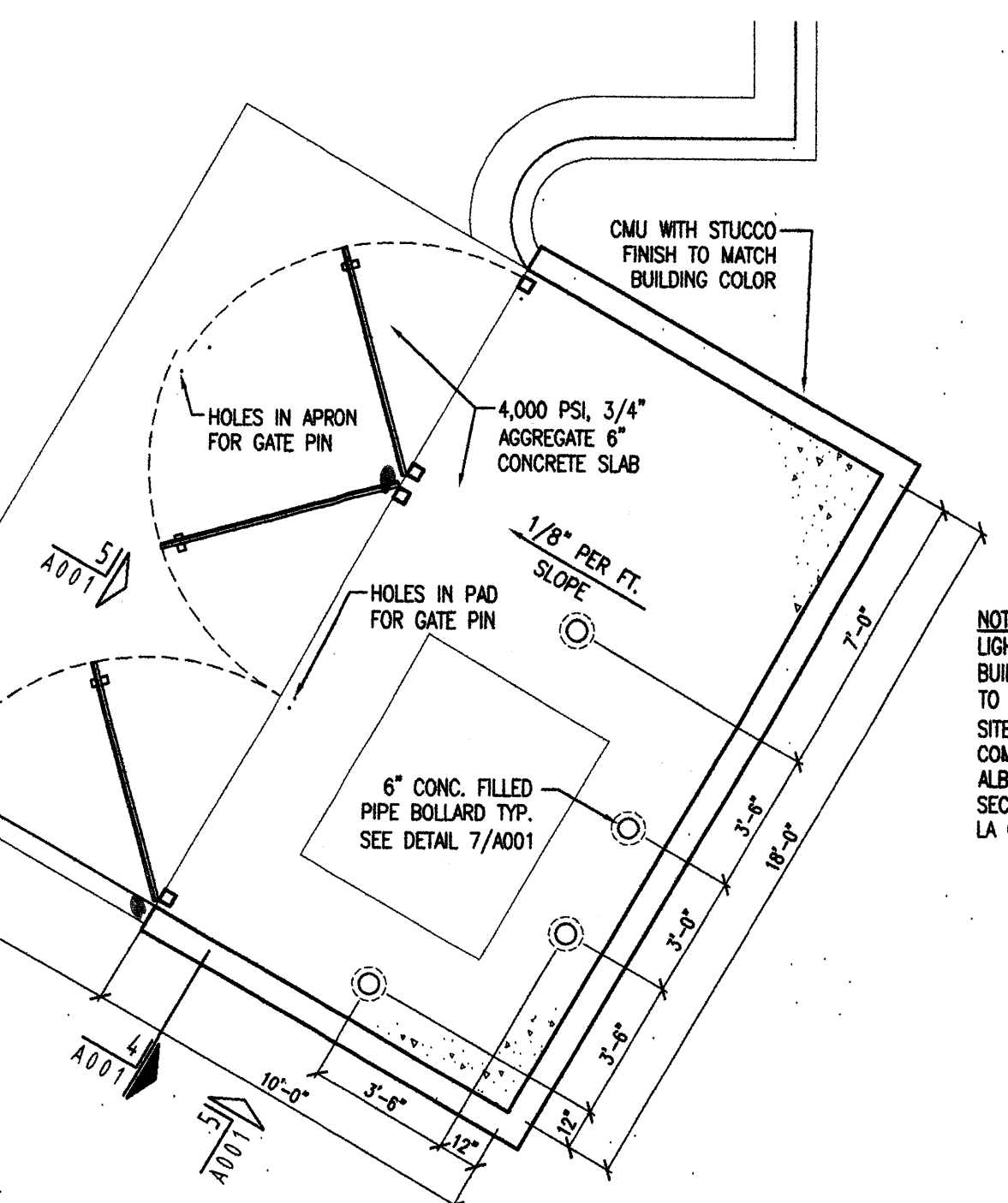
6 BIKE RACK DETAIL
A001 1/2" = 1'-0"



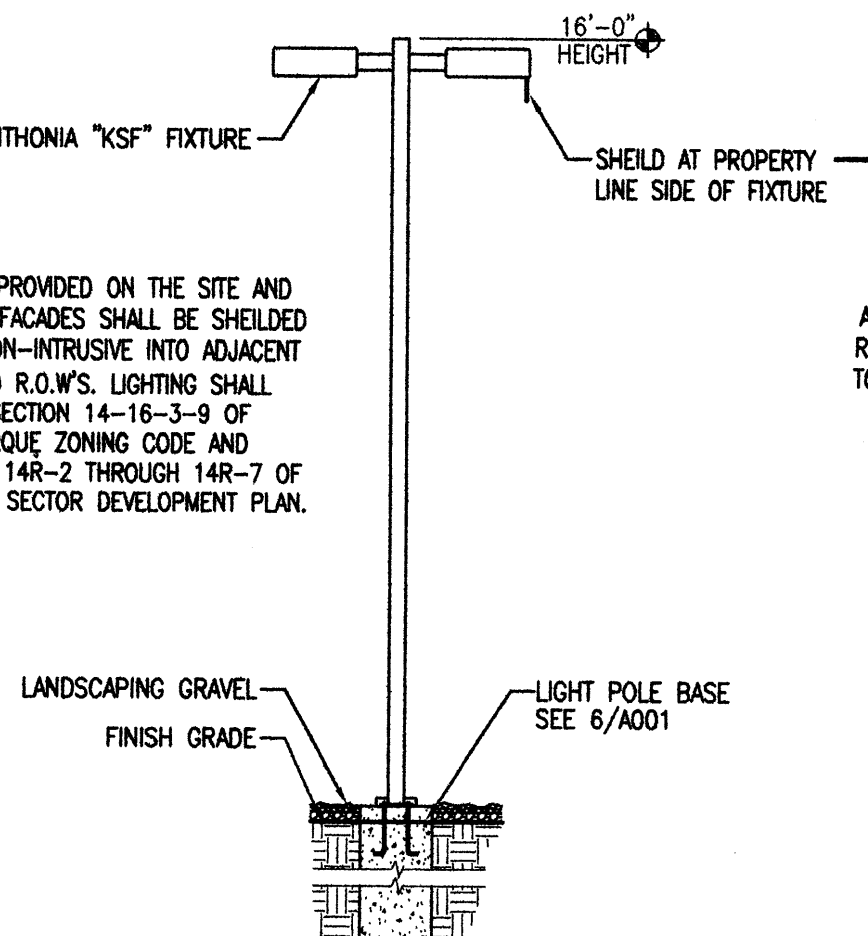
5 DUMPSTER ENCLOSURE
A001 1/4" = 1'-0"



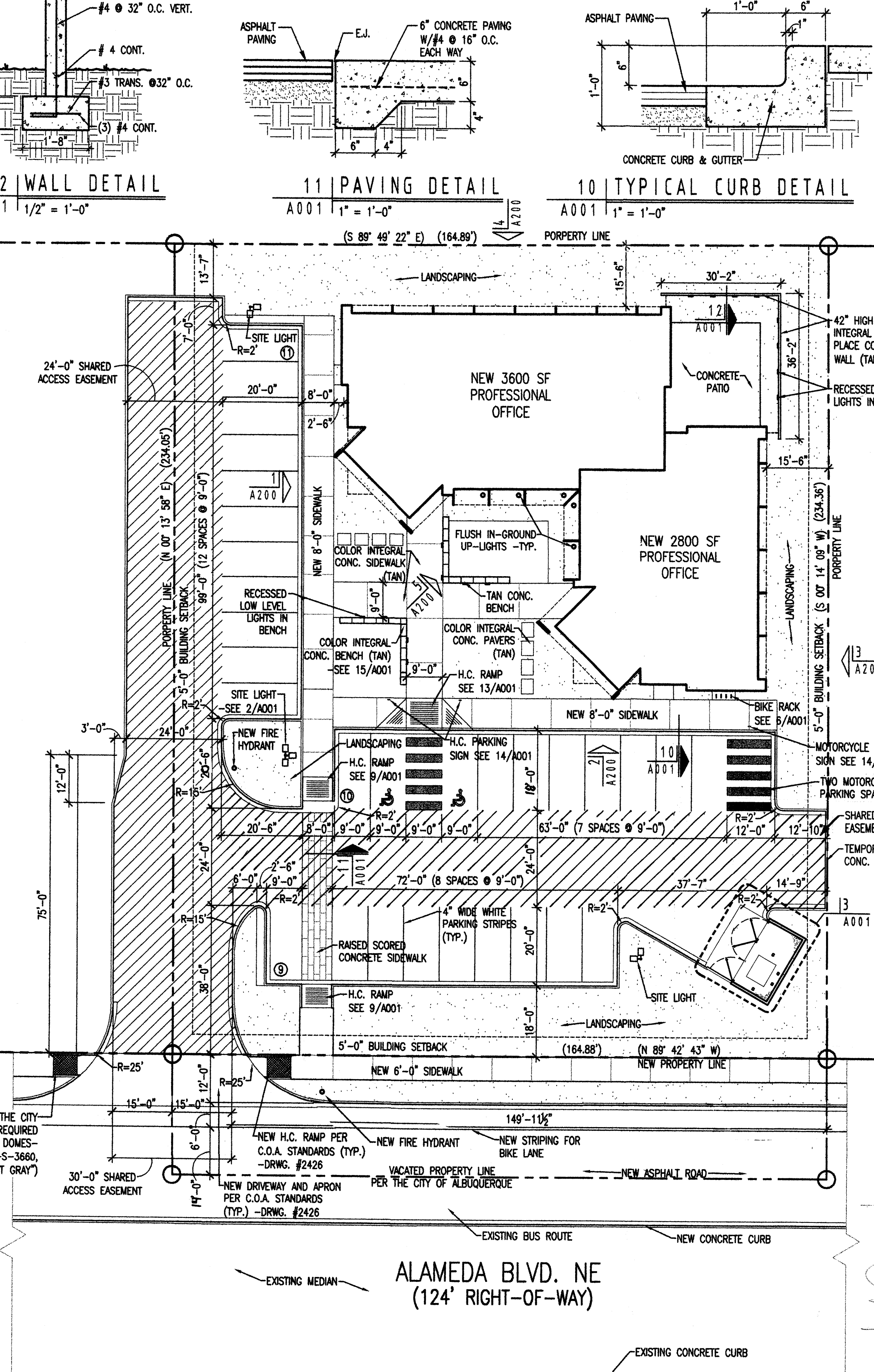
4 WALL DETAIL
A001 1/2" = 1'-0"



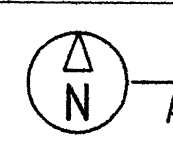
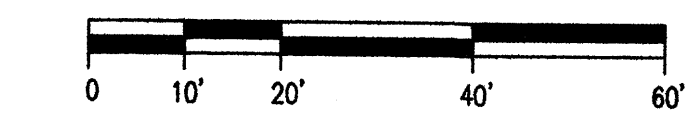
3 DUMPSTER ENCLOSURE
A001 1/4" = 1'-0"



2 SITE LIGHTING DETAIL
A001 N.T.S.


















1 SITE PLAN
A001 1" = 20'-0"


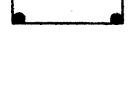
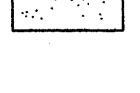



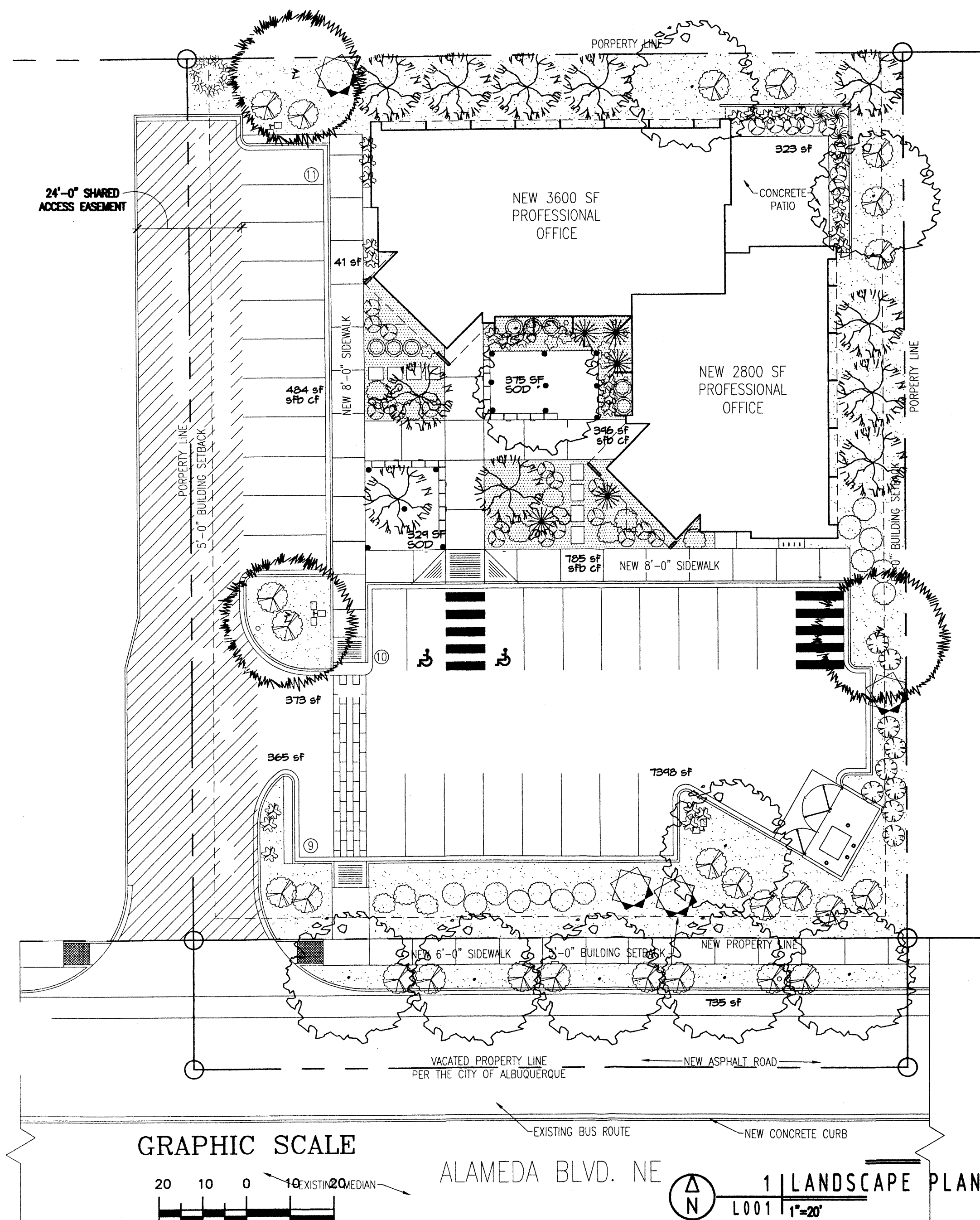
PLANT LEGEND

All plants shall be sized per American Standard for Nursery Stock

	INSTALLED SIZE	MATURE SIZE	WATER USE	SQUARE FOOT COVERAGE	ALLERGY POTENTIAL
 AUTUMN PURPLE ASH 9 <i>Fraxinus americana 'Autumn Purple'</i>	12'-14' 2" Gal.	60' x 60'	M	-	H
 BUR OAK 3 <i>Quercus macrocarpa</i>	12'-14' 2" Gal.	50' x 60'	M	-	M
 VITEX 11 <i>Vitex agnus-castus</i>	5' 15 Gal.	20' x 20'	M	225	L
DESERT ACCENTS					
 BEARGRASS 5 <i>Nolina microcarpa</i>	18"-3' 5 Gal.	4' x 5'	L+	36	L
SHRUBS/ORNAMENTAL GRASSES					
FIVE GAL.					
 BROOM BACCHARIS 1 <i>Baccharis sarothroides</i>	18"-3' 5 Gal.	10' x 10'	L+	100	L
 LITTLELEAF SUMAC 4 <i>Rhus microphylla</i>	18"-3' 5 Gal.	8' x 4'	L+	81	L
 APACHE PLUME 13 <i>Fallugia paradoxa</i>	18"-3' 5 Gal.	6' x 7'	L	49	L
 MAIDENGRASS 3 <i>Miscanthus sinensis</i>	18"-3' 5 Gal.	5' x 5'	M	25	L
ONE GAL.					
 CHAMISA 9 <i>Chrysothamnus nauseosus</i>	3"-15" 1 Gal.	5' x 5'	L	25	L
 POWIS CASTLE SAGE 10 <i>Artemisia x Powis Castle</i>	3"-15" 1 Gal.	2' x 5'	L+	25	L
 TURPENTINE BUSH 8 <i>Ericameria laricifolia</i>	3"-15" 1 Gal.	3' x 4'	L+	16	L
 POTENTILLA 5 <i>Potentilla fruticosa</i>	3"-15" 1 Gal.	3' x 3'	M	9	M+
 THREADGRASS 27 <i>Stipa tenuissima</i>	3"-15" 1 Gal.	2' x 2'	M	4	L
 WILDFLOWER 26	3"-15" 1 Gal.	2' x 2'	Varies	4	L
GROUNDCOVERS					
 HONEYSUCKLE 25 <i>Lonicera japonica 'Halliana'</i> unstaked-groundcover	3"-15" 1 Gal.	3' x 12'	M	144	L

HARDSCAPES

-  **OVERSIZED GRAVEL & 6 BOULDERS**
-  **FESCUE SOD WITH POP UP SPRINKLERS**
-  **SANTA FE BROWN GRAVEL WITH FILTER FABRIC TO A MINIMUM DEPTH OF 3"**
-  **SANTA FE BROWN CRUSHER FINES WITH FILTER FABRIC TO A MINIMUM DEPTH OF 3"**



LANDSCAPE CALCULATIONS

TOTAL LOT AREA	33655	square Feet
TOTAL BUILDINGS AREA	6729	square Feet
NET LOT AREA	26926	square Feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	4039	square Feet
TOTAL BED PROVIDED	10900	square Feet
GROUNDCOVER REQ.	75%	square Feet
TOTAL GROUNDCOVER REQUIREMENT	8175	square Feet
TOTAL GROUNDCOVER PROVIDED	8251 (75%)	square Feet
TOTAL SOD AREA (max. 20% of landscape required)	704 (6%)	square Feet
TOTAL LANDSCAPE PROVIDED	11604 (43%)	square Feet

STREET TREE REQUIREMENTS

Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:

Name of Street: Alameda Blvd. NE
Required # 5 Provided # 5

PARKING LOT TREE REQUIREMENTS

Shade trees required under the City of Albuquerque Parking Lot Tree Ordinance are as follows:

1 Shade tree per 10 spaces
Required # 3 Provided # 4

NOTE TO CLIENT:

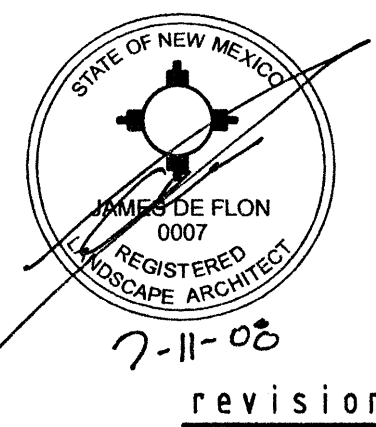
Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.

NEW OFFICES FOR:
DR. JAMES TWOHIG D.D.S.
DR. MARYROSE TWOHIG D.D.S.
7441 ALAMEDA BLVD. NE
ALBUQUERQUE, NEW MEXICO

SLAGLE
HERR






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NEW MEXICO 87104
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slagleherr.com

LANDSCAPING PLAN



The Hilltop

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cmj@hilltoplandscaping.com

-  7-11-08 rmc revised site plan
-  5-29-08 rmc comment & revised site plan
-  5-8-08 rmc comments
-  4-30-08 cmj comments
-  4-28-08 rmc comments

date: 07/15/08
sheet: L001

STREET TREE REQUIREMENTS

Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

Name of Street: Alameda Blvd. NE
Required # 5 Provided # 5

PARKING LOT TREE REQUIREMENTS

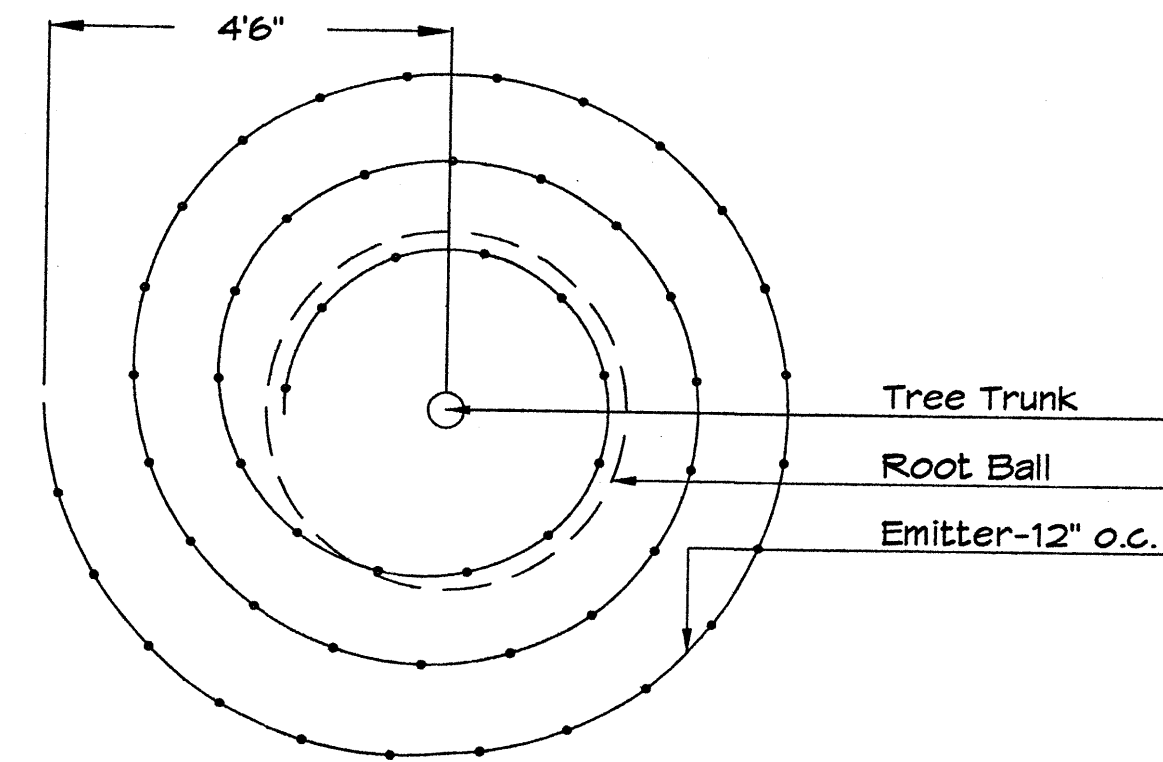
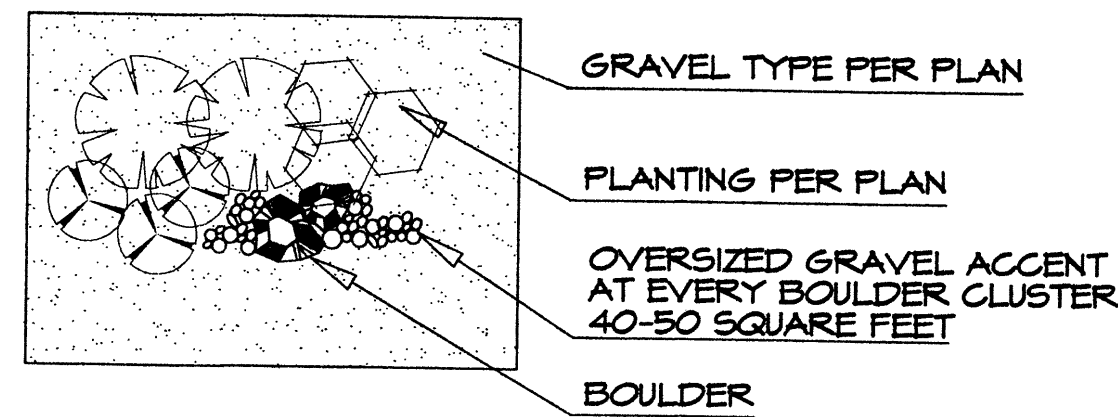
Shade trees required under the City Of Albuquerque Parking Lot Tree Ordinance are as follows:

1 Shade tree per 10 spaces
Required # 3 Provided # 4

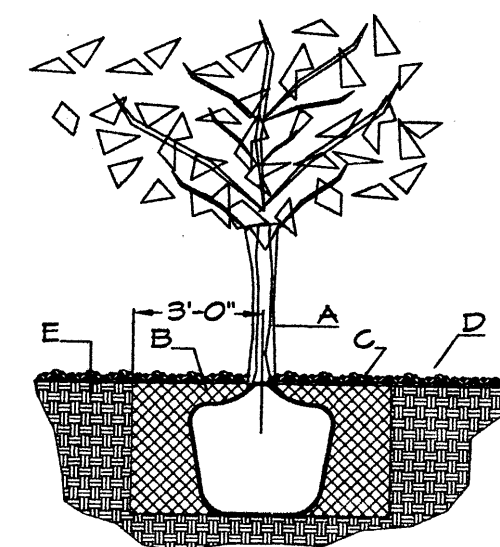
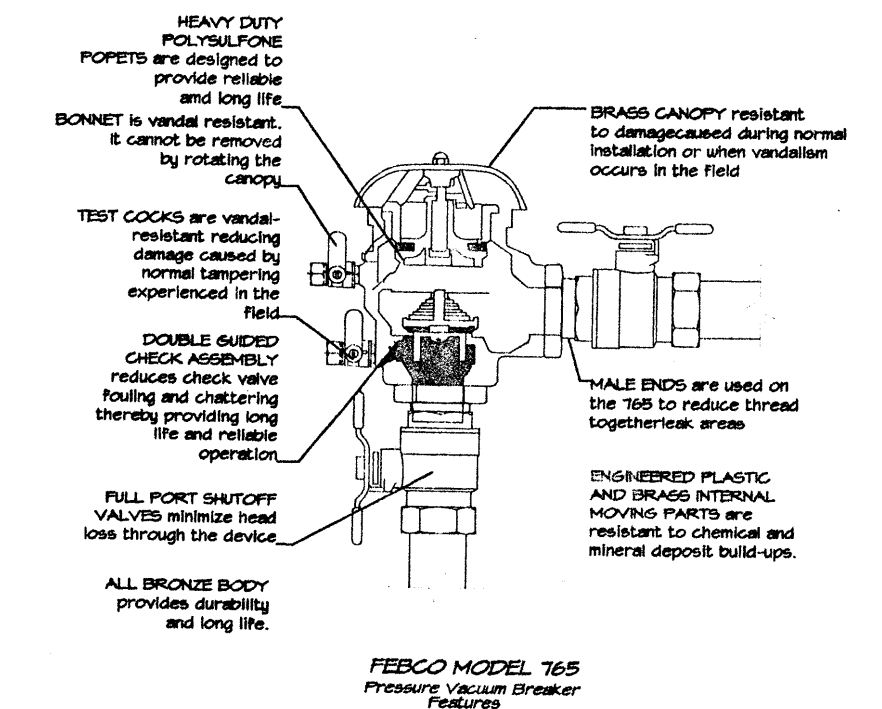
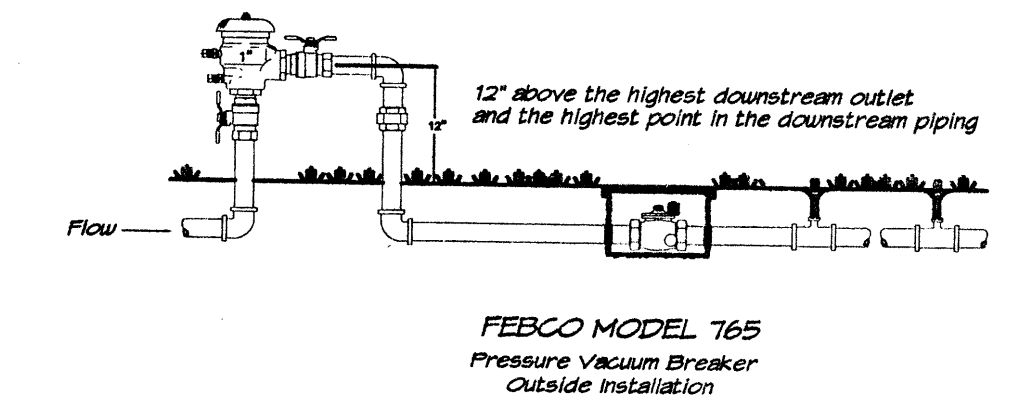
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GRAVEL ACCENT DETAIL



Netafim Spiral Detail



TREE PLANTING DETAIL

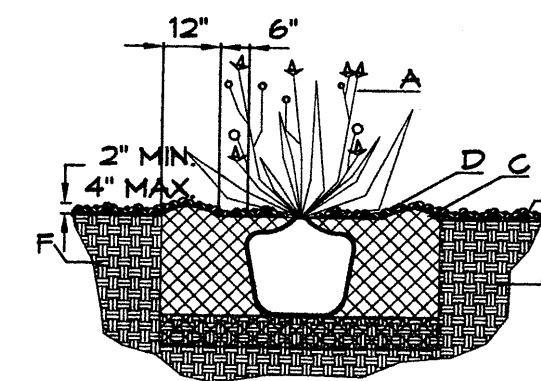
NTS

GENERAL NOTES:

1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
2. TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

CONSTRUCTION NOTES:

- A. TREE
- B. BACKFILL WITH EXISTING SOIL.
- C. 3" DEPTH OF GRAVEL MULCH.
- D. UNDISTURBED SOIL.



SHRUB PLANTING DETAIL

NTS

GENERAL NOTES:

1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.

CONSTRUCTION NOTES:

- A. SHRUB.
- B. BACKFILL WITH EXISTING SOIL.
- C. EARTH BERM AROUND WATER RETENTION BASIN.
- D. 3" DEPTH OF GRAVEL MULCH.
- E. FINISH GRADE.
- F. UNDISTURBED SOIL.

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

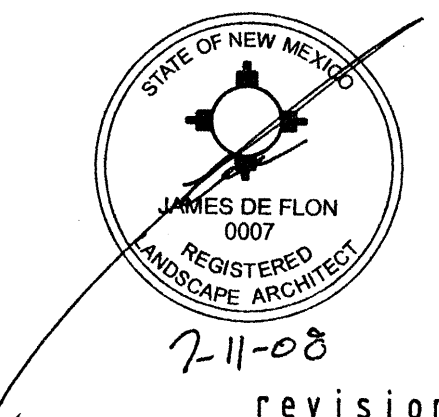
Water and Power source shall be the responsibility of the Developer/Builder.

NEW OFFICES FOR:
DR. JAMES TWOHIG D.D.S.
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7441 ALAMEDA BLVD. NE
ALBUQUERQUE, NEW MEXICO

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LANDSCAPING DETAILS



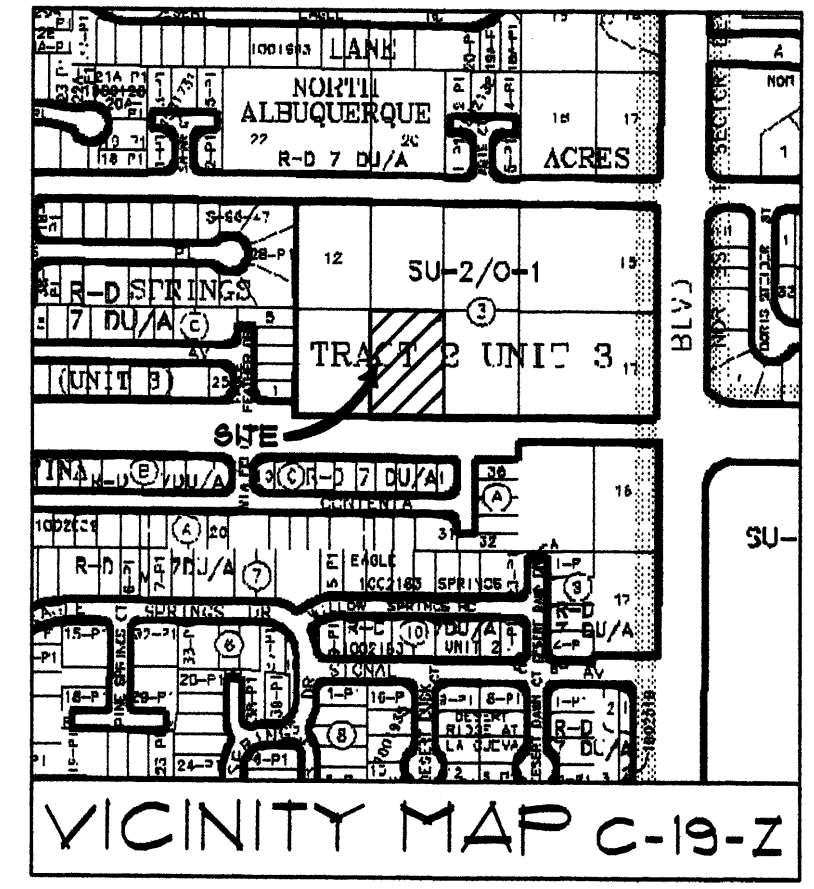
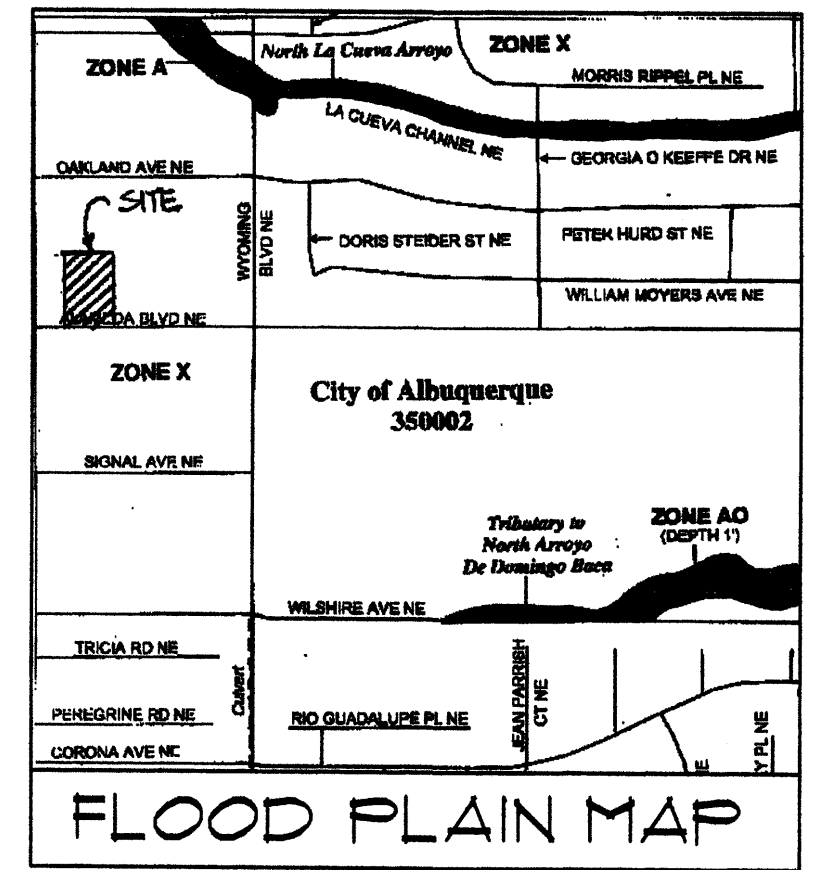
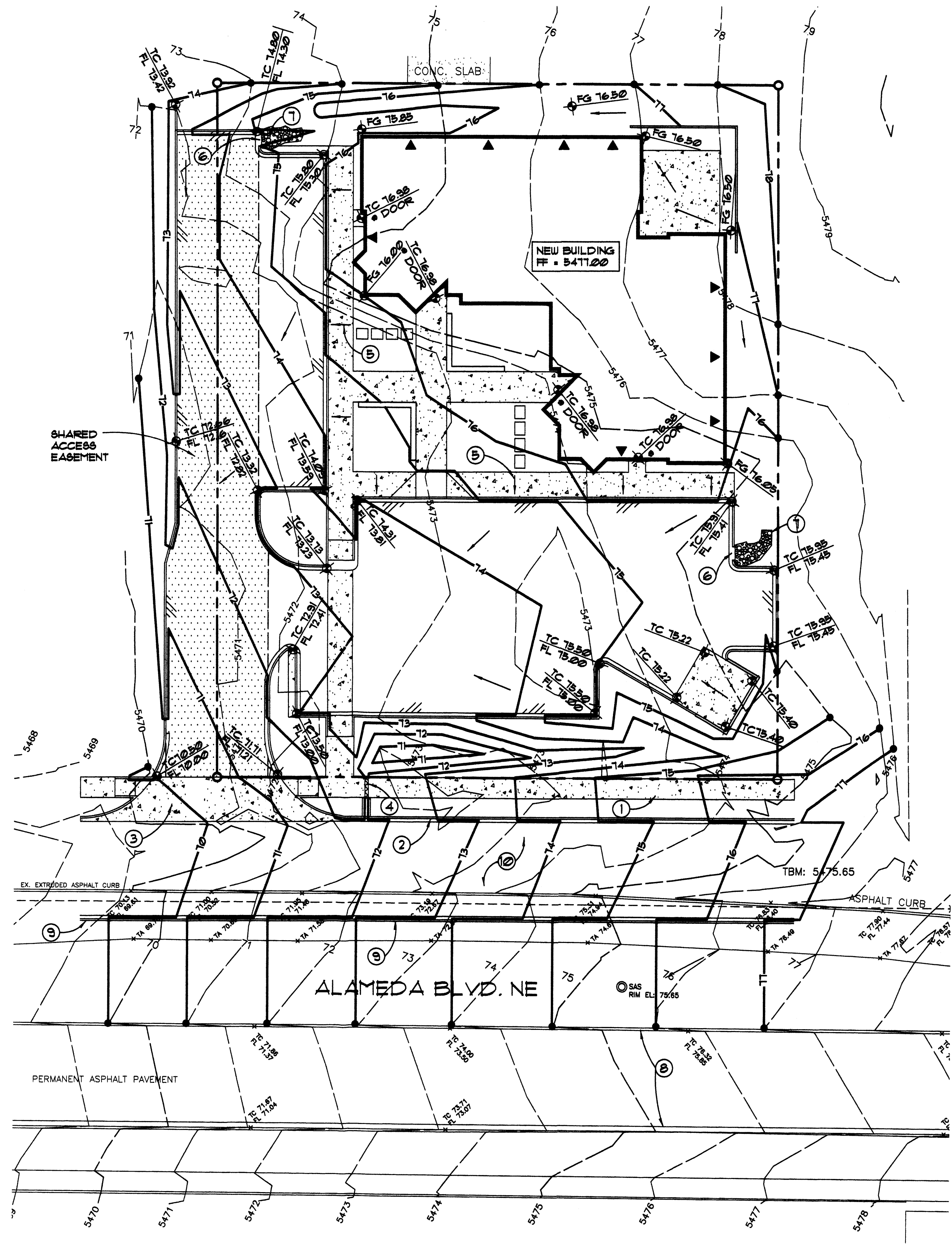
The Hilltop

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cmj@hilltoplandscaping.com

All creative ideas contained herein remain the property of The Hilltop Landscape Architects and Contractors and are protected by copyright laws. This is an original design and must not be released or copied unless applicable fees have been paid or job order placed. All plants shall be sized per American Standard for Nursery Stock.

- 5 7-11-08 rmc revised site plan
- 4 5-29-08 rmc comment & revised site plan
- 3 5-8-08 rmc comments
- 2 4-30-08 cmj comments
- 1 4-28-08 rmc comments

date: 07/15/08
sheet: L002



GENERAL NOTES

A THE SITE PROPERTY BOUNDARY REFLECTS APPROXIMATELY 32 FEET OF ADDITIONAL RIGHT OF WAY GIVEN UP BY THE OWNER ALONG ALAMEDA BLVD.

KEYED NOTES

- 1 4000 P81 CONCRETE SIDEWALK PER C.O.A. STANDARD DRAWING 2430.
- 2 4000 P81 CONCRETE CURB & GUTTER PER C.O.A. STANDARD DRAWING 2418.
- 3 4000 P81 CONCRETE DRIVE PAD PER C.O.A. STANDARD DRAWING 2425.
- 4 12" SIDEWALK CULVERT PER C.O.A. STANDARD DRAWING 2236
- 5 2% CROSS SLOPE AT SIDEWALKS
- 6 4' WIDE BREAK IN THE CURB TO ALLOW DRAINAGE INTO THE PAVED AREA.
- 7 5'x15'x8" DEEP DESILTING GRAVEL (4"-6") ROUNDOFF.
- 8 EXISTING CURB & GUTTER IN ALAMEDA BLVD.
- 9 FUTURE MEDIAN CURB TO BE INSTALLED THRU SEPARATE CONTRACT PER WORK ORDER PROCESS.
- 10 ARTERIAL PAVING & OTHER IMPROVEMENTS IN THE PUBLIC RIGHT OF WAY WILL BE CONSTRUCTED THROUGH THE C.O.A. WORK ORDER PROCESS. THE GRADES INDICATED ON THIS PLAN CONFORM & COMPLY WITH THE ESTABLISHED AND CONSTRUCTED PROFILE PREPARED BY ISAACSON & ARFFMAN IN 2003.

LEGAL DESCRIPTION

LOT NUMBERED TWENTY (20) IN BLOCK NUMBERED THREE (3) OF NORTH ALBUQUERQUE ACRES, TRACT 2, UNIT 3, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON SEPTEMBER 10, 1931 IN PLAT BOOK D1, FOLIO 20.

BENCHMARK

BASE OF ELEVATIONS: ACS MONUMENT "I-B20" LOCATED AT THE NORTHEAST CORNER OF BARSTOW STREET, NE AND MODESTO AVENUE, NE ELEVATION: 5471.79 (NAVD 88)
 BENCHMARK: 66 CORNER OF PROPERTY, #4 REBAR W/CAP "WAYJOHN 14269", ELEV. 5473.65

LEGEND

- PROPERTY LINE
- NEW BUILDING LINE
- 5473 --- EXISTING CONTOUR
- 22.89 PROPOSED SPOT ELEVATION
- x 75.31 EXISTING SPOT ELEVATION
- FLOW DIRECTION ARROW
- FF FINISH FLOOR
- TC TOP OF CONCRETE
- FG FINISHED GRADE
- NEW CONCRETE PAVING
- EXTENT OF NEW PAVING
- ▶ ROOF DRAIN LOCATION

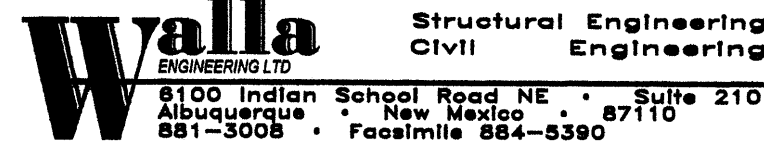
DESIGN NARRATIVE

THIS SITE IS CURRENTLY AN UNIMPROVED, 0.111 ACRE SITE THAT SLOPES FROM NORTHEAST TO SOUTHWEST WITH A TOTAL ELEVATION DIFFERENCE OF APPROXIMATELY 7 FEET. THERE IS A SMALL AMOUNT OF OFFSITE RUNOFF THAT IS CONVEYED ACROSS THE PROPERTY FROM THE EAST. SURCHARGE RUNOFF, BOTH OFFSITE AND FLOWS DEVELOPED ONSITE, CURRENTLY RUNS TO ALAMEDA BLVD. AND IS DIRECTED TO DOWNSIDE FACILITIES WHICH INCLUDE SURFACE CURB AND GUTTER IN THE ARTERIAL ROAD WEST OF THIS SITE. THE PROPOSED DEVELOPMENT WILL MAINTAIN THIS DRAINAGE SCHEME, DIRECTING SURFACE RUNOFF TO FACILITIES IN ALAMEDA BLVD. NO SIGNIFICANT RUNOFF DEVELOPED ONSITE WILL BE DIRECTED TO ADJACENT PROPERTY BUT WILL BE DEPOSITED INTO ALAMEDA BLVD. VIA THE SHARED ACCESS DRIVE ENTRANCE ON THE WEST SIDE OF THE SITE. ONSITE PONDING AT THE SOUTH END OF THE SITE WILL INTERCEPT OFFSITE FLOWS AND REDUCE DEVELOPED RUNOFF IMPACT IN ALAMEDA BLVD. THIS DESIGN COMPLIES WITH THE STREET PROFILE OF ALAMEDA BLVD. PREPARED BY ISAACSON & ARFFMAN FOR THE TREMONTINA SUBDIVISION IN 2003. RECENT DRAINAGE IMPROVEMENTS IN UTUOHING BLVD. ELIMINATE UPSTREAM FLOWS AFFECTING ALAMEDA AND THEREFORE ALLOW FOR FREE DISCHARGE FROM THE SUBJECT SITE TO FACILITIES IN ALAMEDA BLVD. THERE IS NO NEED TO EXTEND FURTHER STORM DRAIN LINES IN ALAMEDA BLVD. TO SERVICE THIS SITE.

HYDROLOGY CALCULATIONS

PRECIPITATION ZONE 3
 DESIGN STORM: (IN)

EXISTING CONDITIONS	LAND AREA (ACRE)	AREA (%)	P6 (CF8/AC)	Q (CF8)	Q (CF)	V6 (CF)	V24 (CF)	V4DAY (CF)	V10DAY (CF)
A	0.000	0%	0.66	1.81	0.00	0	0	0	0
B	0.111	100%	0.92	2.60	2.02	2.995	2.995	2.995	2.995
C	0.000	0%	1.29	3.45	0.00	0	0	0	0
D	0.000	0%	2.36	5.22	0.00	0	0	0	0
TOTALS	0.111	100%			2.02	2.995	2.995	2.995	2.995
PROPOSED CONDITIONS	LAND AREA (ACRE)	AREA (%)	P6 (CF8/AC)	Q (CF8)	Q (CF)	V6 (CF)	V24 (CF)	V4DAY (CF)	V10DAY (CF)
A	0.000	0%	0.66	1.81	0.00	0	0	0	0
B	0.216	28%	0.92	2.60	0.56	1.21	1.21	1.21	1.21
C	0.000	0%	1.29	3.45	0.00	0	0	0	0
D	0.561	72%	2.36	5.22	2.82	4.006	5.024	6.537	6.741
TOTALS	0.777	100%			3.38	5.921	6.546	7.258	7.462



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GRADING and DRAINAGE PLAN



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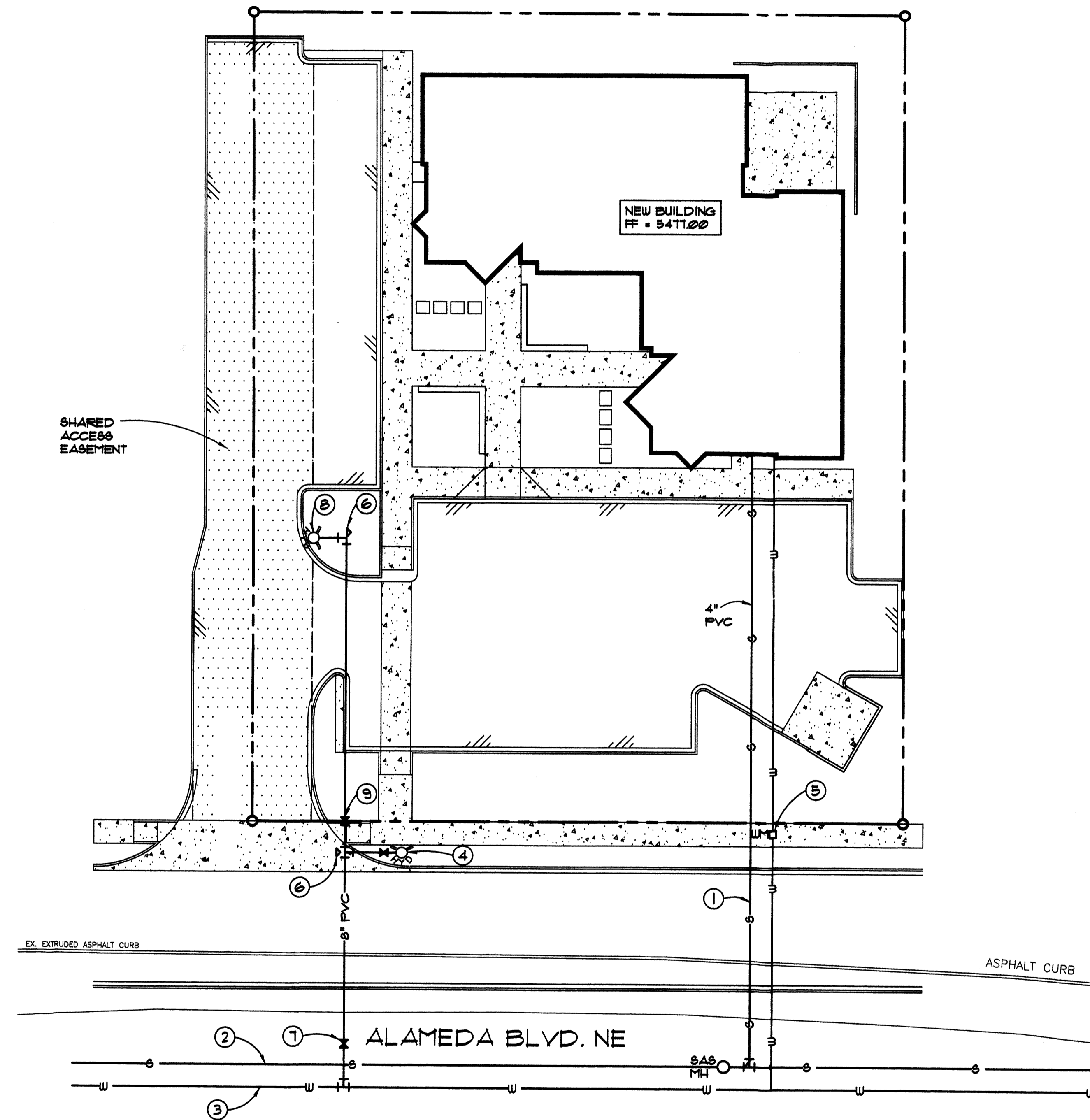
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KEYED NOTES

- 1 NEW SEWER SERVICE
- 2 EXISTING 10" SANITARY SEWER LINE
- 3 EXISTING 8" WATER LINE
- 4 NEW FIRE HYDRANT WITH 6" GATE VALVE PER C.O.A. STANDARD DRAWING #2326 AND #2333
- 5 NEW WATER METER PER C.O.A. STANDARD DRAWING #2361 AND #2362
- 6 BLOCKING AT M.J. FITTING PER C.O.A. STANDARD DRAWING #2320
- 7 8" GATE VALVE AND VALVE BOX PER C.O.A. STD. DRAWING #2340 & #2333.
- 8 NEW FIRE HYDRANT.
- 9 NEW 6" GATE VALVE.

LEGEND

- SANITARY SEWER MANHOLE
- SANITARY SEWER LINE
- WATER LINE
- WATER METER
- PROPERTY LINE



0 10' 20' 40' 60' 1 SITE UTILITIES PLAN
C 102 1" = 20'

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SITE UTILITIES PLAN



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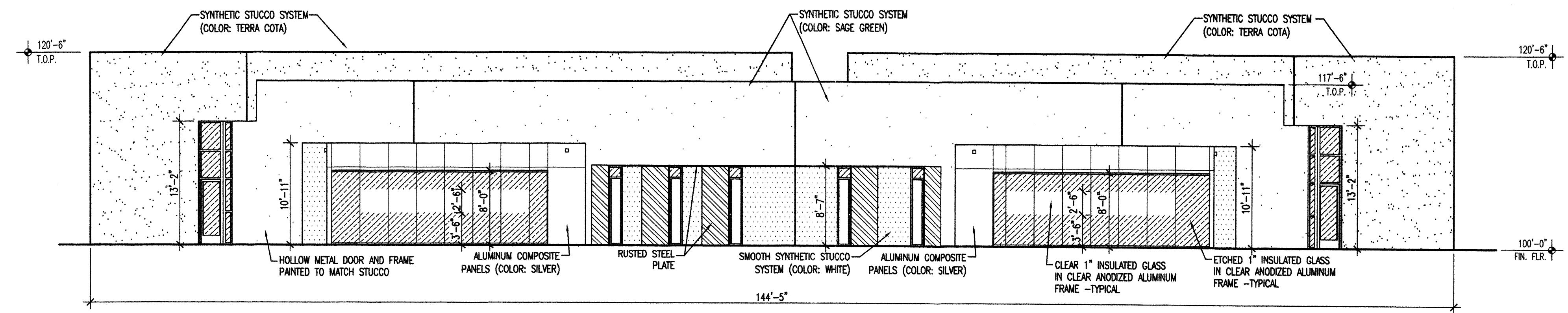
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GENERAL NOTES

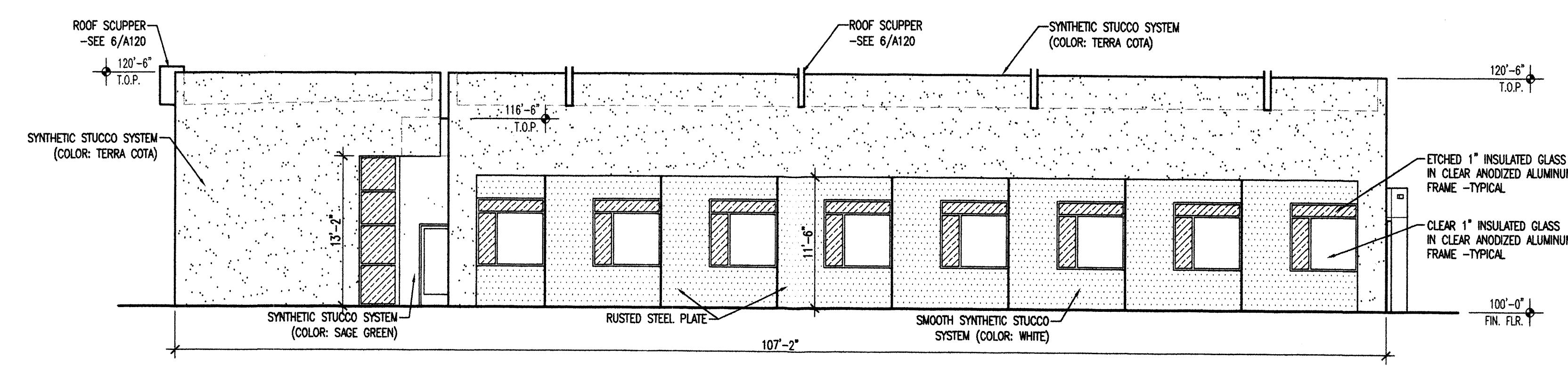
1. SEE CIVIL DRAWINGS FOR FINISH FLOOR ELEVATION.
2. T.P.O. ROOFING COLOR TO BE TAN OR NEUTRAL EARTH TONE COLOR.

GLASS LEGEND

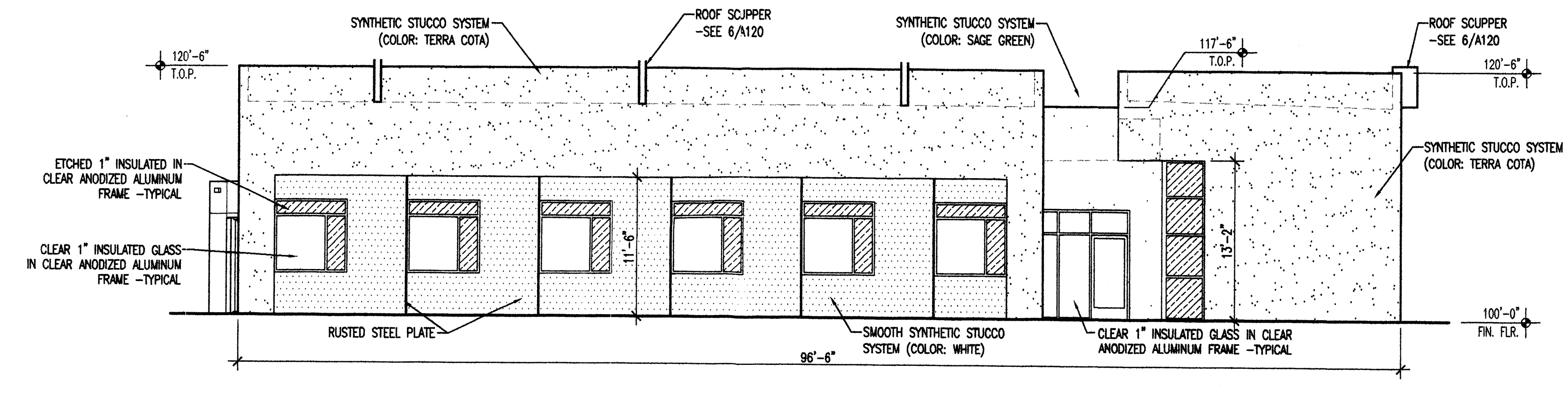
- NO HATCHING IN GLASS INDICATES A CLEAR 1" INSULATED GLASS IN A CLEAR ANODIZED ALUMINUM STOREFRONT FRAME.
- THIS HATCHING IN THE GLASS INDICATES A PORTION OR PANE OF ETCHED 1" INSULATED GLASS IN A CLEAR ANODIZED ALUMINUM STOREFRONT FRAME.



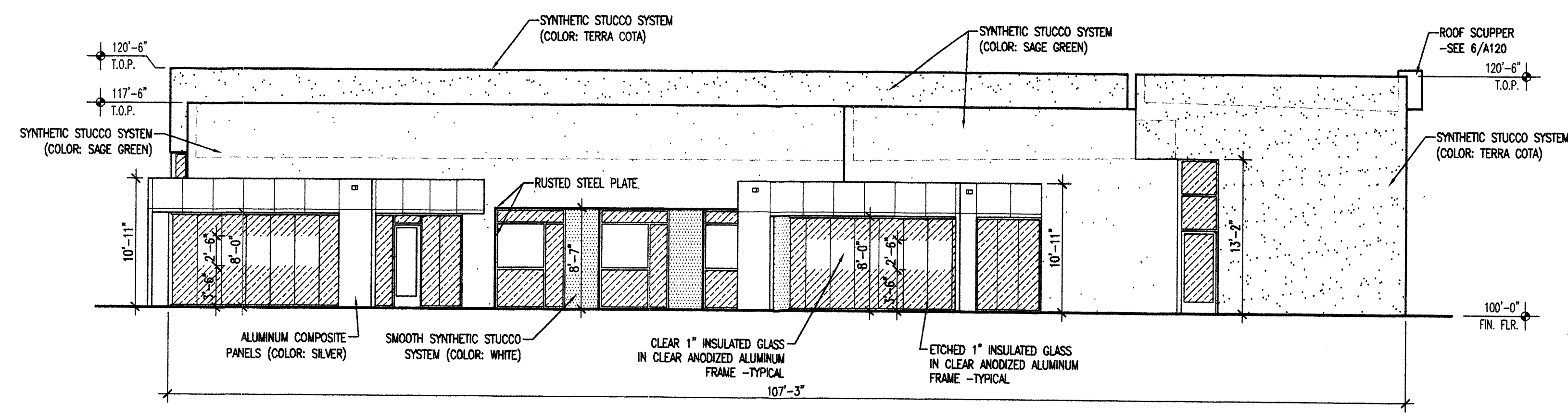
5 | SOUTH WEST ELEVATION
 A200 1/8" = 1'-0"
 0 4' 8' 16' 24'



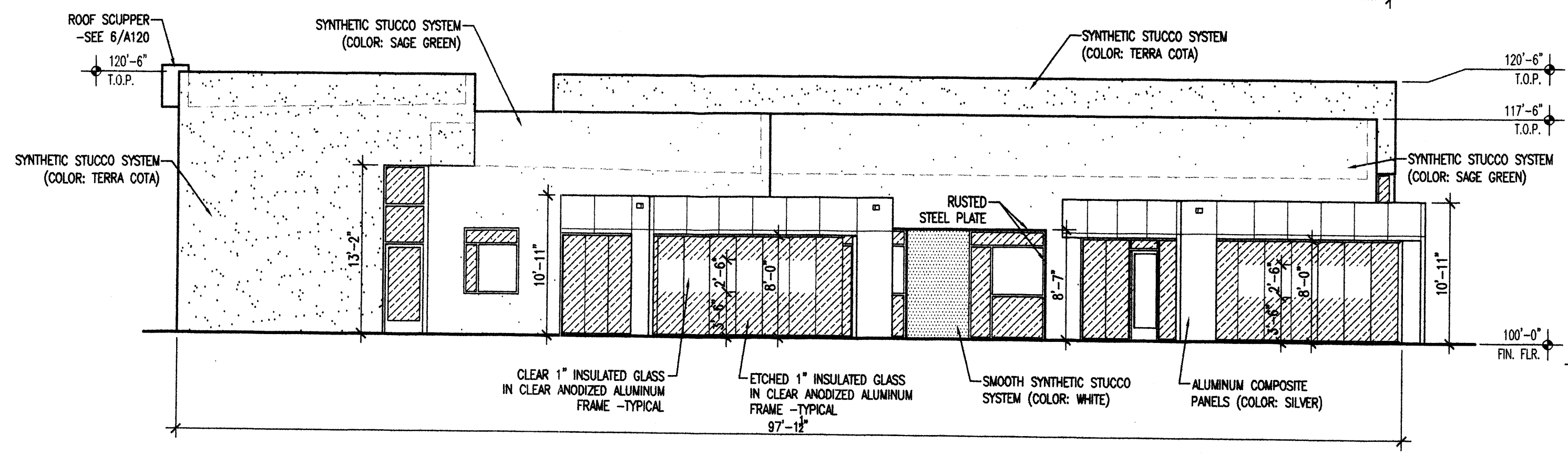
4 | NORTH ELEVATION
 A200 1/8" = 1'-0"
 0 4' 8' 16' 24'



3 | EAST ELEVATION
 A200 1/8" = 1'-0"
 0 4' 8' 16' 24'



2 | SOUTH ELEVATION
 A200 1/8" = 1'-0"
 0 4' 8' 16' 24'



1 | WEST ELEVATION
 A200 1/8" = 1'-0"
 0 4' 8' 16' 24'

NEW OFFICES FOR:
 DR. JAMES TWOHIG D.D.S.
 DR. MARY ROSE TWOHIG D.D.S.
 7441 ALAMEDA BLVD. NE
 ALBUQUERQUE, NEW MEXICO

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BUILDING ELEVATIONS



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