

DRB CASE ACTION LOG - BLUE SHEET

- Preliminary/Final Plat [FP]
- Site Plan - Subdivision [SPS]
- Site Plan - Building Permit [SBP]

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

Site Plans: It is the responsibility of the applicant/agent/developer/owner to insert the DRB approved Site Plan for Subdivision and/or Site Plan for Building Permit in each copy of building permit plansets. If the building permit plans have been submitted prior to the Site Plan for Subdivision and/or Site Plan for Building Permit being signed-off, then it is the responsibility of the applicant/agent/developer/owner to insert a copy of the signed-off Site Plan for Subdivision and/or Site Plan for Building Permit in each copy of the building permit plansets.

Project #: 1007316

Application #: 13DRB-70675

Project Name: HUNT SPECTRUM DEVELOPMENT SITE

Agent: SURV-TEK INC.

Phone #:

Your request was approved on 10-27-13 by the DRB with delegation of signature(s) to the following departments - outstanding comments to be addressed

TRANSPORTATION:

ABCWUA:

CITY ENGINEER / AMAFCA:

PARKS / CIP:

PLANNING (Last to sign): Reville Boswell 15 day appeal

PLATS:

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
- Tax printout from the County Assessor.
- County Treasurer's signature must be obtained prior to the recording of the plat with County Clerk.

Property Management's signature must be obtained prior to Planning Department's signature.


AGIS DXF File approval required.

Copy of recorded plat for Planning.

ALL SITE PLANS:


3 copies of the approved site plan. Include all pages.

3. **Project# 1007316**
13DRB-70685 MAJOR – SITE
DEVELOPMENT PLAN FOR SUBDIVISION


13DRB-70675 MINOR-PRELLIMINARY/
FINAL PLAT 

DEKKER PERICH SABATINI & SURV-TEK INC agents for TARGET CORP request the referenced/above actions for Tract A-1, **HUNT-SPECTRUM DEVELOPMENT SITE** zoned SU-3 FOR MU-UPT, located on the southeast corner of INDIAN SCHOOL RD NE and LOUISIANA BLVD NE containing approximately 7.3572 acres. (J-19) [plat deferred from 09/25/2013, 10/16/13] **THE SITE DEVELOPMENT PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING FOR LABELING OF PRIVATE FIRELINE AND FOR REVISION TO DECLARATION OF EASEMENTS OR EASEMENTS ON THE PLAT. THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH THE CONDITION THAT THE LOT LINE BE SHIFTED TO INCLUDE THE EXISTING PRIVATE STORM DRAIN.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

4. **Project# 1009542**
13DRB-70694 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL 

WILSON AND COMPANY INC agent(s) for CITY OF ALBUQUERQUE/DMD request(s) the above action(s) for all or a portion of Lot(s) BA-1A, 8A-2A & 8A-1, PORTION OF LOTS 24-39, Block(s) 6, **TRACTION PARK & CITY ELECTIRC ADDITION & WESTPARK ADDITION** zoned C-2, located on INTERSECTION OF NEW YORK AND CENTRAL SE containing approximately 2.7094 acre(s). (J-12) [deferred from 10/9/13] **DEFERRED TO 10/30/13.**

5. **Project# 1008630**
13DRB-70682 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL 

HUITT-ZOLLARS, INC., agent(s) for CITY OF ALBUQUERQUE request(s) the above action(s) for all or a portion of Tract(s) C, **MANZANO MESA** zoned C-2, located on ON JUAN TABO SE BETWEEN SOUTHERN BLVD AND HORSESHOE TRL SE containing approximately 3 acre(s). (L-21) [deferred from 9/25/13] **DEFERRED TO 11/6/13.**

**NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING**

6. **Project# 1009853**
13DRB-70713 SKETCH PLAT REVIEW AND
COMMENT 

BILLY BACA request(s) the above action(s) for all or a portion of Lot(s) 6, **GARDEN ACRES** zoned R-1, located on GRIEGOS AND 14TH ST (F-14) **THE SKETCH PLAT WAS REVIEWED AND COMMENTS WERE PROVIDED.**



DEVELOPMENT REVIEW BOARD

Action Sheet

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

October 16, 2013, 9:00 a.m.

MEMBERS:


Jack Cloud, DRB Chair
Angela Gomez, Administrative Assistant

Kristal Metro, Transportation Development
Curtis Cherne, City Engineer

Allan Porter, ABCWUA
Carol Dumont, Parks & Recreation

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project# 1005280**
13DRB-70686 MAJOR - 2YR
SUBDIVISION IMPROVEMENT
AGREEMENT EXTENSION (2YR SIA)


ISAACSON AND ARFMAN PA agents for PETERSON INV-MCMAHON, LLC request the referenced/ above action for **MCMAHON MARKETPLACE** zoned SU-1/ C-1 Uses, located On the southeast corner of UNSER BLVD NW and MCMAHON BLVD NW containing approximately 12.2230 acre(s). (A-11) **THE ONE YEAR EXTENSION OF THE SUBDIVISION IMPROVEMENT AGREEMENT (SIA) WAS APPROVED**

2. **Project# 1006505**
13DRB-70681 MAJOR - 2YR
SUBDIVISION IMPROVEMENT
AGREEMENT EXTENSION (2YR SIA)

APPLIED ENGINEERING AND SURVEYING INC agents for EDDIE CORLEY, JR AND SR, LLC request the referenced/above action for Lot 17A, Block 9, Tract A, Unit B **NORTH ALBUQUERQUE ACRES** zoned SU-2/ IP/ NC, located on the north side of EAGLE ROCK AVE NE between I-25/ PAN AMERICAN FREEWAY NE and SAN PEDRO BLVD NE containing approximately 3.9321 acre(s). (C-18)**DEFERRED TO 10/30/13.**

3. **Project# 1007316**
13DRB-70685 MAJOR – SITE
DEVELOPM,ENT PLAN FOR
SUBDIVISION

13DRB-70675 MINOR-PRELLIMINARY/
FINAL PLAT

DEKKER PERICH SABATINI & SURV-TEK INC agents for TARGET CORP request the referenced/ above actions for Tract A-1, **HUNT-SPECTRUM DEVELOPMENT SITE** zoned SU-3 FOR MU-UPT, located on the southeast corner of INDIAN SCHOOL RD NE and LOUISIANA BLVD NE containing approximately 7.3572 acres. (J-19) *[plat deferred from 09/25/2013]* **DEFERRED TO 10/23/13.**

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
November 7, 2012
DRB Comments**


ITEM # 7

PROJECT # 1007316 APPLICATION # 12-70350


RE: Tract A1, Hunt-Spectrum Development Site

Refer to Site Development Plan for Subdivision checklist; for this site, design regulations are not just encouraged but will be required, to correspond to the design regulations of the Uptown Sector Development Plan. Where any proposed lot does not meet the requirements onsite, easements may be required.


Jack Cloud, DRB Chairman
924-3880/ jcloud@cabq.gov

4. **Project# 1002650**
12DRB-70024 EPC APPROVED SDP
FOR BUILD PERMIT
12DRB-70025 EPC APPROVED SDP
FOR SUBDIVISION
12DRB-70029 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL 


BOHANNAN HUSTON, INC, and DEKKER PERICH SABATINI agent(s) for SOUTH UNSER, LLC request(s) the referenced/ above action(s) for all or a portion of Tract A, **VIDAS SUBDIVISION** zoned C-2 (SC), located on the west side of SAN MATEO BLVD NE between CUTLER AVE NE and PROSPECT AVE NE containing approximately 5.58 acre(s). (H-17)[*Deferred from 2/8/12,2/15/12*] **THE SITE DEVELOPMENT PLAN FOR SUBDIVISION WAS APPROVED. THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO CITY ENGINEER FOR THE SIA AND TO PLANNING. THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**

5. **Project# 1007316**
11DRB-70284 AMENDED SITE
DEVELOPMENT PLAN FOR
BUILDING PERMIT 

DEKKER/PERICH/SABATINI agent(s) for HUNT UPTOWN II, LLC request(s) the referenced/ above action(s) Tract A, **HUNT-SPECTRUM DEVELOPMENT SITE** zoned SU-3 MU-UPT, located on the south side of INDIAN SCHOOL RD NE between LOUISIANA BLVD NE and UPTOWN LOOP RD NE containing approximately 7.467 acre(s). (J-19)) [*Deferred from 2/15/12*]

6. **Project# 1003859**
12DRB-70026 EPC APPROVED SDP
FOR BUILD PERMIT 

CONSENSUS PLANNING agent(s) for US NEW MEXICO FEDERAL CREDIT UNION request(s) the above action(s) for all or a portion of Tract(s) 5, **PLAT OF NORTH NADALUCIA AT LA LUZ** zoned SU-1 FOR O-1 INCL. BANK, located on COORS BETWEEN LEARNING AND MONTANO containing approximately 3.38 acre(s). (E-12)) [*Deferred from 2/8/12, 2/15/12*] **DEFERRED TO 3/7/12 AT THE AGENT'S REQUEST.**

7. **Project# 1001206**
12DRB-70002 MINOR - SDP FOR
BUILDING PERMIT 

TARA ROTHERWELL-CLARK agent(s) for WELLS FARGO CORPORATE PROPERTIES request(s) the above action(s) for all or a portion of Lot(s) 3G2, **BLACK RANCH**, zoned SU-1, located on SE CORNER OF COORS AND IRVING containing approximately .578 acre(s). (C-13) [*Deferred from 1/11/12, 1/25/12, 2/1/12, 2/8/12, 2/15/12*] **DEFERRED TO 2/29/12 AT THE AGENT'S REQUEST.**



DEVELOPMENT REVIEW BOARD

Action Sheet

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

January 18, 2012 9:00 AM

MEMBERS:

Jack Cloud, DRB Chairman, Planning Department


Angela Gomez, Administrative Assistant

**Kristal Metro, P.E., Transportation Development
Curtis Cherne, P.E., Hydrology**


**Allan Porter, P.E., Albuquerque/ Bernalillo Co.WUA
Carol Dumont, Parks/Municipal Development**

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

- 1. Project# 1003359**
11DRB-70362 MAJOR - SDP FOR
BUILDING PERMIT 
DAC ENTERPRISES, INC agent(s) for ALEEM KASSAM request(s) the referenced/ above action(s) for all or a portion of Lot(s) 8-10, Block 26, **NORTH ALBUQUERQUE ACRES Tract A Unit B**, zoned IP/SU-2 NC, located between EAGLE ROCK AVE NE and MODESTO AVE NE, between SAN PEDRO DR NE and LOUISIANA BLVD NE containing approximately 2.6853 acre(s). (C-18)**DEFERRED TO 2/8/12 AT THE AGENT'S REQUEST.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND
MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

- 2. Project# 1007316**
12DRB-70007 AMENDED SDP FOR BP

LAWRENCE A CATES AND ASSOCIATES, LLP agent(s) for HUNT UPTOWN II, LLC request(s) the above action(s) for all or a portion of Tract(s) A, **HUNT-SPECTRUM DEVELOPMENT SITE** zoned SU-3 FOR MU-UPT, located on INDIAN SCHOOL RD NE BETWEEN LOUISIANA BLVD NE AND UPTOWN LOOP RD NE containing approximately 7.467 acre(s). (J-19) **THE AMENDED SITE PLAN FOR BUILDING PERMIT WAS APPROVED.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

HAZING DATE: 1-18-12
(ASB)

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): DEKKER/PERICH/SABATINI PHONE: 505-761-9700
 ADDRESS: 7601 JEFFERSON ST NE FAX: 505-761-4222
 CITY: ALBUQUERQUE STATE NM ZIP 87109 E-MAIL: chrisg@dpsdesign.org

APPLICANT: TARGET PHONE: 612-761-6051
 ADDRESS: 1000 NICOLLET MALL, TPN-12H FAX: _____
 CITY: MINNEAPOLIS STATE MN ZIP 55403 E-MAIL: kim.hayden@target.com

Proprietary interest in site: OWNER List all owners: _____

DESCRIPTION OF REQUEST: SITE DEVELOPMENT PLAN FOR SUBDIVISION AND RE-PLAT; SUBDIVIDE THE PROPERTY FROM (1) LOT TO (3) LOTS

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. TRACT A OF HUNT-SPECTRUM DEVELOPMENT SITE Block: _____ Unit: _____
 Subdiv/Addn/TBKA: _____
 Existing Zoning: SU-3 FOR MU-UPT Proposed zoning: SU-3 FOR MU-UPT MRGCD Map No _____
 Zone Atlas page(s): J-19-Z UPC Code: 1011905802849920414

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): 1007316, EPC Z-98-123, 02DRB-0178, 1002337, 1002202, 11DRB-70284, 1008660, 11/17/12 SKETCH PLAT 12-70350

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO
 No. of existing lots: 1 No. of proposed lots: 3 Total area of site (acres): 7.3572
 LOCATION OF PROPERTY BY STREETS: On or Near: INDIAN SCHOOL NE
 Between: LOUISIANA BLVD and UPTOWN LOOP ROAD

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: 11/7/12

SIGNATURE Channing DATE 9-10-13
 (Print) Christopher R. Gunning Applicant: Agent:

FOR OFFICIAL USE ONLY

Form revised 4/07

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers

13 - DRB-70685

Action

SPS
CMF
ADV

S.F.

Fees

\$ 385.00

\$ 20.00

\$ 75.00

\$ _____

\$ _____

Total

\$ 480.00

Hearing date Oct. 16, 2013

9-19-13

Planner signature / date

Project # 1007316

FORM P(2): SITE PLAN REVIEW - D.R.B. PUBLIC HEARING

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB15)** **Maximum Size: 24" x 36"**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Subdivision Checklist
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- DRB hearings are approximately 30 DAYS after the filing deadline. Bring the original to the meeting.
Your attendance is required.

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB14)** **Maximum Size: 24" x 36"**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) **24 copies** for DRB public hearings
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- D. R. B. hearings are approximately 30 DAYS after the filing deadline. Bring the original to the meeting.
Your attendance is required.

- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION or BUILDING PERMIT (DRB10)** **Maximum Size: 24" x 36"**
- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) **24 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- D. R. B. hearings are approximately 30 DAYS after the filing deadline. Bring the original to the meeting.
Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Chris Gunning for DRB/15.
 Applicant name (print)
Chris Gunning
 Applicant signature / date
9/10/13



Form revised October 2007

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
13 - DRB - 70685

[Signature]
 Planner signature / date
9-19-13

Project # 1007316

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tear out less easily.

4. TIME

Signs must be posted from Oct. 1, 2013 To Oct. 16, 2013

5. REMOVAL

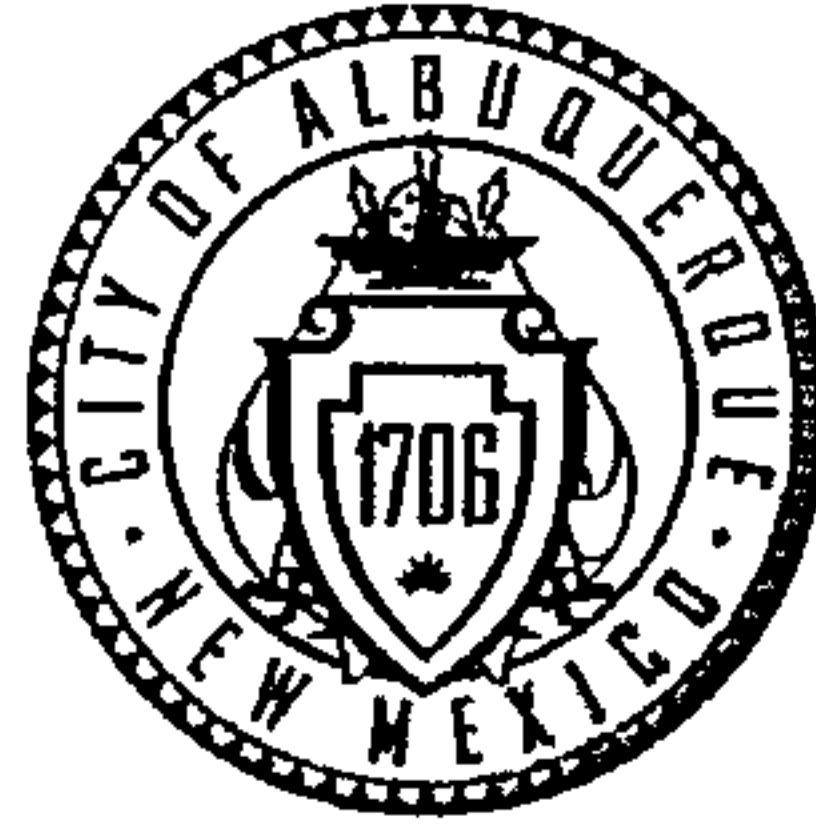
- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

Channing
(Applicant or Agent) 9/19/13
(Date)

I issued 3 signs for this application, 9-19-13 (Date) [Signature] (Staff Member)

DRB PROJECT NUMBER: 1007316



INTER-OFFICE MEMORANDUM

COMMENTING AGENCIES

DEBBIE BAUMAN -	Transportation Development
SHABIH RIZVI -	Transit & Parking Department
KENDRA WATKINS/	
ANDREW GINGERICH -	Council of Governments
LYNN MAZUR -	AMAFCA
STEVE SINK -	APD Crime Prevention
SUSANNAH ABBEY -	Open Space Division
ANTONIO CHINCHILLA -	Fire Department
DAVID KILPATRICK -	Zoning Enforcement Inspector
STEPHANI WINKLEPLECK -	Neighborhood Coordination
DANIEL ARAGON -	Public Service Company of New Mexico
PATRICK SANCHEZ -	New Mexico Gas Company
APRIL WINTERS -	Albuquerque Public Schools
MICHELE RAMIREZ -	CenturyLink
MIKE MORTUS -	Comcast Cable
RAY GOMEZ -	Middle Rio Grande
	Conservancy District (MRGCD)
SUZANNE BUSCH -	Environmental Health

Your comments on the following case(s) are requested. Board hearing date:

PROJECT # 1007316

Wednesday, October 16, 2013

Comments must be received by:

Wednesday, October 9, 2013

If comments are not received by this date, "no comments" will be listed on the staff report. Attached are copies of the requests. **If you have any questions, please contact me at 924-3946 or agomez@cabq.gov**



Supplemental form

SUBDIVISION	S	Z	ZONING & PLANNING
<input type="checkbox"/> Major Subdivision action			<input type="checkbox"/> Annexation
<input type="checkbox"/> Minor Subdivision action			<input type="checkbox"/> County Submittal
<input type="checkbox"/> Vacation	V		<input type="checkbox"/> EPC Submittal
<input type="checkbox"/> Variance (Non-Zoning)			<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)
SITE DEVELOPMENT PLAN	P		<input type="checkbox"/> Sector Plan (Phase I, II, III)
<input checked="" type="checkbox"/> for Subdivision			<input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan
<input type="checkbox"/> for Building Permit			<input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)
<input type="checkbox"/> Administrative Amendment (AA)			<input type="checkbox"/> Street Name Change (Local & Collector)
<input type="checkbox"/> IP Master Development Plan	D		
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	L	A	APPEAL / PROTEST of...
STORM DRAINAGE (Form D)			<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff.
<input type="checkbox"/> Storm Drainage Cost Allocation Plan			<input type="checkbox"/> ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): DEKKER/PERICH/SABATINI PHONE: 505-761-9700
 ADDRESS: 7601 JEFFERSON ST NE FAX: 505-761-4222
 CITY: ALBUQUERQUE STATE NM ZIP 87109 E-MAIL: chrisg@dpsdesign.org

APPLICANT: TARGET PHONE: 612-761-6051
 ADDRESS: 1000 NICOLLET MALL, TPN-12H FAX: _____
 CITY: MINNEAPOLIS STATE MN ZIP 55403 E-MAIL: kim.hayden@target.com

Proprietary interest in site: OWNER List all owners: _____

DESCRIPTION OF REQUEST: SITE DEVELOPMENT PLAN FOR SUBDIVISION AND RE-PLAT; SUBDIVIDE THE PROPERTY FROM (1) LOT TO (3) LOTS

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. TRACT A OF HUNT-SPECTRUM DEVELOPMENT SITE Block: _____ Unit: _____
 Subdiv/Addn/TBKA: _____
 Existing Zoning SU-3 FOR MU-UPT Proposed zoning: SU-3 FOR MU-UPT MRGCD Map No _____
 Zone Atlas page(s): J-19-Z UPC Code: 1011905802849920414

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.): 1007316
EPC Z-98-123, 02DRB-0178, 1002337, 1002202, 11DRB-70284, 1008660, 11/17/12 SKETCH PLAT 12-70350

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO
 No. of existing lots: 1 No. of proposed lots: 3 Total area of site (acres): 7.3572
 LOCATION OF PROPERTY BY STREETS: On or Near: INDIAN SCHOOL NE
 Between: LOUISIANA BLVD and UPTOWN LOOP ROAD

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review 11/7/12

SIGNATURE Chunning DATE 9-10-13
 (Print) Christopher R. Chunning Applicant: Agent:

FOR OFFICIAL USE ONLY

<input checked="" type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	SF	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>13 - DRB-70685</u>	<u>SPS</u>		<u>\$385.00</u>
<input checked="" type="checkbox"/> All fees have been collected		<u>CMF</u>		<u>\$20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned		<u>ADV</u>		<u>\$75.00</u>
<input checked="" type="checkbox"/> AGIS copy has been sent				\$
<input type="checkbox"/> Case history #s are listed				\$
<input type="checkbox"/> Site is within 1000ft of a landfill				\$
<input type="checkbox"/> F.H.D.P. density bonus				\$
<input type="checkbox"/> F.H.D.P. fee rebate				\$
	Hearing date <u>Oct. 16, 2013</u>			Total <u>\$480.00</u>
<u>[Signature]</u>	<u>9-19-13</u>	Project # <u>1007316</u>		
	Planner signature / date			

Form revised 4/07

FORM P(2): SITE PLAN REVIEW - D.R.B. PUBLIC HEARING

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB15)** Maximum Size: 24" x 36"
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 24 copies
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Subdivision Checklist
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- DRB hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.
Your attendance is required.

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB14)** Maximum Size: 24" x 36"
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 24 copies
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) 24 copies for DRB public hearings
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- D. R. B. hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.
Your attendance is required.

- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION or BUILDING PERMIT (DRB10)** Maximum Size: 24" x 36"
- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 24 copies
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) 24 copies
 - DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) 24 copies
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- D. R. B. hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.
Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Chris Gunning for D/P/S.
 Applicant name (print)
Chris Gunning
 Applicant signature / date
 9/10/13



Form revised October 2007

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
13 - DRB - 70685

[Signature]
 Planner signature / date
 9-19-13
 Project # 1007316

August 15, 2013

Mr. Jack Cloud
Chairman, Development Review Board
City of Albuquerque Planning Department
600 2nd St. NW
Albuquerque, NM 87103

Re: Reason for Request - Target at Uptown
Request for Site Development Plan for Subdivision & Re-plat
Legal Description: Tract A of Hunt – Spectrum Development Site
City Planning Project # 1007316

Dear Mr. Cloud:

We are acting as agent for Target, owners of the subject property, for the actions referenced above.

A Site Development Plan for Building Permit (SPBP) was reviewed and approved for the subject property approximately one and a half years ago (11DRB-70284). Since then the Target store has been constructed, and the Owners now wish to subdivide the property to prepare for development of the pad sites at the southwest and northeast corners.

We submitted for sketch plat review and appeared before DRB on November 7, 2012 (12DRB-70350), where we received direction to submit for a Site Development Plan for Subdivision (SPS) per the USDP process, and to submit for re-plat concurrently. You mentioned at the hearing that the usual URT steps would not be required, but asked that we notify Carmen Marrone of the Planning Department when we submit to DRB. We have copied Carmen on this letter to make her aware of this request.

Upon approval of the SPS and re-plat, we will submit for an Administrative Amendment to the SPBP to add the lot lines to that document.

If you have any questions or need clarification of anything contained herein, please contact Sheri Tollefson or me.

Sincerely,

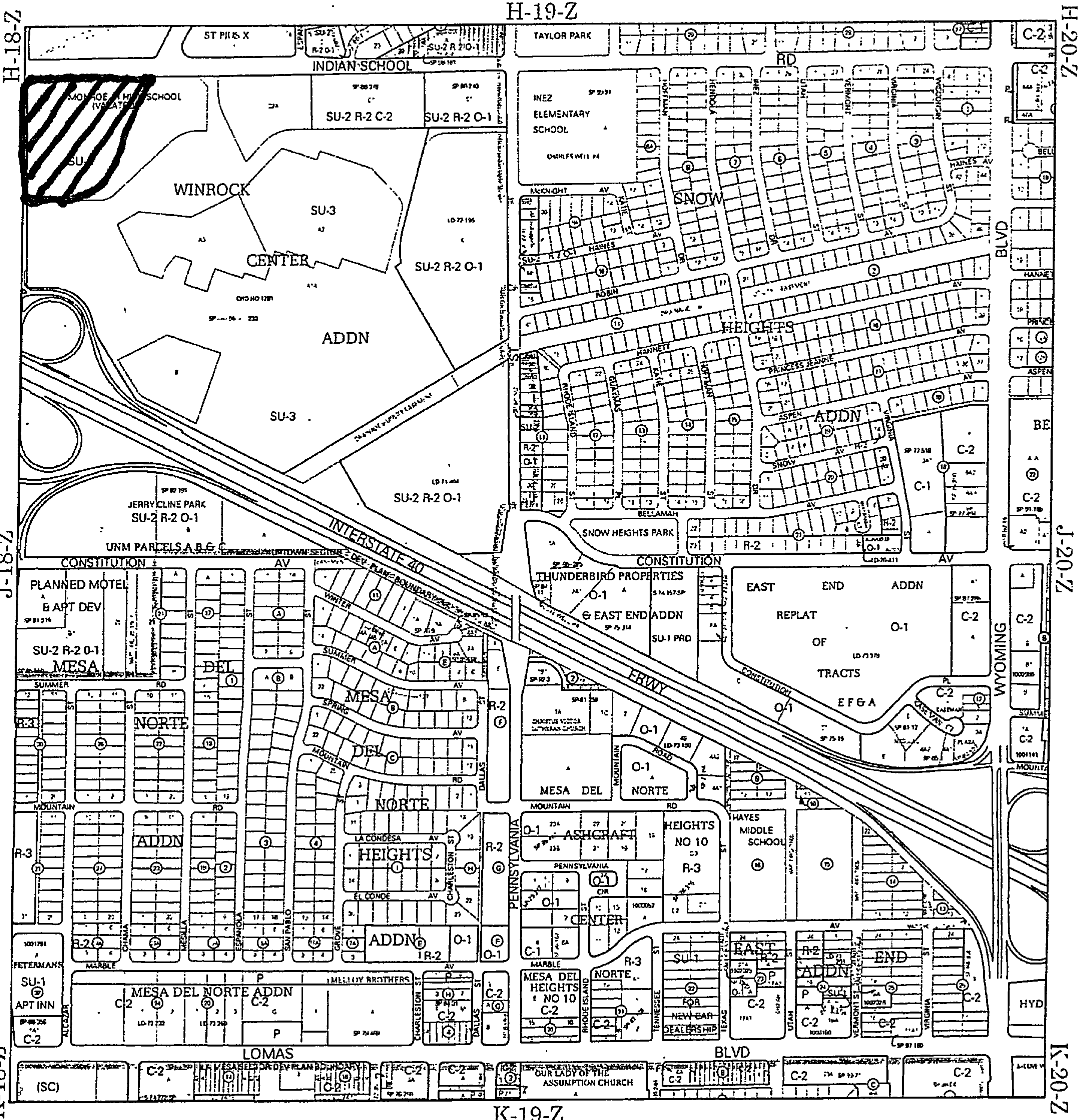
Dekker/Perich/Sabatini
Agent for Target



Christopher R. Gunning, AIA, LEED AP
Principal

CC: Carmen Marrone, CoA Planning Department

Attachments

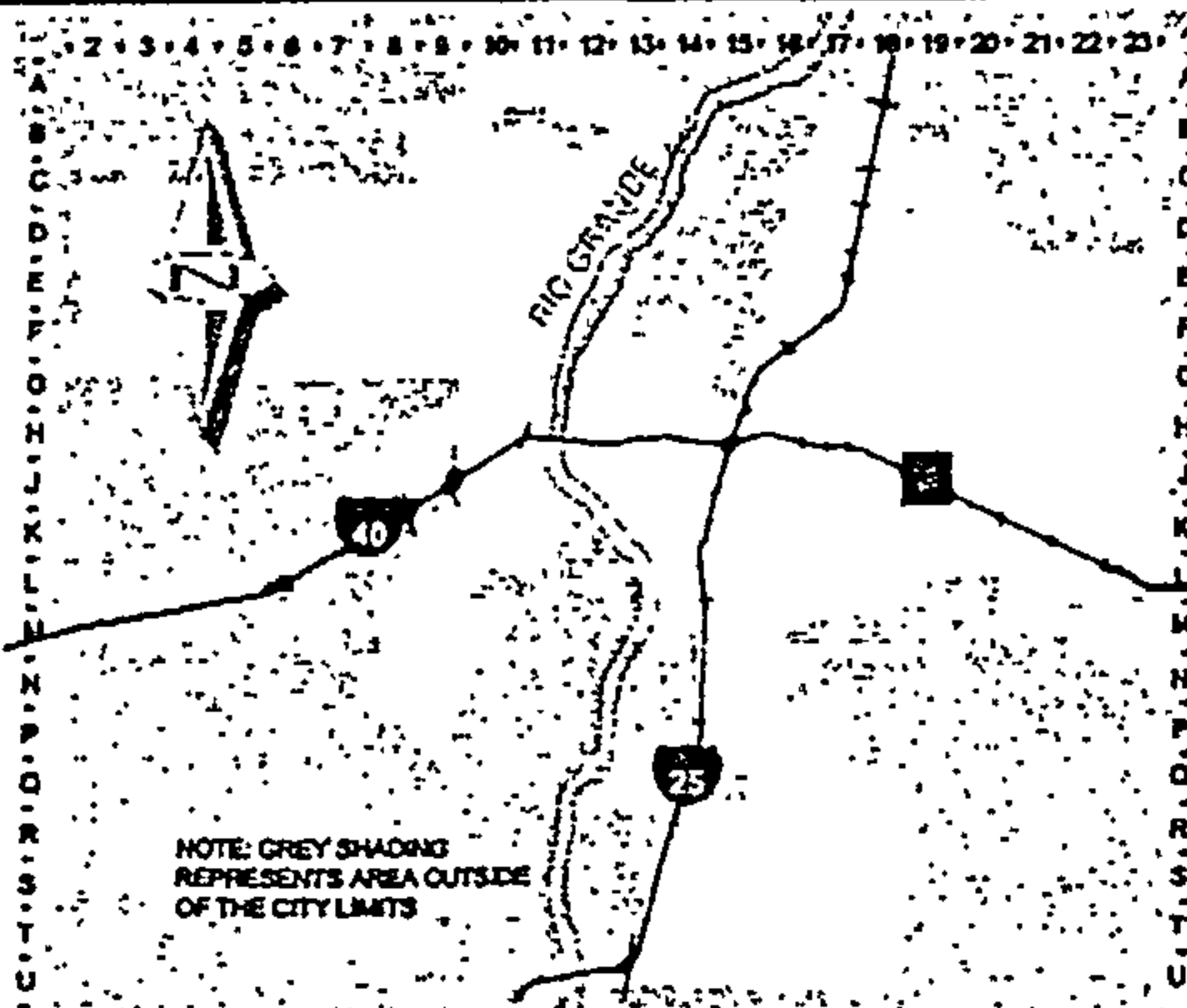
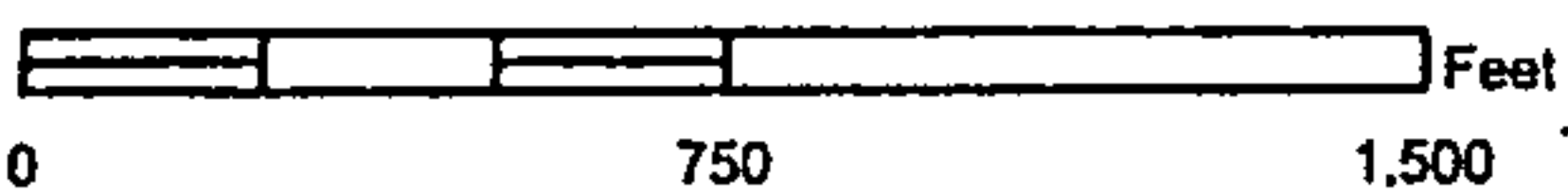


Zone Atlas Page: J-19-Z

Map amended through: Aug 06, 2004

Selected Symbols

- Unincorporated Areas
- Sector Plan Boundaries
- Parcel Boundaries
- Easement Lines
- Freeway Lanes
- Jurisdictional Boundaries
- Westgate Wall
- Escarpment
- Grant Boundaries
- Petroglyph
- H-1 Buffer Zone
- Arroyos
- LDN Noise Level
- Airport Clearance Zone
- Design Overlay Zones



THREE HUNDRED YEARS
1706 - 2006
ALBUQUERQUE
Haciendo Historia
AGIS
Albuquerque Geographic Information System
PLANNING DEPARTMENT
© Copyright 2004

SITE DEVELOPMENT PLAN FOR SUBDIVISION CHECKLIST

This checklist will be used by the Planning Department to verify the completeness of site plans submitted for review by the Environmental Planning Commission (EPC) and Development Review Board (DRB). Since development proposals vary in type and scale, there may be application requirements that are not included here and others that may not be necessary. Nonetheless, it is the applicant's responsibility to provide a complete submittal. The EPC and DRB will not consider incomplete submittals. Incomplete submittals run the risk of not being scheduled for hearing until they are made complete. Site development plans should ordinarily be composed of the following plan sheets:

1. **Site Plan** (required)
2. **Conceptual Utility Plan** (required)
3. **Design requirements for future site development plans for building permit** (optional, but STRONGLY recommended)

The following checklist describes the minimum information necessary for each sheet. Most of the site plan requirements for *Sheet #1* are taken from the definition for "SITE DEVELOPMENT PLAN For Subdivision" as outlined in the Zoning Code (§ 14-16-1-5). **The Applicant shall include and check off all items shown on the site plan or write in "n/a" if not applicable.**

NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36".

SHEET # 1 – SITE PLAN (Required)

1. Scale: at least 1" = 100'
2. Bar Scale
3. North Arrow
4. Scaled Vicinity Map
5. The Site (property lines)
6. Proposed Use(s) and List of Applicable Plans
7. Pedestrian Ingress and Egress (Access)
8. Vehicular Ingress and Egress (Access)
9. Any Internal Circulation Requirements
10. For each lot:
 - a. Maximum Building Height
 - b. Minimum Building Setback
 - c. Maximum Total Dwelling Units and / or
 - d. Maximum Floor Area Ratio (F.A.R.) for Nonresidential Uses

Accompanying Material

- A. Fee payment
- B. Complete application
- C. Written Summary of Request including a narrative describing compliance with applicable plans and/or zoning requirements per §14-16-3-11(B) of the Comprehensive Zoning Code.
- D. 8-1/2" x 11" reductions



City of Albuquerque
P.O. Box 1293 Albuquerque, New Mexico 87103
Planning Department
Suzanne Lubar, Director

Richard J. Berry, Mayor
August 21, 2013

Robert J. Perry, CAO

**SUBJECT: ALBUQUERQUE ARCHAEOLOGICAL ORDINANCE—Compliance
Documentation**

Project Number(s): 1007316
Case Number(s):
Agent: Dekker/Perich/Sabatini (D/P/S)
Applicant: Target Corporation
Legal Description: Tract A-1, Replat of Tract A, Hunt-Spectrum
Development Site
Zoning: SU-3
Acreage: 7.36 ac
Zone Atlas Page: J-19

CERTIFICATE OF NO EFFECT: Yes No

CERTIFICATE OF APPROVAL: Yes No

TREATMENT PLAN REVIEW:
DISCOVERY:

SUPPORTING DOCUMENTATION:
SITE VISIT: n/a

RECOMMENDATION(S):

- ***CERTIFICATE OF NO EFFECT IS ISSUED (ref O-07-72 Section 4B(2)—extensive previous land disturbance) .***

SUBMITTED:

Matthew Schmader, PhD
Superintendent, Open Space Division
City Archaeologist



OFFICIAL NOTICE OF DECISION

Sheo:
RECEIVED
NOV 21 2011

Dekker/Perich/Sabatini

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

November 16, 2011

Project# 1007316

11DRB-70284 SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
11DRB-70303 MINOR - PRELIMINARY/ FINAL PLAT APPROVAL

DEKKER/PERICH/SABATINI and SURV-TEK INC, agent(s) for HUNT UPTOWN II, LLC request(s) the referenced/ above action(s) for all or a portion of Tract(s) A, **HUNT-SPECTRUM DEVELOPMENT SITE** zoned SU-3 MU-UPT, located on the south side of INDIAN SCHOOL RD NE between LOUISIANA BLVD NE and UPTOWN LOOP RD NE containing approximately 7.467 acre(s). (J-19)[*Deferred from 10-19-11, 11/2/11*]

The Site Development Plan for Building Permit was presented to the Development Review Board in compliance with the Uptown Sector Development Plan. Additionally, an Updated Traffic Impact Study was submitted and accepted by the City's Transportation Development Division.

With the signing of the infrastructure list dated November 16, 2011, the Site Development Plan for Building Permit was approved with final sign off delegated to City Engineer for recording of the Subdivision Improvement Agreement and to Planning to comply with the following conditions and expiration of the 15 day appeal period; the preliminary/final plat was approved with final sign off delegated to Planning:

1. The pedestrian linkage in the parking lot on the south of Building 1 shall have a flared/ split concrete connection to the public sidewalk on the Uptown Loop Road, to direct pedestrians west or east.
2. A contrasting color (and/ or material) shall be used as a major façade change over the new vehicular access on the east elevation.
3. An informational note shall be provided regarding care for delivery allocation to minimize semi-trailer conflicts with vehicular customer traffic.

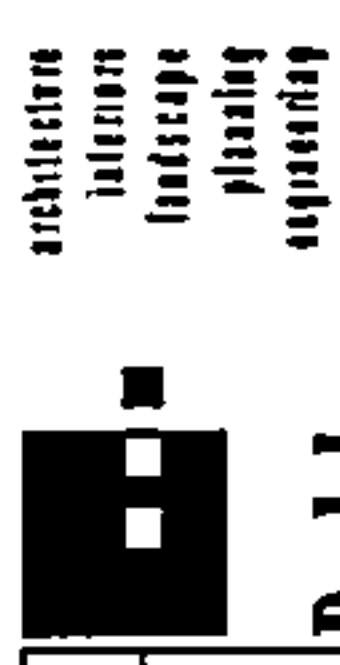
Any person with standing who is aggrieved with any determination of the Development Review Board may file an appeal, but it must be within 15 days of the Development Review Board's decision. If you wish to appeal this decision you must do so by December 1, 2011, on the Planning Department appeal forms with the appropriate fee, to the Planning Department Front Counter. Appeal is to the Land Use Hearing Officer, who will make a recommendation to the City Council.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).



Jack Cloud, DRB Chair

Cc: Hunt Uptown II, LLC – 201 3rd St NW Ste 1150 – Albuquerque, NM 87102
Cc: Dekker/Perich/Sabatini – 7601 Jefferson St NE – Albuquerque, NM 87109
Cc: Gary Goodman – 100 Sun Ave NE St 100 – Albuquerque, NM 87109
Cc: John Salazar – P.O. Box 1888 – Albuquerque, NM 87103
Cc: Evelyn Feltner – 2014 Utah St NE – Albuquerque, NM 87110
Cc: Dave Harman – 2938 La Palomita Rd NE – Albuquerque, NM 87111
Cc: Dave Dekker – 2101 Mountain Rd NW – Albuquerque, NM 87104
Marilyn Maldonado



Dekker Perich Sabatini
 ARCHITECTS

1101 Jefferson St. Suite 100
 Albuquerque, NM 87104
 505.761.2700
 505.761.2322
 505.761.2323

ARCHITECT

ENGINEER

TARGET @ ABQ Uptown
 SITE PLAN FOR SUBDIVISION
 ALBUQUERQUE, NEW MEXICO
 DRB SUBMITTAL

REVISIONS

DRAWN BY	SJT
REVIEWED BY	CRQ
DATE	06/02/2013
PROJECT NO.	11-0096L002
DRAWING NAME	SITE DEVELOPMENT PLAN FOR SUBDIVISION

1 of 4

GENERAL NOTES

- A. REFER TO SHEET 3 FOR DESIGN STANDARDS
- B. REFER TO CIVIL DRAWING, SHEET 2 FOR CONCEPTUAL UTILITY PLAN
- C. APPLICABLE PLANS, UPTOWN SECTOR DEVELOPMENT PLAN (2009)
- D. PROPOSED USES, MIXED USE INCLUDING RETAIL, RESTAURANT AND HOUSING

KEYED NOTES

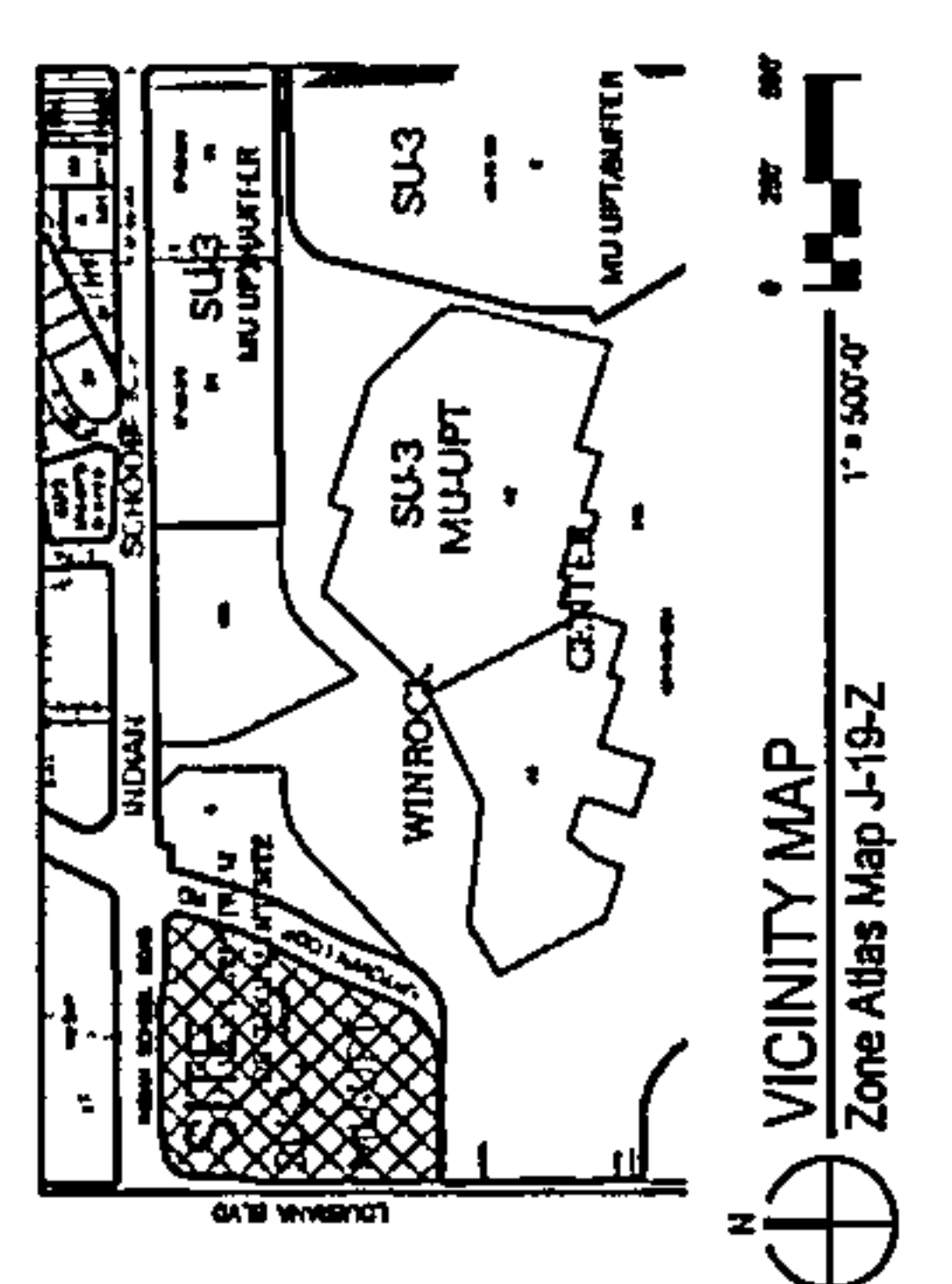
- 1. EXISTING PROPERTY LINE
- 2. PROPOSED PROPERTY LINE

SITE DATA

LEGAL DESCRIPTION:
 TRACK A, UNIT - SPECTRUM DEVELOPMENT SITE
 ZONE:
 SU-3 FOR MU-UPT

SITE PLAN LEGEND

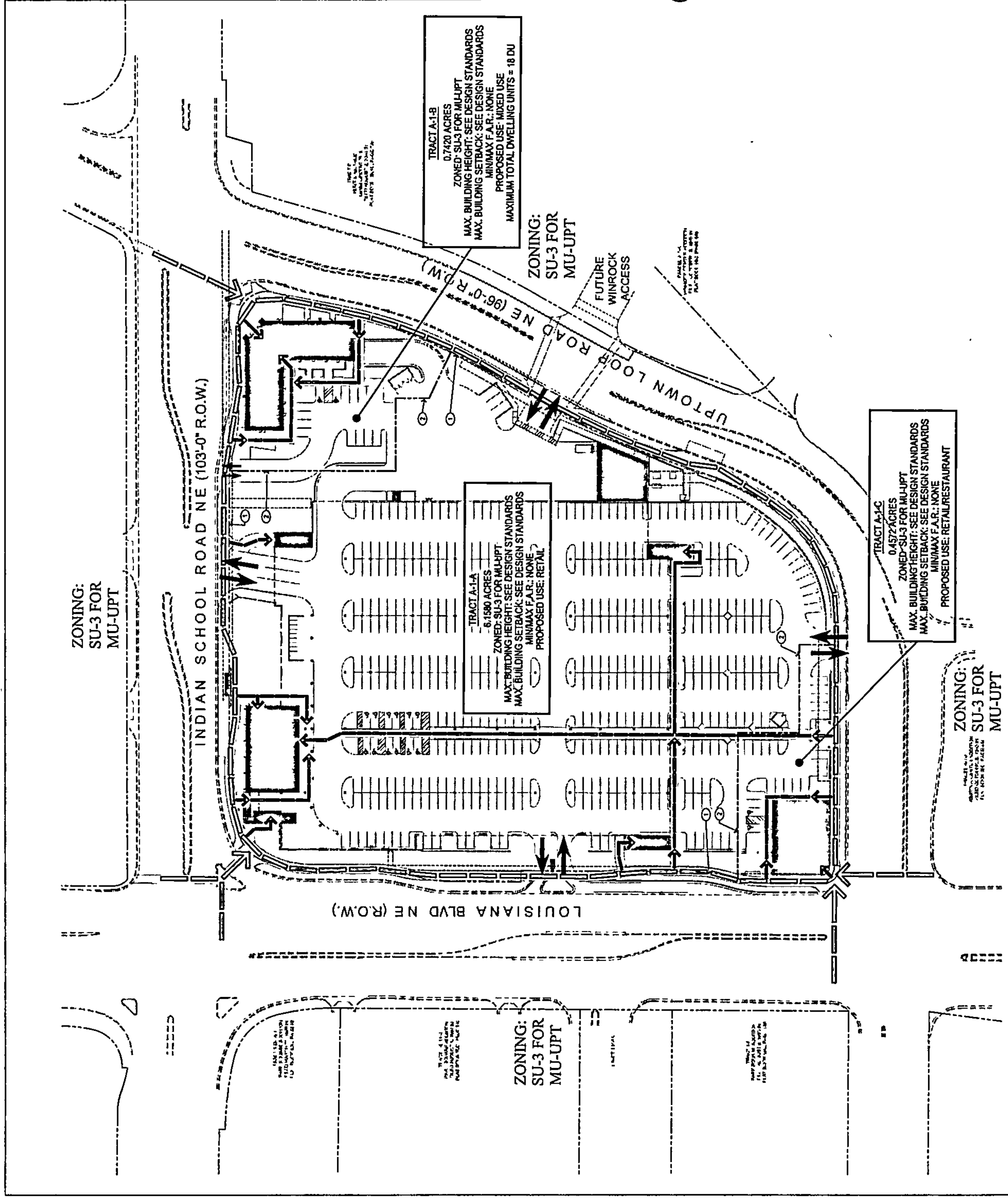
- ↑ PEDESTRIAN IMPROVEMENT / EGRESS
- ↓ VEHICULAR IMPROVEMENT / EGRESS
- PROPERTY LINE EXISTING AS NOTED
- - - PROPERTY LINE PROPOSED AS NOTED



PUBLIC PROJECT NUMBER: 149714
 PROJECT NUMBER: 149714
 APPLICATION NUMBER: 149714
 DATE: 06/02/2013

SITE DEVELOPMENT PLAN APPROVAL

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
AIRCROW	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE



SITE PLAN - PHASE 2 (FULL BUILD-OUT)
 1" = 500'

PROJECT RELATED EXCERPTS FROM THE UPTOWN SECTOR DEVELOPMENT PLAN (INCLUDING RELEVANT TEXT AMENDMENTS). REFERENCE THE CURRENT USDP FOR ADDITIONAL INFORMATION

Site Design:

Lot Size
There is no specific limitation on lot size in the BU-3 for MJLUPT Zone or the BU-3 for MJLUPT Buffer Zone

- Screening
Trash receptacles, mechanical equipment, loading docks and Public Utility Structures shall be screened from public streets through the use of Solid Walls, Solid Fences, Barms, dense evergreen foliage or other acceptable screening devices as determined by the Planning Director.
There is no height limit for Solid Fences or Solid Walls. Walls and fences shall be tall enough to function as intended when used for screening.
All screening devices shall be in compliance with the Clear Sight Triangle.

- Fencing and Walls
Walls including retaining walls and fences are permitted, but they must be shown and approved on the Site Development Plan.
There is no height limit for loading and/or walls.
Acceptable materials include but are not limited to stucco over concrete masonry units (CMU), stabilized adobe, split face blocks, slump blocks, bricks, stone, glass blocks, curved interlock blocks, wood, tubular steel, wrought iron bars, other and work, other structural materials or a combination of these materials. The finish of the walls shall be attractive and compatible with the building materials of adjacent buildings on the Site.
All fencing and walls shall be in compliance with the Clear Sight Triangle.
The use of razor ribbon, razor wire, barbed wire, chain-link fencing with or without slats, cyclone fencing or unadorned solid CMU is prohibited.

- Open Space
All Sites in the Uptown Area zoned BU-3 for MJLUPT shall provide a minimum of 10% of their Site acreage as Open Space.
When phasing of a Site Development Plan is involved, each phase must meet the 10% of Site Open Space requirement when building that phase. If the Applicant is combining Open Space as allowable and the Open Space being combined is from more than one phase, the first phase built shall still meet the minimum 10% requirement at the time it is built. Subsequent phases shall not be built until the preceding phase is Open Space has been built. Under no circumstances shall the Applicant be allowed to defer providing and developing the required Open Space for each phase.
40% of the required Open Space shall be Landscape Area.
Open Space shall be open and accessible to the general public. If the Open Space is not easily identifiable, as determined by the Planning Director, from the abutting Walkway, signage must be provided to direct the public to the Open Space. The exception to this requirement is the Landscape Area on a traffic circle. For safety reasons, a landscaped traffic circle is not an appropriate place to be "open and accessible" to the public. However, the Landscape Area on a traffic circle will count towards the "10% of Site" Open Space requirement because of the visual impact.
Open Space, required or excess, shall not be covered in asphalt. Asphalt shall not be used as a surface for Open Space.
Open Space shall be either Developed Open Space, as defined in the current USDP or a completely landscaped Area, as defined in the current USDP.
Required Developed Open Space areas such as Pedestrian Plazas shall have a Landscaped Area equal to 40% of the Site. A minimum of 15% of all Developed Open Space must be shaded from the summer sun with landscaping including trees and/or permanent or temporary shade structures. Each Open Space area must have landscaping and shade.
If a Site has multiple Buildings and/or multiple Lots within it, the required Open Space may be combined into larger areas rather than in separate smaller areas near each Building so long as it is approved on the Site Development Plan in that configuration.
Combined Open Space areas may be located across Internal Streets within a Site.
All Open Space areas shall connect to Walkways.
All Open Space areas that are not "Developed Open Space" and are 25 square feet in size or larger shall be built as a Landscape Area. This required 75% coverage will be calculated from the anticipated size of the plants at maturity. The Landscape Area may be included for the purpose of meeting the Open Space requirements of "10% of Site" and the landscape requirement of "40% of Open Space" and shall be included in the Landscape Plan.
The use of gravel including rocks and crusher fine as ground cover is limited to a maximum of five (5%) percent of any Open Space including any gravel used in Landscape Areas and/or Planting Strips.
The following elements shall be used to satisfy the "10% of Site" Open Space requirement. Open Space may include any combination or single use of the Open Space elements listed below:
a. All Landscape Area except as specifically excluded
b. Gardens
c. Landscape Area of traffic circles
d. Landscape Buffers as required
e. Parks
f. Pedestrian Plazas, patios, and/or courtyards
g. Planting Strips - that portion wider than the required 4 or 6 feet.
h. Playgrounds
i. Recreational areas and landscaped trails
j. Amphitheatre
k. Walkways - any portion wider than the required 10 feet

The following elements and/or items shall not be included as Open Space for the purpose of meeting the "10% of Site" Open Space requirement. Most of the elements and/or items on this list are required in other regulations.

- a. Drainage Ponds
b. Driveways, drive aisles
c. Internal Streets, privately owned
d. Parking in any form: Spaces, Lots, Structures
e. Planting Strips: 4 or 6 feet wide Planting Strips required for Street Trees
f. Planting Strips: 4 foot wide Planting Strips abutting Walkways
g. Required Walkway Trees with or without Planting Strips
h. Walkways except any portion of a Walkway that is wider than 10 feet
i. Street Trees wherever they are planted, except for Street Trees planted in the required Landscape Buffers which shall be counted toward Open Space
j. Uptown Circulator and/or City Transit Stops
k. All undeveloped areas such as dirt lots
Open Space in excess of the "10% of Site" requirement shall:
a. be subject to the Street Tree definition and requirements if applicable
b. be required to provide shade over 15% of the excess Open Space
c. shall contain at least one amenity from this Section
d. not be left as a dirt lot
Required Developed Open Space areas shall include a minimum of two of the following amenities:
a. Bicycle amenities such as bicycle racks or bicycle lockers
b. Dog-friendly amenities
c. Drinking fountains
d. Low-water use fountain or water feature
e. Playground equipment or other children's entertainment feature
f. Sculpture or other artwork
g. Seating
h. Any other amenities that meet the intent of this Section and the approval of the Planning Director

Pedestrian Plazas and Playgrounds
Pedestrian Plazas are strongly encouraged as a means of meeting the "10% of Site" Open Space requirement. Pedestrian Plazas and playgrounds are very important elements of the Pedestrian Circulation System (PCS) which will help to unite the Uptown Area. Single-Level, Single-Use Retail Facilities Exceeding 90,000 sq. ft. are required to include a Pedestrian Plaza as specified below

- Pedestrian Plazas and playgrounds shall meet the following regulations.
Pedestrian Plazas and playgrounds must be easily accessible and open to the public. Ground level Pedestrian Plazas and playgrounds shall connect to Walkways. If a Pedestrian Plaza is not located at ground level, as would be the case with a roof garden, signage must be provided to direct the public from the closest Walkway to the Pedestrian Plaza. The public shall not walk through any private space in order to access a Pedestrian Plaza.
Pedestrian Plazas shall be constructed of ADA accessible materials other than asphalt.
Playgrounds shall be designed to be ADA accessible and provide play equipment that is appropriate for ages 2 years to 12 years.
Pedestrian Plazas and playgrounds shall provide seating on-site with benches, boulders, retaining walls, ledges, raised planters, green berms, tables and chairs or other ways for people to sit and relax.
At least 15% of the Pedestrian Plaza and/or playground shall be shaded from the summer sun with landscaping including trees and/or shade structures that may be either permanent or temporary.
Pedestrian Plazas and playgrounds used to meet the "10% of Site" Open Space requirement must also provide a Landscape Area equal to a minimum of 40%.
Pedestrian Scale Lighting shall be provided for all Pedestrian Plazas and playgrounds.
Trash receptacles shall be provided on-site for Pedestrian Plazas and playgrounds.
Pedestrian Plazas and playgrounds should be visible from the public Right-of-Way wherever possible for security.
If paved, Pedestrian Plazas shall use decorative paving patterns and include the adjacent Walkway border element.
Pedestrian Plazas shall include a minimum of two of the following amenities:
a. Bicycle amenities such as bicycle racks or bicycle lockers
b. Dog-friendly amenities
c. Drinking fountains
d. Flower Garden
e. Low-water use fountain or water feature
f. Playground equipment or other children's entertainment feature
g. Sculpture or other artwork
h. Any other amenities that meet the intent of this Section and the approval of the Planning Director

Walkways
There is a lack of uniformity between the existing Walkway configurations, both in width and appearance throughout the Uptown Area. Walkway consistency is important to create a cohesive, recognizable and unique Uptown Area. All new Walkways will have a minimum six (6) inch decorative border as an additional unifying feature.

New Construction and/or Redevelopment or any person who paves a new Parking Lot is required to build Walkways as described in this section

- For Redevelopment and/or Parking Lot paving, the Walkway immediately adjacent or the closest parallel Walkway to the changed Facade shall be upgraded and must connect to other Walkways.
All Walkways in the Uptown Area are required to be a minimum of ten (10) feet wide and shall include a minimum six (6) inch brick or other decorative, curbing material as a border along both sides of the Walkway except for the following:
a. No decorative border is required on the side of a Walkway that abuts a Building but there shall be a border on the outside edge of that Walkway
b. Walkways not intended for public use such as Walkways to service areas or loading docks may be a minimum of six (6) feet wide and do not require a border or trees.
c. Walkways through Parking Lots shall be a minimum of eight (8) feet wide.
The ten (10) foot wide Walkways may accommodate occasional uses such as utility boxes, benches and/or trash receptacles which encroach upon the width of the Walkway but a minimum six (6) foot clear path shall be maintained within the Walkway at all times. These occasional uses shall not take up more than one-third (1/3) of the width of any Building Walkway

Street Realm:

- Street Trees are required on the following Streets:
a. Louisiana Blvd., Pennsylvania St., San Pedro Dr., south side of Maraud Blvd., Indian School Rd., Uptown Blvd., America a Hwy and The Loop Rd. In order to eventually line the Streets with trees, new Street Trees on these Streets shall have an approximate regular minimum spacing of thirty (30) feet on center and be planted in six (6) foot wide Planting Strips adjacent to the required ten (10) foot wide Walkways. The Planting Strip and the adjacent Walkway shall run the length of the property where they are located.
b. The north side of Maraud Blvd. shall be planted at an approximate maximum regular spacing of thirty (30) feet on center but there is no requirement for a Planting Strip. These Street Trees shall be planted in thirty-six (36) square foot Tree Wells.
c. Internal and Local Streets, other than those Streets listed in "a." and "b." above, shall have an average maximum spacing of thirty (30) feet on center. The same number of required trees may be clustered in groups of no more than three (3) trees, but they must be shown on the approved Site Development Plan. These Street Trees shall be planted in a minimum four (4) foot wide Planting Strip that is adjacent to the required ten (10) foot wide Walkway. The length of the Planting Strip and the abutting Walkway shall run the length of the property where they are located.
Landscape Buffers may be built within the public Right-of-Way

Landscaping:

- New Construction shall apply the following landscape regulations and requirements:
40% of the "10% of Site" Open Space Requirement shall be Landscape Area. In addition, every Site shall have a minimum of a four (4) foot wide Planting Strip abutting a ten (10) foot wide Walkway.
The use of Soil Conditioners to adjoining landscaping or Permeable Pavement connections in the Walkways and Parking areas are encouraged.
Irrigation is required for all plantings. Irrigation systems shall meet the differing needs of trees and other vegetation to ensure all plantings flourish.
Water Harvesting conservation techniques shall be utilized where possible and as approved by the City Hydrologist or City Engineer. Such techniques may include Water Harvesting, Graywater, Water Reuse Systems and Permeable Pavement. Rainwater from roofs should be directed or stored and used to water trees and other landscaping whenever possible.
Organic Mulch shall be provided in areas around the living plants to reduce heat and conserve moisture. Gravel, rocks, crusher fine and rubber are not Organic Mulch.

The use of gravel, including rocks and crusher fine as ground cover is limited to five (5%) percent or less of any Landscape Area, Planting Strip or Open Space area.

- To provide the quality of landscaping envisioned in the Uptown Area, a minimum of ten (10%) percent of all Landscaped Area and Planting Strips shall contain flowering plants and flowering shrubs. These plants may be annuals or perennials but if annual plants are used, this requirement must be met each year with new plantings.
The minimum acceptable sizes of plants, trees or amounts of seed, at the time of planting, are as follows:
Trees must be two inches in caliper.
Shrubs, bushes and low-growing evergreens shall be at least one gallon in size.
Ground cover and turf must be adequate to provide 75% ground coverage within two growing seasons after planting.
Traffic Circles with Landscape Areas are encouraged at the intersections of Streets and/or interior driveways.
Forty (40%) percent of required Open Space shall be Landscaped Area. a Landscape Area shall be covered with a minimum of seventy-five (75%) percent living, vegetative materials, such as trees, grasses, vines, flowers and/or bushes/shrubs. Coverage shall be calculated from the anticipated size of mature plants.
i. All Open Space areas that are not "Developed Open Space" and are 25 square feet in size or larger shall be planted as a Landscape Area.
ii. Planter boxes or large planting pots may also be counted as the Landscape Area of Open Space provided they are not within Planting Strips and are shown on the Landscape Plan. The surface area of planter boxes and large planting pots are measured in order to calculate the amount of Landscape Area they equal.
c. Trees are strongly encouraged in Landscape Areas.
e. Required Planting Strips are not considered as Landscape Area for the purpose of meeting the 40% of the "10% of Site" requirement.
16. Planting Strips
a. Planting Strips must be a minimum of 4 feet wide and be covered with living, vegetative materials, such as grasses, vines, flowers and/or bushes/shrubs over sixty (60%) percent of the Planting Strip if it is directly between Parking and a Walkway. If the Planting Strip is required for Street Trees it shall be covered with living, vegetative materials, such as grasses, vines, flowers and/or bushes/shrubs over seventy-five (75%) percent of the Planting Strip. Coverage shall be calculated from the anticipated size of the plants at maturity
b. In order to facilitate the transition between Parking Spaces and adjacent Walkways, decorative pavers may be used within the forty (40%) percent of the Planting Strip not required to contain living, vegetative materials.
c. Planting strips are not considered within Walkways, they shall Walkways to a four (4) foot wide Planting strip shall be ten (10) foot wide Walkway
g. Trees
Tree regulations are as follows:
New Construction and/or Redevelopment or any person who paves a new Parking Lot is required to plant trees as described in this section. A new Parking Lot is a Parking Lot which was not previously a paved Parking Lot.
People required to plant new trees shall select Signature Trees. Signature Trees are not as large as Shade Trees but they have a noticeable flower bloom in the spring or summer. Every Lot over twenty (20) feet wide shall have at least one (1) Shade or one (1) Signature Tree.
All new trees including Street Trees, Walkway Trees and Parking Lot Trees shall be planted in a proportion of approximately one-third (1/3) Signature Trees and two-thirds (2/3) Shade Trees. If Shade Trees cannot be planted because the location is above an underground Parking Structure, Signature Trees in need planters or large pots may be substituted.
Trees shall be a minimum of two (2) inches in caliper at the time of planting

If the new Building or Parking Structure described can only be built with Public/Private Partnership funding such as a TDD and other funding is not approved or if the Tax Incremental Allowance is not sufficient to build the proposed Building or Parking Structure as determined by the owner/representative of the property then the Parking Lot Tree, Walkway and Walkway Tree requirements must be met within 6 months of the funding being denied or rejected. The Applicant shall amend the Site development Plan to show the required Parking Lot Trees, Walkways and Walkway Trees. Failure to comply to this regulation shall start enforcement action.

- If the new Building or a Parking Structure described is not dependent on Public/Private funding but has not been built within four and one-half (4 1/2) years of the date of Site Development Plan approval, the Parking Lot Tree, Walkway and Walkway Tree requirements must be met within five (5) years of the date of the Site Development Plan approval. The Applicant shall amend the Site Development Plan to show the required Parking Lot Trees, Walkways and Walkway Trees. Failure to comply to this regulation shall start enforcement action.
Parking Lot Trees are required as follows:
a. Trees shall be planted at a rate of one (1) tree per eight (8) Parking Lot Spaces.
b. Each row of parking shall have an end cap with at least one (1) tree.
c. Trees shall be planted in thirty-six (36) square foot Tree Wells.
d. No Parking Space shall be more than sixty (60) feet from a tree trunk.

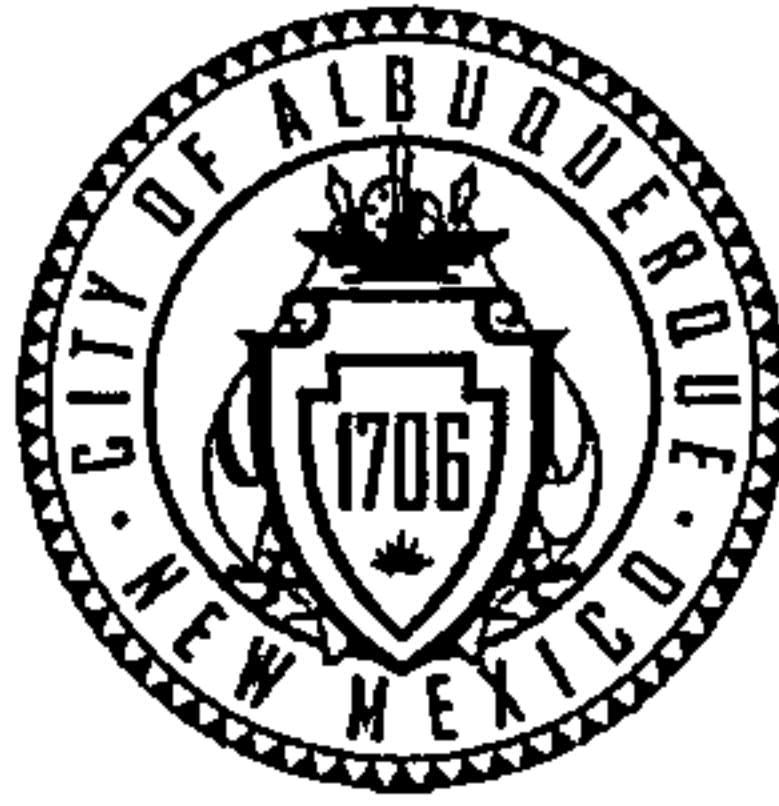
- Walkway Trees are required as follows:
a. Walkway Trees shall be planted in Planting Strips when the Walkway abuts a Building and/or a Parking Space not contained in a Parking Lot, at a number equal to a maximum of twenty-five (25) feet on center
b. Walkway Trees planted in a Planting Strip may have regular or irregular spacing to accommodate the entrance of the corresponding Buildings provided that the total number of required trees are planted.
c. Walkways Trees shall be planted along Walkways that do not abut Buildings and are not shaded by existing trees at a number equal to a maximum of twenty-five (25) feet on center. This requirement includes Walkways adjacent to Parking Lots where trees will be planted on alternating sides of the Walkway.
d. Three or less Walkway Trees may be clustered if sufficient Rooting Volume is supplied and if the requirement to shade the Walkway is met.

- To provide winter greenery Evergreen Trees shall be required in the Landscape Buffers and are encouraged in park areas and Internal Walkways where possible. Evergreen trees shall not be planted close to Streets or anywhere that their dense foliage could create a traffic hazard. An Evergreen Tree may be substituted for a required Shade or Signature Tree

- In a situation where Street Trees, Parking Lot Trees and/or Walkway Trees could be required, the requirement enforced shall be for whichever regulation yields the most trees.

- Landscape Buffers
Landscape Buffers are required in specific locations to visually and physically separate one land use or piece of property from another.
Landscape Buffers may be created by Walkways and Bikeways provided that the Walkways and Bikeways take up less than thirty (30%) percent of the Landscape Buffer.
No Parking is permitted within a Landscape Buffer.
Landscape Buffers should, if possible, have at least a double row of trees. These trees shall be at least eight (8) feet high at time of planting and capable of reaching a height at maturity of at least twenty-five (25) feet. Spacing of the trees shall be equal to seventy-five (75%) percent of the mature canopy diameter of the trees. At least one-half (1/2) of the trees planted in a Landscape Buffer shall be Evergreen Trees. The rest of the trees shall be a combination of Shade and Signature Trees
In addition to trees the Landscape Buffer shall be covered with living, vegetative ground cover over seventy (70%) percent of the buffer
Trees in Landscape Buffers shall not count as a required Parking Space Trees because they do not serve the same purpose.

Architectural solutions landscape planning engineering
Dekker Perich Sabatini
7001 Jefferson NE Suite 100 Albuquerque, NM 87110
505 761-5700 fax 761-1222
ARCHITECT
ENGINEER
PROJECT
TARGET @ ABQ Uptown Albuquerque, New Mexico SITE PLAN FOR SUBDIVISION DRB SUBMITTAL
REVISIONS
DRAWN BY SJT
REVIEWED BY CRG
DATE 06/03/2013
PROJECT NO. 11-0098.002
DRAWING NAME
DESIGN STANDARDS
3 of 4



City of Albuquerque

P.O. Box 1293, Albuquerque, NM 87103

PLEASE NOTE: The Neighborhood and/or Homeowner Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office

September 6, 2013

Chris Gunning or Sheri Tollefson
Dekker Perich Sabatini
7601 Jefferson NE, Suite 100/87109
Phone: 505-761-9700/Fax: 505-761-4222
E-mail: SheriT@dpsdesign.org

Dear Chris or Sheri:

Thank you for your inquiry of **September 6, 2013** requesting the names of **ALL Neighborhood and/or Homeowner Associations** who would be affected under the provisions of O-92 by your proposed project at **(DRB SUBMITTAL) – TRACT A, HUNT SPECTRUM DEVELOPMENT SITE LOCATED ON INDIAN SCHOOL ROAD NE BETWEEN LOUISIANA BOULEVARD NE AND UPTOWN LOOP ROAD NE** Zone Map: **J-19**.

Our records indicate that the **Neighborhood and/or Homeowner Associations** affected by this proposal and the contact names are as follows:

SEE "ATTACHMENT A" FOR THE NAMES OF THE NEIGHBORHOOD AND/OR HOMEOWNER ASSOCIATIONS THAT NEED TO BE CONTACTED IN REGARDS TO THIS DRB SUBMITTAL – please attach this letter and Attachment A to your application packet – siw.

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred for 30 days.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Stephani Winklepleck
Neighborhood Liaison
OFFICE OF NEIGHBORHOOD COORDINATION
Planning Department

LETTERS MUST BE SENT TO BOTH CONTACTS OF EACH NEIGHBORHOOD AND/OR HOMEOWNER ASSOCIATION.

planningrnaform(02/10/13)

!!!Notice to Applicants!!!

SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected recognized neighborhood associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT**. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
 - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
 - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.").
 - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
 - d) The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

Information from the Office of Neighborhood Coordination

The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- ONC's "Official" Letter to the applicant (if there are associations). A copy must be submitted with application packet -OR-**
- The ONC "Official" Letter (if there are no associations). A copy must be submitted with application packet.
- Copies of Letters to Neighborhood and/or Homeowners Associations (if there are associations). A copy must be submitted with application packet.**
- Copies of the certified receipts to Neighborhood and/or Homeowners Associations (if there are associations). A copy must be submitted with application packet.**

Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.

Any questions, please feel free to contact Stephani at 924-3902 or via an e-mail message at swinklepleck@cabq.gov.

Thank you for your cooperation on this matter.

(below this line for ONC use only)

Date of Inquiry: **09/06/13** Time Entered: **8:45 a.m.** ONC Rep. Initials: **siw**

“ATTACHMENT A”

Chris Gunning or Sheri Tollefson
Dekker Perich Sabatini
7601 Jefferson NE, Suite 100/87109
Phone: 505-761-9700/Fax: 505-761-4222
E-mail: SheriT@dpsdesign.org
Zone Map: J-19

ABQ-Park Neighborhood Association “R”

Alex W. Morgan
7414 Leah Dr. NE/87110 385-2888 (c)

Susan Baca
7465 Sky Court Cir. NE/87110 304-5636 (h)

Alvarado Park Neighborhood Association “R”

Emily White
5709 Aspen NE/87110 261-4020 (h)

Billy Cohn
P.O. Box 35704/87176 507-8612 (h)

Classic Uptown Neighborhood Association

Stephen Verchinski
2700 Espanola NE/87110 888-1370 (h) 238-2398 (c)

Inez Neighborhood Association “R”

Evelyn B. Feltner
2014 Utah St. NE/87110 271-9027 (h)

Donna Yetter
2111 Hoffman Dr. NE/87110 292-8102 (h)

Jerry Cline Park Neighborhood Association “R”

Ron Goldsmith
1216 Alcazar St. NE/87110 232-9516 (h)

Cindy Griesmeyer
909 San Pablo St. NE/87110 255-6120 (h)

Mark Twain Neighborhood Association “R”

Barbara Lohbeck
1402 California NE/87110 254-0285 (h) 259-1932 (c)

Noreen Bladergroen
1201 California St. NE/87110 255-7052 (h)

Quigley Park Neighborhood Association “R”

Winnie Schmidt
2916 Cuervo Dr. NE/87110-3106 881-2155 (h)

Maureen Maher
2935 Cardenas Dr. NE/87110 888-5181 (h)

Snow Heights Neighborhood Association “R”

Laura Heitman
8011 Princess Jeanne NE/87110

Shirley Marquez
7905 Hannett NE/87110 235-0722 (h)

Uptown Progress Team, Inc.

William Steadman
2424 Louisiana Blvd. NE, Ste. 300/87110
880-7070 (w)

Kim Corcoran
P.O. Box 93488/87199 342-2797 (w)

Winrock South Neighborhood Association “R”

Richard Peterson
7110 Constitution Ave. NE/87110-7122
321-5432 (message #)

Virginia Kinney
7110 Constitution Ave. NE/87110-7122
321-5432 (message)

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Sent To: NEZ NEIGHBORHOOD ASSOC R
 MS DONNA YETTER
 2111 HOFFMAN DR NE
 ALBUQUERQUE NM 87110

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 909 SAN PABLO ST NE
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 MR BILLY COHN
 P.O. BOX 35704
 ALBUQUERQUE NM 87176

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 165 SKY COURT CIR NE
 ALBUQUERQUE NM 87110

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Return Receipt Fee (Endorsement Required)	2.55	
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$ 6.77	

MARK TWAIN NEIGHBORHOOD ASSOC
 Sent To R
 Street, Apt. No.; MS NOREEN BLADERGROEN
 or PO Box No.
 City, State, ZIP+4 1201 CALIFORNIA ST NE
 ALBUQUERQUE NM 87110



TARGET

June 27, 2013

Mr. Jack Cloud
Chairman, Planning Department
City of Albuquerque Planning Department
600 2nd St NW
Albuquerque, NM 87103

RE: Target at Uptown
2120 Louisiana Blvd NE
Albuquerque, NM 87110
Site Development Plan for Subdivision
Project Number: 1007316

Dear Mr. Cloud,

This letter hereby authorizes Dekker/Perich/Sabatini to act as our agent and assist us with a Site Development Subdivision request to change the current site plan from 1 tract to 3 tracts.

Signed,

Kim Hayden
Sr Development Manager
Target Corporation

PRE-APPLICATION REVIEW TEAM (PRT) MEETING

PA # 12- 131

Date: 10/23/12

Time: 2:15

1. AGENCY REPRESENTATIVES PRESENT AT MEETING

Planning: Carmen Marrone Others Chris Hoyer
 Transportation: Nilo Salgado-Fernandez Others _____
 Code Enforcement: Jonathan Turner Others _____
 Others: _____

2. TYPE OF APPLICATION ANTICIPATED / APPROVAL AUTHORITY

<input type="checkbox"/> Zone Map Amendment	<input type="checkbox"/> EPC Approval	<input type="checkbox"/> City Council Approval
<input type="checkbox"/> Sector Dev. Plan Amendment	<input type="checkbox"/> EPC Approval	<input type="checkbox"/> City Council Approval
<input checked="" type="checkbox"/> Site Dev. Plan for Subdivision	<input type="checkbox"/> EPC Approval	<input checked="" type="checkbox"/> DRB Approval
Amend <input checked="" type="checkbox"/> Site Dev. Plan for Bldg Permit	<input type="checkbox"/> EPC Approval	<input type="checkbox"/> Admin. Approval
<input checked="" type="checkbox"/> Other <u>plat @ DRB</u>	<input type="checkbox"/> DRB Approval	<input checked="" type="checkbox"/> Admin. Approval

3. SUMMARY OF PRT DISCUSSION:

- proposing to subdivide Target tract into 3 tracts
- recommend sketch Plat Review
- 1st - apply for SPS + replat at DRB
- Then - apply for amendment of SPBP - AA - include copy of approved SPS

4. SIGN & DATE TO VERIFY ATTENDANCE & RECEIPT OF THIS SUMMARY.

C. Marrone
PRT CHAIRMAN / DATE

Cummins 10/23/12
APPLICANT OR AGENT / DATE

***Note: PRT DISCUSSIONS ARE FOR INFORMATIONAL PURPOSES ONLY AND ARE NON-BINDING
 Additional research may be necessary to determine the exact type of application needed

September 18, 2013

ABQ-Park Neighborhood Association "R"
Mr. Alex W. Morgan
7414 Leah Dr. NE
Albuquerque, NM 87110

Re: Target, 2120 Louisiana Boulevard NE
Southeast corner of Louisiana Boulevard NE and Indian School Road NE
Reason for Request: Target at Uptown Site Development Plan for Subdivision & Re-plat
Legal Description: Tract A of Hunt – Spectrum Development Site

Dear Mr. Morgan:

A letter was sent notifying you that Target wishes to subdivide their property to prepare for development of the pad sites at the southwest and northeast corners.

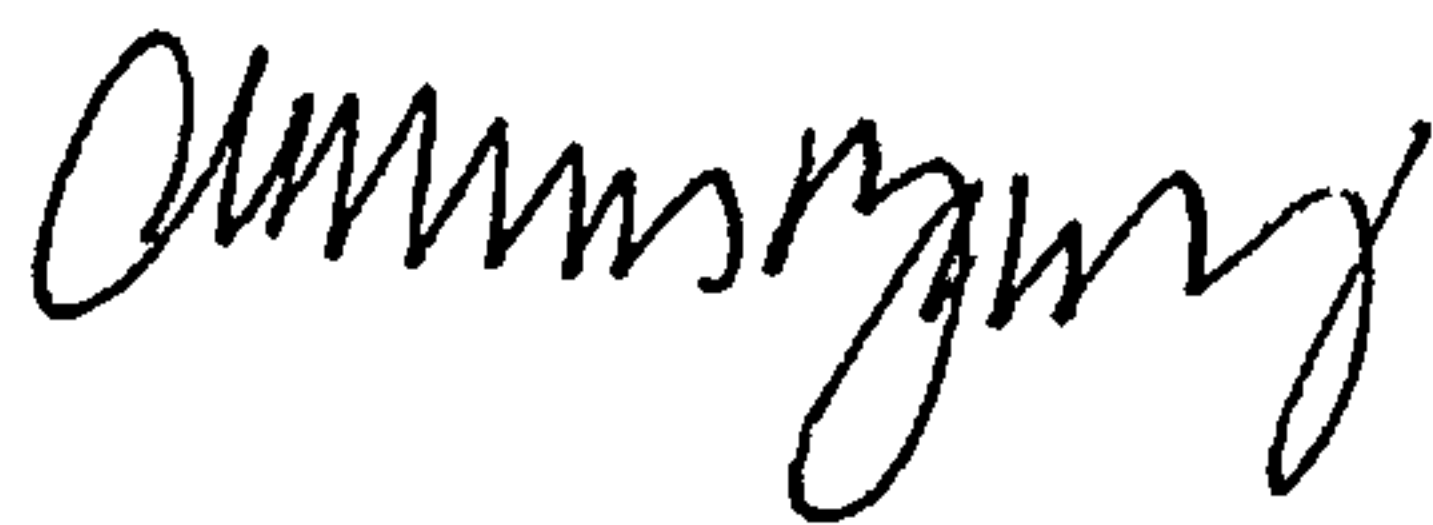
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If you have any questions or need clarification, please feel free to contact me at:

Dekker/Perich/Sabatini
7601 Jefferson NE, Suite 100
Albuquerque, NM 87109
505-761-9700

Sincerely,

Dekker/Perich/Sabatini
Agent for Target



Christopher R. Gunning, AIA, LEED AP
Principal

Attachments:
Previous notification letter (VOIDED)
Site Development Plan for Subdivision
Landscaping Plan

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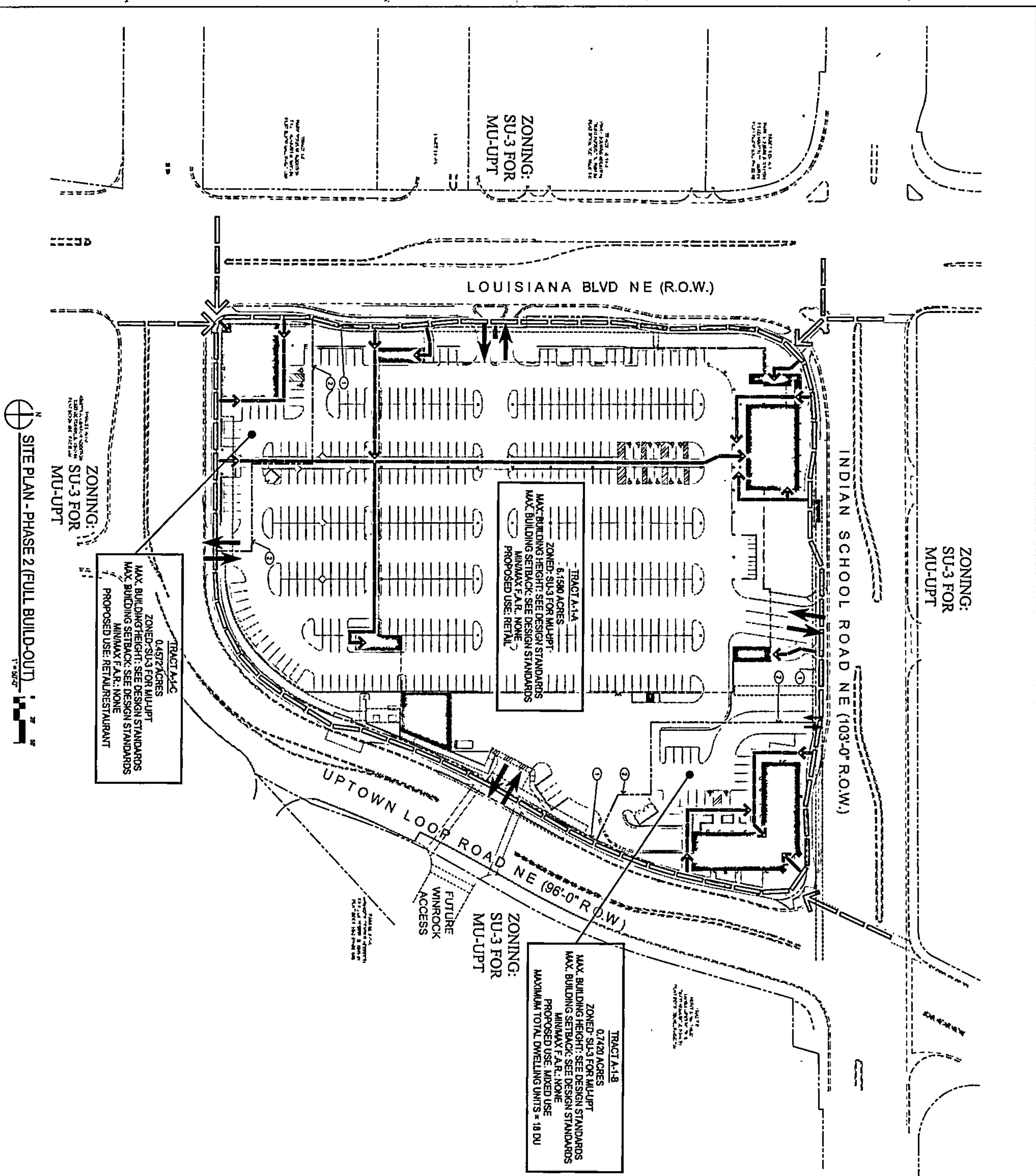
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Christopher R. Gunning, AIA, LEED AP
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Attachments: Site Development Plan for Subdivision and Landscaping Plan



GENERAL NOTES

- A. REFER TO SHEET 3 FOR DESIGN STANDARDS
- B. REFER TO CIVIL DRAWING SHEET 2 FOR CONCEPTUAL UTILITY PLAN
- C. APPLICABLE PLANS: UPTOWN SECTOR DEVELOPMENT PLAN (2008)
- D. PROPOSED USES: MIXED USE INCLUDING RETAIL, RESTAURANT AND HOUSING

KEYED NOTES

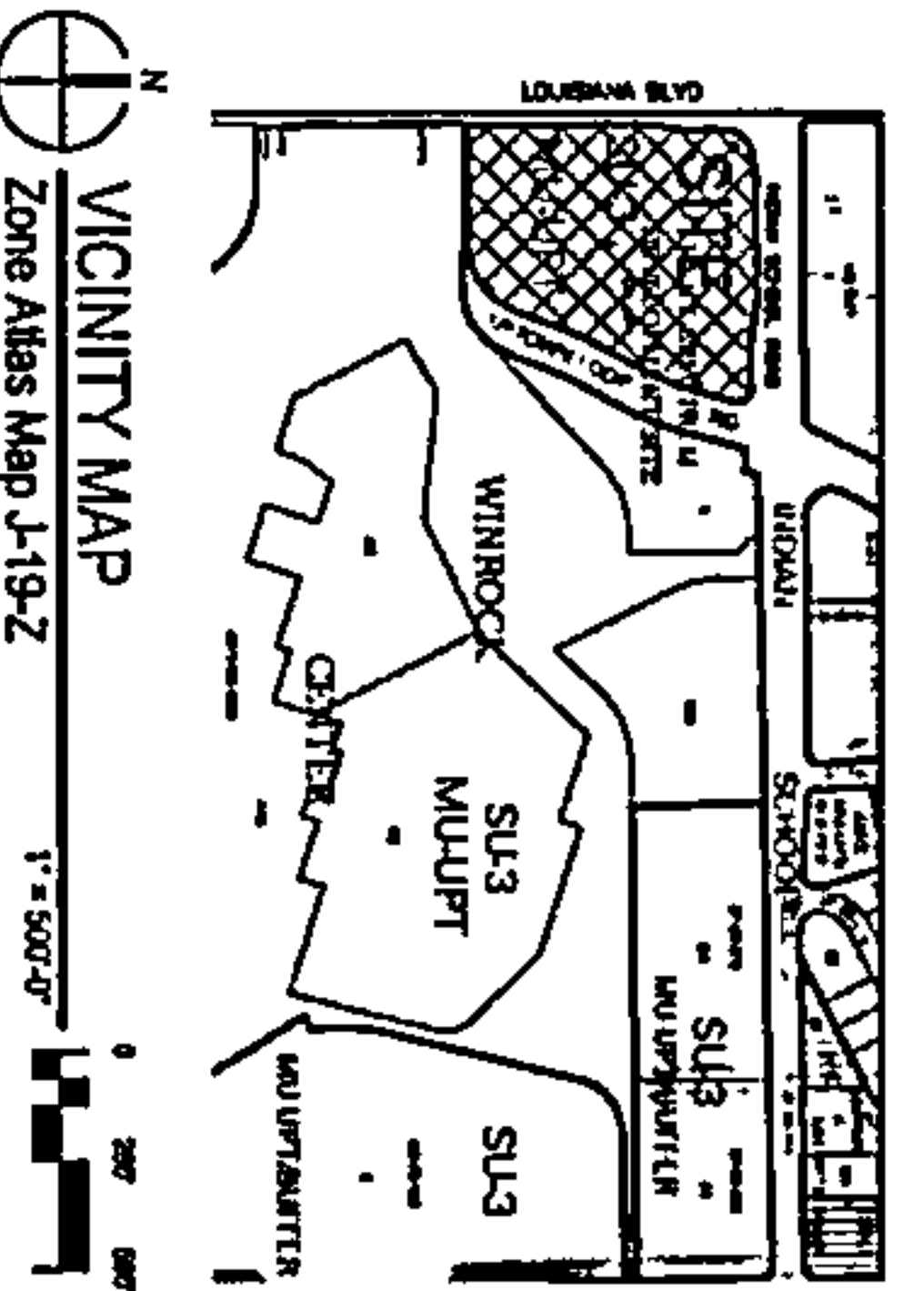
- 1. EXISTING PROPERTY LINE
- 2. PROPOSED PROPERTY LINE

SITE DATA

LEGAL DESCRIPTION:
 TRACT A, UPTOWN SECTOR DEVELOPMENT SITE
 ZONE:
 SU-3 FOR MU-UPT

SITE PLAN LEGEND

- PEDESTRIAN HIGHWAY / EGRESS
- VEHICULAR HIGHWAY / EGRESS
- PROPERTY LINE EXISTING AS NOTED
- PROPERTY LINE PROPOSED AS NOTED



POSITIVE PROJECT NUMBER: 190716

PROJECT NUMBER: 190716

APPLICATION NUMBER: 190716

In compliance with the Uniform Land Use Review Procedure Act (ULURPA), the applicant hereby certifies that the information provided in this application is true and correct to the best of their knowledge and belief. The applicant understands that any false information provided in this application may result in the denial of the application and may be subject to civil and criminal penalties.

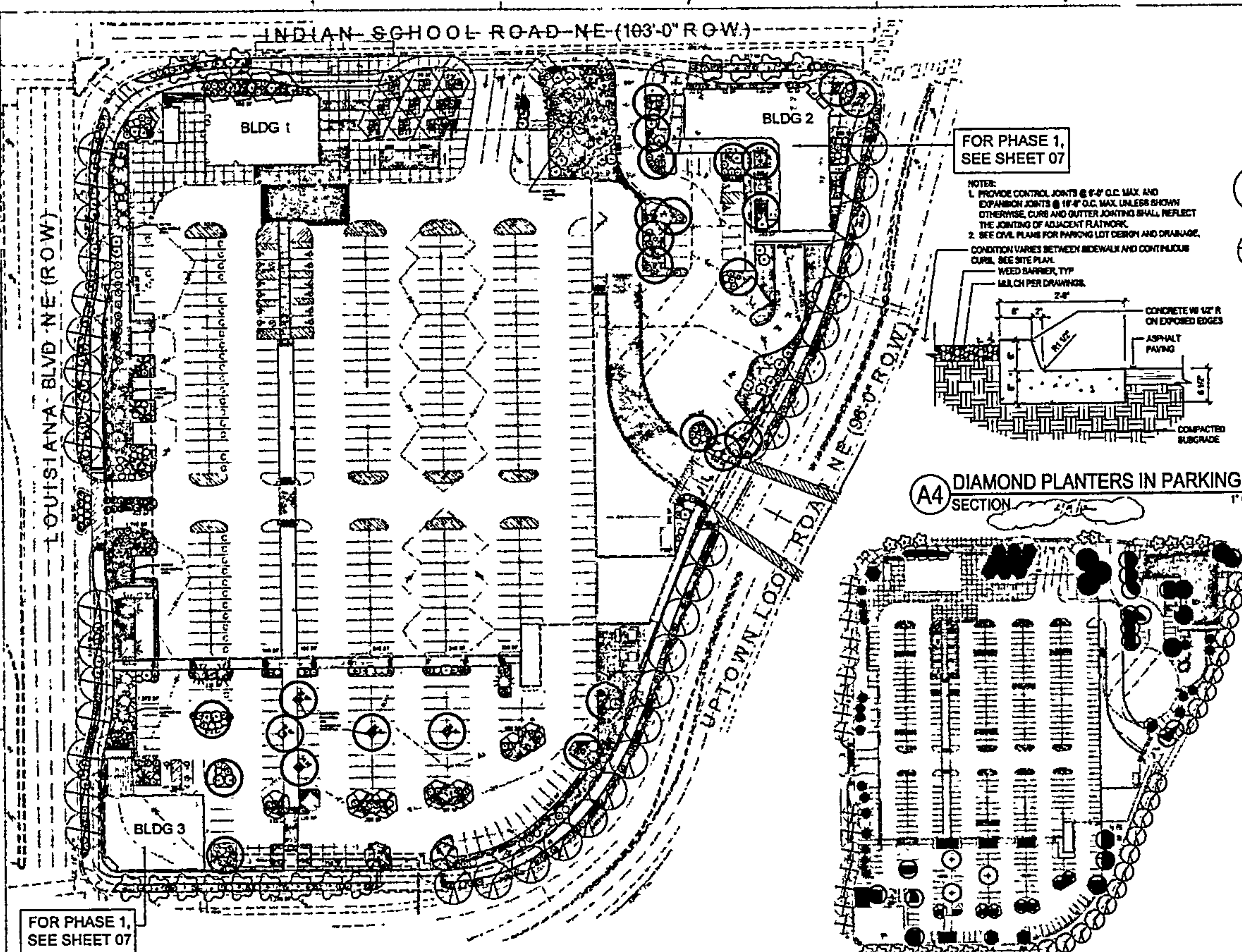
SITE DEVELOPMENT PLAN APPROVAL

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
ARCHITECT	DATE
PLANS AND REGISTRATION DEPARTMENT	DATE
CITY ENGINEER	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

Dekker Perich Sabatini
 ARCHITECT
 1101 Jefferson St Suite 100
 Albuquerque, NM 87102
 505.251.2222
 1111@dspsab.com

TARGET @ ABQ Uptown
 Albuquerque, New Mexico
 SITE PLAN FOR SUBDIVISION
 DRB SUBMITTAL

DESIGNED BY	SLT
REVIEWED BY	CRG
DATE	09/03/2013
PROJECT NO.	11-0098.002
DRAWING NAME	SITE DEVELOPMENT PLAN FOR SUBDIVISION



PLANTING LEGEND

TREES

SYM	QTY	BOTANICAL NAME/ COMMON NAME	INSTALLATION SIZE	MATURE SIZE (HxW) WATER USE
26		<i>Platanus chinensis</i> / CHINESE PISTACHE	3" Cal.	35x30' Medium
15		<i>Cercis canadensis</i> / WESTERN REDBUD	2" Cal./B&B	25x18' Medium
23		<i>Chilopsis linearis</i> 'Arty Seedless'/ DESERT WILLOW	48" Box/ Multi-trunked	25x35' Low
3		<i>Populus deltoides wislizenii</i> / RIO GRANDE VALLEY COTTONWOOD	2" Cal./B&B	60x60' High
22		<i>Quercus buckleyi</i> / TEXAS RED OAK	2" Cal./B&B	25x25' Medium
16		<i>Quercus muhlenbergii</i> / CHINQUAPIN OAK	2" Cal./B&B	30x30' Medium
12		<i>Tilia cordata</i> / LITTLELEAF LINDEN	2" Cal./B&B	35x30' Medium
11		<i>Juniperus chinensis</i> 'Spartan' SPARTAN JUNIPER	6" High/B&B	15x8' Low
18		<i>Pinus strobus</i> / SOUTHWESTERN WHITE PINE	6" High/B&B	60x20' Low

SHRUBS

SYMBOL	BOTANICAL NAME/ COMMON NAME	INSTALLATION SIZE	MATURE SIZE (HxW) WATER USE
	<i>Eriogonum fasciculatum</i> / TURPENTINE BUSH	1 Gal. Cont.	36"x36" Low
	<i>Baccharis x "Cenarius"</i> / CENTENNIAL BROOM	1 Gal. Cont.	36"x42" Low
	<i>Caryophyllus clandestinus</i> 'Dark Knight' DARK NIGHT BLUE MIST SPIREA	1 Gal. Cont.	48"x48" Medium
	<i>Mahonia aquifolium</i> 'Compactum' COMPACT MAHONIA	1 Gal. Cont.	24"x48" Medium
	<i>Rosa rugosa</i> 'Prairie Rosemary' UPRIGHT ROSEMARY	1 Gal. Cont.	60"x48" Medium
	<i>Rhus aromatica</i> 'Gro-low' GRO-LO FRAGRANT SUMAC	1 Gal. Cont.	24"x72" Medium
	<i>Salvia greggii</i> / AUTUMN SAGE	1 Gal. Cont.	30"x36" Low
	<i>Verbena bipinnatifida</i> / PRAIRIE VERBENA	1 Gal. Cont.	6"x36" Low
	<i>Callitriche involucrata</i> / WINECUPS	1 Gal. Cont.	18"x18" Low
	<i>Ceratostigma plumbaginoides</i> / DWARF PLUMBAGO	1 Gal. Cont.	12"x18" Medium
	<i>Gaillardia aristata</i> / BLANKETFLOWER	1 Gal. Cont.	30"x30" Low
	<i>Hymenocys saccata</i> / ANGELITA DAISY	1 Gal. Cont.	12"x12" Low
	<i>Lavandula angustifolia</i> 'Hidcote' SUPERIOR / HIDCOTE SUPERIOR LAVENDER	1 Gal. Cont.	18"x18" Medium
	<i>Meribalis multiflora</i> / DESERT FOUR-O'CLOCK	1 Gal. Cont.	18"x30" Medium
	<i>P. barbatus</i> / RED PENSTEMON	1 Gal. Cont.	50"x36" Low
	<i>Teucrium chamaedrys</i> / TRAILING GERMANDER	1 Gal. Cont.	12"x24" Medium

GRASSES

SYMBOL	BOTANICAL NAME/ COMMON NAME	INSTALLATION SIZE	MATURE SIZE (HxW) WATER USE
	<i>Festuca idahoensis</i> 'Siskiyou' BLU' / SISKIYOU BLUE FESCUE	1 Gal. Cont.	18"x15" Medium
	<i>Muhlenbergia capillaris</i> 'Regal Mist' REGAL MIST MUHLENBERGIA	1 Gal. Cont.	36"x42" Medium
	<i>Muhlenbergia rigens</i> / DEER GRASS	1 Gal. Cont.	42"x48" Medium
	<i>Nolina microcarpa</i> / BEARGRASS	1 Gal. Cont.	36"x48" Medium
	<i>Miscanthus sinensis</i> / MAIDEN GRASS	1 Gal. Cont.	60"x48" Medium

ACCENTS

SYMBOL	BOTANICAL NAME/ COMMON NAME	INSTALLATION SIZE	MATURE SIZE (HxW) WATER USE
*	<i>Agave parryi</i> / PARRY'S AGAVE	1 Gal. Cont.	36"x36" Low
	<i>Dasylirion wheeleri</i> / SOTOL	1 Gal. Cont.	48"x60" Low
	<i>Hesperaloe parviflora</i> / RED HESPERALOE	1 Gal. Cont.	48"x48" Medium
	<i>Opuntia basilaris</i> / BEAVERTAIL PRICKLY PEAR	1 Gal. Cont.	12"x48" Low
	<i>Opuntia engelmannii</i> / ENGELMANN'S PRICKLY PEAR	1 Gal. Cont.	48"x60" Low
	<i>Yucca glauca</i> / Soapweed	1 Gal. Cont.	36"x60" Low
	<i>Yucca rostrata</i> / TWISTED LEAF YUCCA	1 Gal. Cont.	36"x36" Low

MULCHES

SYMBOL	ROCK MULCH	ORGANIC PECAN SHELL MULCH
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LANDSCAPE CALCULATIONS

SITE AREA: 7,367.2 AC (AFTER R.O.W. DEDICATION)
 OPEN SPACE REQUIREMENT (10% OF THE SITE): 32,048 SF
 OPEN SPACE PROVIDED: 41,036 SF
 LANDSCAPE REQUIREMENT (40% OF OPEN SPACE): 16,414 SF
 LANDSCAPE AREA PROVIDED: 38,179 SF
 *NET LOT AREA WAS NOT USED IN THESE CALCULATIONS.

OPEN SPACE CALCULATIONS DO NOT INCLUDE REQUIRED LANDSCAPE STRIPS ALONG THE STREET OR WALKWAYS EXCEPT ANY PORTION OF A WALKWAY THAT IS WIDER THAN 10 FEET.

A MINIMUM OF 75% OF LANDSCAPE AREAS AND 80%-75% OF PLANTING STRIPS SHALL BE COVERED WITH LIVE VEGETATIVE MATERIALS.

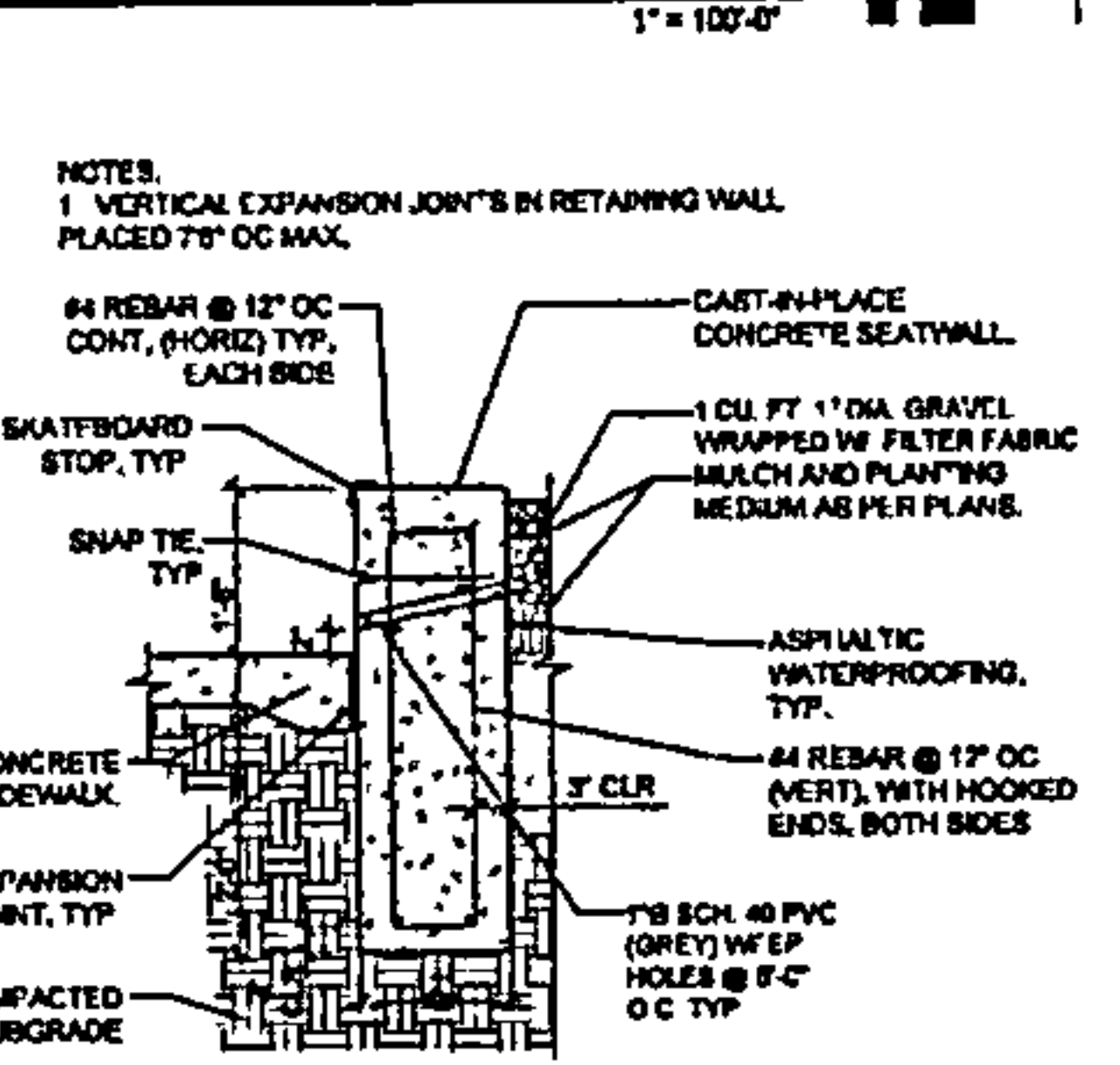
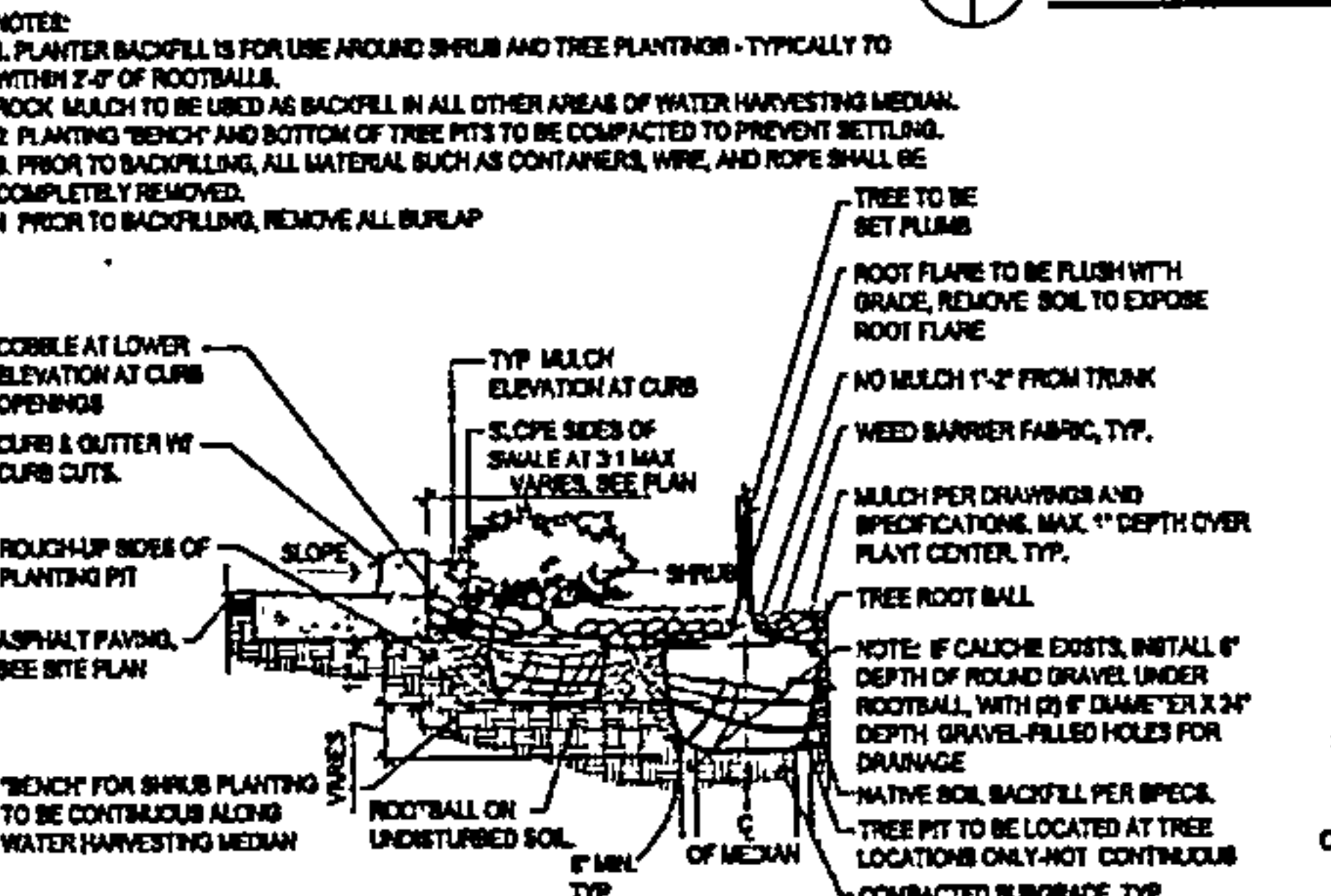
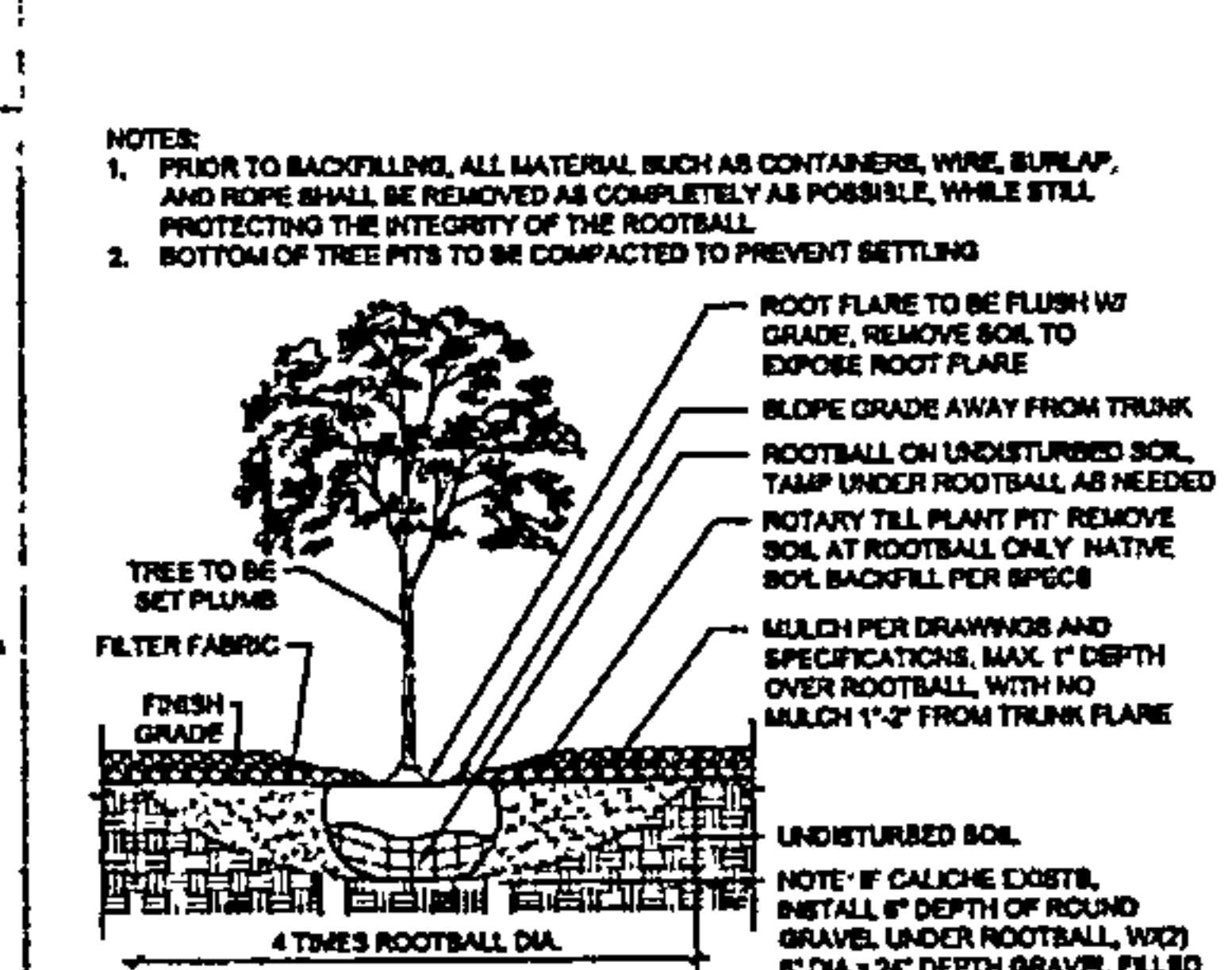
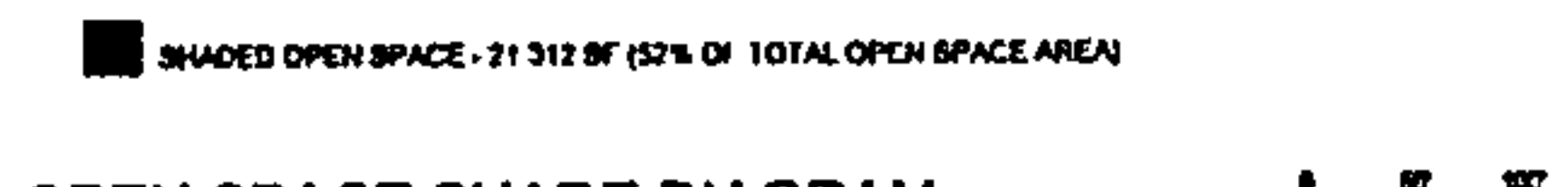
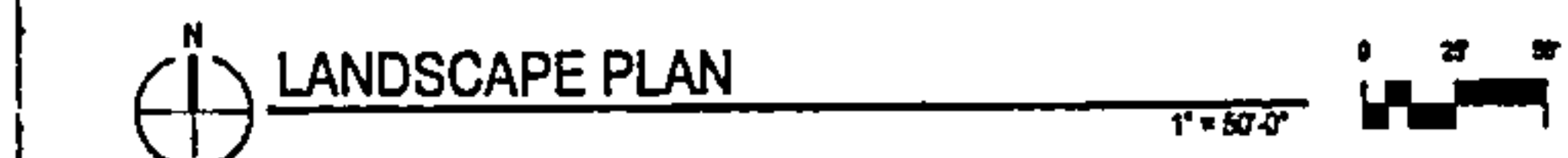
A MINIMUM OF 10% OF LANDSCAPE AREAS WILL HAVE FLOWERING PLANTS OR SHRUBS

TOTAL SHADE TREES: 80 (% OF TREES)
 TOTAL SIGNATURE TREES: 38 (% OF TREES)

ROCK MULCH HAS BEEN LIMITED TO LESS THAN 5% OF ANY OPEN SPACE AREA AND USED ONLY WHERE NECESSARY AROUND DRAINAGE INLETS. ALL OTHER MULCH AREAS UTILIZE ORGANIC PECAN SHELL MULCH.

LANDSCAPE NOTES

- DESIGN: THE PLANTING DESIGN INCLUDES A DIVERSE PALETTE OF DESERT AND HIGH DESERT PLANTS THAT WILL COMPLEMENT THE ARCHITECTURE OF THE PROJECT. THE INTENT IS TO LANDSCAPE THIS MIXED-USE, URBAN ENVIRONMENT WITH DESERT AND HIGH DESERT PLANTS THAT REINFORCE A SENSE OF PLACE AND ARE APPROPRIATE TO ALBUQUERQUE'S CLIMATE.
- GRASSES AND ACCENT PLANTS SUCH AS YUCCA, SOTOL AND PRICKLY PEAR CACTUS WILL BE USED IN HIGHLY VISIBLE AND APPROPRIATE LOCATIONS. THE USE OF REGIONALLY NATIVE TREES FOR STREET TREES, WHILE UNORTHODOX, WILL REINFORCE THE SENSE OF PLACE, BUFFER PEDESTRIANS FROM VEHICULAR AREAS AND PROVIDE A COMFORTABLE PEDESTRIAN SCALE TO THE STREETS.
- PLANTING AND IRRIGATION INSTALLATION DETAILS SHALL MEET CITY OF ALBUQUERQUE REQUIREMENTS AND THE USOP REQUIREMENTS. EACH TREE SHALL HAVE A MINIMUM OF 36 SQUARE FEET OF PLANTING SPACE.
- PLANTING AND IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- CONTROL: THE IRRIGATION SYSTEM SHALL BE RUN WITH A FULLY AUTOMATED IRRIGATION CONTROLLER. THE RUN TIME FOR THE VARIOUS ZONES SHALL BE APPROXIMATELY 45 MINUTES FOR THE DRIP ZONES. RUN TIME WILL BE ADJUSTED ACCORDING TO SEASON, LOCATION, AND PLANT PERFORMANCE. DRIP EMITTERS SHALL BE USED FOR ALL PLANT MATERIAL.
- POINT OF CONNECTION: THERE IS LIKELY TO BE MORE THAN ONE POINT OF CONNECTION FOR THIS PROJECT. THE WATER CONNECTION LOCATIONS WILL BE COORDINATED WITH THE OVERALL WATER SERVICE DESIGN FOR THE SITE. THE EXACT LOCATIONS FOR CONNECTIONS AND CONTROLLERS IN UNKNOWN AT THIS TIME.
- MULCH: ALL PLANTING BEDS SHALL BE COVERED WITH MULCH (GRAVEL, BARK AND PECAN SHELL MULCHES WILL BE USED APPROPRIATELY TO ADD VISUAL INTEREST AND PROTECT SOIL MOISTURE).
- THE PARKING AREA TREES SELECTED FOR USE AT TARGET @ TREE AND SHRUB PITS TO BE 4 TIMES THE ROOTBALL DIAMETER.
- THERE IS NO HIGH WATER USE TURF USED ON THIS PROJECT.
- THE LANDSCAPE DESIGN SHALL COMPLY WITH THE INTENT OF THE CITY OF ALBUQUERQUE WATER CONSERVATION, LANDSCAPING AND WATER WASTE ORDINANCE.
- SOIL PREPARATION AND AERATION WITHIN ROW IS REQUIRED TO DE-COMPACT LANDSCAPE ZONE PRIOR TO PLANTING.
- PASSIVE WATER HARVESTING, SUCH AS HARVESTING OF STORM WATER SURFACE RUNOFF AND ROOF RUNOFF, SHALL BE UTILIZED WHERE FEASIBLE AND CAPTURED IN SWALES.
- SOIL AMENDMENTS WILL BE USED FOR PLANT MATERIAL.
- PLANT AND IRRIGATION MAINTENANCE WILL BE THE RESPONSIBILITY OF THE OWNER FOLLOWING SUBSTANTIAL COMPLETION OR ANY MAINTENANCE PERIODS.
- THE LANDSCAPE DESIGN REQUIRES A PERMANENT, FULLY AUTOMATIC IRRIGATION SYSTEM TO SUPPORT THE PLANT MATERIAL.
- THE IRRIGATION SYSTEM WILL BE CONNECTED TO CITY WATER. THE POINT OF CONNECTION WILL CONSIST OF A WATER METER, BACKFLOW PREVENTER AND MASTERVALVE. SEE CGA STD DETAIL #2701.
- THE CONTRACTOR SHALL CREATE AN IRRIGATION PLAN TO PERMANENTLY IRRIGATE THE PROPOSED PLANTINGS, AND SHALL SUBMIT THIS TO THE ARCHITECT FOR REVIEW AND APPROVAL. THE PLAN SHALL INCLUDE A PIPE AND EMITTER LAYOUT WITH SIZING, VALVE SCHEDULE AND CONSTRUCTION DETAILS.
- CONTROL: THE IRRIGATION SYSTEM SHALL BE RUN WITH FULLY AUTOMATED IRRIGATION CONTROLLER. RUN TIME WILL BE ADJUSTED ACCORDING TO PLANT MATURITY, SEASON, LOCATION, AND PLANT PERFORMANCE.
- DRIP EMITTERS SHALL BE USED FOR ALL PLANT MATERIAL.
- REFER TO DRAINAGE PLAN FOR GRADING INFORMATION AND WATER HARVESTING LOCATIONS.



NOTES:
 1. PRIOR TO BACKFILLING, ALL MATERIAL SUCH AS CONTAINERS, WIRE, BURLAP, AND ROPE SHALL BE REMOVED AS COMPLETELY AS POSSIBLE, WHILE STILL PROTECTING THE INTEGRITY OF THE ROOTBALL.
 2. BOTTOM OF TREE PITS TO BE COMPACTED TO PREVENT SETTLING.

NOTES:
 1. PLANTER BACKFILL IS FOR USE AROUND SHRUB AND TREE PLANTING - TYPICALLY TO WITHIN 2'-0" OF ROOTBALL.
 2. ROCK MULCH TO BE USED AS BACKFILL IN ALL OTHER AREAS OF WATER HARVESTING MEDIAN.
 3. PLANTING 'BENCH' AND BOTTOM OF TREE PITS TO BE COMPACTED TO PREVENT SETTLING.
 4. PRIOR TO BACKFILLING, ALL MATERIAL SUCH AS CONTAINERS, WIRE, AND ROPE SHALL BE COMPLETELY REMOVED.
 5. PRIOR TO BACKFILLING, REMOVE ALL BURLAP.

NOTES:
 1. VERTICAL EXPANSION JOINT'S IN RETAINING WALL PLACED 7'-0" OC MAX.
 2. #4 REBAR @ 12" OC CONT. (HORIZ) TYP. EACH SIDE.
 3. SKATEBOARD STOP, TYP.
 4. SNAP TIE TYP.
 5. CONCRETE SIDEWALK.
 6. EXPANSION JOINT, TYP.
 7. COMPACTED SUBGRADE.

Dekker Perich Sabatini
 7801 Jefferson NE Suite 100
 Albuquerque, NM 87113
 505.761.8722
 505.761.4223
 505.761.4224

TARGET @ ABQ Uptown
 Albuquerque, New Mexico

DRB SUBMITTAL

REVISIONS

DATE	11/10/2011
PROJECT NO	10-1135
DATE WHEN MADE	

LANDSCAPE PLAN - PHASE II

September 18, 2013

ABQ-Park Neighborhood Association "R"
Ms. Susan Baca
7465 Sky Court Cir. NE
Albuquerque, NM 87110

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Legal Description: Tract A of Hunt – Spectrum Development Site

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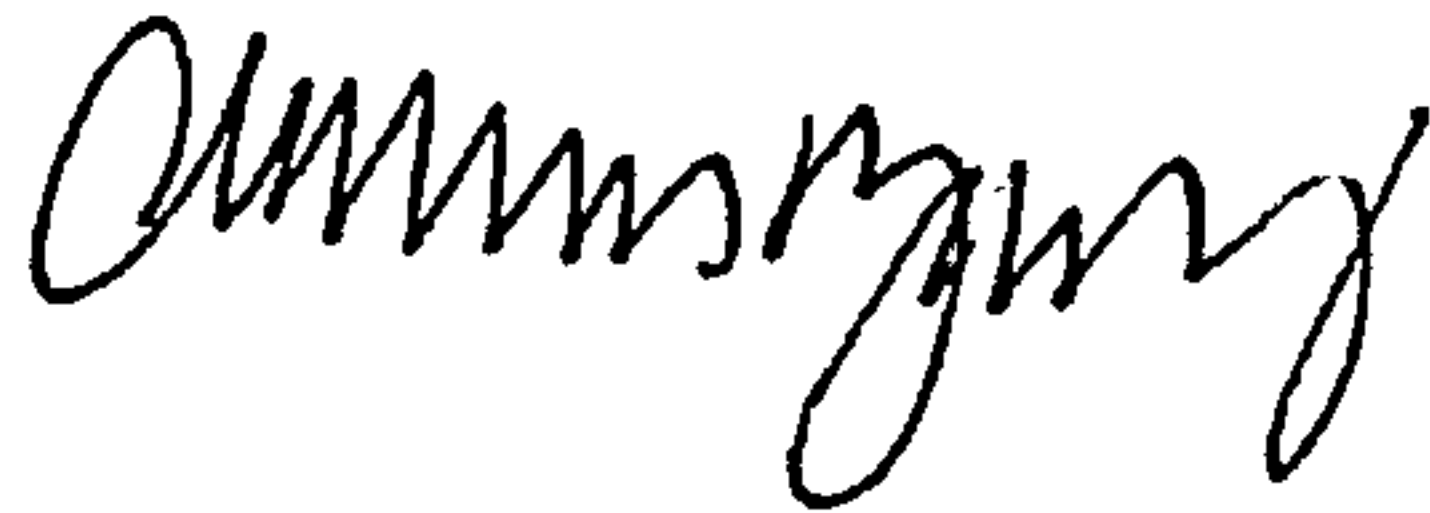
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7601 Jefferson NE, Suite 100
Albuquerque, NM 87109
505-761-9700

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Dekker/Perich/Sabatini
Agent for Target



Christopher R. Gunning, AIA, LEED AP
Principal

Attachments:
Previous notification letter (VOIDED)
Site Development Plan for Subdivision
Landscaping Plan

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~~VOIDED~~
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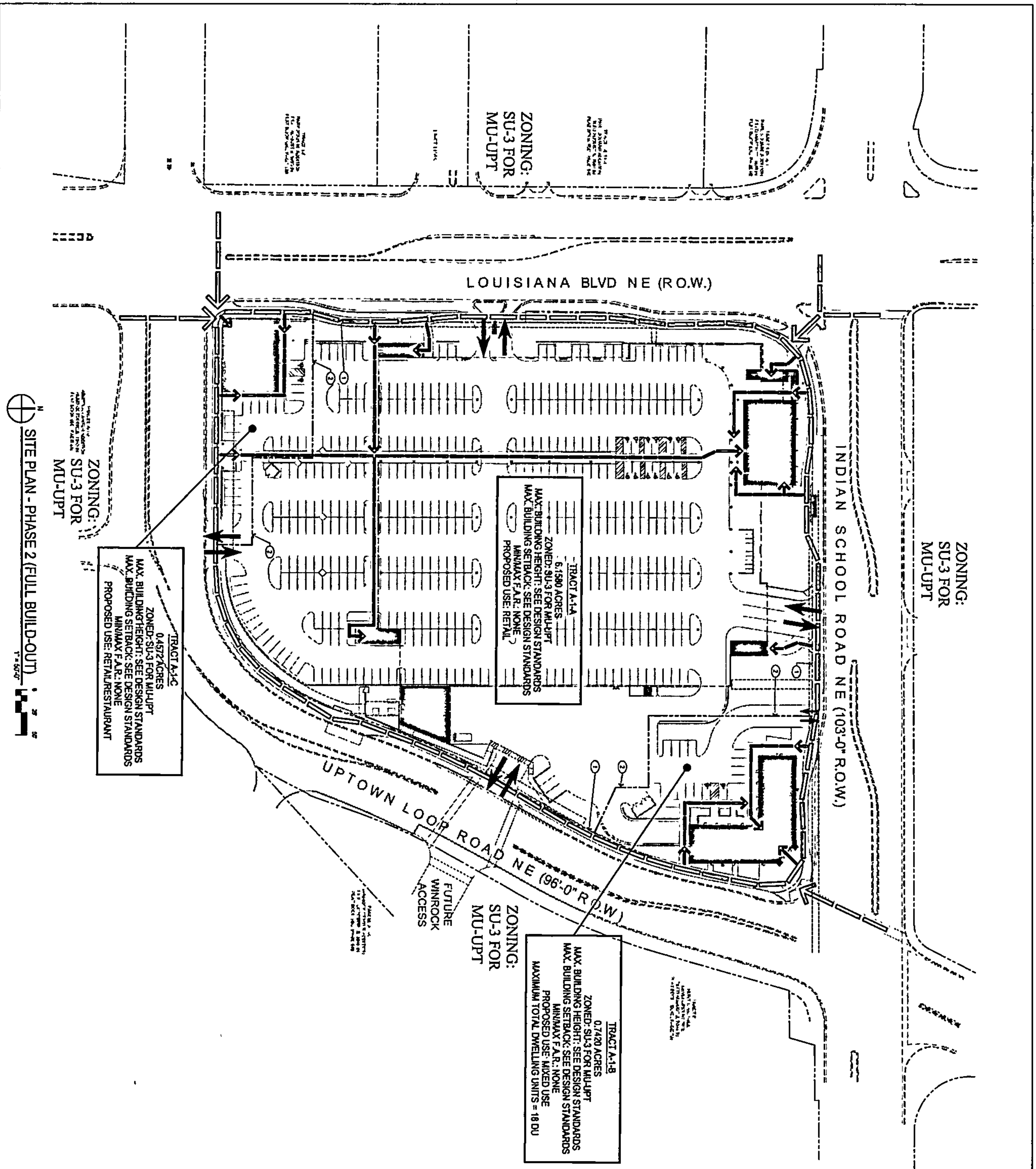
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Dekker/Perich/Sabatini
Agent for Target



Christopher R. Gunning, AIA, LEED AP
Principal

Attachments: Site Development Plan for Subdivision and Landscaping Plan



SITE PLAN - PHASE 2 (FULL BUILD-OUT)

 1" = 50'-0"

GENERAL NOTES

- A. REFER TO SHEET 3 FOR DESIGN STANDARDS
- B. REFER TO CIVIL DRAWING, SHEET 27 FOR CONCEPTUAL UTILITY PLAN
- C. APPLICABLE PLANS, UPTOWN SECTOR DEVELOPMENT PLAN (2009)
- D. PROPOSED USES: MIXED USE INCLUDING RETAIL, RESTAURANT AND HOUSING

KEYED NOTES

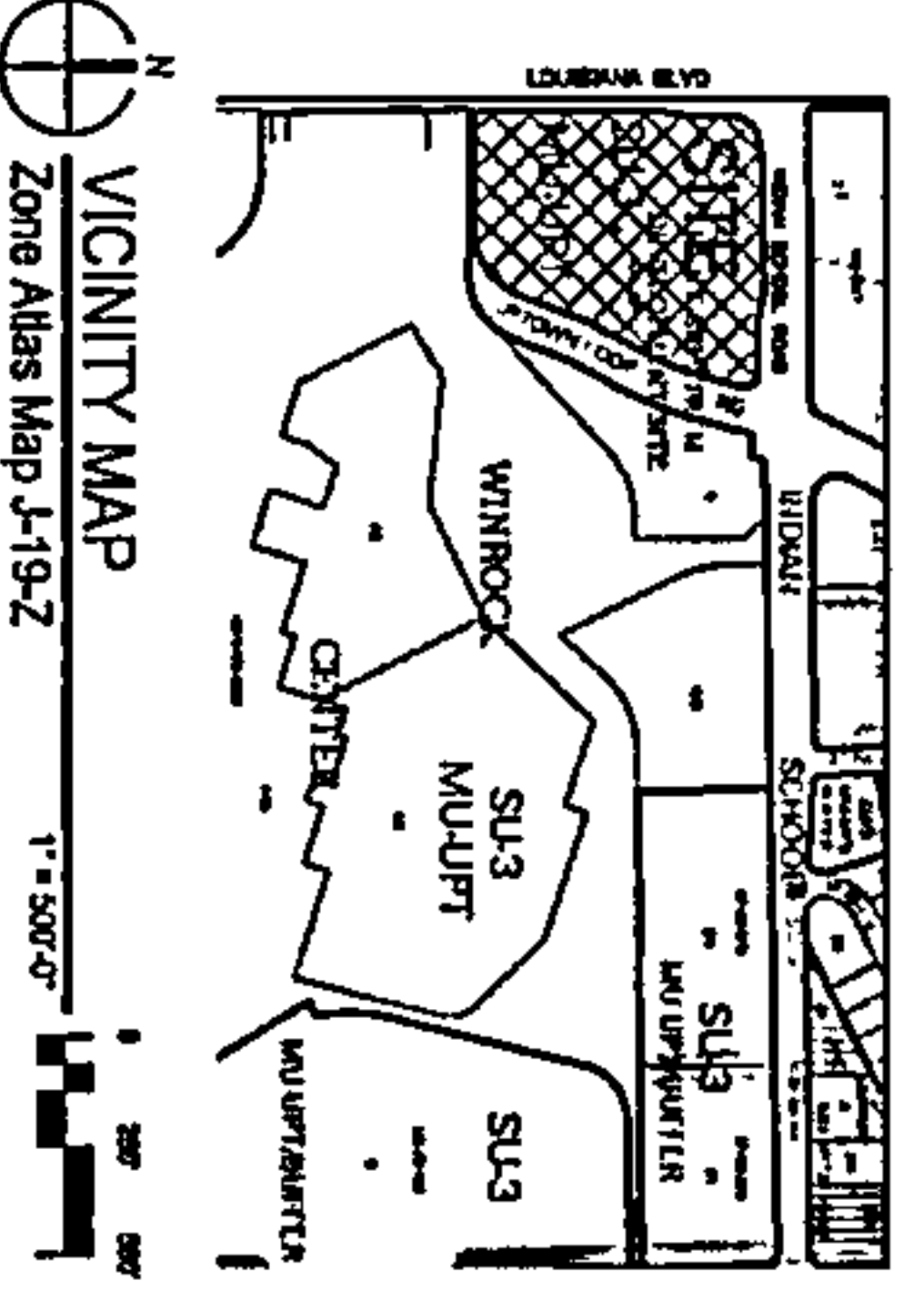
- 1. EXISTING PROPERTY LINE
- 2. PROPOSED PROPERTY LINE

SITE DATA

LEGAL DESCRIPTION:
 TRACT A, PART - SECT 27 FOR CONCEPTUAL DEVELOPMENT SITE
ZONE:
 SU-3 FOR MU-UPT

SITE PLAN LEGEND

- PEDESTRIAN NONSTOP / EGRESS
- VEHICULAR NONSTOP / EGRESS
- PROPERTY LINE EXISTING AS NOTED
- PROPERTY LINE PROPOSED AS NOTED



PROJECT NUMBER:	190714
PROJECT NUMBER:	190714
APPLICATION NUMBER:	190714
It is understood that Applicant (I) or (S) or (C) has a valid and approved DRB plan with a work order as required for any construction within the City Limits of Albuquerque and the construction of public improvements.	
SITE DEVELOPMENT PLAN APPROVAL	
TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
ARBONIA	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
SOLID WASTE MANAGER	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

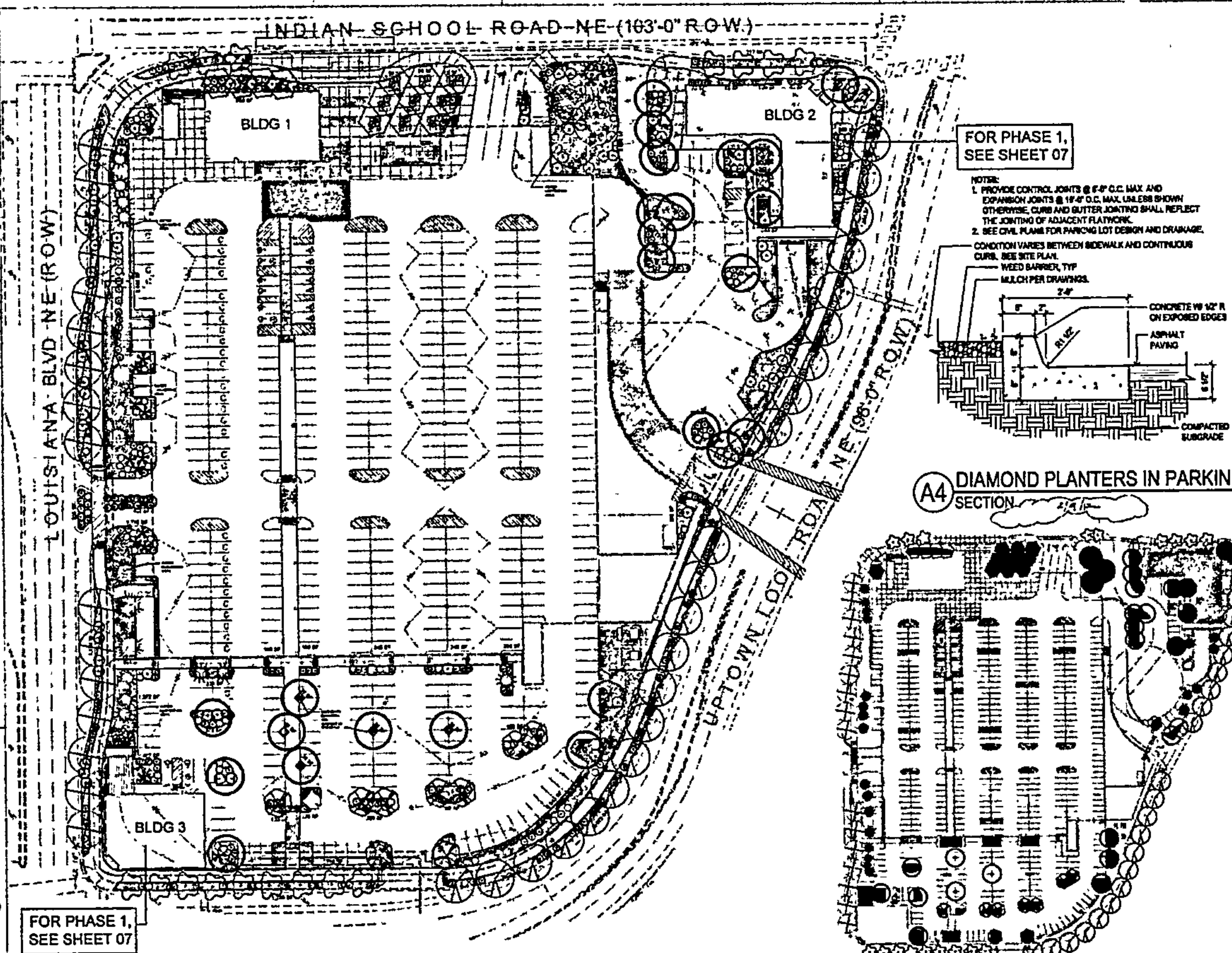
PROJECT:
TARGET @ ABQ Uptown
Albuquerque, New Mexico
SITE PLAN FOR SUBDIVISION
DRB SUBMITTAL

DOKKER
Perich
Sabatini
 ARCHITECTS
 1001 JEFFERSON ST. SUITE 100
 ALBUQUERQUE, NM 87103
 TEL: 505-275-1200
 FAX: 505-275-1222
 WWW.DOKKERARCHITECTS.COM

REVISIONS:
 1
 2
 3
 4

DRAWN BY: SJT
REVIEWED BY: CRG
DATE: 06/03/2013
PROJECT NO.: 11-0096.002
DRAWING NAME: SITE DEVELOPMENT PLAN FOR SUBDIVISION

1 of 4



PLANTING LEGEND

TREES

SYM	QTY	BOTANICAL NAME/ COMMON NAME	INSTALLATION SIZE	MATURE SIZE (HxW) WATER USE
26		Platycodon grandiflorus/ CHINESE PISTACHE	3" Cal.	35'x30' Medium
15		Cercos retortiformis/ WESTERN REDBUDD	2" Cal./B&B Multi-trunked	25'x18' Medium
23		Chlopya linearis 'Arts Seedless/ DESERT WILLOW	48" Dood/ Multi-trunked	25'x35' Low
3		Populus deltoides weitzii/ RIO GRANDE VALLEY COTTONWOOD	2" Cal./B&B	60'x60' High
22		Quercus buckleyi/ TEXAS RED OAK	2" Cal./B&B	25'x25' Medium
10		Quercus muhlenbergii/ CHINOQUIN OAK	2" Cal./B&B	30'x30' Medium
12		Tilia cordata LITTLELEAF LINDEN	2" Cal./B&B	35'x30' Medium
11		Juniperus chinensis 'Spartan' SPARTAN JUNIPER	6" High/B&B	15'x7' Low
16		Pinus strobus formis/ SOUTHWESTERN WHITE PINE	6" High/B&B	60'x20' Low

SHRUBS

SYMBOL	BOTANICAL NAME/ COMMON NAME	INSTALLATION SIZE	MATURE SIZE (HxW) WATER USE
⊗	Eriogonum fasciculatum/ TURPENTINE BUSH	1 Gal. Cont.	36" x 36" Low
⊗	Baccharis x confertifolia/ CENTENNIAL BROOM	1 Gal. Cont.	36" x 42" Low
⊗	Caryopteris diemontensis 'Dark Knight'/ DARK NIGHT BLUE MIST SPIREA	1 Gal. Cont.	48" x 48" Medium
⊗	Nehalene aquilata 'Compactum'/ COMPACT MAHONIA	1 Gal. Cont.	24" x 48" Medium
⊗	Rosa rugosa 'Upright'/ UPRIGHT ROSEMARY	1 Gal. Cont.	60" x 48" Low
⊗	Rhus aromatica 'Gro-low'/ GRO-LO FRAGRANT SUMAC	1 Gal. Cont.	24" x 72" Medium
⊗	Salvia greggii/ AUTUMN SAGE	1 Gal. Cont.	30" x 36" Low
⊗	Verticillium bipinnatifidum/ PRAIRIE VERBENA	1 Gal. Cont.	6" x 36" Low
⊗	Callisaya involucrata/ WINECLIPS	1 Gal. Cont.	18" x 18" Low
⊗	Ceanothus leucanthus/ DWARF PLUMBAGO	1 Gal. Cont.	12" x 18" Medium
⊗	Gallardia aristata/ BLANKE FLOWER	1 Gal. Cont.	30" x 30" Low
⊗	Hymenocallis scutellaria/ ANGELITA DAISY	1 Gal. Cont.	12" x 12" Low
⊗	Lavandula angustifolia 'Hidcote Superior'/ HIDCOTE SUPERIOR LAVENDER	1 Gal. Cont.	18" x 18" Medium
⊗	Mirabilis multiflora/ DESERT FOUR-O'CLOCK	1 Gal. Cont.	18" x 30" Medium
⊗	P. barnebyi/ RED PENSTEMON	1 Gal. Cont.	50" x 30" Low
⊗	Teucrium chamedrys/ TRAILING GERMANDER	1 Gal. Cont.	12" x 24" Medium

GRASSES

SYMBOL	BOTANICAL NAME/ COMMON NAME	INSTALLATION SIZE	MATURE SIZE (HxW) WATER USE
⊗	Festuca idahoensis 'Siskiyou Blue'/ SISKIYOU BLUE FESCUE	1 Gal. Cont.	18" x 15" Medium
⊗	Muhlenbergia capensis 'Regal Mist'/REGAL MIST MUHLENBERGIA	1 Gal. Cont.	36" x 42" Medium
⊗	Muhlenbergia rigens/ DEER GRASS	1 Gal. Cont.	42" x 48" Medium
⊗	Holcus microcarpa/ BEARGRASS	1 Gal. Cont.	36" x 48" Medium
⊗	Mecanathus shenalis/ MADEN GRASS	1 Gal. Cont.	60" x 48" Medium

ACCENTS

SYMBOL	BOTANICAL NAME/ COMMON NAME	INSTALLATION SIZE	MATURE SIZE (HxW) WATER USE
*	Agave parryi/ PARRY'S AGAVE	1 Gal. Cont.	36" x 36" Low
*	Dasylirion wheeleri/ SOTOL	1 Gal. Cont.	48" x 60" Low
*	Isoperla parryi/ RED HESPERALOE	1 Gal. Cont.	45" x 48" Medium
*	Opuntia basilaris/ BEAVERTAIL, PRICKLY PEAR	1 Gal. Cont.	12" x 48" Low
*	Opuntia engelmannii/ ENGELMANN'S PRICKLY PEAR	1 Gal. Cont.	48" x 60" Low
*	Yucca glauca/ SOAPWED	1 Gal. Cont.	36" x 60" Low
*	Yucca nuptula/ TWISTED LEAF YUCCA	1 Gal. Cont.	36" x 36" Low

MULCHES

SYMBOL	ROCK MULCH	ORGANIC PECAN SHELL MULCH
□	ROCK MULCH	ORGANIC PECAN SHELL MULCH

LANDSCAPE CALCULATIONS

SITE AREA: 7,357.2 AC (AFTER R.O.W. DEDICATION)
 OPEN SPACE REQUIREMENT (10% OF THE SITE): 32,048 SF
 OPEN SPACE PROVIDED: 41,026 SF
 LANDSCAPE REQUIREMENT (40% OF OPEN SPACE): 16,414 SF
 LANDSCAPE AREA PROVIDED: 39,179 SF
 *NET LOT AREA WAS NOT USED IN THESE CALCULATIONS.

OPEN SPACE CALCULATIONS DO NOT INCLUDE REQUIRED LANDSCAPE STRIPS ALONG THE STREET OR WALKWAYS EXCEPT ANY PORTION OF A WALKWAY THAT IS WIDER THAN 10 FEET.

A MINIMUM OF 75% OF LANDSCAPE AREAS AND 80%-75% OF PLANTING STRIPS SHALL BE COVERED WITH LIVE VEGETATIVE MATERIALS.

A MINIMUM OF 10% OF LANDSCAPE AREAS WILL HAVE FLOWERING PLANTS OR SHRUBS.

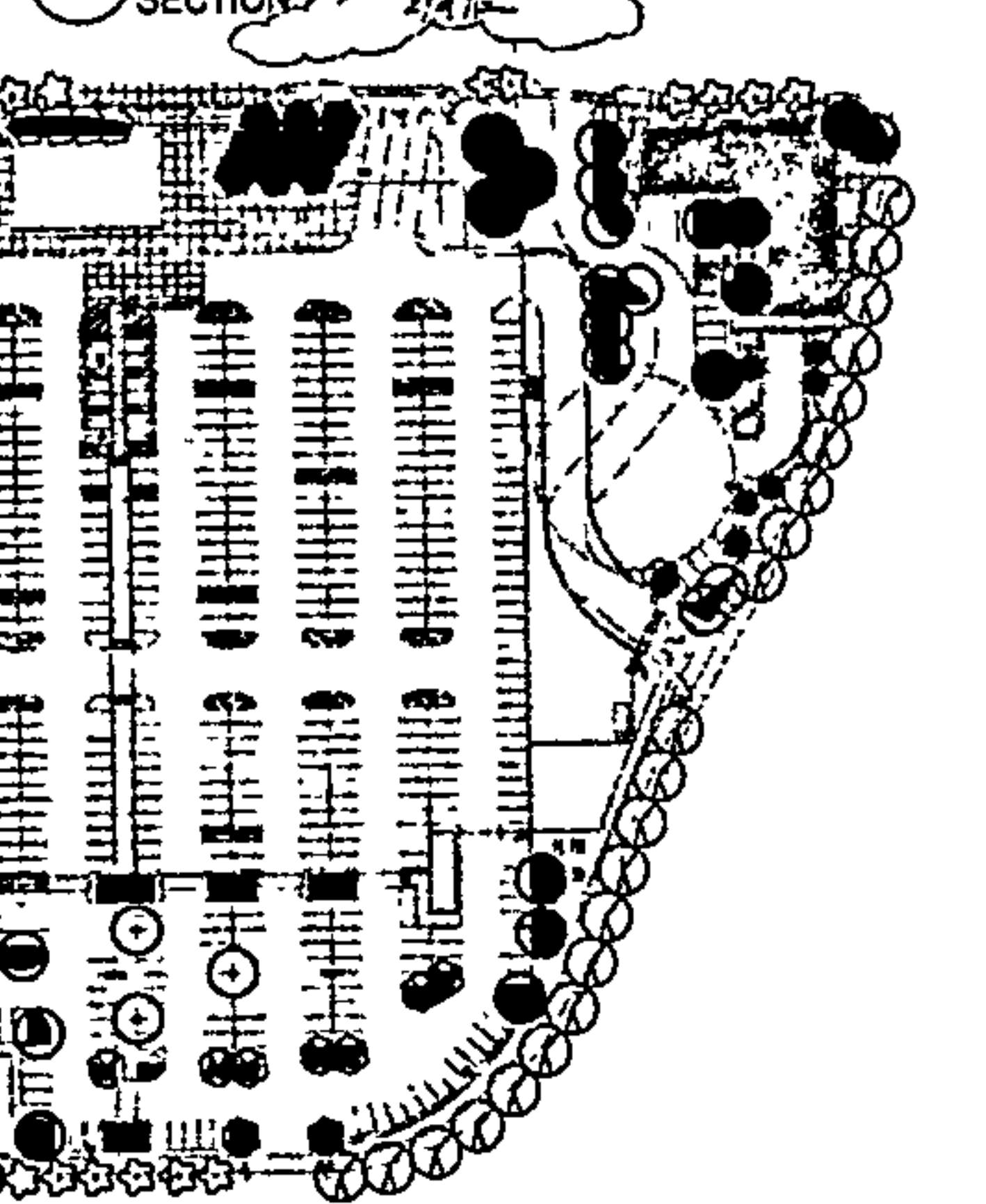
TOTAL SHADE TREES: 80 (% OF TREES)
 TOTAL SIGNATURE TREES: 38 (% OF TREES)

ROCK MULCH HAS BEEN LIMITED TO LESS THAN 5% OF ANY OPEN SPACE AREA AND USED ONLY WHERE NECESSARY AROUND DRAINAGE INLETS. ALL OTHER MULCH AREAS UTILIZE ORGANIC PECAN SHELL MULCH.

LANDSCAPE NOTES

- A. DESIGN: THE PLANTING DESIGN INCLUDES A DIVERSE PALETTE OF DESERT AND HIGH DESERT PLANTS THAT WILL COMPLEMENT THE ARCHITECTURE OF THE PROJECT. THE INTENT IS TO LANDSCAPE THIS MIXED-USE, URBAN ENVIRONMENT WITH DESERT AND HIGH DESERT PLANTS THAT REINFORCE A SENSE OF PLACE AND ARE APPROPRIATE TO ALBUQUERQUE'S CLIMATE.
- A.A. GRASSES AND ACCENT PLANTS SUCH AS YUCCA, SOTOL AND PRICKLY PEAR CACTUS WILL BE USED IN HIGHLY VISIBLE AND APPROPRIATE LOCATIONS. THE USE OF REGIONALLY NATIVE TREES FOR STREET TREES, WHILE UNORTHODOX, WILL REINFORCE THE SENSE OF PLACE, BUFFER PEDESTRIANS FROM VEHICULAR AREAS AND PROVIDE A COMFORTABLE PEDESTRIAN SCALE TO THE STREETS.
- B. PLANTING AND IRRIGATION INSTALLATION DETAILS SHALL MEET CITY OF ALBUQUERQUE REQUIREMENTS AND THE USOP REQUIREMENTS. EACH TREE SHALL HAVE A MINIMUM OF 36 SQUARE FEET OF PLANTING SPACE.
- C. PLANTING AND IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- D. CONTROLLER: THE IRRIGATION SYSTEM SHALL BE RUN WITH A FULLY AUTOMATED IRRIGATION CONTROLLER. THE RUN TIME FOR THE VARIOUS ZONES SHALL BE APPROXIMATELY 45 MINUTES FOR THE DRIP ZONES. RUN TIME WILL BE ADJUSTED ACCORDING TO SEASON, LOCATION, AND PLANT MATERIAL. DRIP EMITTERS SHALL BE USED FOR ALL PLANT MATERIAL.
- E. POINT OF CONNECTION: THERE IS LIKELY TO BE MORE THAN ONE POINT OF CONNECTION FOR THIS PROJECT. THE WATER CONNECTION LOCATIONS WILL BE COORDINATED WITH THE OVERALL WATER SERVICE DESIGN FOR THE SITE. THE EXACT LOCATIONS FOR CONNECTIONS AND CONTROLLERS IN UNKNOWN AT THIS TIME.
- F. MULCH: ALL PLANTING BEDS SHALL BE COVERED WITH MULCH. GRAVEL, BARK AND PECAN SHELL MULCHES WILL BE USED APPROPRIATELY TO ADD VISUAL INTEREST AND PROTECT SOIL MOISTURE.
- G. THE PARKING AREA TREES SELECTED FOR USE AT TARGET @ TREE AND SHRUB PITS TO BE 4 TIMES THE ROOTBALL DIAMETER.
- H. THERE IS NO HIGH WATER USE TURF USED ON THIS PROJECT.
- I. THE LANDSCAPE DESIGN SHALL COMPLY WITH THE INTENT OF THE CITY OF ALBUQUERQUE WATER CONSERVATION, LANDSCAPING AND WATER WASTE ORDINANCE.
- J. SOIL PREPARATION AND AERATION WITHIN ROW IS REQUIRED TO DE-COMPACT LANDSCAPE ZONE PRIOR TO PLANTING.
- K. PASSIVE WATER HARVESTING, SUCH AS HARVESTING OF STORM WATER SURFACE RUNOFF AND ROOF RUNOFF, SHALL BE UTILIZED WHERE FEASIBLE AND CAPTURED IN SWALES.
- L. SOIL AMENDMENTS WILL BE USED FOR PLANT MATERIAL.
- M. PLANT AND IRRIGATION MAINTENANCE WILL BE THE RESPONSIBILITY OF THE OWNER FOLLOWING SUBSTANTIAL COMPLETION OR ANY MAINTENANCE PERIOD.
- N. THE LANDSCAPE DESIGN REQUIRES A PERMANENT, FULLY AUTOMATIC IRRIGATION SYSTEM TO SUPPORT THE PLANT MATERIAL.
- O. THE IRRIGATION SYSTEM WILL BE CONNECTED TO CITY WATER. THE POINT OF CONNECTION WILL CONSIST OF A WATER METER, BACKFLOW PREVENTER AND MAST VALVE, SEE COA STD DETAIL #2701.
- P. THE CONTRACTOR SHALL CREATE AN IRRIGATION PLAN TO PERMANENTLY IRRIGATE THE PROPOSED PLANTINGS, AND SHALL SUBMIT THIS TO THE ARCHITECT FOR REVIEW AND APPROVAL. THE PLAN SHALL INCLUDE A PIPING AND EMITTER LAYOUT WITH SIZING, VALVE SCHEDULE AND CONSTRUCTION DETAILS.
- Q. CONTROLLER: THE IRRIGATION SYSTEM SHALL BE RUN WITH FULLY AUTOMATED IRRIGATION CONTROLLER. RUN TIME WILL BE ADJUSTED ACCORDING TO PLANT MATURITY, SEASON, LOCATION, AND PLANT PERFORMANCE.
- R. DRIP EMITTERS SHALL BE USED FOR ALL PLANT MATERIAL.
- S. REFER TO DRAINAGE PLAN FOR GRADING INFORMATION AND WATER HARVESTING LOCATIONS.

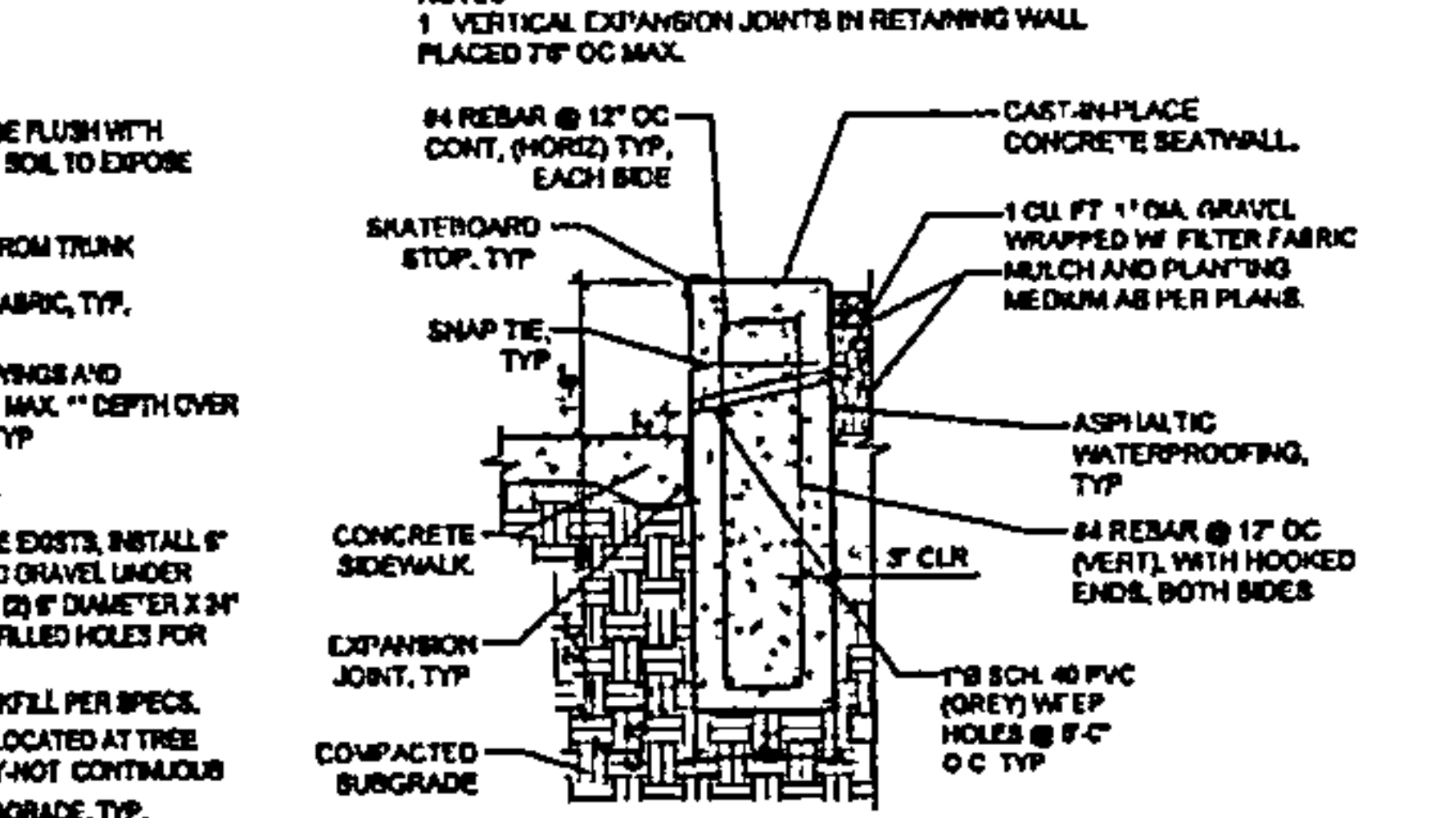
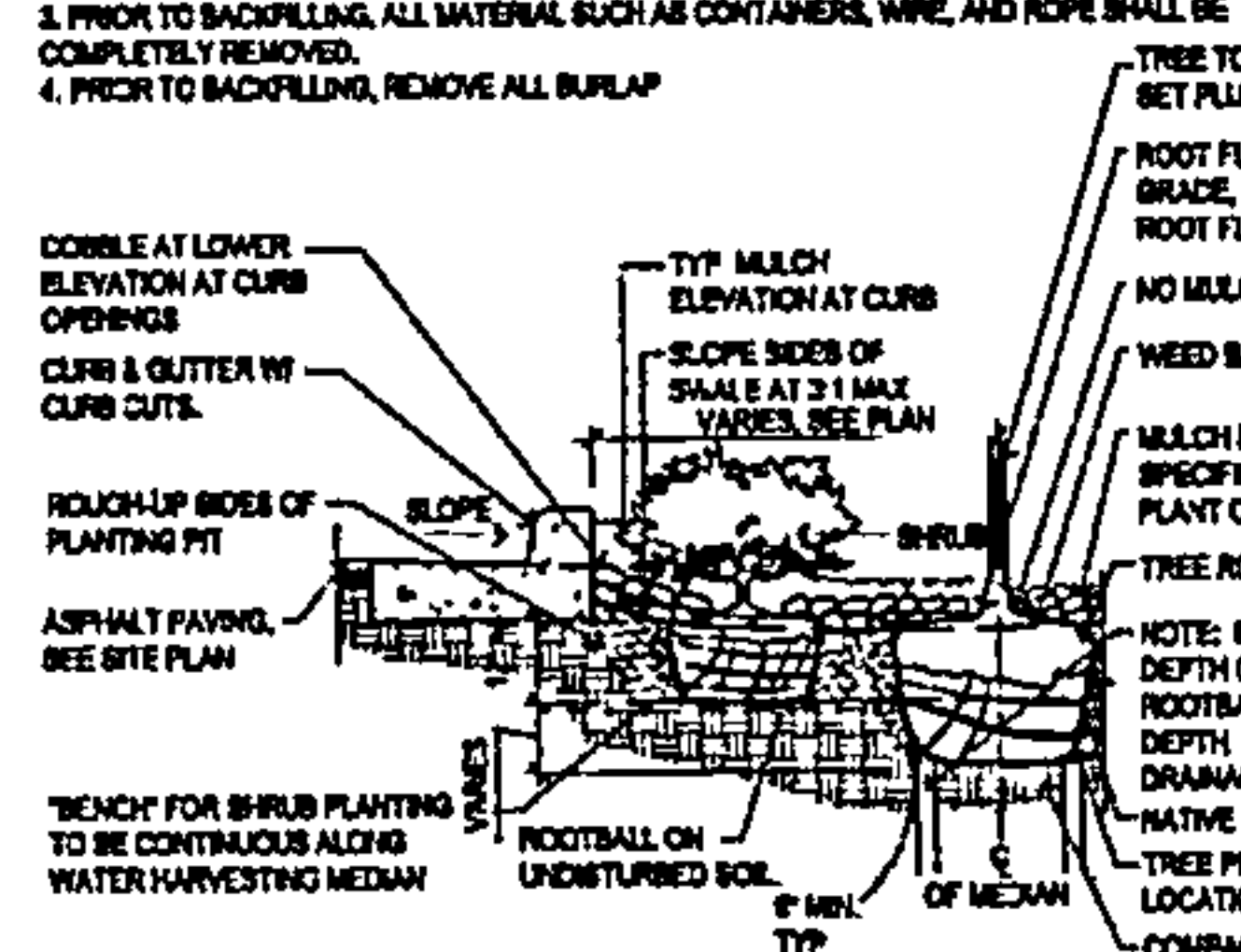
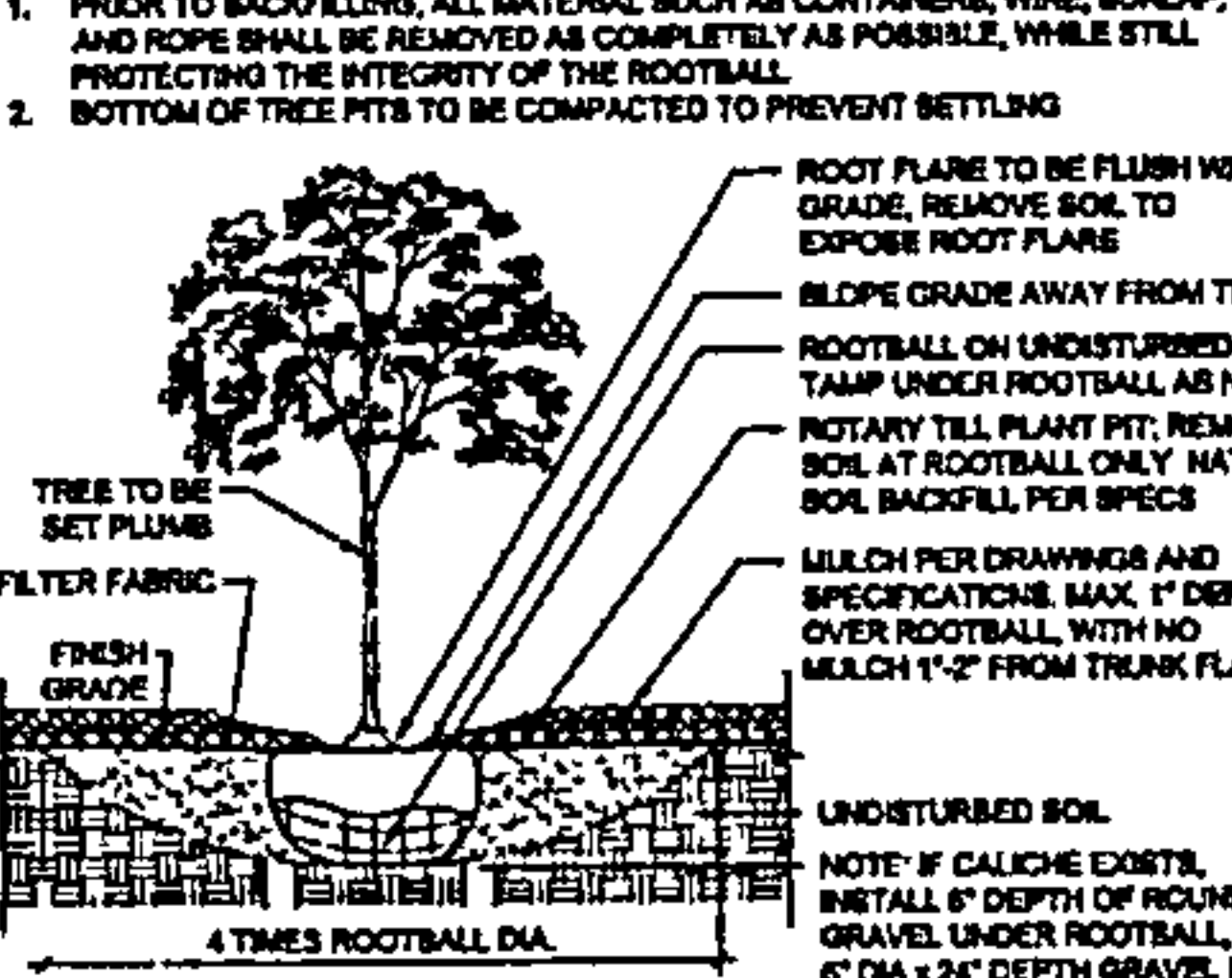
A4 DIAMOND PLANTERS IN PARKING LOT



OPEN SPACE SHADE DIAGRAM



LANDSCAPE PLAN



A1 TREE
 3/4" = 1'-0"

A2 WATER HARVESTING AREA
 1/2" = 1'-0"

A3 CONC. SEAT PLANTER
 3/4" = 1'-0"

Dekker Perich Sabatini
 7801 Jefferson NE Suite 110
 Albuquerque, NM 87110
 505 341 8744
 Fax: 505 341 8227
 ds@psab.com ps@psab.com

TARGET @ ABQ Uptown
 Albuquerque, New Mexico

DRB SUBMITTAL

REVISIONS

REV	DATE	BY
01	11/16/2011	JG
02		MB
03		

PROJECT NO: 10-135

LANDSCAPE PLAN - PHASE II

September 18, 2013

Alvarado Park Neighborhood Association "R"
Ms. Emily White
5709 Aspen NE
Albuquerque, NM 87110

Re: Target, 2120 Louisiana Boulevard NE
Southeast corner of Louisiana Boulevard NE and Indian School Road NE
Reason for Request: Target at Uptown Site Development Plan for Subdivision & Re-plat
Legal Description: Tract A of Hunt – Spectrum Development Site

Dear Ms. White:

A letter was sent notifying you that Target wishes to subdivide their property to prepare for development of the pad sites at the southwest and northeast corners.

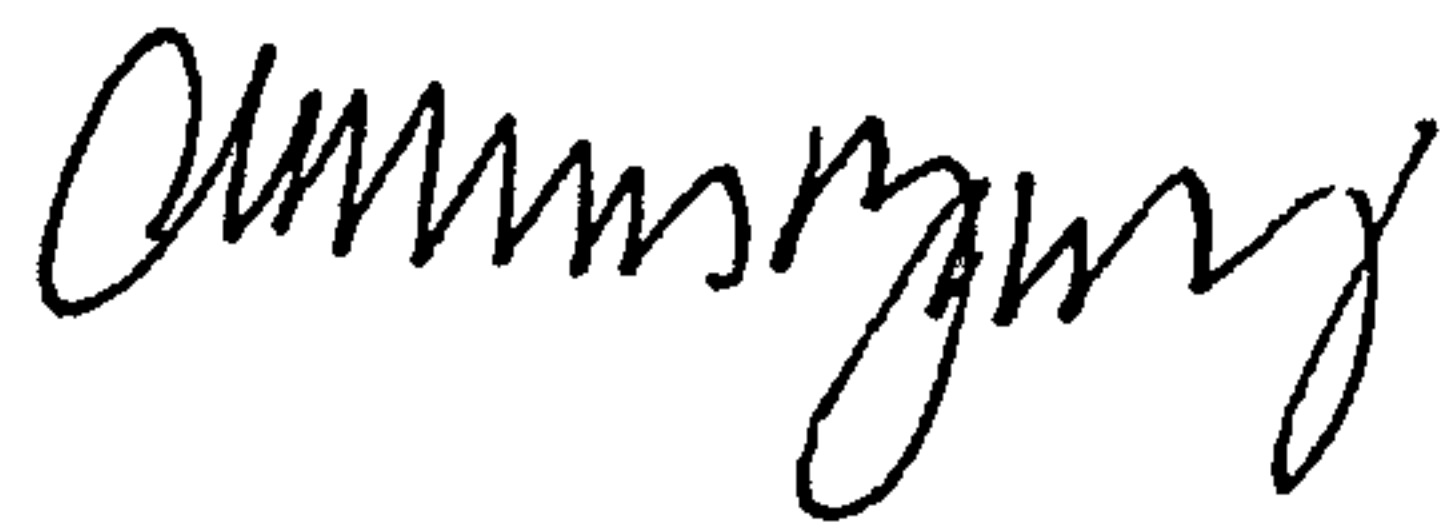
The hearing date that was mentioned in that letter was incorrect. The correct date is October 16, 2013 at 9:00 am in the Plaza Del Sol building located at 600 2nd Street NW (Hearing room on the lower level), Albuquerque, NM.

If you have any questions or need clarification, please feel free to contact me at:

Dekker/Perich/Sabatini
7601 Jefferson NE, Suite 100
Albuquerque, NM 87109
505-761-9700

Sincerely,

Dekker/Perich/Sabatini
Agent for Target



Christopher R. Gunning, AIA, LEED AP
Principal

Attachments:
Previous notification letter (VOIDED)
Site Development Plan for Subdivision
Landscaping Plan

September 10, 2013

Alvarado Park Neighborhood Association "R"
Ms. Emily White
5709 Aspen NE
Albuquerque, NM 87110

Re: Target, 2120 Louisiana Boulevard NE
Southeast corner of Louisiana Boulevard NE and Indian School Road NE
Reason for Request: Target at Uptown Site Development Plan for Subdivision & Re-plat
Legal Description: Tract A of Hunt – Spectrum Development Site

Dear Ms. White:

A Site Development Plan for Building Permit (SPBP) was reviewed and approved for the subject property approximately one and a half years ago (11DRB-70284). Since then, the Target store has been constructed and the Owners now wish to subdivide the property to prepare for development of the pad sites at the southwest and northeast corners. We submitted for sketch plat review and appeared before DRB on November 7, 2012 (12DRB-70350), where we received direction to submit for a Site Development Plan for Subdivision (SPS) per the USDP process, and to then submit for re-plat concurrently.

The City of Albuquerque Planner assigned to this project is Chris Hyer. He can be reached at 924-3927 or via email at chyer@cabq.gov.

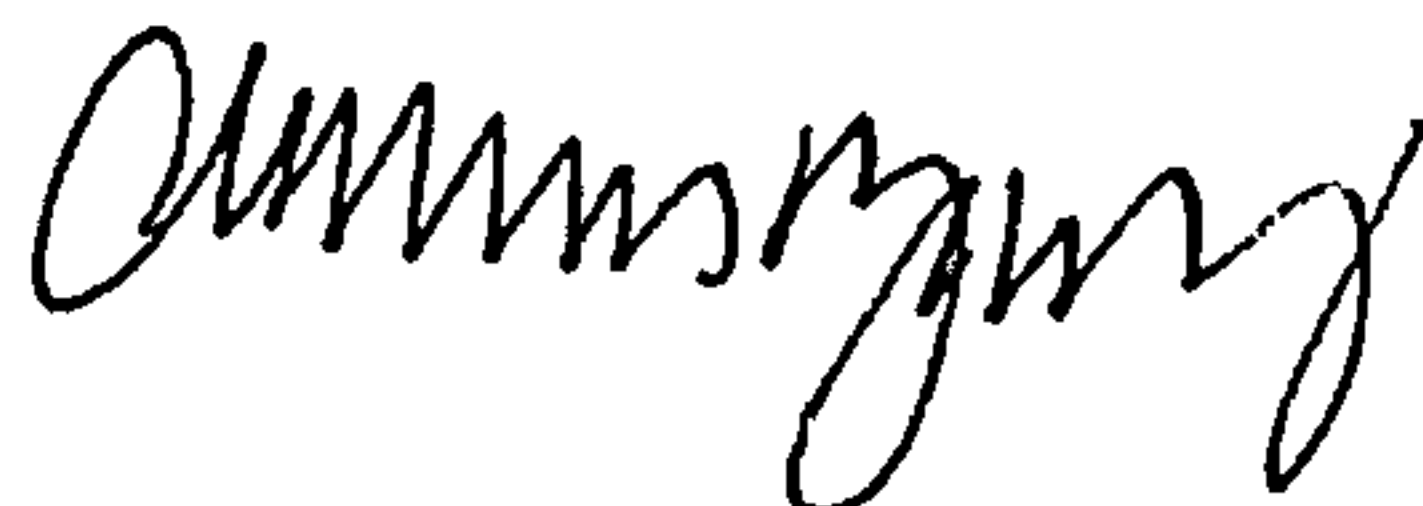
~~VOIDED~~
The hearing is scheduled for ~~September 25, 2013 at 9:00~~ am in the Plaza Del Sol building located at 600 2nd Street NW (Hearing room on the lower level), Albuquerque, NM.

If you have any questions or need clarification, please feel free to contact me at:

Dekker/Perich/Sabatini
7601 Jefferson NE, Suite 100
Albuquerque, NM 87109
505-761-9700

Sincerely,

Dekker/Perich/Sabatini
Agent for Target



Christopher R. Gunning, AIA, LEED AP
Principal

Attachments: Site Development Plan for Subdivision and Landscaping Plan



Dekker Perich Sabatini
 ARCHITECTS
 1001 JEFFERSON DE BRUIJN III
 ALBUQUERQUE, NM 87102
 TEL: 505-263-3700
 FAX: 505-263-3722
 info@perichsab.com

ARCHITECT
 ENGINEER
 INTERIOR DESIGNER
 PLANNING
 CONSULTING

TARGET @ ABQ Uptown
 SITE PLAN FOR SUBDIVISION
 DRB SUBMITTAL

REVISIONS
 Δ Δ Δ Δ Δ

DRAWN BY: SLT
 REVIEWED BY: CRG
 DATE: 08/02/2013
 PROJECT NO.: 11-0096.002
 DRAWING NAME:

SITE
 DEVELOPMENT PLAN
 FOR SUBDIVISION

GENERAL NOTES

- A. REFER TO SHEET 3 FOR DESIGN STANDARDS
- B. REFER TO CIVIL DRAWING, SHEET 2 FOR CONCEPTUAL UTILITY PLAN
- C. APPLICABLE PLANS, UPTOWN SECTION DEVELOPMENT PLAN (2009)
- D. PROPOSED USER MIXED USE INCLUDING RETAIL, RESTAURANT AND HOUSING

KEYED NOTES

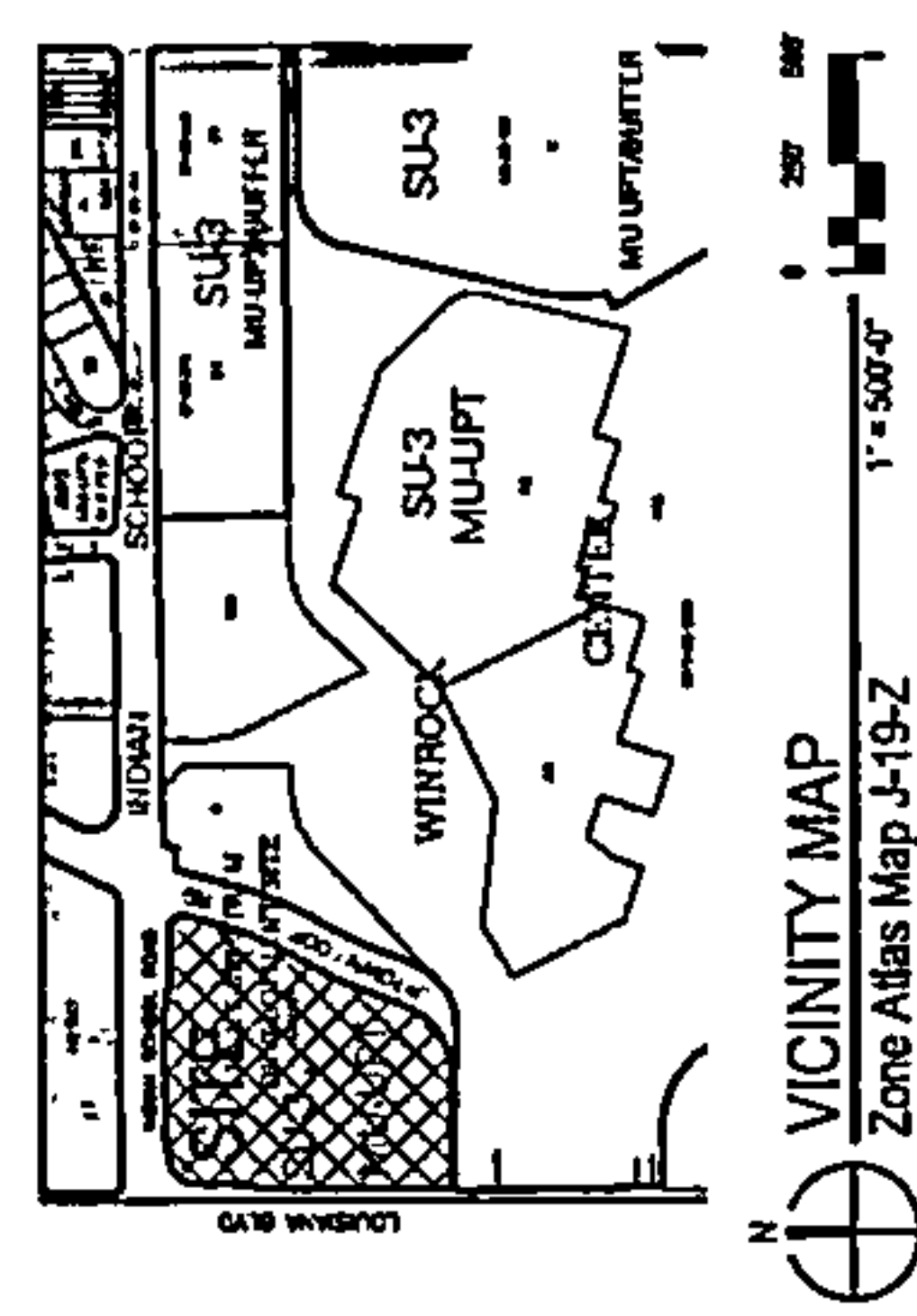
- 1. EXISTING PROPERTY LINE
- 2. PROPOSED PROPERTY LINE

SITE DATA

LEGAL DESCRIPTION:
 TRACK A, HUNT - SPECTRUM DEVELOPMENT SITE
 ZONE:
 SU-3 FOR MU-UPT

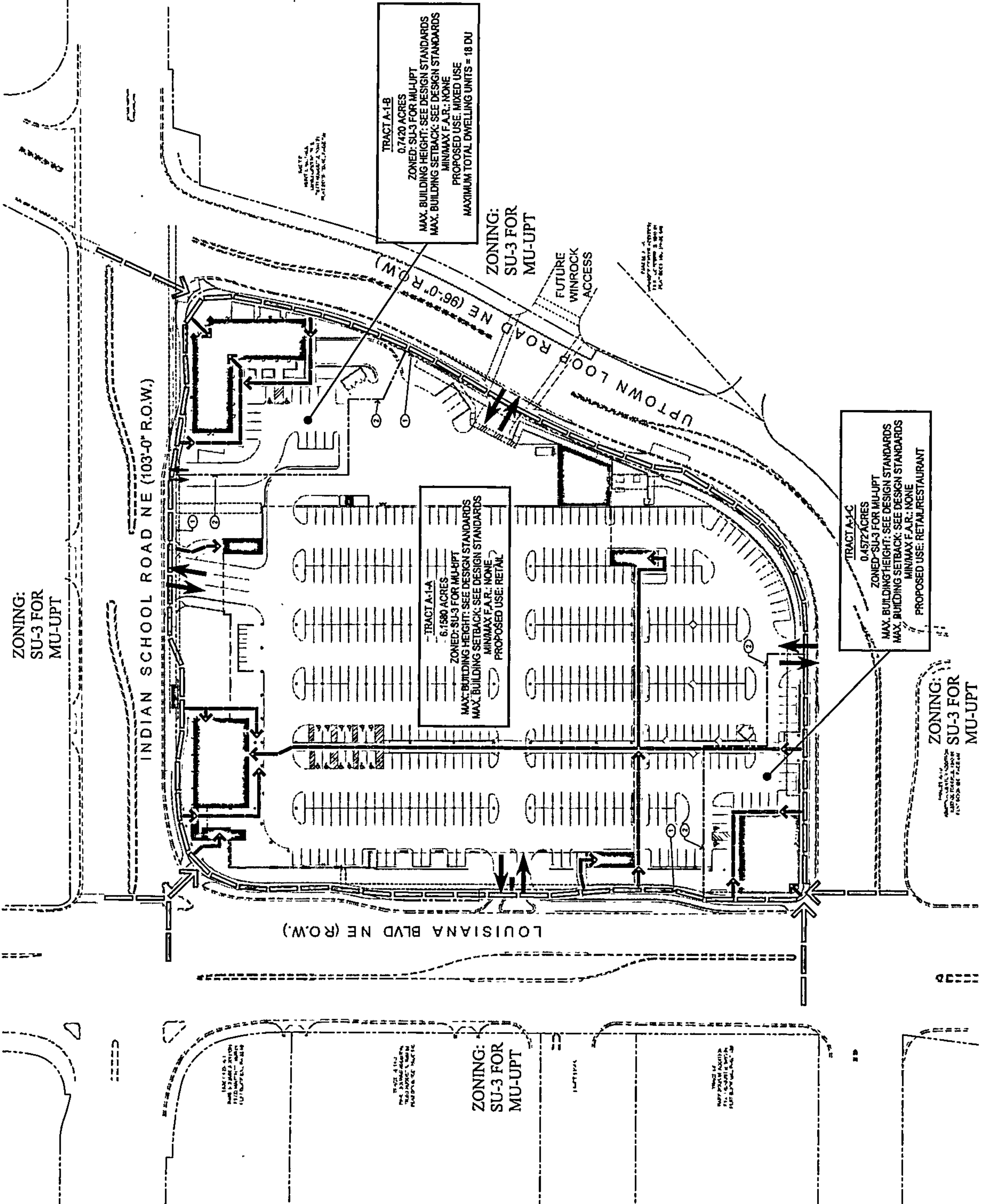
SITE PLAN LEGEND

- ↑ PEDESTRIAN INGRESS / EGRESS
- ↓ VEHICULAR INGRESS / EGRESS
- PROPERTY LINE EXISTING AS NOTED
- PROPERTY LINE PROPOSED AS NOTED



FORLEIS PROJECT NUMBER: 190716
 PROJECT NUMBER: 190716
 APPLICATION NUMBER:
 APPLICATION NUMBER (1) Yes (0) No. If Yes, then a set of approved DDC plans with a work order as required for any construction within Public Right-of-Way or for construction of public improvements.
 SITE DEVELOPMENT PLAN APPROVAL

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
ARCUMIA	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE



TRACT A-1B
 0.7420 ACRES
 ZONED: SU-3 FOR MU-UPT
 MAX. BUILDING HEIGHT: SEE DESIGN STANDARDS
 MAX. BUILDING SETBACK: SEE DESIGN STANDARDS
 MINMAX F.A.R.: NONE
 PROPOSED USE: MIXED USE
 MAXIMUM TOTAL DWELLING UNITS = 18 DU

TRACT A-1A
 6.1580 ACRES
 ZONED: SU-3 FOR MU-UPT
 MAX. BUILDING HEIGHT: SEE DESIGN STANDARDS
 MAX. BUILDING SETBACK: SEE DESIGN STANDARDS
 MINMAX F.A.R.: NONE
 PROPOSED USE: RETAIL

TRACT A-3C
 0.4572 ACRES
 ZONED: SU-3 FOR MU-UPT
 MAX. BUILDING HEIGHT: SEE DESIGN STANDARDS
 MAX. BUILDING SETBACK: SEE DESIGN STANDARDS
 MINMAX F.A.R.: NONE
 PROPOSED USE: RETAIL/RESTAURANT

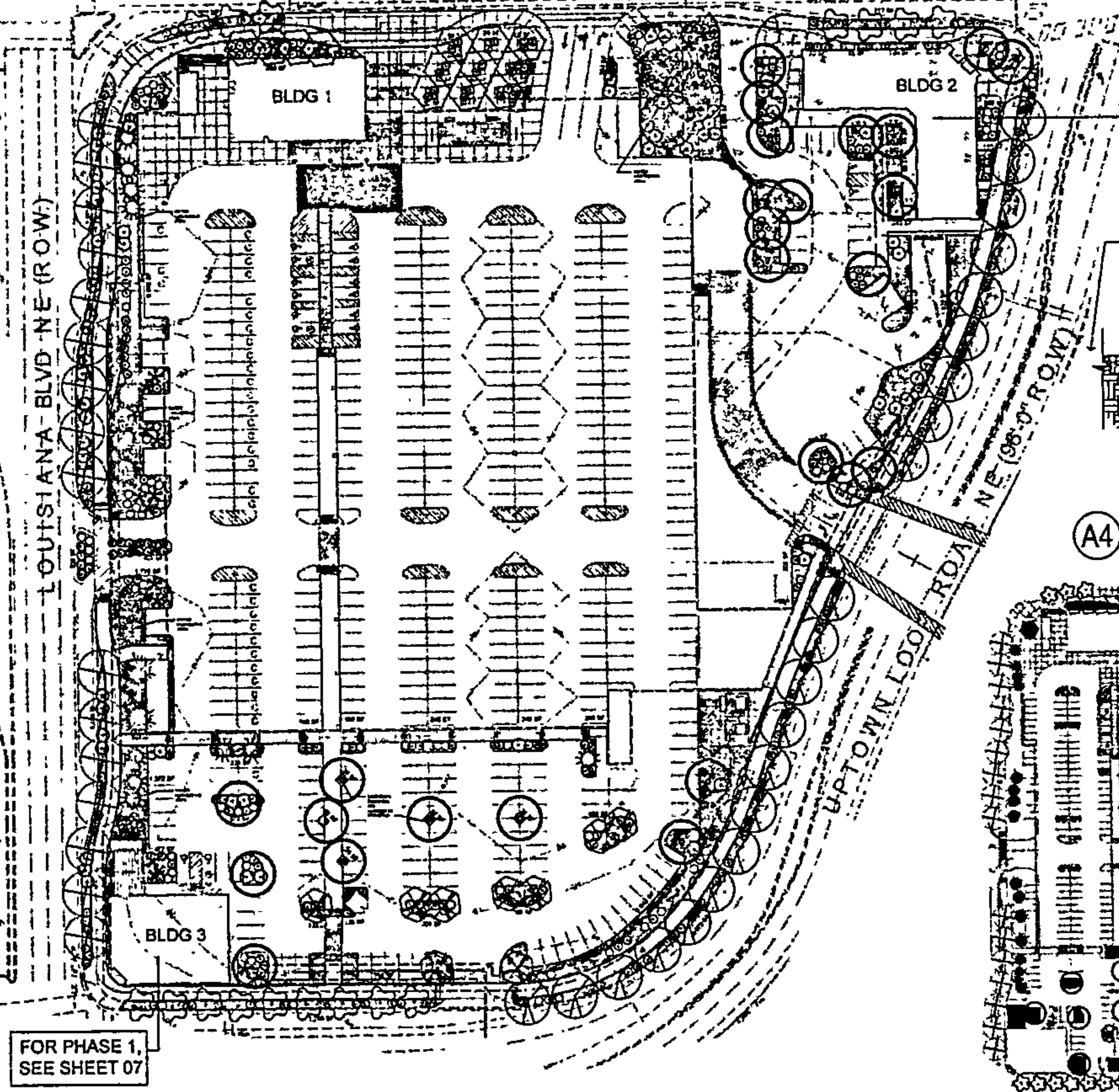
ZONING:
 SU-3 FOR
 MU-UPT

ZONING:
 SU-3 FOR
 MU-UPT

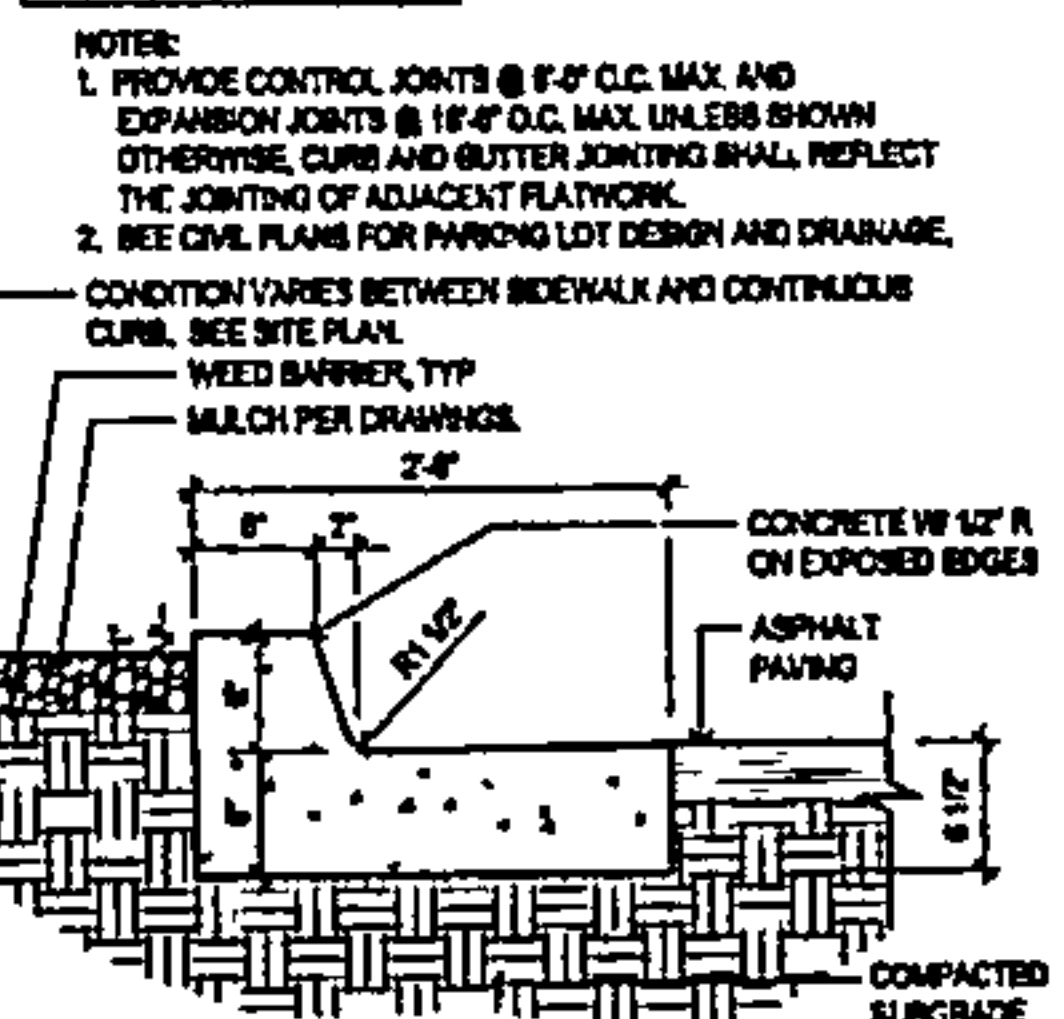
ZONING:
 SU-3 FOR
 MU-UPT

SITE PLAN - PHASE 2 (FULL BUILD-OUT)
 1" = 500'-0"
 N

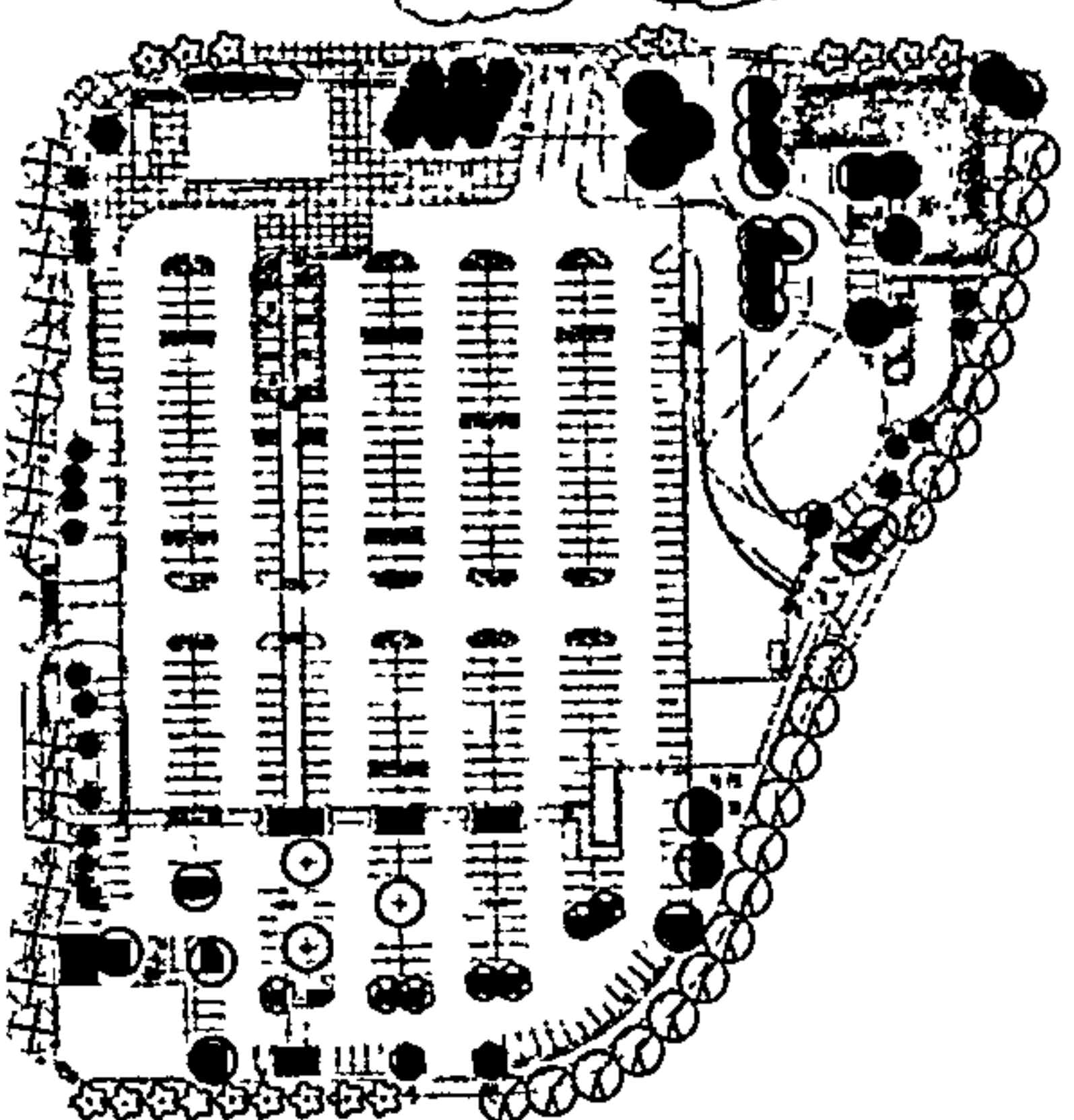
INDIAN SCHOOL ROAD-NE (103'-0" ROW)



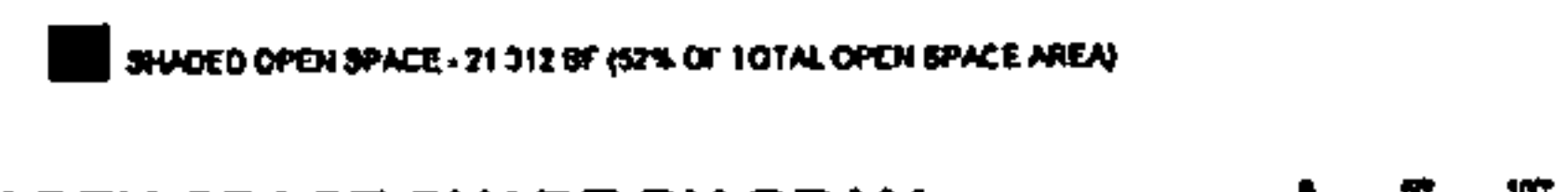
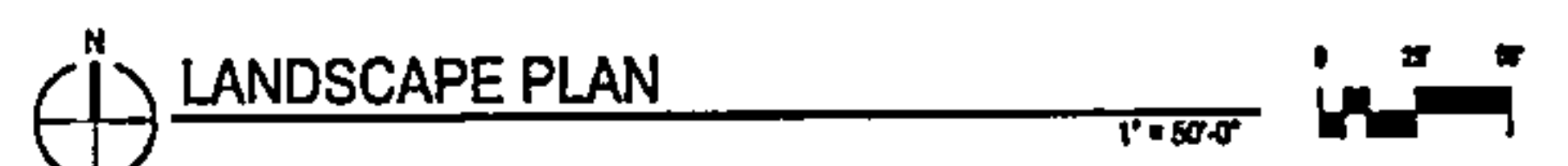
FOR PHASE 1, SEE SHEET 07



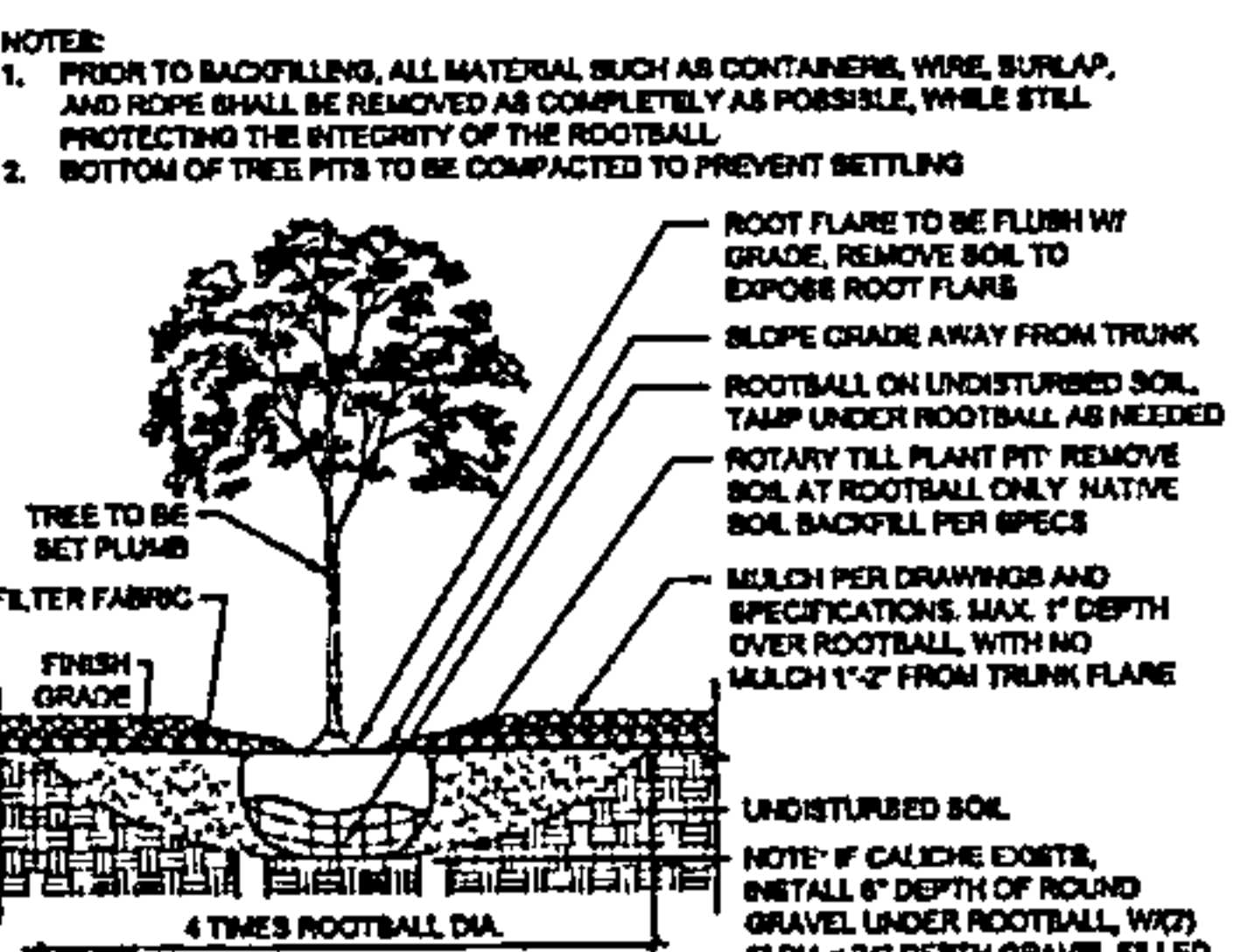
A4 DIAMOND PLANTERS IN PARKING LOT SECTION 1" = 1'-0"



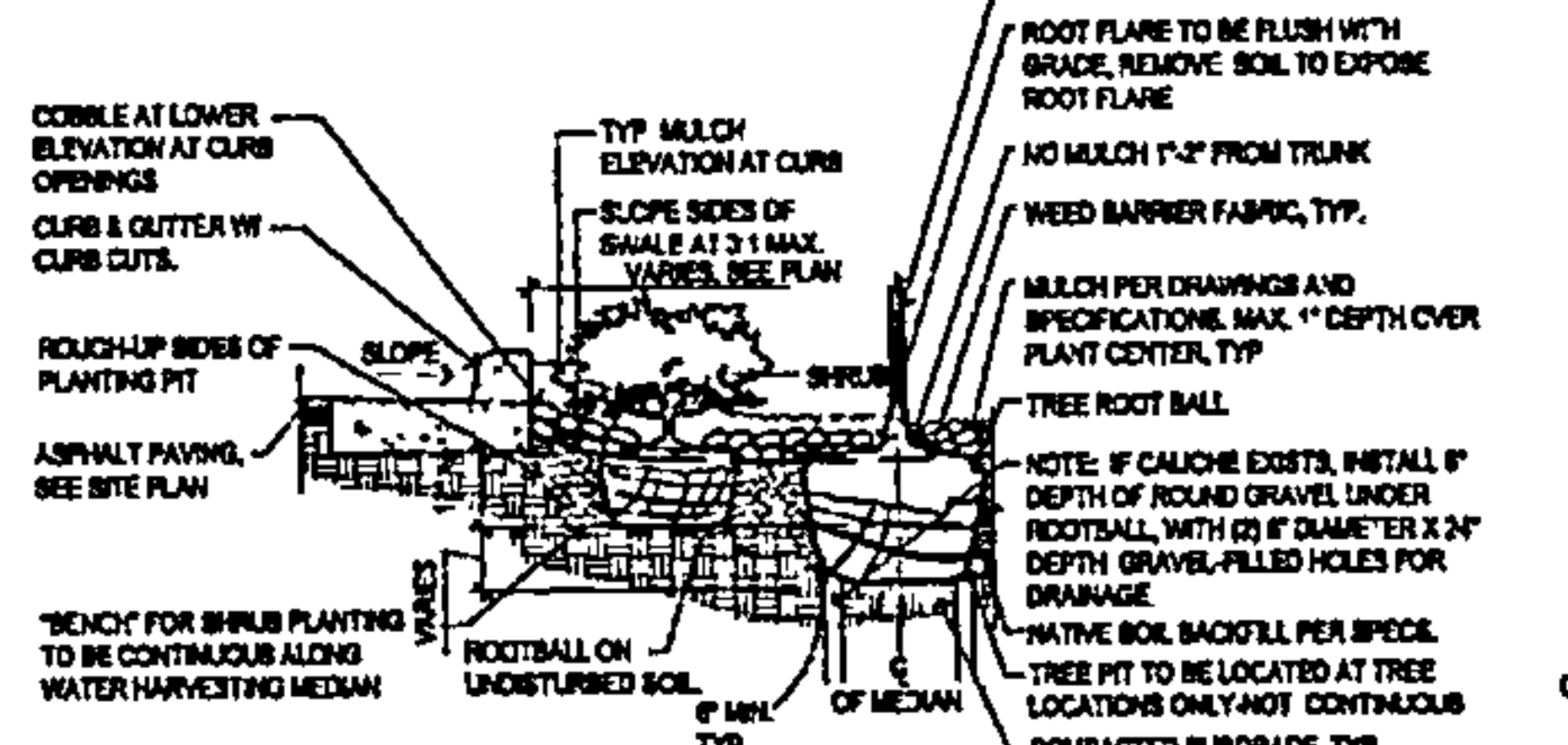
FOR PHASE 1, SEE SHEET 07



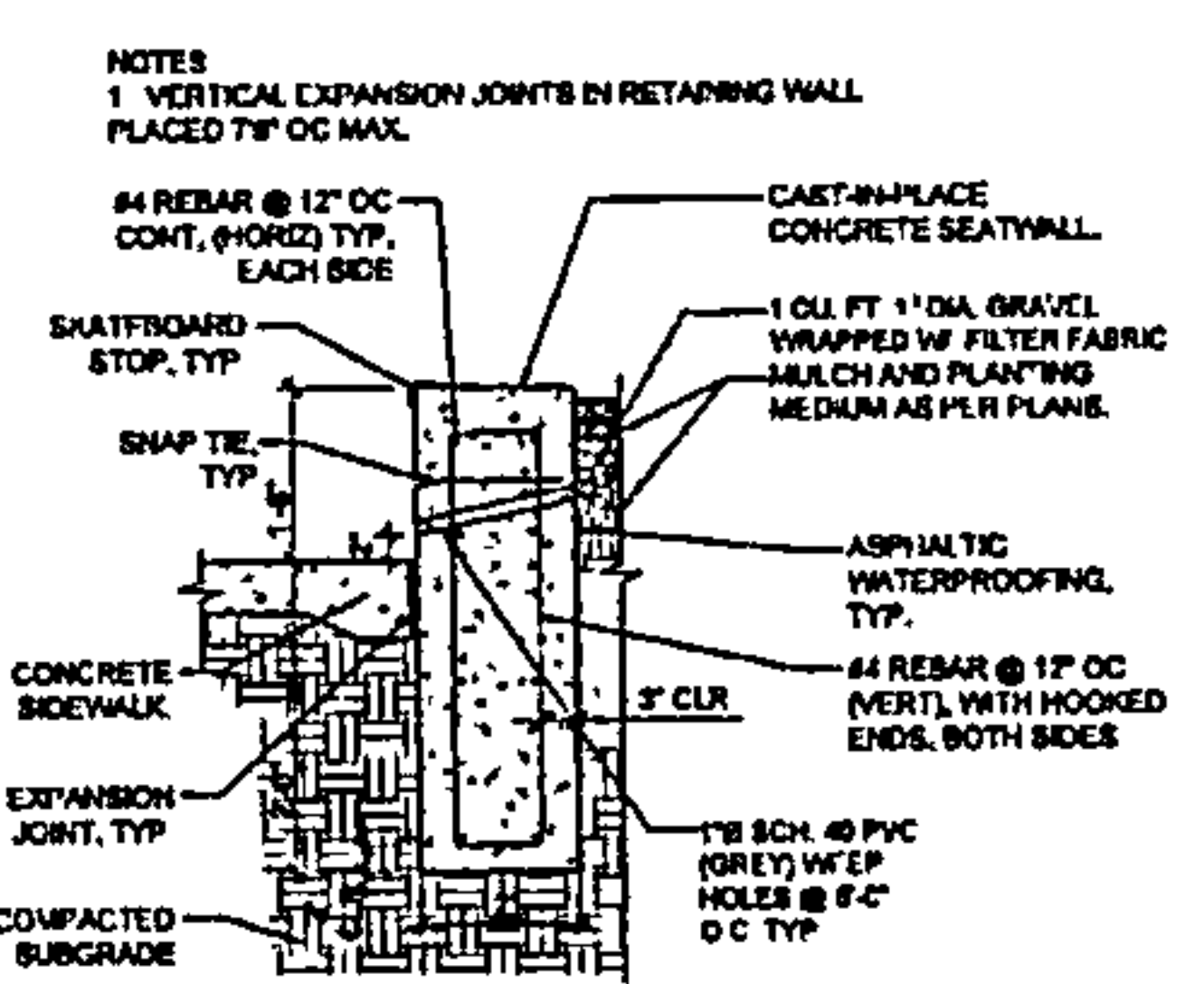
NOTES:
1. PLANTER BACKFILL IS FOR USE AROUND SHRUBS AND TREE PLANTINGS - TYPICALLY TO WITHIN 2'-0" OF ROOTBALLS
2. ROCK MULCH TO BE USED AS BACKFILL IN ALL OTHER AREAS OF WATER HARVESTING MEDIUM
3. PRIOR TO BACKFILLING, ALL MATERIAL SUCH AS CONTAINERS, WIRE, BURLAP, AND ROPE SHALL BE REMOVED AS COMPLETELY AS POSSIBLE, WHILE STILL PROTECTING THE INTEGRITY OF THE ROOTBALL
4. BOTTOM OF TREE PITS TO BE COMPACTED TO PREVENT SETTLING



A1 TREE 3/4" = 1'-0"



A2 WATER HARVESTING AREA 1/2" = 1'-0"



A3 CONC. SEAT PLANTER 3/4" = 1'-0"

PLANTING LEGEND

TREES	SYM	QTY	BOTANICAL NAME/ COMMON NAME	INSTALLATION SIZE	MATURE SIZE (HxW) WATER USE
	26		Platanus chinensis/ CHINESE PISTACHE	3" Cal.	35x20' Medium
	15		Cercos reniformis/ WESTERN REDBUD	2" Cal/B&B Multi-trunked	25x18' Medium
	23		Chiospis linearis 'Arts Seedless/ DESERT WILLOW	48" Box/ Multi-trunked	25x35' Low
	3		Populus deltoides wislizenii RIO GRANDE VALLEY COTTONWOOD	2" Cal/B&B	60x60' High
	22		Quercus buckleyi/ TEXAS RED OAK	2" Cal/B&B	25x25' Medium
	10		Quercus muhlenbergii/ CHINOJAPIN OAK	2" Cal/B&B	30x30' Medium
	12		Tilia cordata LITTLELEAF LINDEN	2" Cal/B&B	35x30' Medium
	11		Juriparus chinensis 'Spartan' SPARTAN JUNIPER	6" High/B&B	15x1' Low
	16		Pinus strobus/formal/ SOUTHWESTERN WHITE PINE	6" High/B&B	60x20' Low

SHRUBS	SYMBOL	BOTANICAL NAME/ COMMON NAME	INSTALLATION SIZE	MATURE SIZE (HxW) WATER USE
		Ericameria laricina/ TURPENTINE BUSH	1 Gal. Cont.	36"x36" Low
		Baccharis x 'Carmelina' CENTENNIAL BROOM	1 Gal. Cont.	36"x42" Low
		Caryopteris clandonensis 'Dark Knight' DARK NIGHT BLUE MIST SPIREA	1 Gal. Cont.	48"x48" Medium
		Mahonia aquifolium 'Compactum' COMPACT MAHONIA	1 Gal. Cont.	24"x48" Medium
		Rosmarinus officinalis/ UPRIGHT ROSEMARY	1 Gal. Cont.	60"x48" Low
		Rhus aromatica 'Gro-low' GRO-LO FRAGRANT SUMAC	1 Gal. Cont.	24"x72" Medium
		Salvia greggii/ AUTUMN SAGE	1 Gal. Cont.	30"x36" Low
		Verbena bipinnatifida/ PRAIRIE VERBENA	1 Gal. Cont.	60"x36" Low
		Callirhoe involucrata/ WINECUPS	1 Gal. Cont.	18"x18" Low
		Ceratostigma plumbaginoides/ DWARF PLUMBAGO	1 Gal. Cont.	12"x18" Medium
		Callirhoe aristata/ BLANKETFLOWER	1 Gal. Cont.	30"x30" Low
		Hymenoxys scutellifolia/ ANGELITA DAISY	1 Gal. Cont.	12"x12" Low
		Lavandula angustifolia 'Hidcote Superior' HIDCOTE SUPERIOR LAVENDER	1 Gal. Cont.	16"x18" Medium
		Mirabilis multiflora/ DESERT FOUR-O'CLOCK	1 Gal. Cont.	18"x30" Medium
		P. barbatus/ RED PENSTEMON	1 Gal. Cont.	50"x36" Low
		Taraxacum chamedryoides/ TRAILING GERMANDER	1 Gal. Cont.	12"x24" Medium

GRASSES	SYMBOL	BOTANICAL NAME/ COMMON NAME	INSTALLATION SIZE	MATURE SIZE (HxW) WATER USE
		Festuca idahoensis 'Siskiyou Blue' SISKIYOU BLUE FESCUE	1 Gal. Cont.	18"x18" Medium
		Muhlenbergia capillaris 'Regal Mist' REGAL MIST MULLENBERGIA	1 Gal. Cont.	36"x42" Medium
		Muhlenbergia rigens/ DEER GRASS	1 Gal. Cont.	42"x48" Medium
		Notula microcarpa/ BEARGRASS	1 Gal. Cont.	36"x48" Medium
		Miscanthus sinensis/ MAIDEN GRASS	1 Gal. Cont.	60"x48" Medium

ACCENTS	SYMBOL	BOTANICAL NAME/ COMMON NAME	INSTALLATION SIZE	MATURE SIZE (HxW) WATER USE
		Agave parryi/ PARRY'S AGAVE	1 Gal. Cont.	36"x36" Low
		Dasylirion wheeleri/ SOTOL	1 Gal. Cont.	48"x60" Low
		Hesperaloe parviflora/ RED HESPERALOE	1 Gal. Cont.	48"x48" Medium
		Opuntia basilaris/ BEAVERTAIL PRICKLY PEAR	1 Gal. Cont.	12"x48" Low
		Coultia engelmannii/ ENGELMANN'S PRICKLY PEAR	1 Gal. Cont.	48"x60" Low
		Yucca glauca/ Soapweed	1 Gal. Cont.	36"x60" Low
		Yucca nupticola/ TWISTED LEAF YUCCA	1 Gal. Cont.	36"x36" Low

MULCHES	SYMBOL	DESCRIPTION
		ROCK MULCH
		ORGANIC PECAN SHELL MULCH

LANDSCAPE CALCULATIONS

SITE AREA: 7.3572 AC (AFTER R.O.W. DEDICATION)
OPEN SPACE REQUIREMENT (10% OF THE SITE): 32,048 SF
OPEN SPACE PROVIDED: 41,038 SF
LANDSCAPE REQUIREMENT (40% OF OPEN SPACE): 16,414 SF
LANDSCAPE AREA PROVIDED: 30,178 SF
NET LOT AREA WAS NOT USED IN THESE CALCULATIONS.

OPEN SPACE CALCULATIONS DO NOT INCLUDE REQUIRED LANDSCAPE STRIPS ALONG THE STREET OR WALKWAYS EXCEPT ANY PORTION OF A WALKWAY THAT IS WIDER THAN 10 FEET.

A MINIMUM OF 75% OF LANDSCAPE AREAS AND 80%-75% OF PLANTING STRIPS SHALL BE COVERED WITH LIVE VEGETATIVE MATERIALS.

A MINIMUM OF 10% OF LANDSCAPE AREAS WILL HAVE FLOWERING PLANTS OR SHRUBS.

TOTAL SHADE TREES: 80 (% OF TREES)
TOTAL SIGNATURE TREES: 38 (% OF TREES)

ROCK MULCH HAS BEEN LIMITED TO LESS THAN 5% OF ANY OPEN SPACE AREA AND USED ONLY WHERE NECESSARY AROUND DRAINAGE INLETS. ALL OTHER MULCH AREAS UTILIZE ORGANIC PECAN SHELL MULCH.

LANDSCAPE NOTES

- A. DESIGN THE PLANTING DESIGN INCLUDES A DIVERSE PALETTE OF DESERT AND HIGH DESERT PLANTS THAT WILL COMPLEMENT THE ARCHITECTURE OF THE PROJECT. THE INTENT IS TO LANDSCAPE THIS MIXED-USE, URBAN ENVIRONMENT WITH DESERT AND HIGH DESERT PLANTS THAT REINFORCE A SENSE OF PLACE AND ARE APPROPRIATE TO ALBUQUERQUE'S CLIMATE.
- A.A. GRASSES AND ACCENT PLANTS SUCH AS YUCCA, SOTOL AND PRICKLY PEAR CACTUS WILL BE USED IN HIGHLY VISIBLE AND APPROPRIATE LOCATIONS. THE USE OF REGIONALLY NATIVE TREES FOR STREET TREES, WHILE UNORTHODOX, WILL REINFORCE THE SENSE OF PLACE, BUFFER PEDESTRIANS FROM VEHICULAR AREAS AND PROVIDE A COMFORTABLE PEDESTRIAN SCALE TO THE STREETS.
- B. PLANTING AND IRRIGATION INSTALLATION DETAILS SHALL MEET CITY OF ALBUQUERQUE REQUIREMENTS AND THE USOP REQUIREMENTS. EACH TREE SHALL HAVE A MINIMUM OF 36 SQUARE FEET OF PLANTING SPACE.
- C. PLANTING AND IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- D. CONTROLLER: THE IRRIGATION SYSTEM SHALL BE RUN WITH A FULLY AUTOMATED IRRIGATION CONTROLLER. THE RUN TIME FOR THE VARIOUS ZONES SHALL BE APPROXIMATELY 45 MINUTES FOR THE DRIP ZONES. RUN TIME WILL BE ADJUSTED ACCORDING TO SEASON, LOCATION, AND PLANT PERFORMANCE. DRIP EMITTERS SHALL BE USED FOR ALL PLANT MATERIAL.
- E. POINT OF CONNECTION: THERE IS LIKELY TO BE MORE THAN ONE POINT OF CONNECTION FOR THIS PROJECT. THE WATER CONNECTION LOCATIONS WILL BE COORDINATED WITH THE OVERALL WATER SERVICE DESIGN FOR THE SITE. THE EXACT LOCATIONS FOR CONNECTIONS AND CONTROLLERS IN UNKNOWN AT THIS TIME.
- F. MULCH: ALL PLANTING BEDS SHALL BE COVERED WITH MULCH. GRAVEL, BARK AND PECAN SHELL MULCHES SHALL BE USED APPROPRIATELY TO ADD VISUAL INTEREST AND PROTECT SOIL MOISTURE.
- G. THE PARKING AREA TREES SELECTED FOR USE AT TARGET @ TREE AND SHRUB PITS TO BE 4 TIMES THE ROOTBALL DIAMETER.
- H. THERE IS NO HIGH WATER USE TURF USED ON THIS PROJECT.
- I. THE LANDSCAPE DESIGN SHALL COMPLY WITH THE INTENT OF THE CITY OF ALBUQUERQUE WATER CONSERVATION, LANDSCAPING AND WATER WASTE ORDINANCE.
- J. SOIL PREPARATION AND AERATION WITHIN ROW IS REQUIRED TO DE-COMPACT LANDSCAPE ZONE PRIOR TO PLANTING.
- K. PASSIVE WATER HARVESTING, SUCH AS HARVESTING OF STORM WATER SURFACE RUNOFF AND ROOF RUNOFF SHALL BE UTILIZED WHERE FEASIBLE AND CAPTURED IN SWALES.
- L. SOIL AMENDMENTS WILL BE USED FOR PLANT MATERIAL.
- M. PLANT AND IRRIGATION MAINTENANCE WILL BE THE RESPONSIBILITY OF THE OWNER FOLLOWING SUBSTANTIAL COMPLETION OR ANY MAINTENANCE PERIODS.
- N. THE LANDSCAPE DESIGN REQUIRES A PERMANENT, FULLY AUTOMATIC IRRIGATION SYSTEM TO SUPPORT THE PLANT MATERIAL.
- O. THE IRRIGATION SYSTEM WILL BE CONNECTED TO CITY WATER. THE POINT OF CONNECTION WILL CONSIST OF A WATER METER, BACKFLOW PREVENTER AND MASTERVALVE, SEE COA STD DETAIL #2701.
- P. THE CONTRACTOR SHALL CREATE AN IRRIGATION PLAN TO PERMANENTLY IRRIGATE THE PROPOSED PLANTINGS, AND SHALL SUBMIT THIS TO THE ARCHITECT FOR REVIEW AND APPROVAL. THE PLAN SHALL INCLUDE A PIPING AND EMITTER LAYOUT WITH SIZING, VALVE SCHEDULE AND CONSTRUCTION DETAILS.
- Q. CONTROLLER: THE IRRIGATION SYSTEM SHALL BE RUN WITH FULLY AUTOMATED IRRIGATION CONTROLLER. RUN TIME WILL BE ADJUSTED ACCORDING TO PLANT MATURITY, SEASON, LOCATION, AND PLANT PERFORMANCE.
- R. DRIP EMITTERS SHALL BE USED FOR ALL PLANT MATERIAL.
- S. REFER TO DRAINAGE PLAN FOR GRADING INFORMATION AND WATER HARVESTING LOCATIONS.

Dekker Perich Sabatini

7801 3rd Avenue NE Suite 100
Albuquerque, NM 87110
505.261.1774
505.261.1225
info@dsabi.com
ARCHITECT

TARGET @ ABQ Uptown
Albuquerque, New Mexico

DRB SUBMITTAL

DRAWN BY: JG
REVIEWED BY: MB
DATE: 11/16/2011
PROJECT NO: 1047136

LANDSCAPE PLAN - PHASE II

September 18, 2013

Alvarado Park Neighborhood Association "R"
Mr. Billy Cohn
P.O. Box 35704
Albuquerque, NM 87176

Re: Target, 2120 Louisiana Boulevard NE
Southeast corner of Louisiana Boulevard NE and Indian School Road NE
Reason for Request: Target at Uptown Site Development Plan for Subdivision & Re-plat
Legal Description: Tract A of Hunt – Spectrum Development Site

Dear Mr. Cohn:

A letter was sent notifying you that Target wishes to subdivide their property to prepare for development of the pad sites at the southwest and northeast corners.

The hearing date that was mentioned in that letter was incorrect. The correct date is October 16, 2013 at 9:00 am in the Plaza Del Sol building located at 600 2nd Street NW (Hearing room on the lower level), Albuquerque, NM.

If you have any questions or need clarification, please feel free to contact me at:

Dekker/Perich/Sabatini
7601 Jefferson NE, Suite 100
Albuquerque, NM 87109
505-761-9700

Sincerely,

Dekker/Perich/Sabatini
Agent for Target



Christopher R. Gunning, AIA, LEED AP
Principal

Attachments:
Previous notification letter (VOIDED)
Site Development Plan for Subdivision
Landscaping Plan

September 10, 2013

Alvarado Park Neighborhood Association "R"
Mr. Billy Cohn
P.O. Box 35704
Albuquerque, NM 87176

Re: Target, 2120 Louisiana Boulevard NE
Southeast corner of Louisiana Boulevard NE and Indian School Road NE
Reason for Request: Target at Uptown Site Development Plan for Subdivision & Re-plat
Legal Description: Tract A of Hunt – Spectrum Development Site

Dear Mr. Cohn:

A Site Development Plan for Building Permit (SPBP) was reviewed and approved for the subject property approximately one and a half years ago (11DRB-70284). Since then, the Target store has been constructed and the Owners now wish to subdivide the property to prepare for development of the pad sites at the southwest and northeast corners. We submitted for sketch plat review and appeared before DRB on November 7, 2012 (12DRB-70350), where we received direction to submit for a Site Development Plan for Subdivision (SPS) per the USDP process, and to then submit for re-plat concurrently.

The City of Albuquerque Planner assigned to this project is Chris Hyer. He can be reached at 924-3927 or via email at chyer@cabq.gov.

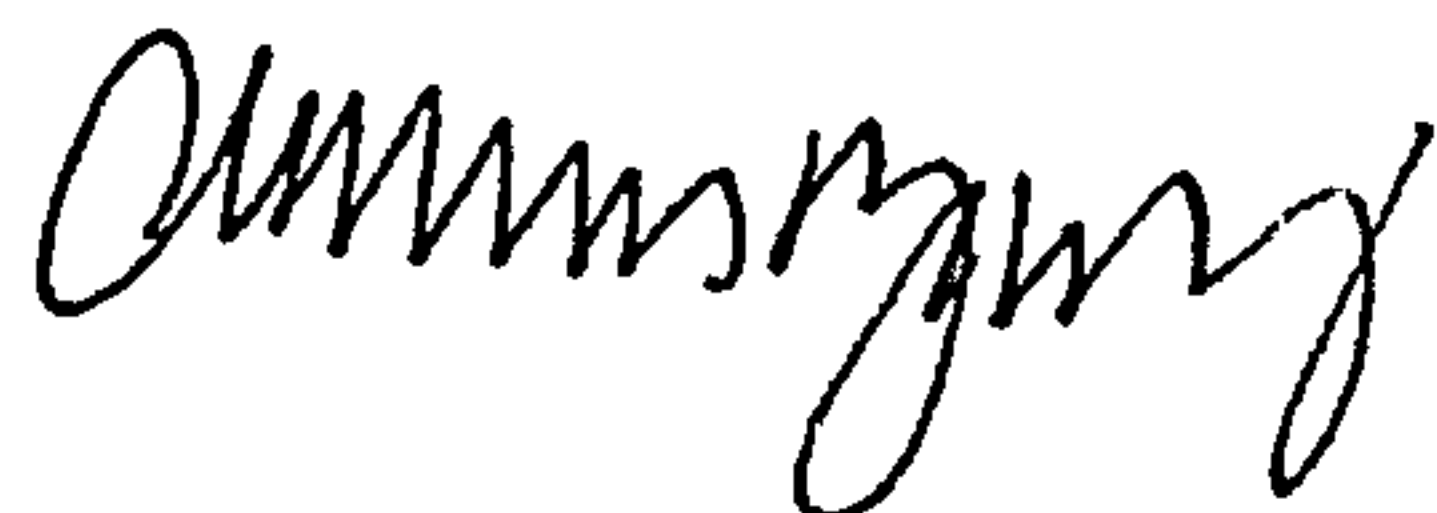
~~VOIDED~~
The hearing is scheduled for ~~September 25, 2013 at 9:00~~ am in the Plaza Del Sol building located at 600 2nd Street NW (Hearing room on the lower level), Albuquerque, NM.

If you have any questions or need clarification, please feel free to contact me at:

Dekker/Perich/Sabatini
7601 Jefferson NE, Suite 100
Albuquerque, NM 87109
505-761-9700

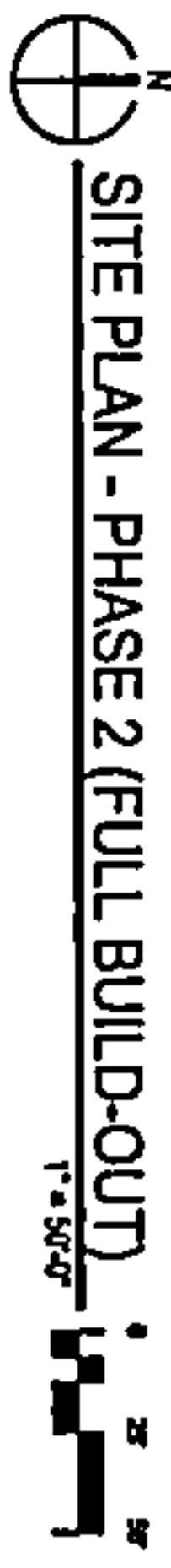
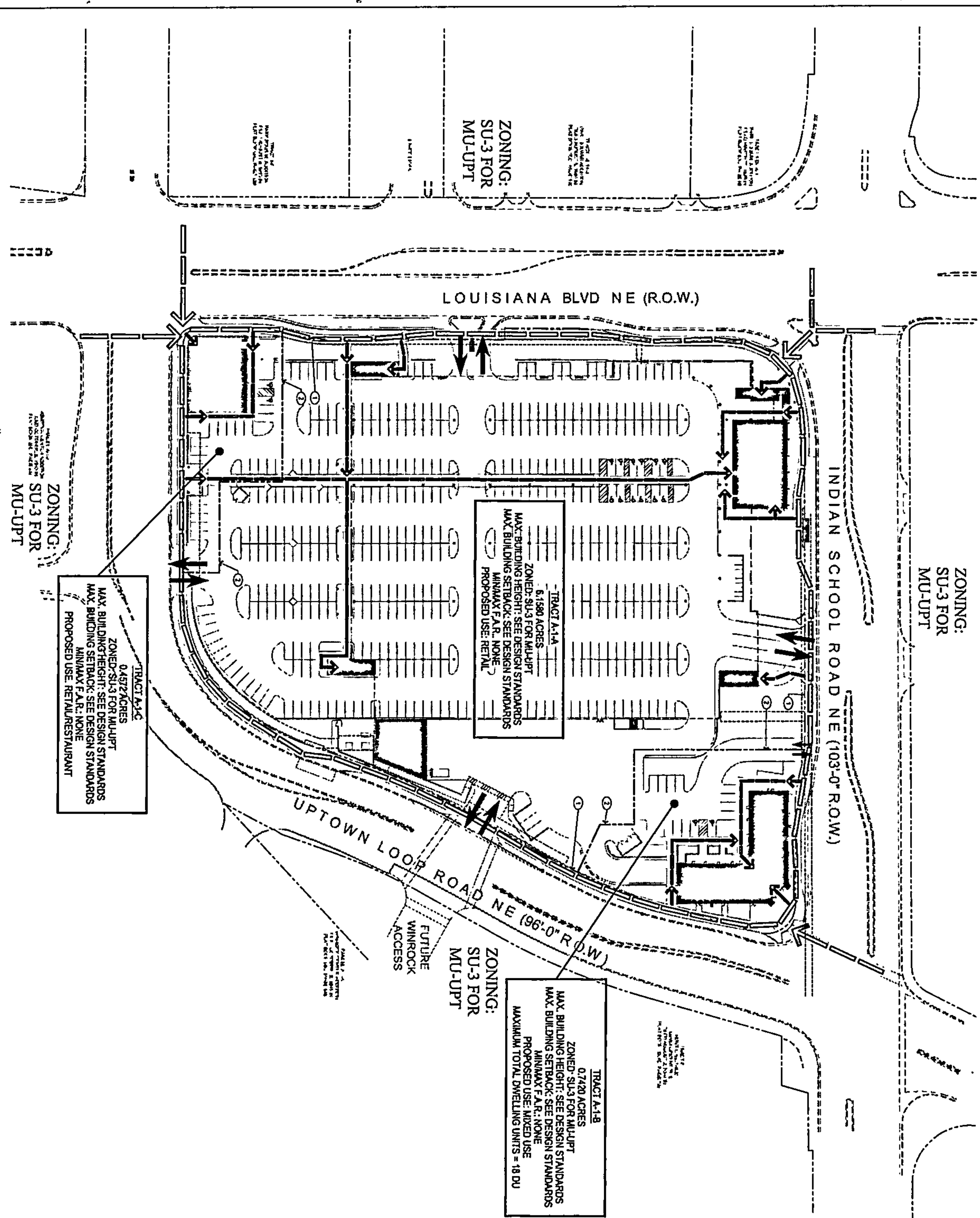
Sincerely,

Dekker/Perich/Sabatini
Agent for Target



Christopher R. Gunning, AIA, LEED AP
Principal

Attachments: Site Development Plan for Subdivision and Landscaping Plan



GENERAL NOTES

- A. REFER TO SHEET 3 FOR DESIGN STANDARDS
- B. REFER TO CHAL. DRAWING, SHEET 2 FOR CONCEPTUAL UTILITY PLAN
- C. APPLICABLE PLANS: UPTOWN SECTOR DEVELOPMENT PLAN (2009)
- D. PROPOSED USES: MIXED USE INCLUDING RETAIL, RESTAURANT AND HOUSING

KEYED NOTES

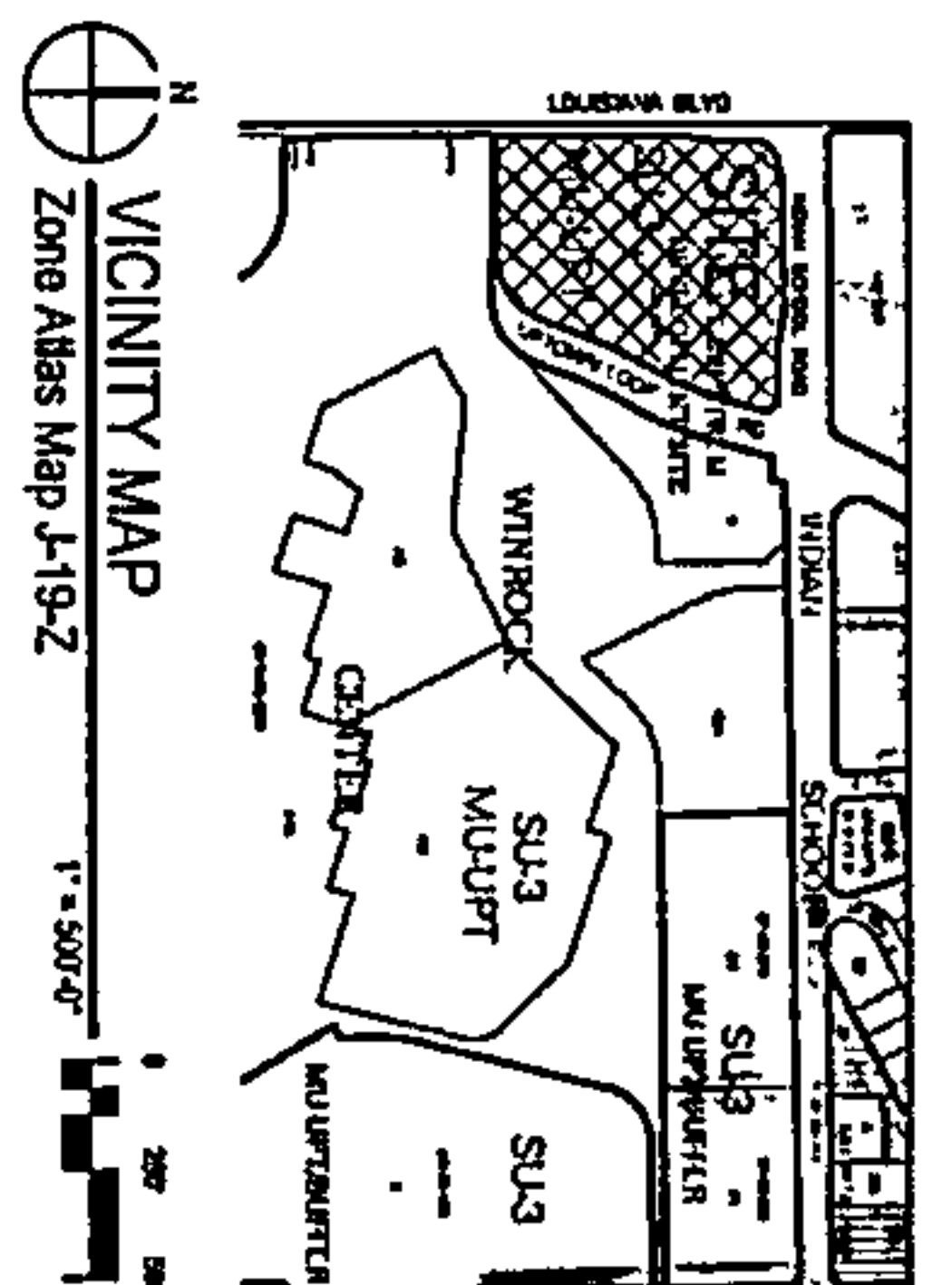
- 1. EXISTING PROPERTY LINE
- 2. PROPOSED PROPERTY LINE

SITE DATA

LEGAL DESCRIPTION:
TRACT A, HUNT - SPECIAL DEVELOPMENT SITE
ZONE:
SU-3 FOR MULTIFAMILY

SITE PLAN LEGEND

- FEDERAL HIGHWAY / EXPRESS
- ↔ VEHICULAR HIGHWAY / EXPRESS
- PROPERTY LINE EXISTING AS NOTED
- PROPERTY LINE PROPOSED AS NOTED



TOWNSHIP PROJECT NUMBER: 187316
PROJECT NUMBER: 187316
APPLICATION NUMBER: 187316

To an Administrator, Local Engineer or City Engineer (1) Via (1) To: If you, then a set of approved DRB shall not be used in any other project without the written approval of the City Engineer or the Administrator of public improvement.

SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
ARCHITECT	DATE
PLANS AND SPECIFICATION DEPARTMENT	DATE
CITY ENGINEER	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

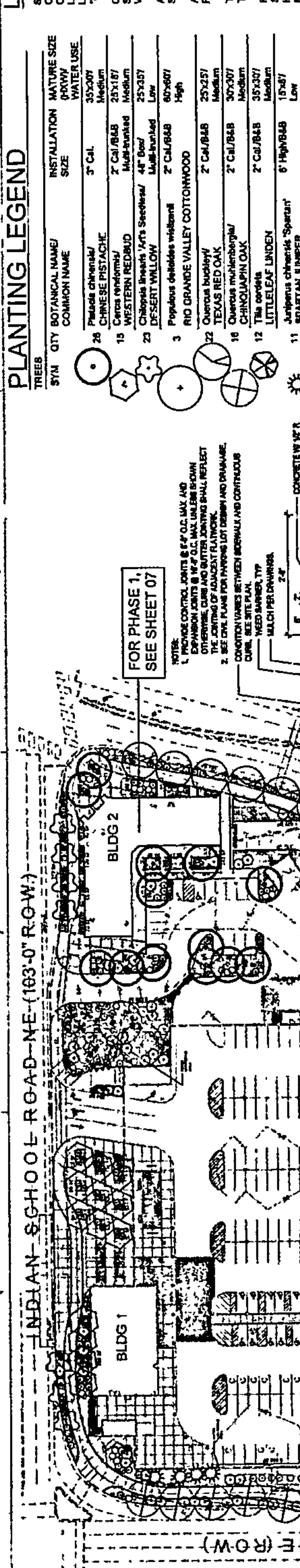


1801 Indiana Avenue, NE
Albuquerque, NM 87105
505.253.0100
505.253.0112
info@psa-arch.com

TARGET @ ABQ Uptown
Albuquerque, New Mexico
SITE PLAN FOR SUBDIVISION
DRB SUBMITTAL

DESIGNED BY	SJT
REVIEWED BY	CRD
DATE	08/02/2013
PROJECT NO.	11-0096.002
DRAWING NUMBER	
SITE DEVELOPMENT PLAN FOR SUBDIVISION	
1 of 4	

INDIAN SCHOOL ROAD - NE (163'-0" R.O.W.)
LOUISIANA BLVD - NE (R.O.W.)
LPTOWN LOOP ROAD - NE (95'-0" R.O.W.)



LANDSCAPE PLAN

LANDSCAPE CALCULATIONS

SITE AREA: 7,307.2 AC (AFTER R.O.W. DEDUCTIONS)
OPEN SPACE REQUIRED: 41,038 SF (10% OF SITE) @ 30' SPACING
LANDSCAPE REQUIREMENT: 16,414 SF (40% OF OPEN SPACE)
NET LOT AREA WAS NOT USED IN THESE CALCULATIONS.

OPEN SPACE CALCULATIONS DO NOT INCLUDE REQUIRED LANDSCAPE STRIPS ALONG THE STREET OR WALKWAYS EXCEPT ANY PORTION OF A WALKWAY THAT IS WIDER THAN 19 FEET.

A MINIMUM OF 15% OF LANDSCAPE AREAS AND 80%-100% OF PLANTING STRIPS SHALL BE COVERED WITH LIVE VEGETATIVE MATERIALS.

A MINIMUM OF 10% OF LANDSCAPE AREAS WILL HAVE FLOWERING PLANTS OR SHRUBS.

TOTAL SHADE TREES: 80 (5% OF TREES)
TOTAL SIGNATURE TREES: 30 (5% OF TREES)

ROCK MULCH HAS BEEN LIMITED TO LESS THAN 5% OF ANY OPEN SPACE AREA AND USED ONLY WHERE NECESSARY AROUND DRAINAGE INLETS. ALL OTHER MULCH AREAS UTILIZE ORGANIC PECAN SHELL MULCH.

LANDSCAPE NOTES

A. DESIGN THE PLANTING DESIGN INCLUDES A DIVERSE PALETTE OF DESERT AND HIGH DESERT PLANTS THAT WILL COMPLEMENT THE ARCHITECTURE OF THE PROJECT. THE INTENT IS TO LANDSCAPE THIS MEDIUM-DENSITY URBAN ENVIRONMENT WITH DESERT AND HIGH DESERT PLANTS TO ALLOW FOR THE CLIMATE AND TO PROVIDE VISUAL INTEREST AND COLOR TO THE CURBSIDE AND ACCESS PLANTS SUCH AS YUCCA, SOTOL, AND PRICKLY PEAR CACTUS WILL BE USED IN HIGHLY VISIBLE AND APPROPRIATE LOCATIONS. THE USE OF REGIONALLY NATIVE TREES FOR STREET TREES, WHILE BUFFER PEDESTRIANS FROM VEHICULAR AREAS AND PROVIDE A COMFORTABLE PESTICIDE SCALE TO THE STREETS.

B. PLANTING AND IRRIGATION INSTALLATION SHALL BE PERFORMED BY THE CONTRACTOR. ALL PLANTS SHALL BE PROVIDED WITH IRRIGATION SYSTEMS AND THE USOP SHALL BE RESPONSIBLE FOR PLANTING SPACE. PLANTING AND IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

C. PLANTING AND IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

D. FULLY AUTOMATED IRRIGATION SYSTEM SHALL BE INSTALLED FOR THE VARIOUS ZONES. RUN TIME WILL BE ADJUSTED ACCORDING TO SEASONAL CONDITIONS. THE IRRIGATION SYSTEM SHALL BE COORDINATED WITH THE EXACT OVERALL WATER SERVICE DESIGN FOR THE SITE. THE EXACT LOCATIONS FOR CONNECTIONS AND CONTROLLERS IN UNIFORM AT THIS TIME.

E. ALL PLANTING BEDS SHALL BE COVERED WITH MULCH. GRAVEL, BARK AND PECAN SHELL MULCHES WILL BE USED APPROPRIATELY TO ADD VISUAL INTEREST AND PROTECT SOIL. THE PARKING AREA TREES SELECTED FOR USE AT TARGET @ ARE TREES AND SHRUBS THAT ARE SUITABLE FOR THIS PROJECT. THERE IS NO HIGH WATER USE TURF USED ON THIS PROJECT. THE LANDSCAPE DESIGN SHALL COMPLY WITH THE INTENT OF THE CITY OF ALBUQUERQUE WATER CONSERVATION, LANDSCAPING AND WATER WASTE ORDINANCE.

F. SOIL PREPARATION AND AERATION WITHIN ROW IS REQUIRED TO DE-COMPACT LANDSCAPE ZONE PRIOR TO PLANTING OF STORM PASSES. WATER INfiltration AND ROCK RUNOFF SHALL BE UTILIZED WHERE FEASIBLE AND CAPTURED IN SWALES. SOIL AMENDMENTS WILL BE USED FOR PLANT MATERIAL. PLANT AND IRRIGATION MAINTENANCE WILL BE THE RESPONSIBILITY OF THE OWNER FOLLOWING SUBSTANTIAL COMPLETION OR ANY MAINTENANCE PERIOD.

G. THE LANDSCAPE DESIGN REQUIRES A PERMANENT, FULLY AUTOMATIC IRRIGATION SYSTEM TO SUPPORT THE PLANT MATERIAL.

H. THE POINT OF CONNECTION WILL CONSIST OF A WATER METER, BACKFLOW PREVENTER AND MASTER VALVE. SEE COA STD DETAIL 4720.1.

I. THE CONTRACTOR SHALL CREATE AN IRRIGATION PLAN TO PERMANENTLY IRRIGATE THE PROPOSED PLANTINGS, AND SHALL SUBMIT THIS TO THE ARCHITECT FOR REVIEW AND APPROVAL. THE PLAN SHALL INCLUDE A PIPING AND EMITTER LAYOUT WITH SIZES, VALVE SCHEDULE AND CONSTRUCTION DETAILS. ALL FULLY AUTOMATED IRRIGATION SYSTEMS SHALL BE INSTALLED AND FULLY OPERATIONAL TO PLANT MATURITY. SEASONAL LOCATION AND PLANT PERFORMANCE.

J. DRIP EMITTERS SHALL BE USED FOR ALL PLANT MATERIAL. REFER TO DRAINAGE PLAN FOR GRADING INFORMATION AND WATER HARVESTING LOCATIONS.

PLANTING LEGEND

SYMBOL	CITY BOTANICAL NAME/COMMON NAME	INSTALLATION SIZE	MATURE SIZE (HxW)	WATER USE
1	PISTACHE PISTACHE	3" Cal.	30'x30'	Low
2	WESTERN REDBUD	2" Cal./R&B	25'x15'	Medium
3	DESERT WILLOW	4" Box	25'x25'	Low
4	POPULUS DELTOIDES	2" Cal./R&B	40'x40'	High
5	RIO GRANDE VALLEY COTTONWOOD	2" Cal./R&B	25'x25'	Medium
6	TEXAS RED OAK	2" Cal./R&B	30'x30'	Medium
7	CHOCOLAYTE OAK	2" Cal./R&B	30'x30'	Medium
8	LITTLE LEAF LINDEN	2" Cal./R&B	30'x30'	Medium
9	JUNIPERUS CHINENSIS 'SPENSANT'	6" High/R&B	15'x15'	Low
10	SPARTAN JUNIPER	6" High/R&B	15'x15'	Low
11	PIUS ARIZONICUS	6" High/R&B	15'x15'	Low
12	SOUTHWESTERN WHITE PINE	6" High/R&B	15'x15'	Low

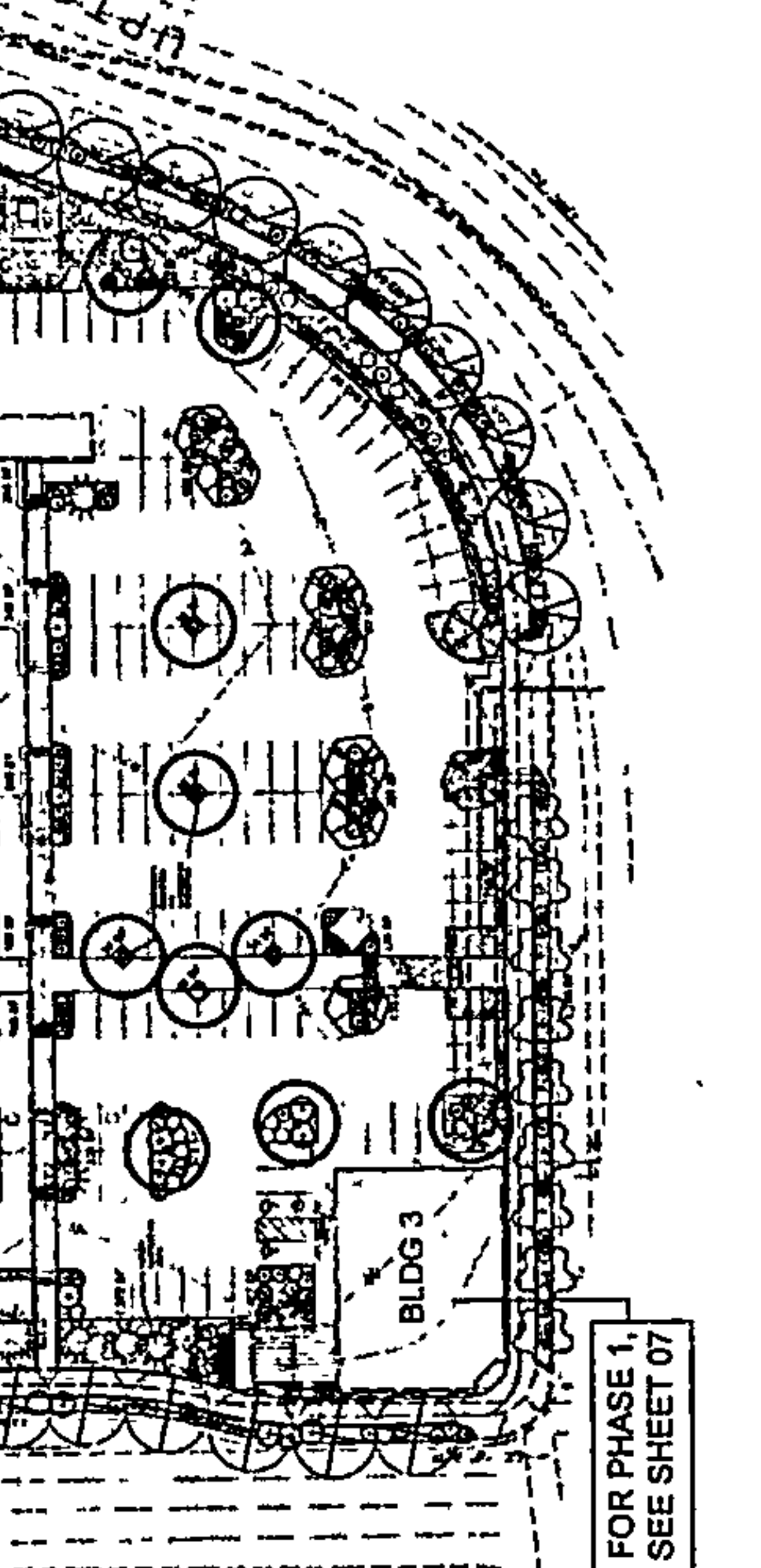
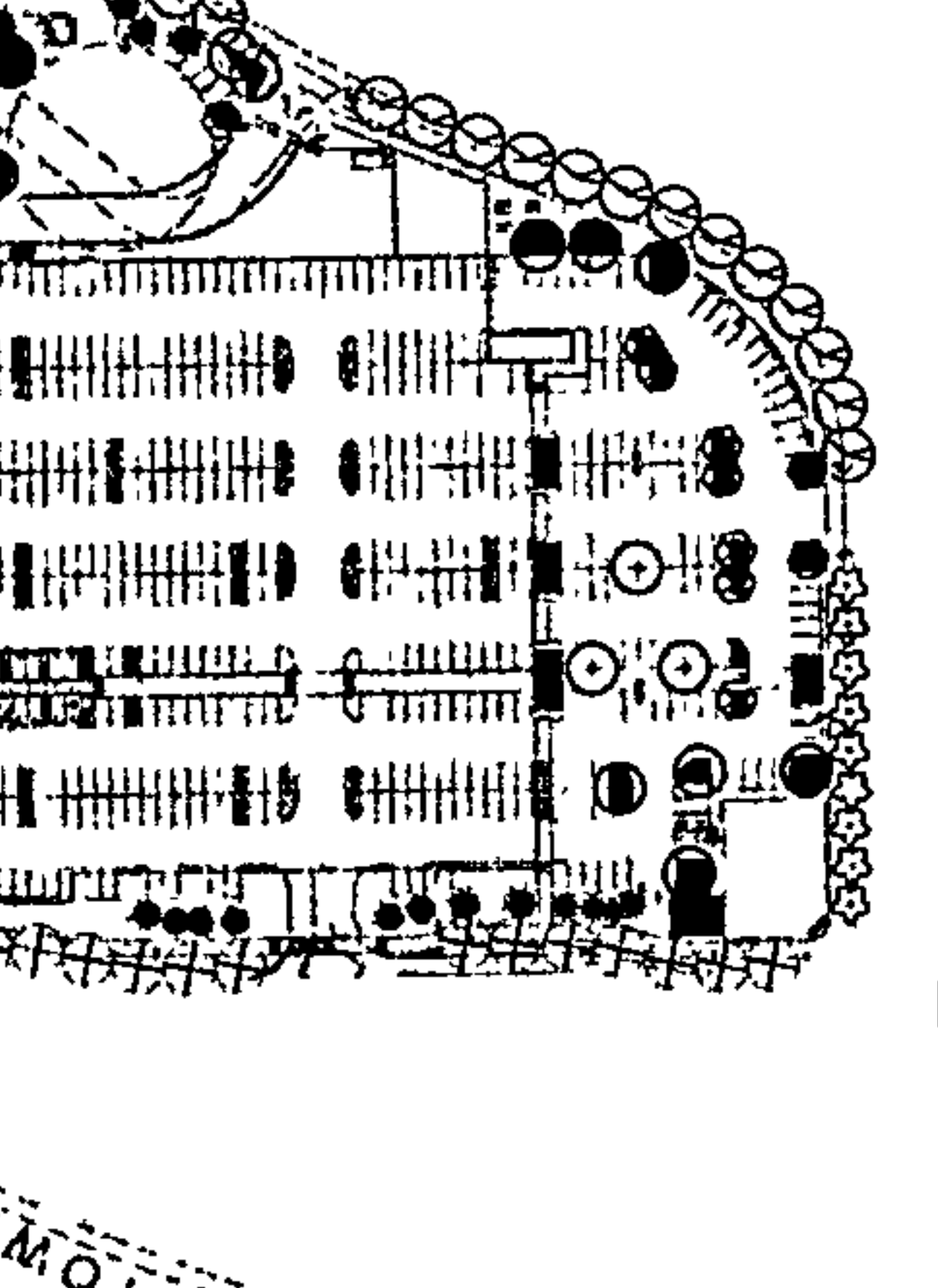
TARGET @ ABA Upton
Albuquerque, New Mexico
DRB SUBMITTAL

ACCENTS

SYMBOL	BOTANICAL NAME/COMMON NAME	INSTALLATION SIZE	MATURE SIZE (HxW)	WATER USE
13	AGAVE PARRYI	1 Gal. Cont.	30'x30'	Low
14	PURRYI AGAVE	1 Gal. Cont.	40'x40'	Low
15	DAYLILY	1 Gal. Cont.	40'x40'	Low
16	RED HE SPEAR	1 Gal. Cont.	40'x40'	Medium
17	BEAUVETAL PRICKLY PEAR	1 Gal. Cont.	40'x40'	Low
18	ONCE MANNA'S PRICKLY PEAR	1 Gal. Cont.	40'x40'	Low
19	YUCCA	1 Gal. Cont.	30'x30'	Low
20	YUCCA	1 Gal. Cont.	30'x30'	Low
21	TWISTED LEAF YUCCA	1 Gal. Cont.	30'x30'	Low

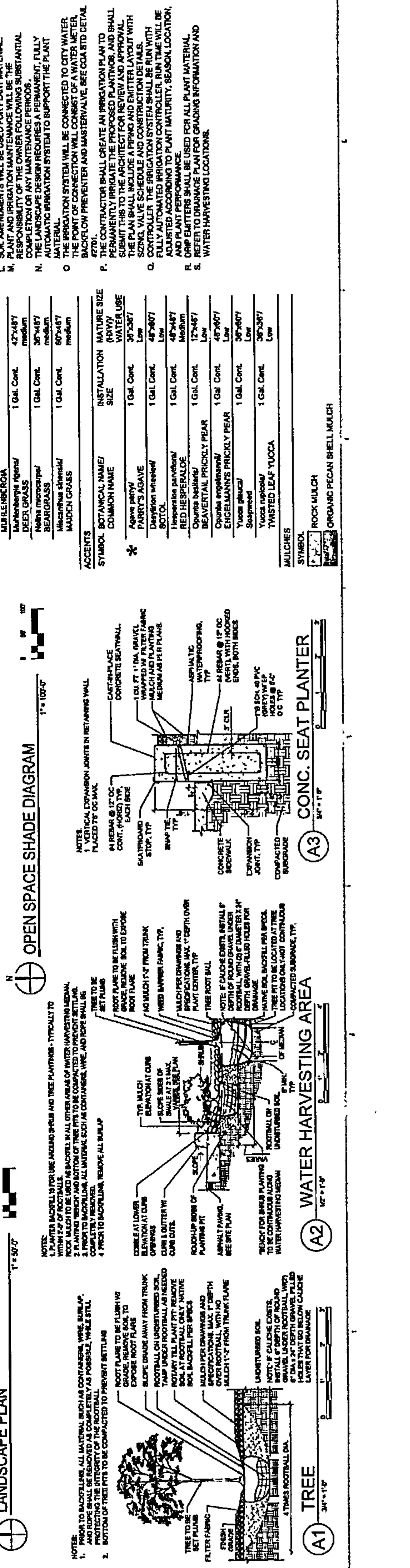
MULCHES

SYMBOL	COMMON NAME
22	ROCK MULCH
23	ORGANIC PECAN SHELL MULCH



LANDSCAPE PLAN - PHASE II

DATE: 11/19/2011
PROJECT NO: 10-1154
DRAWING NO: 10-1154



September 18, 2013

Classic Uptown Neighborhood Association "R"
Mr .Stephen Verchinski
2700 Espanola NE
Albuquerque, NM 87110

Re: Target, 2120 Louisiana Boulevard NE
Southeast corner of Louisiana Boulevard NE and Indian School Road NE
Reason for Request: Target at Uptown Site Development Plan for Subdivision & Re-plat
Legal Description: Tract A of Hunt – Spectrum Development Site

Dear Mr. Verchinski:

A letter was sent notifying you that Target wishes to subdivide their property to prepare for development of the pad sites at the southwest and northeast corners.

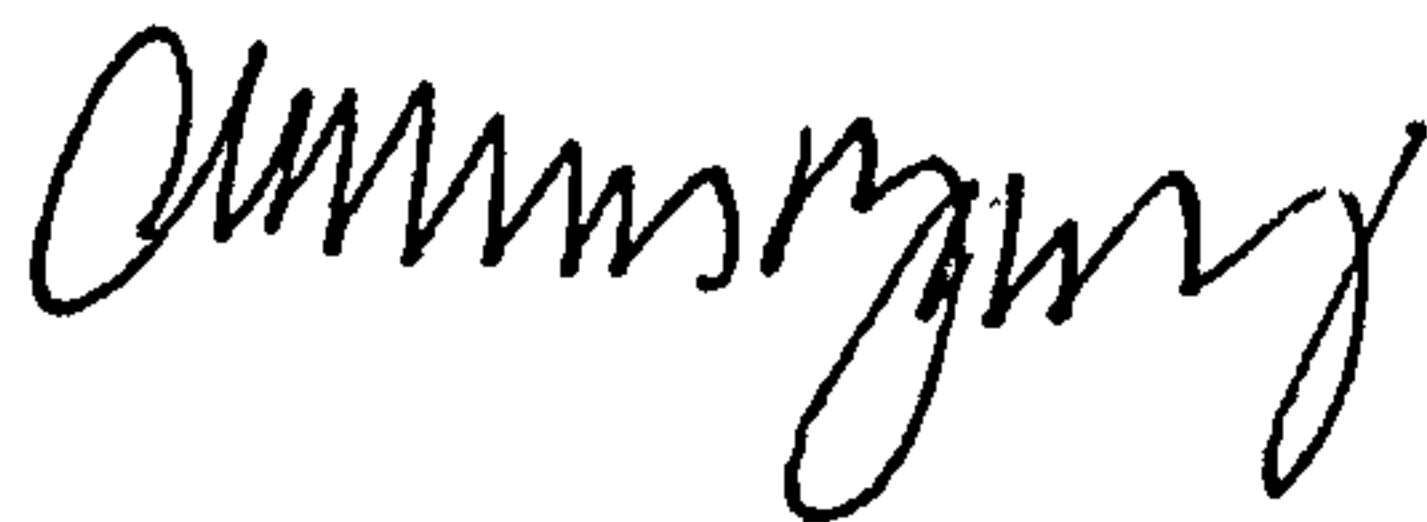
The hearing date that was mentioned in that letter was incorrect. The correct date is October 16, 2013 at 9:00 am in the Plaza Del Sol building located at 600 2nd Street NW (Hearing room on the lower level), Albuquerque, NM.

If you have any questions or need clarification, please feel free to contact me at:

Dekker/Perich/Sabatini
7601 Jefferson NE, Suite 100
Albuquerque, NM 87109
505-761-9700

Sincerely,

Dekker/Perich/Sabatini
Agent for Target



Christopher R. Gunning, AIA, LEED AP
Principal

Attachments:
Previous notification letter (VOIDED)
Site Development Plan for Subdivision
Landscaping Plan

September 10, 2013

Classic Uptown Neighborhood Association "R"
Mr. Stephen Verchinski
2700 Espanola NE
Albuquerque, NM 87110

Re: Target, 2120 Louisiana Boulevard NE
Southeast corner of Louisiana Boulevard NE and Indian School Road NE
Reason for Request: Target at Uptown Site Development Plan for Subdivision & Re-plat
Legal Description: Tract A of Hunt – Spectrum Development Site

Dear Mr. Verchinski:

A Site Development Plan for Building Permit (SPBP) was reviewed and approved for the subject property approximately one and a half years ago (11DRB-70284). Since then, the Target store has been constructed and the Owners now wish to subdivide the property to prepare for development of the pad sites at the southwest and northeast corners. We submitted for sketch plat review and appeared before DRB on November 7, 2012 (12DRB-70350), where we received direction to submit for a Site Development Plan for Subdivision (SPS) per the USDP process, and to then submit for re-plat concurrently.

The City of Albuquerque Planner assigned to this project is Chris Hyer. He can be reached at 924-3927 or via email at chyer@cabq.gov.

~~VOIDED~~
The hearing is scheduled for ~~September 25, 2013 at 9:00 am~~ in the Plaza Del Sol building located at 600 2nd Street NW (Hearing room on the lower level), Albuquerque, NM.

If you have any questions or need clarification, please feel free to contact me at:

Dekker/Perich/Sabatini
7601 Jefferson NE, Suite 100
Albuquerque, NM 87109
505-761-9700

Sincerely,

Dekker/Perich/Sabatini
Agent for Target



Christopher R. Gunning, AIA, LEED AP
Principal

Attachments: Site Development Plan for Subdivision and Landscaping Plan

**Dekker
Perich
Sabatini**

7001 Jefferson NE Suite 100
Albuquerque, NM 87109
505 761-9700
fax 761-4222
dps@dpdesign.org

ARCHITECT

ENGINEER

PROJECT

TARGET @ ABQ Uptown
Albuquerque, New Mexico
SITE PLAN FOR SUBDIVISION
DRB SUBMITTAL

REVISIONS

- △
- △
- △
- △

DRAWN BY: SJT

REVIEWED BY: CRG

DATE: 06/03/2013

PROJECT NO.: 11-0096.002

DRAWING NAME:

SITE
DEVELOPMENT PLAN
FOR SUBDIVISION

GENERAL NOTES

- A. REFER TO SHEET 3 FOR DESIGN STANDARDS
- B. REFER TO CIVIL DRAWING, SHEET 2 FOR CONCEPTUAL UTILITY PLAN
- C. APPLICABLE PLANS: UPTOWN SECTOR DEVELOPMENT PLAN (2009)
- D. PROPOSED USES: MIXED USE INCLUDING RETAIL, RESTAURANT AND HOUSING

KEYED NOTES

- 1. EXISTING PROPERTY LINE
- 2. PROPOSED PROPERTY LINE

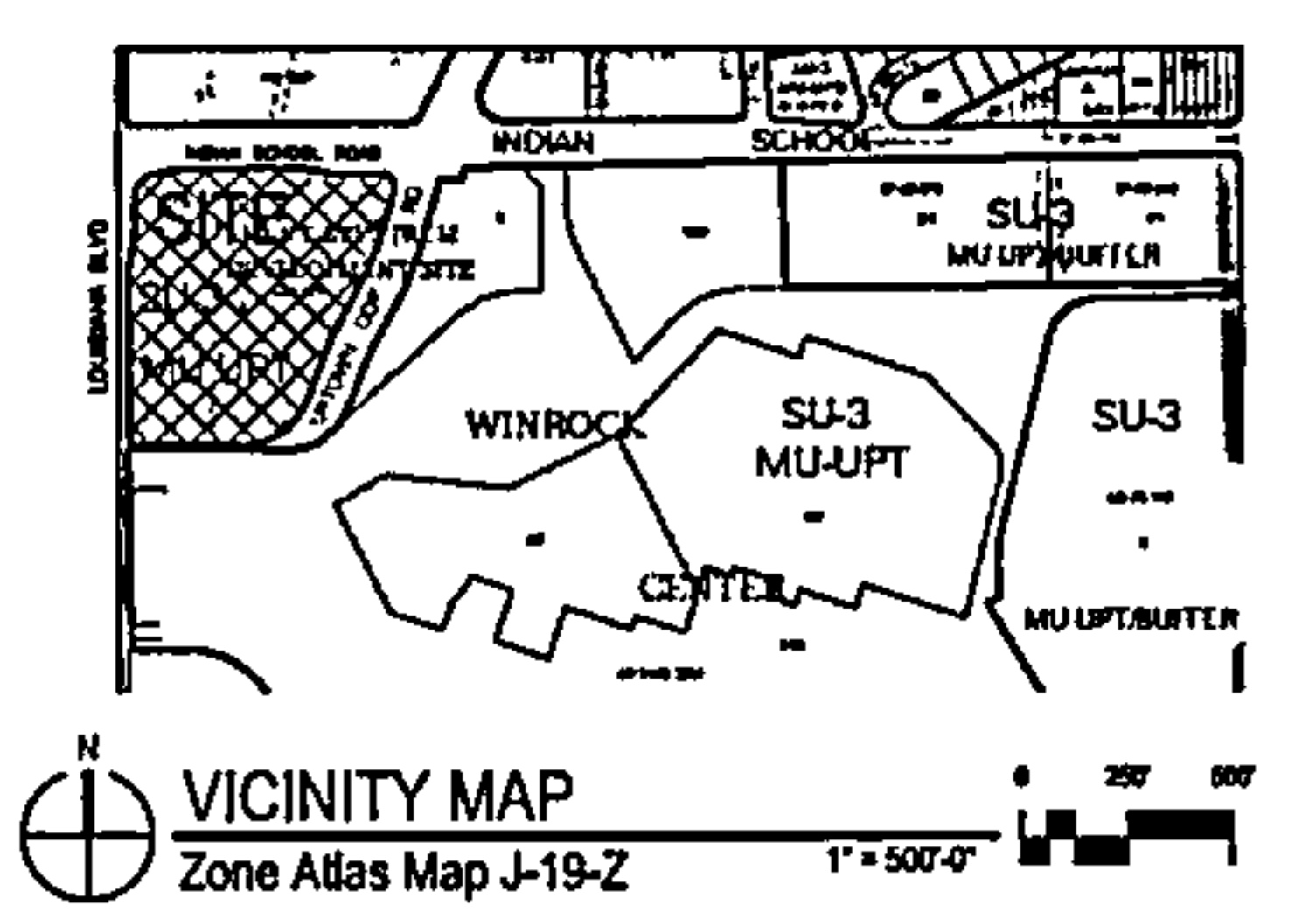
SITE DATA

LEGAL DESCRIPTION:
TRACT A, HUNT - SPECTRUM DEVELOPMENT SITE

ZONE:
SU-3 FOR MU-UPT

SITE PLAN LEGEND

- PEDESTRIAN INGRESS / EGRESS
- ← VEHICULAR INGRESS / EGRESS
- - - PROPERTY LINE EXISTING AS NOTED
- — — PROPERTY LINE PROPOSED AS NOTED



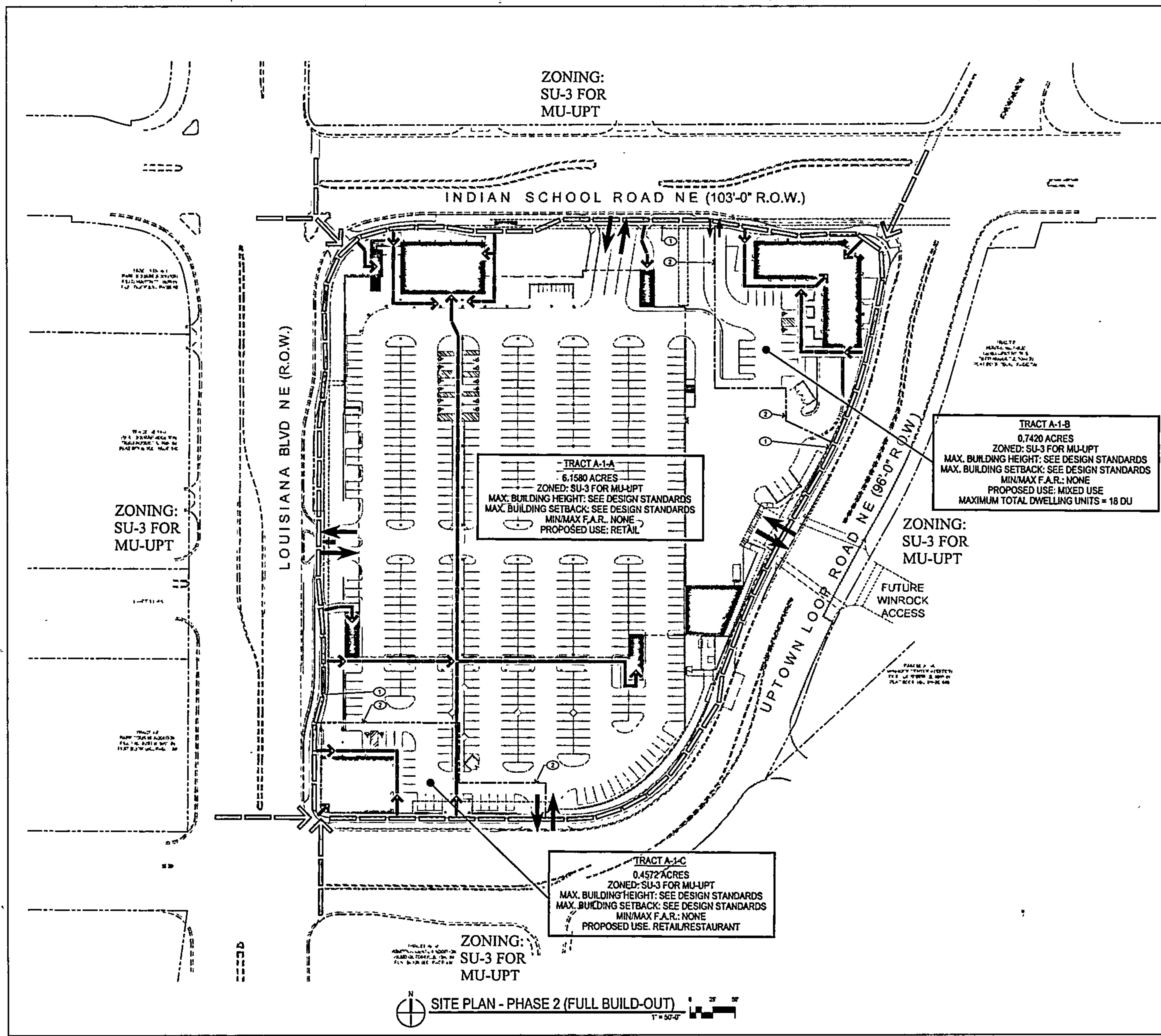
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PROJECT NUMBER: 1007216

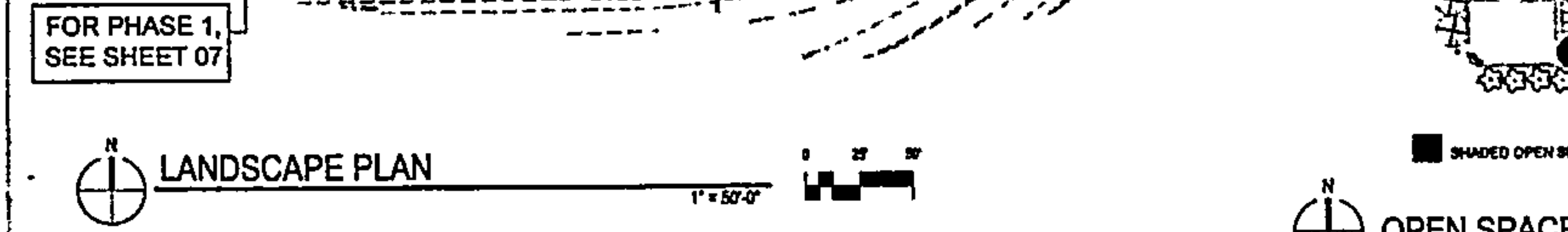
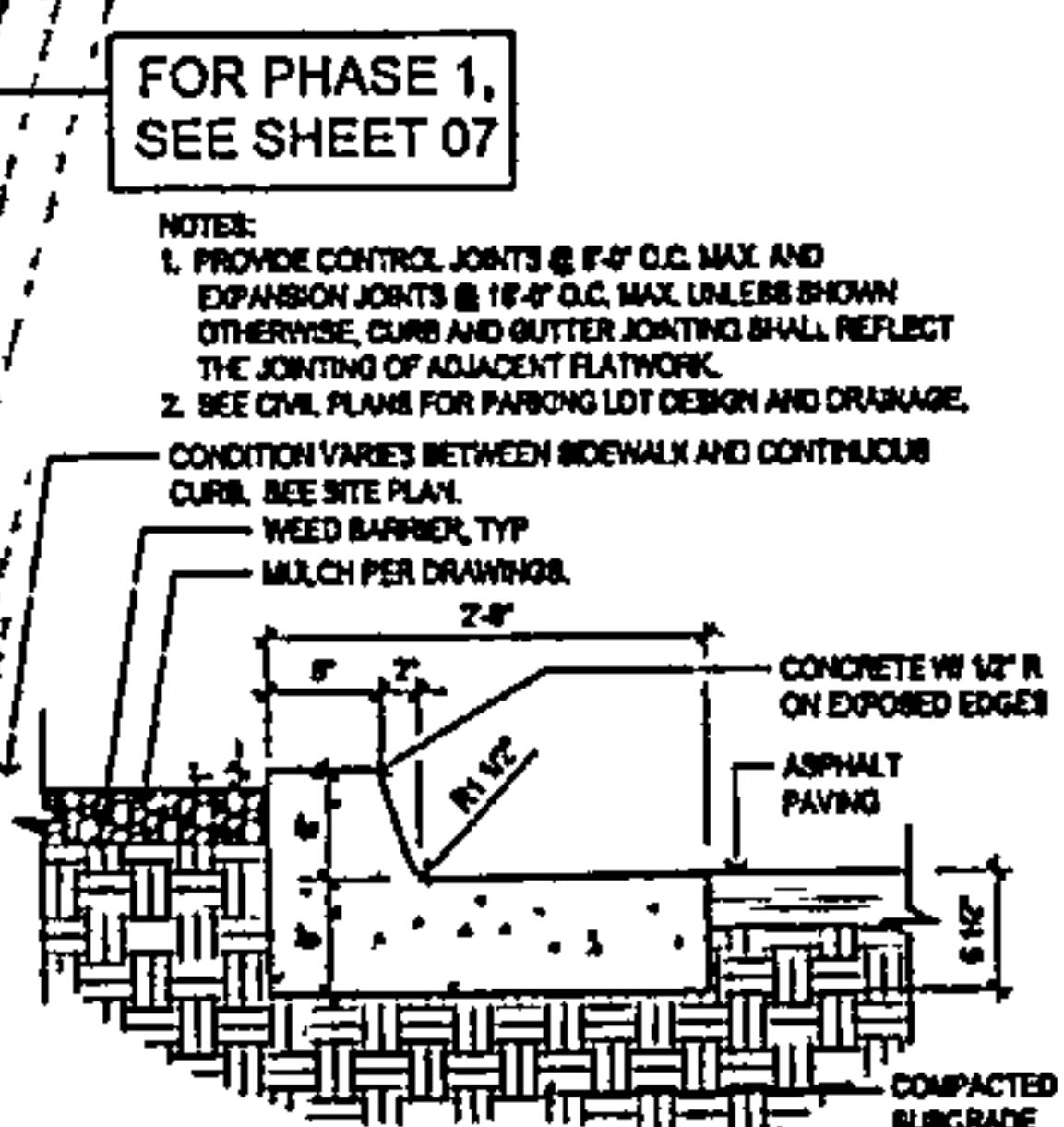
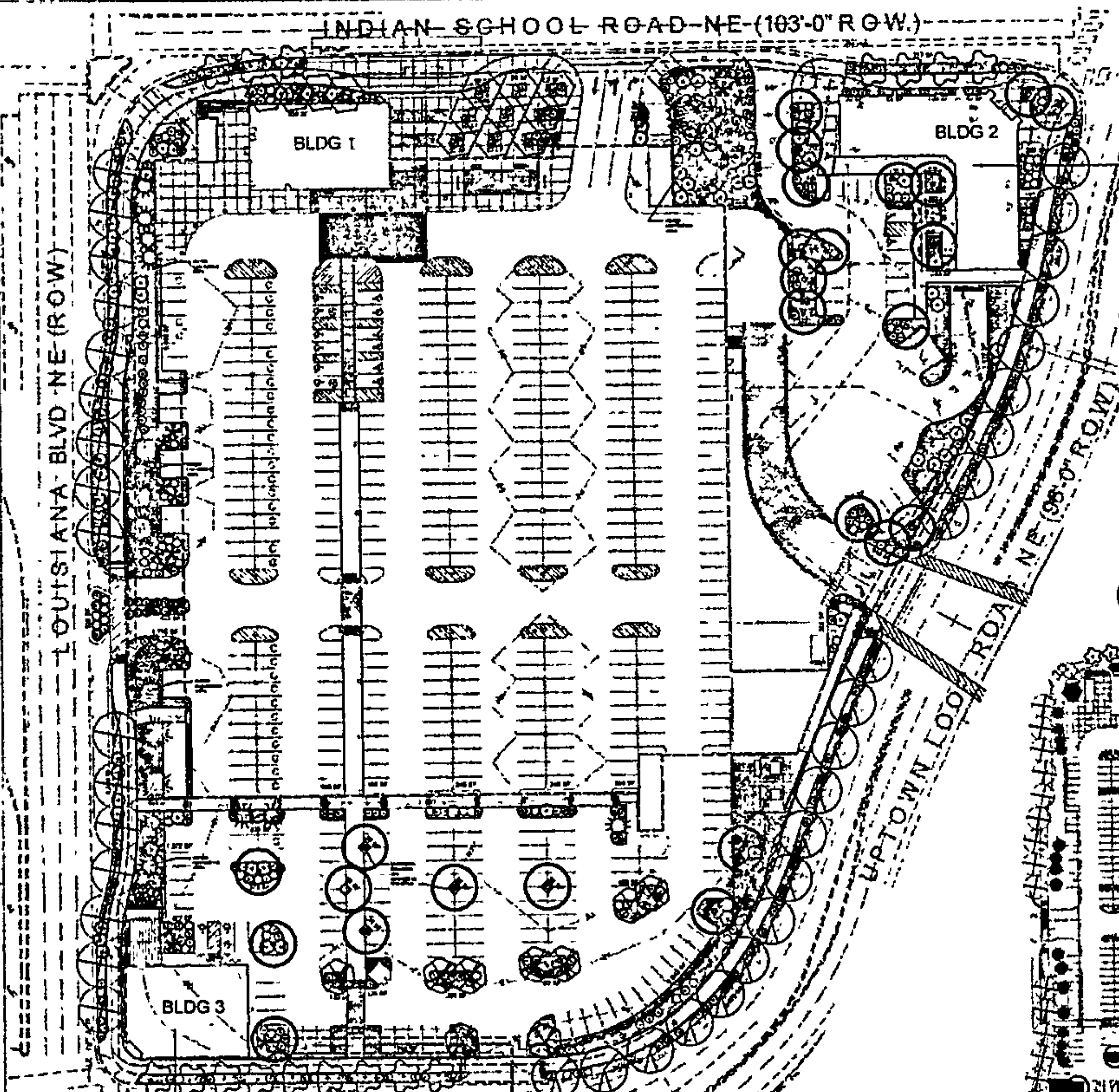
APPLICATION NUMBER:
Is an Infrastructure List Required? () Yes () No If yes, then a set of approved DRG plans with a work order as required for any construction within Public Right-of-Way or for construction of public improvements.

SITE DEVELOPMENT PLAN APPROVAL

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
ABCWUA	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE



SITE PLAN - PHASE 2 (FULL BUILD-OUT)
1" = 50'-0"



PLANTING LEGEND

TREES	SYM	QTY	BOTANICAL NAME/ COMMON NAME	INSTALLATION SIZE	MATURE SIZE (HxW) WATER USE
	26		Platycodon grandiflorus/ CHINESE PISTACHE	3" Cal.	35x207 Medium
	18		Cercis canadensis/ WESTERN REDBUD	2" Cal/B&B Multi-trunked	25x187 Medium
	23		Chilopsis linearis 'Arts Seedless/ DESERT WILLOW	48" Bow/ Multi-trunked	25x357 Low
	3		Populus deltoides var. wislizenii RIO GRANDE VALLEY COTTONWOOD	2" Cal/B&B	80x807 High
	22		Quercus buckleyi/ TEXAS RED OAK	2" Cal/B&B	25x257 Medium
	16		Quercus muhlenbergii/ CHINQUAPIN OAK	2" Cal/B&B	30x307 Medium
	12		Tilia cordata LITTLELEAF LINDEN	2" Cal/B&B	35x307 Medium
	11		Juniperus chinensis 'Spartan' SPARTAN JUNIPER	6" High/B&B	15x87 Low
	16		Pinus strobus SOUTHWESTERN WHITE PINE	6" High/B&B	60x207 Low
SHRUBS	SYMBOL	BOTANICAL NAME/ COMMON NAME	INSTALLATION SIZE	MATURE SIZE (HxW) WATER USE	
		Ericameria laricina TURPENTINE BUSH	1 Gal. Cont.	36"x367 Low	
		Baccharis 'Contaminata' CENTENNIAL BROOM	1 Gal. Cont.	36"x427 Low	
		Caryopteris clandestina 'Dark Knight' DARK NIGHT BLUE MIST SPIREA	1 Gal. Cont.	48"x487 Medium	
		Muhlenbergia aquifolia 'Compacta' COMPACT MAHONIA	1 Gal. Cont.	24"x487 Medium	
		Rosmarinus officinalis UPRIGHT ROSEMARY	1 Gal. Cont.	80"x487 Low	
		Rhus aromatica 'Gro-low' GRO-LO FRAGRANT SUMAC	1 Gal. Cont.	24"x727 Medium	
		Salvia greggii AUTUMN SAGE	1 Gal. Cont.	30"x367 Low	
		Verbena bipinnatifida/ PRAIRIE VERBENA	1 Gal. Cont.	60"x307 Low	
		Callirhoe involucrata/ WINECUPS	1 Gal. Cont.	18"x187 Low	
		Cornostigma plumbaginoides/ DWARF PLUMBAGO	1 Gal. Cont.	12"x187 Medium	
		Callandria arvensis/ BLANKETFLOWER	1 Gal. Cont.	30"x307 Low	
		Hymenocallis scabra/ ANGELITA DAISY	1 Gal. Cont.	12"x127 Low	
		Lavandula angustifolia 'Hidcote Superior'/ HIDCOTE SUPERIOR LAVENDER	1 Gal. Cont.	18"x187 Medium	
		Mirabilis multiflora/ DESERT FOUR-O'CLOCK	1 Gal. Cont.	18"x307 Medium	
		P. barbatus/ RED PENSTEMON	1 Gal. Cont.	50"x367 Low	
		Teucrium chamaedrys/ TRAILING GERMANDER	1 Gal. Cont.	12"x247 Medium	
GRASSES	SYMBOL	BOTANICAL NAME/ COMMON NAME	INSTALLATION SIZE	MATURE SIZE (HxW) WATER USE	
		Festuca hachonsis 'Siskiyow Blue'/ SISKIYOU BLUE FESCUE	1 Gal. Cont.	18"x187 Medium	
		Muhlenbergia capillaris 'Regal Mist'/ REGAL MIST MULLENBERGIA	1 Gal. Cont.	36"x427 Medium	
		Muhlenbergia rigens/ DEER GRASS	1 Gal. Cont.	42"x487 Medium	
		Nolina microcarpa/ BEARGRASS	1 Gal. Cont.	36"x487 Medium	
		Miscanthus sinensis/ MAIDEN GRASS	1 Gal. Cont.	80"x487 Medium	
ACCENTS	SYMBOL	BOTANICAL NAME/ COMMON NAME	INSTALLATION SIZE	MATURE SIZE (HxW) WATER USE	
	*	Agave parryi/ PARRY'S AGAVE	1 Gal. Cont.	36"x367 Low	
		Dasylirion wheeleri/ SOTOL	1 Gal. Cont.	48"x807 Low	
		Hesperaloe parviflora/ RED HESPERALOE	1 Gal. Cont.	48"x487 Medium	
		Opuntia basilaris/ BEAVERTAIL PRICKLY PEAR	1 Gal. Cont.	12"x487 Low	
		Opuntia engelmannii/ ENGELMANN'S PRICKLY PEAR	1 Gal. Cont.	48"x807 Low	
		Yucca glauca/ Soapweed	1 Gal. Cont.	36"x807 Low	
		Yucca rupicola/ TWISTED LEAF YUCCA	1 Gal. Cont.	36"x367 Low	

LANDSCAPE CALCULATIONS

SITE AREA 7.3572 AC (AFTER R.O.W. DEDICATION)
 OPEN SPACE REQUIREMENT (10% OF THE SITE) 32,048 SF
 OPEN SPACE PROVIDED 41,028 SF
 LANDSCAPE REQUIREMENT (40% OF OPEN SPACE) 16,814 SF
 LANDSCAPE AREA PROVIDED 38,179 SF
 *NET LOT AREA WAS NOT USED IN THESE CALCULATIONS.

OPEN SPACE CALCULATIONS DO NOT INCLUDE REQUIRED LANDSCAPE STRIPS ALONG THE STREET OR WALKWAYS EXCEPT ANY PORTION OF A WALKWAY THAT IS WIDER THAN 10 FEET

A MINIMUM OF 75% OF LANDSCAPE AREAS AND 80%-75% OF PLANTING STRIPS SHALL BE COVERED WITH LIVE VEGETATIVE MATERIALS.

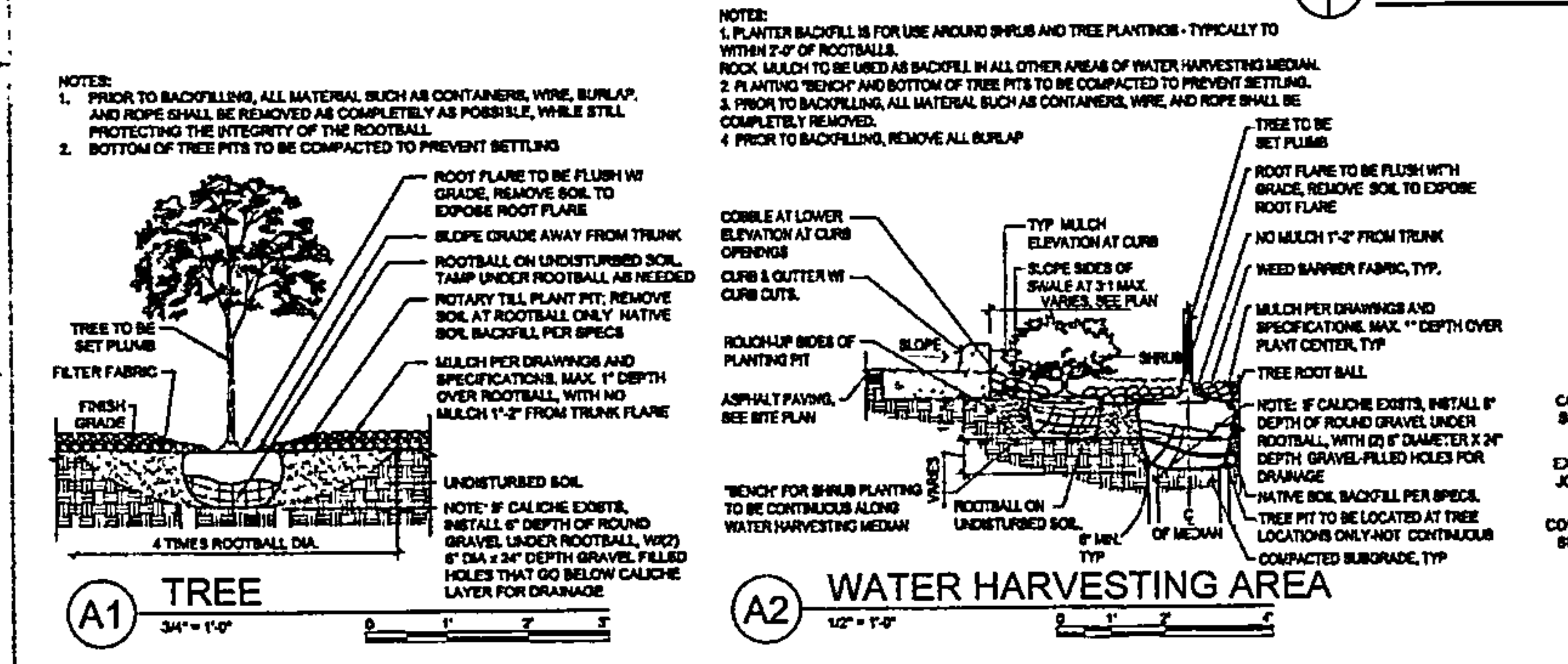
A MINIMUM OF 10% OF LANDSCAPE AREAS WILL HAVE FLOWERING STRIPS OR SHRUBS

TOTAL SHADE TREES 80 (% OF TREES)
 TOTAL SIGNATURE TREES 38 (% OF TREES)

ROCK MULCH HAS BEEN LIMITED TO LESS THAN 5% OF ANY OPEN SPACE AREA AND USED ONLY WHERE NECESSARY AROUND DRAINAGE INLETS. ALL OTHER MULCH AREAS UTILIZE ORGANIC PECAN SHELL MULCH.

LANDSCAPE NOTES

- DESIGN THE PLANTING DESIGN INCLUDES A DIVERSE PALETTE OF DESERT AND HIGH DESERT PLANTS THAT WILL COMPLEMENT THE ARCHITECTURE OF THE PROJECT. THE INTENT IS TO LANDSCAPE THIS MIXED-USE URBAN ENVIRONMENT WITH DESERT AND HIGH DESERT PLANTS THAT REINFORCE A SENSE OF PLACE AND ARE APPROPRIATE TO ALBUQUERQUE'S CLIMATE.
- GRASSES AND ACCENT PLANTS SUCH AS YUCCA, SOTOL, AND PRICKLY PEAR CACTUS WILL BE USED IN HIGHLY VISIBLE AND APPROPRIATE LOCATIONS. THE USE OF REGIONALLY NATIVE TREES FOR STREET TREES, WHILE UNORTHODOX, WILL REINFORCE THE SENSE OF PLACE, BUFFER PEDESTRIANS FROM VEHICULAR AREAS AND PROVIDE A COMFORTABLE PEDESTRIAN SCALE TO THE STREETS.
- PLANTING AND IRRIGATION INSTALLATION DETAILS SHALL MEET CITY OF ALBUQUERQUE REQUIREMENTS AND THE USDP REQUIREMENTS. EACH TREE SHALL HAVE A MINIMUM OF 36 SQUARE FEET OF PLANTING SPACE.
- PLANTING AND IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- CONTROLLER: THE IRRIGATION SYSTEM SHALL BE RUN WITH A FULLY AUTOMATED IRRIGATION CONTROLLER. THE RUN TIME FOR THE VARIOUS ZONES SHALL BE APPROXIMATELY 45 MINUTES FOR THE DRIP ZONES. RUN TIME WILL BE ADJUSTED ACCORDING TO SEASON, LOCATION, AND PLANT PERFORMANCE. DRIP EMITTERS SHALL BE USED FOR ALL PLANT MATERIAL.
- POINT OF CONNECTION: THERE IS LIKELY TO BE MORE THAN ONE POINT OF CONNECTION FOR THIS PROJECT. THE WATER CONNECTION LOCATIONS WILL BE COORDINATED WITH THE OVERALL WATER SERVICE DESIGN FOR THE SITE. THE EXACT LOCATIONS FOR CONNECTIONS AND CONTROLLERS IN UNKNOWN AT THIS TIME.
- MULCH: ALL PLANTING BEDS SHALL BE COVERED WITH MULCH. GRAVEL, BARK AND PECAN SHELL MULCHES WILL BE USED APPROPRIATELY TO ADD VISUAL INTEREST AND PROTECT SOIL MOISTURE.
- THE PARKING AREA TREES SELECTED FOR USE AT TARGET @ TREE AND SHRUB PITS TO BE 4 TIMES THE ROOTBALL DIAMETER.
- THERE IS NO HIGH WATER USE TURF USED ON THIS PROJECT.
- THE LANDSCAPE DESIGN SHALL COMPLY WITH THE INTENT OF THE CITY OF ALBUQUERQUE WATER CONSERVATION, LANDSCAPING AND WASTE ORDINANCE.
- SOIL PREPARATION AND AERATION WITH ROWN IS REQUIRED TO DE-COMPACT LANDSCAPE ZONE PRIOR TO PLANTING.
- PASSIVE WATER HARVESTING, SUCH AS HARVESTING OF STORM WATER SURFACE RUNOFF AND ROOF RUNOFF, SHALL BE UTILIZED WHERE FEASIBLE AND CAPTURED IN SWALES.
- SOIL AMENDMENTS WILL BE USED FOR PLANT MATERIAL.
- PLANT AND IRRIGATION MAINTENANCE WILL BE THE RESPONSIBILITY OF THE OWNER FOLLOWING SUBSTANTIAL COMPLETION OR ANY MAINTENANCE PERIODS.
- THE LANDSCAPE DESIGN REQUIRES A PERMANENT, FULLY AUTOMATIC IRRIGATION SYSTEM TO SUPPORT THE PLANT MATERIAL.
- THE IRRIGATION SYSTEM WILL BE CONNECTED TO CITY WATER. THE POINT OF CONNECTION WILL CONSIST OF A WATER METER, BACKFLOW PREVENTER AND MASTERVALVE, SEE COA STD DETAIL #2701.
- THE CONTRACTOR SHALL CREATE AN IRRIGATION PLAN TO PERMANENTLY IRRIGATE THE PROPOSED PLANTINGS, AND SHALL SUBMIT THIS TO THE ARCHITECT FOR REVIEW AND APPROVAL. THE PLAN SHALL INCLUDE A PIPING AND EMITTER LAYOUT WITH SIZING, VALVE SCHEDULE AND CONSTRUCTION DETAILS.
- CONTROLLER: THE IRRIGATION SYSTEM SHALL BE RUN WITH FULLY AUTOMATED IRRIGATION CONTROLLER. RUN TIME WILL BE ADJUSTED ACCORDING TO PLANT MATURITY, SEASON, LOCATION, AND PLANT PERFORMANCE.
- DRIP EMITTERS SHALL BE USED FOR ALL PLANT MATERIAL.
- REFER TO DRAINAGE PLAN FOR GRADING INFORMATION AND WATER HARVESTING LOCATIONS.



Dekker Perich Sabatini
 ARCHITECT

7801 Jefferson NE Suite 101
 Albuquerque, NM 87113
 505.761.8140
 505.761.8225
 ds@dspsa.com

TARGET @ ABQ Uptown
 Albuquerque, New Mexico

DRB SUBMITTAL

PERSONS

DRAWN BY	JG
REVIEWED BY	MB
DATE	1/10/2011
PROJECT NO	104136
DRAWING NAME	LANDSCAPE PLAN - PHASE II

September 18, 2013

Inez Neighborhood Association "R"
Ms. Evelyn B. Feltner
2014 Utah St. NE
Albuquerque, NM 87110

Re: Target, 2120 Louisiana Boulevard NE
Southeast corner of Louisiana Boulevard NE and Indian School Road NE
Reason for Request: Target at Uptown Site Development Plan for Subdivision & Re-plat
Legal Description: Tract A of Hunt – Spectrum Development Site

Dear Ms. Feltner:

A letter was sent notifying you that Target wishes to subdivide their property to prepare for development of the pad sites at the southwest and northeast corners.

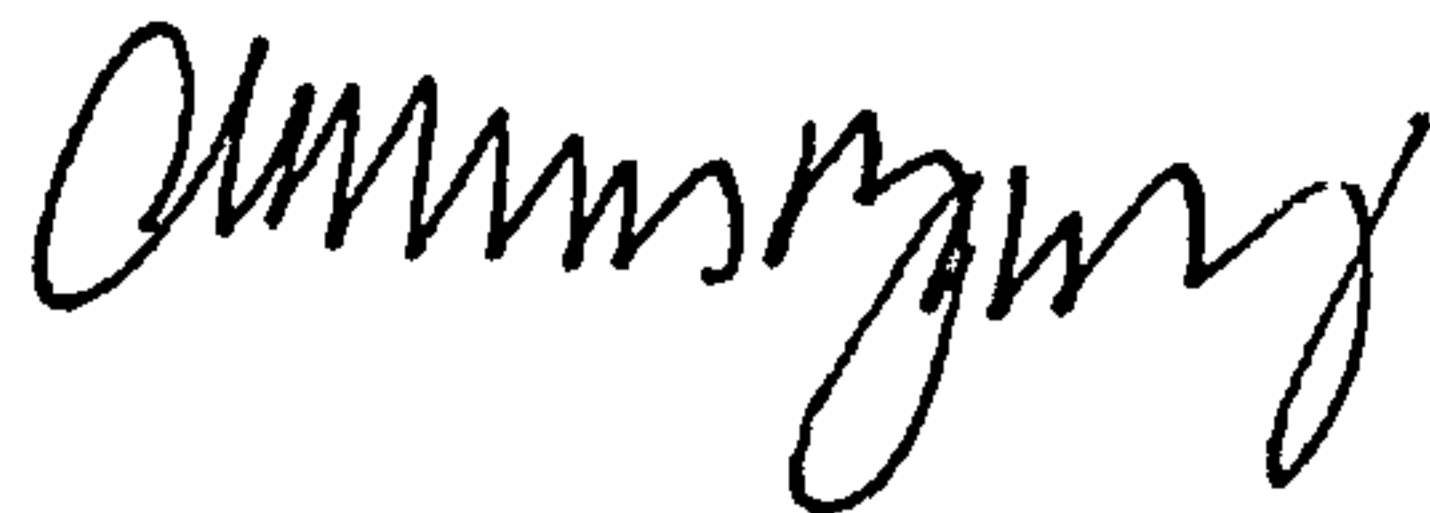
The hearing date that was mentioned in that letter was incorrect. The correct date is October 16, 2013 at 9:00 am in the Plaza Del Sol building located at 600 2nd Street NW (Hearing room on the lower level), Albuquerque, NM.

If you have any questions or need clarification, please feel free to contact me at:

Dekker/Perich/Sabatini
7601 Jefferson NE, Suite 100
Albuquerque, NM 87109
505-761-9700

Sincerely,

Dekker/Perich/Sabatini
Agent for Target



Christopher R. Gunning, AIA, LEED AP
Principal

Attachments:
Previous notification letter (VOIDED)
Site Development Plan for Subdivision
Landscaping Plan

September 10, 2013

Inez Neighborhood Association "R"
Ms. Evelyn B. Feltner
2014 Utah St. NE
Albuquerque, NM 87110

Re: Target, 2120 Louisiana Boulevard NE
Southeast corner of Louisiana Boulevard NE and Indian School Road NE
Reason for Request: Target at Uptown Site Development Plan for Subdivision & Re-plat
Legal Description: Tract A of Hunt – Spectrum Development Site

Dear Ms. Feltner:

A Site Development Plan for Building Permit (SPBP) was reviewed and approved for the subject property approximately one and a half years ago (11DRB-70284). Since then, the Target store has been constructed and the Owners now wish to subdivide the property to prepare for development of the pad sites at the southwest and northeast corners. We submitted for sketch plat review and appeared before DRB on November 7, 2012 (12DRB-70350), where we received direction to submit for a Site Development Plan for Subdivision (SPS) per the USDP process, and to then submit for re-plat concurrently.

The City of Albuquerque Planner assigned to this project is Chris Hyer. He can be reached at 924-3927 or via email at chyer@cabq.gov.


VOIDED
The hearing is scheduled for ~~September 25, 2013 at 9:00~~ am in the Plaza Del Sol building located at 600 2nd Street NW (Hearing room on the lower level), Albuquerque, NM.

If you have any questions or need clarification, please feel free to contact me at:

Dekker/Perich/Sabatini
7601 Jefferson NE, Suite 100
Albuquerque, NM 87109
505-761-9700

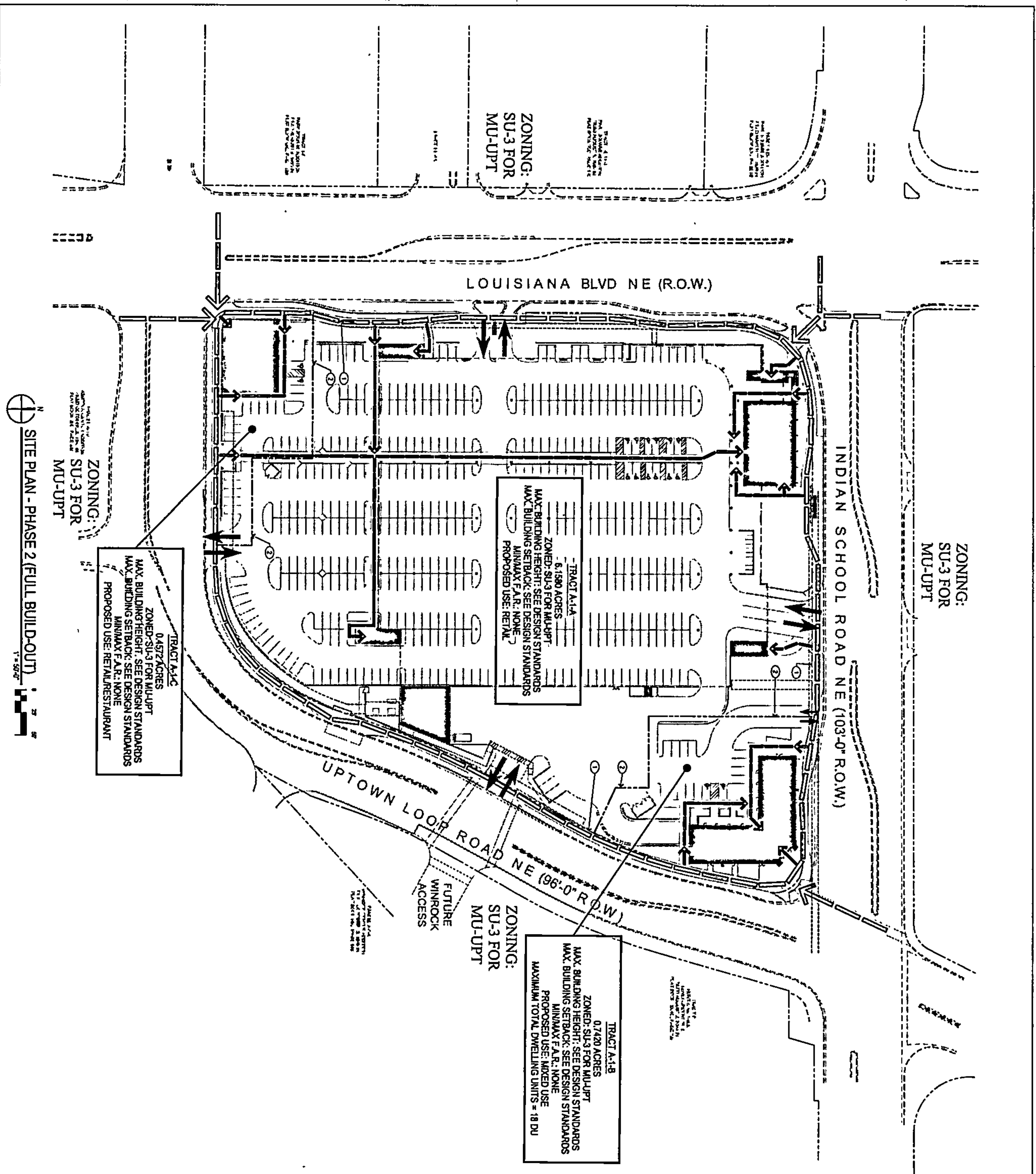
Sincerely,

Dekker/Perich/Sabatini
Agent for Target



Christopher R. Gunning, AIA, LEED AP
Principal

Attachments: Site Development Plan for Subdivision and Landscaping Plan



GENERAL NOTES

- A. REFER TO SHEET 3 FOR DESIGN STANDARDS
- B. REFER TO CIVIL DRAWING, SHEET 2 FOR CONCEPTUAL UTILITY PLAN
- C. APPLICABLE PLANS: UPTOWN SECTOR DEVELOPMENT PLAN (2009)
- D. PROPOSED USES: MIXED USE INCLUDING RETAIL, RESTAURANT AND HOUSING

KEYED NOTES

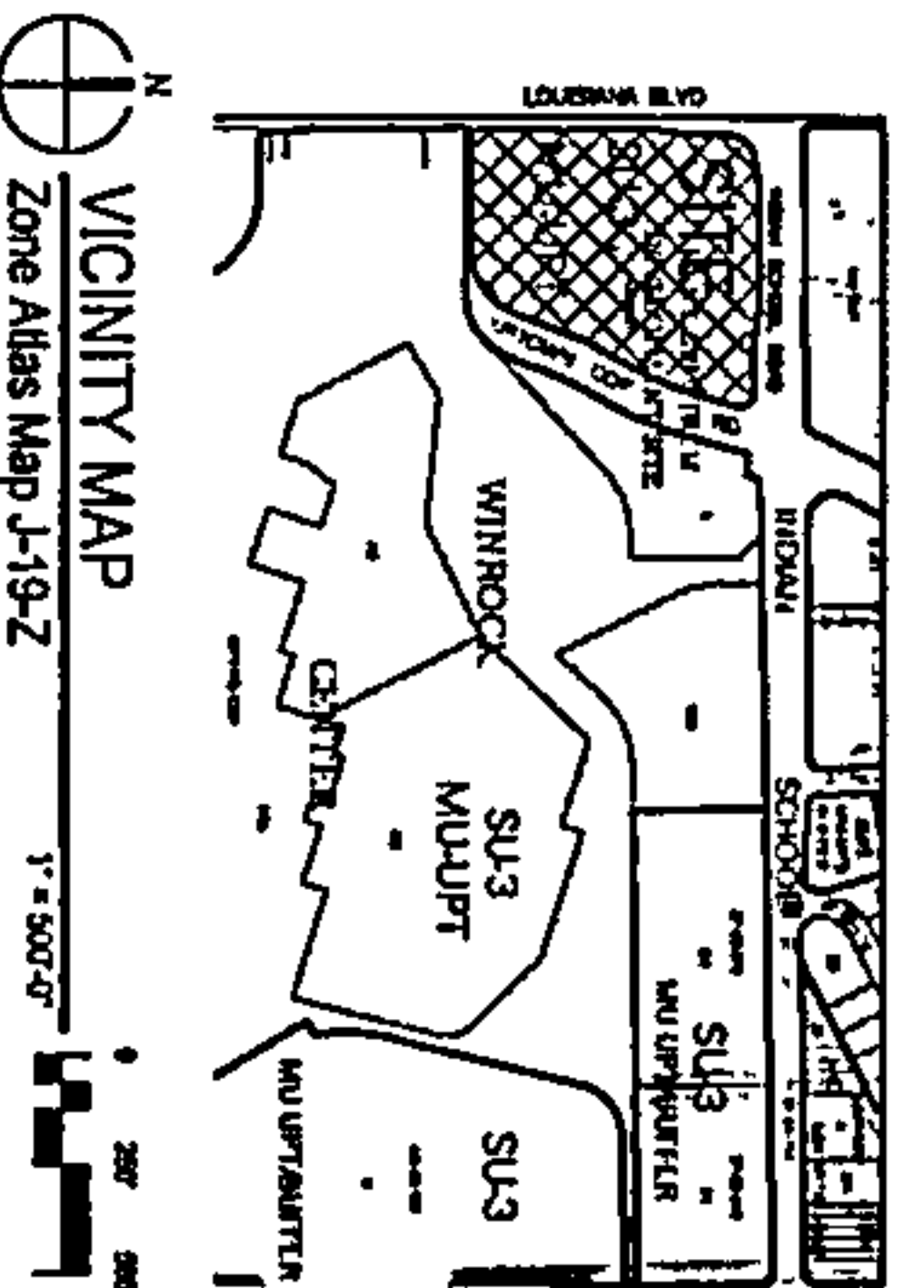
- 1. EXISTING PROPERTY LINE
- 2. PROPOSED PROPERTY LINE

SITE DATA

LEGAL DESCRIPTION:
 TRACT A, RAIN - SPECIAL DEVELOPMENT SITE
 ZONE:
 SU-3 FOR MU-UPT

SITE PLAN LEGEND

- VEHICULAR INGRESS / EGRESS
- VEHICULAR EGRESS / INGRESS
- PROPERTY LINE EXISTING AS NOTED
- PROPERTY LINE PROPOSED AS NOTED

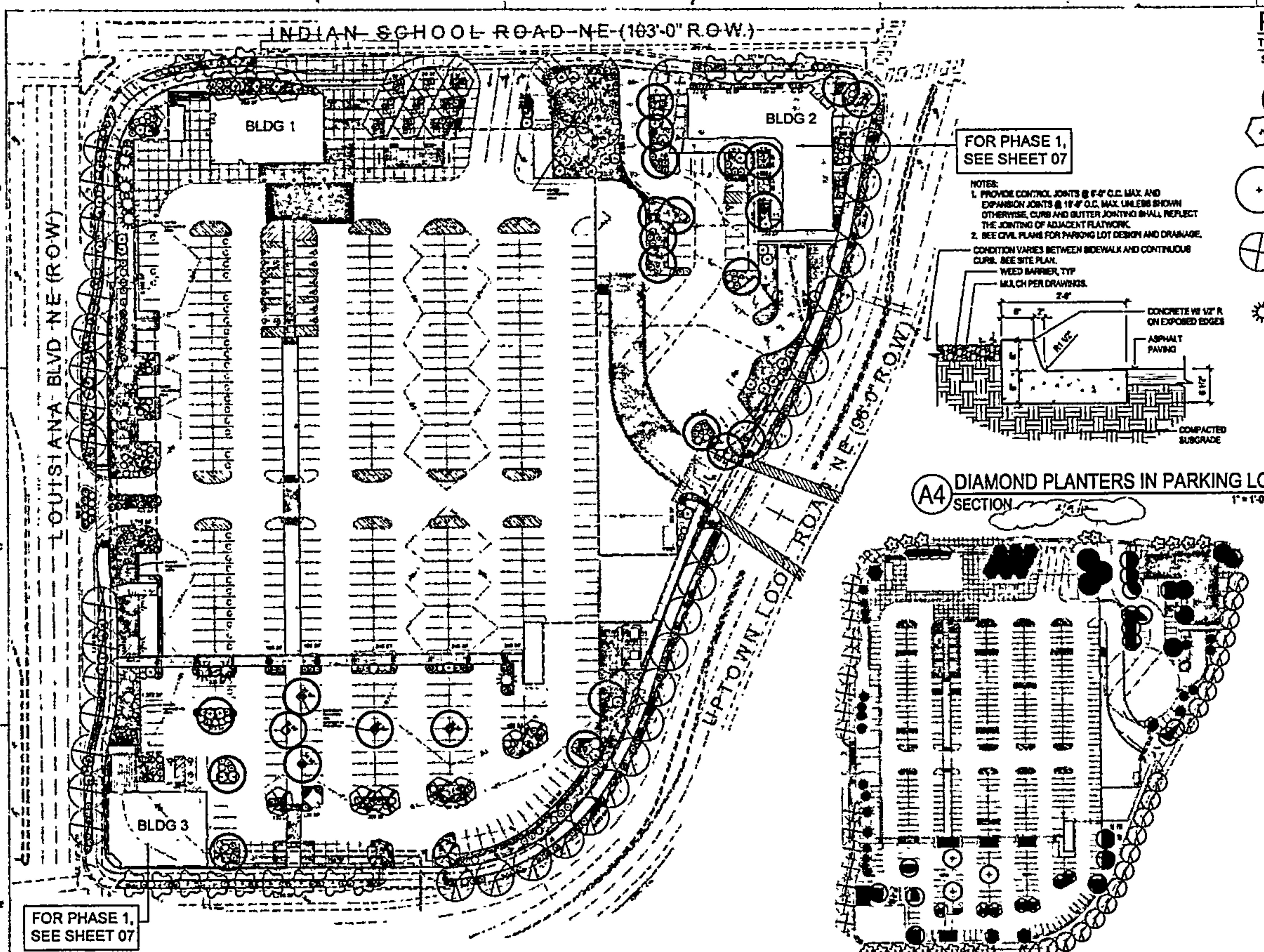


FORSLER PROJECT NUMBER:	180716
PROJECT NUMBER:	180716
APPLICATION NUMBER:	
Is an independent List Item? (Y/N) If Yes, there is a set of approved DRB plans with a work order as required for any construction within Public Right-of-Way or the construction of public improvements.	
SITE DEVELOPMENT PLAN APPROVAL	
TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
APPROVAL	DATE
PLANS AND REGULATION DEPARTMENT	DATE
CITY ENGINEER	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

Dekker Perich Sabatini
 1001 Johnson Road NE
 Albuquerque, NM 87109
 505.763.4388
 Fax: 505.433.2222
 info@psaonline.com

TARGET @ ABQ Uptown
 Albuquerque, New Mexico
 SITE PLAN FOR SUBDIVISION
 DRB SUBMITTAL

PROJECT	PROJECT
ENGINEER	ENGINEER
DATE	DATE
REVISIONS	REVISIONS
DRAWN BY: SJT REVIEWED BY: CMG DATE: 08/03/2011 PROJECT NO.: 11-0098.002 DRAWING NAME:	SITE DEVELOPMENT PLAN FOR SUBDIVISION 1 of 4



PLANTING LEGEND

TREES

SYM	QTY	BOTANICAL NAME/ COMMON NAME	INSTALLATION SIZE	MATURE SIZE (HxW) WATER USE
20		Pistada chinensis/ CHINESE PISTACHE	3" Cal.	35x30/ Medium
15		Cercis remiformis/ WESTERN REDBUD	2" Cal./B&B	25x18/ Medium
23		Chiospa linearis 'Ary's Seedless/ DESERT WILLOW	48" Box/ Multi-trunked	25x35/ Low
3		Populus deltoides wislizenii/ RIO GRANDE VALLEY COTTONWOOD	2" Cal./B&B	60x60/ High
22		Quercus buckleyi/ TEXAS RED OAK	2" Cal./B&B	25x25/ Medium
16		Quercus muhlenbergii/ CHINOQUAPIN OAK	2" Cal./B&B	30x30/ Medium
12		Tilia cordata/ LITTLELEAF LINDEN	2" Cal./B&B	35x30/ Medium
11		Juniperus chinensis 'Spartan' SPARTAN JUNIPER	6" High/B&B	15x15/ Low
16		Pinus strobus/mix/ SOUTHWESTERN WHITE PINE	6" High/B&B	60x20/ Low

SHRUBS

SYMBOL	BOTANICAL NAME/ COMMON NAME	INSTALLATION SIZE	MATURE SIZE (HxW) WATER USE
☉	Eriocarpus tarictalis/ TURPENTINE BUSH	1 Gal. Cont.	36"x36" Low
☉	Baccharis x 'Carmenita' CENTENNIAL BROOM	1 Gal. Cont.	36"x42" Low
☉	Caryopteris glandonensis 'Dark Kings' DARK NIGHT BLUE MIST SPIREA	1 Gal. Cont.	48"x48" Medium
☉	Mahonia aquifolium 'Compacta' COMPACT MAHONIA	1 Gal. Cont.	24"x48" Medium
☉	Rosmarinus officinalis/ UPRIGHT ROSEMARY	1 Gal. Cont.	60"x48" Low
☉	Rhus aromatica 'Gro-low' GRO-LO FRAGRANT SUMAC	1 Gal. Cont.	24"x72" Medium
☉	Salvia Greggii/ AUTUMN SAGE	1 Gal. Cont.	30"x36" Low
☉	Verbena bipinnatisida/ PRAIRIE VERBENA	1 Gal. Cont.	60"x30" Low
☉	Callitriche involucrata/ WINECLIPS	1 Gal. Cont.	18"x18" Low
☉	Cerastogma plumbaginoides/ DWARF PLUMBAGO	1 Gal. Cont.	12"x18" Medium
☉	Gallardia aristata/ BLANKETFLOWER	1 Gal. Cont.	30"x30" Low
☉	Hymenoxys scutellifolia/ ANGELITA DAISY	1 Gal. Cont.	12"x12" Low
☉	Lavandula angustifolia 'Hidcote' Superior/ HIDCOTE SUPERIOR LAVENDER	1 Gal. Cont.	18"x18" Medium
☉	Mirabilis multiflora/ DESERT FOUR-O'CLOCK	1 Gal. Cont.	18"x30" Medium
☉	P. barbatus/ RED PENSTEMON	1 Gal. Cont.	50"x36" Low
☉	Tetradymia canadensis/ TRAILING GERMANDER	1 Gal. Cont.	12"x24" Medium

GRASSES

SYMBOL	BOTANICAL NAME/ COMMON NAME	INSTALLATION SIZE	MATURE SIZE (HxW) WATER USE
☉	Festuca idahoensis 'Siskiyou Blue' SISKIYOU BLUE FESCUE	1 Gal. Cont.	18"x18" Medium
☉	Muhlenbergia capillaris 'Regal Mist' REGAL MIST MULLENBERGIA	1 Gal. Cont.	36"x42" Medium
☉	Muhlenbergia rigens/ DEER GRASS	1 Gal. Cont.	42"x48" Medium
☉	Nolina microcarpa/ BEARGRASS	1 Gal. Cont.	36"x48" Medium
☉	Miscanthus sinensis/ MAIDEN GRASS	1 Gal. Cont.	60"x48" Medium

ACCENTS

SYMBOL	BOTANICAL NAME/ COMMON NAME	INSTALLATION SIZE	MATURE SIZE (HxW) WATER USE
☉	Agave parryi/ PARRY'S AGAVE	1 Gal. Cont.	36"x36" Low
☉	Dasylirion wheeleri/ SOTOL	1 Gal. Cont.	48"x60" Low
☉	Hesperaloe parviflora/ RED HESPERALOE	1 Gal. Cont.	48"x48" Medium
☉	Opuntia basilaris/ BEAVERTAIL PRICKLY PEAR	1 Gal. Cont.	12"x48" Low
☉	Opuntia engelmannii/ ENGELMANN'S PRICKLY PEAR	1 Gal. Cont.	48"x60" Low
☉	Yucca glauca/ Soapweed	1 Gal. Cont.	36"x60" Low
☉	Yucca nelsonii/ TWISTED LEAF YUCCA	1 Gal. Cont.	36"x36" Low

MULCHES

SYMBOL	ROCK MULCH	ORGANIC PECAN SHELL MULCH
☉	ROCK MULCH	ORGANIC PECAN SHELL MULCH

LANDSCAPE CALCULATIONS

SITE AREA 7,372 AC (AFTER R.O.W. DEDICATION)
 OPEN SPACE REQUIREMENT (10% OF THE SITE) 32,048 SF
 OPEN SPACE PROVIDED 41,036 SF
 LANDSCAPE REQUIREMENT (40% OF OPEN SPACE) 16,414 SF
 LANDSCAPE AREA PROVIDED 39,178 SF
 *NET LOT AREA WAS NOT USED IN THESE CALCULATIONS.

OPEN SPACE CALCULATIONS DO NOT INCLUDE REQUIRED LANDSCAPE STRIPS ALONG THE STREET OR WALKWAYS EXCEPT ANY PORTION OF A WALKWAY THAT IS WIDER THAN 10 FEET.

A MINIMUM OF 75% OF LANDSCAPE AREAS AND 80%-75% OF PLANTING STRIPS SHALL BE COVERED WITH LIVE VEGETATIVE MATERIALS.

A MINIMUM OF 10% OF LANDSCAPE AREAS WILL HAVE FLOWERING PLANTS OR SHRUBS.

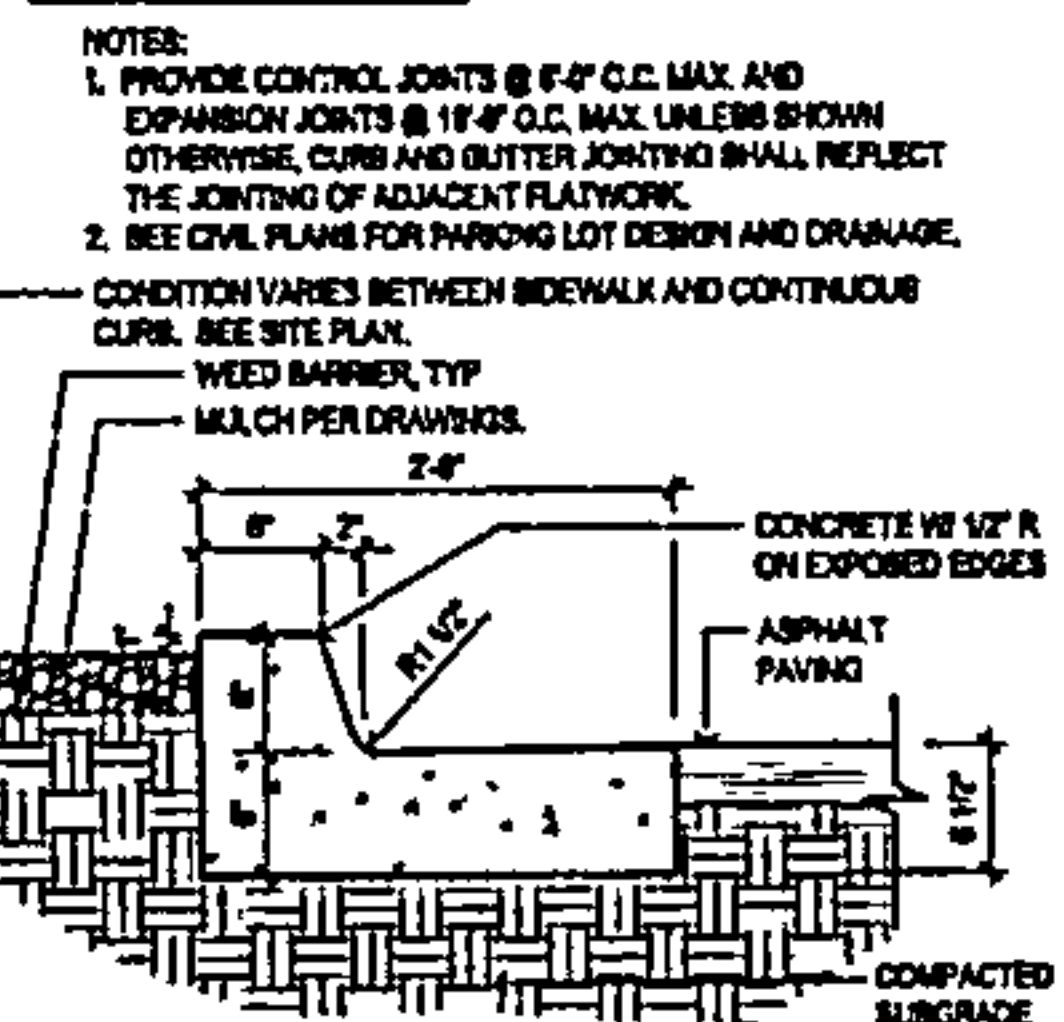
TOTAL SHADE TREES 80 (% OF TREES)
 TOTAL SIGNATURE TREES 38 (% OF TREES)

ROCK MULCH HAS BEEN LIMITED TO LESS THAN 5% OF ANY OPEN SPACE AREA AND USED ONLY WHERE NECESSARY AROUND DRAINAGE INLETS. ALL OTHER MULCH AREAS UTILIZE ORGANIC PECAN SHELL MULCH.

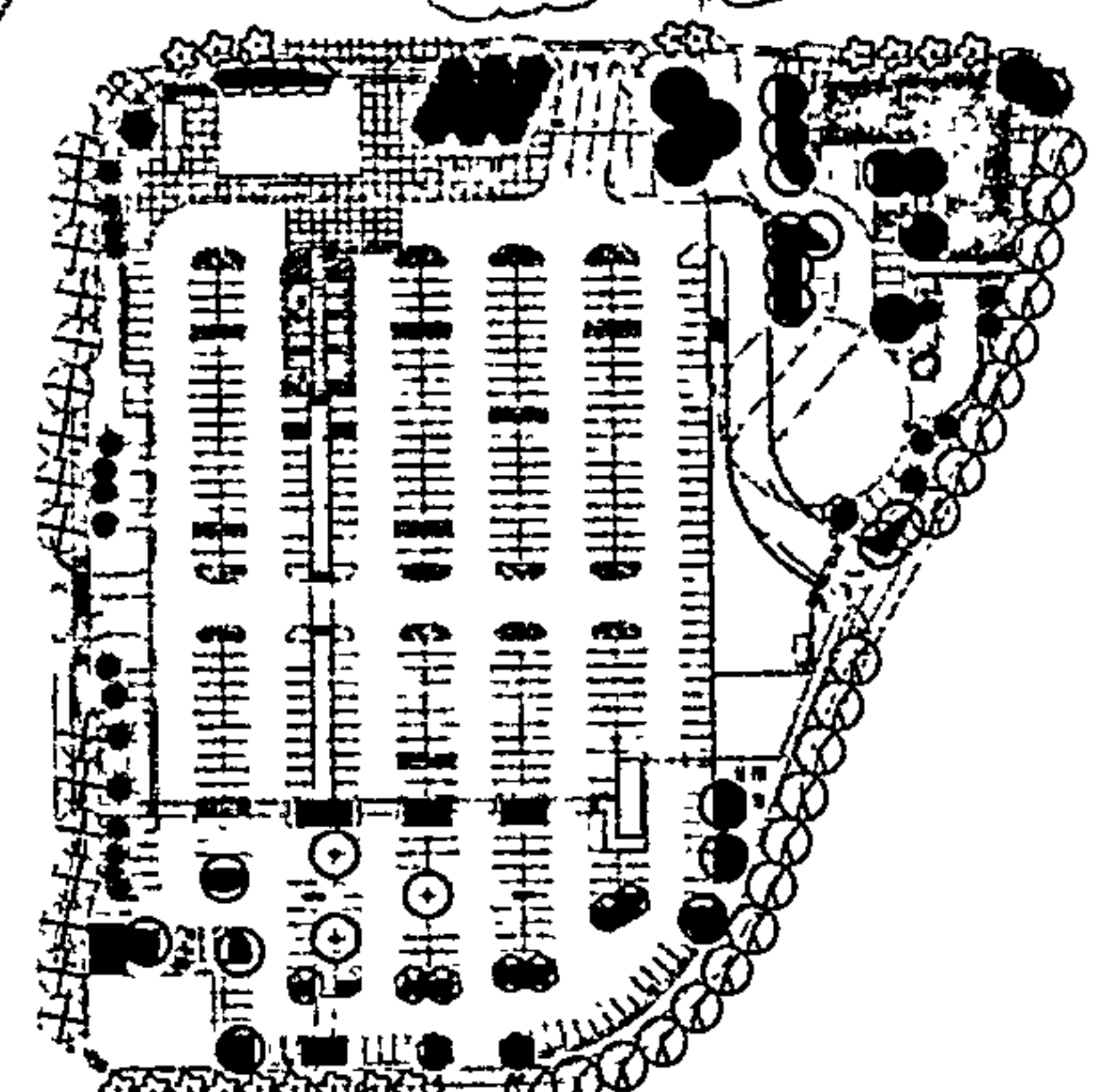
LANDSCAPE NOTES

- A. DESIGN, THE PLANTING DESIGN INCLUDES A DIVERSE PALETTE OF DESERT AND HIGH DESERT PLANTS THAT WILL COMPLEMENT THE ARCHITECTURE OF THE PROJECT. THE INTENT IS TO LANDSCAPE THIS MIXED-USE, URBAN ENVIRONMENT WITH DESERT AND HIGH DESERT PLANTS THAT REINFORCE A SENSE OF PLACE AND ARE APPROPRIATE TO ALBUQUERQUE'S CLIMATE.
- A.A. GRASSES AND ACCENT PLANTS SUCH AS YUCCA, SOTOL AND PRICKLY PEAR CACTUS WILL BE USED IN HIGHLY VISIBLE AND APPROPRIATE LOCATIONS. THE USE OF REGIONALLY NATIVE TREES FOR STREET TREES, WHILE UNORTHODOX, WILL REINFORCE THE SENSE OF PLACE, BUFFER PEDESTRIANS FROM VEHICULAR AREAS AND PROVIDE A COMFORTABLE PEDESTRIAN SCALE TO THE STREETS.
- B. PLANTING AND IRRIGATION INSTALLATION DETAILS SHALL MEET CITY OF ALBUQUERQUE REQUIREMENTS AND THE USDP REQUIREMENTS. EACH TREE SHALL HAVE A MINIMUM OF 36 SQUARE FEET OF PLANTING SPACE.
- C. PLANTING AND IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- D. CONTROLLER: THE IRRIGATION SYSTEM SHALL BE RUN WITH A FULLY AUTOMATED IRRIGATION CONTROLLER. THE RUN TIME FOR THE VARIOUS ZONES SHALL BE APPROXIMATELY 15 MINUTES FOR THE DRIP ZONES. RUN TIME WILL BE ADJUSTED ACCORDING TO SEASON, LOCATION, AND PLANT PERFORMANCE. DRIP EMITTERS SHALL BE USED FOR ALL PLANT MATERIAL.
- E. POINT OF CONNECTION: THERE IS LIKELY TO BE MORE THAN ONE POINT OF CONNECTION FOR THIS PROJECT. THE WATER CONNECTION LOCATIONS WILL BE COORDINATED WITH THE OVERALL WATER SERVICE DESIGN FOR THE SITE. THE EXACT LOCATIONS FOR CONNECTIONS AND CONTROLLERS IS UNKNOWN AT THIS TIME.
- F. MULCH: ALL PLANTING BEDS SHALL BE COVERED WITH MULCH GRAVEL, BARK AND PECAN SHELL MULCHES WILL BE USED APPROPRIATELY TO ADD VISUAL INTEREST AND PROTECT SOIL MOISTURE.
- G. THE PARKING AREA TREES SELECTED FOR USE AT TARGET @ TREE AND SHRUB PITS TO BE 4 TIMES THE ROOTBALL DIAMETER.
- H. THERE IS NO HIGH WATER USE TURF USED ON THIS PROJECT.
- I. THE LANDSCAPE DESIGN SHALL COMPLY WITH THE INTENT OF THE CITY OF ALBUQUERQUE WATER CONSERVATION, LANDSCAPING AND WATER WASTE ORDINANCE.
- J. SOIL PREPARATION AND AERATION WITHIN ROW IS REQUIRED TO DECOMPACT LANDSCAPE ZONE PRIOR TO PLANTING.
- K. PASSIVE WATER HARVESTING, SUCH AS HARVESTING OF STORM WATER SURFACE RUNOFF AND ROOF RUNOFF, SHALL BE UTILIZED WHERE FEASIBLE AND CAPTURED IN SWALES.
- L. SOIL AMENDMENTS WILL BE USED FOR PLANT MATERIAL.
- M. PLANT AND IRRIGATION MAINTENANCE WILL BE THE RESPONSIBILITY OF THE OWNER FOLLOWING SUBSTANTIAL COMPLETION OR ANY MAINTENANCE PERIOD.
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- O. THE IRRIGATION SYSTEM WILL BE CONNECTED TO CITY WATER. THE POINT OF CONNECTION WILL CONSIST OF A WATER METER, BACKFLOW PREVENTER AND MASTERVALVE, SEE COA STD DETAIL #2701.
- P. THE CONTRACTOR SHALL CREATE AN IRRIGATION PLAN TO PERMANENTLY IRRIGATE THE PROPOSED PLANTINGS, AND SHALL SUBMIT THIS TO THE ARCHITECT FOR REVIEW AND APPROVAL. THE PLAN SHALL INCLUDE A PIPING AND EMITTER LAYOUT WITH SIZING, VALVE SCHEDULE AND CONSTRUCTION DETAILS.
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- R. DRIP EMITTERS SHALL BE USED FOR ALL PLANT MATERIAL.
- S. REFER TO DRAINAGE PLAN FOR GRADING INFORMATION AND WATER HARVESTING LOCATIONS.

FOR PHASE 1, SEE SHEET 07



A4 DIAMOND PLANTERS IN PARKING LOT SECTION

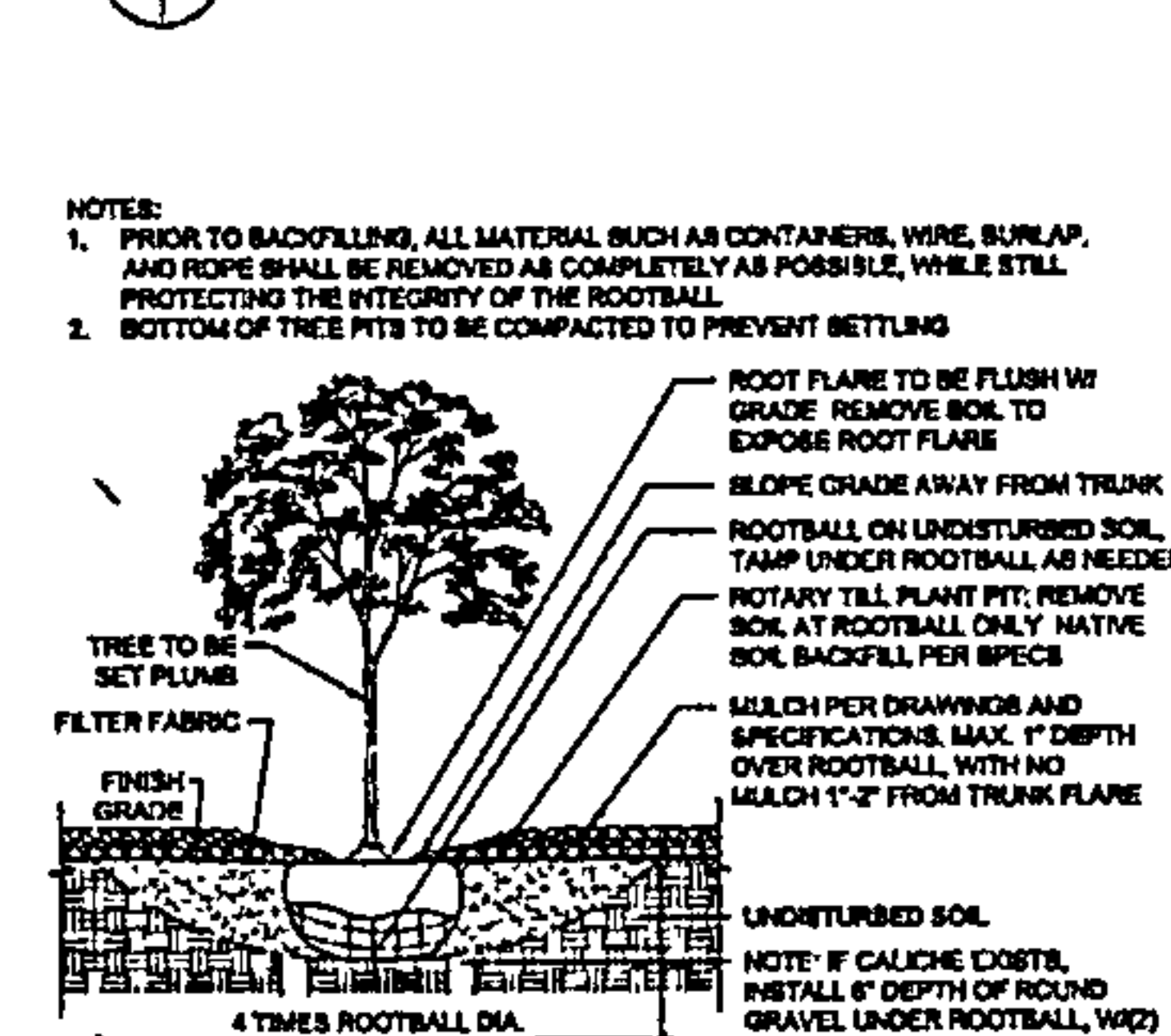


SHADED OPEN SPACE - 21,312 SF (52% OF TOTAL OPEN SPACE AREA)

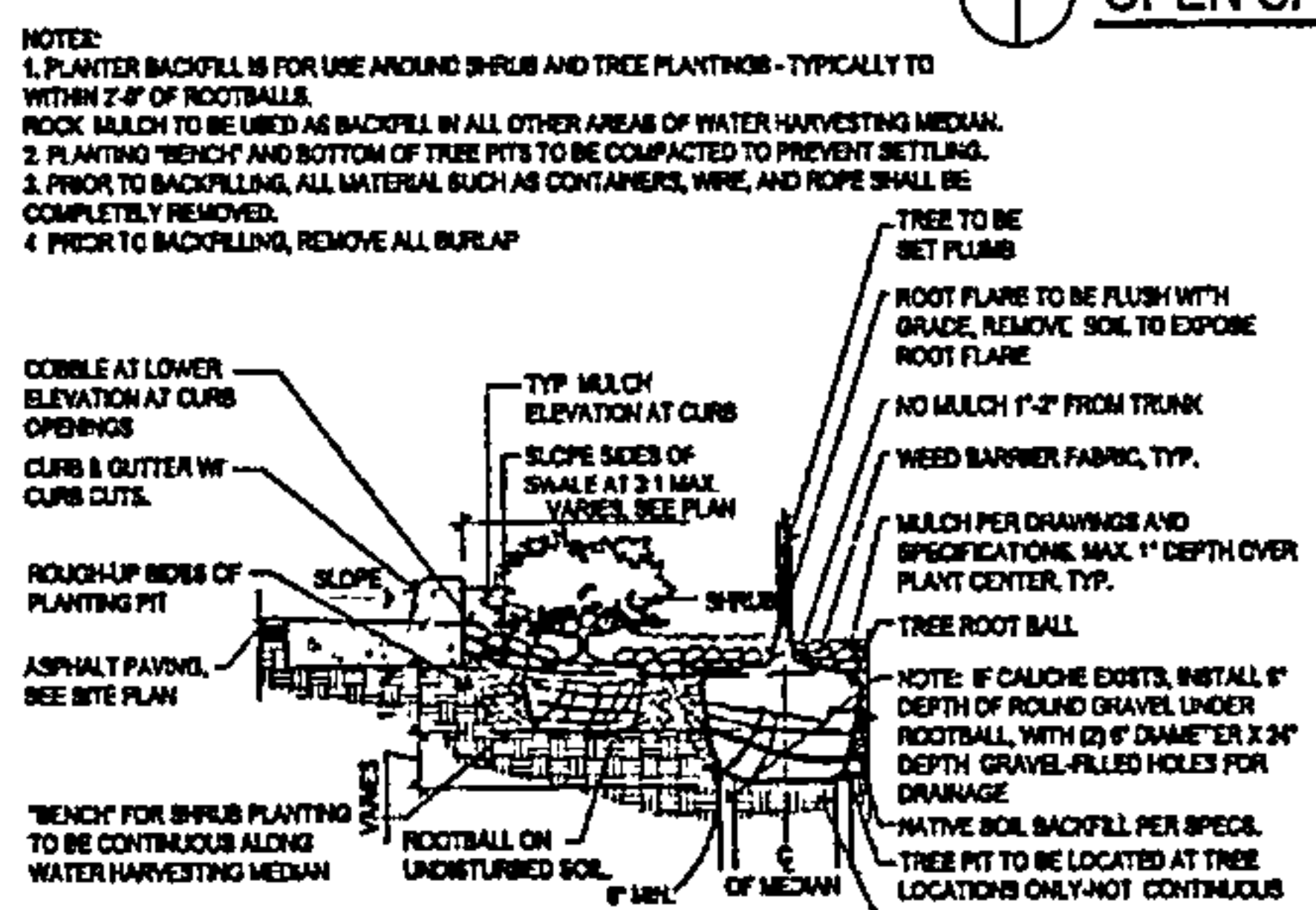
OPEN SPACE SHADE DIAGRAM

FOR PHASE 1, SEE SHEET 07

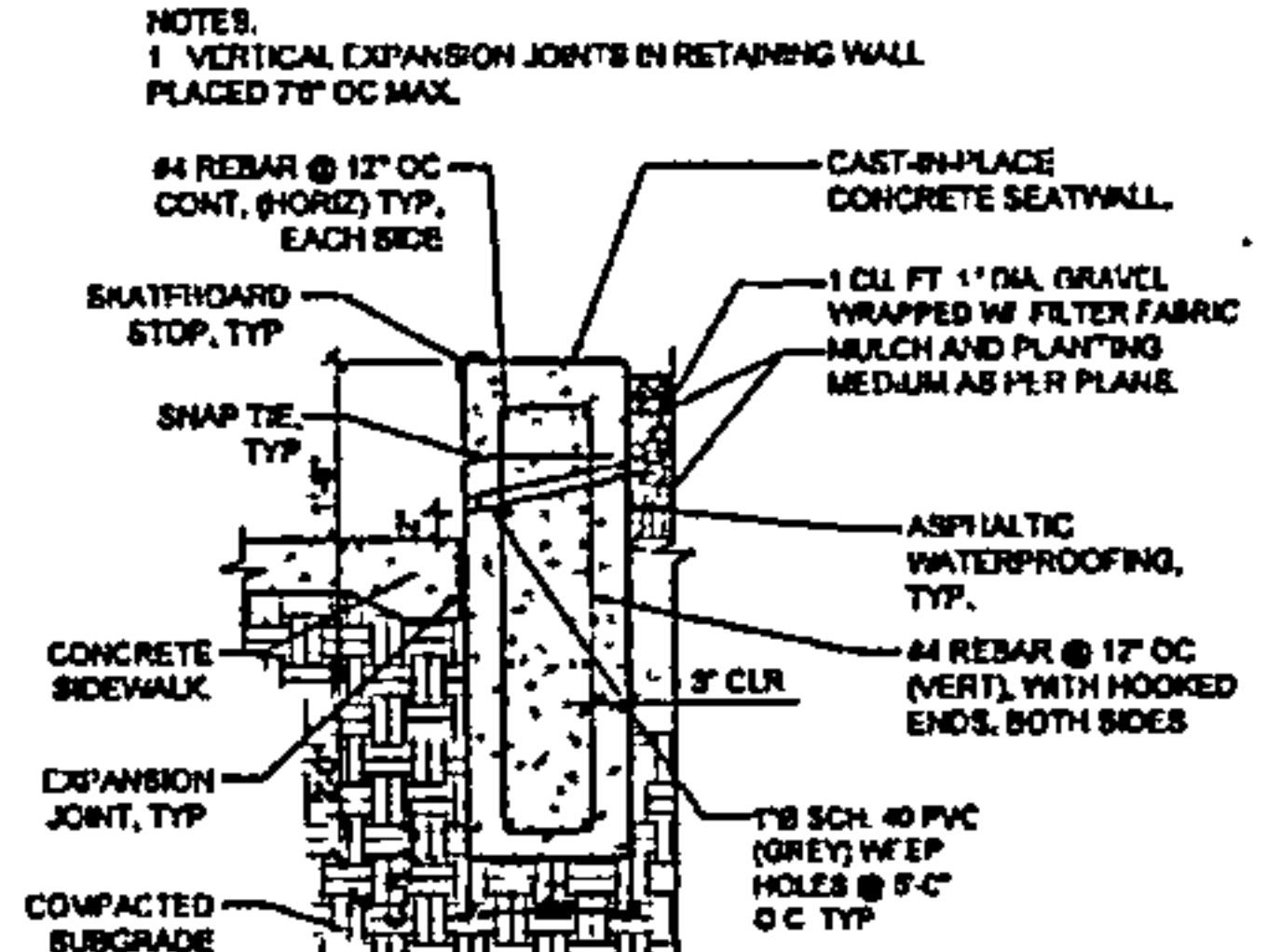
LANDSCAPE PLAN



A1 TREE



A2 WATER HARVESTING AREA



A3 CONC. SEAT PLANTER

Dekker Perich Sabatini
 ARCHITECT
 2801 Jefferson NE Suite 100
 Albuquerque, NM 87110
 505.761.9724
 505.761.1222
 ds@dspsa.com dsj@dspsa.com

TARGET @ ABQ Uptown
 Albuquerque, New Mexico
 DRB SUBMITTAL

REVISIONS

NO. 1	DATE	BY	DESCRIPTION
1	11/10/2011	JG	ISSUED FOR PERMIT
2	11/10/2011	MB	REVISED PER COMMENTS

PROJECT NO. 10-135

LANDSCAPE PLAN - PHASE II

September 18, 2013

Inez Neighborhood Association "R"
Ms. Donna Yetter
2111 Hoffman Dr. NE
Albuquerque, NM 87110

Re: Target, 2120 Louisiana Boulevard NE
Southeast corner of Louisiana Boulevard NE and Indian School Road NE
Reason for Request: Target at Uptown Site Development Plan for Subdivision & Re-plat
Legal Description: Tract A of Hunt – Spectrum Development Site

Dear Ms. Yetter:

A letter was sent notifying you that Target wishes to subdivide their property to prepare for development of the pad sites at the southwest and northeast corners.

The hearing date that was mentioned in that letter was incorrect. The correct date is October 16, 2013 at 9:00 am in the Plaza Del Sol building located at 600 2nd Street NW (Hearing room on the lower level), Albuquerque, NM.

If you have any questions or need clarification, please feel free to contact me at:

Dekker/Perich/Sabatini
7601 Jefferson NE, Suite 100
Albuquerque, NM 87109
505-761-9700

Sincerely,

Dekker/Perich/Sabatini
Agent for Target



Christopher R. Gunning, AIA, LEED AP
Principal

Attachments:
Previous notification letter (VOIDED)
Site Development Plan for Subdivision
Landscaping Plan

September 10, 2013

Inez Neighborhood Association "R"
Ms. Donna Yetter
2111 Hoffman Dr. NE
Albuquerque, NM 87110

Re: Target, 2120 Louisiana Boulevard NE
Southeast corner of Louisiana Boulevard NE and Indian School Road NE
Reason for Request: Target at Uptown Site Development Plan for Subdivision & Re-plat
Legal Description: Tract A of Hunt – Spectrum Development Site

Dear Ms. Yetter:

A Site Development Plan for Building Permit (SPBP) was reviewed and approved for the subject property approximately one and a half years ago (11DRB-70284). Since then, the Target store has been constructed and the Owners now wish to subdivide the property to prepare for development of the pad sites at the southwest and northeast corners. We submitted for sketch plat review and appeared before DRB on November 7, 2012 (12DRB-70350), where we received direction to submit for a Site Development Plan for Subdivision (SPS) per the USDP process, and to then submit for re-plat concurrently.

The City of Albuquerque Planner assigned to this project is Chris Hyer. He can be reached at 924-3927 or via email at chyer@cabq.gov.

VOIDED

The hearing is scheduled for ~~September 25, 2013 at 9:00 am~~ in the Plaza Del Sol building located at 600 2nd Street NW (Hearing room on the lower level), Albuquerque, NM.

If you have any questions or need clarification, please feel free to contact me at:

Dekker/Perich/Sabatini
7601 Jefferson NE, Suite 100
Albuquerque, NM 87109
505-761-9700

Sincerely,

Dekker/Perich/Sabatini
Agent for Target



Christopher R. Gunning, AIA, LEED AP
Principal

Attachments: Site Development Plan for Subdivision and Landscaping Plan

DRAWN BY	SJT
REVIEWED BY	CRQ
DATE	06/02/2013
PROJECT NO.	11-0099.002
DRAWING NAME	

SITE
 DEVELOPMENT PLAN
 FOR SUBDIVISION

GENERAL NOTES

- A. REFER TO SHEET 3 FOR DESIGN STANDARDS
- B. REFER TO CIVIL DRAWING SHEET 2 FOR CONCEPTUAL UTILITY PLAN
- C. APPLICABLE PLANS, UPTOWN SECTOR DEVELOPMENT PLAN (2009)
- D. PROPOSED USES: MIXED USE INCLUDING RETAIL, RESTAURANT AND HOUSING

KEYED NOTES

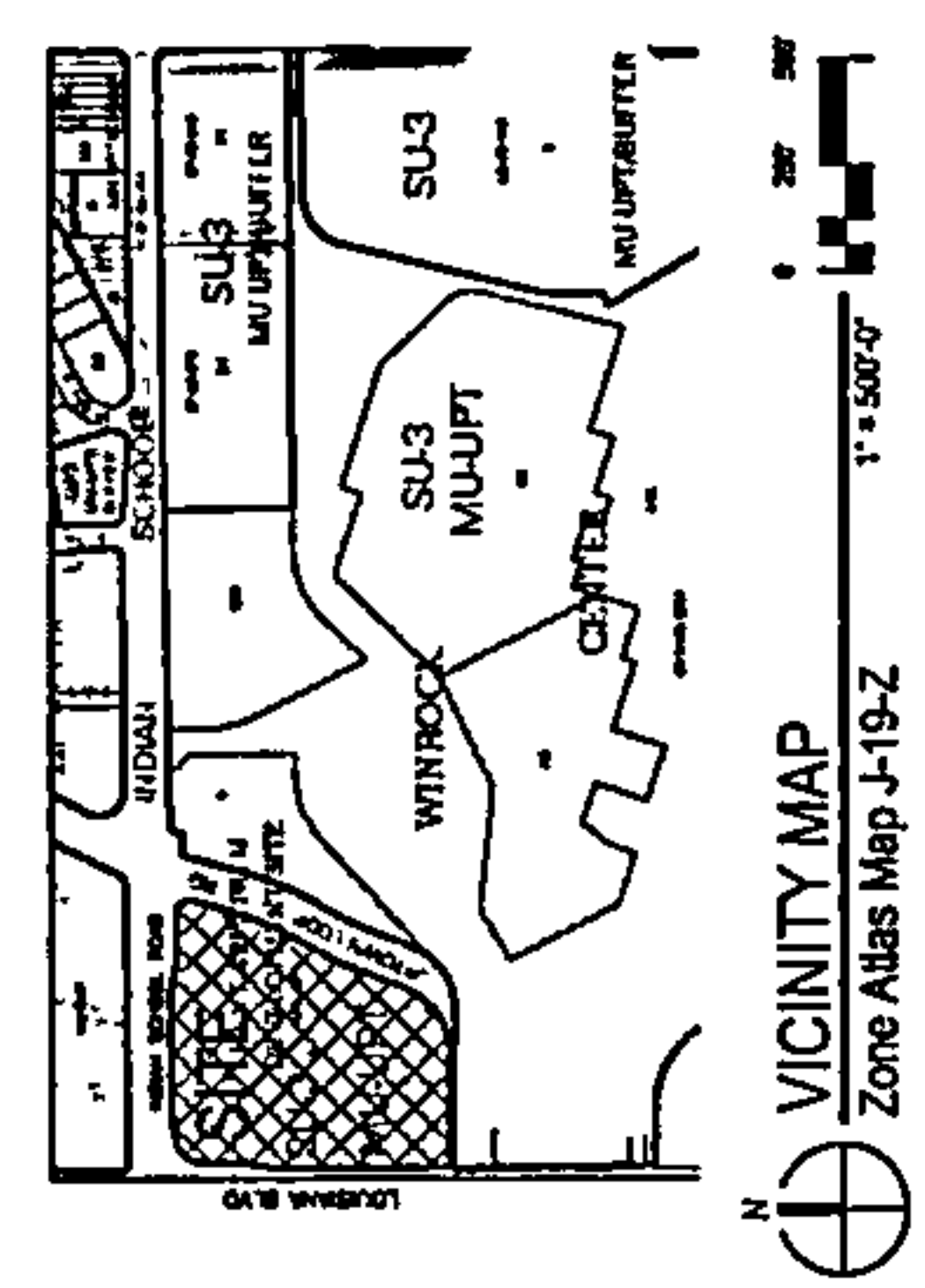
- 1. EXISTING PROPERTY LINE
- 2. PROPOSED PROPERTY LINE

SITE DATA

LEGAL DESCRIPTION:
 TRACT A, HUNT - SPECTRUM DEVELOPMENT SITE
 ZONE:
 SU-3 FOR MU-UPT

SITE PLAN LEGEND

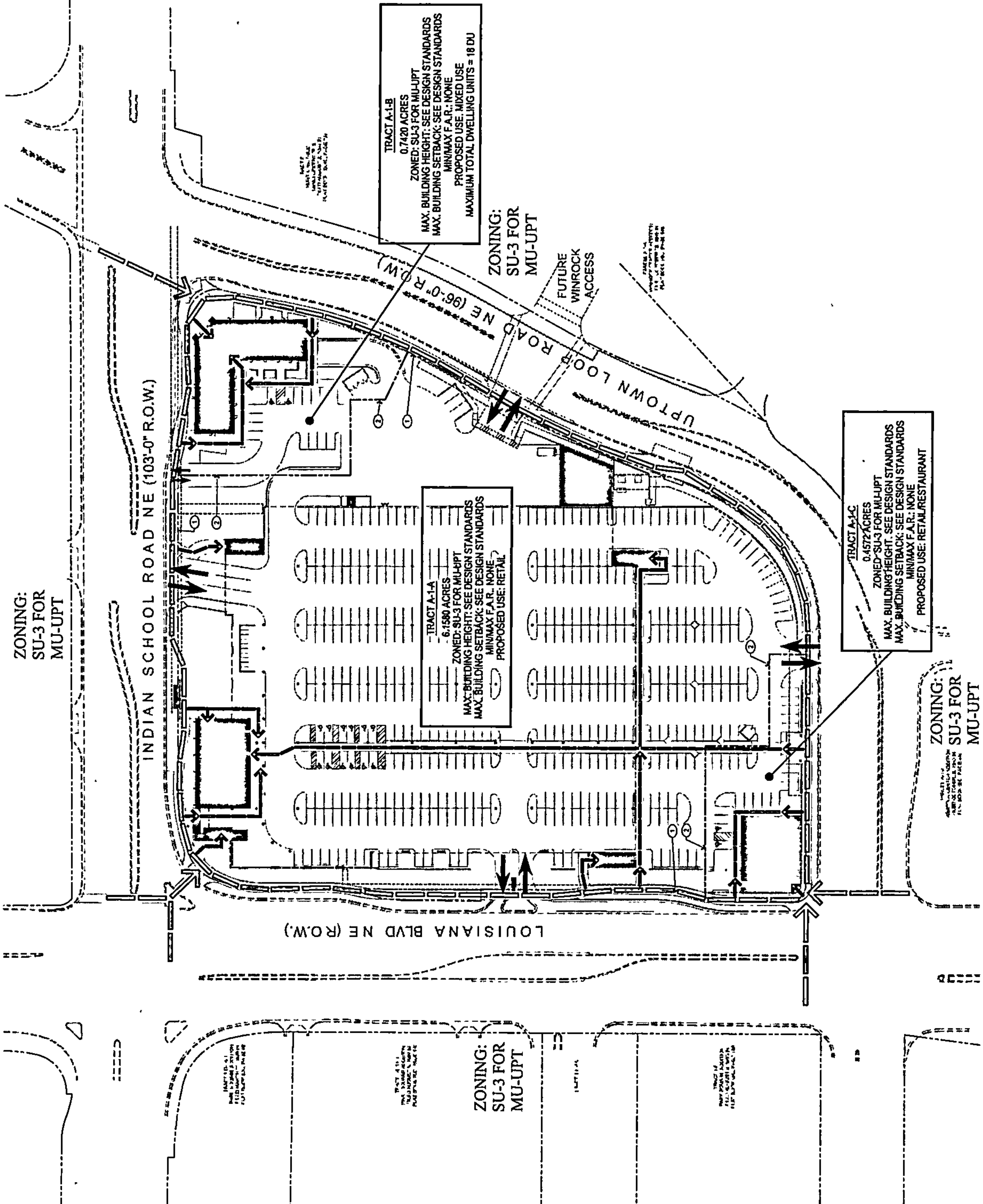
- PEDESTRIAN WALKWAYS / EGRESS
- VEHICULAR WALKWAYS / EGRESS
- PROPERTY LINE EXISTING AS NOTED
- PROPERTY LINE PROPOSED AS NOTED



FORFEIT PROJECT NUMBER: 197014
 PROJECT NUMBER: 197014
 APPLICATION NUMBER: 11-0099.002

In all applications List Numbered (1) to (10) If you have a set of approved DRB plans with a work order to proceed for any construction within Public Right-of-Way for the construction of public improvements.
SITE DEVELOPMENT PLAN APPROVAL.

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
ABQ/NOA	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE



ZONING:
 SU-3 FOR
 MU-UPT

SITE PLAN - PHASE 2 (FULL BUILD-OUT)
 1" = 50'-0"

LANDSCAPE CALCULATIONS

SITE AREA: 7,267.2 AC (AFTER R.O.W. DEDUCTION)
 OPEN SPACE REQUIREMENT (10% OF THE SITE): 726.72 SF
 OPEN SPACE REQUIREMENT (10% OF OPEN SPACE): 72.67 SF
 LANDSCAPE AREA PROVIDED: 28,170 SF
 *NET LOT AREA WAS NOT USED IN THESE CALCULATIONS.
 OPEN SPACE CALCULATIONS DO NOT INCLUDE REQUIRED LANDSCAPE STRIPS ALONG THE STREET OR WALKWAYS EXCEPT ANY PORTION OF A WALKWAY THAT IS WIDER THAN 10 FEET
 A MINIMUM OF 75% OF LANDSCAPE AREAS AND 60%-75% OF PLANTING STRIPS SHALL BE COVERED WITH LIVE VEGETATIVE MATERIALS.
 A MINIMUM OF 10% OF LANDSCAPE AREAS SHALL HAVE FLOWERING PLANTS OR SHRUBS.
 TOTAL SHADE TREES: 86 (5% OF TREES)
 TOTAL BIOMASSURE TREES: 36 (5% OF TREES)
 ROCK MULCH HAS BEEN LIMITED TO LESS THAN 5% OF ANY OPEN SPACE AREA AND USED ONLY WHEREVER IT IS NECESSARY TO PROTECT PEDESTRIAN FEET. ALL OTHER MULCH AREAS UTILIZE ORGANIC PECOAN SHELL MULCH.

LANDSCAPE NOTES

- DESIGN THE PLANTING DESIGN INCLUDES A DIVERSE PALETTE OF DESERT AND HIGH DESERT PLANTS THAT WILL COMPLEMENT THE ARCHITECTURE OF THE PROJECT AND PROVIDE VISUAL INTEREST AND HIGH DESERT PLANTS THAT REMIND ONE OF A SENSE OF PLACE AND ARE APPROPRIATE TO ALBUQUERQUE'S CLIMATE OF PLACE AND ARE APPROPRIATE TO ALBUQUERQUE'S CLIMATE.
- GRASSES AND ACCENT PLANTS SUCH AS YUCCA, SOTOL, AND PRICKLY PEAR CACTUS WILL BE USED IN HIGHLY VISIBLE AND APPROPRIATE LOCATIONS. THE USE OF REGIONALLY NATIVE TREES FOR STREET TREES, WHERE BUFFER PEDESTRIANS FROM VEHICULAR AREAS AND PROVIDE A COMFORTABLE PEDESTRIAN SCALE TO THE PLANTING AND IRRIGATION DETAILS SHALL MEET CITY OF ALBUQUERQUE REQUIREMENTS AND THE USOP REQUIREMENTS. EACH TREE SHALL HAVE A MINIMUM OF 36 SQUARE FEET OF PLANTING SPACE.
- PLANTING AND IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- FULLY AUTOMATED IRRIGATION SYSTEM SHALL BE RUN WITH A CONTROLLER. THE IRRIGATION SYSTEM SHALL BE RUN WITH A CONTROLLER. THE IRRIGATION SYSTEM SHALL BE RUN WITH A CONTROLLER.
- FOR THE VARIOUS ZONES SHALL BE PLANTING THE LISTED MATERIALS TO BE PLANTED. THE PLANTING MATERIALS LISTED SHALL BE USED FOR ALL PLANT MATERIAL. PLANT MATERIALS SHALL BE USED FOR ALL PLANT MATERIAL. PLANT MATERIALS SHALL BE USED FOR ALL PLANT MATERIAL.
- POINT OF CONNECTION FOR THIS PROJECT, THERE IS MORE THAN ONE CONNECTION POINT FOR THIS PROJECT. THERE IS MORE THAN ONE CONNECTION POINT FOR THIS PROJECT.
- OVERALL WATER SERVICE DESIGN FOR THE SITE, THE EXACT LOCATIONS FOR CONNECTIONS AND CONTROLLERS IN UNKNOWN AT THIS TIME.
- MULCH ALL PLANTING BEDS SHALL BE COVERED WITH MULCH. MULCH SHALL BE PECOAN SHELL MULCH. MULCH SHALL BE PECOAN SHELL MULCH.
- THE PAVING AREA TREES SELECTED FOR USE AT TARGET @ UPTOWN SHALL BE 4 TIMES THE ROOTBALL DIAMETER. THERE IS NO HIGH WATER USE TURF USED ON THIS PROJECT.
- THE LANDSCAPE DESIGN SHALL COMPLY WITH THE INTENT OF THE CITY OF ALBUQUERQUE WATER CONSERVATION.
- LANDSCAPING AND WATER WASTE ORDINANCE. LANDSCAPING AND WATER WASTE ORDINANCE. LANDSCAPING AND WATER WASTE ORDINANCE.
- PASSIVE WATER HARVESTING, SUCH AS HARVESTING OF STORM WATER SURFACE RUNOFF AND ROOF RUNOFF SHALL BE UTILIZED WHERE FEASIBLE AND CAPTURED IN SWALES.
- SOIL AMENDMENTS WILL BE USED FOR PLANT MATERIAL. PLANT AND IRRIGATION MAINTENANCE WILL BE THE RESPONSIBILITY OF THE OWNER FOLLOWING SUBMITTAL COMPLETION OF ANY MAINTENANCE PERIOD.
- THE LANDSCAPE DESIGN REQUIRES A PERMANENT, FULLY AUTOMATIC IRRIGATION SYSTEM TO SUPPORT THE PLANTING. THE IRRIGATION SYSTEM SHALL BE CONNECTED TO CITY WATER.
- THE POINT OF CONNECTION WILL CONSIST OF A WATER METER, BACKFLOW PREVENTER AND MAIN VALVE. (SEE COA STD DETAIL #2701).
- THE CONTRACTOR SHALL CREATE AN IRRIGATION PLAN TO PERMANENTLY IRRIGATE THE PROPOSED PLANTINGS, AND SHALL SUBMIT THIS TO THE ARCHITECT FOR REVIEW AND APPROVAL. THE PLAN SHALL INCLUDE A PIPING AND EXISTING UTILITY SKETCH, VALVE SCHEDULE, AND THE IRRIGATION SYSTEM SHALL BE RUN WITH FULLY AUTOMATED IRRIGATION CONTROLLER. RUN TIME WILL BE ADJUSTED ACCORDING TO PLANT MATURITY, SEASON, LOCATION, AND PLANT PERFORMANCE.
- DRIP EMITTERS SHALL BE USED FOR ALL PLANT MATERIAL. REFER TO DRAINAGE PLAN FOR GRADING INFORMATION AND WATER HARVESTING LOCATIONS.

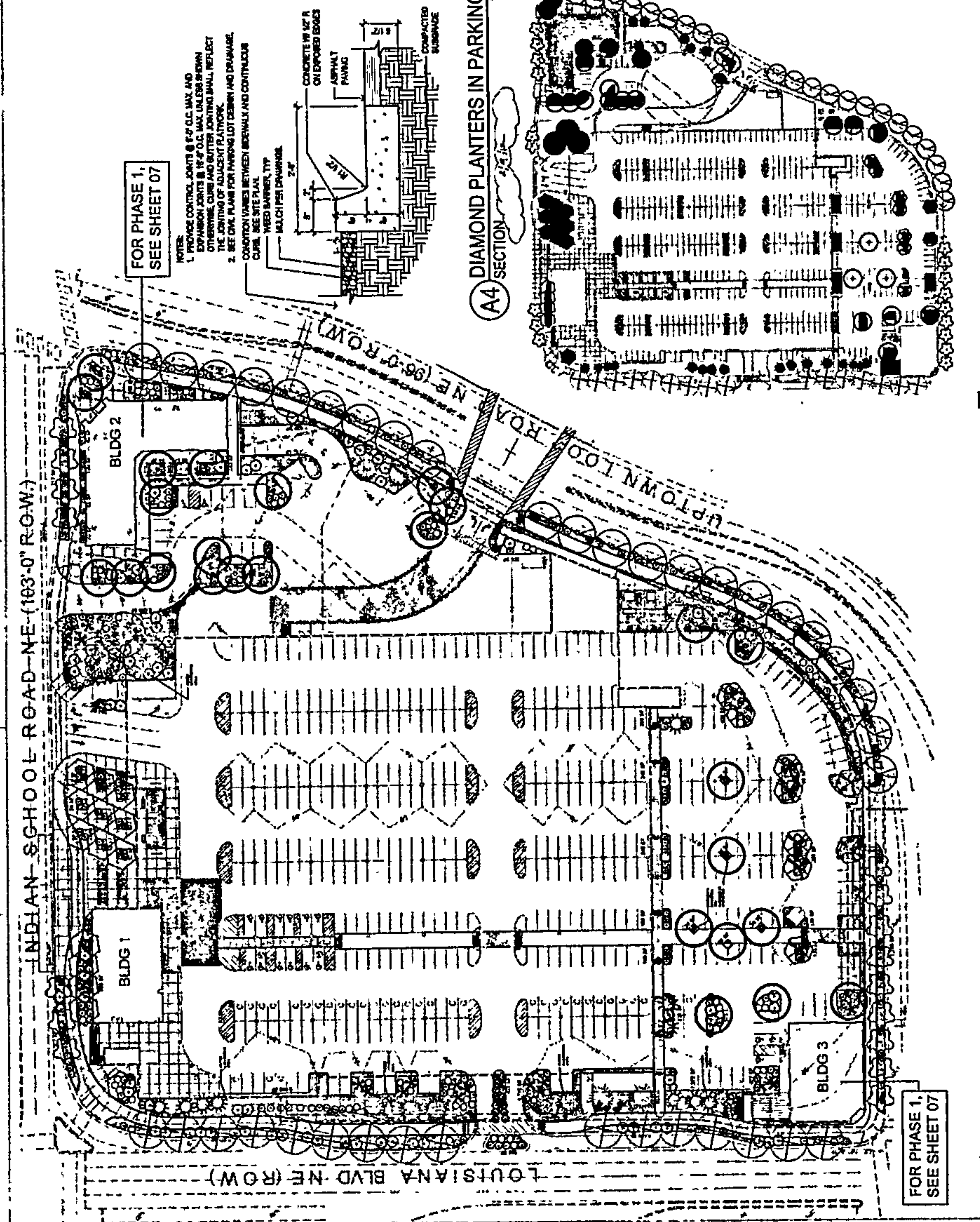
PLANTING LEGEND

SYM	QTY	BOTANICAL NAME / COMMON NAME	INSTALLATION SIZE	MATURE SIZE WATER USE
28	3	Philadelphus chinensis / CHINESE PISTACHE	3" Cal.	35'x30' Medium
15	2	Carina reticulata / WESTERN REDBUD	2" Cal./B&B	25'x18' Medium
23	2	Chrysothamnus nauseosus / DESERT WILLOW	48" Box / Multi-trunked	25'x35' Low
3	3	Populus deltoides / Populus	2" Cal./B&B	60'x60' High
12	2	RIO GRANDE VALLEY COTTONWOOD	2" Cal./B&B	25'x25' Medium
10	2	TEXAS RED OAK	2" Cal./B&B	30'x30' Medium
16	2	Quercus muhlenbergii / CHINOQUIPIN OAK	2" Cal./B&B	35'x30' Medium
12	6	LITTLELEAF LINDEN	6" High/B&B	15'x8' Low
11	6	Juniperus chinensis 'Spartan' / SPARTAN JUNIPER	6" High/B&B	6'x2' Low
18	6	Pinus strobus / SOUTHWESTERN WHITE PINE	6" High/B&B	6'x2' Low

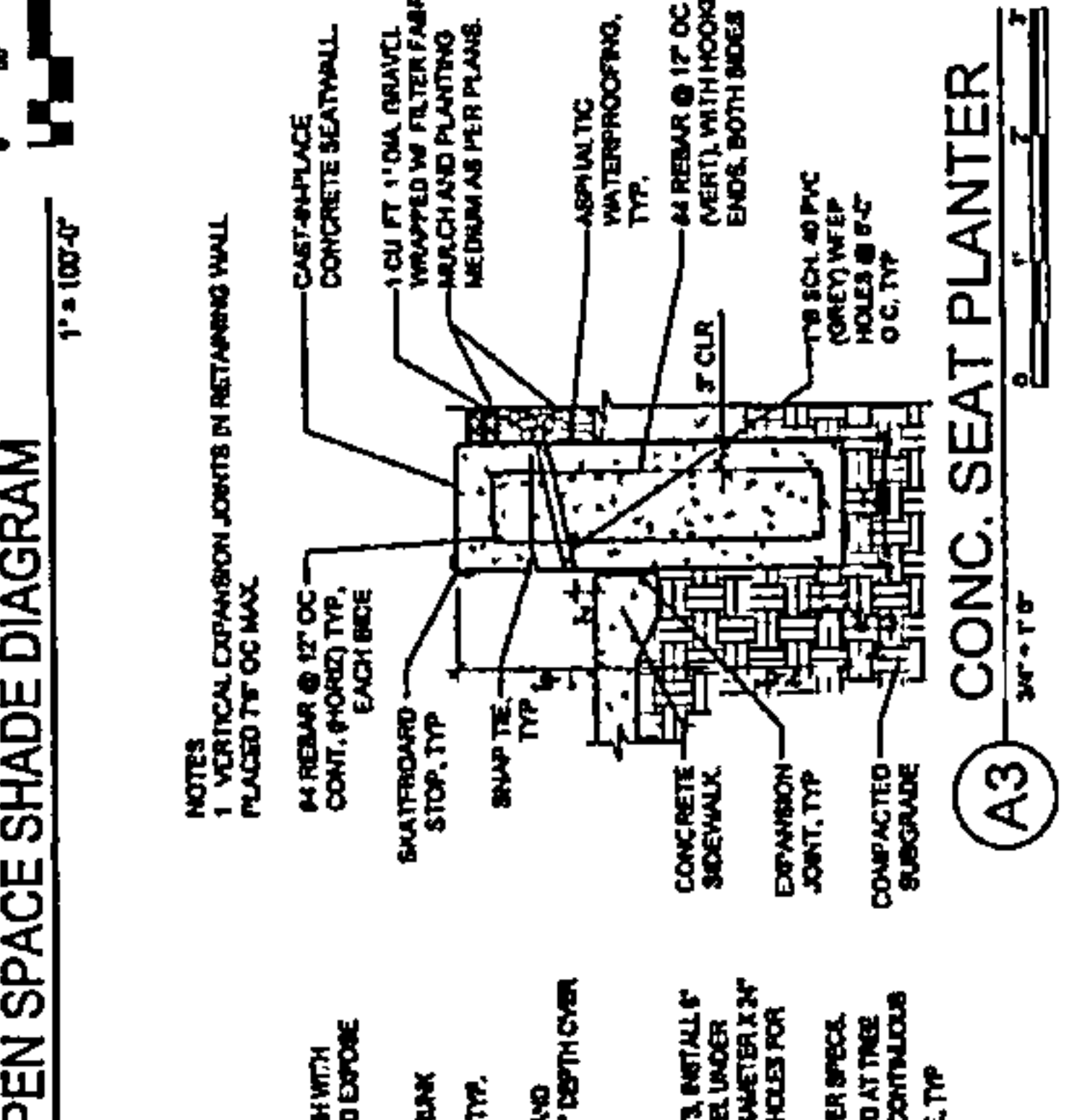
SYM	BOTANICAL NAME / COMMON NAME	INSTALLATION SIZE	MATURE SIZE WATER USE
1	Eriogonum fasciculatum / TURPETINE BUSH	1 Gal. Cont.	36" x 36" Low
2	Baccharis viridula / CENTENNIAL BROOM	1 Gal. Cont.	36" x 42" Low
3	Caragana coronata / DARK HORNED NIGHT BLUE	1 Gal. Cont.	18" x 18" Medium
4	Astragalus lentiginos / MUSTER BUSH	1 Gal. Cont.	24" x 24" Medium
5	Rhus copallina / ROSEMARY	1 Gal. Cont.	6' x 6' Low
6	Rhus aromatica 'Glaberrima' / UPRIGHT ROSEMARY	1 Gal. Cont.	24" x 24" Low
7	Gratiola floribunda / GOLD-TOE FRAGRANT SOMACH	1 Gal. Cont.	36" x 36" Low
8	Salvia greggii / AUTUMN SHADE	1 Gal. Cont.	36" x 36" Low
9	Verbena bonariensis / PRINCE VERBENA	1 Gal. Cont.	6' x 6' Low
10	Callisotum grandiflorum / CALIFORNIA YUCCA	1 Gal. Cont.	18" x 18" Low
11	Carissa grandifolia / DARK RED BERRY	1 Gal. Cont.	12' x 16' Low
12	Dwarf Pumbago	1 Gal. Cont.	30' x 30" Medium
13	Callisotum grandiflorum / CALIFORNIA YUCCA	1 Gal. Cont.	30' x 30" Low
14	Yucca filamentosa / SPANISH DADDY	1 Gal. Cont.	12' x 12" Low
15	Yucca filamentosa / SPANISH DADDY	1 Gal. Cont.	18' x 18" Low
16	Yucca filamentosa / SPANISH DADDY	1 Gal. Cont.	15' x 20" Low
17	Yucca filamentosa / SPANISH DADDY	1 Gal. Cont.	30' x 30" Low
18	Yucca filamentosa / SPANISH DADDY	1 Gal. Cont.	12' x 24" Low

SYM	BOTANICAL NAME / COMMON NAME	INSTALLATION SIZE	MATURE SIZE WATER USE
1	Agave parviflora / PARTY'S AGAVE	1 Gal. Cont.	36" x 36" Low
2	Dasylirion wheeleri / SOTOL	1 Gal. Cont.	48" x 60" Low
3	Hesperaloe parviflora / RED BE-SOPALOE	1 Gal. Cont.	48" x 48" Low
4	Opuntia basilaris / BEAVERTAIL PRICKLY PEAR	1 Gal. Cont.	12" x 48" Low
5	Opuntia engelmannii / ENGELMANN'S PRICKLY PEAR	1 Gal. Cont.	48" x 60" Low
6	Yucca glauca / Soapweed	1 Gal. Cont.	30" x 60" Low
7	Yucca rostrata / TWISTED LEAF YUCCA	1 Gal. Cont.	36" x 36" Low

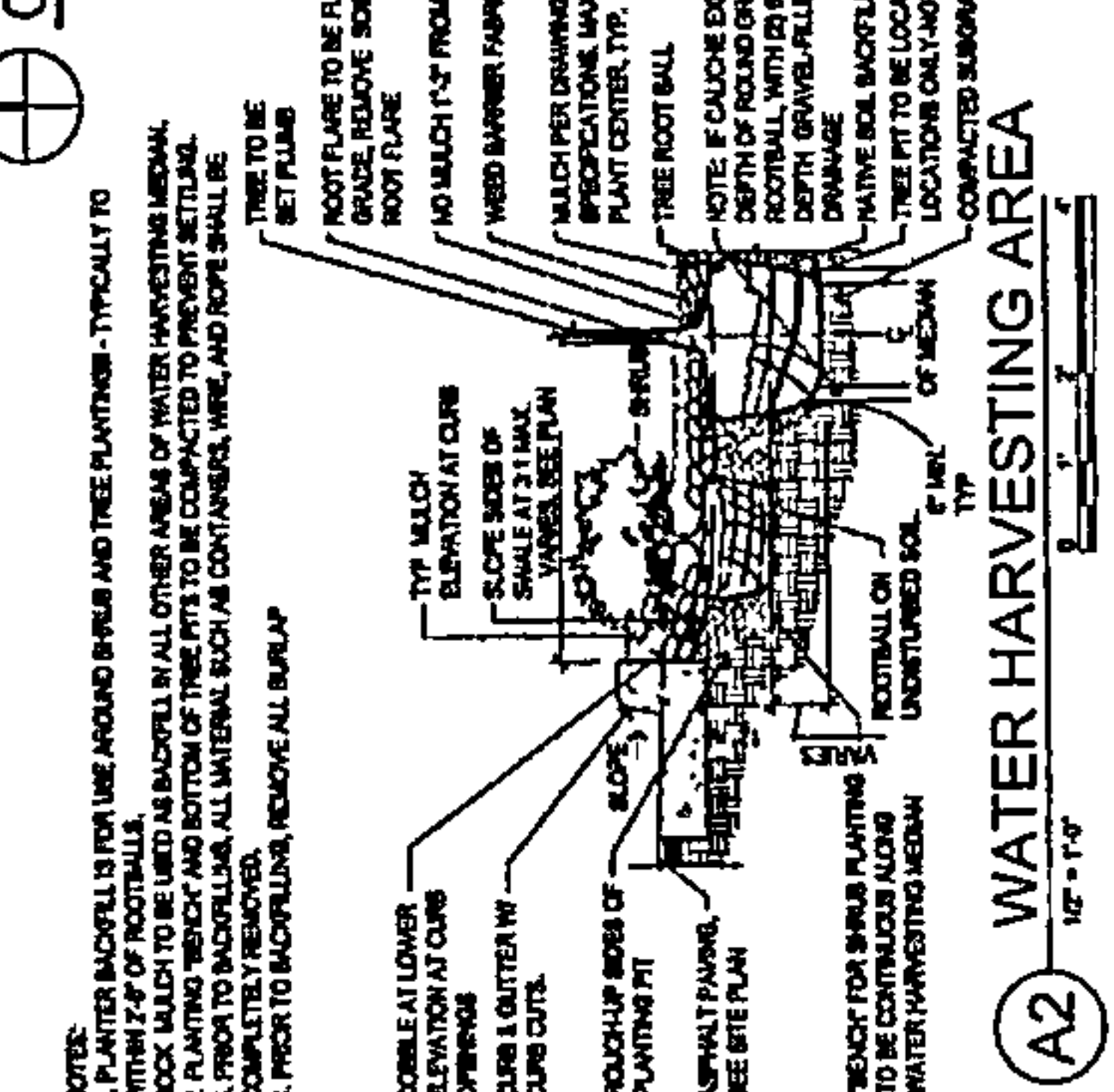
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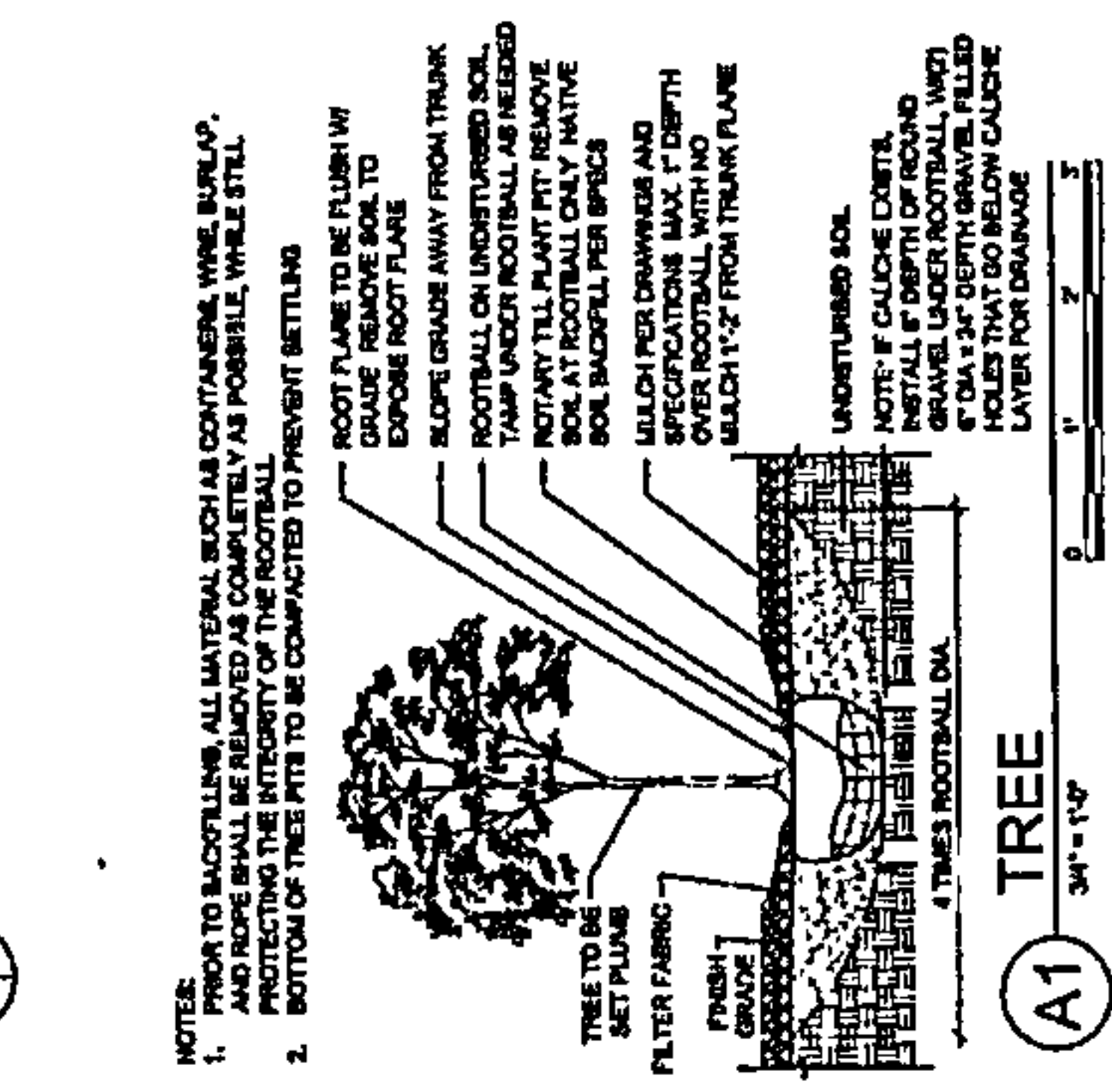
OPEN SPACE SHADE DIAGRAM



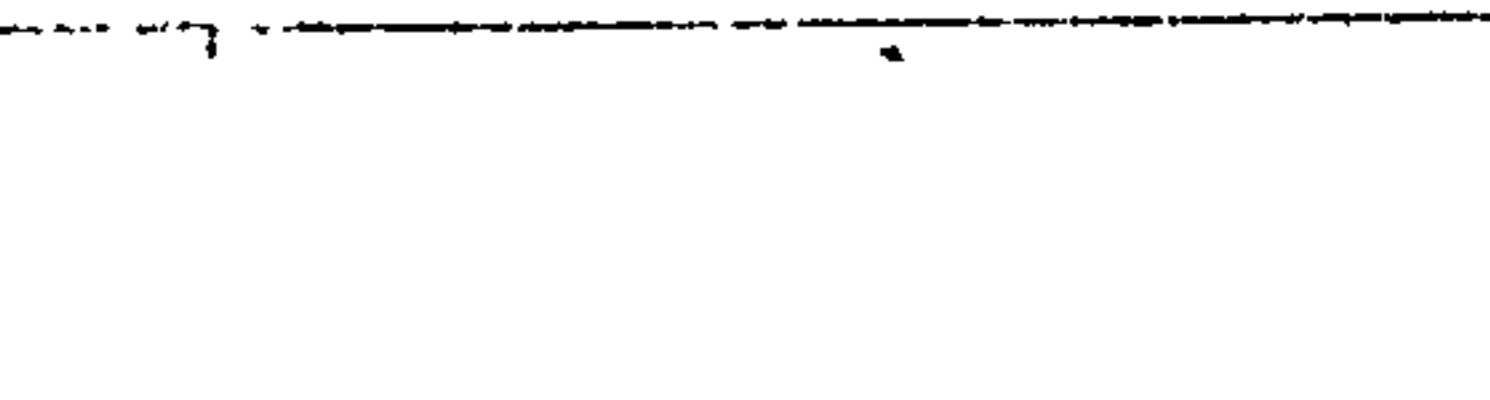
WATER HARVESTING AREA



CONC. SEAT PLANTER



TREE



September 18, 2013

Jerry Cline Park Neighborhood Association "R"
Mr. Ron Goldsmith
1216 Alcazar St. NE
Albuquerque, NM 87110

Re: Target, 2120 Louisiana Boulevard NE
Southeast corner of Louisiana Boulevard NE and Indian School Road NE
Reason for Request: Target at Uptown Site Development Plan for Subdivision & Re-plat
Legal Description: Tract A of Hunt – Spectrum Development Site

Dear Mr. Goldsmith:

A letter was sent notifying you that Target wishes to subdivide their property to prepare for development of the pad sites at the southwest and northeast corners.

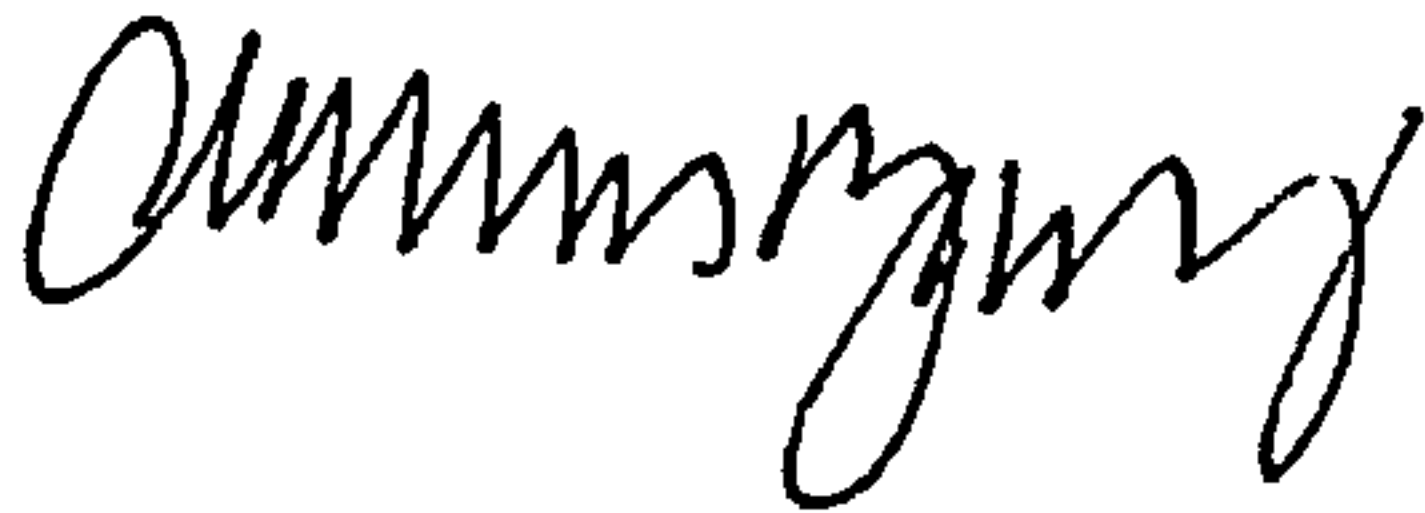
The hearing date that was mentioned in that letter was incorrect. The correct date is October 16, 2013 at 9:00 am in the Plaza Del Sol building located at 600 2nd Street NW (Hearing room on the lower level), Albuquerque, NM.

If you have any questions or need clarification, please feel free to contact me at:

Dekker/Perich/Sabatini
7601 Jefferson NE, Suite 100
Albuquerque, NM 87109
505-761-9700

Sincerely,

Dekker/Perich/Sabatini
Agent for Target



Christopher R. Gunning, AIA, LEED AP
Principal

Attachments:
Previous notification letter (VOIDED)
Site Development Plan for Subdivision
Landscaping Plan

September 10, 2013

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The City of Albuquerque Planner assigned to this project is Chris Hyer. He can be reached at 924-3927 or via email at chyer@cabq.gov.

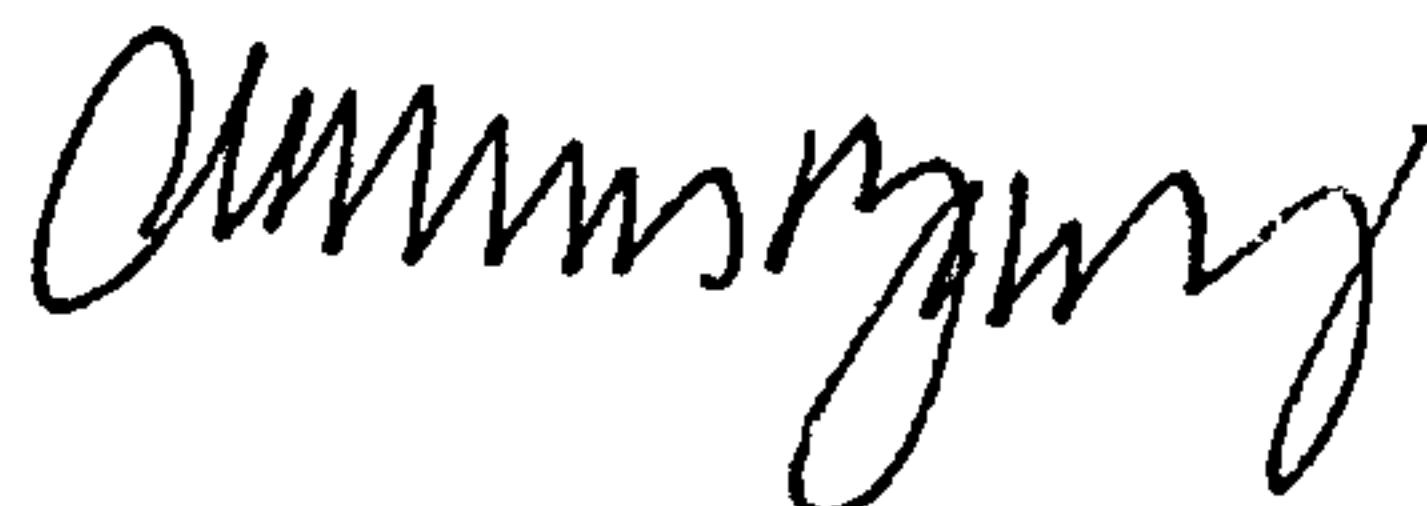
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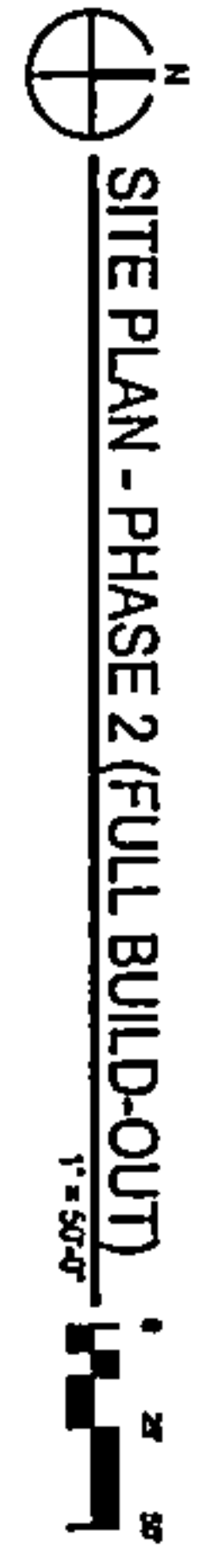
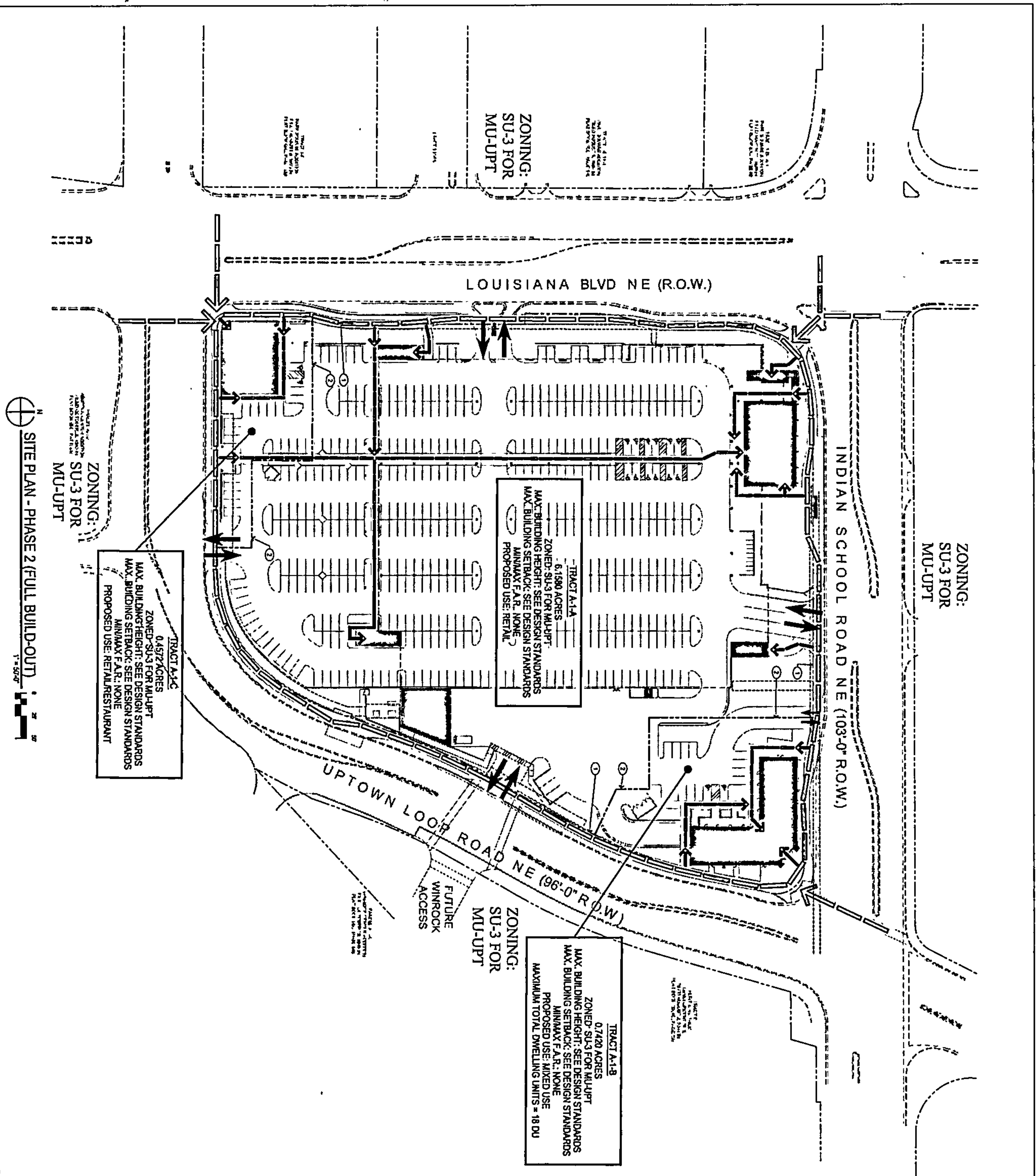
Sincerely,

Dekker/Perich/Sabatini
Agent for Target



Christopher R. Gunning, AIA, LEED AP
Principal

Attachments: Site Development Plan for Subdivision and Landscaping Plan



GENERAL NOTES

- A. REFER TO SHEET 3 FOR DESIGN STANDARDS
- B. REFER TO O.M. DRAWING, SHEET 2 FOR CONCEPTUAL UTILITY PLAN
- C. APPLICABLE PLANS (UTILITY SECTION DEVELOPMENT PLAN (UDM))
- D. PROPOSED USES: MIXED USE INCLUDING RETAIL, RESTAURANT AND HOUSING

KEYED NOTES

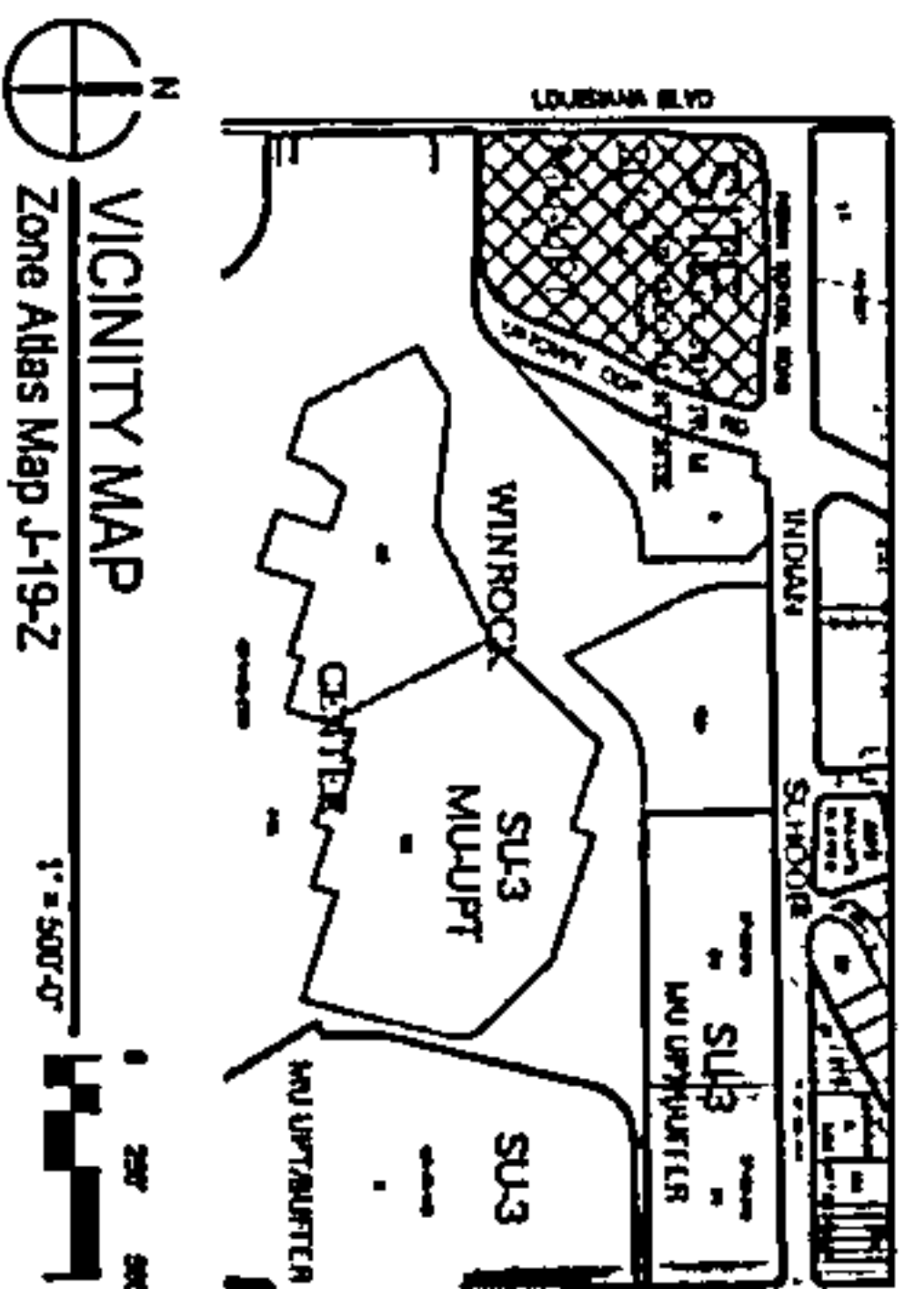
- 1. EXISTING PROPERTY LINE
- 2. PROPOSED PROPERTY LINE

SITE DATA

LEGAL DESCRIPTION:
TRACT A, HUNT - SPECTRUM DEVELOPMENT SITE
ZONE:
SU-3 FOR MU-UPT

SITE PLAN LEGEND

- FEDERAL HIGHWAY / EXPRESS
- VEHICULAR MARCH / FEEDER
- PROPERTY LINE EXISTING AS NOTED
- PROPERTY LINE PROPOSED AS NOTED



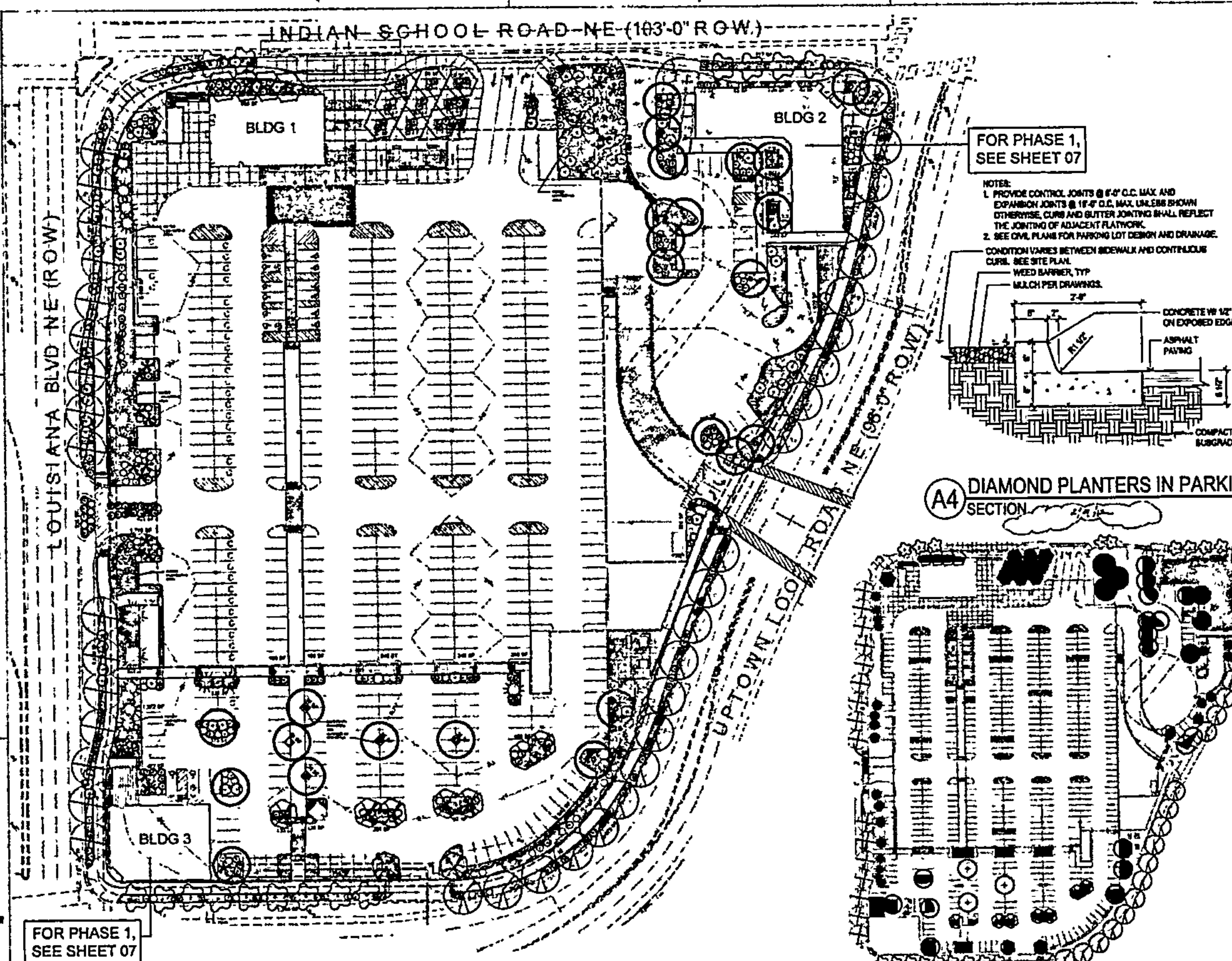
PROJECT NUMBER:	1807016
PROJECT NUMBER:	1807016
APPLICATION NUMBER:	
<p>In an Subdivision List Register (SLR) (1) Yes (2) No. If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way as for construction of public improvements.</p>	
SITE DEVELOPMENT PLAN APPROVAL	
TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
ARCHITECT	DATE
PLANS AND REGULATION DEPARTMENT	DATE
CITY ENGINEER	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

Dekker Perich Sabatini
1011 Jefferson NE Suite 100
Albuquerque, NM 87102
505.763.9700
www.dpsab.com

Architect

TARGET @ ABQ Uptown
Albuquerque, New Mexico
SITE PLAN FOR SUBDIVISION
DRB SUBMITTAL

PROJECT	1807016
ENGINEER	
ARCHITECT	
REVISIONS	
DATE	
PROJECT NO.	11-0006/002
DRAWING NAME	SITE DEVELOPMENT PLAN FOR SUBDIVISION
DRAWN BY	SJT
REVIEWED BY	CRG
DATE	06/03/2015
PROJECT NO.	11-0006/002
DRAWING NAME	SITE DEVELOPMENT PLAN FOR SUBDIVISION



PLANTING LEGEND

TREES

SYM	QTY	BOTANICAL NAME/ COMMON NAME	INSTALLATION SIZE	MATURE SIZE (HxW) WATER USE
28		<i>Pistacia chinensis</i> / CHINESE PISTACHE	3" Cal.	35x30' Medium
19		<i>Cercis canadensis</i> / WESTERN REDBUD	2" Cal./B&B	25x18' Medium
23		<i>Chiosia linearis</i> 'Arts Seedless' DESERT WILLOW	48" Box/ Multi-trunked	25x35' Low
3		<i>Populus deltoides wislizenii</i> / RIO GRANDE VALLEY COTTONWOOD	2" Cal./B&B	60x60' High
22		<i>Quercus buckleyi</i> / TEXAS RED OAK	2" Cal./B&B	25x25' Medium
16		<i>Quercus muhlenbergii</i> / CHINQUAPIN OAK	2" Cal./B&B	30x30' Medium
12		<i>Tilia cordata</i> / LITTLELEAF LINDEN	2" Cal./B&B	35x30' Medium
11		<i>Juriparus chinensis</i> 'Spartan' SPARTAN JUNIPER	6" High/B&B	15'x3' Low
18		<i>Pinus strobus</i> / SOUTHWESTERN WHITE PINE	6" High/B&B	60'x20' Low

SHRUBS

SYMBOL	BOTANICAL NAME/ COMMON NAME	INSTALLATION SIZE	MATURE SIZE (HxW) WATER USE
	<i>Ericameria laricina</i> / TURPENTINE BUSH	1 Gal. Cont.	36'x36' Low
	<i>Baccharis x 'Centennial'</i> / CENTENNIAL BROOM	1 Gal. Cont.	36'x42' Low
	<i>Caryopteris clandestina</i> 'Dark Knight' DARK NIGHT BLUE MIST SPIREA	1 Gal. Cont.	48'x48' Medium
	<i>Mahonia aquifolium</i> 'Compadrum' COMPACT MAHONIA	1 Gal. Cont.	24'x48' Medium
	<i>Rosmarinus officinalis</i> / UPRIGHT ROSEMARY	1 Gal. Cont.	60'x60' Medium
	<i>Rhus aromatica</i> 'Oro-low' ORO-LO FRAGRANT SUMAC	1 Gal. Cont.	24'x27' Medium
	<i>Salvia greggii</i> / AUTUMN SAGE	1 Gal. Cont.	30'x36' Low
	<i>Verbena bipinnatifida</i> / PRAIRIE VERBENA	1 Gal. Cont.	6'x36' Low
	<i>Callirhoe involucrata</i> / WINECUPS	1 Gal. Cont.	18'x18' Low
	<i>Cercotropa plumaginoides</i> / DWARF PLUMBAGO	1 Gal. Cont.	12'x18' Medium
	<i>Gallardia arifolia</i> / BLANKET FLOWER	1 Gal. Cont.	30'x30' Low
	<i>Hymenocys scabra</i> / ANGELITA DAISY	1 Gal. Cont.	12'x12' Low
	<i>Lavandula angustifolia</i> 'Hidcote Superior' HIDCOTE SUPERIOR LAVENDER	1 Gal. Cont.	18'x18' Medium
	<i>Mirabilis multiflora</i> / DESERT FOUR-O'CLOCK	1 Gal. Cont.	18'x30' Medium
	<i>P. barbata</i> / RED PENSTEMON	1 Gal. Cont.	30'x36' Low
	<i>Teucrium chamaedryf</i> / TRAILING GERMANDER	1 Gal. Cont.	12'x24' Medium

GRASSES

SYMBOL	BOTANICAL NAME/ COMMON NAME	INSTALLATION SIZE	MATURE SIZE (HxW) WATER USE
	<i>Festuca idahoensis</i> 'Siskiyou Blue' SISKIYOU BLUE FESCUE	1 Gal. Cont.	18'x18' Medium
	<i>Muhlenbergia capillaris</i> / "Regal Mist" REGAL MIST MUILENBERGIA	1 Gal. Cont.	36'x42' Medium
	<i>Muhlenbergia rigens</i> / DEER GRASS	1 Gal. Cont.	42'x48' Medium
	<i>Nolina microcarpa</i> / BEARGRASS	1 Gal. Cont.	36'x48' Medium
	<i>Miscanthus sinensis</i> / MAIDEN GRASS	1 Gal. Cont.	60'x48' Medium

ACCENTS

SYMBOL	BOTANICAL NAME/ COMMON NAME	INSTALLATION SIZE	MATURE SIZE (HxW) WATER USE
*	<i>Agave parryi</i> / PARRY'S AGAVE	1 Gal. Cont.	36'x36' Low
	<i>Dasylistron wheeleri</i> / SOTOL	1 Gal. Cont.	48'x60' Low
	<i>Hesperaloe parviflora</i> / RED HESPERALOE	1 Gal. Cont.	48'x48' Medium
	<i>Opuntia basilaris</i> / BEAVERTAIL PRICKLY PEAR	1 Gal. Cont.	12'x48' Low
	<i>Opuntia engelmannii</i> / ENGELMANN'S PRICKLY PEAR	1 Gal. Cont.	48'x60' Low
	<i>Yucca glauca</i> / Soapweed	1 Gal. Cont.	36'x60' Low
	<i>Yucca ruficoma</i> / TWISTED LEAF YUCCA	1 Gal. Cont.	36'x36' Low

MULCHES

SYMBOL	COMMON NAME
[Pattern]	ROCK MULCH
[Pattern]	ORGANIC PECAN SHELL MULCH

LANDSCAPE CALCULATIONS

SITE AREA 7.3972 AC (AFTER R.O.W. DEDICATION)
 OPEN SPACE REQUIREMENT (10% OF THE SITE) 32,048 SF
 OPEN SPACE PROVIDED 41,936 SF
 LANDSCAPE REQUIREMENT (40% OF OPEN SPACE) 16,414 SF
 LANDSCAPE AREA PROVIDED 39,179 SF
 *NET LOT AREA WAS NOT USED IN THESE CALCULATIONS.

OPEN SPACE CALCULATIONS DO NOT INCLUDE REQUIRED LANDSCAPE STRIPS ALONG THE STREET OR WALKWAYS EXCEPT ANY PORTION OF A WALKWAY THAT IS WIDER THAN 10 FEET.

A MINIMUM OF 75% OF LANDSCAPE AREAS AND 80%-75% OF PLANTING STRIPS SHALL BE COVERED WITH LIVE VEGETATIVE MATERIALS.

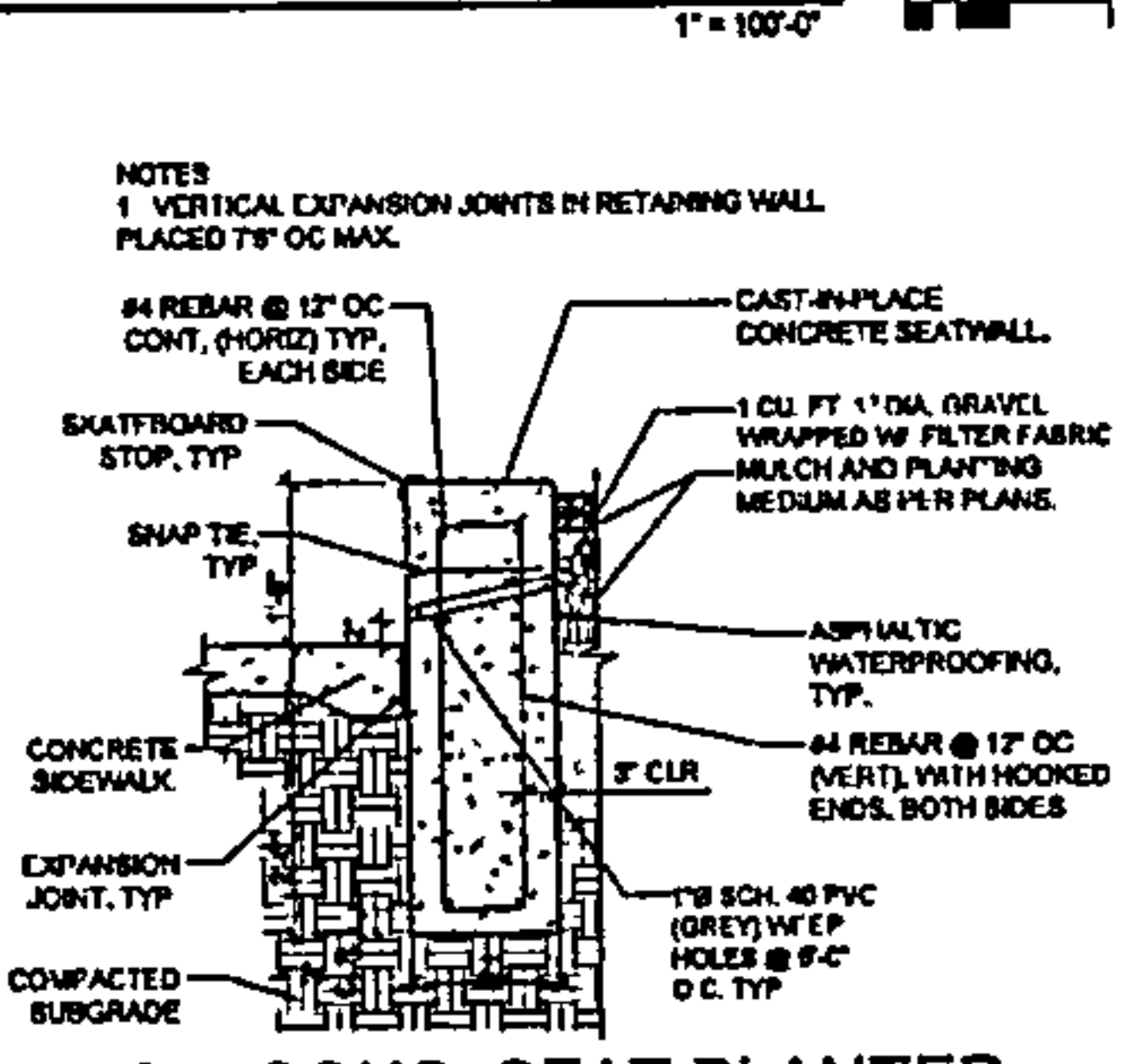
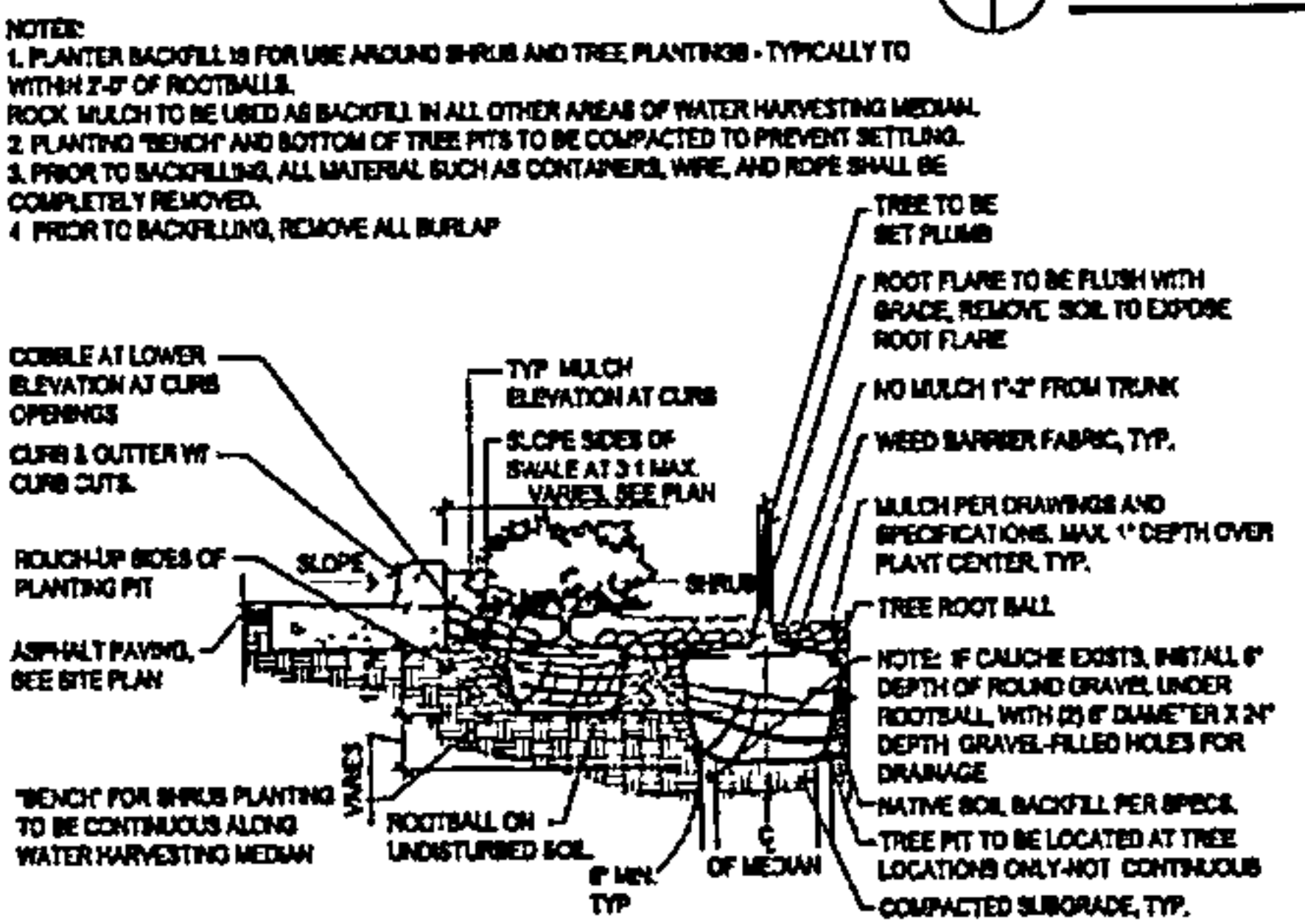
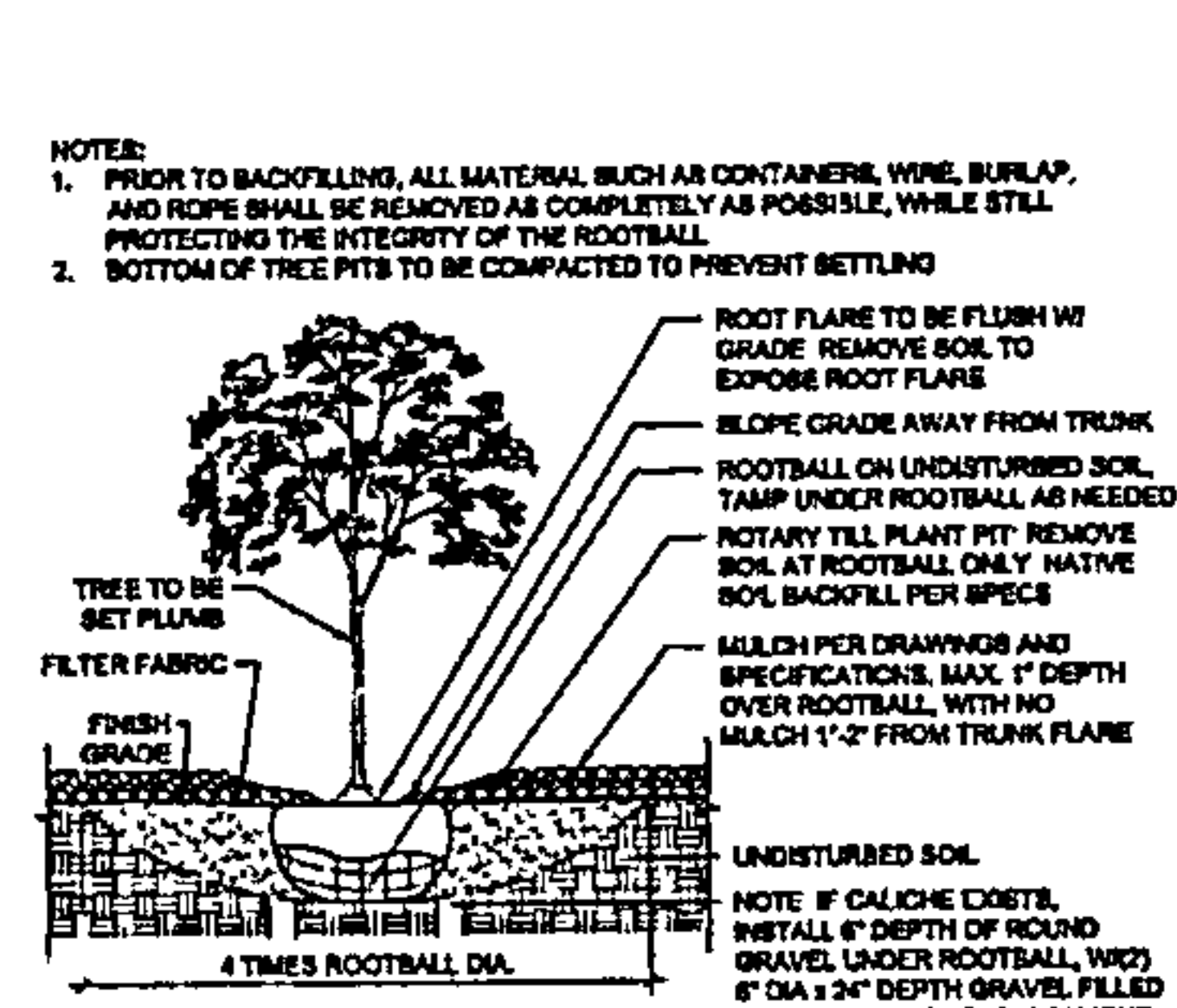
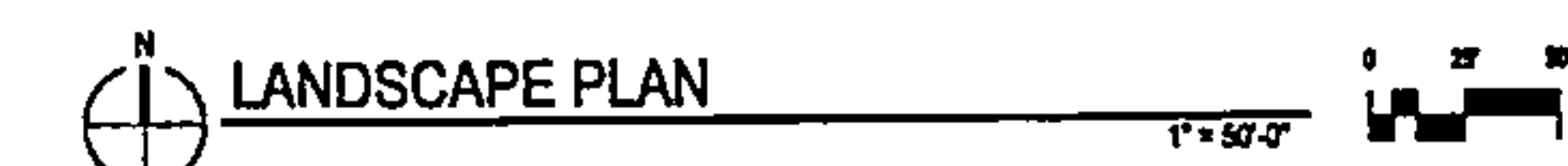
A MINIMUM OF 10% OF LANDSCAPE AREAS WILL HAVE FLOWERING PLANTS OR SHRUBS.

TOTAL SHADE TREES: 90 (% OF TREES)
 TOTAL SIGNATURE TREES: 36 (% OF TREES)

ROCK MULCH HAS BEEN LIMITED TO LESS THAN 5% OF ANY OPEN SPACE AREA AND USED ONLY WHERE NECESSARY AROUND DRAINAGE WELLS. ALL OTHER MULCH AREAS UTILIZE ORGANIC PECAN SHELL MULCH.

LANDSCAPE NOTES

- DESIGN: THE PLANTING DESIGN INCLUDES A DIVERSE PALETTE OF DESERT AND HIGH DESERT PLANTS THAT WILL COMPLEMENT THE ARCHITECTURE OF THE PROJECT. THE INTENT IS TO LANDSCAPE THIS MIXED-USE, URBAN ENVIRONMENT WITH DESERT AND HIGH DESERT PLANTS THAT REINFORCE A SENSE OF PLACE AND ARE APPROPRIATE TO ALBUQUERQUE'S CLIMATE.
- GRASSES AND ACCENT PLANTS SUCH AS YUCCA, SOTOL AND PRICKLY PEAR CACTUS WILL BE USED IN HIGHLY VISIBLE AND APPROPRIATE LOCATIONS. THE USE OF REGIONALLY NATIVE TREES FOR STREET TREES, WHILE UNORTHODOX, WILL REINFORCE THE SENSE OF PLACE, BUFFER PEDESTRIANS FROM VEHICULAR AREAS AND PROVIDE A COMFORTABLE PEDESTRIAN SCALE TO THE STREETS.
- PLANTING AND IRRIGATION INSTALLATION DETAILS SHALL MEET CITY OF ALBUQUERQUE REQUIREMENTS AND THE USDP REQUIREMENTS. EACH TREE SHALL HAVE A MINIMUM OF 36 SQUARE FEET OF PLANTING SPACE.
- PLANTING AND IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- CONTROLLER: THE IRRIGATION SYSTEM SHALL BE RUN WITH A FULLY AUTOMATED IRRIGATION CONTROLLER. THE RUN TIME FOR THE VARIOUS ZONES SHALL BE APPROXIMATELY 45 MINUTES FOR THE DRIFF ZONES. RUN TIME WILL BE ADJUSTED ACCORDING TO SEASON, LOCATION, AND PLANT PERFORMANCE. DRIP EMITTERS SHALL BE USED FOR ALL PLANT MATERIAL.
- POINT OF CONNECTION: THERE IS LIKELY TO BE MORE THAN ONE POINT OF CONNECTION FOR THIS PROJECT. THE WATER CONNECTION LOCATIONS WILL BE COORDINATED WITH THE OVERALL WATER SERVICE DESIGN FOR THE SITE. THE EXACT LOCATIONS FOR CONNECTIONS AND CONTROLLERS IN UNKNOWN AT THIS TIME.
- MULCH: ALL PLANTING BEDS SHALL BE COVERED WITH MULCH. GRAVEL, BARK AND PECAN SHELL MULCHES WILL BE USED APPROPRIATELY TO ADD VISUAL INTEREST AND PROTECT SOIL MOISTURE.
- THE PARKING AREA TREES SELECTED FOR USE AT TARGET @ TREE AND SHRUB PITS TO BE 4 TIMES THE ROOTBALL DIAMETER.
- THERE IS NO HIGH WATER USE TURF USED ON THIS PROJECT.
- THE LANDSCAPE DESIGN SHALL COMPLY WITH THE INTENT OF THE CITY OF ALBUQUERQUE WATER CONSERVATION, LANDSCAPING AND WATER WASTE ORDINANCE.
- SOIL PREPARATION AND AERATION WITH ROWS REQUIRED TO DE-COMPACT LANDSCAPE ZONE PRIOR TO PLANTING.
- PASSIVE WATER HARVESTING, SUCH AS HARVESTING OF STORM WATER SURFACE RUNOFF AND ROOF RUNOFF, SHALL BE UTILIZED WHERE FEASIBLE AND CAPTURED IN SWALES.
- SOIL AMENDMENTS WILL BE USED FOR PLANT MATERIAL.
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- THE IRRIGATION SYSTEM WILL BE CONNECTED TO CITY WATER. THE POINT OF CONNECTION WILL CONSIST OF A WATER METER, BACKFLOW PREVENTER AND MASTERVAVE, SEE COA STD DETAIL #2701.
- THE CONTRACTOR SHALL CREATE AN IRRIGATION PLAN TO PERMANENTLY IRRIGATE THE PROPOSED PLANTINGS, AND SHALL SUBMIT THIS TO THE ARCHITECT FOR REVIEW AND APPROVAL. THE PLAN SHALL INCLUDE A PIPING AND EMITTER LAYOUT WITH SIZING, VALVE SCHEDULE AND CONSTRUCTION DETAILS.
- CONTROLLER: THE IRRIGATION SYSTEM SHALL BE RUN WITH FULLY AUTOMATED IRRIGATION CONTROLLER. RUN TIME WILL BE ADJUSTED ACCORDING TO PLANT MATURITY, SEASON, LOCATION, AND PLANT PERFORMANCE.
- DRIP EMITTERS SHALL BE USED FOR ALL PLANT MATERIAL.
- REFER TO DRAINAGE PLAN FOR GRADING INFORMATION AND WATER HARVESTING LOCATIONS.



A1 TREE
3/4" = 1'-0"

A2 WATER HARVESTING AREA
1/2" = 1'-0"

A3 CONC. SEAT PLANTER
3/4" = 1'-0"

Dekker Perich Sabatini
 7001 Jefferson NE Suite 10
 Albuquerque, NM 87110
 505.763.8722
 www.dpsab.com

TARGET @ ABQ Uptown
 Albuquerque, New Mexico

DRB SUBMITTAL

PREPARED BY: JG
 REVIEWED BY: MB
 DATE: 1/10/2011
 PROJECT NO: 10-1136

LANDSCAPE PLAN - PHASE II

September 18, 2013

Jerry Cline Park Neighborhood Association "R"
Ms. Cindy Griesmeyer
909 San Pablo St. NE
Albuquerque, NM 87110

Re: Target, 2120 Louisiana Boulevard NE
Southeast corner of Louisiana Boulevard NE and Indian School Road NE
Reason for Request: Target at Uptown Site Development Plan for Subdivision & Re-plat
Legal Description: Tract A of Hunt – Spectrum Development Site

Dear Ms. Griesmeyer:

A letter was sent notifying you that Target wishes to subdivide their property to prepare for development of the pad sites at the southwest and northeast corners.

The hearing date that was mentioned in that letter was incorrect. The correct date is October 16, 2013 at 9:00 am in the Plaza Del Sol building located at 600 2nd Street NW (Hearing room on the lower level), Albuquerque, NM.

If you have any questions or need clarification, please feel free to contact me at:

Dekker/Perich/Sabatini
7601 Jefferson NE, Suite 100
Albuquerque, NM 87109
505-761-9700

Sincerely,

Dekker/Perich/Sabatini
Agent for Target



Christopher R. Gunning, AIA, LEED AP
Principal

Attachments:
Previous notification letter (VOIDED)
Site Development Plan for Subdivision
Landscaping Plan

September 10, 2013

Jerry Cline Park Neighborhood Association "R"
Ms. Cindy Griesmeyer
909 San Pablo St. NE
Albuquerque, NM 87110

Re: Target, 2120 Louisiana Boulevard NE
Southeast corner of Louisiana Boulevard NE and Indian School Road NE
Reason for Request: Target at Uptown Site Development Plan for Subdivision & Re-plat
Legal Description: Tract A of Hunt – Spectrum Development Site

Dear Ms. Griesmeyer:

A Site Development Plan for Building Permit (SPBP) was reviewed and approved for the subject property approximately one and a half years ago (11DRB-70284). Since then, the Target store has been constructed and the Owners now wish to subdivide the property to prepare for development of the pad sites at the southwest and northeast corners. We submitted for sketch plat review and appeared before DRB on November 7, 2012 (12DRB-70350), where we received direction to submit for a Site Development Plan for Subdivision (SPS) per the USDP process, and to then submit for re-plat concurrently.

The City of Albuquerque Planner assigned to this project is Chris Hyer. He can be reached at 924-3927 or via email at chyer@cabq.gov.

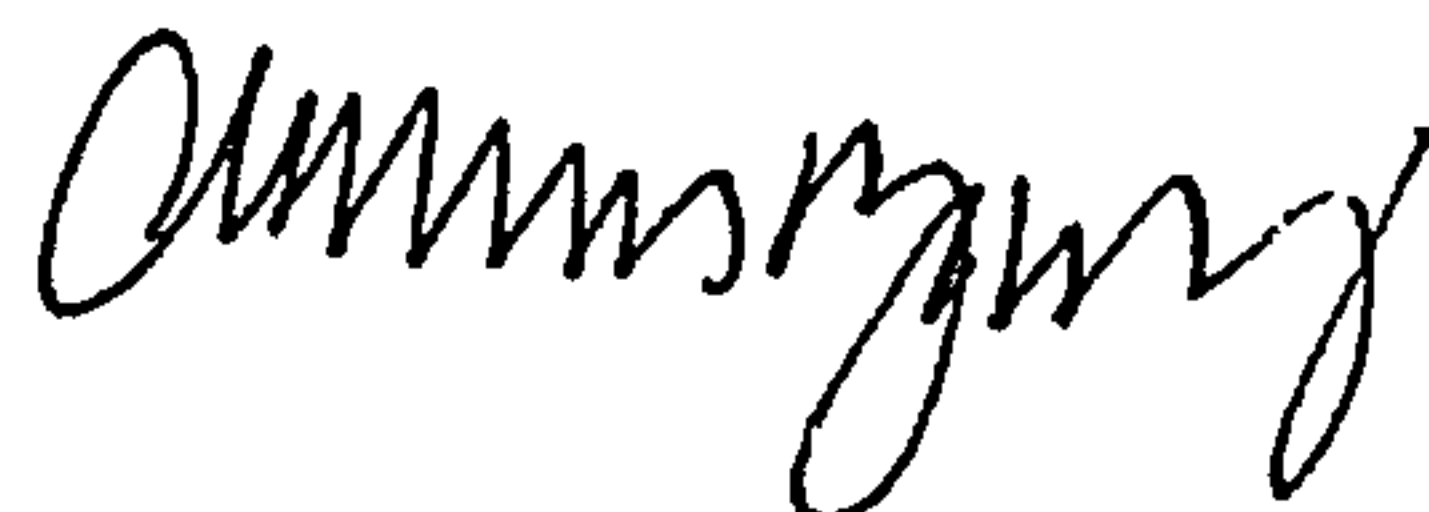
~~The hearing is scheduled for September 25, 2013 at 9:00 am in the Plaza Del Sol building located at 600 2nd Street NW (Hearing room on the lower level), Albuquerque, NM.~~

If you have any questions or need clarification, please feel free to contact me at:

Dekker/Perich/Sabatini
7601 Jefferson NE, Suite 100
Albuquerque, NM 87109
505-761-9700

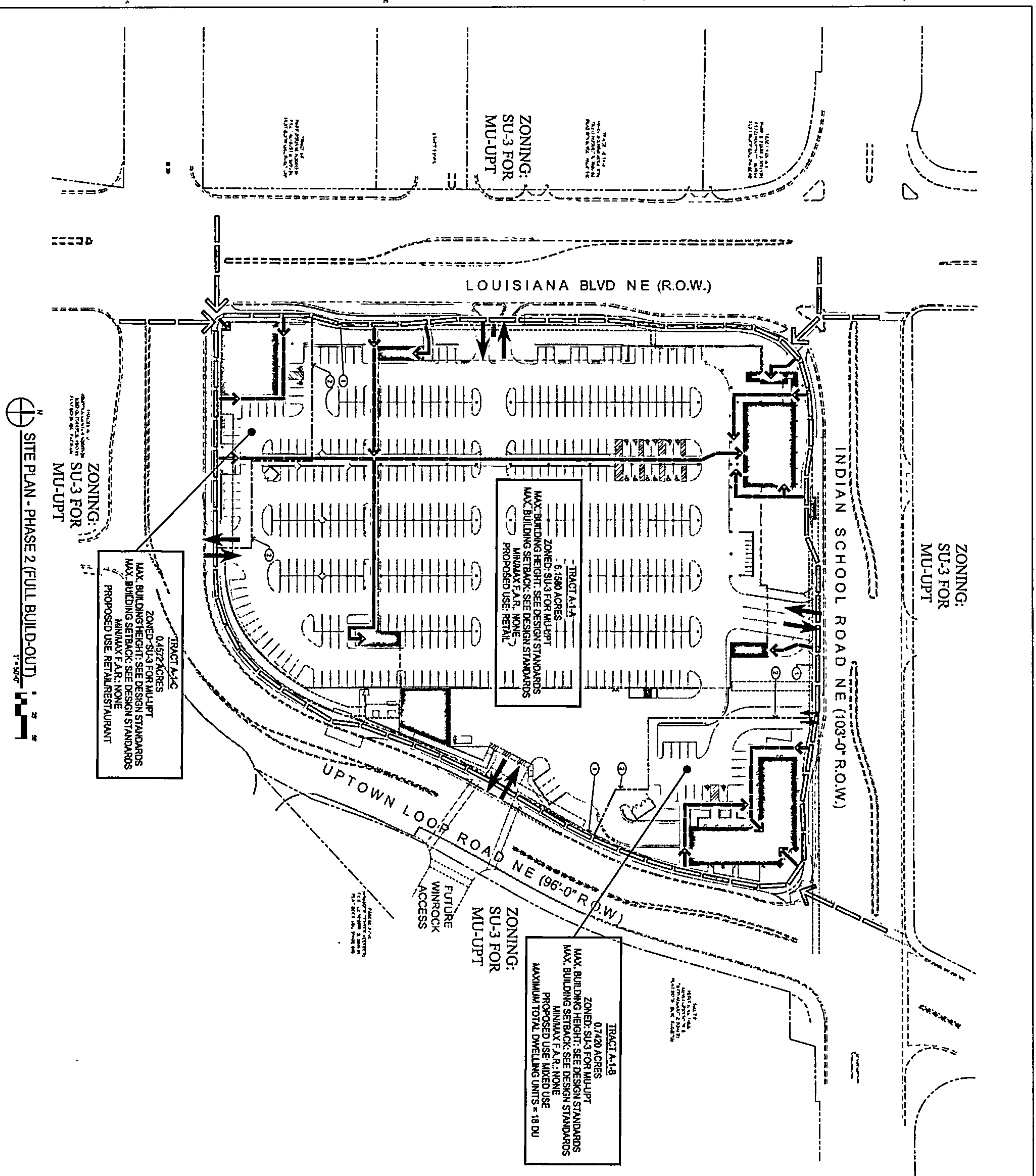
Sincerely,

Dekker/Perich/Sabatini
Agent for Target



Christopher R. Gunning, AIA, LEED AP
Principal

Attachments: Site Development Plan for Subdivision and Landscaping Plan



GENERAL NOTES	<p>A. REFER TO SHEET 1 FOR DESIGN STANDARDS</p> <p>B. REFER TO CIVIL DRAWING SHEET 2 FOR CONCEPTUAL UTILITY PLAN</p> <p>C. APPLICABLE PLANS: UPTOWN SECTION DEVELOPMENT PLAN (2009)</p> <p>D. PROPOSED USES: MIXED USE INCLUDING RETAIL, RESTAURANT AND HOUSING</p>
KEYED NOTES	<p>1. EXISTING PROPERTY LINE</p> <p>2. PROPOSED PROPERTY LINE</p>
SITE DATA	<p>LEGAL DESCRIPTION: TRACT A, HUNT - SPECTRUM DEVELOPMENT SITE</p> <p>ZONE: SU-3 FOR MU-UPT</p>
SITE PLAN LEGEND	<p>PERESTRIM IMPROVEMENTS / EGRESS</p> <p>VEHICULAR MOVEMENT / EGRESS</p> <p>PROPERTY LINE EXISTING AS NOTED</p> <p>PROPERTY LINE PROPOSED AS NOTED</p>
VICINITY MAP	<p>Zone Atlas Map J-19-Z</p> <p>1" = 500'-0"</p>
PROJECT INFORMATION	<p>PROJECT NUMBER: 1467314</p> <p>PROJECT NUMBER: 1467314</p> <p>APPLICATION NUMBER: 1467314</p> <p>DATE: 06/03/2013</p> <p>DRAWING NUMBER: 11-0096-002</p>
REVISIONS	<p>DATE: 06/03/2013</p> <p>REVISION: 1</p> <p>REVISION: 2</p> <p>REVISION: 3</p>
DESIGNER	<p>DESIGNED BY: SUT</p> <p>CHECKED BY: CRD</p> <p>DATE: 06/03/2013</p> <p>PROJECT NO: 11-0096-002</p> <p>DRAWING NAME: SITE DEVELOPMENT PLAN FOR SUBDIVISION</p>

1 of 4

TARGET @ ABQ Uptown
Albuquerque, New Mexico

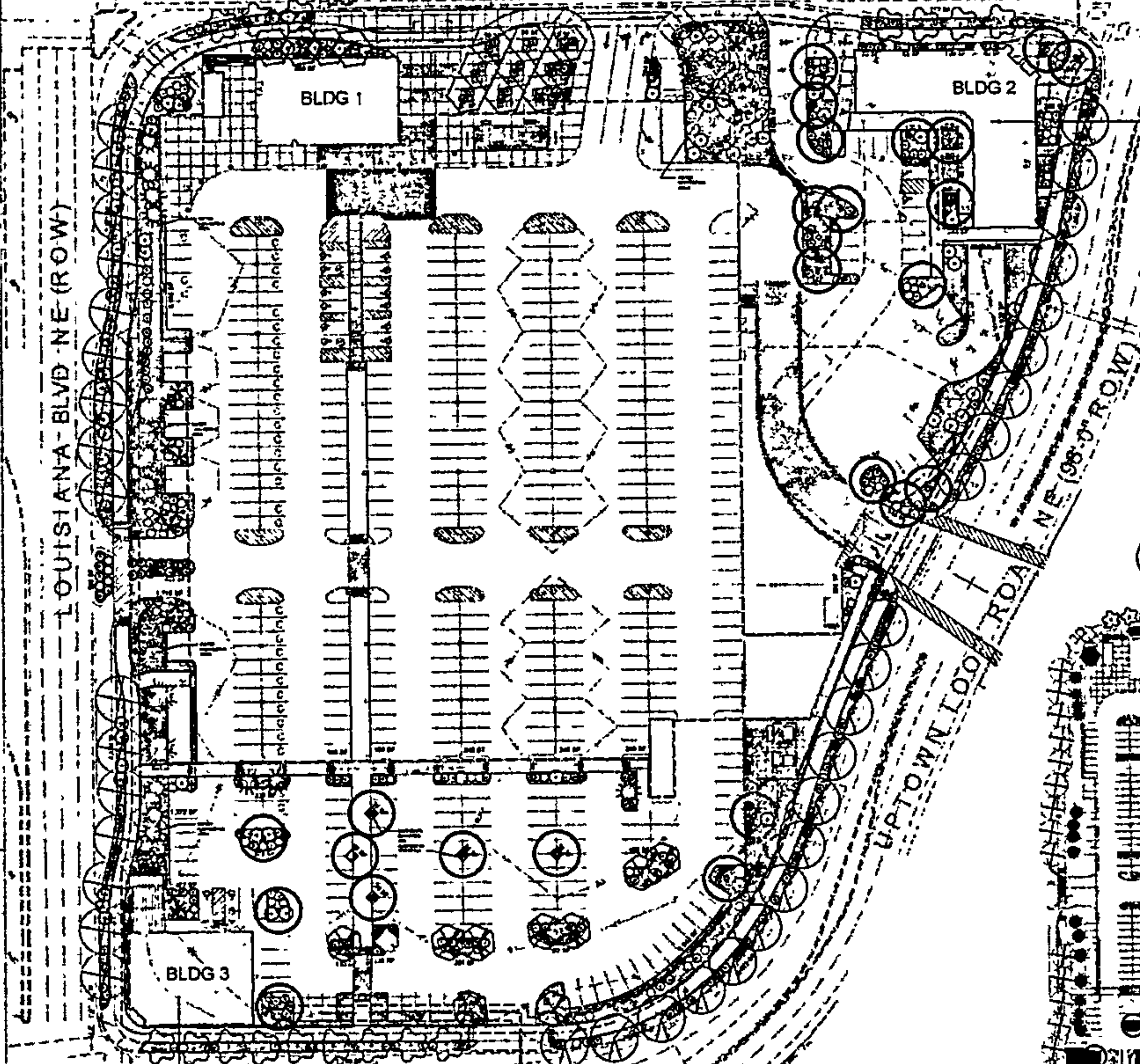
SITE PLAN FOR SUBDIVISION
DRB SUBMITTAL

Dekker
Perich
Sabatini

ARCHITECT

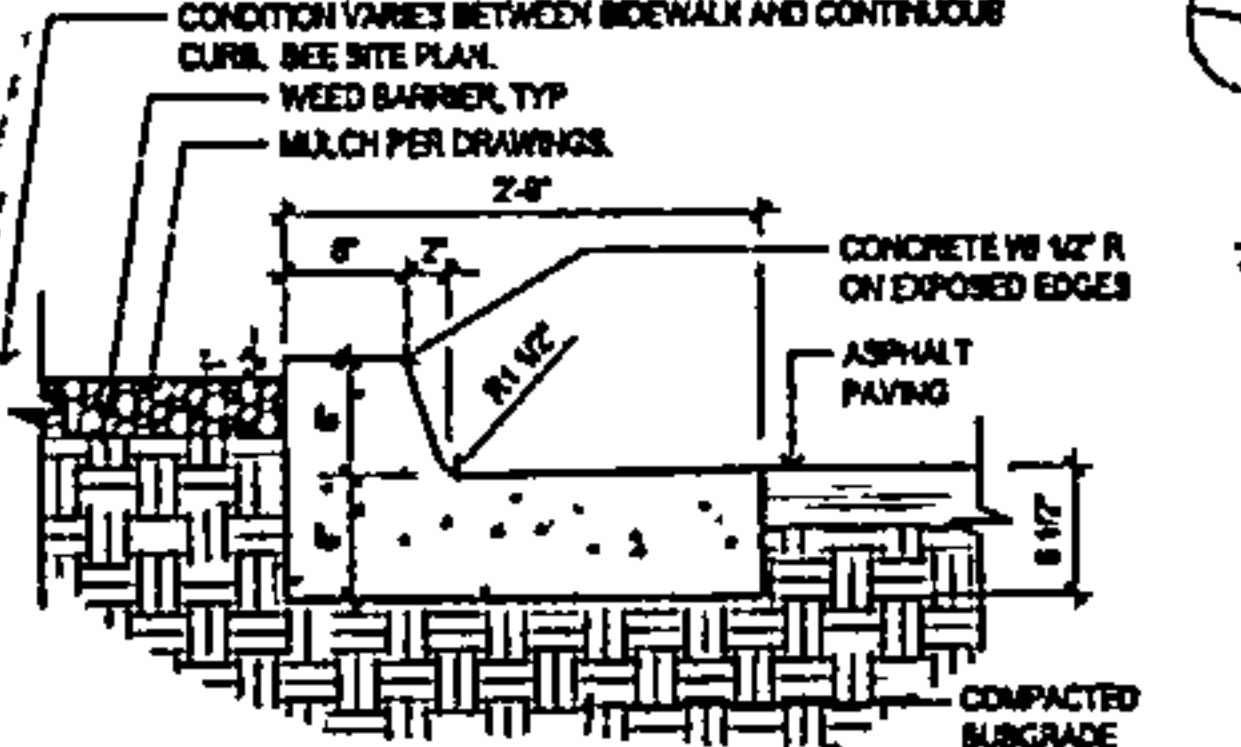
1001 JEFFERSON STREET, SUITE 100
ALBUQUERQUE, NM 87102
TEL: 505-261-3100
FAX: 505-261-3222
info@dekperich.com

INDIAN SCHOOL ROAD NE (103'-0" R.O.W.)

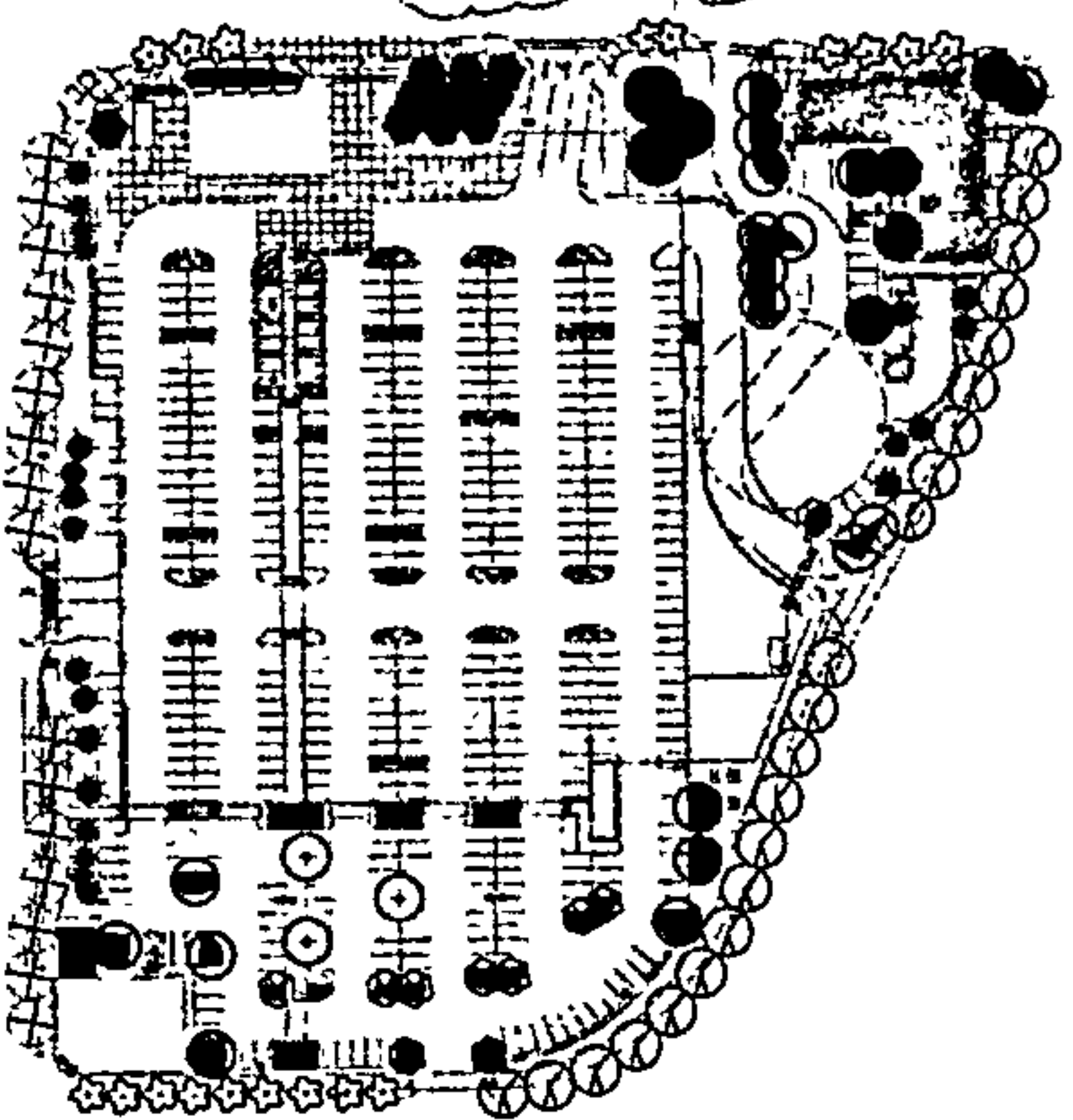


FOR PHASE 1, SEE SHEET 07

NOTES:
1. PROVIDE CONTROL JOINTS @ 6'-0" O.C. MAX. AND EXPANSION JOINTS @ 18'-0" O.C. MAX. UNLESS SHOWN OTHERWISE. CURB AND GUTTER JOINTING SHALL REFLECT THE JOINTING OF ADJACENT FLATWORK.
2. SEE CIVIL PLANS FOR PARKING LOT DESIGN AND DRAINAGE.



A4 DIAMOND PLANTERS IN PARKING LOT SECTION 1"=1'-0"



OPEN SPACE SHADE DIAGRAM 1"=100'-0"

PLANTING LEGEND

TREES			
SYM	BOTANICAL NAME/ COMMON NAME	INSTALLATION SIZE	MATURE SIZE (D.W.V./WATER USE)
26	<i>Platycladus chinensis</i> / CHINESE PISTACHE	3" Cal.	35'x30' Medium
18	<i>Quercus remiformis</i> / WESTERN REDBUD	2" Cal./B&B	25'x18' Medium
23	<i>Chilopsis linearis</i> 'Arfs Seedless/ DESERT WILLOW	48" Box/ Multi-trunked	25'x35' Low
3	<i>Populus deltoides wislizenii</i> / RIO GRANDE VALLEY COTTONWOOD	2" Cal./B&B	60'x60' High
22	<i>Quercus buckleyi</i> / TEXAS RED OAK	2" Cal./B&B	25'x25' Medium
10	<i>Quercus muhlenbergii</i> / CHINGUAPIN OAK	2" Cal./B&B	30'x30' Medium
12	<i>Tilia cordata</i> / LITTLELEAF LINDEN	2" Cal./B&B	35'x30' Medium
11	<i>Juniperus chinensis</i> 'Spartan' SPARTAN JUNIPER	6" High/B&B	15'x7' Low
18	<i>Pinus strobus</i> / SOUTHWESTERN WHITE PINE	6" High/B&B	60'x20' Low

SHRUBS			
SYM	BOTANICAL NAME/ COMMON NAME	INSTALLATION SIZE	MATURE SIZE (D.W.V./WATER USE)
	<i>Eriogonum fasciculatum</i> / TURPENTINE BUSH	1 Gal. Cont.	36" x 36" Low
	<i>Baccharis x 'Carmelina'</i> / CENTENNIAL BROOKIA	1 Gal. Cont.	36" x 42" Low
	<i>Caryopteris clandestina</i> 'Dark Knight' DARK NIGHT BLUE MIST SPIREA	1 Gal. Cont.	48" x 48" Medium
	<i>Mahonia aquifolium</i> 'Compactum' COMPACT MAHONIA	1 Gal. Cont.	24" x 48" Medium
	<i>Rosmarinus officinalis</i> / UPRIGHT ROSEMARY	1 Gal. Cont.	60" x 48" Low
	<i>Rhus aromatica</i> 'Gro-low' GRO-LO FRAGRANT SUMAC	1 Gal. Cont.	24" x 72" Medium
	<i>Salvia Greggii</i> / AUTUMN SAGE	1 Gal. Cont.	36" x 36" Low
	<i>Verbena bipinnatifida</i> / PRAIRIE VERBENA	1 Gal. Cont.	60" x 36" Low
	<i>Callisotum involucratum</i> / WHEATEARS	1 Gal. Cont.	18" x 18" Low
	<i>Cercosiphya plumbea</i> 'Inkwell' DWARF PLUMBAGO	1 Gal. Cont.	12" x 18" Medium
	<i>Gaillardia aristata</i> / BLANKETFLOWER	1 Gal. Cont.	30" x 30" Low
	<i>Hymenoxys aurea</i> / ANGELITA DAISY	1 Gal. Cont.	12" x 12" Low
	<i>Lavandula angustifolia</i> 'Hidcote' Superior/ HILOCOTE SUPERIOR LAVENDER	1 Gal. Cont.	18" x 18" Medium
	<i>Mirabilis multiflora</i> / DESERT FOUR-O'CLOCK	1 Gal. Cont.	18" x 30" Medium
	<i>P. barbatus</i> / RED PENSTEMON	1 Gal. Cont.	50" x 36" Low
	<i>Teucrium chamaedryf</i> / TRAILING GERMANDER	1 Gal. Cont.	12" x 24" Medium

GRASSES			
SYM	BOTANICAL NAME/ COMMON NAME	INSTALLATION SIZE	MATURE SIZE (D.W.V./WATER USE)
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MULCHES		
SYM	DESCRIPTION	
○	ROCK MULCH	
□	ORGANIC PECAN SHELL MULCH	

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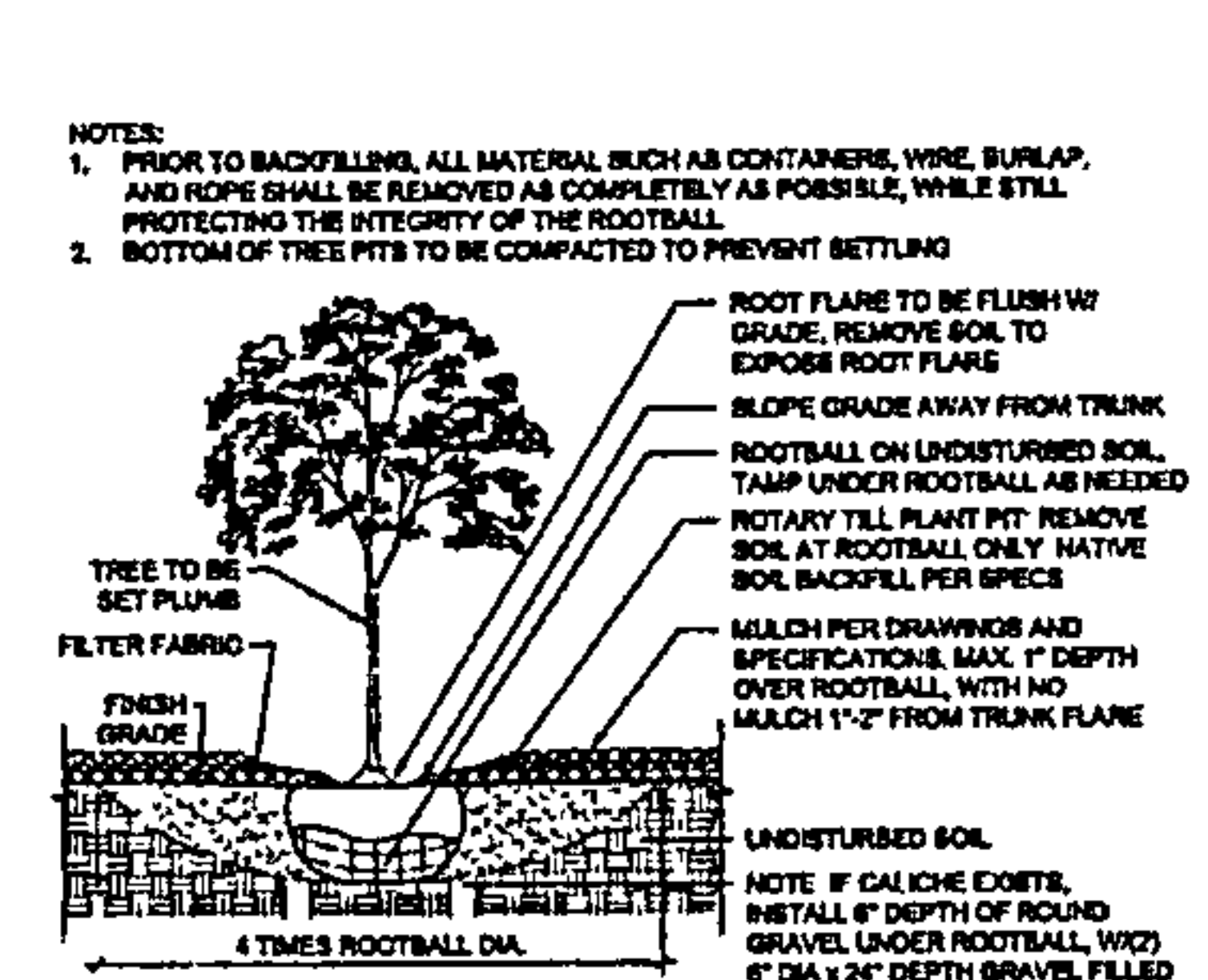
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LANDSCAPE NOTES

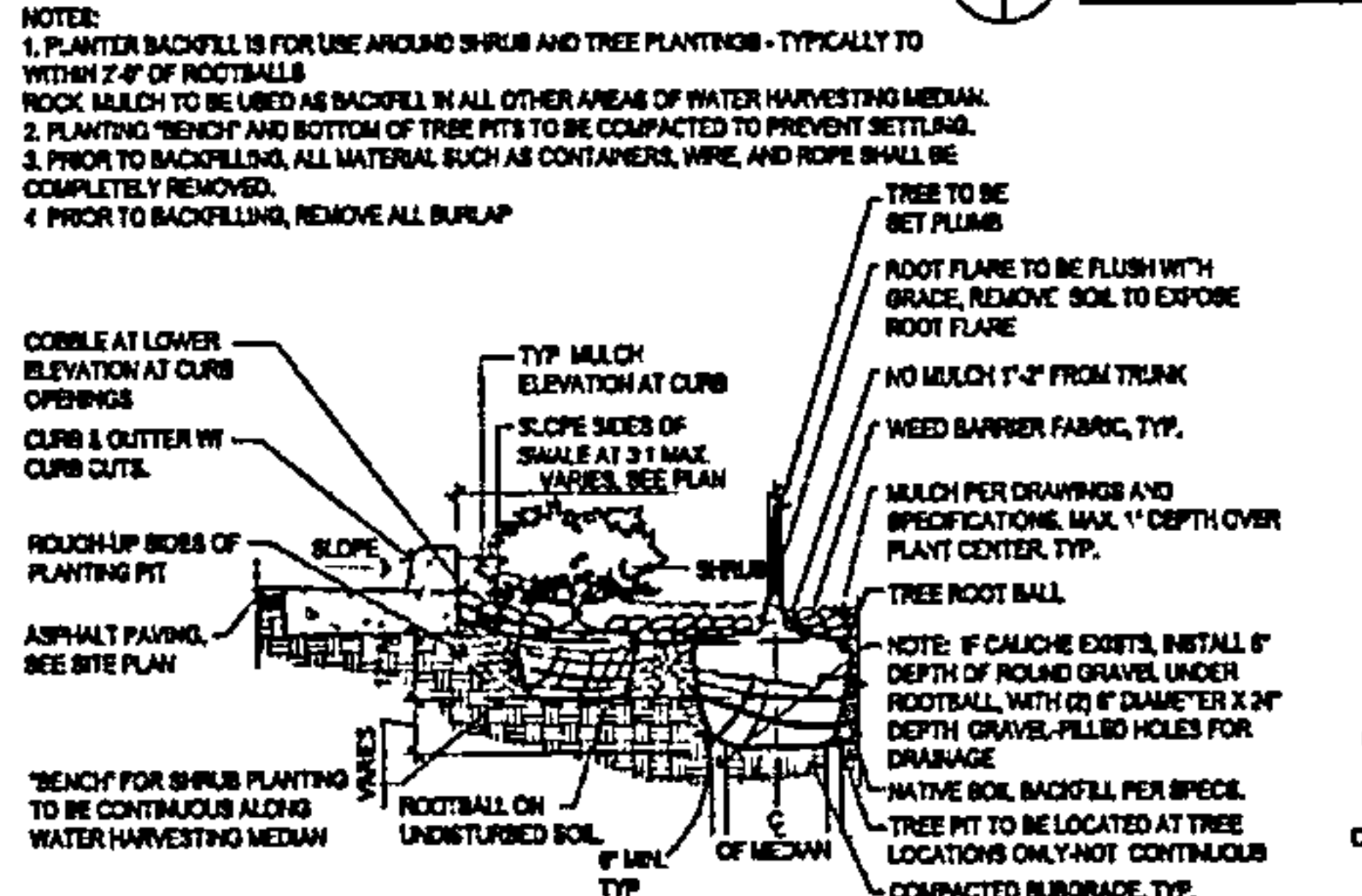
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FOR PHASE 1, SEE SHEET 07

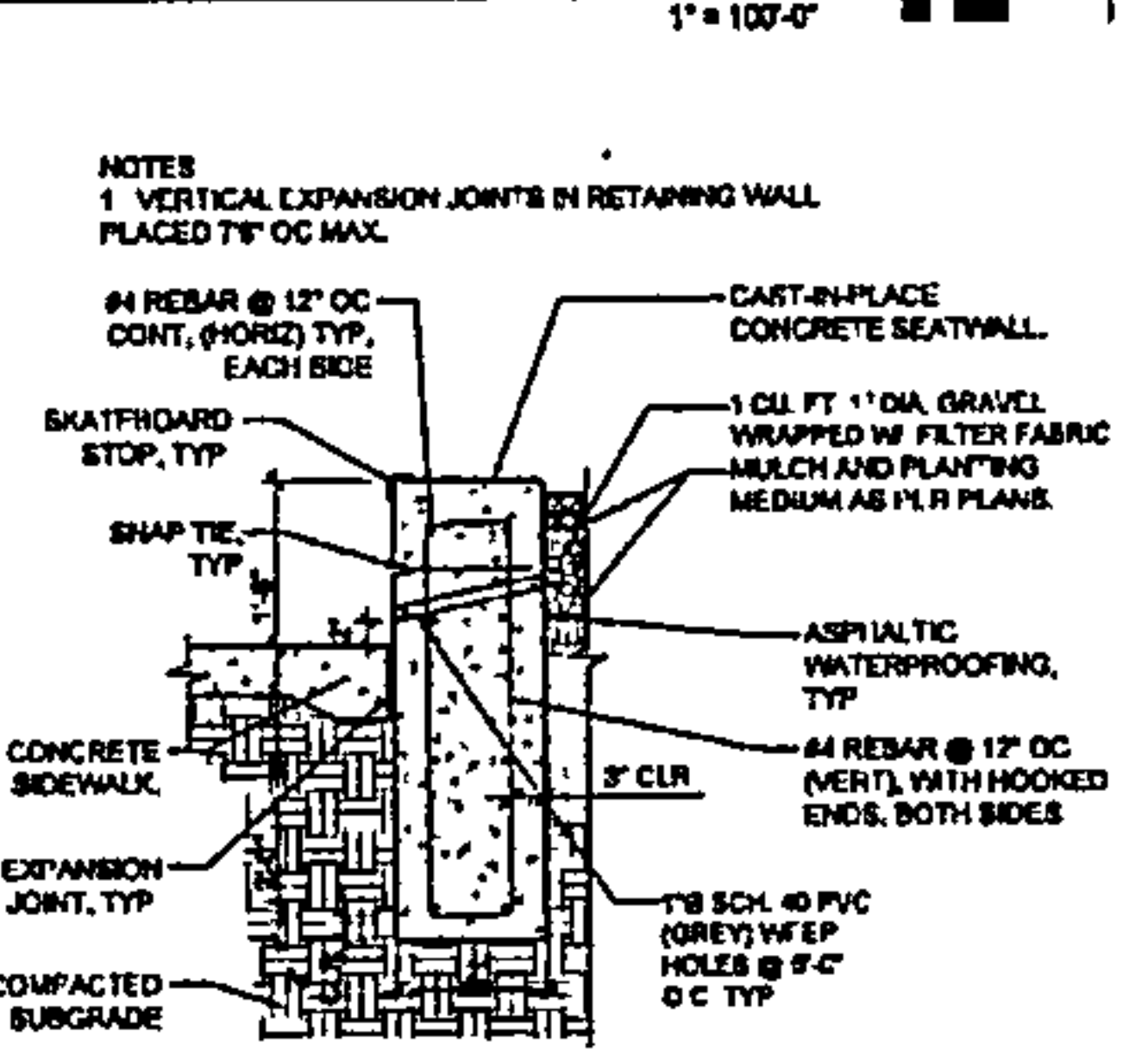
LANDSCAPE PLAN 1"=50'-0"



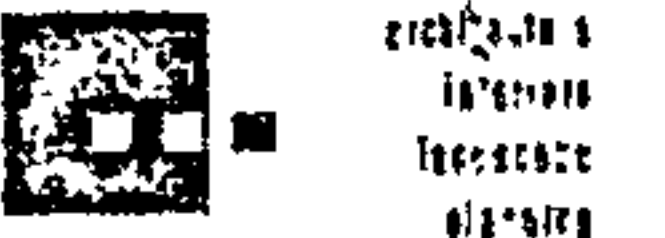
A1 TREE 3/4"=1'-0"



A2 WATER HARVESTING AREA 1/2"=1'-0"



A3 CONC. SEAT PLANTER 3/4"=1'-0"



Dekker Perich Sabatini
701 1/2 S.W. 13th Ave
Albuquerque, NM 87104
505 255 1100
505 255 1225
dps@dsd.com
ARCHITECT

TARGET @ ABQ Uptown
Albuquerque, New Mexico
DRB SUBMITTAL

DRB SUBMITTAL

DRB SUBMITTAL

DRB SUBMITTAL

DRB SUBMITTAL

DRB SUBMITTAL

DRB SUBMITTAL

DRB SUBMITTAL

LANDSCAPE PLAN - PHASE II
05 of 21

September 18, 2013

Mark Twain Neighborhood Association "R"
Ms. Barbara Lohbeck
1402 California St. NE
Albuquerque, NM 87110

Re: Target, 2120 Louisiana Boulevard NE
Southeast corner of Louisiana Boulevard NE and Indian School Road NE
Reason for Request: Target at Uptown Site Development Plan for Subdivision & Re-plat
Legal Description: Tract A of Hunt – Spectrum Development Site

Dear Ms. Lohbeck:

A letter was sent notifying you that Target wishes to subdivide their property to prepare for development of the pad sites at the southwest and northeast corners.

The hearing date that was mentioned in that letter was incorrect. The correct date is October 16, 2013 at 9:00 am in the Plaza Del Sol building located at 600 2nd Street NW (Hearing room on the lower level), Albuquerque, NM.

If you have any questions or need clarification, please feel free to contact me at:

Dekker/Perich/Sabatini
7601 Jefferson NE, Suite 100
Albuquerque, NM 87109
505-761-9700

Sincerely,

Dekker/Perich/Sabatini
Agent for Target



Christopher R. Gunning, AIA, LEED AP
Principal

Attachments:
Previous notification letter (VOIDED)
Site Development Plan for Subdivision
Landscaping Plan

September 10, 2013

Mark Twain Neighborhood Association "R"
Ms. Barbara Lohbeck
1402 California St. NE
Albuquerque, NM 87110

Re: Target, 2120 Louisiana Boulevard NE
Southeast corner of Louisiana Boulevard NE and Indian School Road NE
Reason for Request: Target at Uptown Site Development Plan for Subdivision & Re-plat
Legal Description: Tract A of Hunt – Spectrum Development Site

Dear Ms. Lohbeck:

A Site Development Plan for Building Permit (SPBP) was reviewed and approved for the subject property approximately one and a half years ago (11DRB-70284). Since then, the Target store has been constructed and the Owners now wish to subdivide the property to prepare for development of the pad sites at the southwest and northeast corners. We submitted for sketch plat review and appeared before DRB on November 7, 2012 (12DRB-70350), where we received direction to submit for a Site Development Plan for Subdivision (SPS) per the USDP process, and to then submit for re-plat concurrently.

The City of Albuquerque Planner assigned to this project is Chris Hyer. He can be reached at 924-3927 or via email at chyer@cabq.gov.

VOIDED

The hearing is scheduled for ~~September 25, 2013 at 9:00 am~~ in the Plaza Del Sol building located at 600 2nd Street NW (Hearing room on the lower level), Albuquerque, NM.

If you have any questions or need clarification, please feel free to contact me at:

Dekker/Perich/Sabatini
7601 Jefferson NE, Suite 100
Albuquerque, NM 87109
505-761-9700

Sincerely,

Dekker/Perich/Sabatini
Agent for Target



Christopher R. Gunning, AIA, LEED AP
Principal

Attachments: Site Development Plan for Subdivision and Landscaping Plan

DRAWN BY	SJT
REVIEWED BY	CRG
DATE	06/03/2013
PROJECT NO.	11-0096.002
DRAWING NAME	

SITE DEVELOPMENT PLAN
 FOR SUBDIVISION

GENERAL NOTES

- REFER TO SHEET 3 FOR DESIGN STANDARDS
- REFER TO CIVIL DRAWING SHEET 2 FOR CONCEPTUAL UTILITY PLAN
- APPLICABLE PLANS, UPTOWN SECTOR DEVELOPMENT PLAN (2009)
- PROPOSED USES: MIXED USE INCLUDING RETAIL, RESTAURANT AND HOUSING

KEYED NOTES

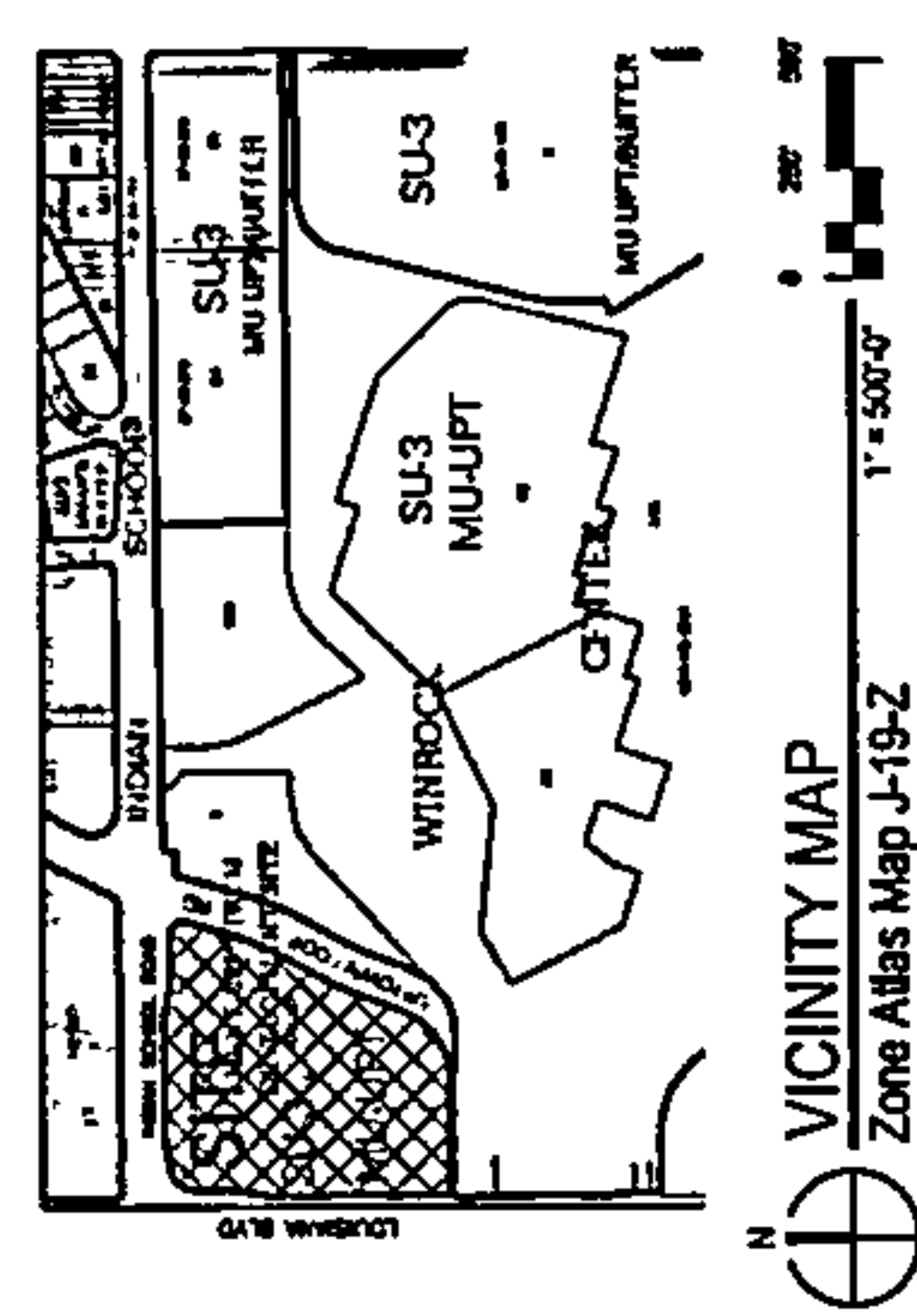
- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE

SITE DATA

LEGAL DESCRIPTION:
 TRACT A, UNIT - SPECTRUM DEVELOPMENT SITE
 ZONE:
 SU-3 FOR MU-UPT

SITE PLAN LEGEND

- PEDESTRIAN WALKWAYS / EGRESS
- VEHICULAR WALKWAYS / EGRESS
- PROPERTY LINE EXISTING AS NOTED
- PROPERTY LINE PROPOSED AS NOTED



FORAHER PROJECT NUMBER: 197216
 PROJECT NUMBER: 197216

APPLICATION NUMBER: 11-0096.002

DATE: 06/03/2013

DATE: 06/03/2013

DATE: 06/03/2013

DATE: 06/03/2013

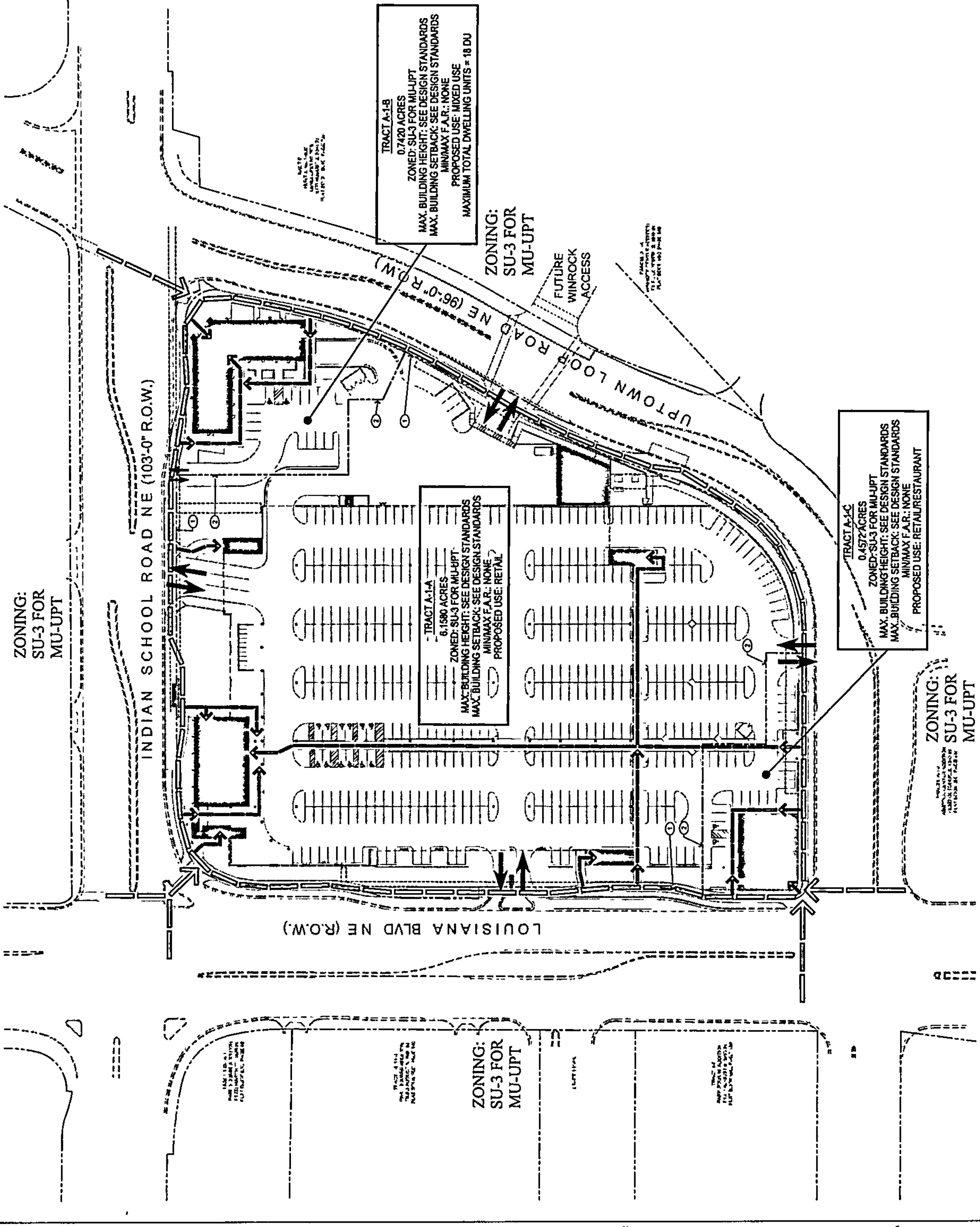
DATE: 06/03/2013

DATE: 06/03/2013

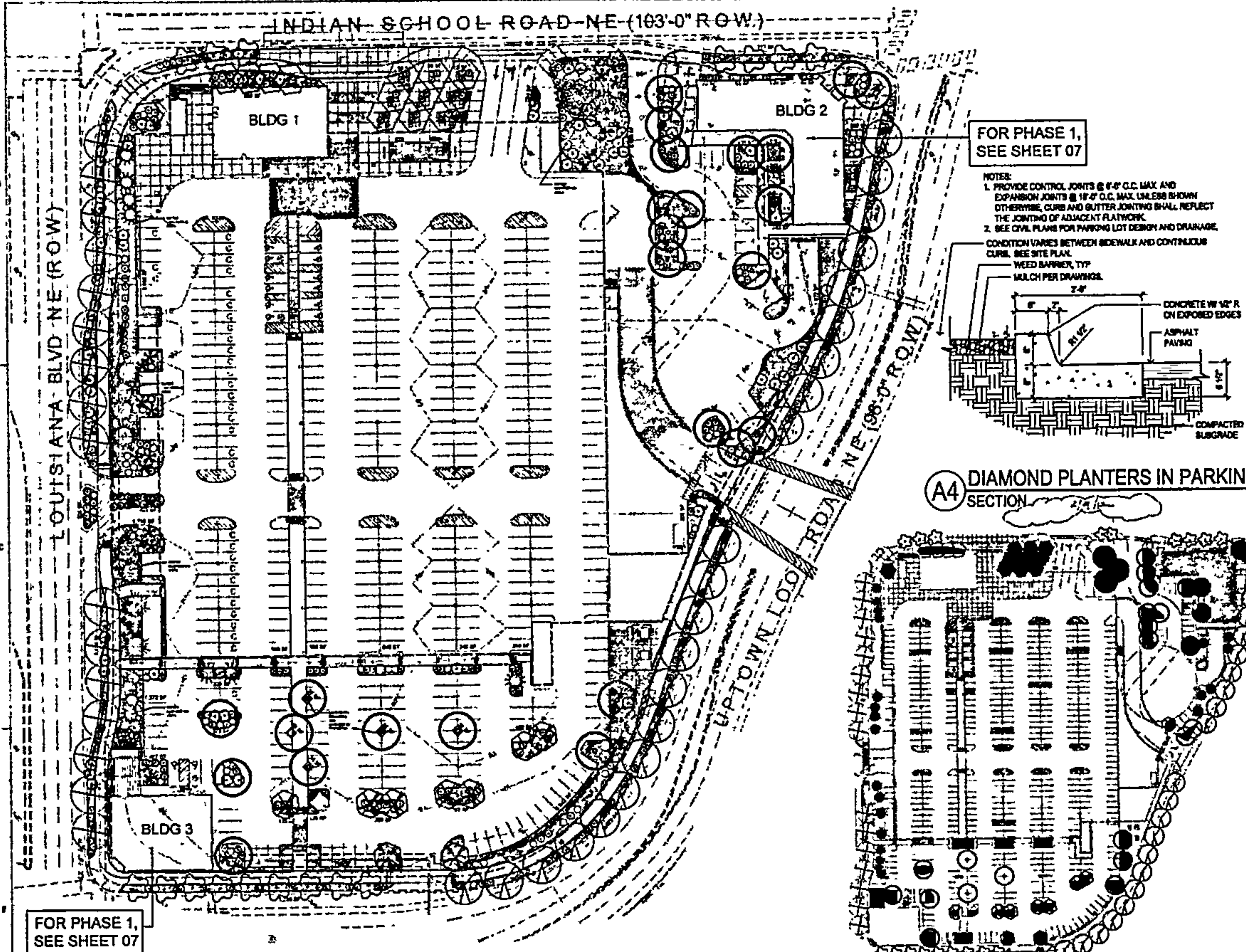
DATE: 06/03/2013

SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
ARCWMA	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE



N
 1" = 50'-0"
SITE PLAN - PHASE 2 (FULL BUILD-OUT)



PLANTING LEGEND

TREES	SYM	QTY	BOTANICAL NAME/ COMMON NAME	INSTALLATION SIZE	MATURE SIZE (HxW) WATER USE
	26		Platanus chinensis/ CHINESE PISTACHE	3" Cal.	35x207 Medium
	19		Cercia reiformis/ WESTERN REDBUD	2" Cal./B&B Multi-trunked	25x187 Medium
	23		Chiopsis leaved/Arts Seedless/ DESERT WILLOW	48" Bow/ Multi-trunked	25x357 Low
	3		Populus deltoides wislizenii/ RIO GRANDE VALLEY COTTONWOOD	2" Cal./B&B	60x607 High
	22		Quercus buckleyi/ TEXAS RED OAK	2" Cal./B&B	25x257 Medium
	16		Quercus muhlenbergii/ CHINGUAPIN OAK	2" Cal./B&B	30x307 Medium
	12		Tilia cordata LITTLELEAF LINDEN	2" Cal./B&B	35x307 Medium
	11		Juniperus chinensis 'Spartan' SPARTAN JUNIPER	6" High/B&B	15x87 Low
	18		Pinus strobusiformis/ SOUTHWESTERN WHITE PINE	6" High/B&B	60x207 Low

SHRUBS	SYM	BOTANICAL NAME/ COMMON NAME	INSTALLATION SIZE	MATURE SIZE (HxW) WATER USE
		Eriocameria laricina/ TURPENTINE BUSH	1 Gal. Cont.	36"x367" Low
		Baccharis x "Carnegiei"/ CENTENNIAL BROOM	1 Gal. Cont.	36"x427" Low
		Caryophyllus clandestinus "Dark Knight"/DARK NIGHT BLUE MIST SPIREA	1 Gal. Cont.	48"x487" Medium
		Mahonia aquifolium "Compendium"/ COMPACT MAHONIA	1 Gal. Cont.	24"x487" Medium
		Rosmarinus officinalis/ UPRIGHT ROSEMARY	1 Gal. Cont.	60"x487" Low
		Rhus aromatica "Gro-low"/ GRO-LO FRAGRANT SUMAC	1 Gal. Cont.	24"x727" Medium
		Salvia greggii/ AUTUMN SAGE	1 Gal. Cont.	30"x367" Low
		Verbena bipinnatifida/ PRAIRIE VERBENA	1 Gal. Cont.	6"x367" Low
		Callitriche involucrata/ WINECUPS	1 Gal. Cont.	18"x187" Low
		Ceratostigma plumbaginoides/ DWARF PLUMBAGO	1 Gal. Cont.	12"x187" Medium
		Gaillardia aristata/ BLANKETFLOWER	1 Gal. Cont.	30"x207" Low
		Hymenocallis scutellata/ ANGELITA DAISY	1 Gal. Cont.	12"x127" Low
		Lavandula angustifolia "Hidcote" SUPERIOR/ HIDCOTE SUPERIOR LAVENDER	1 Gal. Cont.	16"x187" Medium
		Mirabilis multiflora/ DESERT FOUR-O'CLOCK	1 Gal. Cont.	18"x307" Medium
		P. barbatus/ RED PENSTEMON	1 Gal. Cont.	50"x367" Low
		Teucrium chamaedrys/ TRAILING GERMANDER	1 Gal. Cont.	12"x247" Medium

GRASSES	SYM	BOTANICAL NAME/ COMMON NAME	INSTALLATION SIZE	MATURE SIZE (HxW) WATER USE
		Festuca hachensis "Stakkyou Blue"/SISKIYOU BLUE FESCUE	1 Gal. Cont.	18"x187" Medium
		Muhlenbergia capillaris "Regal Mist"/REGAL MIST MULLENBERGIA	1 Gal. Cont.	36"x427" Medium
		Muhlenbergia rigens/ DEER GRASS	1 Gal. Cont.	42"x487" medium
		Nolina microcarpa/ BEARGRASS	1 Gal. Cont.	36"x487" medium
		Miscanthus sinensis/ MAIDEN GRASS	1 Gal. Cont.	60"x487" medium

ACCENTS	SYM	BOTANICAL NAME/ COMMON NAME	INSTALLATION SIZE	MATURE SIZE (HxW) WATER USE
	*	Agave parryi/ PARRY'S AGAVE	1 Gal. Cont.	36"x367" Low
		Dasyliion wheeleri/ SOTOL	1 Gal. Cont.	48"x607" Low
		Hesperaloe parviflora/ RED HESPERALOE	1 Gal. Cont.	48"x487" Medium
		Opuntia basilaris/ BEAVERTAIL PRICKLY PEAR	1 Gal. Cont.	12"x487" Low
		Opuntia engelmannii/ ENGELMANN'S PRICKLY PEAR	1 Gal. Cont.	48"x607" Low
		Yucca glauca/ Soapweed	1 Gal. Cont.	36"x607" Low
		Yucca rupicola/ TWISTED LEAF YUCCA	1 Gal. Cont.	36"x367" Low

MULCHES	SYM	DESCRIPTION
		ROCK MULCH
		ORGANIC PECAN SHELL MULCH

LANDSCAPE CALCULATIONS

SITE AREA: 7.3572 AC (AFTER R.O.W. DEDICATION)
 OPEN SPACE REQUIREMENT (10% OF THE SITE): 32,048 SF
 OPEN SPACE PROVIDED: 41,038 SF
 LANDSCAPE REQUIREMENT (40% OF OPEN SPACE): 16,414 SF
 LANDSCAPE AREA PROVIDED: 39,179 SF
 *NET LOT AREA WAS NOT USED IN THESE CALCULATIONS.

OPEN SPACE CALCULATIONS DO NOT INCLUDE REQUIRED LANDSCAPE STRIPS ALONG THE STREET OR WALKWAYS EXCEPT ANY PORTION OF A WALKWAY THAT IS WIDER THAN 10 FEET.

A MINIMUM OF 75% OF LANDSCAPE AREAS AND 80%-75% OF PLANTING STRIPS SHALL BE COVERED WITH LIVE VEGETATIVE MATERIALS.

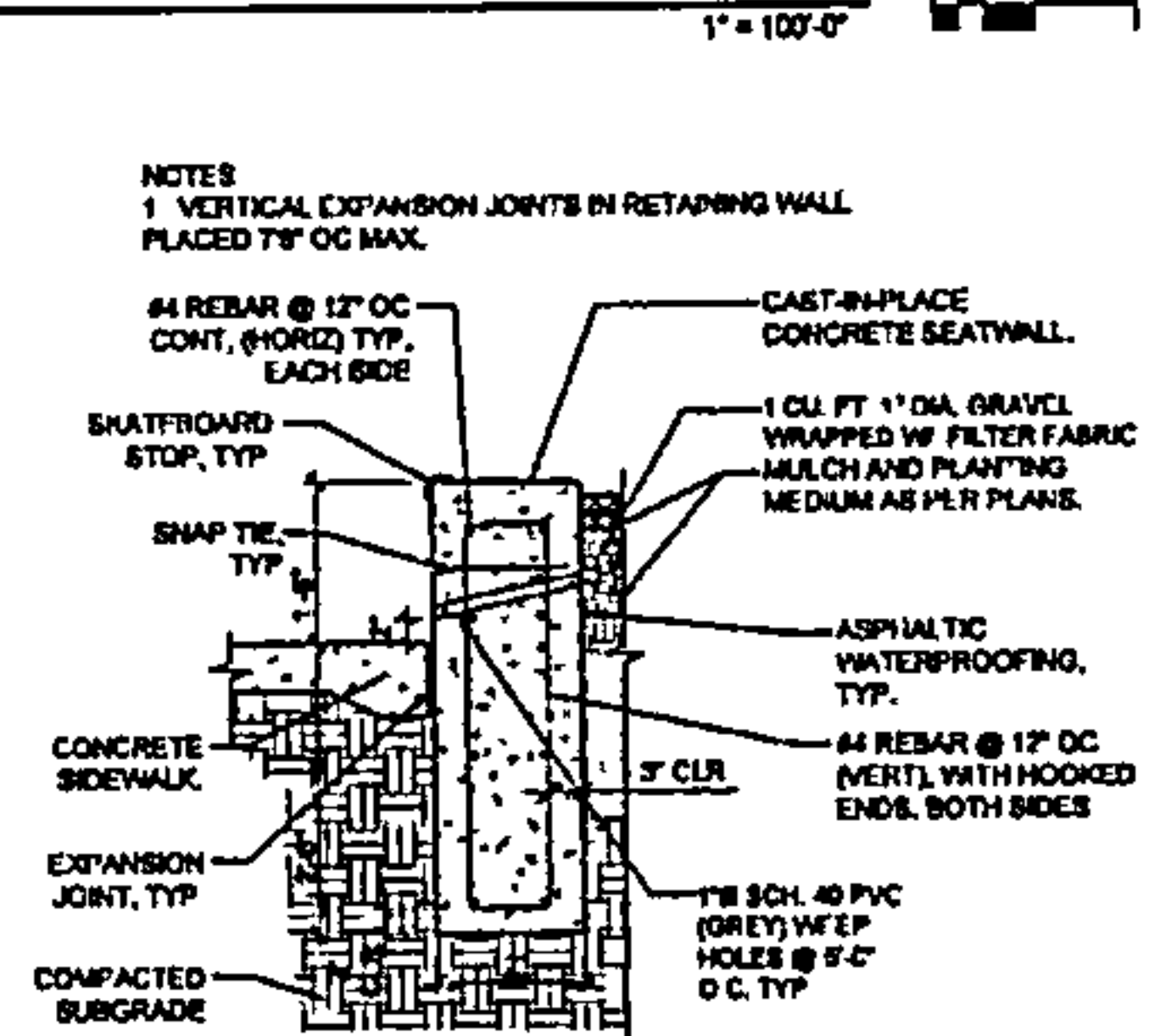
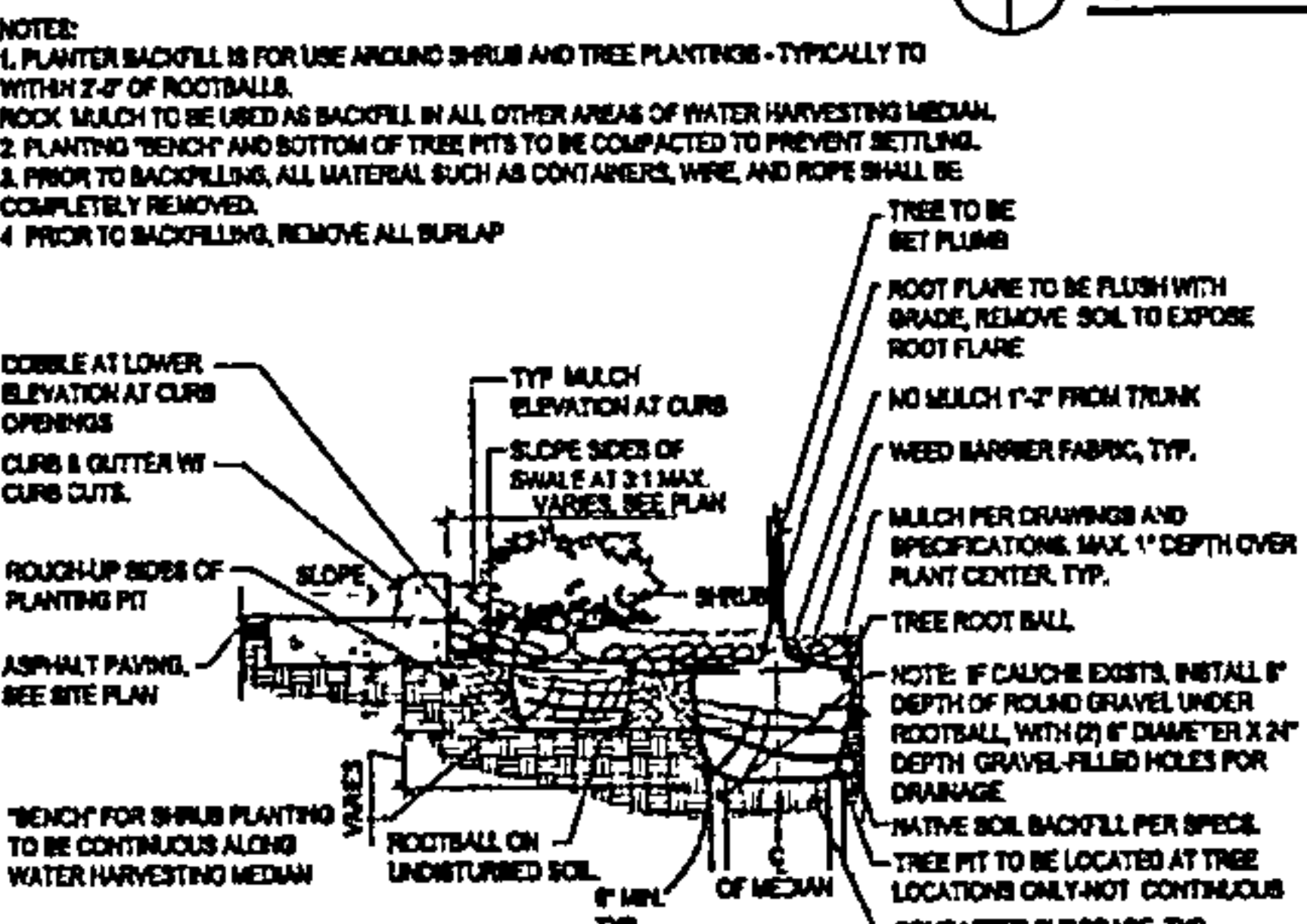
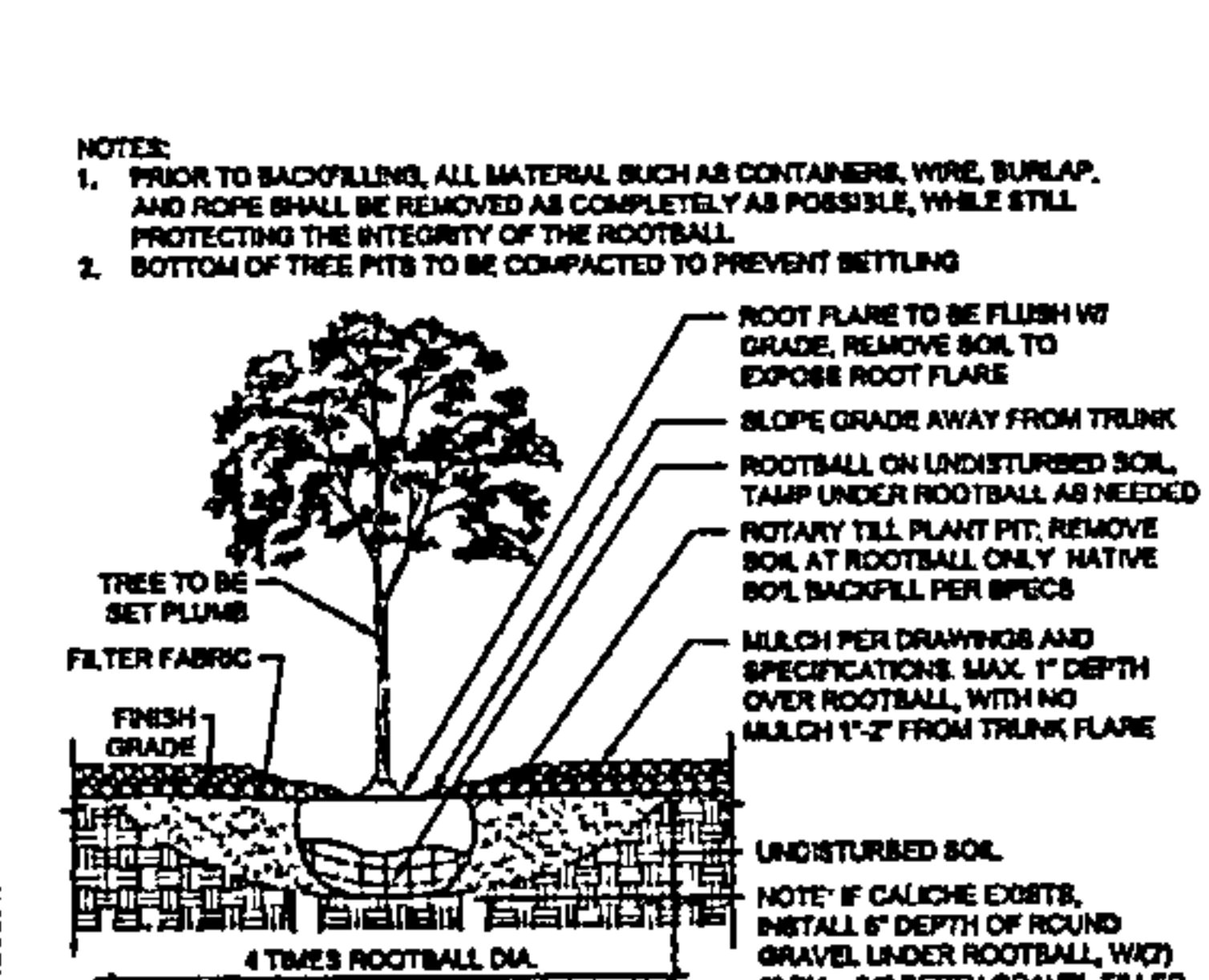
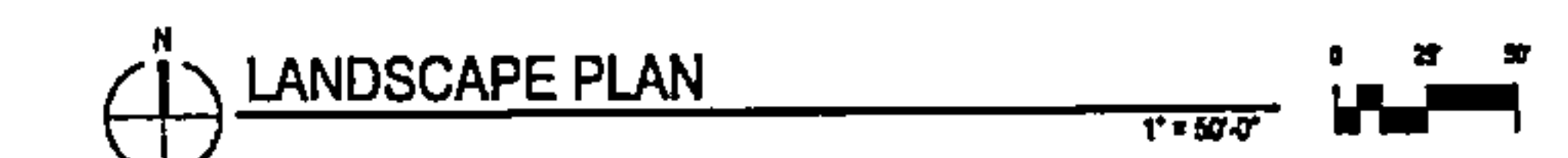
A MINIMUM OF 10% OF LANDSCAPE AREAS WILL HAVE FLOWERING PLANTS OR SHRUBS.

TOTAL SHADE TREES: 80 (% OF TREES)
 TOTAL SIGNATURE TREES: 38 (% OF TREES)

ROCK MULCH HAS BEEN LIMITED TO LESS THAN 5% OF ANY OPEN SPACE AREA AND USED ONLY WHERE NECESSARY AROUND DRAINAGE INLETS. ALL OTHER MULCH AREAS UTILIZE ORGANIC PECAN SHELL MULCH.

LANDSCAPE NOTES

- DESIGN: THE PLANTING DESIGN INCLUDES A DIVERSE PALETTE OF DESERT AND HIGH DESERT PLANTS THAT WILL COMPLEMENT THE ARCHITECTURE OF THE PROJECT. THE INTENT IS TO LANDSCAPE THIS MIXED-USE, URBAN ENVIRONMENT WITH DESERT AND HIGH DESERT PLANTS THAT REINFORCE A SENSE OF PLACE AND ARE APPROPRIATE TO ALBUQUERQUE'S CLIMATE.
- GRASSES AND ACCENT PLANTS SUCH AS YUCCA, SOTOL, AND PRICKLY PEAR CACTUS WILL BE USED IN HIGHLY VISIBLE AND APPROPRIATE LOCATIONS. THE USE OF REGIONALLY NATIVE TREES FOR STREET TREES, WHILE UNORTHODOX, WILL REINFORCE THE SENSE OF PLACE, BUFFER PEDESTRIANS FROM VEHICULAR AREAS AND PROVIDE A COMFORTABLE PEDESTRIAN SCALE TO THE STREETS.
- PLANTING AND IRRIGATION INSTALLATION DETAILS SHALL MEET CITY OF ALBUQUERQUE REQUIREMENTS AND THE USDP REQUIREMENTS. EACH TREE SHALL HAVE A MINIMUM OF 36 SQUARE FEET OF PLANTING SPACE.
- PLANTING AND IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- CONTROLLER: THE IRRIGATION SYSTEM SHALL BE RUN WITH A FULLY AUTOMATED IRRIGATION CONTROLLER. THE RUN TIME FOR THE VARIOUS ZONES SHALL BE APPROXIMATELY 45 MINUTES FOR THE DRIP ZONES. RUN TIME WILL BE ADJUSTED ACCORDING TO SEASON, LOCATION, AND PLANT PERFORMANCE. DRIP EMITTERS SHALL BE USED FOR ALL PLANT MATERIAL.
- POINT OF CONNECTION: THERE IS LIKELY TO BE MORE THAN ONE POINT OF CONNECTION FOR THIS PROJECT. THE WATER CONNECTION LOCATIONS WILL BE COORDINATED WITH THE OVERALL WATER SERVICE DESIGN FOR THE SITE. THE EXACT LOCATIONS FOR CONNECTIONS AND CONTROLLERS IS UNKNOWN AT THIS TIME.
- MULCH: ALL PLANTING BEDS SHALL BE COVERED WITH MULCH. GRAVEL, BARK AND PECAN SHELL MULCHES WILL BE USED APPROPRIATELY TO ADD VISUAL INTEREST AND PROTECT SOIL MOISTURE.
- THE PARKING AREA TREES SELECTED FOR USE AT TARGET @ TOWN AND SHURB PITS TO BE 4 TIMES THE ROOTBALL DIAMETER.
- THERE IS NO HIGH WATER USE TURF USED ON THIS PROJECT.
- THE LANDSCAPE DESIGN SHALL COMPLY WITH THE INTENT OF THE CITY OF ALBUQUERQUE WATER CONSERVATION, LANDSCAPING AND WATER WASTE ORDINANCE.
- SOIL PREPARATION AND AERATION WITHIN ROW IS REQUIRED TO DE-COMPACT LANDSCAPE ZONE PRIOR TO PLANTING.
- PASSIVE WATER HARVESTING, SUCH AS HARVESTING OF STORM WATER SURFACE RUNOFF AND ROOF RUNOFF, SHALL BE UTILIZED WHERE FEASIBLE AND CAPTURED IN SWALES.
- SOIL AMENDMENTS WILL BE USED FOR PLANT MATERIAL.
- PLANT AND IRRIGATION MAINTENANCE WILL BE THE RESPONSIBILITY OF THE OWNER FOLLOWING SUBSTANTIAL COMPLETION OR ANY MAINTENANCE PERIODS.
- THE LANDSCAPE DESIGN REQUIRES A PERMANENT, FULLY AUTOMATIC IRRIGATION SYSTEM TO SUPPORT THE PLANT MATERIAL.
- THE IRRIGATION SYSTEM WILL BE CONNECTED TO CITY WATER. THE POINT OF CONNECTION WILL CONSIST OF A WATER METER, BACKFLOW PREVENTER AND MASTERVALVE, SEE CCA STD DETAIL #2701.
- THE CONTRACTOR SHALL CREATE AN IRRIGATION PLAN TO PERMANENTLY IRRIGATE THE PROPOSED PLANTINGS, AND SHALL SUBMIT THIS TO THE ARCHITECT FOR REVIEW AND APPROVAL. THE PLAN SHALL INCLUDE A PIPING AND EMITTER LAYOUT WITH SIZING, VALVE SCHEDULE AND CONSTRUCTION DETAILS.
- CONTROLLED: THE IRRIGATION SYSTEM SHALL BE RUN WITH FULLY AUTOMATED IRRIGATION CONTROLLER. RUN TIME WILL BE ADJUSTED ACCORDING TO PLANT MATURITY, SEASON, LOCATION, AND PLANT PERFORMANCE.
- DRIP EMITTERS SHALL BE USED FOR ALL PLANT MATERIAL.
- REFER TO DRAINAGE PLAN FOR GRADING INFORMATION AND WATER HARVESTING LOCATIONS.



A1 TREE
3/4" = 1'-0"

A2 WATER HARVESTING AREA
1/2" = 1'-0"

A3 CONC. SEAT PLANTER
3/4" = 1'-0"

Dekker Perich Sabatini
 7801 Jefferson NE Suite 100
 Albuquerque, NM 87110
 505.761.0222
 dsabatini@dsn.com

TARGET @ ABQ Uptown
 Albuquerque, New Mexico

DRB SUBMITTAL

NO.	REVISIONS	DATE	BY
1	ISSUED FOR PERMIT	11/10/2011	JG
2	ISSUED FOR PERMIT	11/10/2011	MB

PROJECT NO: 104-1356

September 10, 2013

Mark Twain Neighborhood Association "R"
Ms. Noreen Bladergroen
1201 California St. NE
Albuquerque, NM 87110

Re: Target, 2120 Louisiana Boulevard NE
Southeast corner of Louisiana Boulevard NE and Indian School Road NE
Reason for Request: Target at Uptown Site Development Plan for Subdivision & Re-plat
Legal Description: Tract A of Hunt – Spectrum Development Site

Dear Ms. Bladergroen:

A letter was sent notifying you that Target wishes to subdivide their property to prepare for development of the pad sites at the southwest and northeast corners.

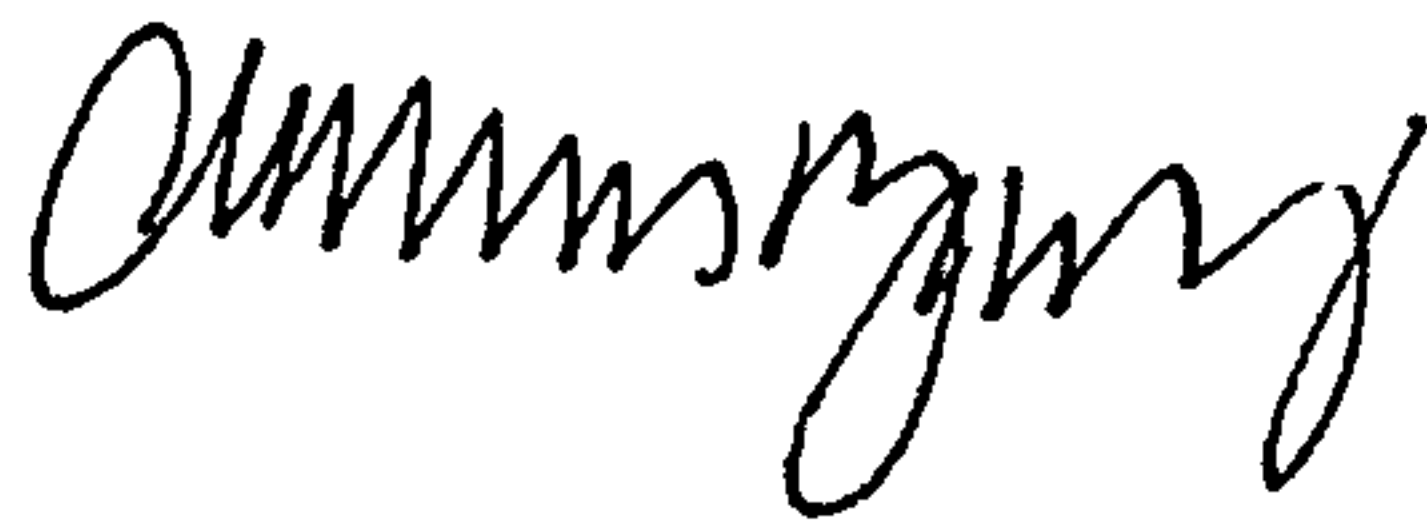
The hearing date that was mentioned in that letter was incorrect. The correct date is October 16, 2013 at 9:00 am in the Plaza Del Sol building located at 600 2nd Street NW (Hearing room on the lower level), Albuquerque, NM.

If you have any questions or need clarification, please feel free to contact me at:

Dekker/Perich/Sabatini
7601 Jefferson NE, Suite 100
Albuquerque, NM 87109
505-761-9700

Sincerely,

Dekker/Perich/Sabatini
Agent for Target



Christopher R. Gunning, AIA, LEED AP
Principal

Attachments:
Previous notification letter (VOIDED)
Site Development Plan for Subdivision
Landscaping Plan

September 10, 2013

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The City of Albuquerque Planner assigned to this project is Chris Hyer. He can be reached at 924-3927 or via email at chyer@cabq.gov.

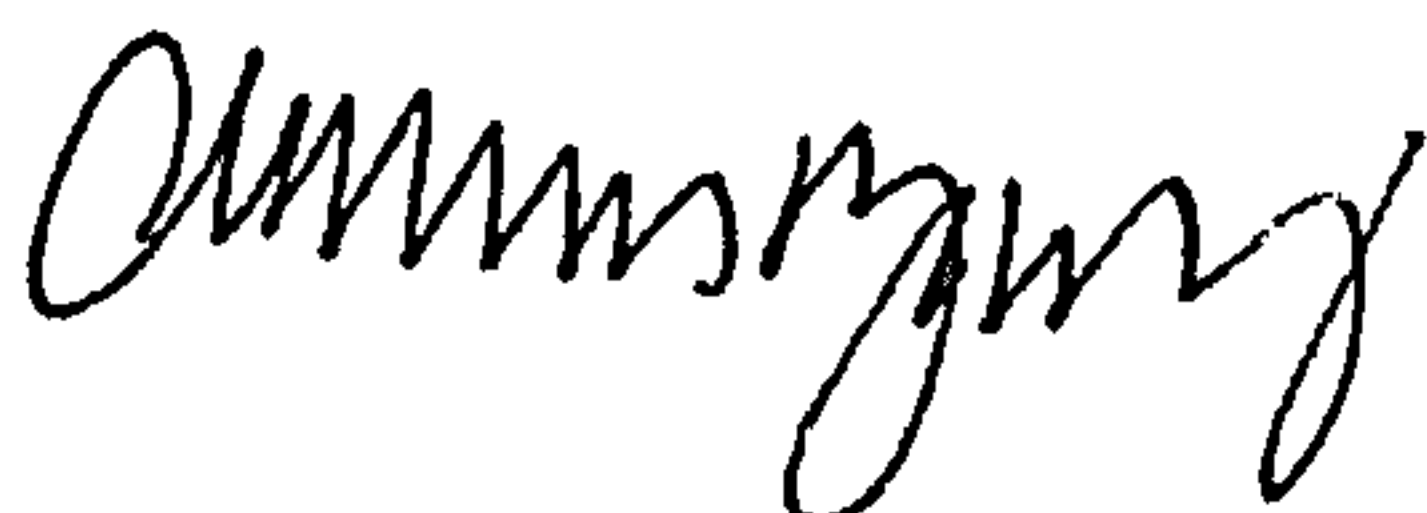
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Dekker/Perich/Sabatini
7601 Jefferson NE, Suite 100
Albuquerque, NM 87109
505-761-9700

Sincerely,

Dekker/Perich/Sabatini
Agent for Target



Christopher R. Gunning, AIA, LEED AP
Principal

Attachments: Site Development Plan for Subdivision and Landscaping Plan

Target at Uptown DRB SPS Neighborhood Notification - Page 1

**Dekker
Perich
Sabatini**

7001 Jefferson NE Suite 100
Albuquerque, NM 87110
505 761-9700
Fax 761-4222
psd@pdsdesign.org

ARCHITECT

ENGINEER

PROJECT

TARGET @ ABQ Uptown
Albuquerque, New Mexico
SITE PLAN FOR SUBDIVISION
DRB SUBMITTAL

REVISIONS

- △
- △
- △
- △

DRAWN BY: SJT

REVIEWED BY: CRG

DATE: 06/03/2013

PROJECT NO: 11-0098.002

DRAWING NAME

SITE DEVELOPMENT PLAN FOR SUBDIVISION

DATE

DATE

DATE

DATE

DATE

DATE

GENERAL NOTES

- A. REFER TO SHEET 3 FOR DESIGN STANDARDS
- B. REFER TO CIVIL DRAWING, SHEET 2 FOR CONCEPTUAL UTILITY PLAN
- C. APPLICABLE PLANS: UPTOWN SECTOR DEVELOPMENT PLAN (2009)
- D. PROPOSED USES: MIXED USE INCLUDING RETAIL, RESTAURANT AND HOUSING

KEYED NOTES

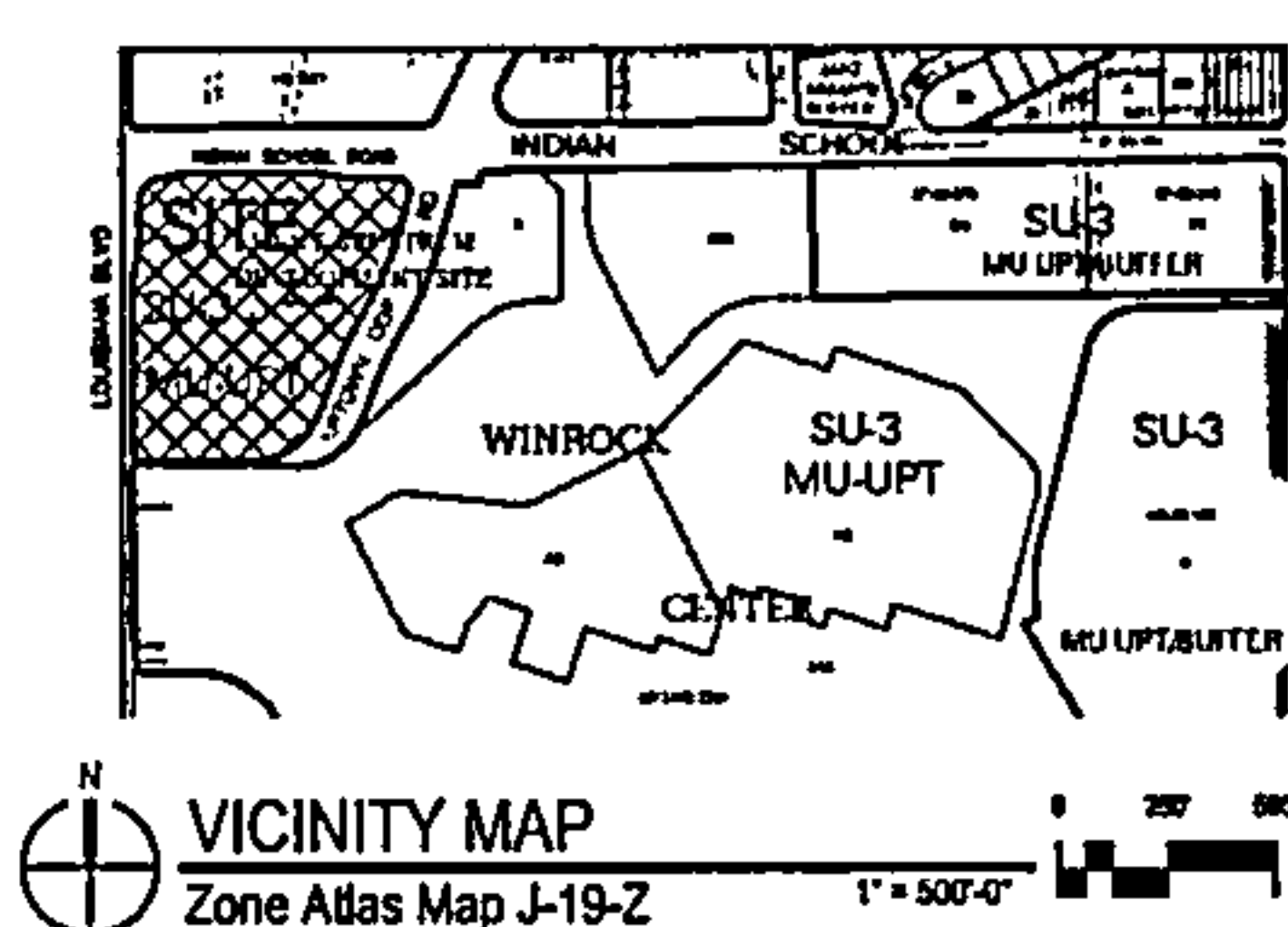
1. EXISTING PROPERTY LINE
2. PROPOSED PROPERTY LINE

SITE DATA

LEGAL DESCRIPTION:
TRACT A, HUNT - SPECTRUM DEVELOPMENT SITE
ZONE:
SU-3 FOR MU-UPT

SITE PLAN LEGEND

- PEDESTRIAN INGRESS / EGRESS
- ← VEHICULAR INGRESS / EGRESS
- - - - - PROPERTY LINE EXISTING AS NOTED
- - - - - PROPERTY LINE PROPOSED AS NOTED



FORMER PROJECT NUMBER: 1067316

PROJECT NUMBER: 1067316

APPLICATION NUMBER:

Is an Infrastructure List Required? () Yes () No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

SITE DEVELOPMENT PLAN APPROVAL

TRAFFIC ENGINEER, TRANSPORTATION DIVISION DATE

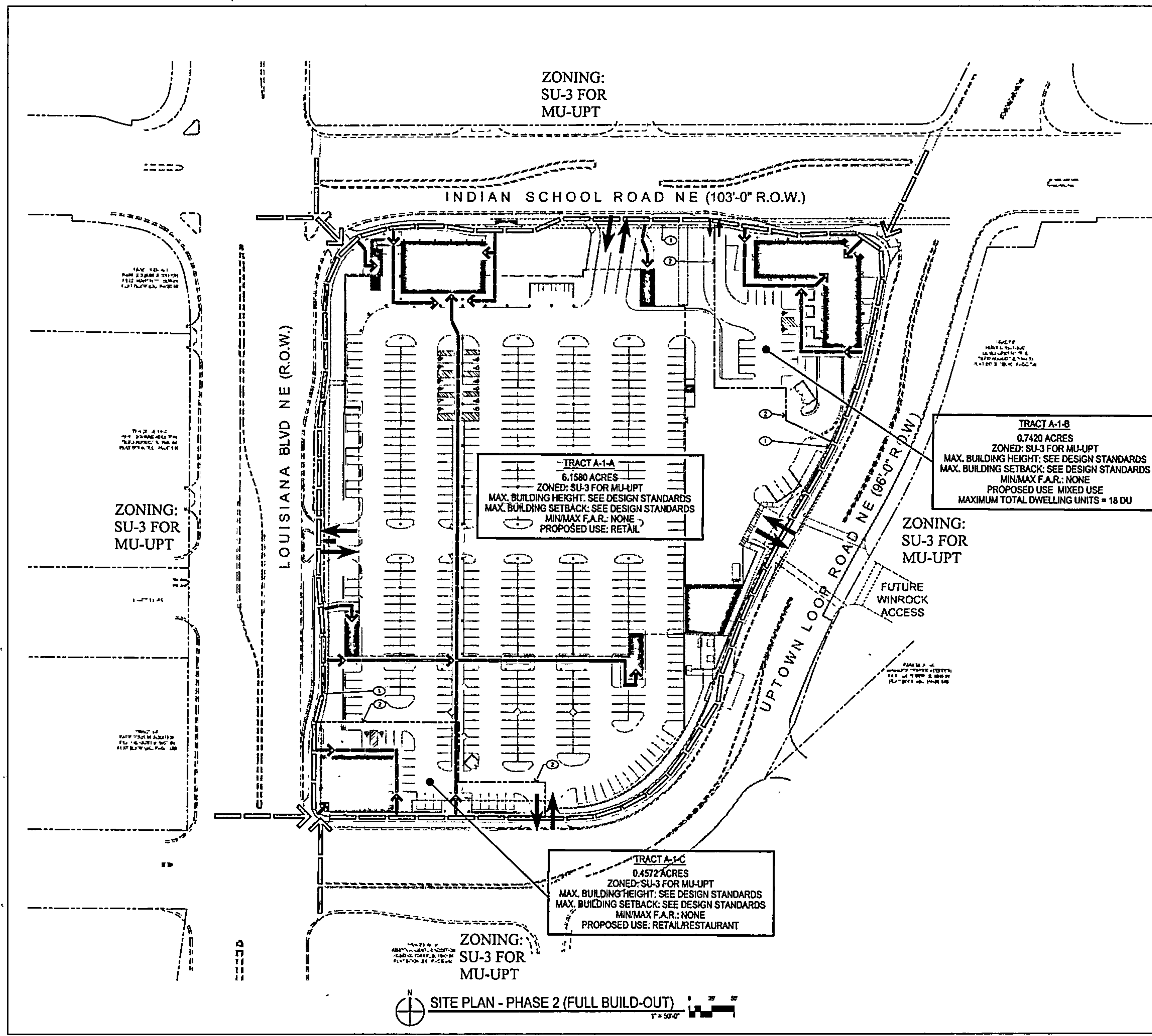
ABQVUA DATE

PARKS AND RECREATION DEPARTMENT DATE

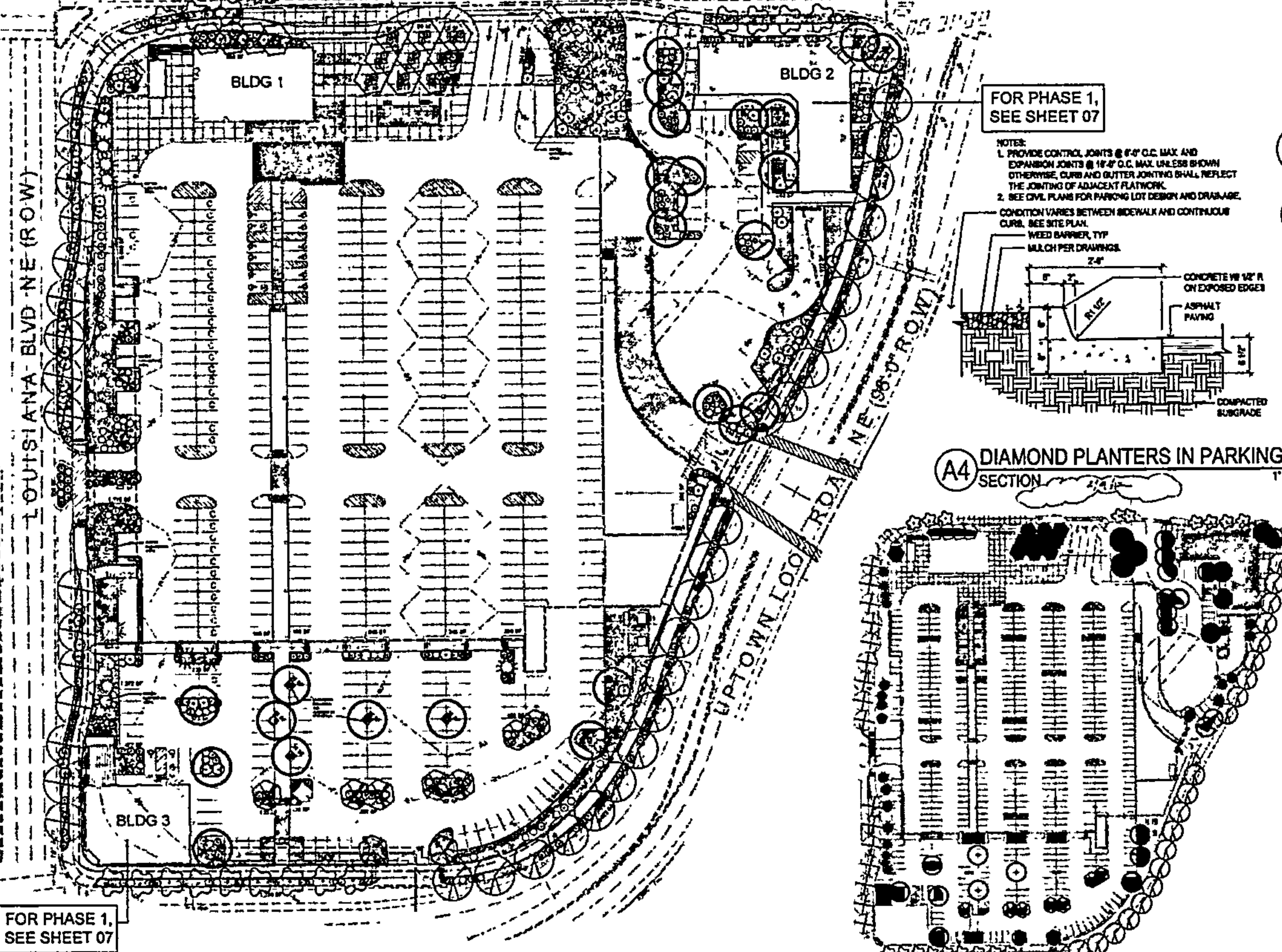
CITY ENGINEER DATE

SOLID WASTE MANAGEMENT DATE

DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

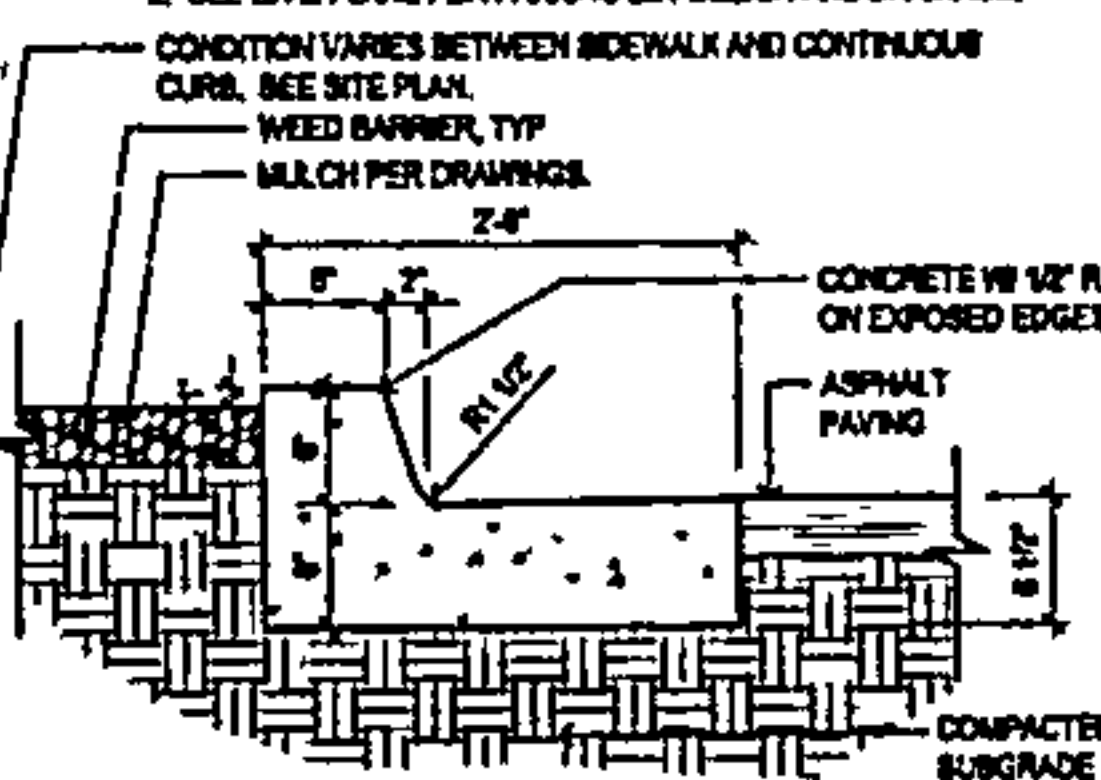


INDIAN SCHOOL ROAD-NE (103'-0" R.O.W.)

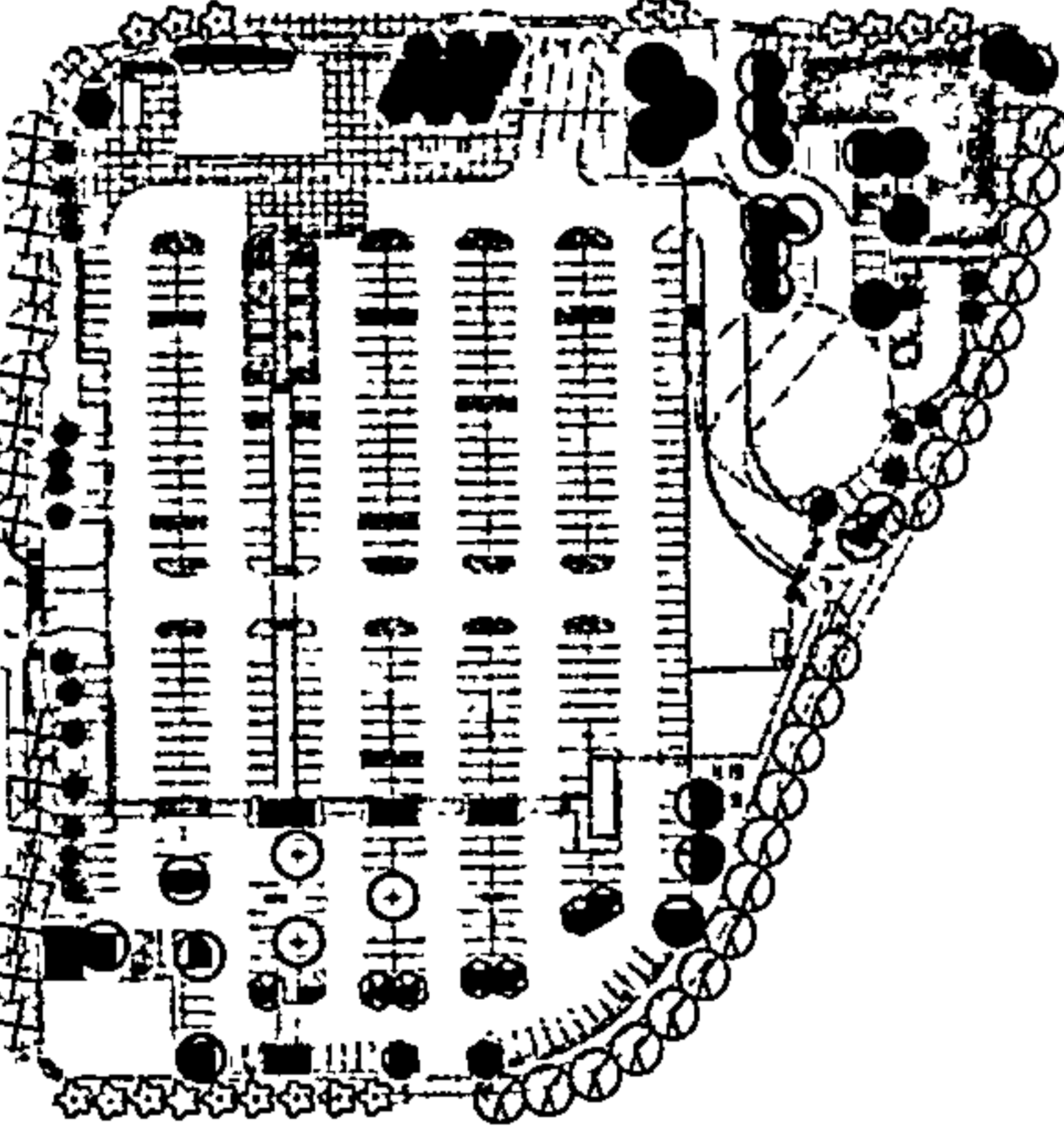


FOR PHASE 1, SEE SHEET 07

- NOTES: 1. PROVIDE CONTROL JOINTS @ 8' O.C. MAX AND EXPANSION JOINTS @ 16' O.C. MAX... 2. SEE CIVIL PLANS FOR PARKING LOT DESIGN AND DRAINAGE.



A4 DIAMOND PLANTERS IN PARKING LOT SECTION 1\"/>

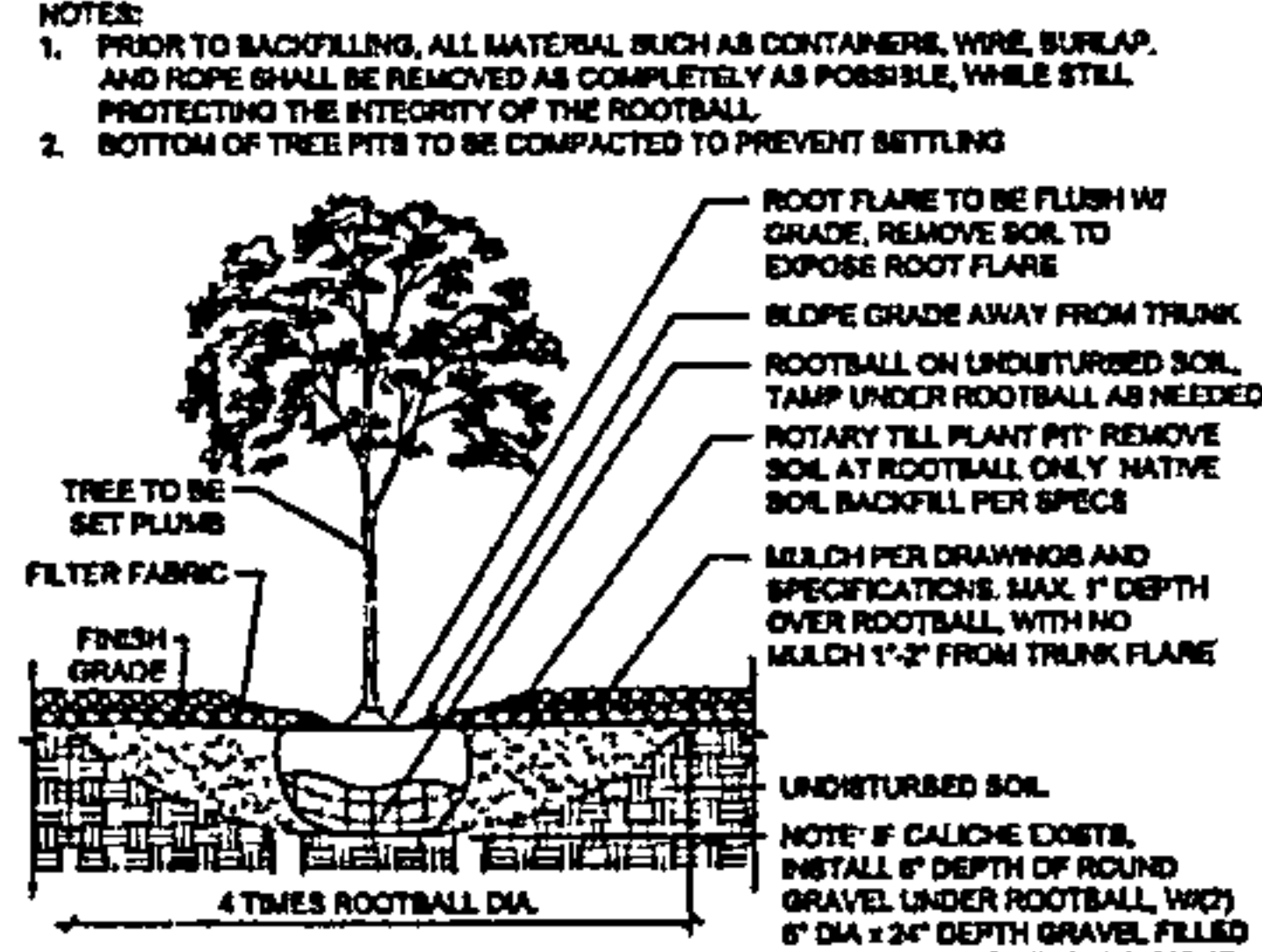


SHADED OPEN SPACE - 71 312 SF (52% OF TOTAL OPEN SPACE AREA)

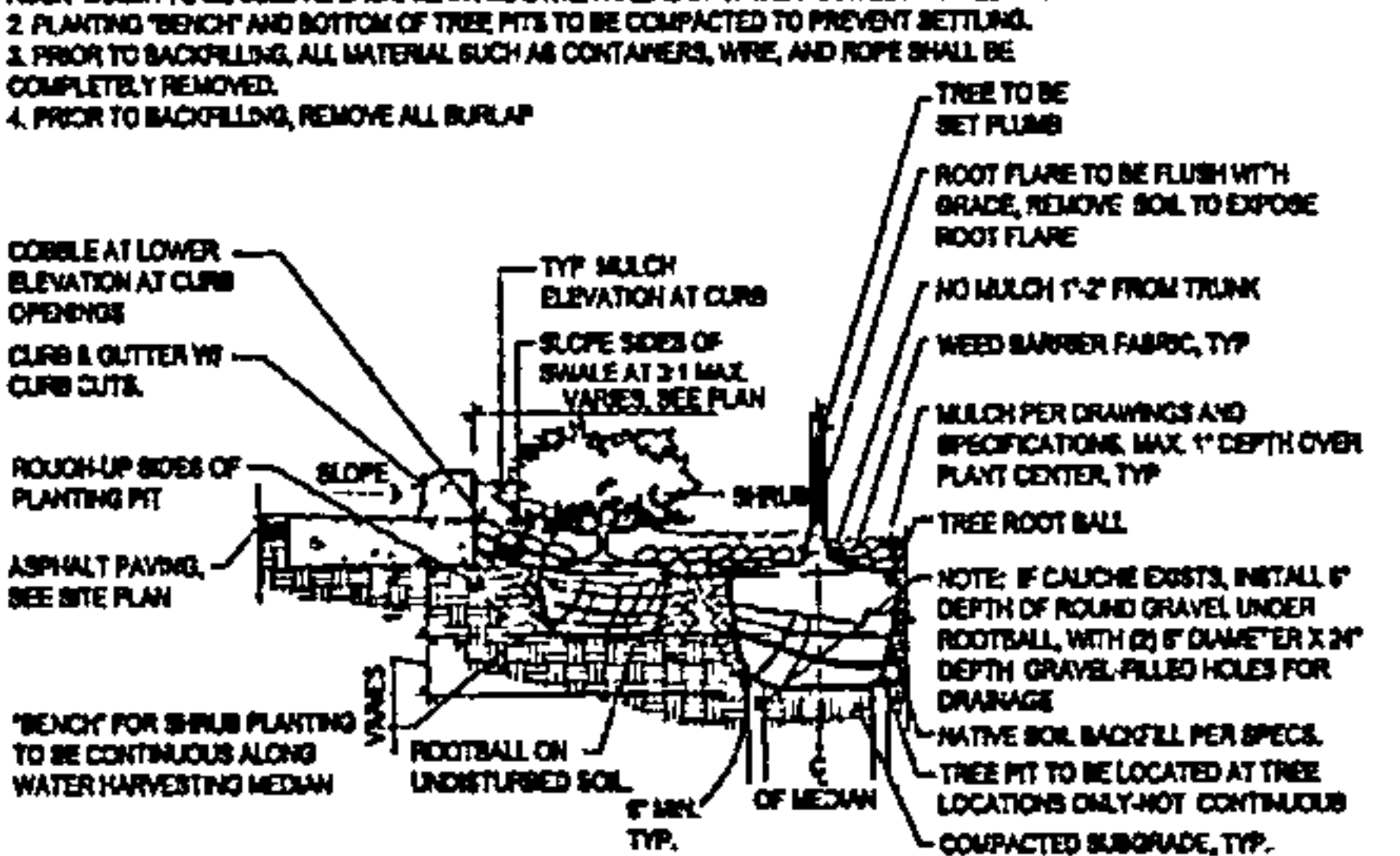
OPEN SPACE SHADE DIAGRAM 1\"/>

FOR PHASE 1, SEE SHEET 07

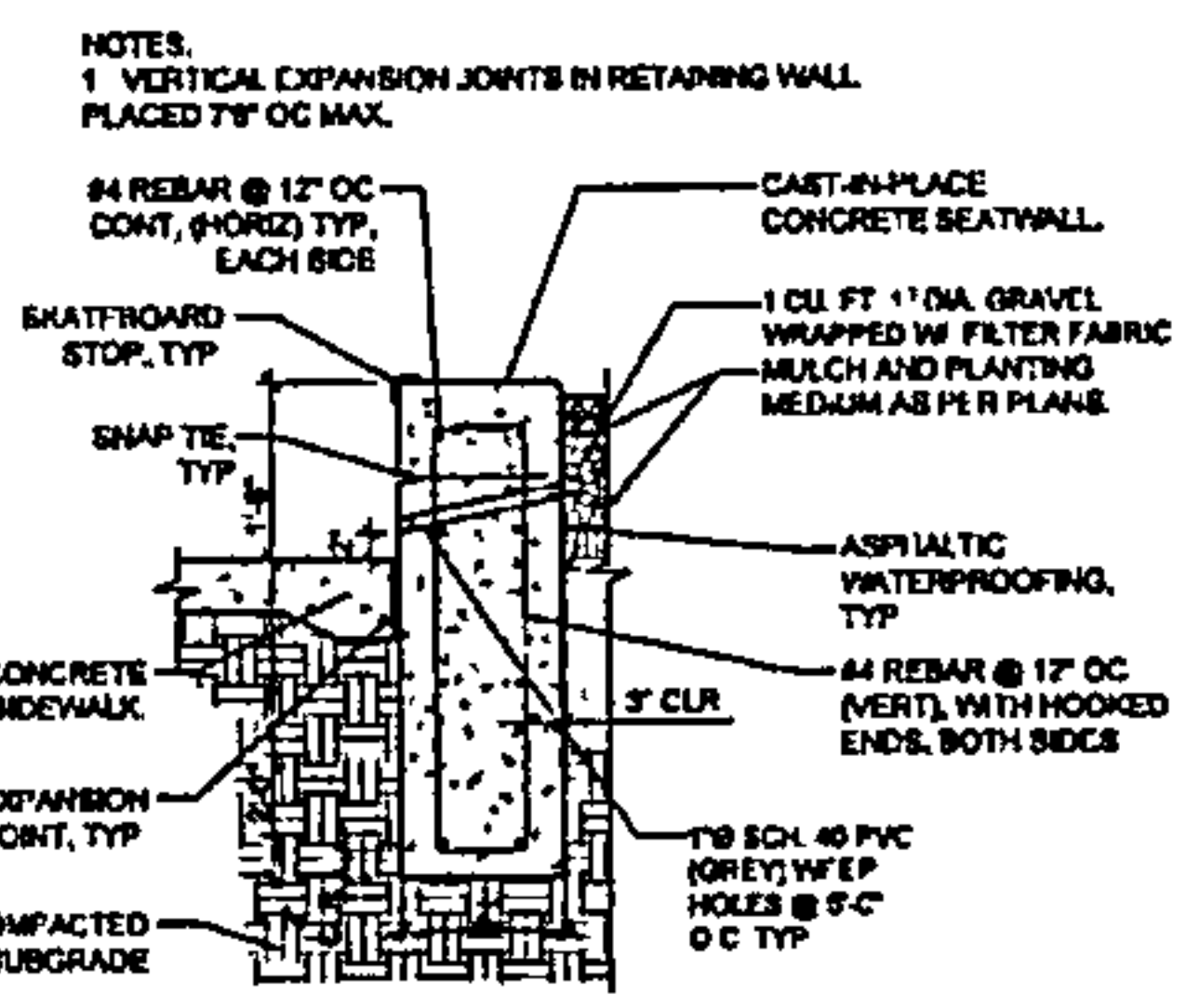
LANDSCAPE PLAN 1\"/>



A1 TREE 3/4\"/>



A2 WATER HARVESTING AREA 1/2\"/>



A3 CONC. SEAT PLANTER 3/4\"/>

PLANTING LEGEND

Table with columns: SYM, QTY, BOTANICAL NAME/COMMON NAME, INSTALLATION SIZE, MATURE SIZE (HxW), WATER USE. Lists trees like Pistacia chinensis, Cercis reniformis, etc.

Table with columns: SYM, BOTANICAL NAME/COMMON NAME, INSTALLATION SIZE, MATURE SIZE (HxW), WATER USE. Lists shrubs like Eriogonum fasciculatum, Baccharis, etc.

Table with columns: SYM, BOTANICAL NAME/COMMON NAME, INSTALLATION SIZE, MATURE SIZE (HxW), WATER USE. Lists grasses like Festuca idahoensis, Muhlenbergia capillaris, etc.

Table with columns: SYM, BOTANICAL NAME/COMMON NAME, INSTALLATION SIZE, MATURE SIZE (HxW), WATER USE. Lists accents like Agave pernyi, Dasylirion wheeleri, etc.

Table with columns: SYM, BOTANICAL NAME/COMMON NAME, INSTALLATION SIZE, MATURE SIZE (HxW), WATER USE. Lists mulches like Rock Mulch, Organic Pecan Shell Mulch.

LANDSCAPE CALCULATIONS

SITE AREA 7.3572 AC (AFTER R.O.W. DEDICATION) OPEN SPACE REQUIREMENT (10% OF THE SITE) 32,048 SF... LANDSCAPE AREA PROVIDED: 38,178 SF

LANDSCAPE NOTES

- A. DESIGN THE PLANTING DESIGN INCLUDES A DIVERSE PALETTE OF DESERT AND HIGH DESERT PLANTS... B. PLANTING AND IRRIGATION INSTALLATION DETAILS SHALL MEET CITY OF ALBUQUERQUE REQUIREMENTS... C. PLANTING AND IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER...

Vertical sidebar containing project information: 'Dokker Perich Sabatini' logo, 'TARGET @ ABQ Uptown Albuquerque, New Mexico', 'DRB SUBMITTAL', and 'LANDSCAPE PLAN - PHASE II'.

September 18, 2013

Quigley Park Neighborhood Association "R"
Ms. Winnie Schmidt
2916 Cuervo Dr. NE
Albuquerque, NM 87110

Re: Target, 2120 Louisiana Boulevard NE
Southeast corner of Louisiana Boulevard NE and Indian School Road NE
Reason for Request: Target at Uptown Site Development Plan for Subdivision & Re-plat
Legal Description: Tract A of Hunt – Spectrum Development Site

Dear Ms. Schmidt:

A letter was sent notifying you that Target wishes to subdivide their property to prepare for development of the pad sites at the southwest and northeast corners.

The hearing date that was mentioned in that letter was incorrect. The correct date is October 16, 2013 at 9:00 am in the Plaza Del Sol building located at 600 2nd Street NW (Hearing room on the lower level), Albuquerque, NM.

If you have any questions or need clarification, please feel free to contact me at:

Dekker/Perich/Sabatini
7601 Jefferson NE, Suite 100
Albuquerque, NM 87109
505-761-9700

Sincerely,

Dekker/Perich/Sabatini
Agent for Target



Christopher R. Gunning, AIA, LEED AP
Principal

Attachments:
Previous notification letter (VOIDED)
Site Development Plan for Subdivision
Landscaping Plan

September 10, 2013

Quigley Park Neighborhood Association "R"
Ms. Winnie Schmidt
2916 Cuervo Dr. NE
Albuquerque, NM 87110

Re: Target, 2120 Louisiana Boulevard NE
Southeast corner of Louisiana Boulevard NE and Indian School Road NE
Reason for Request: Target at Uptown Site Development Plan for Subdivision & Re-plat
Legal Description: Tract A of Hunt – Spectrum Development Site

Dear Ms. Schmidt:

A Site Development Plan for Building Permit (SPBP) was reviewed and approved for the subject property approximately one and a half years ago (11DRB-70284). Since then, the Target store has been constructed and the Owners now wish to subdivide the property to prepare for development of the pad sites at the southwest and northeast corners. We submitted for sketch plat review and appeared before DRB on November 7, 2012 (12DRB-70350), where we received direction to submit for a Site Development Plan for Subdivision (SPS) per the USDP process, and to then submit for re-plat concurrently.

The City of Albuquerque Planner assigned to this project is Chris Hyer. He can be reached at 924-3927 or via email at chyer@cabq.gov.

VOIDED

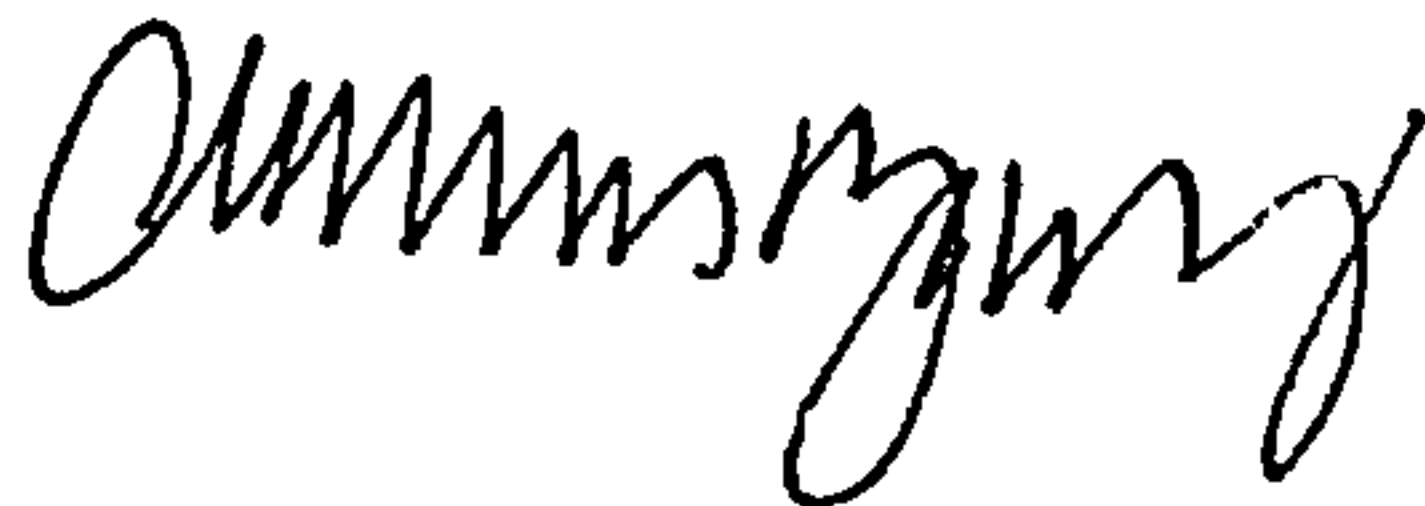
The hearing is scheduled for ~~September 25, 2013~~ at 9:00 am in the Plaza Del Sol building located at 600 2nd Street NW (Hearing room on the lower level), Albuquerque, NM.

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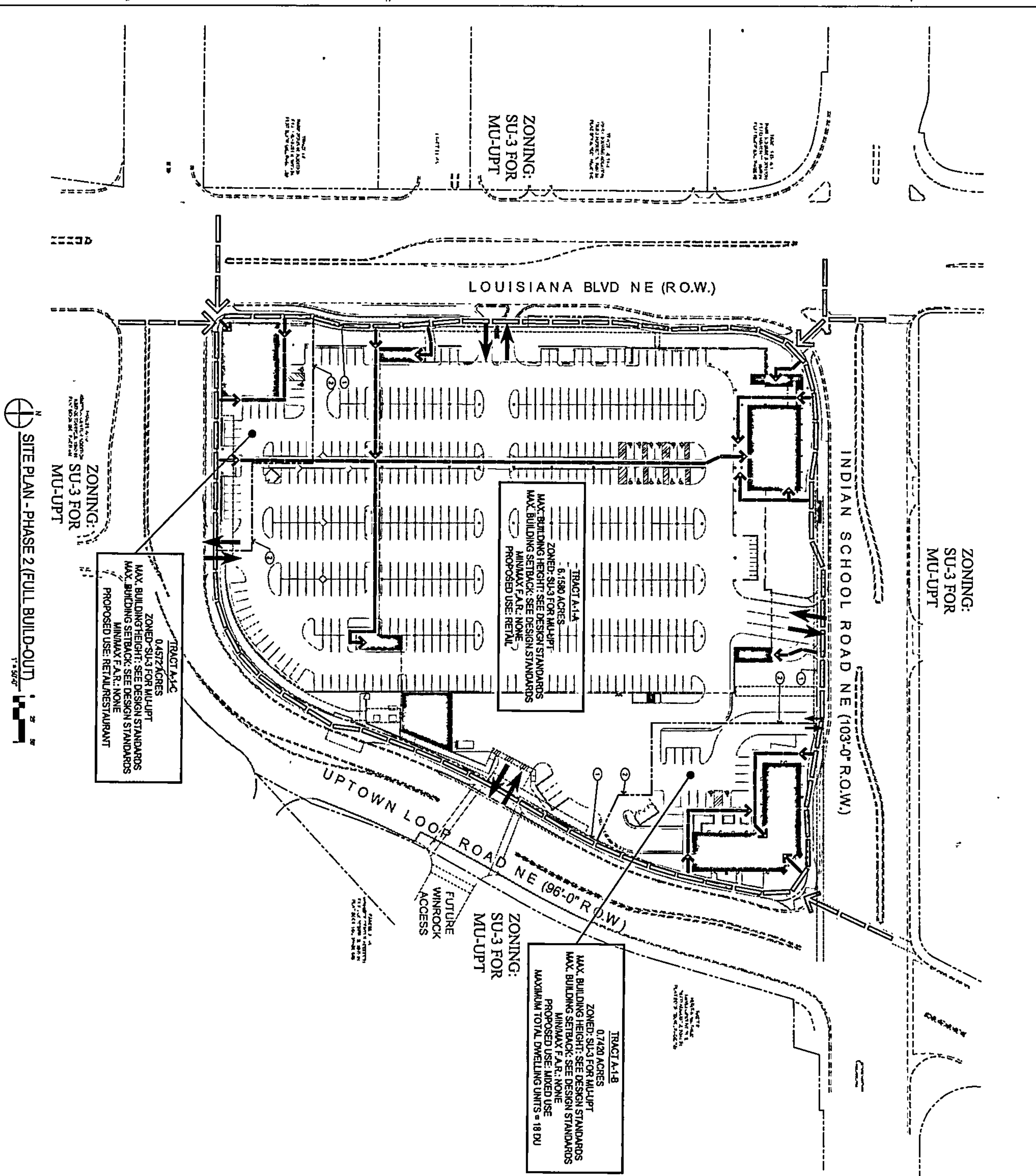
Sincerely,

Dekker/Perich/Sabatini
Agent for Target



Christopher R. Gunning, AIA, LEED AP
Principal

Attachments: Site Development Plan for Subdivision and Landscaping Plan



GENERAL NOTES

- A. REFER TO SHEET 3 FOR DESIGN STANDARDS
- B. REFER TO GEA DRAWING SHEET 2 FOR CONCEPTUAL UTILITY PLAN
- C. APPLICABLE PLANS: UPTOWN SECTOR DEVELOPMENT PLAN (2008)
- D. PROPOSED USES: MIXED USE INCLUDING RETAIL, RESTAURANT AND HOUSING

KEYED NOTES

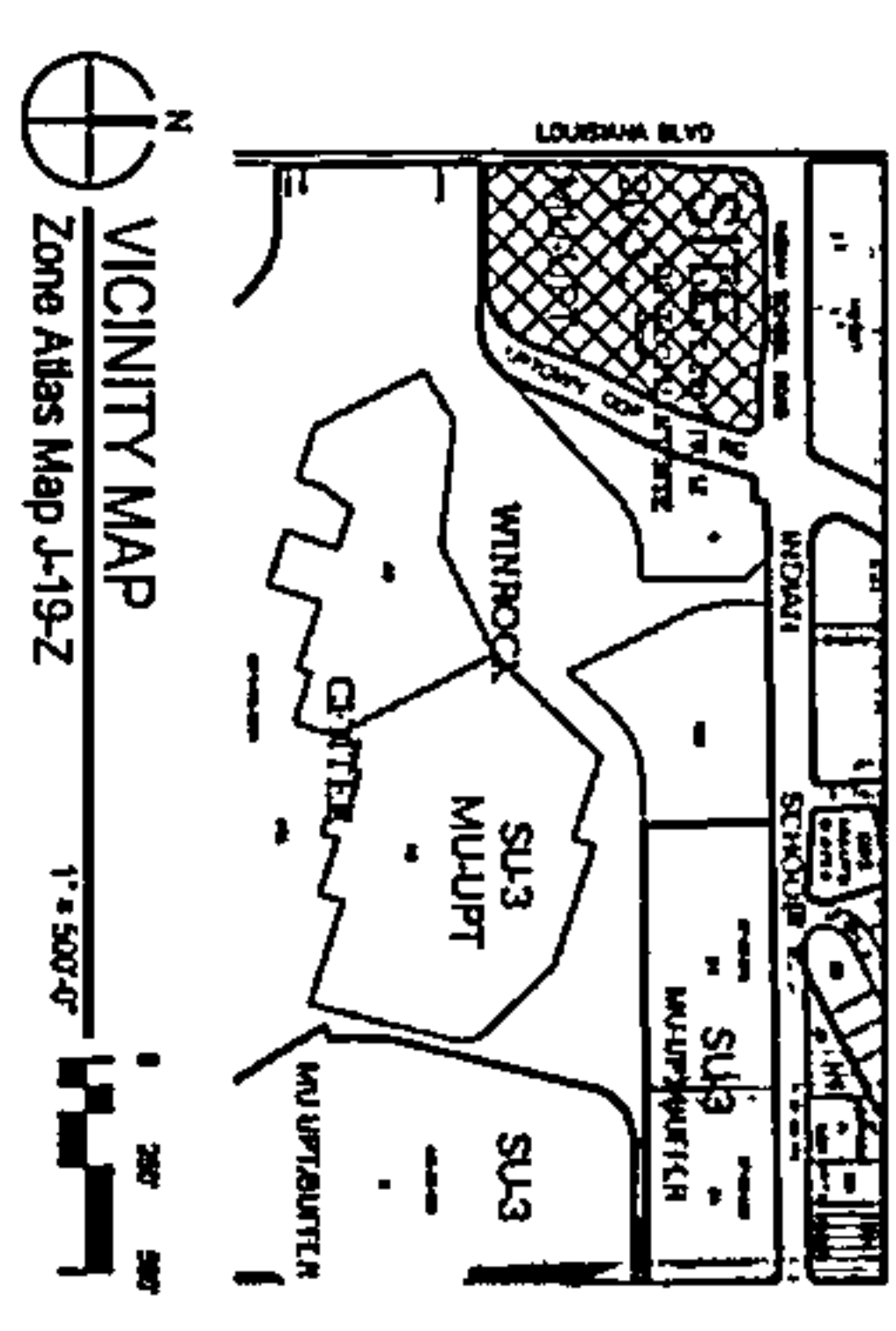
- 1. EXISTING PROPERTY LINE
- 2. PROPOSED PROPERTY LINE

SITE DATA

LEGAL DESCRIPTION:
TRACT A, HUNT - SPECTRUM DEVELOPMENT SITE
ZONE:
SU-3 FOR MU-UPT

SITE PLAN LEGEND

- PERMITWAY INGRESS / EGRESS
- VEHICULAR INGRESS / EGRESS
- PROPERTY LINE EXISTING AS NOTED
- PROPERTY LINE PROPOSED AS NOTED



POSITIVE PROJECT NUMBER	180716
PROJECT NUMBER	180716
APPLICATION NUMBER	
Has an Independent Title Page? (Y/N) (If "Y", then a set of approved DRC Plans with a note on file is required for any construction within Public Right-of-Way or the construction of public improvements.)	
SITE DEVELOPMENT PLAN APPROVAL	
TRACING ENGINEER, TRANSPORTATION DIVISION	DATE
ARCHITECT	DATE
PLANS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

REVISIONS

NO.	DATE	DESCRIPTION

TARGET @ ABQ Uptown
Albuquerque, New Mexico
SITE PLAN FOR SUBDIVISION
DRB SUBMITTAL

PROJECT:

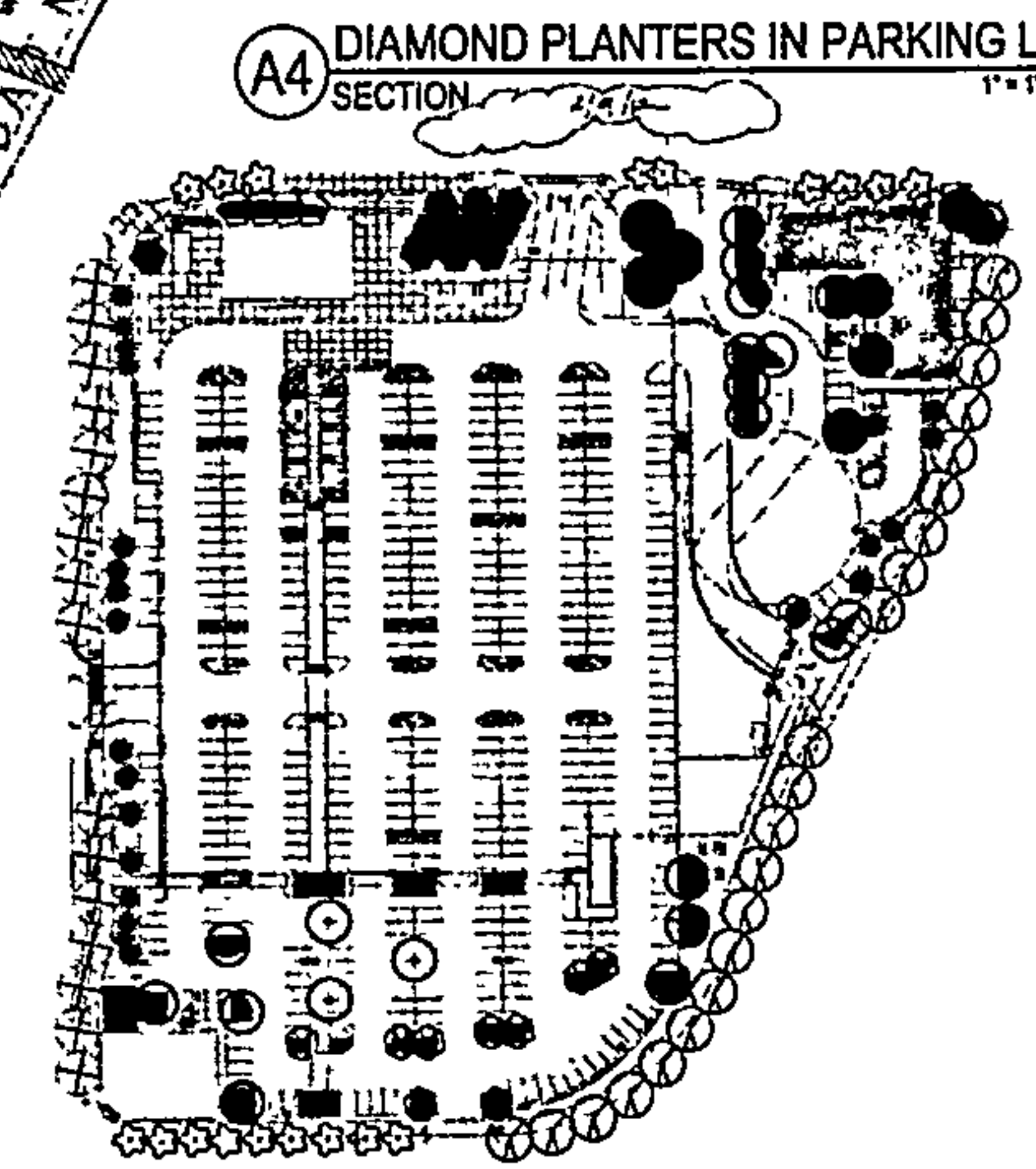
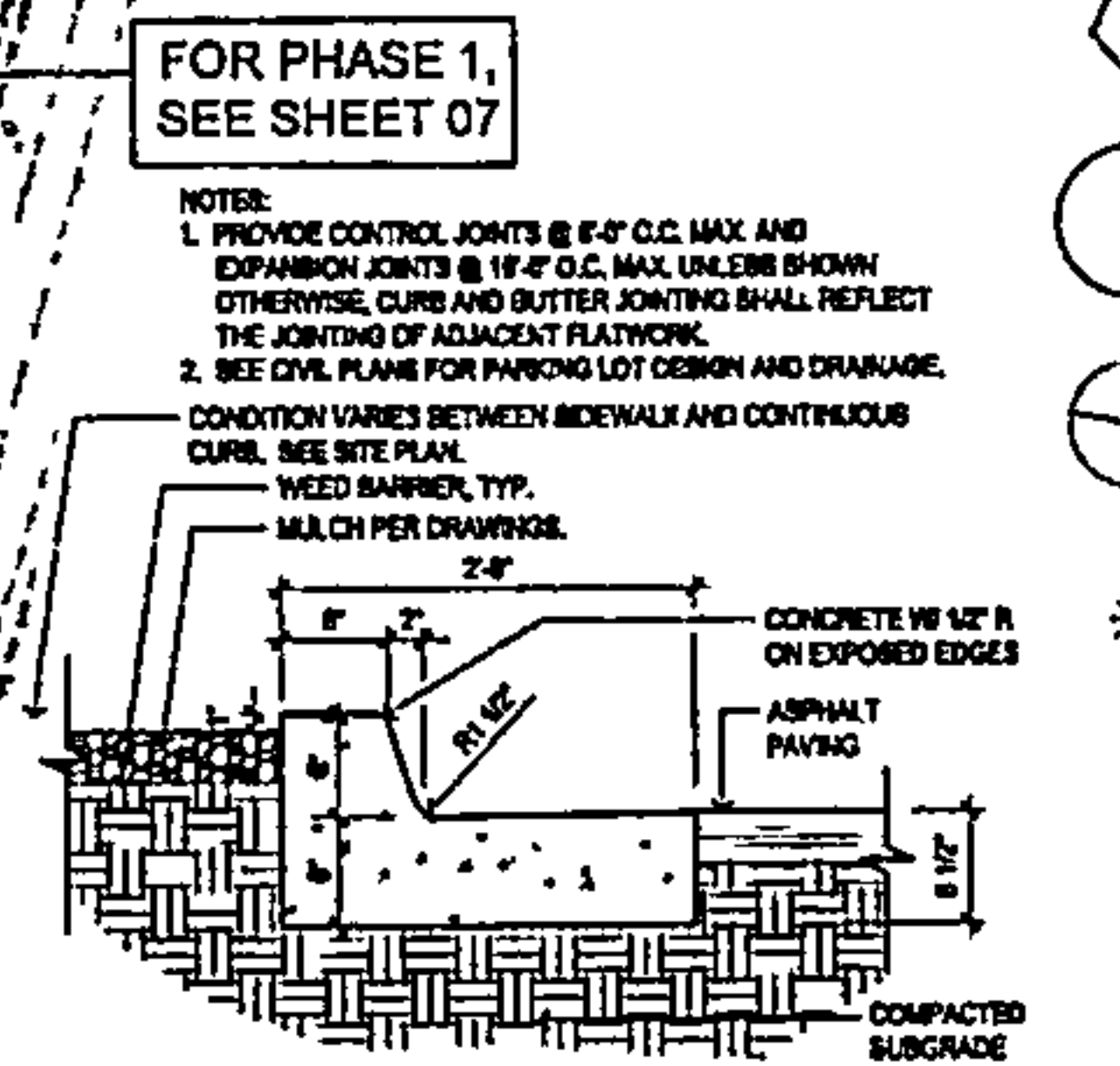
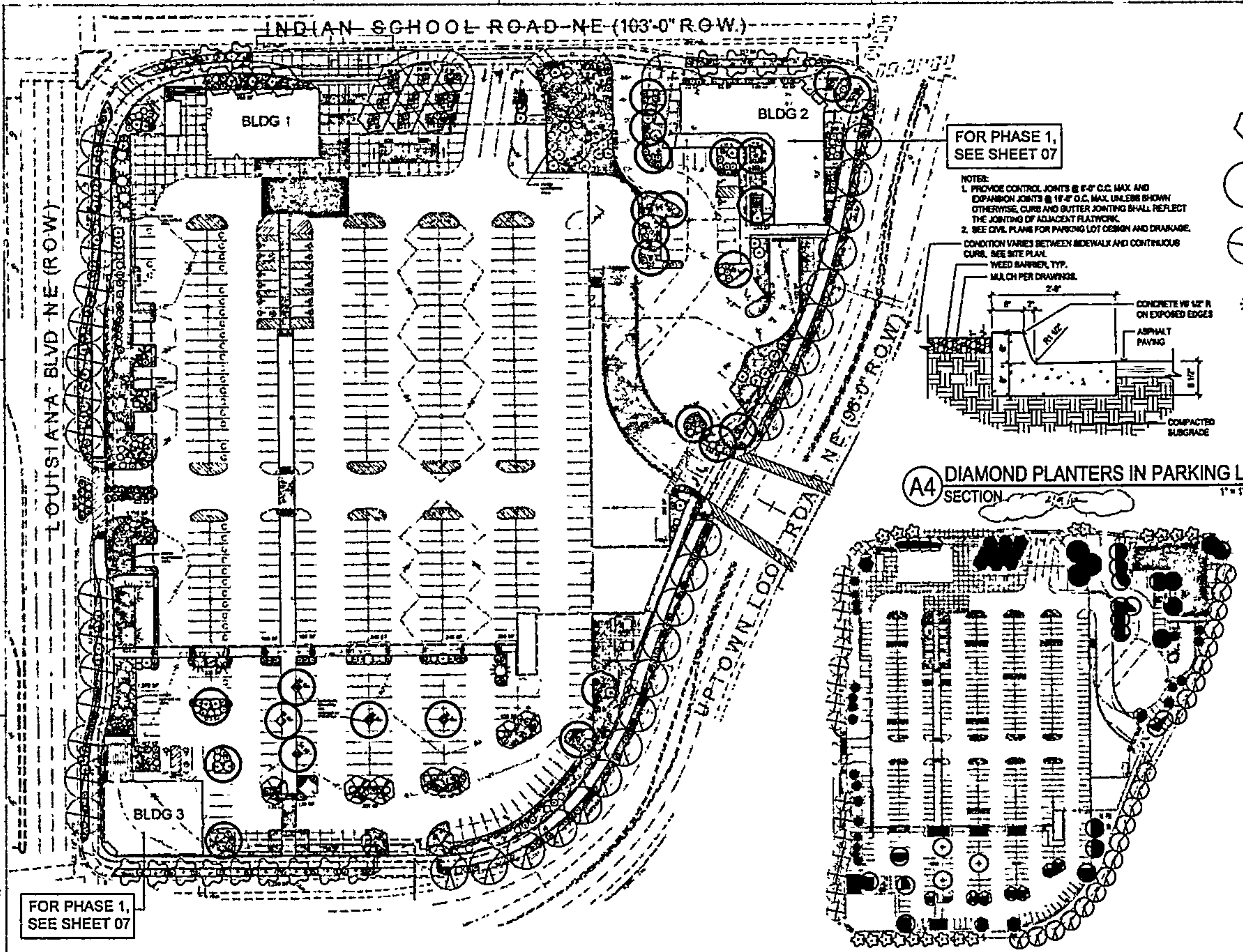
ENGINEER:

ARCHITECT:

Dekker Perich Sabatini
Architects
1101 Jefferson NE Suite 101
Albuquerque, NM 87101
505 241-8700
1010 241-4222
info@dpssab.com

DATE: 06/03/2013
PROJECT NO.: 11-0098.002
DRAWING NAME: SITE DEVELOPMENT PLAN FOR SUBDIVISION

1 of 4



PLANTING LEGEND

TREES	SYM	QTY	BOTANICAL NAME/ COMMON NAME	INSTALLATION SIZE	MATURE SIZE (HxW) WATER USE
	20		Platanus chinensis/ CHINESE PISTACHE	3" Cal.	35'x30' Medium
	15		Cercis canadensis/ WESTERN REDBUD	2" Cal./B&B	25'x18' Medium
	23		Chilopsis linearis 'Arts Seedling/ DESERT WILLOW	48" Root	25'x35' Low
	3		Populus deltoides w/azalea RIO GRANDE VALLEY COTTONWOOD	2" Cal./B&B	60'x60' High
	22		Quercus buckleyi/ TEXAS RED OAK	2" Cal./B&B	25'x25' Medium
	16		Quercus muhlenbergii/ CHINOQUAPIN OAK	2" Cal./B&B	30'x30' Medium
	12		Tilia cordata LITTLELEAF LINDEN	2" Cal./B&B	35'x30' Medium
	11		Juniperus chinensis 'Spartan' SPARTAN JUNIPER	6" High/B&B	15'x8' Low
	10		Pinus strobiformis/ SOUTHWESTERN WHITE PINE	6" High/B&B	60'x20' Low

SHRUBS	SYM	BOTANICAL NAME/ COMMON NAME	INSTALLATION SIZE	MATURE SIZE (HxW) WATER USE
		Ericameria laetifolia/ TURPENTINE BUSH	1 Gal. Cont.	36" x 36" Low
		Baccharis x 'Centennial'/ CENTENNIAL BROOM	1 Gal. Cont.	36" x 42" Low
		Caryopteris chandonensis 'Dark Knight' / DARK NIGHT BLUE	1 Gal. Cont.	48" x 48" Medium
		MIST SPIREA		
		Mahonia aquifolium 'Compactum'/ COMPACT MAHONIA	1 Gal. Cont.	24" x 48" Medium
		Rosmarinus officinalis/ UPRIGHT ROSEMARY	1 Gal. Cont.	60" x 48" Low
		Rhus aromatica 'Glo-low'/ GRO-LO FRAGRANT SUMAC	1 Gal. Cont.	24" x 72" Medium
		Salvia greggii/ AUTUMN SAGE	1 Gal. Cont.	30" x 36" Low
		Verbena bipinnatifida/ PRAIRIE VERBENA	1 Gal. Cont.	6" x 30" Low
		Callitriche involucrata/ WINECUPS	1 Gal. Cont.	18" x 18" Low
		Ceanothus plumbeus/ DWARF PLUMBAGO	1 Gal. Cont.	12" x 18" Medium
		Gallardia aristata/ BLANKETFLOWER	1 Gal. Cont.	30" x 30" Low
		Hymenocallis aculeata/ ANGELITA DAISY	1 Gal. Cont.	12" x 12" Low
		Lavandula angustifolia 'Hidcote Superior' / HIDCOTE SUPERIOR LAVENDER	1 Gal. Cont.	15" x 18" Medium
		Mirabilis multiflora/ DESSERT FOUR-O'CLOCK	1 Gal. Cont.	18" x 30" Medium
		P. barbatus/ RED PENSTEMON	1 Gal. Cont.	50" x 36" Low
		Teucrium chamaedrys/ TRAILING GERMANDER	1 Gal. Cont.	12" x 24" Medium

GRASSES	SYM	BOTANICAL NAME/ COMMON NAME	INSTALLATION SIZE	MATURE SIZE (HxW) WATER USE
		Festuca idahoensis 'Siskiyou Blue' / SISKIYOU BLUE FESCUE	1 Gal. Cont.	18" x 15" Medium
		Muhlenbergia capillaris 'Regal Mist' / REGAL MIST MULLENBERGIA	1 Gal. Cont.	36" x 42" Medium
		Muhlenbergia rigens/ DEER GRASS	1 Gal. Cont.	42" x 48" Medium
		Nolina microcarpa/ BEARGRASS	1 Gal. Cont.	36" x 48" Medium
		Miscanthus sinensis/ MADEN GRASS	1 Gal. Cont.	60" x 48" Medium

ACCENTS	SYM	BOTANICAL NAME/ COMMON NAME	INSTALLATION SIZE	MATURE SIZE (HxW) WATER USE
	*	Agave parryi/ PARRY'S AGAVE	1 Gal. Cont.	36" x 36" Low
		Dasylistron wheeleri/ BOTOL	1 Gal. Cont.	48" x 60" Low
		Hesperaloe parviflora/ RED HESPERALOE	1 Gal. Cont.	48" x 48" Medium
		Opuntia basilaris/ BEAVERTAIL PRICKLY PEAR	1 Gal. Cont.	12" x 48" Low
		Opuntia engelmannii/ ENGELMANN'S PRICKLY PEAR	1 Gal. Cont.	48" x 60" Low
		Yucca glauca/ SOAPWEED	1 Gal. Cont.	36" x 60" Low
		Yucca rupicola/ TWISTED LEAF YUCCA	1 Gal. Cont.	36" x 36" Low

MULCHES	SYM	DESCRIPTION
		ROCK MULCH
		ORGANIC PECAN SHELL MULCH

LANDSCAPE CALCULATIONS

SITE AREA: 7,357.2 AC (AFTER R.O.W. DEDUCTION)
 OPEN SPACE REQUIREMENT (10% OF THE SITE): 32,048 SF
 OPEN SPACE PROVIDED: 41,028 SF
 LANDSCAPE REQUIREMENT (40% OF OPEN SPACE): 16,414 SF
 LANDSCAPE AREA PROVIDED: 38,179 SF
 *NET LOT AREA WAS NOT USED IN THESE CALCULATIONS.

OPEN SPACE CALCULATIONS DO NOT INCLUDE REQUIRED LANDSCAPE STRIPS ALONG THE STREET OR WALKWAYS EXCEPT ANY PORTION OF A WALKWAY THAT IS WIDER THAN 10 FEET.

A MINIMUM OF 75% OF LANDSCAPE AREAS AND 60%-75% OF PLANTING STRIPS SHALL BE COVERED WITH LIVE VEGETATIVE MATERIALS.

A MINIMUM OF 10% OF LANDSCAPE AREAS WILL HAVE FLOWERING PLANTS OR SHRUBS.

TOTAL SHADE TREES: 80 (% OF TREES)
 TOTAL SIGNATURE TREES: 36 (% OF TREES)

ROCK MULCH HAS BEEN LIMITED TO LESS THAN 5% OF ANY OPEN SPACE AREA AND USED ONLY WHERE NECESSARY AROUND DRAINAGE INLETS. ALL OTHER MULCH AREAS UTILIZE ORGANIC PECAN SHELL MULCH.

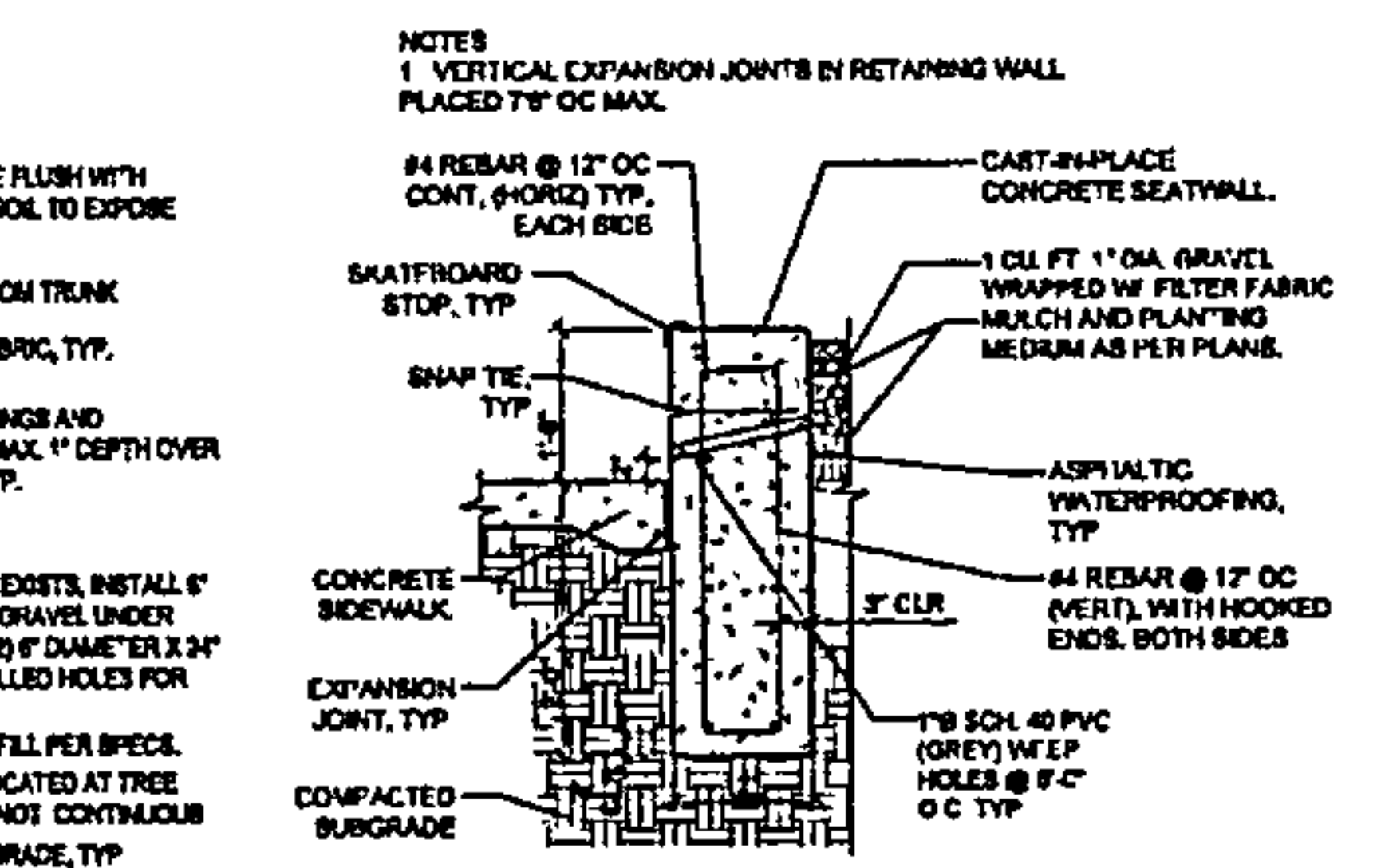
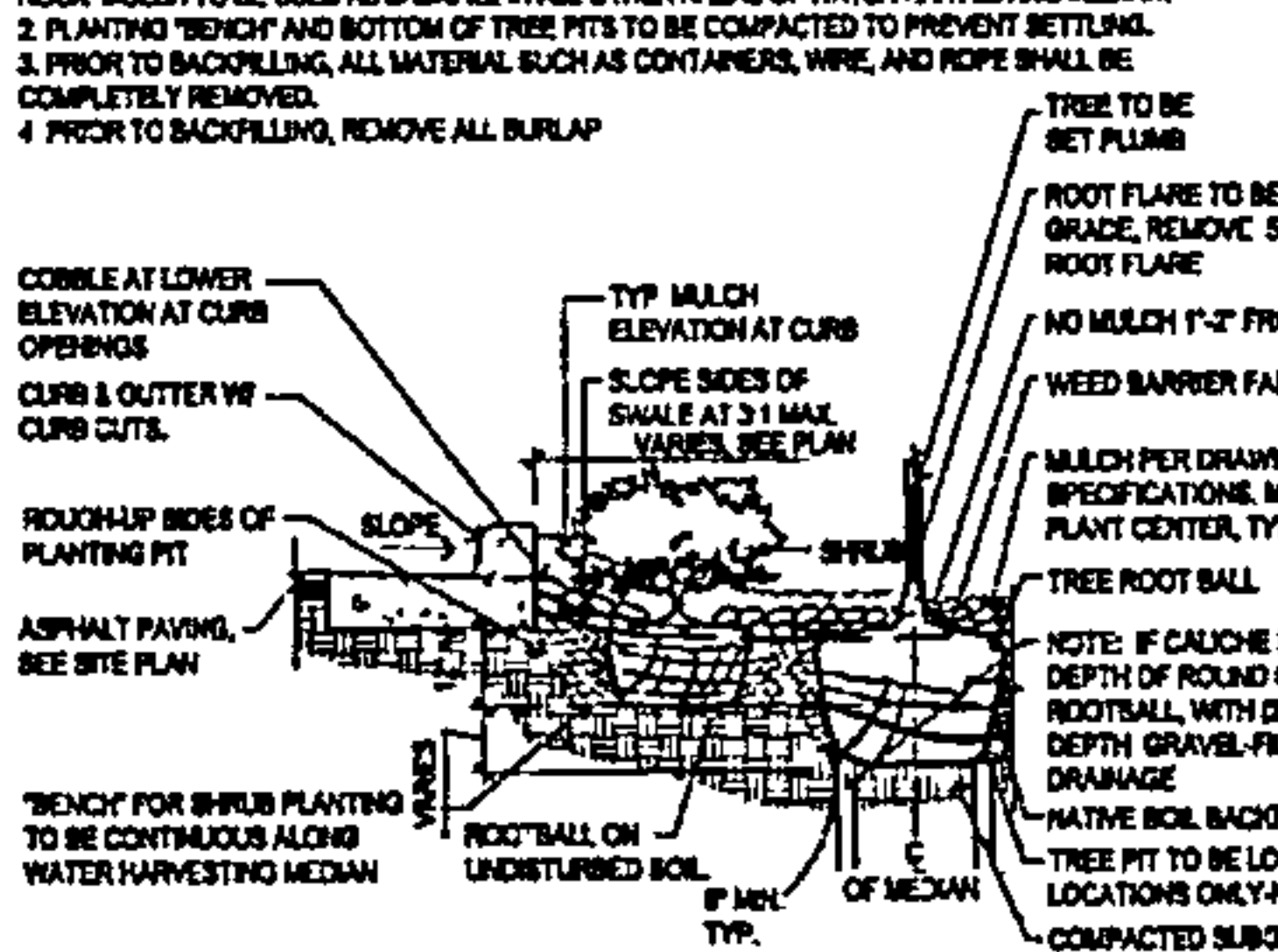
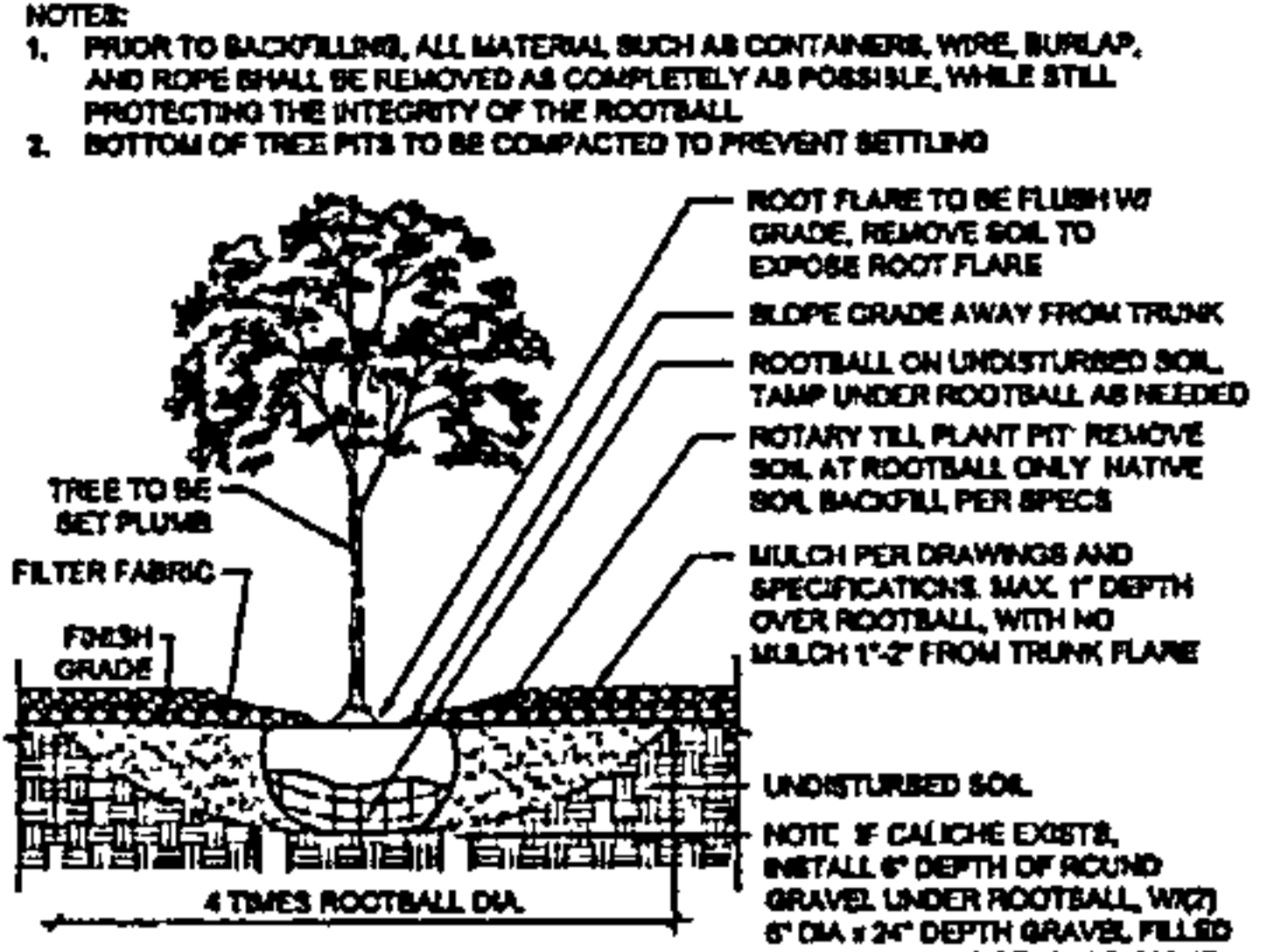
LANDSCAPE NOTES

- DESIGN THE PLANTING DESIGN INCLUDES A DIVERSE PALETTE OF DESERT AND HIGH DESERT PLANTS THAT WILL COMPLEMENT THE ARCHITECTURE OF THE PROJECT. THE INTENT IS TO LANDSCAPE THIS MIXED-USE, URBAN ENVIRONMENT WITH DESERT AND HIGH DESERT PLANTS THAT REINFORCE A SENSE OF PLACE AND ARE APPROPRIATE TO ALBUQUERQUE'S CLIMATE.
- GRASSES AND ACCENT PLANTS SUCH AS YUCCA, SOTOL AND PRICKLY PEAR CACTUS WILL BE USED IN HIGHLY VISIBLE AND APPROPRIATE LOCATIONS. THE USE OF REGIONALLY NATIVE TREES FOR STREET TREES, WHILE UNORTHODOX, WILL REINFORCE THE SENSE OF PLACE, BUFFER PEDESTRIANS FROM VEHICULAR AREAS AND PROVIDE A COMFORTABLE PEDESTRIAN SCALE TO THE STREETS.
- PLANTING AND IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- CONTROLLER: THE IRRIGATION SYSTEM SHALL BE RUN WITH A FULLY AUTOMATED IRRIGATION CONTROLLER. THE RUN TIME FOR THE VARIOUS ZONES SHALL BE APPROXIMATELY 45 MINUTES FOR THE DRIP ZONES. RUN TIME WILL BE ADJUSTED ACCORDING TO SEASON, LOCATION, AND PLANT PERFORMANCE. DRIP EMITTERS SHALL BE USED FOR ALL PLANT MATERIAL.
- POINT OF CONNECTION: THERE IS LIKELY TO BE MORE THAN ONE POINT OF CONNECTION FOR THIS PROJECT. THE WATER CONNECTION LOCATIONS WILL BE COORDINATED WITH THE OVERALL WATER SERVICE DESIGN FOR THE SITE. THE EXACT LOCATIONS FOR CONNECTIONS AND CONTROLLERS IN UNKNOWN AT THIS TIME.
- MULCH: ALL PLANTING BEDS SHALL BE COVERED WITH MULCH. GRAVEL, BARK AND PECAN SHELL MULCHES WILL BE USED APPROPRIATELY TO ADD VISUAL INTEREST AND PROTECT SOIL MOISTURE.
- THE PARKING AREA TREES SELECTED FOR USE AT TARGET @ TREE AND SHRUB PITS TO BE 4 TIMES THE ROOTBALL DIAMETER.
- THERE IS NO HIGH WATER TURF USED ON THIS PROJECT.
- THE LANDSCAPE DESIGN SHALL COMPLY WITH THE INTENT OF THE CITY OF ALBUQUERQUE WATER CONSERVATION, LANDSCAPING AND WATER WASTE ORDINANCE.
- SOIL PREPARATION AND AERATION WITHIN ROW IS REQUIRED TO DE-COMPACT LANDSCAPE ZONE PRIOR TO PLANTING.
- PASSIVE WATER HARVESTING, SUCH AS HARVESTING OF STORM WATER SURFACE RUNOFF AND ROOF RUNOFF, SHALL BE UTILIZED WHERE FEASIBLE AND CAPTURED IN SWALES.
- SOIL AMENDMENTS WILL BE USED FOR PLANT MATERIAL.
- PLANT AND IRRIGATION MAINTENANCE WILL BE THE RESPONSIBILITY OF THE OWNER FOLLOWING SUBSTANTIAL COMPLETION OR ANY MAINTENANCE PERIOD.
- THE LANDSCAPE DESIGN REQUIRES A PERMANENT, FULLY AUTOMATIC IRRIGATION SYSTEM TO SUPPORT THE PLANT MATERIAL.
- THE IRRIGATION SYSTEM WILL BE CONNECTED TO CITY WATER. THE POINT OF CONNECTION WILL CONSIST OF A WATER METER, BACKFLOW PREVENTER AND MASTERVALVE, SEE COA STD DETAIL #2701.
- THE CONTRACTOR SHALL CREATE AN IRRIGATION PLAN TO PERMANENTLY BRIGATE THE PROPOSED PLANTINGS, AND SHALL SUBMIT THIS TO THE ARCHITECT FOR REVIEW AND APPROVAL. THE PLAN SHALL INCLUDE A PIPING AND EMITTER LAYOUT WITH SIZING, VALVE SCHEDULE AND CONSTRUCTION DETAILS.
- CONTROLLER: THE IRRIGATION SYSTEM SHALL BE RUN WITH FULLY AUTOMATED IRRIGATION CONTROLLER. RUN TIME WILL BE ADJUSTED ACCORDING TO PLANT MATURITY, SEASON, LOCATION, AND PLANT PERFORMANCE.
- DRIP EMITTERS SHALL BE USED FOR ALL PLANT MATERIAL. REFER TO DRAINAGE PLAN FOR GRADING INFORMATION AND WATER HARVESTING LOCATIONS.

LANDSCAPE PLAN



OPEN SPACE SHADE DIAGRAM



Dekker Perich Sabatini
 1001 Jefferson NE Suite 700
 Albuquerque, NM 87105
 505.241.8748
 505.241.4225
 ds@dspsa.com ds@dspsa.com
 ARCHITECT

TARGET @ ABQ Uptown
 Albuquerque, New Mexico
 DRB SUBMITTAL

REVISIONS

NO.	DATE	DESCRIPTION
1	11/10/2011	

DATE: 11/10/2011
 PROJECT NO: 100135
 DRAWING NAME: LANDSCAPE PLAN - PHASE II

September 18, 2013

Quigley Park Neighborhood Association "R"
Ms. Maureen Maher
2935 Cardenas Dr. NE
Albuquerque, NM 87110

Re: Target, 2120 Louisiana Boulevard NE
Southeast corner of Louisiana Boulevard NE and Indian School Road NE
Reason for Request: Target at Uptown Site Development Plan for Subdivision & Re-plat
Legal Description: Tract A of Hunt – Spectrum Development Site

Dear Ms. Maher:

A letter was sent notifying you that Target wishes to subdivide their property to prepare for development of the pad sites at the southwest and northeast corners.

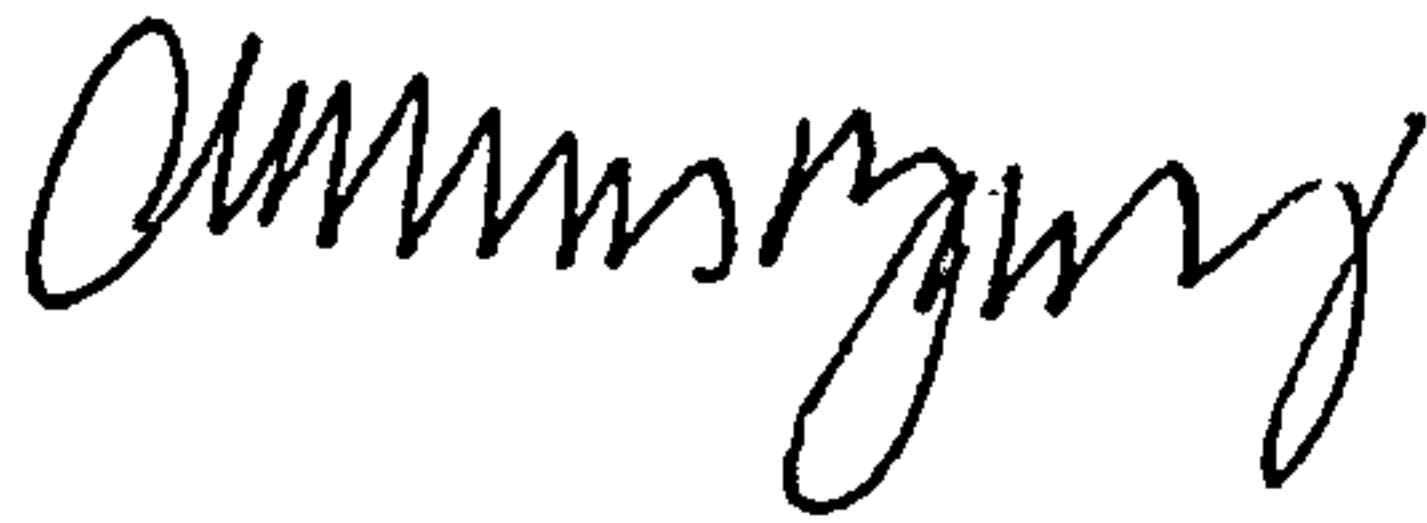
The hearing date that was mentioned in that letter was incorrect. The correct date is October 16, 2013 at 9:00 am in the Plaza Del Sol building located at 600 2nd Street NW (Hearing room on the lower level), Albuquerque, NM.

If you have any questions or need clarification, please feel free to contact me at:

Dekker/Perich/Sabatini
7601 Jefferson NE, Suite 100
Albuquerque, NM 87109
505-761-9700

Sincerely,

Dekker/Perich/Sabatini
Agent for Target



Christopher R. Gunning, AIA, LEED AP
Principal

Attachments:
Previous notification letter (VOIDED)
Site Development Plan for Subdivision
Landscaping Plan

September 10, 2013

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Ms. Maureen Maher
2935 Cardenas Dr. NE
Albuquerque, NM 87110

Re: Target, 2120 Louisiana Boulevard NE
Southeast corner of Louisiana Boulevard NE and Indian School Road NE
Reason for Request: Target at Uptown Site Development Plan for Subdivision & Re-plat
Legal Description: Tract A of Hunt – Spectrum Development Site

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The City of Albuquerque Planner assigned to this project is Chris Hyer. He can be reached at 924-3927 or via email at chyer@cabq.gov.

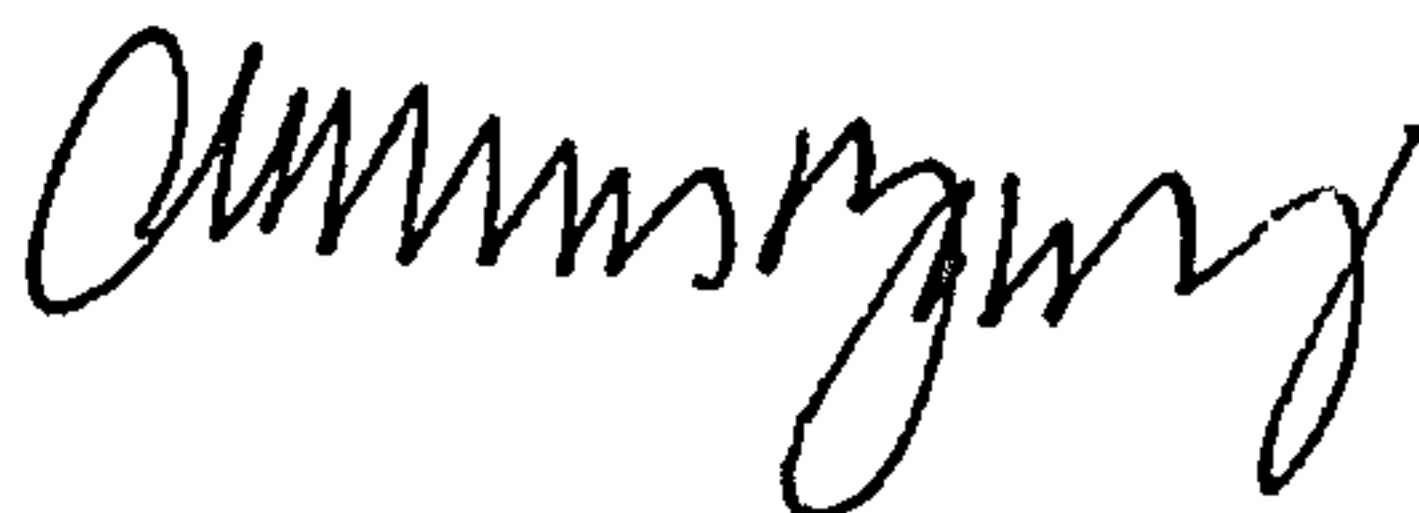
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If you have any questions or need clarification, please feel free to contact me at:

Dekker/Perich/Sabatini
7601 Jefferson NE, Suite 100
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505-761-9700

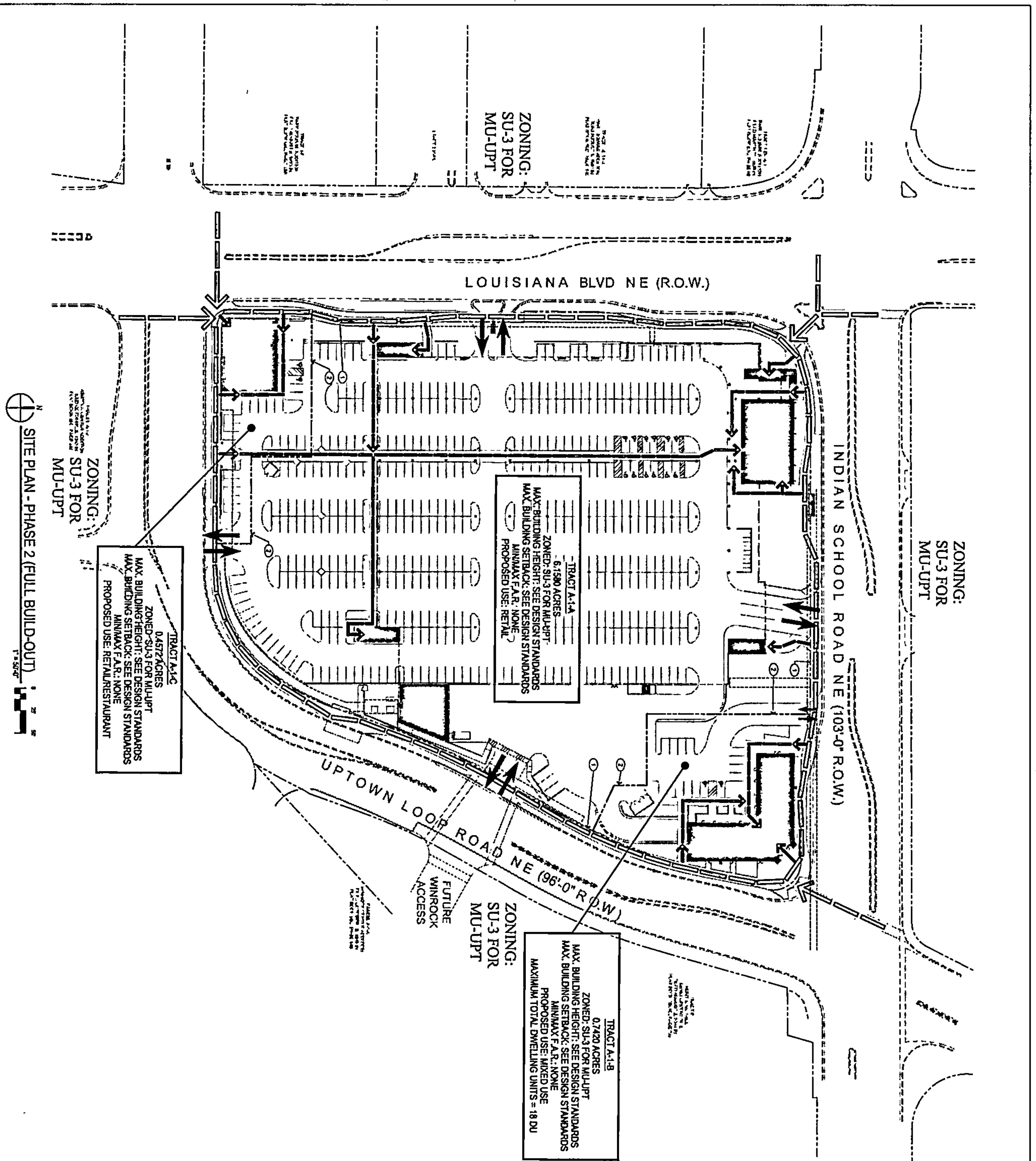
Sincerely,

Dekker/Perich/Sabatini
Agent for Target



Christopher R. Gunning, AIA, LEED AP
Principal

Attachments: Site Development Plan for Subdivision and Landscaping Plan



GENERAL NOTES	A. REFER TO SHEET 3 FOR DESIGN STANDARDS B. REFER TO CIVIL DRAWING, SHEET 2 FOR CONCEPTUAL UTILITY PLAN C. APPLICABLE PLANS: UPTOWN SECTION DEVELOPMENT PLAN (SDP) D. PROPOSED USES: MIXED USE INCLUDING RETAIL, RESTAURANT AND HOUSING
KEYED NOTES	1. EXISTING PROPERTY LINE 2. PROPOSED PROPERTY LINE
SITE DATA	LEGAL DESCRIPTION: TRACT A, HUNT - SPECTRUM DEVELOPMENT SITE ZONE: SU-3 FOR MU-UPT
SITE PLAN LEGEND	ESSENTIAL INFRASTRUCTURE / EGRESS VEHICULAR INFRASTRUCTURE / EGRESS PROPERTY LINE EXISTING AS NOTED PROPERTY LINE PROPOSED AS NOTED

PROJECT: TARGET @ ABQ Uptown Albuquerque, New Mexico
SITE PLAN FOR SUBDIVISION DRB SUBMITTAL

REVISIONS:

NO.	DATE	DESCRIPTION

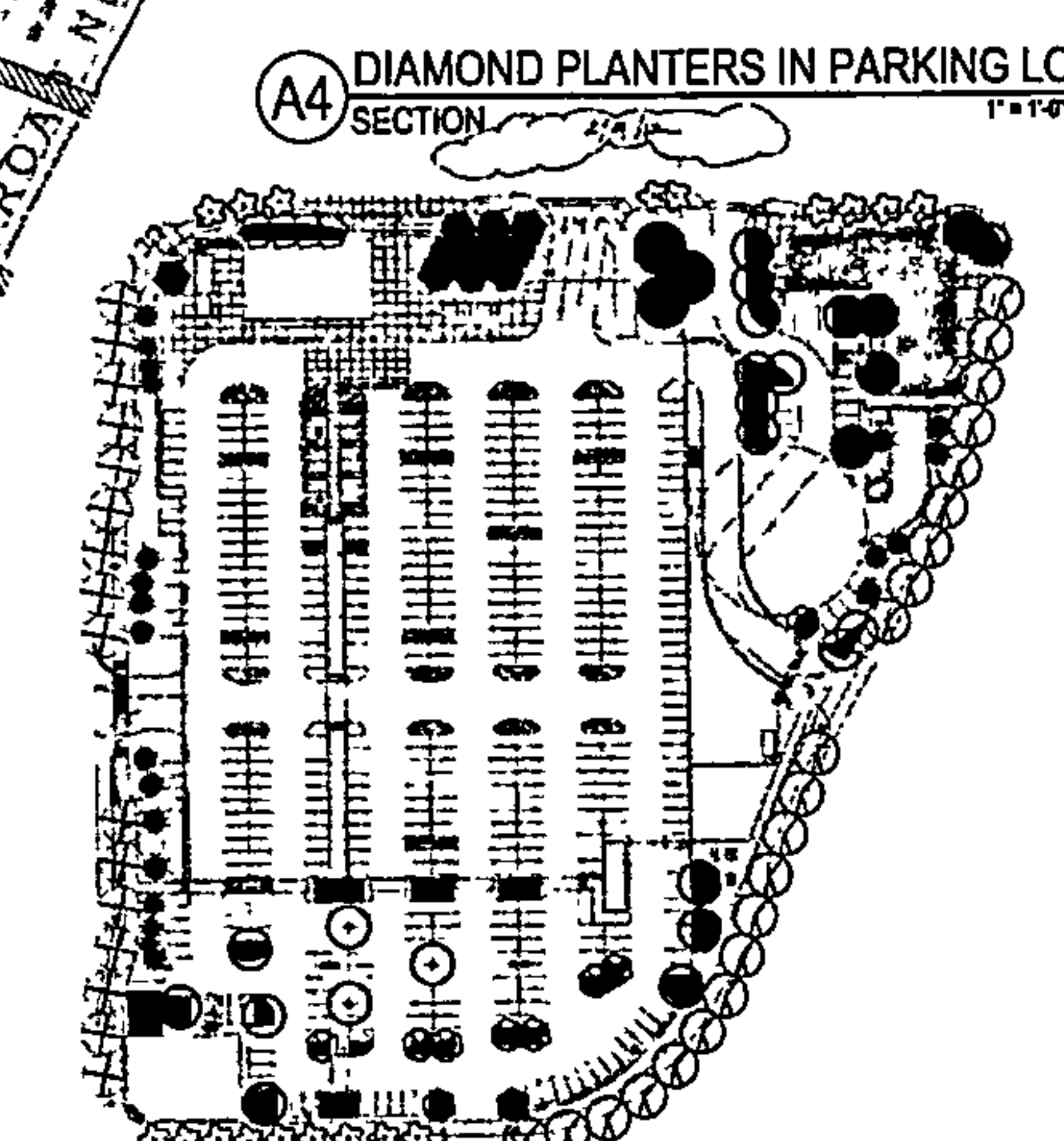
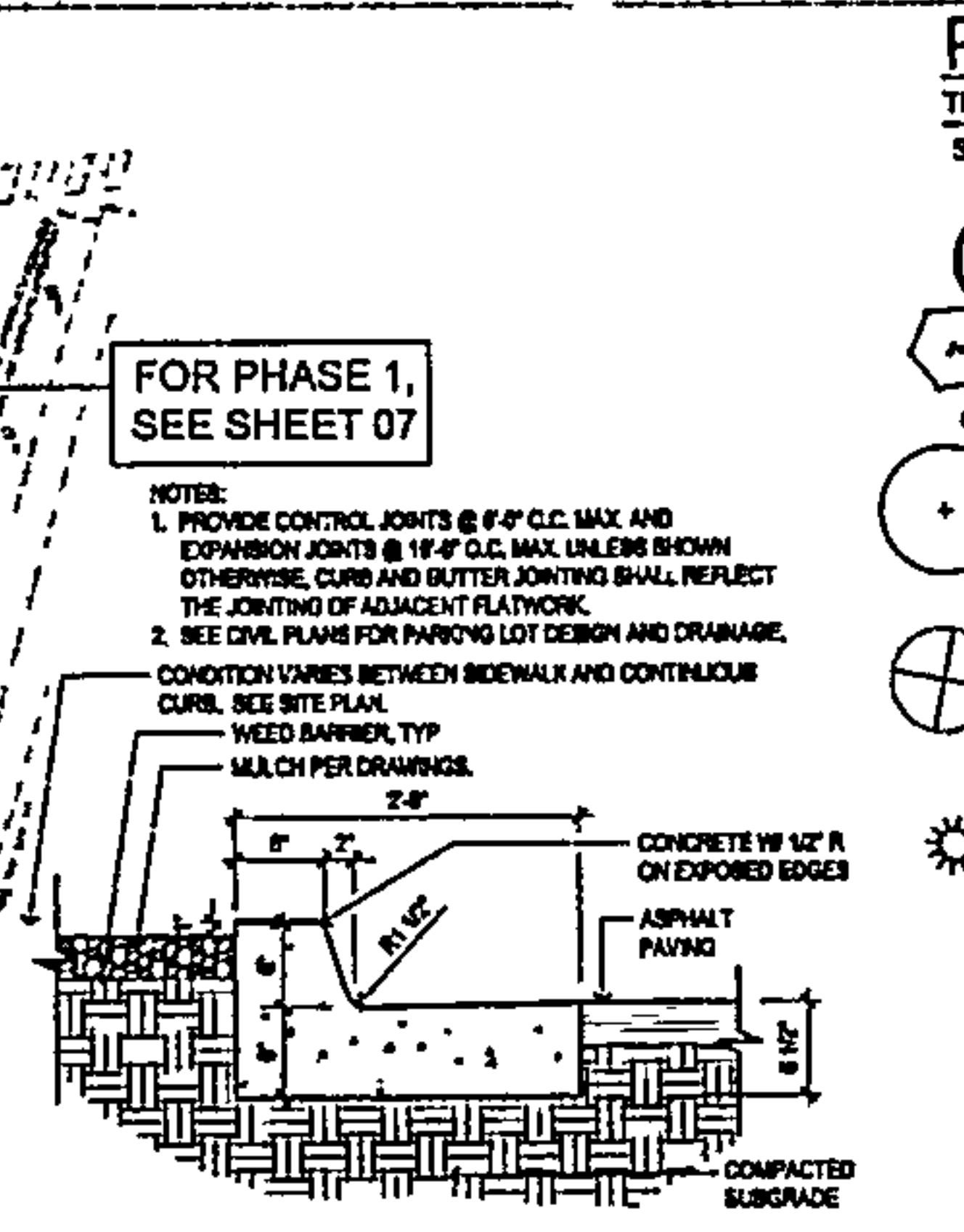
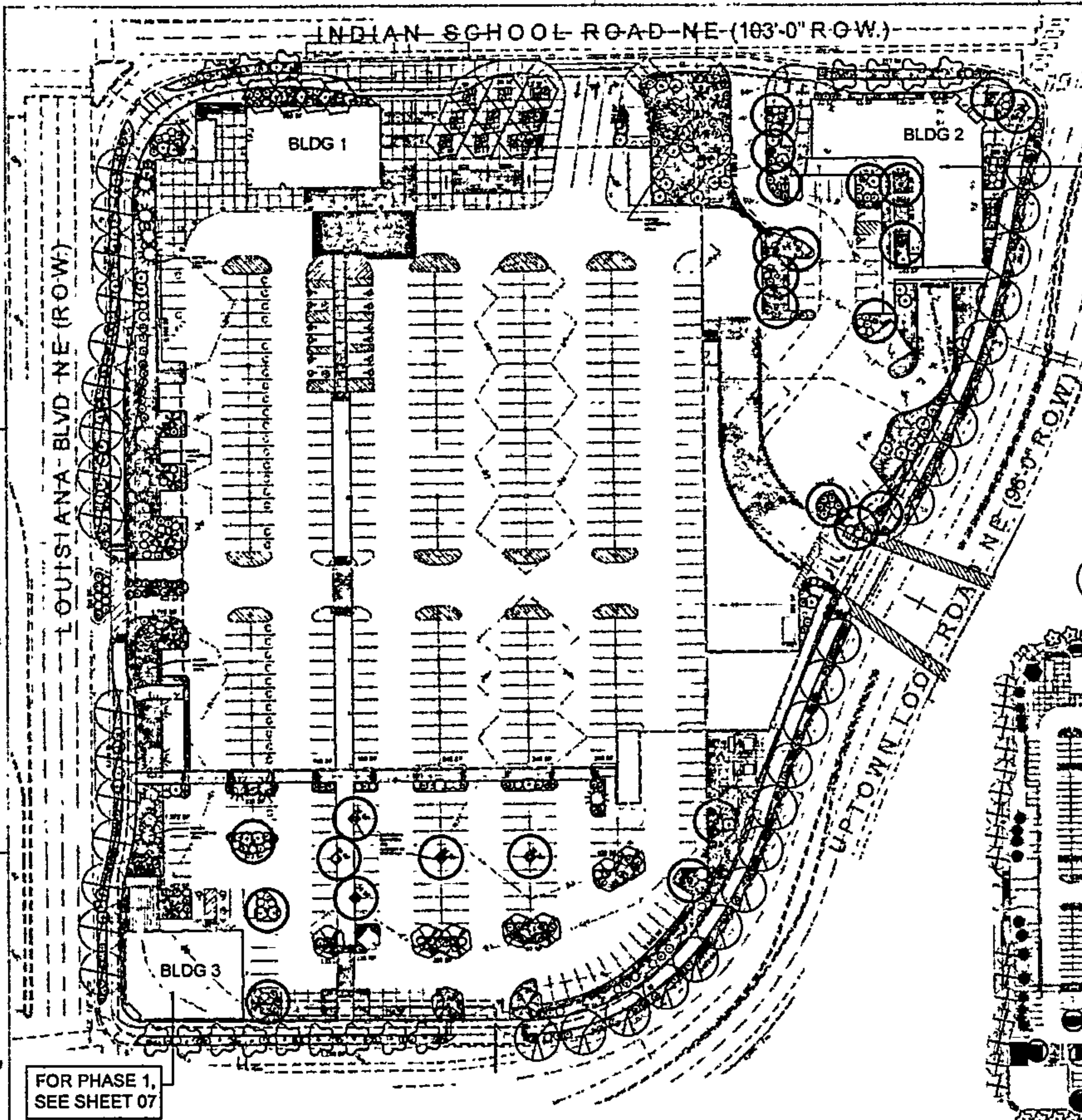
DRINKER PERICH SABATINI
 1001 ALBUQUERQUE BLVD. SUITE 100
 ALBUQUERQUE, NM 87102
 505.261.0100
 505.261.0102
 info@drinkerperich.com

ARCHITECT

ENGINEER

DATE: 09/03/2013
PROJECT NO.: 11-0006.002
DRAWING TITLE: SITE DEVELOPMENT PLAN FOR SUBDIVISION

1 of 4



PLANTING LEGEND

TREES

SYM	QTY	BOTANICAL NAME/ COMMON NAME	INSTALLATION SIZE	MATURE SIZE (HxW) WATER USE
26		<i>Platanus chinensis</i> / CHINESE PISTACHE	3" Cal.	35x207 Medium
18		<i>Cercis reniformis</i> / WESTERN REDBUD	2" Cal./B&B	25x187 Medium
23		<i>Chilopsis linearis</i> 'Arts Seedless'/ DESERT WILLOW	48" Box/ Multi-trunked	25x357 Low
3		<i>Populus deltoides wislizenii</i> / RIO GRANDE VALLEY COTTONWOOD	2" Cal./B&B	60x607 High
22		<i>Quercus buckleyi</i> / TEXAS RED OAK	2" Cal./B&B	25x257 Medium
10		<i>Quercus muhlenbergii</i> / CHINGQUIPIN OAK	2" Cal./B&B	30x307 Medium
12		<i>Tilia cordata</i> / LITTLELEAF LINDEN	2" Cal./B&B	35x307 Medium
11		<i>Juniperus chinensis</i> 'Spartan'/ SPARTAN JUNIPER	6" High/B&B	15x87 Low
18		<i>Pinus strobus</i> / SOUTHWESTERN WHITE PINE	6" High/B&B	60x207 Low

SHRUBS

SYM	BOTANICAL NAME/ COMMON NAME	INSTALLATION SIZE	MATURE SIZE (HxW) WATER USE
20	<i>Eriogonum fasciculatum</i> / TURPENTINE BUSH	1 Gal. Cont.	36"x367 Low
21	<i>Baccharis x "Cantiniarii"</i> / CENTENNIAL BROOK	1 Gal. Cont.	36"x427 Low
24	<i>Caryopteris condensation</i> 'Dark Knight'/ DARK NIGHT BLUE MIST SPIREA	1 Gal. Cont.	48"x487 Medium
25	<i>Mahonia aquifolium</i> 'Compendium'/ CONTACT MAHONIA	1 Gal. Cont.	24"x487 Medium
27	<i>Rosmarinus officinalis</i> / UPRIGHT ROSEMARY	1 Gal. Cont.	60"x487 Low
28	<i>Rhus aromatica</i> 'Gro-low'/ GRO-LO FRAGRANT SUMAC	1 Gal. Cont.	24"x727 Medium
29	<i>Salvia greggii</i> / AUTUMN SAGE	1 Gal. Cont.	30"x367 Low
30	<i>Verbena bipinnatifida</i> / PRAIRIE VERBENA	1 Gal. Cont.	6"x367 Low
31	<i>Callisotum involucratum</i> / WINECLIPS	1 Gal. Cont.	18"x187 Low
32	<i>Cercosiphia plumbeaginoides</i> / DWARF PLUMBAGO	1 Gal. Cont.	12"x187 Medium
33	<i>Gaillardia aristata</i> / BLANKETFLOWER	1 Gal. Cont.	30"x307 Low
34	<i>Hymenocallis saccata</i> / ANGELITA DAISY	1 Gal. Cont.	12"x127 Low
35	<i>Lavandula angustifolia</i> 'Hidcole Superior'/ HIDCOTE SUPERIOR LAVENDER	1 Gal. Cont.	18"x187 Medium
36	<i>Meribalis multiflora</i> / DESERT FOUR-O'CLOCK	1 Gal. Cont.	18"x307 Medium
37	<i>P. barbatus</i> / RED PENSTEMON	1 Gal. Cont.	50"x367 Low
38	<i>Teucrium chamaedryf</i> / TRAILING GERMANDER	1 Gal. Cont.	12"x247 Medium

GRASSES

SYM	BOTANICAL NAME/ COMMON NAME	INSTALLATION SIZE	MATURE SIZE (HxW) WATER USE
39	<i>Festuca idahoensis</i> 'Siskiyou Blue'/ SISKIYOU BLUE FESCUE	1 Gal. Cont.	18"x157 Medium
40	<i>Muhlenbergia capillaris</i> 'Regal Mist'/ REGAL MIST MUHLENBERGIA	1 Gal. Cont.	36"x427 Medium
41	<i>Muhlenbergia rigens</i> / DEER GRASS	1 Gal. Cont.	42"x487 Medium
42	<i>Holm's microcarpa</i> / BEARGRASS	1 Gal. Cont.	36"x487 Medium
43	<i>Miscanthus sinensis</i> / MAIDEN GRASS	1 Gal. Cont.	60"x487 Medium

ACCENTS

SYM	BOTANICAL NAME/ COMMON NAME	INSTALLATION SIZE	MATURE SIZE (HxW) WATER USE
44	<i>Agave parryi</i> / PARRY'S AGAVE	1 Gal. Cont.	36"x367 Low
45	<i>Dasylirion wheeleri</i> / SOTOL	1 Gal. Cont.	48"x607 Low
46	<i>Hesperaloe parviflora</i> / RED HESPERALOE	1 Gal. Cont.	48"x487 Medium
47	<i>Opuntia basilaris</i> / BEAVERTAIL PRICKLY PEAR	1 Gal. Cont.	12"x487 Low
48	<i>Opuntia engelmannii</i> / ENGELMANN'S PRICKLY PEAR	1 Gal. Cont.	48"x607 Low
49	<i>Yucca glauca</i> / Soapweed	1 Gal. Cont.	36"x607 Low
50	<i>Yucca rupicola</i> / TWISTED LEAF YUCCA	1 Gal. Cont.	36"x367 Low

MULCHES

SYM	ROCK MULCH	ORGANIC PECAN SHELL MULCH
51	ROCK MULCH	ORGANIC PECAN SHELL MULCH

LANDSCAPE CALCULATIONS

SITE AREA: 7.3672 AC (AFTER R.O.W. DEDICATION)
 OPEN SPACE REQUIREMENT (10% OF THE SITE): 32,048 SF
 OPEN SPACE PROVIDED: 41,038 SF
 LANDSCAPE REQUIREMENT (40% OF OPEN SPACE): 16,414 SF
 LANDSCAPE AREA PROVIDED: 39,170 SF
 *NET LOT AREA WAS NOT USED IN THESE CALCULATIONS.

OPEN SPACE CALCULATIONS DO NOT INCLUDE REQUIRED LANDSCAPE STRIPS ALONG THE STREET OR WALKWAYS EXCEPT ANY PORTION OF A WALKWAY THAT IS WIDER THAN 10 FEET.

A MINIMUM OF 75% OF LANDSCAPE AREAS AND 80%-75% OF PLANTING STRIPS SHALL BE COVERED WITH LIVE VEGETATIVE MATERIALS.

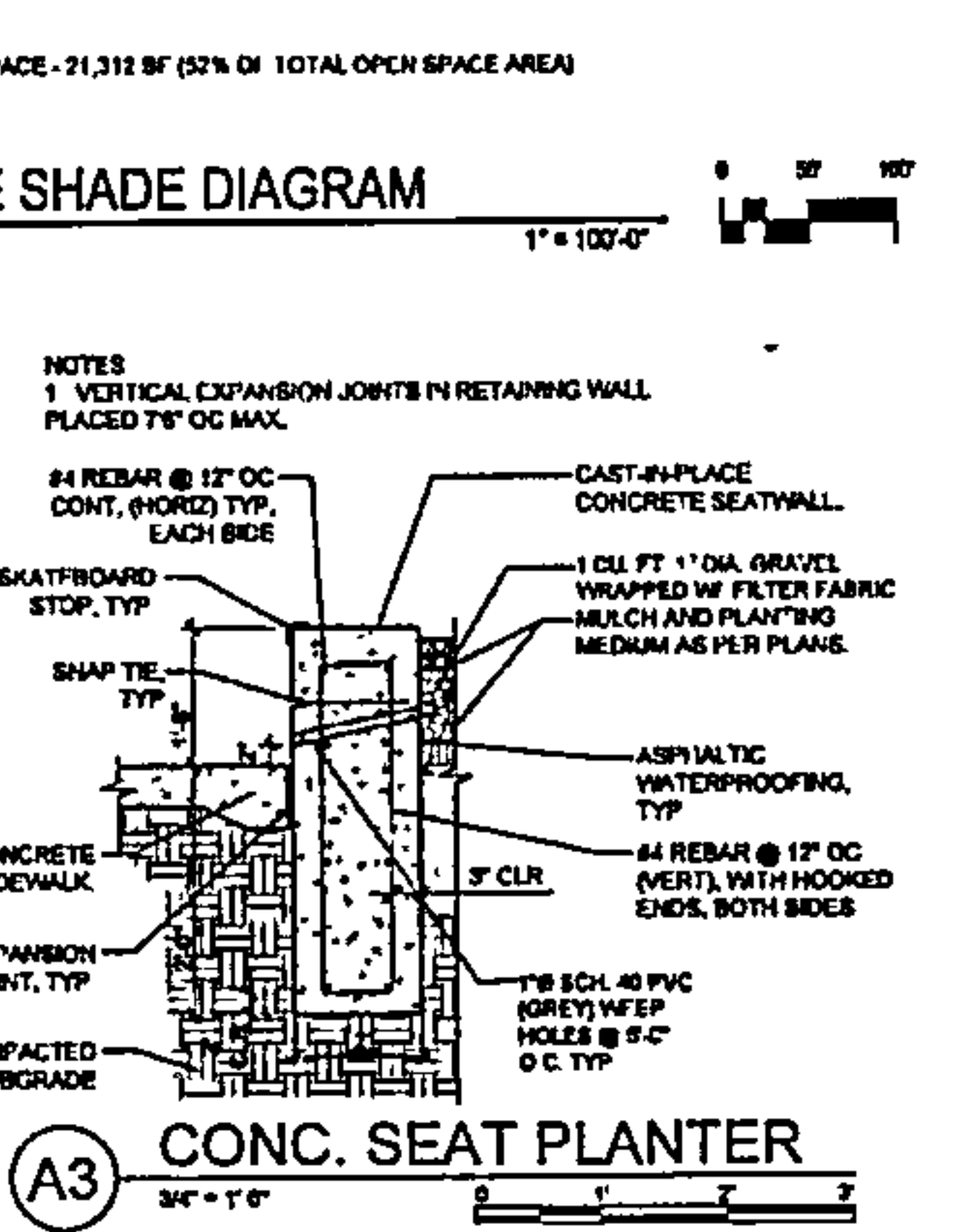
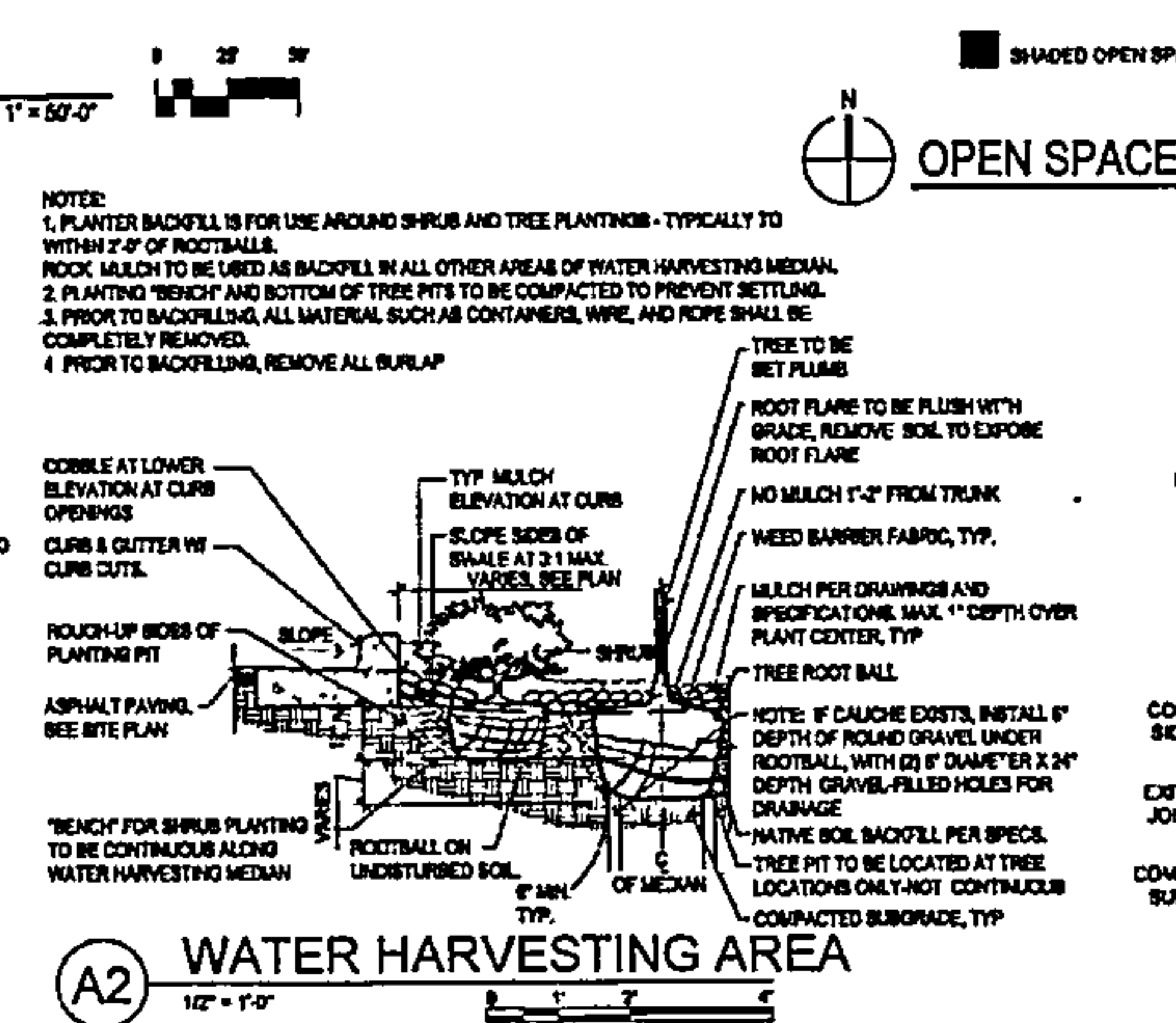
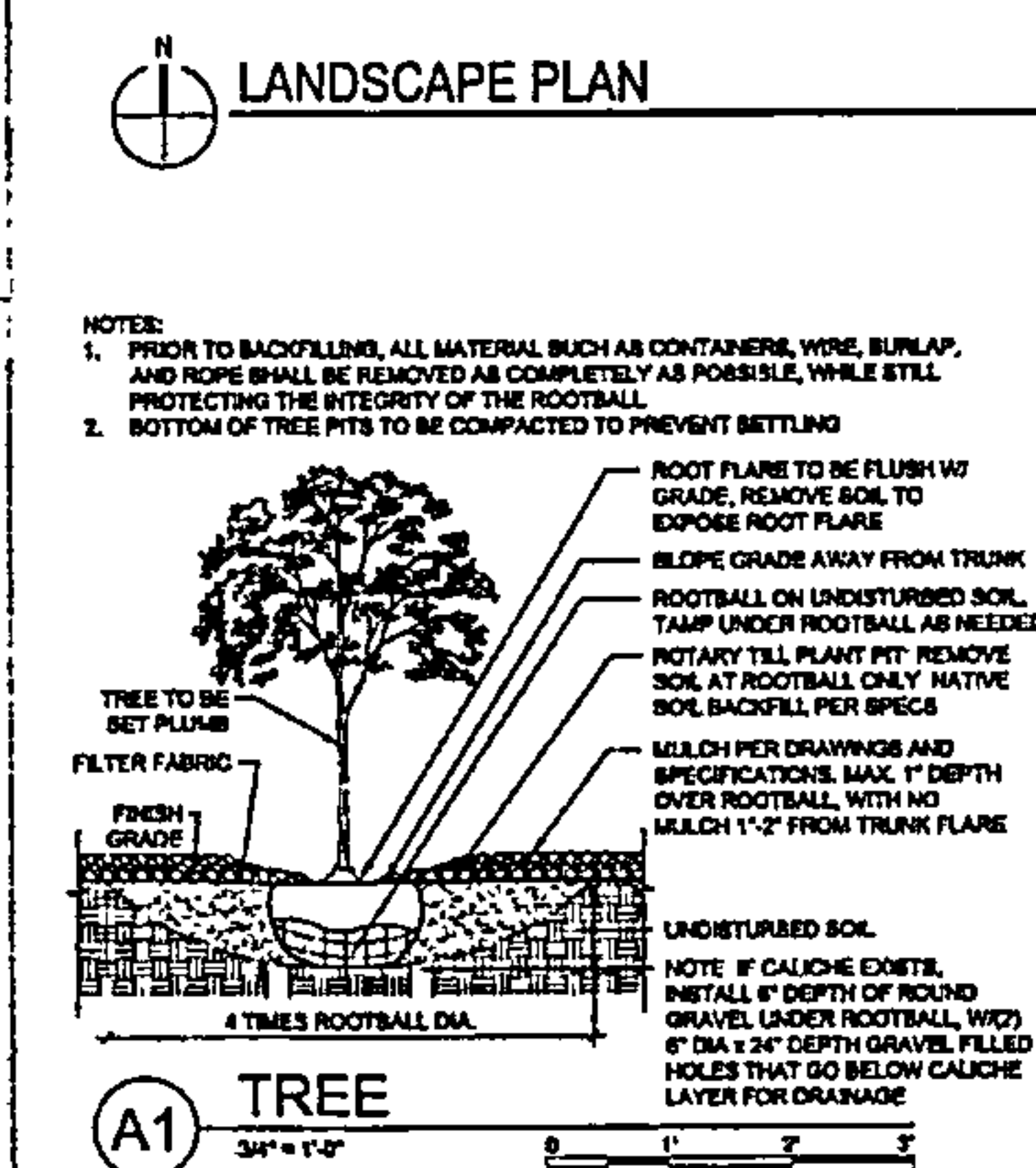
A MINIMUM OF 10% OF LANDSCAPE AREAS WILL HAVE FLOWERING PLANTS OR SHRUBS.

TOTAL SHADE TREES 80 (% OF TREES)
 TOTAL SIGNATURE TREES 38 (% OF TREES)

ROCK MULCH HAS BEEN LIMITED TO LESS THAN 5% OF ANY OPEN SPACE AREA AND USED ONLY WHERE NECESSARY AROUND DRAINAGE INLETS. ALL OTHER MULCH AREAS UTILIZE ORGANIC PECAN SHELL MULCH.

LANDSCAPE NOTES

- A. DESIGN THE PLANTING DESIGN INCLUDES A DIVERSE PALETTE OF DESERT AND HIGH DESERT PLANTS THAT WILL COMPLEMENT THE ARCHITECTURE OF THE PROJECT. THE INTENT IS TO LANDSCAPE THIS MIXED-USE URBAN ENVIRONMENT WITH DESERT AND HIGH DESERT PLANTS THAT REINFORCE A SENSE OF PLACE AND ARE APPROPRIATE TO ALBUQUERQUE'S CLIMATE.
- A.A. GRASSES AND ACCENT PLANTS SUCH AS YUCCA, SOTOL AND PRICKLY PEAR CACTUS WILL BE USED IN HIGHLY VISIBLE AND APPROPRIATE LOCATIONS. THE USE OF REGIONALLY NATIVE TREES FOR STREET TREES, WHILE UNORTHODOX, WILL REINFORCE THE SENSE OF PLACE, BUFFER PEDESTRIANS FROM VEHICULAR AREAS AND PROVIDE A COMFORTABLE PEDESTRIAN SCALE TO THE STREETS.
- B. PLANTING AND IRRIGATION INSTALLATION DETAILS SHALL MEET CITY OF ALBUQUERQUE REQUIREMENTS AND THE USDP REQUIREMENTS. EACH TREE SHALL HAVE A MINIMUM OF 30 SQUARE FEET OF PLANTING SPACE.
- C. PLANTING AND IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- D. CONTROLLER: THE IRRIGATION SYSTEM SHALL BE RUN WITH A FULLY AUTOMATED IRRIGATION CONTROLLER. THE RUN TIME FOR THE VARIOUS ZONES SHALL BE APPROXIMATELY 45 MINUTES FOR THE DRIP ZONES. RUN TIME WILL BE ADJUSTED ACCORDING TO SEASON, LOCATION, AND PLANT PERFORMANCE. DRIP EMITTERS SHALL BE USED FOR ALL PLANT MATERIAL.
- E. POINT OF CONNECTION: THERE IS LIKELY TO BE MORE THAN ONE POINT OF CONNECTION FOR THIS PROJECT. THE WATER CONNECTION LOCATIONS WILL BE COORDINATED WITH THE OVERALL WATER SERVICE DESIGN FOR THE SITE. THE EXACT LOCATIONS FOR CONNECTIONS AND CONTROLLERS IN UNKNOWN AT THIS TIME.
- F. MULCH: ALL PLANTING BEDS SHALL BE COVERED WITH MULCH. GRAVEL, BARK AND PECAN SHELL MULCHES WILL BE USED APPROPRIATELY TO ADD VISUAL INTEREST AND PROTECT SOIL MOISTURE.
- G. THE PARKING AREA TREES SELECTED FOR USE AT TARGET @ TREE AND SHRUB PITS TO BE 4 TIMES THE ROOTBALL DIAMETER. THERE IS NO HIGH WATER USE TURF USED ON THIS PROJECT.
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- J. SOIL PREPARATION AND AERATION WITHIN ROW IS REQUIRED TO DE-COMPACT LANDSCAPE ZONES PRIOR TO PLANTING.
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- N. THE LANDSCAPE DESIGN REQUIRES A PERMANENT, FULLY AUTOMATIC IRRIGATION SYSTEM TO SUPPORT THE PLANT MATERIAL.
- O. THE IRRIGATION SYSTEM WILL BE CONNECTED TO CITY WATER. THE POINT OF CONNECTION WILL CONSIST OF A WATER METER, BACKFLOW PREVENTER AND MASTERVALVE, SEE COA STD DETAIL #2701.
- P. THE CONTRACTOR SHALL CREATE AN IRRIGATION PLAN TO PERMANENTLY IRRIGATE THE PROPOSED PLANTINGS, AND SHALL SUBMIT THIS TO THE ARCHITECT FOR REVIEW AND APPROVAL. THE PLAN SHALL INCLUDE A PIPING AND EMITTER LAYOUT WITH SIZING, VALVE SCHEDULE AND CONSTRUCTION DETAILS.
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- R. DRIP EMITTERS SHALL BE USED FOR ALL PLANT MATERIAL.
- S. REFER TO DRAINAGE PLAN FOR GRADING INFORMATION AND WATER HARVESTING LOCATIONS.



Dekker Perich Sabatini

7801 Jefferson NE Suite 70
 Albuquerque, NM 87111
 505.761.8748
 505.761.4225
 ds@dsps.com ds@dsps.com

TARGET @ ABQ Uptown
 Albuquerque, New Mexico

DRB SUBMITTAL

DRG. BY: JG
 REVISED BY: MB
 DATE: 1/10/2011
 PROJECT NO: 1001305

LANDSCAPE PLAN - PHASE II

September 18, 2013

Snow Heights Neighborhood Association "R"
Ms. Laura Heitman
8011 Princess Jeanne NE
Albuquerque, NM 87110

Re: Target, 2120 Louisiana Boulevard NE
Southeast corner of Louisiana Boulevard NE and Indian School Road NE
Reason for Request: Target at Uptown Site Development Plan for Subdivision & Re-plat
Legal Description: Tract A of Hunt – Spectrum Development Site

Dear Ms. Heitman:

A letter was sent notifying you that Target wishes to subdivide their property to prepare for development of the pad sites at the southwest and northeast corners.

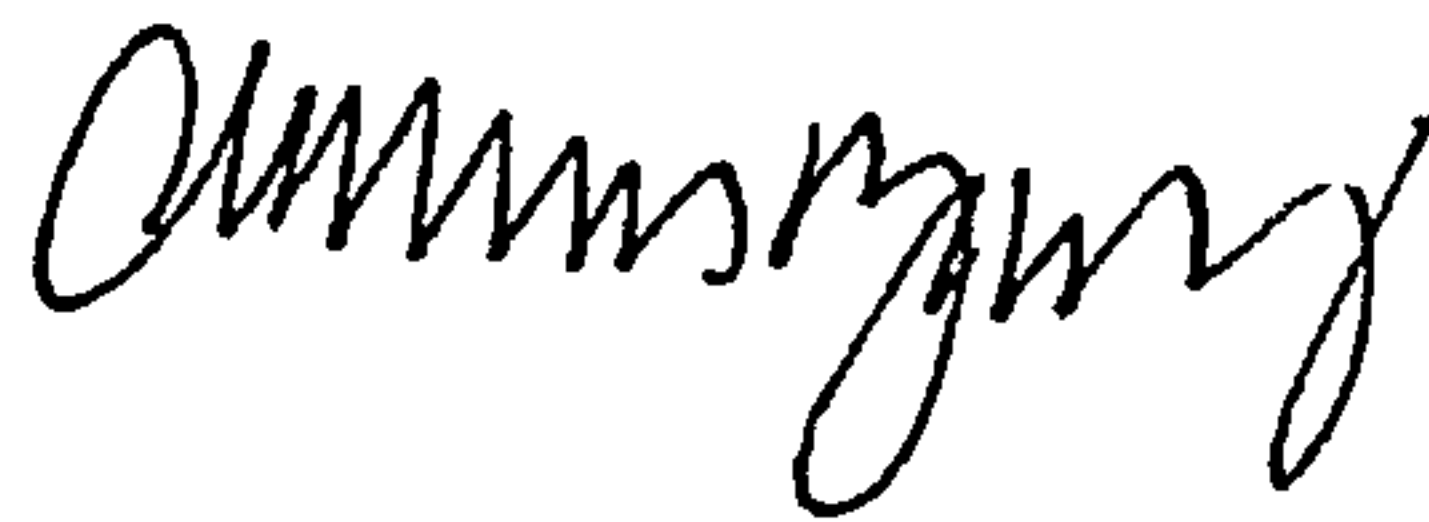
The hearing date that was mentioned in that letter was incorrect. The correct date is October 16, 2013 at 9:00 am in the Plaza Del Sol building located at 600 2nd Street NW (Hearing room on the lower level), Albuquerque, NM.

If you have any questions or need clarification, please feel free to contact me at:

Dekker/Perich/Sabatini
7601 Jefferson NE, Suite 100
Albuquerque, NM 87109
505-761-9700

Sincerely,

Dekker/Perich/Sabatini
Agent for Target



Christopher R. Gunning, AIA, LEED AP
Principal

Attachments:
Previous notification letter (VOIDED)
Site Development Plan for Subdivision
Landscaping Plan

September 10, 2013

Snow Heights Neighborhood Association "R"
Ms. Laura Heitman
8011 Princess Jeanne NE
Albuquerque, NM 87110

Re: Target, 2120 Louisiana Boulevard NE
Southeast corner of Louisiana Boulevard NE and Indian School Road NE
Reason for Request: Target at Uptown Site Development Plan for Subdivision & Re-plat
Legal Description: Tract A of Hunt – Spectrum Development Site

Dear Ms. Heitman:

A Site Development Plan for Building Permit (SPBP) was reviewed and approved for the subject property approximately one and a half years ago (11DRB-70284). Since then, the Target store has been constructed and the Owners now wish to subdivide the property to prepare for development of the pad sites at the southwest and northeast corners. We submitted for sketch plat review and appeared before DRB on November 7, 2012 (12DRB-70350), where we received direction to submit for a Site Development Plan for Subdivision (SPS) per the USDP process, and to then submit for re-plat concurrently.

The City of Albuquerque Planner assigned to this project is Chris Hyer. He can be reached at 924-3927 or via email at chyer@cabq.gov.

VOIDED


The hearing is scheduled for ~~September 25, 2013~~ at 9:00 am in the Plaza Del Sol building located at 600 2nd Street NW (Hearing room on the lower level), Albuquerque, NM.

If you have any questions or need clarification, please feel free to contact me at:

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7601 Jefferson NE, Suite 100
Albuquerque, NM 87109
505-761-9700

Sincerely,

Dekker/Perich/Sabatini
Agent for Target



Christopher R. Gunning, AIA, LEED AP
Principal

Attachments: Site Development Plan for Subdivision and Landscaping Plan

**Dekker
Perich
Sabatini**

1001 Jefferson NE Suite 100
Albuquerque, NM 87109
505 763-9700
Fax 763-4222
dps@dpdesign.org

ARCHITECT

ENGINEER

PROJECT

TARGET @ ABQ Uptown
Albuquerque, New Mexico
SITE PLAN FOR SUBDIVISION
DRB SUBMITTAL

REVISIONS

- △
- △
- △
- △

DRAWN BY: SJT

REVIEWED BY: CRG

DATE: 06/03/2013

PROJECT NO.: 11-0096.002

DRAWING NAME

SITE
DEVELOPMENT PLAN
FOR SUBDIVISION

GENERAL NOTES

- A. REFER TO SHEET 3 FOR DESIGN STANDARDS
- B. REFER TO CIVIL DRAWING, SHEET 2 FOR CONCEPTUAL UTILITY PLAN
- C. APPLICABLE PLANS: UPTOWN SECTOR DEVELOPMENT PLAN (2009)
- D. PROPOSED USES: MIXED USE INCLUDING RETAIL, RESTAURANT AND HOUSING

KEYED NOTES

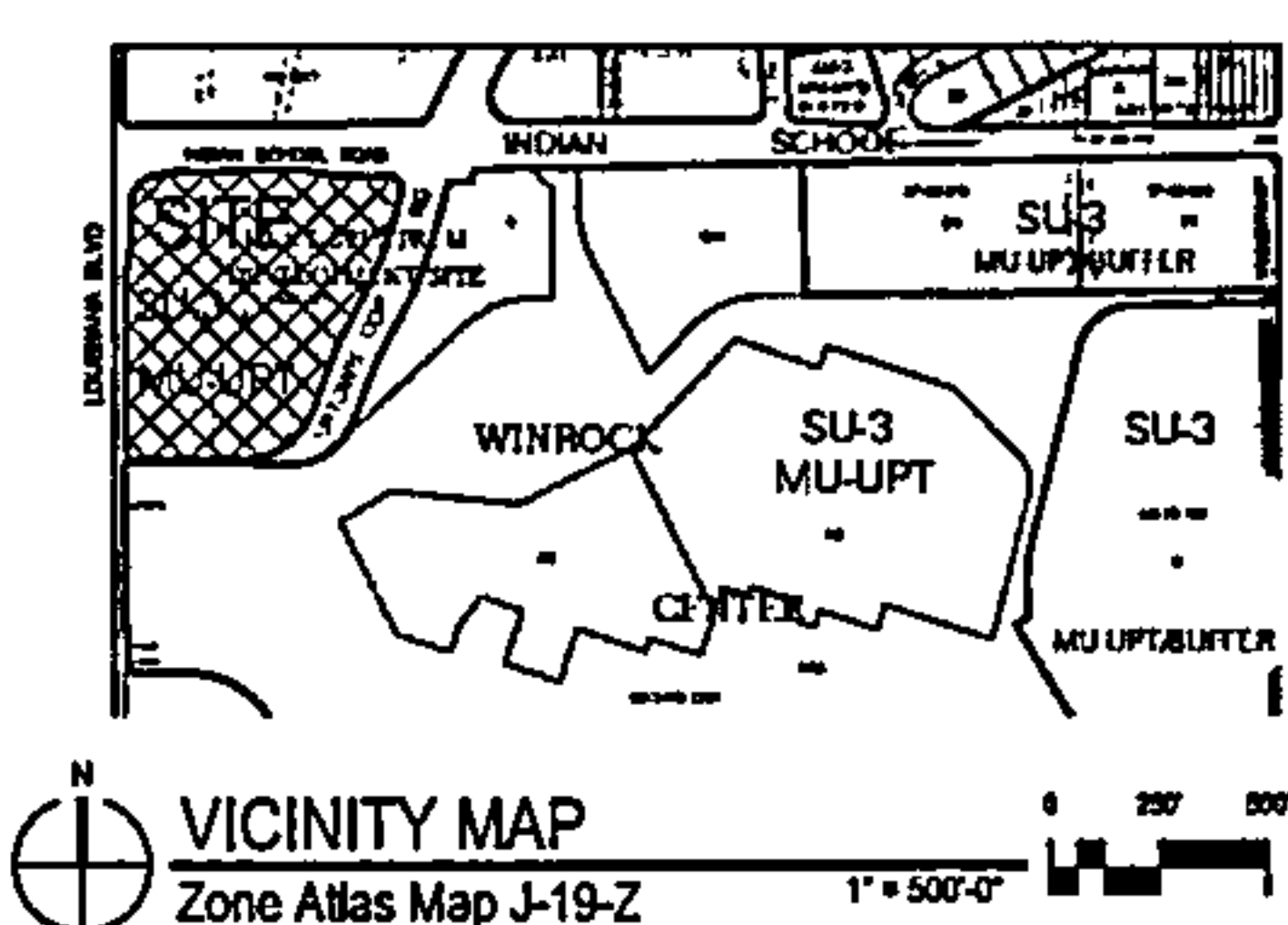
1. EXISTING PROPERTY LINE
2. PROPOSED PROPERTY LINE

SITE DATA

LEGAL DESCRIPTION:
TRACT A, HUNT - SPECTRUM DEVELOPMENT SITE
ZONE:
SU-3 FOR MU-UPT

SITE PLAN LEGEND

- PEDESTRIAN INGRESS / EGRESS
- VEHICULAR INGRESS / EGRESS
- - - PROPERTY LINE EXISTING AS NOTED
- - - PROPERTY LINE PROPOSED AS NOTED



FORIER PROJECT NUMBER: 1007316

PROJECT NUMBER: 1007316

APPLICATION NUMBER:

Is an Infrastructure List Exposed? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

SITE DEVELOPMENT PLAN APPROVAL

TRAFFIC ENGINEER, TRANSPORTATION DIVISION DATE

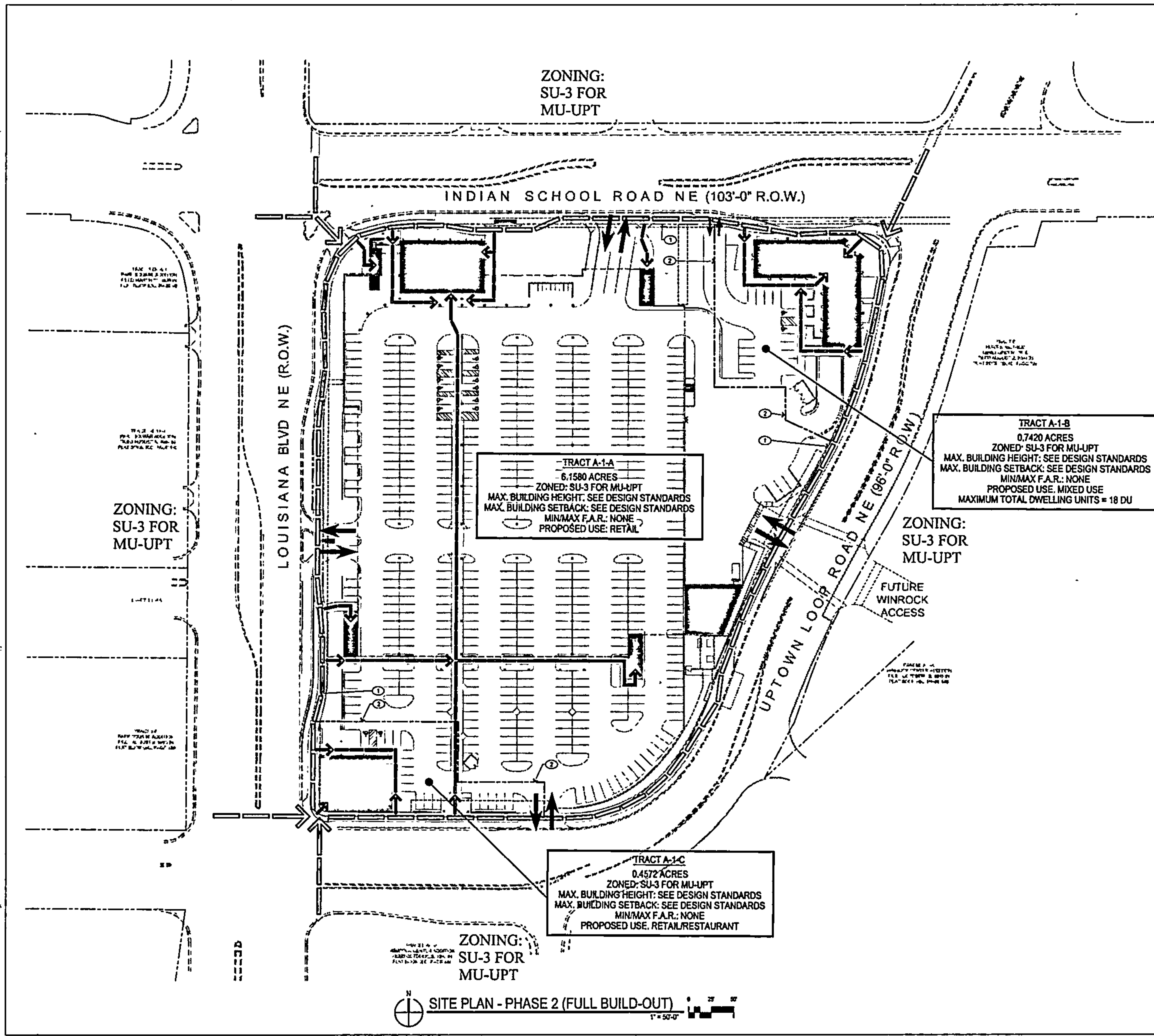
ABCWA DATE

PARKS AND RECREATION DEPARTMENT DATE

CITY ENGINEER DATE

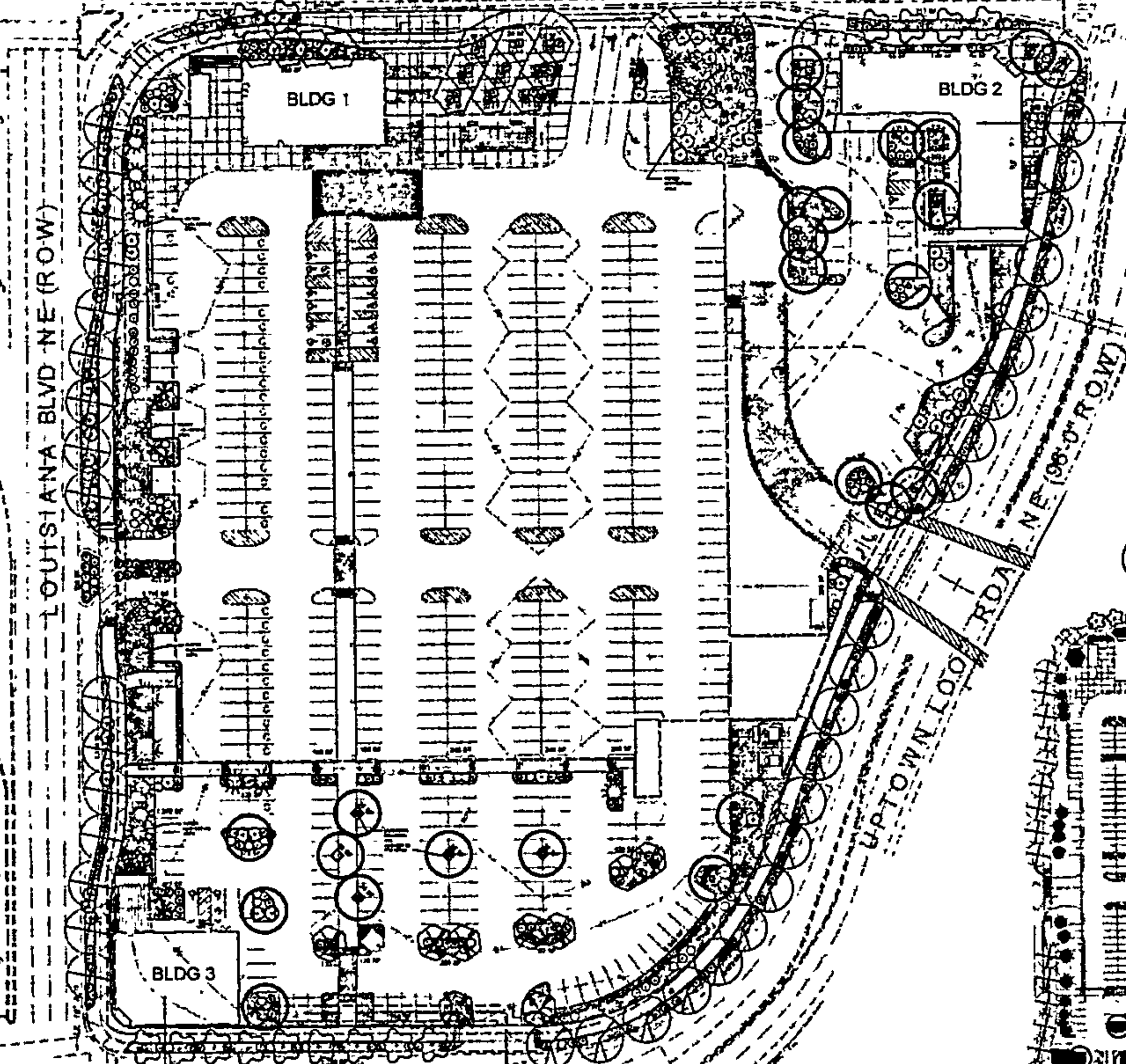
SOLID WASTE MANAGEMENT DATE

DRB CHAIRPERSON, PLANNING DEPARTMENT DATE



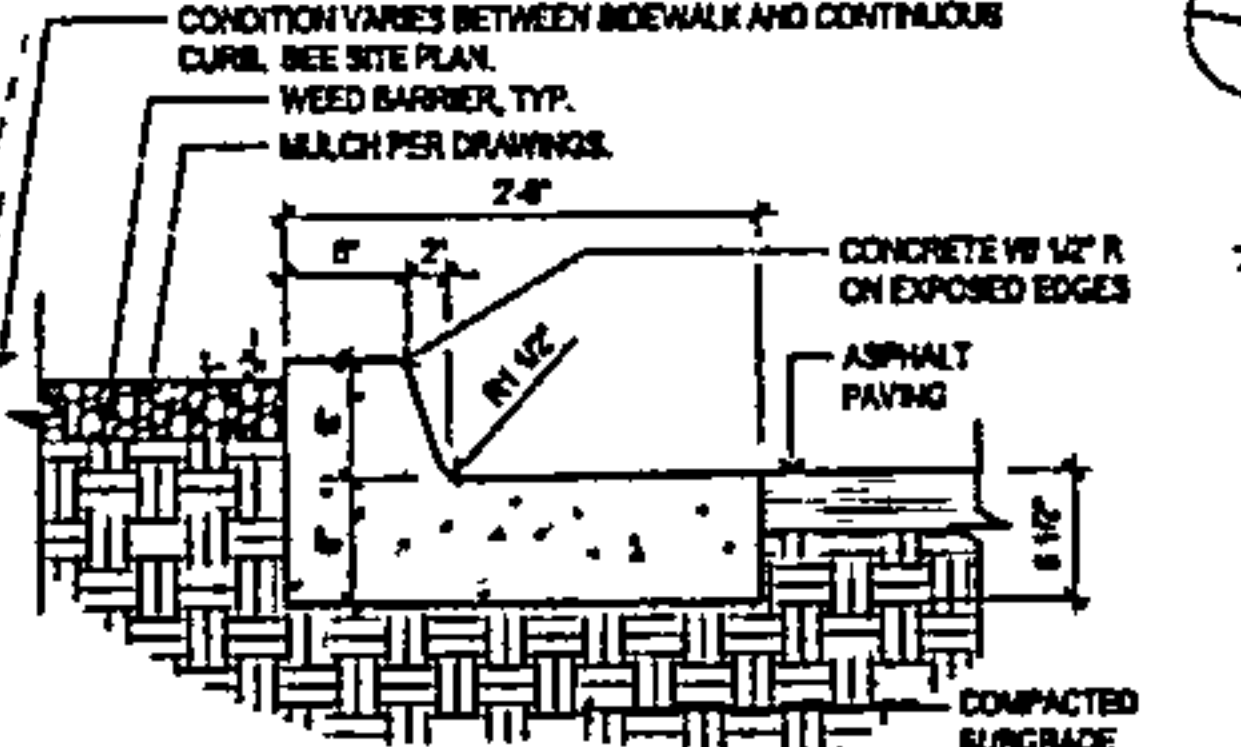
SITE PLAN - PHASE 2 (FULL BUILD-OUT)
1" = 50'-0"

INDIAN SCHOOL ROAD NE (103'-0" ROW)

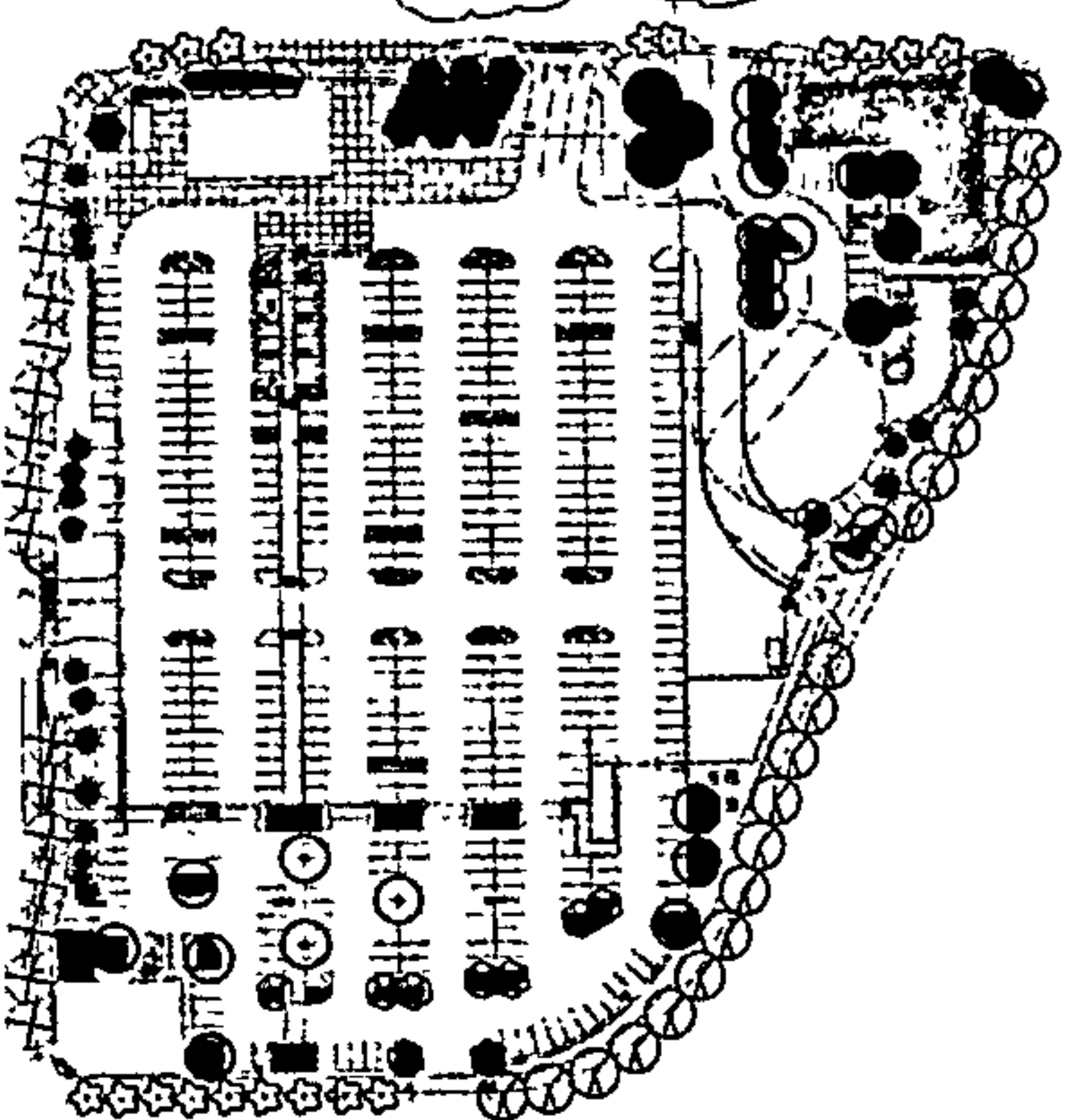


FOR PHASE 1, SEE SHEET 07

NOTES:
1. PROVIDE CONTROL JOINTS @ 6'-0" O.C. MAX AND EXPANSION JOINTS @ 18'-0" O.C. MAX UNLESS SHOWN OTHERWISE. CURB AND GUTTER JOINTING SHALL REFLECT THE JOINTING OF ADJACENT FLATWORK.
2. SEE CIVIL PLANS FOR PARKING LOT DESIGN AND DRAINAGE.
CONDITION VARIES BETWEEN SIDEWALK AND CONTIGUOUS CURB. SEE SITE PLAN.
WEED BARRIER, TYP.
MULCH PER DRAWINGS.
2" R



A4 DIAMOND PLANTERS IN PARKING LOT SECTION 1" = 1'-0"



SHADED OPEN SPACE - 21,313 SF (52% OF TOTAL OPEN SPACE AREA)

OPEN SPACE SHADE DIAGRAM 1" = 100'-0"

PLANTING LEGEND

TREES

SYM	QTY	BOTANICAL NAME/ COMMON NAME	INSTALLATION SIZE	MATURE SIZE (HxW) WATER USE
26		Platanus chinensis/ CHINESE PISTACHE	3" Cal.	35x30' Medium
15		Cercis reniformis/ WESTERN REDBUD	2" Cal./B&B	25x18' Medium
23		Chiosia linearis 'Fris Seedless/ DESERT WILLOW	48" Box/ Multi-trunked	25x35' Low
3		Populus deltoides wislizenii/ RIO GRANDE VALLEY COTTONWOOD	2" Cal./B&B	80x60' High
22		Quercus buckleyi/ TEXAS RED OAK	2" Cal./B&B	25x25' Medium
16		Quercus muhlenbergii/ CHINOQUIAN OAK	2" Cal./B&B	30x30' Medium
12		Tilia cordata LITTLELEAF LINDEN	2" Cal./B&B	35x30' Medium
11		Juniperus chinensis 'Spartan' SPARTAN JUNIPER	6" High/B&B	15x17' Low
18		Pinus strobliformis/ SOUTHWESTERN WHITE PINE	6" High/B&B	60x20' Low

SHRUBS

SYMBOL	BOTANICAL NAME/ COMMON NAME	INSTALLATION SIZE	MATURE SIZE (HxW) WATER USE
☉	Eriocaulon lanicollis/ TURPENTINE BUSH	1 Gal. Cont.	36"x36" Low
☉	Baccharis x 'Carmenita' CENTENNIAL BROOM	1 Gal. Cont.	36"x42" Low
☉	Caryopteris clandestina 'Dark Knight' DARK NIGHT BLUE MIST SPIREA	1 Gal. Cont.	48"x48" Medium
☉	Mahonia aquifolium 'Compactum' COMPACT MAHONIA	1 Gal. Cont.	24"x48" Medium
☉	Rosmarinus officinalis/ UPRIGHT ROSEMARY	1 Gal. Cont.	60"x48" Low
☉	Rhus aromatica 'Gro-low' GRO-LO FRAGRANT SUMAC	1 Gal. Cont.	24"x72" Medium
☉	Salvia greggii/ AUTUMN SAGE	1 Gal. Cont.	30"x36" Low
☉	Verbena bipinnatifida/ PRAIRIE VERBENA	1 Gal. Cont.	60"x36" Low
☉	Callitriche involucrata/ WINECLIPS	1 Gal. Cont.	18"x18" Low
☉	Ceropegia plumbeoides/ DWARF PLUMBAGO	1 Gal. Cont.	12"x18" Medium
☉	Gaillardia aristata/ BLANKETFLOWER	1 Gal. Cont.	30"x30" Low
☉	Hymenocallis acutilobus/ ANGELITA DAISY	1 Gal. Cont.	12"x12" Low
☉	Lavandula angustifolia 'Hidcote' SUPERIOR HIDCOTE SUPERIOR LAVENDER	1 Gal. Cont.	18"x18" Medium
☉	Mirabilis multiflora/ DESERT FOUR-O'CLOCK	1 Gal. Cont.	18"x30" Medium
☉	P. barbatus/ RED PENSTEMON	1 Gal. Cont.	50"x36" Low
☉	Teucrium chamaedryfolium/ TRAILING GERMANDER	1 Gal. Cont.	12"x24" Medium

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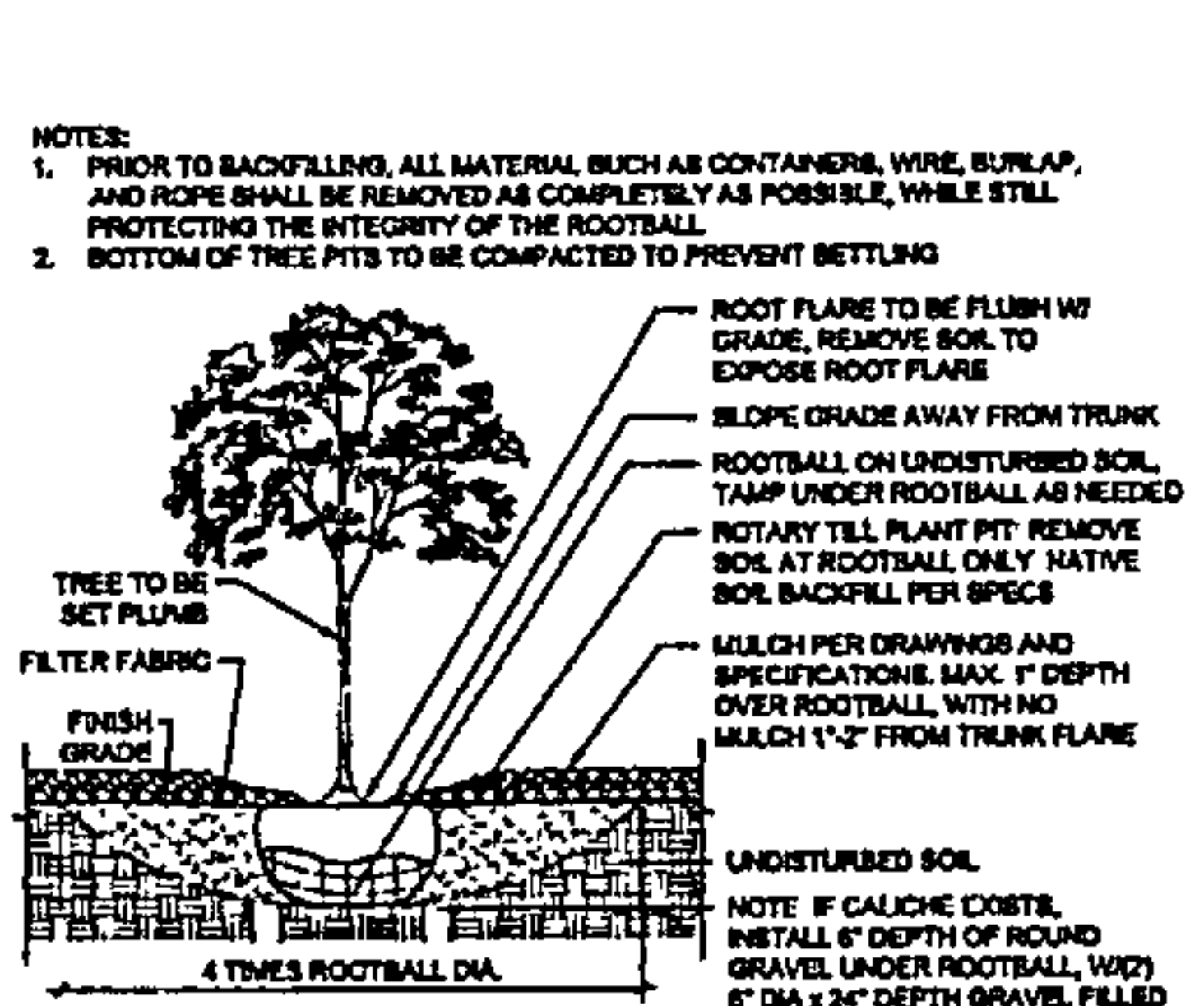
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LANDSCAPE NOTES

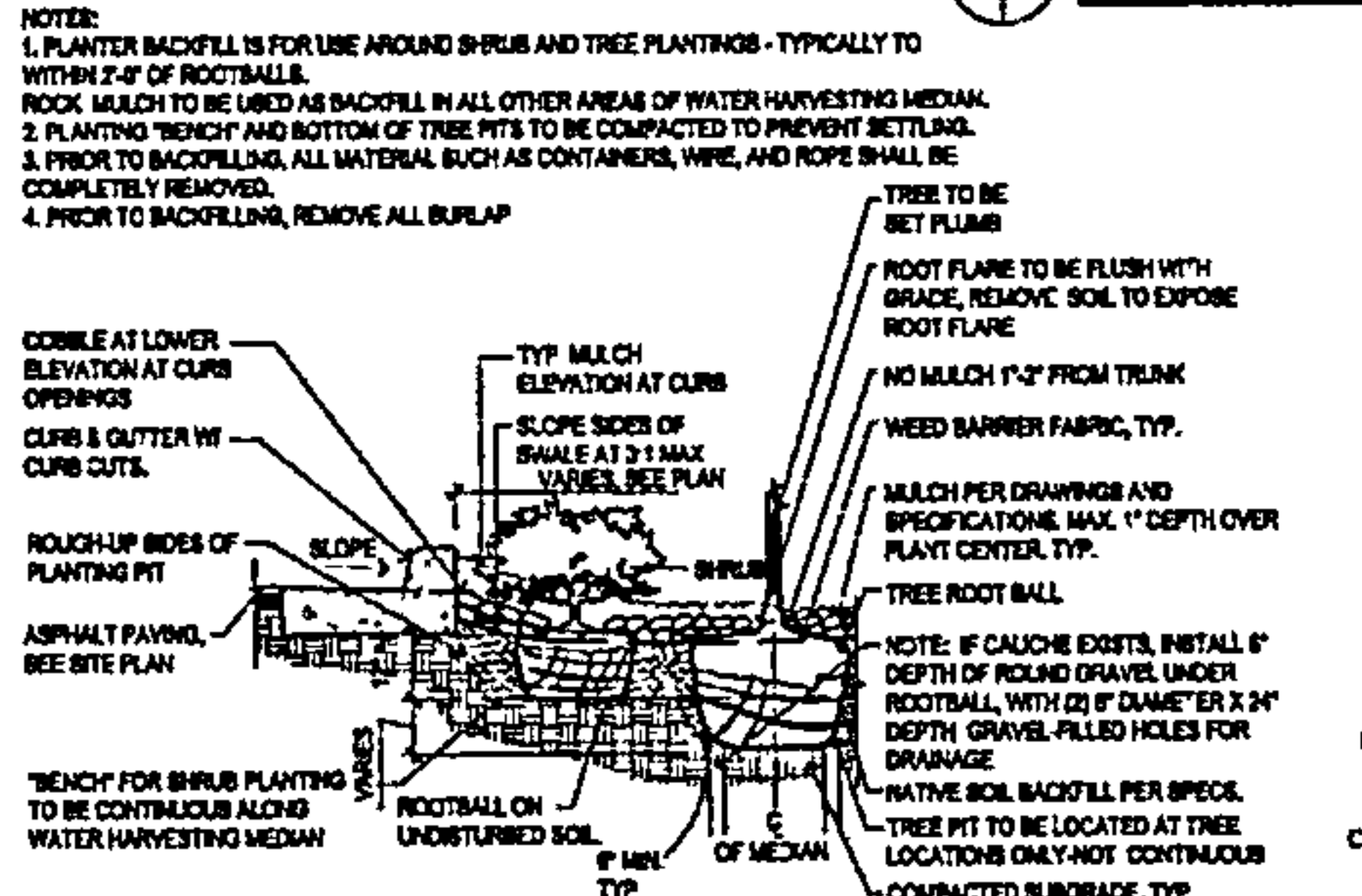
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FOR PHASE 1, SEE SHEET 07

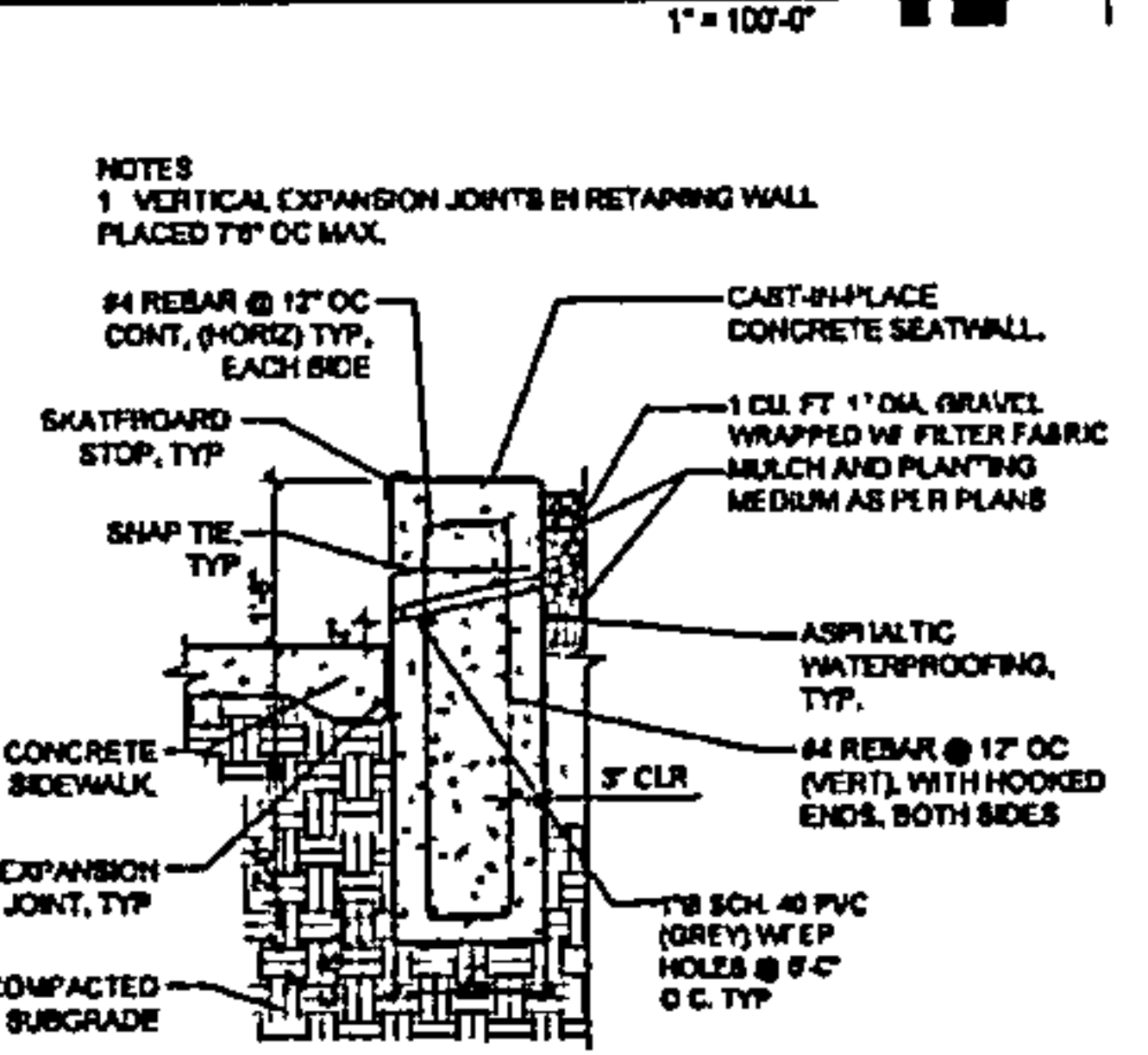
LANDSCAPE PLAN 1" = 50'-0"



A1 TREE 3/4" = 1'-0"



A2 WATER HARVESTING AREA 1/2" = 1'-0"



A3 CONC. SEAT PLANTER 3/4" = 1'-0"



Dekker Perich Sabatini
1801 Jefferson NE Suite 100
Albuquerque, NM 87111
505.761.1726
505.761.1225
dps@dsdgroup.com

ARCHITECT

PROJECT

TARGET @ ABQ Uptown
Albuquerque, New Mexico

DRB SUBMITTAL

DRAWN BY: JG
REVIEWED BY: MB
DATE: 11/10/2011
PROJECT NO: 10-135

LANDSCAPE PLAN - PHASE II

September 18, 2013

Snow Heights Neighborhood Association "R"
Ms. Shirley Marquez
7905 Hannett NE
Albuquerque, NM 87110

Re: Target, 2120 Louisiana Boulevard NE
Southeast corner of Louisiana Boulevard NE and Indian School Road NE
Reason for Request: Target at Uptown Site Development Plan for Subdivision & Re-plat
Legal Description: Tract A of Hunt – Spectrum Development Site

Dear Ms. Marquez:

A letter was sent notifying you that Target wishes to subdivide their property to prepare for development of the pad sites at the southwest and northeast corners.

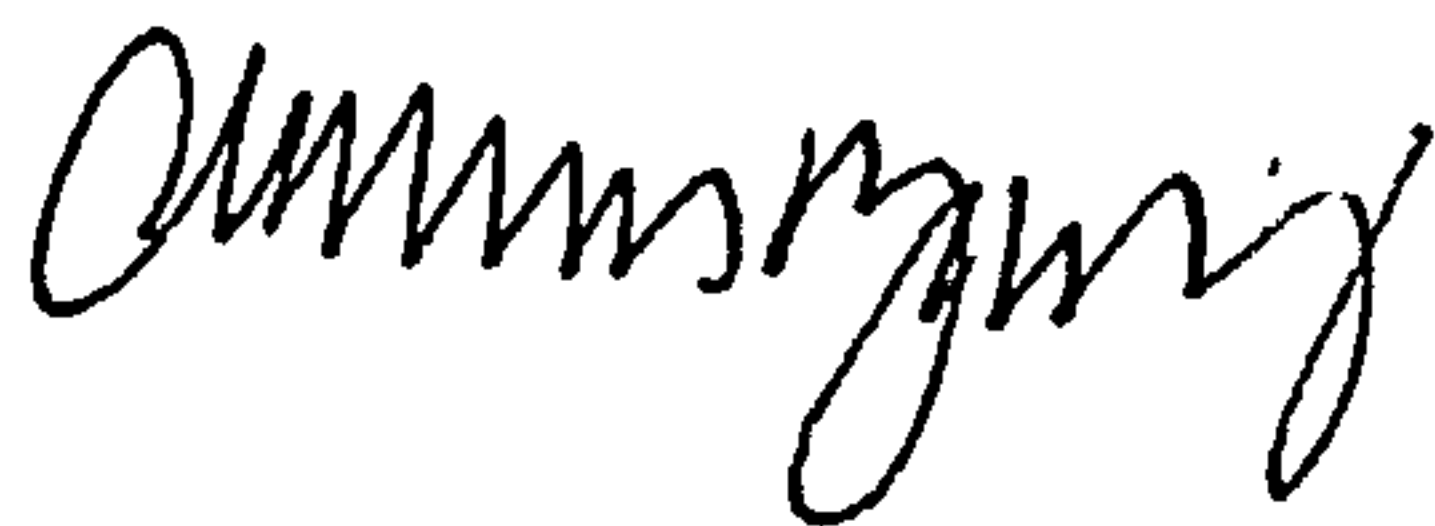
The hearing date that was mentioned in that letter was incorrect. The correct date is October 16, 2013 at 9:00 am in the Plaza Del Sol building located at 600 2nd Street NW (Hearing room on the lower level), Albuquerque, NM.

If you have any questions or need clarification, please feel free to contact me at:

Dekker/Perich/Sabatini
7601 Jefferson NE, Suite 100
Albuquerque, NM 87109
505-761-9700

Sincerely,

Dekker/Perich/Sabatini
Agent for Target



Christopher R. Gunning, AIA, LEED AP
Principal

Attachments:
Previous notification letter (VOIDED)
Site Development Plan for Subdivision
Landscaping Plan

September 10, 2013

Snow Heights Neighborhood Association "R"
Ms. Shirley Marquez
7905 Hannett NE
Albuquerque, NM 87110

Re: Target, 2120 Louisiana Boulevard NE
Southeast corner of Louisiana Boulevard NE and Indian School Road NE
Reason for Request: Target at Uptown Site Development Plan for Subdivision & Re-plat
Legal Description: Tract A of Hunt – Spectrum Development Site

Dear Ms. Marquez:

A Site Development Plan for Building Permit (SPBP) was reviewed and approved for the subject property approximately one and a half years ago (11DRB-70284). Since then, the Target store has been constructed and the Owners now wish to subdivide the property to prepare for development of the pad sites at the southwest and northeast corners. We submitted for sketch plat review and appeared before DRB on November 7, 2012 (12DRB-70350), where we received direction to submit for a Site Development Plan for Subdivision (SPS) per the USDP process, and to then submit for re-plat concurrently.

The City of Albuquerque Planner assigned to this project is Chris Hyer. He can be reached at 924-3927 or via email at chyer@cabq.gov.

VOIDED

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Dekker/Perich/Sabatini
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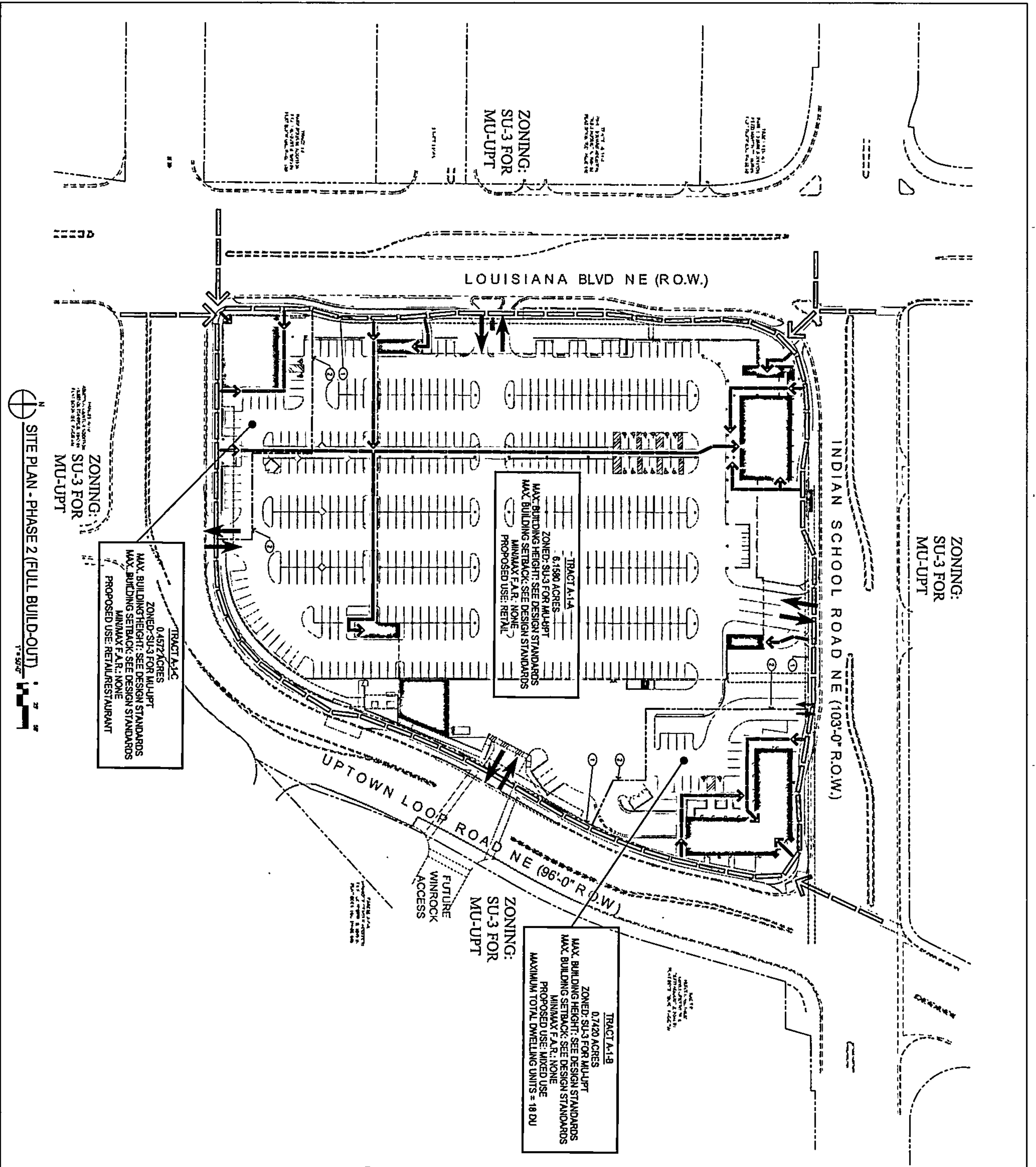
Sincerely,

Dekker/Perich/Sabatini
Agent for Target



Christopher R. Gunning, AIA, LEED AP
Principal

Attachments: Site Development Plan for Subdivision and Landscaping Plan



GENERAL NOTES

- A. REFER TO SHEET 3 FOR DESIGN STANDARDS
- B. REFER TO CIVIL DRAWING, SHEET 2 FOR CONCEPTUAL UTILITY PLAN
- C. APPLICABLE PLANS (UPTOWN SECTOR DEVELOPMENT PLAN (2009))
- D. PROPOSED USES MAY INCLUDE RESTAURANT, RESTAURANT AND HOUSING

KEYED NOTES

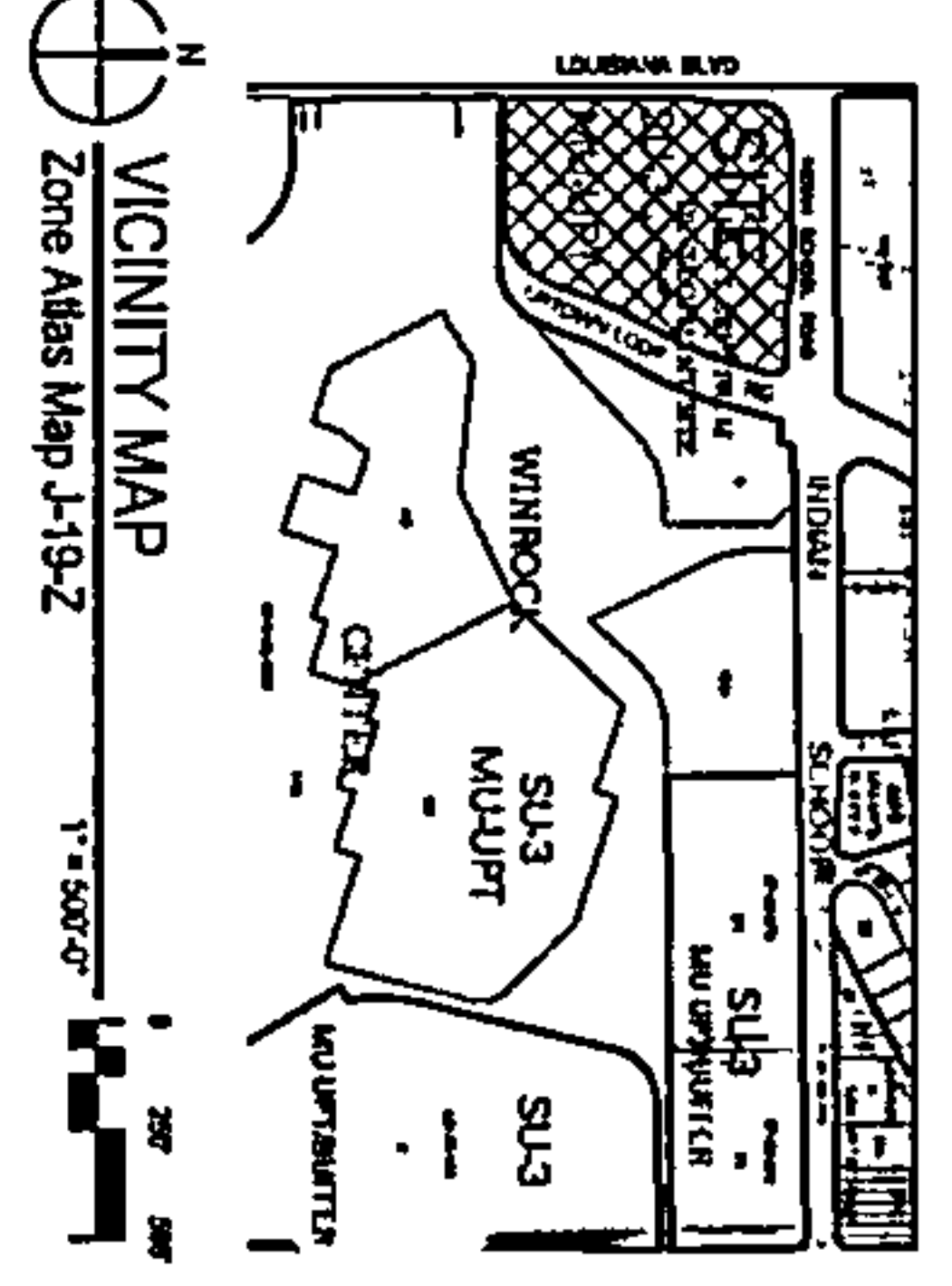
- 1. EXISTING PROPERTY LINE
- 2. PROPOSED PROPERTY LINE

SITE DATA

LEGAL DESCRIPTION:
TRACT A HINT - SPECIAL DEVELOPMENT SITE
ZONE:
SU-3 FOR MU-UPT

SITE PLAN LEGEND

- PEDESTRIAN BUSINESS / RESIDENCE
- VEHICULAR BUSINESS / RESIDENCE
- PROPERTY LINE EXISTING AS NOTED
- PROPERTY LINE PROPOSED AS NOTED



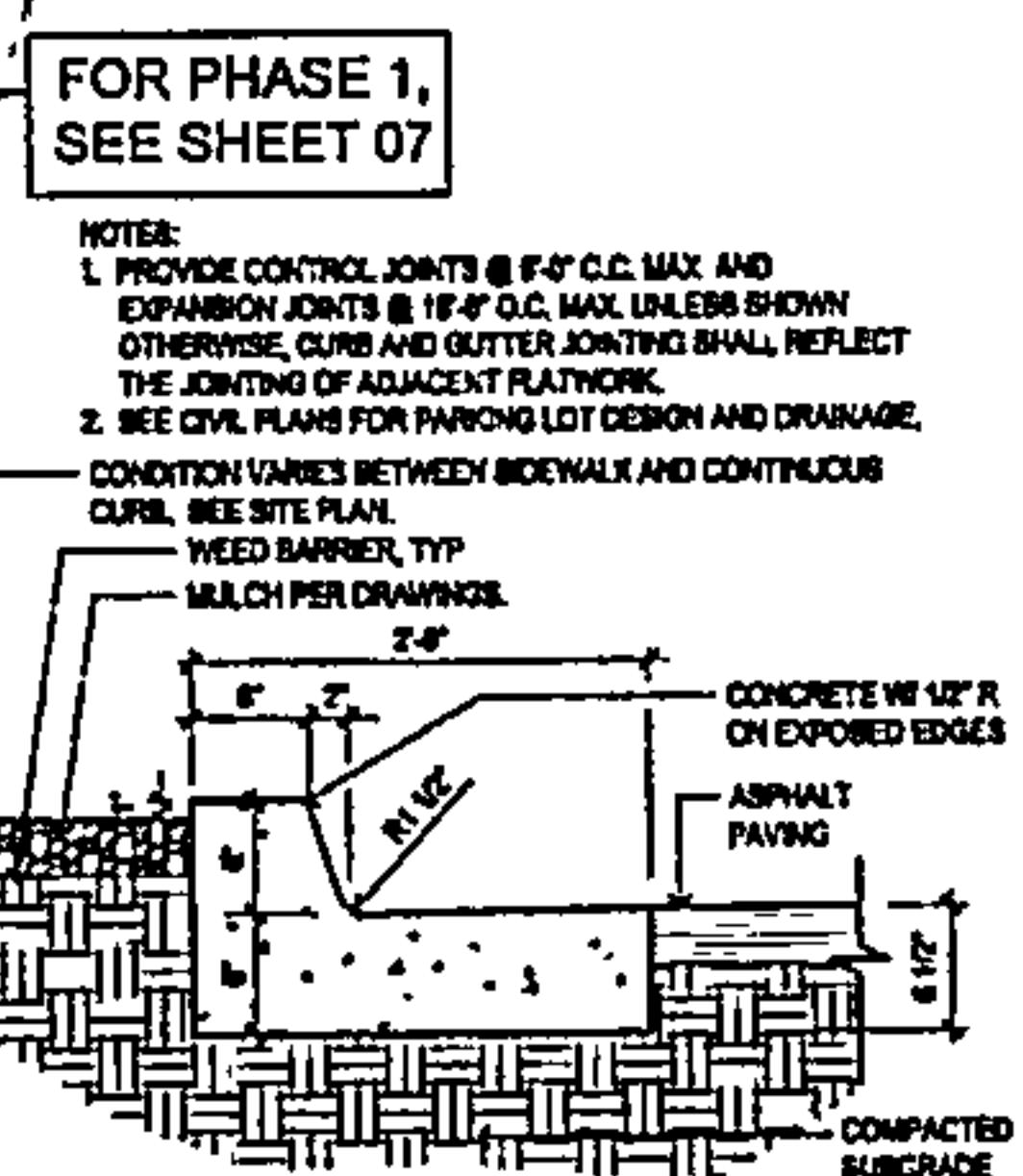
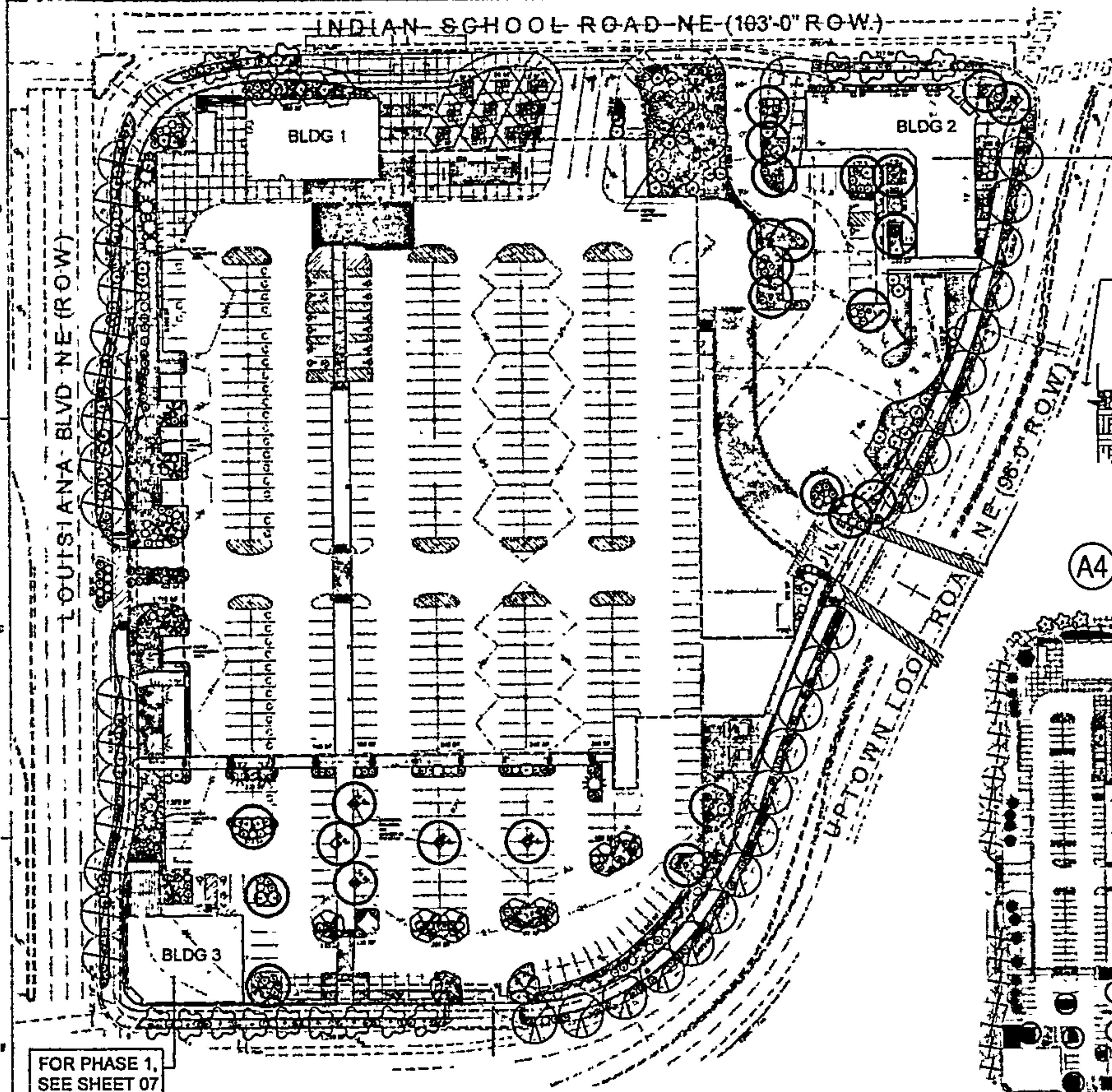
POSSIBLE PROJECT NUMBER	1967016
PROJECT NUMBER	1967016
APPLICATION NUMBER	
<p>As an Independent Land Registrar ("ILA") If you, there is set of approved DDC, please with a note, order as required for any construction within 15 days of receipt of the construction of public improvements.</p>	
SITE DEVELOPMENT PLAN APPROVAL	
Traffic Engineer, TRANSPORTATION DIVISION	DATE
ARCANA	DATE
PLANS AND REGULATION DEPARTMENT	DATE
CITY ENGINEER	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

Deker Perich Sabatini

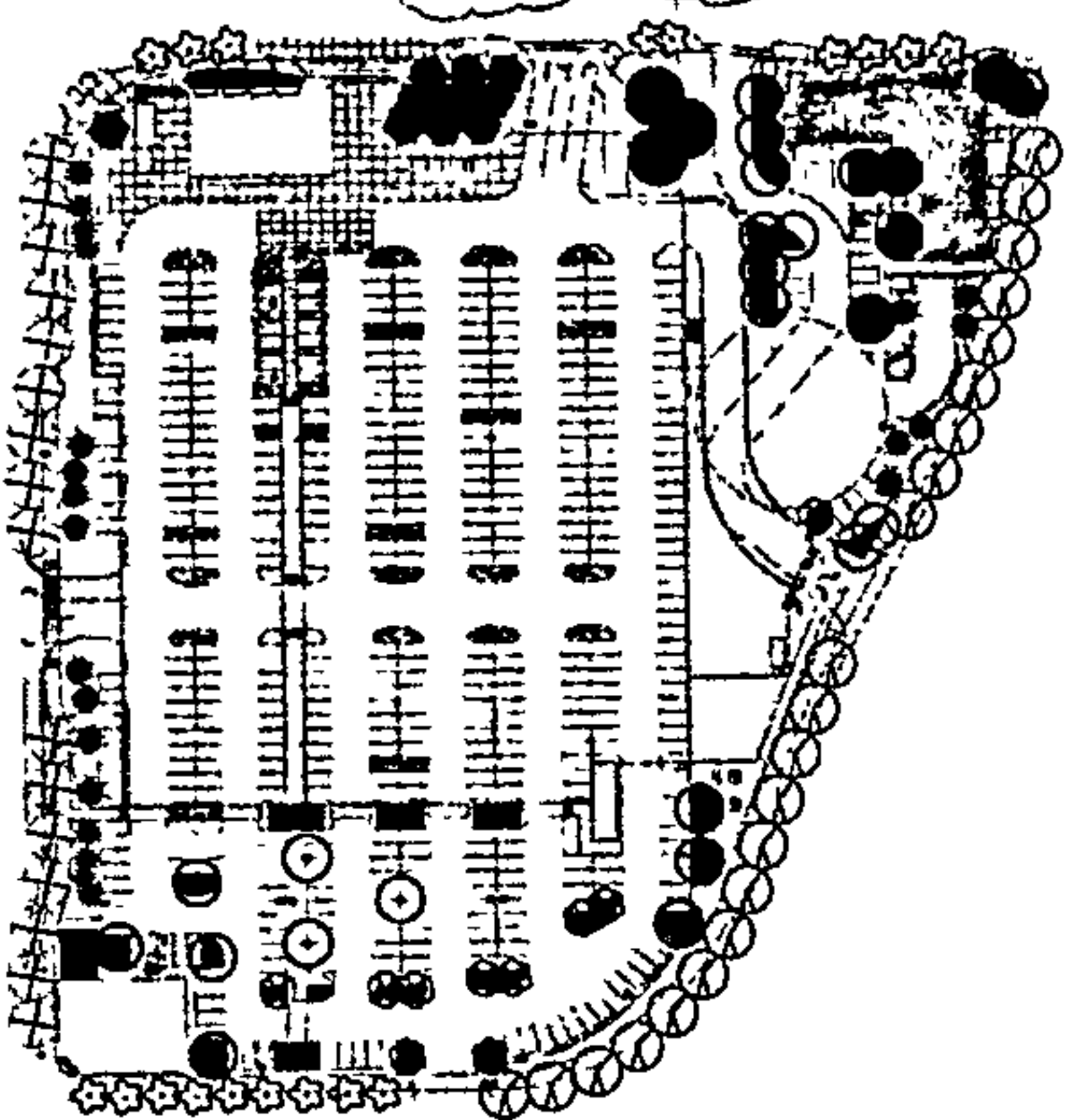
 Architects

TARGET @ ABQ Uptown
 Albuquerque, New Mexico
SITE PLAN FOR SUBDIVISION
DRB SUBMITTAL

PROJECT	TARGET @ ABQ Uptown				
ARCHITECT	Deker Perich Sabatini				
ENGINEER	S.T.				
REVISIONS	<table border="1"> <tr><td>DATE</td><td>DESCRIPTION</td></tr> <tr><td>09/02/2013</td><td></td></tr> </table>	DATE	DESCRIPTION	09/02/2013	
DATE	DESCRIPTION				
09/02/2013					
DRAWN BY	S.T.				
REVIEWED BY	CRD				
DATE	09/02/2013				
PROJECT NO.	11-0096.002				
DRAWING TITLE	SITE DEVELOPMENT PLAN FOR SUBDIVISION				



A4 DIAMOND PLANTERS IN PARKING LOT
SECTION
1" = 1'-0"



PLANTING LEGEND

TREES

SYM	QTY	BOTANICAL NAME/ COMMON NAME	INSTALLATION SIZE	MATURE SIZE (HxW) WATER USE
26		<i>Platanus chinensis</i> / CHINESE PISTACHE	3" Cal.	35'x30' Medium
15		<i>Cercis canadensis</i> / WESTERN REDBUD	2" Cal./B&B	25'x18' Medium
23		<i>Chilopsis linearis</i> 'Arts Seedless'/ DESERT WILLOW	48" Box/ Multi-trunked	25'x35' Low
3		<i>Populus deltoides wislizenii</i> / RIO GRANDE VALLEY COTTONWOOD	2" Cal./B&B	60'x60' High
22		<i>Quercus buckleyi</i> / TEXAS RED OAK	2" Cal./B&B	25'x25' Medium
16		<i>Quercus muhlenbergii</i> / CHINQUAPIN OAK	2" Cal./B&B	30'x30' Medium
12		<i>Tilia cordata</i> / LITTLELEAF LINDEN	2" Cal./B&B	35'x30' Medium
11		<i>Juniperus chinensis</i> 'Spartan'/ SPARTAN JUNIPER	6" High/B&B	15'x5' Low
18		<i>Pinus strobus</i> / SOUTHWESTERN WHITE PINE	6" High/B&B	60'x20' Low

SHRUBS

SYM	BOTANICAL NAME/ COMMON NAME	INSTALLATION SIZE	MATURE SIZE (HxW) WATER USE
	<i>Eriogonum fasciculatum</i> / TURPENTINE BUSH	1 Gal. Cont.	36" x 36" Low
	<i>Baccharis</i> 'Candelabra'/ CENTENNIAL BROOKS	1 Gal. Cont.	36" x 42" Low
	<i>Caryopteris clandestina</i> 'Dark King'/ DARK NIGHT BLUE MIST SPIREA	1 Gal. Cont.	48" x 48" Medium
	<i>Mahonia aquifolium</i> 'Compactum'/ COMPACT MAHONIA	1 Gal. Cont.	24" x 48" Medium
	<i>Rosmarinus officinalis</i> / UPRIGHT ROSEMARY	1 Gal. Cont.	60" x 48" Low
	<i>Rhus aromatica</i> 'Gro-low'/ GRO-LO FRAGRANT SUMAC	1 Gal. Cont.	24" x 72" Medium
	<i>Salvia Greggii</i> / AUTUMN SAGE	1 Gal. Cont.	30" x 36" Low
	<i>Verbena bipinnatifida</i> / PRAIRIE VERBENA	1 Gal. Cont.	60" x 36" Low
	<i>Callitriche involucrata</i> / WINECUPS	1 Gal. Cont.	18" x 18" Low
	<i>Ceratostigma plumbaginoides</i> / DWARF PLUMBAGO	1 Gal. Cont.	12" x 18" Medium
	<i>Gaillardia aristata</i> / BLANCKET FLOWER	1 Gal. Cont.	30" x 30" Low
	<i>Hymenoxys scutellaria</i> / ANGELITA DAISY	1 Gal. Cont.	12" x 12" Low
	<i>Lavandula angustifolia</i> 'Hidcote Superior'/ HIDCOTE SUPERIOR LAVENDER	1 Gal. Cont.	18" x 18" Medium
	<i>Mirabilis multiflora</i> / DESERT FOUR-O'CLOCK	1 Gal. Cont.	18" x 30" Medium
	<i>P. barbatus</i> / RED PENSTEMON	1 Gal. Cont.	50" x 36" Low
	<i>Trachium chamaedrys</i> / TRAILING GERMANDER	1 Gal. Cont.	12" x 24" Medium

GRASSES

SYM	BOTANICAL NAME/ COMMON NAME	INSTALLATION SIZE	MATURE SIZE (HxW) WATER USE
	<i>Festuca idahoensis</i> 'Siskiyou Blue'/ SISKIYOU BLUE FESCUE	1 Gal. Cont.	18" x 15" Medium
	<i>Muhlenbergia capillaris</i> 'Regal Mist'/ REGAL MIST MUHLENBERGIA	1 Gal. Cont.	36" x 42" Medium
	<i>Muhlenbergia rigens</i> / DEER GRASS	1 Gal. Cont.	42" x 48" Medium
	<i>Holcus microcarpa</i> / BEARGRASS	1 Gal. Cont.	36" x 48" Medium
	<i>Miscanthus sinensis</i> / MAIDEN GRASS	1 Gal. Cont.	60" x 48" Medium

ACCENTS

SYM	BOTANICAL NAME/ COMMON NAME	INSTALLATION SIZE	MATURE SIZE (HxW) WATER USE
*	<i>Agave parryi</i> / PARRY'S AGAVE	1 Gal. Cont.	36" x 36" Low
	<i>Dasyctris wheeleri</i> / SOTOL	1 Gal. Cont.	48" x 60" Low
	<i>Hesperaloe parviflora</i> / RED HESPERALOE	1 Gal. Cont.	48" x 48" Medium
	<i>Opuntia basilaris</i> / BEAVERTAIL PRICKLY PEAR	1 Gal. Cont.	12" x 48" Low
	<i>Opuntia engelmannii</i> / ENGELMANN'S PRICKLY PEAR	1 Gal. Cont.	48" x 60" Low
	<i>Yucca glauca</i> / Soapweed	1 Gal. Cont.	36" x 60" Low
	<i>Yucca rupicola</i> / TWISTED LEAF YUCCA	1 Gal. Cont.	36" x 36" Low

MULCHES

SYM	ROCK MULCH	ORGANIC PECAN SHELL MULCH

LANDSCAPE CALCULATIONS

SITE AREA 7,357.2 AC (AFTER R.O.W. DEDICATION)
 OPEN SPACE REQUIREMENT (10% OF THE SITE) 32,048 SF
 OPEN SPACE PROVIDED 41,036 SF
 LANDSCAPE REQUIREMENT (40% OF OPEN SPACE) 16,414 SF
 LANDSCAPE AREA PROVIDED 38,178 SF
 *NET LOT AREA WAS NOT USED IN THESE CALCULATIONS.

OPEN SPACE CALCULATIONS DO NOT INCLUDE REQUIRED LANDSCAPE STRIPS ALONG THE STREET OR WALKWAYS EXCEPT ANY PORTION OF A WALKWAY THAT IS WIDER THAN 10 FEET.

A MINIMUM OF 75% OF LANDSCAPE AREAS AND 80%-75% OF PLANTING STRIPS SHALL BE COVERED WITH LIVE VEGETATIVE MATERIALS.

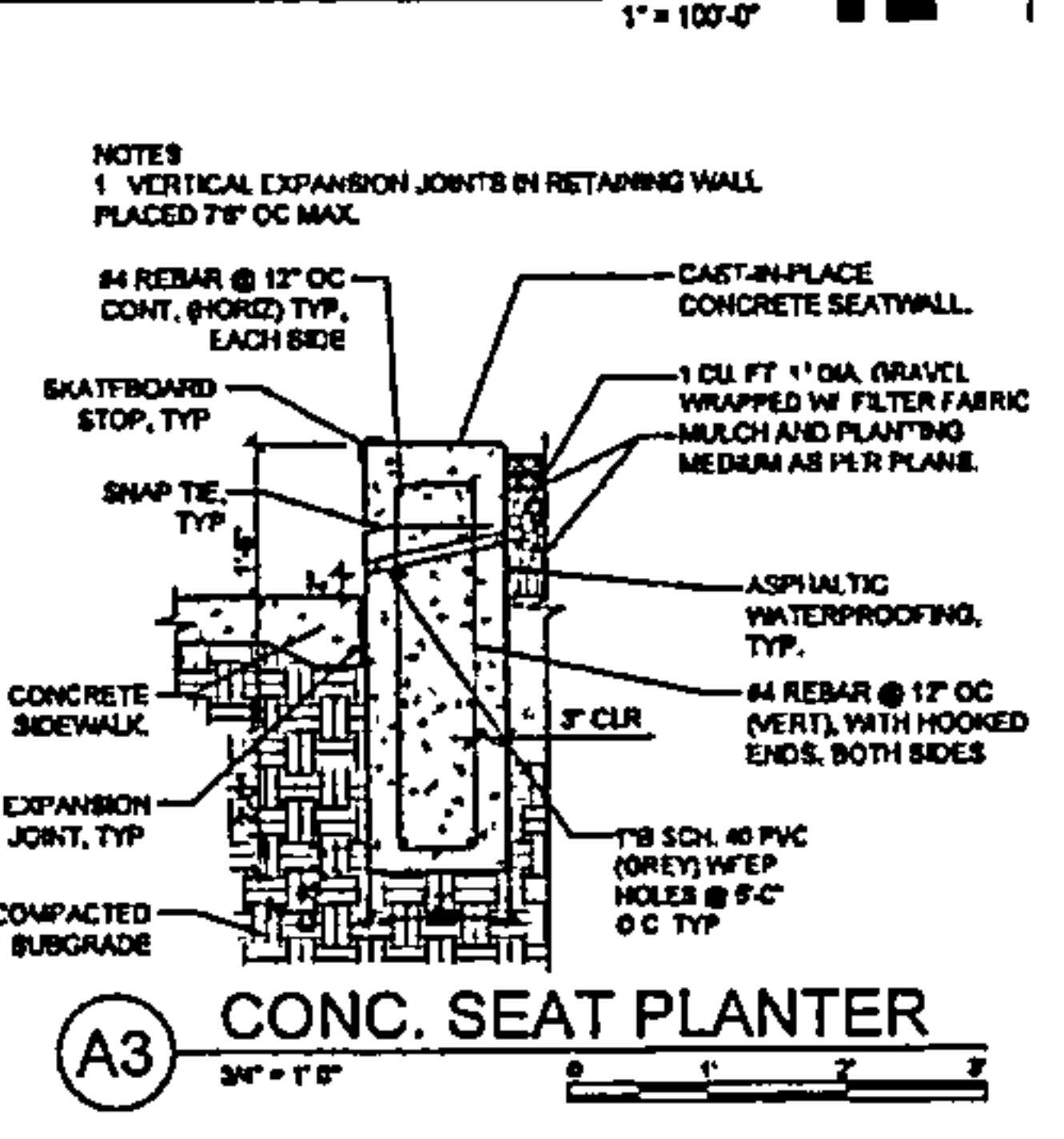
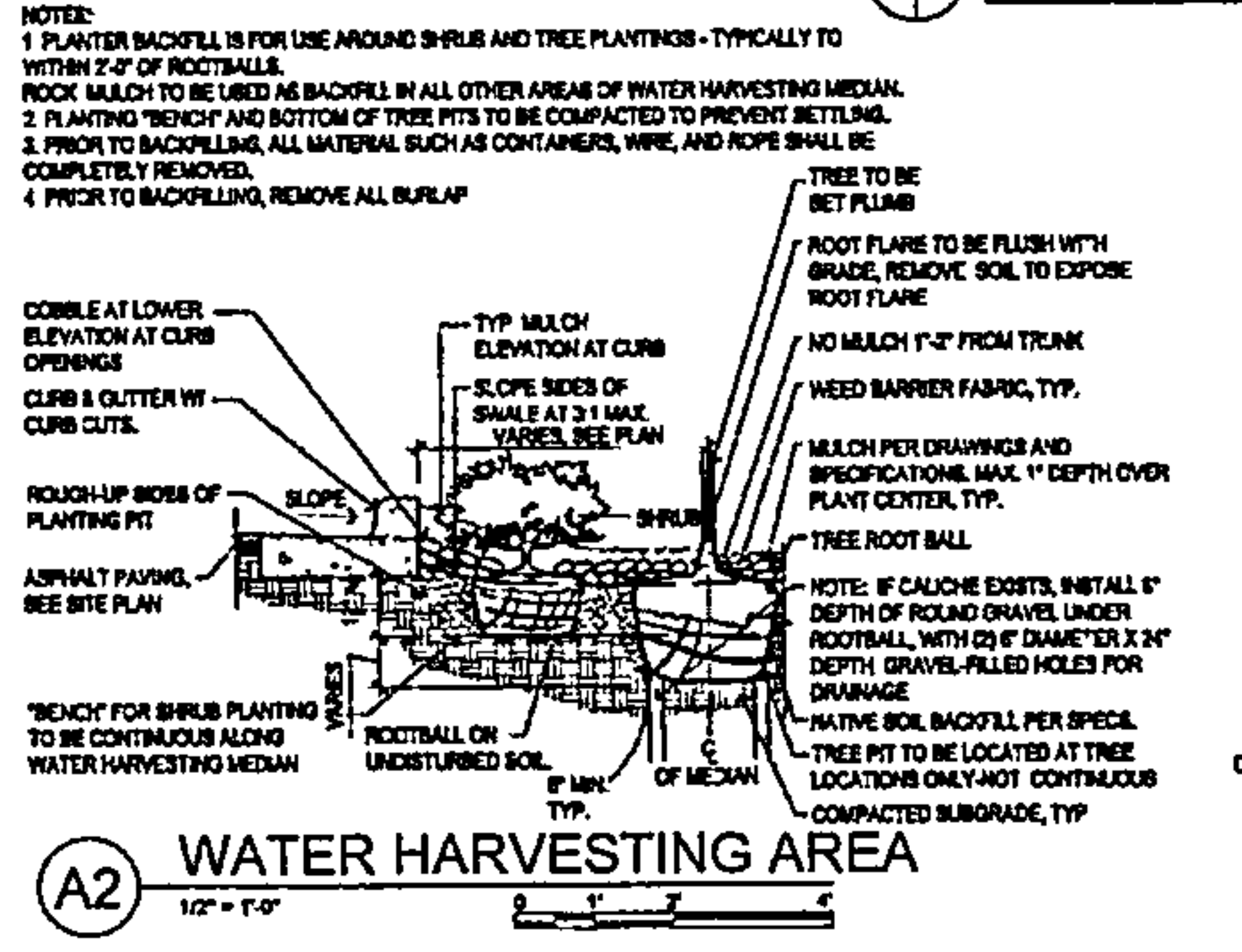
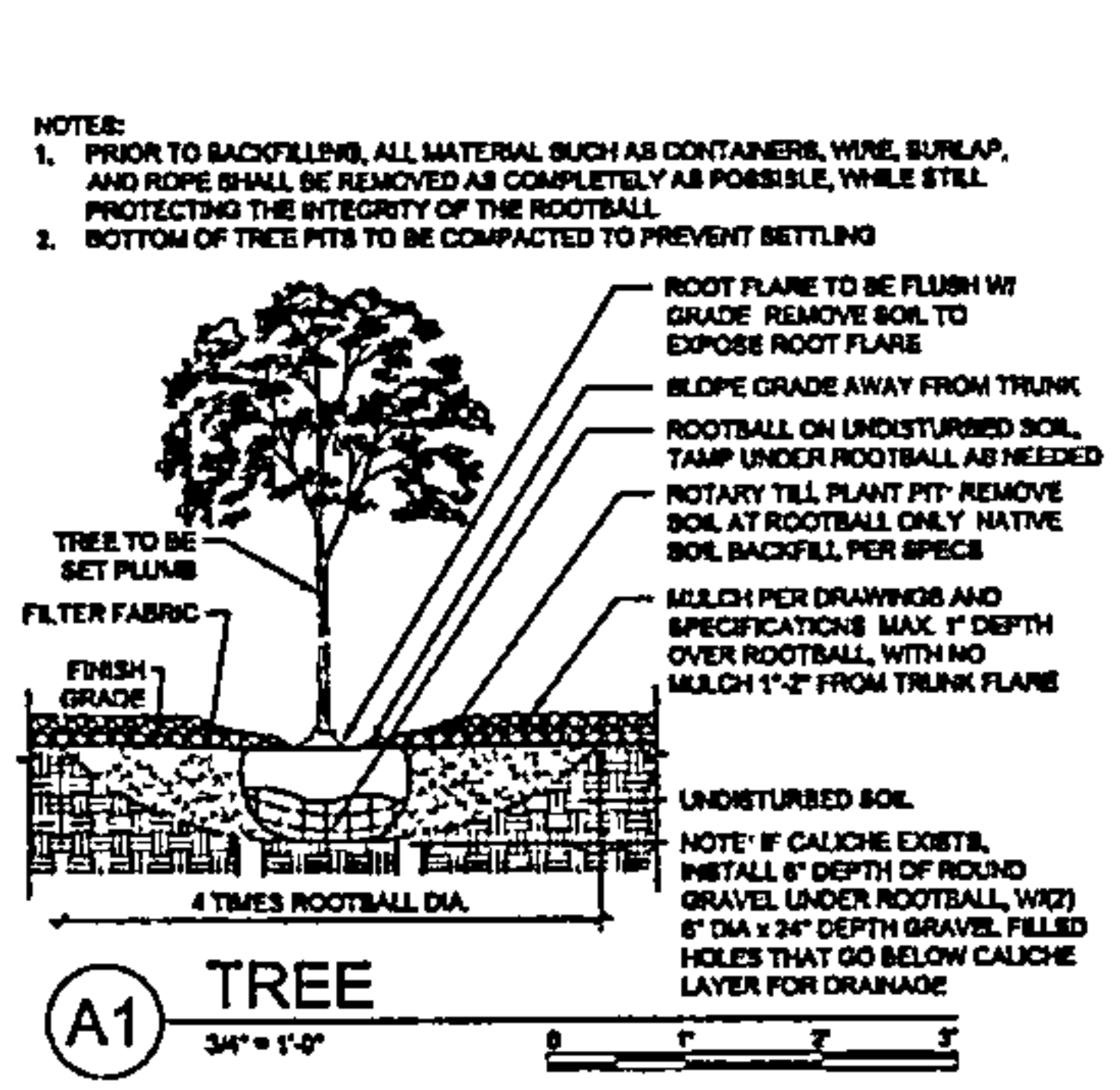
A MINIMUM OF 10% OF LANDSCAPE AREAS WILL HAVE FLOWERING PLANTS OR SHRUBS.

TOTAL SHADE TREES 80 (% OF TREES)
 TOTAL SIGNATURE TREES 38 (% OF TREES)

ROCK MULCH HAS BEEN LIMITED TO LESS THAN 5% OF ANY OPEN SPACE AREA AND USED ONLY WHERE NECESSARY AROUND DRAINAGE INLETS. ALL OTHER MULCH AREAS UTILIZE ORGANIC PECAN SHELL MULCH.

LANDSCAPE NOTES

- DESIGN THE PLANTING DESIGN INCLUDES A DIVERSE PALETTE OF DESERT AND HIGH DESERT PLANTS THAT WILL COMPLEMENT THE ARCHITECTURE OF THE PROJECT. THE INTENT IS TO LANDSCAPE THIS MIXED USE, URBAN ENVIRONMENT WITH DESERT AND HIGH DESERT PLANTS THAT REINFORCE A SENSE OF PLACE AND ARE APPROPRIATE TO ALBUQUERQUE'S CLIMATE.
- GRASSES AND ACCENT PLANTS SUCH AS YUCCA, SOTOL AND PRICKLY PEAR CACTUS WILL BE USED IN HIGHLY VISIBLE AND APPROPRIATE LOCATIONS. THE USE OF REGIONALLY NATIVE TREES FOR STREET TREES, WHILE UNORTHODOX, WILL REINFORCE THE SENSE OF PLACE, BUFFER PEDESTRIANS FROM VEHICULAR AREAS AND PROVIDE A COMFORTABLE PEDESTRIAN SCALE TO THE STREETS.
- PLANTING AND IRRIGATION INSTALLATION DETAILS SHALL MEET CITY OF ALBUQUERQUE REQUIREMENTS AND THE USOP REQUIREMENTS. EACH TREE SHALL HAVE A MINIMUM OF 30 SQUARE FEET OF PLANTING SPACE.
- PLANTING AND IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- THE IRRIGATION SYSTEM SHALL BE RUN WITH A FULLY AUTOMATED IRRIGATION CONTROLLER. THE RUN TIME FOR THE VARIOUS ZONES SHALL BE APPROXIMATELY 45 MINUTES FOR THE DRIP ZONES. RUN TIME WILL BE ADJUSTED ACCORDING TO SEASON, LOCATION, AND PLANT PERFORMANCE. DRIP EMITTERS SHALL BE USED FOR ALL PLANT MATERIAL. POINT OF CONNECTION THERE IS LIKELY TO BE MORE THAN ONE POINT OF CONNECTION FOR THIS PROJECT. THE WATER CONNECTION LOCATIONS WILL BE COORDINATED WITH THE OVERALL WATER SERVICE DESIGN FOR THE SITE. THE EXACT LOCATIONS FOR CONNECTIONS AND CONTROLLERS IN UNKNOWN AT THIS TIME.
- MULCH: ALL PLANTING BEDS SHALL BE COVERED WITH MULCH. GRAVEL, BARK AND PECAN SHELL MULCHES WILL BE USED APPROPRIATELY TO ADD VISUAL INTEREST AND PROTECT SOIL MOISTURE.
- THE PARKING AREA TREES SELECTED FOR USE AT TARGET @ TREE AND SHRUB PITS TO BE 4 TIMES THE ROOTBALL DIAMETER. THERE IS NO HIGH WATER USE TURF USED ON THIS PROJECT.
- THE LANDSCAPE DESIGN SHALL COMPLY WITH THE INTENT OF THE CITY OF ALBUQUERQUE WATER CONSERVATION, LANDSCAPING AND WATER WASTE ORDINANCE.
- SOIL PREPARATION AND AERATION WITHIN ROW IS REQUIRED TO DECOMPACT LANDSCAPE ZONE PRIOR TO PLANTING.
- PASSIVE WATER HARVESTING, SUCH AS HARVESTING OF STORM WATER SURFACE RUNOFF AND ROOF RUNOFF, SHALL BE UTILIZED WHERE FEASIBLE AND CAPTURED IN SWALES.
- SOIL AMENDMENTS WILL BE USED FOR PLANT MATERIAL.
- PLANT AND IRRIGATION MAINTENANCE WILL BE THE RESPONSIBILITY OF THE OWNER FOLLOWING SUBSTANTIAL COMPLETION OR ANY MAINTENANCE PERIODS.
- THE LANDSCAPE DESIGN REQUIRES A PERMANENT, FULLY AUTOMATIC IRRIGATION SYSTEM TO SUPPORT THE PLANT MATERIAL.
- THE IRRIGATION SYSTEM WILL BE CONNECTED TO CITY WATER. THE POINT OF CONNECTION WILL CONSIST OF A WATER METER, BACKFLOW PREVENTER AND MASTERVALVE, SEE COA STD DETAIL #2701.
- THE CONTRACTOR SHALL CREATE AN IRRIGATION PLAN TO PERMANENTLY IRRIGATE THE PROPOSED PLANTINGS, AND SHALL SUBMIT THIS TO THE ARCHITECT FOR REVIEW AND APPROVAL. THE PLAN SHALL INCLUDE A PIPING AND EMITTER LAYOUT WITH SIZING, VALVE SCHEDULE AND CONSTRUCTION DETAILS.
- CONTROLLER: THE IRRIGATION SYSTEM SHALL BE RUN WITH FULLY AUTOMATED IRRIGATION CONTROLLER. RUN TIME WILL BE ADJUSTED ACCORDING TO PLANT MATURITY, SEASON, LOCATION, AND PLANT PERFORMANCE.
- DRIP EMITTERS SHALL BE USED FOR ALL PLANT MATERIAL.
- REFER TO DRAINAGE PLAN FOR GRADING INFORMATION AND WATER HARVESTING LOCATIONS.



Dekker Perich Sabatini
 7001 2nd Street NE Suite 100
 Albuquerque, NM 87113
 505.241.0200
 505.241.1222
 info@dpstudio.com
 www.dpstudio.com

TARGET @ ABQ Uptown
 Albuquerque, New Mexico

DRB SUBMITTAL

DATE: 11/10/2011
 PROJECT NO: 13-135
 DRAWN BY: JG
 REVISED BY: MB

September 18, 2013

Uptown Progress Team, Inc.
Mr. William Steadman
2424 Louisiana Blvd. NE, Suite 300
Albuquerque, NM 87110

Re: Target, 2120 Louisiana Boulevard NE
Southeast corner of Louisiana Boulevard NE and Indian School Road NE
Reason for Request: Target at Uptown Site Development Plan for Subdivision & Re-plat
Legal Description: Tract A of Hunt – Spectrum Development Site

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A letter was sent notifying you that Target wishes to subdivide their property to prepare for development of the pad sites at the southwest and northeast corners.

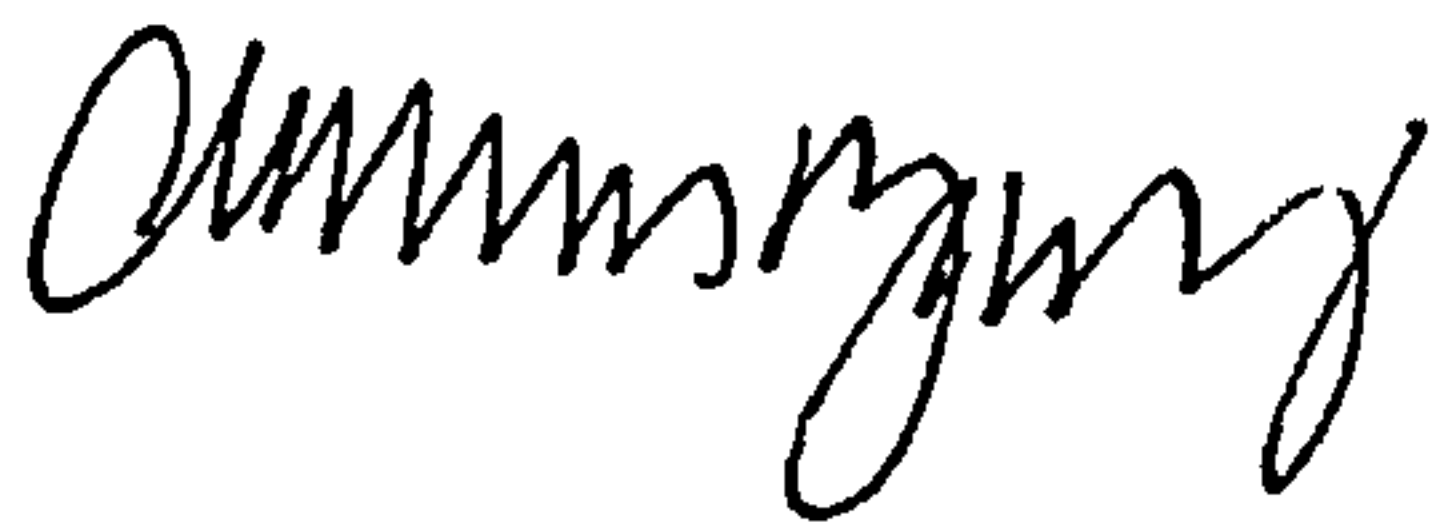
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Dekker/Perich/Sabatini
7601 Jefferson NE, Suite 100
Albuquerque, NM 87109
505-761-9700

Sincerely,

Dekker/Perich/Sabatini
Agent for Target



Christopher R. Gunning, AIA, LEED AP
Principal

Attachments:
Previous notification letter (VOIDED)
Site Development Plan for Subdivision
Landscaping Plan

September 10, 2013

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2424 Louisiana Blvd. NE, Suite 300
Albuquerque, NM 87110

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VOIDED
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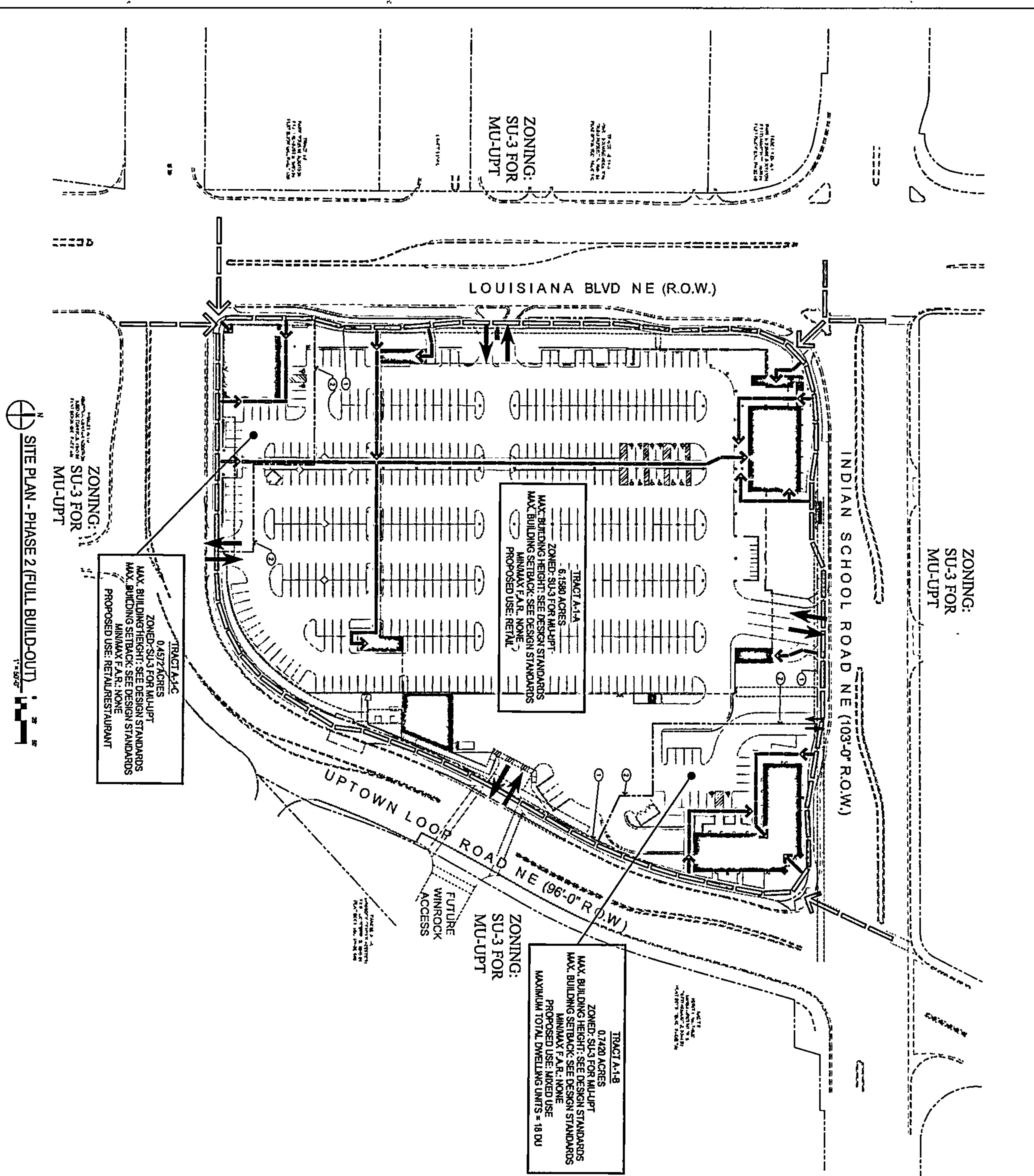
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Dekker/Perich/Sabatini
Agent for Target



Christopher R. Gunning, AIA, LEED AP
Principal

Attachments: Site Development Plan for Subdivision and Landscaping Plan



ZONING:
SU-3 FOR
MU-UPT

INDIAN SCHOOL ROAD NE (103'-0" R.O.W.)

LOUISIANA BLVD NE (R.O.W.)

TRACT A-1A
6.1580 ACRES
ZONED: SU-3 FOR MU-UPT
MAX. BUILDING HEIGHT: SEE DESIGN STANDARDS
MAX. BUILDING SETBACK: SEE DESIGN STANDARDS
MINIMUM F.A.R.: NONE
PROPOSED USE: RETAIL

TRACT A-1B
0.7420 ACRES
ZONED: SU-3 FOR MU-UPT
MAX. BUILDING HEIGHT: SEE DESIGN STANDARDS
MAX. BUILDING SETBACK: SEE DESIGN STANDARDS
MINIMUM F.A.R.: NONE
PROPOSED USE: MIXED USE
MAXIMUM TOTAL DWELLING UNITS = 18 DU

TRACT A-1C
0.4572 ACRES
ZONED: SU-3 FOR MU-UPT
MAX. BUILDING HEIGHT: SEE DESIGN STANDARDS
MAX. BUILDING SETBACK: SEE DESIGN STANDARDS
MINIMUM F.A.R.: NONE
PROPOSED USE: RETAIL/RESTAURANT

N
SITE PLAN - PHASE 2 (FULL BUILD-OUT)
1" = 50'-0"

GENERAL NOTES

- A. REFER TO SHEET 3 FOR DESIGN STANDARDS
- B. REFER TO CIVIL DRAWING SHEET FOR CONCEPTUAL UTILITY PLAN
- C. APPLICABLE PLANS: UPTOWN SECTION DEVELOPMENT PLAN (DRP)
- D. PROPOSED USES: MIXED USE INCLUDING RETAIL, RESTAURANT AND HOUSING

KEYED NOTES

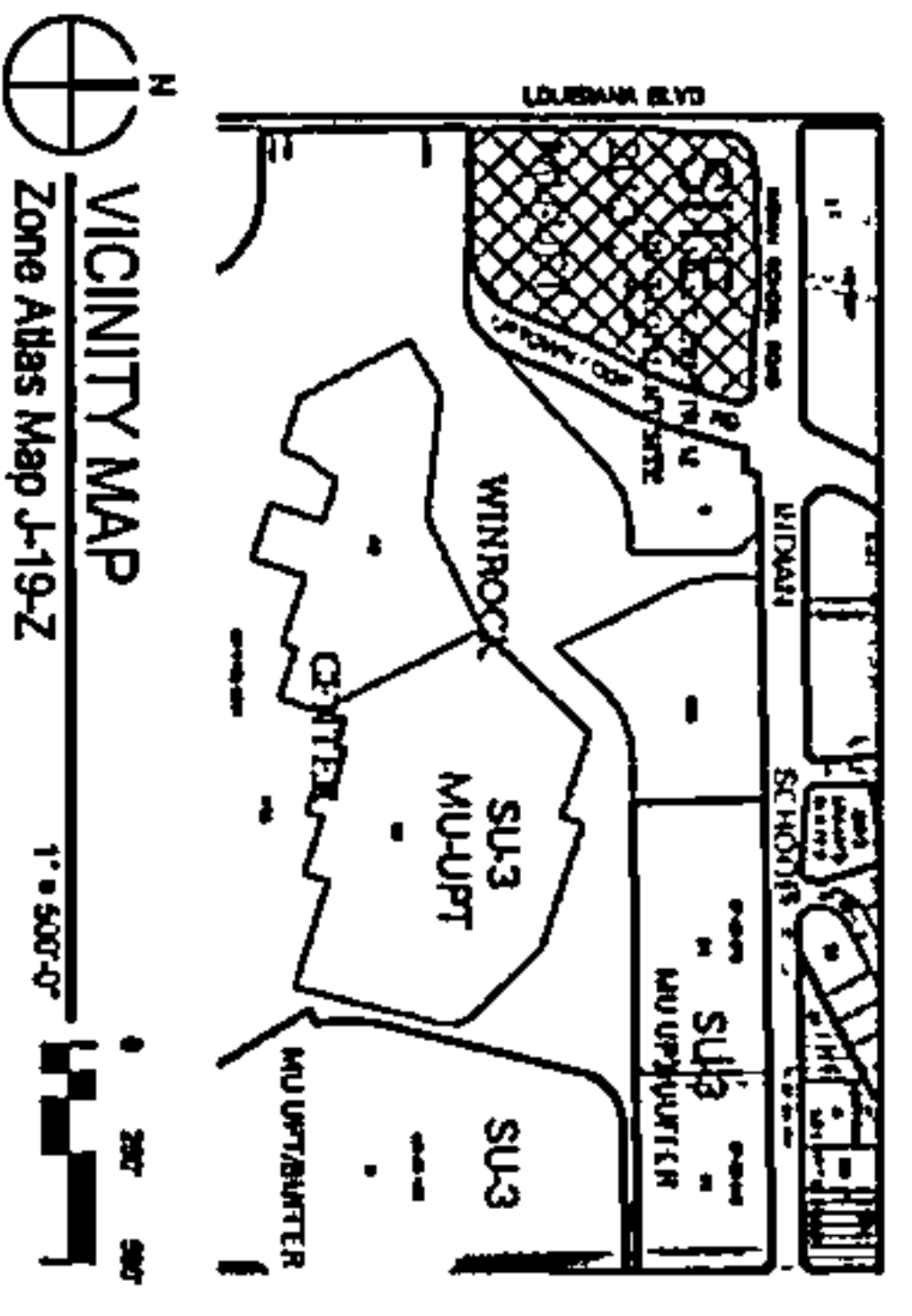
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SITE DATA

LEGAL DESCRIPTION:
TRACT A, HUNT - SPECTRUM DEVELOPMENT SITE
ZONE:
SU-3 FOR MU-UPT

SITE PLAN LEGEND

- ← FEDERAL HIGHWAYS / EXPRESS
- VEHICULAR HIGHWAYS / EXPRESS
- - - PROPERTY LINE EXISTING AS NOTED
- - - PROPERTY LINE PROPOSED AS NOTED



VICINITY MAP
Zone Atlas Map J-19-Z
1" = 500'-0"

PROJECT NUMBER: 1807316
PROJECT NUMBER: 1807316
APPLICATION NUMBER:
APPLICANT: TARGET @ ABQ UPTOWN
DATE: 11-09-2013

DESIGNED BY	DATE	DATE
TRAFFIC ENGINEER: TRANSPORTATION DIVISION	DATE	DATE
APPROVED BY	DATE	DATE
PUBLIC AND REGULATION DEPARTMENT	DATE	DATE
CITY ENGINEER	DATE	DATE
SOLID WASTE MANAGEMENT	DATE	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE	DATE

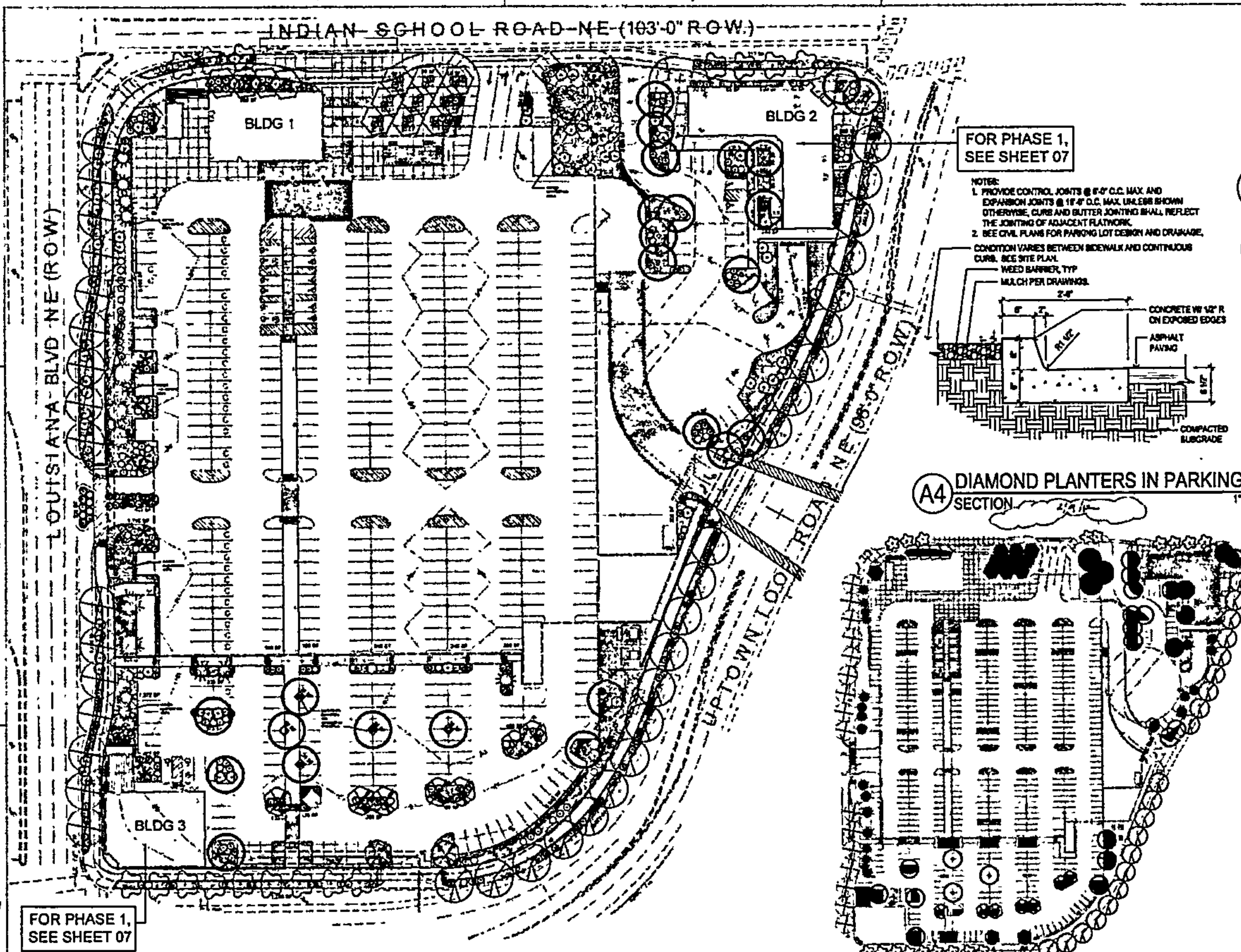
Bekker
Perich
Sabatini
2801 Alameda SE Suite 100
Albuquerque, NM 87111
505.763.9748
1st fl. 151-1222
info@psbsabi.com

TARGET @ ABQ Uptown
Albuquerque, New Mexico
SITE PLAN FOR SUBDIVISION
DRB SUBMITTAL

REVISIONS

NO.	DATE	DESCRIPTION
1		
2		
3		

PROJECT NO.: 11-0096.002
DRAWING NAME: SITE DEVELOPMENT PLAN FOR SUBDIVISION
DATE: 08/02/2013
1 of 4



PLANTING LEGEND

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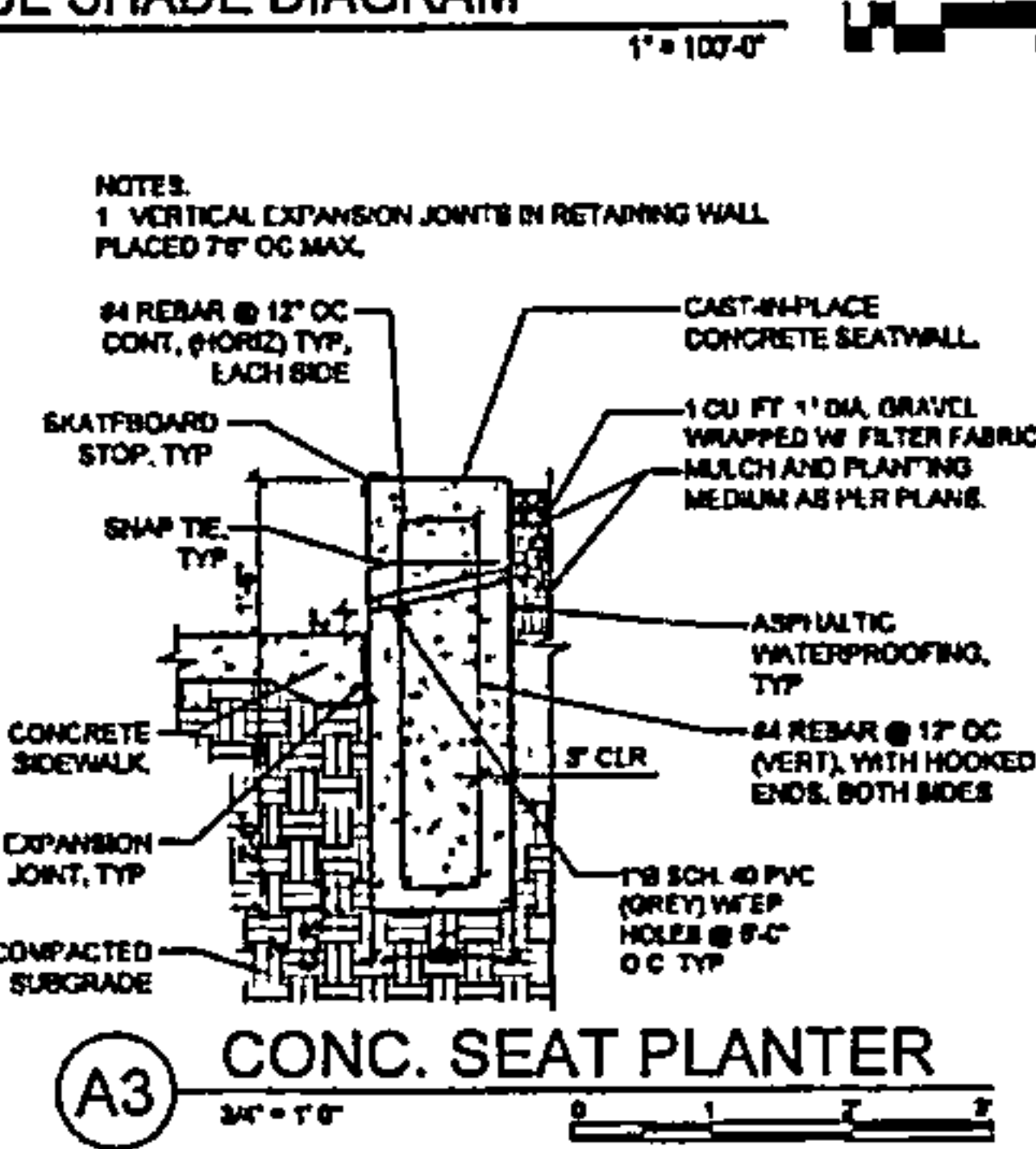
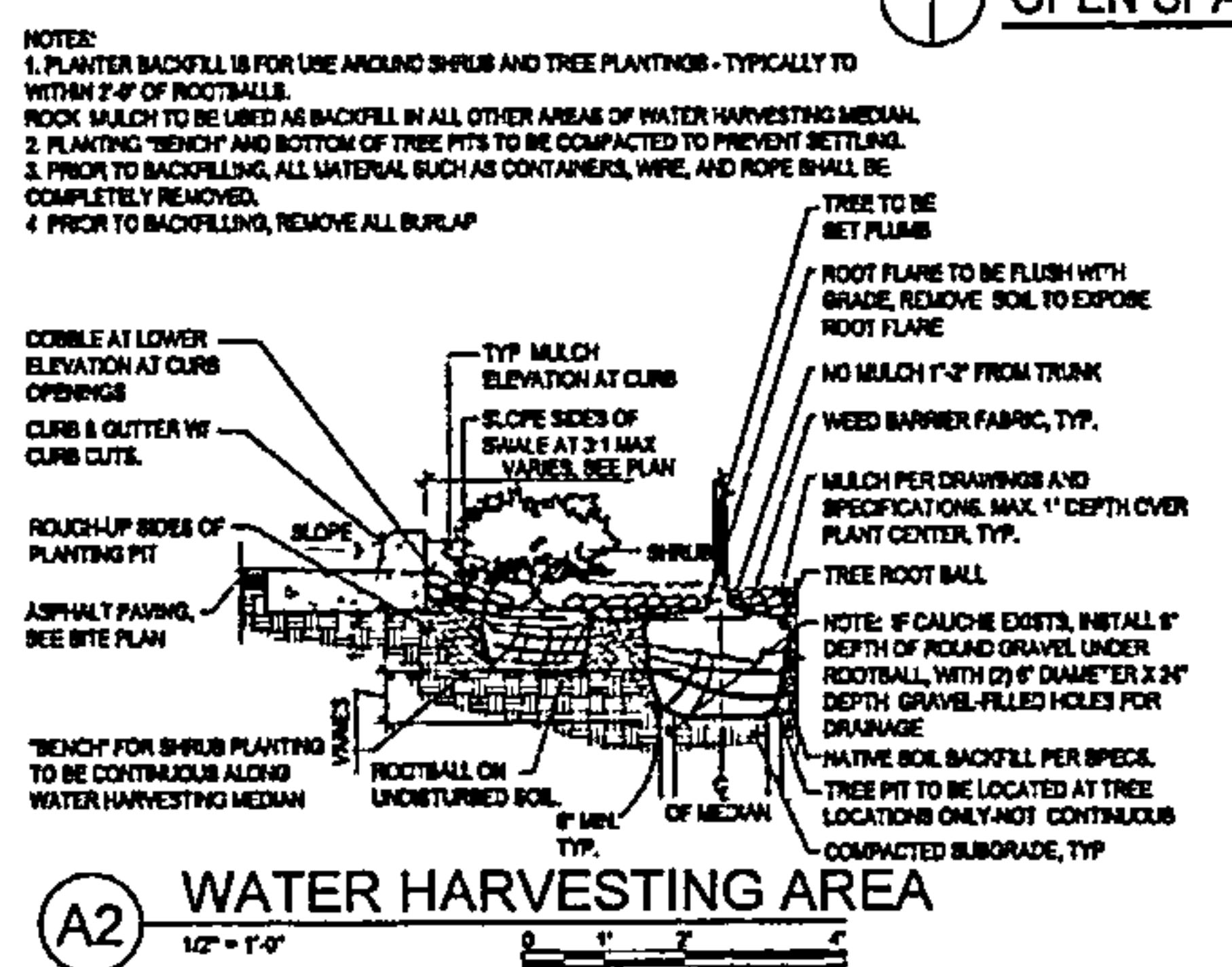
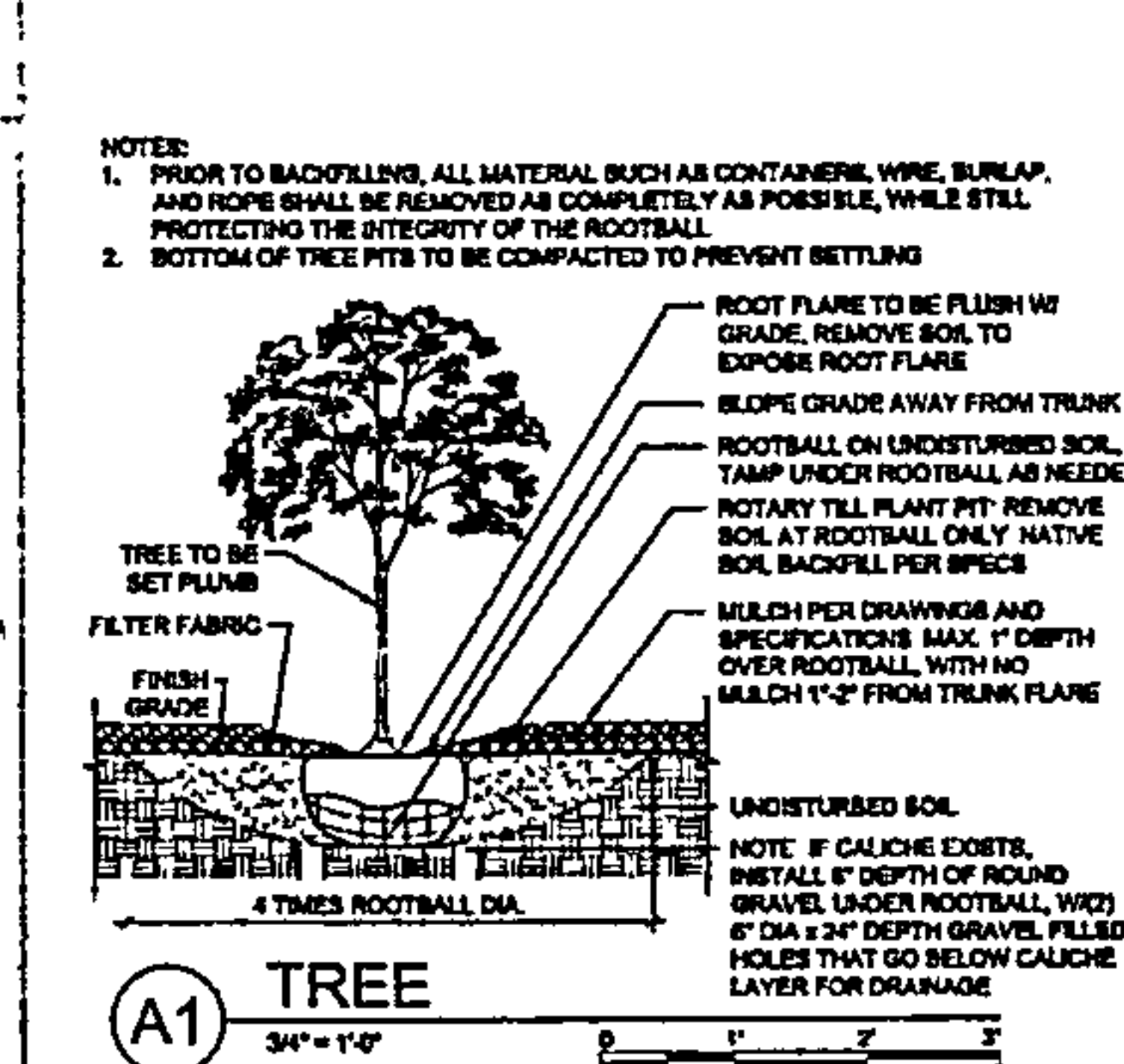
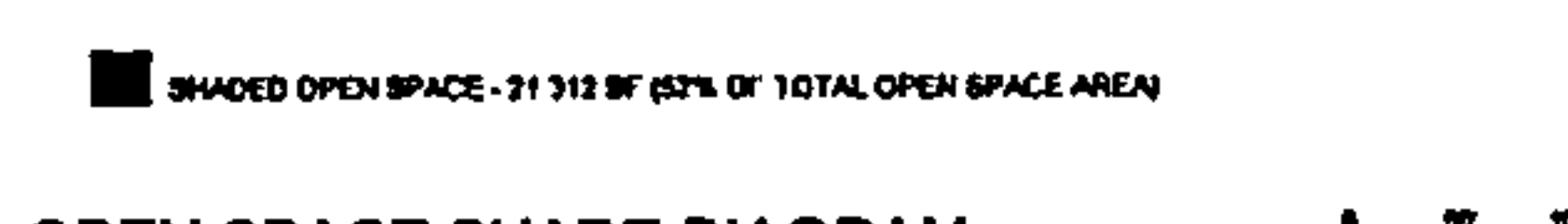
A MINIMUM OF 10% OF LANDSCAPE AREAS WILL HAVE FLOWERING PLANTS OR SHRUBS.

TOTAL SHADE TREES: 80% (OF TREES)
 TOTAL SIGNATURE TREES: 38% (OF TREES)

ROCK MULCH HAS BEEN LIMITED TO LESS THAN 5% OF ANY OPEN SPACE AREA AND USED ONLY WHERE NECESSARY AROUND DRAINAGE INLETS. ALL OTHER MULCH AREAS UTILIZE ORGANIC PECAN SHELL MULCH.

LANDSCAPE NOTES

- A. DESIGN THE PLANTING DESIGN INCLUDES A DIVERSE PALETTE OF DESERT AND HIGH DESERT PLANTS THAT WILL COMPLEMENT THE ARCHITECTURE OF THE PROJECT THE INTENT IS TO LANDSCAPE THIS MIXED-USE, URBAN ENVIRONMENT WITH DESERT AND HIGH DESERT PLANTS THAT REINFORCE A SENSE OF PLACE AND ARE APPROPRIATE TO ALBUQUERQUE'S CLIMATE.
- A.A. GRASSES AND ACCENT PLANTS SUCH AS YUCCA, SOTOL AND PRICKLY PEAR CACTUS WILL BE USED IN HIGHLY VISIBLE AND APPROPRIATE LOCATIONS. THE USE OF REGIONALLY NATIVE TREES FOR STREET TREES, WHILE UNORTHODOX, WILL REINFORCE THE SENSE OF PLACE, BUFFER PEDESTRIANS FROM VEHICULAR AREAS AND PROVIDE A COMFORTABLE PEDESTRIAN SCALE TO THE STREETS.
- B. PLANTING AND IRRIGATION INSTALLATION DETAILS SHALL MEET CITY OF ALBUQUERQUE REQUIREMENTS AND THE USOP REQUIREMENTS. EACH TREE SHALL HAVE A MINIMUM OF 36 SQUARE FEET OF PLANTING SPACE.
- C. PLANTING AND IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- D. CONTROLLER: THE IRRIGATION SYSTEM SHALL BE RUN WITH A FULLY AUTOMATED IRRIGATION CONTROLLER. THE RUN TIME FOR THE VARIOUS ZONES SHALL BE APPROXIMATELY 45 MINUTES FOR THE DRIP ZONES. RUN TIME WILL BE ADJUSTED ACCORDING TO SEASON, LOCATION, AND PLANT PERFORMANCE. DRIP EMITTERS SHALL BE USED FOR ALL PLANT MATERIAL.
- E. POINT OF CONNECTION: THERE IS LIKELY TO BE MORE THAN ONE POINT OF CONNECTION FOR THIS PROJECT. THE WATER CONNECTION LOCATIONS WILL BE COORDINATED WITH THE OVERALL WATER SERVICE DESIGN FOR THE SITE. THE EXACT LOCATIONS FOR CONNECTIONS AND CONTROLLERS IN UNKNOWN AT THIS TIME.
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- G. THE PARKING AREA TREES SELECTED FOR USE AT TARGET @ TREE AND SHRUB PITS TO BE 4 TIMES THE ROOTBALL DIAMETER.
- H. THERE IS NO HIGH WATER USE TURF USED ON THIS PROJECT.
- I. THE LANDSCAPE DESIGN SHALL COMPLY WITH THE INTENT OF THE CITY OF ALBUQUERQUE WATER CONSERVATION, LANDSCAPING AND WATER WASTE ORDINANCE.
- J. SOIL PREPARATION AND AERATION WITHIN ROW IS REQUIRED TO DECOMPACT LANDSCAPE ZONE PRIOR TO PLANTING.
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- L. SOIL AMENDMENTS WILL BE USED FOR PLANT MATERIAL.
- M. PLANT AND IRRIGATION MAINTENANCE WILL BE THE RESPONSIBILITY OF THE OWNER FOLLOWING SUBSTANTIAL COMPLETION OR ANY MAINTENANCE PERIODS.
- N. THE LANDSCAPE DESIGN REQUIRES A PERMANENT, FULLY AUTOMATIC IRRIGATION SYSTEM TO SUPPORT THE PLANT MATERIAL.
- O. THE IRRIGATION SYSTEM WILL BE CONNECTED TO CITY WATER. THE POINT OF CONNECTION WILL CONSIST OF A WATER METER, BACKFLOW PREVENTER AND MASTERVALVE, SEE COA STD DETAIL #2701.
- P. THE CONTRACTOR SHALL CREATE AN IRRIGATION PLAN TO PERMANENTLY IRRIGATE THE PROPOSED PLANTINGS, AND SHALL SUBMIT THIS TO THE ARCHITECT FOR REVIEW AND APPROVAL. THE PLAN SHALL INCLUDE A PIPING AND EMITTER LAYOUT WITH SIZING, VALVE SCHEDULE AND CONSTRUCTION DETAILS.
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- R. DRIP EMITTERS SHALL BE USED FOR ALL PLANT MATERIAL.
- S. REFER TO DRAINAGE PLAN FOR GRADING INFORMATION AND WATER HARVESTING LOCATIONS.



SHRUBS

SYMBOL	BOTANICAL NAME/ COMMON NAME	INSTALLATION SIZE	MATURE SIZE (HxW) WATER USE
☉	Ericameria laricina/ TURPENTINE BUSH	1 Gal. Cont.	36" x 36" Low
☉	Baccharis x "Carmichaelii" CENTENNIAL BROOM	1 Gal. Cont.	36" x 42" Low
☉	Caryopteris clandonensis "Dark Knight" DARK NIGHT BLUE MIST SPIREA	1 Gal. Cont.	48" x 48" Medium
☉	Mahonia aquifolium "Compadrum" COMPACT MAHONIA	1 Gal. Cont.	24" x 48" Medium
☉	Rosmarinus officinalis UPRIGHT ROSEMARY	1 Gal. Cont.	80" x 48" Low
☉	Rhus aromatica "Gro-low" GRO-LO FRAGRANT SUMAC	1 Gal. Cont.	24" x 72" Medium
☉	Salvia Greggii AUTUMN SAGE	1 Gal. Cont.	30" x 36" Low
☉	Verbena bipinnatifida/ PRAIRIE VERBENA	1 Gal. Cont.	6" x 36" Low
☉	Callirhoe involucrata/ WHICEUPS	1 Gal. Cont.	18" x 18" Low
☉	Ceratostigma plumbaginoides/ DWARF PLUMBAGO	1 Gal. Cont.	12" x 18" Medium
☉	Gallardia aristata/ BLANKETFLOWER	1 Gal. Cont.	30" x 30" Low
☉	Hymenoxys acutula/ ANGELITA DAISY	1 Gal. Cont.	12" x 12" Low
☉	Lavandula angustifolia "Hidcote Superior" HIDCOTE SUPERIOR LAVENDER	1 Gal. Cont.	18" x 18" Medium
☉	Mirabilis multiflora/ DESERT FOUR-O'CLOCK	1 Gal. Cont.	18" x 30" Medium
☉	P. barbatus/ RED PENSTEMON	1 Gal. Cont.	50" x 36" Low
☉	Tausonium chamedryoides/ TRAILING GERMANDER	1 Gal. Cont.	12" x 24" Medium

GRASSES

SYMBOL	BOTANICAL NAME/ COMMON NAME	INSTALLATION SIZE	MATURE SIZE (HxW) WATER USE
☉	Festuca Michauxensis "Siskiyou Blue" SISKIYOU BLUE FESCUE	1 Gal. Cont.	18" x 18" Medium
☉	Muhlenbergia capillaris "Royal Mariposa" MIST MULENBERGIA	1 Gal. Cont.	36" x 42" Medium
☉	Muhlenbergia rigens/ DEER GRASS	1 Gal. Cont.	42" x 48" Medium
☉	Nolina microcarpa/ BEARGRASS	1 Gal. Cont.	36" x 48" Low
☉	Miscanthus sinensis/ MAIDEN GRASS	1 Gal. Cont.	60" x 48" Medium

ACCENTS

SYMBOL	BOTANICAL NAME/ COMMON NAME	INSTALLATION SIZE	MATURE SIZE (HxW) WATER USE
☉	Agave parryi/ PARRY'S AGAVE	1 Gal. Cont.	36" x 36" Low
☉	Dasylirion wheeleri/ SOTOL	1 Gal. Cont.	48" x 60" Low
☉	Hesperaloe parviflora/ RED HESPERALOE	1 Gal. Cont.	48" x 48" Medium
☉	Opuntia basilaris/ BEAVERTAIL PRICKLY PEAR	1 Gal. Cont.	12" x 48" Low
☉	Opuntia engelmannii/ ENGELMANN'S PRICKLY PEAR	1 Gal. Cont.	48" x 60" Low
☉	Yucca glauca/ Soapweed	1 Gal. Cont.	36" x 60" Low
☉	Yucca rupicola/ TWISTED LEAF YUCCA	1 Gal. Cont.	36" x 36" Low

MULCHES

SYMBOL	COMMON NAME
☉	ROCK MULCH
☉	ORGANIC PECAN SHELL MULCH

Dekker Perich Sabatini
 ARCHITECT
 7001 Jefferson NE Suite 100
 Albuquerque, NM 87110
 505 763 9222
 505 763 1233
 505 763 1234

TARGET @ ABQ Uptown
 Albuquerque, New Mexico
 DRB SUBMITTAL

REVISIONS
 DRA: JG
 REVISED BY: MB
 DATE: 11/10/2011
 PROJECT NO: 1001126

September 18, 2013

Uptown Progress Team, Inc.
Ms. Kim Corcoran
P.O. Box 93488
Albuquerque, NM 87199

Re: Target, 2120 Louisiana Boulevard NE
Southeast corner of Louisiana Boulevard NE and Indian School Road NE
Reason for Request: Target at Uptown Site Development Plan for Subdivision & Re-plat
Legal Description: Tract A of Hunt – Spectrum Development Site

Dear Ms. Corcoran:

A letter was sent notifying you that Target wishes to subdivide their property to prepare for development of the pad sites at the southwest and northeast corners.

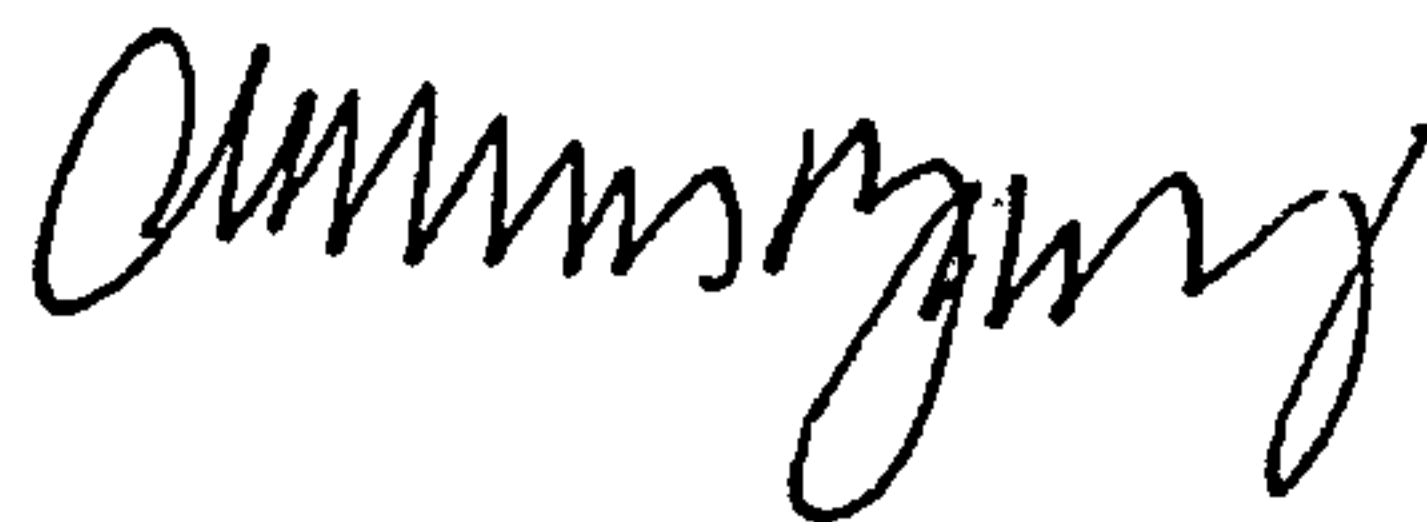
The hearing date that was mentioned in that letter was incorrect. The correct date is October 16, 2013 at 9:00 am in the Plaza Del Sol building located at 600 2nd Street NW (Hearing room on the lower level), Albuquerque, NM.

If you have any questions or need clarification, please feel free to contact me at:

Dekker/Perich/Sabatini
7601 Jefferson NE, Suite 100
Albuquerque, NM 87109
505-761-9700

Sincerely,

Dekker/Perich/Sabatini
Agent for Target



Christopher R. Gunning, AIA, LEED AP
Principal

Attachments:
Previous notification letter (VOIDED)
Site Development Plan for Subdivision
Landscaping Plan

September 10, 2013

Uptown Progress Team, Inc.
Ms. Kim Corcoran
P.O. Box 93488
Albuquerque, NM 87199

Re: Target, 2120 Louisiana Boulevard NE
Southeast corner of Louisiana Boulevard NE and Indian School Road NE
Reason for Request: Target at Uptown Site Development Plan for Subdivision & Re-plat
Legal Description: Tract A of Hunt – Spectrum Development Site

Dear Ms. Corcoran:

A Site Development Plan for Building Permit (SPBP) was reviewed and approved for the subject property approximately one and a half years ago (11DRB-70284). Since then, the Target store has been constructed and the Owners now wish to subdivide the property to prepare for development of the pad sites at the southwest and northeast corners. We submitted for sketch plat review and appeared before DRB on November 7, 2012 (12DRB-70350), where we received direction to submit for a Site Development Plan for Subdivision (SPS) per the USDP process, and to then submit for re-plat concurrently.

The City of Albuquerque Planner assigned to this project is Chris Hyer. He can be reached at 924-3927 or via email at chyer@cabq.gov.

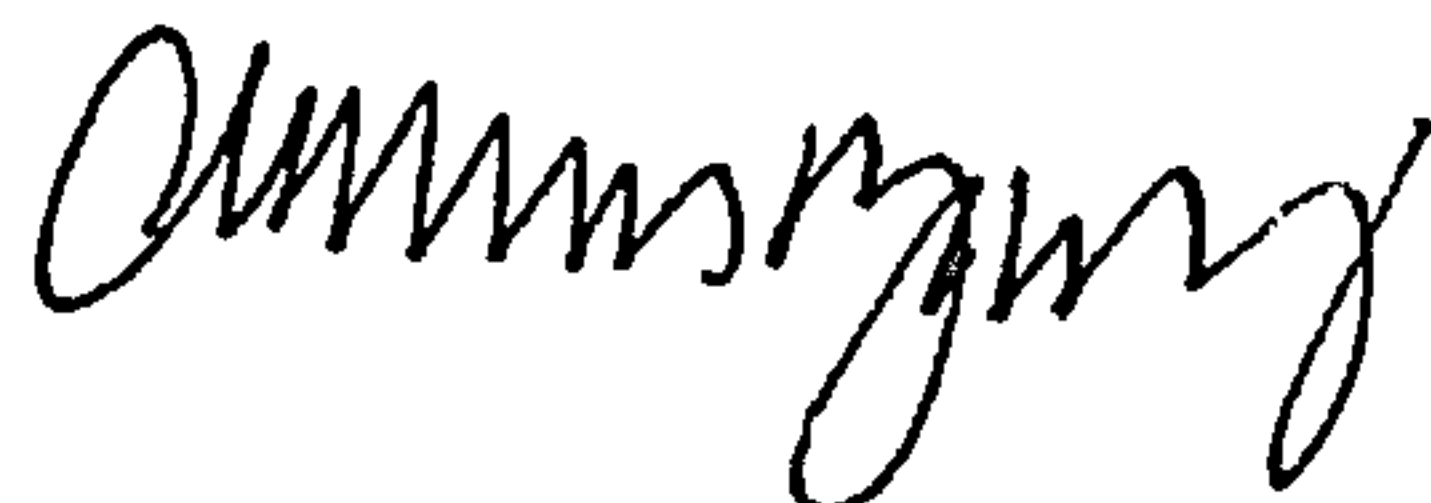
VOIDED
The hearing is scheduled for ~~September 25, 2013 at 9:00~~ am in the Plaza Del Sol building located at 600 2nd Street NW (Hearing room on the lower level), Albuquerque, NM.

If you have any questions or need clarification, please feel free to contact me at:

Dekker/Perich/Sabatini
7601 Jefferson NE, Suite 100
Albuquerque, NM 87109
505-761-9700

Sincerely,

Dekker/Perich/Sabatini
Agent for Target



Christopher R. Gunning, AIA, LEED AP
Principal

Attachments: Site Development Plan for Subdivision and Landscaping Plan

**Dekker
Perich
Sabatini**

1801 Jefferson NE Suite 100
Albuquerque, NM 87109
505 761-9700
Fax 761-4222
dps@dpdesign.org

ARCHITECT

ENGINEER

PROJECT

TARGET @ ABQ Uptown
Albuquerque, New Mexico
SITE PLAN FOR SUBDIVISION
DRB SUBMITTAL

REVISIONS

- △
- △
- △
- △

DRAWN BY: SJT
REVIEWED BY: CRG
DATE: 06/03/2013
PROJECT NO.: 11-0098.002
DRAWING NAME:

SITE
DEVELOPMENT PLAN
FOR SUBDIVISION

GENERAL NOTES

- A. REFER TO SHEET 3 FOR DESIGN STANDARDS
- B. REFER TO CIVIL DRAWING, SHEET 2 FOR CONCEPTUAL UTILITY PLAN
- C. APPLICABLE PLANS, UPTOWN SECTOR DEVELOPMENT PLAN (2009)
- D. PROPOSED USES: MIXED USE INCLUDING RETAIL, RESTAURANT AND HOUSING

KEYED NOTES

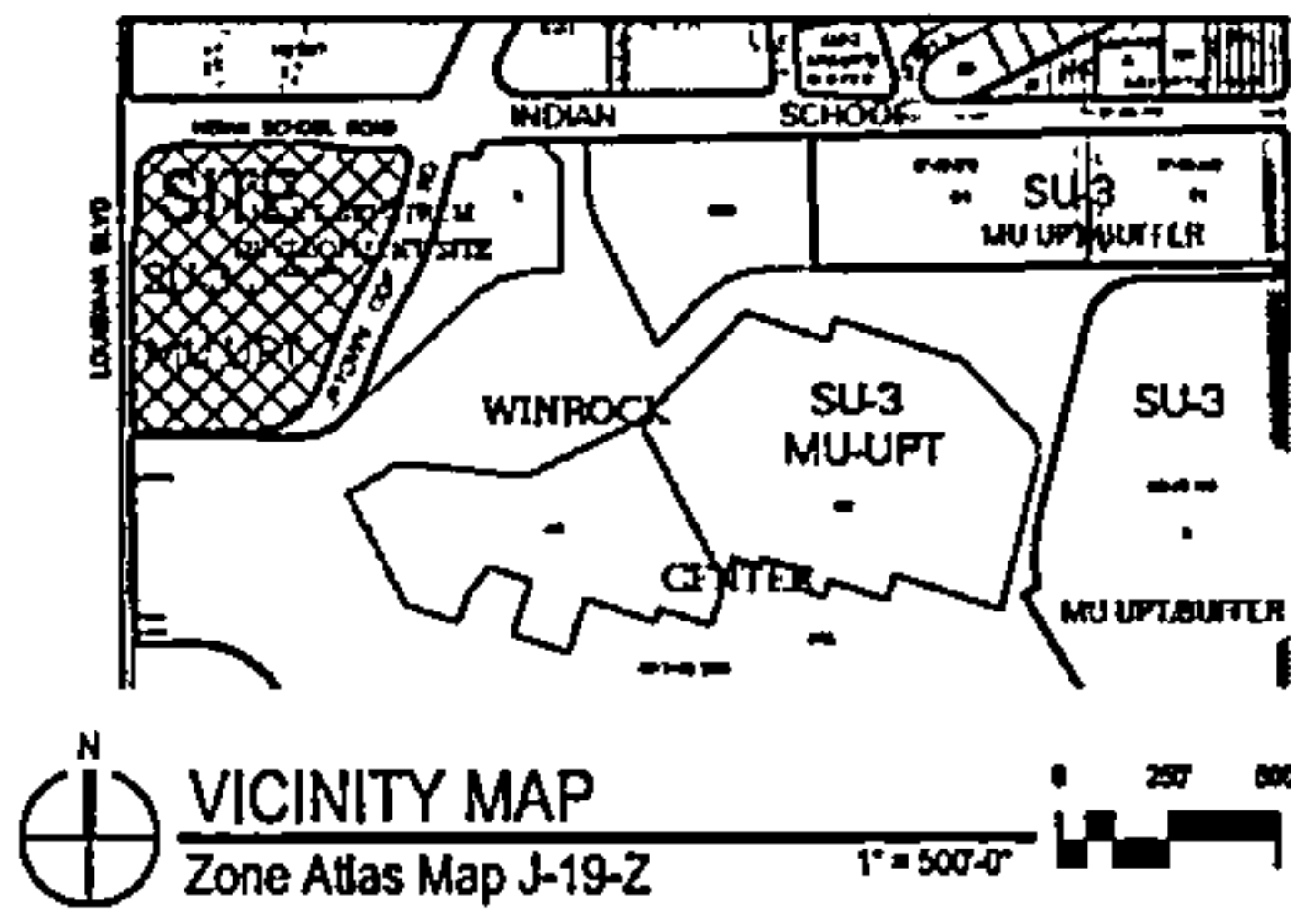
1. EXISTING PROPERTY LINE
2. PROPOSED PROPERTY LINE

SITE DATA

LEGAL DESCRIPTION:
TRACT A, HUNT - SPECTRUM DEVELOPMENT SITE
ZONE:
SU-3 FOR MU-UPT

SITE PLAN LEGEND

- PEDESTRIAN INGRESS / EGRESS
- VEHICULAR INGRESS / EGRESS
- - - - - PROPERTY LINE EXISTING AS NOTED
- - - - - PROPERTY LINE PROPOSED AS NOTED

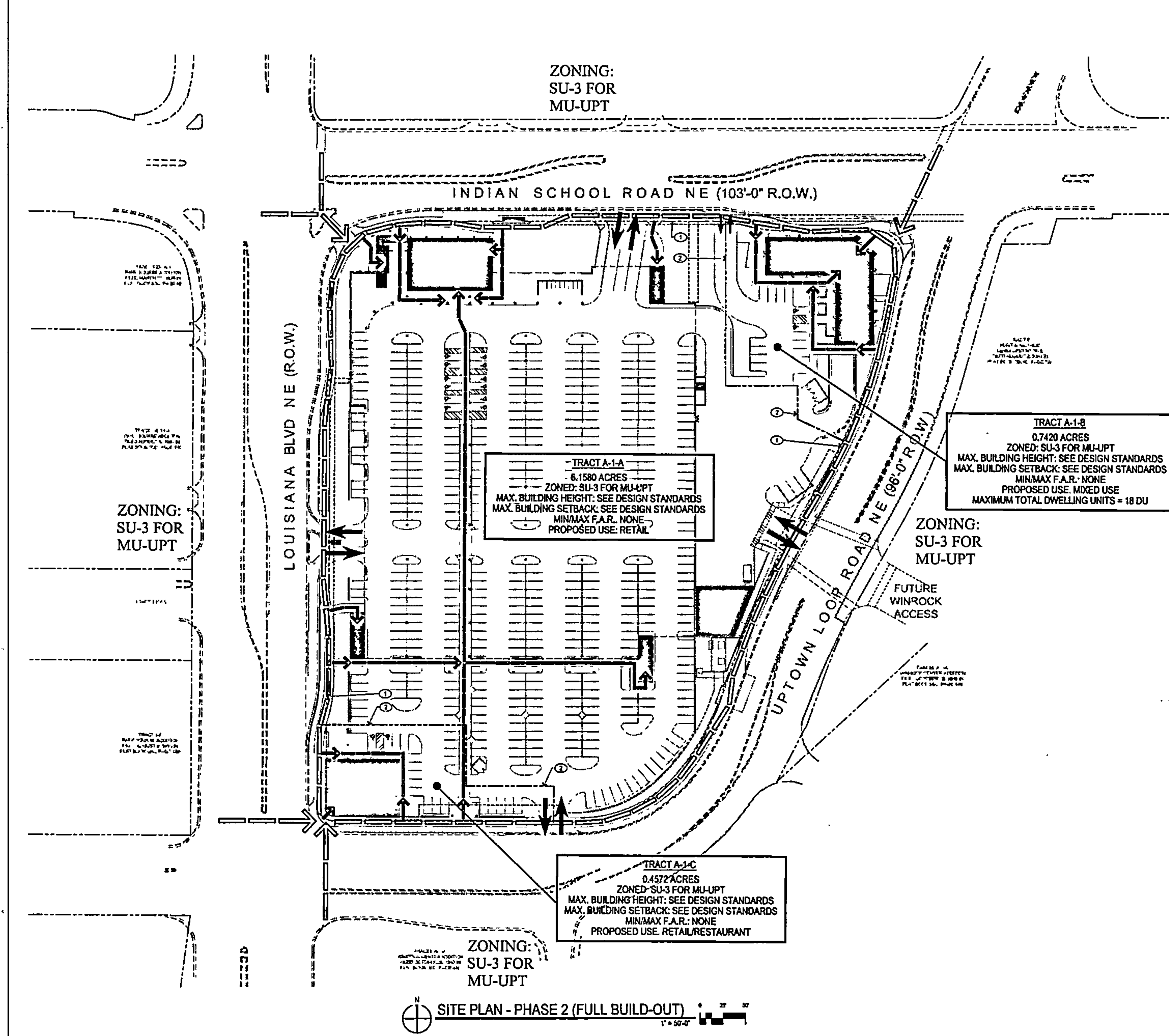


FORMER PROJECT NUMBER: 1007316
PROJECT NUMBER: 1007316

APPLICATION NUMBER:
Is an Infrastructure List Required? () Yes () No If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

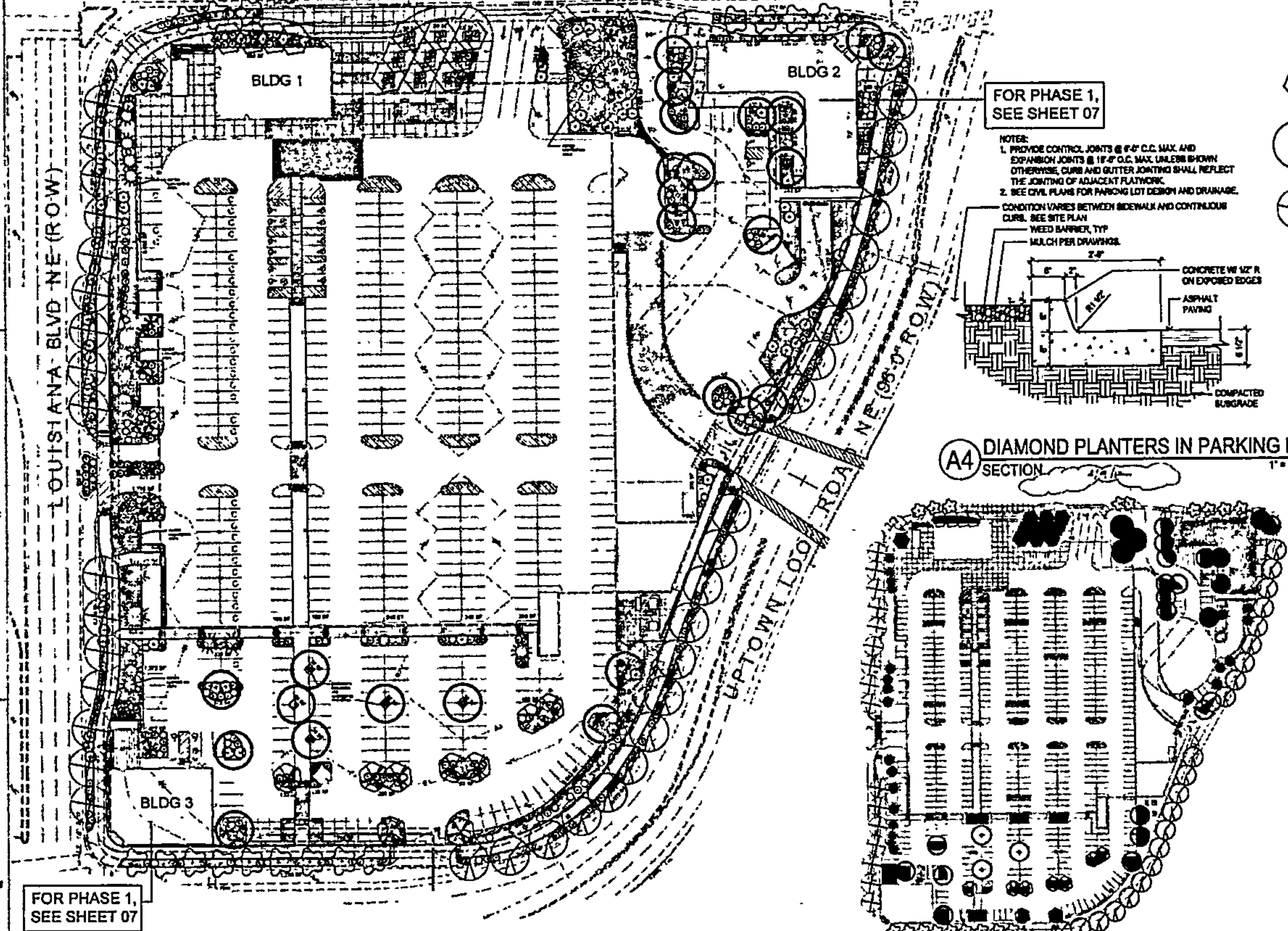
SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
ABC/WUA	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE



SITE PLAN - PHASE 2 (FULL BUILD-OUT)
1" = 500'-0"

INDIAN SCHOOL ROAD-NE (103'-0" ROW)



PLANTING LEGEND

TREES

SYM	QTY	BOTANICAL NAME/ COMMON NAME	INSTALLATION SIZE	MATURE SIZE (HxW) WATER USE
28		Platanus chinensis/ CHINESE PISTACHE	3" Cal.	35x30' Medium
18		Quercus remiformis/ WESTERN REDBUD	2" Cal./B&B	25x18' Medium
23		Chilopsis linearis 'Ara's Seedless/ DESERT WILLOW	48" Box/ Multi-trunked	25x35' Low
3		Populus deltoides var. wislizenii RIO GRANDE VALLEY COTTONWOOD	2" Cal./B&B	60x60' High
22		Quercus buckleyi/ TEXAS RED OAK	2" Cal./B&B	25x25' Medium
16		Quercus muhlenbergii/ CHINQUAPIN OAK	2" Cal./B&B	30x30' Medium
12		Tilia cordata LITTLELEAF LINDEN	2" Cal./B&B	35x30' High
11		Juniperus chinensis 'Spartan' SPARTAN JUNIPER	6" High/B&B	15x8' Low
16		Pinus strobus var. milleriana SOUTHWESTERN WHITE PINE	6" High/B&B	60x20' Low

SHRUBS

SYMBOL	BOTANICAL NAME/ COMMON NAME	INSTALLATION SIZE	MATURE SIZE (HxW) WATER USE
☉	Ericameria laricina/ TURPENTINE BUSH	1 Gal. Cont.	36"x36" Low
☉	Baccharis x "Centennial" CENTENNIAL BROOM	1 Gal. Cont.	36"x42" Low
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GRASSES

SYMBOL	BOTANICAL NAME/ COMMON NAME	INSTALLATION SIZE	MATURE SIZE (HxW) WATER USE
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☉	Muhlenbergia capillaris "Regal Mist" REGAL MIST MUILENBERGIA	1 Gal. Cont.	36"x27" Medium
☉	Muhlenbergia rigens/ DEER GRASS	1 Gal. Cont.	42"x48" medium
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MULCHES

SYMBOL	ROCK MULCH	ORGANIC PECAN SHELL MULCH
☉	ROCK MULCH	ORGANIC PECAN SHELL MULCH

LANDSCAPE CALCULATIONS

SITE AREA: 7,357.2 AC (AFTER R.O.W. DEDICATION)
 OPEN SPACE REQUIREMENT (10% OF THE SITE): 32,048 SF
 OPEN SPACE PROVIDED: 41,036 SF
 LANDSCAPE REQUIREMENT (40% OF OPEN SPACE): 16,414 SF
 LANDSCAPE AREA PROVIDED: 38,179 SF
 *NET LOT AREA WAS NOT USED IN THESE CALCULATIONS.

OPEN SPACE CALCULATIONS DO NOT INCLUDE REQUIRED LANDSCAPE STRIPS ALONG THE STREET OR WALKWAYS EXCEPT ANY PORTION OF A WALKWAY THAT IS WIDER THAN 10 FEET.

A MINIMUM OF 75% OF LANDSCAPE AREAS AND 80%-75% OF PLANTING STRIPS SHALL BE COVERED WITH LIVE VEGETATIVE MATERIALS

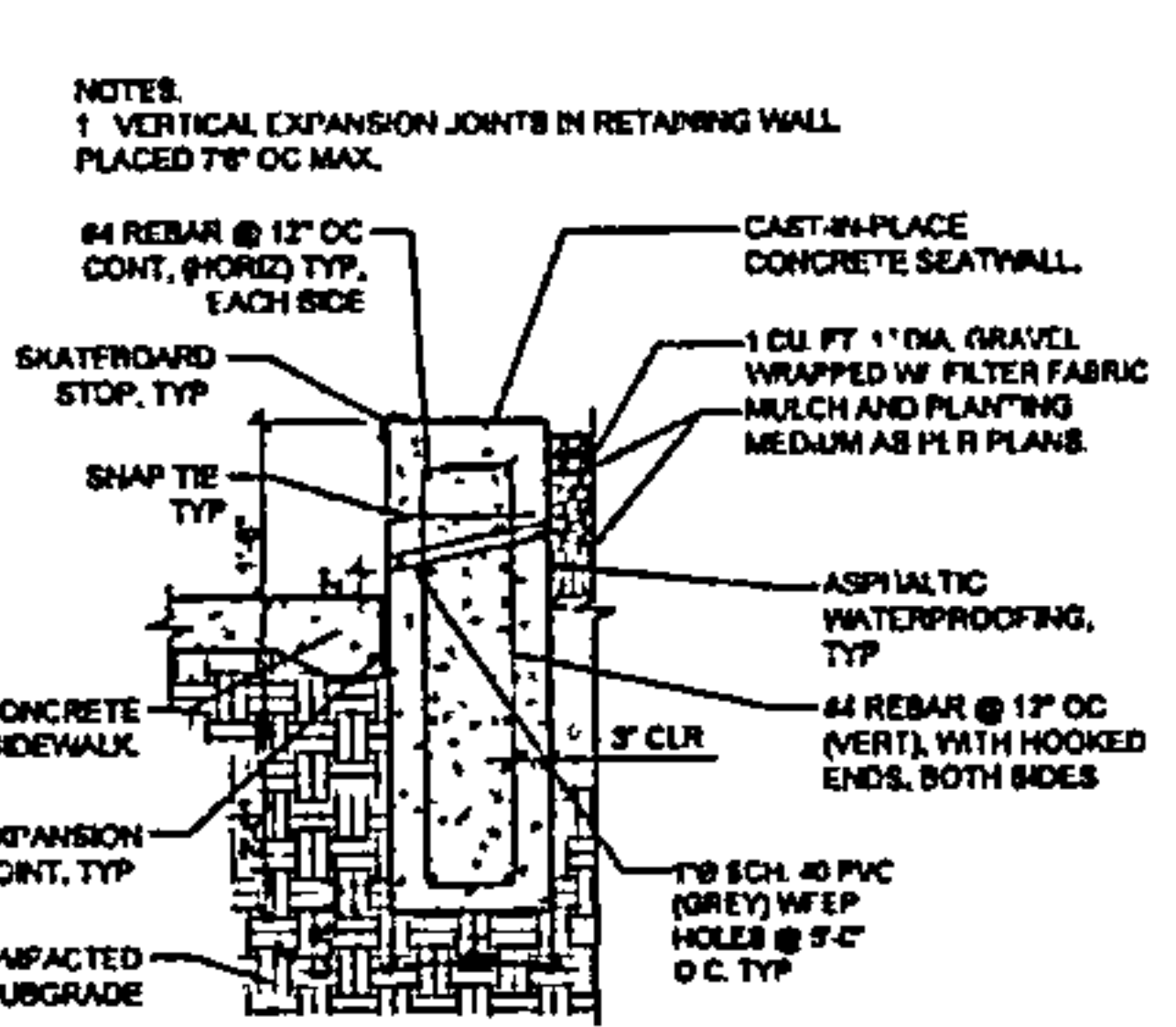
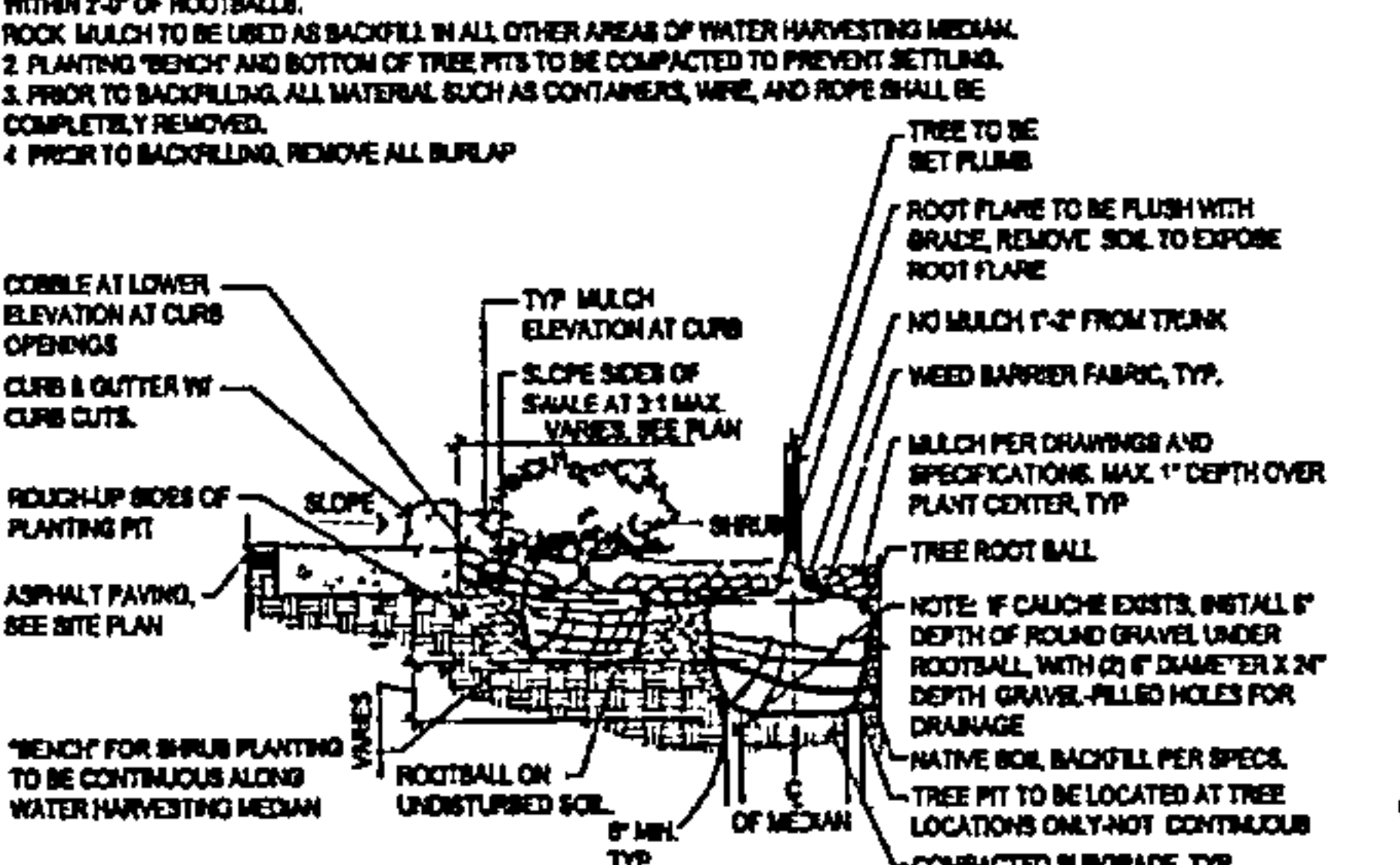
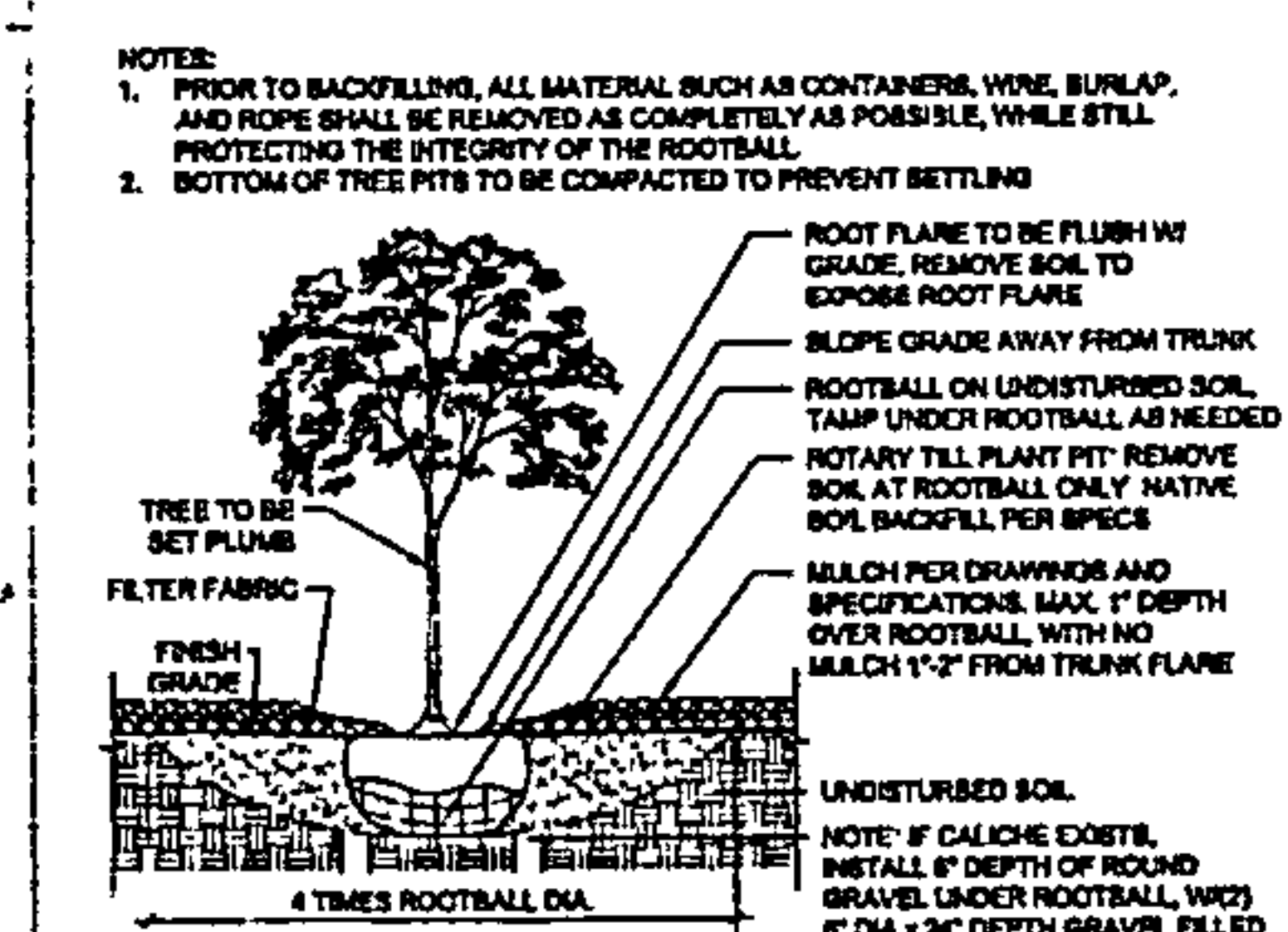
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A1 TREE
 3/4" = 1'-0"

A2 WATER HARVESTING AREA
 1/2" = 1'-0"

A3 CONC. SEAT PLANTER
 3/4" = 1'-0"

Dekker Perich Sabatini
 7801 307th Avenue NE Suite 78
 Albuquerque, NM 87110
 505 761 0700
 505 761 1220
 505 761 0700 FAX

TARGET @ ABQ Uptown
 Albuquerque, New Mexico

DRB SUBMITTAL

DATE: 1/10/2011
 PROJECT NO: 1-11-135

LANDSCAPE PLAN - PHASE II

05 of 21

September 18, 2013

Winrock South Neighborhood Association "R"
Mr. Richard Peterson
7110 Constitution Ave. NE
Albuquerque, NM 87110

Re: Target, 2120 Louisiana Boulevard NE
Southeast corner of Louisiana Boulevard NE and Indian School Road NE
Reason for Request: Target at Uptown Site Development Plan for Subdivision & Re-plat
Legal Description: Tract A of Hunt – Spectrum Development Site

Dear Mr. Peterson:

A letter was sent notifying you that Target wishes to subdivide their property to prepare for development of the pad sites at the southwest and northeast corners.

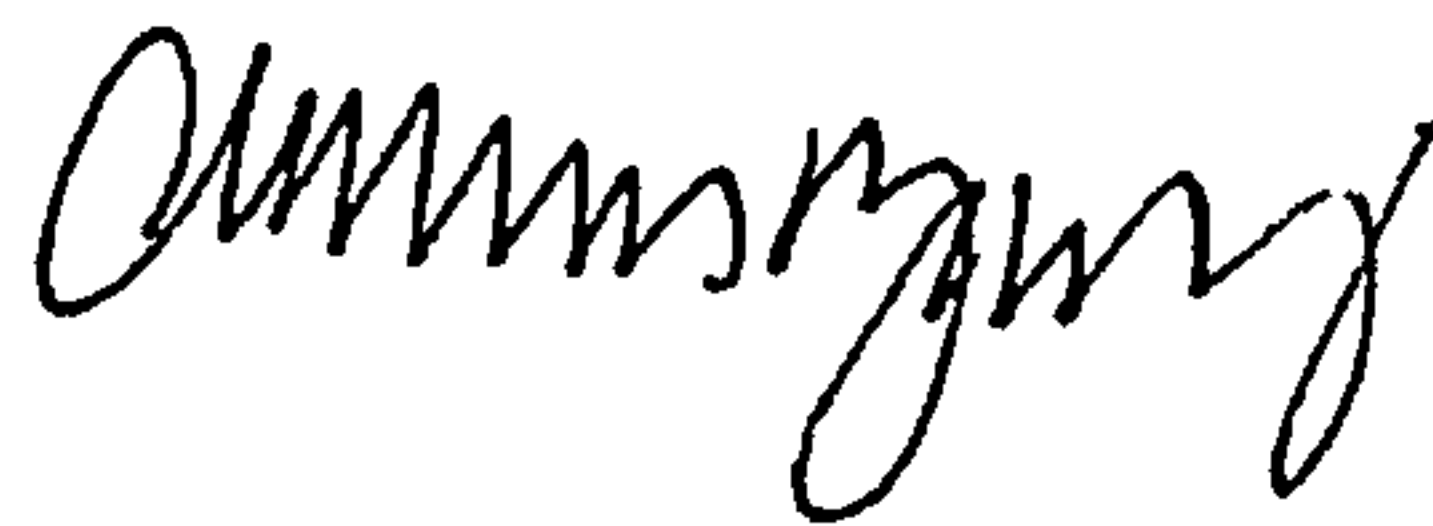
The hearing date that was mentioned in that letter was incorrect. The correct date is October 16, 2013 at 9:00 am in the Plaza Del Sol building located at 600 2nd Street NW (Hearing room on the lower level), Albuquerque, NM.

If you have any questions or need clarification, please feel free to contact me at:

Dekker/Perich/Sabatini
7601 Jefferson NE, Suite 100
Albuquerque, NM 87109
505-761-9700

Sincerely,

Dekker/Perich/Sabatini
Agent for Target



Christopher R. Gunning, AIA, LEED AP
Principal

Attachments:
Previous notification letter (VOIDED)
Site Development Plan for Subdivision
Landscaping Plan

September 10, 2013

Winrock South Neighborhood Association "R"
Mr. Richard Peterson
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A Site Development Plan for Building Permit (SPBP) was reviewed and approved for the subject property approximately one and a half years ago (11DRB-70284). Since then, the Target store has been constructed and the Owners now wish to subdivide the property to prepare for development of the pad sites at the southwest and northeast corners. We submitted for sketch plat review and appeared before DRB on November 7, 2012 (12DRB-70350), where we received direction to submit for a Site Development Plan for Subdivision (SPS) per the USDP process, and to then submit for re-plat concurrently.

The City of Albuquerque Planner assigned to this project is Chris Hyer. He can be reached at 924-3927 or via email at chyer@cabq.gov.

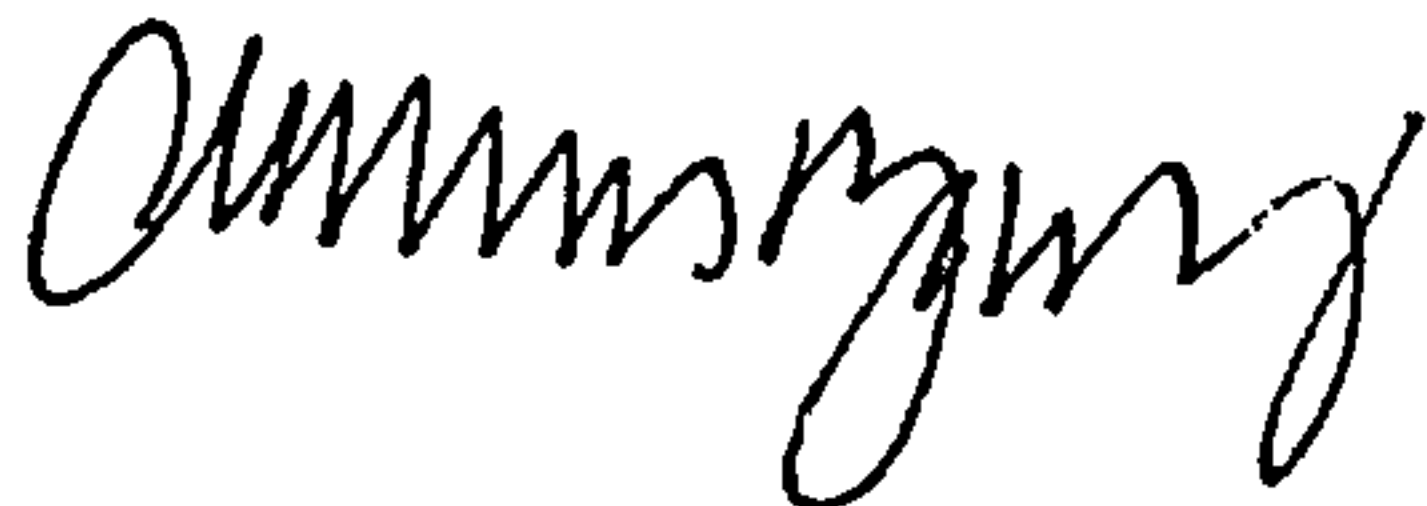
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Christopher R. Gunning, AIA, LEED AP
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Attachments: Site Development Plan for Subdivision and Landscaping Plan

**Dekker
Perich
Sabatini**

7601 Jefferson NE Suite 100
Albuquerque, NM 87109
505 763-9700
Fax 505-492-2222
dps@dpdesignco.org

ARCHITECT

ENGINEER

PROJECT

TARGET @ ABQ Uptown
Albuquerque, New Mexico
SITE PLAN FOR SUBDIVISION
DRB SUBMITTAL

REVISIONS

- △
- △
- △
- △

DRAWN BY: SJT

REVIEWED BY: CRG

DATE: 06/03/2013

PROJECT NO: 11-0096.002

DRAWING NAME

SITE
DEVELOPMENT PLAN
FOR SUBDIVISION

GENERAL NOTES

- A. REFER TO SHEET 3 FOR DESIGN STANDARDS
- B. REFER TO CIVIL DRAWING, SHEET 2 FOR CONCEPTUAL UTILITY PLAN
- C. APPLICABLE PLANS: UPTOWN SECTOR DEVELOPMENT PLAN (2008)
- D. PROPOSED USES: MIXED USE INCLUDING RETAIL, RESTAURANT AND HOUSING

KEYED NOTES

- 1. EXISTING PROPERTY LINE
- 2. PROPOSED PROPERTY LINE

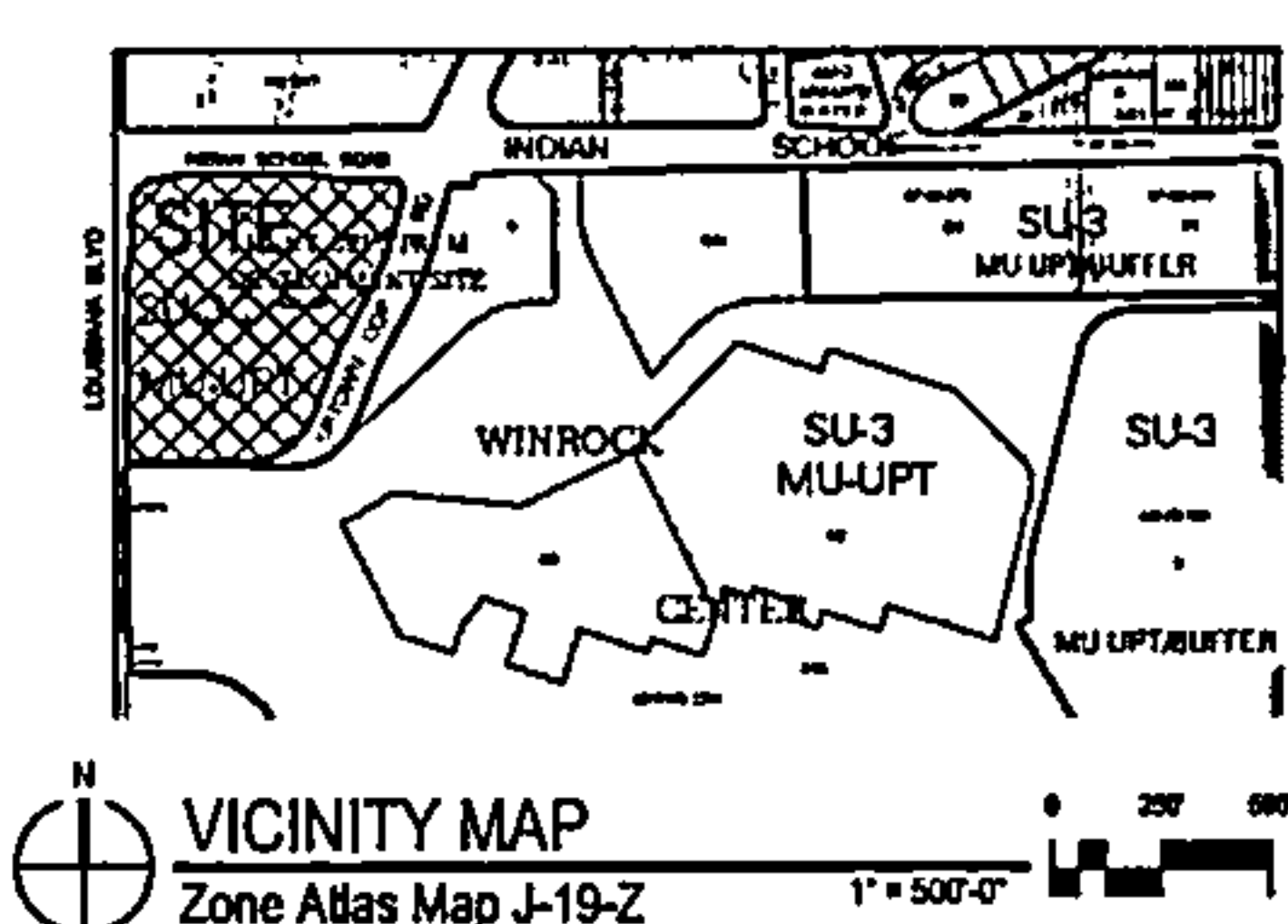
SITE DATA

LEGAL DESCRIPTION:
TRACT A, HUNT - SPECTRUM DEVELOPMENT SITE

ZONE:
SU-3 FOR MU-UPT

SITE PLAN LEGEND

- PEDESTRIAN INGRESS / EGRESS
- ← VEHICULAR INGRESS / EGRESS
- - - PROPERTY LINE EXISTING AS NOTED
- - - PROPERTY LINE PROPOSED AS NOTED



FORMER PROJECT NUMBER: 1007216

PROJECT NUMBER: 1007216

APPLICATION NUMBER:

Is an Infrastructure List Required? () Yes () No If yes, then a set of approved DRG plans with a wet; order is required for any construction within Public Right-of-Way or for construction of public improvements.

SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEER, TRANSPORTATION DIVISION DATE

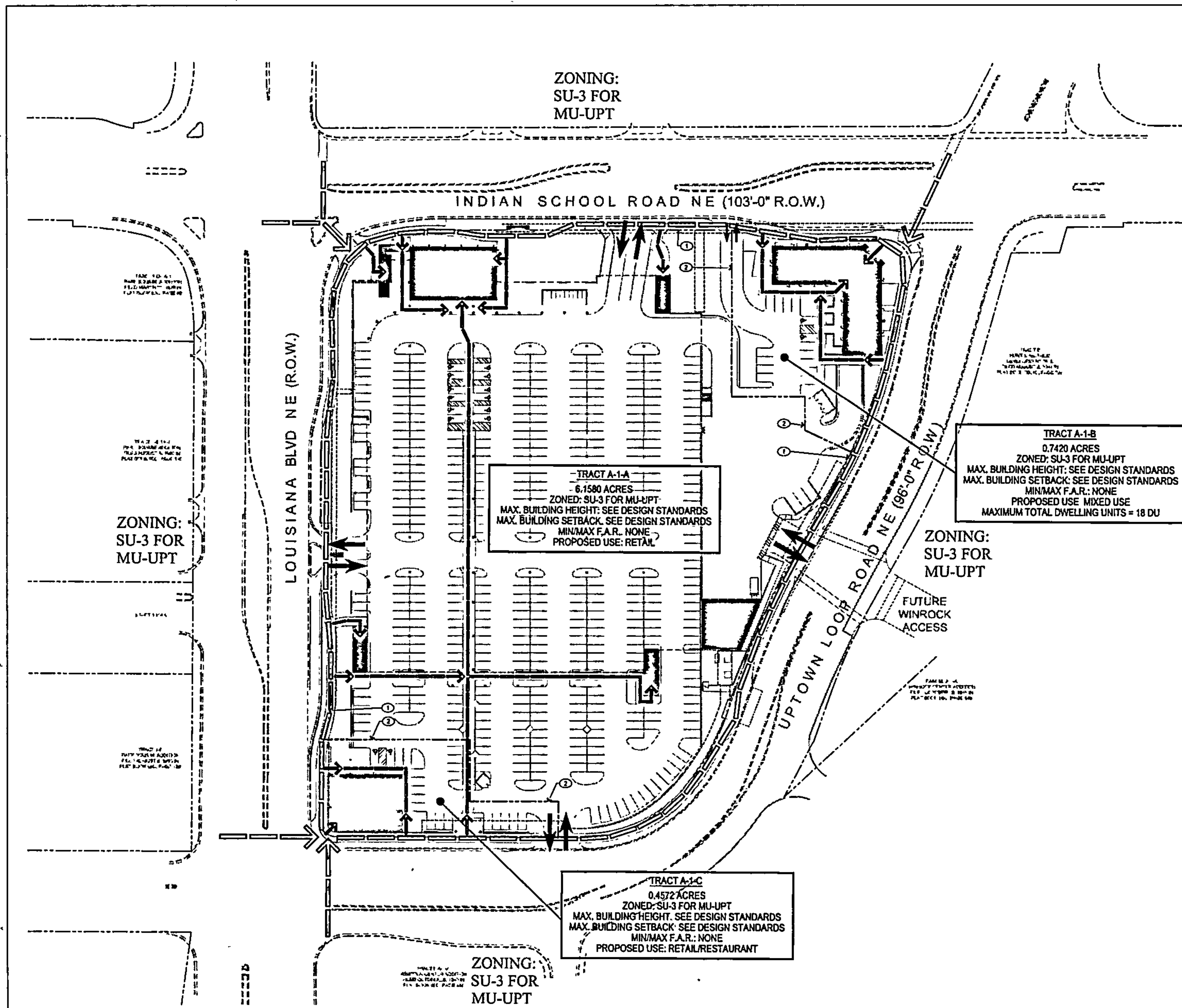
ABCWUA DATE

PARKS AND RECREATION DEPARTMENT DATE

CITY ENGINEER DATE

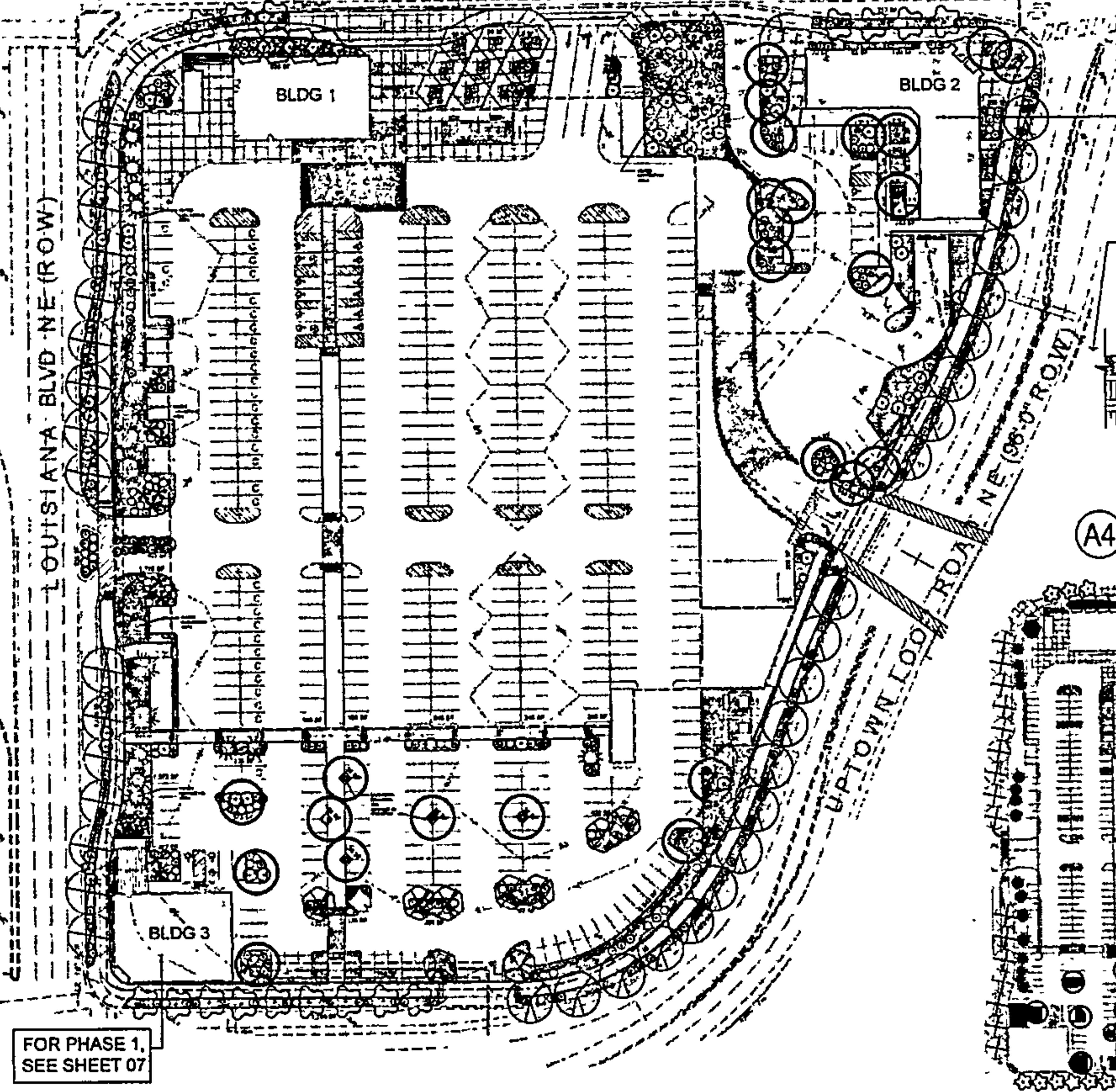
SOLID WASTE MANAGEMENT DATE

DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

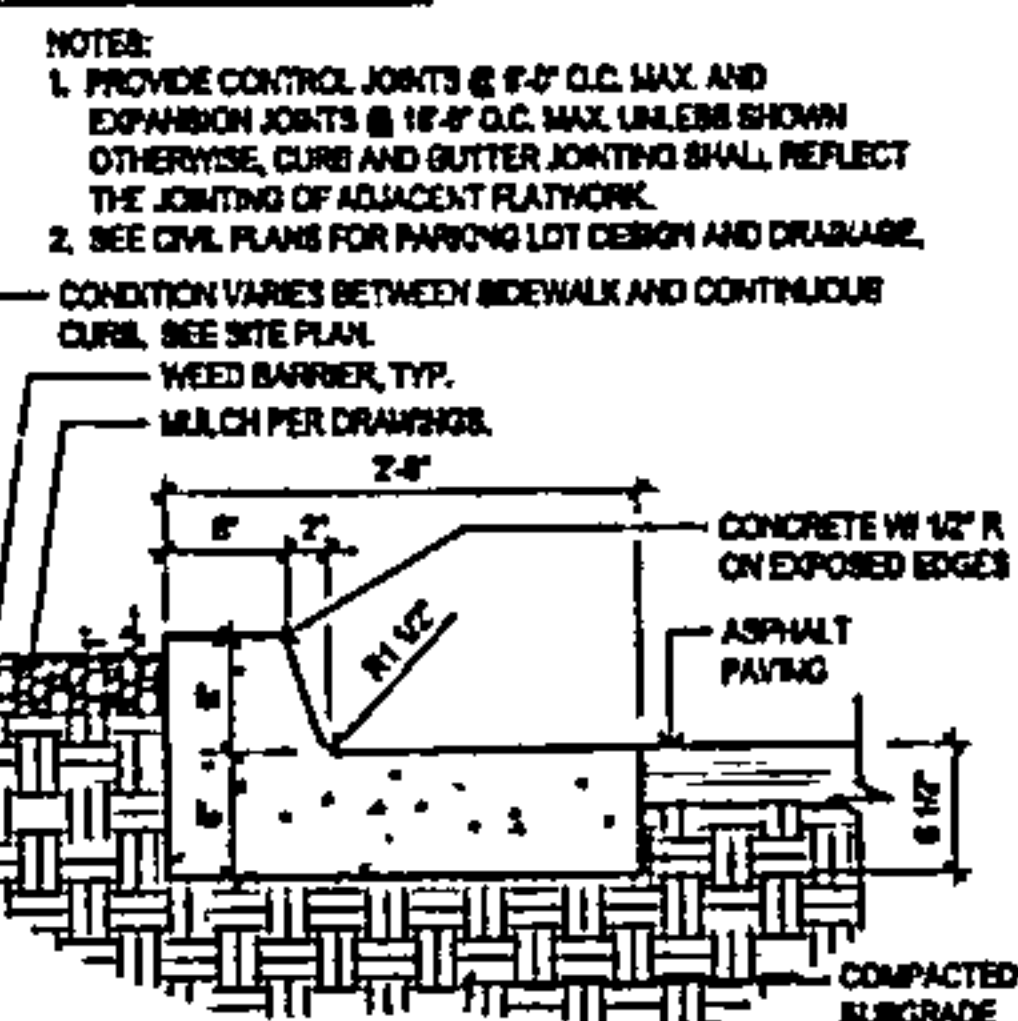


SITE PLAN - PHASE 2 (FULL BUILD-OUT)
1" = 50'-0"

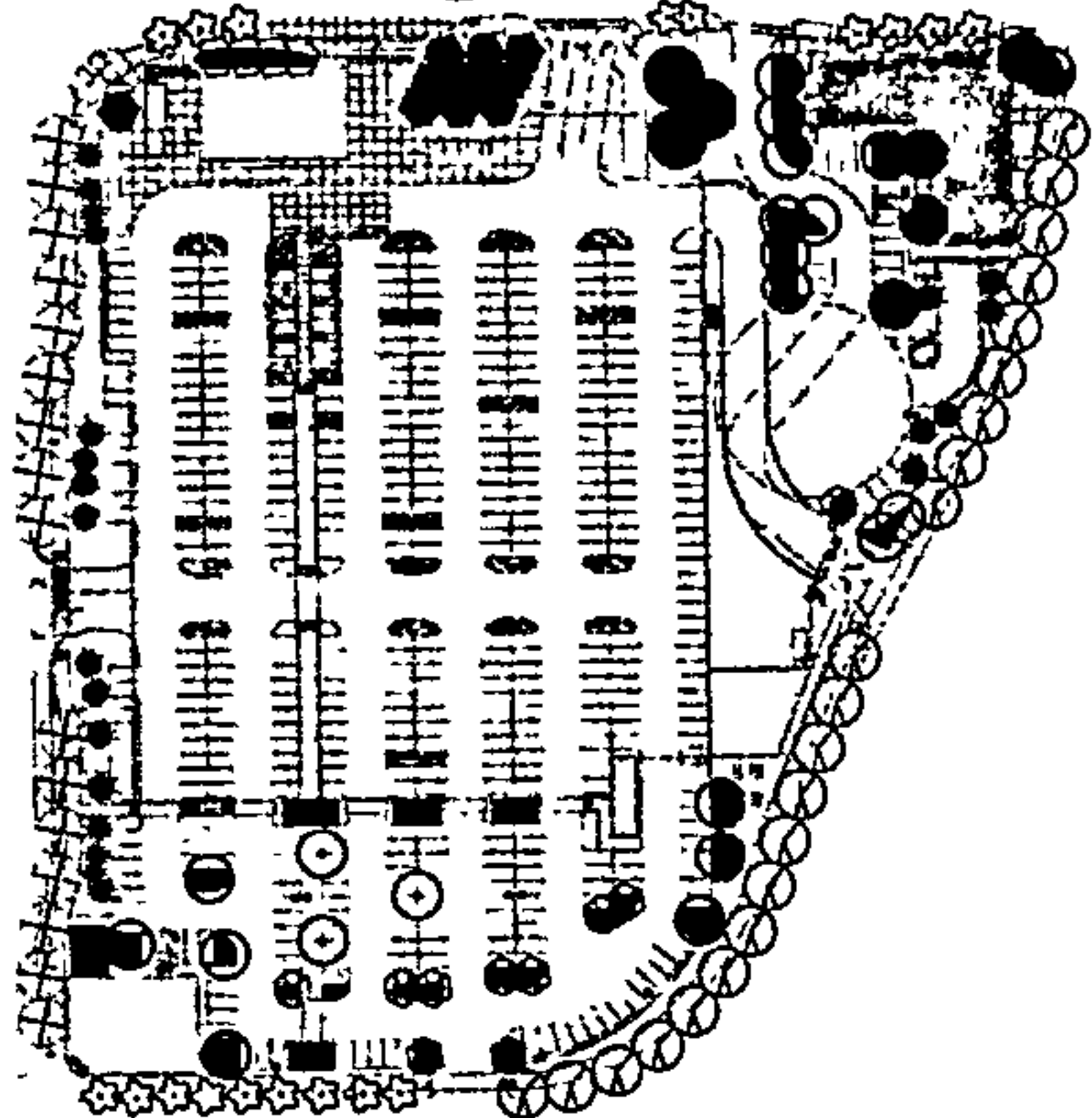
INDIAN SCHOOL ROAD NE (163'-0" R.O.W.)



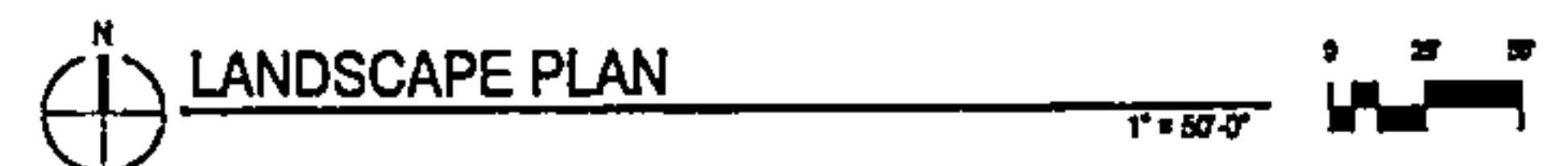
FOR PHASE 1, SEE SHEET 07



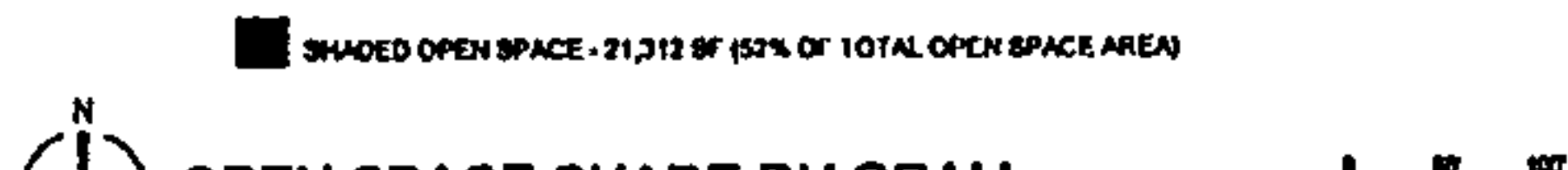
A4 DIAMOND PLANTERS IN PARKING LOT SECTION



FOR PHASE 1, SEE SHEET 07



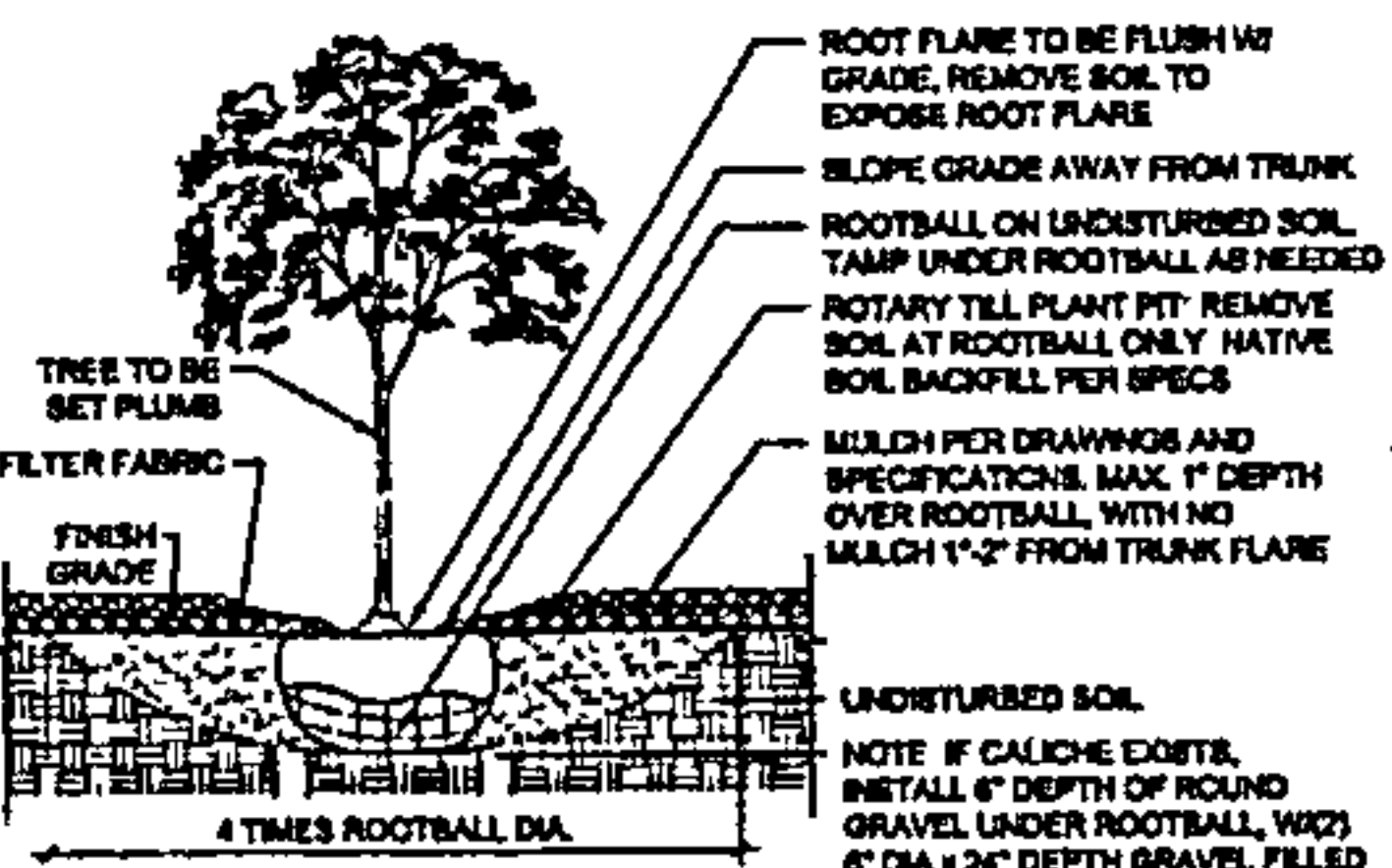
LANDSCAPE PLAN



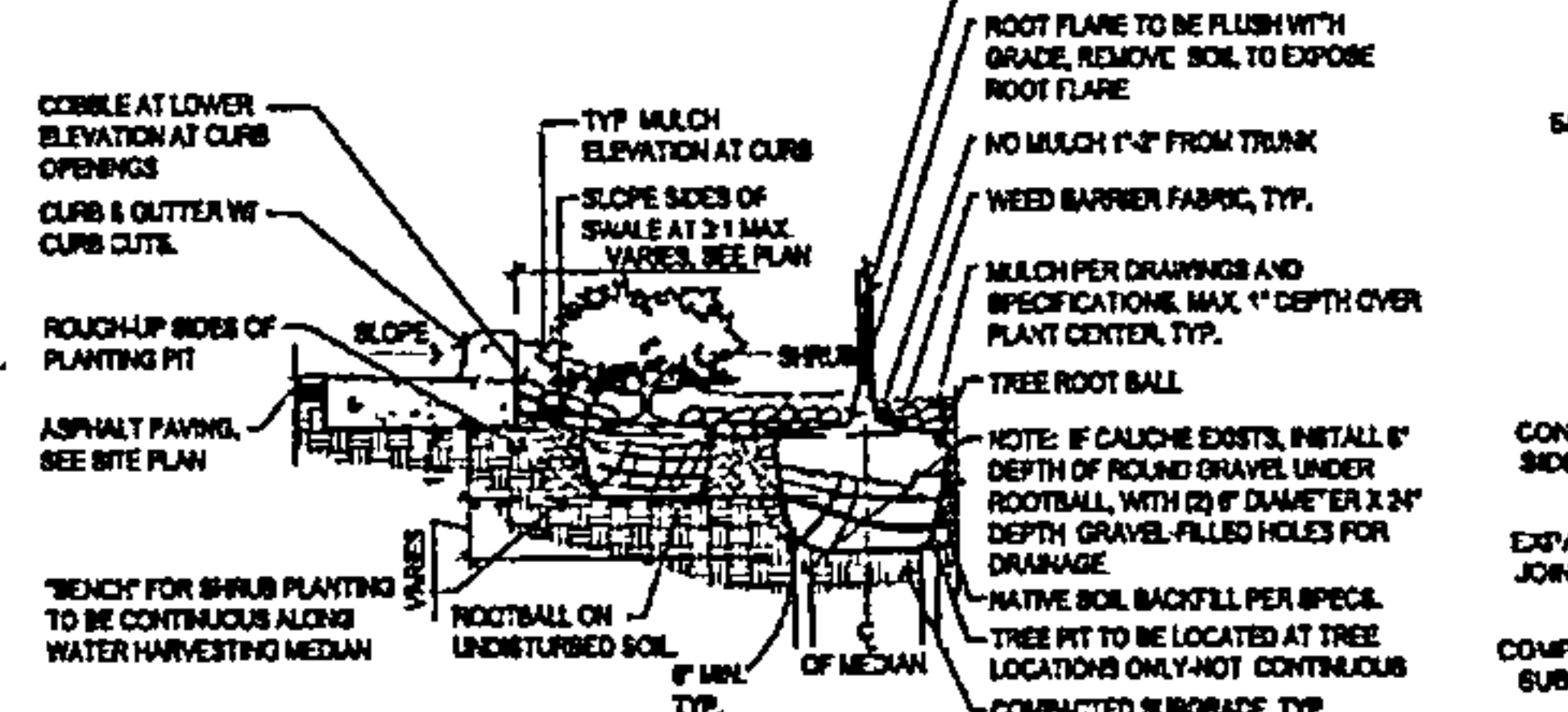
OPEN SPACE SHADE DIAGRAM

SHADED OPEN SPACE - 21,312 SF (52% OF TOTAL OPEN SPACE AREA)

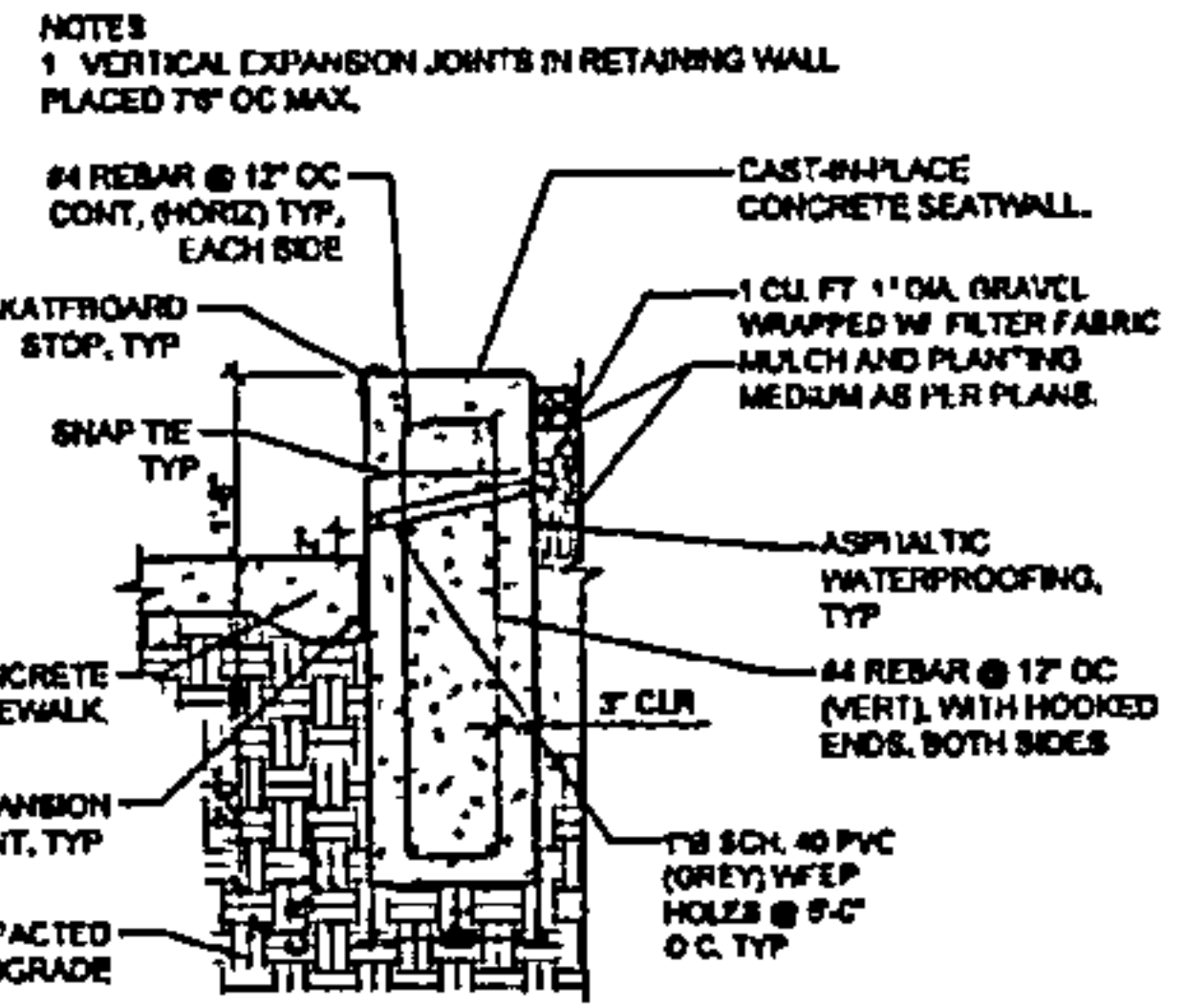
- NOTES:
1. PRIOR TO BACKFILLING, ALL MATERIAL SUCH AS CONTAINERS, WIRE, BURLAP, AND ROPE SHALL BE REMOVED AS COMPLETELY AS POSSIBLE, WHILE STILL PROTECTING THE INTEGRITY OF THE ROOTBALL.
 2. BOTTOM OF TREE PITS TO BE COMPACTED TO PREVENT SETTLING.
 3. PRIOR TO BACKFILLING, ALL MATERIAL SUCH AS CONTAINERS, WIRE, AND ROPE SHALL BE COMPLETELY REMOVED.
 4. PRIOR TO BACKFILLING, REMOVE ALL BURLAP.



A1 TREE



A2 WATER HARVESTING AREA



A3 CONC. SEAT PLANTER

PLANTING LEGEND

SYMBOL	QTY	BOTANICAL NAME/ COMMON NAME	INSTALLATION SIZE	MATURE SIZE (HxW) WATER USE
[Symbol]	26	<i>Pistacia chinensis</i> / CHINESE PISTACHE	3" Cal.	35'x30' Medium
[Symbol]	15	<i>Cercis reniformis</i> / WESTERN REDBUD	2" Cal/B&B	25'x18' Medium
[Symbol]	23	<i>Chilopsis linearis</i> 'Art's Seedless'/ DESERT WILLOW	48" Box/ Multi-trunked	25'x35' Low
[Symbol]	3	<i>Populus deltoides wislizenii</i> / RIO GRANDE VALLEY COTTONWOOD	2" Cal/B&B	60'x60' High
[Symbol]	22	<i>Quercus buckleyi</i> / TEXAS RED OAK	2" Cal/B&B	25'x25' Medium
[Symbol]	16	<i>Quercus muhlenbergii</i> / CHINQUAPIN OAK	2" Cal/B&B	30'x30' Medium
[Symbol]	12	<i>Tilia cordata</i> / LITTLELEAF LINDEN	2" Cal/B&B	35'x30' Medium
[Symbol]	11	<i>Juniperus chinensis</i> 'Spartan'/ SPARTAN JUNIPER	6" High/B&B	15'x8' Low
[Symbol]	18	<i>Pinus strobus</i> / SOUTHWESTERN WHITE PINE	6" High/B&B	60'x20' Low

SYMBOL	BOTANICAL NAME/ COMMON NAME	INSTALLATION SIZE	MATURE SIZE (HxW) WATER USE
[Symbol]	<i>Eriogonum fasciculatum</i> / TURPENTINE BUSH	1 Gal. Cont.	36" x 36" Low
[Symbol]	<i>Baccharis x Centennial</i> / CENTENNIAL BROOM	1 Gal. Cont.	36" x 27" Low
[Symbol]	<i>Caryopteris clandonensis</i> 'Dark King'/ DARK NIGHT BLUE MIST SPIREA	1 Gal. Cont.	48" x 48" Medium
[Symbol]	<i>Mahonia aquifolium</i> 'Compactum'/ COMPACT MAHONIA	1 Gal. Cont.	24" x 48" Medium
[Symbol]	<i>Rosmarinus officinalis</i> / UPRIGHT ROSEMARY	1 Gal. Cont.	60" x 48" Low
[Symbol]	<i>Rhus aromatica</i> 'Gro-low'/ GRO-LO FRAGRANT SUMAC	1 Gal. Cont.	24" x 72" Medium
[Symbol]	<i>Salvia greggii</i> / AUTUMN SAGE	1 Gal. Cont.	30" x 36" Low
[Symbol]	<i>Verbena bipinnatifida</i> / PRAIRIE VERBENA	1 Gal. Cont.	60" x 36" Low
[Symbol]	<i>Callirhoe involucrata</i> / WINECUPS	1 Gal. Cont.	18" x 18" Low
[Symbol]	<i>Cercis canadensis</i> 'Plumbago'/ DWARF PLUMBAGO	1 Gal. Cont.	12" x 18" Medium
[Symbol]	<i>Gelandia aristata</i> / BLANKE FLOWER	1 Gal. Cont.	30" x 30" Low
[Symbol]	<i>Hymenoxys scutellaria</i> / ANGELITA DAISY	1 Gal. Cont.	12" x 12" Low
[Symbol]	<i>Lavandula angustifolia</i> 'Hidcote Superior'/ HIDCOTE SUPERIOR LAVENDER	1 Gal. Cont.	18" x 18" Medium
[Symbol]	<i>Mirabilis multiflora</i> / DESERT FOUR-O'CLOCK	1 Gal. Cont.	18" x 30" Medium
[Symbol]	<i>P. barbatus</i> / RED PENSTEMON	1 Gal. Cont.	50" x 36" Low
[Symbol]	<i>Teucrium chamaedryfolium</i> / TRAILING GERMANDER	1 Gal. Cont.	12" x 24" Medium

SYMBOL	BOTANICAL NAME/ COMMON NAME	INSTALLATION SIZE	MATURE SIZE (HxW) WATER USE
[Symbol]	<i>Festuca hahniana</i> 'Siskiyou Blue'/ SISKIYOU BLUE FESCUE	1 Gal. Cont.	18" x 18" Medium
[Symbol]	<i>Muhlenbergia capillaris</i> 'Regal Mist'/ REGAL MIST MUHLENBERGIA	1 Gal. Cont.	36" x 27" Medium
[Symbol]	<i>Muhlenbergia rigens</i> / DEER GRASS	1 Gal. Cont.	42" x 48" Medium
[Symbol]	<i>Holcus microcarpa</i> / BEARGRASS	1 Gal. Cont.	36" x 48" Medium
[Symbol]	<i>Miscanthus sinensis</i> / MAIDEN GRASS	1 Gal. Cont.	60" x 48" Medium

SYMBOL	BOTANICAL NAME/ COMMON NAME	INSTALLATION SIZE	MATURE SIZE (HxW) WATER USE
[Symbol]	<i>Agave parryi</i> / PARRY'S AGAVE	1 Gal. Cont.	36" x 36" Low
[Symbol]	<i>Dasylirion wheeleri</i> / SOTOL	1 Gal. Cont.	48" x 60" Low
[Symbol]	<i>Hesperaloe parviflora</i> / RED HESPERALOE	1 Gal. Cont.	48" x 48" Medium
[Symbol]	<i>Opuntia basilaris</i> / BEAVERTAIL PRICKLY PEAR	1 Gal. Cont.	12" x 48" Low
[Symbol]	<i>Opuntia engelmannii</i> / ENGELMANN'S PRICKLY PEAR	1 Gal. Cont.	48" x 60" Low
[Symbol]	<i>Yucca glauca</i> / SOAPEWED	1 Gal. Cont.	30" x 60" Low
[Symbol]	<i>Yucca rupicola</i> / TWISTED LEAF YUCCA	1 Gal. Cont.	36" x 36" Low

SYMBOL	ROCK MULCH	ORGANIC PECAN SHELL MULCH
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LANDSCAPE CALCULATIONS

SITE AREA: 7,3572 AC (AFTER R.O.W. DEDICATION)
 OPEN SPACE REQUIREMENT (10% OF THE SITE): 32,048 SF
 OPEN SPACE PROVIDED: 41,036 SF
 LANDSCAPE REQUIREMENT (40% OF OPEN SPACE): 16,414 SF
 LANDSCAPE AREA PROVIDED: 39,178 SF
 *NET LOT AREA WAS NOT USED IN THESE CALCULATIONS.

OPEN SPACE CALCULATIONS DO NOT INCLUDE REQUIRED LANDSCAPE STRIPS ALONG THE STREET OR WALKWAYS EXCEPT ANY PORTION OF A WALKWAY THAT IS WIDER THAN 10 FEET.

A MINIMUM OF 75% OF LANDSCAPE AREAS AND 80%-75% OF PLANTING STRIPS SHALL BE COVERED WITH LIVE VEGETATIVE MATERIALS.

A MINIMUM OF 10% OF LANDSCAPE AREAS WILL HAVE FLOWERING TOTALS OR SHRUBS.

TOTAL SHADE TREES: 80% (OF TREES)
 TOTAL SIGNATURE TREES: 30% (OF TREES)

ROCK MULCH HAS BEEN LIMITED TO LESS THAN 5% OF ANY OPEN SPACE AREA AND USED ONLY WHERE NECESSARY AROUND DRAINAGE INLETS. ALL OTHER MULCH AREAS UTILIZE ORGANIC PECAN SHELL MULCH.

LANDSCAPE NOTES

- DESIGN THE PLANTING DESIGN INCLUDES A DIVERSE PALETTE OF DESERT AND HIGH DESERT PLANTS THAT WILL COMPLEMENT THE ARCHITECTURE OF THE PROJECT. THE INTENT IS TO LANDSCAPE THIS MIXED-USE, URBAN ENVIRONMENT WITH DESERT AND HIGH DESERT PLANTS THAT REINFORCE A SENSE OF PLACE AND ARE APPROPRIATE TO ALBUQUERQUE'S CLIMATE.
- GRASSES AND ACCENT PLANTS SUCH AS YUCCA, SOTOL AND PRICKLY PEAR CACTUS WILL BE USED IN HIGHLY VISIBLE AND APPROPRIATE LOCATIONS. THE USE OF REGIONALLY NATIVE TREES FOR STREET TREES, WHILE UNORTHODOX, WILL REINFORCE THE SENSE OF PLACE, BUFFER PEDESTRIANS FROM VEHICULAR AREAS AND PROVIDE A COMFORTABLE PEDESTRIAN SCALE TO THE STREETS.
- PLANTING AND IRRIGATION INSTALLATION DETAILS SHALL MEET CITY OF ALBUQUERQUE REQUIREMENTS AND THE USDP REQUIREMENTS. EACH TREE SHALL HAVE A MINIMUM OF 36 SQUARE FEET OF PLANTING SPACE.
- PLANTING AND IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- CONTROLLER: THE IRRIGATION SYSTEM SHALL BE RUN WITH A FULLY AUTOMATED IRRIGATION CONTROLLER. THE RUN TIME FOR THE VARIOUS ZONES SHALL BE APPROXIMATELY 45 MINUTES FOR THE DRIP ZONES. RUN TIME WILL BE ADJUSTED ACCORDING TO SEASON, LOCATION, AND PLANT PERFORMANCE. DRIP EMITTERS SHALL BE USED FOR ALL PLANT MATERIAL.
- POINT OF CONNECTION: THERE IS LIKELY TO BE MORE THAN ONE POINT OF CONNECTION FOR THIS PROJECT. THE WATER CONNECTION LOCATIONS WILL BE COORDINATED WITH THE OVERALL WATER SERVICE DESIGN FOR THE SITE. THE EXACT LOCATIONS FOR CONNECTIONS AND CONTROLLERS IN UNKNOWN AT THIS TIME.
- MULCH: ALL PLANTING BEDS SHALL BE COVERED WITH MULCH (GRAVEL, BARK AND PECAN SHELL). MULCHES WILL BE USED APPROPRIATELY TO ADD VISUAL INTEREST AND PROTECT SOIL MOISTURE.
- THE PARKING AREA TREES SELECTED FOR USE AT TARGET @ TREE AND SHRUB PITS TO BE 4 TIMES THE ROOTBALL DIAMETER.
- THERE IS NO HIGH WATER USE TURF USED ON THIS PROJECT.
- THE LANDSCAPE DESIGN SHALL COMPLY WITH THE INTENT OF THE CITY OF ALBUQUERQUE WATER CONSERVATION, LANDSCAPING AND WATER WASTE ORDINANCE.
- SOIL PREPARATION AND AERATION WITHIN ROW IS REQUIRED TO DE-COMPACT LANDSCAPE ZONE PRIOR TO PLANTING.
- PASSIVE WATER HARVESTING, SUCH AS HARVESTING OF STORM WATER SURFACE RUNOFF AND ROOF RUNOFF SHALL BE UTILIZED WHERE FEASIBLE AND CAPTURED IN SWALES.
- SOIL AMENDMENTS WILL BE USED FOR PLANT MATERIAL.
- PLANT AND IRRIGATION MAINTENANCE WILL BE THE RESPONSIBILITY OF THE OWNER FOLLOWING SUBSTANTIAL COMPLETION OR ANY MAINTENANCE PERIODS.
- THE LANDSCAPE DESIGN REQUIRES A PERMANENT, FULLY AUTOMATIC IRRIGATION SYSTEM TO SUPPORT THE PLANT MATERIAL.
- THE IRRIGATION SYSTEM WILL BE CONNECTED TO CITY WATER. THE POINT OF CONNECTION WILL CONSIST OF A WATER METER, BACKFLOW PREVENTER AND MASTERVALVE. SEE COA STD DETAIL #2701.
- THE CONTRACTOR SHALL CREATE AN IRRIGATION PLAN TO PERMANENTLY IRRIGATE THE PROPOSED PLANTING, AND SHALL SUBMIT THIS TO THE ARCHITECT FOR REVIEW AND APPROVAL. THE PLAN SHALL INCLUDE A PIPING AND EMITTER LAYOUT WITH SIZES, VALVE SCHEDULE AND CONSTRUCTION DETAILS.
- CONTROLLER: THE IRRIGATION SYSTEM SHALL BE RUN WITH FULLY AUTOMATED IRRIGATION CONTROLLER. RUN TIME WILL BE ADJUSTED ACCORDING TO PLANT MATURITY, SEASON, LOCATION, AND PLANT PERFORMANCE.
- DRIP EMITTERS SHALL BE USED FOR ALL PLANT MATERIAL.
- REFER TO DRAINAGE PLAN FOR GRADING INFORMATION AND WATER HARVESTING LOCATIONS.

Dekker Perich Sabatini

7801 Del Mar NE Suite 100
 Albuquerque, NM 87109
 505.761.0220
 505.761.0225
 505.761.0226

TARGET @ ABQ Uptown
 Albuquerque, New Mexico

DRB SUBMITTAL

DATE: 11/10/2011
 PROJECT NO: 10-1324
 SHEET NO: 05 OF 21

September 18, 2013

Winrock South Neighborhood Association "R"
Ms. Virginia Kinney
7110 Constitution Ave. NE
Albuquerque, NM 87110

Re: Target, 2120 Louisiana Boulevard NE
Southeast corner of Louisiana Boulevard NE and Indian School Road NE
Reason for Request: Target at Uptown Site Development Plan for Subdivision & Re-plat
Legal Description: Tract A of Hunt – Spectrum Development Site

Dear Ms. Kinney:

A letter was sent notifying you that Target wishes to subdivide their property to prepare for development of the pad sites at the southwest and northeast corners.

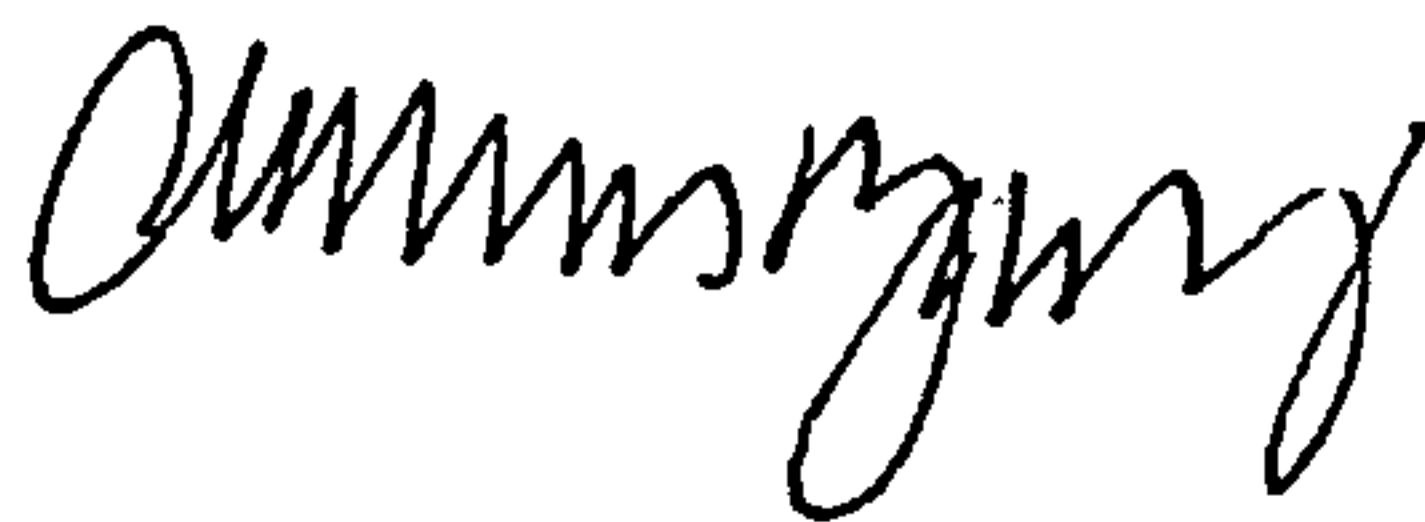
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505-761-9700

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Principal

Attachments:
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Landscaping Plan

September 10, 2013

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Legal Description: Tract A of Hunt – Spectrum Development Site

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VOIDED

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If you have any questions or need clarification, please feel free to contact me at:

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505-761-9700

Sincerely,

Dekker/Perich/Sabatini
Agent for Target



Christopher R. Gunning, AIA, LEED AP
Principal

Attachments: Site Development Plan for Subdivision and Landscaping Plan

DRAWN BY	SJT
REVIEWED BY	CRG
DATE	08/02/2013
PROJECT NO.	11-0096.D02
DRAWING NAME	

SITE
 DEVELOPMENT PLAN
 FOR SUBDIVISION

GENERAL NOTES

- REFER TO SHEET 3 FOR DESIGN STANDARDS
- REFER TO CIVIL DRAWING, SHEET 2 FOR CONCEPTUAL UTILITY PLAN
- APPLICABLE PLANS: UPTOWN SECTOR DEVELOPMENT PLAN (2009)
- PROPOSED USES: MIXED USE INCLUDING RETAIL, RESTAURANT AND HOUSING

KEYED NOTES

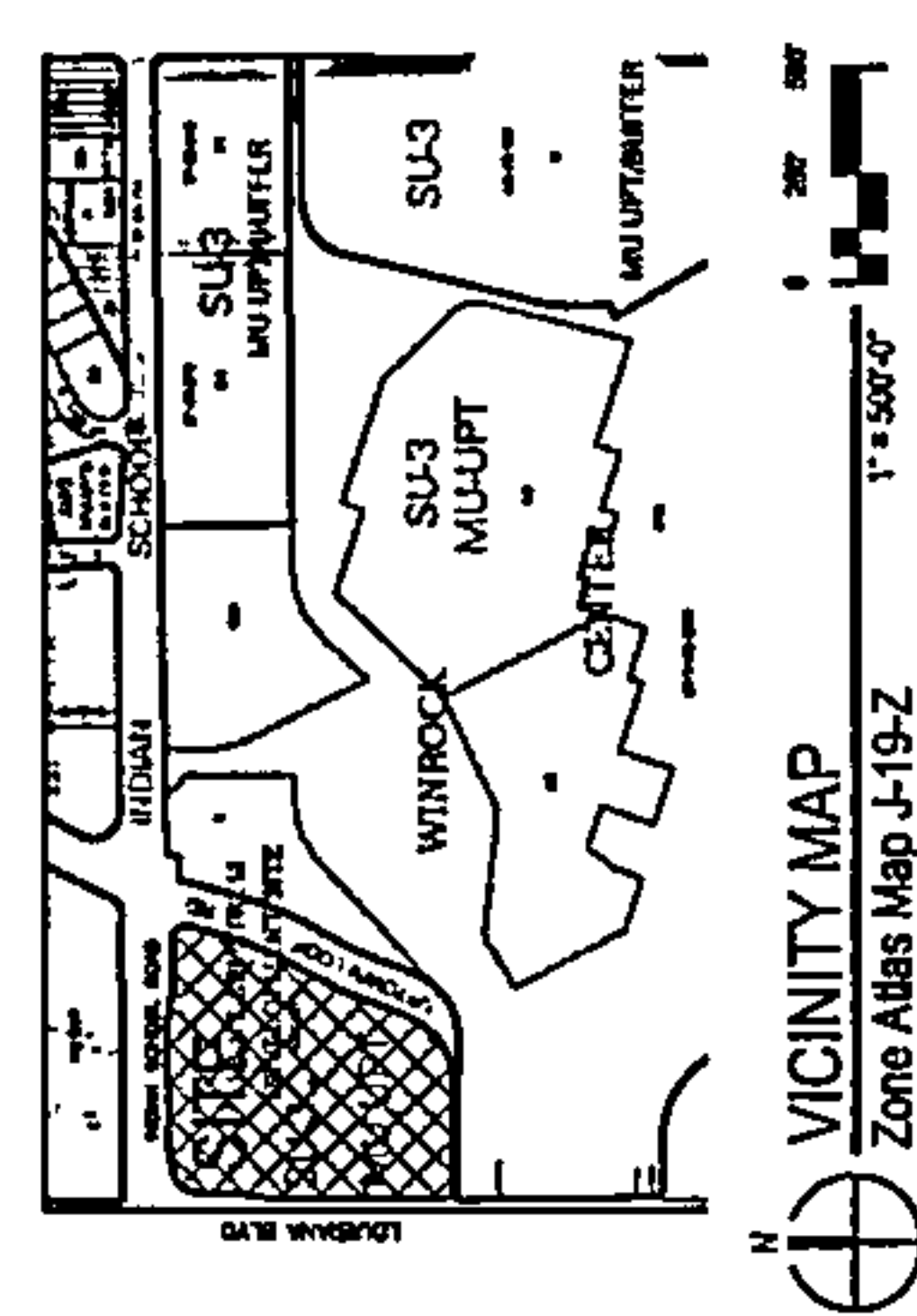
- EXISTING PROPERTY LINE
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SITE DATA

LEGAL DESCRIPTION:
 TRACK A, HUNT - SPECTRUM DEVELOPMENT SITE
 ZONE:
 SU-3 FOR MU-UPT

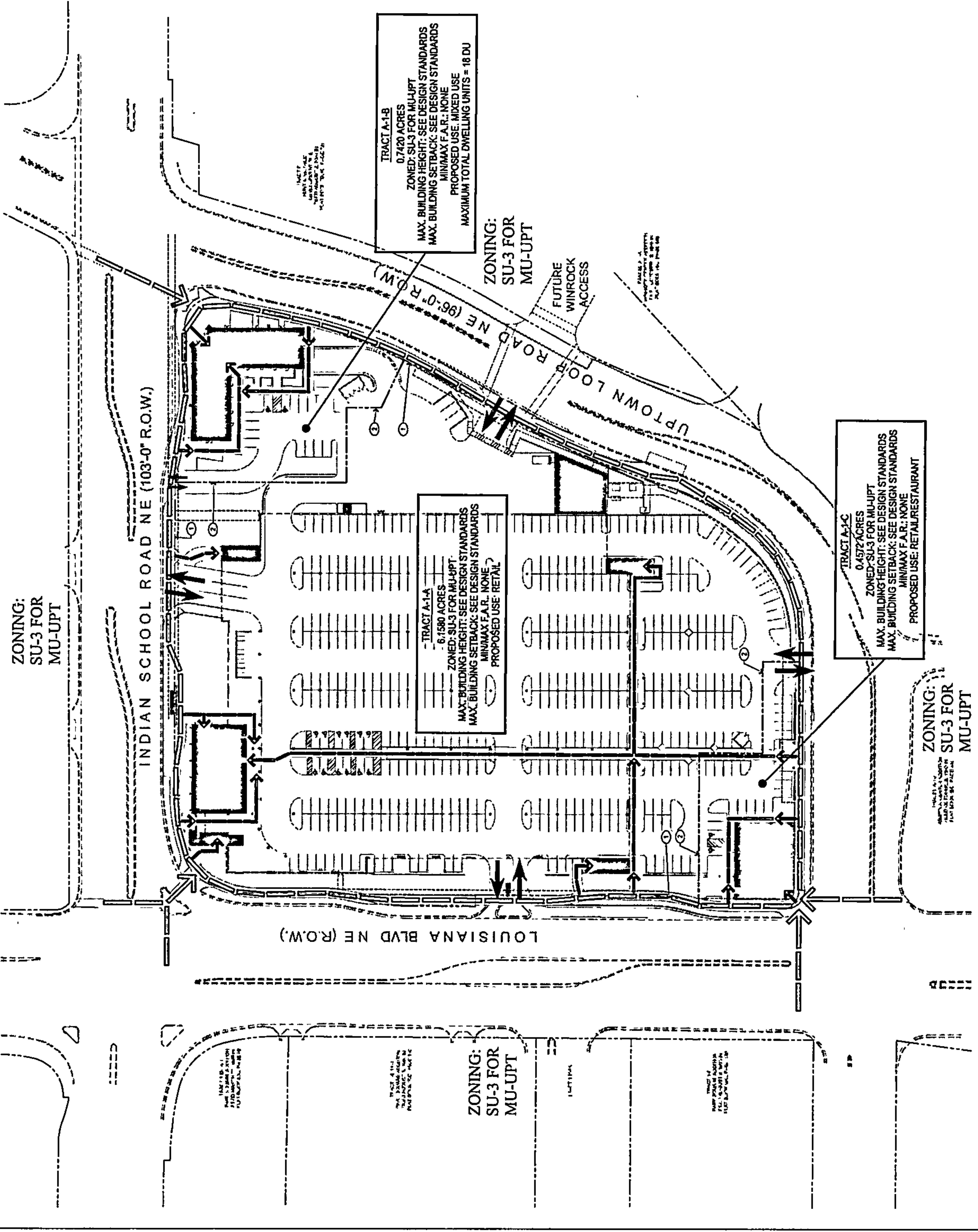
SITE PLAN LEGEND

- PEDESTRIAN WALKWAYS / EDGES
- VEHICULAR WALKWAYS / EDGES
- PROPERTY LINE EXISTING AS NOTED
- PROPERTY LINE PROPOSED AS NOTED

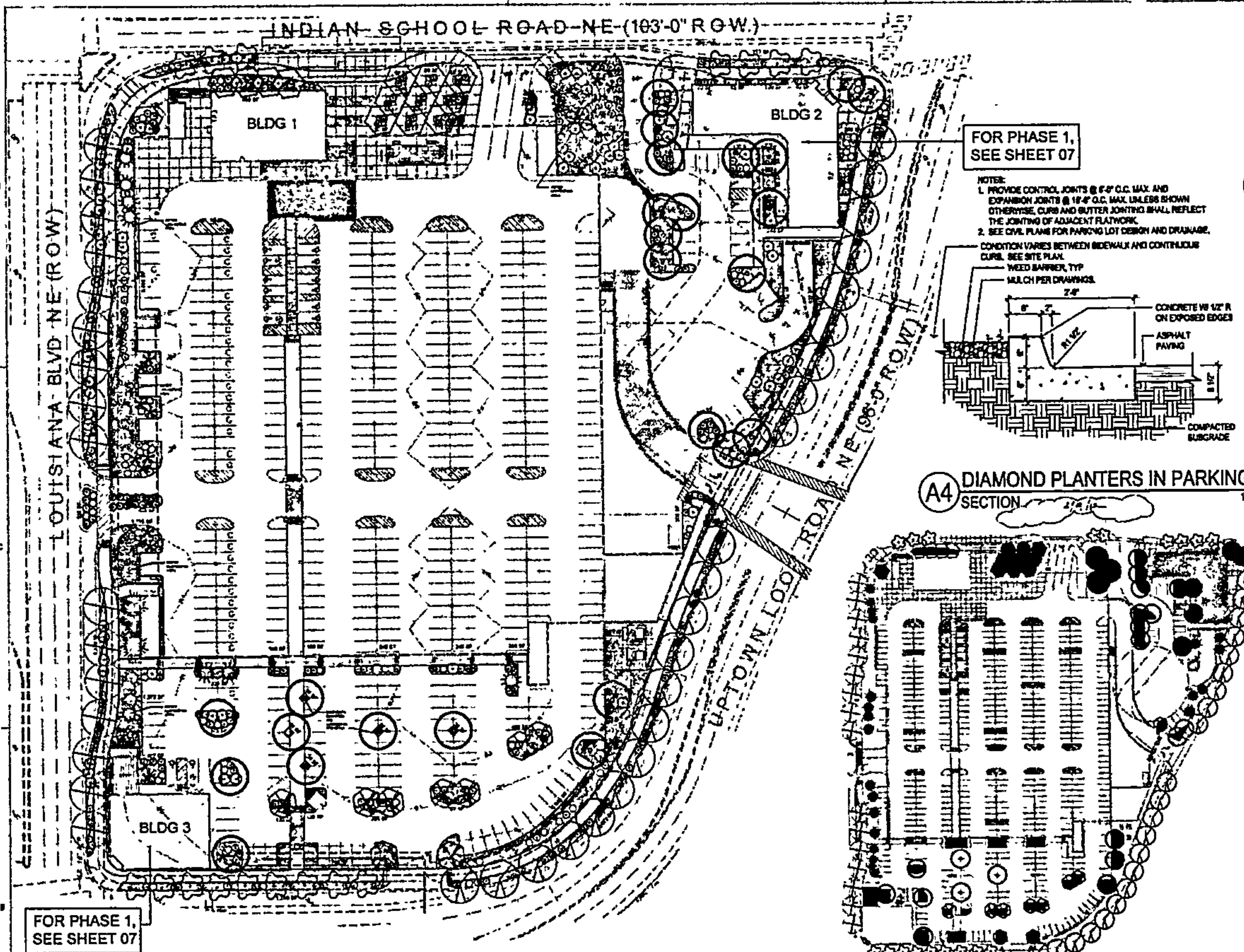


FORHEER PROJECT NUMBER: 140716
 PROJECT NUMBER: 140716
 APPLICATION NUMBER:
 In an Subdivision Lot Replatment (L) No. (L) No. If you show a set of approved DBC plans with a note under it regarding for any construction within Public Right-of-Way or for construction of public improvements.
 SITE DEVELOPMENT PLAN APPROVAL

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
ARCHIVA	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
SOLID WASTE MANAGEMENT	DATE
DEB CHAIRPERSON, PLANNING DEPARTMENT	DATE



SITE PLAN - PHASE 2 (FULL BUILD-OUT)



PLANTING LEGEND

TREES

SYM	QTY	BOTANICAL NAME/ COMMON NAME	INSTALLATION SIZE	MATURE SIZE (HxW) WATER USE
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SHRUBS

SYMBOL	BOTANICAL NAME/ COMMON NAME	INSTALLATION SIZE	MATURE SIZE (HxW) WATER USE
☉	<i>Eriogonum fasciculatum</i> / TURPENTINE BUSH	1 Gal. Cont.	36'x36' Low
☉	<i>Baccharis x 'Cementarii'</i> / CENTENNIAL BROOKS	1 Gal. Cont.	36'x42' Low
☉	<i>Caryopteris clandonensis</i> 'Dark Knight' DARK NIGHT BLUE MIST SPIREA	1 Gal. Cont.	48'x48' Medium
☉	<i>Mahonia aquifolium</i> 'Compactum' COMPACT MAHONIA	1 Gal. Cont.	24'x48' Medium
☉	<i>Rosmarinus officinalis</i> / UPRIGHT ROSEMARY	1 Gal. Cont.	60'x48' Low
☉	<i>Rhus aromatica</i> 'Gro-low' GRO-LO FRAGRANT SUMAC	1 Gal. Cont.	24'x27' Medium
☉	<i>Salvia greggii</i> / AUTUMN SAGE	1 Gal. Cont.	30'x36' Low
☉	<i>Verbena bipinnatifida</i> / PRAIRIE VERBENA	1 Gal. Cont.	6'x36' Low
☉	<i>Callisotum involucratum</i> / WINECUPS	1 Gal. Cont.	18'x18' Low
☉	<i>Cercasotoma plumbaginoides</i> / DWARF PLUMBAGO	1 Gal. Cont.	12'x18' Medium
☉	<i>Callandria arctata</i> / BLANKETFLOWER	1 Gal. Cont.	30'x30' Low
☉	<i>Hymenocallis acutifolia</i> / ANGELITA DAISY	1 Gal. Cont.	12'x12' Low
☉	<i>Levandula angustifolia</i> 'Hidcote Superior' HIDCOTE SUPERIOR LAVENDER	1 Gal. Cont.	16'x18' Medium
☉	<i>Mirabilis multiflora</i> / DESERT FOUR-O'CLOCK	1 Gal. Cont.	18'x30' Medium
☉	<i>P. berberis</i> / RED PENSTEMON	1 Gal. Cont.	50'x36' Low
☉	<i>Taraxacum chamædrys</i> / TRAILING GERMANDER	1 Gal. Cont.	12'x24' Medium

GRASSES

SYMBOL	BOTANICAL NAME/ COMMON NAME	INSTALLATION SIZE	MATURE SIZE (HxW) WATER USE
☉	<i>Festuca idahoensis</i> 'Siskiyou Blue' SISKIYOU BLUE FESCUE	1 Gal. Cont.	15'x15' Medium
☉	<i>Muhlenbergia capillaris</i> 'Regal Mist' REGAL MIST MUHLENBERGIA	1 Gal. Cont.	36'x42' Medium
☉	<i>Muhlenbergia rigens</i> / DEER GRASS	1 Gal. Cont.	42'x48' Medium
☉	<i>Nolina microcarpa</i> / BEARGRASS	1 Gal. Cont.	36'x48' Medium
☉	<i>Miscanthus sinensis</i> / MAIDEN GRASS	1 Gal. Cont.	60'x48' Medium

ACCENTS

SYMBOL	BOTANICAL NAME/ COMMON NAME	INSTALLATION SIZE	MATURE SIZE (HxW) WATER USE
☉	<i>Agave parryi</i> / PARRY'S AGAVE	1 Gal. Cont.	36'x36' Low
☉	<i>Dasylirion wheeleri</i> / SOTOL	1 Gal. Cont.	48'x60' Low
☉	<i>Hesperaloe parviflora</i> / RED HESPERALOE	1 Gal. Cont.	48'x48' Medium
☉	<i>Opuntia basilaris</i> / BEAVERTAIL PRICKLY PEAR	1 Gal. Cont.	12'x48' Low
☉	<i>Opuntia engelmannii</i> / ENGELMANN'S PRICKLY PEAR	1 Gal. Cont.	48'x60' Low
☉	<i>Yucca glauca</i> / Soapweed	1 Gal. Cont.	30'x60' Low
☉	<i>Yucca rupicola</i> / TWISTED LEAF YUCCA	1 Gal. Cont.	36'x36' Low

MULCHES

SYMBOL	ROCK MULCH	ORGANIC PECAN SHELL MULCH
☉	ROCK MULCH	ORGANIC PECAN SHELL MULCH

LANDSCAPE CALCULATIONS

SITE AREA 7.3572 AC (AFTER R.O.W. DEDICATION)
 OPEN SPACE REQUIREMENT (10% OF THE SITE) 32,048 SF
 OPEN SPACE PROVIDED 41,076 SF
 LANDSCAPE REQUIREMENT (40% OF OPEN SPACE) 16,414 SF
 LANDSCAPE AREA PROVIDED 38,179 SF
 NET LOT AREA WAS NOT USED IN THESE CALCULATIONS.

OPEN SPACE CALCULATIONS DO NOT INCLUDE REQUIRED LANDSCAPE STRIPS ALONG THE STREET OR WALKWAYS EXCEPT ANY PORTION OF A WALKWAY THAT IS WIDER THAN 10 FEET

A MINIMUM OF 75% OF LANDSCAPE AREAS AND 80%-75% OF PLANTING STRIPS SHALL BE COVERED WITH LIVE VEGETATIVE MATERIALS.

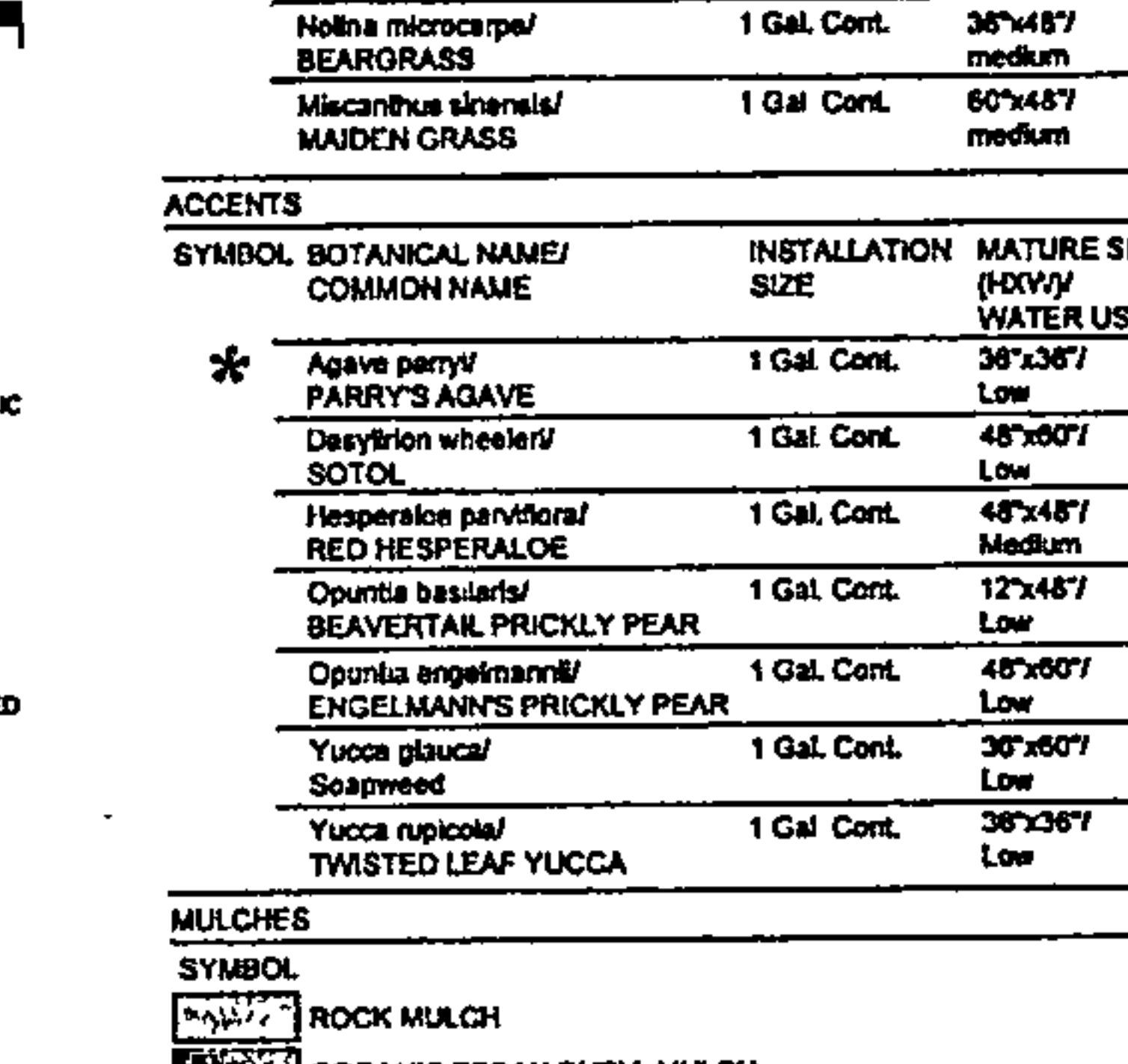
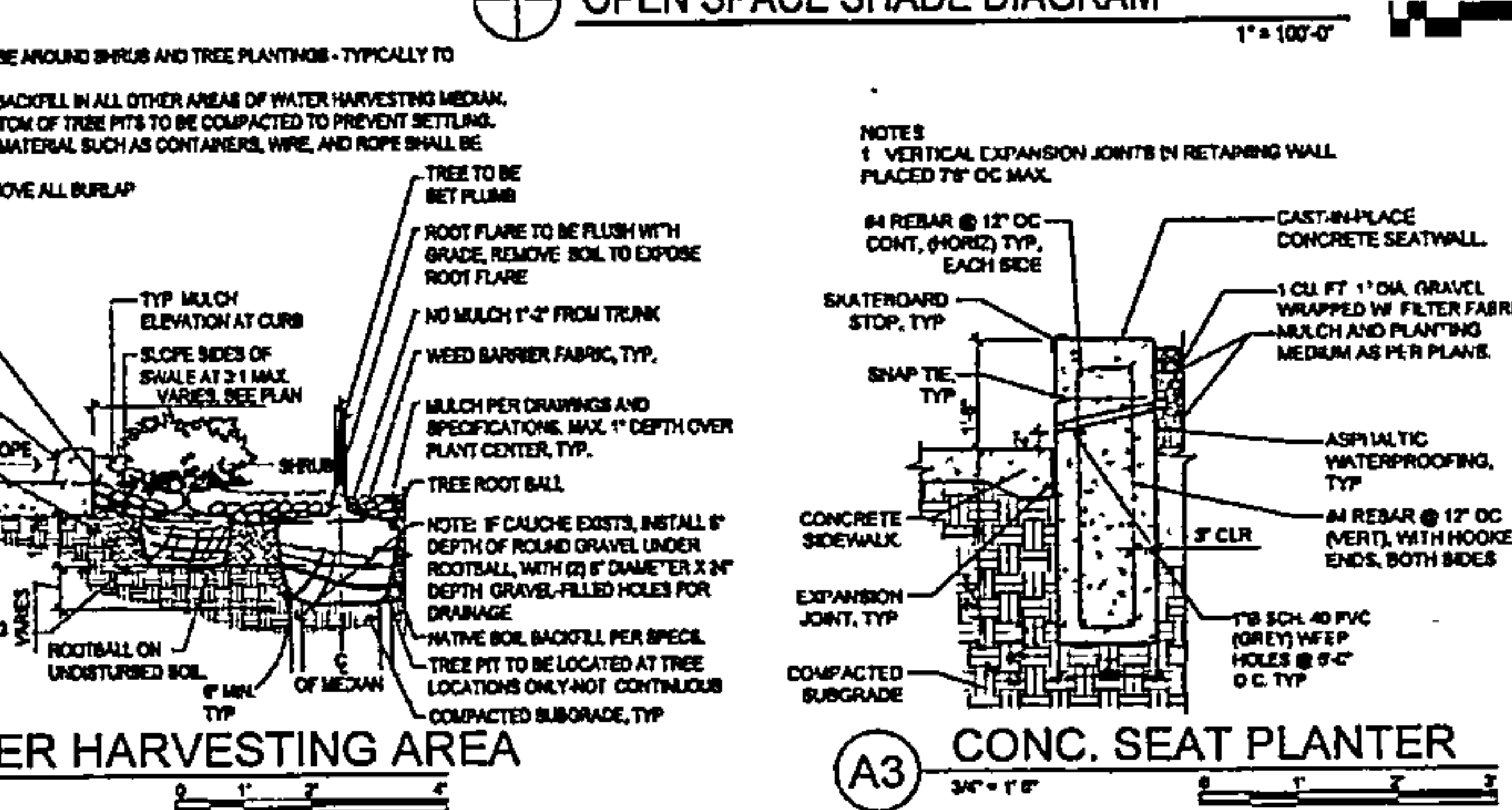
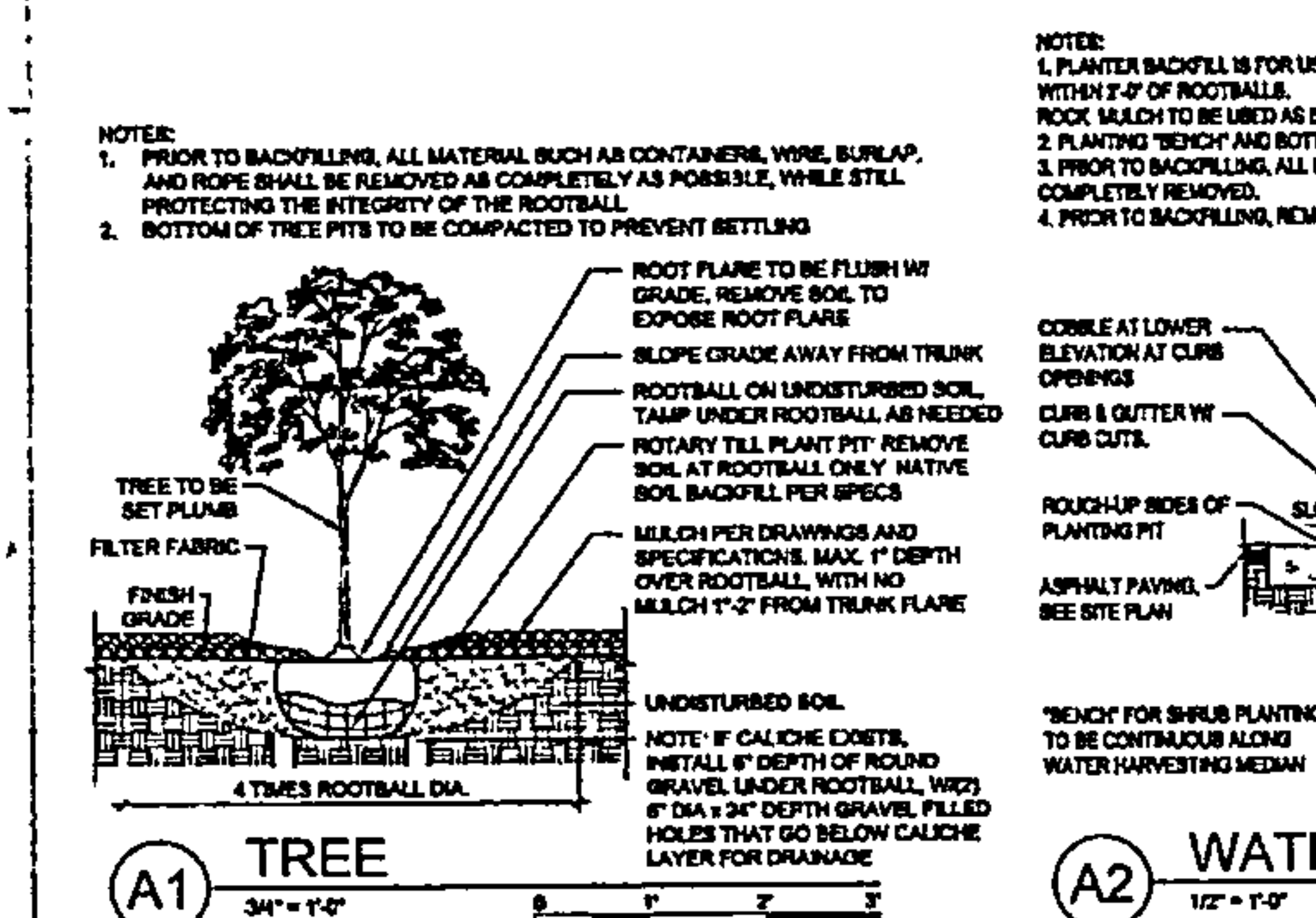
A MINIMUM OF 10% OF LANDSCAPE AREAS WILL HAVE FLOWERING PLANTS OR SHRUBS.

TOTAL SHADE TREES: 80 (% OF TREES)
 TOTAL SIGNATURE TREES: 38 (% OF TREES)

ROCK MULCH HAS BEEN LIMITED TO LESS THAN 5% OF ANY OPEN SPACE AREA AND USED ONLY WHERE NECESSARY AROUND DRAINAGE INLETS. ALL OTHER MULCH AREAS UTILIZE ORGANIC PECAN SHELL MULCH.

LANDSCAPE NOTES

- DESIGN THE PLANTING DESIGN INCLUDES A DIVERSE PALETTE OF DESERT AND HIGH DESERT PLANTS THAT WILL COMPLEMENT THE ARCHITECTURE OF THE PROJECT. THE INTENT IS TO LANDSCAPE THIS MIXED-USE, URBAN ENVIRONMENT WITH DESERT AND HIGH DESERT PLANTS THAT REINFORCE A SENSE OF PLACE AND ARE APPROPRIATE TO ALBUQUERQUE'S CLIMATE.
- GRASSES AND ACCENT PLANTS SUCH AS YUCCA, SOTOL AND PRICKLY PEAR CACTUS WILL BE USED IN HIGHLY VISIBLE AND APPROPRIATE LOCATIONS. THE USE OF REGIONALLY NATIVE TREES FOR STREET TREES, WHILE UNORTHODOX, WILL REINFORCE THE SENSE OF PLACE, BUFFER PEDESTRIANS FROM VEHICULAR AREAS AND PROVIDE A COMFORTABLE PEDESTRIAN SCALE TO THE STREETS.
- PLANTING AND IRRIGATION INSTALLATION DETAILS SHALL MEET CITY OF ALBUQUERQUE REQUIREMENTS AND THE USDP REQUIREMENTS. EACH TREE SHALL HAVE A MINIMUM OF 36 SQUARE FEET OF PLANTING SPACE.
- PLANTING AND IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- CONTROLLER: THE IRRIGATION SYSTEM SHALL BE RUN WITH A FULLY AUTOMATED IRRIGATION CONTROLLER. THE RUN TIME FOR THE VARIOUS ZONES SHALL BE APPROXIMATELY 45 MINUTES FOR THE DRIP ZONES. RUN TIME WILL BE ADJUSTED ACCORDING TO SEASON, LOCATION, AND PLANT PERFORMANCE. DRIP EMITTERS SHALL BE USED FOR ALL PLANT MATERIAL.
- POINT OF CONNECTION: THERE IS LIKELY TO BE MORE THAN ONE POINT OF CONNECTION FOR THIS PROJECT. THE WATER CONNECTION LOCATIONS WILL BE COORDINATED WITH THE OVERALL WATER SERVICE DESIGN FOR THE SITE. THE EXACT LOCATIONS FOR CONNECTIONS AND CONTROLLERS IN UNKNOWN AT THIS TIME.
- MULCH: ALL PLANTING BEDS SHALL BE COVERED WITH MULCH. GRAVEL, BARK AND PECAN SHELL MULCHES WILL BE USED APPROPRIATELY TO ADD VISUAL INTEREST AND PROTECT SOIL MOISTURE.
- THE PARKING AREA TREES SELECTED FOR USE AT TARGET @ TREE AND SHRUB PITS TO BE 4 TIMES THE ROOTBALL DIAMETER.
- THERE IS NO HIGH WATER USE TURF USED ON THIS PROJECT.
- THE LANDSCAPE DESIGN SHALL COMPLY WITH THE INTENT OF THE CITY OF ALBUQUERQUE WATER CONSERVATION, LANDSCAPING AND WATER WASTE ORDINANCE.
- SOIL PREPARATION AND AERATION WITHIN ROW IS REQUIRED TO DE COMPACT LANDSCAPE ZONE PRIOR TO PLANTING.
- PASSIVE WATER HARVESTING, SUCH AS HARVESTING OF STORM WATER SURFACE RUNOFF AND ROOF RUNOFF SHALL BE UTILIZED WHERE FEASIBLE AND CAPTURED IN SWALES.
- SOIL AMENDMENTS WILL BE USED FOR PLANT MATERIAL.
- PLANT AND IRRIGATION MAINTENANCE WILL BE THE RESPONSIBILITY OF THE OWNER FOLLOWING SUBSTANTIAL COMPLETION OR ANY MAINTENANCE PERIODS.
- THE LANDSCAPE DESIGN REQUIRES A PERMANENT, FULLY AUTOMATIC IRRIGATION SYSTEM TO SUPPORT THE PLANT MATERIAL.
- THE IRRIGATION SYSTEM WILL BE CONNECTED TO CITY WATER. THE POINT OF CONNECTION WILL CONSIST OF A WATER METER, BACKFLOW PREVENTER AND MASTERVALVE, SEE COA STD DETAIL #2701.
- THE CONTRACTOR SHALL CREATE AN IRRIGATION PLAN TO PERMANENTLY IRRIGATE THE PROPOSED PLANTINGS, AND SHALL SUBMIT THIS TO THE ARCHITECT FOR REVIEW AND APPROVAL. THE PLAN SHALL INCLUDE A PIPING AND EMITTER LAYOUT WITH SIZING, VALVE SCHEDULE AND CONSTRUCTION DETAILS.
- CONTROLLER: THE IRRIGATION SYSTEM SHALL BE RUN WITH FULLY AUTOMATED IRRIGATION CONTROLLER. RUN TIME WILL BE ADJUSTED ACCORDING TO PLANT MATURITY, SEASON, LOCATION, AND PLANT PERFORMANCE.
- DRIP EMITTERS SHALL BE USED FOR ALL PLANT MATERIAL.
- REFER TO DRAINAGE PLAN FOR GRADING INFORMATION AND WATER HARVESTING LOCATIONS.



Dekker Perich Sabatini
 ARCHITECT
 7001 2nd Street NE Suite 100
 Albuquerque, NM 87113
 505.761.8222
 505.761.8225
 505.761.8226
 505.761.8227

TARGET @ ABQ Uptown
 Albuquerque, New Mexico
 DRB SUBMITTAL

REVISIONS

NO.	DATE	DESCRIPTION
1	11/16/2011	
2	11/16/2011	

DATE: 11/16/2011
 PROJECT NO: 13-1135
 LANDSCAPE PLAN - PHASE II

October 16, 2013



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
 - Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): SURI-TEK, INC PHONE: 897-3366
 ADDRESS: 9384 VALLEY VIEW DR NW FAX: 897-3377
 CITY: ALB STATE NM ZIP 87114 E-MAIL: RUSSTHUGG@SURI-TEK.COM

APPLICANT: TARGET CORPORATION PHONE: 1-612-304-6073
 ADDRESS: 1600 NILLET MALL FAX: ---
 CITY: MINNEAPOLIS STATE MN ZIP 55403 E-MAIL: ---

Proprietary interest in site: OWNERS List all owners: ---

DESCRIPTION OF REQUEST: MINOR PRELIMINARY / FINAL PLAT APPROVAL

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. TRACT A-1 Block: --- Unit: ---
 Subdiv/Addn/TBKA: HUNT-SPECTRUM DEVELOPMENT SITE
 Existing Zoning: SU-3 MU-UPT Proposed zoning: SAME MRGCD Map No ---
 Zone Atlas page(s): J-19 UPC Code: 101905802849920414

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX,Z, V, S, etc.): 1007316

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? N/A
 No. of existing lots: 1 No. of proposed lots: 3 Total site area (acres): 7.3573
 LOCATION OF PROPERTY BY STREETS: On or Near: LOUISIANA BLVD NE
 Between: INDIAN SCHOOL RD NE and UPTOWN LOOP RD NE

Check if project was previously reviewed by: Sketch/Plat/Plan or Pre-application Review Team(PRT) Review Date: ---

SIGNATURE [Signature] DATE 9.10.13
 (Print Name) RUSS HUGG Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 4/2012

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>BDRB - 70675</u>	<u>P&E</u>	<u>---</u>	<u>\$ 355.00</u>
<input checked="" type="checkbox"/> All fees have been collected	<u>---</u>	<u>CM&F</u>	<u>---</u>	<u>\$ 20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	<u>---</u>	<u>---</u>	<u>---</u>	<u>\$</u>
<input checked="" type="checkbox"/> AGIS copy has been sent	<u>---</u>	<u>---</u>	<u>---</u>	<u>\$</u>
<input type="checkbox"/> Case history #s are listed	<u>---</u>	<u>---</u>	<u>---</u>	<u>\$</u>
<input type="checkbox"/> Site is within 1000ft of a landfill	<u>---</u>	<u>---</u>	<u>---</u>	<u>\$</u>
<input type="checkbox"/> F.H.D.P. density bonus	<u>---</u>	<u>---</u>	<u>---</u>	<u>\$</u>
<input type="checkbox"/> F.H.D.P. fee rebate	<u>---</u>	<u>---</u>	<u>---</u>	<u>\$</u>
	Hearing date <u>Sept. 25, 2013</u>			Total <u>\$ 375.00</u>

[Signature]
 Staff signature & Date 9-10-13

Project # 1007316

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

SKETCH PLAT REVIEW AND COMMENT (DRB22) **Your attendance is required.**

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08) **Your attendance is required.**

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Copy of DRB approved infrastructure list
- Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
- List any original and/or related file numbers on the cover application

Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12) **Your attendance is required.**

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Signed & recorded Final Pre-Development Facilities Fee Agreement for **Residential** development only
- Design elevations & cross sections of perimeter walls **3 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- List any original and/or related file numbers on the cover application
- DXF file and hard copy of final plat data for AGIS is required.

MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16) **Your attendance is required.**

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings ensure property owner's and City Surveyor's signatures are on the plat prior to submittal
- Signed & recorded Final Pre-Development Facilities Fee Agreement for **Residential** development only
- Design elevations and cross sections of perimeter walls (11" by 17" maximum) **3 copies**
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- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- Fee (see schedule)
- List any original and/or related file numbers on the cover application
- Infrastructure list if required (**verify with DRB Engineer**)
- DXF file and hard copy of final plat data for AGIS is required.

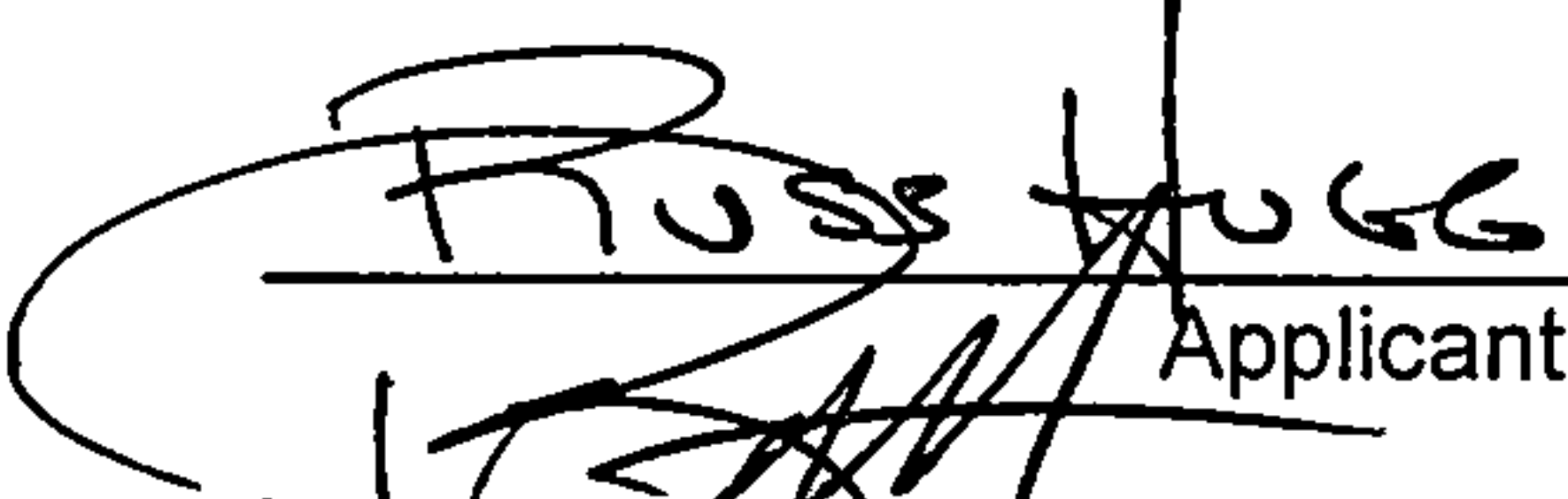
AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03) **Your attendance is required.**

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
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Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.



 Applicant name (print)

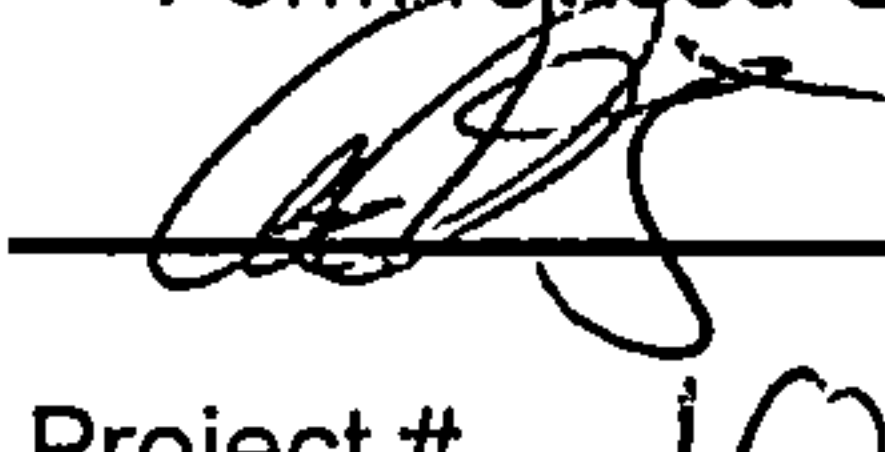
 Applicant signature / date



Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
13 - DRB - 70675



 Planner signature / date
 Project # 1007316

9-10-13



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

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- for Subdivision
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 Zone Atlas page(s): I-19 UPC Code: 101905802849920414

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SIGNATURE [Signature] DATE 9.10.13
 (Print Name) RUSS HUGG Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 4/2012

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<input checked="" type="checkbox"/> All fees have been collected	<u>---</u>	<u>CMAF</u>	<u>---</u>	<u>\$20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	<u>---</u>	<u>---</u>	<u>---</u>	<u>\$---</u>
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<input type="checkbox"/> F.H.D.P. fee rebate	<u>---</u>	<u>---</u>	<u>---</u>	<u>\$---</u>
Hearing date <u>Sept. 25, 2013</u>				Total <u>\$375.00</u>

Staff signature & Date 9-10-13 Project # 1007316

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL REVIEW MEETING

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 - Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
 - List any original and/or related file numbers on the cover application
- Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12) Your attendance is required.

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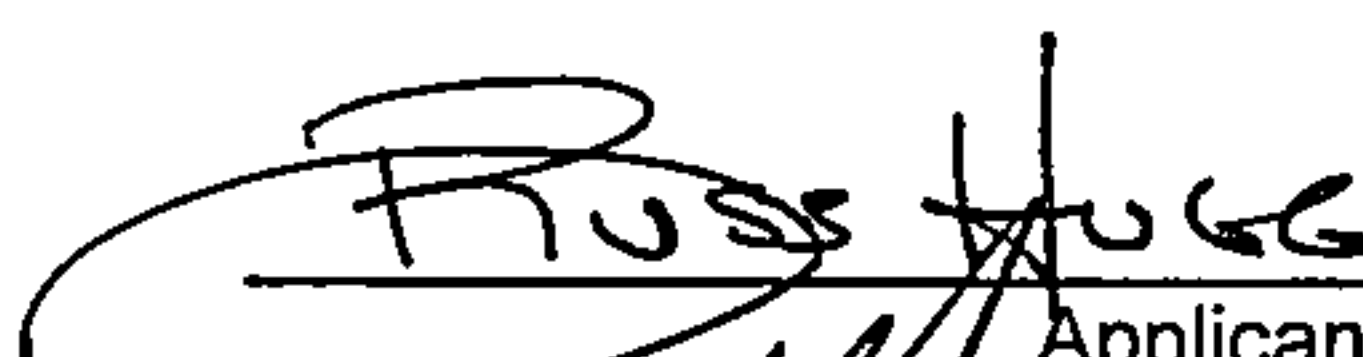
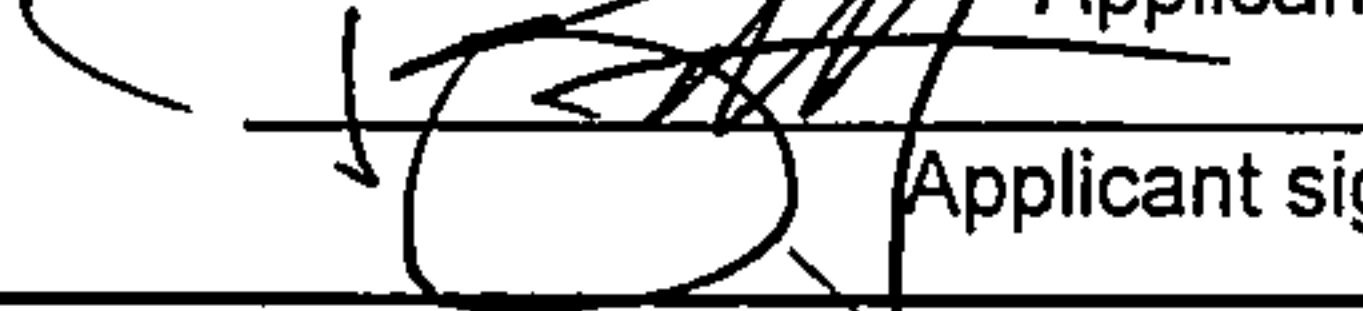
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- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- Fee (see schedule)
- List any original and/or related file numbers on the cover application
- Infrastructure list if required (verify with DRB Engineer)
- DXF file and hard copy of final plat data for AGIS is required.

AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03) Your attendance is required.

- PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.
- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
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 - Zone Atlas map with the entire property(ies) clearly outlined
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 - List any original and/or related file numbers on the cover application
- Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.



 _____ Applicant name (print)

 _____ Applicant signature / date



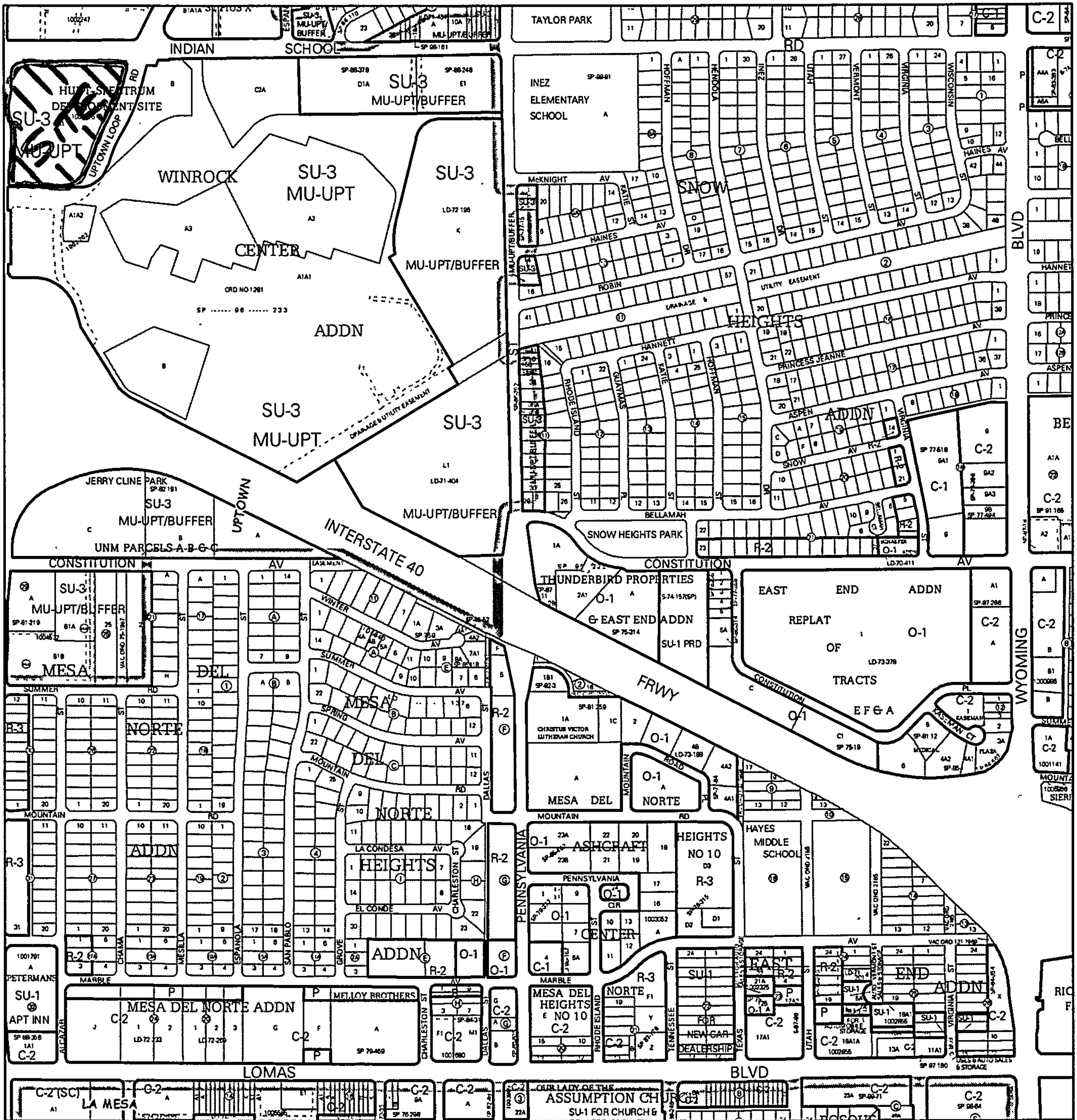
Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
 13 - DRB - 70675


 _____ Planner signature / date
 Project # 1007316

9-10-13



For more current information and details visit: <http://www.cabq.gov/gis>

AGIS
Albuquerque Geographic Information System

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
J-19-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone

Map amended through: 1/10/2013

0 750 1,500 Feet

SURV TEK, INC.

Consulting Surveyors

9384 Valley View Drive, NW Albuquerque, New Mexico 87114
Phone: 505-897-3366 Fax: 505-897-3377 E-mail: russhugg@survtek.com

August 14, 2013

Albuquerque Development Review Board
PO Box 1293
Albuquerque, New Mexico 87103

Attention: Mr. Jack Cloud, Chair

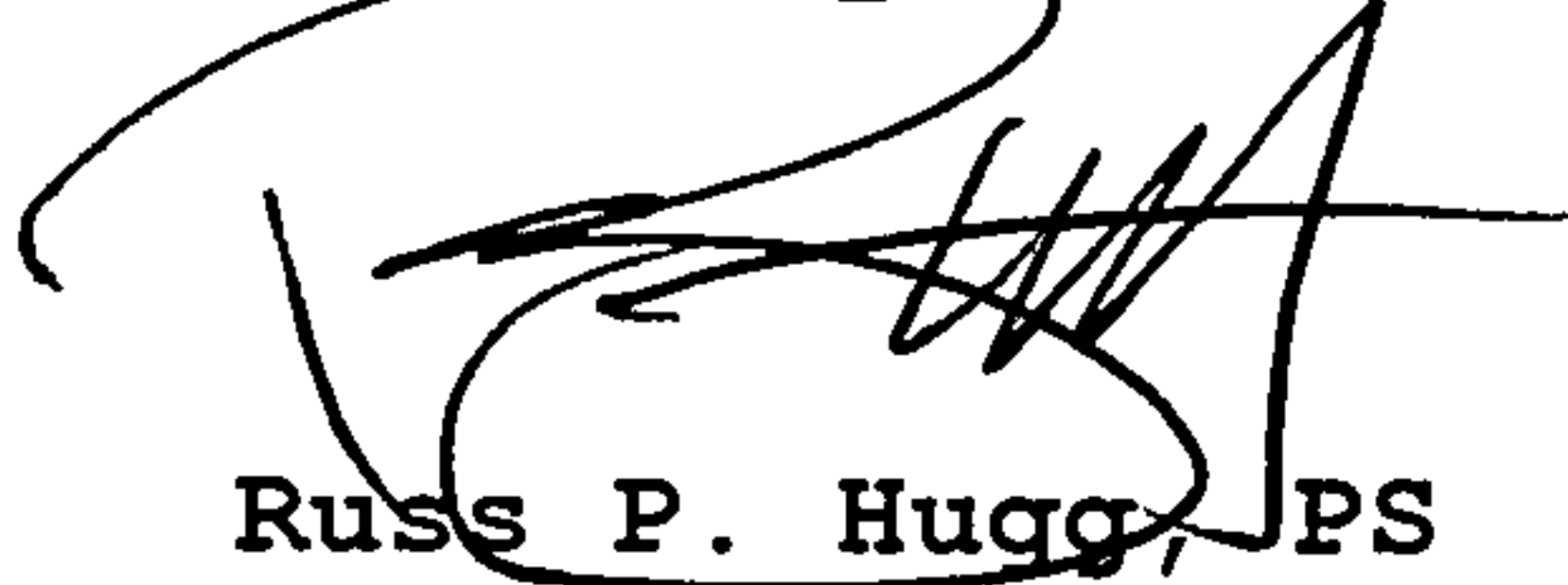
Re: Tract A-1, Hunt-Spectrum Development Site, City of
Albuquerque, Bernalillo County, New Mexico. *City Zone Atlas*
Page J-19.

Dear Mr. Cloud

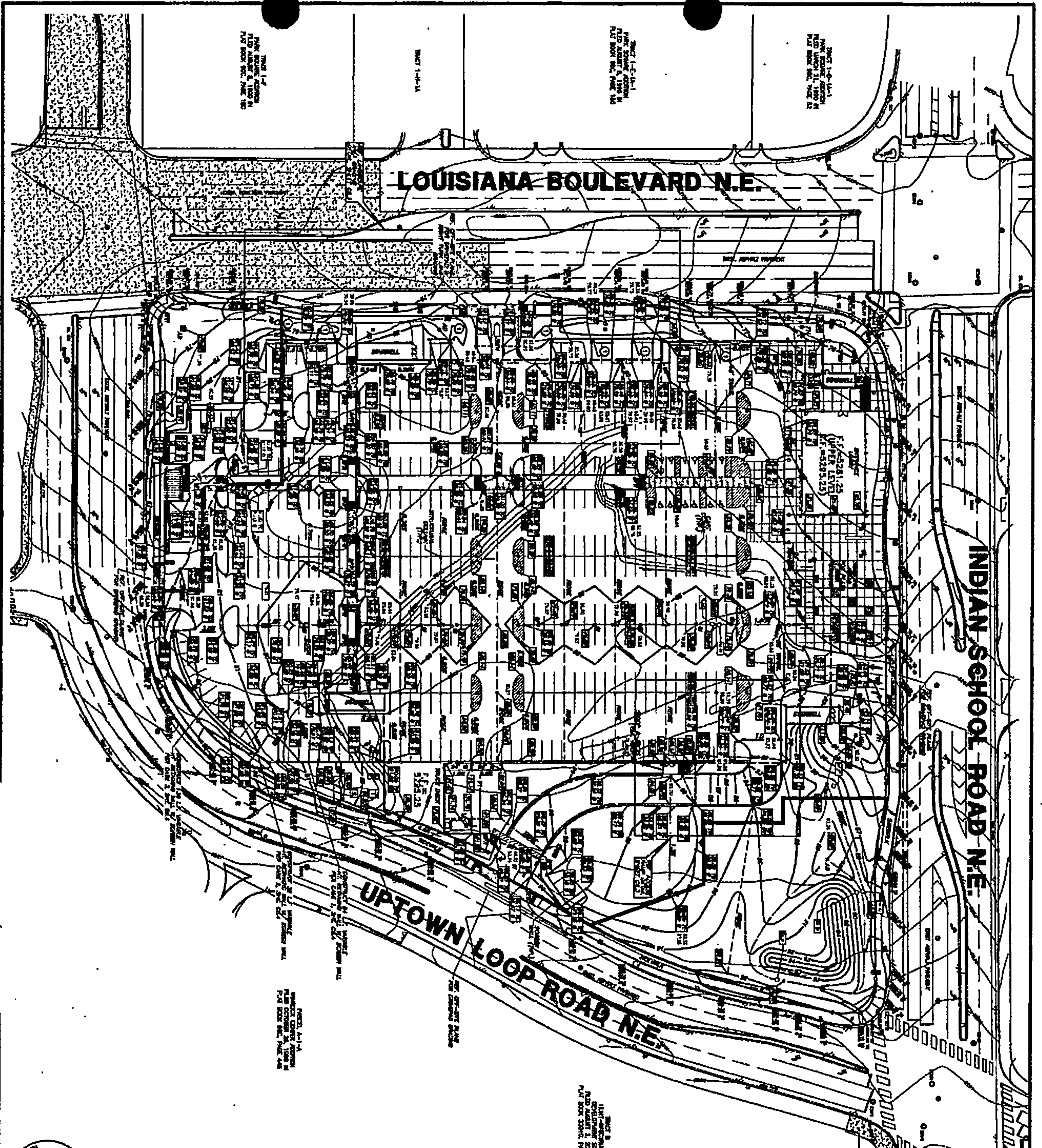
The owners of the above captioned property, Target Corporation, are hereby filing application with the City of Albuquerque Development Review Board for Minor Preliminary/Final Plat approval to divide one (1) existing tract into three (3) tracts and grant additional public easements. Said Plat is in conjunction with the Administrative Amendment to the Site Plan which will be submitted by Dekker Perich.

If you have any questions concerning this request, please feel free to contact me at your convenience.

Sincerely,



Russ P. Hugg, PS
Surv-Tek, Inc.



1007316
13-70675 (P)P
9-25-13
EXHIBIT



GRADING PLAN

TRACT ALBUQUERQUE UPTOWN (T-2813)
TRACT A-1, PART--SECTION 10
THE CITY OF ALBUQUERQUE, NEW MEXICO

APPROVALS	DATE	APPROVALS	DATE
D.S.C. CHAIR		BY	
TRAVEL DIV.		WHITE WATER	
HYDROLOGIST		THUR. OPER.	

LCA PROJECT NO. 001-002 SHEET NO. J-19-2 SHEET CA.1

LCA
Lorenza A. Chiles & Associates, LLP
1600 Central Expressway, Suite 200
Albuquerque, NM 87102
Phone: (505) 263-7273 Fax: (505) 263-7274

CONTRACTOR NOTES

1. GRADING IN CURB & WALL FOR CHANGING CURB.

2. SEE SHEET CA.1 FOR SWANSON HOTEL.

3. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES (WATER, SEWER, GAS, ELECTRICITY, FIBER OPTIC, TELEPHONE, CABLE TV, ETC.) PRIOR TO CONSTRUCTION. FIELD CONDITIONS MAY VARY FROM THE INFORMATION PROVIDED ON THE PLANS AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING ANY DISCREPANCIES WITH CONSTRUCTION.

4. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF ALBUQUERQUE PRIOR TO CONSTRUCTION.

5. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING UTILITIES CAUSED BY CONSTRUCTION.

6. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING UTILITIES CAUSED BY CONSTRUCTION.

7. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING UTILITIES CAUSED BY CONSTRUCTION.

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9. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING UTILITIES CAUSED BY CONSTRUCTION.

10. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING UTILITIES CAUSED BY CONSTRUCTION.

CONTRACTOR NOTES

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2. SEE SHEET CA.1 FOR SWANSON HOTEL.

LEGEND

- GRADING
- EXISTING GRADING
- EXISTING CURB
- EXISTING WALL
- EXISTING SIDEWALK
- EXISTING DRIVEWAY
- EXISTING DRIVE
- EXISTING SIDEWALK
- EXISTING DRIVEWAY
- EXISTING DRIVE

LEGEND

- GRADING
- EXISTING GRADING
- EXISTING CURB
- EXISTING WALL
- EXISTING SIDEWALK
- EXISTING DRIVEWAY
- EXISTING DRIVE

ENGINEER'S SEAL

SURVEY INFORMATION

NO.	BY	DATE

BENCHMARKS

ALBUQUERQUE CONTROL SURVEY BENCHMARK "20-H18"	AS BUILT INFORMATION
NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE-MD 83)	CONTRACTOR
LOCATED IN THE MEDIAN OF LOUISIANA BOULEVARD ON THE SOUTH	DATE
SIDE OF ITS INTERSECTION WITH UPTOWN BOULEVARD N.E.	DATE
APPROXIMATELY 825 FEET NORTH OF THE CENTERLINE OF INDIAN	DATE
SCHOOL ROAD N.E.	DATE
NORTHING 1443154.878	MICRO-FILM INFORMATION
EASTING 1545048.210	RECORDED BY
ELEVATION: 8283.222 (NAVD 1928)	DATE

REVISIONS

NO.	DATE	REMARKS	BY

DESIGNED BY LCA DATE 12.08.11
DRAWN BY LCA DATE 12.08.11
CHECKED BY LCA DATE 12.08.11

July 31, 2013

Mr. Russ Hugg
Surv-Tek, Inc.
9384 Valley View Drive NW
Albuquerque, New Mexico 87114

Re: Tract A-1, Hunt-Spectrum Development Site, City of Albuquerque,
Bernalillo County, New Mexico. City Zone Atlas Page J-19.

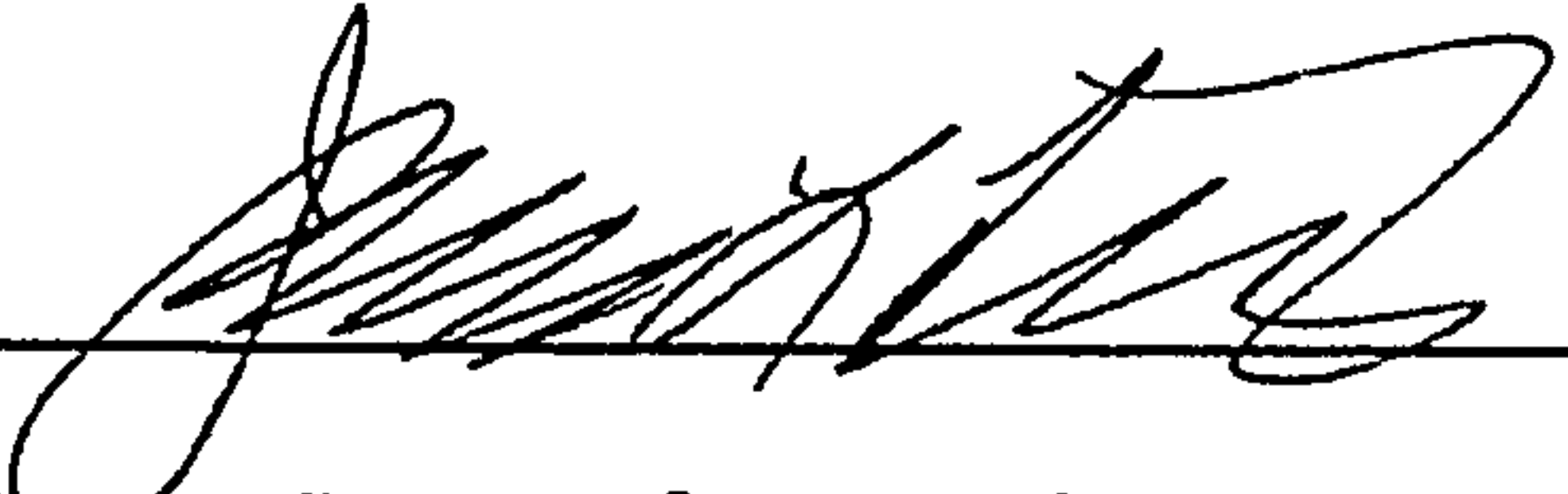
Dear Russ:

By this letter, I hereby authorize you to act as agent on behalf of
Target Corporation, for the purpose of replatting the above
referenced tract.

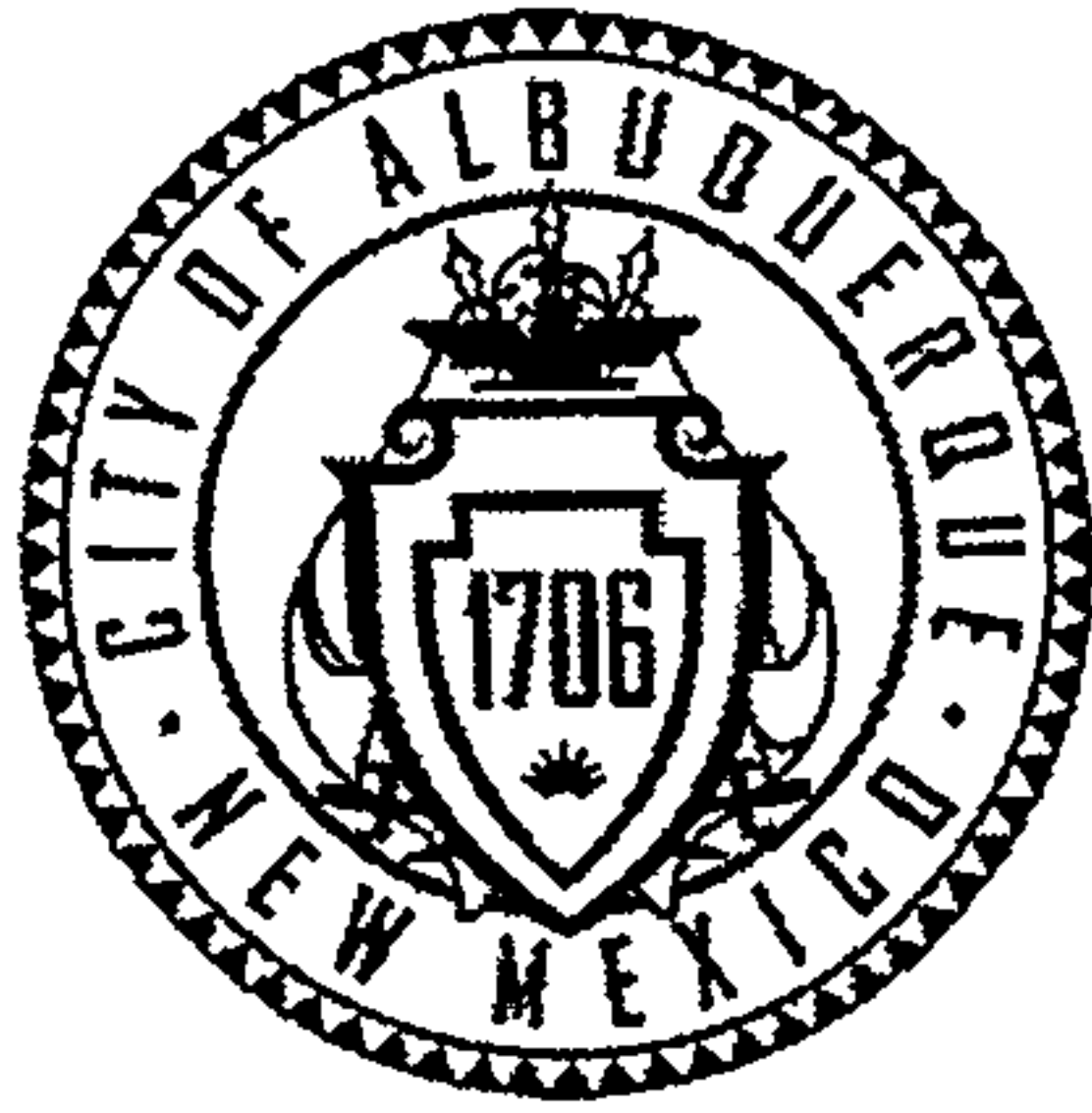
Please call me if you have any further questions.

Sincerely,

Target Corporation



James L. Tucker, Director of Real Estate



City of Albuquerque

P.O. Box 1293 Albuquerque, New Mexico 87103

Planning Department

Deborah Stover, Director

Richard J. Berry, Mayor

Perry, CAO

August 22, 2011

Robert J.

SUBJECT: ALBUQUERQUE ARCHAEOLOGICAL ORDINANCE—Compliance Documentation

Project Number(s):

Case Number(s):

Agent: Surv-Tek, Inc.

Applicant: Hunt Uptown II, LLC

Legal Description: Tract A, Hunt- Spectrum Development Site

Zoning: SU-3 MU-UPT

Acreage: 7.47 acres

Zone Atlas Page: J-19

CERTIFICATE OF NO EFFECT: Yes No

CERTIFICATE OF APPROVAL: Yes No

TREATMENT PLAN REVIEW:

DISCOVERY:

SUPPORTING DOCUMENTATION:

SITE VISIT: n/a

RECOMMENDATION(S):

- *CERTIFICATE OF NO EFFECT IS ISSUED (ref O-07-72 Section 4B(2)—extensive previous land disturbance) .*

SUBMITTED:

Matthew Schmader, PhD

Superintendent, Open Space Division

City Archaeologist

September 25. 2013

INFRASTRUCTURE LIST
EXHIBIT "A"
TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

TARGET @ ABQ UPTOWN

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

TRACT A - HUNT SPECTRUM DEVELOPMENT SITE

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantees. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst. Engineer
	786782	8"	Water New Water Line w/ Appertenances - 76 L.F.	Uptown Loop Rd. NE	Uptown Loop Rd. NE	Tract A-1	/	/	/
	786782	6"	New Water Line w/ Appertenances - 87 L.F.	Uptown Loop Rd. NE	Uptown Loop Rd. NE	Uptown Loop Rd. NE	/	/	/
	786782	2"	New Water Service Line (Domestic) w/ Meter - 61 L.F.	Uptown Loop Rd. NE	Uptown Loop Rd. NE	Tract A-1	/	/	/
	786782	24" Ø	Storm Sewer New Storm Drain Connection	Uptown Loop Rd. NE	Uptown Loop Rd. NE	Tract A-1	/	/	/
	786782	4' Ø	Sanitary Sewer Sanitary Sewer Manhole	Uptown Loop Rd. NE			/	/	/
	786782	12' Width	Paving New Concrete Deceleration & Right Turn Lane	Louisiana Blvd. NE			/	/	/
	786782	2 EA.	Pedestrian Refuge Area	Indian School Rd. NE	Q Street	Tract A-1	/	/	/

NOTES

1 _____

 2 _____

 3 _____

AGENT / OWNER **DEVELOPMENT REVIEW BOARD MEMBER APPROVALS**

Daniel B. Stewart, P.E.

NAME (print)

DRB CHAIR - date

PARKS & RECREATION - date

Frederic A. Cates & Assoc., LLP

FIRM

TRANSPORTATION DEVELOPMENT - date

AMAFCA - date

Daniel Stewart 1/4/12
 SIGNATURE - date

UTILITY DEVELOPMENT - date

_____ - date

MAXIMUM TIME ALLOWED TO
 CONSTRUCT THE
 IMPROVEMENTS WITHOUT A DRB
 EXTENSION: _____

CITY ENGINEER - date

_____ - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER



DEVELOPMENT REVIEW BOARD SUPPLEMENTAL SUBMITTAL

PROJECT NO. 1007316

TO: Application No. _____

ALL MEMBERS

Jack Cloud, DRB Chairman, Planning Department

Curtis Cherne, P.E., Hydrology

Kristal Metro, P.E., Transportation Development

Allan Porter, P.E., Albuquerque/ Bernalillo Co. WUA

Carol Dumont, Parks/Municipal Development

NEXT HEARING DATE: _____

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON. IF THE APPLICANT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFIINITELY DEFERRED ON A NO SHOW.

SUBMITTAL DESCRIPTION: DRB - revisions: added enhanced

pedestrian crosswalks

CONTACT NAME: Sheri Tollefson

TELEPHONE: 761-9700 EMAIL: sheri.t@dpsdesign.org

INFRASTRUCTURE LIST
EXHIBIT "A"
TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

TARGET @ ABQ UPTOWN

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	786782	2"	New Water Service Line (Domestic) w/ Meter - 61 L.F.	Uptown Loop Rd. NE	Uptown Loop Rd. NE	Tract A-1	/	/	/
	786782	24" ø	Storm Sewer New Storm Drain Connection	Uptown Loop Rd. NE	Uptown Loop Rd. NE	Tract A-1	/	/	/
	786782	4' ø	Sanitary Sewer Sanitary Sewer Manhole	Uptown Loop Rd. NE			/	/	/
	786782	12' Width	Paving New Concrete Deceleration & Right Turn Lane	Louisiana Blvd. NE			/	/	/
	786782	2,258 S.F.	Enhanced Crosswalk	Indian School Rd. NE	Louisiana Blvd. NE	Uptown Loop Rd. NE	/	/	/

NOTES

1 _____

 2 _____

 3 _____

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Daniel B. Stewart, P.E.
 NAME (print)

_____ DRB CHAIR - date

_____ PARKS & RECREATION - date

Lawrence A. Cates & Assoc., LLP
 FIRM

_____ TRANSPORTATION DEVELOPMENT - date

_____ AMAFCA - date

Daniel Stewart 02/16/12
 SIGNATURE - date

_____ UTILITY DEVELOPMENT - date

_____ - date

MAXIMUM TIME ALLOWED TO
 CONSTRUCT THE
 IMPROVEMENTS WITHOUT A DRB
 EXTENSION: _____

_____ CITY ENGINEER - date

_____ - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER



Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision (Sketch Plat)
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- D L A APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Dekker/Perich/Sabatini PHONE: 505-761-9700
 ADDRESS: 7601 Jefferson Street, NE FAX: 505-761-4222
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: chrissg@dpsdesign.org

APPLICANT: Target PHONE: 612.761.6051
 ADDRESS: 1000 Nicollet Mall, TPN-12H FAX: _____
 CITY: Minneapolis STATE MN ZIP 55403 E-MAIL: kim.hayden@target.com

Proprietary interest in site: Owner List all owners: _____

DESCRIPTION OF REQUEST: Sketch Plat Review Site Development Plan for Subdivision and Re-plat

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. TRACT A OF HUNT-SPECTRUM DEVELOPMENT SITE Block: _____ Unit: _____
 Subdiv/Addn/TBKA: _____
 Existing Zoning: SU-3 for MU-UPT Proposed zoning: SU-3 for MU-UPT MRGCD Map No _____
 Zone Atlas page(s): J-19-Z UPC Code: 101905802849920414

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): 1007316
EPC Z-98-123, 02DRB-0178, 1002337, 1002202, 11DRB-70284

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No
 No. of existing lots: 1 No. of proposed lots: 3 Total area of site (acres): 7.3572
 LOCATION OF PROPERTY BY STREETS: On or Near: Indian School, NE
 Between: Louisiana Blvd. and Uptown Loop Road

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: 10/23/2012

SIGNATURE _____ DATE _____

(Print) _____ Applicant: Agent:

FOR OFFICIAL USE ONLY

Form revised 4/07

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>12DRB - 70350</u>	<u>SK</u>		\$ <u>0</u>
<input checked="" type="checkbox"/> All fees have been collected				\$ _____
<input checked="" type="checkbox"/> All case #s are assigned				\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent				\$ _____
<input checked="" type="checkbox"/> Case history #s are listed				\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill				\$ _____
<input type="checkbox"/> F.H.D.P. density bonus				\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate				\$ _____
	Hearing date <u>Nov 7, 2012</u>			Total \$ <u>0</u>

[Signature] 11-1-12 Project # 1007316
 Planner signature / date

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

SKETCH PLAT REVIEW AND COMMENT (DRB22) **Your attendance is required.**

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08) **Your attendance is required.**

- Preliminary Plat reduced to 8.5" x 11"
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Copy of DRB approved infrastructure list
 - Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
 - List any original and/or related file numbers on the cover application
- Extension of preliminary plat approval expires after one year.**

MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12) **Your attendance is required.**

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Signed & recorded Final Pre-Development Facilities Fee Agreement for **Residential** development only
- Design elevations & cross sections of perimeter walls **3 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- List any original and/or related file numbers on the cover application
- DXF file and hard copy of final plat data for AGIS is required.

MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16) **Your attendance is required.**

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings ensure property owner's and City Surveyor's signatures are on the plat prior to submittal
- Signed & recorded Final Pre-Development Facilities Fee Agreement for **Residential** development only
- Design elevations and cross sections of perimeter walls (11" by 17" maximum) **3 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
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- PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.
- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
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 - Zone Atlas map with the entire property(ies) clearly outlined
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I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Applicant name (print)

Applicant signature / date



Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
12DRB-_____-20350
_____-_____-_____
_____-_____-_____

Planner signature / date
Project # 1007316



Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision (Sketch Plat)
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STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
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- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

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Professional/Agent (if any): Dekker/Perich/Sabatini PHONE: 505-761-9700

ADDRESS: 7601 Jefferson Street, NE FAX: 505-761-4222

CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: chrisg@dpsdesign.org

APPLICANT: Target PHONE: 612.761.6051

ADDRESS: 1000 Nicollet Mall, TPN-12H FAX: _____

CITY: Minneapolis STATE MN ZIP 55403 E-MAIL: kim.hayden@target.com

Proprietary interest in site: Owner List all owners: _____

DESCRIPTION OF REQUEST: Sketch Plat Review Site Development Plan for Subdivision and Re-plat

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. TRACT A OF HUNT-SPECTRUM DEVELOPMENT SITE Block: _____ Unit: _____

Subdiv/Addn/TBKA: _____

Existing Zoning: SU-3 for MU-UPT Proposed zoning: SU-3 for MU-UPT MRGCD Map No _____

Zone Atlas page(s): J-19-Z UPC Code: 101905802849920414

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): 1007316
EPC Z-98-123, 02DRB-0178, 1002337, 1002202, 11DRB-70284

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No

No. of existing lots: 1 No. of proposed lots: 3 Total area of site (acres): 7.3572

LOCATION OF PROPERTY BY STREETS: On or Near: Indian School, NE

Between: Louisiana Blvd. and Uptown Loop Road

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: 10/23/2012

SIGNATURE _____ DATE _____

(Print): _____ Applicant: Agent:

FOR OFFICIAL USE ONLY

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers
<u>12DRB - 70350</u>

Hearing date Nov 7, 2012

11-1-12
Planner signature / date

Project #

Form revised 4/07

Action	S.F.	Fees
<u>SK</u>	_____	\$ <u>0</u>
_____	_____	\$ _____
_____	_____	\$ _____
_____	_____	\$ _____
_____	_____	\$ _____
Total		\$ <u>0</u>

1007316

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL REVIEW MEETING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

SKETCH PLAT REVIEW AND COMMENT (DRB22)

Your attendance is required.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08)

Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Copy of DRB approved infrastructure list
 - Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
 - List any original and/or related file numbers on the cover application
- Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12)

Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations & cross sections of perimeter walls 3 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- List any original and/or related file numbers on the cover application
- DXF file and hard copy of final plat data for AGIS is required.

MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16) Your attendance is required.

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings ensure property owner's and City Surveyor's signatures are on the plat prior to submittal
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations and cross sections of perimeter walls (11" by 17" maximum) 3 copies
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- Fee (see schedule)
- List any original and/or related file numbers on the cover application
- Infrastructure list if required (verify with DRB Engineer)
- DXF file and hard copy of final plat data for AGIS is required.

AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03) Your attendance is required.

- PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.
- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - List any original and/or related file numbers on the cover application
- Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Applicant name (print)

Applicant signature / date

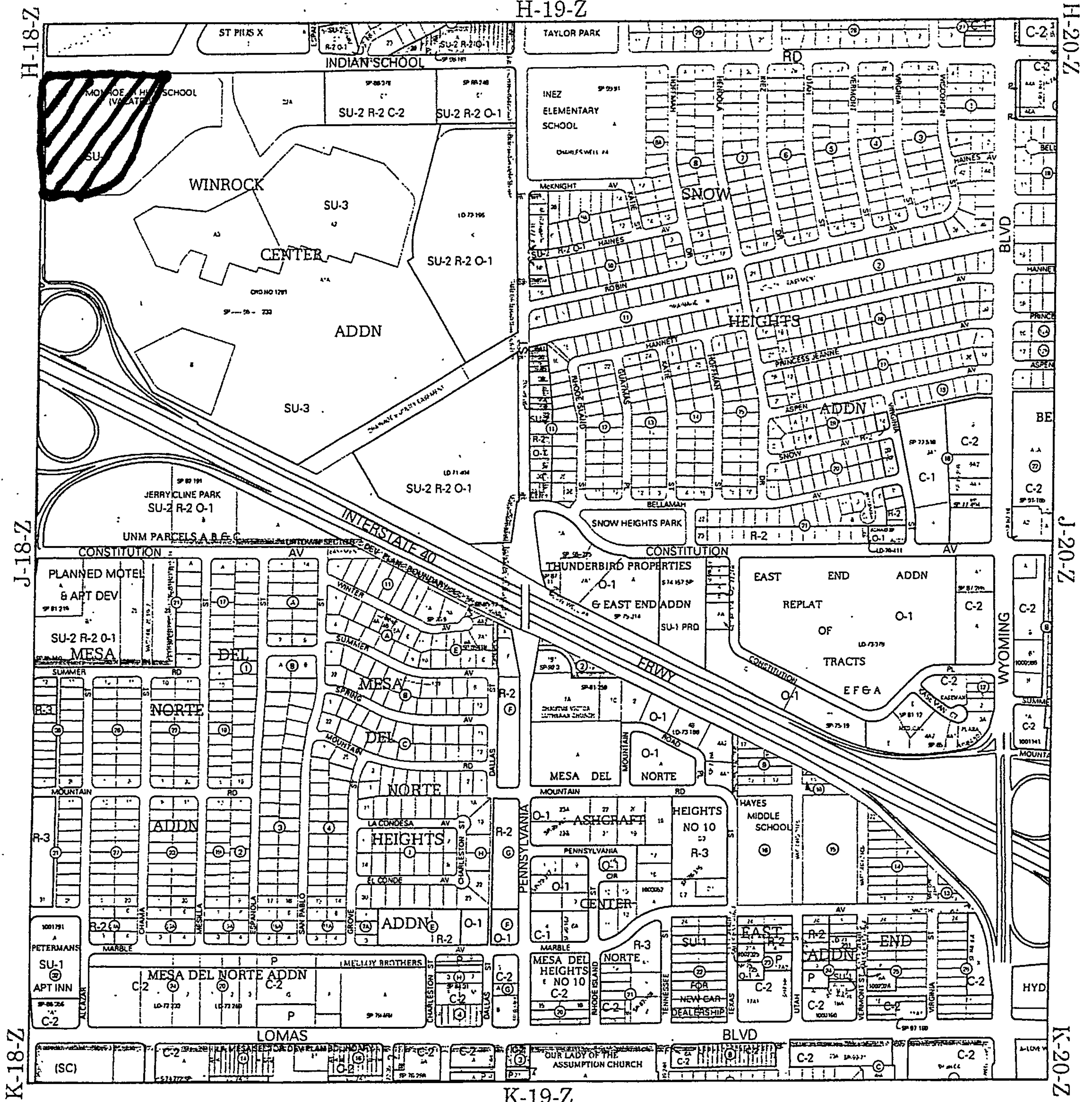


Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
 12DRB- _____ -20350

 Planner signature / date
 Project # 1007316

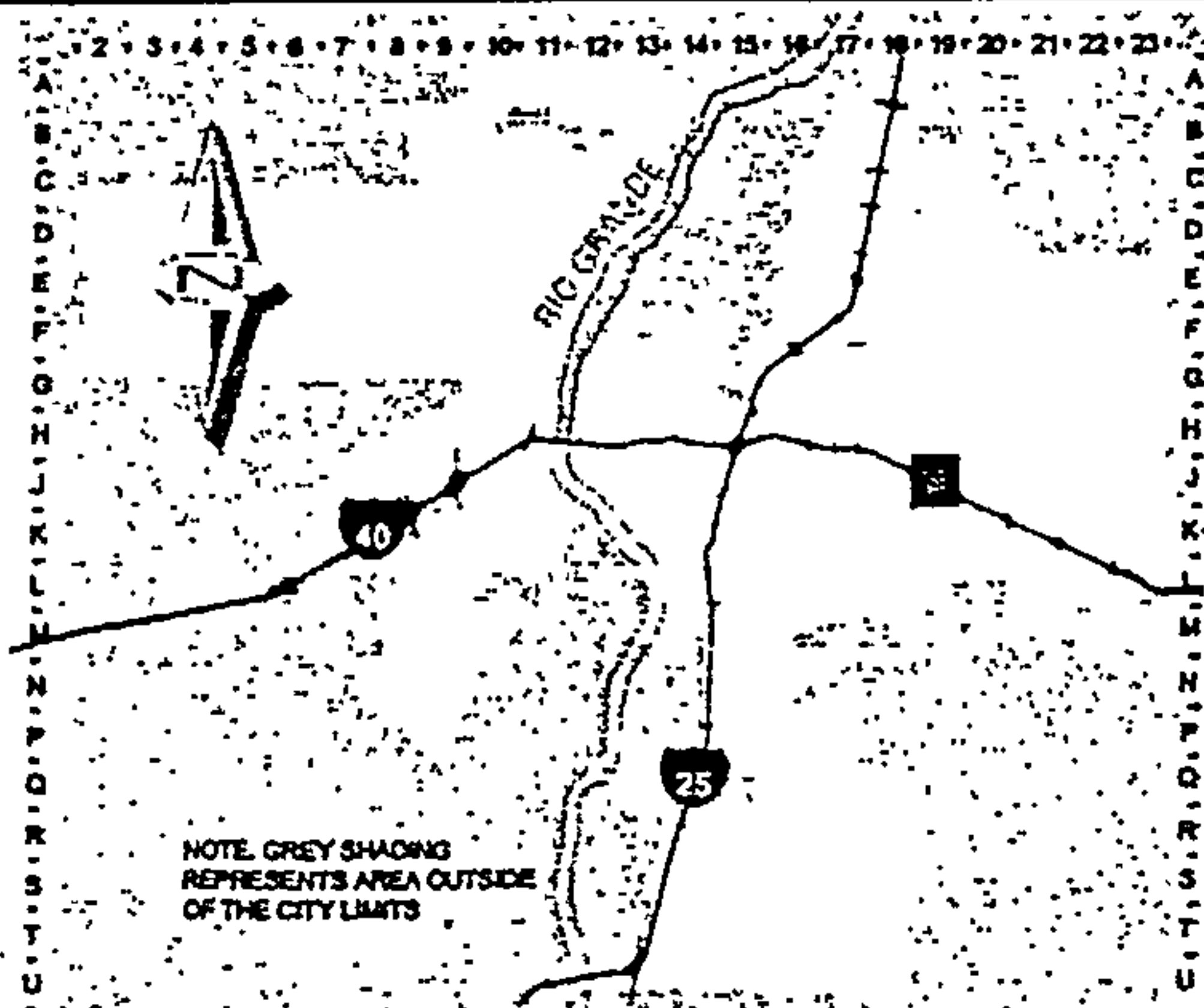
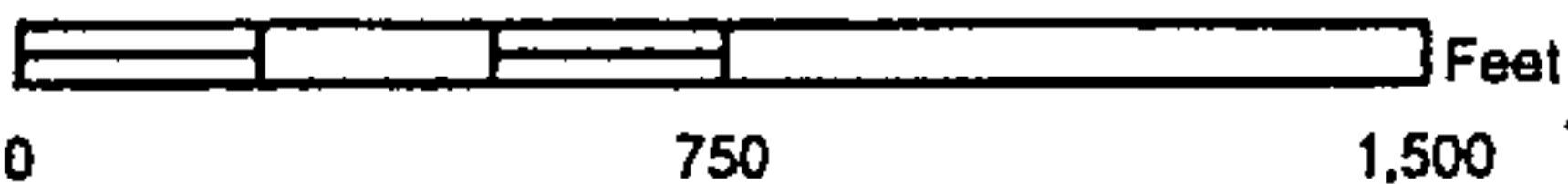


Zone Atlas Page: **J-19-Z**

Map amended through: Aug 06, 2004

Selected Symbols

- Unincorporated Areas
- Sector Plan Boundaries
- Parcel Boundaries
- Easement Lines
- Freeway Lanes
- Jurisdictional Boundaries
- Westgate Wall
- Escarpment
- Grant Boundaries
- Petroglyph
- H-1 Buffer Zone
- Arroyos
- LDN Noise Level
- Airport Clearance Zone
- Design Overlay Zones



CITY OF ALBUQUERQUE
THREE HUNDRED YEARS
 1706 - 2006
ALBUQUERQUE
Hacienda Historia
A G I S
 Albuquerque Geographic Information System
PLANNING DEPARTMENT
 © Copyright 2004

October 29, 2012

Mr. Jack Cloud
Chairman, Development Review Board
City of Albuquerque Planning Department
600 2nd St. NW
Albuquerque, NM 87103

Re: Reason for Request - Target at Uptown
Request for Sketch Plat for Site Development Plan for Subdivision & Re-plat
Legal Description: Tract A of Hunt – Spectrum Development Site
City Planning Project # 1007316

Dear Mr. Cloud:

We are acting as agent for Target, owners of the subject property, for the action referenced above.

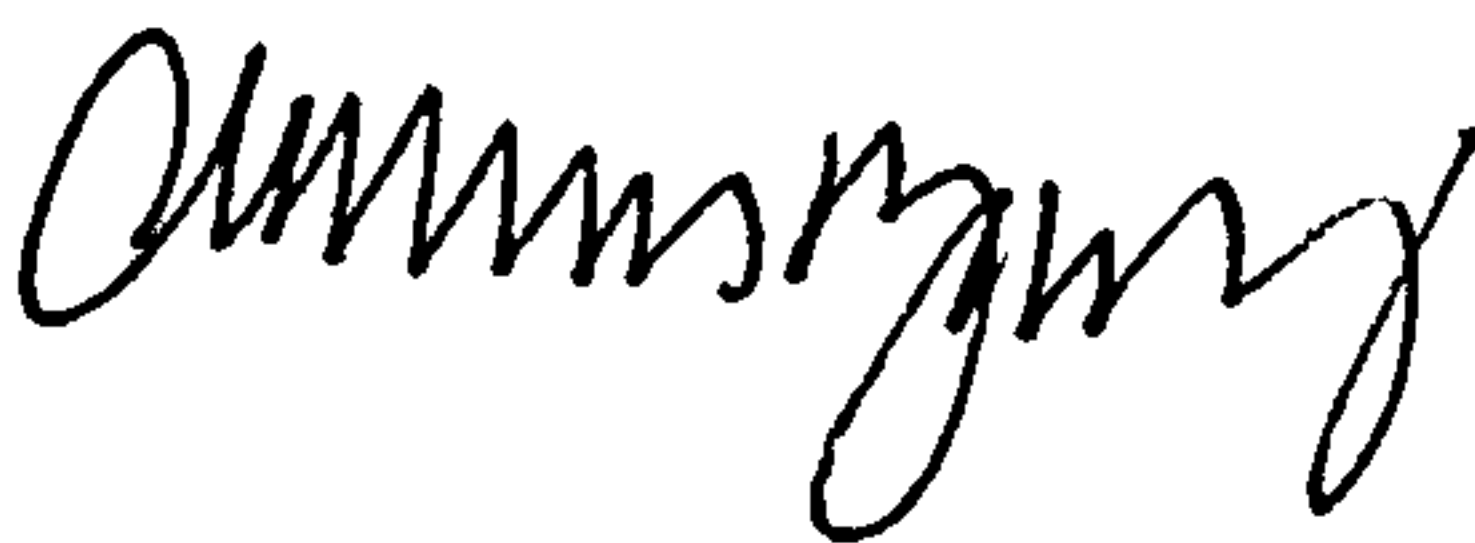
A Site Development Plan for Building Permit (SPBP) was reviewed and approved for the subject property approximately one year ago (11DRB-70284). The Target store is currently under construction, and the Owners wish to subdivide the property to prepare for development of the pad sites at the southwest and northeast corners. The improvements on these pad sites were shown as a future phase in the approved SPBP, and no change to this plan is proposed other than the addition of the lot lines.

We attended a PRT meeting on October 23, 2012 to get direction on the process, and they recommended we begin with a Sketch Plat to get the DRB's input on the next steps to subdivide the property. Our primary questions are whether the SPS is required to be advertised or unadvertised, and if we can pursue the SPS and the Re-plat concurrently. Of course we welcome any other input from DRB.

If you have any questions or need clarification of anything contained herein, please contact Sheri Tollefson or me.

Sincerely,

Dekker/Perich/Sabatini
Agent for Target



Christopher R. Gunning, AIA, LEED AP
Principal

Current DRC
Project Number: _____

Figure 12

Date Submitted: _____
 Date Site Plan Approved: 11-16-11
 Date Preliminary Plat Approved: _____
 Date Preliminary Plat Expires: _____
 DRB Project No.: 1007316
 DRB Application No.: _____

ORIGINAL

INFRASTRUCTURE LIST
 EXHIBIT "A"
 TO SUBDIVISION IMPROVEMENTS AGREEMENT
 DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

TARGET @ ABQ UPTOWN

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

TRACT A - HUNT SPECTRUM DEVELOPMENT SITE

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantees. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst. Engineer
		8"	Water New Water Line w/ Encasement - 105 LF.	Indian School Rd. NE	ABQ Uptown	Tract A-1	/	/	/
		8"	New Water Line w/ Appertenances - 17 LF.	Indian School Rd. NE	ABQ Uptown	Tract A-1	/	/	/
		8"	New Water Line w/ Appertenances - 76 LF.	Uptown Loop Rd. NE	Uptown Loop Rd. NE	Tract A-1	/	/	/
		2"	New Water Service Line (Domestic) w/ Meter - 61 LF.	Uptown Loop Rd. NE	Uptown Loop Rd. NE	Tract A-1	/	/	/
		24"	Storm Sewer New Storm Drain	Uptown Loop Rd. NE	Uptown Loop Rd. NE	Tract A-1	/	/	/
		12' Width	Paving New Concrete Deceleration & Right Turn Lane	Louisiana Blvd. NE			/	/	/
		2 EA.	Pedestrian Refuge Area	Indian School Rd. NE	Q Street	Tract A-1	/	/	/

NOTES

1
2
3

AGENT / OWNER

Daniel B. Stewart, P.E.
NAME (print)

Lawrence A. Cates & Assoc., LLP
FIRM

Daniel Stewart 11/3/11
SIGNATURE - date

MAXIMUM TIME ALLOWED TO
CONSTRUCT THE
IMPROVEMENTS WITHOUT A DRB
EXTENSION: _____

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

[Signature] 11-16-11
DRB CHAIR - date

[Signature] 11-16-11
TRANSPORATION DEVELOPMENT - date

Allen Pater 11/16/11
UTILITY DEVELOPMENT - date

Anthony Chavez 11-16-11
CITY ENGINEER - date

Carol S. Dumont 11/16/11
PARKS & GENERAL SERVICES - date
Recreation

AMAFCA - date

_____ - date

_____ - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plan boundaries)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
 - Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Lawrence A. Cates & Associates, LLP PHONE: 972-385-2272
 ADDRESS: 14800 Quorum Drive, Suite 200 FAX: 972-980-1627
 CITY: Dallas STATE TX ZIP 75254 E-MAIL: dstewart@cates-clark.com

APPLICANT: Hunt Uptown II, LLC PHONE: 505-243-4868
 ADDRESS: 201 Third Street, NW, Suite 1150 FAX: _____
 CITY: Albuquerque STATE NM ZIP 87102 E-MAIL: james.dobbie@huntcompanies.com
 Proprietary interest in site: Owner List all owners: Hunt Uptown II, LLC

DESCRIPTION OF REQUEST: Revision of approved Infrastructure List.

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tract A, Hunt-Spectrum Development Site Block: _____ Unit: _____
 Subdiv/Addn/TBKA: _____
 Existing Zoning: SU-3 for MU-UPT Proposed zoning: SU-3 for MU-UPT MRGCD Map No _____
 Zone Atlas page(s): J-19-Z UPC Code: 101905802849920414

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): DRB-1007316

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No
 No. of existing lots: 1 No. of proposed lots: 1 Total site area (acres): 7.467
 LOCATION OF PROPERTY BY STREETS: On or Near: Indian School Road NE
 Between: Louisiana Boulevard NE and Uptown Loop Road NE
 Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: 12/14/2010

SIGNATURE Daniel Stewart DATE 1/4/12
 (Print Name) Daniel Stewart Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 6/2011

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>DRB - 70007</u>	<u>ASBP</u>	_____	\$ <u>50.00</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	_____	_____	\$ <u>20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	Total
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ <u>70.00</u>

Hearing date January 18 2012

[Signature] 1-6-12
 Staff signature & Date

Project # 1007316

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** **Maximum Size: 24" x 36"**
 ___ Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
 ___ Zone Atlas map with the entire property(ies) clearly outlined
 ___ Letter briefly describing, explaining, and justifying the request
 ___ List any original and/or related file numbers on the cover application
 Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)** **Maximum Size: 24" x 36"**
 ___ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 ___ Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
 ___ Zone Atlas map with the entire property(ies) clearly outlined
 ___ Letter briefly describing, explaining, and justifying the request
 ___ Letter of authorization from the property owner if application is submitted by an agent
 ___ Copy of the document delegating approval authority to the DRB
 ___ Completed Site Plan for Subdivision Checklist
 ___ Infrastructure List, if relevant to the site plan
 ___ Fee (see schedule)
 ___ List any original and/or related file numbers on the cover application
 Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)** **Maximum Size: 24" x 36"**
 ___ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 ___ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
 ___ Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
 ___ Solid Waste Management Department signature on Site Plan
 ___ Zone Atlas map with the entire property(ies) clearly outlined
 ___ Letter briefly describing, explaining, and justifying the request
 ___ Letter of authorization from the property owner if application is submitted by an agent
 ___ Copy of the document delegating approval authority to the DRB
 ___ Infrastructure List, if relevant to the site plan
 ___ Completed Site Plan for Building Permit Checklist
 ___ Copy of Site Plan with Fire Marshal's stamp
 ___ Fee (see schedule)
 ___ List any original and/or related file numbers on the cover application
 Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01)** **Maximum Size: 24" x 36"**
 AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02) **Maximum Size: 24" x 36"**

- N/A Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
 DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) 6 copies
 Zone Atlas map with the entire property(ies) clearly outlined
 Letter briefly describing, explaining, and justifying the request
 Letter of authorization from the property owner if application is submitted by an agent
 Infrastructure List, if relevant to the site plan
 Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 Fee (see schedule)
 List any original and/or related file numbers on the cover application
 Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)**
 FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)
 ___ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
 ___ Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
 ___ Solid Waste Management Department signature on Site Plan for Building Permit
 ___ Zone Atlas map with the entire property(ies) clearly outlined
 ___ Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
 ___ Infrastructure List, if relevant to the site plan
 ___ Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 ___ List any original and/or related file numbers on the cover application
 Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Daniel Stewart
 Applicant name (print)
Daniel Stewart 1/4/12
 Applicant signature / date



Form revised October 2007

- Checklists complete
 Fees collected
 Case #s assigned
 Related #s listed
- Application case numbers
 12 DRB - 70007

[Signature] 1-6-12
 Planner signature / date
 Project # 1007316

L
C
A

Lawrence A. Cates & Associates, LLP

Consulting Engineers
14800 Quorum Drive, Suite 200
Dallas, Texas 75254
Telephone: (972) 385-2272
Fax: (972) 980-1627
www.lawrenceacates.com

January 4, 2012

Mr. Jack Cloud, P.E.
Chairman, Development Review Board
City of Albuquerque
Planning Department
600 2nd Street NW
Albuquerque, New Mexico 87103

Re: Target @ ABQ Uptown
Tract A, Hunt-Spectrum
Submittal of Revised Infrastructure List
DRB No. 1007316
LCA No. 001-002

Dear Mr. Cloud,

Due to changes encountered during development of the construction drawings, the Infrastructure List approved by DRB on November 16, 2011 for the referenced project will require some minor revisions. These changes do not require a revision to the approved Site Plan; however, the revised Drainage Plan and Water & Sanitary Sewer Plan that were a part of the Site Plan package have been resubmitted for reference. Below is a summary of the changes:

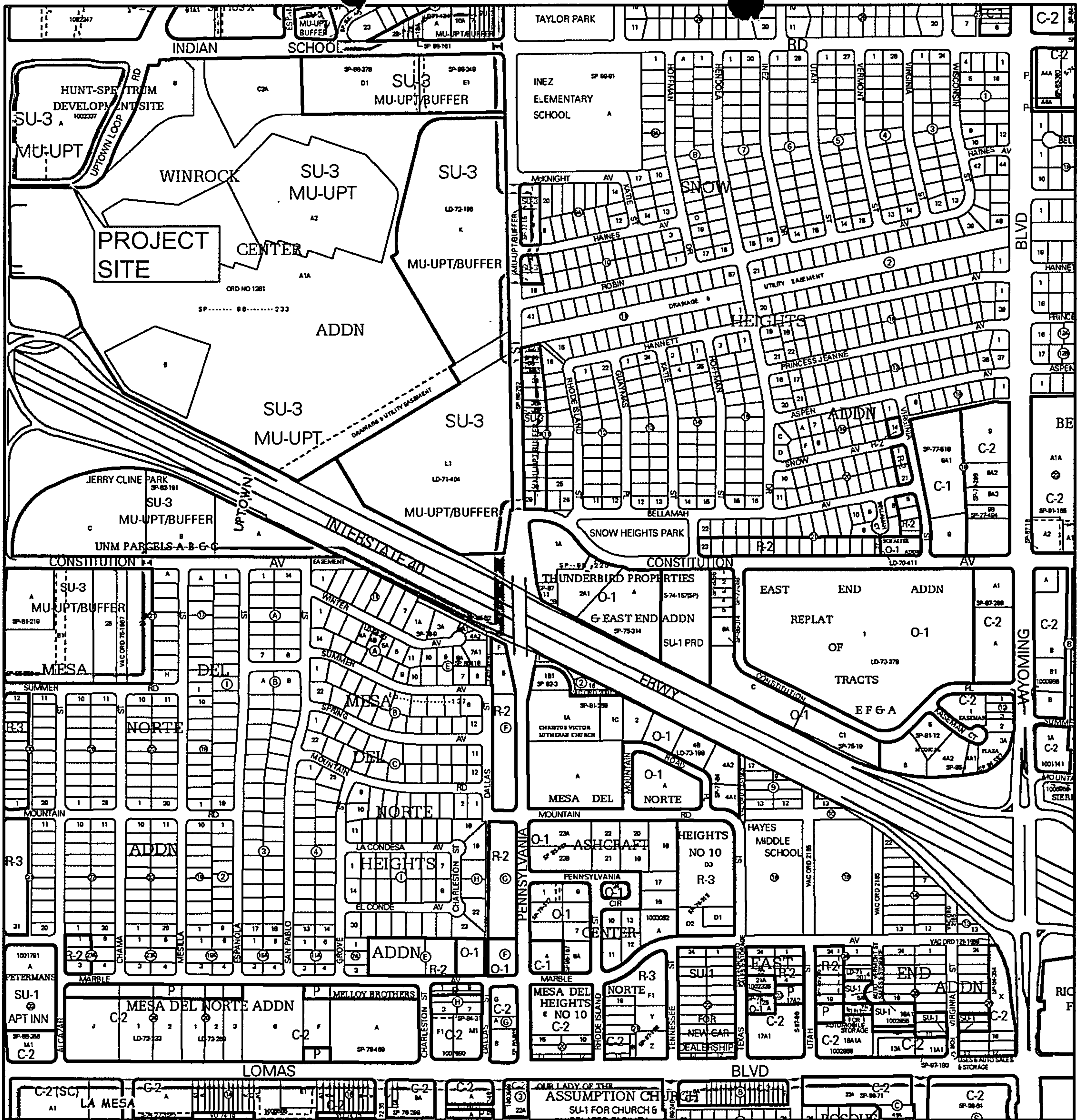
- All storm sewer will be private, with the exception of a 24" diameter connection to an existing storm sewer manhole in Uptown Loop Road NE.
- Removed new water lines (2 items) from Indian School Road NE: per conversation with the Albuquerque Bernalillo County Water Utility Authority, these lines were removed to simplify the on-site system and reduce disruption to Indian School Road NE.
- Added a 6" water line in Uptown Loop Road NE to serve a proposed fire hydrant.
- Added an item for Sanitary Sewer Manhole: per comments from the Design Review Committee, 2 public sanitary sewer manholes were required.

Please contact me with any questions or comments.

Sincerely,



Daniel B. Stewart, P.E.



For more current information and more details visit: <http://www.cabq.gov/gis>

AGIS
Albuquerque Geographic Information System

Map amended through: 2/4/2010

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
J-19-Z

Selected Symbols

	SECTOR PLANS		Escarpment
	Design Overlay Zones		2 Mile Airport Zone
	City Historic Zones		Airport Noise Contours
	H-1 Buffer Zone		Wall Overlay Zone
	Petroglyph Mon.		

0 750 1,500 Feet

HUNT UPTOWN II LLC

December 28, 2011

Ms Debbie Stover
Director of Planning and Zoning

RE: Southeast corner of Louisiana Blvd and Indian School Rd.
Legal Description: Tract letter A of the HUNT-SPECTRUM DEVELOPMENT SITE

Ms. Stover,

Hunt Uptown II is the owner of the above referenced parcel and has submitted a site development plan to the City of Albuquerque planning department. Hunt Uptown II appoints Cates – Clark & Associates, as its agent, to act on its behalf for the purposes of submitting and negotiating changes to the site plan and its associated infrastructure.

If you have any questions please contact me at 505.243.4868

Sincerely,

Hunt Uptown II LLC



Jim Dobbie
Vice President



DEVELOPMENT REVIEW BOARD SUPPLEMENTAL SUBMITTAL

PROJECT NO. 1007316

TO: Application No. 12 - DRB - 70685

ALL MEMBERS

Jack Cloud, DRB Chairman, Planning Department

Curtis Cherne, P.E., Hydrology

Kristal Metro, P.E., Transportation Development

Allan Porter, P.E., Albuquerque/ Bernalillo Co. WUA

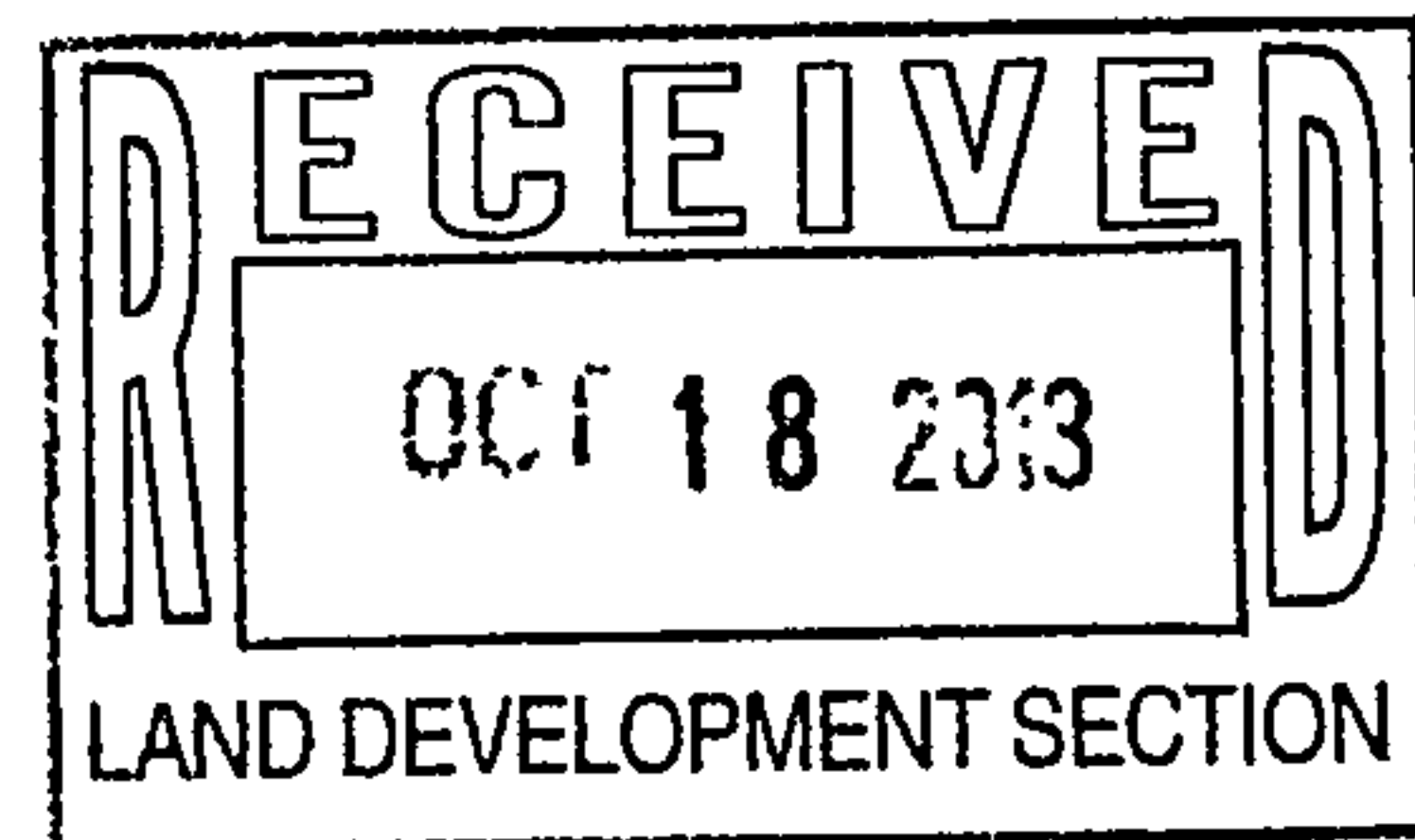
Carol Dumont, Parks/Municipal Development

NEXT HEARING DATE: 10/23/13

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON. IF THE APPLICANT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

SUBMITTAL DESCRIPTION: TARGET'S SITE PLAN FOR SUBDIVISION -

ADDRESSING BOARD'S COMMENTS



CONTACT NAME: SHERI TOLLEFSON

TELEPHONE: 761-9700 EMAIL: sherit@dpadesign.org

DRB CASE ACTION LOG - BLUE SHEET

- Preliminary/Final Plat [FP] - Done 8/14
- Site Plan - Subdivision [SPS]
- Site Plan - Building Permit [SBP]

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

Site Plans: It is the responsibility of the applicant/agent/developer/owner to insert the DRB approved Site Plan for Subdivision and/or Site Plan for Building Permit in each copy of building permit plansets. If the building permit plans have been submitted prior to the Site Plan for Subdivision and/or Site Plan for Building Permit being signed-off, then it is the responsibility of the applicant/agent/developer/owner to insert a copy of the signed-off Site Plan for Subdivision and/or Site Plan for Building Permit in each copy of the building permit plansets.

Project #: 1007316

Application #: 13DRB-70675

Project Name: HUNT SPECTRUM DEVELOPMENT SITE

Agent: SURV-TEK INC.

Phone #:

Your request was approved on 10-29-13 by the DRB with delegation of signature(s) to the following departments - outstanding comments to be addressed

TRANSPORTATION:

ABCWUA:

CITY ENGINEER / AMAFCA:

PARKS / CIP:

PLANNING (Last to sign): Revise Easement, 15 day appeal

PLATS:

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
- Tax printout from the County Assessor.
- County Treasurer's signature must be obtained prior to the recording of the plat with County Clerk.

Property Management's signature must be obtained prior to Planning Department's signature.

AGIS DXF File approval required.

~~Copy of recorded plat for Planning.~~

ALL SITE PLANS:

3 copies of the approved site plan. Include all pages.



CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

October 16, 2013

Project# 1007316

13DRB-70685 MAJOR – SITE DEVELOPMENT PLAN FOR SUBDIVISION

DEKKER PERICH SABATINI agents for TARGET request the referenced/ above action for Tract A-1, **HUNT-SPECTRUM DEVELOPMENT SITE** zoned SU-3 FOR MU-UPT, located on the southeast corner of INDIAN SCHOOL RD NE and LOUISIANA BLVD NE containing approximately 7.3572 acres. (J-19)

AMAFCA No comment.
COG No comments provided
TRANSIT No comments provided
ZONING ENFORCEMENT No comments provided
NEIGHBORHOOD COORDINATION Affected NA/HOA's – Uptown NA List consisting of the following: ABQ-Park NA (R), Alvarado Park NA (R), Classic Uptown NA, Inez NA (R), Jerry Cline Park NA (R), Mark Twain NA (R), Quigley Park NA (R), Snow Heights NA (R), Uptown Progress Team, Inc., Winrock South NA (R)
APS No comments provided
POLICE DEPARTMENT This project is in the Northeast Area Command. - No Crime Prevention or CPTED comments concerning the proposed Site Development Plan For Subdivision request at this time.
FIRE DEPARTMENT No comments provided
PNM ELECTRIC & GAS No comments provided
COMCAST No comments provided
CENTURYLINK No comments provided
ENVIRONMENTAL HEALTH No comments provided
M.R.G.C.D

No comments provided
OPEN SPACE DIVISION No comments provided
CITY ENGINEER No comments provided
TRANSPORTATION DEVELOPMENT Reviewed, and no comments regarding on-street bikeways or roadway system facilities. Comments provided by: <i>Debbie Bauman Municipal Development</i>
PARKS AND RECREATION
ABCWUA
PLANNING DEPARTMENT Per site plan checklist, Internal Circulation Requirements (lot to lot) need to be shown. Additionally, this site is subject to a Minimum FAR – proposed building area needs to be noted on the plan. It is not appropriate to repeat excerpts from the Uptown Sector Plan as ‘Design Standards’ for this site plan; refer to the Winrock Site Plan for Subdivision as an example of minimal referencing of the sector plan (which can be done on the front sheet). Refer to comments from other agencies plus any public hearing comments regarding proposed plan for subdivision.

IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING

PROJECT# 1007316

Application # :

12-70350

DECLARATION OF RESTRICTIVE COVENANTS
AND EASEMENTS

BY

TARGET CORPORATION

For

Albuquerque Uptown Shopping Center
Albuquerque, NM

PROJECT # 1007316
13-70675 (P&F)
9-25-13
EXHIBIT

NCS-~~365000~~¹⁰¹-MPLS(KM)

Recorded Electronically
ID 2013099143
County Bernalillo County, NM
Date 9-4-2013 Time 9:59 AM
Simplifile.com 800.460.5657

DECLARATION OF RESTRICTIVE COVENANTS
AND EASEMENTS

BY

TARGET CORPORATION

For

Albuquerque Uptown Shopping Center
Albuquerque, NM

NCS-365000-101-MPLS(KM)

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EXHIBITS

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| Exhibit B | Design of Signs |
| Exhibit C-1 | Architectural Theme |
| Exhibit C-2 | Theme Submittals |

Exhibit C-3 Form Submittals Letter
Exhibit X Site Plan

DECLARATION OF RESTRICTIVE COVENANTS AND EASEMENTS

THIS DECLARATION OF RESTRICTIVE COVENANTS AND EASEMENTS ("Declaration") is made and entered into as of August 30, 2013, by TARGET CORPORATION, a Minnesota corporation ("Declarant").

RECITALS

A. Declarant is the owner of certain real estate located in the City of Albuquerque, County of Bernalillo, State of Arizona, legally described in Exhibit A attached hereto and identified on Exhibit X (the "Site Plan") attached hereto as the "Target Tract", "Outparcel 1" and "Outparcel 2" (collectively, the "Shopping Center"); and

B. Declarant intends that the Parcels (as defined below) be developed and operated in conjunction with each other as integral parts of a retail shopping complex, but not a planned or common interest development/community and, in order to effectuate the common use and operation of the Parcels, Declarant desires to impose certain covenants, easements, restrictions and conditions on the Shopping Center.

NOW, THEREFORE, Declarant hereby declares, imposes and subjects the Shopping Center to the following covenants, easements, restrictions and conditions:

ARTICLE I – DEFINITIONS

1.1 Building. "Building" means any permanently enclosed structure placed, constructed or located on a Parcel.

1.2 Building Area. "Building Area" means the limited areas of the Shopping Center within which Buildings may be constructed, placed or located and within which shall be located all building appurtenances such as stairs leading to or from a door, trash containers or compactors, canopies, supports, loading docks, truck ramps, and other outward extensions of such structure. Building Areas are designated on the Site Plan. One or more Buildings may be located within a Building Area.

1.3 Common Area. "Common Area" means all areas within the exterior boundaries of the Shopping Center, exclusive of (i) any Building and the appurtenances thereto referenced in Section 1.1 above, (ii) any Outside Sales Area (defined in Section 1.11) during the period such area is used for sales and/or display purposes and (iii) any Outside Storage Area (as defined in Section 1.12) during the period such area is used for storage purposes.

1.4 Constant Dollars. "Constant Dollars" means the value of the U.S. dollar to which such phrase refers, as adjusted from time to time. An adjustment shall occur on the 1st day of June of the sixth (6th) full calendar year following the date of this Declaration, and thereafter at five (5) year intervals. Constant Dollars are determined by multiplying the dollar amount to be adjusted by a fraction, the numerator of which is the Current Index Number and the

denominator of which is the Base Index Number. The "Base Index Number" is the level of the Index on June 1st of the year this Declaration commences; the "Current Index Number" is the level of the Index on June 1st of the year preceding the adjustment year; the "Index" is the Consumer Price Index for All Urban Consumers, published by the Bureau of Labor Statistics of the United States Department of Labor for U.S. City Average, All Items (1982-84=100), or any successor index thereto as hereinafter provided. If publication of the Index is discontinued, or if the basis of calculating the Index is materially changed, then the Declarant shall substitute for the Index comparable statistics as computed by an agency of the United States Government or, if none, by a substantial and responsible periodical or publication of recognized authority most closely approximating the result which would have been achieved by the Index. If any item is to be increased by Constant Dollars as provided hereunder, the Party requesting such increase must include with the Budget and/or invoice, back up information showing in reasonable detail such Party's determination of such change in the Index and any increase in such item resulting therefrom.

1.5 Floor Area.

1.5.1 "Floor Area" means the aggregate number of square feet of:

- (A) Space contained on each floor within a Building, including any mezzanine or basement space, as measured from the exterior faces of the exterior walls or store front and/or the center line of any common walls; provided, however, that the following areas shall not be included in such calculation: (i) space attributable to any multi-deck, platform, rack or other multi-level system used solely for the storage of merchandise which is located above ground floor, and (ii) space used solely for Building utilities or mechanical equipment;
- (B) Space exceeding fifteen thousand (15,000) square feet within an Outside Sales Area and Outside Storage Area; and
- (C) Space exclusively used for outdoor seating for customers of Restaurants and/or other food service businesses.

1.5.2 Within thirty (30) days after receipt of a request, a Party shall certify to the requesting Party the amount of Floor Area applicable to such Party's Parcel. If any Party causes an as-built survey to be prepared with respect to any portion of the Shopping Center, such Party shall furnish a copy of such survey to the other Parties for informational purposes only.

1.5.3 During any period of rebuilding, repairing, replacement or reconstruction of a Building, the Floor Area previously attributable to that Parcel shall be deemed to be the same as existed immediately before such period. Upon completion of such rebuilding, repairing, replacement or reconstruction, the Party owning such Parcel shall cause a new determination of Floor Area for such Parcel to be made in the manner described above, and such determination shall be sent to any other Party requesting the same.

1.6 Governmental Authorities. "Governmental Authorities" means any federal, state, county, city or local governmental or quasi-governmental authority, entity or body (or any department or agency thereof) exercising jurisdiction over a particular subject matter.

1.7 Governmental Requirements. "Governmental Requirements" means all applicable laws, statutes, ordinances, codes, rules, regulations, orders, and applicable judicial decisions or decrees, as presently existing and hereafter amended, of any Governmental Authorities.

1.8 Occupant. "Occupant" means any Person from time to time entitled to the use and occupancy of any portion of a Building in the Shopping Center under an ownership right or under any lease, sublease, license, concession, or other similar agreement.

1.9 Operator. "Operator" means the Person, if any, designated from time to time by the Declarant to maintain and operate the Common Area of the Shopping Center. The Person designated as Operator shall serve in such capacity until such person resigns upon at least sixty (60) days prior notice, or is removed by the Declarant. Declarant hereby designates itself as the initial Operator, and accepts such appointment pursuant to the "Agreed and Accepted" form annexed hereto. During any period an Operator is not designated each Party shall fulfill all of the obligations set forth in Section 4.2.1 below with respect to the Common Area on its own Parcel.

1.10 Outparcel(s). "Outparcel(s)" means Outparcel 1 and Outparcel 2. All of the terms and provisions of this Declaration shall apply to each of the Outparcels except as expressly set forth otherwise in this Declaration.

1.11 Outside Sales Area. "Outside Sales Area" means those areas, if any, designated on the Site Plan which from time to time may be used for sales and/or display purposes. During the period an Outside Sales Area is: (i) used for sales and/or display purposes, such area shall not be considered part of the Common Area, and (ii) not used for sales and/or display purposes, such area shall be considered part of the Common Area; provided, however, if the Outside Sales Area is located within a Building Area, such area may be used for the location of Buildings.

1.12 Outside Storage Area. "Outside Storage Area" means those areas, if any, designated on the Site Plan which from time to time may be used for the storage of merchandise associated with such Occupant's retail operations. During the period an Outside Storage Area is: (i) used for such storage purposes, such area shall not be considered part of the Common Area, and (ii) not used for such storage purposes, such area shall be considered part of the Common Area; provided, however, if the Outside Storage Area is located within a Building Area, such area may be used for the location of Buildings.

1.13 Parcel. "Parcel" means each separately subdivided portion of land composing any of the Tracts within the Shopping Center. The foregoing shall be deemed to include any portion of real estate within the Shopping Center which is separately designated by name on the Site Plan (such as an Outparcel) and/or has a distinct legal description within the legal

descriptions attached to this Declaration, even if such portions of real estate have not been "subdivided" or "platted" in accordance with Governmental Requirements. If a Tract is composed of only one (1) Parcel then such Tract is also a Parcel.

1.14 Party.

1.14.1 "Party" means each signatory hereto and its respective successors and assigns during the period of such Person's fee ownership of any Parcel within the Shopping Center. A Party transferring all or any portion of its fee interest in the Shopping Center shall give notice to all other Parties and Operator (if any) of such transfer and shall include in such notice at least the following information:

- (A) The name and address of the new Party;
- (B) A copy of the deed evidencing the transfer and setting forth the legal description of the portion of the Tract transferred by such Party; and
- (C) If the new Party is the designated Declarant for the Tract of which the transferred Parcel is a part.

1.14.2 Each Party shall be liable for the performance of all covenants, obligations and undertakings applicable to the Parcel or portion thereof owned by it that accrue during the period of such ownership, and such liability shall continue with respect to the Parcel transferred by such Party until the notice of transfer set forth above is given. Until such notice of transfer is given, the transferring Party shall (for the purpose of this Declaration only) be the transferee's agent. Once the notice of transfer is given, the transferring Party shall be released from all obligations pertaining to any Parcel transferred arising subsequent to the notice of transfer. For the purpose of this Section only, if the notice of transfer is given pursuant to Section 6.4, the effective date of such notice shall be the date such notice is sent. Notwithstanding anything to the contrary, if a notice of transfer is given, any payment made by a Party to the transferor within thirty (30) days of such notice shall be deemed properly paid and the transferor and the transferee shall resolve any necessary adjustments and/or prorations regarding such payment between themselves.

1.14.3 If a Parcel is owned by more than one (1) Party, the Party or Parties holding at least fifty-one percent (51%) of the ownership interest in such Parcel shall designate in writing one (1) Person to represent all owners of the Parcel and such designated Person shall be deemed the Person authorized to give consents and/or approvals, and join in the execution of amendments to the extent applicable as set forth in Section 6.8.5, pursuant to this Declaration for such Parcel.

1.14.4 Nothing contained herein to the contrary affects the existence, priority, validity or enforceability of any lien permitted hereunder that is recorded against the transferred portion of the Shopping Center before receipt of such notice of transfer by the Party filing such lien.

1.15 Permittee. "Permittee" means all Occupants and the officers, directors, employees, agents, contractors, customers, vendors, suppliers, visitors, invitees, licensees, subtenants, and concessionaires of Occupants insofar as their activities relate to the intended development, use and occupancy of the Shopping Center. Persons engaged in civic, public, charitable or political activities within the Shopping Center, including the following activities, shall not be considered Permittees: (i) exhibiting any placard, sign or notice; (ii) distributing any circular, handbill, placard or booklet; (iii) soliciting memberships, signatures or contributions for private, civic, public, charitable or political purposes; (iv) parading, picketing or demonstrating; and (v) failing to follow regulations established by the Parties relating to the use and operation of the Shopping Center.

1.16 Person. "Person" means any individual, partnership, firm, association, corporation, limited liability company, trust, or any other form of business or Governmental Authority.

1.17 Quick Service Restaurant. "Quick Service Restaurant" means any Restaurant whose business is primarily takeout, service is limited to counter service (i.e., that do not have wait staff offering table service), does not contain a drive thru and cannot exceed 3,000 square feet in Floor Area.

1.18 Restaurant. "Restaurant" means any operation or business which requires a governmental permit, license and/or authorization to prepare and/or serve food for either on or off-site consumption; provided, however, notwithstanding anything contained herein to the contrary, a supermarket, grocery store or similar operation shall not be deemed a Restaurant.

1.19 Unlimited Area Building Grouping. "Unlimited Area Building Grouping" means the Building Areas on the Target Tract that collectively provide protection for an "unlimited area building" referenced in Section 3.3.4 hereof.

1.20 Utility Lines. "Utility Lines" means those facilities and systems for the transmission of utility services, including the (i) drainage and storage of surface water and (ii) electronic shopping cart containment systems. "Common Utility Lines" means those Utility Lines that are designated as such by the Declarant and which are installed to provide the applicable service for the benefit of more than one (1) Party. "Separate Utility Lines" means those Utility Lines that are installed to provide the applicable service for the benefit of one (1) Party and/or which are not Common Utility Lines. For the purpose of this Declaration, the portion of a Utility Line extending between a Common Utility Line and a Building shall be considered a Separate Utility Line. Utility Lines installed pursuant to this Declaration shall only provide service necessary for the development and/or operation of the Shopping Center.

ARTICLE II – EASEMENTS

2.1 Ingress, Egress and Parking.

2.1.1 Cross Access and Parking Easement. During the term of this Declaration, Declarant hereby grants and conveys for the benefit of each Party (individually, "**Benefited Party**"; collectively, "**Benefited Parties**") for its use and for the use of its Permittees, in common with others entitled to use the same, non-exclusive easements for the (i) passage of vehicles over and across the parking and driveway areas of the Shopping Center, as the same may from time to time be constructed and maintained for such use, (ii) parking of vehicles over and across the parking areas of the Shopping Center, as the same may from time to time be constructed and maintained for such use and (iii) passage of pedestrians over and across the parking, driveways and sidewalk areas of the Shopping Center, as the same may from time to time be constructed and maintained for such use. The easements herein established are appurtenant to and for the benefit of each Parcel, and are binding on, enforceable against and burden each Parcel on which the easement(s) are located. The foregoing easements are subject to the following reservations as well as the other applicable provisions contained in this Declaration:

- (A) Each Party reserves the right to close-off any portion of its Parcel for such reasonable period of time as may be legally necessary, in the opinion of such Party's counsel, to prevent the acquisition of prescriptive rights by anyone; provided, however, that before closing-off any portion of its Parcel, such Party shall give notice to each other Party of its intention to do so, and shall attempt to coordinate such closing-off with each other Party so that no unreasonable interference with the passage of pedestrians or vehicles shall occur.
- (B) Each Party reserves the right at any time and from time to time to exclude and restrain any Person who is not a Permittee from using its Parcel.
- (C) Each Party reserves the right to temporarily erect or place barriers in and around areas on its Parcel which are being constructed and/or repaired in order to insure either safety of Persons or protection of property.
- (D) Vehicles making deliveries to or pickups from a Party's Parcel shall not park on another Party's Parcel.

2.1.2 Permanent Access Drive. In addition to the easement specified in Section 2.1.1, Declarant hereby grants and conveys to each Benefited Party for its use and for the use of its Permittees, in common with others entitled to use the same, and subject to the reservations set forth in Section 2.1.1, a non-exclusive, perpetual easement for the passage and accommodation of pedestrians and vehicles (but not for parking purposes) upon, over and across that portion of each Parcel designated on the Site Plan as the "**Permanent Access Drive**"; such Permanent Access Drive to be as wide (curb to curb) as shown on the Site Plan, and must contain two (2) lanes, one in each direction. The easements herein established are appurtenant to and for the benefit of each Benefited Party's Parcel, and are binding on, enforceable against and burden each Parcel traversed thereby.

- (A) During the term of this Declaration, each portion of the Permanent Access Drive shall be maintained in accordance with the provisions governing the maintenance of the parking and driveways on each grantor's Parcel.
- (B) After the termination of this Declaration, that portion of the Shopping Center on which the Permanent Access Drive is located shall be maintained in a safe, clean and good state of repair and condition by the owner of the Parcel on which it, or the portion thereof, is located (individually, "**Burdened Party**"; collectively, "**Burdened Parties**"), at its sole cost and expense. Each Burdened Party may, at its expense, relocate the portion of the Permanent Access Drive located on its Parcel so long as the relocated portion continues, in a direct manner, to connect to (i) all other Parcel(s) at the same location(s) on the common boundaries of such Parcels and (ii) all previously existing access point(s) to the Shopping Center, if any. Notice of such relocation shall be provided to each Benefited Party at least thirty (30) days prior to relocation.

2.1.4 Default. If a Party fails to perform its obligations under Section 2.1, any grantee may claim a default pursuant to Section 6.1 and avail itself of all the provisions therein contained, including the right to lien a Defaulting Party's Parcel, and receive Interest (as defined in Section 6.2) on all sums expended to cure such default. This provision shall survive the termination of this Declaration.

2.2 Utilities.

2.2.1 Utility Line Easement. Declarant hereby grants and conveys for each Benefited Party, non-exclusive, perpetual easements in, to, over, under, along and across those portions of the Burdened Party's Parcel (exclusive of any portion located within Building Areas) necessary for the installation, operation, flow, passage, use, maintenance, connection, repair, replacement, relocation, and removal of Utility Lines serving the Benefited Party's Parcel. The location of any Utility Line shall be subject to the prior written approval of the Burdened Party. Such easement area shall be no wider than necessary to reasonably satisfy the requirements of a private or public utility company, or five (5) feet on each side of the centerline if the easement is granted to a Party. The Benefited Party shall provide to the Burdened Party a copy of an as-built survey showing the location of such Utility Line. All Utility Lines shall be underground except (i) ground mounted electrical transformers; (ii) as may be necessary during periods of construction, reconstruction, repair or temporary service; (iii) as may be required by Governmental Authorities; (iv) as may be required by the provider of such utility service; (v) as may be attached to a Building (e.g. solar panels); and (vi) fire hydrants. At least thirty (30) days before utilizing the easement granted herein, the Benefited Party shall provide the Burdened Party with a written statement describing the need for such easement, shall identify the proposed location of the Utility Line, the nature of the service to be provided, and the anticipated commencement and completion dates for the work. Before commencing any work on a Burdened Party's Parcel, including any emergency work, the Benefited Party shall provide to the

Burdened Party evidence (as set forth in Section 5.4.5) of insurance coverage as required by Section 5.4.2.

2.2.2 Separate Utility Lines. Any Party and/or Parties electing to install a Separate Utility Line shall obtain all permits and approvals and shall pay all costs and expenses with respect to the initial construction and all subsequent maintenance, repair, replacement, removal, relocation (done at grantee's election) or abandonment of the Separate Utility Line. The Separate Utility Line shall be maintained in a safe, clean and good state of repair and condition. The Benefited Party shall perform such work in compliance with all Governmental Requirements, as quickly as possible and after normal business hours whenever possible, and shall back fill and adequately compact the disturbed area to prevent voids and restore the surface to a condition equal to or better than that existing before such work was commenced. Except in the case of a maintenance emergency where such work may be initiated after reasonable notice, the Benefited Party shall provide the Burdened Party with at least fifteen (15) days prior notice before commencement of any work. Notwithstanding the indemnity set forth in Section 5.4.1 below, the grantee(s) of any Separate Utility Line shall defend, protect, indemnify and hold harmless the grantor from and against all claims or demands, including any action or proceeding brought thereon, and all costs, losses, expenses and liabilities of any kind relating thereto, including reasonable attorneys' fees and cost of suit, arising out of or resulting from the exercise of the right to install, maintain, repair, replace, remove, relocate and operate the Separate Utility Line; provided, however, that if after such indemnity a court of law determines that such claim or demand was the result of negligence or the willful act or omission of the indemnified Party, then such indemnified Party shall reimburse the indemnifying Party for all reasonable expenses and/or costs incurred by such Party defending against such claim or demand to the extent of such fault.

2.2.3 Common Utility Lines. Except as may otherwise be agreed, the Party(ies) electing to install a Common Utility Line shall obtain all necessary permits and approvals and shall pay all costs and expenses with respect to the initial construction of such Common Utility Line. Once constructed, Operator shall maintain, repair, replace, remove and/or relocate the Common Utility Line in a safe, clean and good state of repair and condition, and in compliance with all Governmental Requirements, as quickly as possible and after normal business hours whenever possible. All costs and expenses incurred by Operator with respect to any Common Utility Line shall be considered part of Common Area Maintenance Costs (defined in Section 4.3.1) and shall be payable pursuant to Section 4.3.3. If no Operator is designated, or following the expiration of this Declaration, each Party benefiting from a particular Common Utility Line ("Cooperating Party") may maintain, repair or replace such Common Utility Line without submission of a Budget or estimate of expenditures, except as hereinafter provided. If a Cooperating Party, in performing maintenance, repair or replacement of a Common Utility Line, is likely to incur costs of more than Twenty Thousand Dollars (\$20,000) in Constant Dollars for such work (or series of related or repeated circumstances), such Cooperating Party shall first notify the other Cooperating Parties of such estimate, and the Cooperating Parties shall prepare a list of qualified bidders, shall seek competitive bids from the list of qualified bidders, and shall select the lowest, responsive qualified bidder to perform the work. If a list of bidders is not jointly prepared within fifteen (15) days of the request for bidders, the Cooperating Party desiring to have the work performed may let a contract for such work to a contractor of its choosing.

After any costs (regardless of amount) for maintaining, repairing or replacing a Common Utility Line has been incurred by an electing Cooperating Party, the Person incurring such costs, may send a statement of such costs, increased by an amount equal to the Administration Fee (defined in Section 4.3.1), together with a copy of any invoice reflecting a charge exceeding \$500.00, to each Cooperating Party benefiting from such Common Utility Line. Within thirty (30) days after receipt of the statement of costs incurred in accordance with the procedures set forth above, each Cooperating Party shall pay its allocable share of such costs as agreed upon when the Common Utility Line was installed, or if no separate cost sharing agreement was made, then in accordance with the sharing of Common Area Maintenance Costs. Except in the case of a maintenance emergency where such work may be initiated after reasonable notice, the Burdened Party shall be provided with at least fifteen (15) days prior notice before commencement of any work. As of the date of this Declaration, Declarant designates the following items as Common Utility Lines:

- (A) Sanitary sewer and water (fire and domestic) lines that loop around the Unlimited Area Building Grouping.
- (B) Storm water collection, transmission and retention system, including catch basins, underground piping, conduits and mains, and the detention pond, if any, shown on the Site Plan, within the Shopping Center.
- (C) Irrigation lines serving both the Target Tract, Outparcel 1 and Outparcel 2 if such lines are not separately controlled by each of Declarant and the respective owners of Outparcel 1 and Outparcel 2.

2.2.4 Surface Water Easement. Declarant hereby grants and conveys to each other Party owning an adjacent Parcel the perpetual right and easement to discharge surface storm water drainage and/or runoff from the Benefited Party's Parcel over, upon and across the Common Area of the Burdened Party's Parcel, upon the following conditions and terms:

- (A) The surface elevations for the Shopping Center and the surface water drainage/retention system serving the Shopping Center shall be initially constructed in strict conformance with the plans and specifications approved by the Declarant; and
- (B) No Party shall alter or permit to be altered the surface of the Common Area or the drainage/retention system constructed on its Parcel if such alteration would materially increase the velocity, volume or flow of surface water onto an adjacent Parcel either in the aggregate or by directing the flow of surface water to a limited area.

2.2.5. Relocation of Utility Lines. Each Burdened Party may relocate any Utility Line on its Parcel upon thirty (30) days prior notice to each Benefited Party, provided that such relocation:

- (A) shall not be performed during the months of November, December or January;
- (B) shall not interfere with or diminish the utility service to the Benefited Party during the Benefited Party's business hours; and if an electrical line/computer line is being relocated, then the Burdened Party and Benefited Party shall coordinate such interruption to eliminate any detrimental effects;
- (C) shall not reduce or unreasonably impair the usefulness or function of such Utility Line;
- (D) shall be performed without cost or expense to the Benefited Party;
- (E) shall be completed using materials and design standards which equal or exceed those originally used;
- (F) shall have been approved by the provider of such utility service and the appropriate Governmental Authorities; and
- (G) documentation of the relocated easement area, including the furnishing of an "as-built" survey to all grantees, shall be at the Burdened Party's expense and shall be accomplished as soon as possible following completion of such relocation.

2.2.6 Default. If a Party fails to perform its obligations under Section 2.2, any affected Party may claim a default pursuant to Section 6.1 and avail itself of all the provisions therein contained, including the right to lien a Defaulting Party's Parcel, and receive Interest on all sums expended to cure such default. This provision shall survive the termination of this Declaration.

2.3 Construction, Maintenance and Reconstruction.

2.3.1 Building Encroachments. To accommodate any Building improvements which may inadvertently be constructed beyond a Parcel's boundary line, each Party grants to each other Party owning an adjacent Parcel, an easement, not to exceed a maximum lateral distance of six (6) inches, in, to, over, under, and across that portion of the grantor's Parcel adjacent to such common boundary line for the existence, maintenance and replacement of such encroaching Building improvements.

2.3.2 Subsurface Construction Elements. If a constructing Party (the "Constructing Party") determines that it is necessary to place underground piers, footings and/or foundations ("Subsurface Construction Elements") across the boundary line of its Parcel, the Constructing Party shall advise the Party owning the adjacent Parcel (the "Adjacent Party") of the Constructing Party's construction requirements and shall provide plans and

specifications relating thereto to the Adjacent Party, including proposed construction techniques for the Subsurface Construction Elements.

- (A) Each Adjacent Party hereby grants and conveys to each Constructing Party for the benefit of its Parcel an easement, not to exceed a maximum lateral distance of five (5) feet, in, to, under, and across that portion of the Adjacent Party's Parcel not theretofore occupied by any then existing structure, for the installation, maintenance and replacement of such Subsurface Construction Elements; provided, however, that the Constructing Party shall have no right to use such easement if there is available to the Constructing Party a reasonable alternative construction method for the placement of the Subsurface Construction Elements entirely on the Constructing Party's Parcel.
- (B) The Adjacent Party reserves the right to require the Constructing Party to modify the design specifications for the Subsurface Construction Elements in order to permit the Adjacent Party the opportunity to utilize the same in connection with the construction of its Building so that each Party shall be able to place its Building immediately adjacent to the common boundary line. If a common Subsurface Construction Element is used by the Constructing Party and the Adjacent Party, each shall assume and pay its reasonable share of the cost and expense of the design and construction thereof. If any Building utilizing a common Subsurface Construction Element is destroyed and not replaced or is removed, the common Subsurface Construction Element shall remain in place for the benefit of the other Building utilizing the same.

2.3.3 Additional Terms. The easements established under Sections 2.3.1 and 2.3.2 shall be appurtenant to and for the benefit of each Benefited Party's Parcel, and shall be binding on, enforceable against and burden each Burdened Party's Parcel. Notwithstanding such easement grant, nothing herein shall diminish or waive the right of a Burdened Party to recover damages resulting from a Benefited Party's failure to construct either its Building within the Building Area on its Parcel in the case of Section 2.3.1, or its subsurface Construction Element within the easement area limits in the case of Section 2.3.2. Such easements in each instance shall:

- (A) Continue in effect for the term of this Declaration and thereafter for so long as the Building utilizing the easement area exists (including a reasonable period to permit reconstruction or replacement of such Building if the same shall be destroyed, damaged or demolished).
- (B) Include the reasonable right of access necessary to exercise and enjoy such grant upon terms and with the limitations described in Section 3.1.5.

2.3.4 No Common Walls. With respect to Buildings constructed along the common boundary line of Parcels, nothing herein shall be deemed to create or establish:

- (A) A "common" or "party" wall to be shared with the adjacent Building.
- (B) The right for a Building to receive support from or apply pressure to the adjacent Building.

2.4 Sign Easement.

2.4.1 Target Signs. Declarant hereby grants and conveys for the benefit of the Target Tract, a perpetual easement for the construction, reconstruction, replacement, operation, maintenance and repair of those sign structures, including the right and privilege to place thereon or affix thereto identification panels (collectively, the "Target Signs"), over, under, upon and across that portion of the Shopping Center designated on the Site Plan as Target Signs, together with reasonable access over, under, upon, through and across the Shopping Center to install, replace, maintain, repair and operate a Separate Utility Line pursuant to Section 2.2 above in order to provide the Target Signs with power. The Target Signs shall be maintained pursuant to Section 5.3.1., in a safe condition and good state of repair. If any of the Target Signs areas are no longer available for freestanding sign purposes because of a condemnation or any Governmental Requirements, the Declarant shall designate one or more replacement Target Signs area(s), subject to the consent and recordable grant (neither of which shall be unreasonably withheld) of the Party owning the Parcel to be burdened by the replacement Target Signs area(s), with comparable visibility as close to the original location as reasonably possible. Target shall be entitled to receive any condemnation or other award paid relating to the displaced Target Signs, including any relocation benefits, and at its election, Declarant may cause one or more new Target Signs to be constructed on the replacement Target Signs area(s). The foregoing easement, together with the rights included therewith, is for the benefit of and appurtenant to the Target Tract and is binding on, enforceable against and burdens the Shopping Center. Declarant may release the easement, and upon such release Declarant shall remove its panels and thereafter have no further rights, duties or responsibilities with respect to the Target Signs.

2.4.2 Default. If a Party fails to perform its obligations under Section 2.4, any affected Party may claim a default pursuant to Section 6.1, and avail itself of all the provisions therein contained, including the right to lien a Defaulting Party's Parcel, and receive interest on all sums expended to cure such default. This provision shall survive the termination of this Declaration.

2.5 Restriction. No Party shall grant any easement for the benefit of any property not within the Shopping Center; provided, however, that the foregoing shall not prohibit the granting or dedicating of utility easements by a Party on its Parcel to Governmental Authorities or to public utility companies for provision of Utility Lines to service all or a portion the Shopping Center. If a Utility Line is dedicated and accepted for maintenance by a Governmental Authority or public utility, then the operation and maintenance of such Utility Line shall thereafter be the responsibility of the Person accepting the dedication.

ARTICLE III – CONSTRUCTION

3.1 General Requirements.

3.1.1 Governmental Requirements. All construction activities performed or authorized within the Shopping Center shall be performed in compliance with all Governmental Requirements. All construction shall utilize new materials and shall be performed in a good, safe, workman-like manner.

3.1.2 Additional Requirements. No construction activities performed or authorized may:

- (A) Cause any unreasonable increase in the cost of constructing improvements upon another Party's Parcel.
- (B) Unreasonably interfere with construction work being performed on any other part of the Shopping Center.
- (C) Unreasonably interfere with the use, occupancy or enjoyment of any part of the remainder of the Shopping Center by any other Party or its Permittees.
- (D) Cause any Building located on another Parcel to be in violation of any Governmental Requirements.

3.1.3 Indemnity. Notwithstanding the indemnity set forth in Section 5.4.1 below, each Party shall defend, protect, indemnify and hold harmless each other Party from and against all claims and demands, including any action or proceeding brought thereon, and all costs, losses, expenses and liabilities of any kind relating thereto, including reasonable attorneys' fees and cost of suit, arising out of or resulting from any construction activities performed or authorized by such indemnifying Party within the Shopping Center; provided, however, that (i) the foregoing shall not be applicable to claims covered by the release set forth in Section 5.4.3 and (ii) if, after such indemnity a court of law determines that such claim or demand was the result of negligence or the willful act or omission of the indemnified Party, then such indemnified Party shall reimburse the indemnifying Party for all reasonable expenses and/or costs incurred by such Party defending against such claim or demand to the extent of such fault.

3.1.4 Staging Areas; Construction Traffic. In connection with any construction, reconstruction, repair or maintenance on its Parcel, each Party reserves the right, at its expense, to create a temporary staging and/or storage area on its Parcel at such location as will not unreasonably interfere with access between such Parcel and the other areas of the Shopping Center. Declarant designates those temporary staging and/or storage areas designated on the Site Plan as the "Target Tract Temporary Staging/Storage Area", "Outparcel 1 Temporary Staging/Storage Area" and "Outparcel 2 Temporary Staging/Storage Area." Before the

commencement of any work that requires the establishment of a staging and/or storage area on its Parcel outside of a Building Area that is not otherwise designated on the Site Plan, a Party shall give at least thirty (30) days prior notice to the Declarant, for its approval, of the proposed location of such staging and/or storage area unless such area is located at least fifty (50) feet from another Party's Parcel. If substantial work is to be performed, the constructing Party shall, at the request of the Declarant, fence such staging and/or storage area. Notwithstanding the foregoing, if a business is operating on the Target Tract then no other Party's staging and/or storage area shall be located within one hundred (100) feet of the Target Tract, unless such area is located within a Building Area. If the Declarant does not approve the proposed location of the staging and/or storage area, the requesting Party shall modify the proposed location of the staging and/or storage area to satisfy the reasonable requirements of the Declarant. All storage of materials and the parking of construction vehicles, including vehicles of workers, shall occur only on the constructing Party's Parcel, and all laborers, suppliers, contractors and others connected with such construction activities shall use only the access points located upon the constructing Party's Parcel; provided however, that if no direct public access is available to the Parcel of the Party performing such construction then the Permanent Access Drive may be used for such access. Upon completion of such work, the constructing Party shall, at its expense, restore any damaged area to a condition equal to or better than that existing prior to commencement of such work.

3.1.5 Temporary Construction License. Each Party hereby grants to one another and their respective contractors, materialmen and laborers a temporary license for access and/or use over and across the Common Area of the Burdened Party's Parcel as shall be reasonably necessary for the Benefited Party to construct, repair or replace improvements upon the Benefited Party's Parcel; provided, however, that (i) such license shall be in effect only during such periods of time when actual construction, repair or replacement is being performed, (ii) the use of such license shall not unreasonably interfere with the use and operation of the Common Area by the other Parties or their Permittees and (iii) such license shall not permit the storage by grantee of any items on the Burdened Party's Parcel. Before exercising the rights granted herein, the grantee shall first provide the Burdened Party with a written statement describing the need for such license and shall identify the area of use. Each Benefited Party physically using a portion of the Burdened Party's Parcel in connection with the construction and/or maintenance of the Benefited Party's Parcel shall furnish a certificate or memorandum of insurance showing that the Party or its contractor has obtained the insurance coverage required by Section 5.4.2, shall promptly pay all costs and expenses associated with such work, shall diligently complete such work as quickly as possible, and shall promptly clean the area, and restore and/or repair the affected portion of the Burdened's Party's Parcel to a condition which is equal to or better than the condition which existed prior to the commencement of such work. Notwithstanding the foregoing, if a dispute exists between the contractors, laborers, suppliers and/or others connected with such construction activities, each Party may prohibit the contractors, laborers, suppliers and/or others working for another Party from using the Common Area on its Parcel.

3.2 Common Area. The Common Area may only be constructed as shown on the Site Plan and any designated Common Utility Lines specified in Section 2.2.3 shall be installed as part of the initial Shopping Center development; provided, however, no fence or other barrier which would prevent or unreasonably obstruct the passage of pedestrian or vehicular travel shall

be erected or permitted within or across the Common Area, exclusive of the limited curbing and other forms of traffic control depicted on the Site Plan, permitted staging and/or storage areas, Outside Sales Areas and Outside Storage Areas. The Common Area on each Party's Parcel must be substantially completed no later than the day the first Occupant of such Parcel opens for business with the public including, specifically as to Outparcel 1, the initial construction and installation of "Outparcel 1 Future Access" as shown on the Site Plan, which initial construction and installation of said Outparcel 1 Future Access will be done at the sole cost and expense of the owner of Outparcel 1 and subject to Declarant's review and approval of its plans and specifications and schedule for the installation of the Outparcel 1 Future Access, which shall be made, withheld or conditioned in Declarant's sole and absolute discretion. At a minimum, the following general design standards shall be complied with throughout the term of this Declaration:

3.2.1 Lighting System. The lighting system shall use a lamp source of metal halide, and shall be designed to produce a minimum maintained lighting intensity measured at grade at all points of at least of at least the number of footcandles set forth in (A) – (D) below. Each Party may elect to control the lighting system located on its Parcel. The type and design of the Common Area light standards shall be approved by the Declarant.

- (A) 5.0 footcandles at curb in front of the entrance to any Building.
- (B) 3.0 footcandles at entry drives to the Shopping Center.
- (C) 3.0 footcandles in the general parking areas.
- (D) 2.0 footcandles at the perimeter of the parking areas.

3.2.2 Slope. The slope in the parking area shall not exceed a maximum of three percent (3%) nor be less than a minimum of one and one-half percent (1 1/2%), and the slope at all entrances to the Shopping Center shall not exceed a maximum of five percent (5%), unless the Declarant imposes a different standard.

3.2.3 Sidewalks. All sidewalks and pedestrian aisles shall be concrete or other materials approved by the Declarant; the automobile parking areas, driveways, and access roads shall be designed in conformity with the recommendations of a licensed soils engineer approved by the Declarant, which design shall require the installation of a suitable base and surfacing with an asphaltic concrete or concrete-wearing material.

3.2.4 Utilities. Utility Lines that are placed underground shall be at depths designated by consultants approved by the Declarant. If surface water retention and/or detention areas are located outside of the general parking areas, such retention and/or detention areas shall be fenced or otherwise secured to impede public access thereto.

3.2.5 Parking Ratio.

- (A) The parking area on the Target Tract, and on each Outparcel shall each contain sufficient ground level parking spaces, without reliance on parking spaces that may be available on another portion of the Shopping Center, in order to comply with the greater of Governmental Requirements or the following minimum requirements:
- (1) Three and one-half (3.50) parking spaces for each one thousand (1,000) square feet of Floor Area and fraction thereof (rounded up to the next whole parking space), plus any Restaurant parking requirements set forth below. Compact car parking spaces, which may not exceed twenty percent (20%) of total parking spaces, shall be located only in the areas, if any, designated on the Site Plan.
 - (2) If a business use contains a drive-up unit (such as a remote banking teller or food ordering/dispensing facility), then there shall also be created space for stacking not less than five (5) automobiles for each drive-up unit on such Parcel.
 - (3) For each single Restaurant that has less than five thousand (5,000) square feet of Floor Area, then six (6) additional parking spaces for each one thousand (1,000) square feet and fraction thereof (rounded up to the next whole parking space) of Floor Area devoted to such use.
 - (4) For each single Restaurant that has at least five thousand (5,000) square feet of Floor Area, but less than seven thousand (7,000) square feet of Floor Area, then eleven (11) additional parking spaces for each one thousand (1,000) square feet and fraction thereof (rounded up to the next whole parking space) of Floor Area devoted to such use.
 - (5) For each single Restaurant that has seven thousand (7,000) square feet or more of Floor Area, then sixteen (16) additional parking spaces for each one thousand (1,000) square feet and fraction thereof (rounded up to the next whole parking space) of Floor Area devoted to such use.
- (B) If an Occupant operates a Restaurant incidental to its primary business purpose, then so long as such incidental operation continues, the portion of the Floor Area occupied by such Restaurant shall be excluded from the application of (3), (4) and (5) above. For the purpose of this clause only, a Restaurant shall be an "incidental operation" if it occupies less than seven percent (7%) of the Occupant's Floor Area and does not have a separate customer entry/exit door to the outside of the Building. If an Occupant

utilizes Floor Area for Restaurant and other purposes, only the portion of Floor Area allocated for Restaurant purposes shall be subject to the increased parking requirements set forth above. By way of example as to the calculation of parking spaces, if an Occupant (other than a Restaurant) has 1,234 square feet of Floor Area, the store would require 5 parking spaces (i.e., $1.234 \times 4 = 4.936$, rounded up to 5).

- (C) If a condemnation of part of a Parcel or a sale or transfer in lieu thereof that reduces the number of usable parking spaces on such Parcel below that which is required herein, the Party whose Parcel is so affected shall use its best efforts (including using proceeds from the condemnation award or settlement) to restore and/or substitute ground-level parking spaces in order to comply with the parking requirements set forth in this Declaration. If such compliance is not reasonably possible, such Party shall not be deemed in default hereunder, but such Party may not expand the amount of Floor Area located on its Parcel. If such Floor Area is thereafter reduced other than by casualty, then the Floor Area on such Parcel may not subsequently be increased unless the parking requirements set forth above are satisfied.
- (D) Temporary unavailability of parking spaces caused by uses or promotions permitted under this Declaration shall not result in or be deemed a violation of this Section 3.2.5.

3.2.6 Changes to Common Area.

- (A) No changes may be made to the improved Common Area, except that each Party hereby reserves the right, from time to time, to make at its own expense any insignificant change, modification or alteration in the portion of the Common Area on its Parcel, including the installation of convenience facilities such as mailboxes, public telephones, shopping cart corrals, benches, bicycle racks, directional and/or parking information signs, provided that:
 - (1) The accessibility of such Common Area for pedestrian and vehicular traffic (as it relates to the remainder of the Shopping Center) is not unreasonably restricted or hindered, and all parking stalls and rows and vehicular traffic lanes shall remain generally as shown on the Site Plan.
 - (2) There shall be maintained at all times within such Common Area a sufficient number of vehicular parking spaces to meet the parking requirements set forth in Section 3.2.5; provided, however, that no more than two percent (2%) of the parking spaces depicted on the Site Plan for such Parcel shall be eliminated.

- (3) No Governmental Requirements are violated as a result of such action. Each Governmental Requirement applicable to such modifications shall be satisfied by the Party performing the same. Each action must not result in any other Party being in violation of any Governmental Requirements.
 - (4) No change may be made in the access points between the Common Area and the adjacent public streets; provided, however, that additional access points may be created with the approval of the Declarant.
 - (5) At least thirty (30) days prior to making any such change, modification or alteration, the Party desiring to do such work shall deliver to the Declarant copies of the plans therefor, and provided further that such work shall not occur during the months of October, November, December or January.
- (B) The provisions of this Section 3.2.6 do not apply to any changes, modifications or alterations of Common Area located within (i) Building Areas, (ii) Outside Sales Areas that result from or arise out of the use of such space from time to time as provided for in this Declaration or (iii) Outside Storage Areas that result from or arise out of the use of such space from time to time as provided for in this Declaration. By way of example, if a Party's use of a Building Area makes it reasonably necessary to modify adjacent portions of the Common Area to effect the use of such Building Area for a Building (e.g. an existing pedestrian sidewalk located within such Building Area is to be relocated partially within a driveway) then such Party may modify such Common Area so long as vehicular traffic (as it relates to the remainder of the Shopping Center) is not unreasonably restricted or hindered and all parking fields and vehicular traffic lanes shall remain generally as shown on the Site Plan.

3.3 Building Improvements.

3.3.1 Construction of Buildings. Building(s) and the appurtenances thereto referenced in Section 1.1 may only be located within the Building Areas designated on the Site Plan. While no Party shall have an obligation to commence construction of any Building on its Parcel, once a Party has commenced construction of a Building, such Building shall be completed within a reasonable time. If the number of "square feet" of building space within the Shopping Center is restricted by Governmental Requirements, the Parties hereby allocate the permitted square footage as follows: (i) to the Target Tract, the number of square feet necessary to accommodate 156,000 square feet of Floor Area, plus any Outside Sales Area; and (ii) to the

Outparcels, the balance of such permitted square footage. The Parties understand that the calculation of Building sizes is based on the definition of "Floor Area" set forth in this Declaration, and further that such term is unique to this Declaration and is not intended to mirror the definition of "square feet" set forth in codes/regulations established by the local Governmental Authorities.

3.3.2 Architectural Theme. The exterior of all Buildings shall comply with the architecturally compatible theme represented by the Building elevations (the "Theme") attached hereto as Exhibit C-1 and all other requirements of this Declaration. In addition, no Building may have backlit lighting for any awning or canopy forming a part thereof. Those Buildings located on Outparcels are positioned in locations such that the rear and/or other portions of such Buildings may be visible to Permittees of other Buildings ("**All Sided Buildings**"). To effectuate the implementation of the Theme throughout the Shopping Center the front, rear and all other sides of each All Sided Building shall comply with the depiction of the façade of such particular All Sided Building shown on the Theme, including all materials, massing features, wall articulation, glass openings and colors shown on the Theme (the "**All Side Requirements**"). To ensure compliance with such Theme, each Party shall, at least thirty (30) days before the commencement of any work on its Parcel, submit to the Declarant for approval those submittals ("**Theme Submittals**") required by Exhibit C-2 and Exhibit C-3 attached hereto covering the initial construction of each Building and any additions, remodeling, reconstruction or other alteration thereto which changes the exterior thereof; provided, however, the Declarant waives the requirement for the submission of Theme Submittals (but not the requirement to comply with the Theme) for the initial Building to be constructed on the Target Tract if such Building reflects a prototype "Target" retail store. If the Declarant rejects the Theme Submittals for not complying with the Theme, the submitting Party and the Declarant shall mutually consult to establish approved Theme Submittals for the proposed work. The Declarant shall not withhold approval of, or recommend changes in the Theme Submittals if the Theme Submittals conform to the Theme and all other requirements of this Declaration. In no event shall the Declarant require any other Party to utilize design standards superior to those utilized by the Declarant in the construction of any Buildings on its Parcel; provided however, that the Declarant may require that an All Sided Building meet the All Side Requirements. Approval of Theme Submittals by the Declarant shall not constitute assumption of responsibility for the accuracy, sufficiency or propriety thereof, nor shall such approval constitute a representation or warranty that the Theme Submittals comply with Governmental Requirements. No material deviation shall be made from the approved Theme Submittals.

3.3.3 Common Boundary Lines. Buildings may be located along each Party's respective common boundary lines, and each Party shall support any request by another Party for a side-yard or setback variance if the same is required in order to accommodate such construction. Notwithstanding the foregoing, the wall, roof, foundation or other structural portion of one Building shall not receive support from, nor apply pressure to the other Building.

- (A) The front wall of any Building to be constructed immediately adjacent to the Building on the Target Tract shall be set back at least two (2) feet from

the front wall of the Building on the Target Tract. The second Party to construct a Building along a common boundary line shall:

- (1) cause such construction to be completed in a manner that the improvements on the adjoining Parcel are not damaged; and
- (2) undertake and assume the obligation of completing and maintaining the nominal attachment (flashing and seal) of its Building to that of the existing Building on the adjoining Parcel, it being the intent of the Parties to establish and maintain the appearance of one (1) continuous Building complex.

3.3.4 Unlimited Area Buildings. Declarant initially proposes to construct on the Target Tract a Building which is classified as an "unlimited area building" under certain building codes; the term "unlimited area building", as used in this document, refers to a building that is allowed to exceed area limitations stipulated in the applicable building code, not by virtue of its construction type, but as a condition of its isolation on the property and by its inclusion of a sprinkler system. No Building shall initially be placed or constructed on any Party's respective Parcels in a manner which will, based on then existing Governmental Requirements, either preclude the construction of an "unlimited area building" on the Target Tract along such Tract's common boundary lines or cause an existing "unlimited area building" on the Target Tract to no longer be in conformance with applicable building code requirements; provided however, that subsequent changes in Governmental Requirements shall not obligate a Party to modify or alter its existing Building.

3.3.5 Unlimited Area Building Grouping. All Buildings constructed within any Unlimited Area Building Grouping shall comply with the requirements set forth in (A) – (D) below. If required by any Governmental Authorities, each Party shall join in a recordable declaration that confirms the existence of a sixty (60) foot clear area around the Unlimited Area Building Grouping.

- (A) No Building may be constructed within sixty (60) feet of the Building Area on an adjoining Parcel unless such Building, hereinafter referred to as the "Adjacent Building," shall be located immediately adjacent to the common boundary line and is attached to the Building, if any, on the adjacent Parcel in accordance with Section 3.3.3.
- (B) If an Adjacent Building exists, then no Building may be located within sixty (60) feet of the Adjacent Building unless such Building is attached to the Adjacent Building in accordance with Section 3.3.3; the Adjacent Building and all other Buildings on the Parcel that are attached to the Adjacent Building and to each other are hereinafter referred to as the "Building Group".

- (C) Any Building that is not part of the Building Group shall be located at least sixty (60) feet distant from the Building Group.
- (D) The Adjacent Building and the Building Group shall comply with the building code requirements applicable to an "unlimited area building", including the installation of an approved sprinkler system for fire protection.

3.3.6 Building Heights. Excepting any Building on Outparcel 1, no Building may exceed one (1) story and the height restrictions set forth in (A) – (C) below. The height of any Building shall be measured perpendicular from the finished floor elevation to the top of the roof structure, including any screening, parapet, penthouse, mechanical equipment or similar appurtenance located on the roof of such Building. Any Party may install, maintain, repair, replace and remove Communications Equipment (defined below) on the top of the Building on its Parcel which may extend above the height limits established above; provided, however, such Communication Equipment shall be set back from the front of the Building or screened in order to reduce visibility thereof by customers. "Communications Equipment" means such things as satellite and microwave dishes, antennas and laser heads, together with associated equipment and cable.

(A) Maximum Building height on Target Tract - 40 feet; provided that architecture features occupying not more than twenty percent (20%) of the width of the front façade of any Building may be as high as 52 feet.

(B) Maximum Building height on Outparcel 1 - 40 feet; provided that architecture features occupying not more than twenty percent (20%) of the width of the front façade of any Building may be as high as 42 feet.

(C) Maximum Building height on Outparcel 2 - 19 feet; provided that architecture features occupying not more than twenty percent (20%) of the width of the front façade of any Building may be as high as 25 feet.

3.4 Liens.

3.4.1 Indemnity; Right to Contest. If any mechanic's lien is recorded against the Parcel of one Party as a result of services performed or materials furnished for the use of another Party, then notwithstanding the indemnity set forth in Section 5.4.1 below, the Party permitting or causing such lien shall defend, protect, indemnify and hold harmless each other Party and its Parcel from and against all claims and demands, including any action or proceeding brought thereon, and all costs, losses, expenses and liabilities of any kind relating thereto, including reasonable attorneys' fees and cost of suit, arising out of or resulting from such lien. The Party permitting or causing such lien to be recorded may contest the validity thereof in any manner such Party chooses so long as such contest is pursued with reasonable diligence. If such contest is determined adversely (allowing for appeal to the highest appellate court), such Party shall promptly, but within fifteen (15) days after the entry of a final judgment, pay in full the required

amount, together with any interest, penalty, cost, or other charge necessary to release such lien of record.

3.4.2 Release. Upon the request of the Party whose Parcel is subject to such lien, the Party permitting or causing such lien to be recorded shall promptly cause such lien to be released and discharged of record with respect to such Parcel by posting a bond or other security as shall be required by law to obtain such release and discharge. If the laws of the State within which the Shopping Center is located do not provide for a method to release real estate from a lien claim, then the Party permitting or causing such lien shall deposit with the Party whose Parcel is subject to such lien security (cash or other reasonably acceptable substitution) equal to 150% of the amount of the lien. The security shall be held until the contest provisions set forth in Section 3.4.1 are completed and the lien released; provided, however, that if either the lien is not contested and then released pursuant to Section 3.4.1 above, or the Party permitting or causing such lien elects to satisfy the claim, then the security shall be used to pay the lien claim and obtain the release of record.

ARTICLE IV – MAINTENANCE AND REPAIR

4.1 Utility Lines. Utility Lines shall be maintained as provided in Section 2.2.

4.2 Common Area.

4.2.1 Maintenance Standards. Subject to provisions relating to Utility Lines and Signs, each Party shall operate, maintain, and to the extent necessary due to ordinary wear and tear, repair and replace the Common Area on its Parcel in a sightly, safe condition and good state of repair at such Party's sole cost and expense. Without limiting the foregoing obligations, the Declarant may, pursuant to Section 4.3 below, elect to delegate to Operator certain obligations relating to the operation and maintenance of the Common Area. The minimum standard of operation and maintenance for the improved Common Area shall be comparable to the standard of operation and maintenance followed in other first class retail developments of comparable size in the Albuquerque metropolitan area; notwithstanding the foregoing, however, the Common Area shall be operated and maintained in compliance with all applicable Governmental Requirements, and the provisions of this Declaration. All Common Area improvements shall be repaired or replaced with materials at least equal to the quality of the materials being repaired or replaced so as to maintain the architectural and aesthetic harmony of the Shopping Center as a whole. Such operation and maintenance obligation shall include the following:

- (A) Drive and Parking Areas. Maintaining, repairing and replacing all paved surfaces and curbs in a smooth and evenly covered condition, including (i) replacement of base, skin patch, resurfacing and, when necessary to restripe the parking area, resealing; (ii) restriping parking lots and drive lanes at least every 24 months, but in any event as necessary to clearly identify parking space designations, traffic direction designations, fire lanes, loading zones, no parking areas and pedestrian cross-walks; and

(iii) removal of ice, and when there is an accumulation of two (2) inches or more on surface, snow.

- (B) Unimproved Common Area. Unimproved Common Area shall be mowed and kept litter-free.
- (C) Debris and Refuse. Periodically removing papers, debris, filth, and refuse, including vacuuming and broom-sweeping of paved areas at least 3 days per week, but in any event to the extent necessary to keep the Common Area in a first class, clean and orderly condition. All sweeping shall be at appropriate intervals during such times as shall not interfere with the conduct of business or use of the Common Area by Permittees.
- (D) Directional Signs and Markers. Maintaining, cleaning and replacing any appropriate directional, stop or handicapped parking signs or markers.
- (E) Lighting. Maintaining, cleaning and replacing Common Area lighting facilities, including light standards, wires, conduits, lamps, ballasts and lenses, time clocks and circuit breakers, illuminating the Common Area pursuant to Section 5.2.1; provided however, exterior Building lighting fixtures, including any lighting fixtures associated with a canopy or other architectural feature forming a part of such Building, shall be considered a part of such Building, and the maintenance and replacement of such fixtures, and the cost of illumination, shall be the obligation of the Party upon whose Parcel such fixtures are located.
- (F) Landscaping. In accordance with the Uptown Sector Plan and the requirements of Declarant, maintaining and replacing all landscape plantings, trees and shrubs in an attractive, live and thriving condition, trimmed and weed-free; maintaining and replacing landscape planters, including those adjacent to exterior walls of Buildings; providing water for landscape irrigation through a properly maintained system, including performing any seasonal (start up and/or winterization) maintenance thereto, and any modifications to such system to satisfy governmental water allocation or emergency requirements.
- (G) Obstructions. Keeping the Common Area free from any obstructions, including those caused by the sale or display of merchandise, unless such obstruction is permitted under the provisions of this Declaration.
- (H) Sidewalks. Maintaining, cleaning and replacing sidewalks, including those adjacent to Buildings regardless of the installing party. Sidewalks shall be: (i) steam-cleaned at least quarterly and pressure washed periodically in the interim, but in any event to the extent necessary to keep the surface in a first class and clean condition; (ii) swept at appropriate

intervals during such time as shall not interfere with the conduct of business or use of the sidewalks; and (iii) cleared of ice, and when there is an accumulation of 2 inches or more on surface, snow.

- (I) Security Measures. Providing security measures, including personnel, for the Common Area, if reasonably required.
- (J) Traffic. Supervising traffic at public entrances and exits to the Parcel as conditions reasonably require in order to maintain an orderly and proper traffic flow.
- (K) Building Related Areas. Notwithstanding anything in Section 4.3 to the contrary, each Party shall operate, maintain, repair and replace, at its sole cost and expense, in a clean, sightly and safe condition, the following items (if any) located on its Parcel: any exterior shipping/receiving dock area; any truck ramp or truck parking area; any recycling center or similarly designated area for the collection of items intended for recycling; any refuse, compactor or dumpster area.

4.2.2 Repair and Restoration. Subject to the provisions of Section 2.2.3 regarding Common Utility Lines and Section 2.4 regarding Signs, if any portion of the Common Area is damaged or destroyed by any cause whatsoever, whether insured or uninsured, during the term of this Declaration, the Party upon whose Parcel such Common Area is located shall repair or restore such Common Area at its sole cost and expense with all due diligence; provided, however, that (i) no Party shall be required to expend more than \$250,000 in Constant Dollars in excess of insurance proceeds which may be available (or which would have been available except for such Party's election of deductibles or self-insurance, which amount such Party shall be responsible to contribute) for such repair or restoration and (ii) the \$250,000 limit set on a Party's expenditure shall not apply if such damage or destruction is due to ordinary wear and tear. Notwithstanding the limitation set forth in the preceding sentence, a Party may require the Party upon whose Parcel such Common Area is located to do such restoration work if the requiring Party has agreed in writing to pay the costs in excess of \$250,000.00. Subject to the provisions of Section 5.4.3 below, if such damage or destruction of Common Area on a Parcel is caused in whole or in part by another Party or a third Person, the Party obligated to make such repair or restoration reserves and retains the right to proceed against such other Party or third Person for indemnity, contribution and/or damages.

4.3 Joint Maintenance.

4.3.1 Common Area Maintenance Costs. Before Operator commences any operation and maintenance duties, Operator shall obtain, and thereafter maintain during the period of such operation and maintenance performance, the insurance required by Section 5.4.4. Commencing on the earlier of thirty (30) days prior to the date specified by the Occupant of the Target Tract that it intends to open for business with the general public, or the date the Declarant designates in writing, Operator shall operate and maintain the (i) Common Area of the Shopping

Center in accordance with the requirements of Section 4.2.1, exclusive of any "capital improvements" which shall be the responsibility of the Party owning the affected Parcel as set forth in Sections 4.2.1 and 4.2.2 above, (ii) Common Utility Lines, and (iii) the Signs pursuant to Section 5.3.1. At least 30 days before any major work in the parking lots or drive areas, Operator shall advise the Declarant of the scope thereof, and the proposed commencement and completion dates; except in an emergency, such major work shall not be performed between October 15th and the following January 15th.

(A) Included and Excluded Expenses. Operator shall expend only such funds as are reasonably necessary for the operation and maintenance of the Common Area ("Common Area Maintenance Costs") and for the performance of other obligations imposed on Operator pursuant to this Declarant, and shall promptly pay all such costs when incurred. Within thirty (30) days following the commencement of such maintenance and operation, Operator shall provide the Declarant an estimated budget for the balance of the current calendar year containing the information required by Section 4.3.2, and each Party shall pay its share of Common Area Maintenance Costs actually incurred during the balance of such year, plus the Administration Fee (defined below), in accordance with Section 4.3.3. Operator may hire companies affiliated with it to perform the maintenance and operation of the Common Area, but only if Operator can clearly establish that the rates charged by such affiliates are competitive with those of other companies furnishing similar services in the metropolitan area in which the Shopping Center is located. Each Party hereby grants to Operator, its agents, contractors and employees, a license to enter upon its Parcel to discharge Operator's duties to operate and maintain the Common Area. Notwithstanding anything to the contrary, Common Area Maintenance Costs shall not include:

- (3) Any late charges or fees; any cost, fee, fine, penalty or similar charge arising out of or resulting from any violation by Operator or anyone else relating to the Shopping Center.
- (4) Any costs for electricity for Building accent lighting or architectural features, or any Building security lighting. Also, any costs to a Party for electricity to illuminate the Common Area if that Party separately pays the costs of power to illuminate the Common Area on its Parcel.
- (5) Any costs to a Party for water to irrigate landscaping in the Common Area if that Party separately pays the cost of water to irrigate the landscaping in the Common Area on its Parcel. Also, any cost to a Party for replacing landscape plantings, trees and shrubs due to dehydration in the

Common Area if that Party has an irrigation system installed in the Common Area.

- (6) Any costs for promotional, marketing, seasonal or holiday events of any type including costs of promotional equipment, banners, decorations and/or lighting, or the cost of set up, take down or storing any of the foregoing.
- (7) Any costs to clean up or repair the Common Area resulting from any promotional, marketing, seasonal or holiday activities, or from construction, maintenance or replacement of a Party's Buildings.
- (8) Any costs associated with trash and/or garbage removal from a Party's Building, such removal obligation being the responsibility of the Party owning the Building.
- (9) Any costs for "day porter" services or other manual removal of papers, debris, trash, filth, and refuse.
- (10) Any costs to a Party for security monitoring systems covering the Common Area if that Party has installed and separately operates a security monitoring system covering the Common Area on its Parcel.
- (11) Any costs resulting from or arising out of the repair or replacement of items covered by warranties or guaranties including site improvements, signs, trees, plants or other landscaping. Also, any costs for replacement of landscape plantings, trees and shrubs during the initial twelve (12) months of any delegation of operation and maintenance to Operator pursuant to this Section 4.3.1 regardless of whether covered by warranties or guaranties.
- (12) Other than for a resurfacing, resealing and restriping of drive and parking areas which are considered maintenance items, any costs for replacement of base for drive and parking areas, such replacement being a "capital improvement" which is the responsibility of the Party owning the Parcel pursuant to Sections 4.2.1 and 4.2.2.
- (13) Any costs relating to the items referenced in Section 4.2.1(K), which items shall remain the responsibility of the Party owning the affected Parcel.

- (14) Any matters covered by Section 4.4, which items shall remain the responsibility of the Party owning the affected Parcel.
- (15) Real property taxes and assessments on the Common Area.
- (16) Insurance costs and/or premiums regardless of whether any such insurance is required by this Declarant.
- (17) Operator's profit, administrative costs, overhead costs and all other direct and indirect costs including: office space, equipment and utilities; legal fees and/or costs; accounting and administrative service; Operator's personnel who are not permanently located at the Shopping Center; premiums relating to bonding over mechanic's liens; and costs relating to hiring, training, screening, drug testing and/or background checks of personnel.
- (18) Any fee or charge relating to the management and/or supervision of the operation of the Common Area, or any part thereof, paid to a third party, commercial management company or similar provider.
- (19) Entertainment, transportation, meals and lodging of anyone.
- (20) Any fee, assessment or charge for fire hydrants to a Party that separately pays such kind of imposition for fire hydrants located on its Parcel.
- (21) Any costs, fees expenses and/or adjustments related to any Common Maintenance Costs submitted more than three (3) years after the date incurred by Operator.
- (22) The cost of any "capital improvements" since such work is not the responsibility of Operator but the responsibility of the owner of such Parcel pursuant to Section 4.2.1 and Section 4.2.2.

(B) Administration Fee; Operator's Personnel. In lieu of the costs set forth in Section 4.3.1(A)(15) above, Operator may charge an amount ("Administration Fee") computed by multiplying Common Area Maintenance Costs (exclusive of utility charges, and the portion of single purpose expenditures that exceeds \$25,000), by three percent (3%). If any of Operator's personnel at the Shopping Center perform services, functions or tasks in addition to Common Area duties, then the cost of such personnel

shall be equitably allocated according to time spent performing such duties.

The cost of work performed by Operator's personnel and/or affiliates that is includable in Common Area Maintenance Costs shall be charged at such individual's normal (no mark-up) hourly basis, including benefits; provided, however, that Operator must clearly establish that the total rate charged for such individual shall not exceed the rate charged for such work by competitive companies furnishing similar work in the metropolitan area in which the Shopping Center is located.

4.3.2 Budget. Operator shall, at least ninety (90) days prior to the beginning of each calendar year during the term of this Declaration, submit to the Declarant an estimated budget ("**Budget**") for Common Area Maintenance Costs and the Administration Fee for operating and maintaining the Common Area for the ensuing calendar year. If the Declarant believes the charge for a particular function is excessive, the Declarant shall notify Operator of such belief, and thereupon Operator shall obtain no fewer than two (2) competitive bids for such function. Unless the existing provider's cost is lower, the lowest acceptable bidder shall be utilized as soon as the contract with the existing provider can be terminated without penalty.

(A) Form of Budget. The Budget shall be in a form and content reasonably acceptable to the Declarant and shall identify separate cost estimates for at least the categories specified under Section 4.2.1, plus:

- (1) The Administration Fee.
- (2) Rental fees or purchase price of equipment and supplies used in maintaining, operating or repairing the Common Area.
- (3) Credit for any depreciation or trade-in allowance applicable to items purchased for Common Area purposes.
- (4) Maintenance of Signs pursuant to Section 5.3.1.
- (5) Maintenance of any Common Utility Line.
- (6) Any single purpose expenditure over \$25,000.
- (7) If applicable to any items within the Budget, any adjustment in Constant Dollars pursuant to Section 1.5.

(B) Phased Work. If an item of maintenance is to be accomplished in phases over a period of calendar years during the term of this Declaration, such as an overlay of the drive and/or parking areas, then the Budget shall separately identify the cost attributable to the applicable calendar year (including the portion of the Common Area affected) and shall note the

anticipated cost and timing (indicating the portion of the Common Area affected) of such phased work during succeeding calendar years. The cost of approved "phased" work shall be paid by the Parties approving the same, or their successors and assigns, as the case may be, notwithstanding that such Party may not be participating in the joint maintenance of the Common Area when such work is performed or that such successor and assign may not have been a Party at the time of such approval.

- (C) Unapproved Budgets. If the Declarant disapproves the proposed Budget, it shall consult with the Operator to establish a final approved Budget. If a Budget for any calendar year is not approved (including the failure of Operator to submit a Budget) by December 1st of the preceding calendar year, Operator may, by notice given before December 10th of such preceding calendar year, terminate its operation and maintenance obligation with respect to the Common Area located on the Parcel of the Declarant as of the following March 31st. If such notice is given, commencing on the following April 1st, the Declarant shall (i) operate and maintain the Common Area on its Parcel, (ii) pay all costs and expenses incurred in connection with the operation and maintenance of the Common Area on its Parcel and (iii) be obligated to pay the Continuing Functions Contribution (defined in Section 4.3.5). Operator shall continue to maintain and operate the balance of the Common Area covered by its obligations (including the Continuing Functions (defined in Section 4.3.5)). During the period from January 1st to March 31st, the Declarant shall pay its share of the operation and maintenance of the Common Area pursuant to Section 4.3.3. If such notice is not timely given, then Operator shall continue to maintain and operate all of the Common Area located on the Parcel of the Declarant for the next calendar year, and the items of disagreement shall be resolved as part of the Reconciliation process. Approval of the Budget, or any of the line items comprising a part thereof, shall not be considered a waiver of a Party's right to audit and/or contest, challenge or dispute the Reconciliation (defined in Section 4.3.3 below).
- (D) Emergency Repairs. Operator shall use its diligent, good faith efforts to operate and maintain the Common Area in accordance with the Budget. Notwithstanding the foregoing, Operator may make emergency repairs to the Common Area to prevent injury or damage to Persons or property, it being understood that Operator shall nevertheless advise each Party of such emergency condition as soon as reasonably possible, including the corrective measures taken and the cost thereof. If the cost of the emergency action exceeds \$10,000.00 in Constant Dollars, then Operator shall submit a supplemental billing to each Party, together with evidence supporting such cost, and each Party shall pay its share thereof within thirty (30) days after receipt of such billing. If the cost limitation set forth above is not

exceeded then such costs shall be included as part of Common Area Maintenance Costs for that year.

4.3.3 Allocation, Payment and Reconciliation.

- (A) Allocation. Common Area Maintenance Costs and the Administration Fee shall be allocated shall be allocated based on Tract size as follows:
- (1) To the Target Tract: 84.3%
 - (2) To Outparcel 1: 9.3%
 - (3) To Outparcel 2: 6.4%
- (B) Division of Parcels. If an existing Parcel within the Target Tract is divided, the Party causing such division shall, at its expense, prorate the allocation of Common Area Maintenance Costs and the Administration Fee attributable to the original Parcel between the newly created Parcels, file a recorded declaration confirming such allocation and deliver a copy of such declaration to Operator and each other Party.
- (C) Payment. Each Party shall pay to Operator in equal monthly payments, in advance, the share of Common Area Maintenance Costs and the Administration Fee attributable to such Party's Parcel based either upon the amount set forth in the approved Budget or, if a Budget is not approved, then the lesser of the amount set forth in the unapproved Budget or the monthly payment established for such Party for the prior year. Notwithstanding the provision for determining the amount of payment set forth in the immediately preceding sentence, if a Budget is not approved because Operator elected not to submit a Budget for consideration at least sixty (60) days prior to the beginning of the calendar year, then the Declarant not receiving a Budget may use its reasonable judgment to determine the amount of the Budget for the next calendar year, and each Party represented by such Declarant shall pay to Operator monthly, in advance on the first day of the month, payments attributable to such Party's Parcel, based on the amount of the Budget established by the Declarant.
- (D) Reconciliation. Within sixty (60) days after the end of each calendar year, Operator shall provide each Party with a statement certified by an authorized Person, together with supporting invoices and other materials setting forth the actual Common Area Maintenance Costs paid by Operator for the operation and maintenance of the Common Area (such statement and supporting data are collectively called the "Reconciliation"), the Administration Fee, and the share of the aggregate thereof that is attributable to each Party's Parcel. The Reconciliation shall separately

identify cost categories specified in Sections 4.2.1 and 4.3.2, shall identify any discrepancies with the approved Budget and shall be in a form reasonably acceptable to the Declarant. If the amount paid with respect to a Parcel for such calendar year shall have exceeded the share allocable to such Parcel, Operator shall refund by check the excess to the Party owning such Parcel at the time the Reconciliation is delivered. If the amount paid with respect to a Parcel for such calendar year shall be less than the share allocable to such Parcel as shown on the approved Budget, the Party owning such Parcel at the time such Reconciliation is delivered shall pay the balance of such Party's share to Operator within sixty (60) days after receipt of such Reconciliation, less any amounts disputed in writing, provided that the 60-day period only establishes the period for payment and is not to be construed as an acceptance of the Reconciliation; provided however, that Declarant shall not be obligated to make payments upon receipt of a Reconciliation if a Budget was never approved by the Declarant. A Party's review and dispute of a Reconciliation shall not limit such Party's right to audit Operator's books and records as set forth below. If Operator does not timely submit the Reconciliation, then such Party's payment period shall be extended an additional 60 days for a total of 120 days after receipt of the Reconciliation. If Operator does not refund amounts shown by the Reconciliation to be owed a Party, then such Party may offset the refund owed, plus Interest, against payments for Common Area Maintenance Costs and Administration Fee due for any future period. Notwithstanding anything contained herein to the contrary, if during a calendar year Operator resigns or is replaced, the replacement Operator shall be responsible for the Reconciliation adjustments, including any reimbursement due to a Party for such calendar year and all prior years; in addition for a period of sixty (60) days after a substitution of Operator is made, any payment made by a Party to the prior Operator shall be deemed properly paid, and the old and new Operators shall resolve any necessary adjustments and/or prorations regarding such payments between themselves.

- (E) Audit Rights. Within three (3) years after the date of receipt of a Reconciliation, each Party may audit Operator's books and records pertaining to the operation and maintenance of the Common Area for the calendar year covered by such Reconciliation. If a Party desires to conduct an audit at Operator's office, a Party shall notify Operator of such Party's intent to audit at least fifteen (15) days prior to the designated audit date. If any audit shall disclose any error in the determination of Common Area Maintenance Costs, the Administration Fee or any allocation thereof to a particular Parcel, the auditing Party shall provide Operator with a copy of the audit, and an appropriate adjustment shall be made forthwith. Notwithstanding anything to the contrary, the approval of a prior Reconciliation, or any line item comprising a part thereof, shall not be a

waiver of a Party's right to challenge subsequent Reconciliations regarding such line item. The cost of any audit shall be assumed by the auditing Party unless such Party shall be entitled to a refund in excess of three percent (3%) of the amount calculated by Operator as such Party's share for the applicable calendar year, in which case Operator shall pay the cost of such audit. If Operator does not respond to the results of such audit within ninety (90) days after receipt of the audit, then the auditing Party may offset the refund claimed, plus Interest, from the date Operator receives the audit, plus costs of the audit if appropriate, against subsequent payments due Operator; provided, however, Operator shall retain the right to dispute the results of such audit for a period of six (6) months following receipt of such audit, and Operator's election not to contest the results of such audit during the 6-month period shall be deemed acceptance of such audit.

4.3.4 Operator's Indemnity. Operator shall defend, indemnify and hold each Party harmless from and against any mechanic's, materialmen's and/or laborer's liens, and all costs, expenses and liabilities in connection therewith, including reasonable attorney's fees and court costs, arising out of the maintenance and operation by Operator of the Common Area and the performance of other functions expressly required of Operator by this Declaration, and if any Parcel shall become subject to any such lien, Operator shall promptly cause such lien to be released and discharged of record, either by paying the indebtedness which gave rise to such lien or by posting such bond or other security as shall be required by law to obtain such release and discharge.

4.3.5 Common Area Maintenance Take Over Rights. Declarant may, upon giving not less than sixty (60) days' notice to Operator, take-over and assume the operation and maintenance of the Common Area on the Parcel(s) owned by Declarant. Following the effective date of such take-over and assumption, Declarant shall operate and maintain the Common Area on its Parcel(s), and shall pay all costs and expenses incurred in connection therewith; provided, however, Operator shall continue to operate and maintain (i) Common Utility Lines, including any detention/retention ponds, regardless of location, but only if Declarant elects to participate therein by notice to Operator, and (ii) the Common Area security program, if any, but only if Declarant elects to participate therein by notice to Operator (collectively, the "Continuing Functions"). Upon the effective date of such take-over and assumption, Declarant shall be released from the obligation to contribute towards Common Area Maintenance Costs for the balance of the Common Area, except with respect to the Continuing Functions for which continued participation is mandatory or elected, and the Administration Fee payable by Declarant shall be based only on the cost of the Continuing Functions. The share of the cost of the Continuing Functions (the "Continuing Functions Contribution") to be paid by Declarant shall be paid in accordance with the allocation set forth in Section 4.3.3 so long as Operator is responsible for such functions; provided however, that all amounts payable by Declarant will be paid at end of each calendar year. Operator shall continue to operate and maintain the balance of the Common Area in accordance with the standards set forth herein.

- (A) Right to Opt-In. Declarant may cause Operator to resume the operation and maintenance of the Common Area on the Parcel owned by Declarant upon the satisfaction of the following conditions: (i) Declarant shall give Operator at least sixty (60) days prior notice of Declarant's intention to have Operator resume the operation and maintenance of the Common Area on its Parcel, provided, however, such date for resumption shall always be the first day of a calendar quarter; and (ii) before the date established for Operator to resume the maintenance and operation thereof, Declarant shall, at its sole cost and expense, cause the Common Area on its Parcel to be at least equal to the same condition of maintenance then existing on the other portions of the Common Area then being maintained by Operator. Provided the conditions set forth in (i) and (ii) above are satisfied, concurrently with the designated date, Operator shall resume full operation and maintenance of the Common Area located on the Parcel owned by Declarant and Declarant shall be responsible for its share of Common Area Maintenance Costs as set forth in Section 4.3.3 so long as Operator is responsible for such functions.

4.3.6 Security Take Over Rights. Without limiting Declarant's rights under Section 4.3.5 above, Declarant may, upon giving not less than sixty (60) days' notice to Operator, take-over and assume the responsibilities relating to security measures as set forth in Section 4.2.1(I) above with respect to the Common Area on the Parcel(s) owned by Target. Following the effective date of such take-over and assumption, Declarant shall, at its sole cost and expense, provide security measures for the Common Area on the Parcel(s) owned by Declarant, including personnel, if reasonably necessary with respect thereto. Operator shall continue to operate and maintain all other obligations set forth under Section 4.2.1 with respect to the Common Area on the Parcel(s) owned by Declarant, including operation and maintenance of security measures for the balance of the Common Area. Upon the effective date of such take-over and assumption, Declarant shall be released from the obligation to contribute towards the cost of providing security measures under Section 4.2.1(I) above. Declarant shall remain obligated to pay for its share of the balance of Common Area Maintenance Costs and the Administration Fee although the Administration Fee shall be calculated with an exclusion for costs of security measures pursuant to Section 4.2.1(I). Declarant may, upon giving not less than sixty (60) days' notice to Operator, designate a date (which shall always be the first day of a calendar quarter) upon which Operator must resume providing security measures as set forth in Section 4.2.1(I) for the Common Area on the Parcel owned by Declarant and upon such date Declarant shall be responsible for its share of the Common Area Maintenance Costs for providing security measures pursuant to Section 4.2.1(I).

4.3.7 Reallocation of Common Area Maintenance Costs. If at any time (i) Declarant has elected to take over operation and maintenance of the Common Area on the Parcel(s) owned by Declarant pursuant to Section 4.3.5, (ii) Declarant has elected to take-over and assume responsibility for security measures pursuant to Section 4.3.6, (iii) a Party separately pays an amount that would otherwise be part of Common Area Maintenance Costs, such as referenced in Section 4.3.1 (A)(2) and (3), then allocation of Common Area Maintenance Costs

to the remaining Parties in each such circumstance shall be based on a fraction, the numerator of which is each Party's designated percentage share set forth above in Section 4.3.3, and the denominator of which is the total designated percentage shares of the remaining Parties.

4.4 Building; Outside Sales Area and Outside Storage Area.

4.4.1 Standard of Maintenance. After completion of construction of each such improvement on its Parcel, each Party shall maintain and keep the Buildings, the areas referred to in the last paragraph of Section 4.2.1, any Outside Sales Area and any Outside Storage Area in first class condition and state of repair, in compliance with all Governmental Requirements, and in compliance with the provisions of this Declaration, including either the Theme or the exterior architectural concept approved for such Building by the Declarant. Each Party shall store all trash and garbage from its Buildings in adequate containers, to locate such containers so that they are not readily visible from the parking area, and to arrange for regular removal of such trash or garbage. Exterior Building lighting fixtures, including any light fixtures associated with a canopy or other architectural feature forming a part of such Building, shall be maintained, replaced and repaired as part of Building maintenance.

4.4.2 Casualty. If any of the Buildings in the Shopping Center are damaged by fire or other casualty (whether insured or not), the Party upon whose Parcel such Building is located shall, subject to Governmental Requirements and/or insurance adjustment delays, immediately remove the debris resulting from such casualty and provide a sightly barrier, and within a reasonable time thereafter shall either (i) repair or restore the Building so damaged to a complete unit, such repair or restoration to be performed in accordance with all provisions of this Declaration, or (ii) erect another Building in such location, such construction to be performed in accordance with all provisions of this Declaration, or (iii) demolish the damaged portion and/or the balance of such Building and restore the cleared area to either a hard surface condition or a landscaped condition in which event the area shall be Common Area until a replacement Building is erected. Such Party may choose which of the foregoing alternatives to perform, but such Party shall be obligated to perform one (1) of such alternatives. Such Party shall give notice to each other Party within ninety (90) days from the date of such casualty of which alternative such Party elects.

ARTICLE V – OPERATION OF THE SHOPPING CENTER

5.1 Uses.

5.1.1 Retail Use Generally. The Shopping Center may only be used for retail sales, offices, Restaurants or other commercial purposes permitted by this Declaration. "Business Office" means an office which does not provide services directly to consumers; "Retail Office" means an office which provides services directly to consumers, including financial institutions, real estate, stock brokerage and title companies, travel and insurance agencies, and medical, dental and legal clinics. No more than ten percent (10%) of the total Floor Area on the Outparcels may be used for Retail Office and/or Business Office purposes; provided, however, that office space used by an Occupant for administrative purposes, and which

is not open to the general public, will not be considered Retail Office or Business Office for the purpose of this limitation.

5.1.2 Shopping Center Restrictions. No use is permitted in the Shopping Center that is inconsistent with the operation of a first class retail shopping center. Without limiting the generality of the foregoing, the following uses are not permitted:

- (A) Any use which emits an obnoxious odor, noise or sound that can be heard or smelled outside of any Building in the Shopping Center.
- (B) An operation primarily used as a storage warehouse operation, and any assembling, manufacturing, distilling, refining, smelting, agricultural or mining operation.
- (C) Any "second hand" store, "surplus" store, or pawn shop.
- (D) Any mobile home park, trailer court, labor camp, junkyard, or stockyard; provided, however, this prohibition is not applicable to the temporary use of construction trailers during periods of construction, reconstruction or maintenance.
- (E) Any dumping, disposing, incineration or reduction of garbage; provided, however, this prohibition is not applicable to garbage compactors located near the rear of any Building.
- (F) Any fire sale, bankruptcy sale (unless pursuant to a court order) or auction house operation.
- (G) Any central laundry, dry cleaning plant or laundromat; provided, however, this prohibition is not applicable to nominal supportive facilities for on-site service oriented to pickup and delivery by the ultimate consumer as the same may be found in retail shopping centers in the metropolitan area where the Shopping Center is located.
- (H) Any (i) automobile, truck, trailer or recreational vehicle sales, leasing, or display operation, (ii) car wash or (iii) body shop repair operation.
- (I) Any bowling alley or skating rink.
- (J) Any movie theater or live performance theater.
- (K) Any hotel, motel, short or long term residential use, including: single family dwellings, townhouses, condominiums, other multi-family units, and other forms of living quarters, sleeping apartments or lodging rooms.

- (L) Any veterinary hospital or animal raising or boarding facility; provided, however, this prohibition is not applicable to pet shops. Notwithstanding the foregoing exception, any veterinary or boarding services provided in connection with the operation of a pet shop may only be incidental to such operation; the boarding of pets as a separate customer service is prohibited; all kennels, runs and pens must be located inside the Building; and the combined incidental veterinary and boarding facilities may occupy no more than fifteen percent (15%) of the Floor Area of the pet shop.
- (M) Any mortuary or funeral home.
- (N) Any establishment selling or exhibiting "obscene" material.
- (O) Any establishment selling or exhibiting illicit drugs or related paraphernalia.
- (P) Any establishment which exhibits either live or by other means to any degree, nude or partially clothed dancers or wait staff. In addition, no Restaurant use is permitted that requires personnel to wear a uniform that a reasonable person would consider to be sexually provocative (e.g., so-called hot pants and short shorts, shorts not covering the entire buttocks, tight-fitting or otherwise revealing tank tops or halter tops).
- (Q) Any bar, tavern, Restaurant or other establishment whose reasonably projected annual gross revenues from the sale of alcoholic beverages for on-premises consumption exceeds thirty percent (30%) of the gross revenues of such business.
- (R) Any massage parlor or similar establishment. This prohibition is not applicable to first class establishments offering therapeutic massages performed by licensed massage therapists, such as Massage Envy as operating as of the date of this Declaration, provided that such use must not exceed 3,500 square feet in Floor Area and, if located on an Outparcel, must be at least 150 feet away from the Target Tract.
- (S) Any health spa, fitness center or workout facility exceeding 3,500 square feet of Floor Area, and in no event will any such operation on the Outparcels be located within three hundred (300) feet of the Target Tract.
- (T) Any flea market, amusement or video arcade, pool or billiard hall or dance hall.
- (U) Any training or educational facility, including: beauty schools, barber colleges, reading rooms, places of instruction or other operations catering primarily to students or trainees rather than to customers; provided,

however, this prohibition is not applicable to on-site employee training by an Occupant incidental to the conduct of its business at the Shopping Center.

- (V) Any gambling facility or operation, including: off-track or sports betting parlor; table games such as blackjack or poker; slot machines, video poker/blackjack/keno machines or similar devices; or bingo hall. Notwithstanding the foregoing, this prohibition is not applicable to government sponsored gambling activities or charitable gambling activities, so long as such activities are incidental to the business operation being conducted by the Occupant.
- (W) Any firearms testing or firing range, or the sale or display of any type of firearms or ammunition, except that a sporting goods retailer may sell and display firearms and ammunition as an incidental part of its business.

5.1.3 Hazardous Materials. No Party may use, or permit the use of, Hazardous Materials on, about, under or in its Parcel, or the balance of the Shopping Center, except in the ordinary course of its usual business operations conducted thereon, and any such use shall at all times be in compliance with all Environmental Laws.

- (A) Notwithstanding the indemnity set forth in Section 5.4.1 below, each Party shall defend, protect, indemnify and hold harmless each other Party from and against all claims or demands, including any action or proceeding brought thereon, and all costs, losses, expenses and liabilities of any kind relating thereto, including costs of investigation, remedial or removal response, and reasonable attorneys' fees and cost of suit, arising out of or resulting from any Hazardous Material used or permitted to be used by such Party, whether or not in the ordinary course of business.
- (B) For the purpose of this Section 5.1.3, (i) "Hazardous Materials" means and refer to the following: petroleum products and fractions thereof, asbestos, asbestos containing materials, urea formaldehyde, polychlorinated biphenyls, radioactive materials and all other dangerous, toxic or hazardous pollutants, contaminants, chemicals, materials, substances and wastes listed or identified in, or regulated by, any Environmental Law, and (ii) "Environmental Laws" means and refer to the following: all federal, state, county, municipal, local and other statutes, laws, ordinances and regulations which relate to or deal with human health or the environment, all as may be amended from time to time.

5.1.4 Use of Common Areas. No merchandise, equipment or services, including vending machines, promotional devices and similar items, may be displayed, offered for sale or

lease, or stored within the Common Area; provided, however, the foregoing prohibition is not applicable to:

- (A) the storage of shopping carts on the Target Tract;
- (B) the installation of an "ATM" banking facility within an exterior wall of any Building;
- (C) the seasonal display and sale of bedding plants on the sidewalk in front of any Building located on the Target Tract;
- (D) the placement of bicycle racks and landscaping planters on the sidewalk in front of any Building;
- (E) the placement of spherical bollards (Target's brand) on the sidewalk in front of any Building on the Target Tract;
- (F) temporary Shopping Center promotions, except that no promotional activities are allowed in the Common Area without the prior written approval of the Declarant;
- (G) any recycling center required by law, the location of which shall be subject to the approval of the Declarant;
- (H) outdoor seating shown on the Site Plan;
- (I) any designated Outside Storage Area; or
- (J) any designated Outside Sales Area; provided, however, with respect to any Outside Sales Area which is not included within a Building Area, such space may be used not more than three (3) times per calendar year, and the duration of such use shall be subject to the following limitations: during the period commencing on October 15th and ending on December 27th -- no limitation on the number of days of consecutive use; during the period commencing February 15th and ending on July 10th -- not more than one hundred twenty-five (125) consecutive days of use; and, during any other period -- not more than thirty (30) consecutive days of use.

5.1.5 Outparcel Restrictions. The following use and occupancy restrictions are applicable to the Outparcels:

- (A) No use utilizing or operating a drive thru.
- (B) No more than one (1) Restaurant (including Quick Service Restaurant) on each Outparcel.

- (C) No toy store exceeding five thousand (5,000) square feet of Floor Area is permitted.
- (D) No store, department or operation of any size selling or offering for sale any pharmaceutical drugs requiring the services of a licensed pharmacist is permitted.
- (E) No pet shop is permitted.
- (F) No gas station and/or other facility that dispenses gasoline, diesel or other petroleum products as fuel is permitted.
- (G) No automotive service/repair station or any other facility that both sells and installs any lubricants, tires, batteries, transmissions, brake shoes or any other similar vehicle accessories is permitted.
- (H) No liquor store offering the sale of alcoholic beverages for off-premises consumption is permitted, except Wine Styles or another similar upscale wine or liquor store may have up to 3,500 square Feet of Floor Area, (provided the Occupant of such store shall not place banners or similar temporary signs on the exterior of the Building or on or near the windows of such Building).
- (I) No grocery store, supermarket, convenience store or other store, or department within a store, for the sale of food and/or beverages, is permitted, except that two Occupants may use up to two thousand (2,000) square feet of Floor Area each for the display for sale of such products. One-half of the aisle space adjacent to any display of such products will be included in calculating Floor Area for purposes of this subsection. Restaurants are not prohibited on the basis of this subsection.
- (J) No "dollar" (or any increment of a dollar) store or other similar variety discount type stores such as those operated on the date of this Declaration under the trade name Dollar Tree, Family Dollar, 99 cents Only, and Five Below is permitted.
- (K) No department store, discount department store or junior department store containing more than 50,000 square feet of Floor Area is permitted.
- (L) No Membership Wholesale Club, as defined below, is permitted. "Membership Wholesale Club" means a general merchandise store that sells merchandise in bulk and limits sales to individuals, businesses, or organizations who have purchased a membership in order to shop at the

store, such as those operated on the date of this Declaration under the trade name Costco, Sam's Club and BJ's Wholesale Club.

5.1.6 Shopping Center Name. The names "Target", "Greatland", "SuperTarget" or any variation using the name "Target" may not be used to identify the Shopping Center or any business or trade conducted on the Outparcels. Until the Declarant designates a name change, the Shopping Center shall be called "Albuquerque Uptown."

5.1.7 No Charge for Use of Common Area. Except to the extent required by law, no Permittee may be charged for the right to use the Common Area; provided, however, for the purpose of this provision, a tax assessment or other form of governmental charge applicable to parking spaces or parking lots shall be deemed by the Declarant an imposition required by law.

5.1.8 Employee Parking. Each Party shall use reasonable efforts to cause the employees of the Occupants of its Parcel to park their vehicles only on such Parcel.

5.1.9 No Operating Covenants. This Declaration is not intended to, and does not, create or impose any obligation on a Party to operate, or continuously operate, a business or any particular business at the Shopping Center or on any Parcel.

5.2 Lighting.

5.2.1 Minimum Lighting Period. After completion of the Common Area lighting system on its Parcel, each Party shall keep its Parcel fully illuminated from dusk to at least 10:30 p.m. unless the Declarant agrees upon a different time. Each Party shall also keep any exterior Building security lights on from dusk until dawn. During the term of this Declaration, each Party grants an irrevocable license to each other Party for the purpose of permitting the lighting from one Parcel to incidentally shine on the adjoining Parcel.

5.2.2 Additional Lighting Hours. It is recognized that Occupants within the Shopping Center may be open for business at different hours, and that a Party may wish to have the Common Area lights on another Parcel be illuminated before or after the required time period. Accordingly, a Party ("Requesting Party") may, at any time, to require the Party that controls the lighting on such Parcel ("Requested Party") to keep the Common Area lights it controls operating as stipulated by the Requesting Party, provided that the Requesting Party notifies the Requested Party of such request not less than fifteen (15) days in advance.

(A) The Requesting Party shall state the period during which it wishes such Common Area lights to be kept operating and shall pay to the Requested Party a prepayment as follows:

- (1) If the period is less than thirty (30) days, then the prepayment shall be one hundred ten percent (110%) of the reasonable cost for such additional operation (including

electrical power, bulbs and manpower), as estimated by the Requested Party; and

- (2) If the period is thirty (30) days or longer, then the prepayment shall be one hundred ten percent (110%) of the reasonable cost for such additional operation (including electrical power, bulbs and manpower) for thirty (30) days, as estimated by the Requested Party, and the Requesting Party shall renew such prepayment at the end of each thirty (30) day period.

- (B) If the Requesting Party believes that the estimated prepayment established by the Requested Party is greater than one hundred ten percent (110%) of such additional operation, the Parties shall attempt to agree upon the cost of such additional operation but if they cannot do so, then the amount the Requesting Party is obligated to pay shall be estimated by the electrical utility company furnishing such power, or if the electrical utility company elects not to do so, by a reputable electrical engineer. Upon the failure of a Requesting Party to pay the estimated amount or renew a prepayment as required hereby, the Requested Party may discontinue such additional lighting and to exercise any other remedies herein provided. Any such request for additional lighting may be withdrawn or terminated at any time by notice from the Requesting Party, and a new request or requests for changed hours of additional operation may be made from time to time.

5.3 Occupant Signs.

5.3.1 Freestanding Signs. No freestanding sign is permitted within the Shopping Center unless constructed in one of the specific areas designated on the Site Plan and only one (1) such sign structure may be located in each sign area.

- (A) Design Criteria. Each sign structure ("Sign") shall be utilized as follows:

"Target Signs": The initial design criteria for these sign structures and identification panel designations thereon are shown on Exhibit B ("Sign Exhibit") as M1, M2 and M3. Declarant may attach identification panels to the Target Signs for Occupants of the Target Tract.

"Outparcel Sign": The initial design criteria for this sign structure and identification panel designation thereon is shown on the Sign Exhibit. Two (2) identification panel may be attached to each side of the Outparcel Sign for up to four (4) Occupants of Outparcel 1.

“Directional/Wayfinding Signs”: The initial design these sign structures and identification panel designations thereon are all other signs shown on the Sign Exhibit except for the Target Signs and the Outparcel Sign.

- (B) Construction and Maintenance. Declarant shall cause the Target Signs to be constructed in the locations designated on the Site Plan. The owner of Outparcel 1 shall cause the Outparcel Sign to be constructed in the location designated on the Site Plan. Declarant and the owner of Outparcel 1 shall cause their respective identification panels to be attached to the various Signs when desired. Once constructed, (a) the Target Signs shall be maintained by Operator and such costs shall be part of Common Area Maintenance Costs except that if Declarant is maintaining the Target Tract, then Declarant shall perform such maintenance at its cost and expense, and (b) the Outparcel Sign shall be maintained by the owner of Outparcel 1 at its sole cost and expense.
- (C) Identification Panels. Each Party shall cause the identification panel (including any backlit lighting) of its Occupant attached to or forming a part of a Sign to be maintained at its sole cost and expense pursuant to Governmental Requirements, in a safe condition and in a good state of repair. If a Party elects not to attach an identification panel to a Sign for which it is permitted to do so when initially constructed, but later decides to have its Occupant's identification panel attached thereto, then the Party making such later decision shall pay all costs, regardless of nature or origin, necessary to permit the attachment of such identification panel to such Sign; provided however, that none of the previously attached identification panels on such Sign shall be required to be modified or relocated in order to permit the attachment of such additional identification panel.

5.3.2 Building Signage. Any Occupant occupying less than twenty-five thousand (25,000) square feet of Floor Area may have only one (1) identification sign placed on the exterior of the Building it occupies; provided, however, that if the space occupied by any such Occupant is located at a corner of a Building or is the entire Building, then such Occupant may have one (1) exterior identification sign on each of two (2) sides of the occupied Building. Any Occupant occupying at least twenty-five thousand (25,000) square feet of Floor Area may have more than one (1) identification sign placed on the exterior of the Building it occupies.

- (A) No identification sign attached to the exterior of a Building shall be:
- (1) Placed on canopy roofs extending above the Building roof, placed on penthouse walls, or placed so as to project more than two (2) feet above the parapet, canopy or top of the wall upon which it is mounted.

- (2) Placed at any angle to the Building; provided, however, the foregoing shall not apply to any sign located under a sidewalk canopy if such sign is at least eight (8) feet above the sidewalk.
 - (3) Painted on the surface of any Building.
 - (4) Flashing, moving or audible.
 - (5) Made utilizing (i) exposed neon tubes, (ii) exposed LEDs (light emitting diodes), (iii) exposed ballast boxes, (iv) exposed transformers, or (v) exposed raceways unless such exposed raceways comply with the all of the following requirements: (a) the raceways shall not exceed eight inches (8") in depth and/or twelve (12") in height; (b) the color of the raceways are the same color as the materials upon which such raceways are located; (c) all transformers are remote mounted behind the Building fascia; and (d) the letters to be installed on the raceways do not exceed a height of thirty-six inches (36").
 - (6) Made of paper or cardboard, or be temporary in nature (exclusive of contractor signs), or be a sticker or decal; provided, however, the foregoing shall not prohibit the placement at the entrance of each Occupant's space of a small sticker or decal indicating hours of business, emergency telephone numbers, acceptance of credit cards and other similar items of information.
- (B) No Occupant of less than sixty thousand (60,000) square feet of Floor Area shall have an exterior sign which identifies leased departments and/or concessionaires operating under such Occupant's business or trade name, nor shall such sign identify specific brands or products for sale or services offered within a business establishment, unless such identification is used as part of the Occupant's trade name.

5.3.3 Leasing/Contractor Signage; Maintenance. Notwithstanding anything contained herein to the contrary, each Party may place within the Common Area located on its Parcel the temporary display of leasing information and the temporary erection of one (1) sign identifying each contractor working on a construction job on its Parcel. Each Party shall operate, maintain and repair, in a clean, sightly and safe condition, all signs, including components thereof, located upon its Parcel pursuant to Section 5.3.2 or the provisions hereof.

5.3.4 No Other Signage. Exclusive of signs permitted by Sections 5.3.2 and 5.3.3, no other form of exterior expressions, including pennants, pictures, notices, flags, seasonal decorations, writings, lettering, designs or graphics, shall be placed on or attached to the exterior of any Building. No "reader board" type sign shall be permitted within the Shopping Center.

5.4 Insurance.

5.4.1 Liability Insurance.

(A) Each Party (as to its Parcel only) shall maintain in full force and effect at least the minimum insurance coverages in Constant Dollars set forth below:

(1) Commercial General Liability Insurance with a combined single limit of liability of Five Million Dollars (\$5,000,000.00) in Constant Dollars for bodily injury, personal injury and property damage, arising out of any one occurrence. The other Parties shall be "additional insureds" under such policy as it applies to the insuring Party's Parcel. The insurance provided herein shall be considered "primary" insurance, and all limits of such policy shall be exhausted before insurance of another Party carried pursuant to this Section 5.4.1 is considered.

(2) Workers' compensation and employer's liability insurance:

(a) Worker's compensation insurance as required by any applicable law or regulation.

(b) Employer's liability insurance in the amount of \$1,000,000 each accident for bodily injury, \$1,000,000 policy limit for bodily injury by disease and \$1,000,000 each employee for bodily injury by disease.

(3) Automobile Liability Insurance for owned, hired and non-owned automobiles. The limits of liability shall not be less than \$1,000,000 combined single limit each accident for bodily injury and property damage.

(B) Each Party shall defend, protect, indemnify and hold harmless each other Party from and against all claims or demands, including any action or proceedings brought thereon, and all costs, losses, expenses and liability of any kind relating thereto, including reasonable attorneys' fees and cost of suit, arising out of or resulting from the injury to or

death of any Person, or damage to the property of any Person located on the Parcel owned by each indemnifying Party; provided, however, that if after such indemnity a court of law determines that such claim or demand was the result of negligence or the willful act or omission of the indemnified Party, then such indemnified Party shall reimburse the indemnifying Party for all reasonable expenses and/or costs incurred by such Party defending against such claim or demand to the extent of such fault.

5.4.2 Insurance During Construction.

(A) Before commencing any construction activities within the Shopping Center, each Party or Operator performing such activities shall obtain or require its contractor to obtain and thereafter maintain so long as such construction activity is occurring, at least the minimum insurance coverages in Constant Dollars set forth below:

(1) Workers' compensation and employer's liability insurance:

(a) Worker's compensation insurance as required by any applicable law or regulation.

(b) Employer's liability insurance in the amount of \$1,000,000 each accident for bodily injury, \$1,000,000 policy limit for bodily injury by disease and \$1,000,000 each employee for bodily injury by disease.

(2) Commercial General Liability insurance covering all operations by or on behalf of the contractor, which shall include the following minimum limits of liability and coverages:

(a) Required coverages:

(i) Premises and Operations.

(ii) Products and Completed Operations.

(iii) Contractual Liability, insuring the indemnity obligations assumed by contractor under the contract documents.

(iv) Broad Form Property Damage (including Completed Operations).

(v) Explosion, Collapse and Underground Hazards.

(vi) Personal Injury Liability.

(b) Minimum limits of liability:

(i) \$1,000,000 each occurrence (for bodily injury and property damage).

(ii) \$1,000,000 for Personal Injury Liability.

(iii) \$2,000,000 aggregate for Products and Completed Operations.

(iv) \$2,000,000 general aggregate applying separately to this project.

(3) Automobile liability insurance, including coverage for owned, hired and non-owned automobiles. The limits of liability shall not be less than \$1,000,000 combined single limit each accident for bodily injury and property damage. The contractor shall require each of his subcontractors to include in their liability insurance policies coverage for automobile contractual liability.

(4) The contractor shall also carry umbrella/excess liability insurance in the amount of \$5,000,000. If there is no per project aggregate under the Commercial General Liability policy, the limit shall be \$10,000,000.

(B) If the construction activities involve the use of another Parcel, then the constructing Party shall cause (x) the owner of such other Parcel to be an additional insured on each policy (for the Commercial General Liability policy, pursuant to a CG 2010 11-85 version Form B endorsement, or equivalent), (y) with respect to the work on such other Parcel, the coverage set forth in Section 5.4.2 (A)(2)(b)(iii) to be extended for a three (3) year period following final completion of work, and (z) each such policy to provide that the same shall not be cancelled, allowed to expire, nor reduced in amount or coverage below the requirements set forth above without at least thirty (30) days prior notice to each insured. If any of the insurance policies are cancelled, expire or the amount or coverage thereof is reduced below the level required, then all work and use of the other Parcel for the benefit of the

constructing Party shall immediately stop until either the required insurance is reinstated, or replacement insurance is obtained, and evidence thereof is given to the owner of such other Parcel.

5.4.3 Property Insurance. Effective upon the commencement of construction of any Building on its Parcel a Party or its contractor shall carry "Builder's Risk" insurance in the amount of one hundred percent (100%) of the full replacement cost thereof. In addition, so long as a Building exists on a Party's Parcel, such Party shall carry property insurance with "Special Form" coverage, in the amount of one hundred percent (100%) of full replacement cost thereof.

(A) Notwithstanding anything to the contrary in this Declaration, each Occupant (the "Releasing Occupant") hereby releases and waives for itself, and each Person claiming by, through or under it, each other Occupant (the "Released Occupant") from any liability for any loss or damage, to all property of such Releasing Occupant located upon any portion of the Shopping Center, which loss or damage is of a type covered or coverable by the insurance required to be maintained under this Section 5.4.3, irrespective of (i) any negligence on the part of the Released Occupant which may have contributed to or caused such loss, or (ii) the amount of such insurance required or actually carried, including any deductible or self insurance reserve. Each Releasing Occupant shall use reasonable efforts to obtain, if needed, appropriate endorsements to its policies of insurance, and to the policies of insurance carried by its Occupants, with respect to the foregoing release and waiver; provided, however, that failure to obtain such endorsements shall not affect the release and waiver hereinabove given. In addition, the Releasing Occupant's release and waiver shall include any claim for loss of rent and/or profits.

(B) Each Party shall defend, protect, indemnify and hold harmless each other Party from and against all claims or demands, including any action or proceeding brought thereon, and all costs, losses, expenses and liabilities of any kind relating thereto, including reasonable attorneys' fees and cost of suit asserted by or through any Occupant of the indemnifying Party's Parcel for any loss or damage to the property of such Occupant located upon the indemnifying Party's Parcel, which loss or damage is of a type covered or coverable by the insurance required to be maintained under this Section 5.4.3.

5.4.4 Operator's Insurance.

(A) During the period, if any, Operator is maintaining any portion of the Common Area, Operator shall maintain in full force and effect at least the minimum insurance coverages in Constant Dollars set forth below:

- (1) Commercial General Liability Insurance with a combined single limit of liability of Five Million Dollars (\$5,000,000.00) for bodily injury, personal injury and property damage, arising out of any one occurrence. Each Party shall be an "additional insured" under such policy applied as to Operator's operation and maintenance obligations under this Declaration. The insurance provided herein shall be considered "primary" insurance, and all limits of such policy shall be exhausted before insurance of another Party carried pursuant to this Declaration is considered.
 - (2) Workers' Compensation and Employer's Liability Insurance:
 - (a) Worker's compensation insurance as required by any applicable law or regulation.
 - (b) Employer's liability insurance in the amount of \$1,000,000 for each accident for bodily injury, \$1,000,000 policy limit for bodily injury by disease and \$1,000,000 each employee for bodily injury by disease.
 - (3) Automobile Liability Insurance for owned, hired and non-owned automobiles. The limits of liability shall not be less than \$1,000,000 combined single limit each accident for bodily injury and property damage.
- (B) Operator shall defend, protect, indemnify and hold harmless each Party from and against all claims or demands, including any action or proceeding brought thereon, and all costs, losses, expenses and liabilities of any kind, including reasonable attorneys' fees and cost of suit, asserted or incurred in connection with or arising out of the performance, or failure to perform, by Operator of its duties or obligations under this Declaration with respect to the maintenance and operation of the Common Area; provided, however, that if after such indemnity a court of law determines that such claim or demand was the result of negligence or the willful act or omission of the indemnified Party, then such indemnified Party shall reimburse the Operator for all reasonable expenses and/or costs incurred by Operator defending against such claim or demand to the extent of such fault.

5.4.5 Terms of Insurance. All insurance required by a Person pursuant to Section 5.4 shall be written on an occurrence basis and procured from companies rated by Best's Rating Guide not less than A-/X, and which are authorized to do business in the state where the

Shopping Center is located. All insurance may be provided under (i) a combination of primary and excess policies, (ii) an individual policy covering the Shopping Center, (iii) a blanket policy or policies which includes other liabilities, properties and locations of such Party; provided, however, that if such blanket commercial general liability insurance policy or policies contain a general policy aggregate of less than \$20,000,000 in Constant Dollars, then such insuring Party shall also maintain excess liability coverage necessary to establish a total liability insurance limit of \$20,000,000 in Constant Dollars, (iv) a plan of self-insurance, provided that any Party so self-insuring notifies the other Parties of its intent to self-insure and shall, upon request, deliver to such other Parties each calendar year a copy of its annual report that is audited by an independent certified public accountant which discloses that such Party has \$250,000,000 in Constant Dollars of both net worth and net current assets, or (v) a combination of any of the foregoing insurance programs. To the extent any deductible is permitted or allowed as a part of any insurance policy carried by a Party pursuant to this Section 5.4, such Party shall be deemed to be covering the amount thereof under an informal plan of self-insurance; provided, however, that in no event shall any deductible exceed \$50,000.00 in Constant Dollars unless such Party complies with the requirements regarding self-insurance pursuant to (iv) above. Each Party and Operator (if any) shall furnish to any Party requesting the same, a certificate(s) or memorandum(s) of insurance, or statement of self-insurance or the Web address where such insurance information is contained, evidencing that the insurance required to be carried by such Party or Operator is in full force and effect.

5.4.6 Additional Insured. Any insurance policy required under this Declaration that requires another Person to be added as an "additional insured" shall include the following provisions:

- (A) Shall provide that the policy shall not be canceled or reduced in amount or coverage below the requirements of this Declaration, nor shall such policy be allowed to expire without at least thirty (30) days prior notice by the insurer to each insured and to each additional insured.
- (B) Shall provide for severability of interests.
- (C) Shall provide that an act or omission of one (1) of the insureds or additional insureds which would void or otherwise reduce coverage, shall not reduce or void the coverage as to the other insureds.
- (D) Shall provide for contractual liability coverage with respect to any indemnity obligation set forth in this Section 5.4.

5.5 Taxes and Assessments. Each Party shall pay, prior to delinquency, all taxes and assessments with respect to its Parcel, the Building, and other improvements located thereon, and any personal property owned or leased by such Party in the Shopping Center, provided that if such taxes or assessments or any part thereof may be paid in installments, each Party may pay each such installment as and when the same becomes due and payable. Nothing contained herein shall prevent any Party from contesting at its cost and expense any taxes and assessments with respect to

its Parcel in any manner such Party elects, so long as such contest is maintained with reasonable diligence and in good faith. At the time such contest is concluded (allowing for appeal to the highest appellate court), the contesting Party shall promptly pay all taxes and assessments determined to be owing, together with all interest, penalties and costs thereon.

ARTICLE VI – MISCELLANEOUS

6.1 Default.

6.1.1 Notice of Default. The occurrence of any one or more of the following events constitutes a material default and breach of this Declaration by the non-performing Party (the “Defaulting Party”):

- (A) The failure to make any payment required to be made hereunder to another Party or Operator within ten (10) days after the due date.
- (B) The failure to observe or perform any of the covenants, conditions or obligations of this Declaration, other than as described in (A) above, within thirty (30) days after the giving of a notice by another Party (the “Non-Defaulting Party”) or Operator specifying the nature of the default claimed. Notwithstanding the foregoing, if such default cannot reasonably be cured within said 30-day period, then, provided the Defaulting Party notifies the Non-Defaulting Party or Operator, as the case may be, of such claimed inability to cure and the Defaulting Party begins to cure the default within said 30-day period and is diligently pursuing such cure, the Defaulting Party shall be entitled to additional time, not to exceed thirty (30) additional days, to cure such default.

6.1.2 Right to Cure Default. With respect to any default under Section 6.1.1(B), any Non-Defaulting Party or Operator may cure such default by the payment of money or the performance of some other action for the account of and at the expense of the Defaulting Party following the expiration of any applicable cure period; provided, however, that if such default constitutes an emergency condition, the Defaulting Party is only entitled to such advance notice as is reasonably possible under the circumstances or, if necessary, no notice, so long as notice is given as soon as possible thereafter. To effectuate any such cure, the Non-Defaulting Party or Operator which issued such notice may enter upon the Parcel of the Defaulting Party (but not into any Building) to perform any necessary work or furnish any necessary materials or services to cure the default of the Defaulting Party. Each Party is responsible for the default of its Occupants. If any Non-Defaulting Party or Operator cures a default, the Defaulting Party shall reimburse the Non-Defaulting Party or Operator, as the case may be, for all costs and expenses incurred in connection with such curative action within ten (10) days after receipt of demand therefor, together with reasonable documentation supporting the expenditures made.

6.1.3 Right of Offset. If a Defaulting Party does not reimburse the Non-Defaulting Party as set forth above, in addition to any other remedy available, the Non-Defaulting

Party may offset such amount owed against any current or future sum of money due the Defaulting Party until the full amount owed is recovered.

6.1.4 Right to Lien. The cost and expense incurred by a Party to cure a default of the type set forth in Section 6.1.1(B) in accordance with Section 6.1.2, plus Interest on all such sums, shall constitute a lien against the Defaulting Party's Parcel. Such lien shall attach and take effect only upon recordation of a claim of lien in the office of the Recorder of the County of the State in which the Shopping Center is located by the Party making such claim. The claim of lien must include the following:

- (A) The name of the lien claimant.
- (B) A statement concerning the basis for the claim of lien and identifying the lien claimant as a Non-Defaulting Party.
- (C) An identification of the owner or reputed owner of the Parcel or interest therein against which the lien is claimed.
- (D) A description of the Parcel against which the lien is claimed.
- (E) A description of the work performed which has given rise to the claim of lien and a statement itemizing the amount thereof.
- (F) A statement that the lien is claimed pursuant to the provisions of this Declaration, reciting the date and recordation hereof. The notice shall be duly verified, acknowledged and contain a certificate that a copy thereof has been served upon the Party against whom the lien is claimed, by personal service or by mailing pursuant to Section 6.4 below. The lien so claimed shall attach from the date of recordation solely in the amount claimed thereby and may be enforced in any judicial proceedings allowed by law, including a suit in the nature of a suit to foreclose a mortgage/deed of trust or mechanic's lien under the applicable provisions of the law of the State in which the Shopping Center is located. The lien shall be subject and subordinate to any mortgage or deed of trust which is of record before the claim of lien is placed of record.

6.1.5 Additional Remedies. Each Non-Defaulting Party may prosecute any proceedings at law or in equity against any Defaulting Party hereto, or any other Person, violating or attempting to violate or defaulting upon any of the provisions contained in this Declaration, and to recover damages for any such violation or default. Such proceeding shall include the right to restrain by injunction any violation or threatened violation by another Party or Person of any of the terms, covenants or conditions of this Declaration, or to obtain a decree to compel performance of any such terms, covenants or conditions because the remedy at law for a breach of any such term, covenant or condition (except those, if any, requiring the payment of a liquidated sum) is not adequate. All of the remedies permitted or available to a Party under this

Declaration or at law or in equity are cumulative and not alternative, and the invocation of any such right or remedy shall not constitute a waiver or election of remedies with respect to any other permitted or available right or remedy. If a Party brings an action of law or in equity to enforce the terms and provisions of this Declaration, the prevailing Party as determined by the Court in such action shall be entitled to recover reasonable attorneys' fees and court costs for all stages of litigation, including appellate proceedings, in addition to any remedy granted.

6.1.6 Operator's Default. If Operator fails to perform any of the provisions of this Agreement, which failure continues for a period of ten (10) days after receipt of notice from any Party specifying the particulars of such failure, such failure shall constitute a material default and any Party may thereafter (i) institute legal action against Operator for specific performance, declaratory or injunctive relief, monetary damages or any other remedy provided by law, (ii) perform the obligations of Operator specified in said notice of default the cost of which shall be reimbursed by Operator plus a ten percent (10%) administration fee, within ten (10) days after receipt of demand therefor and/or (iii) offset any amounts owed by Operator from amounts due Operator, including the costs of any curative action. Notwithstanding the foregoing, if such default cannot reasonably be cured within said 10-day period, then, provided Operator notifies the Non-Defaulting Party of such claimed inability to cure and Operator begins to cure the default within said 10-day period and is diligently pursuing such cure, Operator shall be entitled to additional time, not to exceed thirty (30) additional days, to cure such default.

6.1.7 No Obligation to Cure. The right to cure the default of another Party or Operator shall not:

- (A) Impose any obligation on a Non-Defaulting Party or Operator to do so.
- (B) Render the Non-Defaulting Party or Operator liable to the Defaulting Party or any third party for an election not to do so.
- (C) Relieve the Defaulting Party or Operator from any performance obligation hereunder.
- (D) Relieve the Defaulting Party or Operator from any indemnity obligation as provided in this Declaration.

6.2 Interest. Any time a Party or Operator, if any, does not pay any sum payable hereunder to another Party within five (5) days of the due date, such delinquent Party or Operator must pay interest ("**Interest**") on such amount from the due date to and including the date such payment is received by the Party entitled thereto, at the lesser of:

- (A) The highest rate permitted by law to be either paid on such type of obligation by the Party obligated to make such payment or charged by the Party to whom such payment is due, whichever is less.

- (B) The prime rate, plus three percent (3%). As used herein, "prime rate" means the rate of interest published from time to time as the "Prime Rate" in the Wall Street Journal under the heading "Money Rates"; provided, however, that (i) if more than one such rate is published therein the prime rate shall be the highest such rate and (ii) if such rate is no longer published in the Wall Street Journal or is otherwise unavailable, the prime rate shall be a substantially comparable index of short term loan interest rates charged by U.S. banks to corporate borrowers selected by the Declarant.

6.3 Estoppel Certificate.

- (A) Terms. Each Party and Operator (if any) shall upon written request (which shall not be more frequent than three (3) times during any calendar year) of any other Party or Operator, issue within thirty (30) days after receipt of such request to such Party, or its prospective mortgagee or successor, an estoppel certificate stating to the best of the issuer's knowledge as of such date:

- (1) Whether it knows of any default under this Declaration by the requesting Party, and if there are known defaults, specifying the nature thereof in reasonable detail.
- (2) Whether this Declaration has been assigned, modified or amended in any way by it and if so, then stating the nature thereof in reasonable detail.
- (3) Whether this Declaration is in full force and effect.

- (B) Issuance. Such estoppel certificate shall act to estop the issuer from asserting a claim or defense against a bona fide encumbrancer or purchaser for value to the extent that such claim or defense is based upon facts known to the issuer as of the date of the estoppel certificate which are contrary to the facts contained therein, and such bona fide purchaser or encumbrancer has acted in reasonable reliance upon such estoppel certificate without knowledge of facts to the contrary. The issuance of an estoppel certificate shall in no event subject the issuer to any liability for the negligent or inadvertent failure of the issuer to disclose correct and/or relevant information, nor shall such issuance be construed to waive any rights of the issuer to perform an audit or obtain an adjustment with respect to Common Area Maintenance Costs for any year it is entitled to do so, or to challenge acts committed by other Parties for which approval by the Declarant was required but not sought or obtained.

6.4 Notices. All notices, demands and requests (collectively, the "notice") required or permitted to be given under this Declaration must be in writing and shall be deemed to have been

given as of the date such notice is (i) delivered to the Party intended, (ii) delivered to the then designated address of the Party intended, (iii) rejected at the then designated address of the Party intended, provided such notice was sent prepaid, or (iv) sent by nationally recognized overnight courier with delivery instructions for "next business day" service, or by United States certified mail, return receipt requested, postage prepaid and addressed to the then designated address of the Party intended. Upon at least ten (10) days prior notice, each Party may change its address to any other address within the United States of America. The initial addresses of the Parties are:

Declarant: Target Corporation
Target Property Development
Attn: Real Estate Portfolio Management/Albuquerque, NM/T-2813
1000 Nicollet Mall, TPN 12H
Minneapolis, Minnesota 55403

With respect to any "notice" to Operator: As from time to time designated.

6.5 Approval Rights.

6.5.1 Business Judgment. Except as otherwise specifically provided in this Declaration, with respect to any matter as to which a Party has specifically been granted an approval right under this Declaration, nothing contained in this Declaration limits the right of a Party to exercise its business judgment in its sole discretion, whether or not "objectively" reasonable under the circumstances, and any such decision shall not be deemed inconsistent with any covenant of good faith and fair dealing which may be implied by law to be part of this Declaration. The Parties intend by this Declaration to set forth their entire understanding with respect to the terms, covenants, conditions and standards pursuant to which their obligations are to be judged and their performance measured.

6.5.2 Deemed Approval. Unless provision is made for a specific time period, each response to a request for an approval or consent required to be considered pursuant to this Declaration shall be given by the Party to whom directed within thirty (30) days after receipt thereof. Each disapproval shall be in writing and, subject to Section 6.5.1, the reasons therefor shall be clearly stated. If a response is not given within the required time period, the requested Party shall be deemed to have given its approval if the original notice stated in capitalized letters that failure to respond within the applicable time period will be deemed an approval. Notwithstanding anything contained herein to the contrary, the provisions of this Section 6.5 do not apply in any manner or fashion to any request which requires an amendment to this Declaration, such requests being governed solely by the provisions of Section 6.8.5.

6.6 Condemnation. If any portion of the Shopping Center is condemned, or conveyed under threat of condemnation, the award shall be paid to the Party owning the Parcel or the improvements taken, and the other Parties hereby waive and release any right to recover any value attributable to the property interest so taken, except that (i) if the taking includes improvements belonging to more than one (1) Party, such as Utility Lines or Signs, the portion of the award allocable thereto shall be used to relocate, replace or restore such jointly owned

improvements to a useful condition, and (ii) if the taking includes easement rights which are intended to extend beyond the term of this Declaration, the portion of the award allocable to each such easement right shall be paid to the respective grantees thereof. In addition to the foregoing, if a separate claim can be filed for the taking of any other property interest existing pursuant to this Declaration which does not reduce or diminish the amount paid to the Party owning the Parcel or the improvement taken, then the owner of such other property interest may seek an award for the taking thereof. Except to the extent they burden the land taken, no easement or license set forth in this Declaration shall expire or terminate based solely upon such taking.

6.7 Binding Effect. The terms of this Declaration and all easements granted hereunder constitute covenants running with the land, bind the Parcels described herein and inure to the benefit of and bind each Party. This Declaration is not intended to supersede, modify, amend or otherwise change the provisions of any prior instrument affecting the land burdened hereby.

6.8 Construction and Interpretation.

6.8.1 Entire Agreement. The provisions of this Declaration and the Exhibits hereto shall be construed as a whole according to their common meaning and not strictly for or against any Party.

6.8.2 Terminology. Whenever required by the context of this Declaration, (i) the singular includes the plural, and vice versa, and the masculine includes the feminine and neuter genders, and vice versa, and (ii) use of the words "including", "such as", or words of similar import, when following any general term, statement or matter shall not be construed to limit such statement, term or matter to specific items, whether or not language of non-limitation, such as "without limitation", or "but not limited to", are used with reference thereto, but rather shall be deemed to refer to all other items or matters that could reasonably fall within the broadest scope of such statement, term or matter. Whenever this Declaration imposes an obligation upon a Party to perform an action (e.g. obtain a policy of insurance) such obligation shall be deemed satisfied if such Party has caused such obligation to be performed regardless of whether such Party has itself performed such action; provided however, that nothing shall relieve such Party from responsibility for complying or causing compliance with the terms and provisions of this Declaration.

6.8.3 Captions. The captions preceding the text of each article and section of this Declaration are included only for convenience of reference. Captions shall be disregarded in the construction and interpretation of this Declaration. Capitalized terms are also selected only for convenience of reference and do not necessarily have any connection to the meaning that might otherwise be attached to such term in a context outside of this Declaration.

6.8.4 Severability. Invalidity of any of the provisions contained in this Declaration, or of the application thereof to any Person by judgment or court order, shall in no way affect any of the other provisions hereof or the application thereof to any other Person and the same shall remain in full force and effect.

6.8.5 Amendment. This Declaration may be amended by the Declarant; provided, however, that no such amendment shall impose any materially greater obligation on, or materially impair any right of, a Party or its Parcel under this Declaration unless such Party has joined in the execution of such amendment. No agreement to any amendment of this Declaration shall ever be required of any Occupant or Person other than the Parties. Since the submission of a proposed amendment to the Parties is not an item of "consent" or "approval", each Party may consider any proposed amendment to this Declaration in its sole and absolute discretion without regard to reasonableness or timeliness.

6.8.6 Counterparts. This Declaration, and any amendments thereto, may be executed in several counterparts, each of which shall be deemed an original. The signatures may be executed and notarized on separate pages, and when attached to each other shall constitute one (1) complete document.

6.9 Negation of Partnership. None of the terms or provisions of this Declaration shall be deemed to create a partnership between or among the Parties in their respective businesses or otherwise, nor shall it cause them to be considered joint venturers or members of any joint enterprise. Each Party shall be considered a separate owner, and no Party may act as an agent for another Party, unless expressly authorized to do so herein or by separate written instrument signed by the Party to be charged.

6.10 Not a Public Dedication; No Third Party Beneficiaries. Nothing herein contained shall be deemed to be a gift or dedication of any portion of the Shopping Center or of any Parcel or portion thereof to the general public, or for any public use or purpose whatsoever. Except as herein specifically provided, no right, privileges or immunities of any Party hereto shall inure to the benefit of any third-party Person, nor shall any third-party Person be deemed to be a beneficiary of any of the provisions contained herein. Without limiting the generality of the foregoing, no Occupant or Person other than the Parties have any right to enforce any of the provisions of this Declaration.

6.11 Excusable Delays. Whenever performance is required of any Party hereunder, such Party shall use all due diligence to perform and take all necessary measures in good faith to perform; provided, however, that if completion of performance shall be delayed at any time by reason of acts of God, war, civil commotion, riots, strikes, picketing or other labor disputes, unavailability of labor or materials, damage to work in progress by reason of fire or other casualty, or any cause beyond the reasonable control of such Party, then the time for performance as herein specified shall be appropriately extended by the amount of the delay actually so caused. The provisions of this Section 6.11 shall not operate to excuse any Party from the prompt payment of any monies required by this Declaration.

6.12 Mitigation of Damages. In all situations arising out of this Declaration, each Party and Operator, if any, shall attempt to avoid and mitigate the damages resulting from the conduct of any other Party. Each Party shall take all reasonable measures to effectuate the provisions of this Declaration.

6.13 Declaration Shall Continue Notwithstanding Breach. No breach of this Declaration shall (i) entitle any Party to cancel, rescind, or otherwise terminate this Declaration, or (ii) defeat or render invalid the lien of any mortgage or trust deed made in good faith and for value as to any part of the Shopping Center. However, such limitation shall not affect in any manner any other rights or remedies which a Party may have hereunder by reason of any such breach.

6.14 Time. Time is of the essence of this Declaration.

6.15 No Waiver. The failure of any Party to insist upon strict performance of any of the terms, covenants or conditions hereof shall not be deemed a waiver of any rights or remedies which that Party may have hereunder, at law or in equity, and shall not be deemed a waiver of any subsequent breach or default in any of such terms, covenants or conditions. No waiver by any Party of any default under this Declaration shall be effective or binding on such Party unless made in writing by such Party and no such waiver shall be implied from any omission by a Party to take action in respect to such default. No express written waiver of any default shall affect any other default or cover any other period of time other than any default and/or period of time specified in such express waiver. One (1) or more written waivers of any default under any provision of this Declaration shall not be deemed to be a waiver of any subsequent default in the performance of the same provision or any other term or provision contained in this Declaration. The failure of a Party to provide a Reconciliation or statement for amounts owed within a specified time shall not act as a waiver of such Party's right to collect such amount upon the later issuance of the required Reconciliation or statement.

6.16 Authority. Each Party represents and warrants to the other Parties that the Person executing this Declaration on behalf of said Party has been fully empowered to execute and deliver this document and that no further action is required on behalf of such Party to bind it to the terms and provisions herein contained.

6.17 Attorneys' Fees. If any Party brings an action of law or in equity to interpret or enforce this Declaration, the prevailing Party as determined by the Court in such action shall be entitled to recover reasonable attorneys' fees and court costs for all stages of litigation, including appellate proceedings, in addition to any other remedy granted.

ARTICLE VII – TERM

7.1 Term of this Declaration. This Declaration is effective as of the date first above written and continues in full force and effect until 11:59 p.m. on April 30, 2073; provided, however, that (i) the easements referred to in Article II hereof which are specified as being perpetual or as continuing beyond the term of this Declaration shall continue in full force and effect as provided herein, (ii) the building covenants and restrictions set forth in Section 3.3.4 hereof shall continue in full force and effect so long as an "unlimited area building" exists within the Unlimited Area Building Grouping or is being reconstructed and (iii) except as otherwise specifically provided in this Declaration. Except as provided in the preceding sentence, upon the

termination of this Declaration, all rights and privileges derived from and all duties and obligations created and imposed by the provisions of this Declaration shall terminate and have no further force or effect; provided, however, that the termination of this Declaration shall not limit or affect any remedy at law or in equity that a Party may have against any other Party with respect to any liability or obligation arising or to be performed under this Declaration before the date of such termination.

ARTICLE VIII – EXCULPATION

8.1 Certain Limitations on Remedies. None of the Persons comprising a Party (whether partners, shareholders, officers, directors, members, managers, trustees, employees, beneficiaries or otherwise) shall ever be personally liable for any judgment obtained against a Party. Each Party shall look solely to the interest in the Shopping Center of a Defaulting Party for recovery of damages for any breach of this Declaration; provided, however, the foregoing shall not in any way impair, limit or prejudice the right of a Party:

- (A) Casualty Insurance and Condemnation Proceeds. To recover from a Party all damages and costs on account of, or in connection with, such Party's failure to apply or use casualty insurance or condemnation proceeds in accordance with the terms of this Declaration.
- (B) Hazardous Substances. To recover from a Party all damages and costs arising out of or in connection with, or on account of, a breach by such Party of its obligations under Section 5.1.3.
- (C) Liability Insurance and Indemnity. To recover from a Party all damages and costs arising out of or in connection with, or on account of, either a breach by such Party of its obligations under Section 5.4, or a failure by such Party to satisfy any indemnity obligation required of it under this Declaration.
- (D) Taxes, Assessments and Liens. To recover from a Party all damages and costs arising out of or in connection with, or on account of, the failure by such Party to pay when due any tax, assessment or lien as specified in Section 5.5 and Section 6.1.
- (E) Fraud or Misrepresentation. To recover from a Party all damages and costs as a result of any fraud or misrepresentation by such Party in connection with any term, covenant or condition in this Declaration.
- (F) Equitable Relief; Costs. To pursue equitable relief in connection with any term, covenant or condition of this Declaration, including a proceeding for temporary restraining order, preliminary injunction, permanent injunction or specific performance, and recover all costs, including Interest thereon, relating to such enforcement action.

[SIGNATURE PAGES FOLLOW]

SIGNATURE PAGE
FOR
DECLARATION OF RESTRICTIVE COVENANTS AND EASEMENTS

IN WITNESS WHEREOF, the Declarant has caused this Declaration to be executed effective as of the day and year first above written.

DECLARANT:

TARGET CORPORATION,
a Minnesota corporation

By: *Chris Case*

Name: *Chris Case*
Director Real Estate
Target Corporation

Title: _____

STATE OF MINNESOTA)
) ss.
COUNTY OF HENNEPIN)

On this *30th* day of *August*, 20*13*, before me, a Notary Public within and for said County, personally appeared *Chris Case* to me personally known, being first by me duly sworn, did say that he is the *Director, Real Estate* of Target Corporation and that said instrument was signed on behalf of said corporation by authority of its Board of Directors and *he* acknowledged said instrument to be the free act and deed of said corporation.

Natalie Rose Gigler
Notary Public

My commission expires: *1/31/18*



AGREED AND ACCEPTED

The undersigned hereby agrees to the designation as "Operator" in that certain Declaration Restrictive Covenants and Easements (the "Declaration") dated ~~August 30~~, 2013 by Target Corporation with respect to a shopping center located in Albuquerque, New Mexico, to which this document is attached, and further agrees to accept and perform all of the duties, obligations and responsibilities of the "Operator" as specified in said Declarant.

OPERATOR:

TARGET CORPORATION,
a Minnesota corporation

By: 

Name: **Chris Case**
~~Director Real Estate~~

Title: **Target Corporation**

Address: As provided in Section 6.4 of the Declaration

111111

EXHIBIT A
LEGAL DESCRIPTION OF TARGET TRACT

LEGAL DESCRIPTION- PROPOSED TRACT A-1-A

That certain parcel of land situate within Section 18, Township 10 North, Range 4 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being and comprising a major portion of Tract lettered A-1 of the Hunt-Spectrum Development Site, City of Albuquerque, Bernalillo County, New Mexico as the is shown and designated on the plat entitled "PLAT OF TRACT A-1, HUNT-SPECTRUM DEVELOPMENT SITE (A REPLAT OF TRACT A, HUNT-SPECTRUM DEVELOPMENT SITE) SITUATE WITHIN SECTION 18, TOWNSHIP 10 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico on January 3, 2012, in Plat Book 2012C, Page 001 more particularly described using plat bearings and ground distances as follows:

BEGINNING at a point on the Northerly line of said Tract A-1, also being a point on the Southerly right of way line of Indian School Road N.E. whence the Albuquerque Survey Control Monument "20-H18" bears N 16'39'27" W, 722.26 feet distant; Thence along said Southerly right of way line of Indian School Road N.E. for the following three (3) courses:

N 89°38'27" E , 298.72 feet to a point; Thence,

N 89°31'35" E , 5.00 feet to a point of curvature; Thence,

Southeasterly , 13.02 feet on the arc of a curve to the right (said curve having a radius of 138.90 feet, a central angle of 05°22'10" and a chord which bears S 87°49'33" E, 13.01 feet) to a non-tangent point on curve and the Northeast corner of the parcel herein described; Thence,

S 00°16'19" E , 91.12 feet to a point; Thence,

N 89°44'27" E , 21.93 feet to a point; Thence,

S 00°15'33" E , 70.38 feet to a point; Thence,

N 89°44'27" E , 53.96 feet to a point; Thence,

S 19°48'55" E , 108.12 feet to a non-tangent point on curve on the Easterly line of said Tract A-1 and a point on the Westerly right of way line of Uptown Loop N.E.; Thence Southerly along said Westerly right of way line of Uptown Loop N.E. for the following seven (7) courses:

PROPOSED TRACT A-1-A

Page 2

Southwesterly , 10.61 feet on the arc of a curve to the right (said curve having a radius of 602.00 feet, a central angle of 01'00'37" and a chord which bears S 28'42'22" W, 10.61 feet) to a point of tangency; Thence,

S 29'12'40" W , 85.00 feet to a point of curvature; Thence,

Southwesterly , 121.82 feet on the arc of a curve to the left (said curve having a radius of 698.00 feet, a central angle of 10'00'00" and a chord which bears S 24'12'40" W, 121.67 feet) to a point of tangency; Thence,

S 19'10'58" W , 63.18 feet to a point of curvature; Thence,

Southwesterly , 113.73 feet on the arc of a curve to the right (said curve having a radius of 226.98 feet, a central angle of 28'42'27" and a chord which bears S 33'30'11" W, 112.54 feet) to a point of compound curvature; Thence,

Southwesterly , 99.26 feet on the arc of a curve to the right (said curve having a radius of 135.00 feet, a central angle of 42'07'39" and a chord which bears S 68'55'14" W, 97.04 feet) to a point of tangency; Thence,

S 89'59'04" W , 23.33 feet to a point; Thence,

N 00'16'16" W , 38.36 feet to a point; Thence,

S 89'43'44" W , 93.50 feet to a point; Thence,

N 00'16'16" W , 70.37 feet to a point; Thence,

S 89'43'44" W , 153.58 feet to a non-tangent point on curve on the Easterly right of way line of Louisiana Boulevard N.E., said point being the Southwest corner of the parcel herein described; Thence Northerly along said Easterly right of way line of Louisiana Boulevard N.E. for the following ten (10) courses:

Northeasterly , 43.96 feet on the arc of a curve to the left (said curve having a radius of 160.00 feet, a central angle of 15'44'26" and a chord which bears N 07'50'46" E, 43.82 feet) to a point of tangency; Thence,

PROPOSED TRACT A-1-A

Page 3

N 00°01'27" W , 181.86 feet to a point; Thence,

S 89°46'51" W , 12.00 feet to a point; Thence,

N 00°01'27" W , 74.29 feet to a point of curvature; Thence,

Northeasterly , 40.36 feet on the arc of a curve to the right (said curve having a radius of 139.33 feet, a central angle of 16°35'51" and a chord which bears N 08°09'55" E, 40.22 feet) to a point of reverse curvature; Thence,

Northeasterly , 47.41 feet on the arc of a curve to the left (said curve having a radius of 160.67 feet, a central angle of 16°54'26" and a chord which bears N 08°06'34" E, 47.24 feet) to a point of tangency; Thence,

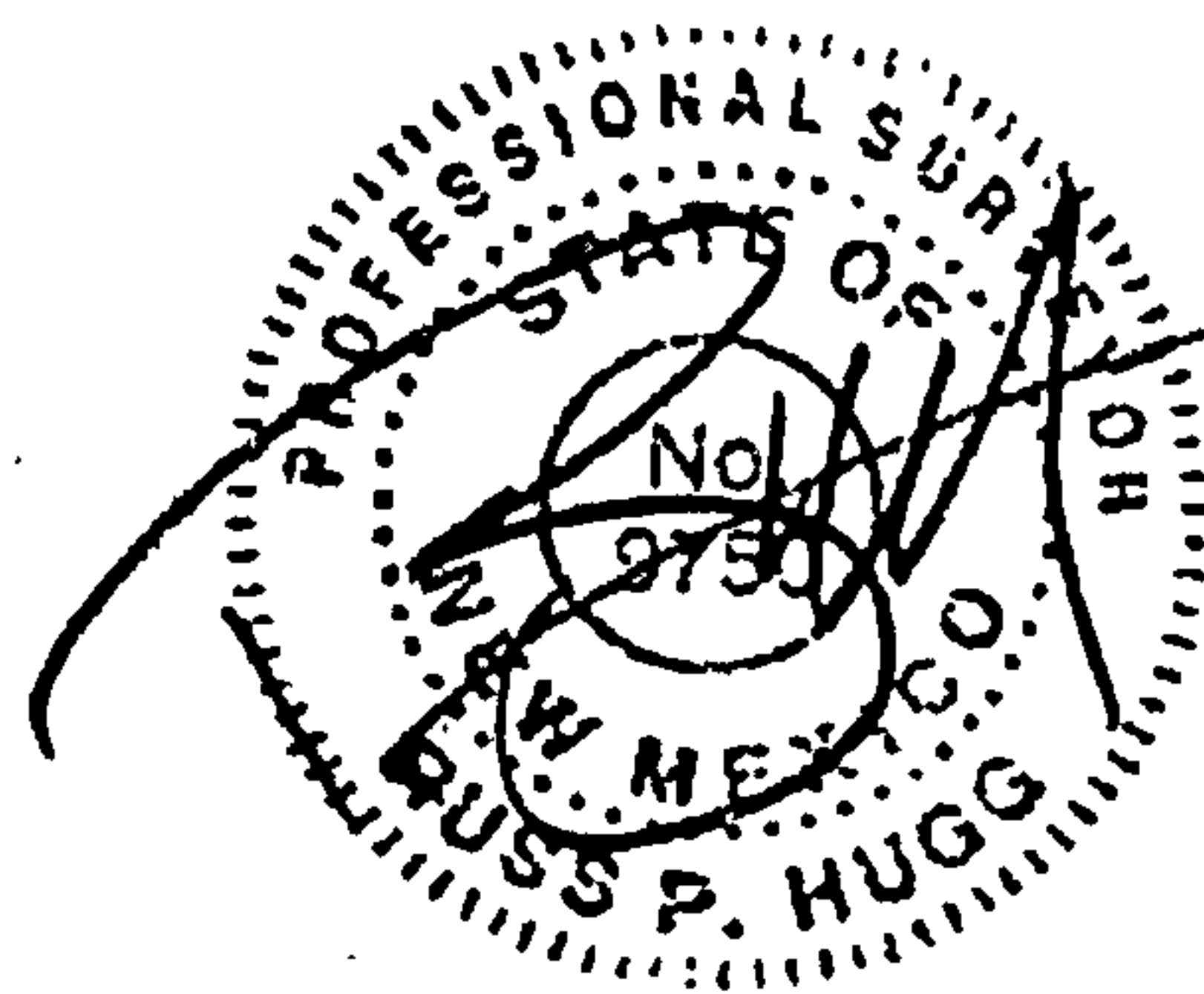
N 00°16'16" W , 64.22 feet to a point of curvature; Thence,

Northeasterly , 46.67 feet on the arc of a curve to the right (said curve having a radius of 139.33 feet, a central angle of 19°11'27" and a chord which bears N 09°09'47" E, 46.45 feet) to a point of compound curvature; Thence,

Northeasterly , 47.64 feet on the arc of a curve to the right (said curve having a radius of 49.33 feet, a central angle of 55°19'58" and a chord which bears N 46°34'41" E, 45.81 feet) to a point of compound curvature; Thence,

Northeasterly , 65.04 feet on the arc of a curve to the right (said curve having a radius of 239.33 feet, a central angle of 15°34'14" and a chord which bears N 81°54'05" E, 64.84 feet) to the point of beginning of the parcel herein described.

Said parcel contains 6.2018 acres, more or less.



**EXHIBIT B
DESIGN OF SIGNS**

12' Ø ILLUMINATED RED BULLSEYE
(Exterior Bullseye)
• reference page 1.3 for elevation/location

14' Ø ILLUMINATED RED BULLSEYE
(Exterior Bullseye)
• reference page 1.2 for elevation/location

10' Ø ILLUMINATED WHITE BULLSEYE
(Exterior Lower Level Wall Bullseye)
• reference page 1.2 for elevation/location

TARGET
PRIMARY PEDESTRIAN ENTRY MONUMENT
Sign Type M3
• 2-sided identifying main pedestrian entrance
• reference page 2.1 for fabrication detail

12' Ø ILLUMINATED RED BULLSEYE
(Exterior Bullseye)
• reference page 1.3 for elevation/location

12' Ø ILLUMINATED STACKED FORMAT RED BULLSEYE WITH TARGET TEXT
• identifying main pedestrian entrance
• reference page 1.2 for elevation/location

17-10 34'
PHARMACY
ILLUMINATED RED PHARMACY SIGN
• reference page 1.2 for elevation/location

PRIMARY PARKING ENTRY MONUMENT Sign Type M1
• Two Sided Illuminated Directional Site Monument
• With connected Planting Bed
• reference page 2.0 for fabrication detail

PRIMARY PARKING ENTRY MONUMENT Sign Type M2
• Two Sided Illuminated Directional Site Monument
• reference page 2.1 for fabrication detail

FREE STANDING PYLON
Sign Type V1b
• one sided non-illuminated directional site pylon
• reference page 2.0 for detail elevations

SECONDARY PARKING ENTRY FREE STANDING PYLON
Sign Type V1c
• Two sided non-illuminated directional site pylon
• reference page 2.1 for detail elevations

TARGET PARKING
3 LANE PRIMARY PARKING ENTRY Sign Type A3c with VEHICLE CLEARANCE BARS Sign Type A4c
• horizontal sign identifying parking entrance and exit with DO NOT ENTER graphics (CLEARANCE 8'-0")

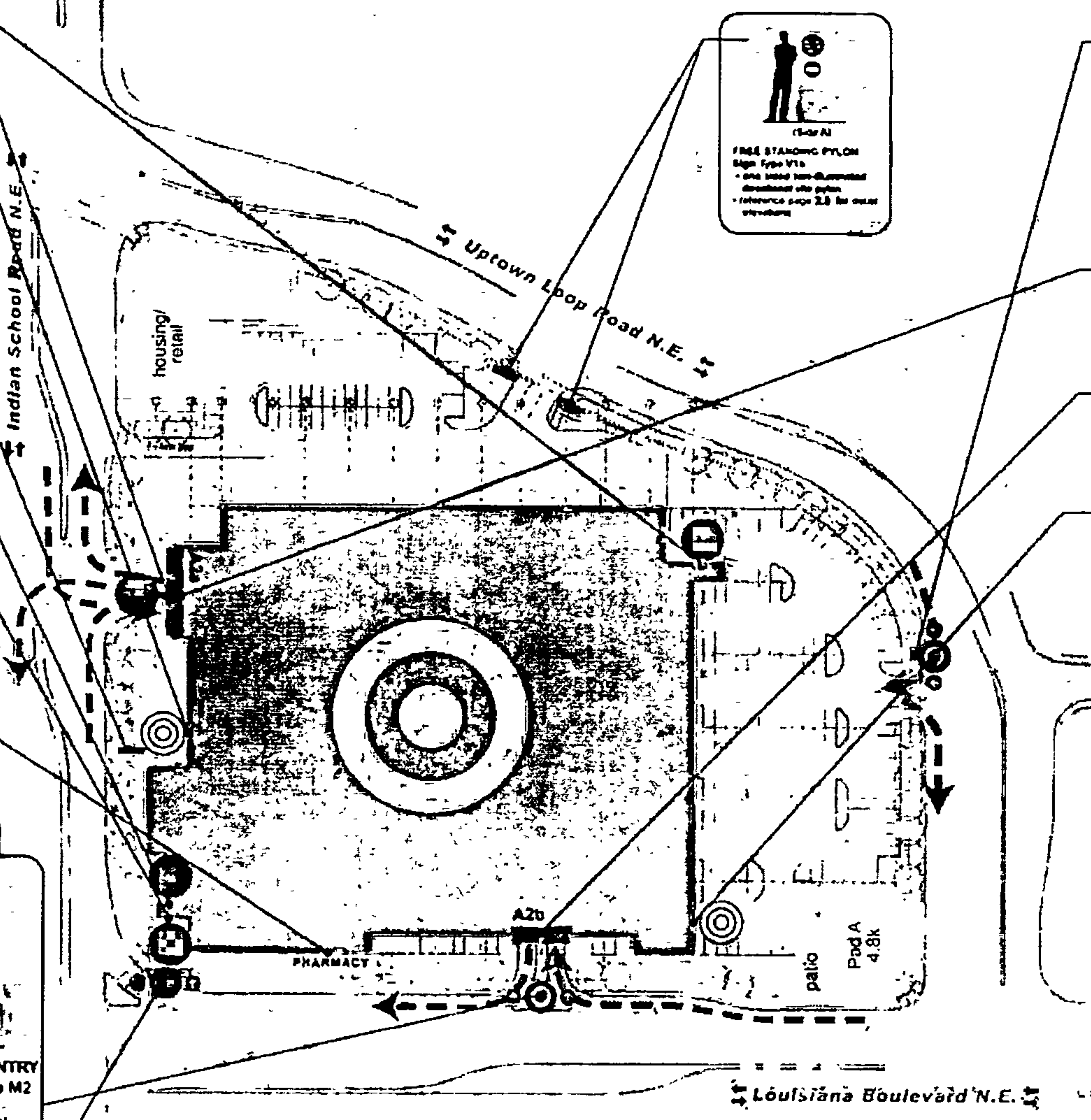
PARKING
2 LANE PRIMARY PARKING ENTRY Sign Type A3b with VEHICLE CLEARANCE BARS Sign Type A4b
• horizontal sign identifying parking entrance and exit with DO NOT ENTER graphics (CLEARANCE 8'-0")

10' Ø ILLUMINATED WHITE BULLSEYE
(Exterior Bullseye)
• reference page 1.3 elevations/locations

WAYFINDING/SIGNAGE LEGEND

- ADDITIONAL SIGNAGE**
- cart boundary signs
 - cart corral identification
- *CODE SIGNAGE BY TARGET**
- stairwell code signage
- ELEVATOR SIGNAGE**
- Sign Type G4 (orientation program)
 - service elevator graphic
- PEDESTRIAN DIRECTIONAL SIGNAGE**
- level identification/directional graphics
 - elevator/stair wall graphics/colors

- VEHICLE DIRECTIONAL SIGNAGE**
- clearance bar
 - hanging directional signage
 - entering traffic
 - exiting traffic
 - service/emergency traffic
- Parking with Overhead Structure



SITE PLAN

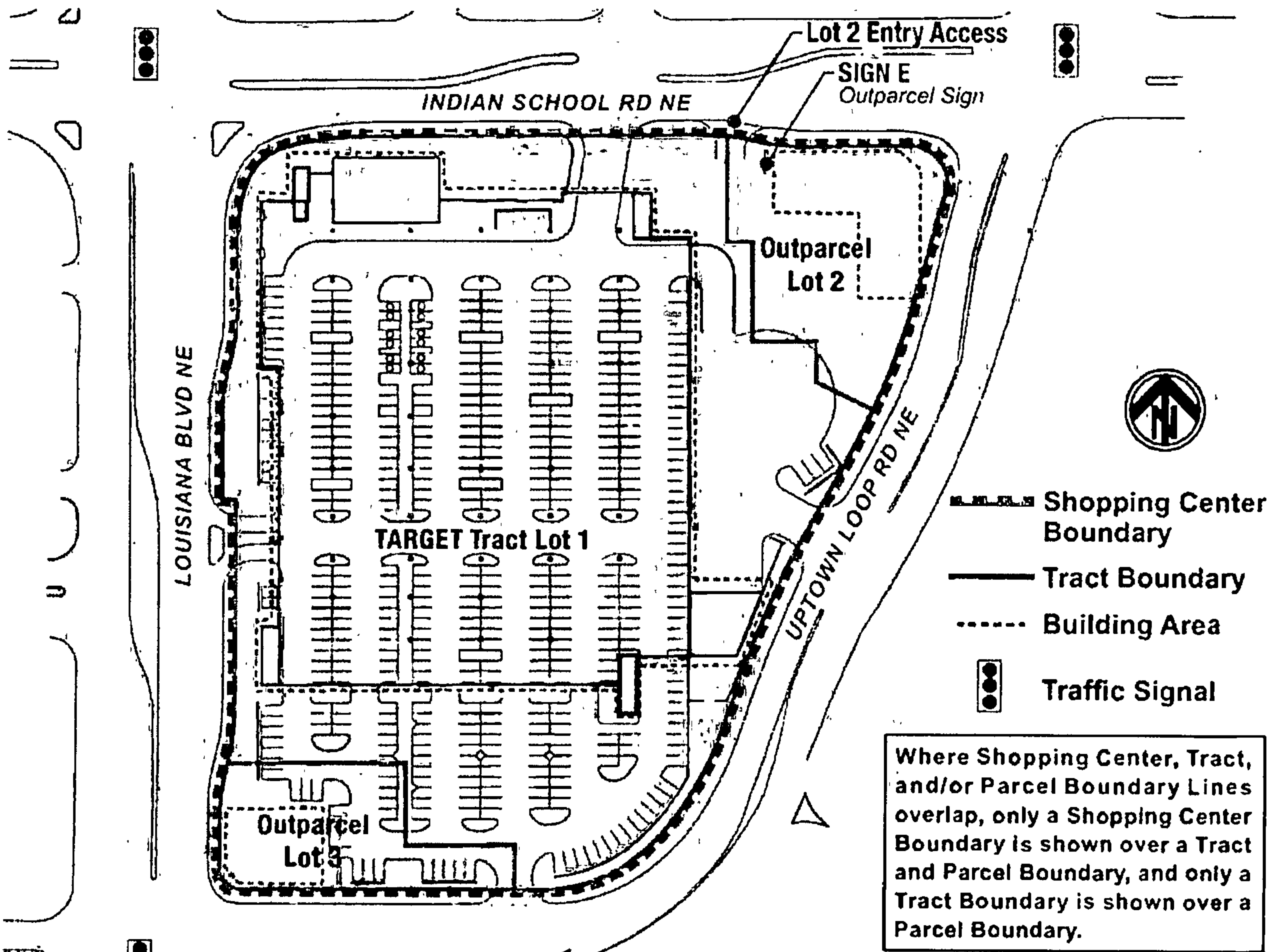
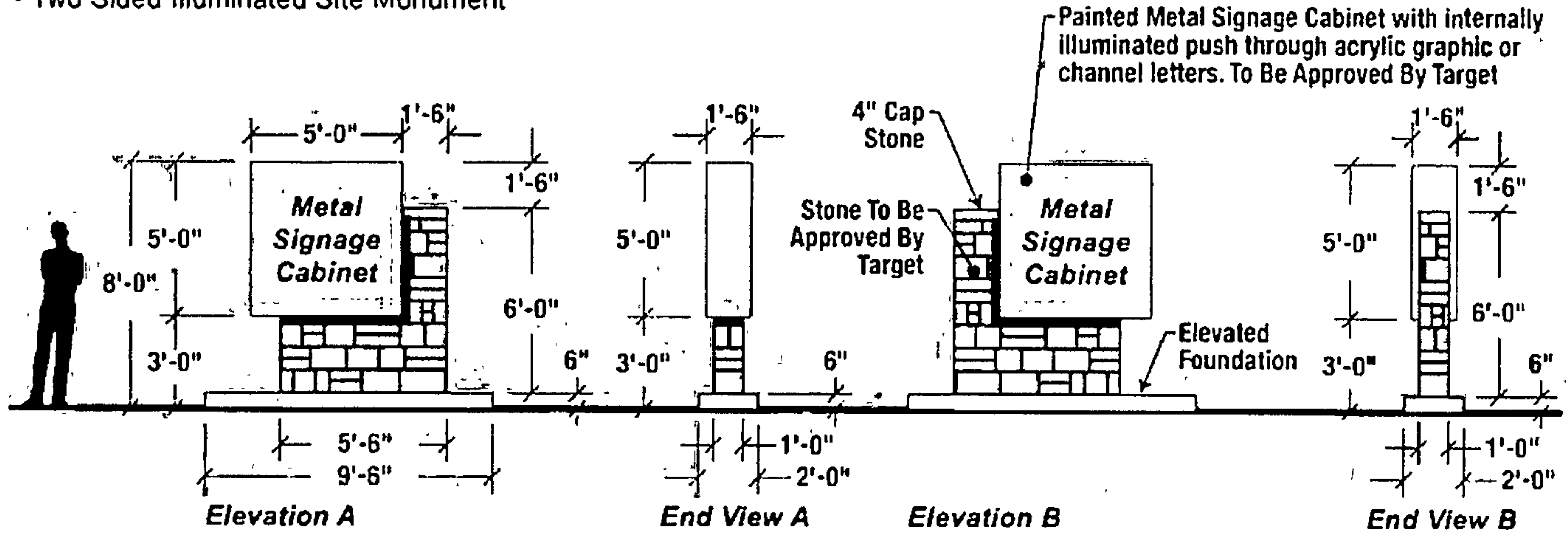
[signage recommendations are IN ADDITION TO any code required signage by garage contractor]

Wayfinding Recommendations: Navigating Parking | Site



T-2813 ALBUQUERQUE UPTOWN, NM – Outparcel Sign

• Two Sided Illuminated Site Monument



Where Shopping Center, Tract, and/or Parcel Boundary Lines overlap, only a Shopping Center Boundary is shown over a Tract and Parcel Boundary, and only a Tract Boundary is shown over a Parcel Boundary.

**T-2813 Albuquerque Uptown, NM
Outparcel Sign Exhibit / Site Plan**

EXHIBIT C-1
ARCHITECTURAL THEME



**Dekker
Perich
Sabatini**

2011 Arizona Bldg. Bldg. Inc.
Albuquerque, NM 87101
505.771.2311
Fax: 505.771.2311
dps@dsasab.com

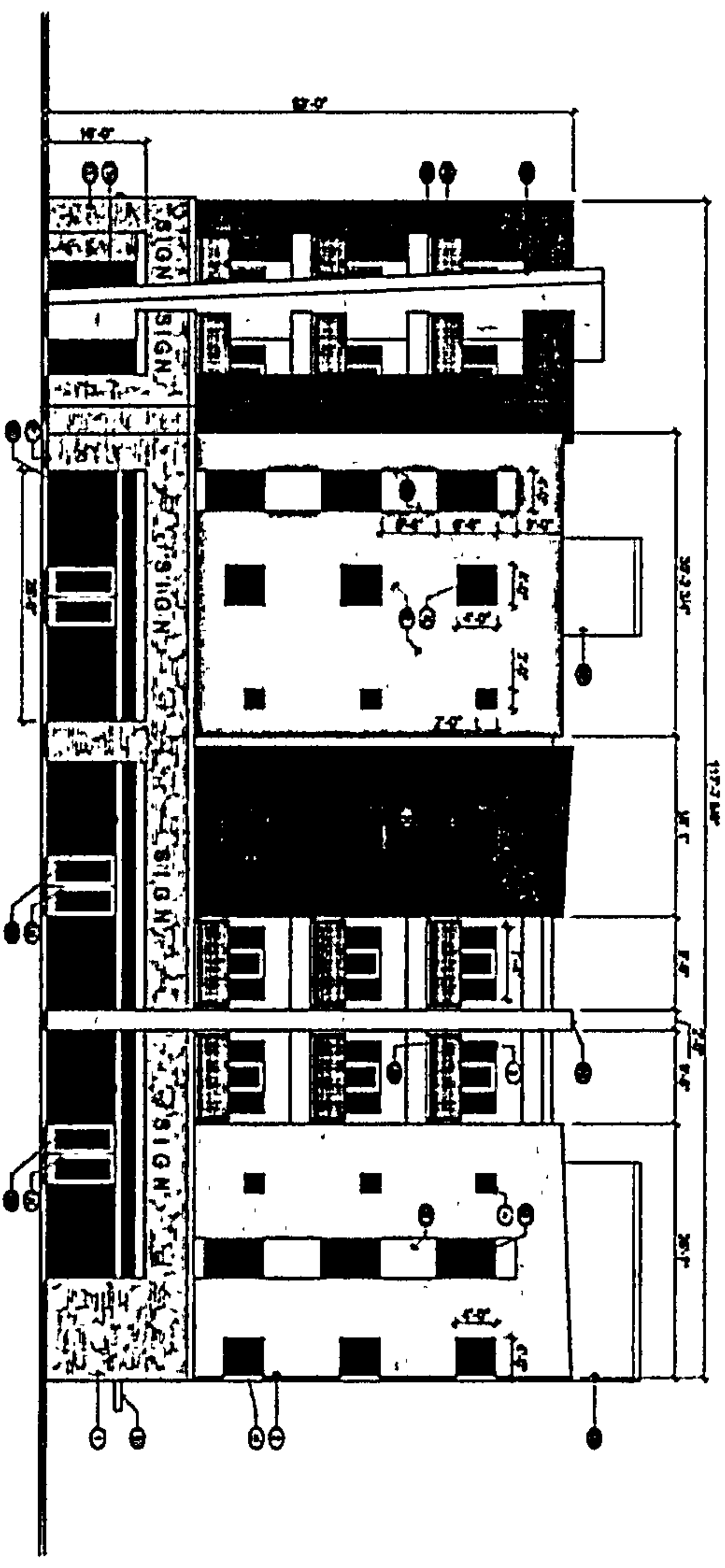
architects
interior
landscape
planning

KEYED NOTES

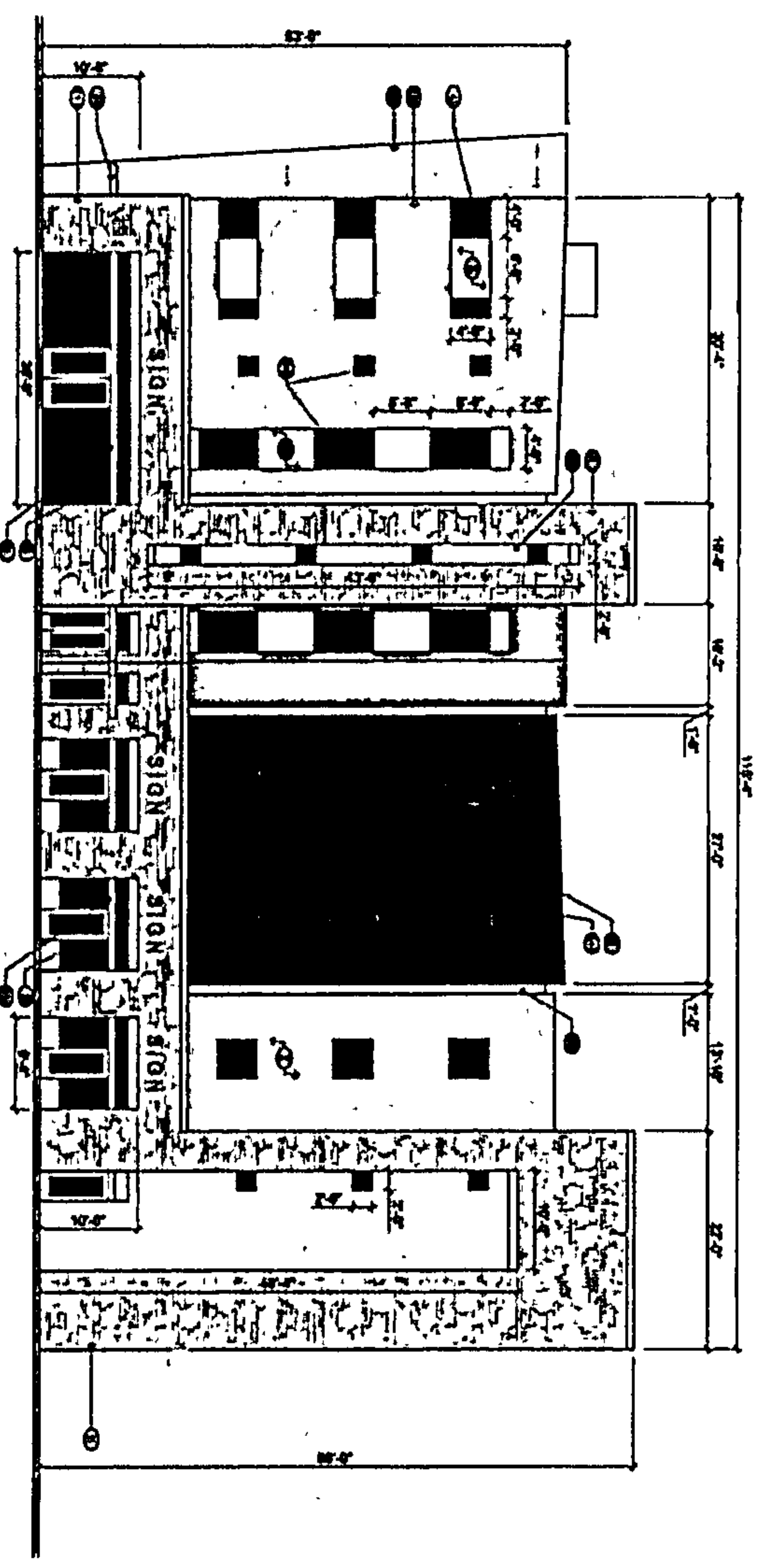
1. CALCULATED FROM:
2. EXTERIOR ELEVATION AND FINISH SYSTEM (FINISHED)
3. SEE FINISH LIBRARY FOR COLORS
4. ALUMINUM FINISHWORK
5. ORIGINAL ALUMINUM FINISHWORK
6. METAL PANELS
7. METAL PANELS
8. METAL PANELS
9. FINISHWORK
10. FINISHWORK
11. FINISHWORK
12. FINISHWORK
13. FINISHWORK
14. FINISHWORK
15. FINISHWORK

GENERAL NOTES

- A. GENERAL NOTES



NORTH ELEVATION
EAST ELEVATION SIMILAR OPPOSITE HAND



WEST ELEVATION
SOUTH ELEVATION SIMILAR OPPOSITE HAND

FINISH LEGEND

- 1. CALCULATED FROM
- 2. EXTERIOR ELEVATION AND FINISH SYSTEM (FINISHED)
- 3. SEE FINISH LIBRARY FOR COLORS
- 4. ALUMINUM FINISHWORK
- 5. ORIGINAL ALUMINUM FINISHWORK
- 6. METAL PANELS
- 7. METAL PANELS
- 8. METAL PANELS
- 9. FINISHWORK
- 10. FINISHWORK
- 11. FINISHWORK
- 12. FINISHWORK
- 13. FINISHWORK
- 14. FINISHWORK
- 15. FINISHWORK

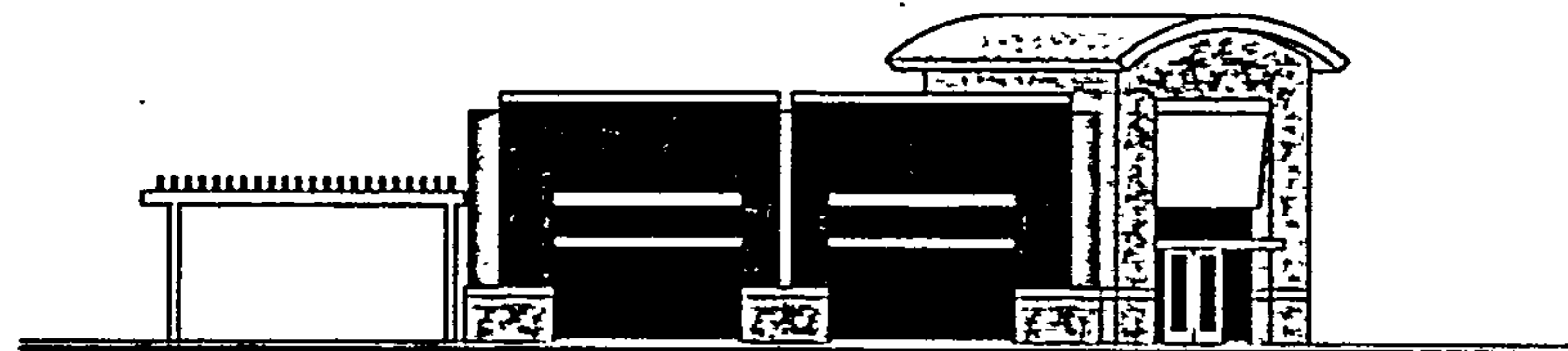
TARGET @ ABQ Uptown
Albuquerque, New Mexico

EPC SUBMITTAL

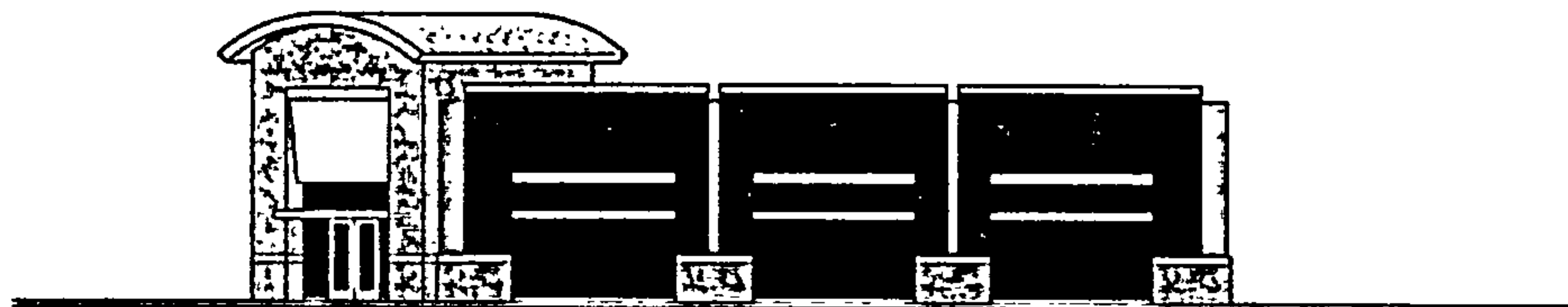
AE-301

**NORTHEAST
CORNER
MIXED USE
ELEVATIONS**

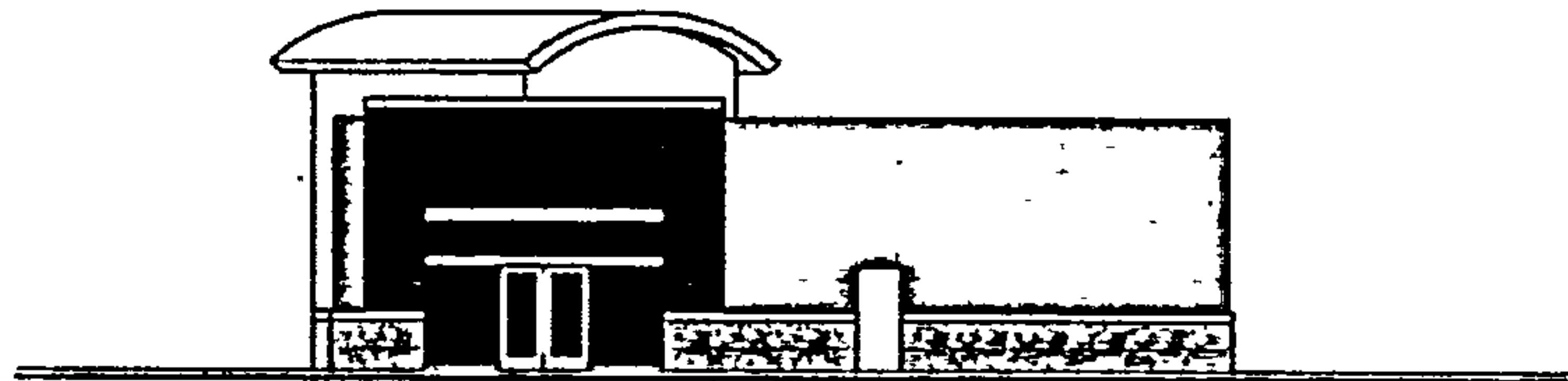
DATE: 03/21/11
PROJECT NO: 10-0118



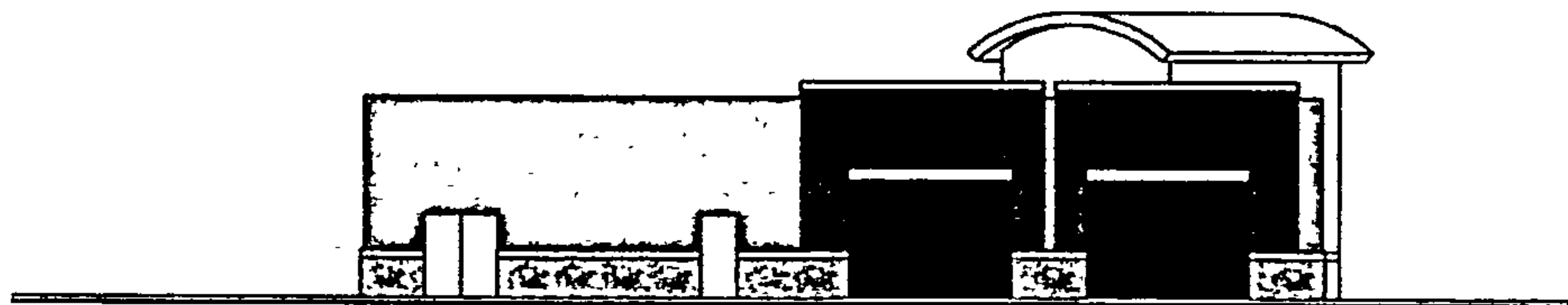
WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION

GENERAL NOTES

A. GENERAL NOTES

KEYED NOTES

1. CULTURED STONE
2. EXTERIOR SIMULATION AND FINISH SYSTEM (STUCCO), SEE FINISH LEGEND FOR COLORS.
3. ALUMINUM STOREFRONT
4. OPERABLE ALUMINUM WINDOWS
5. METAL PANELS
6. METAL AWNING
7. EPS HEADER
8. SIGNAGE: INTERNALLY ILLUMINATED INDIVIDUAL LETTERS. BOX SIGNS NOT ALLOWED, EXCEPT FOR LOGO.
9. METAL GUARD RAILING WITH WOVEN WIRE MESH
10. ALUMINUM OVER-HEAD DOOR
11. STANDING BEAM METAL ROOF, GALVANIZED
12. HOLLOW METAL DOOR AND FRAME, PAINTED TO MATCH ADJACENT EPS
13. STEEL TRELLIS - PAINTED TO MATCH STUCCO 4

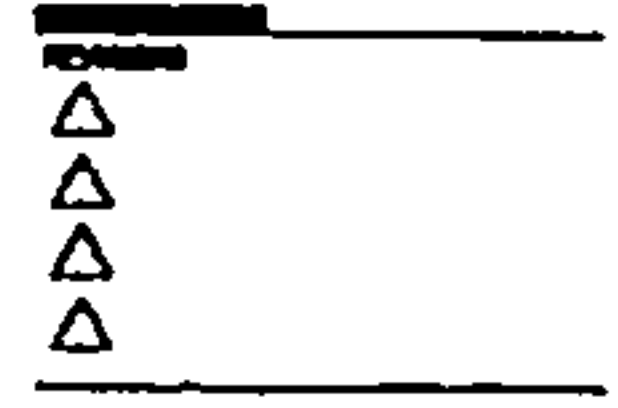
FINISH LEGEND

- CULTURED STONE
- STUCCO 1:
- STUCCO 2: LIGHT BROWN
- STUCCO 3: MEDIUM BROWN
- STUCCO 4: DARK BROWN
- GLAZING
- ALUMINUM STOREFRONT AND METAL AWNING, WHITE
- METAL PANELS - CLEAR ANODIZED ALUMINUM

registered
 architect
 landscape
 planning
 engineering

**Dekker
 Perich
 Sabatini**
 7001 Avenida de Solis 100
 Albuquerque, NM 87109
 505 763-8738
 fax 505-622-2222
 dpa@dpadecolpa.com
 PROJECT

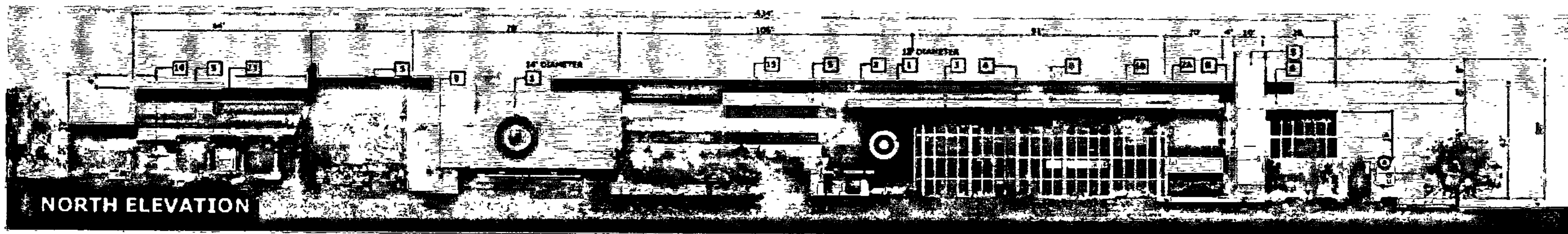
TARGET @ ABQ Uptown
 Albuquerque, New Mexico
 EPC SUBMITTAL



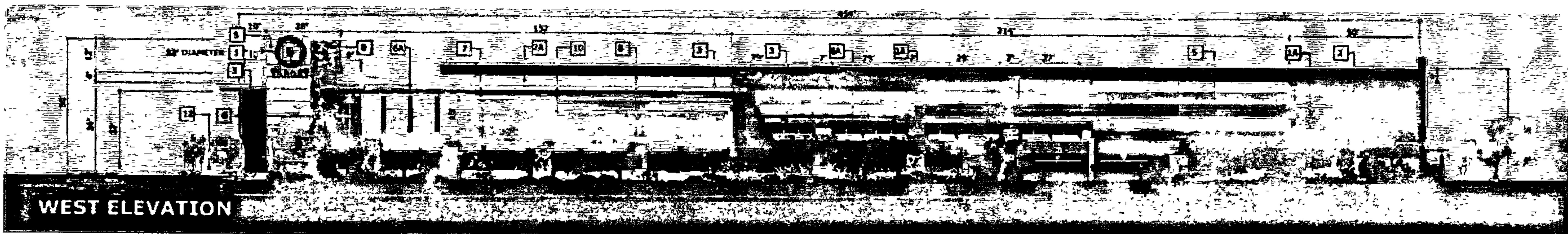
DESIGNED BY	CRG, TOS
DRAWN BY	CRG
DATE	MARCH 21, 2011
PROJECT NO.	10-0138

SOUTHWEST
 CORNER
 PAD BUILDING
 ELEVATIONS

SHEET NO.
AE-302



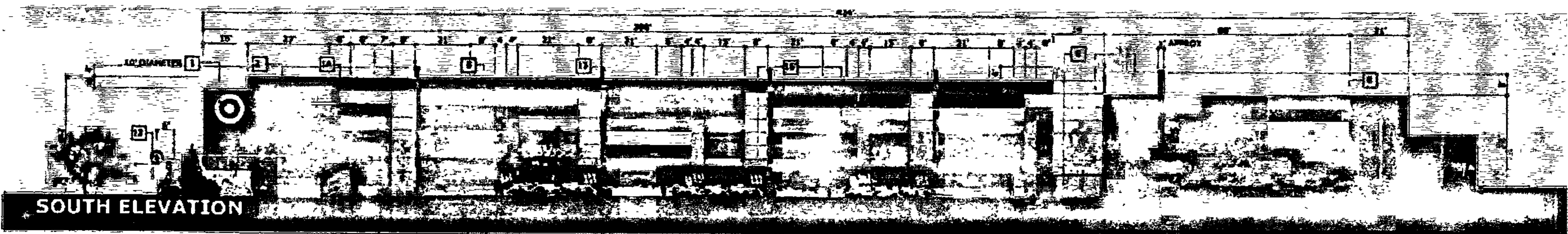
NORTH ELEVATION



WEST ELEVATION



EAST ELEVATION

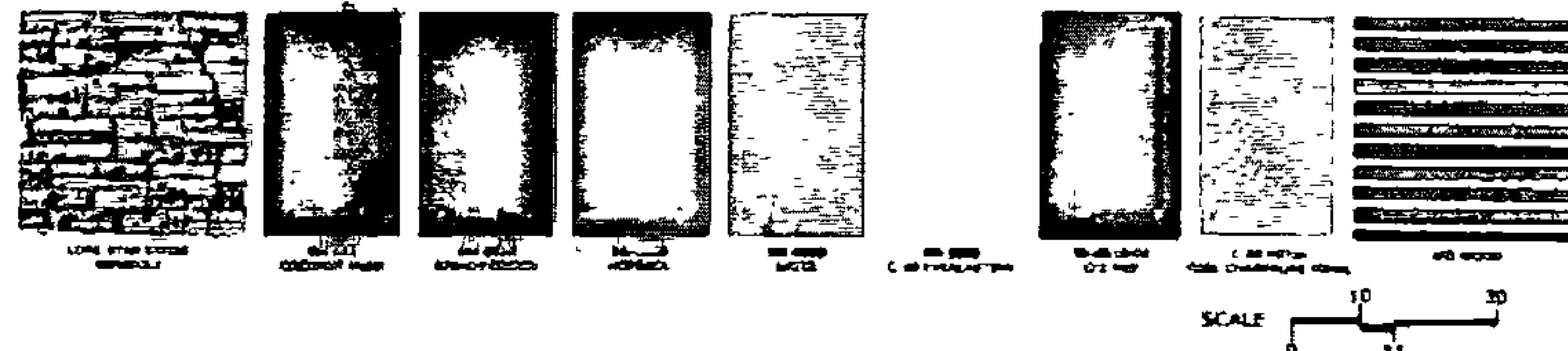


SOUTH ELEVATION

KEY NOTES

- | | | |
|--|--------------------------------------|---|
| 1 INTERNALLY ILLUMINATED SIGN | 6 GLASS CURTAIN WALL W/ VISION GLASS | 11 LOADING DOCK DOORS |
| 1A INTERNALLY ILLUMINATED ACCENT | 6A VISION GLASS WINDOWS | 12 MONUMENT SIGN - INTERNALLY ILLUMINATED |
| 2 SMOOTH METAL PANEL C-1 RED | 6B SPANDREL GLASS | 13 EIFS ACCENT "FIN" |
| 2A SMOOTH METAL PANEL C-20 CHAMPAGNE | 7 IPE WOOD SCREEN | 14 COMPACTOR CONTAINER |
| 3 METAL CANOPY | 8 MANUFACTURED STONE | 15 BUS SHELTER |
| 4 METAL COLUMNS C-20 CHAMPAGNE | 9 HOLLOW METAL EXIT DOORS | 15A TIMBER AND STEEL PERGOLA |
| 5 PRE CAST CONCRETE WITH CAST REVEALS AND TEXTURED PAINT | 10 RIBBED METAL PANEL C-20 CHAMPAGNE | |

NOTE: DIMENSIONS ROUNDED TO THE NEAREST FOOT



ALBUQUERQUE UPTOWN, NM

ELEVATIONS TARGET STORE DESIGN

JANUARY 23, 2012

EXHIBIT C-2
THEME SUBMITTALS

The constructing Party must make the Theme Submittals to the Declarant in full compliance with the following provisions:

- A. All submittals must be made using the form Submittal Letter attached to the Declaration as Exhibit C-3, without any deviation therefrom.
- B. All submittals must be delivered on 8 ½" x 11" paper. All text (including on any schedules, elevations or plans) must be in at least eight (8) point font. If requested by the Declarant, the constructing Party must also submit an electronic copy (in .pdf, 8 ½" x 11" format) to an email address provided by the Declarant. The Declarant may request that only an electronic copy be sent.
- C. The submittals must include all of the following, all in reasonable detail (the "Theme Submittals"):

Location

- A copy of the Declaration's existing Site Plan ("Exhibit X") marked to show the location of the Building(s) for which elevation approval is requested

Elevations and Materials

- Color elevations of all exposed sides of the Building(s) for which elevation approval is requested
- Building and architectural feature heights for such Building(s)
- Materials schedule for all exposed sides of such Building(s) (if materials used differ from those used in the remainder of the Shopping Center, this must be specifically noted and explained)

Site Plan, Signage, and Related Items

- Any proposed signage for the proposed Occupant (including all Building, monument, and directional/way finding signage, and any pylon sign panels)
- An engineered site layout plan showing the Building, and the immediate area around such Building, including (i) the parking spaces and the parking ratio (upon completion) for the Parcel upon which the Building(s) will be built, (ii) the Building Area (defined in the Declaration) as depicted on Exhibit X, (iii) the construction staging area (if a business is then operating on the Target Tract), and (iv) Unlimited Area Building Grouping compliance (if applicable)

- Statement or spreadsheet detailing the construction schedule for the Building
- The proposed landscaping plan

**EXHIBIT C-3
FORM SUBMITTAL LETTER**

Declarant: _____
Address: _____

Re: Theme Submittals for _____ Shopping Center
Declaration of Restrictive Covenants and Easements ("Declaration") dated
_____ by Target Corporation ("Declarant")
City: Albuquerque, State: New Mexico (T-2813)

The purpose of this letter is to comply with the Theme Submittals provisions of Section 3.3.2 of the Declaration relating to the above-referenced Shopping Center. This letter relates only to approval of the elevation for the Building or Buildings detailed on the attached schedules for Theme purposes, and does not contain or constitute a request for any other approval, nor any waiver or amendment. The Party requesting approval represents to the Declarant that the Theme Submittals described below do not depict any changes to, or violations of, the requirements of the Declaration.

As required by Exhibit C-2 to the Declaration, attached are the following (the "Theme Submittals"):

- Schedule 1** A copy of the Declaration's existing Site Plan ("Exhibit X") marked to show the location of the Building(s) for which elevation approval is requested.
- Schedule 2** Color elevations of all exposed sides of the Building(s) for which elevation approval is requested (including Building and architectural feature heights), along with a materials schedule for all exposed sides of the Building that specifically notes and explains any variations from materials used in the remainder of the Shopping Center.
- Schedule 3** Copies of (i) any proposed signage for the proposed Occupant (including all Building, monument, and directional/way finding signage, and any pylon sign panels), (ii) an engineered site layout plan showing the Building, and the immediate area around such Building, including the parking spaces and the parking ratio (upon completion) for the Parcel upon which the Building(s) will be built, the Building Area (defined in the Declaration) as depicted on Exhibit X, construction staging area (if a business is operating on the Target Tract), and Unlimited Area Building Grouping compliance (if applicable), (iii) a statement or spreadsheet detailing the construction schedule for the Building and (iv) the proposed landscaping plan.

Please indicate the Declarant's approval or disapproval by signing below, and return this letter to me. PURSUANT TO SECTION 6.5.2 OF THE DECLARATION, IF THE DECLARANT DOES NOT RESPOND WITHIN 30 DAYS AFTER RECEIPT OF THIS LETTER (AND RECEIPT OF ALL REQUIRED THEME SUBMITTALS), THE ATTACHED ELEVATION WILL BE DEEMED APPROVED AS TO COMPLIANCE WITH THE THEME.

Sincerely,

Requesting Party: _____

By: _____

Its: _____

Elevation Approval/Disapproval

The Declarant hereby:

___ APPROVES the attached elevations as to Theme only

___ APPROVES the attached elevations as to Theme only, with the following conditions:

___ DISAPPROVES the attached elevations because one or more items disclosed in the Theme Submittals do not comply with the following requirements of the Declaration:

___ the attached elevations do not comply with the Theme

___ the following information required to be provided under the Declaration was not provided:

___ other reason(s): _____

Declarant: _____

Print name: _____

Date: _____

**EXHIBIT X
SITE PLAN**