

SED DEVELOPMENT LLC

4700 Montgomery Blvd NE
Albuquerque, NM 87109

November 18, 2015

Mr. Christopher R. Gunning
Dekker/Perich/Sabatini
7601 Jefferson Street NE
Albuquerque, NM 87109

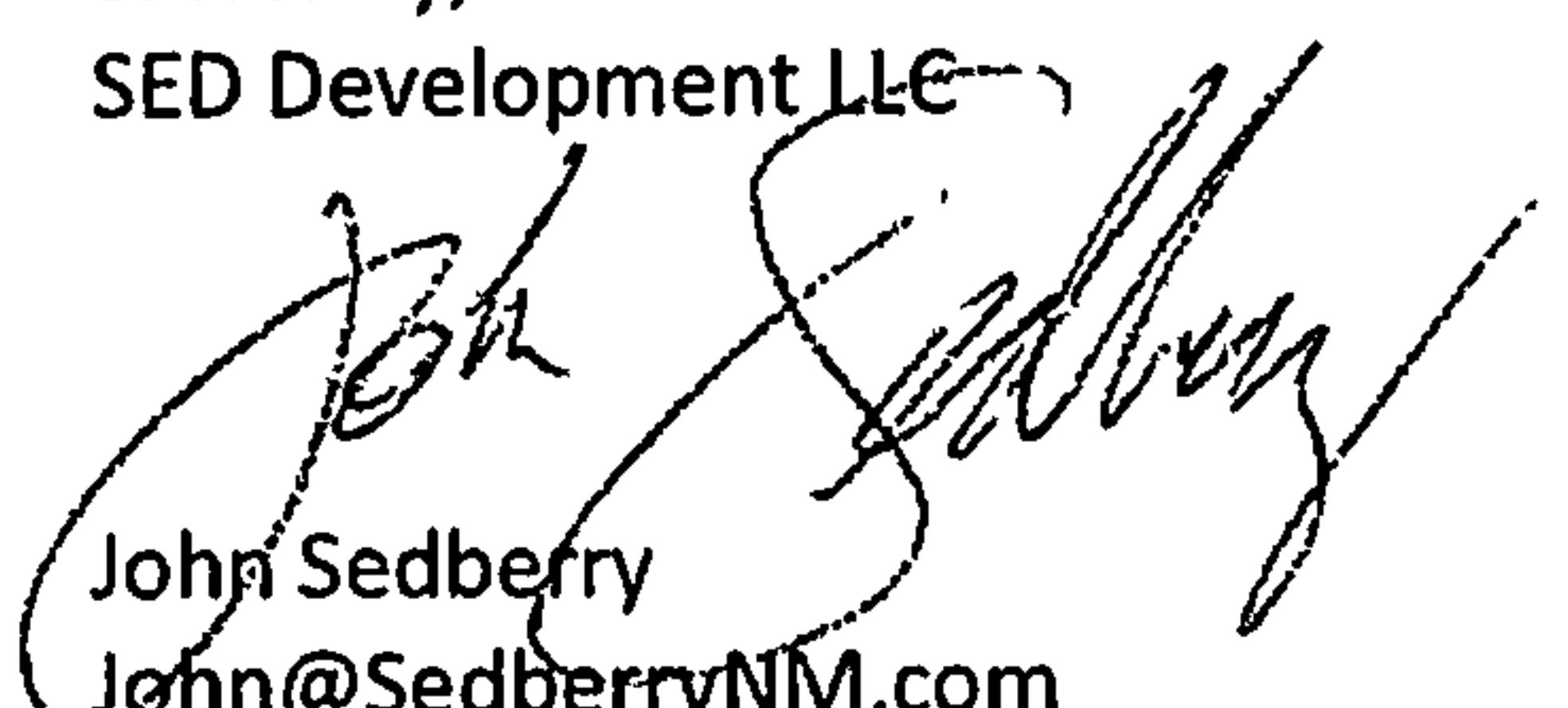
Re: Owner's Authorization
Application for Uptown Review Team/Development Review Board Process
6900 Indian School NE (SWC Indian School and Uptown Loop)

Dear Chris:

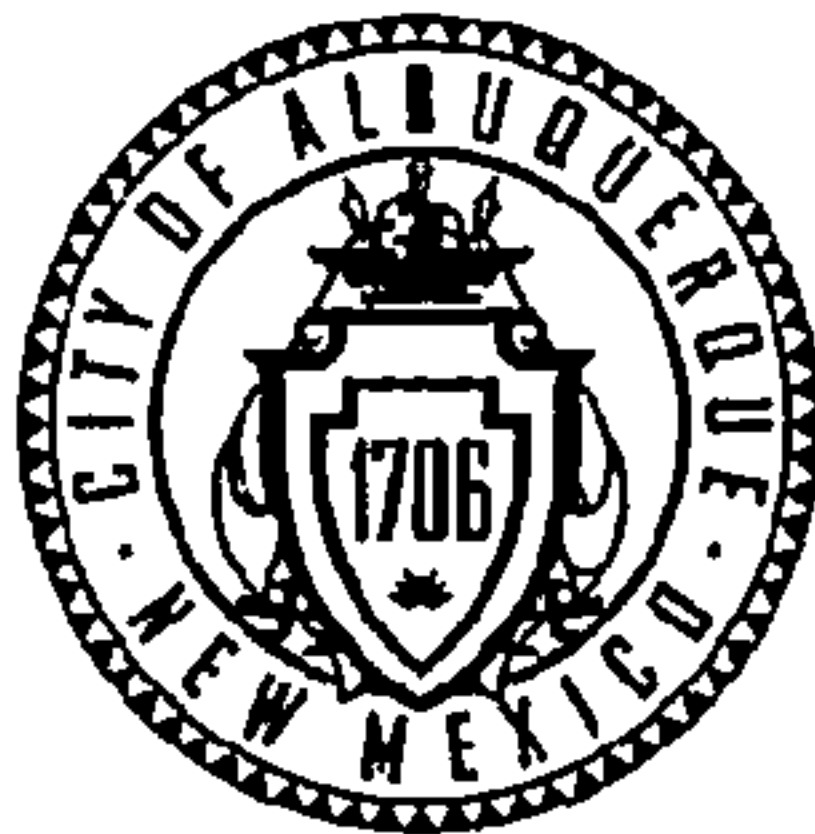
Sed Development LLC, owner (or contract purchaser) of the subject property, authorizes Dekker/Perich/Sabatini to act as agent with regard to the above referenced entitlements process.

Please contact me at 505-855-7650 if there are any questions.

Sincerely,
SED Development LLC



John Sedberry
John@SedberryNM.com
505-855-7650



City of Albuquerque

P.O. Box 1293, Albuquerque, NM 87103

PLEASE NOTE: The NA/HOA information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office

January 6, 2016

Chris Gunning
Dekker/Perich/Sabatini
7601 Jefferson NE, Suite 100/87109
Phone: 505-761-9700/Fax: 505-761-4222
E-mail: chrisg@dpsdesign.org

Dear Chris:

Thank you for your inquiry of **January 6, 2016** requesting the names of **ALL Neighborhood and/or Homeowner Associations** who would be affected under the provisions of §14-8-2-7 of the *Neighborhood Association Recognition Ordinance* by your proposed project at **(DRB SUBMITTAL) – TRACT A-1-B, HUNT-SPECTRUM DEVELOPMENT SITE, LOCATED ON THE CORNER OF INDIAN SCHOOL ROAD NE AND UPTOWN LOOP ROAD NE, EAST OF LOUISIANA BOULEVARD NE AND NORTHEAST OF THE TARGET STORE**
Zone Map: **J-19.**

Our records indicate that the **Neighborhood and/or Homeowner Associations** affected by this submittal and the contact names are as follows:

SEE "ATTACHMENT A" FOR THE NAMES OF THE NA/HOA'S THAT NEED TO BE CONTACTED IN REGARDS TO THIS PLANNING SUBMITTAL – please attach this letter and "Attachment A" to your Application Packet ALONG with copies of the letters and certified mail receipts to the NA/HOA's – siw.

Please note that according to §14-8-2-7 of the *Neighborhood Association Recognition Ordinance* you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing **(PLEASE ATTACH: 1) Copy of this letter; 2) Copy of letters sent to NA/HOA's and 3) Copy of White Receipts showing proof that you sent certified mail.)** If you have any questions about the information provided please contact me at (505) 924-3914 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Stephani Winklepleck

Neighborhood Liaison

OFFICE OF NEIGHBORHOOD COORDINATION

Planning Department

LETTERS MUST BE SENT TO BOTH CONTACTS OF EACH NA/HOA.

!!!Notice to Applicants!!!

SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected recognized neighborhood associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT**. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
 - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
 - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.>").
 - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
 - d) The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

Information from the Office of Neighborhood Coordination

The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- ONC's "Official" Letter to the applicant (if there are associations). A copy must be submitted with application packet -OR-**
- The ONC "Official" Letter (if there are no associations). A copy must be submitted with application packet.
- Copies of Letters to Neighborhood and/or Homeowners Associations (if there are associations). A copy must be submitted with application packet.**
- Copies of the certified receipts to Neighborhood and/or Homeowners Associations (if there are associations). A copy must be submitted with application packet.**

Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.

Any questions, please feel free to contact Stephani at 924-3902 or via an e-mail message at swinklepleck@cabq.gov.

Thank you for your cooperation on this matter.

(below this line for ONC use only)

Date of Inquiry: **01/06/16** Time Entered: **4:30 p.m.** ONC Rep. Initials: **siw**

ATTACHMENT A

(DRB SUBMITTAL) – TRACT A-1-B, HUNT-SPECTRUM DEVELOPMENT SITE, LOCATED ON THE CORNER OF INDIAN SCHOOL ROAD NE AND UPTOWN LOOP ROAD NE, EAST OF LOUISIANA BOULEVARD NE AND NORTHEAST OF THE TARGET STORE Zone Map: J-19 for Chris Gunning, Dekker/Perich/Sabatini.

ABQ-Park Neighborhood Association "R"

Alex W. Morgan
7414 Leah Dr. NE/87110 385-2888 (c)

James C. Sundsmo
7501 Prospect Ave. NE/87110 363-9380 (c)

Alvarado Park Neighborhood Association "R"

Darcy Bushnell
2017 Alvarado NE/87110 379-5335 (h)

Elissa M. Dente
2100 Alvarado NE/87110 268-8337 (h)

Classic Uptown Neighborhood Association "R"

David Haughawout
2824 Chama St. NE/87110

Robert Lah
2901 Mesilla St. NE/87110 883-8829 (h)

Inez Neighborhood Association "R"

Evelyn B. Feltner
2014 Utah St. NE/87110 271-9027 (h)

Donna Yetter
2111 Hoffman Dr. NE/87110 292-8102 (h)

Jerry Cline Park Neighborhood Association "R"

Mollie Papen
1016 Espanola NE/87110 268-5728 (h)

Cindy Griesmeyer
909 San Pablo St. NE/87110 255-6120 (h)

Mark Twain Neighborhood Association "R"

Barbara Lohbeck
1402 California NE/87110 254-0285 (h) 259-1932 (c)

Noreen Bladergroen
1201 California St. NE/87110 353-1225 (c)

Quigley Park Neighborhood Association "R"

Danielle Shipley
2813 La Veta Dr. NE/87110 350-1898 (c)

Eric Olivas
2708 Valencia Dr. NE/87110 934-4540 (c)

Snow Heights Neighborhood Association "R"

Laura Garcia
1404 Katie NE/87110 235-5858 (h)

Julie Nielsen
8020 Bellamah NE/87110 292-3989 (h)

Uptown Progress Team, Inc. "R"

Ed Anlian
2424 Louisiana Blvd. NE, Ste. 300/87110
880-7069 (w)

Kim Corcoran
P.O. Box 93488/87199 342-2797 (w)

Winrock South Neighborhood Association "R"

Virginia Kinney
7110 Constitution Ave. NE/87110-7122
321-5432 (message #)

John Kinney
7110 Constitution Ave. NE/87110-7122
321-5432 (message)

Winrock Villas Condo. Association


David Ely
P.O. Box 30741/87190 881-4212 (h)

Heather Pithan
1601 Pennsylvania St. NE/87110 884-8280 (o)

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission and Development Review Board. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. More details and/or minor changes may be necessary as the project progresses through DRB and building permit reviews. Certification of completeness as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. I ACKNOWLEDGE THAT MORE DETAILS AND/OR MINOR CHANGES MAY BE NECESSARY AS THE PROJECT PROGRESSES THROUGH THE REVIEW PROCESSES. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OR DEFERRAL OF THE APPLICATION.


1/21/16

Applicant or Agent Signature / Date

NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36", or as pre-approved by Planning Staff

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing):

1. **Site Plan** (including easements with recording information)
2. **Landscaping Plan**
3. **Conceptual Grading and Drainage Plan** (a separate Grading Plan sheet is required for sites > 1 acre)
4. **Conceptual Utility Plan** (for sites less than one acre, Utility Plan may be shown on Site Plan)
5. **Building and Structure Elevations**
6. **Previously approved Development Plan** (if applicable)

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. Please refer to the City's DPM, Zoning Code and any applicable Sector Development Plan and Master Development Plan for specific design requirements for the elements listed below. The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A." Each non-applicable designation must be explained by notation on the Checklist.

Accompanying Material

- A. 8-1/2" x 11" reduction for each plan sheet & electronic copy (pdf) of Site Development Plan
- B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

SHEET #1 – SITE PLAN

A. General Information

1. Date of drawing and/or last revision
2. Scale:

1.0 acre or less	1" = 10'	Over 5 acres	1" = 50'
1.0 - 5.0 acres	1" = 20' ✓	Over 20 acres	1" = 100'

[other scales, if approved by staff]
3. Bar scale
4. North arrow
5. Vicinity map
6. Signature Block (for DRB site dev. plans)
7. Property lines (clearly identify)
8. Existing easements on the site and within 20 ft. of the site with recording information; proposed easements on the site
9. Phases of development including location and square footages of structures, circulation, parking and landscaping
10. Indicate existing structures and easements (with recording information) within 20 ft. of the site

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

B. Proposed Development

1. Structural

- 1. Location of existing & proposed structures on the site (distinguish between existing & proposed, include phasing)
- 2. Dimensions and square footage of each structure
- 3. Proposed use of each structure
- 4. Walls, fences, and screening: indicate height, length, color and materials
- 5. Loading facilities
- 6. Conceptual site lighting (indicate general location & maximum height)
- 7. Location of refuse container and enclosure
- 8. Site amenities including patios, benches, tables (indicating square footage of patios/ plazas)

2. Parking and Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. **Location and typical dimensions**, including handicapped spaces
 - 2. **Calculations:** spaces required: 10 provided: 36
Handicapped spaces (included in required total) required: 3 provided: 3
Motorcycle spaces (in addition to required total) required: 2 provided: 2
- B. Bicycle parking & facilities
 - 1. Bicycle racks, spaces required: 2 provided: 5
 - NA 2. Bikeways and other bicycle facilities, if applicable
- C. Public Transit
 - NA 1. Bus facilities, including routes, bays and shelters existing or required
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths
 - 2. Location and dimension of drive aisle crossings, including paving treatment
 - 3. Location of proposed and existing public sidewalk; define distance from back of curb to sidewalk
- E. Vehicular Circulation (Refer to Chapter 23 of DPM for design requirements)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Curb cut locations and dimensions
 - 6. Existing and proposed street widths, right-of-way widths and curve radii
 - 7. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 8. Location of traffic signs and signals related to the functioning of the proposal
 - 9. Identify existing and proposed medians and median cuts

3. Phasing – This is required information if phasing of project is anticipated

- NA Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

SHEET #2 – LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff

- 1. Scale - must be same as scale on sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Statement of Landscaping Responsibility for Maintenance (Landscape Agreement will be required for landscape in public right-of-way prior to Building Permit)
- 7. Statement of compliance with Water Conservation Ordinance, see §6-1-1
- 8. Statement of compliance with §14-16-3-10, General Landscaping Regulations
- 9. Identify location and size (SF) of all landscaping areas, including:
 - A. Type, location and size of trees (common and/or botanical names)
 - B. Type and location of all ground cover material (organic/inorganic)
 - C. Existing vegetation, indicating whether it is to be preserved or removed
 - D. Ponding areas either for drainage or landscaping/recreational use
 - E. Turf area – only 20% of landscaped area can be high water-use turf
- 10. Landscape calculation table:
 - A. Required and Provided Landscape Area – square footage and percent
 - B. Required and Provided Trees (street, parking lot, screening, etc.)
- 11. Street Tree Plan as defined in the Street Tree Ordinance (see §6-6-2)
- 12. Verification of adequate sight distance
- 13. Provide a plant list of shrubs, grasses, and perennials

SHEET # 3 – CONCEPTUAL GRADING and DRAINAGE PLAN

The Conceptual Grading and Drainage Plan provides the Planning Commission and DRB with an understanding of site topography and how it relates to adjacent property. The City Engineer or her/his designee may waive or allow adjustments to the Conceptual Grading and Drainage Plan requirements for sites that are already developed or are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Building footprints
- NA 6. Location of Retaining walls

B. Grading Information

- 1. Provide a narrative description of existing site topography, proposed grading improvements, flood zone status, and topography within 20 feet of the site.
- 2. Show existing and proposed contours, retaining wall heights, approximate street (drive entrance/parking lot) slopes.
- 3. Identify whether ponding is required
- 4. Indicate Finished Floor Elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

NA 5. Cross Sections

Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change.

✓ 6. In addition to the above, the following must be provided for DRB applications:

A. Conceptual onsite drainage system

B. For sites 5 acres or greater or for sites where drainage infrastructure is required, a Drainage Report is required.

SHEET #4 – UTILITY PLAN

If site is less than one acre, the Utility Plan may be shown on sheet #1

✓ 1. Fire hydrant locations, existing and proposed.

✓ 2. Distribution lines

✓ 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.

✓ 4. Existing water, sewer, storm drainage facilities (public and/or private).

✓ 5. Proposed water, sewer, storm drainage facilities (public and/or private)

SHEET #5 BUILDING AND STRUCTURE ELEVATIONS

A. General Information

✓ 1. Scale (minimum of 1/8" or as approved by Planning Staff)

✓ 2. Bar Scale

✓ 3. Detailed Building Elevations for each facade

✓ a. Identify facade orientation (north, south, east, & west)

✓ b. Facade dimensions including overall height and width of building and major building articulation elements such as doors and windows (to determine compliance with zoning or other regulations)

✓ c. Materials and colors of principle building elements – façade, roof, windows, doors, etc.

✓ d. 8½" x 11" color renderings or similar illustrations (2 for DRB and 10 for EPC)

✓ 4. Dimensions, colors and materials of Refuse Enclosure

NA 5. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discuss submittal requirements with Planning Department staff.

B. Signage

✓ 1. Site location(s)

✓ 2. Sign elevations to scale

✓ 3. Dimensions, including height and width

✓ 4. Sign face area - dimensions and square footage clearly indicated

✓ 5. Lighting

✓ 6. Materials and colors for sign face and structural elements

✓ 7. Verification of adequate sight distance

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- For an additional fee, and with a proper endorsement on the mailpiece, you may request the following services:
 - Return receipt service, which provides a record of delivery (including the recipient's signature). You can request a hardcopy return receipt or an electronic version. For a hardcopy return receipt, complete PS Form 3811, *Domestic Return Receipt*; attach PS Form 3811 to your mailpiece;

for an electronic return receipt, see a retail associate for assistance. To receive a duplicate return receipt for no additional fee, present this USPS®-postmarked Certified Mail receipt to the retail associate.

- Restricted delivery service, which provides delivery to the addressee specified by name, or to the addressee's authorized agent.
- Adult signature service, which requires the signee to be at least 21 years of age (not available at retail).
- Adult signature restricted delivery service, which requires the signee to be at least 21 years of age and provides delivery to the addressee specified by name, or to the addressee's authorized agent (not available at retail).
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JAN 28 2016

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Sent To

ALEX W MORGAN

ABQ-PARK NEIGHBORHOOD ASSOC

Street and Apt. #

7414 LEAH DR NE

City, State, ZIP+4

ALBUQUERQUE NM 87110

084T 6299 0000 0490 5T02
7015 0640

January 25, 2016

Alex W. Morgan
7414 Leah Drive NE
Albuquerque, N.M. 87110

DEKKER
PERICH
SABATINI

Re: Shops at Uptown
Request for review and approval of Site Development Plan for Building Permit
Legal Description: Tract A-1-B, Plat of Tracts A-1-A, A-1-B, & A-1-C of Hunt – Spectrum
Development Site
City Planning Project # 1007316

Dear Alex:

We are acting as agent for SED Development, LLC, owners of the subject property, for the action referenced above. Per the requirements of the Uptown Sector Development Plan, we are providing notice of a public hearing at the regular meeting of the City's Development Review Board (DRB) on February 10, 2016, at 9:00am, in the Basement Hearing Room at the City of Albuquerque's Plaza del Sol Building, at 600 Second Street NW, Albuquerque, NM 87103.

The proposed project is located at the southwest corner of Indian School Road and Uptown Loop Road NE. This is the northeast corner of the block on which the Target store was recently built. The site was established with a subdivision action that was completed by Target in November of 2013, and this project is part of the original master plan for the block.

If you have any questions regarding the project please contact me at 505-761-9700 or chrisg@dpsdesign.org, or you may contact the City's case planner:

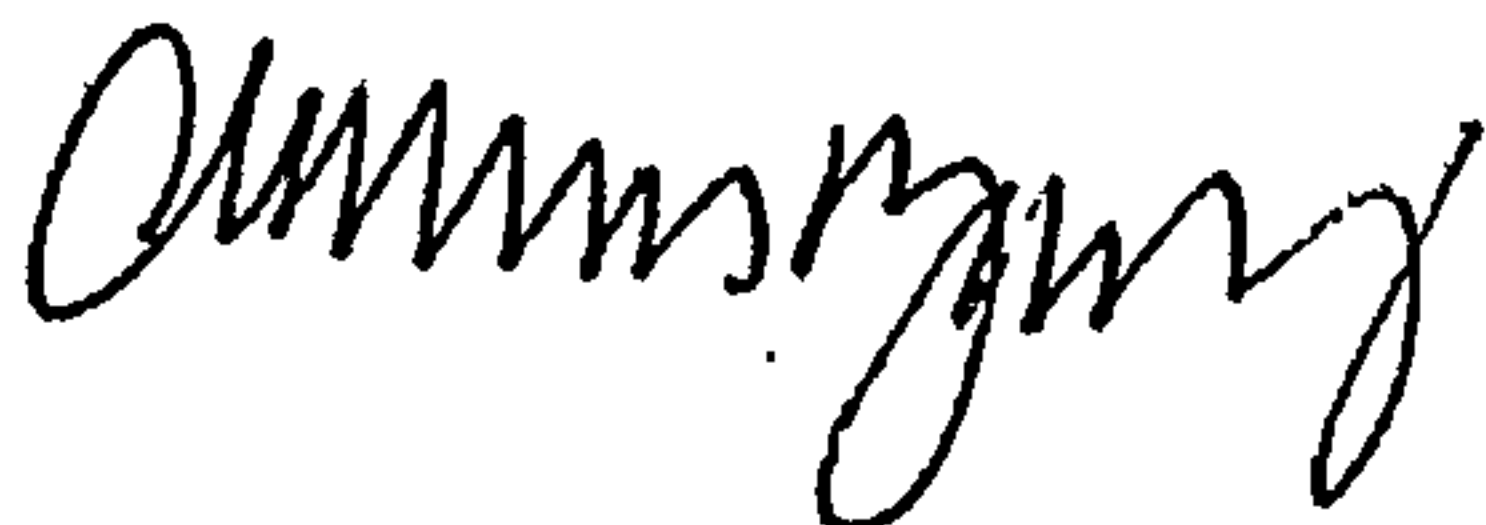
Vicente Quevedo, Case Planner
City of Albuquerque Planning Department
505-924-3357
vquevedo@cabq.gov

or, you may contact the developer:

John Sedberry, Applicant
SED Development LLC
505-855-7650
Joh@SedberryNM.com

Sincerely,

Dekker/Perich/Sabatini
Agent for SED Development, LLC



Christopher R. Gunning, AIA, LEED AP
Principal

Attachment: Site Development Plan for Building Permit Drawing Package (reduced size)

7015 0640 0490 5102
2015 0640 0003 6299 6299 3473

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<input type="checkbox"/> Return Receipt (electronic)	\$ _____
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<input type="checkbox"/> Adult Signature Required	\$ _____
<input type="checkbox"/> Adult Signature Restricted Delivery	\$ _____

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Total Postage and
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Street and Apt. No.
City, State, ZIP+4

JAMES C. SUNDSMO
ABQ-PARK NEIGHBORHOOD ASSOC
7501 PROSPECT AVE NE
ALBUQUERQUE NM 87110

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IMPORTANT: Save this receipt for your records.

January 25, 2016

James C. Sundsmo
7501 Prospect Avenue NE
Albuquerque, NM 87110

**DEKKER
PERICH
SABATINI**

Re: Shops at Uptown
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Development Site
City Planning Project # 1007316

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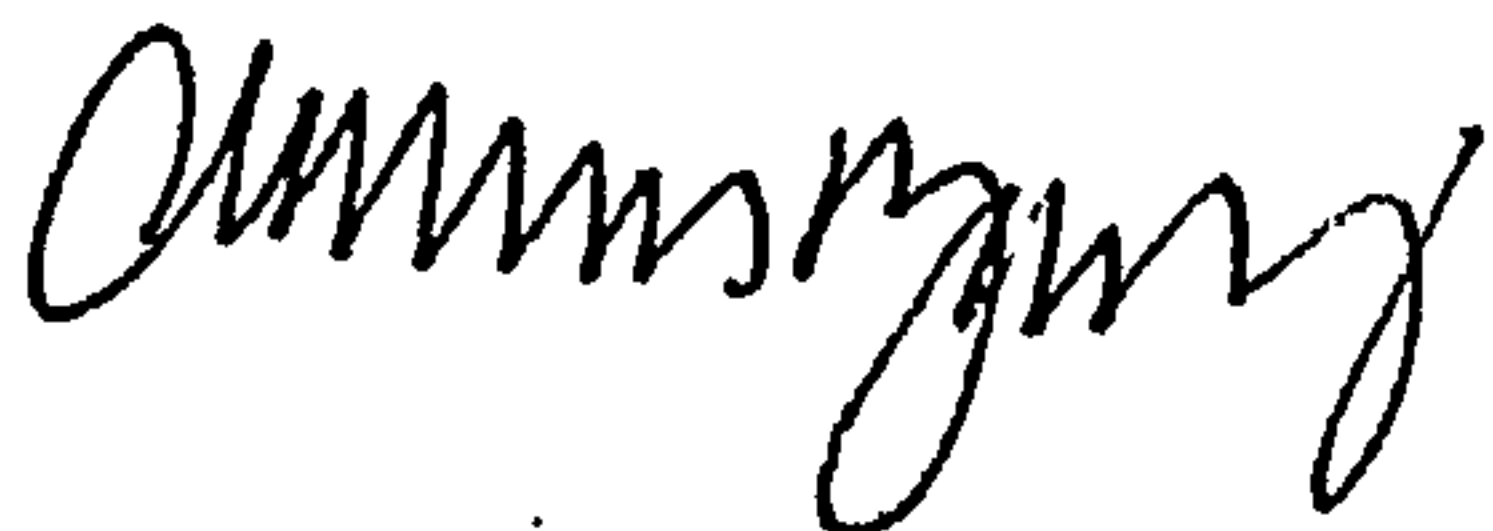
Vicente Quevedo, Case Planner
City of Albuquerque Planning Department
505-924-3357
vquevedo@cabq.gov

or, you may contact the developer:

John Sedberry, Applicant
SED Development LLC
505-855-7650
Joh@SedberryNM.com

Sincerely,

Dekker/Perich/Sabatini
Agent for SED Development, LLC



Christopher R. Gunning, AIA, LEED AP
Principal

Attachment: Site Development Plan for Building Permit Drawing Package (reduced size)

U.S. Postal Service™

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Dekker/Perich/Sabatini

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DARCY BUSHNELL
 ALVARADO PARK NH ASSOC
 2017 ALVARADO NE
 ALBUQUERQUE NM 87110

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IMPORTANT: Save this receipt for your records.

January 25, 2016

Darcy Bushnell
2017 Alvarado NE
Albuquerque, NM 87110

DEKKER
PERICH
SABATINI

Re: Shops at Uptown
Request for review and approval of Site Development Plan for Building Permit
Legal Description: Tract A-1-B, Plat of Tracts A-1-A, A-1-B, & A-1-C of Hunt – Spectrum
Development Site
City Planning Project # 1007316

Dear Darcy:

We are acting as agent for SED Development, LLC, owners of the subject property, for the action referenced above. Per the requirements of the Uptown Sector Development Plan, we are providing notice of a public hearing at the regular meeting of the City's Development Review Board (DRB) on February 10, 2016, at 9:00am, in the Basement Hearing Room at the City of Albuquerque's Plaza del Sol Building, at 600 Second Street NW, Albuquerque, NM 87103.

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If you have any questions regarding the project please contact me at 505-761-9700 or chrisg@dpsdesign.org, or you may contact the City's case planner:

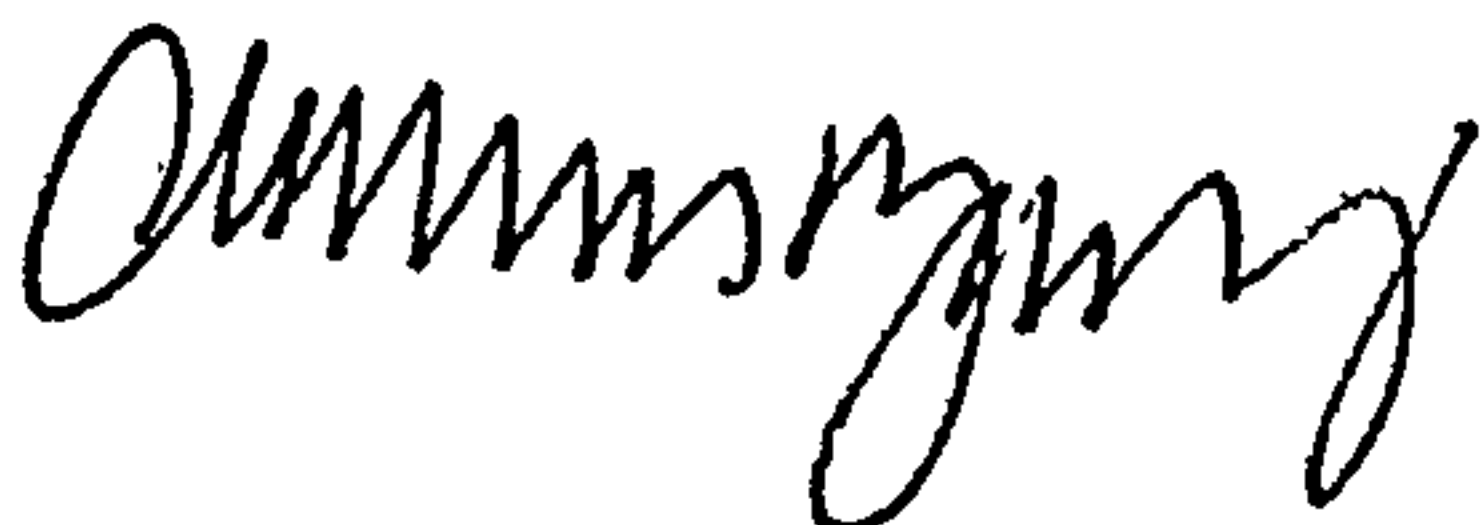
Vicente Quevedo, Case Planner
City of Albuquerque Planning Department
505-924-3357
vquevedo@cabq.gov

or, you may contact the developer:

John Sedberry, Applicant
SED Development LLC
505-855-7650
Joh@SedberryNM.com

Sincerely,

Dekker/Perich/Sabatini
Agent for SED Development, LLC



Christopher R. Gunning, AIA, LEED AP
Principal

Attachment: Site Development Plan for Building Permit Drawing Package (reduced size)

6547 6299 6003 0490 5102
7015 0640

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- Adult Signature Required \$ _____
- Adult Signature Restricted Delivery \$ _____

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ELISSA M DENTE
ALVARADO PARK NH ASSOC
2100 ALVARADO NE
ALBUQUERQUE NM 87110

Dekker/Perich/Sabatini

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January 25, 2016

Elissa M. Dente
2100 Alvarado NE
Albuquerque, NM 87110

DEKKER
PERICH
SABATINI

Re: Shops at Uptown
Request for review and approval of Site Development Plan for Building Permit
Legal Description: Tract A-1-B, Plat of Tracts A-1-A, A-1-B, & A-1-C of Hunt – Spectrum
Development Site
City Planning Project # 1007316

Dear Elissa:

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If you have any questions regarding the project please contact me at 505-761-9700 or chrisg@dpsdesign.org, or you may contact the City's case planner:

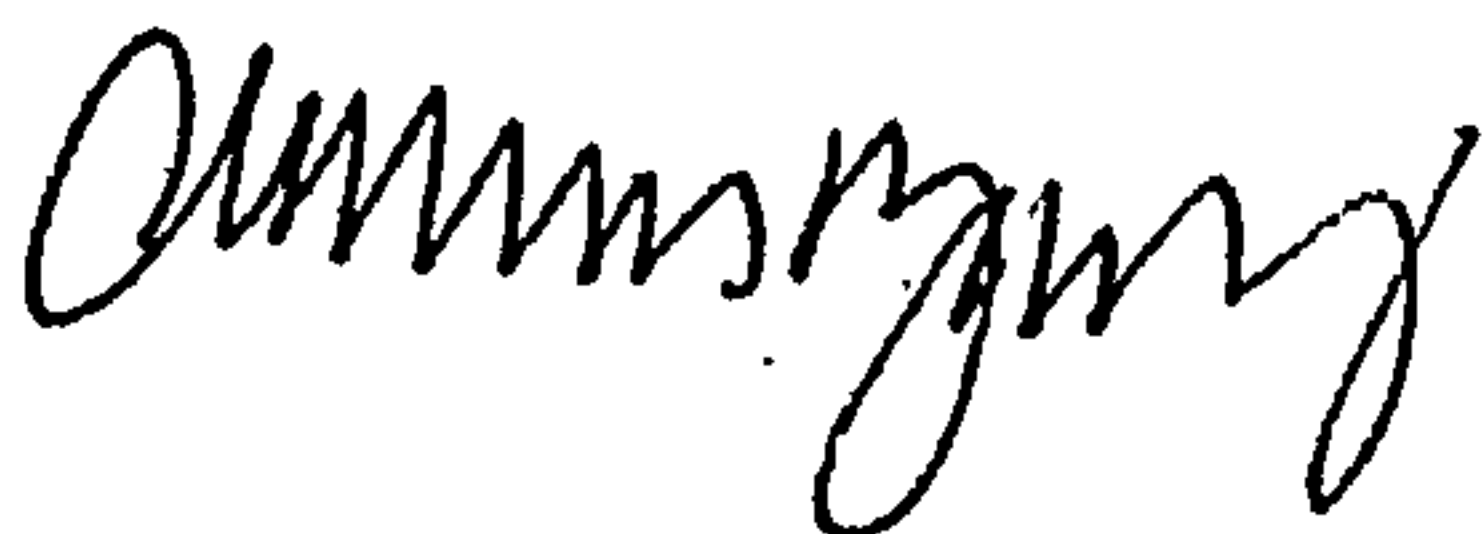
Vicente Quevedo, Case Planner
City of Albuquerque Planning Department
505-924-3357
vquevedo@cabq.gov

or, you may contact the developer:

John Sedberry, Applicant
SED Development LLC
505-855-7650
Joh@SedberryNM.com

Sincerely,

Dekker/Perich/Sabatini
Agent for SED Development, LLC



Christopher R. Gunning, AIA, LEED AP
Principal

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Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

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JAN 24 2016
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DAVID HAUGHAWOUT
CLASSIC UPTOWN NH ASSOC
2824 CHAMA ST NE
ALBUQUERQUE NM 87110

244T 6299 E000 0490 5T02

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January 25, 2016

David Haughwout
2824 Chama Street NE
Albuquerque, NM 87110

DEKKER
PERICH
SABATINI

Re: Shops at Uptown
Request for review and approval of Site Development Plan for Building Permit
Legal Description: Tract A-1-B, Plat of Tracts A-1-A, A-1-B, & A-1-C of Hunt – Spectrum
Development Site
City Planning Project # 1007316

Dear David:

We are acting as agent for SED Development, LLC, owners of the subject property, for the action referenced above. Per the requirements of the Uptown Sector Development Plan, we are providing notice of a public hearing at the regular meeting of the City's Development Review Board (DRB) on February 10, 2016, at 9:00am, in the Basement Hearing Room at the City of Albuquerque's Plaza del Sol Building, at 600 Second Street NW, Albuquerque, NM 87103.

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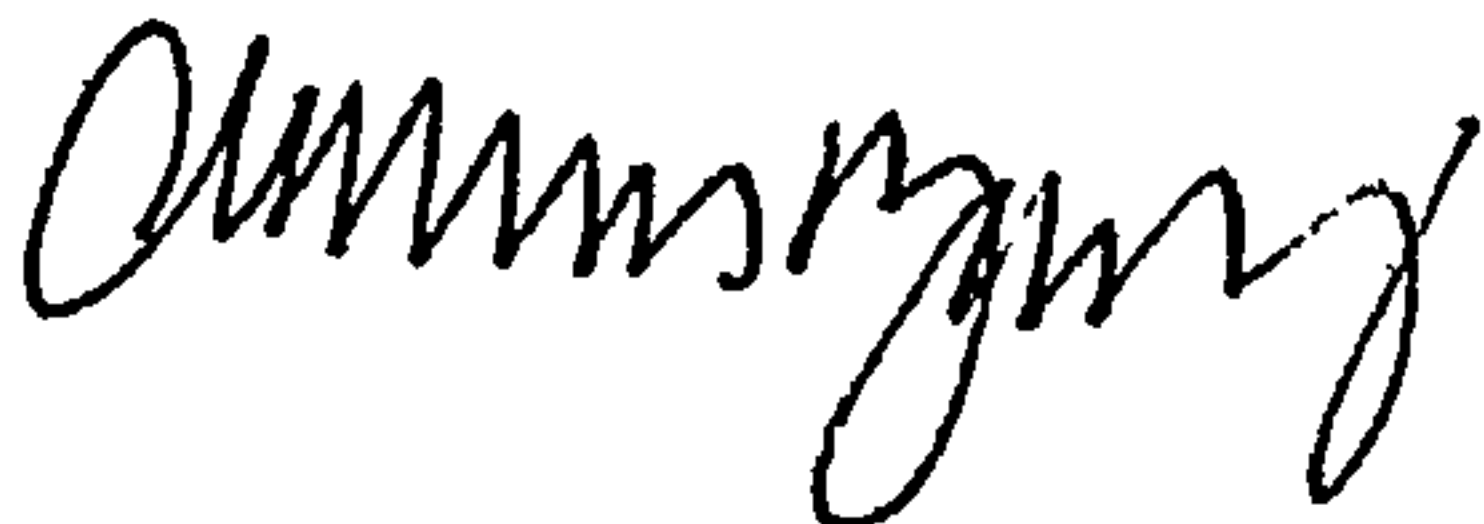
Vicente Quevedo, Case Planner
City of Albuquerque Planning Department
505-924-3357
vquevedo@cabq.gov

or, you may contact the developer:

John Sedberry, Applicant
SED Development LLC
505-855-7650
Joh@SedberryNM.com

Sincerely,

Dekker/Perich/Sabatini
Agent for SED Development, LLC



Christopher R. Gunning, AIA, LEED AP
Principal

Attachment: Site Development Plan for Building Permit Drawing Package (reduced size)

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<input type="checkbox"/> Return Receipt (electronic)	\$ _____
<input type="checkbox"/> Certified Mail Restricted Delivery	\$ _____
<input type="checkbox"/> Adult Signature Required	\$ _____
<input type="checkbox"/> Adult Signature Restricted Delivery	\$ _____

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JAN 20 2016
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Dekker/Perich/Sabatini

Postage	49
\$	40.25
Total Postage & Fees	
\$	6.74

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ROBERT LAH
 CLASSIC UPTOWN NH ASSOC
 2901 MESILLA ST NE
 ALBUQUERQUE NM 87110

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January 25, 2016

Robert Lah
2901 Mesilla Street NE
Albuquerque, NM 87110

DEKKER
PERICH
SABATINI

Re: Shops at Uptown
Request for review and approval of Site Development Plan for Building Permit
Legal Description: Tract A-1-B, Plat of Tracts A-1-A, A-1-B, & A-1-C of Hunt – Spectrum
Development Site
City Planning Project # 1007316

Dear Robert:

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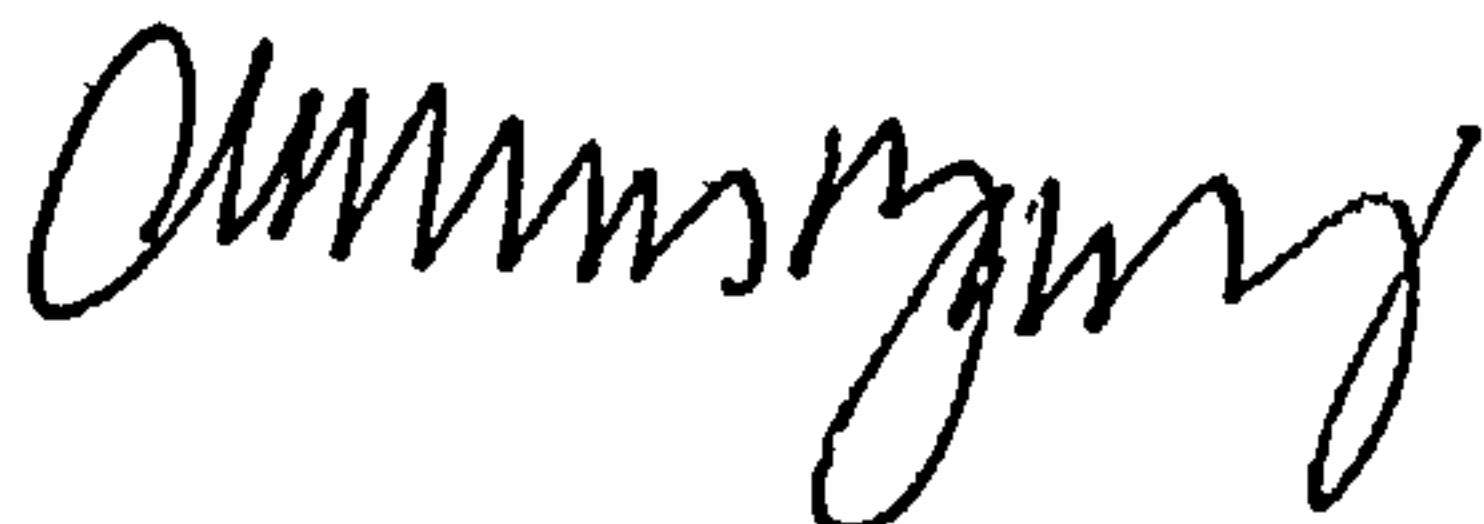
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vquevedo@cabq.gov

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SED Development LLC
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Joh@SedberryNM.com

Sincerely,

Dekker/Perich/Sabatini
Agent for SED Development, LLC



Christopher R. Gunning, AIA, LEED AP
Principal

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Adult Signature Required \$ _____

Adult Signature Restricted Delivery \$ _____

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Total Postage at

\$ 6.74

Sent To

EVELYN B FELTNER
INEZ NEIGHBORHOOD ASSOC
2014 UTAH ST NE
ALBUQUERQUE NM 87110

Street and Apt. N

City, State, ZIP+4

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January 25, 2016

Evelyn B. Feltner
2014 Utah Street NE
Albuquerque, NM 87110

DEKKER
PERICH
SABATINI

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Development Site
City Planning Project # 1007316

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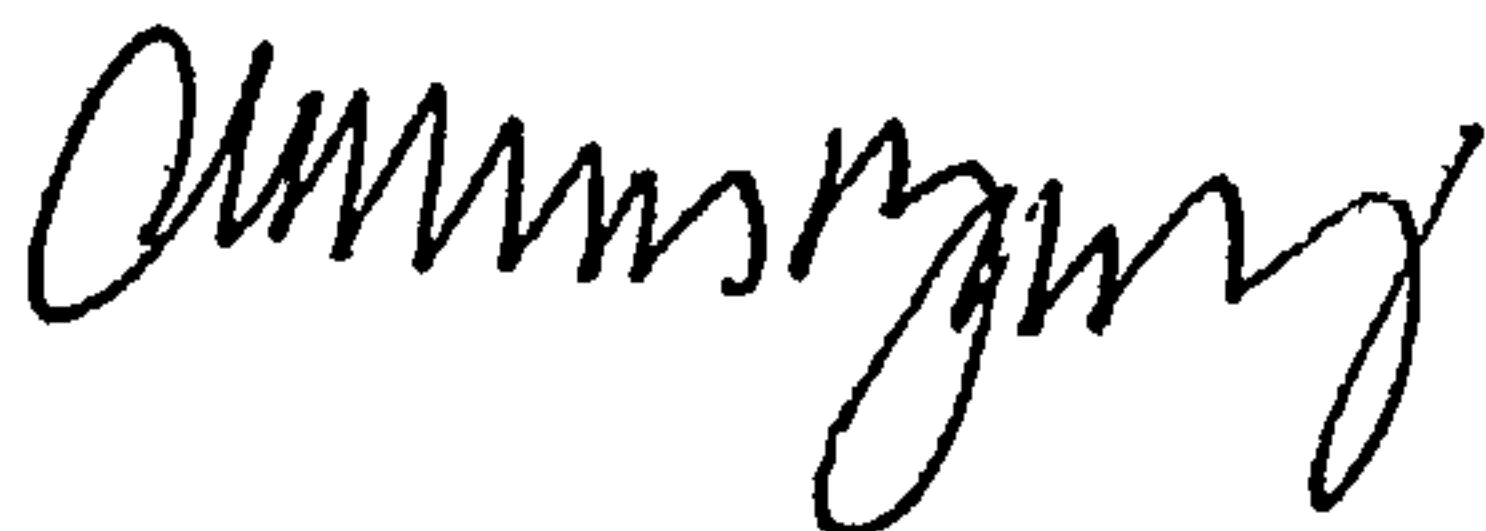
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Joh@SedberryNM.com

Sincerely,

Dekker/Perich/Sabatini
Agent for SED Development, LLC



Christopher R. Gunning, AIA, LEED AP
Principal

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JAN 28 2016

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Total Postage at
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Dekker/Perich/Sabatini

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DONNA YETTER
INEZ NEIGHBORHOOD ASSOC
2111 HOFFMAN DR NE
ALBUQUERQUE NM 87110

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January 25, 2016

Donna Yetter
2111 Hoffman Drive NE
Albuquerque, NM 87110

DEKKER
PERICH
SABATINI

Re: Shops at Uptown
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Legal Description: Tract A-1-B, Plat of Tracts A-1-A, A-1-B, & A-1-C of Hunt – Spectrum
Development Site
City Planning Project # 1007316

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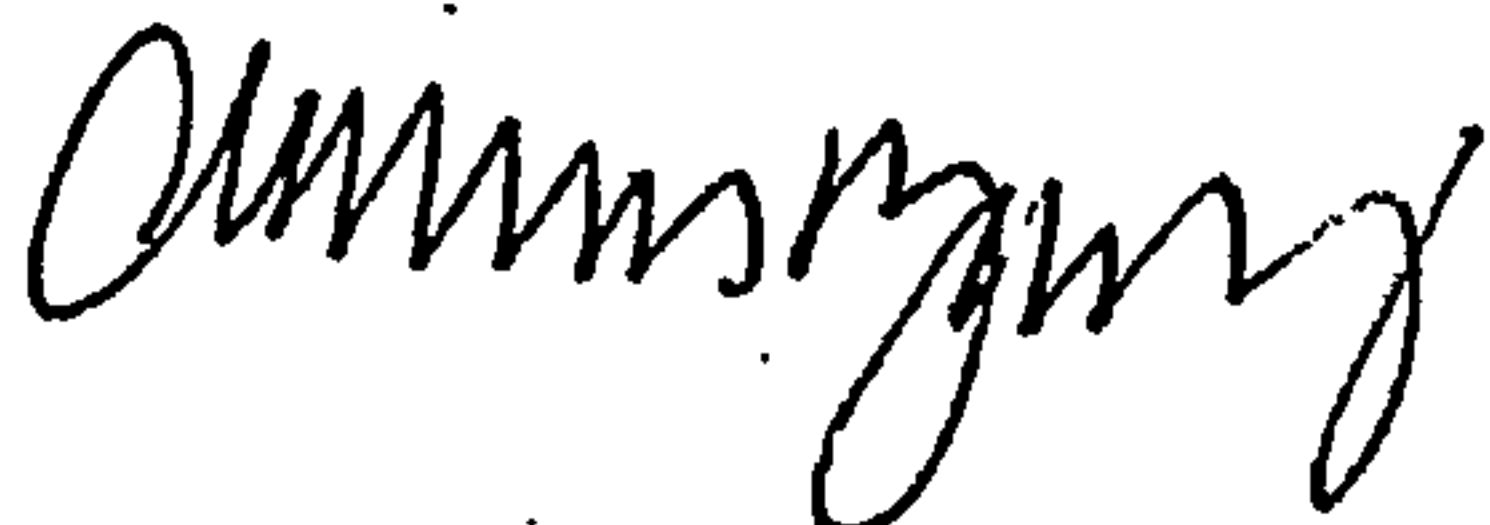
Vicente Quevedo, Case Planner
City of Albuquerque Planning Department
505-924-3357
vquevedo@cabq.gov

or, you may contact the developer:

John Sedberry, Applicant
SED Development LLC
505-855-7650
Joh@SedberryNM.com

Sincerely,

Dekker/Perich/Sabatini
Agent for SED Development, LLC



Christopher R. Gunning, AIA, LEED AP
Principal

Attachment: Site Development Plan for Building Permit Drawing Package (reduced size)

U.S. Postal Service™

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MOLLY PAPEN
JERRY CLINE PARK NH ASSOC
1016 ESPANOLA NE
ALBUQUERQUE NM 87110

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Dekker/Perich/Sabatini

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IMPORTANT: Save this receipt for your records.

January 25, 2016

Mollie Papen
1016 Espanola NE
Albuquerque, NM 87110

DEKKER
PERICH
SABATINI

Re: Shops at Uptown
Request for review and approval of Site Development Plan for Building Permit
Legal Description: Tract A-1-B, Plat of Tracts A-1-A, A-1-B, & A-1-C of Hunt – Spectrum
Development Site
City Planning Project # 1007316

Dear Mollie:

We are acting as agent for SED Development, LLC, owners of the subject property, for the action referenced above. Per the requirements of the Uptown Sector Development Plan, we are providing notice of a public hearing at the regular meeting of the City's Development Review Board (DRB) on February 10, 2016, at 9:00am, in the Basement Hearing Room at the City of Albuquerque's Plaza del Sol Building, at 600 Second Street NW, Albuquerque, NM 87103.

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If you have any questions regarding the project please contact me at 505-761-9700 or chrisg@dpsdesign.org, or you may contact the City's case planner:

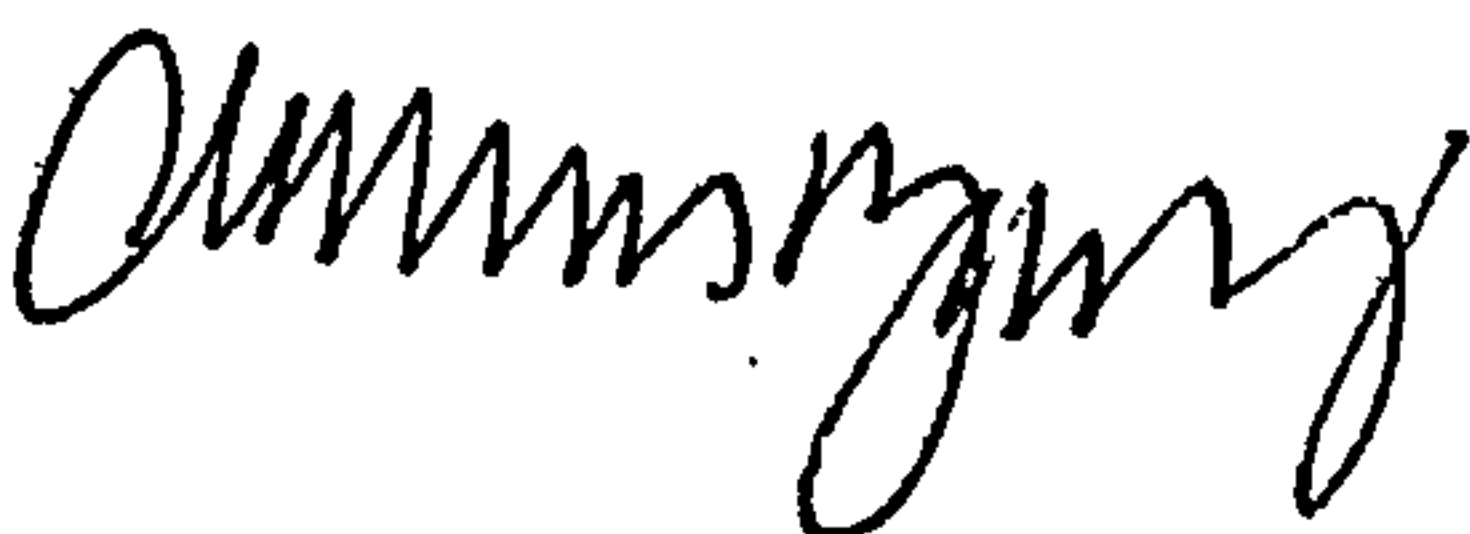
Vicente Quevedo, Case Planner
City of Albuquerque Planning Department
505-924-3357
vquevedo@cabq.gov

or, you may contact the developer:

John Sedberry, Applicant
SED Development LLC
505-855-7650
Joh@SedberryNM.com

Sincerely,

Dekker/Perich/Sabatini
Agent for SED Development, LLC



Christopher R. Gunning, AIA, LEED AP
Principal

Attachment: Site Development Plan for Building Permit Drawing Package (reduced size)

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- Adult Signature Required \$ _____
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CINDY GRIESMEYER
 JERRY CLINE PARK NA ASSOC
 909 SAN PABLO ST NE
 ALBUQUERQUE NM 87110

Dekker/Perich/Sabatini

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IMPORTANT: Save this receipt for your records.

January 25, 2016

Cindy Griesmeyer
909 San Pablo Street NE
Albuquerque, NM 87110

DEKKER
PERICH
SABATINI

Re: Shops at Uptown
Request for review and approval of Site Development Plan for Building Permit
Legal Description: Tract A-1-B, Plat of Tracts A-1-A, A-1-B, & A-1-C of Hunt – Spectrum
Development Site
City Planning Project # 1007316

Dear Cindy:

We are acting as agent for SED Development, LLC, owners of the subject property, for the action referenced above. Per the requirements of the Uptown Sector Development Plan, we are providing notice of a public hearing at the regular meeting of the City's Development Review Board (DRB) on February 10, 2016, at 9:00am, in the Basement Hearing Room at the City of Albuquerque's Plaza del Sol Building, at 600 Second Street NW, Albuquerque, NM 87103.

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If you have any questions regarding the project please contact me at 505-761-9700 or chrisg@dpsdesign.org, or you may contact the City's case planner:

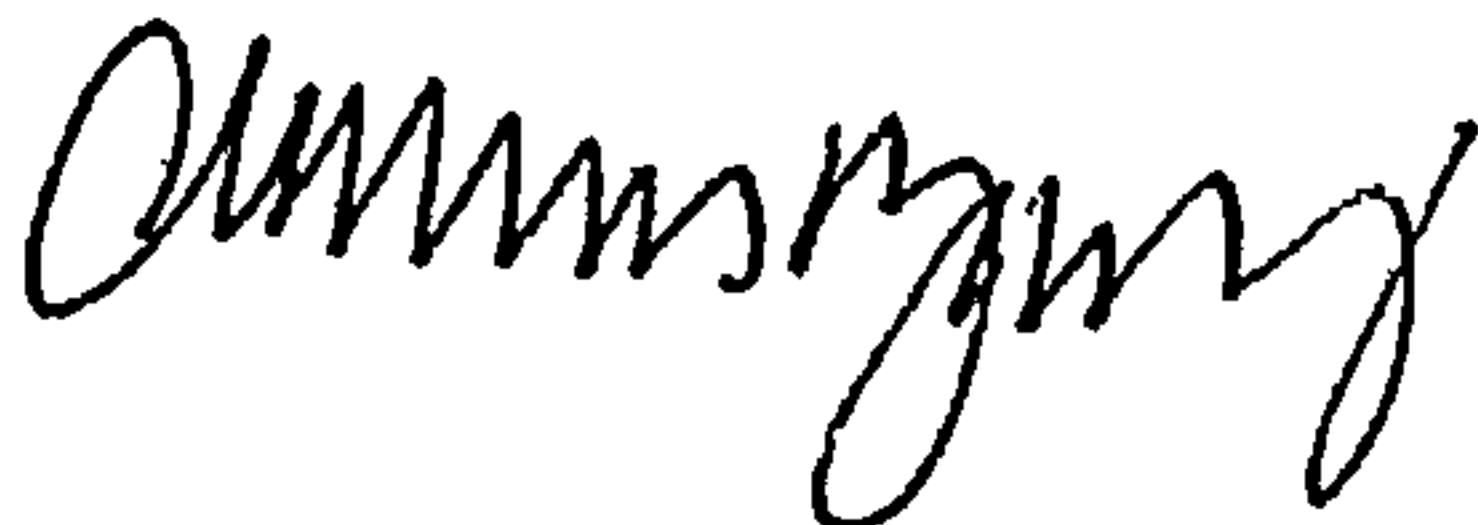
Vicente Quevedo, Case Planner
City of Albuquerque Planning Department
505-924-3357
vquevedo@cabq.gov

or, you may contact the developer:

John Sedberry, Applicant
SED Development LLC
505-855-7650
Joh@SedberryNM.com

Sincerely,

Dekker/Perich/Sabatini
Agent for SED Development, LLC



Christopher R. Gunning, AIA, LEED AP
Principal

Attachment: Site Development Plan for Building Permit Drawing Package (reduced size)

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Extra Services & Fees (check box, add fee as appropriate)	
<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$ <u>2.80</u>
<input type="checkbox"/> Return Receipt (electronic)	\$ _____
<input type="checkbox"/> Certified Mail Restricted Delivery	\$ _____
<input type="checkbox"/> Adult Signature Required	\$ _____
<input type="checkbox"/> Adult Signature Restricted Delivery	\$ _____

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**BARBARA LOHBECK
MARK TWAIN NEIGHBORHOOD ASSOC
1402 CALIFORNIA NE
ALBUQUERQUE NM 87110**

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IMPORTANT: Save this receipt for your records.

January 25, 2016

Barbara Lohbeck
1402 California NE
Albuquerque, NM 87110

DEKKER
PERICH
SABATINI

Re: Shops at Uptown
Request for review and approval of Site Development Plan for Building Permit
Legal Description: Tract A-1-B, Plat of Tracts A-1-A, A-1-B, & A-1-C of Hunt – Spectrum
Development Site
City Planning Project # 1007316

Dear Barbara:

We are acting as agent for SED Development, LLC, owners of the subject property, for the action referenced above. Per the requirements of the Uptown Sector Development Plan, we are providing notice of a public hearing at the regular meeting of the City's Development Review Board (DRB) on February 10, 2016, at 9:00am, in the Basement Hearing Room at the City of Albuquerque's Plaza del Sol Building, at 600 Second Street NW, Albuquerque, NM 87103.

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If you have any questions regarding the project please contact me at 505-761-9700 or chrisg@dpsdesign.org, or you may contact the City's case planner:

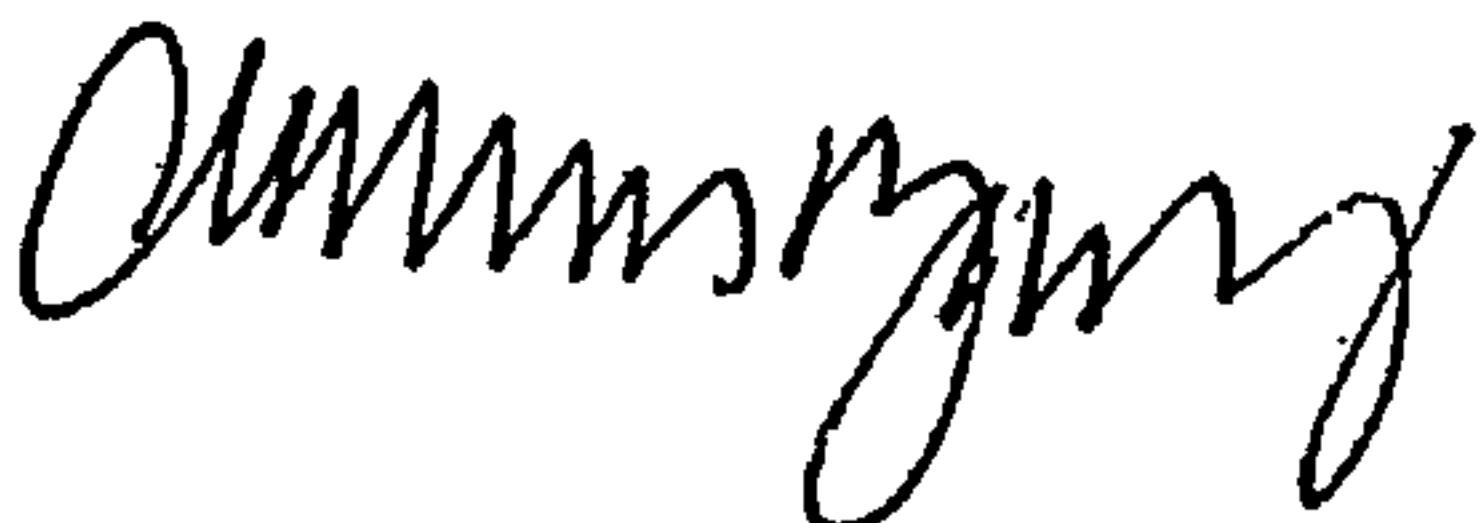
Vicente Quevedo, Case Planner
City of Albuquerque Planning Department
505-924-3357
vquevedo@cabq.gov

or, you may contact the developer:

John Sedberry, Applicant
SED Development LLC
505-855-7650
Joh@SedberryNM.com

Sincerely,

Dekker/Perich/Sabatini
Agent for SED Development, LLC



Christopher R. Gunning, AIA, LEED AP
Principal

Attachment: Site Development Plan for Building Permit Drawing Package (reduced size)

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<input type="checkbox"/> Certified Mail Restricted Delivery	\$ _____
<input type="checkbox"/> Adult Signature Required	\$ _____
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Dekker/Perlich/Sabatini

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Total Postage
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NOREEN BLADERGROEN
 MARK TWAIN NEIGHBORHOOD ASSOC
 1201 CALIFORNIA ST NE
 ALBUQUERQUE NM 87110

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IMPORTANT: Save this receipt for your records.

January 25, 2016

Noreen Bladergroen
1201 California Street NE
Albuquerque, NM 87110

**DEKKER
PERICH
SABATINI**

Re: Shops at Uptown
Request for review and approval of Site Development Plan for Building Permit
Legal Description: Tract A-1-B, Plat of Tracts A-1-A, A-1-B, & A-1-C of Hunt – Spectrum
Development Site
City Planning Project # 1007316

Dear Noreen:

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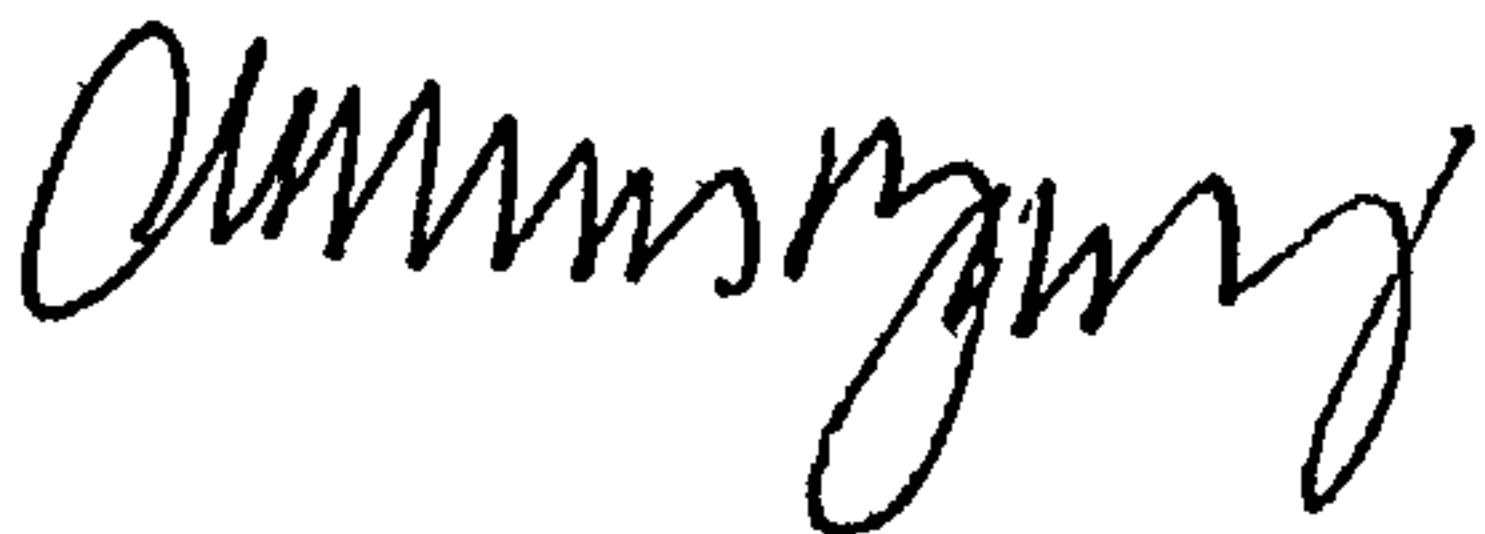
Vicente Quevedo, Case Planner
City of Albuquerque Planning Department
505-924-3357
vquevedo@cabq.gov

or, you may contact the developer:

John Sedberry, Applicant
SED Development LLC
505-855-7650
Joh@SedberryNM.com

Sincerely,

Dekker/Perich/Sabatini
Agent for SED Development, LLC



Christopher R. Gunning, AIA, LEED AP
Principal

Attachment: Site Development Plan for Building Permit Drawing Package (reduced size)

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 Certified Mail Restricted Delivery \$ _____
 Adult Signature Required \$ _____
 Adult Signature Restricted Delivery \$ _____

Postage **.44**
\$ ~~6.00~~

Total Postage at
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DANIELLE SHIPLEY
QUIGLEY PARK NEIGHBORHOOD ASSOC
2813 LA VETA DR NE
ALBUQUERQUE NM 87110

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Denker/Perich/Sabatini

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IMPORTANT: Save this receipt for your records.

January 25, 2016

Danielle Shipley
2813 La Veta Drive NE
Albuquerque, NM 87110

DEKKER
PERICH
SABATINI

Re: Shops at Uptown
Request for review and approval of Site Development Plan for Building Permit
Legal Description: Tract A-1-B, Plat of Tracts A-1-A, A-1-B, & A-1-C of Hunt – Spectrum
Development Site
City Planning Project # 1007316

Dear Danielle:

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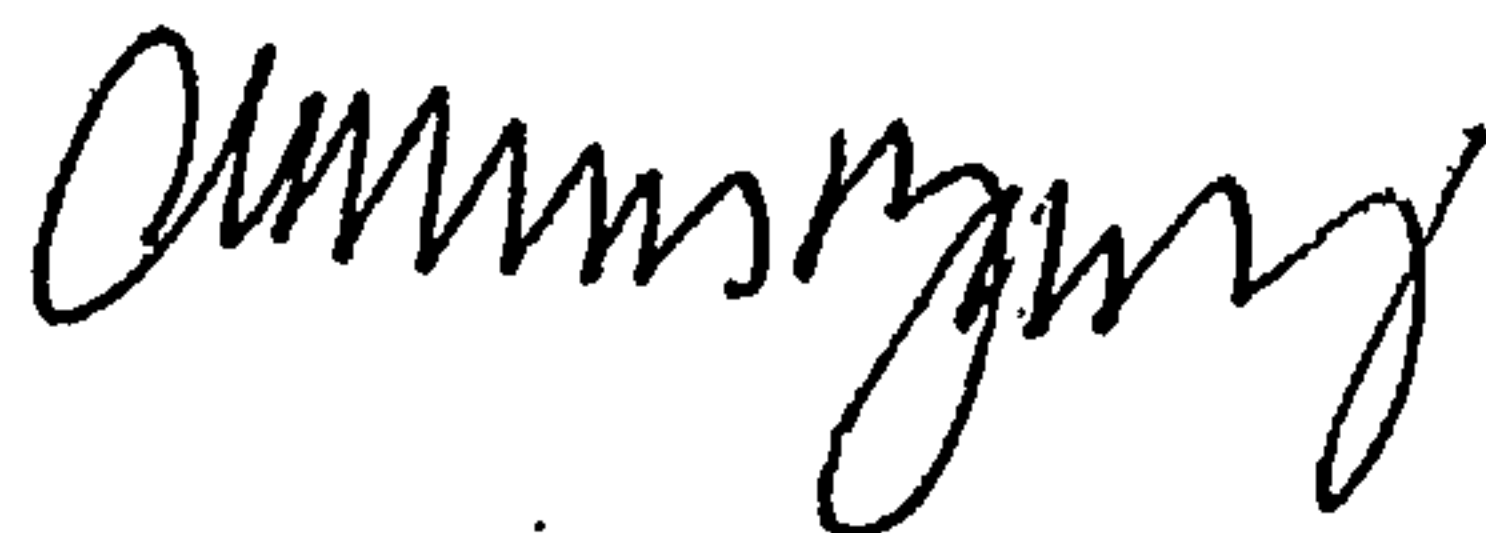
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City of Albuquerque Planning Department
505-924-3357
vquevedo@cabq.gov

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SED Development LLC
505-855-7650
Joh@SedberryNM.com

Sincerely,

Dekker/Perich/Sabatini
Agent for SED Development, LLC



Christopher R. Gunning, AIA, LEED AP
Principal

Attachment: Site Development Plan for Building Permit Drawing Package (reduced size)

425ET 6299 6629 1374
E0003 0000
0490 5T02
7075 0640

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RECEIVED

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Return Receipt (electronic) \$ _____

Certified Mail Restricted Delivery \$ _____

Adult Signature Required \$ _____

Adult Signature Restricted Delivery \$ _____

JAN 24 2016
Postmark Here

Dekker/Perich/Sabatini

Postage

\$ **.49**

Total Postage:

\$ **6.74**

ERIC OLIVAS
QUIGLEY PARK NEIGHBORHOOD ASSOC
2708 VALENCIA DR NE
ALBUQUERQUE NM 87110

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Street and Apt.

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January 25, 2016

Eric Olivas
2708 Valencia Drive NE
Albuquerque, NM 87110

DEKKER
PERICH
SABATINI

Re: Shops at Uptown
Request for review and approval of Site Development Plan for Building Permit
Legal Description: Tract A-1-B, Plat of Tracts A-1-A, A-1-B, & A-1-C of Hunt – Spectrum
Development Site
City Planning Project # 1007316

Dear Eric:

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If you have any questions regarding the project please contact me at 505-761-9700 or chrisg@dpsdesign.org, or you may contact the City's case planner:

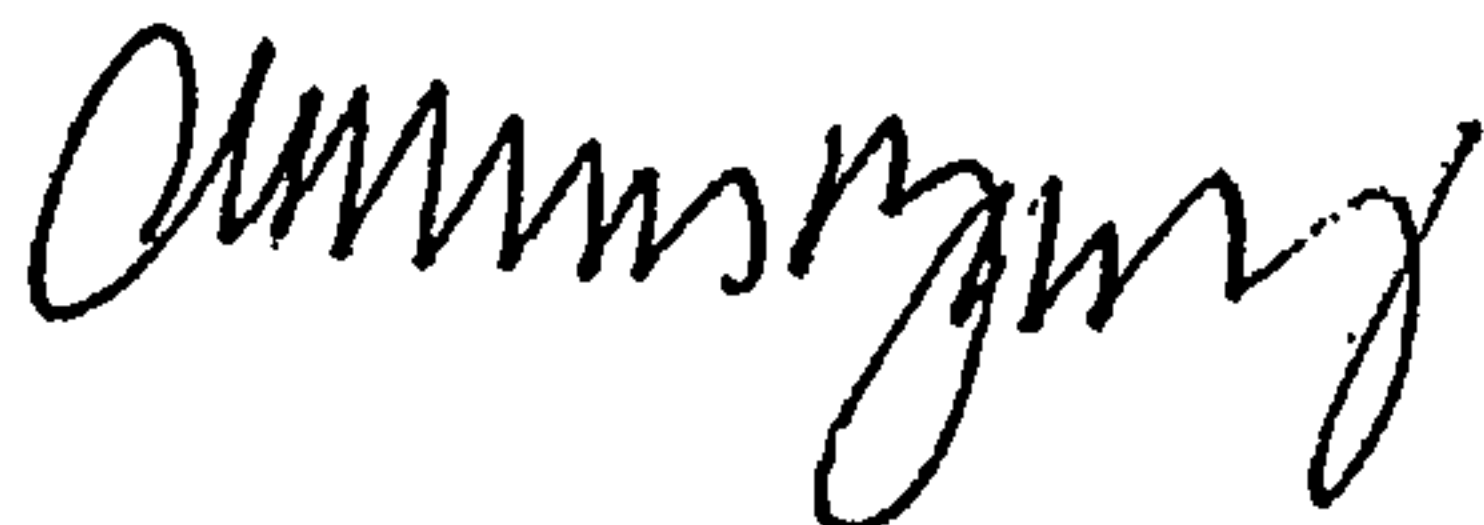
Vicente Quevedo, Case Planner
City of Albuquerque Planning Department
505-924-3357
vquevedo@cabq.gov

or, you may contact the developer:

John Sedberry, Applicant
SED Development LLC
505-855-7650
Joh@SedberryNM.com

Sincerely,

Dekker/Perich/Sabatini
Agent for SED Development, LLC



Christopher R. Gunning, AIA, LEED AP
Principal

Attachment: Site Development Plan for Building Permit Drawing Package (reduced size)

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IMPORTANT: Save this receipt for your records.

January 25, 2016

Laura Garcia
1404 Katie NE
Albuquerque, NM 87110

DEKKER
PERICH
SABATINI

Re: Shops at Uptown
Request for review and approval of Site Development Plan for Building Permit
Legal Description: Tract A-1-B, Plat of Tracts A-1-A, A-1-B, & A-1-C of Hunt – Spectrum
Development Site
City Planning Project # 1007316

Dear Laura:

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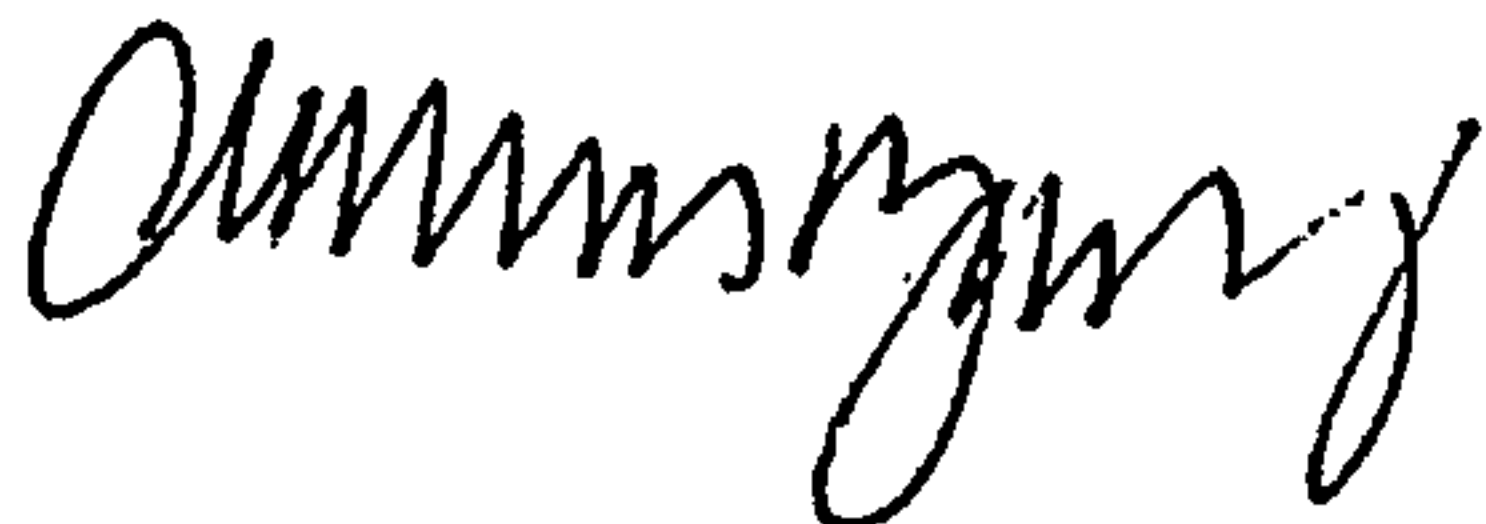
Vicente Quevedo, Case Planner
City of Albuquerque Planning Department
505-924-3357
vquevedo@cabq.gov

or, you may contact the developer:

John Sedberry, Applicant
SED Development LLC
505-855-7650
Joh@SedberryNM.com

Sincerely,

Dekker/Perich/Sabatini
Agent for SED Development, LLC



Christopher R. Gunning, AIA, LEED AP
Principal

Attachment: Site Development Plan for Building Permit Drawing Package (reduced size)

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- Adult Signature Required \$ _____
- Adult Signature Restricted Delivery \$ _____

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SNOW HEIGHTS NH ASSOC
8020 BELLAMAH NE
ALBUQUERQUE NM 87110

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January 25, 2016

Julie Nielsen
8020 Bellamah NE
Albuquerque, NM 87110

DEKKER
PERICH
SABATINI

Re: Shops at Uptown
Request for review and approval of Site Development Plan for Building Permit
Legal Description: Tract A-1-B, Plat of Tracts A-1-A, A-1-B, & A-1-C of Hunt – Spectrum
Development Site
City Planning Project # 1007316

Dear Julie:

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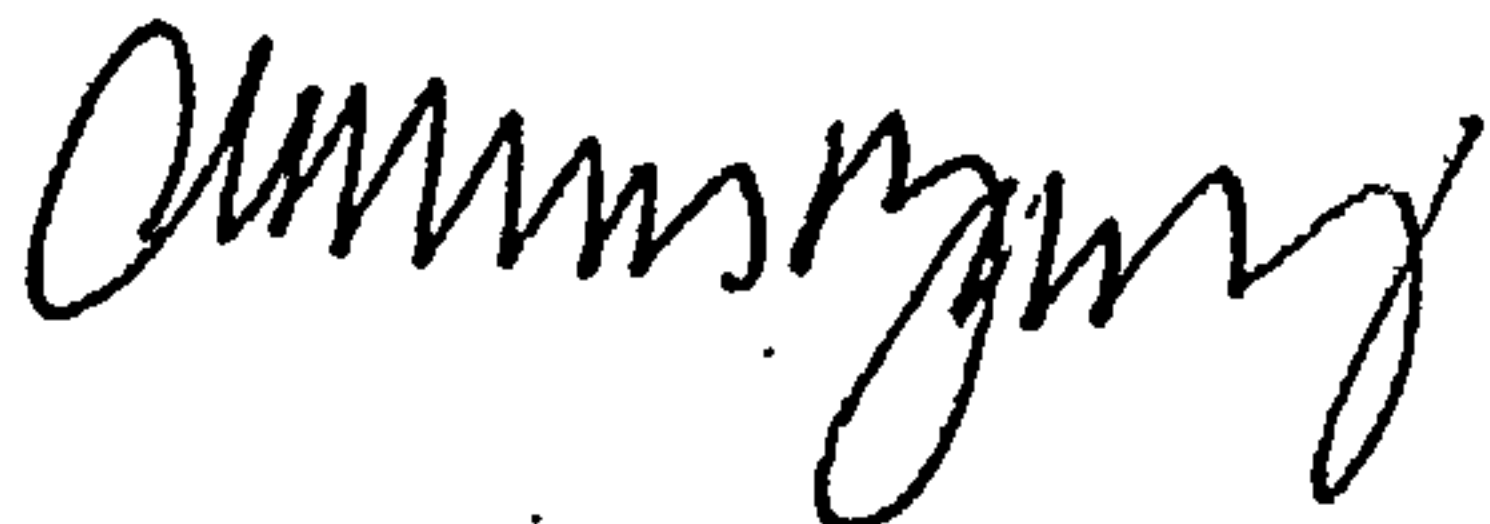
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505-924-3357
vquevedo@cabq.gov

or, you may contact the developer:

John Sedberry, Applicant
SED Development LLC
505-855-7650
Joh@SedberryNM.com

Sincerely,

Dekker/Perich/Sabatini
Agent for SED Development, LLC



Christopher R. Gunning, AIA, LEED AP
Principal

Attachment: Site Development Plan for Building Permit Drawing Package (reduced size)

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<input type="checkbox"/> Certified Mail Restricted Delivery	\$ _____
<input type="checkbox"/> Adult Signature Required	\$ _____
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ED ANLIAN
UPTOWN PROGRESS TEAM INC
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IMPORTANT: Save this receipt for your records.

January 25, 2016

Ed Anlian
2424 Louisiana Boulevard NE
Suite 300
Albuquerque, NM 87110

DEKKER
PERICH
SABATINI

Re: Shops at Uptown
Request for review and approval of Site Development Plan for Building Permit
Legal Description: Tract A-1-B, Plat of Tracts A-1-A, A-1-B, & A-1-C of Hunt – Spectrum
Development Site
City Planning Project # 1007316

Dear Ed:

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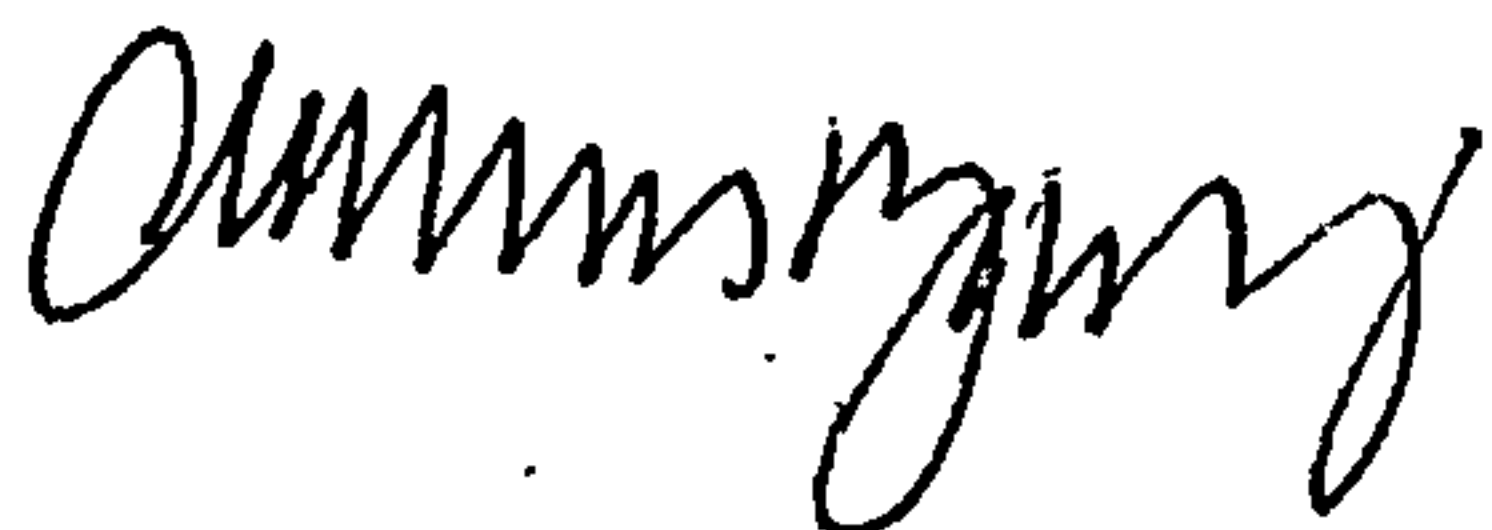
Vicente Quevedo, Case Planner
City of Albuquerque Planning Department
505-924-3357
vquevedo@cabq.gov

or, you may contact the developer:

John Sedberry, Applicant
SED Development LLC
505-855-7650
Joh@SedberryNM.com

Sincerely,

Dekker/Perich/Sabatini
Agent for SED Development, LLC



Christopher R. Gunning, AIA, LEED AP
Principal

Attachment: Site Development Plan for Building Permit Drawing Package (reduced size)

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- Certified Mail Restricted Delivery \$ _____
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KIM CORCORAN
UPTOWN PROGRESS TEAM INC
P O BOX 93488
ALBUQUERQUE NM 87199

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January 25, 2016

Kim Corcoran
P.O. Box 93488
Albuquerque, NM 87199

DEKKER
PERICH
SABATINI

Re: Shops at Uptown
Request for review and approval of Site Development Plan for Building Permit
Legal Description: Tract A-1-B, Plat of Tracts A-1-A, A-1-B, & A-1-C of Hunt – Spectrum
Development Site
City Planning Project # 1007316

Dear Kim:

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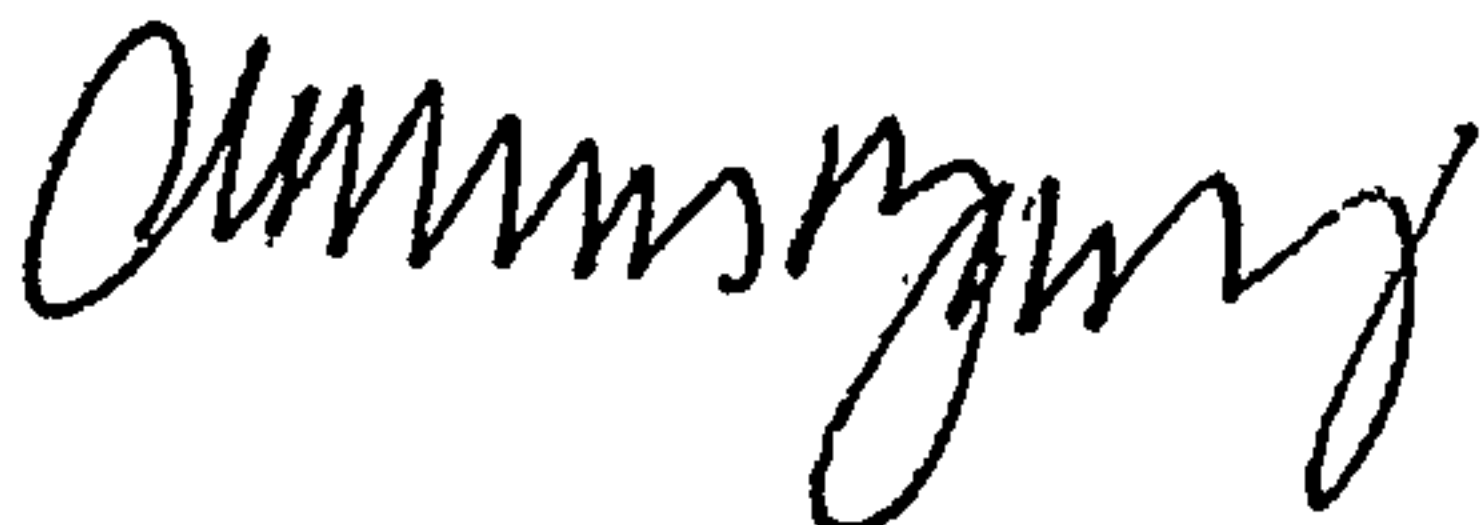
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or, you may contact the developer:

John Sedberry, Applicant
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Joh@SedberryNM.com

Sincerely,

Dekker/Perich/Sabatini
Agent for SED Development, LLC



Christopher R. Gunning, AIA, LEED AP
Principal

Attachment: Site Development Plan for Building Permit Drawing Package (reduced size)

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Postage
\$.49

Total Postage at
\$6.74

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VIRGINIA KINNEY
WINROCK SOUTH NH ASSOC
7110 CONSTITUTION AVE NE
ALBUQUERQUE NM 87110

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January 25, 2016

Virginia Kinney
7110 Constitution Avenue NE
Albuquerque, NM 87110-7122

**DEKKER
PERICH
SABATINI**

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Development Site
City Planning Project # 1007316

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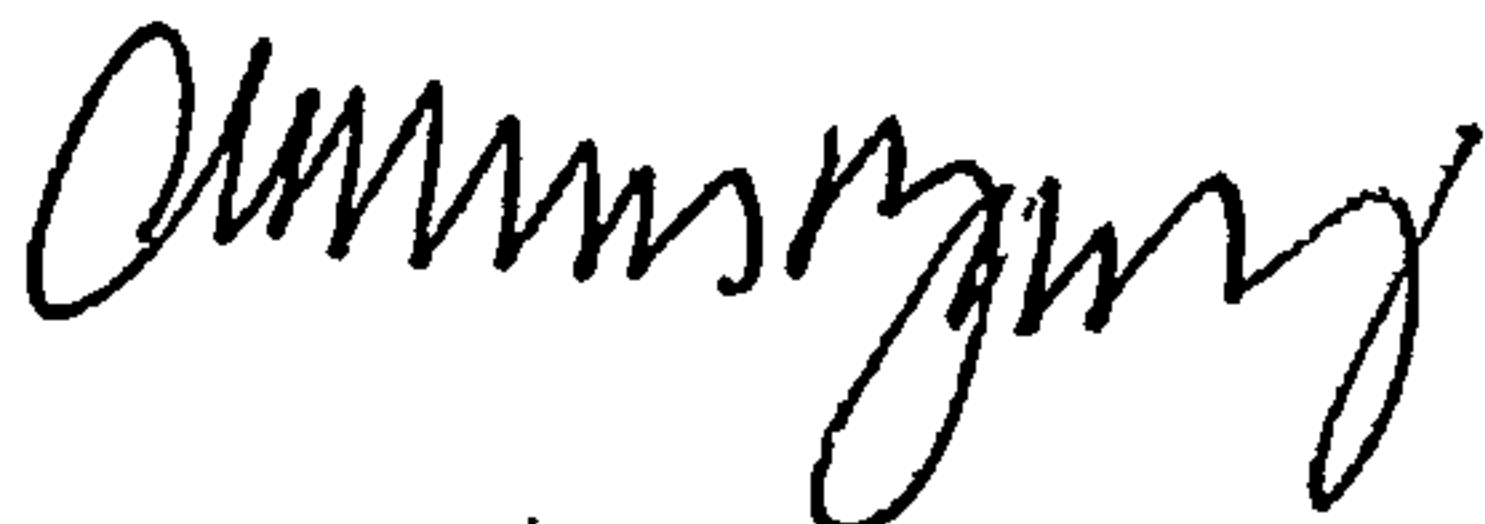
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WINROCK SOUTH NH ASSOC
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ALBUQUERQUE NM 87110

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- To ensure that your Certified Mail receipt is accepted as legal proof of mailing, it should bear a USPS postmark. If you would like a postmark on this Certified Mail receipt, please present your Certified Mail item at a Post Office™ for postmarking. If you don't need a postmark on this Certified Mail receipt, detach the barcoded portion of this label, affix it to the mailpiece, apply appropriate postage, and deposit the mailpiece.

IMPORTANT: Save this receipt for your records.

January 25, 2016

John Kinney
7110 Constitution Avenue NE
Albuquerque, NM 87110-7122

DEKKER
PERICH
SABATINI

Re: Shops at Uptown
Request for review and approval of Site Development Plan for Building Permit
Legal Description: Tract A-1-B, Plat of Tracts A-1-A, A-1-B, & A-1-C of Hunt – Spectrum
Development Site
City Planning Project # 1007316

Dear John:

We are acting as agent for SED Development, LLC, owners of the subject property, for the action referenced above. Per the requirements of the Uptown Sector Development Plan, we are providing notice of a public hearing at the regular meeting of the City's Development Review Board (DRB) on February 10, 2016, at 9:00am, in the Basement Hearing Room at the City of Albuquerque's Plaza del Sol Building, at 600 Second Street NW, Albuquerque, NM 87103.

The proposed project is located at the southwest corner of Indian School Road and Uptown Loop Road NE. This is the northeast corner of the block on which the Target store was recently built. The site was established with a subdivision action that was completed by Target in November of 2013, and this project is part of the original master plan for the block.

If you have any questions regarding the project please contact me at 505-761-9700 or chrisg@dpsdesign.org, or you may contact the City's case planner:

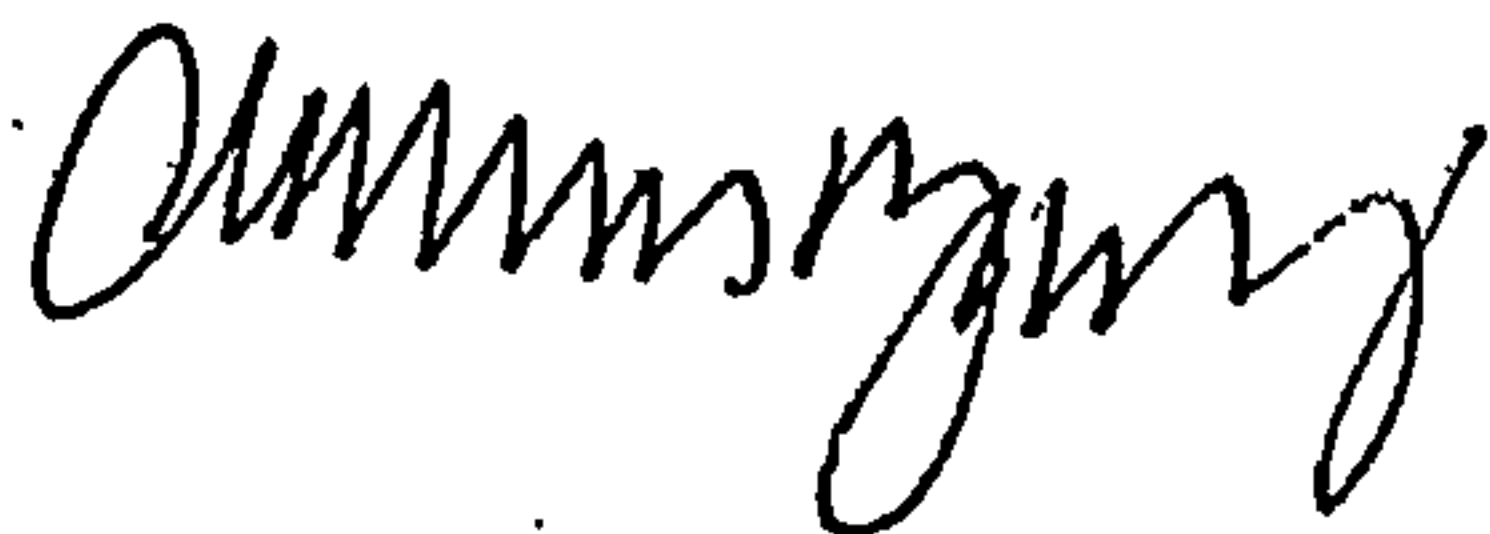
Vicente Quevedo, Case Planner
City of Albuquerque Planning Department
505-924-3357
vquevedo@cabq.gov

or, you may contact the developer:

John Sedberry, Applicant
SED Development LLC
505-855-7650
Joh@SedberryNM.com

Sincerely,

Dekker/Perich/Sabatini
Agent for SED Development, LLC



Christopher R. Gunning, AIA, LEED AP
Principal

Attachment: Site Development Plan for Building Permit Drawing Package (reduced size)

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
Domestic Mail Only

For delivery information, visit our website at www.usps.com®

OFFICIAL USE

Certified Mail Fee

\$ 3.45

Extra Services & Fees (check box, add fee as appropriate)

- Return Receipt (hardcopy) \$ 2.80
- Return Receipt (electronic) \$ _____
- Certified Mail Restricted Delivery \$ _____
- Adult Signature Required \$ _____
- Adult Signature Restricted Delivery \$ _____

Postage

\$.49

Total Postage at

\$ 6.74

Sent To

Street and Apt. #

City, State, ZIP+

DAVID ELY
WINROCK VILLAS CONDO ASSOC
P O BOX 30741
ALBUQUERQUE NM 87190

RECEIVED

JAN 28 2016

Postmark
Here

Dekker/Perich/Sabatini

282T 6299 E000 0490 5T02

Certified Mail service provides the following benefits:

- A receipt (this portion of the Certified Mail label).
- A unique Identifier for your mailpiece.
- Electronic verification of delivery or attempted delivery.
- A record of delivery (including the recipient's signature) that is retained by the Postal Service™ for a specified period.

Important Reminders:

- You may purchase Certified Mail service with First-Class Mail®, First-Class Package Service®, or Priority Mail® service.
- Certified Mail service is *not* available for international mail.
- Insurance coverage is *not* available for purchase with Certified Mail service. However, the purchase of Certified Mail service does not change the insurance coverage automatically included with certain Priority Mail items.
- For an additional fee, and with a proper endorsement on the mailpiece, you may request the following services:
 - Return receipt service, which provides a record of delivery (including the recipient's signature). You can request a hardcopy return receipt or an electronic version. For a hardcopy return receipt, complete PS Form 3811, *Domestic Return Receipt*; attach PS Form 3811 to your mailpiece;

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January 25, 2016

David Ely
P.O. Box 30741
Albuquerque, NM 87190

DEKKER
PERICH
SABATINI

Re: Shops at Uptown
Request for review and approval of Site Development Plan for Building Permit
Legal Description: Tract A-1-B, Plat of Tracts A-1-A, A-1-B, & A-1-C of Hunt – Spectrum
Development Site
City Planning Project # 1007316

Dear David:

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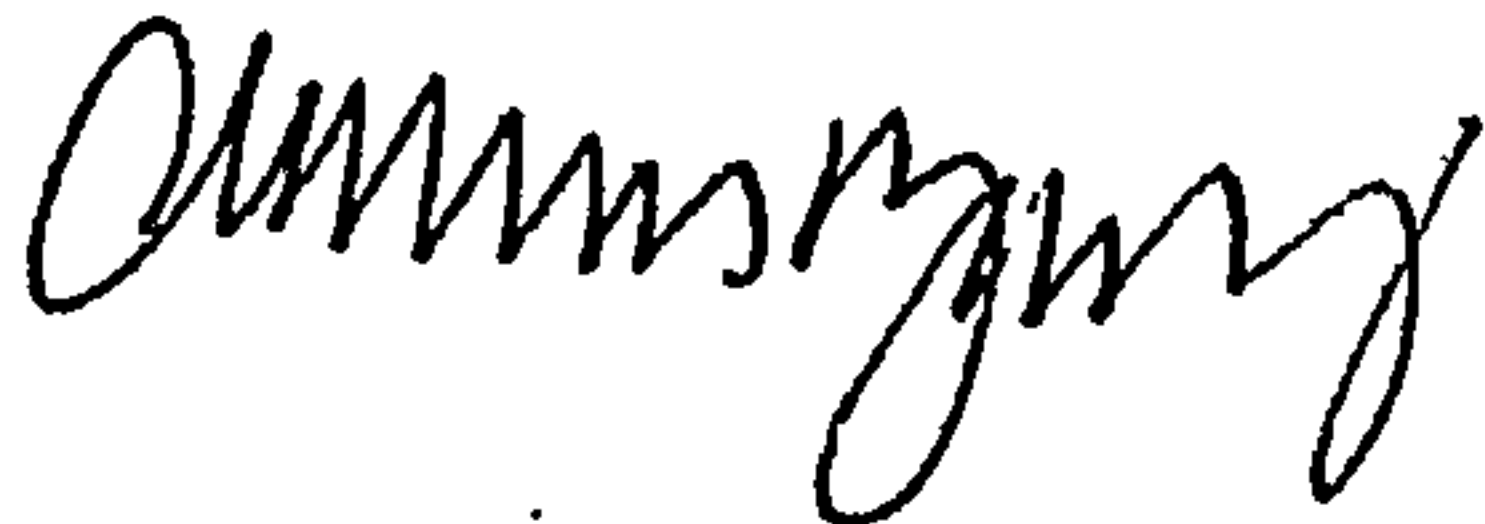
Vicente Quevedo, Case Planner
City of Albuquerque Planning Department
505-924-3357
vquevedo@cabq.gov

or, you may contact the developer:

John Sedberry, Applicant
SED Development LLC
505-855-7650
Joh@SedberryNM.com

Sincerely,

Dekker/Perich/Sabatini
Agent for SED Development, LLC



Christopher R. Gunning, AIA, LEED AP
Principal

Attachment: Site Development Plan for Building Permit Drawing Package (reduced size)

522T 6299 6629 1275
0003 0000 0490 0640
7015 0640 0003 0000

U.S. Postal Service™ CERTIFIED MAIL® RECEIPT

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For delivery information, visit our website at www.usps.com

OFFICIAL USE

Certified Mail Fee
\$ **3.45**

Extra Services & Fees (check box, add fees as appropriate)

<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$ 2.80
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<input type="checkbox"/> Certified Mail Restricted Delivery	\$ _____
<input type="checkbox"/> Adult Signature Required	\$ _____
<input type="checkbox"/> Adult Signature Restricted Delivery	\$ _____

Postage
\$ **.49**

Total Postage:
\$ **6.74**

Sent To
Street and Apt.
City, State, ZIP:

HEATHER PITHAN
WINROCK VILLAS CONDO ASSOC
1601 PENNSYLVANIA ST NE
ALBUQUERQUE NM 87110

RECEIVED

JAN ^{Postmark} 28 2016
Her

Dekker/Perich/Savanti

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January 25, 2016

Heather Pithan
1601 Pennsylvania Street NE
Albuquerque, NM 87110

DEKKER
PERICH
SABATINI

Re: Shops at Uptown
Request for review and approval of Site Development Plan for Building Permit
Legal Description: Tract A-1-B, Plat of Tracts A-1-A, A-1-B, & A-1-C of Hunt – Spectrum
Development Site
City Planning Project # 1007316

Dear Heather:

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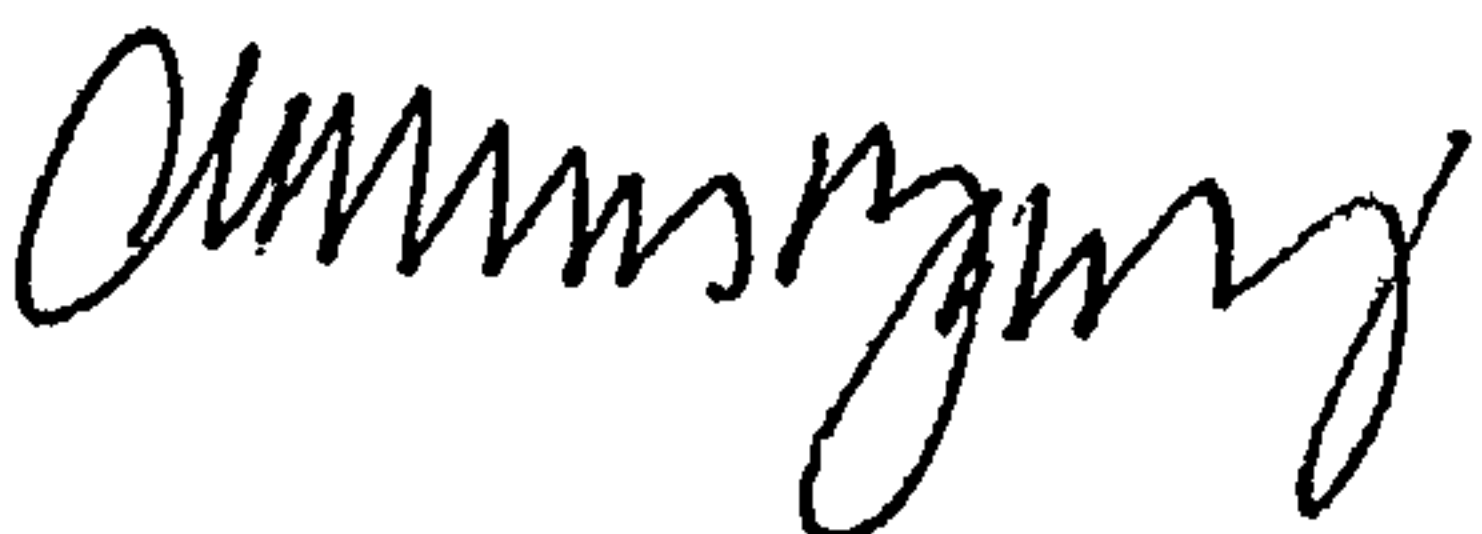
Vicente Quevedo, Case Planner
City of Albuquerque Planning Department
505-924-3357
vquevedo@cabq.gov

or, you may contact the developer:

John Sedberry, Applicant
SED Development LLC
505-855-7650
Joh@SedberryNM.com

Sincerely,

Dekker/Perich/Sabatini
Agent for SED Development, LLC



Christopher R. Gunning, AIA, LEED AP
Principal

Attachment: Site Development Plan for Building Permit Drawing Package (reduced size)



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- Administrative Approval (DRT, URT, etc.)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102.

Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Dekker/Perich/Sabatini PHONE: 505-761-9700
 ADDRESS: 7601 Jefferson Street NE FAX: 505-761-4222
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: chrisg@dpsdesign.org
 APPLICANT: SED Development LLC PHONE: 505-855-7650
 ADDRESS: 4700 Montgomery Boulevard NE FAX: _____
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: john@sedberrynm.com
 Proprietary interest in site: Contract Purchaser List all owners: TARGET CORPORATION TPS-3155

DESCRIPTION OF REQUEST: Approval of a Site Development Plan for Building Permit, through the URT/DRB process per the Uptown Sector Development Plan

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. TR A-1-B PLAT OF TRS A-1-A, A-1-B & A-1-C Block: _____ Unit: _____
 Subdiv/Addn/TBKA: HUNT-SPECTRUM DEVELOPMENT SITE
 Existing Zoning: SU-3 for MU UPT Proposed zoning: No change MRGCD Map No _____
 Zone Atlas page(s): J-19 UPC Code: 101905805751820417

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.): 1007316, 13DRB-70675

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No
 No. of existing lots: 1 No. of proposed lots: 1 Total site area (acres): 0.681

LOCATION OF PROPERTY BY STREETS: On or Near: Indian School Road NE
 Between: Louisiana and Uptown Loop Road

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: 1/21/2016

SIGNATURE [Signature] DATE 1/29/16

(Print Name) Chris Gunning Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 11/2014

INTERNAL ROUTING

- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>16 DRB - 70041</u>	<u>SBP</u>	_____	<u>\$ 385.00</u>
_____	<u>CMF</u>	_____	<u>\$ 20.00</u>
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
Hearing date <u>February 10, 2016</u>			Total <u>\$ 405.00</u>

[Signature]
Staff signature & Date 1-29-16

Project # 1007314

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED) VPT

SKETCH PLAT REVIEW AND COMMENT (DRB22) Maximum Size: 24" x 36"
 ___ Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
 ___ Zone Atlas map with the entire property(ies) clearly outlined
 ___ Letter briefly describing, explaining, and justifying the request
 ___ List any original and/or related file numbers on the cover application
 Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18) Maximum Size: 24" x 36"
 ___ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 ___ Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
 ___ Zone Atlas map with the entire property(ies) clearly outlined
 ___ Letter briefly describing, explaining, and justifying the request
 ___ Letter of authorization from the property owner if application is submitted by an agent
 ___ Copy of the document delegating approval authority to the DRB
 ___ Completed Site Plan for Subdivision Checklist
 ___ Infrastructure List, if relevant to the site plan
 ___ Fee (see schedule)
 ___ List any original and/or related file numbers on the cover application
 Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17) Maximum Size: 24" x 36"
 ___ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 ✓ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) ~~6 copies~~ 10 copies
 ✓ Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. ~~6 copies~~ 10 copies
 ✓ Solid Waste Management Department signature on Site Plan
 ✓ Zone Atlas map with the entire property(ies) clearly outlined
 ✓ Letter briefly describing, explaining, and justifying the request
 ✓ Letter of authorization from the property owner if application is submitted by an agent
 ✓ Copy of the document delegating approval authority to the DRB
 NA Infrastructure List, if relevant to the site plan
 ✓ Completed Site Plan for Building Permit Checklist
 ✓ Copy of Site Plan with Fire Marshal's stamp
 ___ Fee (see schedule)
 ✓ List any original and/or related file numbers on the cover application
 Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01) Maximum Size: 24" x 36"
 AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02) Maximum Size: 24" x 36"
 ___ Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
 ___ DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) 6 copies
 ___ Zone Atlas map with the entire property(ies) clearly outlined
 ___ Letter briefly describing, explaining, and justifying the request
 ___ Letter of authorization from the property owner if application is submitted by an agent
 ___ Infrastructure List, if relevant to the site plan
 ___ Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 ___ Fee (see schedule)
 ___ List any original and/or related file numbers on the cover application
 Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)
 FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)
 ___ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
 ___ Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
 ___ Solid Waste Management Department signature on Site Plan for Building Permit
 ___ Zone Atlas map with the entire property(ies) clearly outlined
 ___ Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
 ___ Infrastructure List, if relevant to the site plan
 ___ Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 ___ List any original and/or related file numbers on the cover application
 Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

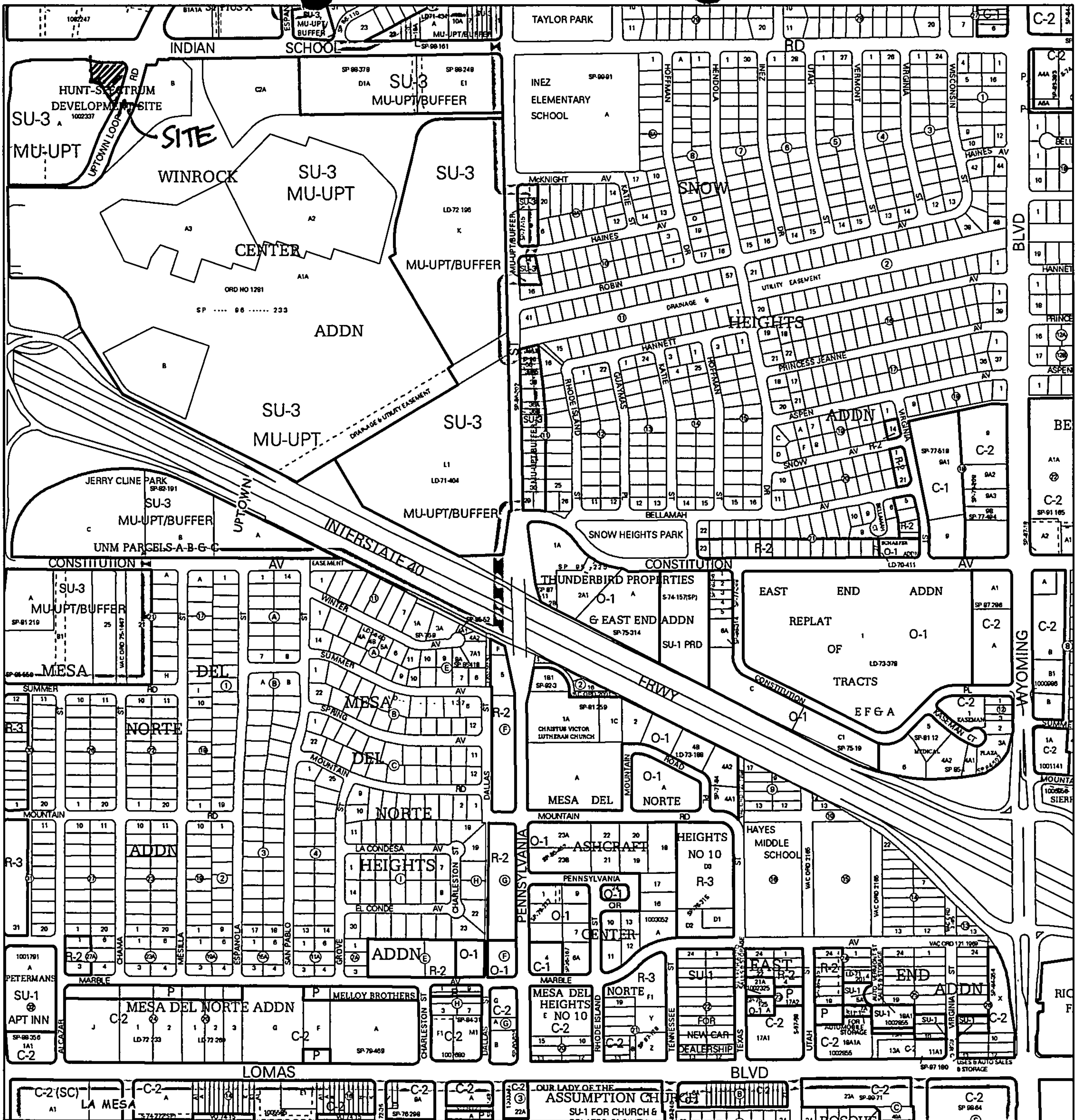
I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Chris Gunning (DPS Agent)
 _____ Applicant name (print)
 _____ 1/29/16
 _____ Applicant signature / date



Form revised October 2007

<input checked="" type="checkbox"/> Checklists complete	Application case numbers	16 DRB - 70041	1-29-16
<input checked="" type="checkbox"/> Fees collected			Planner signature / date
<input checked="" type="checkbox"/> Case #s assigned			Project # 1007316
<input checked="" type="checkbox"/> Related #s listed			



For more current information and more details visit: <http://www.cabq.gov/gis>

AGIS
Albuquerque Geographic Information System

Map amended through: 1/24/2011

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
J-19-Z

Selected Symbols

	SECTOR PLANS		Escarpment
	Design Overlay Zones		2 Mile Airport Zone
	City Historic Zones		Airport Noise Contours
	H-1 Buffer Zone		Wall Overlay Zone
	Petroglyph Mon.		

0 750 1,500 Feet

**DEKKER
PERICH
SABATINI**

7601 JEFFERSON NE, SUITE 100
ALBUQUERQUE, NM 87109

505 761 9700 / OPSDESIGN.ORG

**SEDBERRY
& ASSOCIATES**
COMMERCIAL REAL ESTATE

ARCHITECT

PROJECT

NOT FOR CONSTRUCTION



NOTE: THIS IMAGE IS CONCEPTUAL IN NATURE AND MAY NOT REFLECT THE REQUIREMENTS OF THESE DOCUMENTS.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT DRB SUBMITTAL 1.29.2016

DRAWING INDEX

00	COVER SHEET
01	SITE DEVELOPMENT PLAN
02	SITE DETAILS
03	SITE DETAILS
04	LANDSCAPE PLAN
05	CONCEPTUAL GRADING & DRAINAGE PLAN
06	UTILITY PLAN
07	EXTERIOR ELEVATIONS
08	EXTERIOR ELEVATIONS (COLOR)
09	RENDERINGS

UPTOWN SHOPS - TARGET @ UPTOWN

UPTOWN SHOPS - TARGET @ UPTOWN

PROJECT TEAM

OWNER
JOHN SEDBERRY
4700 MONTGOMERY BLVD. NE
ALBUQUERQUE, NM 87109
TEL. 505 655 7565

ARCHITECT
DEKKERPERICH/SABATINI
7601 JEFFERSON NE, SUITE 100
ALBUQUERQUE, NM 87109
TEL. 505 761 9700
FAX. 505 761 4222

LANDSCAPE ARCHITECT
DEKKERPERICH/SABATINI
7601 JEFFERSON NE, SUITE 100
ALBUQUERQUE, NM 87109
TEL. 505 761 9700
FAX. 505 761 4222

CIVIL ENGINEER
ISAACSON & ARFMAN
128 MONROE ST. NE
ALBUQUERQUE, NM 87108
TEL. 505 268 8828

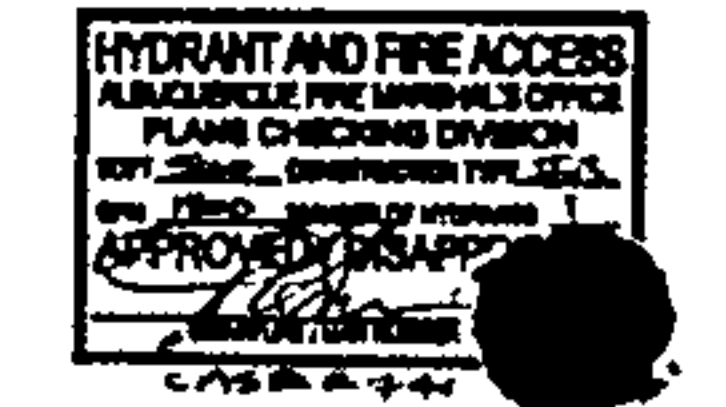
DATE 20161119

PROJECT NO. 15-0102

ISSUE PURPOSE

**DEKKER
PERICH
SABATINI**

7601 JEFFERSON NE, SUITE 100
ALBUQUERQUE, NM 87119
505.761.9700 / DPSDESIGN.ORG



SEAL

PROJECT

UPTOWN SHOPS
ALBUQUERQUE, NM

URT REVIEW

REVISIONS

- △
- △
- △
- △
- △
- △

DRAWN BY: LLAC
REVIEWED BY: CO
DATE: 11/19/2015
PROJECT NO: 15-0102

DRAWING NAME

SITE
DEVELOPMENT
PLAN
FIRE 1

SHEET NO

01 of 11

GENERAL SHEET NOTES

1. PARKING AREA SHALL BE DESIGNED & BUILT TO CURRENT DPM STANDARDS AND COA ZONING CODE.
2. SEE CIVIL PLANS FOR ADDITIONAL GRADING, DRAINAGE AND UTILITY INFORMATION.
3. SIGN: SEE BUILDING ELEVATIONS FOR DESCRIPTION OF SIGNAGE ON BUILDING. DIMENSIONS ARE TO FACE OF CURB, OR WALL OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
4. PEDESTRIAN ACCESS RAMPS WITHIN THE PUBLIC ROW WILL BE CONSTRUCTED PER COA STD DPM 620B.
5. ALL CURBS TO BE DESIGNED AND BUILT ACCORDING TO THE COA STANDARDS. CURBS WILL ALSO BE DESIGNED TO ALLOW WATER HARVESTING IN LANDSCAPE MEDIANS WHERE POSSIBLE TO REDUCE SURFACE RUN-OFF AND SUPPLEMENT IRRIGATION.
6. ALL FEATURES AND DESIGN SHALL COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT AND THE COA ZONING CODE, SECTION 14-16-3-4 AREA LIGHTING REGULATIONS.
7. LIGHTING WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE SUBJECT TO THE STANDARDS AND REVIEW OF FINAL LICENSE MAINTENANCE FOR NIGHT-OR-WAY LIGHTING IN THE FULL RESPONSIBILITY OF OTHER PARTIES.
8. LIGHTING DESIGN FOR PARKING AREAS SHALL BE LIGHTED TO PROVIDE FUNCTIONAL, ATTRACTIVE, AND UNIFIED LIGHTING THROUGHOUT THE LOT AND BE EXTINGUISHED ONE HOUR AFTER THE CLOSE OF BUSINESS, EXCEPT AS NEEDED TO PROVIDE FOR MINIMUM SECURITY LEVELS.
9. OWNER WILL BE RESPONSIBLE FOR THE PROPOSED/EXISTING LANDSCAPING IN THE RIGHT OF WAY.
10. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. SIGN, WALL, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL WILL NOT BE ACCEPTABLE IN THIS AREA.

SITE INFORMATION

LEGAL DESCRIPTION
TRACT: A-1-B, HUNT - SPECTRUM DEVELOPMENT SITE
ZONING: BU-3 by MUAUPT

GROSS BUILDING AREA (GBA)
ORIGINALLY APPROVED SDP (2013)
BUILDING AREA- RETAIL: 6,200SF (1,800 SF)
BUILDING AREA- HOUSING: 21,800SF (3 FLOORS @ 7,267SF, 180U)

PROPOSED: RETAIL: 6,000 SF

TOTAL SITE AREA: 27,870 SF = .8386 ACRES
(8053 F.A.R. (OBASITE AREA) = 0.16)

BUILDING INFORMATION:
TYPE: B CONSTRUCTION
GROSS BUILDING AREA: 6,000 SF
BUILDING SPRINGERS
BUILDING HEIGHT: 21'-0"
PROVIDE 16" HIGH MURALS WITH 2" STROKE PROMISE ID @ STREET OF ADDRESS

○ SHEET KEYED NOTES

1. PAINTED PARKING STRIPING (4-INCH WIDE), COLOR: WHITE
2. PAINTED HANDICAP PARKING STRIPING, COLOR: BLUE
3. PAINTED A.D.A. PARKING SPACE PAVEMENT SIGNAGE, RE: C31 02 OF 11
4. CONCRETE ACCESSIBLE RAMP TYPE B WITH 1:12 MAXIMUM SLOPE AT RAMP AND 1:12 SLOPE AT RAMP FLARE. FINISH: HEAVY BROOM FINISH PERPENDICULAR TO SLOPE TYPICAL ON RAMP.
5. POLE MOUNTED ACCESSIBLE PARKING SIGNAGE, RE: 021 02 OF 11, C-1018 AND MDP & DO.
6. 6" CONCRETE CURBS AND GUTTER, RE: CIVL AND MDP & DO
7. CONCRETE REARWALL, RE: ARCHITECTURAL ELEVATIONS AND A21 02 OF 11
8. EXTERIOR BOLLARD - 6-INCH DIAMETER, RE: C31 02 OF 11
9. CONCRETE PAVING
10. EXISTING LANDSCAPE AREA, RE: LANDSCAPE PLAN
11. CONCRETE BUILDING APRON, RE: 047 02 OF 11
12. REFUSE ENCLOSURE, CMU WALL WITH STUCCO SYSTEM, COLOR: GREY NEAL A3 & A4 02 OF 11
13. PATIO ENCLOSURE, CMU WALL WITH STONE VENEER (T/T) RE: ARCHITECTURAL ELEVATIONS AND A11 02 OF 11
14. STOP SIGN, RE: C41 02 OF 11
15. PROPERTY LINE
16. EXISTING CURBS AND GUTTER TO REMAIN
17. EXISTING RETAINING WALL TO REMAIN
18. EXISTING FIRE HYDRANT
19. EXISTING SITE LIGHTING TO REMAIN
20. ROADWAY ARROW, RE: 031 02 OF 11
21. ROADWAY STOP LINE, RE: 031 02 OF 11
22. PAINTED CROSSWALK, RE: D11 02 OF 11
23. BIKE RACK, RE: D41 02 OF 11
24. MOTORCYCLE PARKING
25. EXISTING SIDEWALK
26. ADA ACCESS ARCS SHALL BE LABELED, "NO PARKING" IN CAPITAL LETTERS, 1'-0" TALL AND 2" WIDE PLACED AT THE REAR OF THE SPACE.
27. EXISTING ACCESS RAMP
28. ACCESSIBLE RAMP, TYPE A, WITH 1:12 MAXIMUM SLOPE AT RAMP. HEAVY BROOM FINISH PERPENDICULAR TO SLOPE TYPICAL ON RAMP.
29. EXISTING STORM DRAIN INLET TO REMAIN
30. CONCRETE STAIRS, RE: A31 02 OF 11
31. 6" CHARCOAL GRAY DECORATIVE BORDER TO MATCH EXISTING AT TARGET
32. EXISTING DRIVE PAD
33. CLEAR SIGHT TRIANGLE
34. EXISTING CURBS AND GUTTER TO REMOVE
35. EXISTING WALL
36. EXISTING WALL
37. BASEMENT
38. FIRE LANE STRIPING, NO PARKING FIRE LANE
39. DRAIN, SEE MECHANICAL

LEGEND

- ➡ TRAFFIC APPROX, RE: 051 02 OF 11
- 16" LIGHT POLE, RE: A31 02 OF 11
- 20" LIGHT POLE, RE: A41 02 OF 11
- EXISTING FIRE HYDRANT
- PROPERTY LINE SETBACK OR EASEMENT
- CONCRETE SIDEWALK
- EXISTING SITE
- ADA ACCESSIBLE PEDESTRIAN PATHWAY

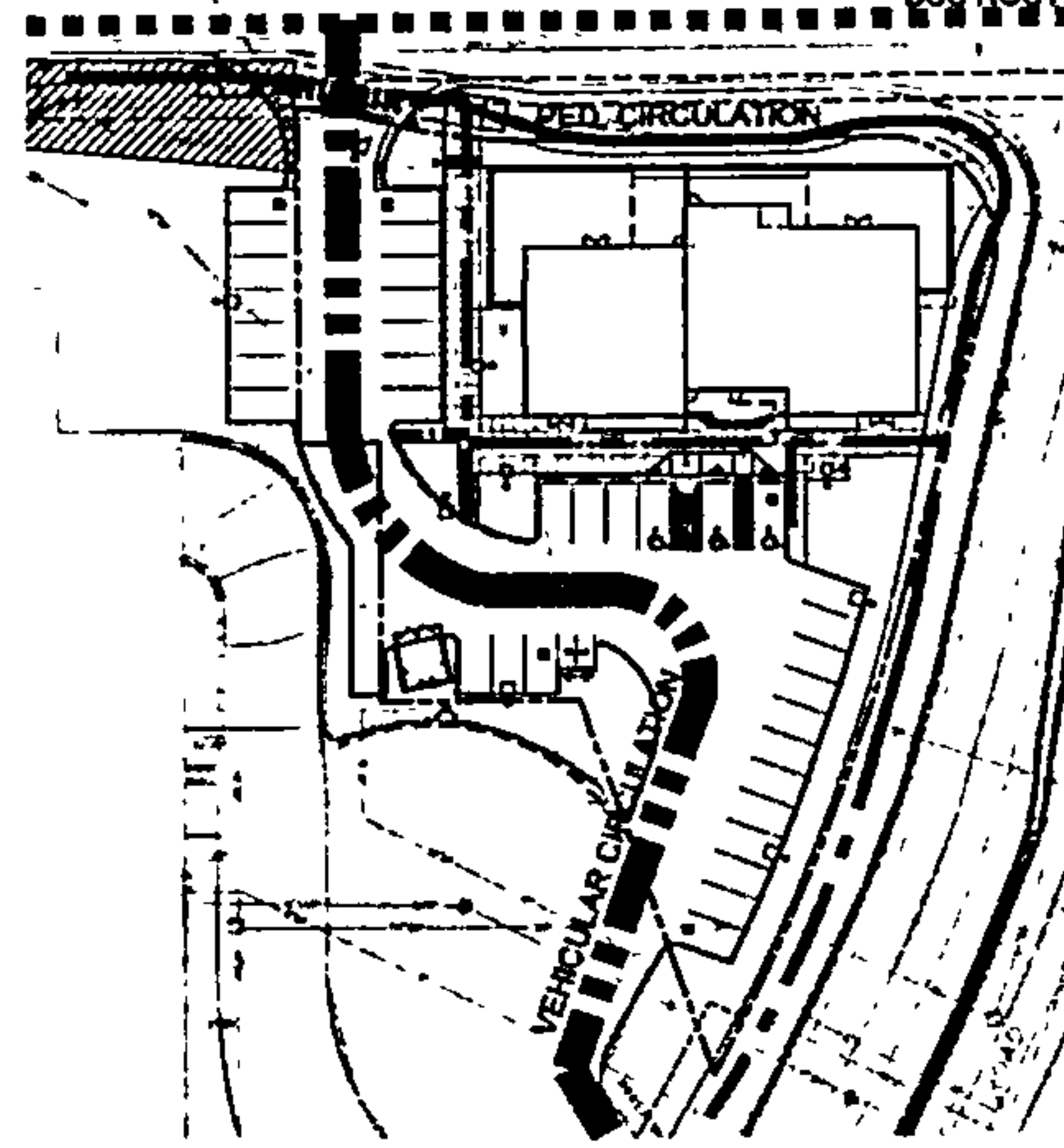
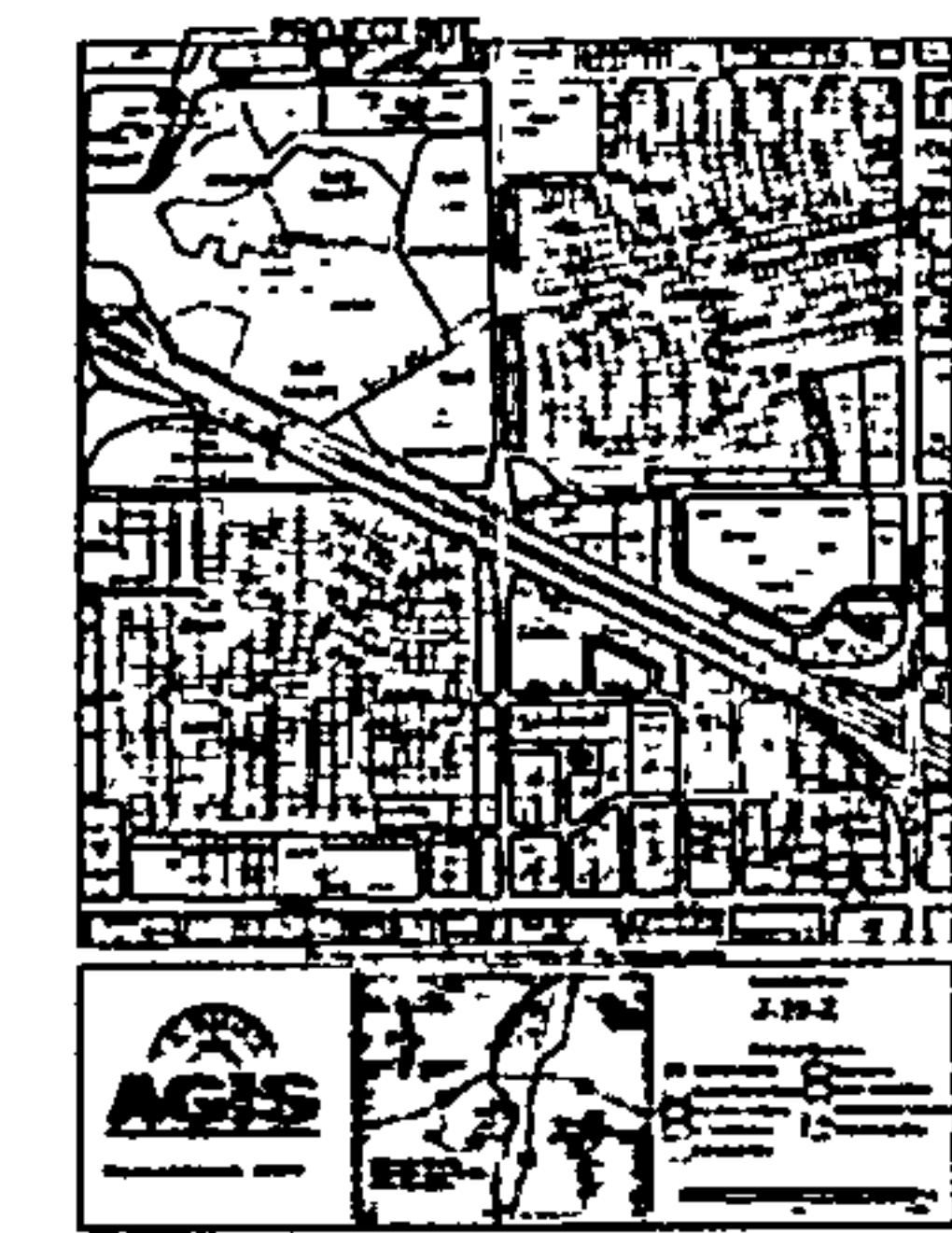
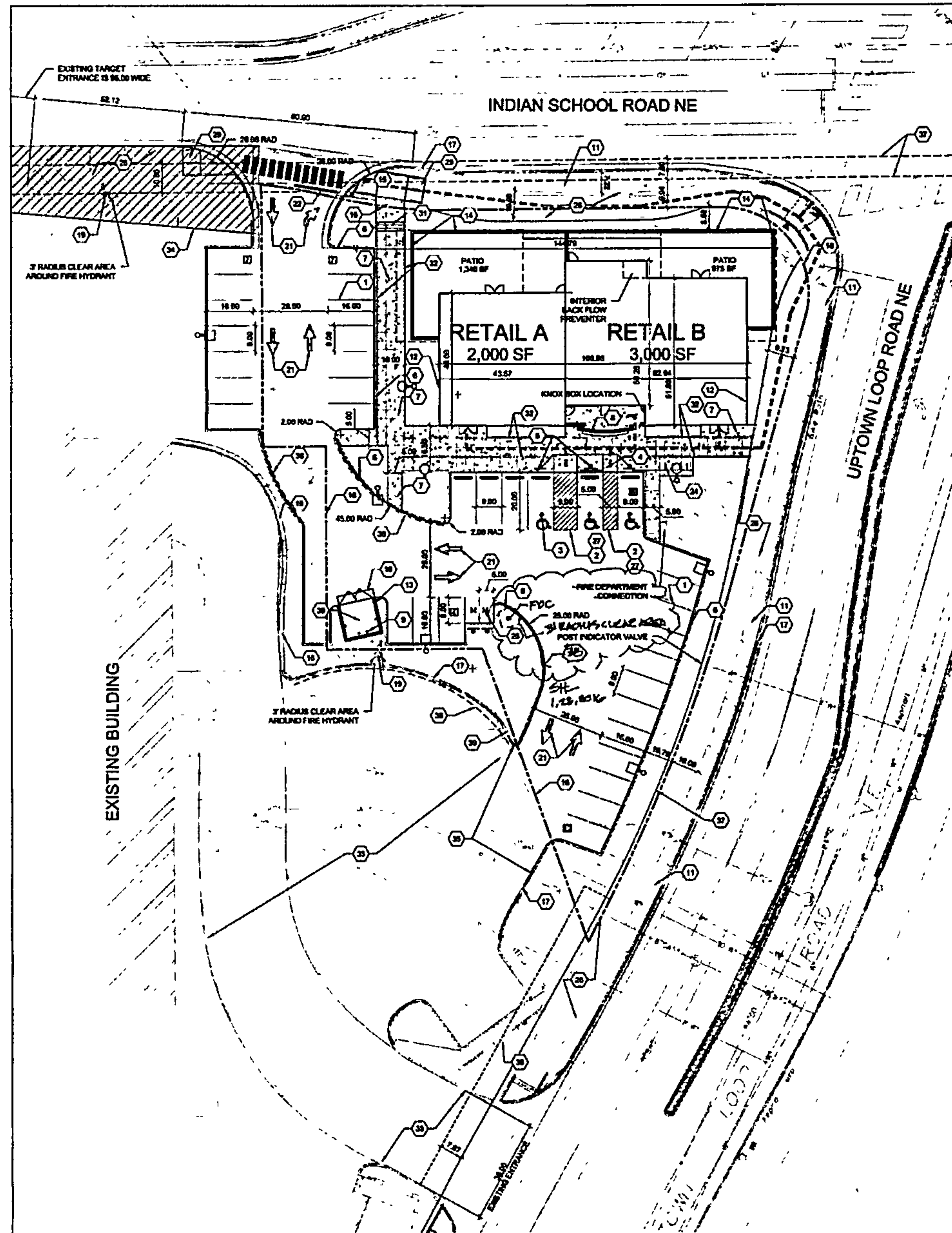
PARKING INFORMATION

REQUIRED
6,000 SF BUILDING
FIRE 1.3

2,100 SF (200'x100'x7') = 14 SPACES
26-50 PARKING SPACES = 3 HANDICAPPED SPACE (1 VAN)
26-50 PARKING SPACES = 2 MOTORCYCLE
120 AUTOMOBILE (2400') = 2 BICYCLE

APPROVED SDP (2013)
SPACES PROVIDED: 41 SPACES (11 SURFACE, 30 BELOW) (8 ACCESSIBLE)
6 MOTORCYCLE
6 BICYCLE

PROVIDED
SPACES PROVIDED: 38 SPACES (3 ACCESSIBLE)
2 MOTORCYCLE
3 BICYCLE



(A1) CIRCULATION PLAN
1" = 48'-0"

PROJECT NUMBER: 150102
APPLICATION NUMBER: 098 Site Development Plan-Building Permit

Is an Information Lien Required? () Yes () No. If yes, then a set of approved DIC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
UTILITIES DIVISION	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
SOLID WASTE MANAGEMENT	DATE
FIRE MARSHALL	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

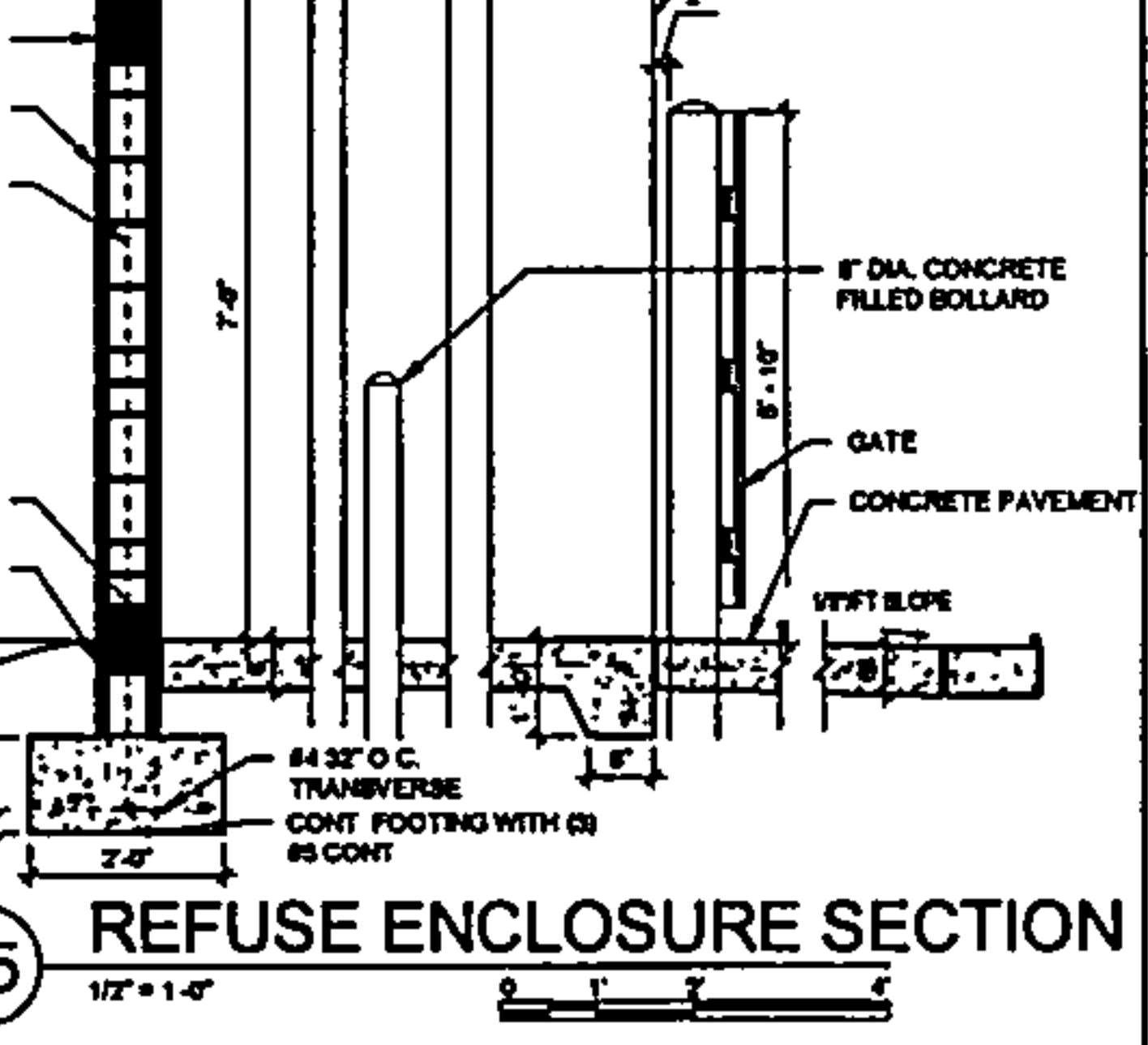
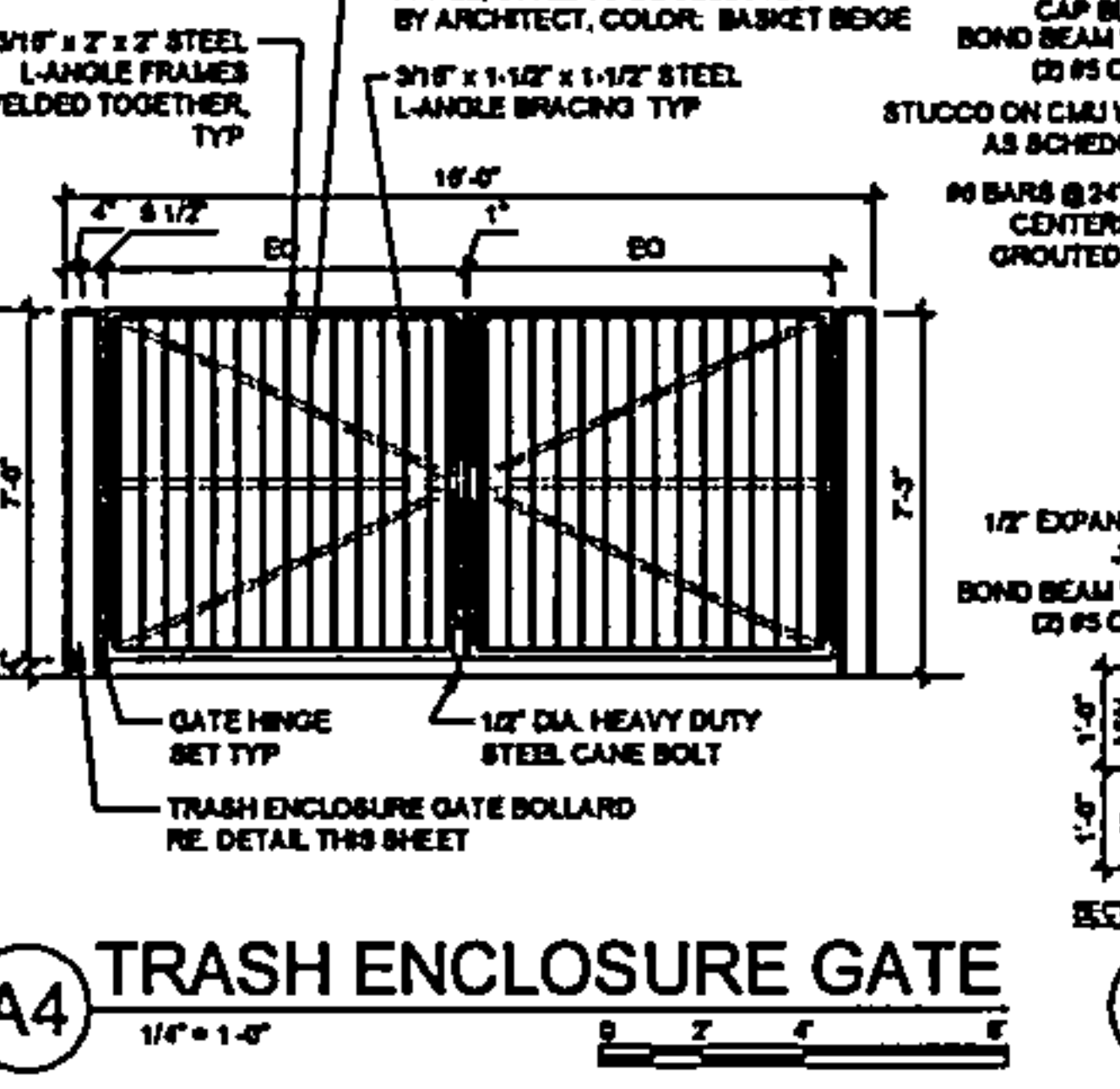
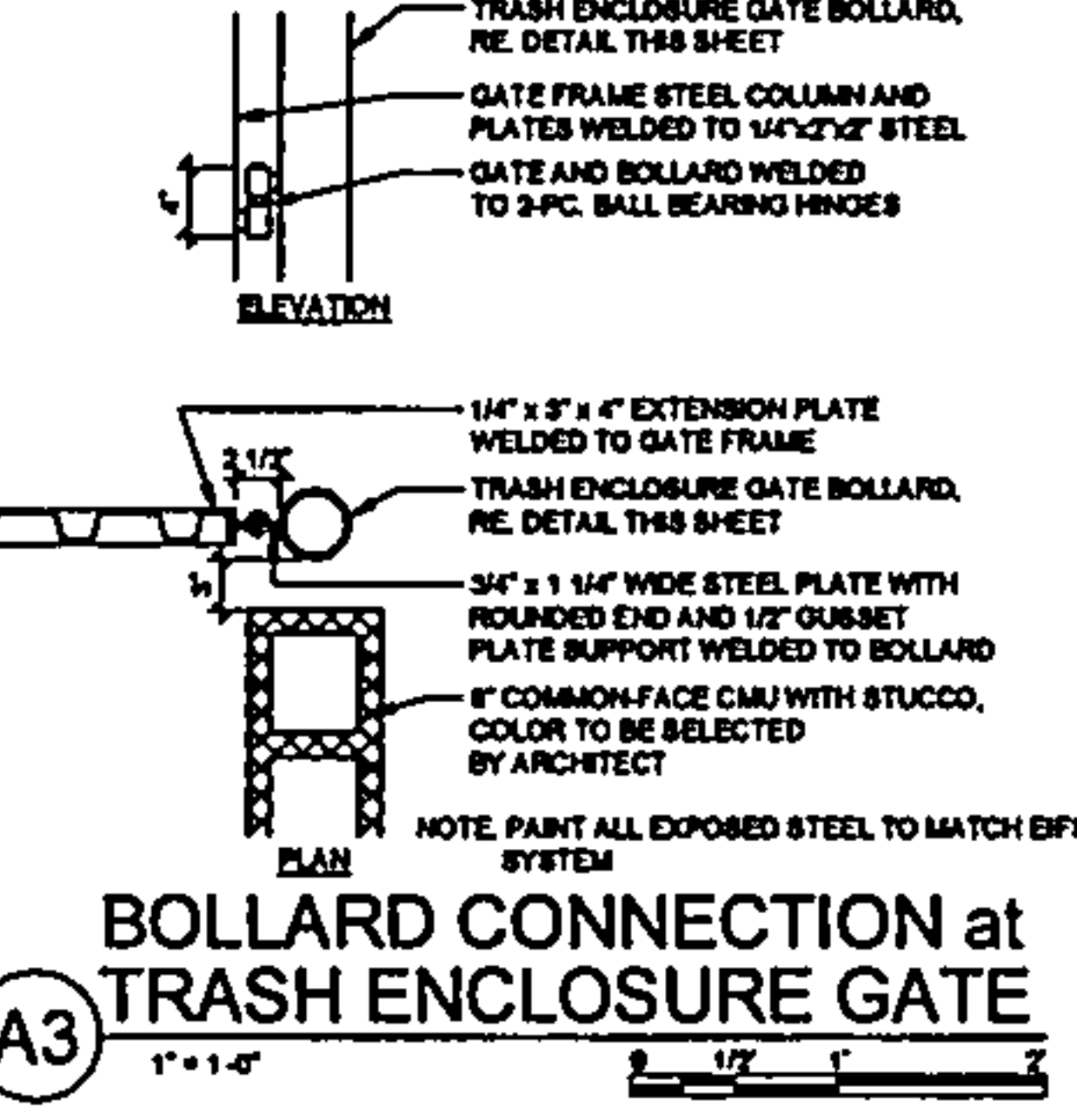
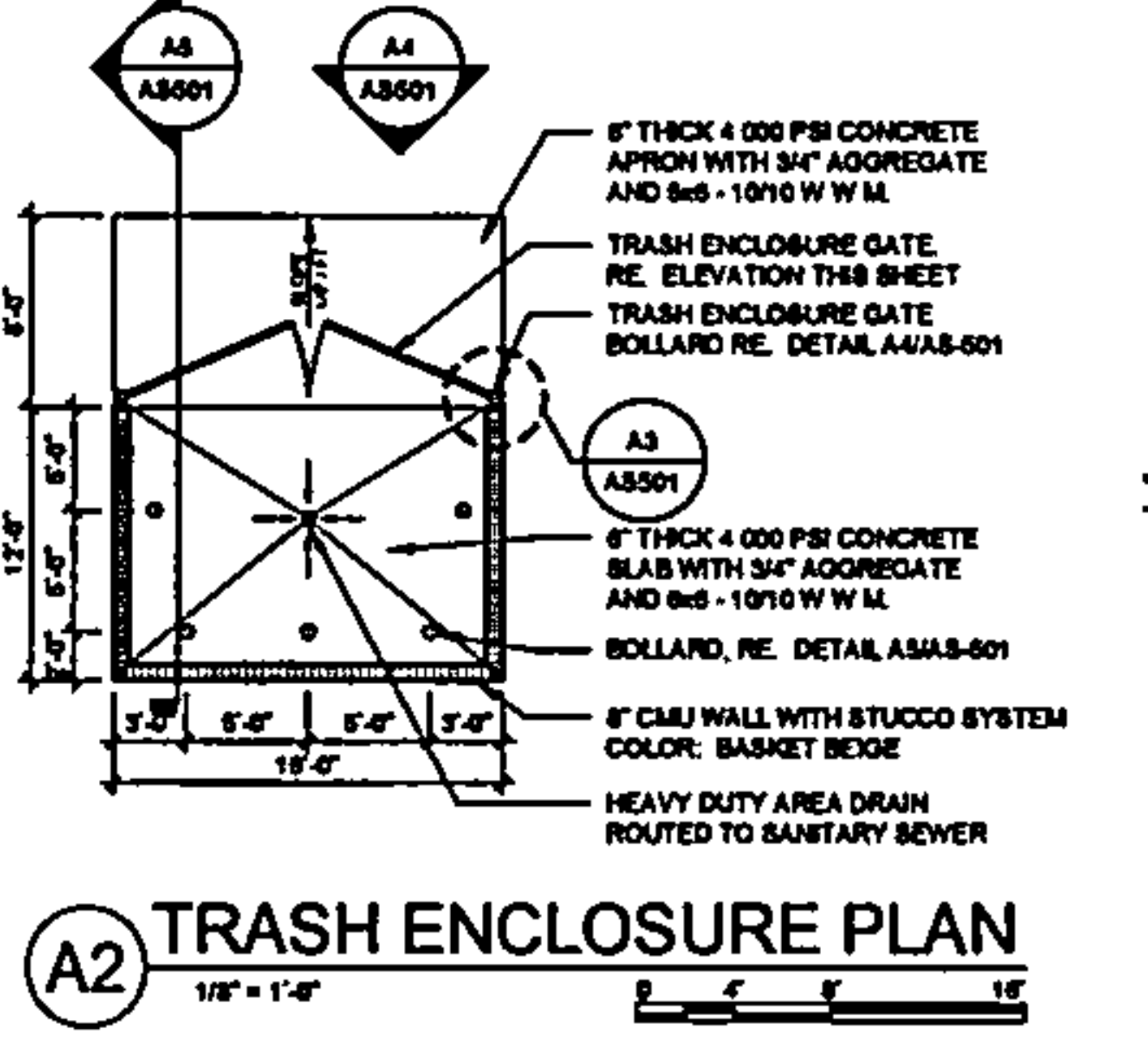
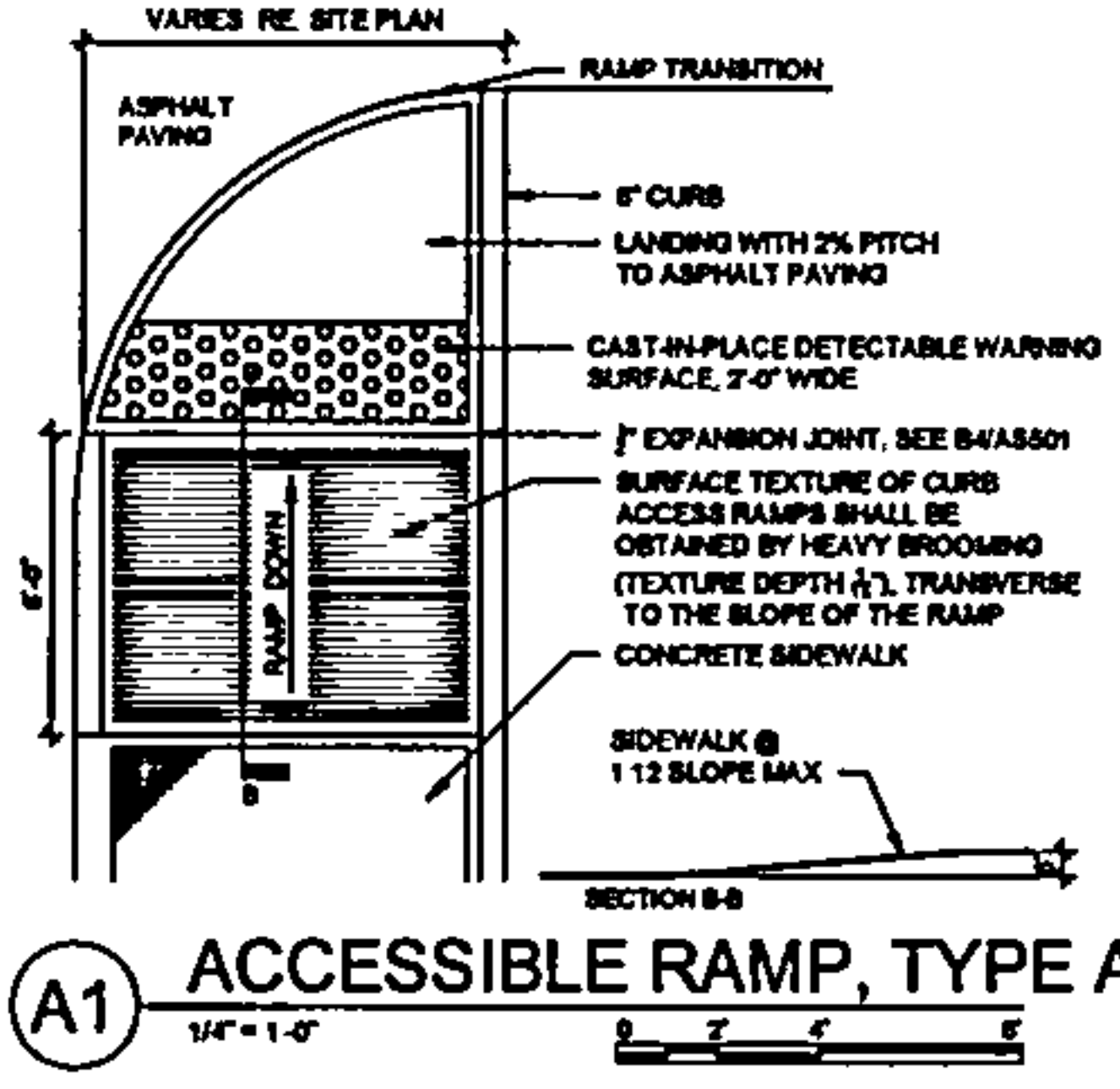
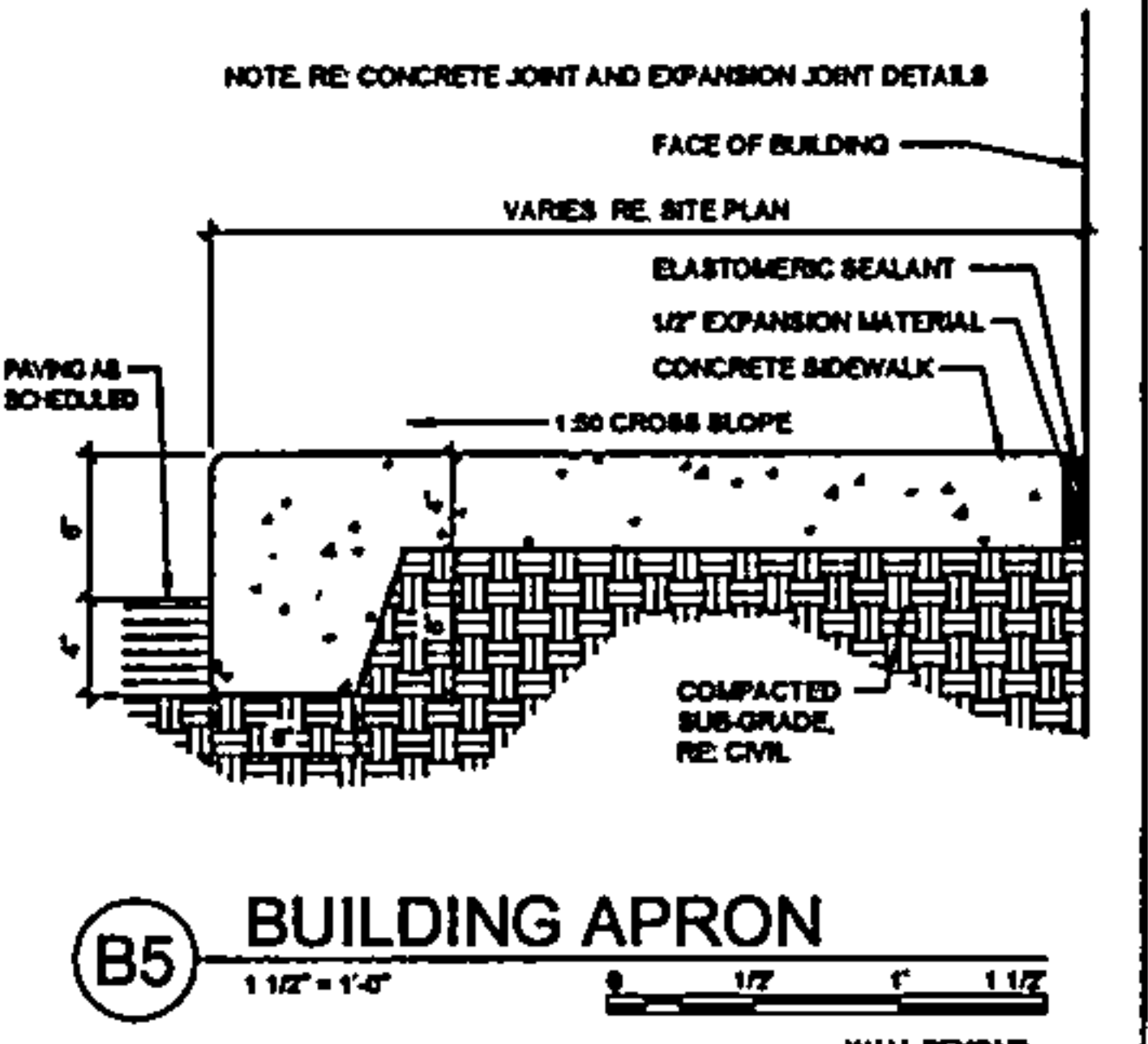
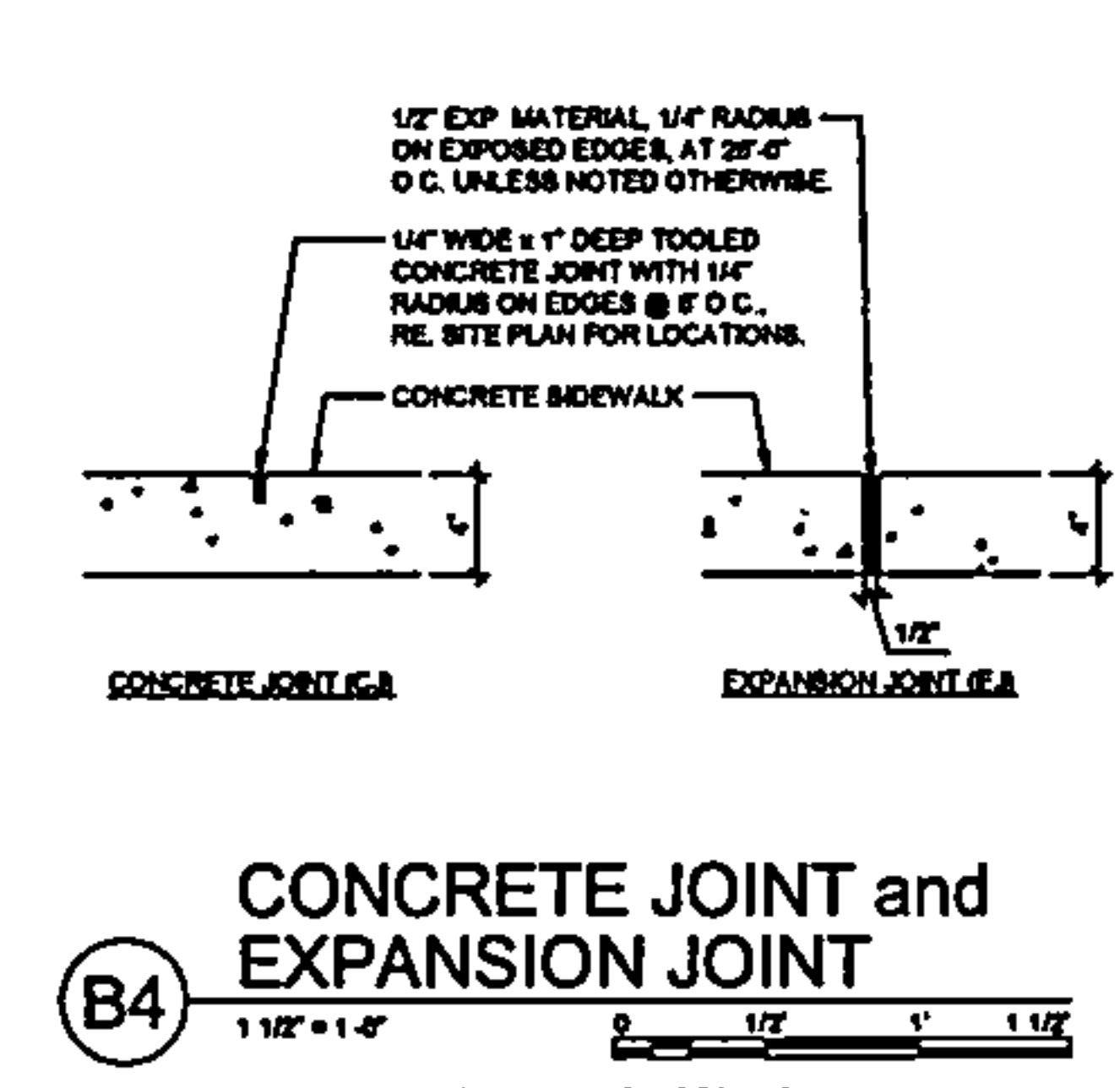
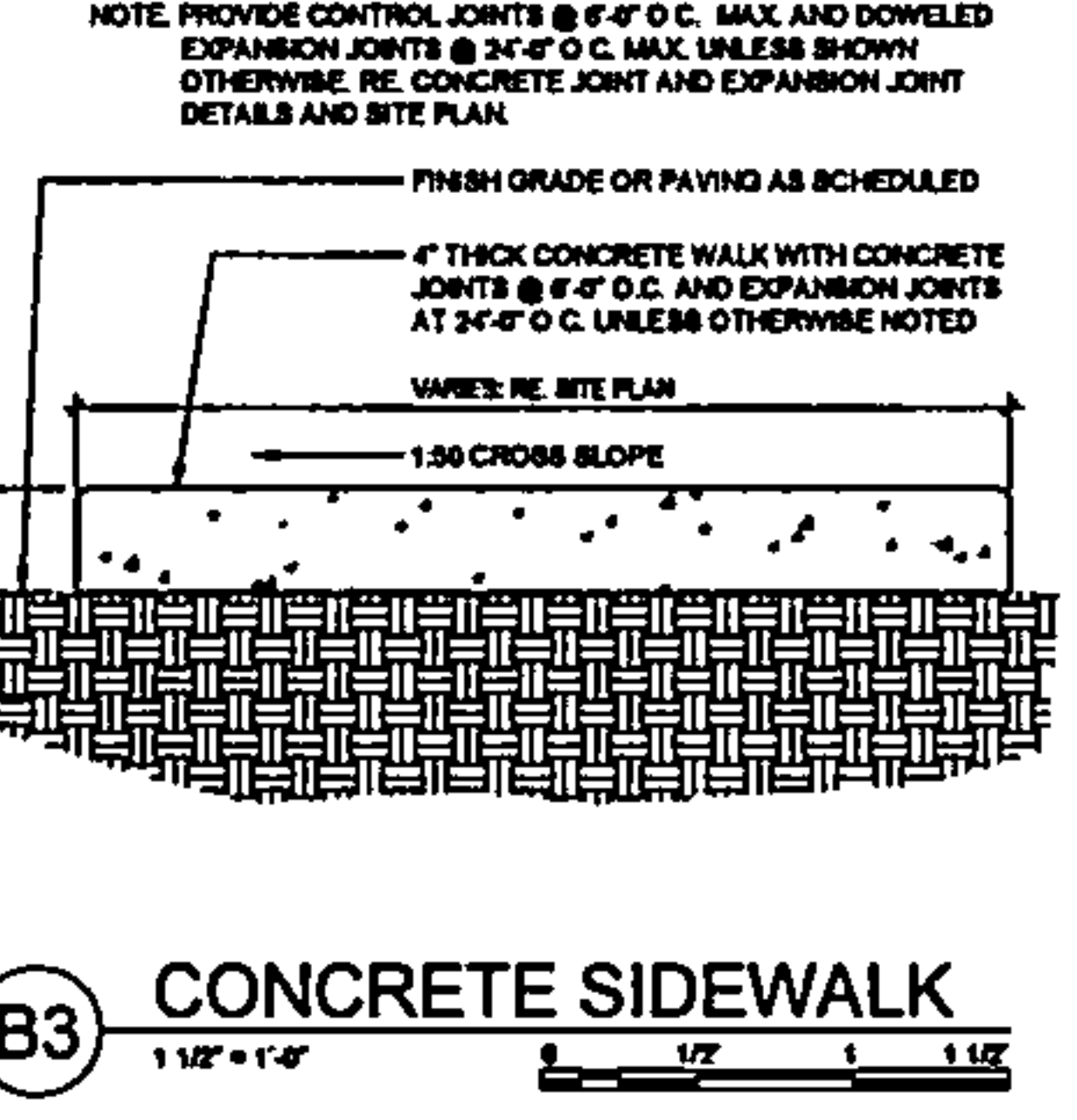
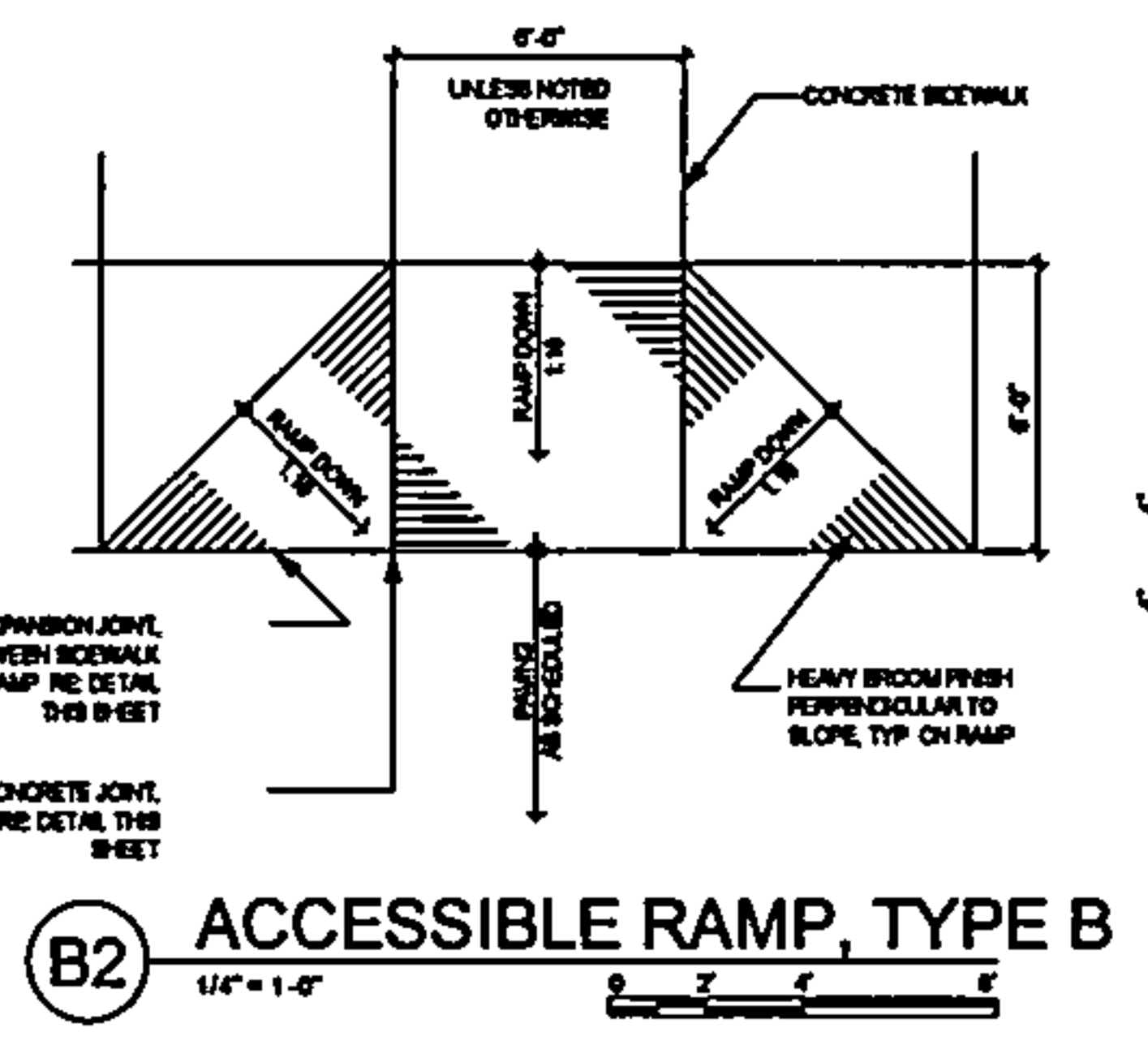
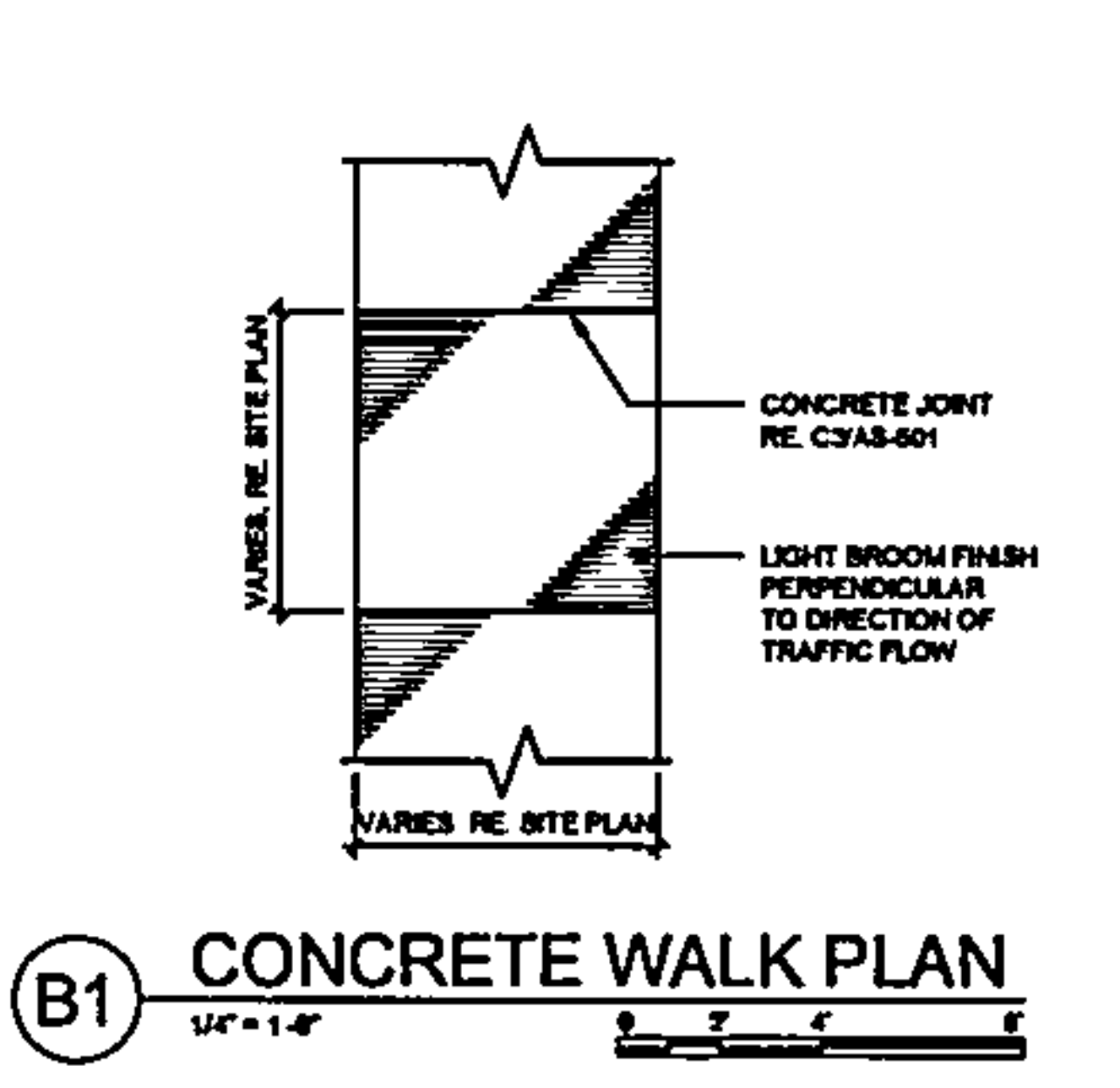
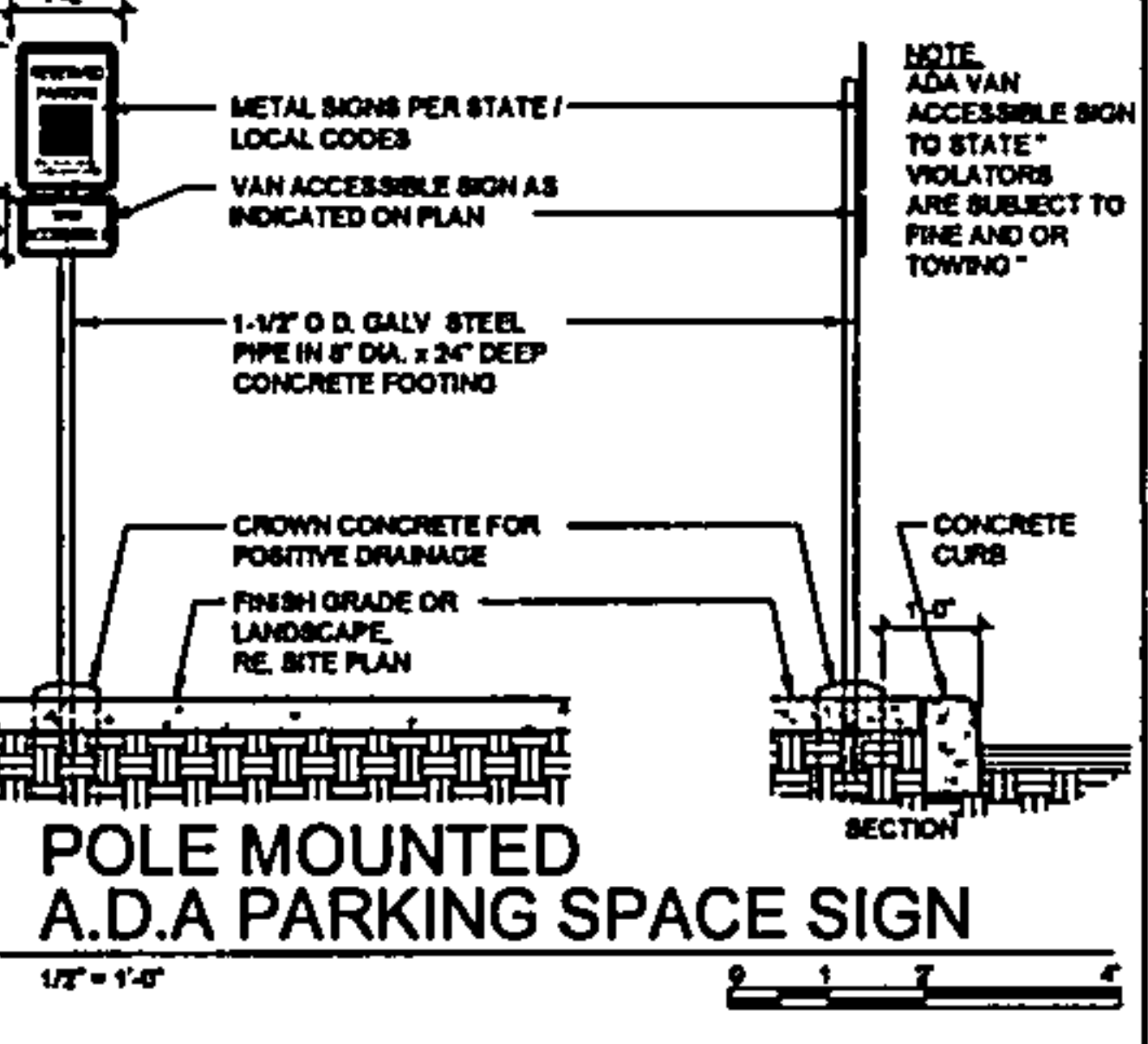
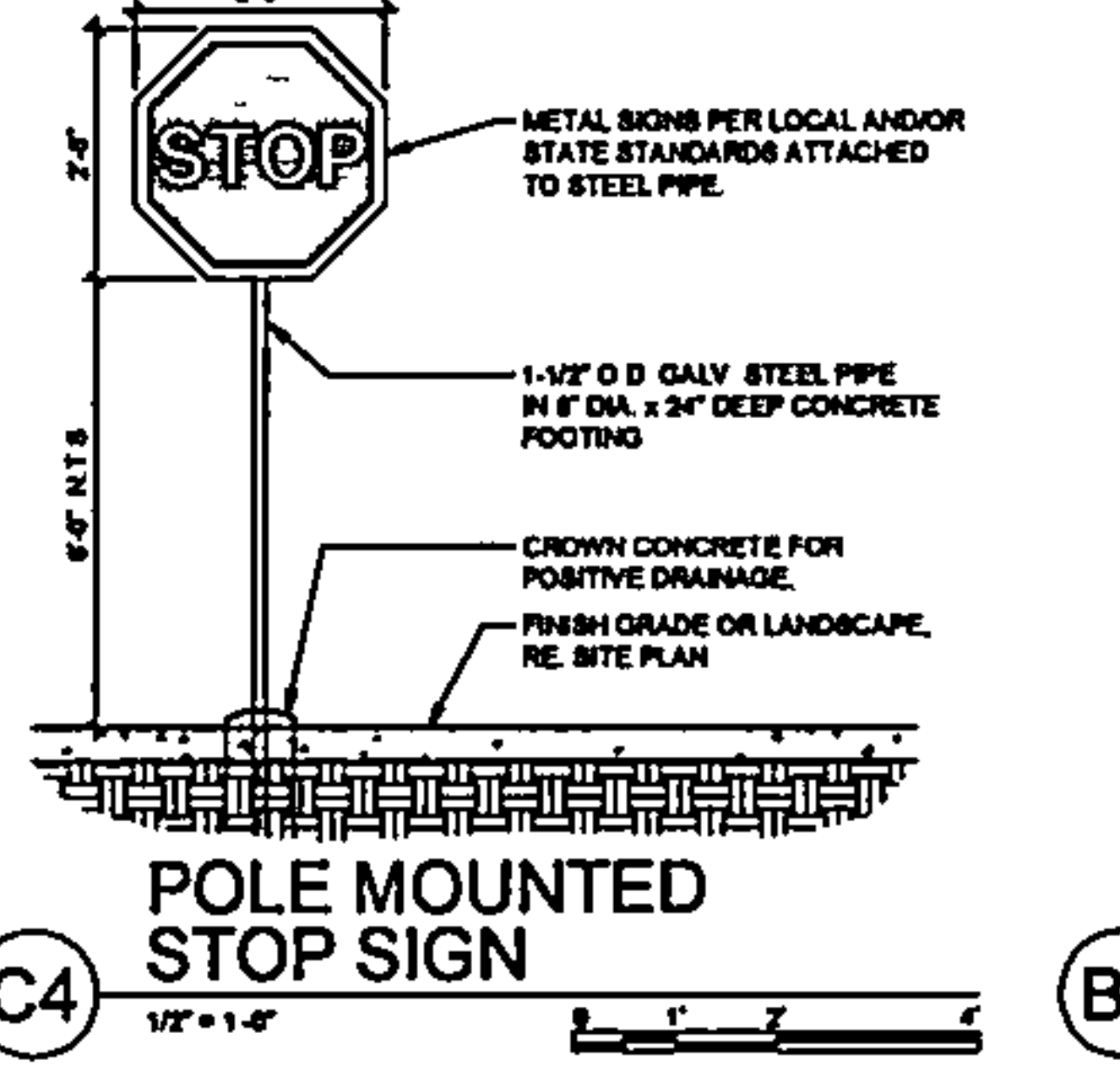
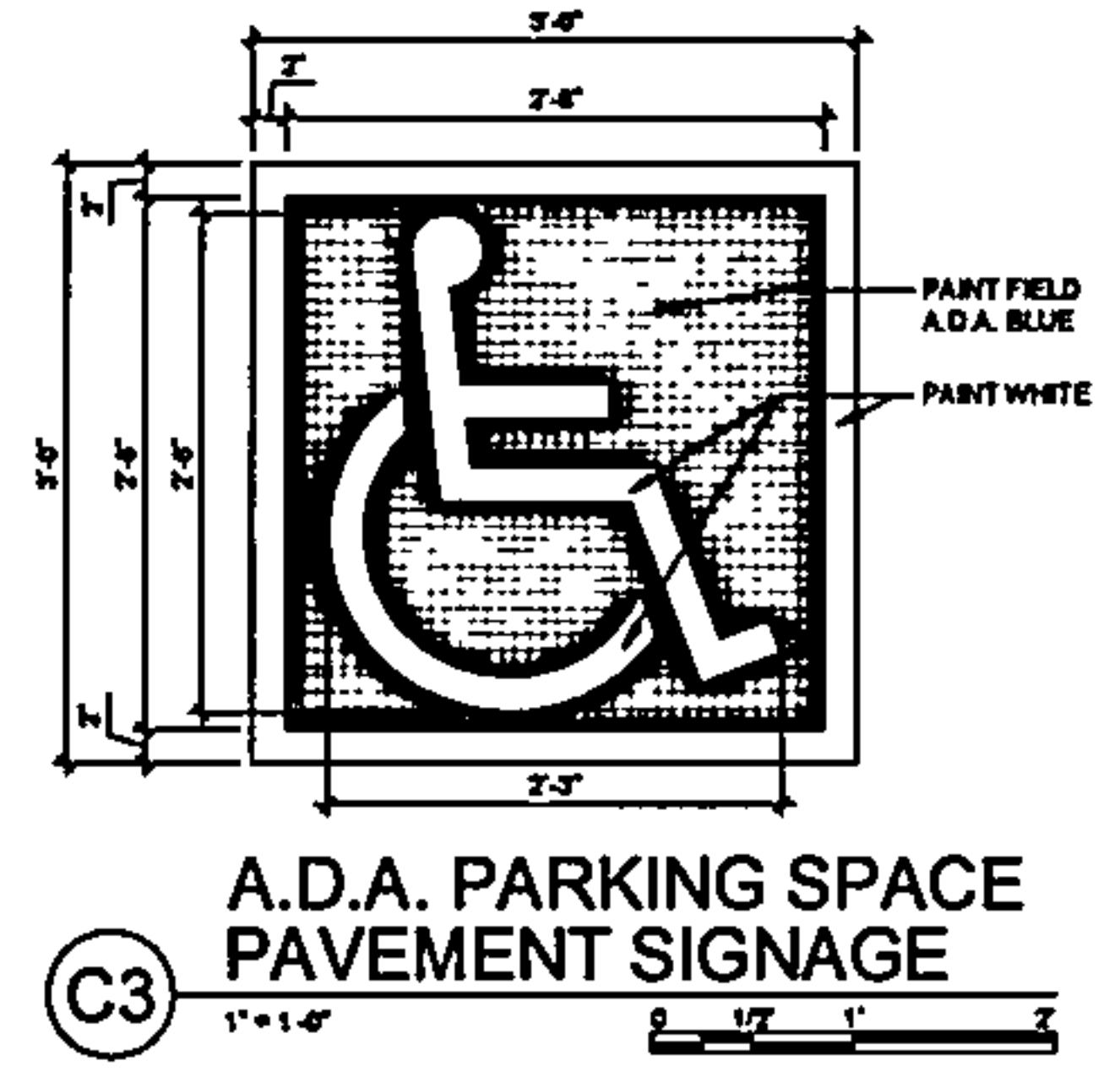
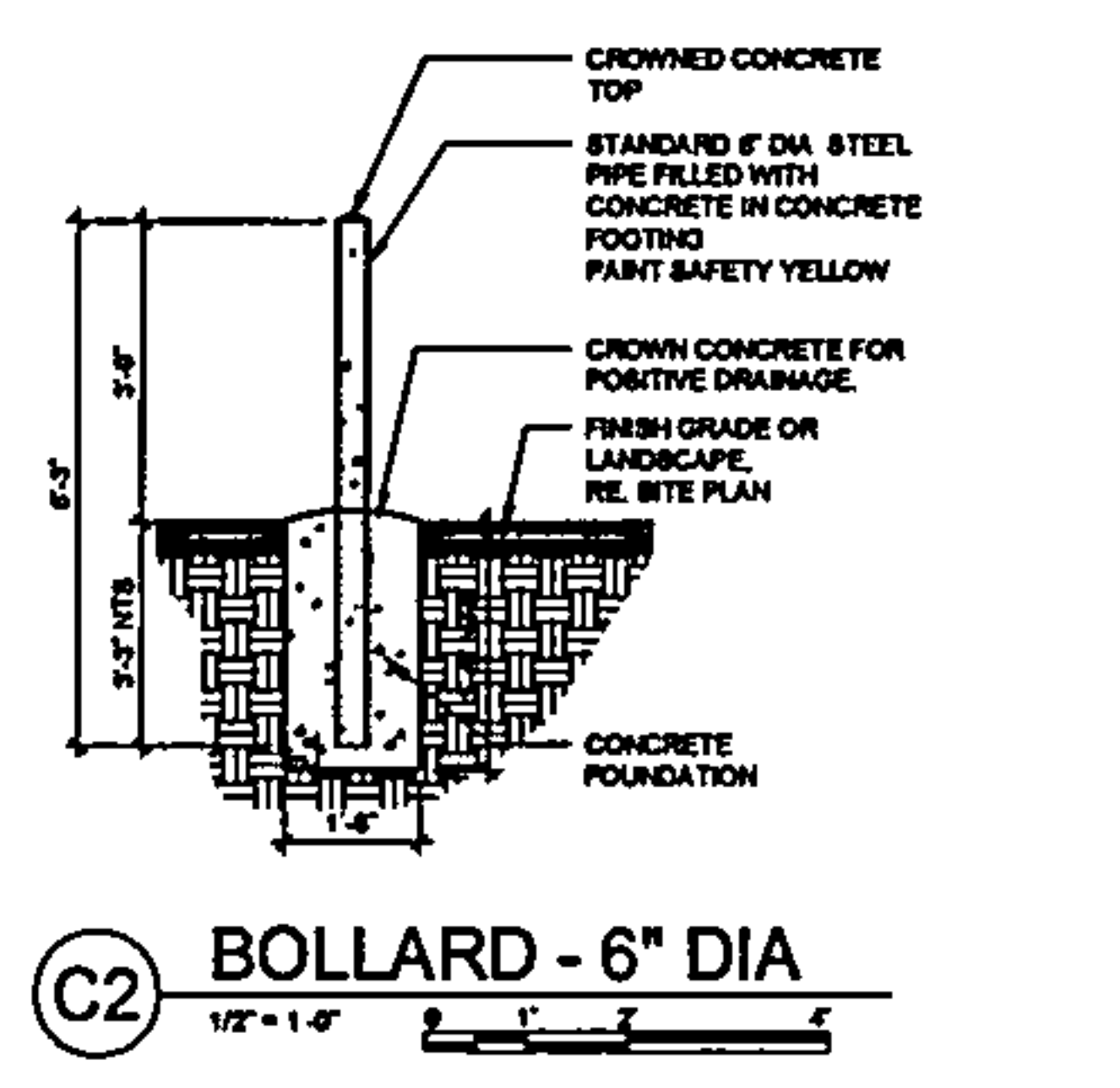
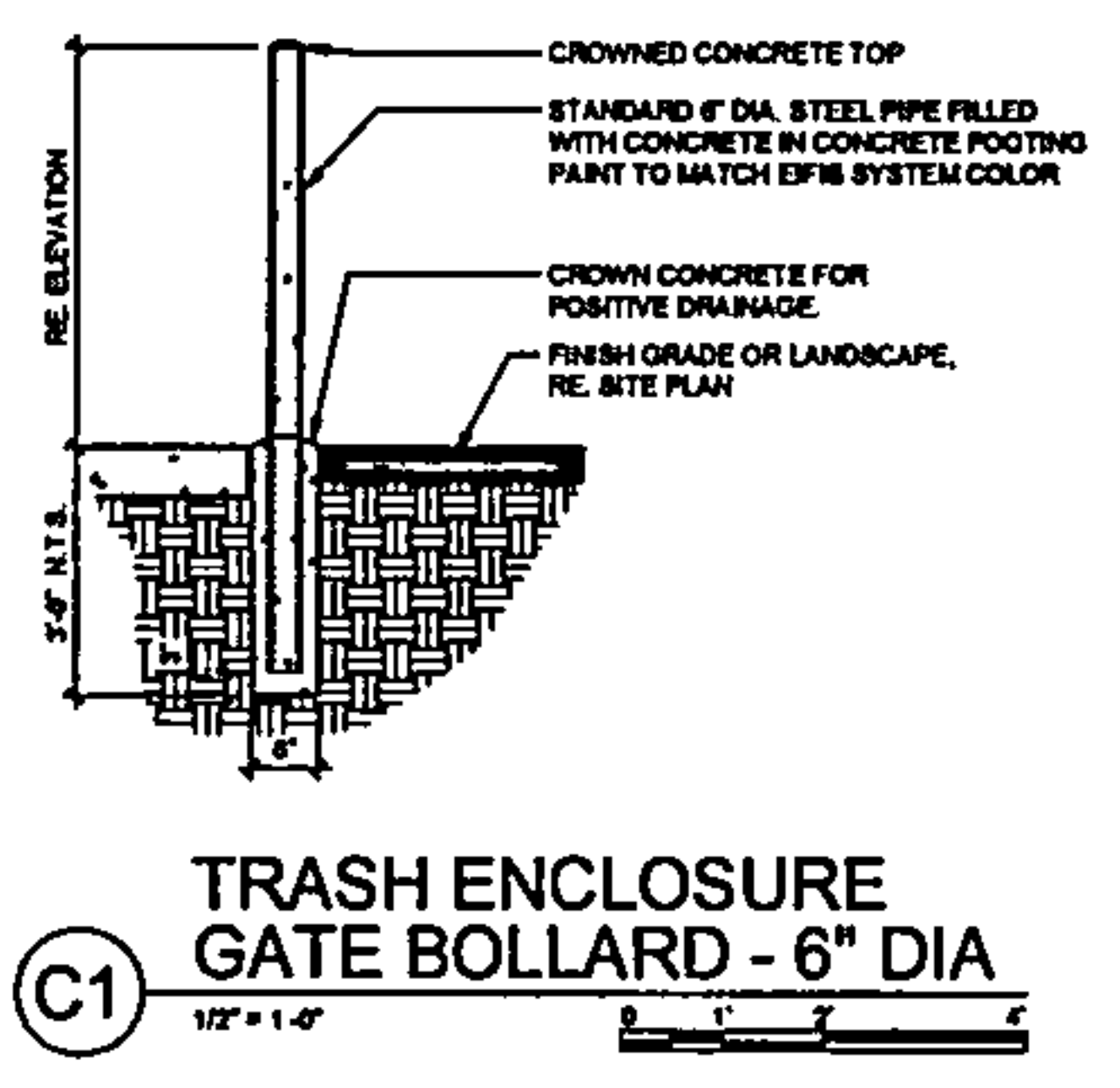
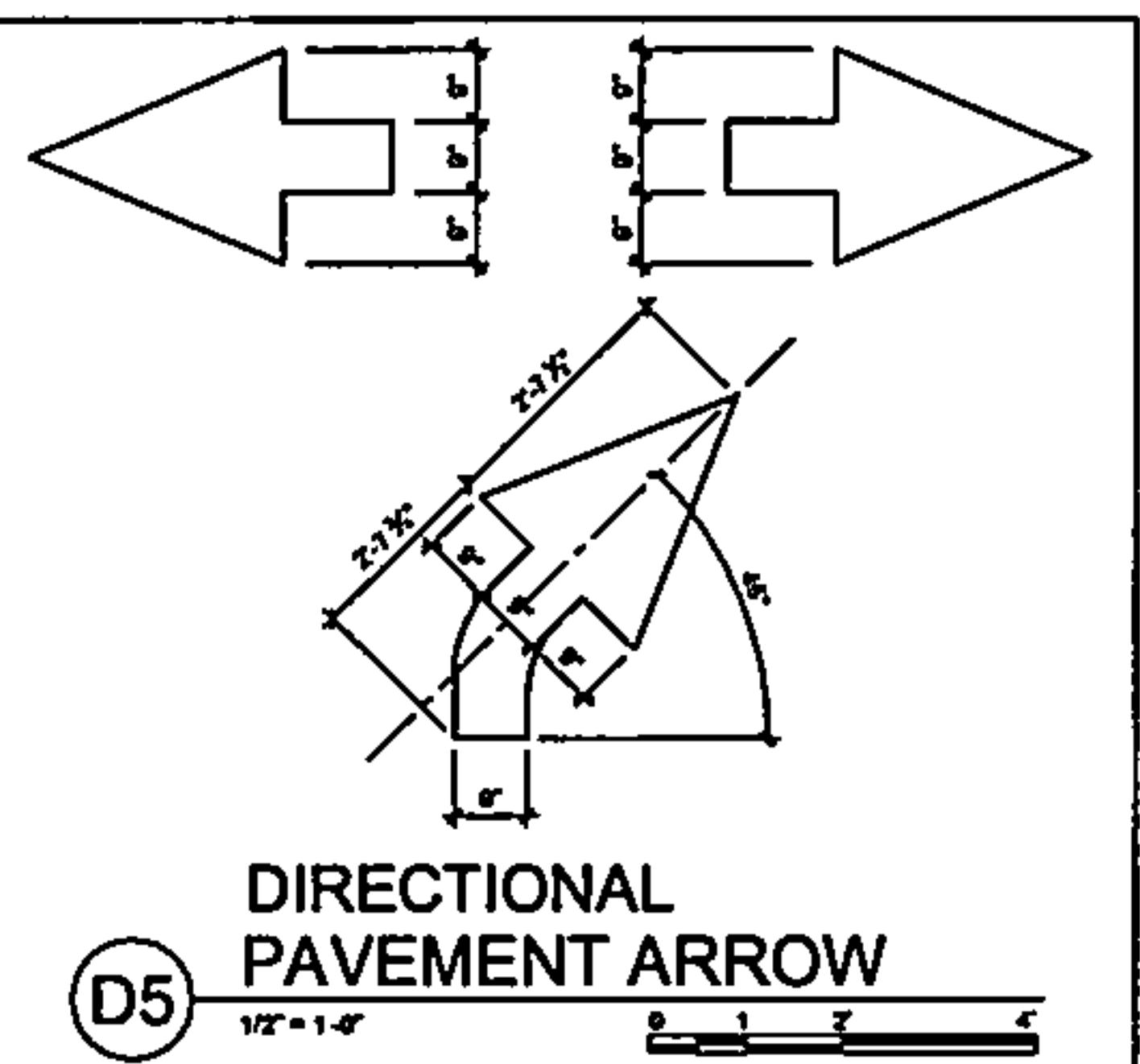
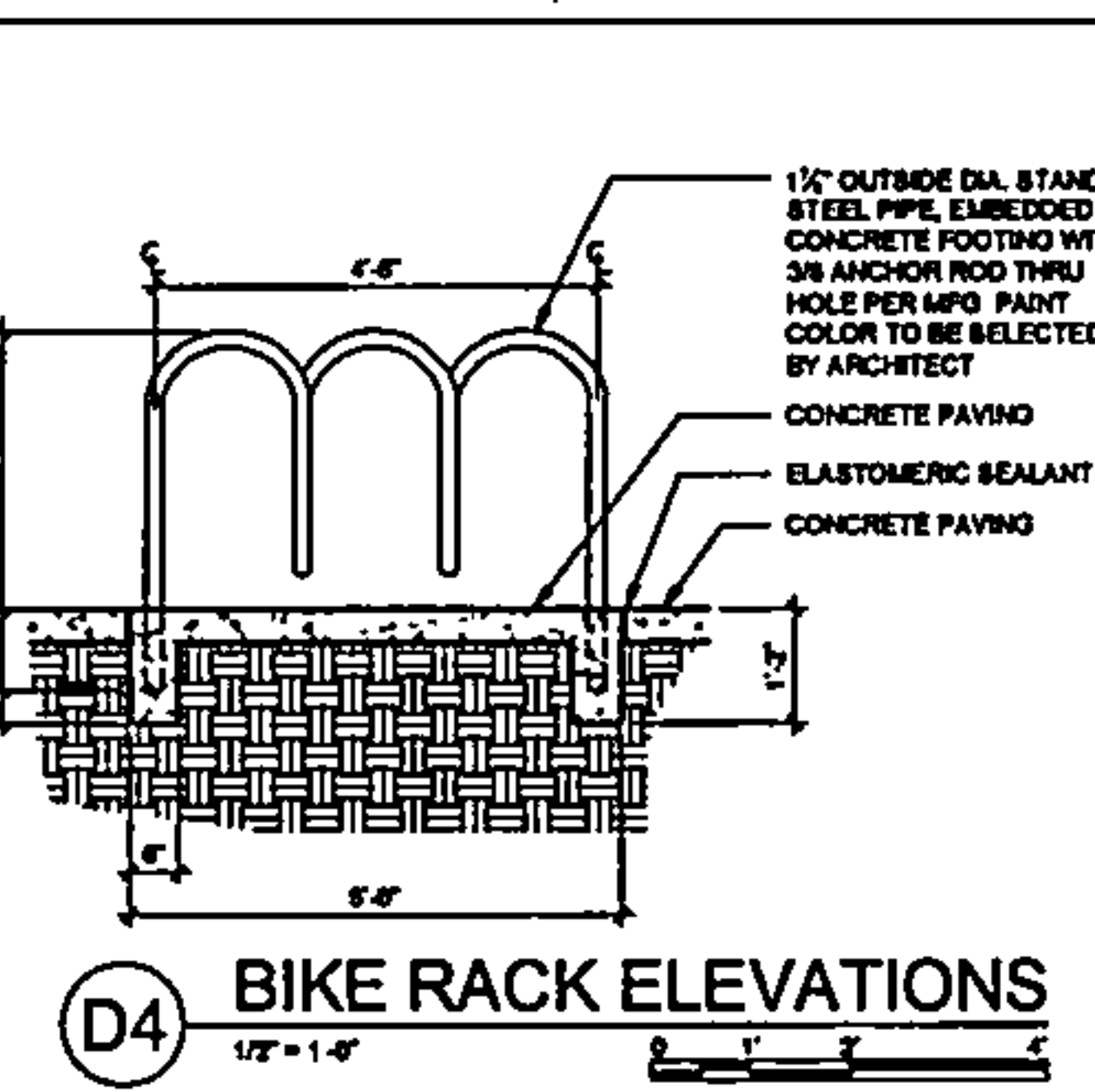
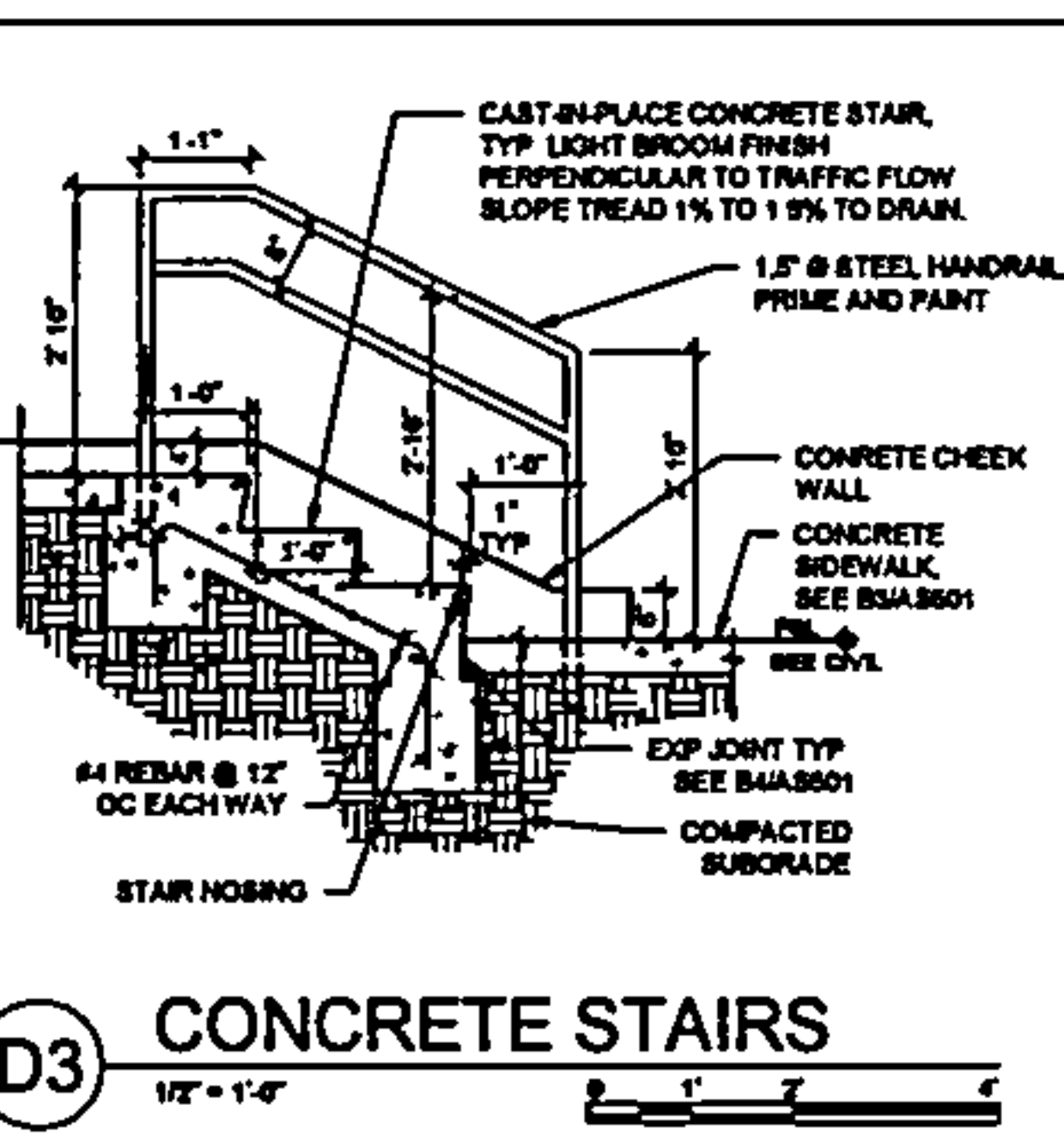
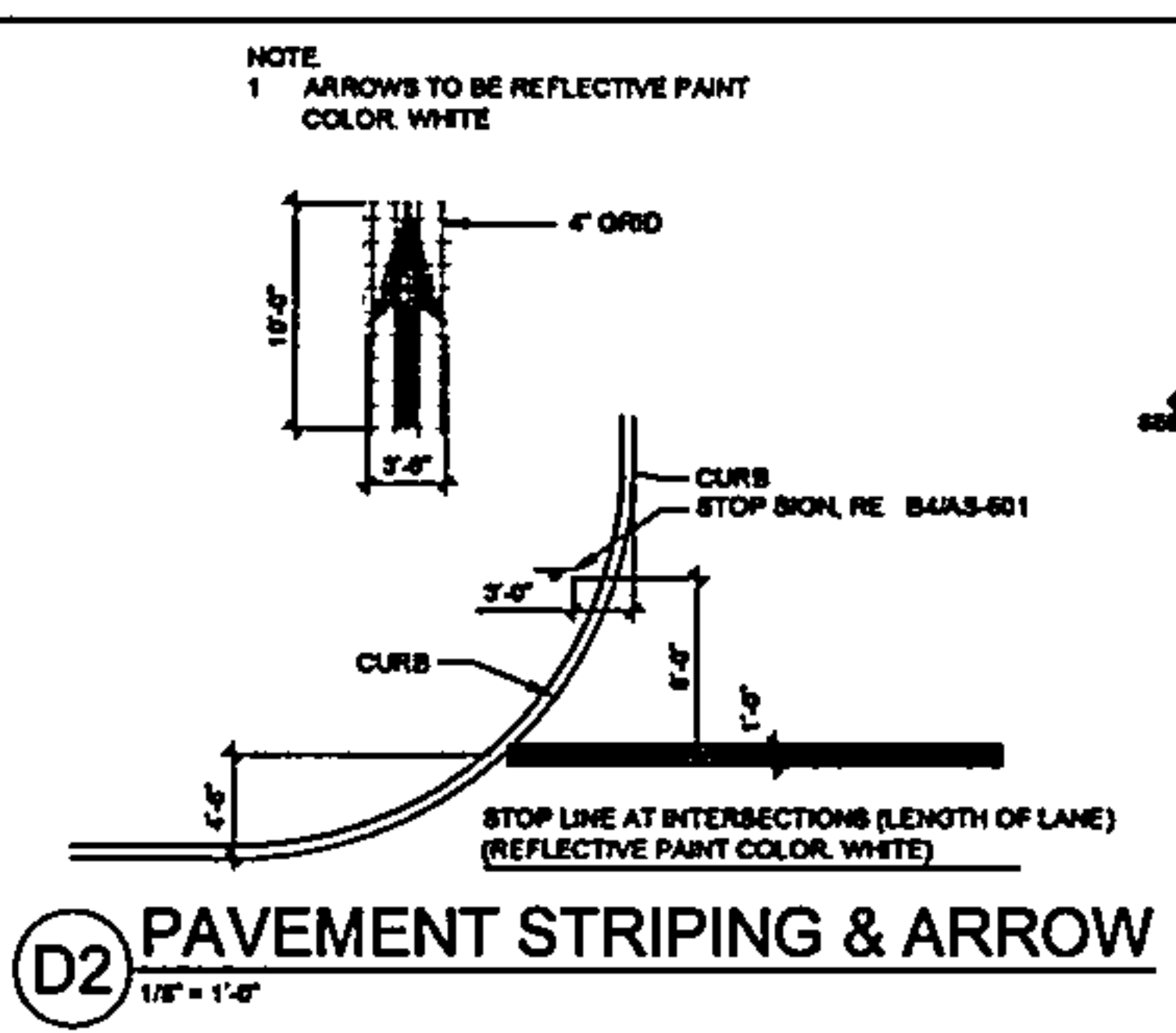
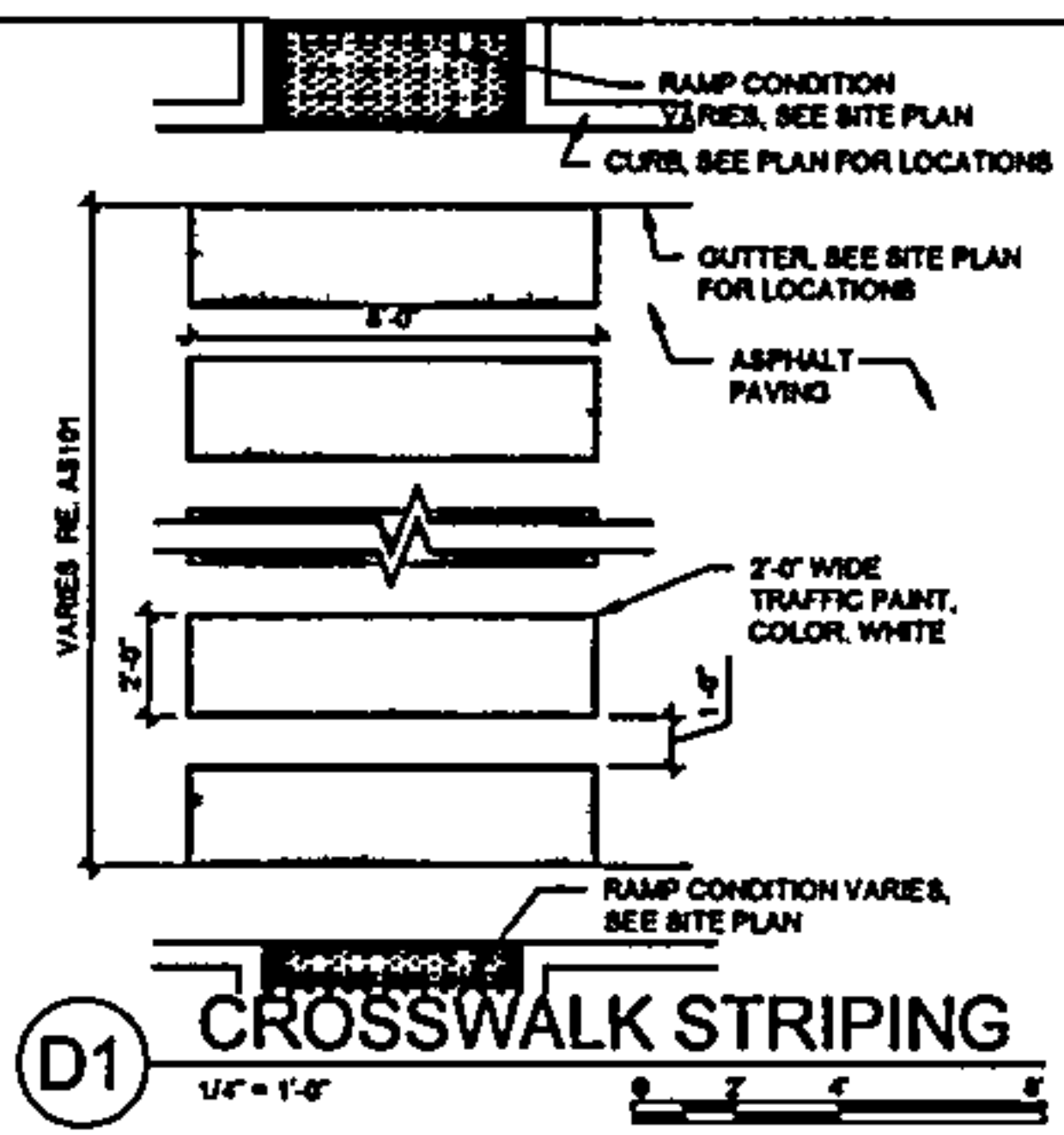
(A1) SITE PLAN
1" = 24'-0"

REVISIONS

▲	
▲	
▲	
▲	
▲	

DRAWN BY	LL AC
REVIEWED BY	CG
DATE	11/19/2015
PROJECT NO	15-0182

DRAWING NAME
SITE DETAILS



**DEKKER
PERICH
SABATINI**

7601 JEFFERSON NE, SUITE 100
ALBUQUERQUE, NM 87109
505.761.9700 / DPSDESIGN.ORG

BEAL

PROJECT

UPTOWN SHOPS
ALBUQUERQUE, NM

URT REVI

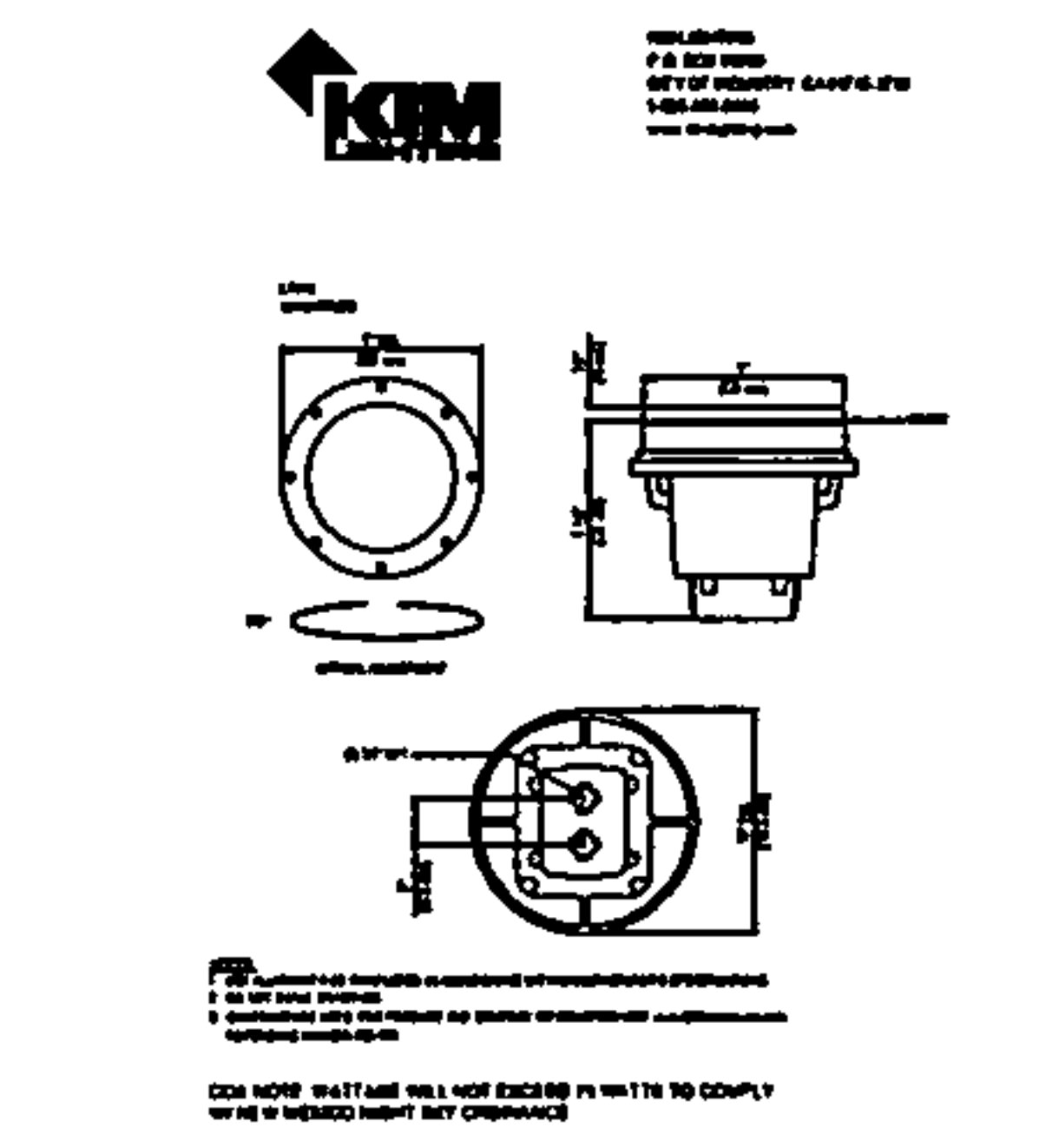
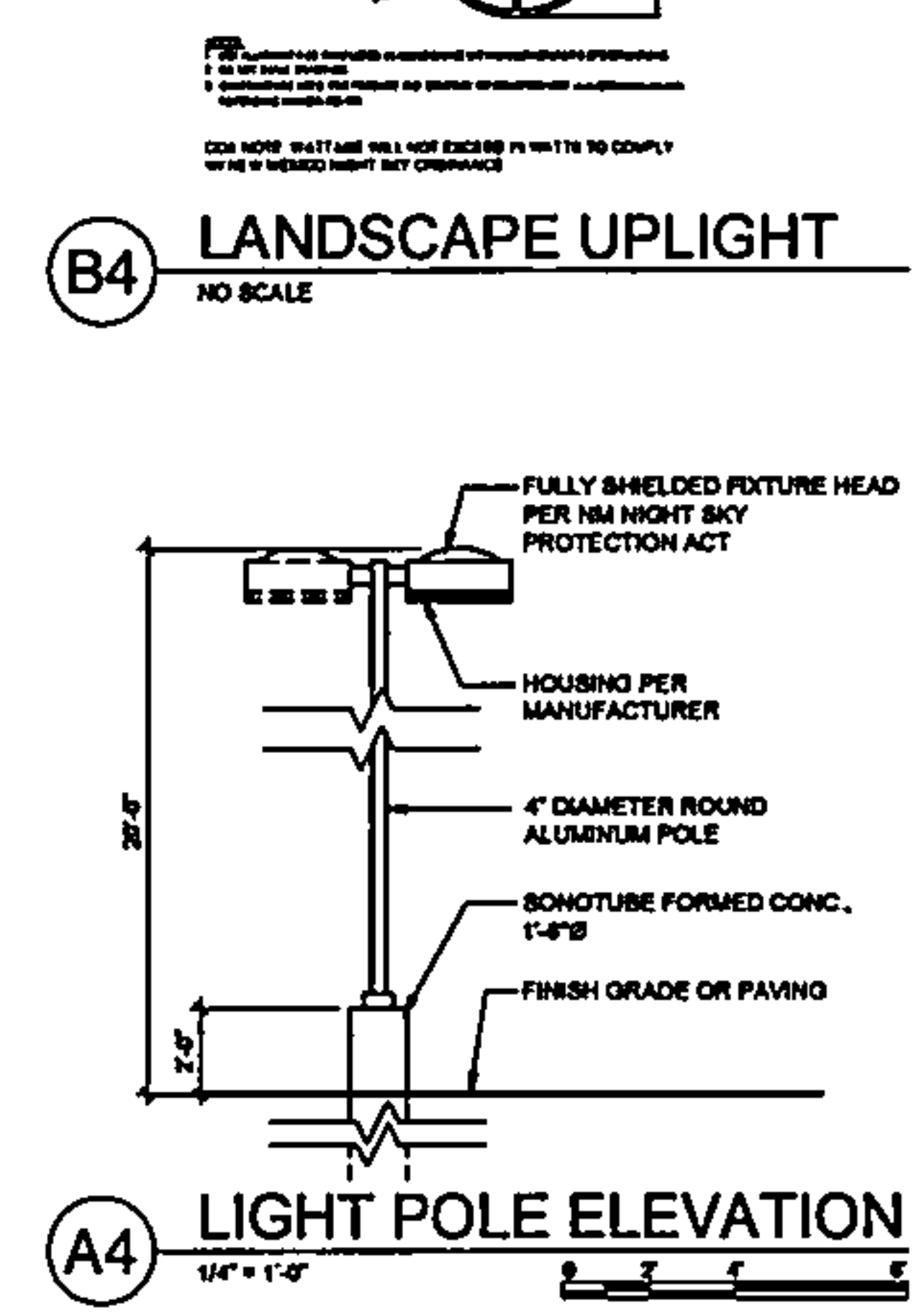
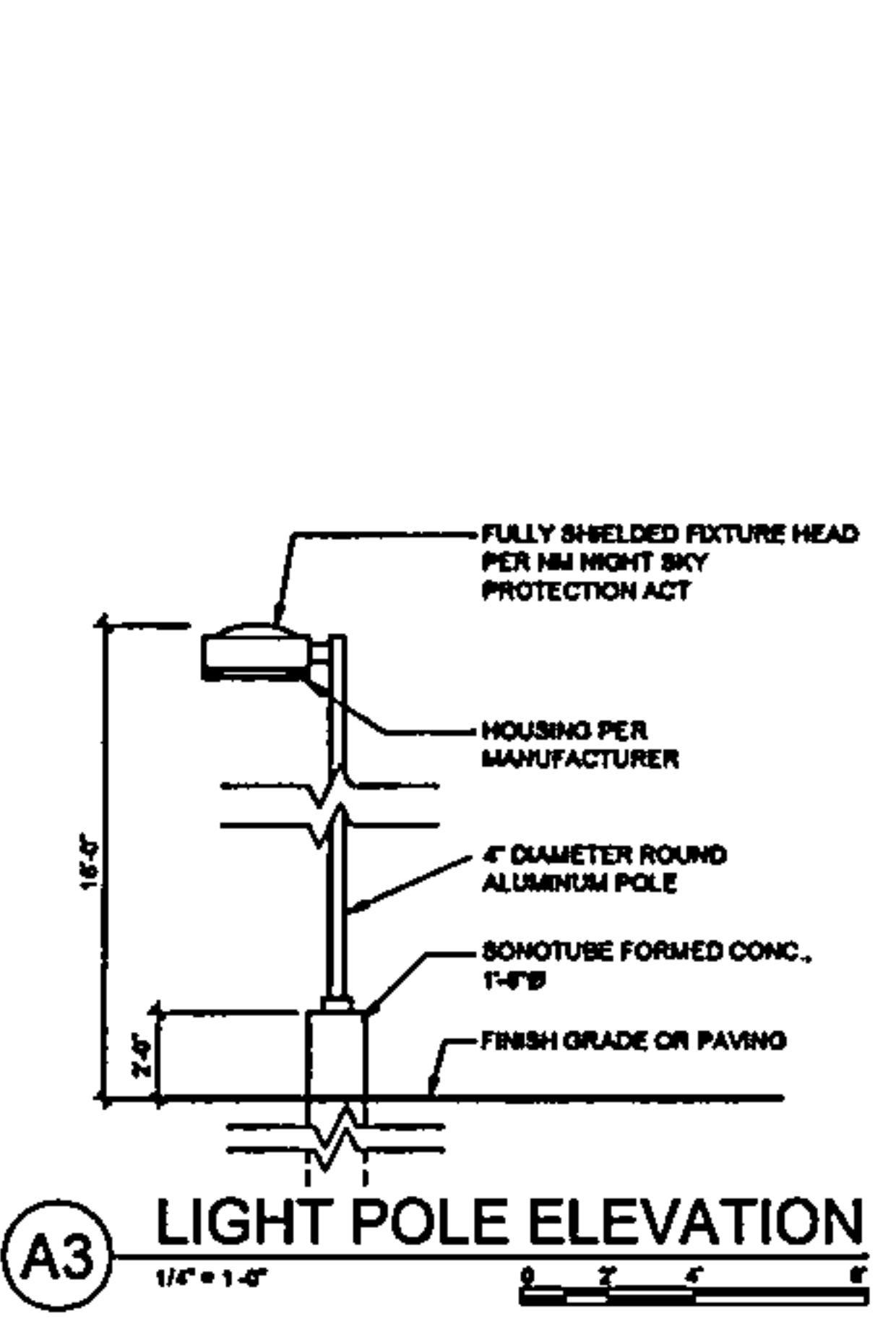
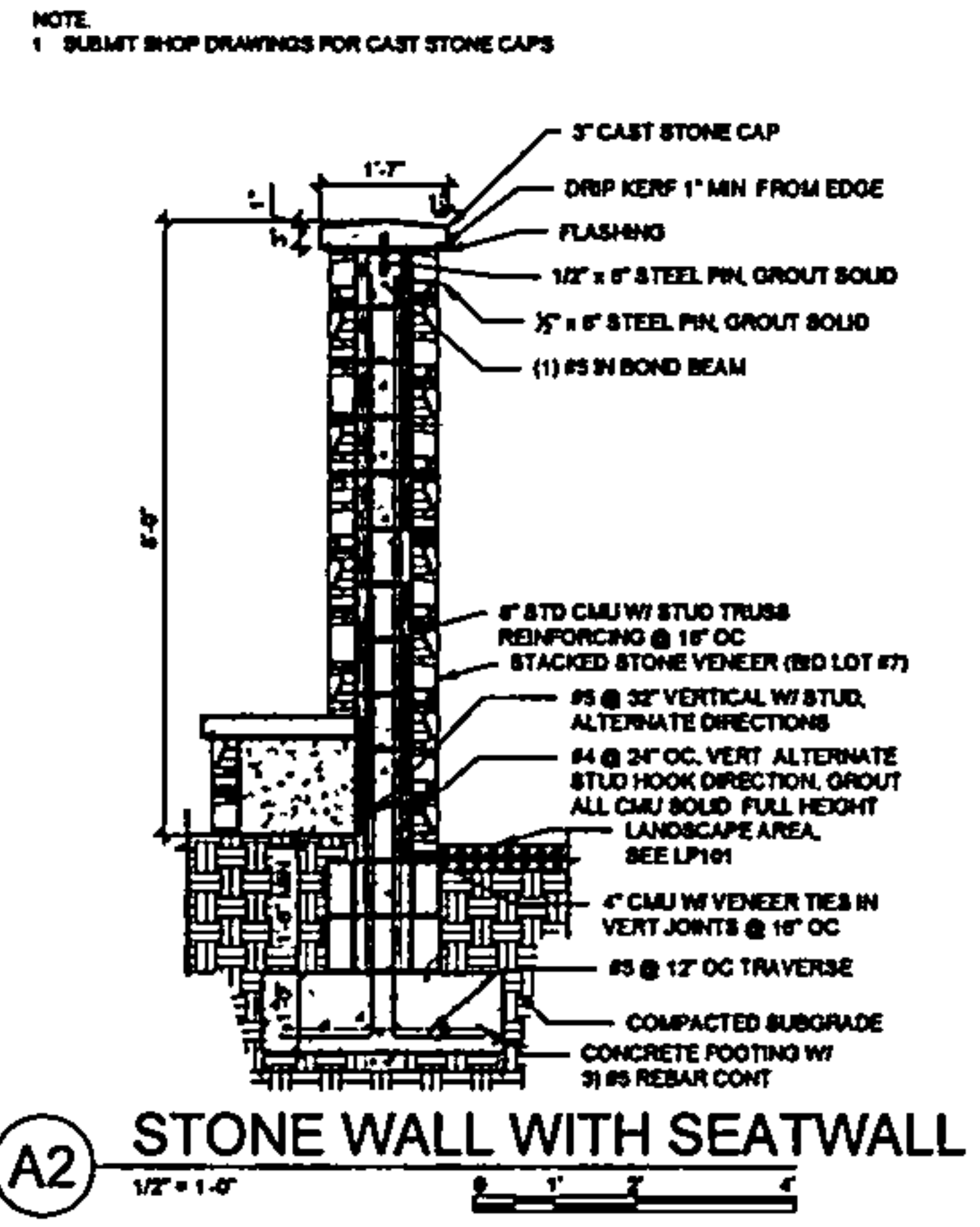
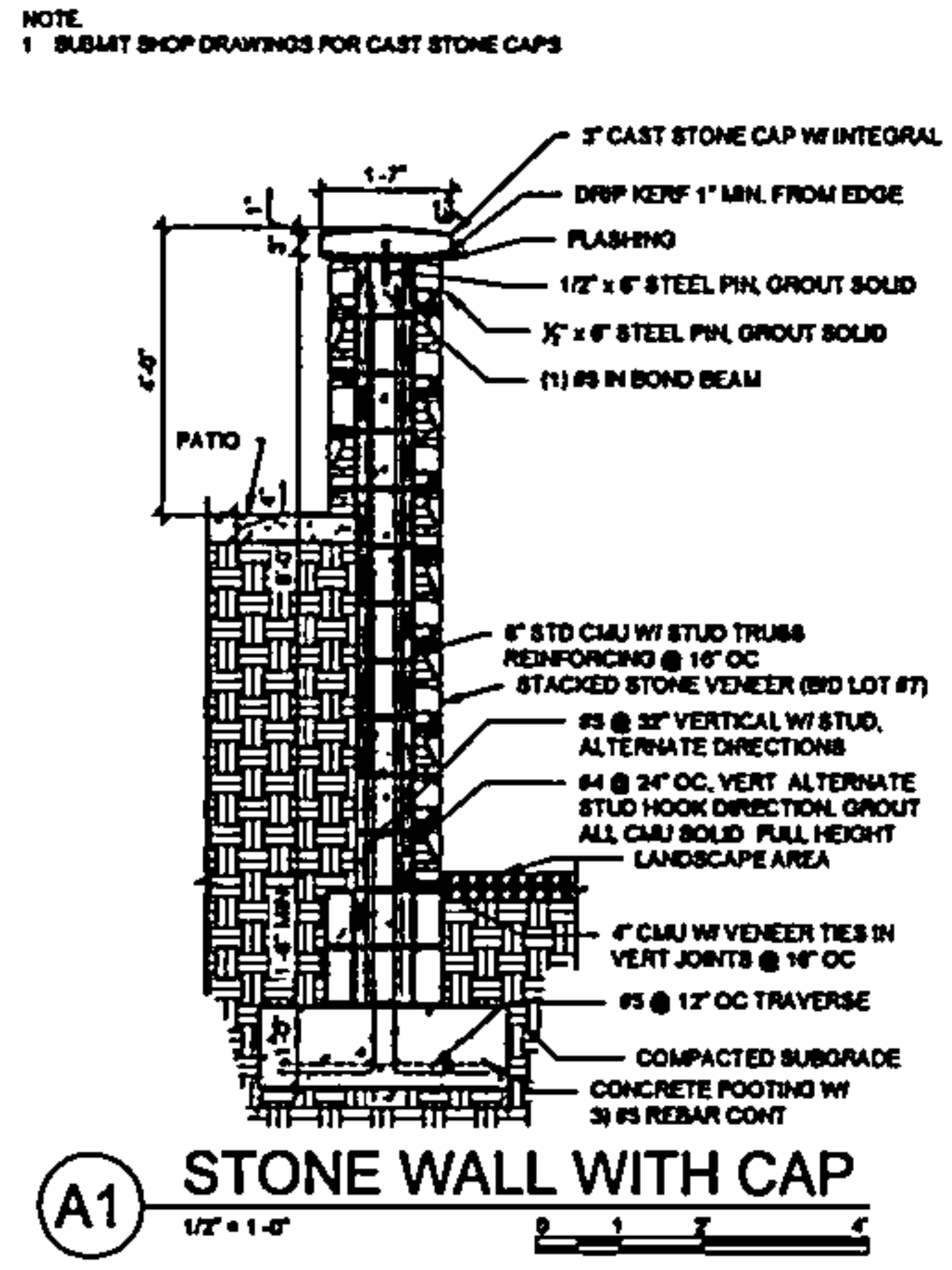
REVISIONS

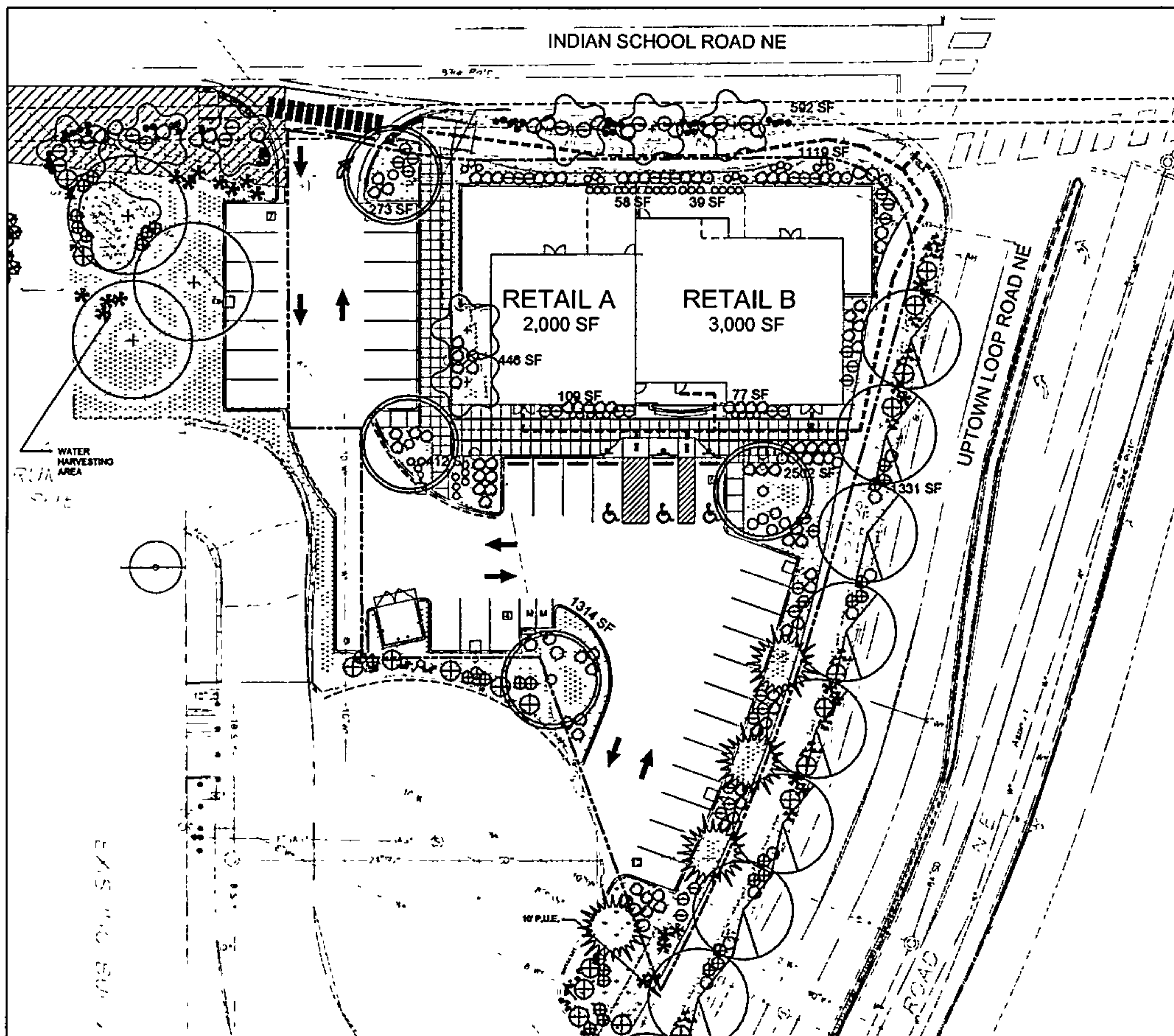
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DRAWN BY	LL AC
REVIEWED BY	CG
DATE	11/19/2018
PROJECT NO	15-0102

DRAWING NAME
**SITE
DETAILS**

SHEET NO
03 OF 11

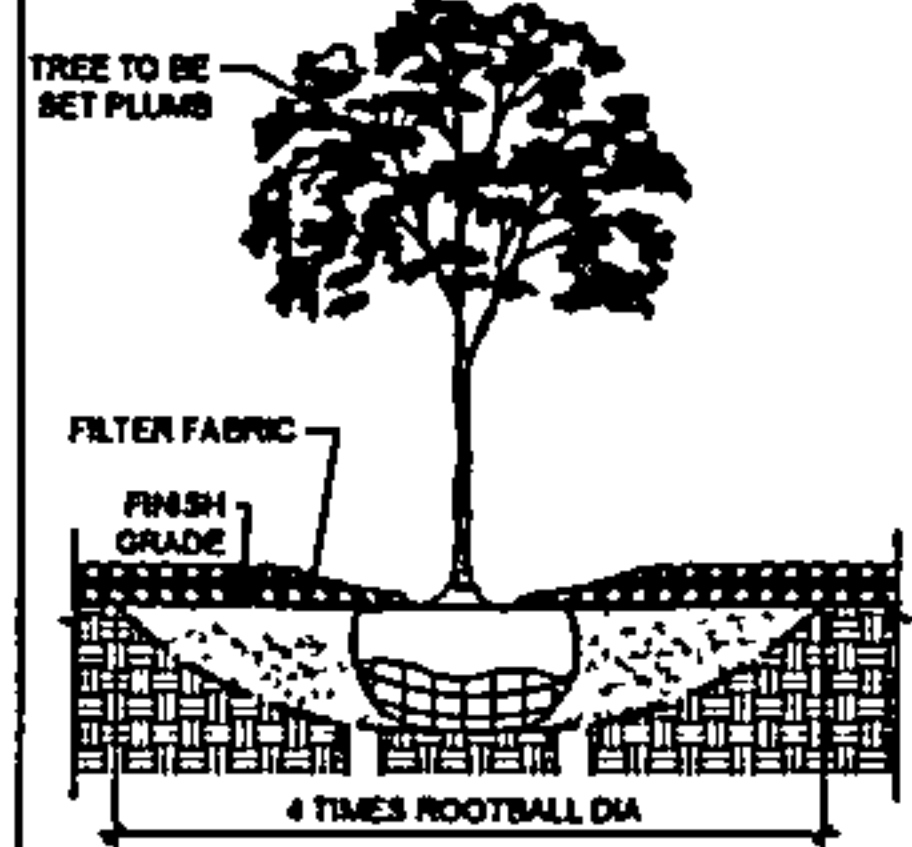




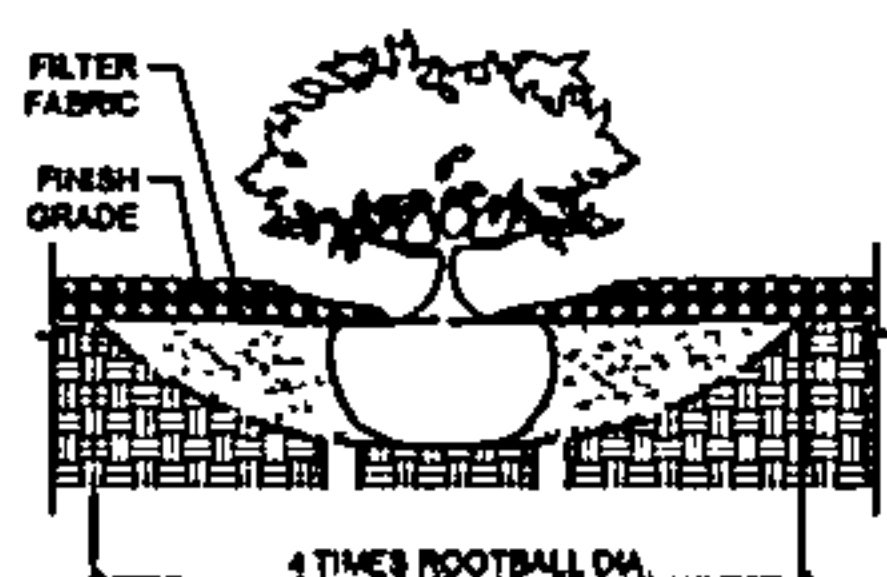
LANDSCAPE PLAN
1" = 30'-0"

- NOTES
1. PRIOR TO BACKFILLING, ALL MATERIAL SUCH AS CONTAINERS, WIRE, BURLAP AND ROPE SHALL BE REMOVED, WHILE STILL PROTECTING THE INTEGRITY OF THE ROOTBALL.
 2. BOTTOM OF TREE PITS TO BE COMPACTED TO PREVENT SETTLING.

- NOTES
1. PRIOR TO BACKFILLING, ALL MATERIAL SUCH AS CONTAINERS, WIRE, BURLAP AND ROPE SHALL BE REMOVED, WHILE STILL PROTECTING THE INTEGRITY OF THE ROOTBALL.
 2. BOTTOM OF SHRUB PITS TO BE COMPACTED TO PREVENT SETTLING.



A1 TREE
3/4" = 1'-0"



B1 SHRUB
3/4" = 1'-0"

PLANTING LEGEND

TREES

SYM	QTY	BOTANICAL NAME/ COMMON NAME	INSTALLATION SIZE	MATURE SIZE (600W) WATER USE
13		Pinus attenuata/ CHINESE PINE	2" Cal.	35'x20' Medium
14		Quercus laevis/ WESTERN REDBUD	2.5" Cal./RAS	25'x18' Medium
26		Chrysolepis linearis 'Art's Seedling' DESERT WILLOW	4" Root	25'x25' Low
3		Populus deltoides var. deltoides RIO GRANDE VALLEY COTTONWOOD	2.5" Cal./RAS	60'x40' High
21		Quercus laevis/ TEXAS RED OAK	2.5" Cal./RAS	25'x25' Medium
15		Quercus muhlenbergii/ CHINOJAPIN OAK	2.5" Cal./RAS	35'x20' Medium
10		The arbutus LITTLELEAF LINDEN	2.5" Cal./RAS	35'x25' Medium
19		Juniperus chinensis 'Spartan' SPARTAN JUNIPER	8" High/SAB	15'x7' Low
23		Pinus strobus var. milleriana SOUTHWESTERN WHITE PINE	6" High/SAB	60'x20' Low

SHRUBS

SYM	QTY	BOTANICAL NAME/ COMMON NAME	INSTALLATION SIZE	MATURE SIZE (600W) WATER USE
22		Eriogonum fasciculatum/ TURPENTINE BUSH	1 Gal. Cert.	30'x20' Low
191		Scaberrima 'Broom' THOMPSON BROOM	1 Gal. Cert.	30'x20' Low
12		Caryopteris densiflora 'Dark Knight' DARK NIGHT BLUE BEST SPIRUA	1 Gal. Cert.	40'x40' Medium
96		Melaleuca eucalyptea 'Compacta' COMPACT MAHONIA	1 Gal. Cert.	30'x40' Medium
78		Rhus aromatica 'Crispa' ORIOLO FRAGRANT SUMAC	1 Gal. Cert.	24'x22' Medium
23		Salvia 'Red Velvet' RED VELVET SAGE	1 Gal. Cert.	30'x20' Low
153		Callitriche heterophylla WINECLIPS	1 Gal. Cert.	15'x18' Low
82		Cercocarpus plumbeoscapula/ DWARF PLUMBAGO	1 Gal. Cert.	12'x18' Medium
222		Hymenocallis aurea/ ANGELITA DAME	1 Gal. Cert.	12'x12' Low
151		Lavandula angustifolia 'Tuscan Superior' HOCCOTE SUPERIOR LAVENDER	1 Gal. Cert.	18'x18' Medium
90		Mirabilis multiflora/ DESERT FOUR-O'CLOCK	1 Gal. Cert.	18'x20' Medium
32		Taurinum chameaefolium/ TRAILING GERMANDER	1 Gal. Cert.	12'x24' Medium

GRASSES

SYM	QTY	BOTANICAL NAME/ COMMON NAME	INSTALLATION SIZE	MATURE SIZE (600W) WATER USE
136		Festuca subsericea 'Bluebird' BLUE BIRD BLUE FESCUE	1 Gal. Cert.	18'x18' Medium
220		Muhlenbergia capillaris RAVENS HEAD MIST MULLENERBERGIA	1 Gal. Cert.	30'x22' Medium
100		Muhlenbergia ripens/ DEER GRASS	1 Gal. Cert.	42'x40' Medium
79		Holcus microcarpa/ BEARDGRASS	1 Gal. Cert.	30'x40' Medium
60		Muhlenbergia stenata 'Orchidum' MADON GRASS	1 Gal. Cert.	60'x40' Medium

ACCENTS

SYM	QTY	BOTANICAL NAME/ COMMON NAME	INSTALLATION SIZE	MATURE SIZE (600W) WATER USE
18		Desfontainia venusta/ SOTOL	4" Root	45'x20' Low
88		Prosopis juliflora/ RED HESPERALOE	1 Gal. Cert.	45'x40' Medium
81		Opuntia basilaris/ BEAVERTAIL PRICKLY PEAR	1 Gal. Cert.	12'x40' Low
23		Yucca glauca/ Sagebrush	1 Gal. Cert.	30'x20' Low

- MULCHES**
- SYMBOL**
- 1/2" SANTA FE BROWN ROCK MULCH. INSTALL AT 3" DEPTH OVER BROWN FILTER FABRIC.
 - ORGANIC PECAN SHELL MULCH. INSTALL AT 3" DEPTH OVER BROWN FILTER FABRIC.
 - IRRIGATED NATIVE SEED. PIONEER'S PRIDE SEED MIX FROM CURTIS AND CURTIS, INC. RATE: 1 POUND PER 1000 SF.

NOTE
PLANTING PLAN PER APPROVED LANDSCAPE PLAN PHASE II (2011)

LANDSCAPE NOTES

- ALL LANDSCAPE IS EXISTING PER APPROVED BUILDING PERMIT UNLESS NOTED OTHERWISE.
- PLANTING AND IRRIGATION MAINTENANCE ON SITE AND WITHIN RIGHT OF WAY SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- DESIGN THE EXISTING PLANTING DESIGN INCLUDES A DIVERSE PALETTE OF DESERT AND HIGH DESERT PLANTS THAT WILL COMPLEMENT THE ARCHITECTURE OF THE PROJECT. THE INTENT IS TO LANDSCAPE THIS MIXED-USE, URBAN ENVIRONMENT WITH DESERT AND HIGH DESERT PLANTS THAT REINFORCE A SENSE OF PLACE AND ARE APPROPRIATE TO ALBUQUERQUE'S CLIMATE.
 - GRASSES AND ACCENT PLANTS SUCH AS YUCCA, SOTOL AND PRICKLY PEAR CACTUS WILL BE USED IN HIGHLY VISIBLE AND APPROPRIATE LOCATIONS. THE USE OF REGIONALLY NATIVE TREES FOR STREET TREES, WHILE UNORTHODOX, WILL REINFORCE THE SENSE OF PLACE, BUFFER PEDESTRIANS FROM VEHICULAR AREAS AND PROVIDE A COMFORTABLE PEDESTRIAN SCALE TO THE STREETS.
- PLANTING AND IRRIGATION INSTALLATION DETAILS MET CITY OF ALBUQUERQUE REQUIREMENTS AND THE USOP REQUIREMENTS. EACH TREE SHALL HAVE A MINIMUM OF 30 SQUARE FEET OF PLANTING SPACE.
- THE EXISTING IRRIGATION SYSTEM SHALL BE RUN WITH A FULLY AUTOMATED IRRIGATION CONTROLLER. THE RUN TIME FOR THE VARIOUS ZONES SHALL BE APPROXIMATELY 45 MINUTES FOR THE DRIP ZONES. RUN TIME WILL BE ADJUSTED ACCORDING TO SEASON, LOCATION, AND PLANT PERFORMANCE. DRIP EMITTERS SHALL BE USED FOR ALL PLANT MATERIAL.
- MULCH: ALL PLANTING BEDS SHALL BE COVERED WITH MULCH. GRAVEL, BARK AND PECAN SHELL MULCHES WILL BE USED APPROPRIATELY TO ADD VISUAL INTEREST AND PROTECT SOIL MOISTURE. CONTRACTOR TO VERIFY EXISTING MULCH MEETS THE DESIGN REQUIREMENTS. ADDITIONAL MULCH TO BE ADDED WHEN REQUIRED.
- THERE IS NO HIGH WATER USE TURF USED ON THIS PROJECT.
- THE LANDSCAPE DESIGN SHALL COMPLY WITH THE INTENT OF THE CITY OF ALBUQUERQUE WATER CONSERVATION, LANDSCAPING AND WATER WASTE ORDINANCE.
- SOIL PREPARATION AND AERATION WITHIN ROW IS REQUIRED TO DE-COMPACT LANDSCAPE ZONE PRIOR TO PLANTING.
- PASSIVE WATER HARVESTING, SUCH AS HARVESTING OF STORM WATER SURFACE RUNOFF AND ROOF RUNOFF, SHALL BE UTILIZED WHERE FEASIBLE AND CAPTURED IN SWALES.
- THE EXISTING LANDSCAPE DESIGN REQUIRED A PERMANENT, FULLY AUTOMATIC IRRIGATION SYSTEM TO SUPPORT THE PLANT MATERIAL.
- THE EXISTING IRRIGATION SYSTEM WAS INSTALLED TO BE CONNECTED TO CITY WATER. THE POINT OF CONNECTION CONSISTED OF A WATER METER, BACKFLOW PREVENTER AND MASTERVALVE.
- THE EXISTING IRRIGATION SYSTEM WAS DESIGNED TO RUN WITH FULLY AUTOMATED IRRIGATION CONTROLLER. RUN TIME WILL BE ADJUSTED ACCORDING TO PLANT MATURITY, SEASON, LOCATION AND PLANT PERFORMANCE.
- REMOVE SPRAY IRRIGATION FOR PLANTS BEING REMOVED.
- CONTRACTOR TO RECONFIGURE AND SEPARATE IRRIGATION SYSTEM FROM EXISTING TARGET PROPERTY.
- LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS.

LANDSCAPE CALCULATIONS

	ENTIRE SITE 7.3572 AC	PROPOSED SITE 0.6398 AC
SITE AREA (AFTER R.O.W. DEDICATION)		
OPEN SPACE REQUIREMENT (10% OF THE SITE)	32,048 SF	2,787 SF
LANDSCAPE REQUIREMENT (40% OF OPEN SPACE)	16,414 SF	1,172 SF
NET LOT AREA WAS NOT USED IN THESE CALCULATIONS	40,131 SF	4,182 SF

TOTAL SHADE TREES (1/2 OF TREES): 70
TOTAL SIGNATURE TREES (1/5 OF TREES): 38

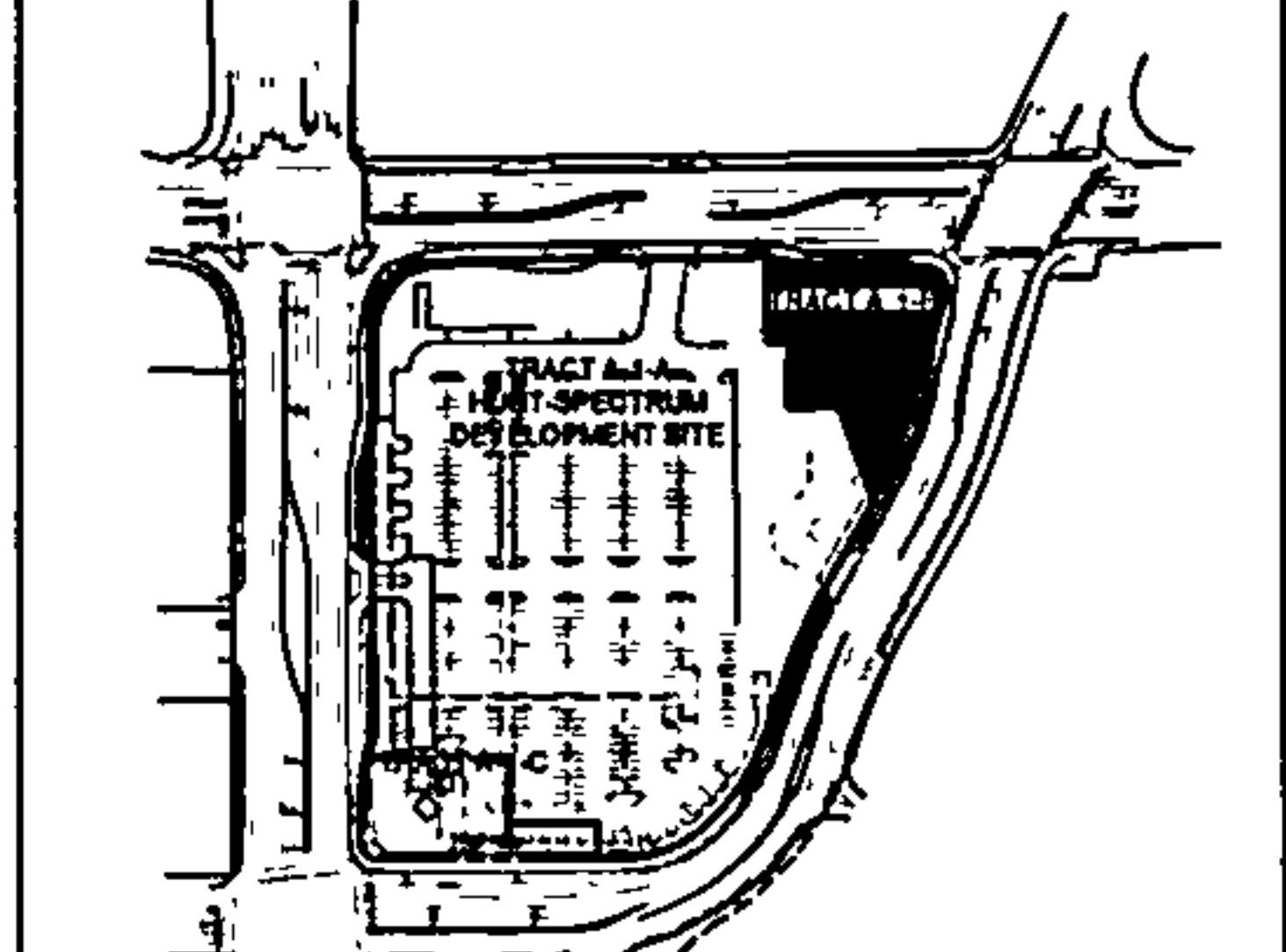
OPEN SPACE CALCULATIONS DO NOT INCLUDE REQUIRED LANDSCAPE STRIPS ALONG THE STREET OR WALKWAYS EXCEPT ANY PORTION OF A WALKWAY THAT IS WIDER THAN 10 FEET

A MINIMUM OF 75% OF LANDSCAPE AREAS AND 80%-75% OF PLANTING STRIPS ARE COVERED WITH LIVE VEGETATIVE MATERIALS.

A MINIMUM OF 10% OF LANDSCAPE AREAS HAVE FLOWERING PLANTS OR SHRUBS.

ROCK MULCH HAS BEEN LIMITED TO LESS THAN 5% OF ANY OPEN SPACE AREA AND USED ONLY WHERE NECESSARY AROUND DRAINAGE INLETS ALL OTHER MULCH AREAS UTILIZE ORGANIC PECAN SHELL MULCH

KEYPLAN



**DEKKER
PERICH
SABATINI**

7601 JEFFERSON BL. SUITE 100
ALBUQUERQUE, NM 87119
505.761.9700 / WPS@DSR1.DRG

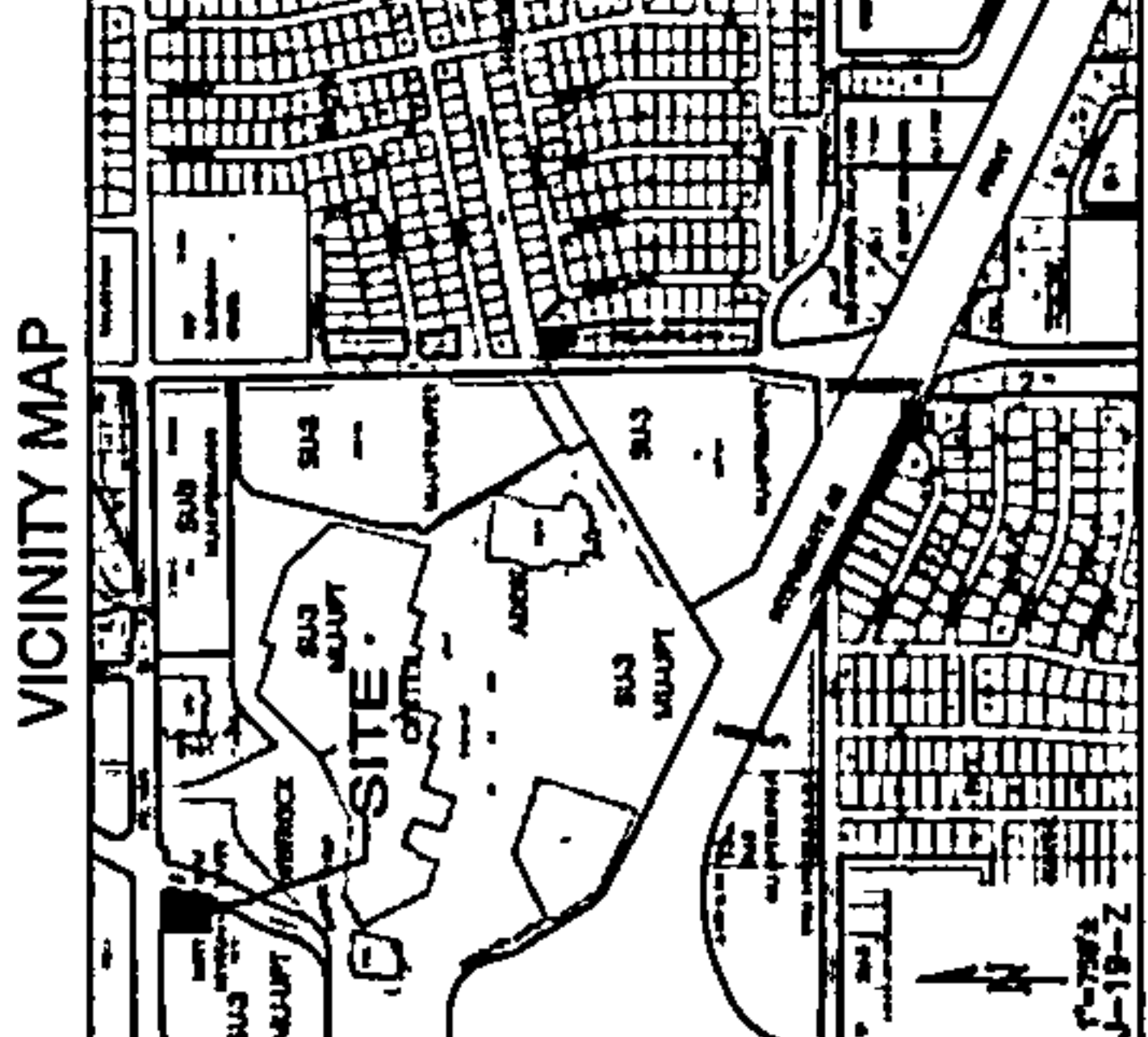
PROJECT
UPTOWN SHOPS
ALBUQUERQUE, NM

UPTOWN SHOPS
ALBUQUERQUE, NM

URT REVIEW

REVISIONS	▲	▲	▲	▲	▲	▲
DRAWN BY						
REVIEWED BY						
DATE	11/13/2019					
PROJECT NO.	15-0102					

DRAWING VALUE
CONCEPTUAL
GRADING &
DRAINAGE PLAN



PROJECT DATA

PROJECT: THE SITE IS AN UNDEVELOPED COMMERCIAL PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP J-18, THE SITE IS BOUND BY UPTOWN LOOP TO THE SOUTH AND WEST BY DEVELOPED COMMERCIAL PROPERTIES.

SEE AREA: 6.98 ACRES

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE A 6000 SF COMMERCIAL BUILDING WITH ASSOCIATED ASPHALT PAVED ACCESS AND PARKING, PEDESTRIAN WALKS, DRAINAGE IMPROVEMENTS, AND LANDSCAPING.

LEGAL: TRACT A-1-B HUNT - SPECTRUM DEVELOPMENT SITE

BENCHMARK: VERTICAL DATUM IS BASED UPON THE ALBUQUERQUE CONTROL SURVEY BENCHMARK 20+116', ELEVATION = 5262.22 (NAVD 1988)

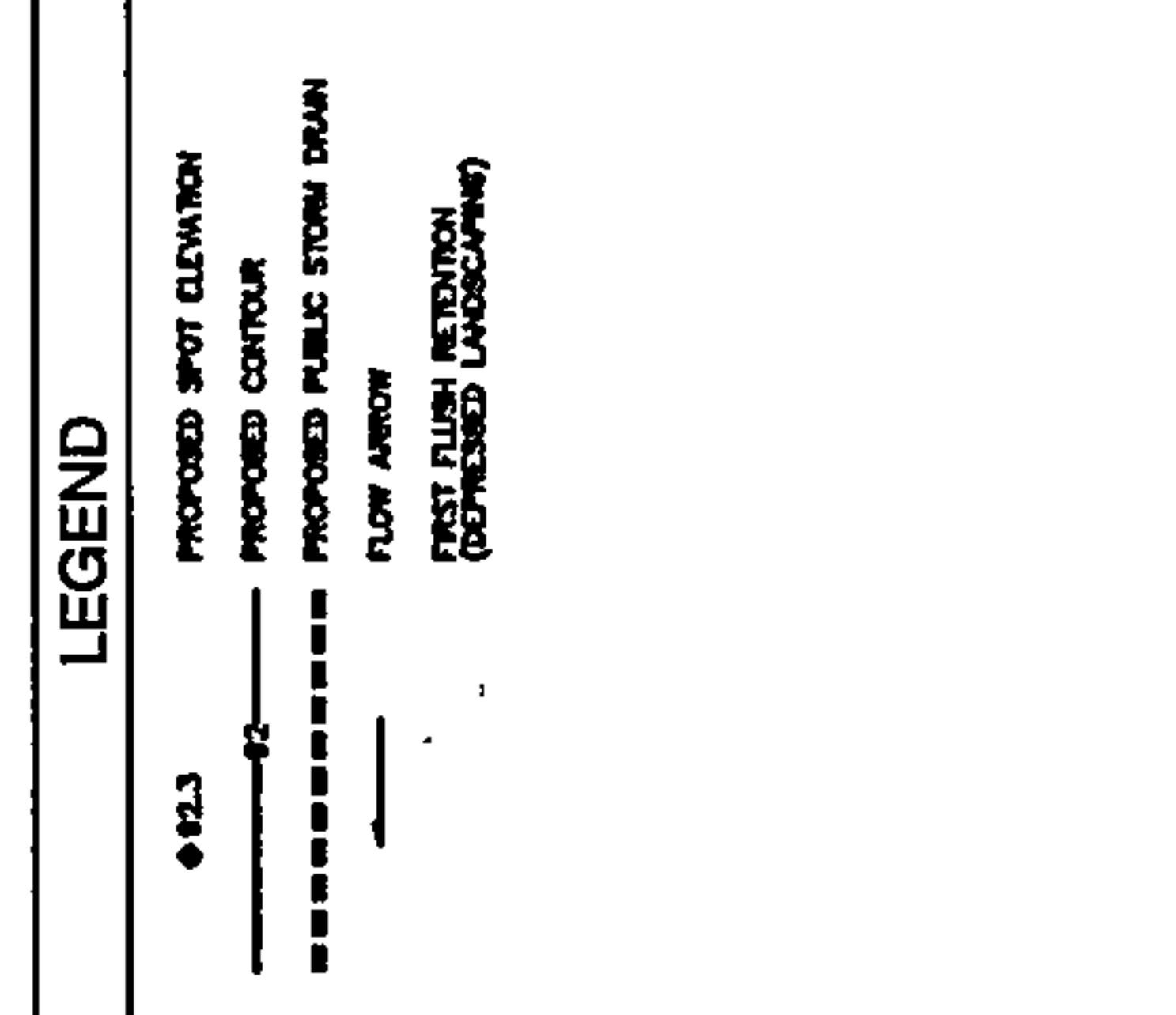
OFF-SITE: NO OFF-SITE DRAINAGE AFFECTS THIS PROPERTY.

EXCESS FLOWS: THE SUBJECT PROPERTY (AS SHOWN HEREON) APPEARS TO BE WITHIN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE US2 ANNUAL CHANCE FLOODPLAIN) IN ACCORDANCE WITH THE 2018 FLOOD HAZARD IDENTIFICATION MAP. MAP NO. 201800024 N, EFFECTIVE DATE: 8-16-2012.

DRAINAGE PLAN CONCEPT: AN EXISTING PRIVATE STORM DRAIN SYSTEM WILL BE MOVED (INLET LOCATIONS) TO CONTINUE TO EXISTING PUBLIC STORM DRAINAGE SYSTEM. PROPOSED STORM DRAINAGE SYSTEM WILL BE LOCATED ON THE ADVANCED DRAINAGE STUDY FREE DISCHARGE IS APPROPRIATE FOR THE SITE AS DOWNSTREAM CAPACITY IS AVAILABLE. PRIOR TO EXTERIOR STORM DRAIN SYSTEM, IMPROVED AREAS WILL BE ROUTED THROUGH FIRST FLOOD RETENTION PONDS.

ENGINEER: FRED C. ARFMAN, P.E., NMP# 7322
ISAACSON & ARFMAN, P.A.
128 MONROE NE, #7111
ALBUQUERQUE, NM 87111
TELEPHONE: (505) 288-8028

SUBJECT: PURS. P. HUNT, NMP# 8750
SURVY-TEX CONSULTING SURVEYORS
5304 VALLEY VIEW DRIVE, #7114
ALBUQUERQUE, NM 87114
TELEPHONE: (505) 887-3388



ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
PH: 505-288-8028 www.isaacson.com

FIRST FLUSH RETENTION

STORMWATER CONTROL MEASURES ARE REQUIRED TO PROVIDE MANAGEMENT OF FIRST FLUSH (DEFINED AS THE FIRST APPROXIMATELY 0.5 INCHES OF STORMWATER WHICH DISCHARGES DIRECTLY TO A PUBLIC STORM DRAINAGE SYSTEM).

THE ESTIMATED PONDING VOLUME REQUIRED IS 0.54' TYPE "D" AREA: 0.34/13' (0.88 AC * 0.80) * 4.3568 = 713 CF

THERE WILL BE FIRST FLUSH RETENTION BASIN AREAS THROUGHOUT THE SITE (HATCHED AREAS). STORM WATER FROM THE IMPROVED AREAS SHALL BE DIRECTED TO THESE BASINS VIA CURB OPENINGS (SEE DETAIL THIS SHEET).

THE FIRST FLUSH BASIN VOLUMES SHALL BE ANALYZED AND LOCATED TO BE LOCATED AND SIZED WITH FINAL DESIGN. CURB OPENING LOCATIONS AND SIZES SHALL BE DETERMINED AND SHALL BE LOCATED AND SIZED WITH FINAL DESIGN.

CALCULATIONS

CALECULATION# 3135 - Upson Commercial 1 November 12, 2013 by JRM
Based on Drainage Design Criteria for City of Albuquerque
Section 222, DPM, Vol 2, dated Jan. 1993

ON-SITE CALCULATIONS: 100-YEAR 6-HOUR STORM
AREA OF SITE: 28664684 SF = 6.98 AC

HISTORIC FLOWS:

Treatment SI %	Area A	Area B	Area C	Area D	Area E
0%	0	0	0	0	0
6%	1483	2965	2965	2965	2965
100%	2866	2866	2866	2866	2866
100%	2866	2866	2866	2866	2866

DEVELOPED FLOWS:

Treatment SI %	Area A	Area B	Area C	Area D	Area E
6%	1483	2965	2965	2965	2965
100%	2866	2866	2866	2866	2866
100%	2866	2866	2866	2866	2866

EXCESS PRECIP:
Precip. Zone 3
Ea = 0.66
Ea = 0.62
Ea = 1.29
Ea = 2.36

On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)
Weighted E = EaA + EaB + EaC + EaD + EaE
= 1.29 in. (Developed E) = 218 in.
On-Site Volume of Rainfall V₅₀ = E₅₀ A₅₀ = 3119 CF (Developed Vol) = 3792 CF

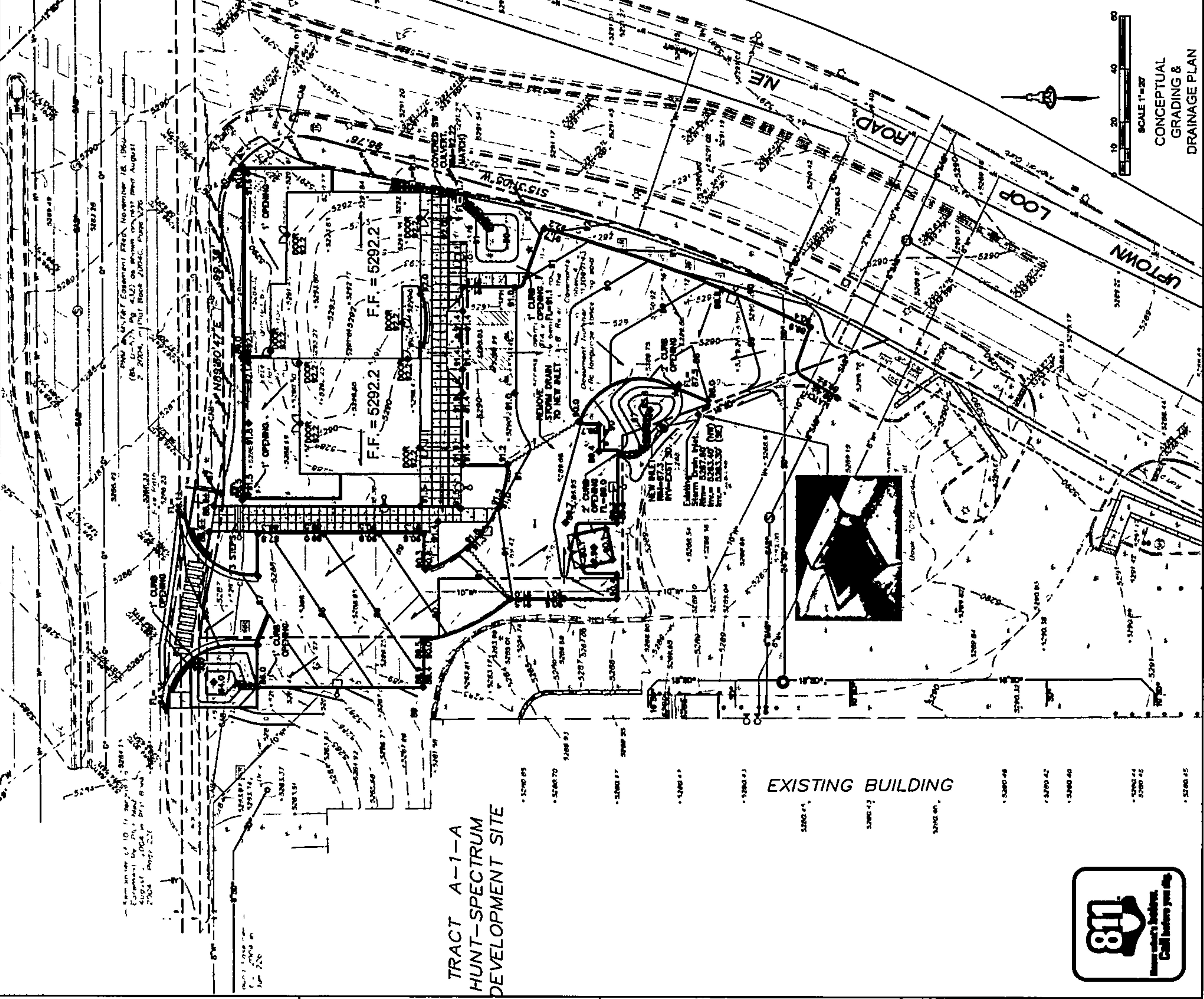
On-Site Peak Discharge Rate: Q_p = Q₅₀ A₅₀ / QuarterQuarter / 4.56
For Precipitation Zone 3
Q₅₀ = 1.87 Q_p = 3.45
Q₁₀₀ = 2.60 Q_p = 5.02

Historic Q_p = 2.3 CFS (Developed Q_p) = 3.2 CFS

S.O.19 : NOTICE TO CONTRACTORS

- AN EXCAVATION / CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR APPROVED BY THE CITY, SHALL BE IN ACCORDANCE WITH THE CITY STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. THIS NOTICE IS REVISED THROUGH UPDATE 08.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE CITY ONE CALL SYSTEM (CALL 7617 FOR LOCATION OF EXISTING UTILITIES).
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF THESE UTILITIES. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED WITH A MINIMUM AMOUNT OF DELAY.
- SURFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC / STREET SPECIFICATIONS.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY INVOLVED.
- WORK ON ADJACENT STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL: _____ DATE: _____
INSPECTOR: _____



**DEKKER
PERICH
SABATINI**

7601 JEFFERSON NE, SUITE 100
ALBUQUERQUE, NM 87109
505.761.9700 / DPSDESIGN.ORG

UPTOWN SHOPS
ALBUQUERQUE, NM

URT REVIEW

REVISIONS

- △
- △
- △
- △
- △
- △

DRAWN BY
REVIEWED BY FCA
DATE 11/13/2015
PROJECT NO 15-0102

DRAWING NAME

UTILITY PLAN

SHEET NO

06 of 11

GENERAL NOTES

1. EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
2. CONTRACTOR SHALL NOT USE VIBRATORY COMPACTION EQUIPMENT OR HEAVY VEHICLES OVER EXISTING UTILITIES.
3. SITE STORM DRAIN, ELECTRIC LINES & TRANSFORMERS AND GAS LINES ARE SHOWN FOR GENERAL INFORMATION ONLY TO PROVIDE AN OVERVIEW OF SITE UTILITIES AND POTENTIAL CONFLICTS. SEE MECHANICAL PLANS FOR GAS LINE SIZING. SEE CD-101 FOR STORM DRAIN DESIGN.
4. ALL WATER FITTINGS SHALL HAVE JOINT RESTRAINTS (LT). SEE RESTRAINED JOINT CRITERIA THIS SHEET. (LT) LENGTH SHOWN ON KEYED NOTES.

KEYED NOTES

WATER KEYED NOTES

1. 1 1/2" METER PER COA STD DWG 2363.
2. 1 1/2" WATER SERVICE LINE.
3. 6" FIRE LINE.
4. 6"x4" REDUCER. (LT=20')
5. 6"-45° & 22 1/2° BENDS. (LT=13')
6. 4" FIRE LINE (FDC)
7. 4"-45° BEND. (LT=6')
8. FIRE DEPT. CONNECTION (FDC). (LT=46')
9. POST INDICATOR VALVE (PIV) (LT=46')
10. 3/4" CONDUIT W/ PULL CORD FOR PIV SENSOR WIRE FROM BUILDING TO PIV PLACED IN SAME TRENCH ABOVE 6" WATERLINE.

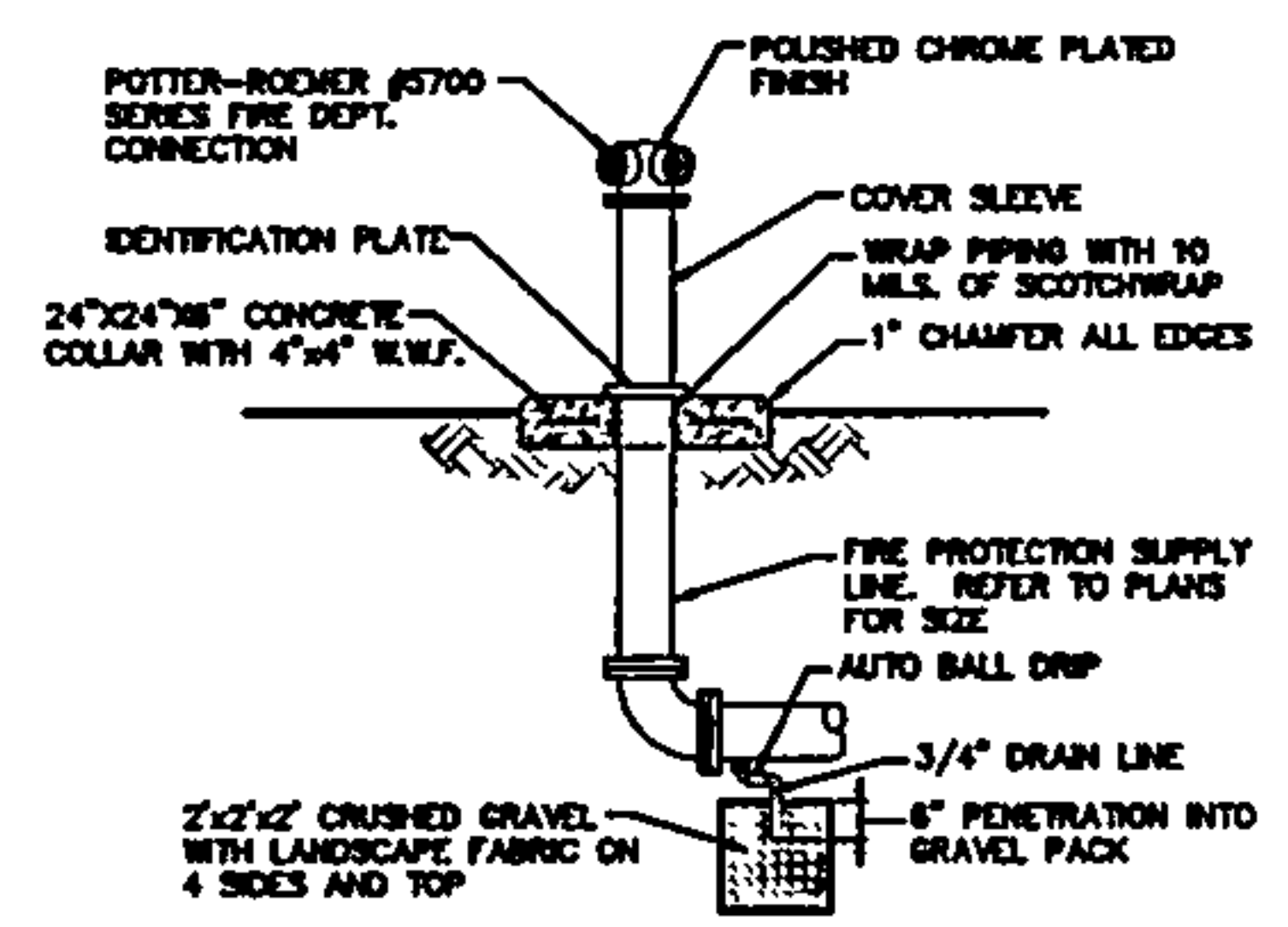
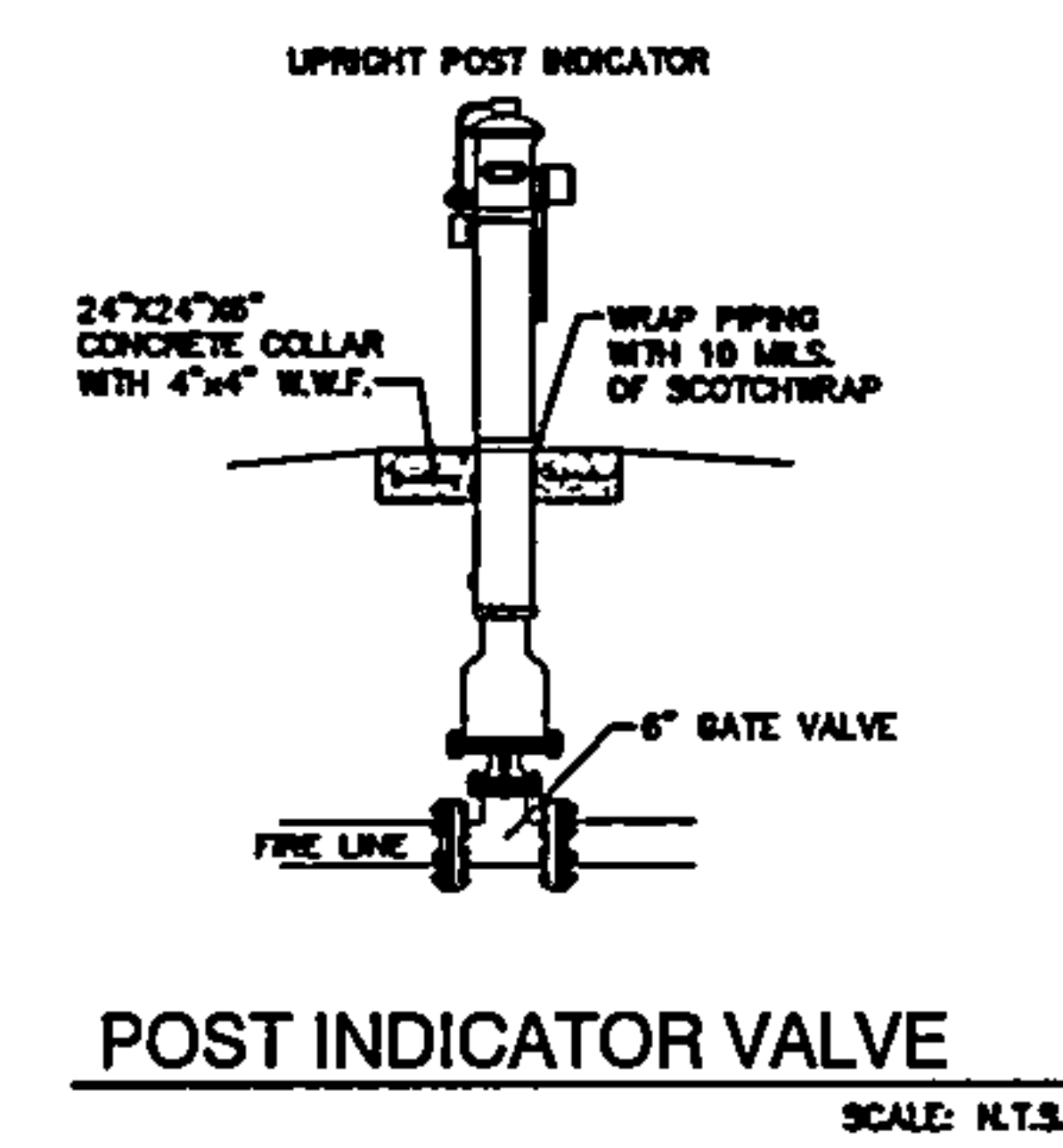
SEWER

20. 6" SANITARY SEWER SERVICE LINE AT 2% MIN. SLOPE.
21. 6" GREASE LINE AT 2% MIN. SLOPE.
22. 3" GREASE LINE AT 2% MIN. SLOPE.
23. 6"x3" WYE.
24. 6" WYE.
25. 6" - 45° BEND.
26. 6" x 6" WYE.
27. SINGLE CLEANOUT.
28. 1500 GAL. GREASE INTERCEPTOR.
29. 3" HEAVY DUTY CAST IRON FLOOR DRAIN W/ P-TRAP.

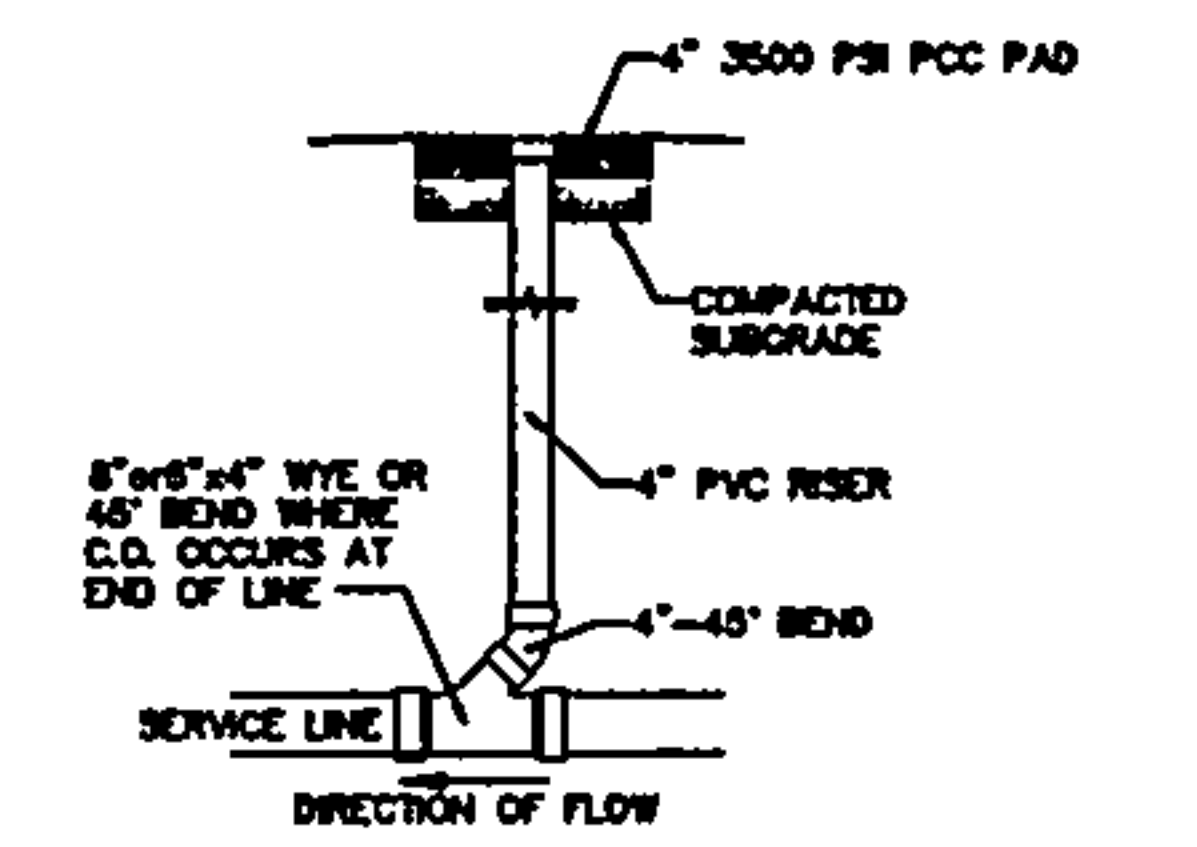
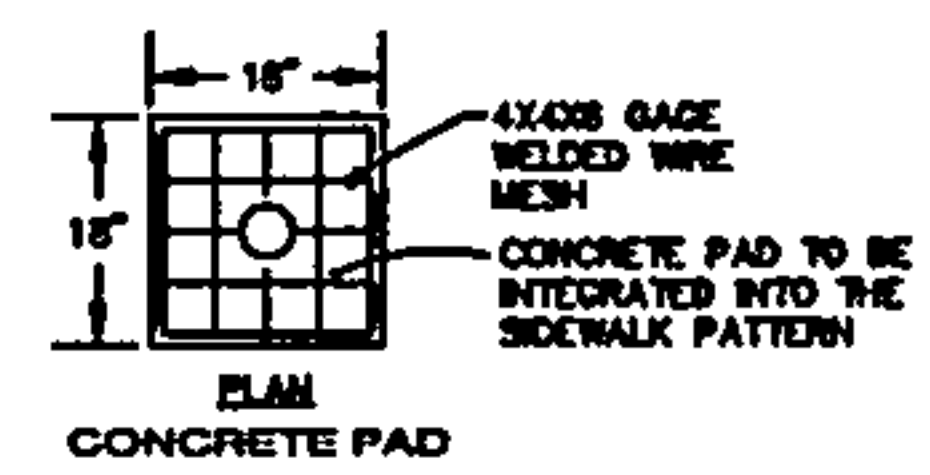
LEGEND

- SAS SINGLE CLEANOUT
- ⊕ GATE VALVE W/ BOX
- ⊙ POST INDICATOR VALVE
- ⊙ FIRE DEPARTMENT CONNECTION
- PROPOSED STORM DRAIN
- W- EXISTING WATERLINE
- SAS- EXISTING SEWER LINE

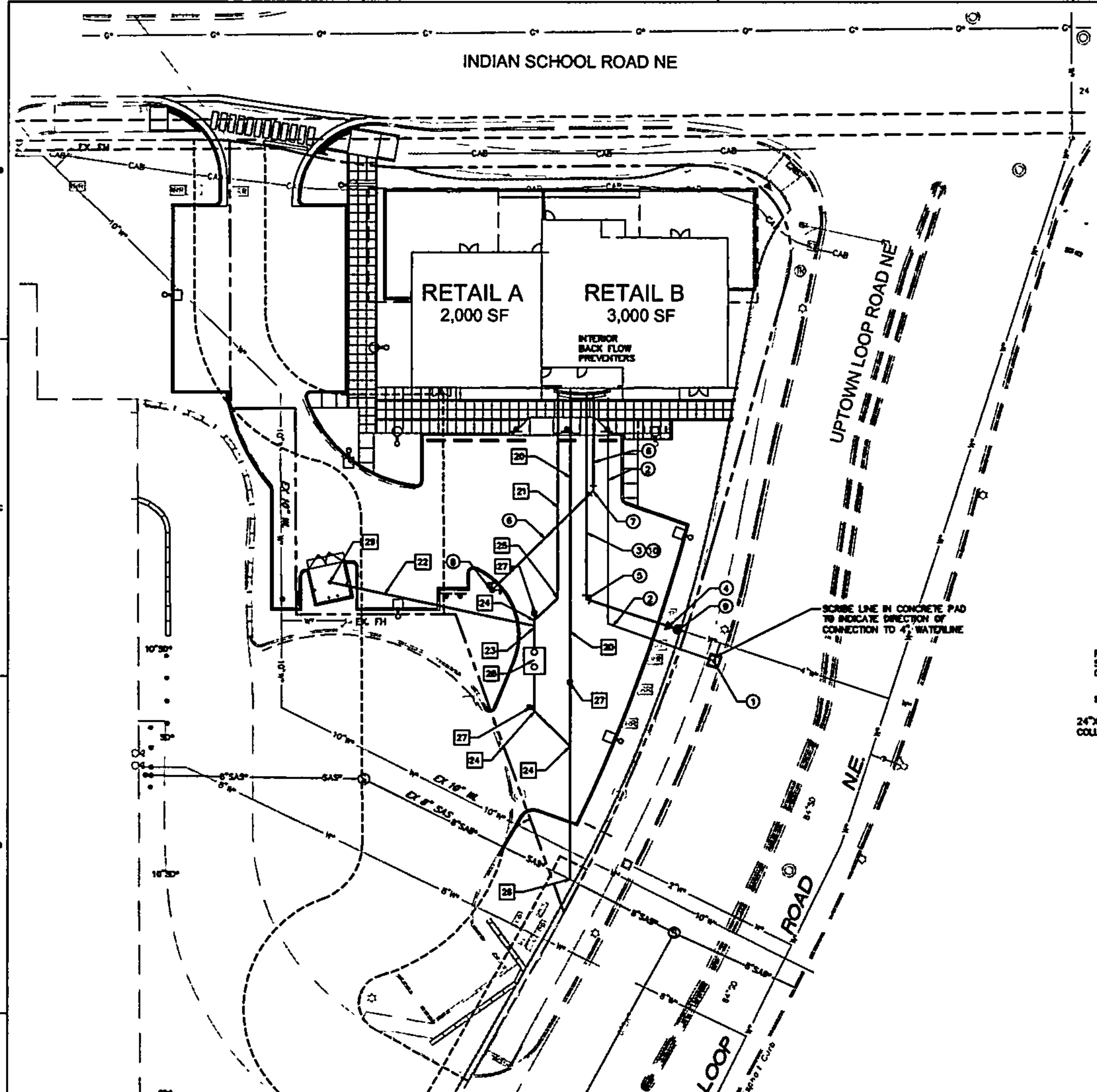
ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87106
Ph. 505-268-8828 www.isaif.com
2130 00-000.dwg Jun 28, 2016



FIRE DEPARTMENT CONNECTION
FREE-STANDING SCALE: N.T.S.



SINGLE CLEANOUT DETAIL
SCALE: N.T.S.

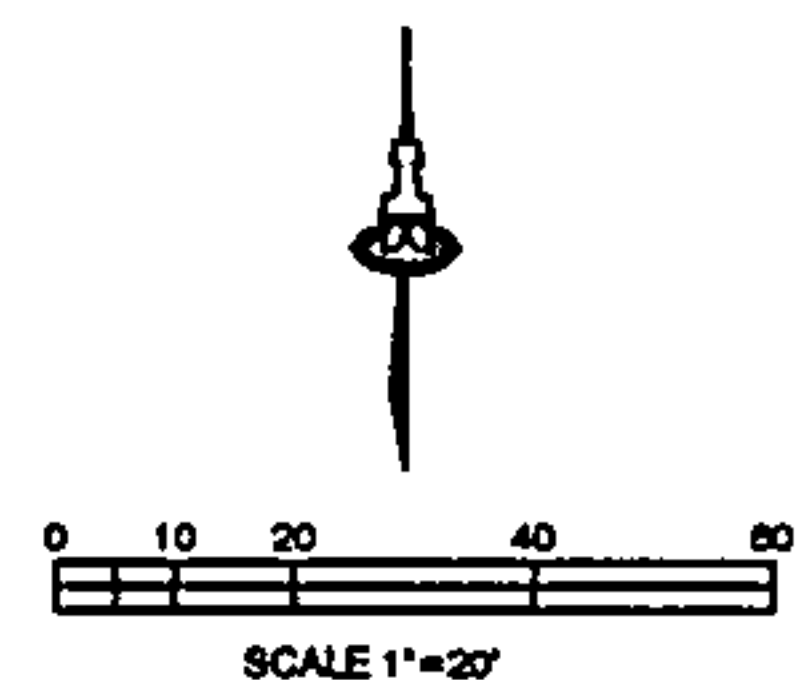


RESTRAINED JOINT CRITERIA FOR WATERLINE FITTINGS

1. ALL MECHANICAL JOINTS SHALL BE RESTRAINED AT THE FITTING.
2. THE CONTRACTOR SHALL PROVIDE A MINIMUM PIPE LENGTH OF 20 LF FROM ALL MECHANICAL JOINTS. ALL PIPE JOINTS WITHIN 20 LF OF A MECHANICAL JOINT SHALL BE RESTRAINED AT THE CONTRACTOR'S EXPENSE.
3. THE CONTRACTOR SHALL RESTRAIN ALL PIPE JOINTS IN THE SPECIFIED DISTANCE LISTED IN THE KEYED NOTES.
4. THE CONTRACTOR SHALL RESTRAIN ALL FIRE HYDRANT JOINTS FROM THE TEE ON THE MAIN TO THE FIRE HYDRANT FLANGE.

DEPTH OF BURY: 3.0 FT. MINIMUM
1.50 FACTOR OF SAFETY:
MATERIAL: PVC
SOIL TYPE: GM/SM - SILTY GRAVELS AND SILTY SANDS, GRAVEL-SAND-SILT MIXTURES.
TEST PRESSURE: 150 PSI
TRENCH TYPE 4: PIPE BEDDED IN SAND, GRAVEL, OR CRUSHED STONE TO DEPTH OF 1/3 PIPE DIAMETER, 4 INCH MINIMUM BACKFILL COMPACTED TO TOP OF PIPE.

DIFFERENT CRITERIA, I.E., GREATER DEPTH OF BURY, ETC., WILL REQUIRE DIFFERENT RESTRAINED LENGTHS. THESE MUST BE CALCULATED BY A QUALIFIED PROFESSIONAL ENGINEER AND APPROVED BY ABCWA.



UTILITY PLAN

GENERAL SHEET NOTES

A. PROVIDE BLOCKING AS REQUIRED FOR SIGNAGE.

REFERENCE KEYNOTES

SHEET KEYNOTES

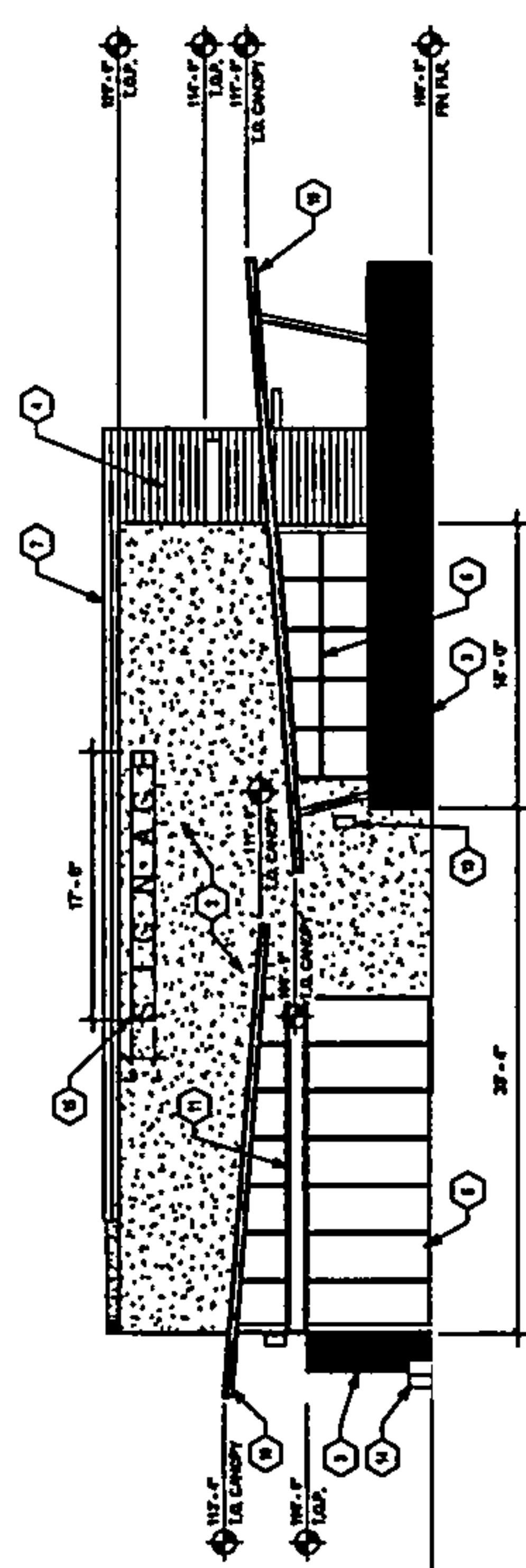
1. SEE SYSTEM COLOR IN
2. CULTURED STONE VENEER TO MATCH PANEL
3. ALL SURFACES TO BE CLEAN AND PROTECTED
4. FULLY LIVE STAINPROOF COAT, CLEAR ANODIZED
5. ALL METAL SURFACES TO BE ANODIZED
6. BRASS LACQUER TO MATCH ANCHORAGE FINISH
7. BRASS LACQUER TO MATCH ANCHORAGE FINISH
8. POLISHED METAL ANCHORS TO MATCH ANCHORAGE FINISH
9. POLISHED METAL ANCHORS TO MATCH ANCHORAGE FINISH
10. POLISHED METAL ANCHORS TO MATCH ANCHORAGE FINISH
11. POLISHED METAL ANCHORS TO MATCH ANCHORAGE FINISH
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13. POLISHED METAL ANCHORS TO MATCH ANCHORAGE FINISH
14. POLISHED METAL ANCHORS TO MATCH ANCHORAGE FINISH
15. POLISHED METAL ANCHORS TO MATCH ANCHORAGE FINISH
16. POLISHED METAL ANCHORS TO MATCH ANCHORAGE FINISH
17. POLISHED METAL ANCHORS TO MATCH ANCHORAGE FINISH
18. POLISHED METAL ANCHORS TO MATCH ANCHORAGE FINISH
19. POLISHED METAL ANCHORS TO MATCH ANCHORAGE FINISH
20. POLISHED METAL ANCHORS TO MATCH ANCHORAGE FINISH

SIGNAGE LEGEND

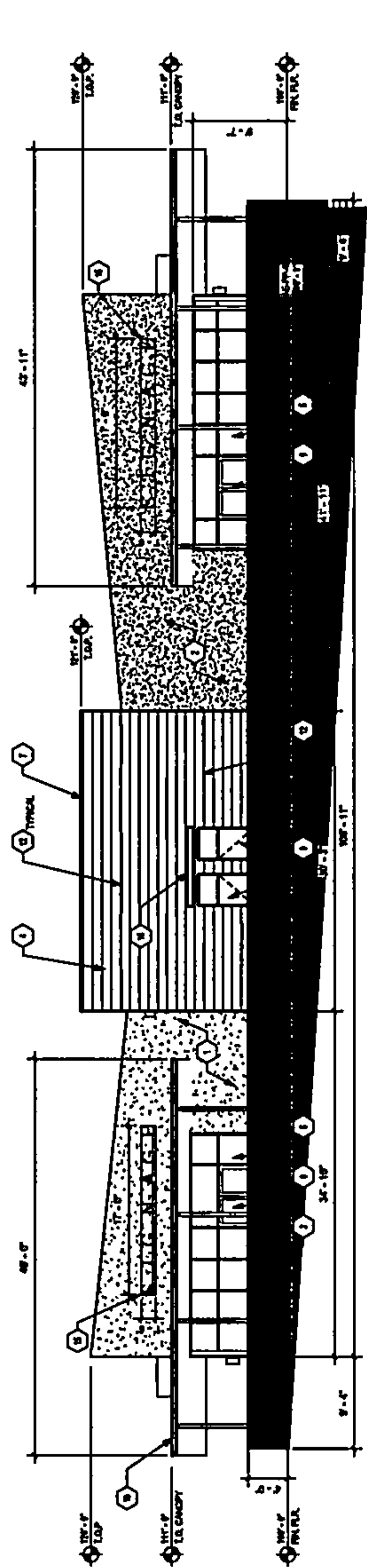
FINISH	DESCRIPTION	FINISH AREA
1	BRASS LACQUER	111 SF
2	BRASS LACQUER	111 SF
3	BRASS LACQUER	111 SF
4	BRASS LACQUER	111 SF
5	BRASS LACQUER	111 SF
6	BRASS LACQUER	111 SF
7	BRASS LACQUER	111 SF
8	BRASS LACQUER	111 SF
9	BRASS LACQUER	111 SF
10	BRASS LACQUER	111 SF
11	BRASS LACQUER	111 SF
12	BRASS LACQUER	111 SF
13	BRASS LACQUER	111 SF
14	BRASS LACQUER	111 SF
15	BRASS LACQUER	111 SF
16	BRASS LACQUER	111 SF
17	BRASS LACQUER	111 SF
18	BRASS LACQUER	111 SF
19	BRASS LACQUER	111 SF
20	BRASS LACQUER	111 SF

MATERIAL LEGEND

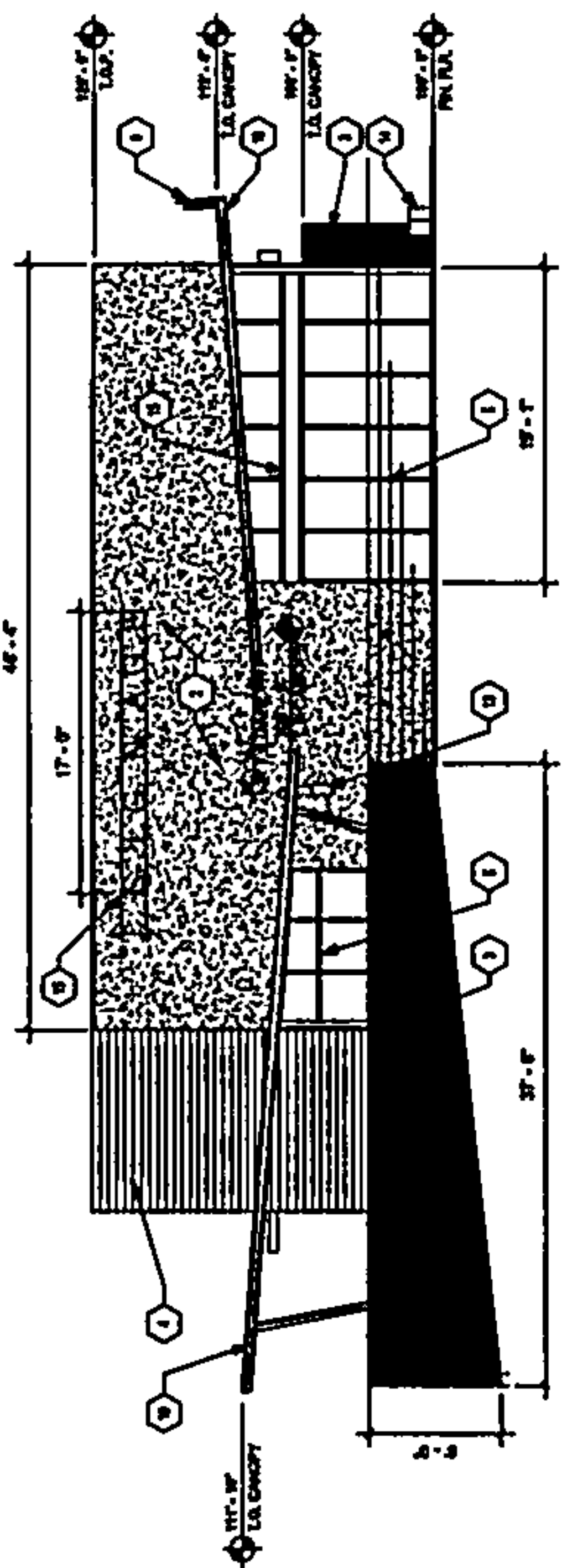
- 1. BRASS LACQUER TO MATCH ANCHORAGE FINISH
- 2. BRASS LACQUER TO MATCH ANCHORAGE FINISH
- 3. BRASS LACQUER TO MATCH ANCHORAGE FINISH
- 4. BRASS LACQUER TO MATCH ANCHORAGE FINISH
- 5. BRASS LACQUER TO MATCH ANCHORAGE FINISH
- 6. BRASS LACQUER TO MATCH ANCHORAGE FINISH
- 7. BRASS LACQUER TO MATCH ANCHORAGE FINISH
- 8. BRASS LACQUER TO MATCH ANCHORAGE FINISH
- 9. BRASS LACQUER TO MATCH ANCHORAGE FINISH
- 10. BRASS LACQUER TO MATCH ANCHORAGE FINISH
- 11. BRASS LACQUER TO MATCH ANCHORAGE FINISH
- 12. BRASS LACQUER TO MATCH ANCHORAGE FINISH
- 13. BRASS LACQUER TO MATCH ANCHORAGE FINISH
- 14. BRASS LACQUER TO MATCH ANCHORAGE FINISH
- 15. BRASS LACQUER TO MATCH ANCHORAGE FINISH
- 16. BRASS LACQUER TO MATCH ANCHORAGE FINISH
- 17. BRASS LACQUER TO MATCH ANCHORAGE FINISH
- 18. BRASS LACQUER TO MATCH ANCHORAGE FINISH
- 19. BRASS LACQUER TO MATCH ANCHORAGE FINISH
- 20. BRASS LACQUER TO MATCH ANCHORAGE FINISH



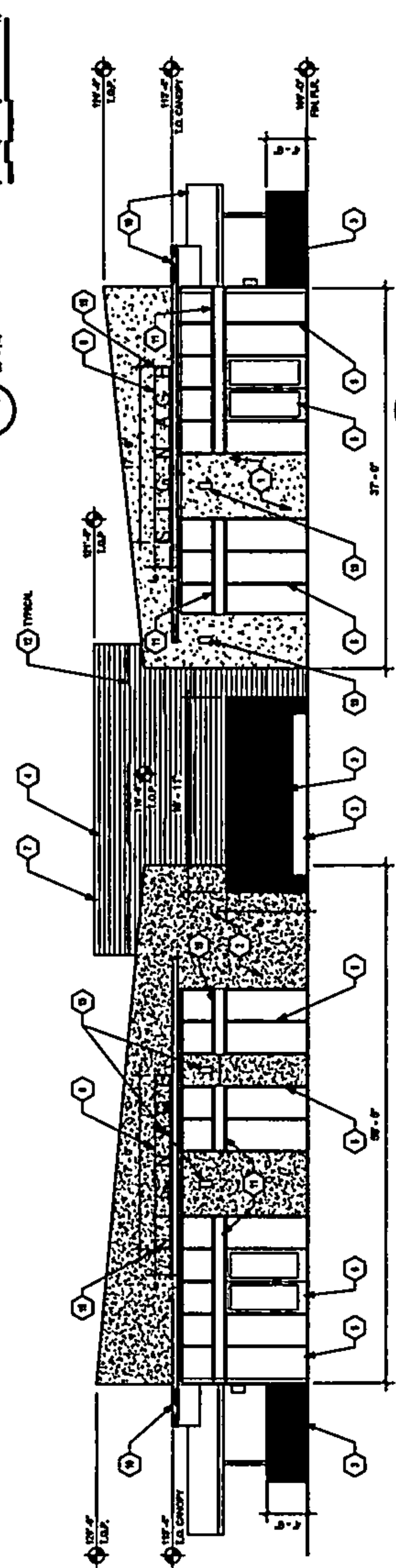
D5 EAST ELEVATION
18'-11 1/2"



C5 NORTH ELEVATION
18'-11 1/2"



B5 WEST ELEVATION
18'-11 1/2"

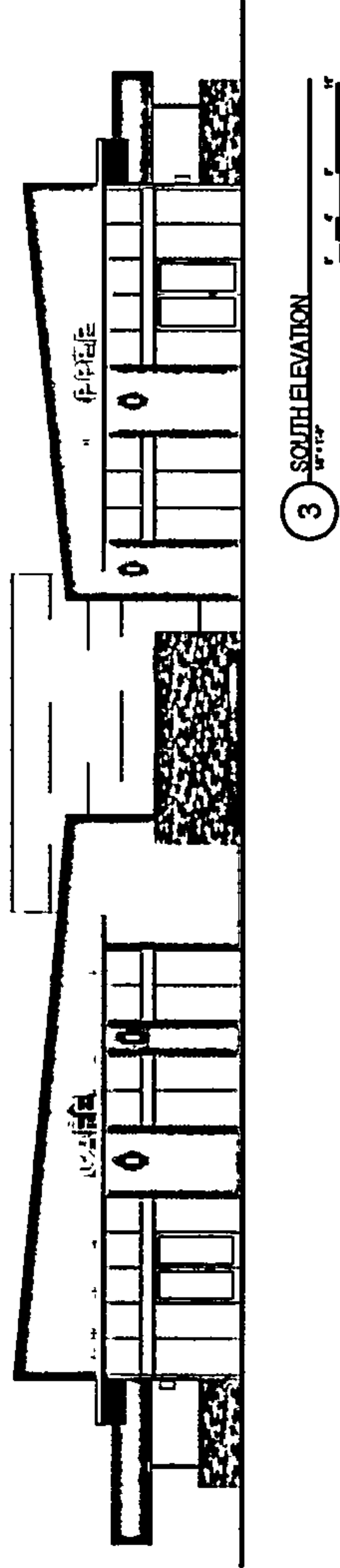
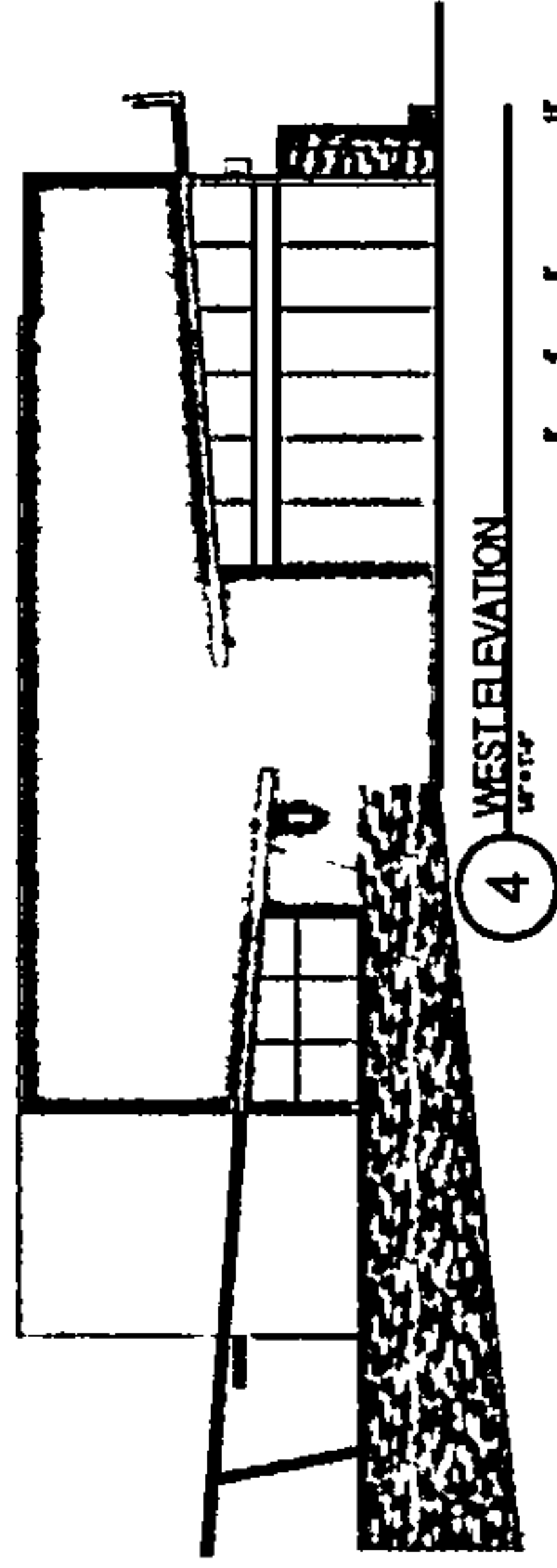
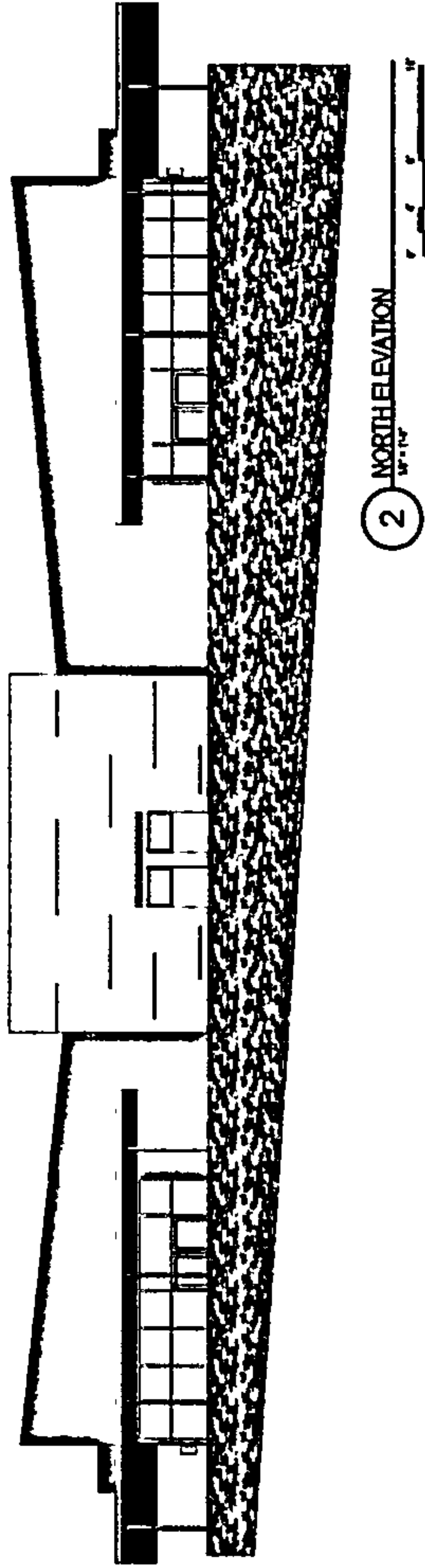
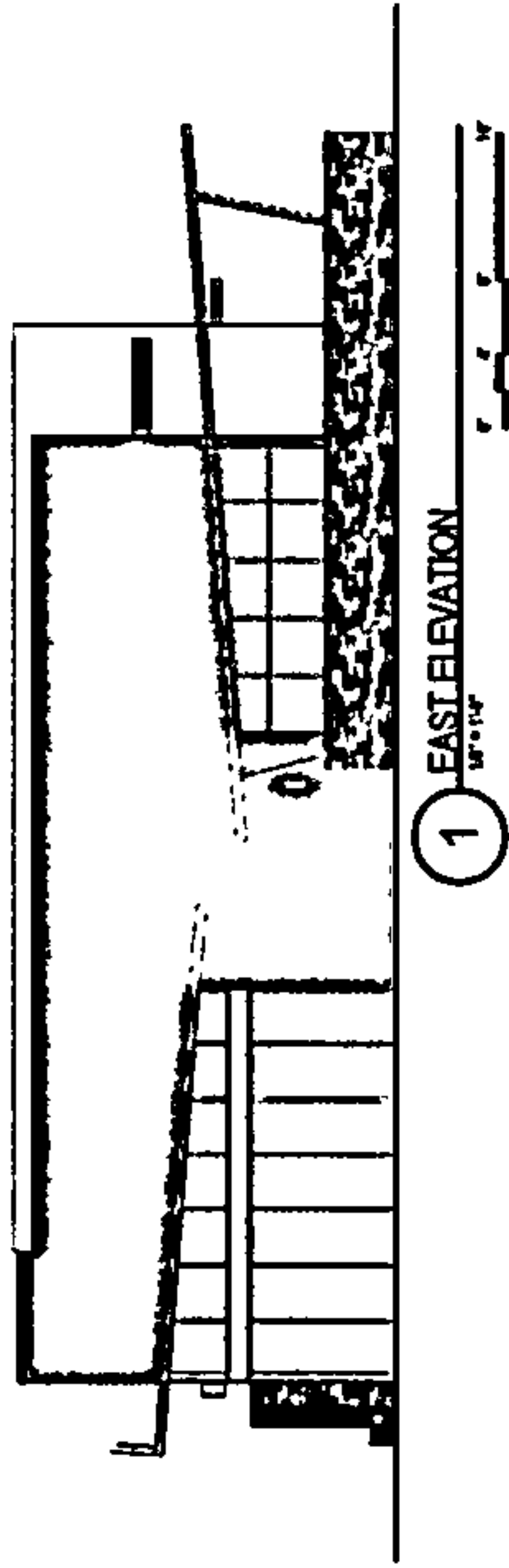


A5 SOUTH ELEVATION
18'-11 1/2"

- ▽
- ▽
- ▽
- ▽
- ▽
- ▽
- ▽

DRAWN BY	JP
REVIEWED BY	ML
DATE	2/19/19
PROJECT NO.	16-0102

DRAWING NAME
EXTERIOR
ELEVATIONS
(COLOR)





January 25, 2016

Mr. Jack Cloud
Chairman, Development Review Board
City of Albuquerque Planning Department
600 2nd St. NW
Albuquerque, NM 87103

Re: Reason for Request - Shops at Uptown
Request for review and approval of Site Development Plan for Building Permit
Legal Description: Tract A-1-B, Plat of Tracts A-1-A, A-1-B, & A-1-C of Hunt – Spectrum
Development Site
City Planning Project # 1007316

Dear Mr. Cloud:

We are acting as agent for SED Development, LLC, owners of the subject property, for the actions referenced above. Per the requirements of the Uptown Sector Development Plan, we have previously submitted to the Uptown Review Team (URT) and worked with them to address their comments. You have already received a memo from Vicente Quevedo, case planner, documenting the completion of the URT's review.

The project is a retail shops building on a single lot. The design has been carefully vetted against the requirements of the Uptown Sector Development Plan. The narrative below describes how the project meets the intent and specifics of these requirements:

Uptown Sector Development Plan: Chapter V. Zoning and Design Regulations

Buildings:

Building exterior finish materials are all durable and of high quality, and have been selected to match or coordinate with the existing ABQ Uptown development to the north. A variety of materials are used including: stone, stucco, aluminum storefront, and metal panels - both smooth and horizontal ribbed. None of the 'prohibited' building materials are used.

Articulation elements include: awnings, canopies, entrances extending outward from the façade, glazing or windows, multiple finishes (see above), planters for landscape and seating, trellises, and wall accenting in the form of color variation patterns. Facades are articulated with both vertical and horizontal elements in the form of awnings and overhangs, joint patterns, color changes, louvers, and fenestration.

Screening:

Trash receptacles, mechanical equipment, and utility structures are all screened using a variety of methods. Roof-top mechanical equipment is screened with parapet wall extensions.

Fencing and Walls:

As stated above, screen walls are typically finished with materials and colors that either match or are compatible with the adjacent building. Parking spaces which are adjacent to the public right of way are screened with low walls of either cast in place concrete or stone veneer. None of the 'prohibited' materials are used.

Open Space:

Open space is provided in the form of entry plazas, corner plazas, and outdoor dining areas. Calculations are provided in the submittal drawings indicating both the required and provided open space, landscaping and shading. All open spaces are connected with walkways.

Pedestrian Plazas and Playgrounds:

The plazas proposed have been designed to meet the requirements in the Sector Plan. As mentioned above, plazas are connected with walkways, and are easily accessible. Special paving is used as a surface treatment on all plazas, and amenities such as seating, pedestrian scale lighting, trash receptacles, and bike racks are provided.

Landscape:

A landscape plan has been provided as part of the submittal package. The landscape design is based on the requirements of the Sector Plan, and calculations and notes are provided to confirm compliance.

Trees:

The landscape plan indicates the number, placement, and species of trees to be provided along public streets, walkways, and in parking lot. The number and location of shade and specialty trees has been carefully reviewed to ensure compliance with the Sector Plan.

Walkways:

Walkways already existing along the public right of way. They were constructed as part of the original Target store project, and are detailed to meet the requirements of the Sector Plan, including required widths, materials and border patterns. Pedestrian lighting and other amenities are provided along walkways.

Landscape Buffers:

This section of the Sector Plan does not include any required buffers for the subject site and its zoning category.

Parking:

Surface parking areas are landscaped per the requirements of the landscape section of the Sector Plan. There is no single cell of surface parking with more than 90 spaces. Motorcycle and bicycle parking is provided near building entries.

Landscape Plan:

The landscape plan in the submittal package has been carefully vetted against the requirements of the Sector Plan. Drawings, calculations, and notes are provided to confirm compliance.

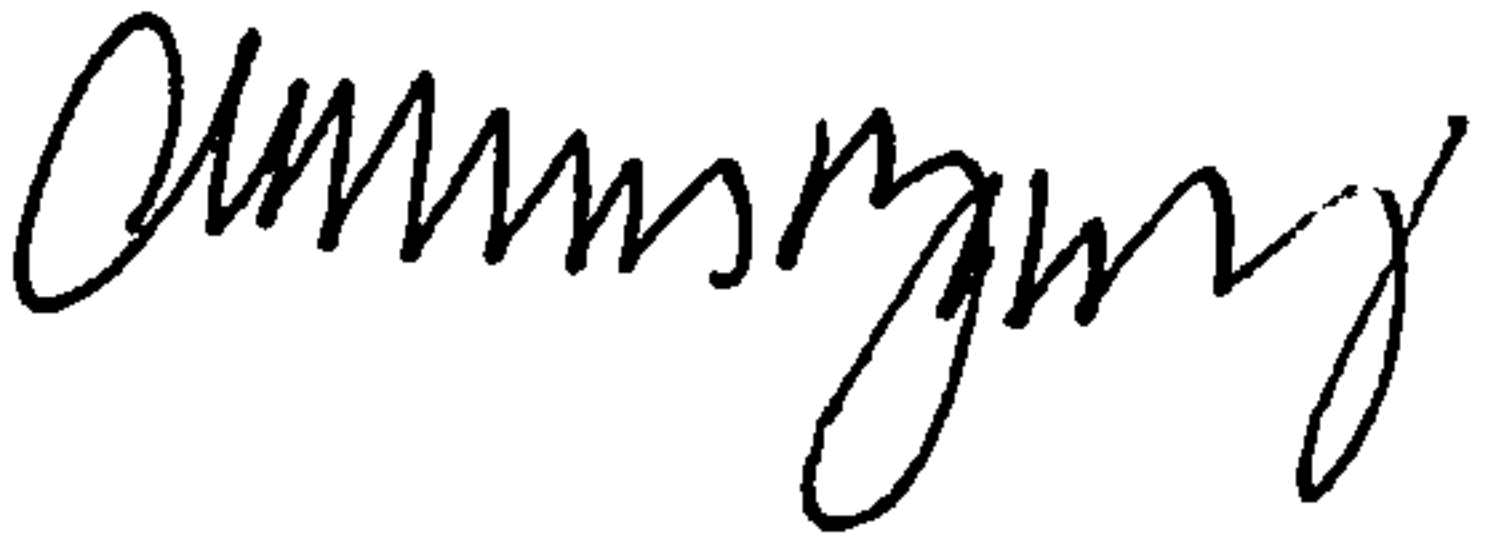
Signage:

Drawings of signage are provided in the submittal package. These include building mounted and freestanding signage structures. The signage elements have been carefully vetted against the requirements of the Sector Plan to ensure compliance.

We respectfully request approval of the above request. If you have any questions or need clarification of anything contained herein, please contact John Sedberry of SED Development, Scott Leonard, or myself.

Sincerely,

Dekker/Perich/Sabatini
Agent for SED Development, LLC



Christopher R. Gunning, AIA, LEED AP
Principal

**City of Albuquerque
Planning Department
Urban Design and Development Division**

URT Submittal Compliance Memo

To: Jack Cloud - DRB Chair
From: Vicente M. Quevedo - Planner ✓
CC: Kym D'come -- Planning Manager, Christopher Gunning, Fred Arfman, John Sedberry & Scott Leonard
Date: Wednesday, January 20, 2016
Re: Uptown Sector Development Plan Compliance -- SWC Indian School & Uptown Loop

The purpose of this memorandum is to inform you that I have reviewed the most recent submittal for SWC Indian School & Uptown Loop (1007316) site development plan for building permit.

The Uptown Review Team (URT) provided agency comments to the applicant on Wednesday December 23, 2015 and met with the applicant on Friday January 15, 2016 to review a revised site development plan set for compliance. Representatives from the following departments were present: Planning, Hydrology, Traffic Engineering and ABC Water Utility Authority.

The site development plan for building permit set submitted January 15, 2016 is very close to compliance with the USDP (*As required per Section VII.B.10 of the USDP*). The applicant will provide the DRB with a revised set that demonstrates full compliance with the sector development plan requirements and agency comments. Per the sector development plan, the applicant may now request a date for an advertised DRB public hearing.

If you have any additional questions regarding the Planning Department's comments please feel free to contact me directly at (505) 924-3357 or email me at vquevedo@cabq.gov.


Vicente M. Quevedo
Urban Design & Development Planner
City of Albuquerque

PROJECT#

1007316

February 10. 2016

SPF