

GENERAL NOTES

- A. APPLICABLE PLANS: UPTOWN SECTOR DEVELOPMENT PLAN (2009); SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (APPLICATION 11DRB-70284)
- B. PROPOSED USES: MIXED USE INCLUDING RETAIL, RESTAURANT AND HOUSING
- C. REFER TO CIVIL DRAWING, SHEET 2 FOR CONCEPTUAL UTILITY PLAN

KEYED NOTES

- 1. EXISTING PROPERTY LINE
- 2. PROPOSED PROPERTY LINE

SITE DATA

LEGAL DESCRIPTION: TRACK A, HUNT - SPECTRUM DEVELOPMENT SITE	ZONE: SU-3 FOR MU-UPT
BUILDING 1 AREA:	155,629 SF
BUILDING 2 AREA - RETAIL:	6,200 SF
BUILDING 2 AREA - HOUSING:	21,600 SF (3 FLOORS @ 7,200 SF, 18 DU)
BUILDING 3 AREA:	4,740 SF
TOTAL:	
BUILDING AREA:	188,169 SF
SITE AREA:	320,480 SF (7.36 ACRES)
F.A.R. (188,169 SF / 320,480 SF):	0.59

SITE PLAN LEGEND

- PEDESTRIAN INGRESS / EGRESS
- VEHICULAR INGRESS / EGRESS
- PROPERTY LINE EXISTING AS NOTED
- PROPERTY LINE PROPOSED AS NOTED

DESIGN STANDARDS

FUTURE SITE DEVELOPMENT PLANS FOR BUILDING PERMIT SHALL ADHERE TO DESIGN STANDARDS AS DESCRIBED WITHIN THE UPTOWN SECTOR DEVELOPMENT PLAN:

STREET REALM / LANDSCAPING:	
OPEN SPACE	Chapter V Section D (pgs 60 - 62)
PLAZAS	Chapter V Section E (pgs 63 - 64)
REGULATIONS	Chapter V Section F - I (pgs 64 - 72) Chapter V Section K (pgs 76 - 77)
BUILDING DESIGN:	
HEIGHT / SETBACK	Chapter IV Sections G & H (pg 54 & 55)
REGULATIONS	Chapter V Section A - C (pgs 57 - 59)
SIGNAGE:	
REGULATIONS	Chapter V Section L (pgs 76 - 85)
SITE DESIGN:	
PARKING	Chapter V Section J (pgs 73 - 76)
REGULATIONS	Chapter V (pg 57) Green Features Chapter V Section B (pg 59) Screening Chapter V Section C (pg 59) Walls Chapter V Section D (pgs 60 - 62) Amenities Chapter V Section E (pgs 63 - 64) Amenities, Lighting Chapter V Section F (pgs 64 - 68) Green Features Chapter V Section G (pgs 66 - 70) Buffering, Green Features Chapter V Section H (pgs 70 - 71) Connectivity, Lighting, Amenities Chapter V Section I (pgs 71 - 72) Buffering Chapter V Section J (pgs 73 - 76) Green Features

FORMER PROJECT NUMBER: 1007316

PROJECT NUMBER: 1007316

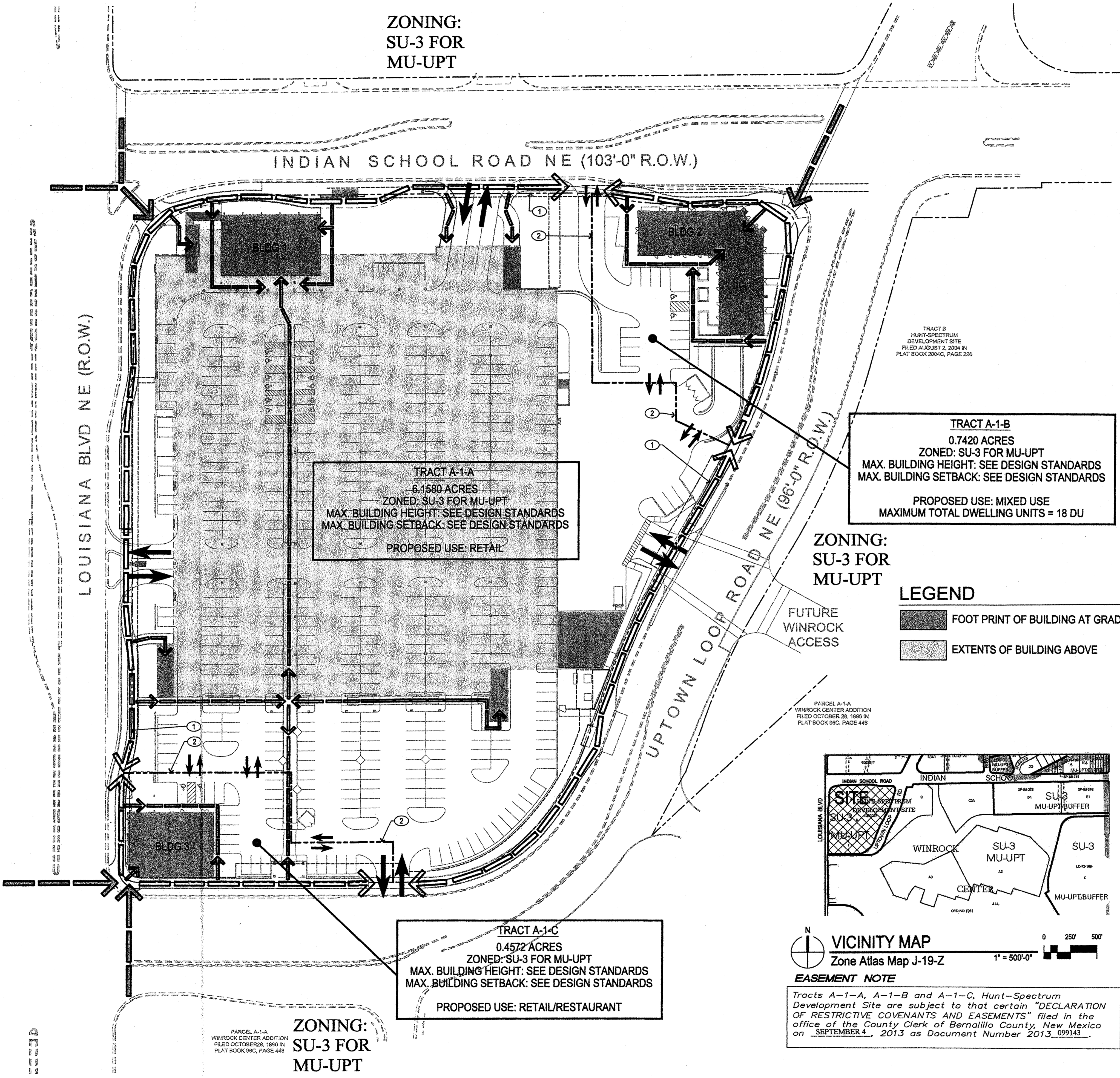
APPLICATION NUMBER:

Is an Infrastructure List Required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

SITE DEVELOPMENT PLAN APPROVAL:

	10-23-13
TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
	10/23/13
ABCWUA	DATE
	10-23-13
PARKS AND RECREATION DEPARTMENT	DATE
	10-23-13
CITY ENGINEER	DATE

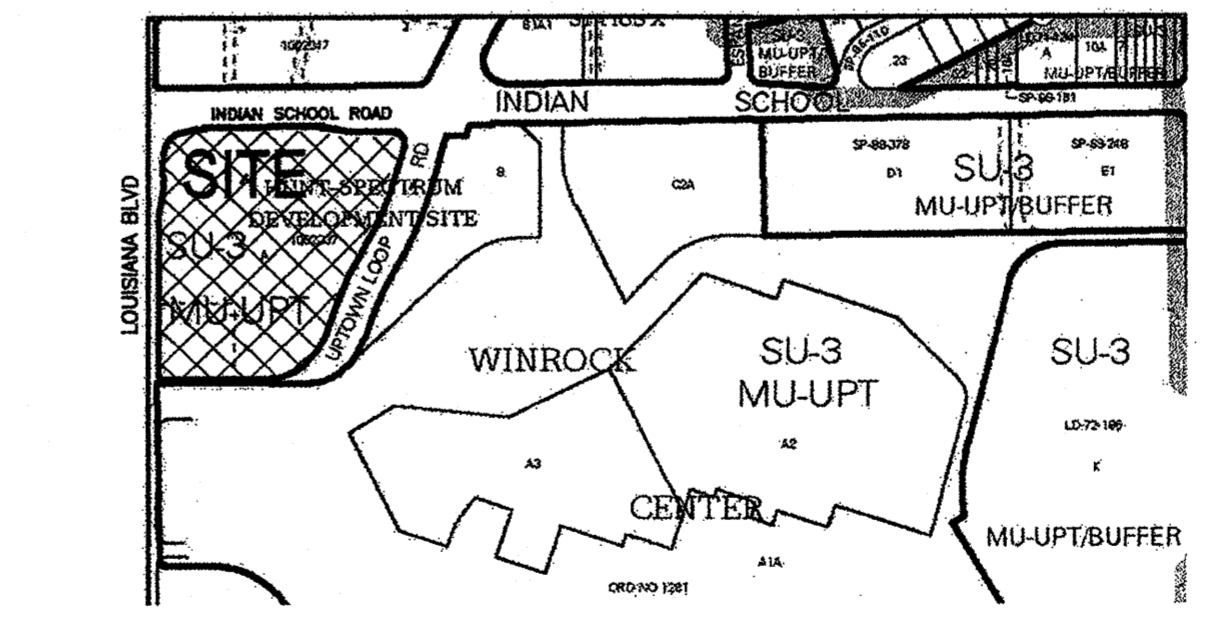
SOLID WASTE MANAGEMENT	DATE
	11/25/2013
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE



TRACT A-1-A
6.1580 ACRES
ZONED: SU-3 FOR MU-UPT
MAX. BUILDING HEIGHT: SEE DESIGN STANDARDS
MAX. BUILDING SETBACK: SEE DESIGN STANDARDS
PROPOSED USE: RETAIL

TRACT A-1-B
0.7420 ACRES
ZONED: SU-3 FOR MU-UPT
MAX. BUILDING HEIGHT: SEE DESIGN STANDARDS
MAX. BUILDING SETBACK: SEE DESIGN STANDARDS
PROPOSED USE: MIXED USE
MAXIMUM TOTAL DWELLING UNITS = 18 DU

TRACT A-1-C
0.4572 ACRES
ZONED: SU-3 FOR MU-UPT
MAX. BUILDING HEIGHT: SEE DESIGN STANDARDS
MAX. BUILDING SETBACK: SEE DESIGN STANDARDS
PROPOSED USE: RETAIL/RESTAURANT



VICINITY MAP
Zone Atlas Map J-19-Z
1" = 500'-0"

EASEMENT NOTE
Tracts A-1-A, A-1-B and A-1-C, Hunt-Spectrum Development Site are subject to that certain "DECLARATION OF RESTRICTIVE COVENANTS AND EASEMENTS" filed in the office of the County Clerk of Bernalillo County, New Mexico on SEPTEMBER 4, 2013 as Document Number 2013_099143.

SITE PLAN - PHASE 2 (FULL BUILD-OUT)
1" = 50'-0"

TRACT 1-D-1A-1
PARK SQUARE ADDITION
FILED MARCH 21, 1980 IN
PLAT BOOK 99C, PAGE 62

TRACT 1-E-1A-1
PARK SQUARE ADDITION
FILED AUGUST 9, 1980 IN
PLAT BOOK 99C, PAGE 186

TRACT 1-H-1A

TRACT 1-F
PARK SQUARE ADDITION
FILED AUGUST 9, 1980 IN
PLAT BOOK 99C, PAGE 186

PARCEL A-1-A
WINROCK CENTER ADDITION
FILED OCTOBER 28, 1998 IN
PLAT BOOK 99C, PAGE 446

TRACT B
HUNT-SPECTRUM
DEVELOPMENT SITE
FILED AUGUST 2, 2006 IN
PLAT BOOK 2004C, PAGE 226

PARCEL A-1-A
WINROCK CENTER ADDITION
FILED OCTOBER 28, 1998 IN
PLAT BOOK 99C, PAGE 446

ZONING:
SU-3 FOR
MU-UPT

ZONING:
SU-3 FOR
MU-UPT

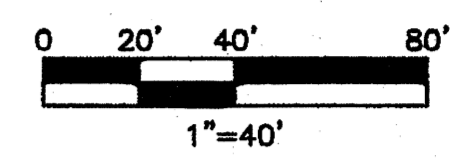
ZONING:
SU-3 FOR
MU-UPT

ZONING:
SU-3 FOR
MU-UPT

SITE PLAN - PHASE 2 (FULL BUILD-OUT)
1" = 50'-0"

INDIAN SCHOOL ROAD N.E.

(103' RIGHT-OF-WAY)

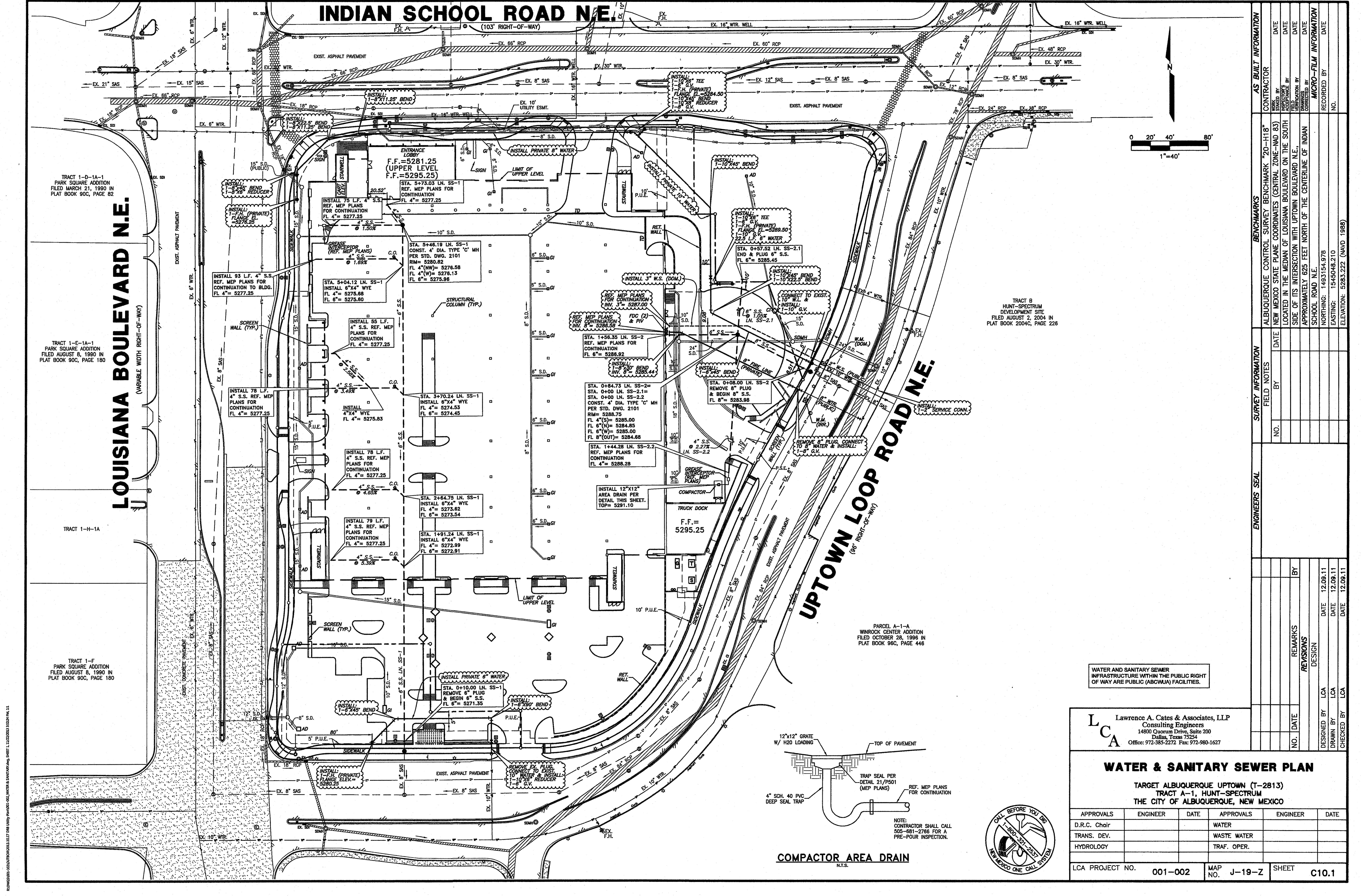


LOUISIANA BOULEVARD N.E.

(VARIABLE WIDTH RIGHT-OF-WAY)

UPTOWN LOOP ROAD N.E.

(96' RIGHT-OF-WAY)



TRACT 1-D-1A-1
PARK SQUARE ADDITION
FILED MARCH 21, 1990 IN
PLAT BOOK 90C, PAGE 82

TRACT 1-E-1A-1
PARK SQUARE ADDITION
FILED AUGUST 8, 1990 IN
PLAT BOOK 90C, PAGE 180

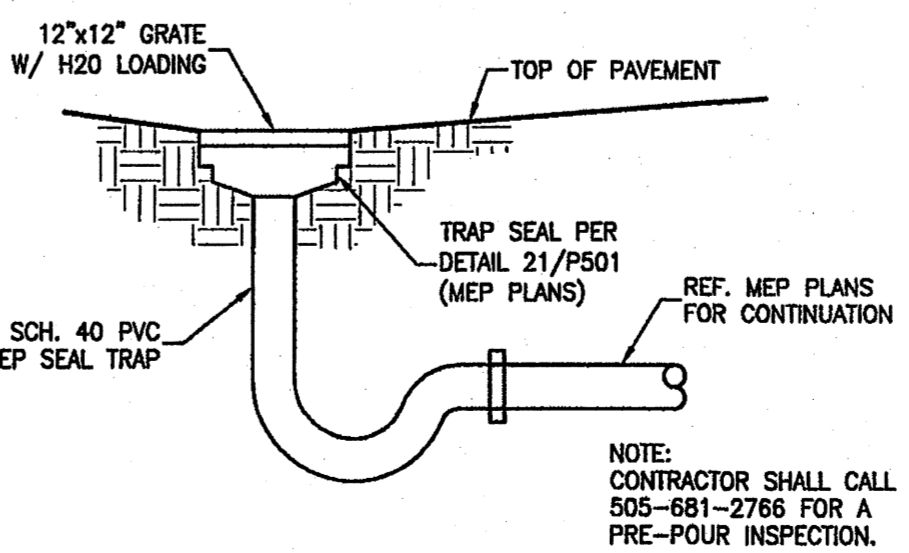
TRACT 1-H-1A

TRACT 1-F
PARK SQUARE ADDITION
FILED AUGUST 8, 1990 IN
PLAT BOOK 90C, PAGE 180

TRACT B
HUNT-SPECTRUM
DEVELOPMENT SITE
FILED AUGUST 2, 2004 IN
PLAT BOOK 2004C, PAGE 226

PARCEL A-1-A
WINROCK CENTER ADDITION
FILED OCTOBER 28, 1996 IN
PLAT BOOK 96C, PAGE 446

WATER AND SANITARY SEWER
INFRASTRUCTURE WITHIN THE PUBLIC RIGHT
OF WAY ARE PUBLIC (ABQWA) FACILITIES.



COMPACTOR AREA DRAIN
N.T.S.

NOTE:
CONTRACTOR SHALL CALL
505-681-2766 FOR A
PRE-FOUR INSPECTION.



AS BUILT INFORMATION			BENCHMARKS			SURVEY INFORMATION			ENGINEERS SEAL		
CONTRACTOR	DATE	NO.	ALBUQUERQUE CONTROL SURVEY BENCHMARK "20-H18"	DATE	NO.	FIELD NOTES	NO.	BY	REVISIONS	DATE	DATE
ALBUQUERQUE CONTROL SURVEY BENCHMARK "20-H18"	DATE	NO.	NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE-MD 85)	DATE	NO.	LOCATED IN THE MEDIAN OF LOUISIANA BOULEVARD ON THE SOUTH SIDE OF ITS INTERSECTION WITH UPTOWN BOULEVARD N.E., APPROXIMATELY 625 FEET NORTH OF THE CENTERLINE OF INDIAN SCHOOL ROAD N.E.	NO.	BY	DESIGN	12.09.11	12.09.11
MICRO-FILM INFORMATION			REVISIONS			DESIGNED BY			LCA		
RECORDED BY	DATE	NO.	NORTHING: 1493154.978	DATE	NO.	CHECKED BY	DATE	DATE	DATE	DATE	DATE
NO.	DATE	NO.	EASTING: 1545046.210	DATE	NO.	DATE	DATE	DATE	DATE	DATE	DATE
NO.	DATE	NO.	ELEVATION: 5283.222 (NAVD 1988)	DATE	NO.	DATE	DATE	DATE	DATE	DATE	DATE

LCA Lawrence A. Cates & Associates, L.L.P.
Consulting Engineers
14800 Quorum Drive, Suite 200
Dallas, Texas 75254
Office: 972-385-2272 Fax: 972-980-1627

WATER & SANITARY SEWER PLAN

TARGET ALBUQUERQUE UPTOWN (T-2813)
TRACT A-1, HUNT-SPECTRUM
THE CITY OF ALBUQUERQUE, NEW MEXICO

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
D.R.C. Chair			WATER		
TRANS. DEV.			WASTE WATER		
HYDROLOGY			TRAF. OPER.		

LCA PROJECT NO. 001-002 MAP NO. J-19-Z SHEET C10.1

DEKKER
PERICH
SABATINI

7601 JEFFERSON NE, SUITE 100
ALBUQUERQUE, NM 87109

505.761.9700 / DPSDESIGN.ORG

SEDBERRY
& ASSOCIATES
COMMERCIAL REAL ESTATE SERVICES

ARCHITECT

PROJECT

NOT FOR CONSTRUCTION



NOTE: THIS IMAGE IS CONCEPTUAL IN NATURE AND MAY NOT REFLECT THE REQUIREMENTS OF THESE DOCUMENTS.

DRAWING INDEX

- 00 COVER SHEET
- 01 SITE DEVELOPMENT PLAN
- 02 SITE DETAILS
- 03 SITE DETAILS
- 04 LANDSCAPE PLAN
- 05 CONCEPTUAL GRADING & DRAINAGE PLAN
- 06 UTILITY PLAN
- 07 EXTERIOR ELEVATIONS
- 08 EXTERIOR ELEVATIONS (COLOR)
- 09 RENDERINGS

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT DRB SUBMITTAL 1.29.2016

UPTOWN SHOPS - TARGET @ UPTOWN

UPTOWN SHOPS - TARGET @ UPTOWN

PROJECT TEAM

OWNER
JOHN SEDBERRY
4700 MONTGOMERY BLVD. NE
ALBUQUERQUE, NM 87109
TEL: 505.855.7565

ARCHITECT
DEKKER/PERICH/SABATINI
7601 JEFFERSON NE, SUITE 100
ALBUQUERQUE, NM 87109
TEL: 505.761.9700
FAX: 505.761.4222

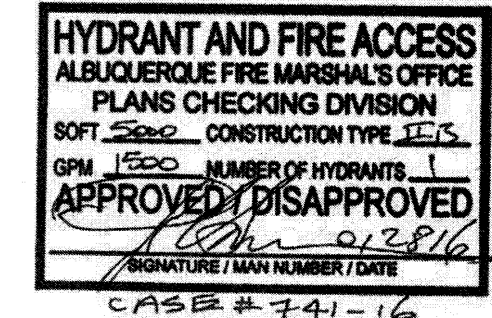
LANDSCAPE ARCHITECT
DEKKER/PERICH/SABATINI
7601 JEFFERSON NE, SUITE 100
ALBUQUERQUE, NM 87109
TEL: 505.761.9700
FAX: 505.761.4222

CIVIL ENGINEER
ISAACSON & ARFMAN
128 MONROE ST. NE
ALBUQUERQUE, NM 87108
TEL: 505.268.8828

DATE 20151119

PROJECT NO. 15-0102

ISSUE PURPOSE



SEAL

PROJECT

UPTOWN SHOPS
ALBUQUERQUE, NM

URT REVIEW

REVISIONS

- △
- △
- △
- △
- △
- △

DRAWN BY	LI, AC
REVIEWED BY	CG
DATE	11/19/2015
PROJECT NO	15-0102

DRAWING NAME

**SITE
DEVELOPMENT
PLAN
FIRE 1**

SHEET NO

GENERAL SHEET NOTES

- PARKING AREA SHALL BE DESIGNED & BUILT TO CURRENT DPM STANDARDS AND COA ZONING CODE
- SEE CIVIL PLANS FOR ADDITIONAL GRADING, DRAINAGE AND UTILITY INFORMATION.
- SIGNS: SEE BUILDING ELEVATIONS FOR DESCRIPTION OF SIGNAGE ON BUILDING. DIMENSIONS ARE TO FACE OF CURB, OR WALL OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED
- PEDESTRIAN ACCESS RAMPS WITHIN THE PUBLIC ROW WILL BE CONSTRUCTED PER COA STD DWG. #2426
- ALL CURBS TO BE DESIGNED AND BUILT ACCORDING TO THE COA STANDARDS. CURBS WILL ALSO BE DESIGNED TO ALLOW WATER HARVESTING IN LANDSCAPE MEDIANS WHERE POSSIBLE TO REDUCE SURFACE RUN-OFF AND SUPPLEMENT IRRIGATION
- ALL FIXTURES AND DESIGN SHALL COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT AND THE COA ZONING CODE, SECTION 14-16-3-9 AREA LIGHTING REGULATIONS
- LIGHTING WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE SUBJECT TO THE STANDARDS AND REVIEW OF PNM, UNLESS MAINTENANCE FOR RIGHT-OR-WAY LIGHTING IS THE FULL RESPONSIBILITY OF OTHER PARTIES
- LIGHTING DESIGN FOR PARKING AREAS SHALL BE LIGHTED TO PROVIDE FUNCTIONAL, ATTRACTIVE, AND UNIFIED LIGHTING THROUGHOUT THE LOT AND BE EXTINGUISHED ONE HOUR AFTER THE CLOSE OF BUSINESS, EXCEPT AS NEEDED TO PROVIDE FOR MINIMUM SECURITY LEVELS.
- OWNER WILL BE RESPONSIBLE FOR THE PROPOSED/EXISTING LANDSCAPING IN THE RIGHT OF WAY.
- LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL WILL NOT BE ACCEPTABLE IN THIS AREA.

SITE INFORMATION

LEGAL DESCRIPTION
TRACT: A-1-B, HUNT - SPECTRUM DEVELOPMENT SITE
ZONING: SU-3 for MU-UPT

GROSS BUILDING AREA (GBA):
ORIGINALLY APPROVED SDP (2013)
BUILDING AREA- RETAIL: 6,200SF/21,600 SF
BUILDING AREA- HOUSING: 21,600SF (3 FLOORS @ 7,200SF, 18DU)
PROPOSED:
RETAIL: 5,000 SF

TOTAL SITE AREA: 27,870 SF = 6398 ACRES
GROSS F.A.R. (GBA/SITE AREA) = 0.18

BUILDING INFORMATION:
TYPE IIB CONSTRUCTION
5000 SF BUILDING
BUILDING SPRINKLER
EXISTING HEIGHT: 21'-0"
PROVIDE 10" HIGH NUMERALS WITH 2" STROKE PREMISE ID @ STREET OF ADDRESS

SHEET KEYED NOTES

- PAINTED PARKING STRIPING (4-INCH WIDE), COLOR: WHITE
- PAINTED HANDICAP PARKING STRIPING, COLOR: BLUE
- PAINTED A.D.A. PARKING SPACE PAVEMENT SIGNAGE, RE: C3/ 02 OF 11
- CONCRETE ACCESSIBLE RAMP TYPE B WITH 1:12 MAXIMUM SLOPE AT RAMP AND 1:12 SLOPE AT RAMP FLARE. FINISH: HEAVY BROOM FINISH PERPENDICULAR TO SLOPE TYPICAL ON RAMP.
- POLE MOUNTED ACCESSIBLE PARKING SIGNAGE, RE: B2/ 02 OF 11, C-1010 AND MDP & DG.
- 8" CONCRETE CURB AND GUTTER, RE: CIVIL AND MDP & DG
- CONCRETE SIDEWALK, RE: B3,B4,B5/ 02 OF 11
- CONCRETE SEATWALL, RE: ARCHITECTURAL ELEVATIONS AND A2/ 03 OF 11
- EXTERIOR BOLLARD - 6-INCH DIAMETER, RE: C2/ 02 OF 11
- CONCRETE PAVING
- EXISTING LANDSCAPE AREA, RE: LANDSCAPE PLAN
- CONCRETE BUILDING APRON, RE: B5/ 02 OF 11
- REFUSE ENCLOSURE, CMU WALL WITH STUCCO SYSTEM, COLOR: GREY, RE:A2, A3 & A4/ 02 OF 11
- PATIO ENCLOSURE, CMU WALL WITH STONE VENEER 4'T HT. RE: ARCHITECTURAL ELEVATIONS AND A1/ 03 OF 11
- STOP SIGN, RE: C4/ 02 OF 11
- PROPERTY LINE
- EXISTING CURB AND GUTTER TO REMAIN
- EXISTING RETAINING WALL TO REMAIN
- EXISTING FIRE HYDRANT
- EXISTING SITE LIGHTING TO REMAIN
- ROADWAY ARROW, RE: D2/ 02 OF 11
- ROADWAY STOP LINE, RE: D2/ 02 OF 11
- PAINTED CROSSWALK, RE: D1/ 02 OF 11
- BIKE RACK, RE: D4/ 02 OF 11
- MOTORCYCLE PARKING
- EXISTING SIDEWALK
- ADA ACCESS AISLES SHALL BE LABELED, "NO PARKING" IN CAPITAL LETTERS, 1'-0" TALL AND 2" WIDE PLACED AT THE REAR OF THE SPACE.
- EXISTING ACCESS RAMP
- ACCESSIBLE RAMP, TYPE A, WITH 1:12 MAXIMUM SLOPE AT RAMP, HEAVY BROOM FINISH PERPENDICULAR TO SLOPE TYPICAL ON RAMP.
- EXISTING STORM DRAIN INLET TO REMAIN
- CONCRETE STAIRS, RE: A3/ 02 OF 11
- 6" CHARCOAL GRAY DECORATIVE BORDER TO MATCH EXISTING AT TARGET
- EXISTING DRIVE PAD
- CLEAR SIGHT TRIANGLE
- EXISTING CURB AND GUTTER TO REMOVE
- EXISTING WALL
- EASEMENT
- FIRE LANE STRIPING, NO PARKING FIRE LANE
- DRAIN, SEE MECHANICAL

LEGEND

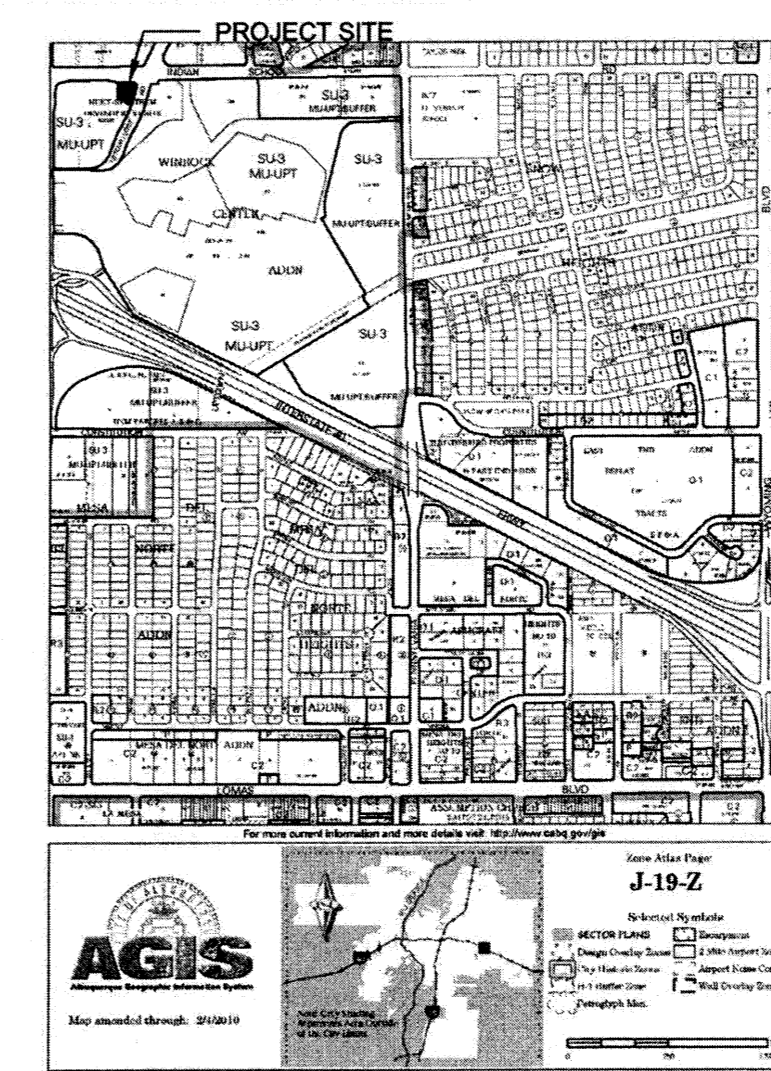
- TRAFFIC ARROWS, RE: D5/ 03 OF 11
- 16' LIGHT POLE, RE: A3/ 03 OF 11
- 20' LIGHT POLE, RE:A4/ 03 OF 11
- EXISTING FIRE HYDRANT
- - - - - PROPERTY LINE
- - - - - SETBACK OR EASEMENT
- ▬ CONCRETE SIDEWALK
- - - - - EXISTING SITE
- - - - - ADA ACCESSIBLE PEDESTRIAN PATHWAY

PARKING INFORMATION

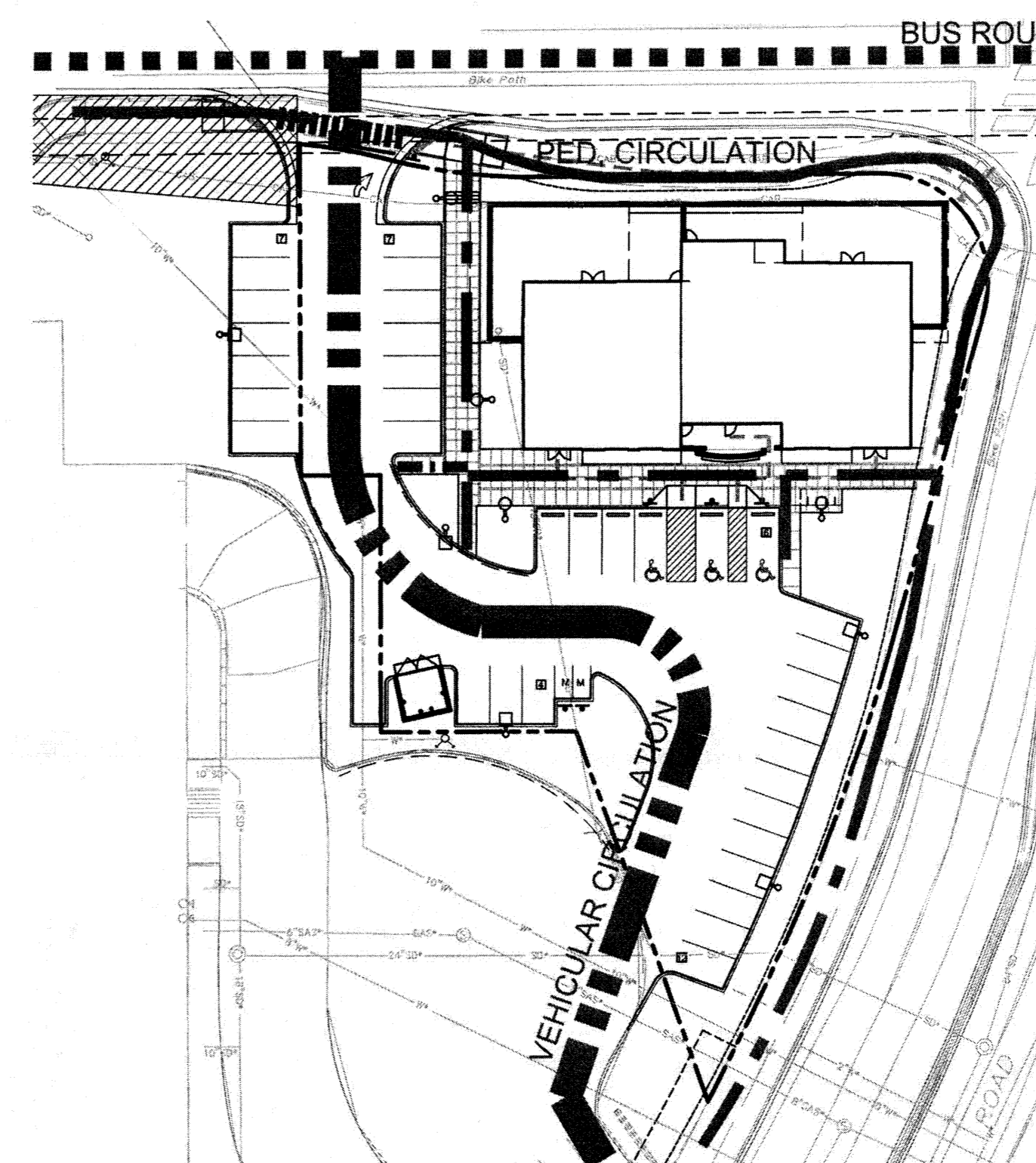
REQUIRED
5,000 SF BUILDING (RETAIL)
2:1000 SF (5000/1000= 5*2) = 10 SPACES
36-50 PARKING SPACES = 3 HANDICAPPED SPACE (1 VAN)
26-50 PARKING SPACES = 2 MOTORCYCLE
120 AUTOMOBILE, (36/20) = 2 BICYCLE

APPROVED SDP (2013)
SPACES PROVIDED: 41 SPACES (11 SURFACE, 30 BELOW) (2 ACCESSIBLE)
0 MOTORCYCLE
0 BICYCLE

PROVIDED
SPACES PROVIDED: 36 SPACES (3 ACCESSIBLE)
2 MOTORCYCLE
5 BICYCLE



VICINITY MAP



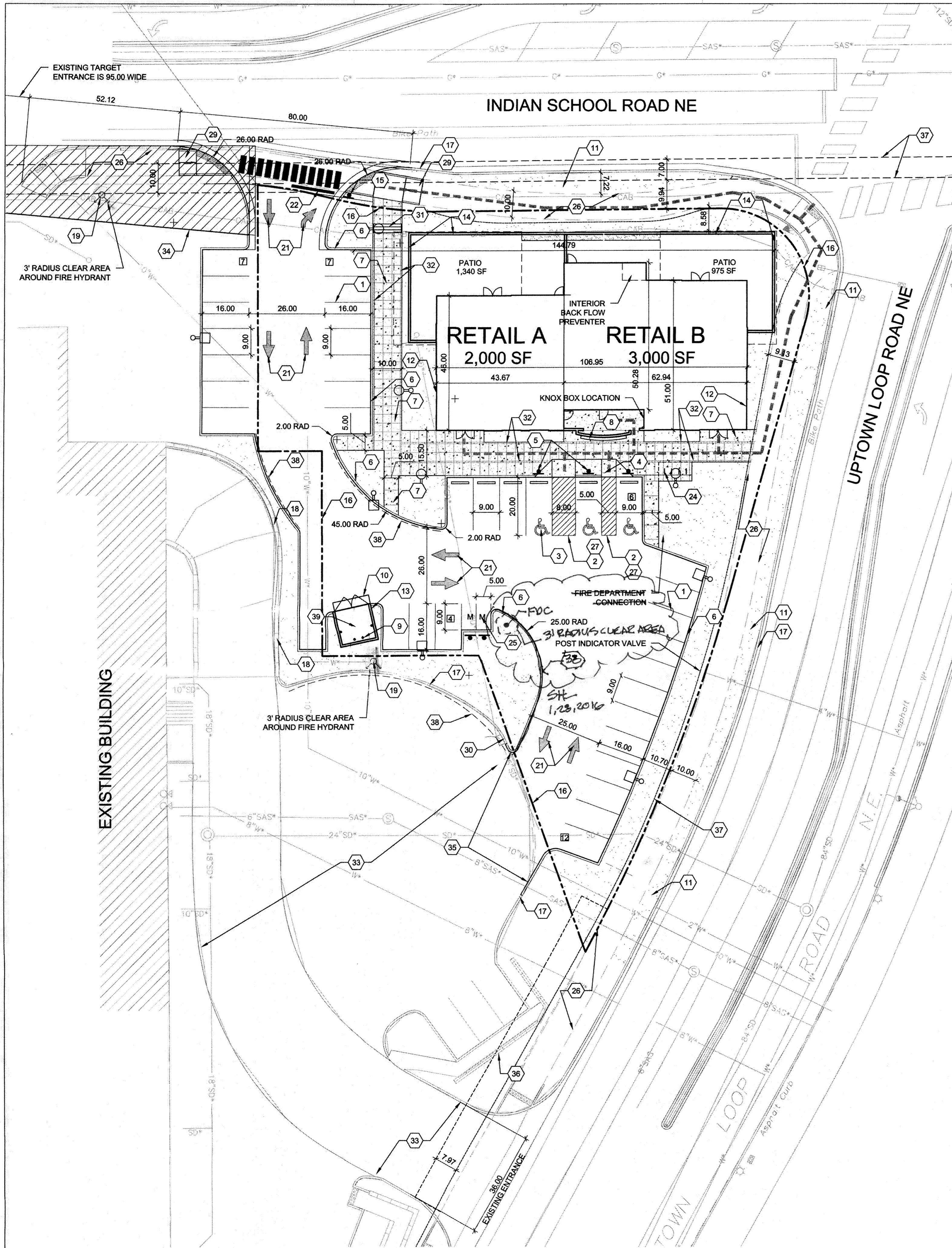
(A1) CIRCULATION PLAN
1" = 40'-0"

PROJECT NUMBER: 150102
APPLICATION NUMBER: DRB Site Development Plan-Building Permit

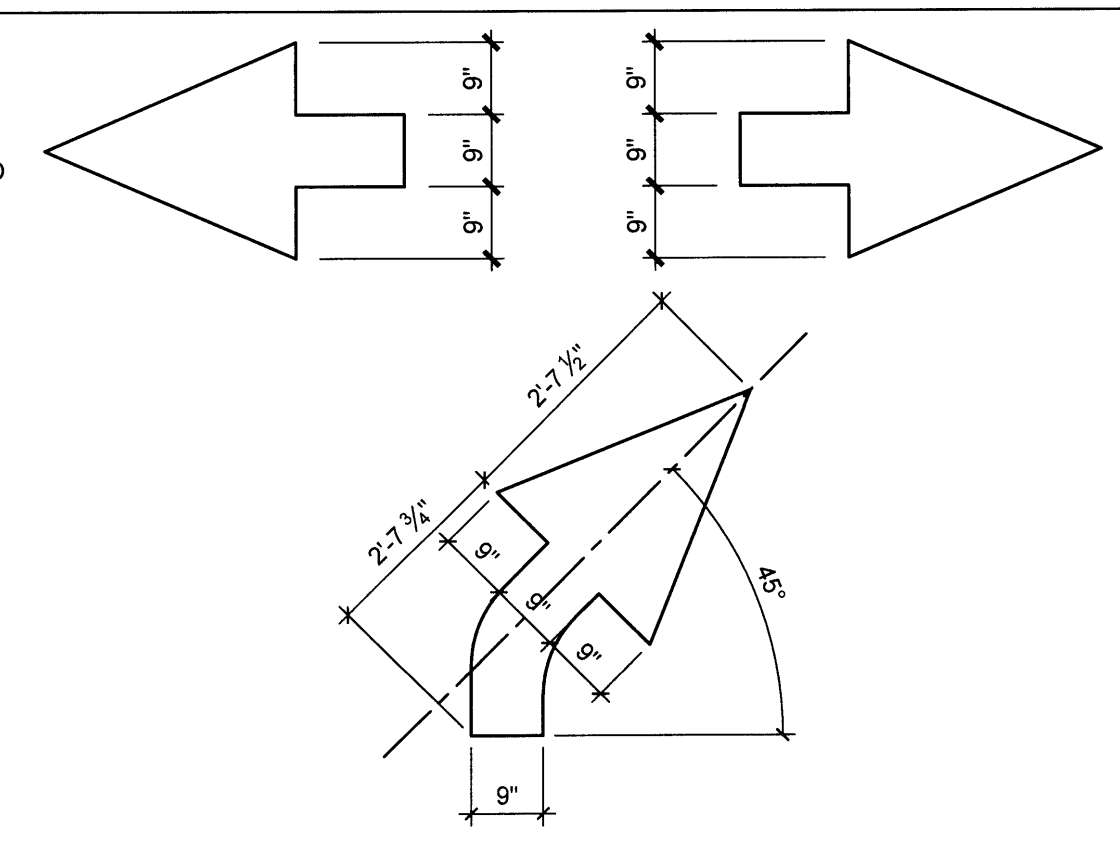
Is an Infrastructure List Required? (x) Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

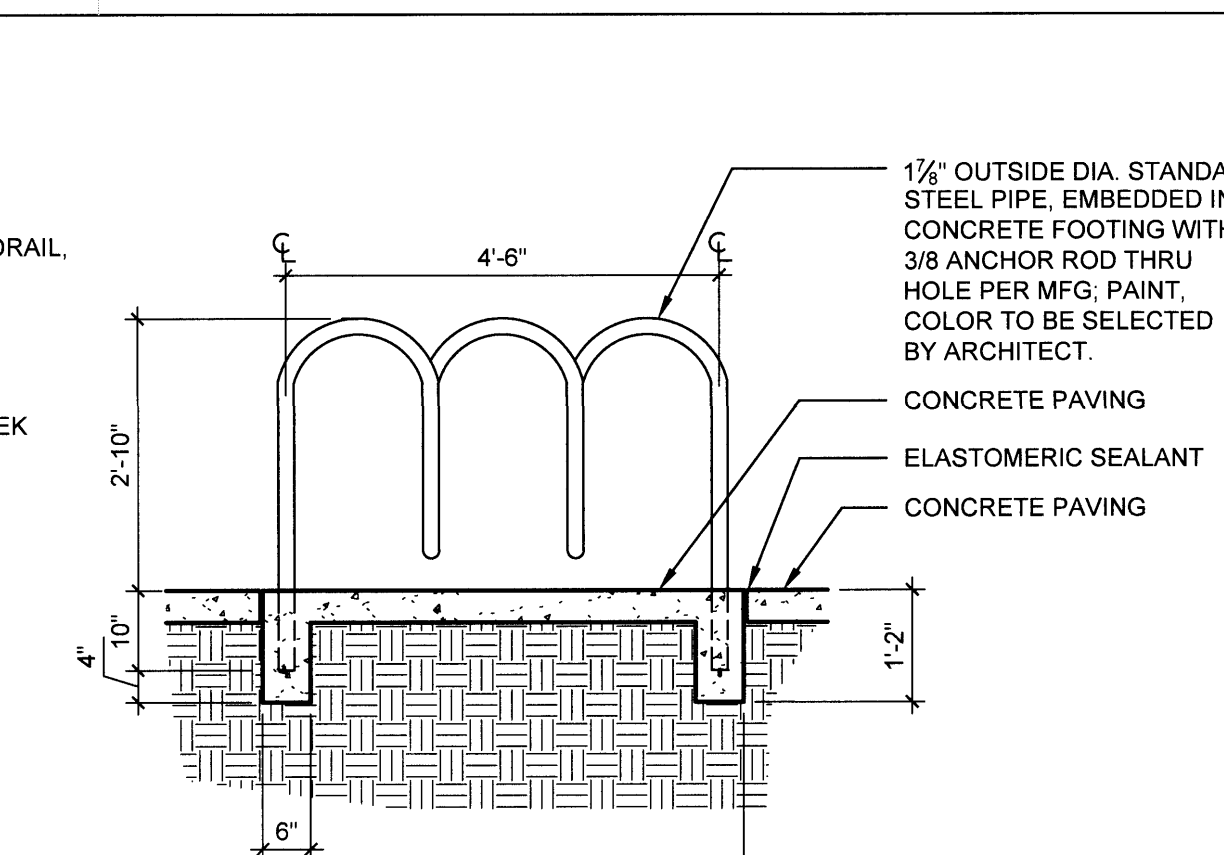
TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
UTILITIES DIVISION	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
SOLID WASTE MANAGEMENT	DATE
FIRE MARSHALL	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE



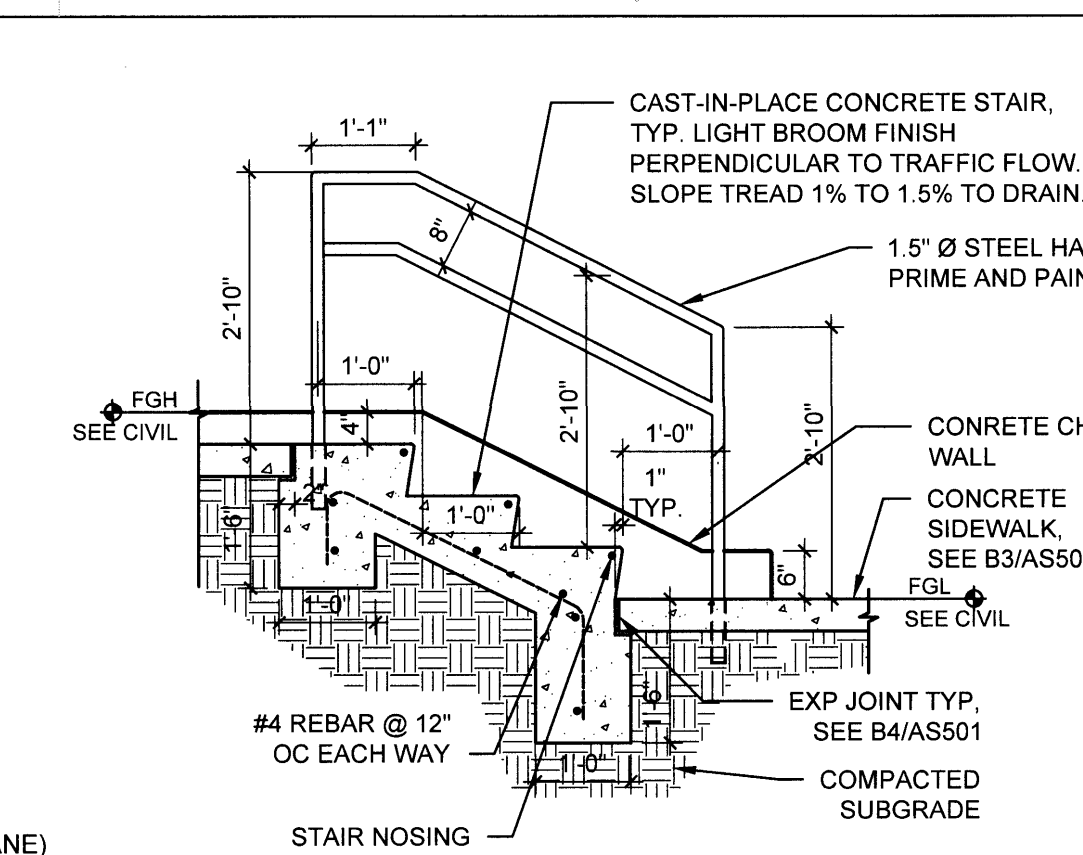
(A1) SITE PLAN
1" = 20'-0"



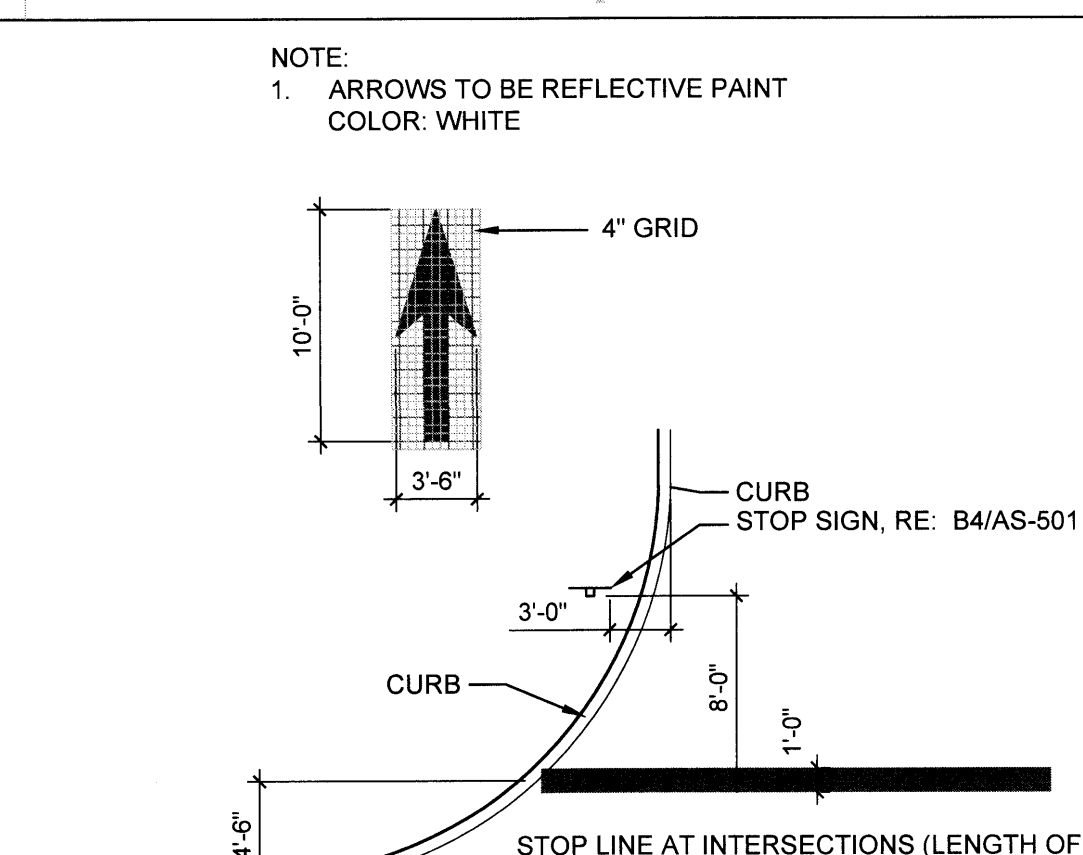
D5 DIRECTIONAL PAVEMENT ARROW
1/2" = 1'-0"



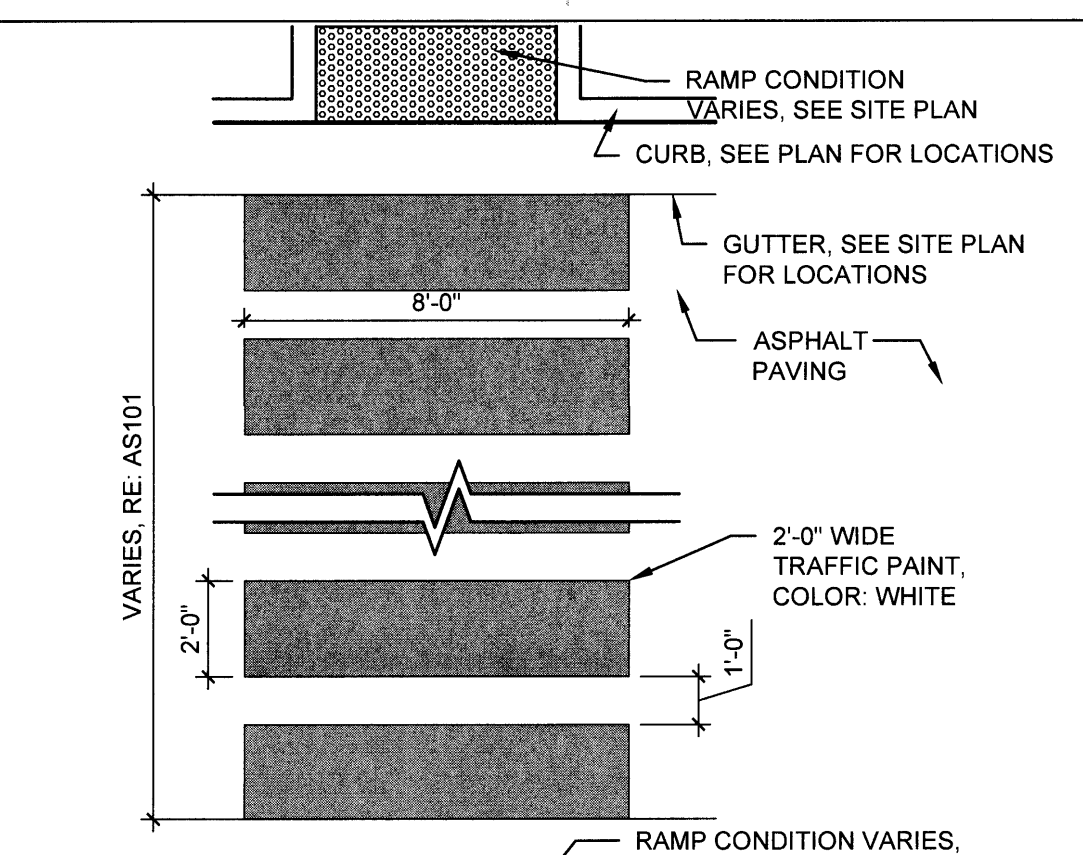
D4 BIKE RACK ELEVATIONS
1/2" = 1'-0"



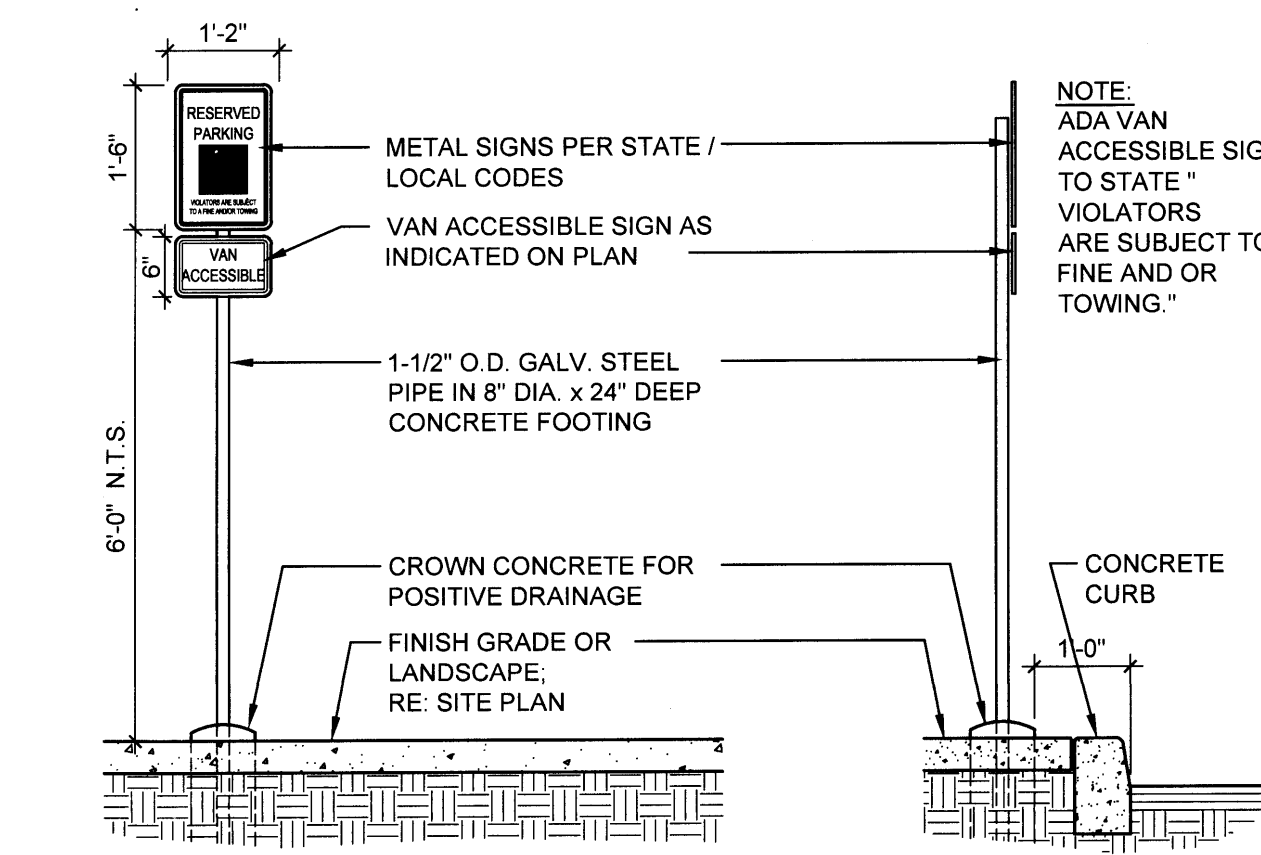
D3 CONCRETE STAIRS
1/2" = 1'-0"



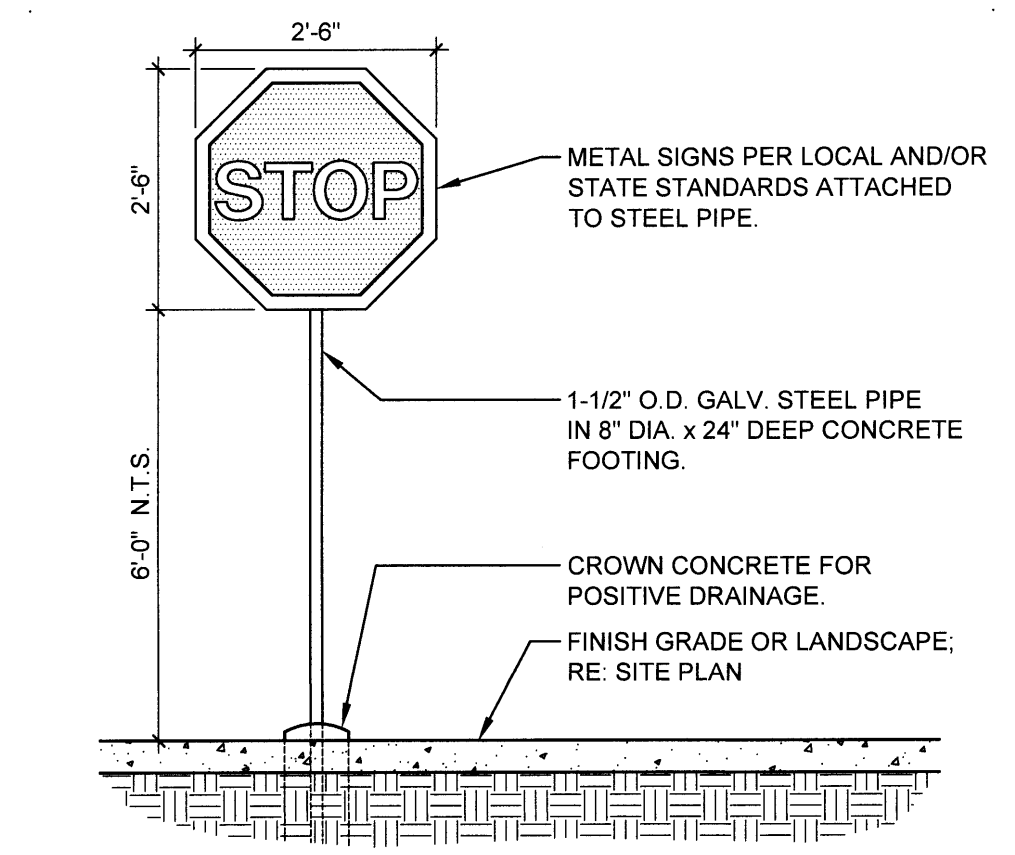
D2 PAVEMENT STRIPING & ARROW
1/8" = 1'-0"



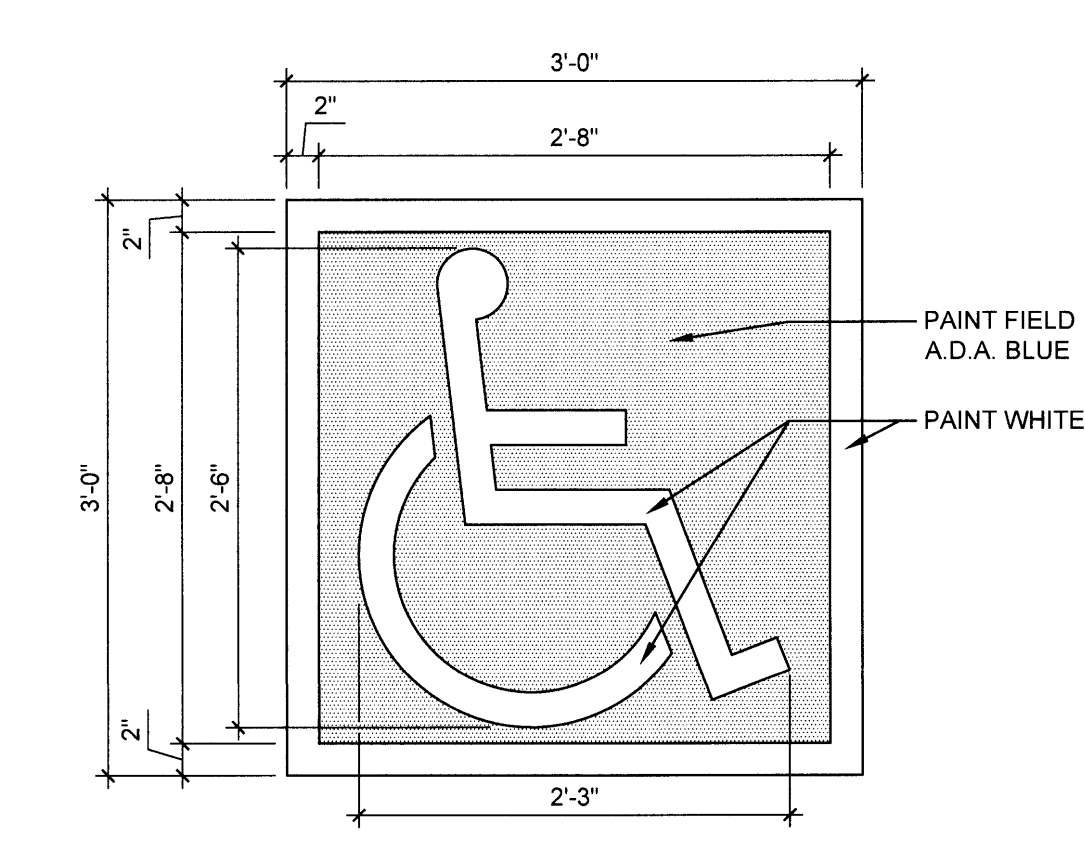
D1 CROSSWALK STRIPING
1/4" = 1'-0"



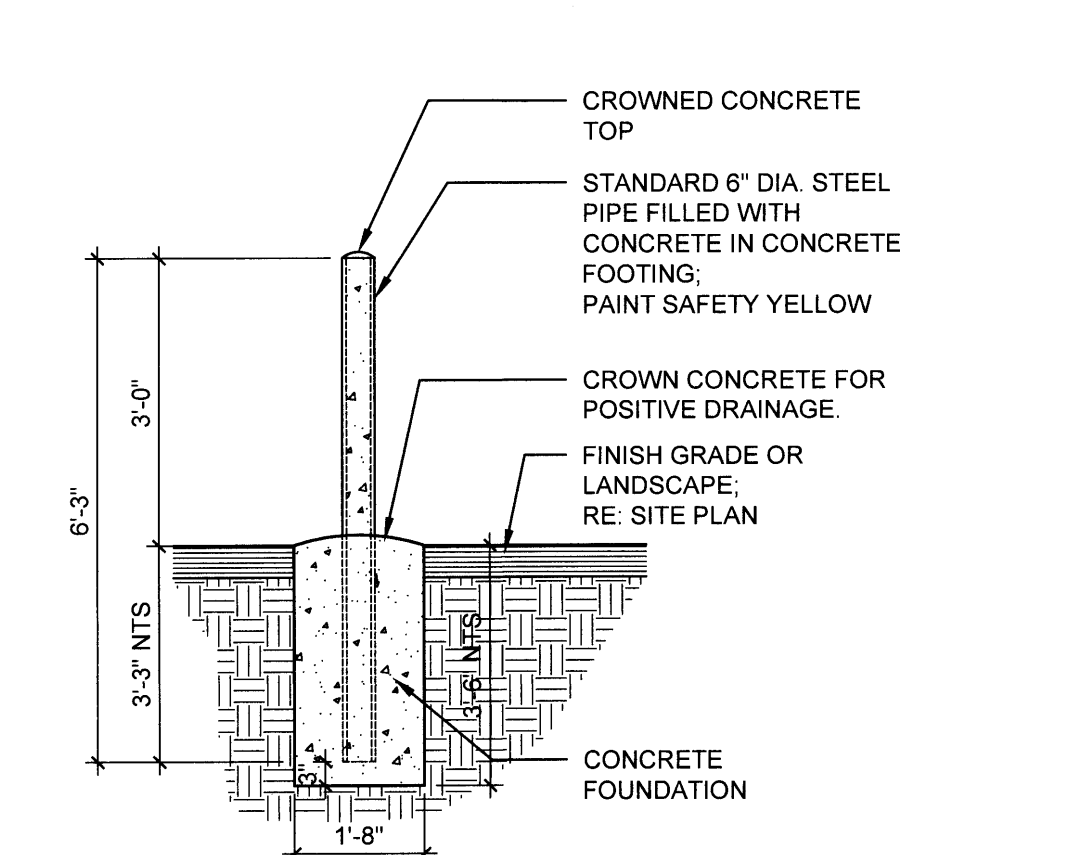
B2 POLE MOUNTED A.D.A. PARKING SPACE SIGN
1/2" = 1'-0"



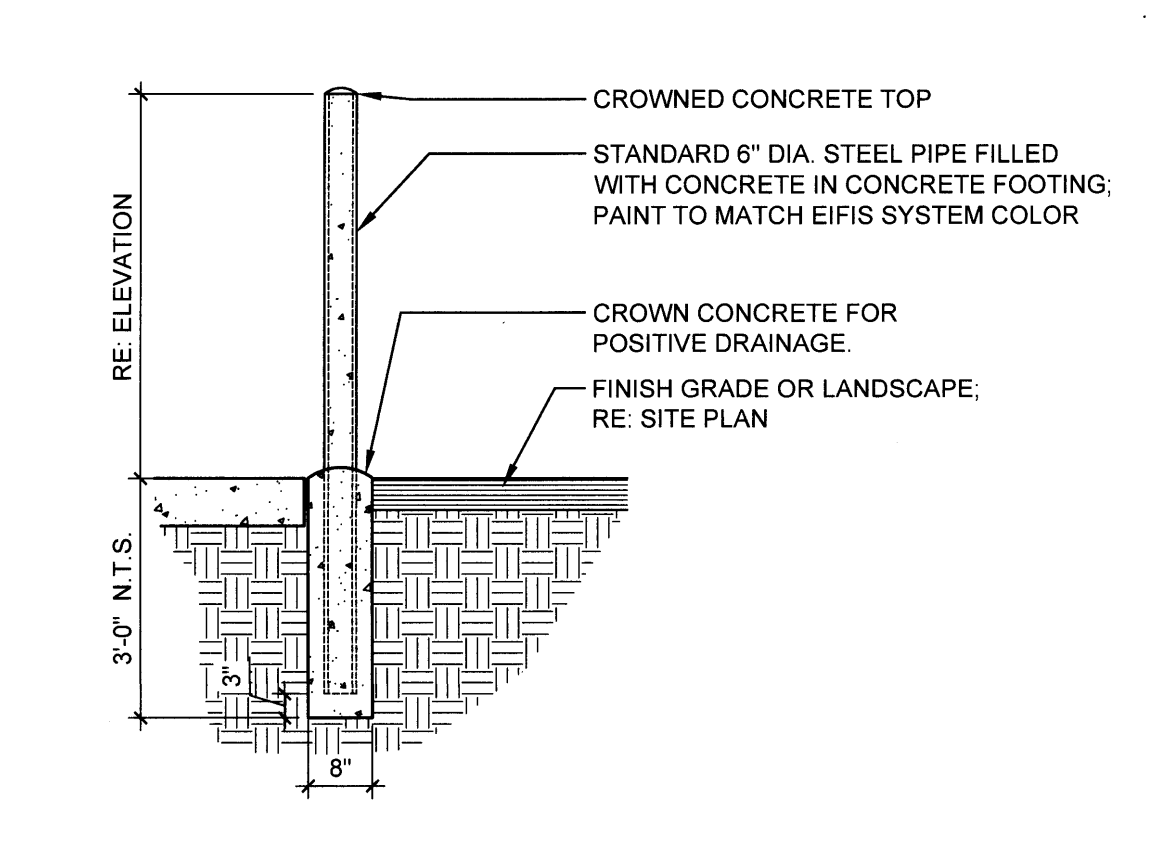
C4 POLE MOUNTED STOP SIGN
1/2" = 1'-0"



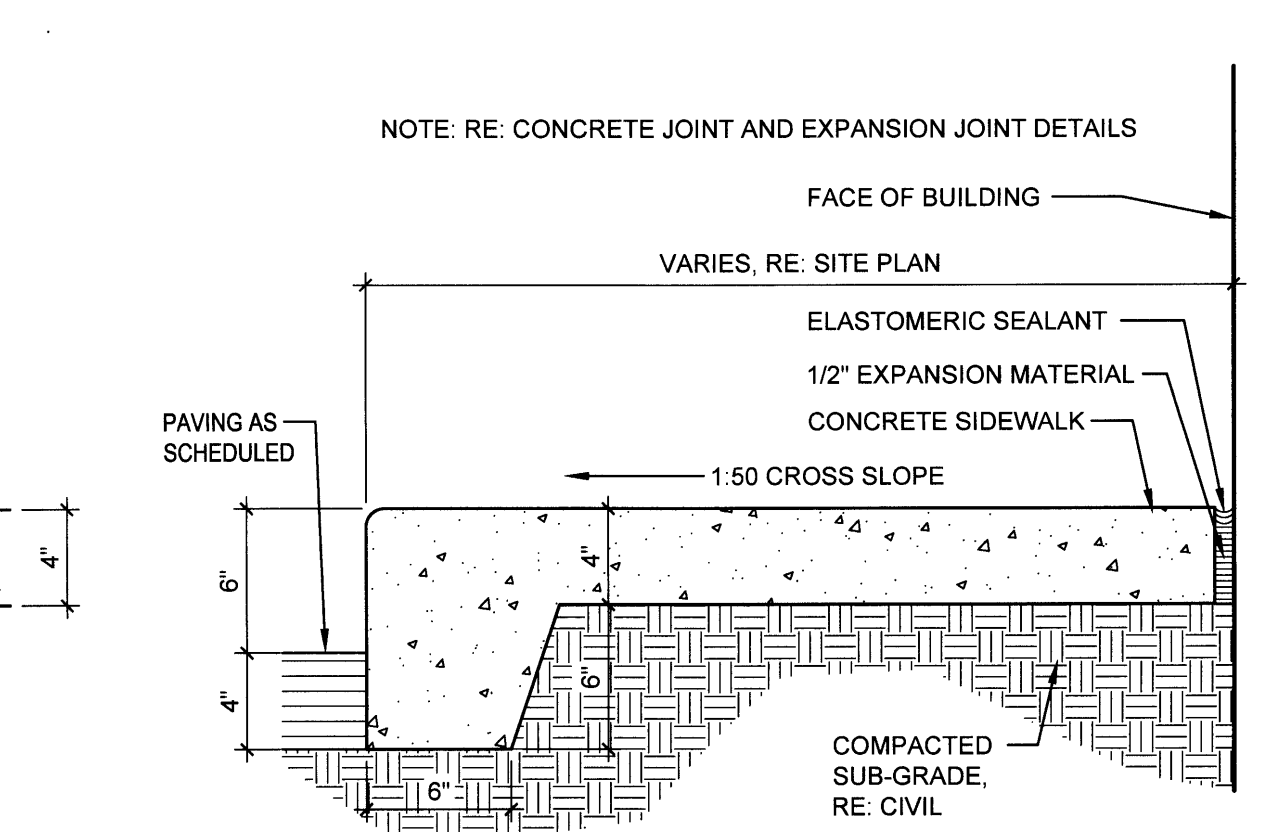
C3 A.D.A. PARKING SPACE PAVEMENT SIGNAGE
1" = 1'-0"



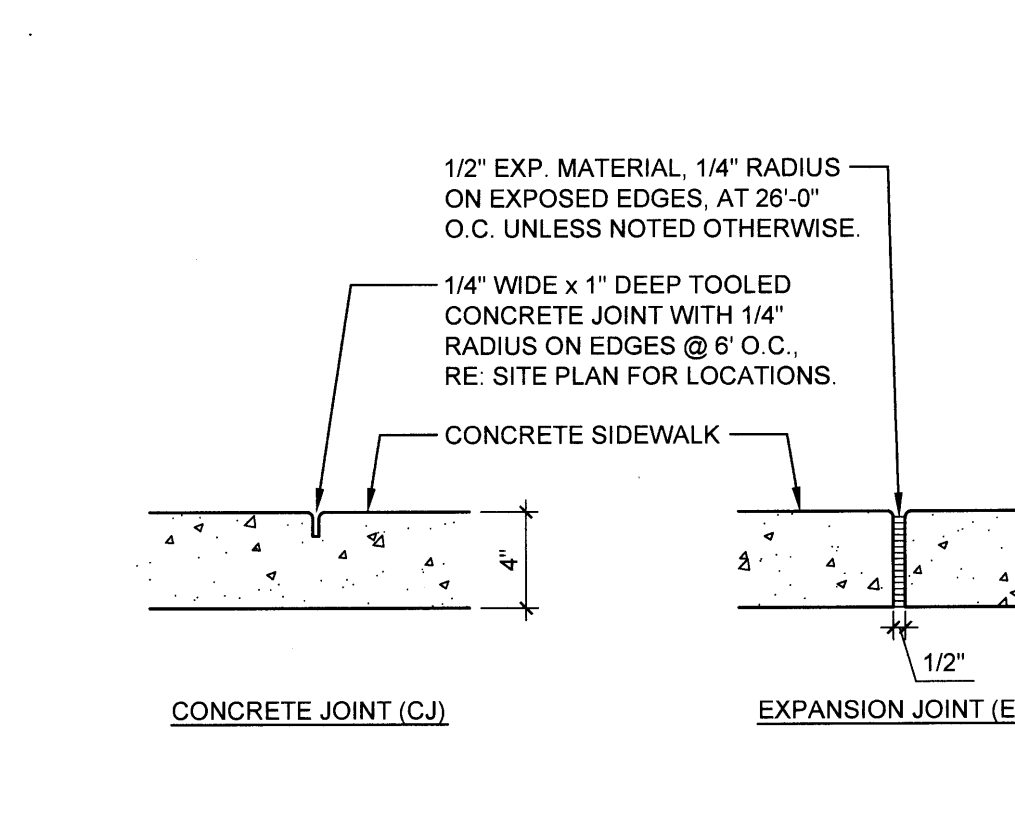
C2 BOLLARD - 6" DIA
1/2" = 1'-0"



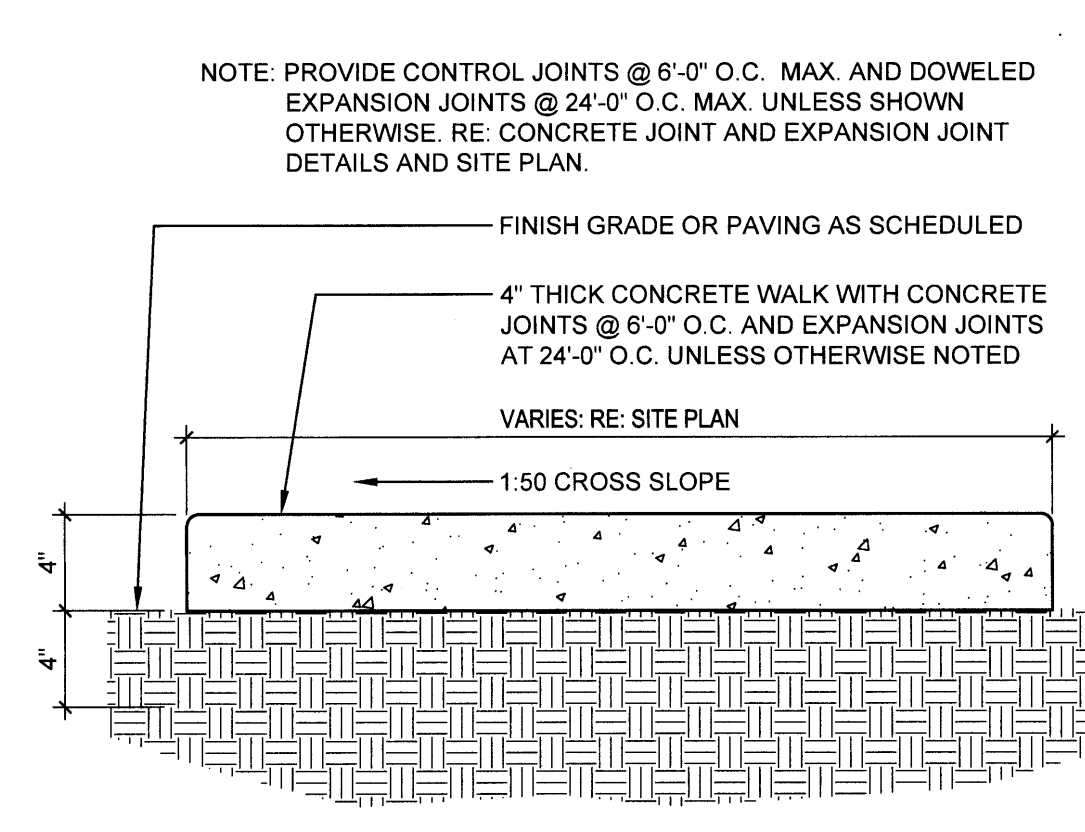
C1 TRASH ENCLOSURE GATE BOLLARD - 6" DIA
1/2" = 1'-0"



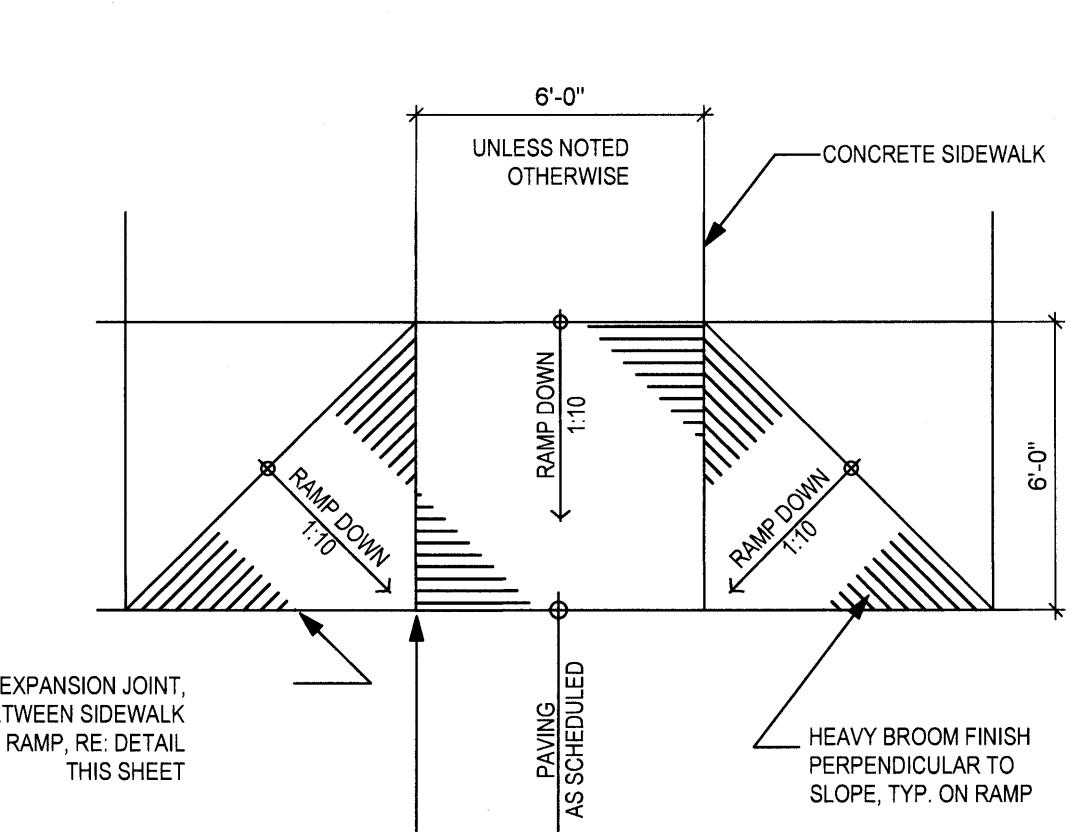
B5 BUILDING APRON
1 1/2" = 1'-0"



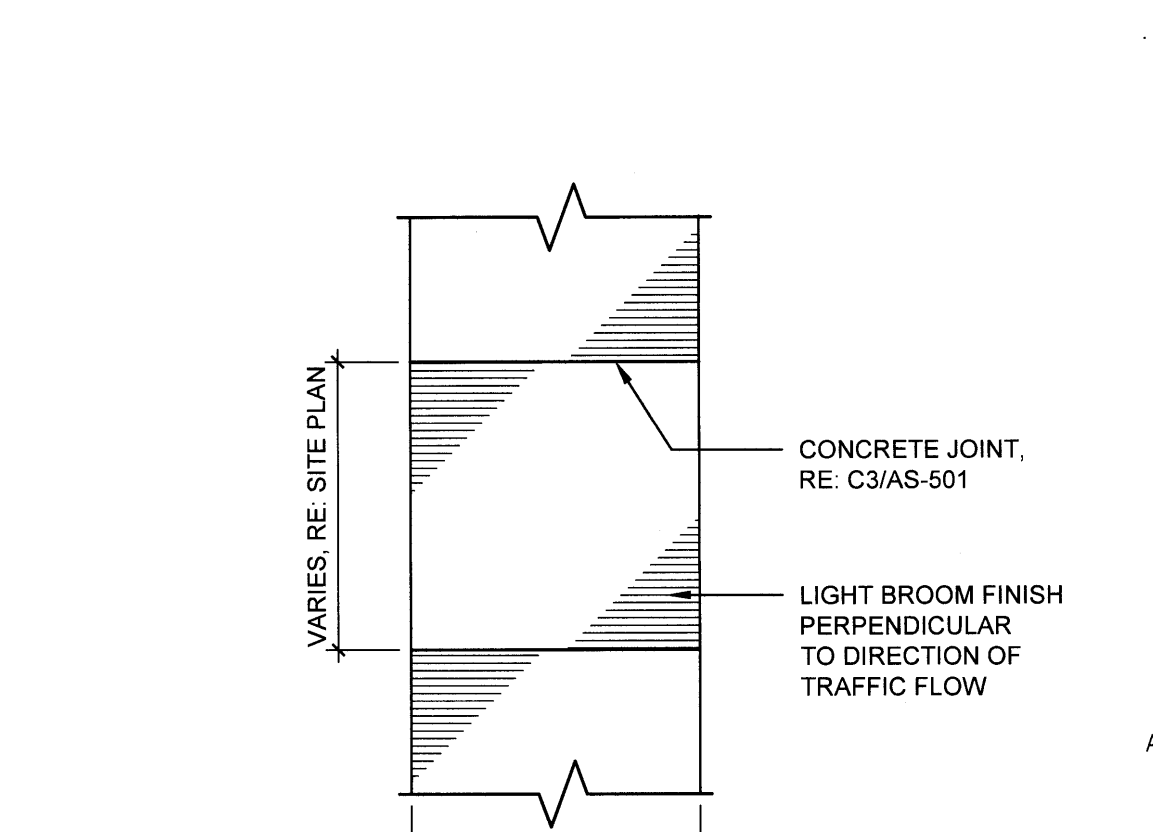
B4 CONCRETE JOINT and EXPANSION JOINT
1 1/2" = 1'-0"



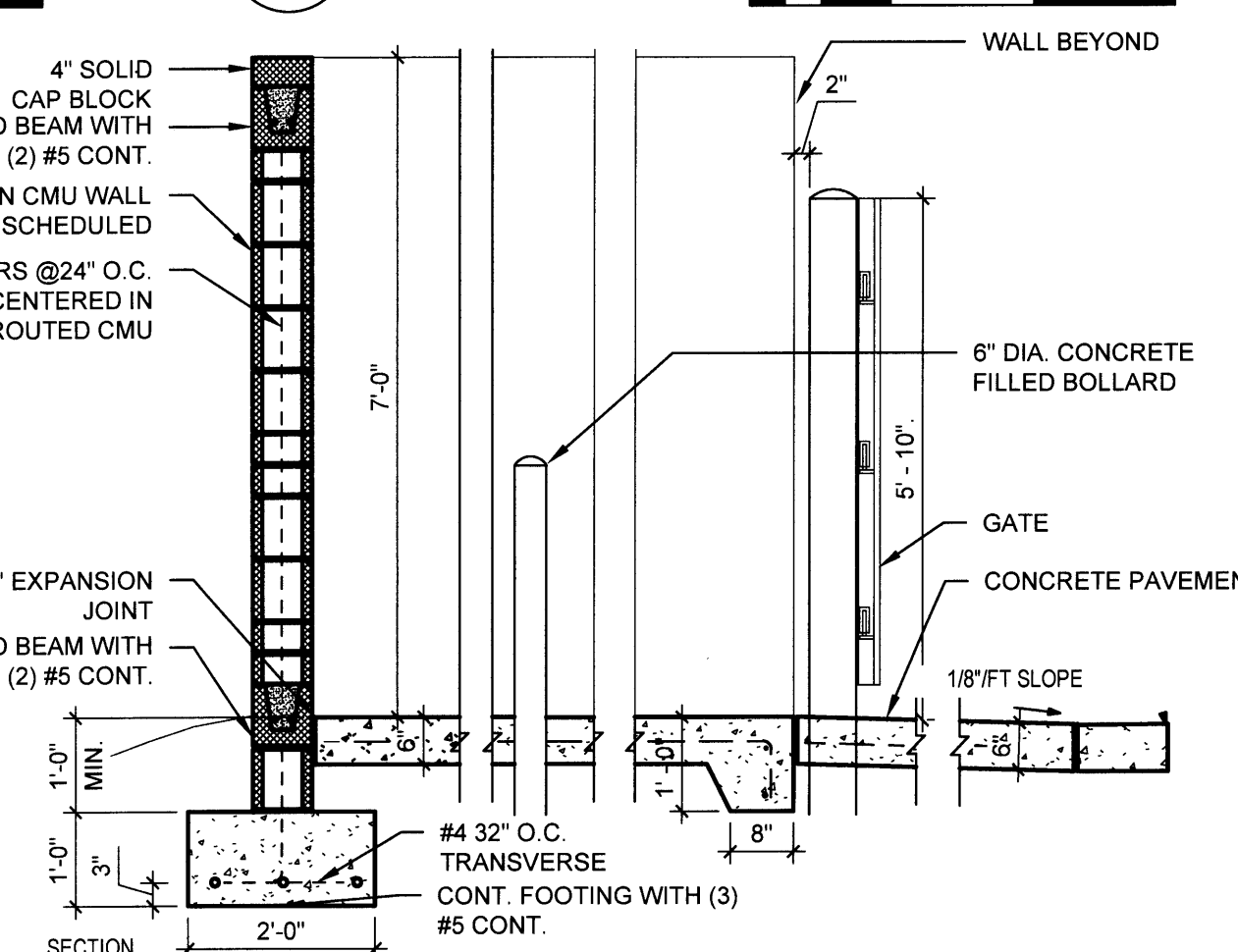
B3 CONCRETE SIDEWALK
1 1/2" = 1'-0"



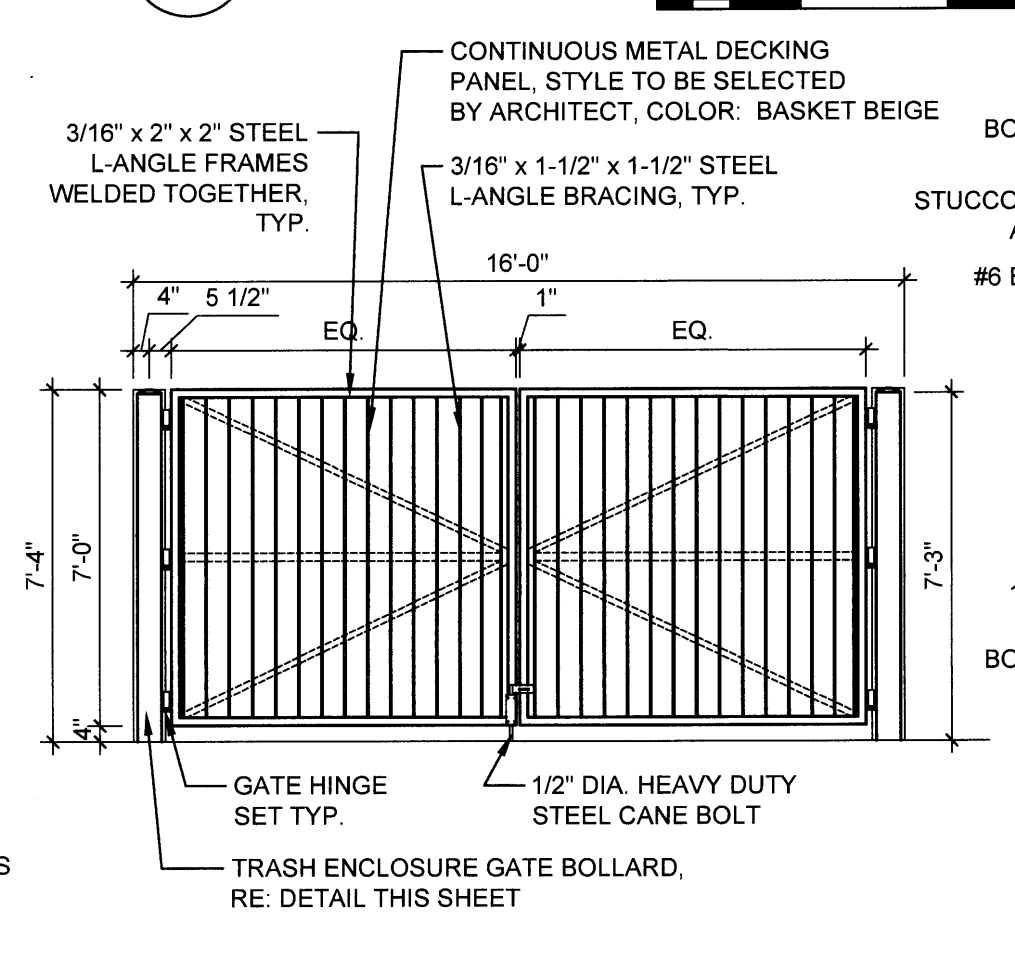
B2 ACCESSIBLE RAMP, TYPE B
1/4" = 1'-0"



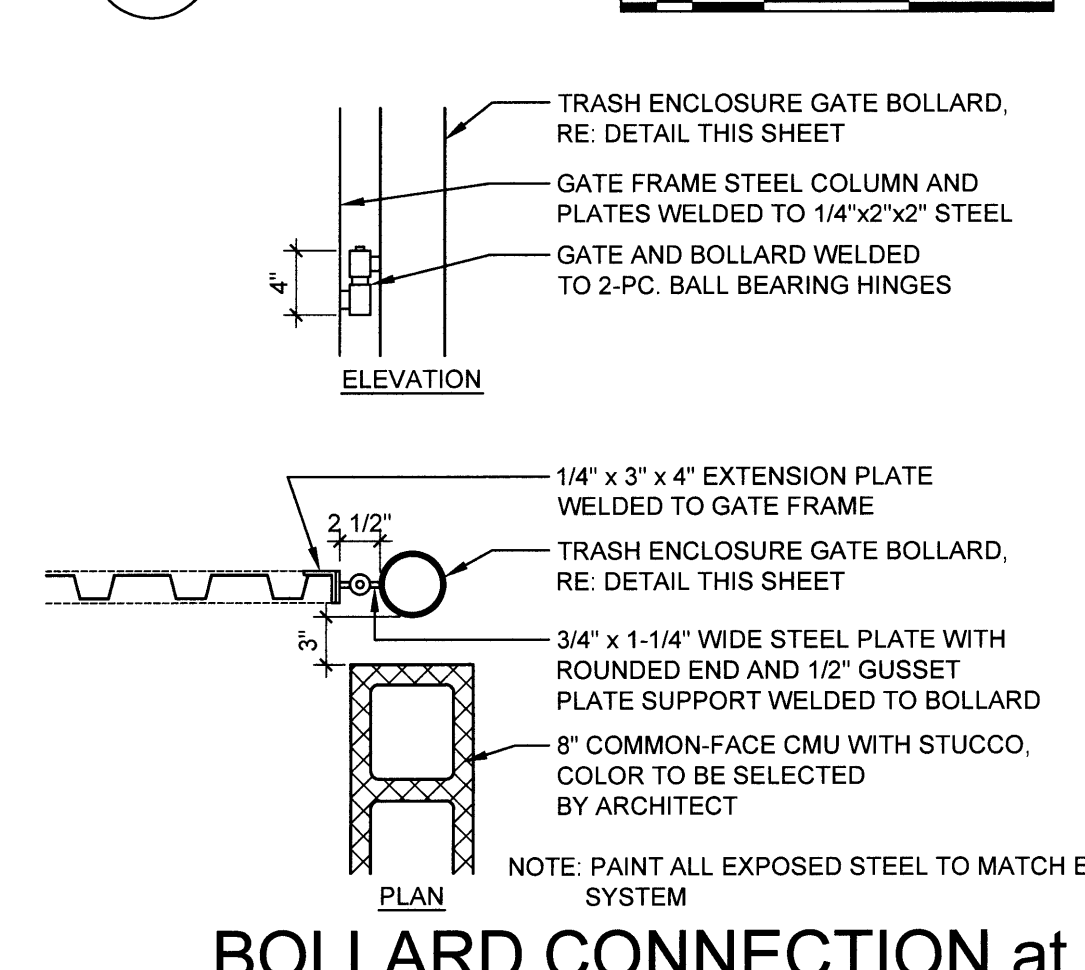
B1 CONCRETE WALK PLAN
1/4" = 1'-0"



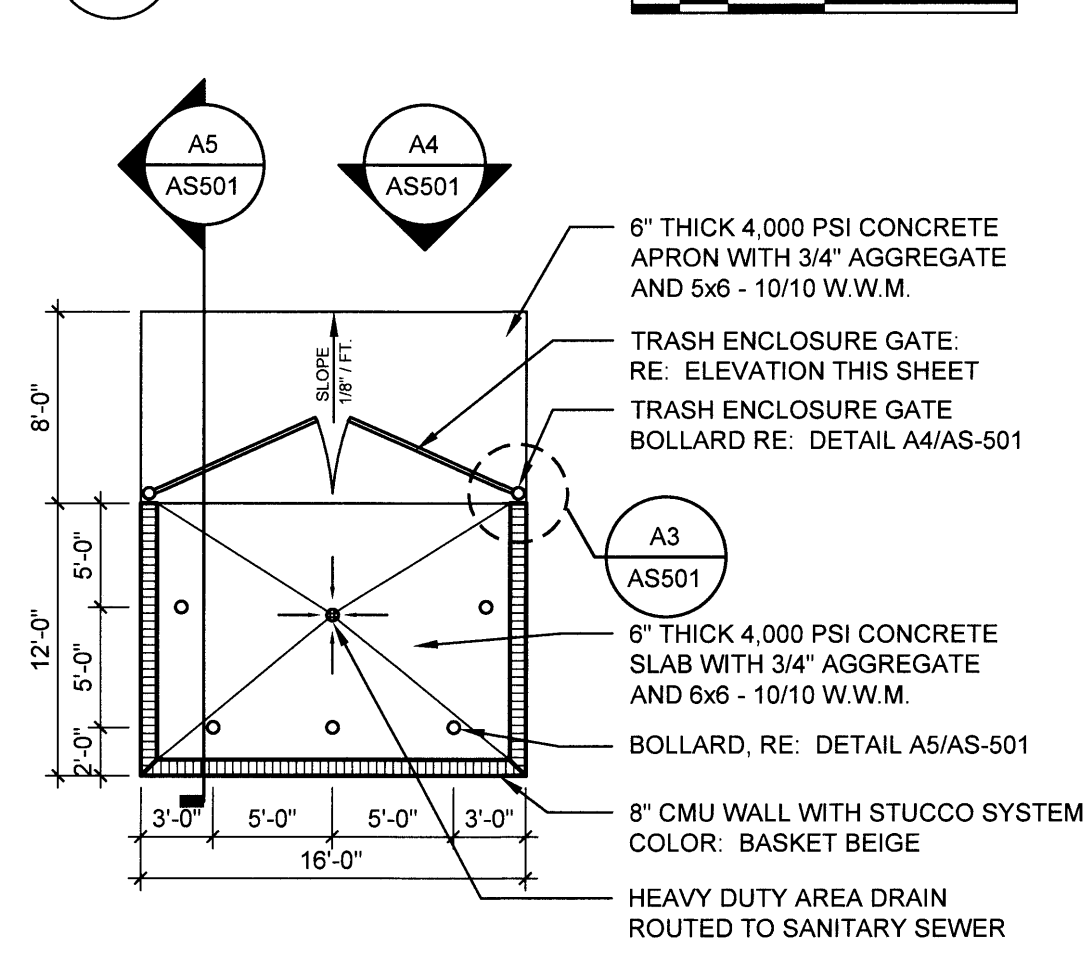
A5 REFUSE ENCLOSURE SECTION
1/2" = 1'-0"



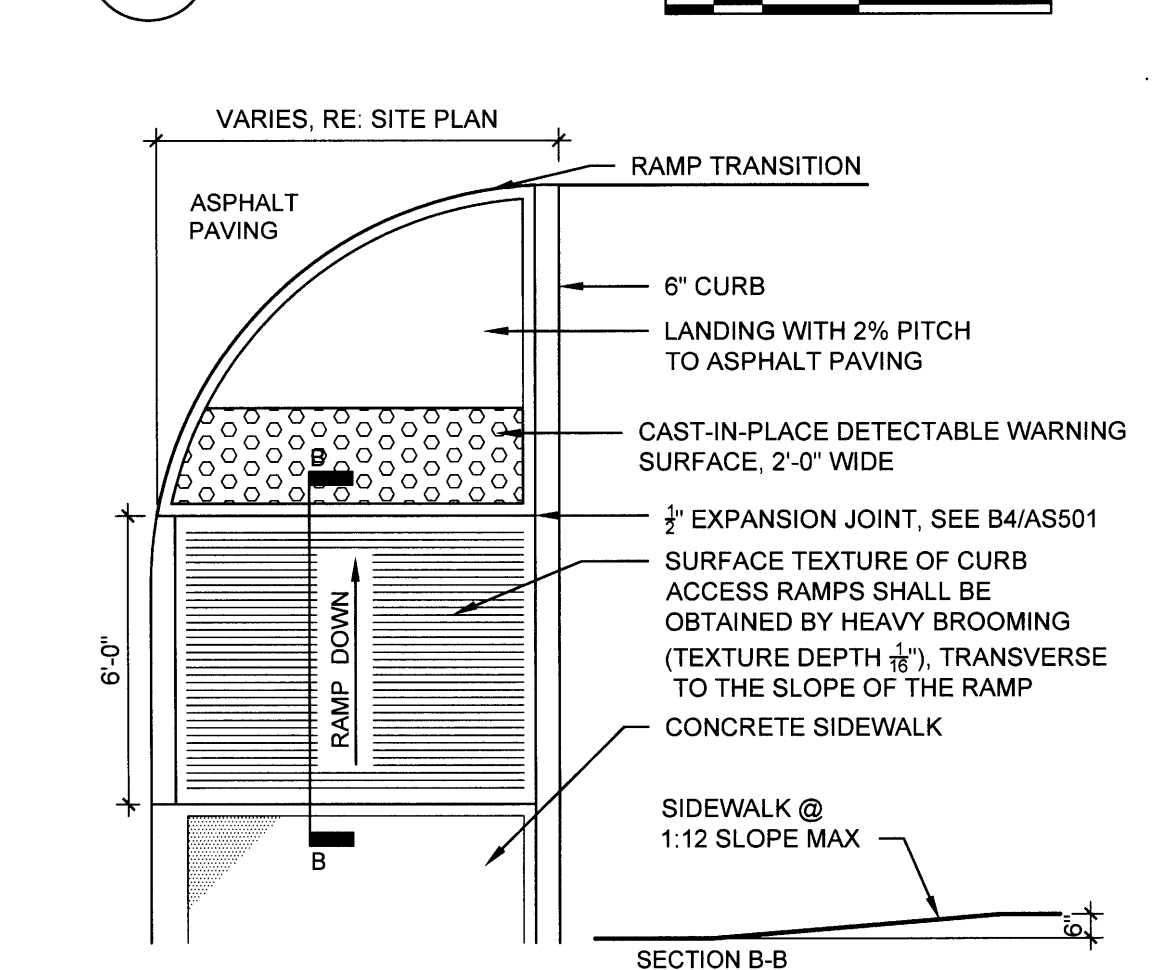
A4 TRASH ENCLOSURE GATE
1/4" = 1'-0"



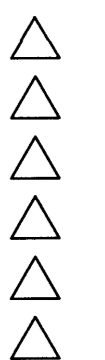
A3 BOLLARD CONNECTION at TRASH ENCLOSURE GATE
1" = 1'-0"



A2 TRASH ENCLOSURE PLAN
1/8" = 1'-0"

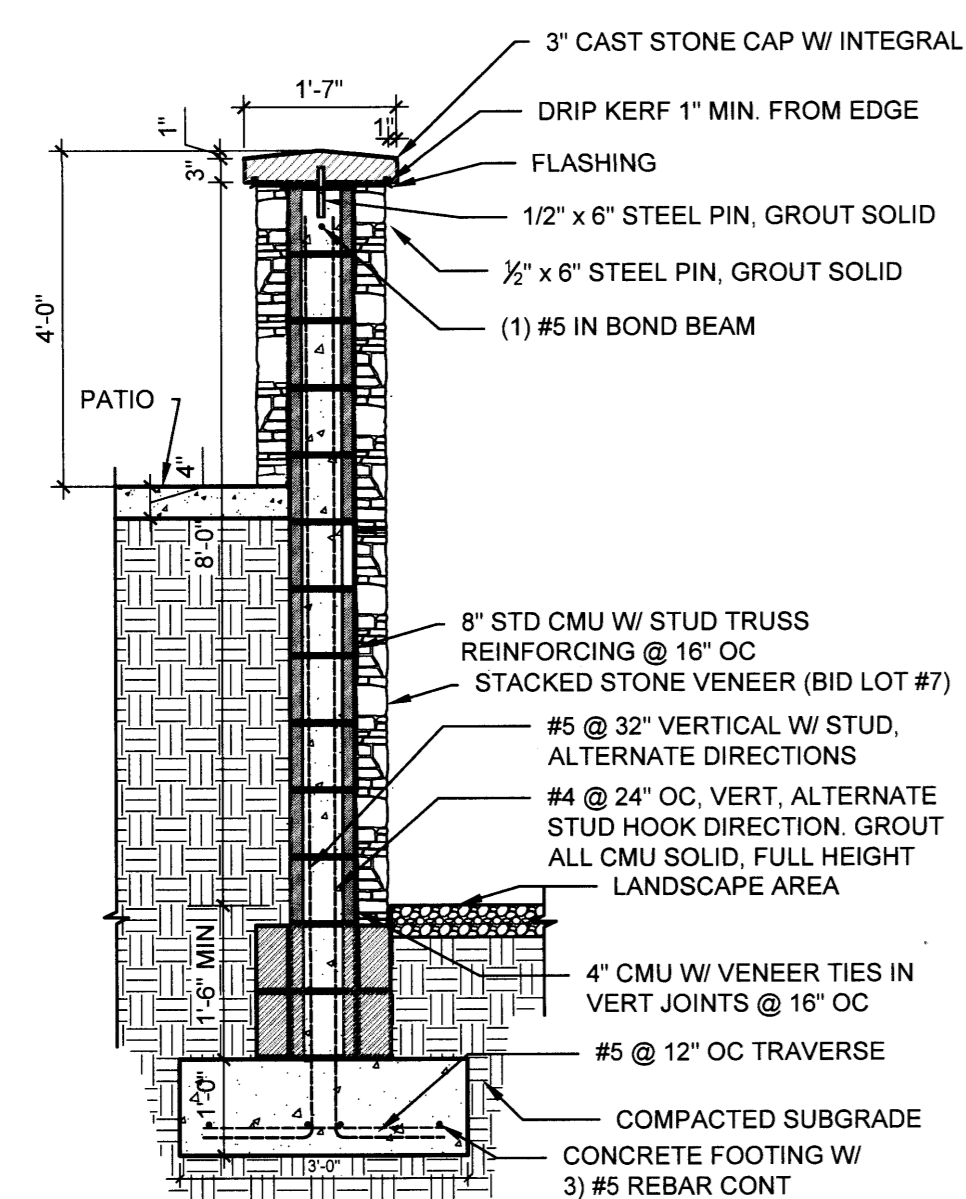


A1 ACCESSIBLE RAMP, TYPE A
1/4" = 1'-0"



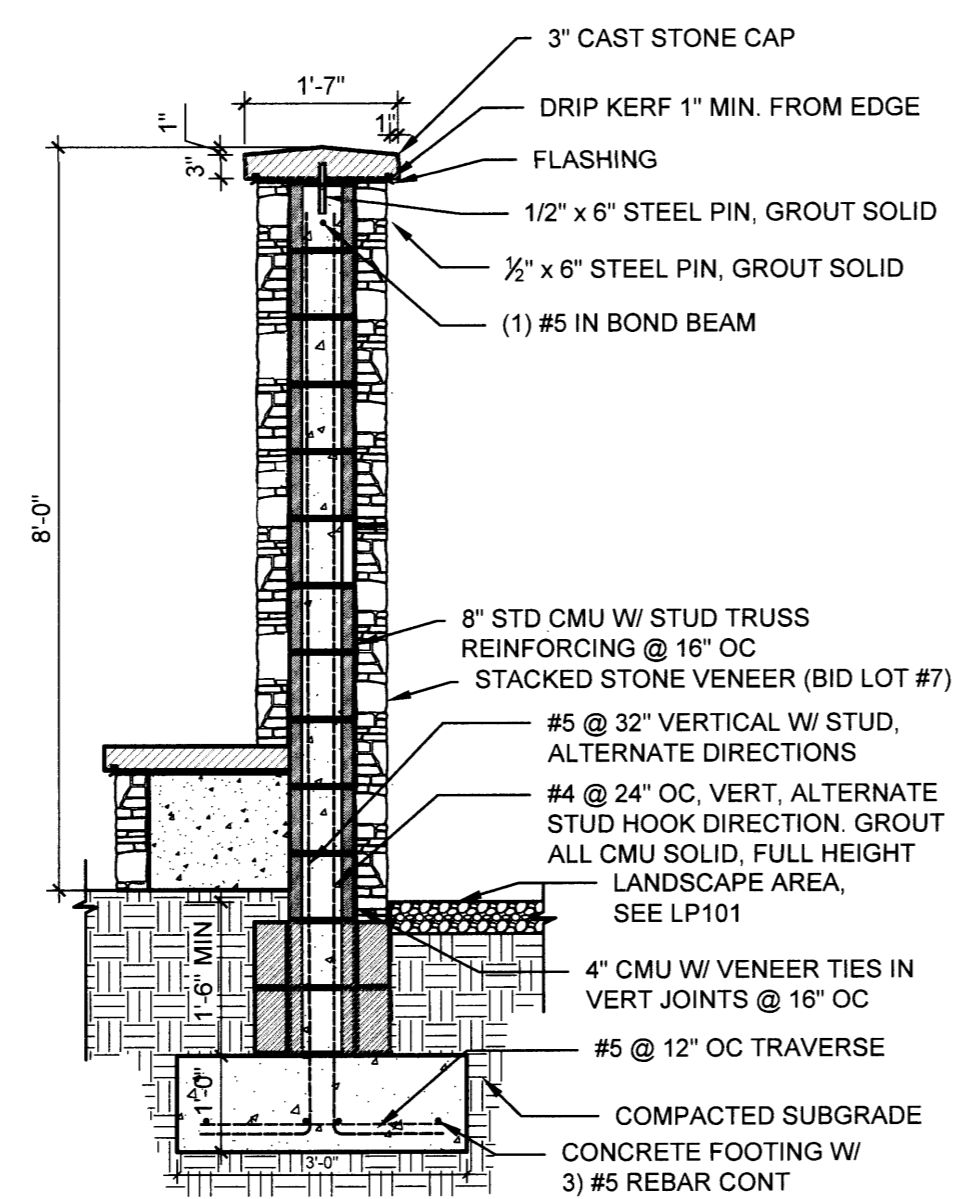
DRAWN BY	LI, AC
REVIEWED BY	CG
DATE	11/19/2015
PROJECT NO	15-0102

NOTE:
1. SUBMIT SHOP DRAWINGS FOR CAST STONE CAPS



A1 STONE WALL WITH CAP
1/2" = 1'-0"

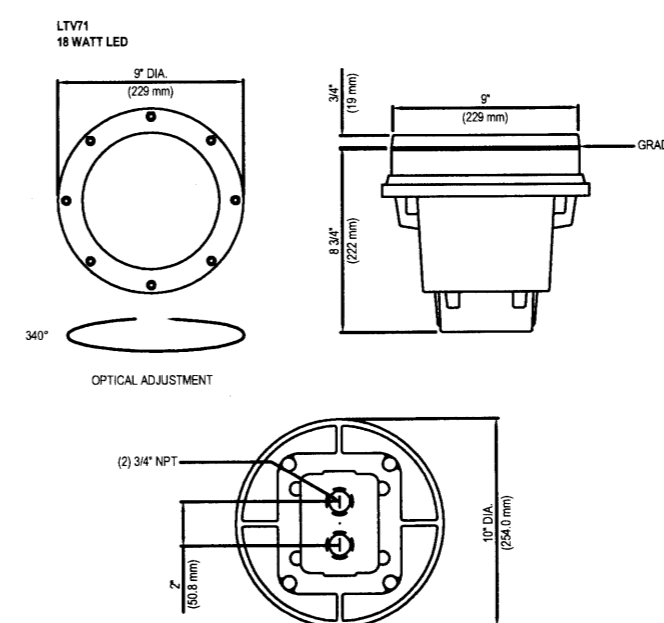
NOTE:
1. SUBMIT SHOP DRAWINGS FOR CAST STONE CAPS



A2 STONE WALL WITH SEATWALL
1/2" = 1'-0"

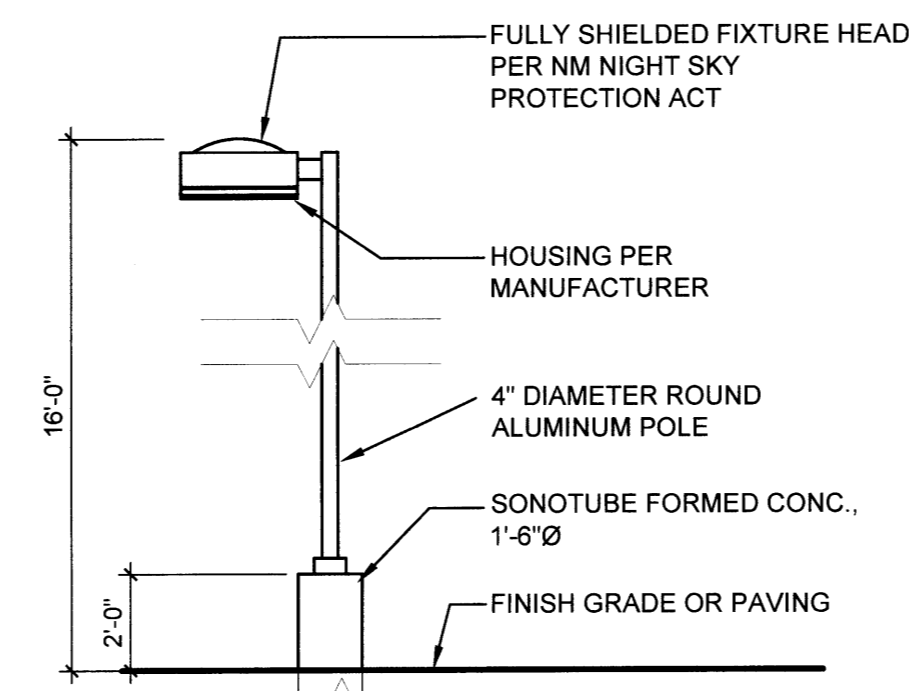


KIM LIGHTING
P.O. BOX 45585
CITY OF INDUSTRY, CA 91745-1788
1-425-968-5668
www.kimlighting.com

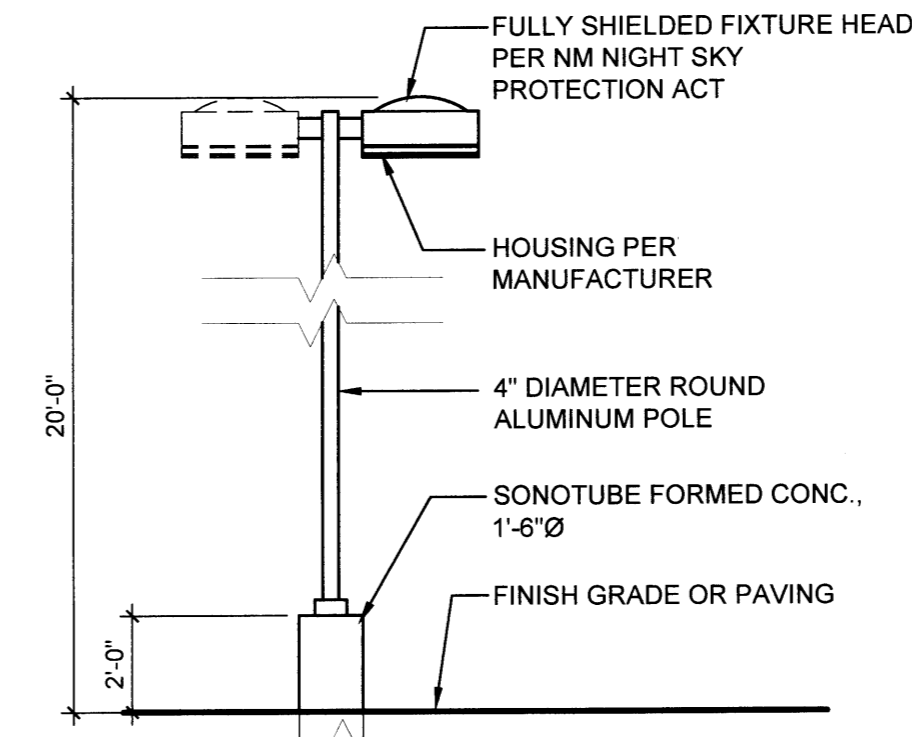


NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
2. SOURCE: (SCALE DRAWING)
3. CONTRACTOR NOTE FOR PRODUCT AND COMPANY INFORMATION VISIT WWW.CADDETAILS.COM/REFERENCE NUMBER 433103
COA NOTE: WATTAGE WILL NOT EXCEED 75 WATTS TO COMPLY WITH NEW MEXICO NIGHT SKY ORDINANCE

B4 LANDSCAPE UPLIGHT
NO SCALE



A3 LIGHT POLE ELEVATION
1/4" = 1'-0"



A4 LIGHT POLE ELEVATION
1/4" = 1'-0"

LANDSCAPE NOTES

- A. ALL LANDSCAPE IS EXISTING PER APPROVED BUILDING PERMIT UNLESS NOTED OTHERWISE.
- B. PLANTING AND IRRIGATION MAINTENANCE ON SITE AND WITHIN RIGHT OF WAY SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- C. DESIGN: THE EXISTING PLANTING DESIGN INCLUDES A DIVERSE PALETTE OF DESERT AND HIGH DESERT PLANTS THAT WILL COMPLEMENT THE ARCHITECTURE OF THE PROJECT. THE INTENT IS TO LANDSCAPE THIS MIXED-USE, URBAN ENVIRONMENT WITH DESERT AND HIGH DESERT PLANTS THAT REINFORCE A SENSE OF PLACE AND ARE APPROPRIATE TO ALBUQUERQUE'S CLIMATE.
 - C.A. GRASSES AND ACCENT PLANTS SUCH AS YUCCA, SOTOL AND PRICKLY PEAR CACTUS WILL BE USED IN HIGHLY VISIBLE AND APPROPRIATE LOCATIONS. THE USE OF REGIONALLY NATIVE TREES FOR STREET TREES, WHILE UNORTHODOX, WILL REINFORCE THE SENSE OF PLACE, BUFFER PEDESTRIANS FROM VEHICULAR AREAS AND PROVIDE A COMFORTABLE PEDESTRIAN SCALE TO THE STREETS.
- D. PLANTING AND IRRIGATION INSTALLATION DETAILS MET CITY OF ALBUQUERQUE REQUIREMENTS AND THE USDP REQUIREMENTS. EACH TREE SHALL HAVE A MINIMUM OF 36 SQUARE FEET OF PLANTING SPACE.
- E. THE EXISTING IRRIGATION SYSTEM SHALL BE RUN WITH A FULLY AUTOMATED IRRIGATION CONTROLLER. THE RUN TIME FOR THE VARIOUS ZONES SHALL BE APPROXIMATELY 45 MINUTES FOR THE DRIP ZONES. RUN TIME WILL BE ADJUSTED ACCORDING TO SEASON, LOCATION, AND PLANT PERFORMANCE. DRIP EMITTERS SHALL BE USED FOR ALL PLANT MATERIAL.
- F. MULCH: ALL PLANTING BEDS SHALL BE COVERED WITH MULCH. GRAVEL, BARK AND PECAN SHELL MULCHES WILL BE USED APPROPRIATELY TO ADD VISUAL INTEREST AND PROTECT SOIL MOISTURE. CONTRACTOR TO VERIFY EXISTING MULCH MEETS THE DESIGN REQUIREMENTS. ADDITIONAL MULCH TO BE ADDED WHEN REQUIRED.
- G. THERE IS NO HIGH WATER USE TURF USED ON THIS PROJECT.
- H. THE LANDSCAPE DESIGN SHALL COMPLY WITH THE INTENT OF THE CITY OF ALBUQUERQUE WATER CONSERVATION, LANDSCAPING AND WATER WASTE ORDINANCE.
- I. SOIL PREPARATION AND AERATION WITHIN ROW IS REQUIRED TO DE-COMPACT LANDSCAPE ZONE PRIOR TO PLANTING.
- J. PASSIVE WATER HARVESTING, SUCH AS HARVESTING OF STORM WATER SURFACE RUNOFF AND ROOF RUNOFF, SHALL BE UTILIZED WHERE FEASIBLE AND CAPTURED IN SWALES.
- K. THE EXISTING LANDSCAPE DESIGN REQUIRED A PERMANENT, FULLY AUTOMATIC IRRIGATION SYSTEM TO SUPPORT THE PLANT MATERIAL.
- L. THE EXISTING IRRIGATION SYSTEM WAS INSTALLED TO CONNECTED TO CITY WATER. THE POINT OF CONNECTION CONSISTED OF A WATER METER, BACKFLOW PREVENTER AND MASTERVALVE.
- M. THE EXISTING IRRIGATION SYSTEM WAS DESIGNED TO RUN WITH FULLY AUTOMATED IRRIGATION CONTROLLER. RUN TIME WILL BE ADJUSTED ACCORDING TO PLANT MATURITY, SEASON, LOCATION, AND PLANT PERFORMANCE.
- N. REMOVE SPRAY IRRIGATION FOR PLANTS BEING REMOVED.
- O. CONTRACTOR TO RECONFIGURE AND SEPARATE IRRIGATION SYSTEM FROM EXISTING TARGET PROPERTY.
- P. LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS.

LANDSCAPE CALCULATIONS

	ENTIRE SITE	PROPOSED SITE
SITE AREA (AFTER R.O.W. DEDICATION):	7.3572 AC	0.6398 AC
OPEN SPACE REQUIREMENT (10% OF THE SITE):	32,048 SF	2,787 SF
OPEN SPACE PROVIDED:	41,036 SF	4,429 SF
LANDSCAPE REQUIREMENT (40% OF OPEN SPACE):	16,414 SF	1,772 SF
LANDSCAPE AREA PROVIDED:	40,131 SF	4,182 SF
*NET LOT AREA WAS NOT USED IN THESE CALCULATIONS.		
TOTAL SHADE TREES (2/3 OF TREES):	79	6
TOTAL SIGNATURE TREES (1/3 OF TREES):	38	3

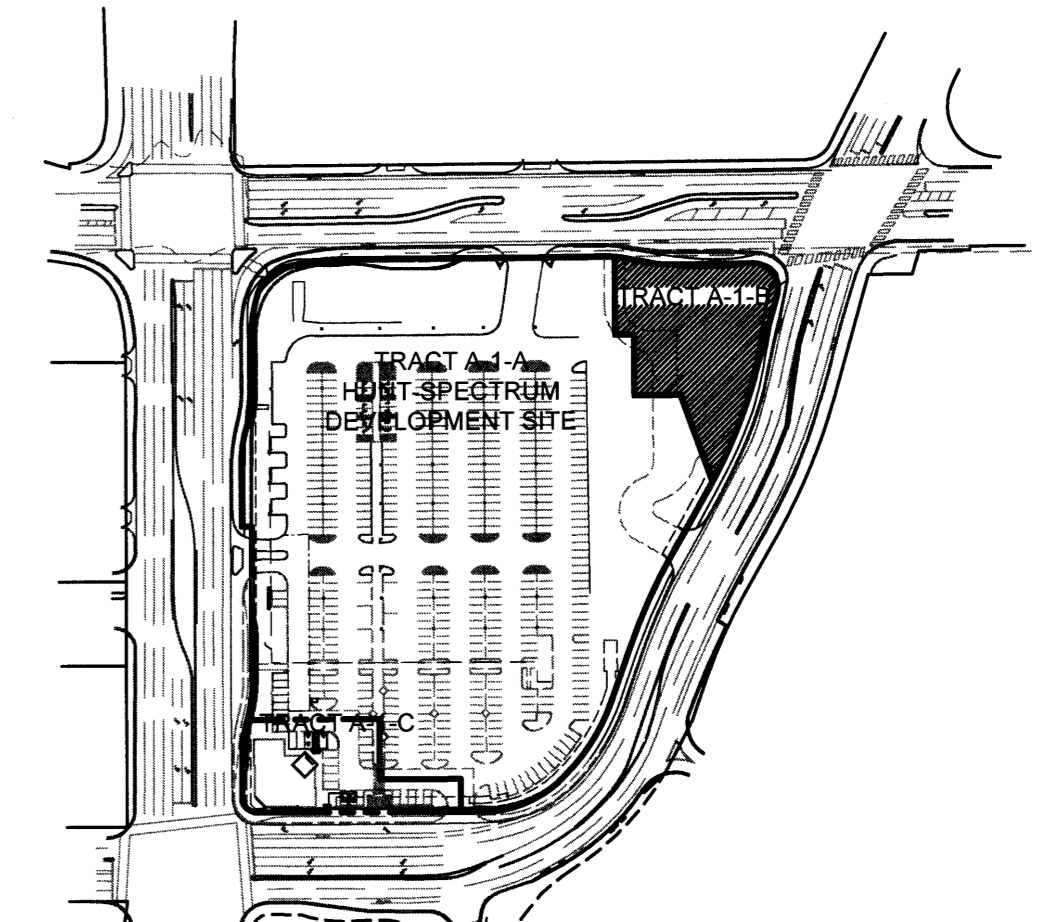
OPEN SPACE CALCULATIONS DO NOT INCLUDE REQUIRED LANDSCAPE STRIPS ALONG THE STREET OR WALKWAYS EXCEPT ANY PORTION OF A WALKWAY THAT IS WIDER THAN 10 FEET.

A MINIMUM OF 75% OF LANDSCAPE AREAS AND 60%-75% OF PLANTING STRIPS ARE COVERED WITH LIVE VEGETATIVE MATERIALS.

A MINIMUM OF 10% OF LANDSCAPE AREAS HAVE FLOWERING PLANTS OR SHRUBS.

ROCK MULCH HAS BEEN LIMITED TO LESS THAN 5% OF ANY OPEN SPACE AREA AND USED ONLY WHERE NECESSARY AROUND DRAINAGE INLETS. ALL OTHER MULCH AREAS UTILIZE ORGANIC PECAN SHELL MULCH.

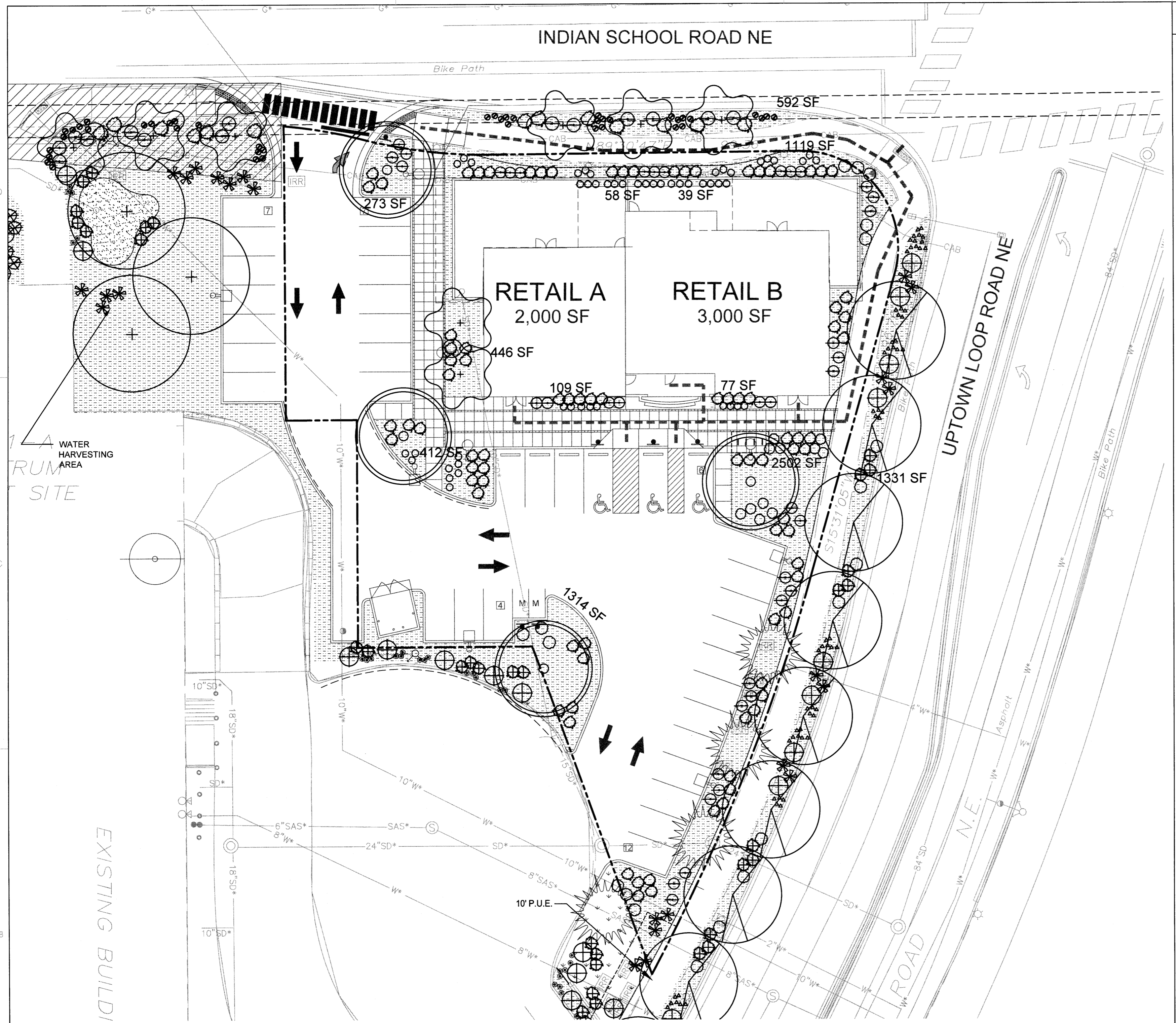
KEYPLAN



PLANTING LEGEND

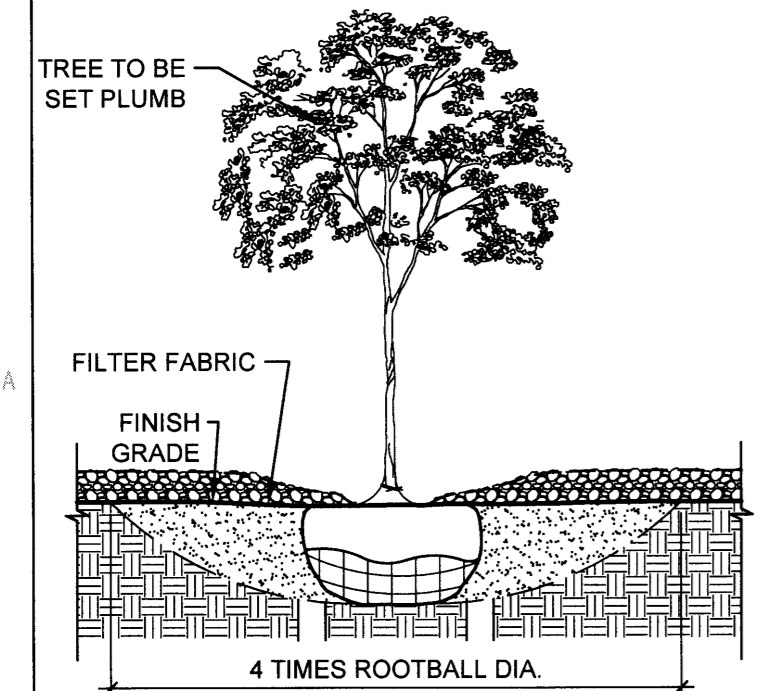
TREES			
SYM	QTY	BOTANICAL NAME/ COMMON NAME	INSTALLATION SIZE MATURE SIZE (HXW)/ WATER USE
☀	13	Platanus chinensis/ CHINESE PISTACHE	3" Cal. 35'x30'/ Medium
☀	14	Cercis raniformis/ WESTERN REDBUD	2.5" Cal./B&B Multi-trunked 25'x18'/ Low
☀	28	Chilopsis linearis 'Art's Seedless/ DESERT WILLOW	48" Box/ Multi-trunked 25'x35'/ Low
☀	3	Populus deltoides wislizenii/ RIO GRANDE VALLEY COTTONWOOD	2.5" Cal./B&B 60'x60'/ High
☀	21	Quercus buckleyi/ TEXAS RED OAK	2.5" Cal./B&B 25'x25'/ Medium
☀	15	Quercus muhlenbergia/ CHINQUAPIN OAK	2.5" Cal./B&B 30'x30'/ Medium
☀	10	Tilia cordata LITTLELEAF LINDEN	2.5" Cal./B&B 35'x25'/ Medium
☀	19	Juniperus chinensis 'Spartan' SPARTAN JUNIPER	6" High/B&B 15'x8'/ Low
☀	23	Pinus strobus/formis/ SOUTHWESTERN WHITE PINE	6" High/B&B 60'x20'/ Low
SHRUBS			
SYM	QTY	BOTANICAL NAME/ COMMON NAME	INSTALLATION SIZE MATURE SIZE (HXW)/ WATER USE
⊕	22	Encameria laricifolia/ TURPENTINE BUSH	1 Gal. Cont. 36"x36'/ Low
⊕	191	Baccharis x 'Starn' THOMPSON BROOM	1 Gal. Cont. 36"x42'/ Low
⊕	12	Caryopteris clandonensis 'Dark Knight' DARK NIGHT BLUE MIST SPIREA	1 Gal. Cont. 48"x48'/ Medium
⊕	55	Mahonia aquifolium 'Compactum' COMPACT MAHONIA	1 Gal. Cont. 24"x48'/ Medium
⊕	75	Rhus aromatica 'Gro-low' GRO-LO FRAGRANT SUMAC	1 Gal. Cont. 24"x27'/ Medium
⊕	23	Salvia 'Red Velvet' RED VELVET SAGE	1 Gal. Cont. 30"x36'/ Low
⊕	153	Callirhoe involucrata/ WINECUPS	1 Gal. Cont. 18"x18'/ Low
⊕	52	Ceratostigma plumbaginoides/ DWARF PLUMBAGO	1 Gal. Cont. 12"x18'/ Medium
⊕	232	Hymenoxys acaulis/ ANGELITA DAISY	1 Gal. Cont. 12"x12'/ Low
⊕	131	Lavandula angustifolia 'Hidcote Superior' HIDCOTE SUPERIOR LAVENDER	1 Gal. Cont. 16"x18'/ Medium
⊕	80	Mrialsia multiflora/ DESERT FOUR-O'CLOCK	1 Gal. Cont. 18"x30'/ Medium
⊕	32	Teucrium chamaedrys/ TRAILING GERMANDER	1 Gal. Cont. 12"x24'/ Medium
GRASSES			
SYM	QTY	BOTANICAL NAME/ COMMON NAME	INSTALLATION SIZE MATURE SIZE (HXW)/ WATER USE
☼	139	Festuca idahoensis 'Siskiyou Blue' SISKIYOU BLUE FESCUE	1 Gal. Cont. 18"x15'/ Medium
☼	230	Muhlenbergia capillaris 'Regal Mist' REGAL MIST MUHLENBERGIA	1 Gal. Cont. 36"x42'/ Medium
☼	109	Muhlenbergia rigens/ DEER GRASS	1 Gal. Cont. 42"x48'/ medium
☼	79	Nolina microcarpa/ BEARGRASS	1 Gal. Cont. 36"x48'/ medium
☼	50	Miscanthus sinensis 'Gracillimus' MAIDEN GRASS	1 Gal. Cont. 60"x48'/ medium
ACCENTS			
SYM	QTY	BOTANICAL NAME/ COMMON NAME	INSTALLATION SIZE MATURE SIZE (HXW)/ WATER USE
☼	18	Dasylirion wheeleri/ SOTOL	48"x60'/ Low
☼	89	Hesperaloe parviflora/ RED HESPERALOE	1 Gal. Cont. 48"x48'/ Medium
☼	81	Opuntia basilaris/ BEAVERTAIL PRICKLY PEAR	1 Gal. Cont. 12"x48'/ Low
☼	23	Yucca glauca/ Soapweed	1 Gal. Cont. 36"x60'/ Low
MULCHES			
SYM	DESCRIPTION		
⊞	3/4" SANTA FE BROWN ROCK MULCH. INSTALL AT 3" DEPTH OVER BROWN FILTER FABRIC.		
⊞	ORGANIC PECAN SHELL MULCH. INSTALL AT 3" DEPTH OVER BROWN FILTER FABRIC		
⊞	IRRIGATED NATIVE SEED. PIONEER'S PRIDE SEED MIX FROM CURTIS AND CURTIS, INC. RATE: 1 POUND PER 1000 SF.		

NOTE: PLANTING PLAN PER APPROVED LANDSCAPE PLAN PHASE II (2011)



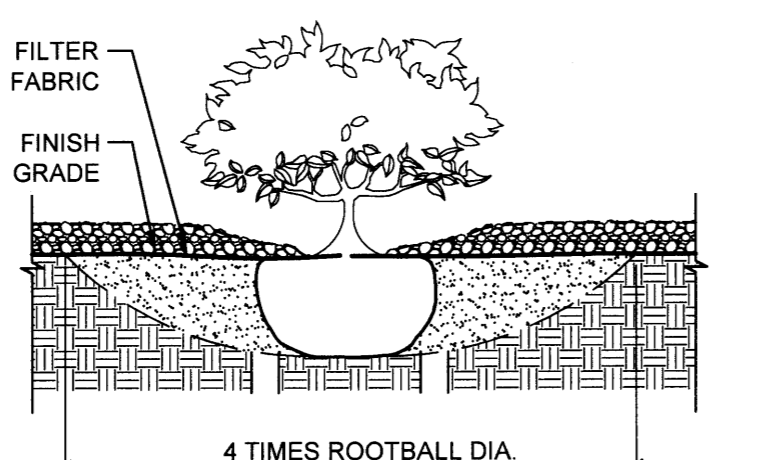
LANDSCAPE PLAN

- NOTES:
1. PRIOR TO BACKFILLING, ALL MATERIAL SUCH AS CONTAINERS, WIRE, BURLAP, AND ROPE SHALL BE REMOVED, WHILE STILL PROTECTING THE INTEGRITY OF THE ROOTBALL
 2. BOTTOM OF TREE PITS TO BE COMPACTED TO PREVENT SETTLING

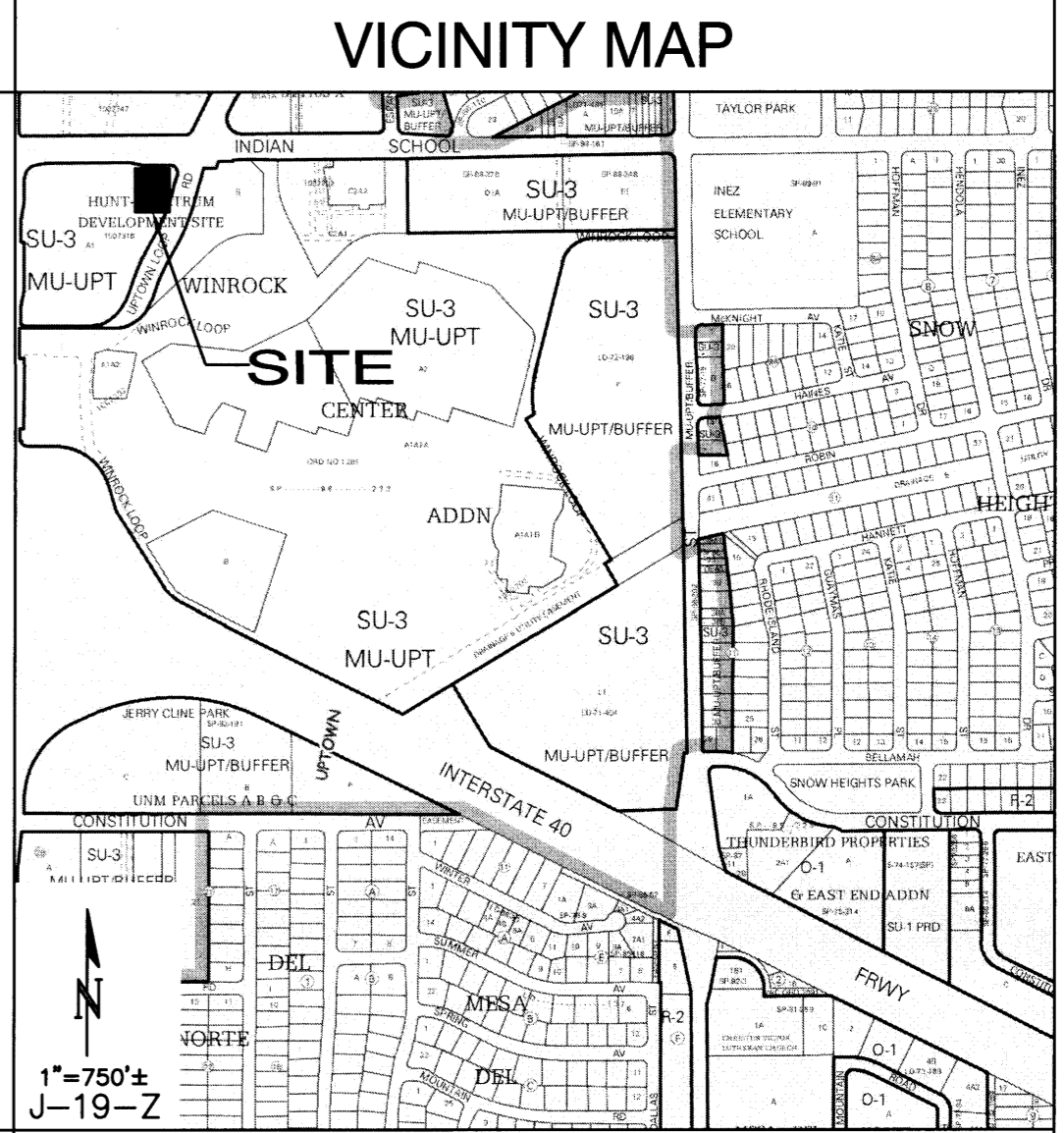


A1 TREE
3/4" = 1'-0"

- NOTES:
1. PRIOR TO BACKFILLING, ALL MATERIAL SUCH AS CONTAINERS, WIRE, BURLAP, AND ROPE SHALL BE REMOVED, WHILE STILL PROTECTING THE INTEGRITY OF THE ROOTBALL
 2. BOTTOM OF SHRUB PITS TO BE COMPACTED TO PREVENT SETTLING



B1 SHRUB
3/4" = 1'-0"



PROJECT DATA

PROPERTY: THE SITE IS AN UNDEVELOPED COMMERCIAL PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP J-19. THE SITE IS BOUND TO THE EAST BY UPTOWN LOOP RD. NE, TO THE NORTH BY INDIAN SCHOOL BLVD. NE AND TO THE SOUTH AND WEST BY DEVELOPED COMMERCIAL PROPERTIES. SITE AREA: 0.68 ACRES. PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE A 5000 SF COMMERCIAL BUILDING WITH ASSOCIATED ASPHALT PAVED ACCESS AND PARKING, PEDESTRIAN WALKS, DRAINAGE IMPROVEMENTS, AND LANDSCAPING. LEGAL: TRACT A-1-B HUNT - SPECTRUM DEVELOPMENT SITE. BENCHMARK: VERTICAL DATUM IS BASED UPON THE ALBUQUERQUE CONTROL SURVEY BENCHMARK 20-H18", ELEVATION = 5283.22 (NAVD 1988). OFF-SITE: NO OFF-SITE DRAINAGE AFFECTS THIS PROPERTY. FLOOD HAZARD: THE SUBJECT PROPERTY (AS SHOWN HEREON) APPEARS TO LIE WITHIN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE 0.2% ANNUAL CHANCE FLOODPLAIN) IN ACCORDANCE WITH THE NATIONAL FLOOD INSURANCE PROGRAM RATE MAP NO. 35001C0352 H, EFFECTIVE DATE 8-16-2012. DRAINAGE PLAN CONCEPT: AN EXISTING PRIVATE STORM DRAIN SYSTEM WILL BE MODIFIED (INLET LOCATIONS) TO CONTINUE TO COLLECT ON-SITE RUNOFF AND ROUTE TO THE EXISTING STORM DRAIN INLET LOCATED ON THE ADJACENT TARGET PROPERTY. FREE DISCHARGE IS APPROPRIATE FOR THE SITE AS DOWNSTREAM CAPACITY IS AVAILABLE. PRIOR TO ENTERING THE STORM DRAIN SYSTEM, IMPERVIOUS AREAS WILL BE ROUTED THROUGH FIRST FLUSH RETENTION PONDS.

ENGINEER: FRED C. ARFMAN, P.E., NMPE 7322 ISAACSON & ARFMAN, PA 128 MONROE NE, 87111 TELEPHONE: (505) 268-8828 SURVEYOR: RUSS P. HUGG, NMPS 9750 SURV-TEK CONSULTING SURVEYORS 9384 VALLEY VIEW DRIVE, 87114 TELEPHONE: (505) 897-3366

LEGEND

- PROPOSED SPOT ELEVATION
PROPOSED CONTOUR
PROPOSED PUBLIC STORM DRAIN
FLOW ARROW
FIRST FLUSH RETENTION (DEPRESSED LANDSCAPING)

FIRST FLUSH RETENTION

STORMWATER CONTROL MEASURES ARE REQUIRED TO PROVIDE MANAGEMENT OF "FIRST FLUSH" (DEFINED AS THE 90TH PERCENTILE STORM EVENT OR 0.34" [0.44" LESS 0.1"] FOR INITIAL ABSTRACTION) OF STORMWATER WHICH DISCHARGES DIRECTLY TO A PUBLIC STORM DRAINAGE SYSTEM). THE ESTIMATED PONDING VOLUME REQUIRED IS 0.34" * TYPE 'D' AREA: 0.34/12 * (0.68 AC * 85%) * 43560 = 713 CF. THERE WILL BE "FIRST FLUSH" RETENTION BASIN AREAS THROUGHOUT THE SITE (HATCHED AREAS). STORM WATER FROM THE IMPERVIOUS AREAS SHALL BE DIRECTED TO THESE BASINS VIA CURB OPENINGS (SEE DETAIL THIS SHEET). THE "FIRST FLUSH" BASIN VOLUMES SHALL BE ANALYZED AND SIZED AS PART OF THE BUILDING PERMIT PLANS SUBMITTAL. CURB OPENING LOCATIONS ARE SHOWN CONCEPTUALLY AND SHALL BE LOCATED AND SIZED WITH FINAL DESIGN.

CALCULATIONS

CALCULATIONS: 2136 - Uptown Commercial : November 12, 2015 by BJB

Based on Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol 2, dated Jan., 1993

ON-SITE CALCULATIONS: 100-YEAR, 6-HOUR STORM

AREA OF SITE: 29664.6484 SF = 0.68

HISTORIC FLOWS:

Table with columns: Area, Treatment S, %, Excess Precip. Values for Areas A, B, C, D and Total Area.

DEVELOPED FLOWS:

Table with columns: Area, Treatment S, %, Excess Precip. Values for Areas A, B, C, D and Total Area.

On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)

Weighted E = (EA*AA + EB*AB + EC*AC + ED*AD) / (AA + AB + AC + AD)

Historic E 1.29 in. Developed E 2.18 in.

On-Site Volume of Runoff: V360 = E^3 A / 12

Historic V360 3189 CF Developed V360 5392 CF

On-Site Peak Discharge Rate: Qp = QpA*AA + QpB*AB + QpC*AC + QpD*AD / 43,560

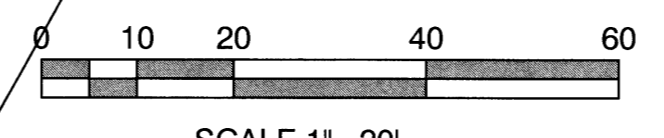
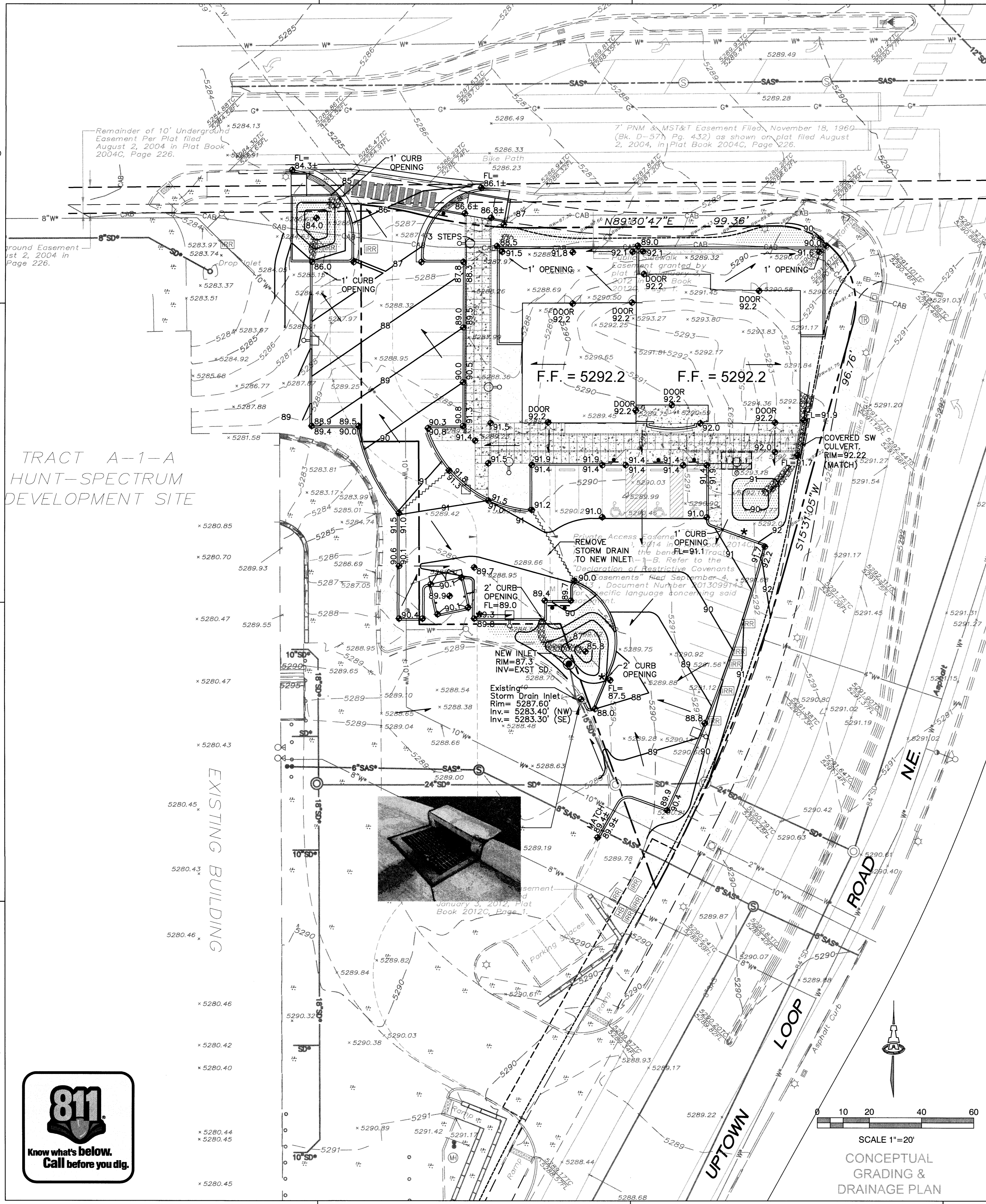
For Precipitation Zo 3

Table with columns: QpA, QpB, QpC, QpD, Historic Qp, Developed Qp. Values: 1.87, 2.60, 3.45, 5.02, 2.3 CFS, 3.2 CFS.

S.O.19 : NOTICE TO CONTRACTORS

- 1 AN EXCAVATION / CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
2 ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #8.
3 TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (CALL '811') FOR LOCATION OF EXISTING UTILITIES.
4 PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5 BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC / STREET USE.
6 MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7 WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

Table with columns: APPROVAL, NAME, DATE, INSPECTOR.



CONCEPTUAL GRADING & DRAINAGE PLAN



GENERAL NOTES

- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- CONTRACTOR SHALL NOT USE VIBRATORY COMPACTION EQUIPMENT OR HEAVY VEHICLES OVER EXISTING UTILITIES.
- SITE STORM DRAIN, ELECTRIC LINES & TRANSFORMERS AND GAS LINES ARE SHOWN FOR GENERAL INFORMATION ONLY TO PROVIDE AN OVERVIEW OF SITE UTILITIES AND POTENTIAL CONFLICTS. SEE MECHANICAL PLANS FOR GAS LINE SIZING. SEE CG-101 FOR STORM DRAIN DESIGN.
- ALL WATER FITTINGS SHALL HAVE JOINT RESTRAINTS (LT). SEE RESTRAINED JOINT CRITERIA NOTES THIS SHEET. (LT) LENGTH SHOWN ON KEYED NOTES.

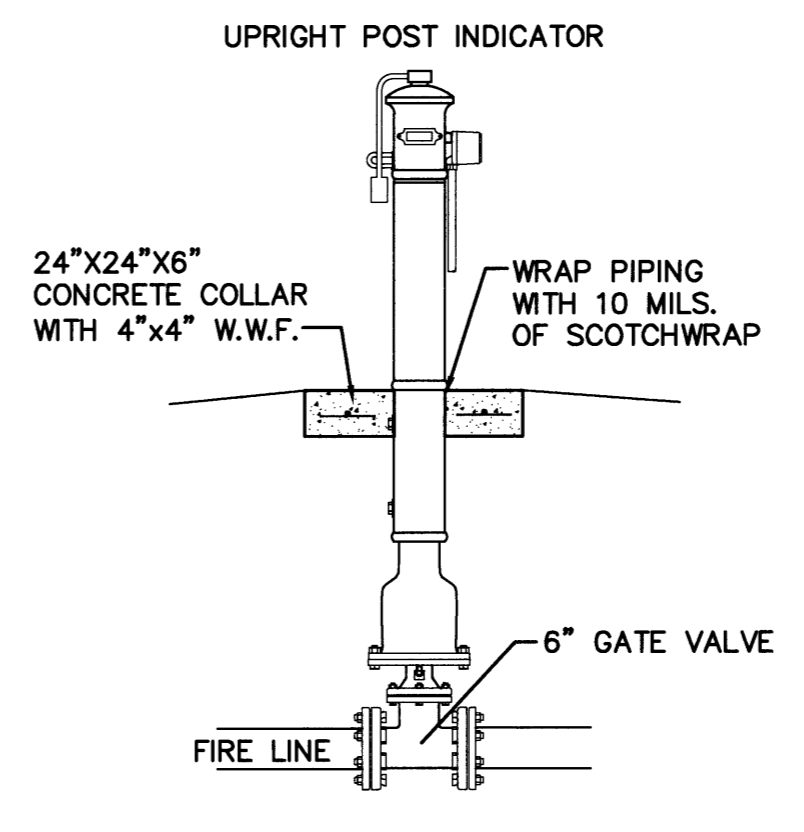
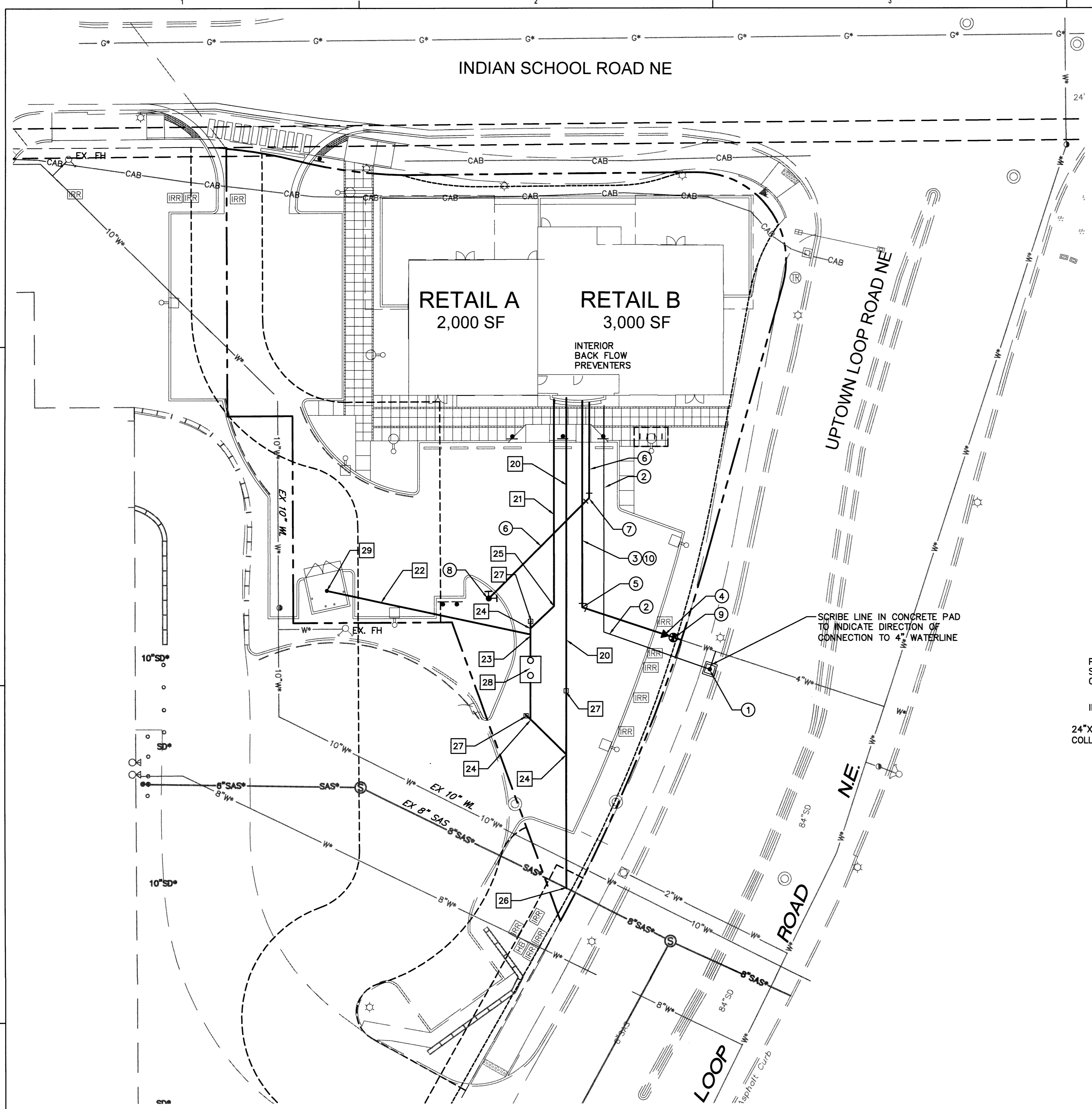
KEYED NOTES

- WATER KEYED NOTES**
- 1 1/2" METER PER COA STD DWG 2363.
 - 1 1/2" WATER SERVICE LINE.
 - 6" FIRE LINE.
 - 6"x4" REDUCER. (LT=29')
 - 6"-45° & 22 1/2° BENDS. (LT=13')
 - 4" FIRE LINE (FDC)
 - 4"-45° BEND. (LT=6')
 - FIRE DEPT. CONNECTION (FDC). (LT=46')
 - POST INDICATOR VALVE. (PIV) (LT=46')
 - 3/4" CONDUIT W/ PULL CORD FOR PIV SENSOR WIRE FROM BUILDING TO PIV PLACED IN SAME TRENCH ABOVE 6" WATERLINE.
- SEWER**
- 6" SANITARY SEWER SERVICE LINE AT 2% MIN. SLOPE.
 - 6" GREASE LINE AT 2% MIN. SLOPE.
 - 3" GREASE LINE AT 2% MIN. SLOPE.
 - 6"x3" WYE.
 - 6" WYE
 - 6" - 45° BEND.
 - 8" x 6" WYE
 - SINGLE CLEANOUT.
 - 1500 GAL. GREASE INTERCEPTOR.
 - 3" HEAVY DUTY CAST IRON FLOOR DRAIN W/ P-TRAP.

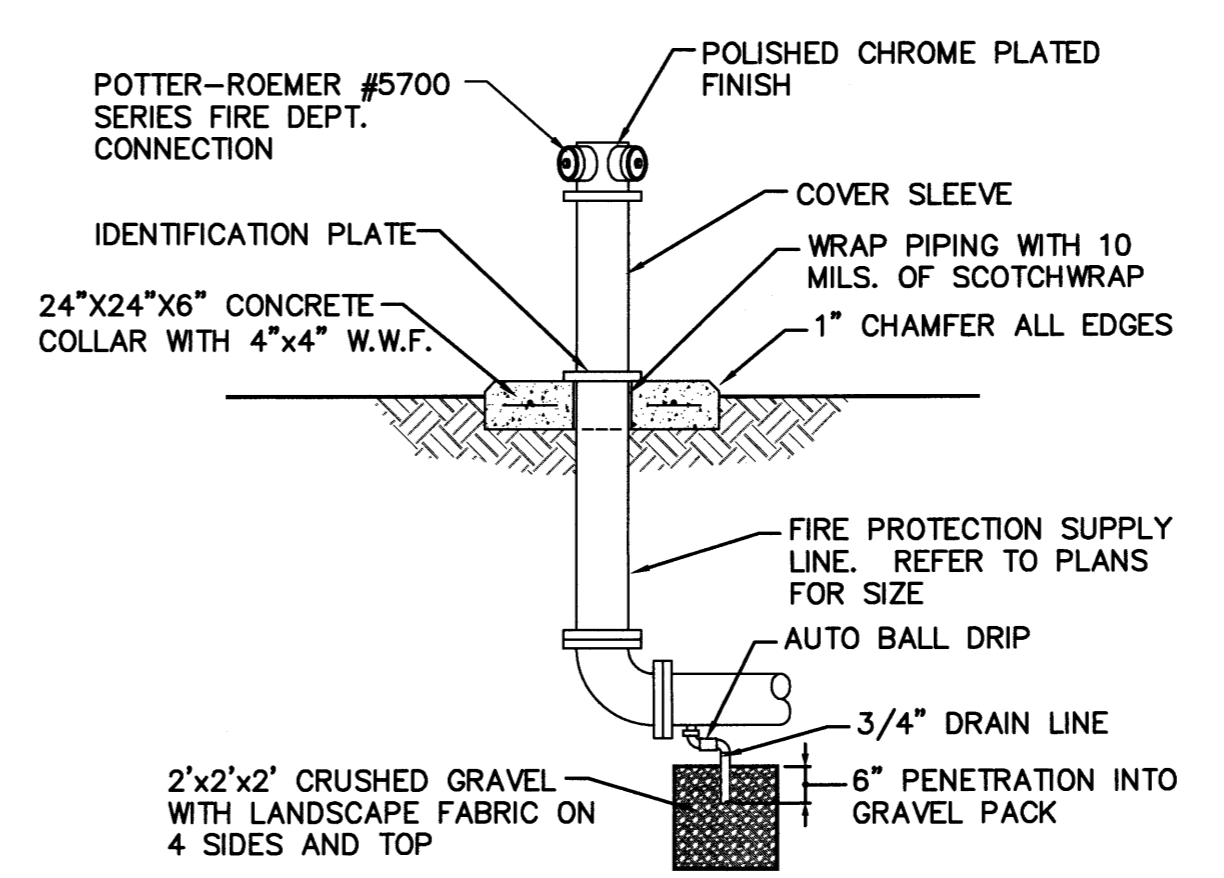
LEGEND

- SAS SINGLE CLEANOUT
- ⊕ GATE VALVE W/ BOX
- ⊙ POST INDICATOR VALVE
- ⊙ FIRE DEPARTMENT CONNECTION
- PROPOSED STORM DRAIN
- WL— EXISTING WATERLINE
- SAS— EXISTING SEWER LINE

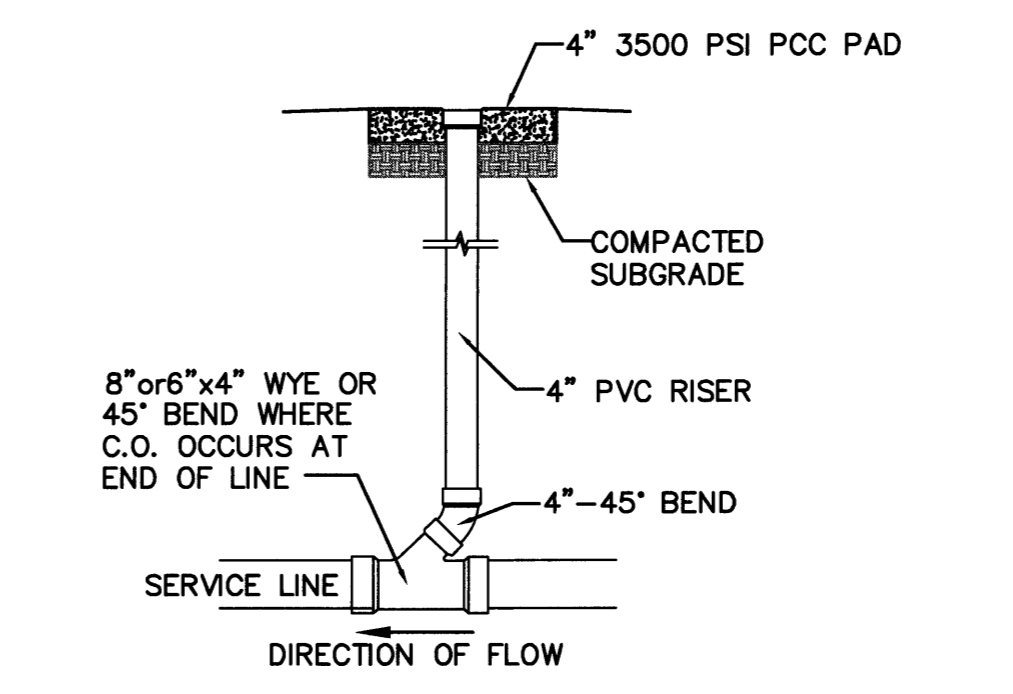
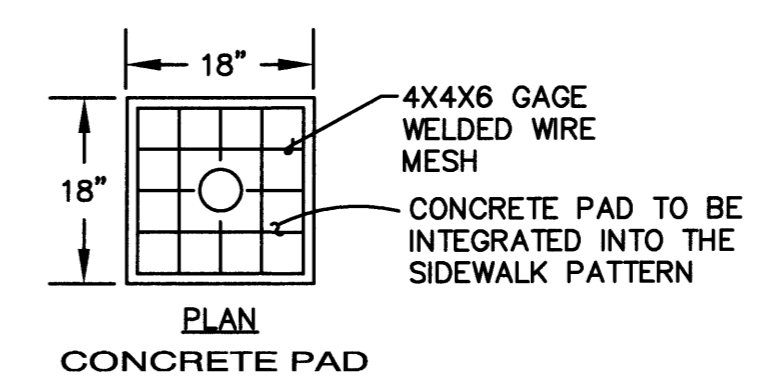
ISAACSON & ARFMAN, P.A.
 Consulting Engineering Associates
 128 Monroe Street N.E.
 Albuquerque, New Mexico 87108
 Ph. 505-268-8828 www.iaacvill.com
 2138 CU-101.dwg Jan 28, 2016



POST INDICATOR VALVE
SCALE: N.T.S.



FIRE DEPARTMENT CONNECTION
FREE-STANDING SCALE: N.T.S.



SINGLE CLEANOUT DETAIL
SCALE: N.T.S.

INDIAN SCHOOL ROAD NE

RETAIL A
2,000 SF

RETAIL B
3,000 SF

INTERIOR BACK FLOW PREVENTERS

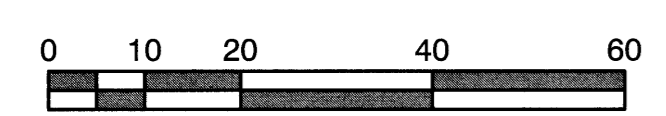
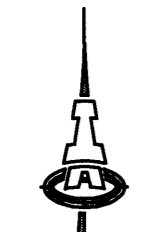
UPTOWN LOOP ROAD NE

- ALL MECHANICAL JOINTS SHALL BE RESTRAINED AT THE FITTING.
- THE CONTRACTOR SHALL PROVIDE A MINIMUM PIPE LENGTH OF 20 LF FROM ALL MECHANICAL JOINTS. ALL PIPE JOINTS WITHIN 20 LF OF A MECHANICAL JOINT SHALL BE RESTRAINED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL RESTRAIN ALL PIPE JOINTS IN THE SPECIFIED DISTANCE LISTED IN THE KEYED NOTES.
- THE CONTRACTOR SHALL RESTRAIN ALL FIRE HYDRANT JOINTS FROM THE TEE ON THE MAIN TO THE FIRE HYDRANT FLANGE.

RESTRAINED JOINT CRITERIA FOR WATERLINE FITTINGS

- DEPTH OF BURY: 3.0 FT. MINIMUM
- 1.50 FACTOR OF SAFETY:
- MATERIAL: PVC
- SOIL TYPE: GM/SM - SILTY GRAVELS AND SILTY SANDS, GRAVEL-SAND-SILT MIXTURES.
- TEST PRESSURE: 150 PSI
- TRENCH TYPE 4: PIPE BEDDED IN SAND, GRAVEL, OR CRUSHED STONE TO DEPTH OF 1/8 PIPE DIAMETER, 4 INCH MINIMUM; BACKFILL COMPACTED TO TOP OF PIPE.

DIFFERENT CRITERIA, E.G., GREATER DEPTH OF BURY, ETC., WILL REQUIRE DIFFERENT RESTRAINED LENGTHS. THESE MUST BE CALCULATED BY A QUALIFIED PROFESSIONAL ENGINEER AND APPROVED BY ABCWUA.



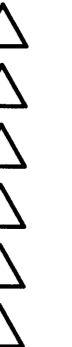
SCALE 1"=20'

UTILITY PLAN

NOT FOR CONSTRUCTION

UPTOWN SHOPS - TARGET @
UPTOWN

REVISIONS



DRAWN BY	JP
REVIEWED BY	SL
DATE	20151119
PROJECT NO.	15-0102

DRAWING NAME
**EXTERIOR
ELEVATIONS**

GENERAL SHEET NOTES

A. PROVIDE BLOCKING AS REQUIRED FOR SIGNAGE.

REFERENCE KEYNOTES

SHEET KEYNOTES

- EIFS SYSTEM, COLOR #1
- EIFS SYSTEM, COLOR #2
- CULTURED STONE VENEER TO MATCH TARGET
- CORRUGATED METAL PANEL TO MATCH TARGET
- CLEAR ANODIZED STOREFRONT
- FULL LITE STOREFRONT DOOR, CLEAR ANODIZED
- PRE-MANUFACTURED COPING, COLOR TO MATCH ADJACENT FINISH
- SIGNAGE (UNDER SEPARATE SUBMITTAL)
- HOLLOW METAL DOOR, PAINTED TO MATCH ADJACENT FINISH
- PERFORATED METAL CANOPY/ WHITE
- STRUCTURAL BEAM, PAINT TO MATCH STORE FRONT SYSTEM.
- LIGHTING FIXTURE, TYPE 1
- LIGHTING FIXTURE, TYPE 2
- CONCRETE BENCH
- CAST ALUMINUM CHANNEL LETTERS, LED BACK-LIT. CLEAR ANODIZED/ COLOR TO BE DETERMINED.
- PAINTED STEEL CANOPY.

SIGNAGE LEGEND

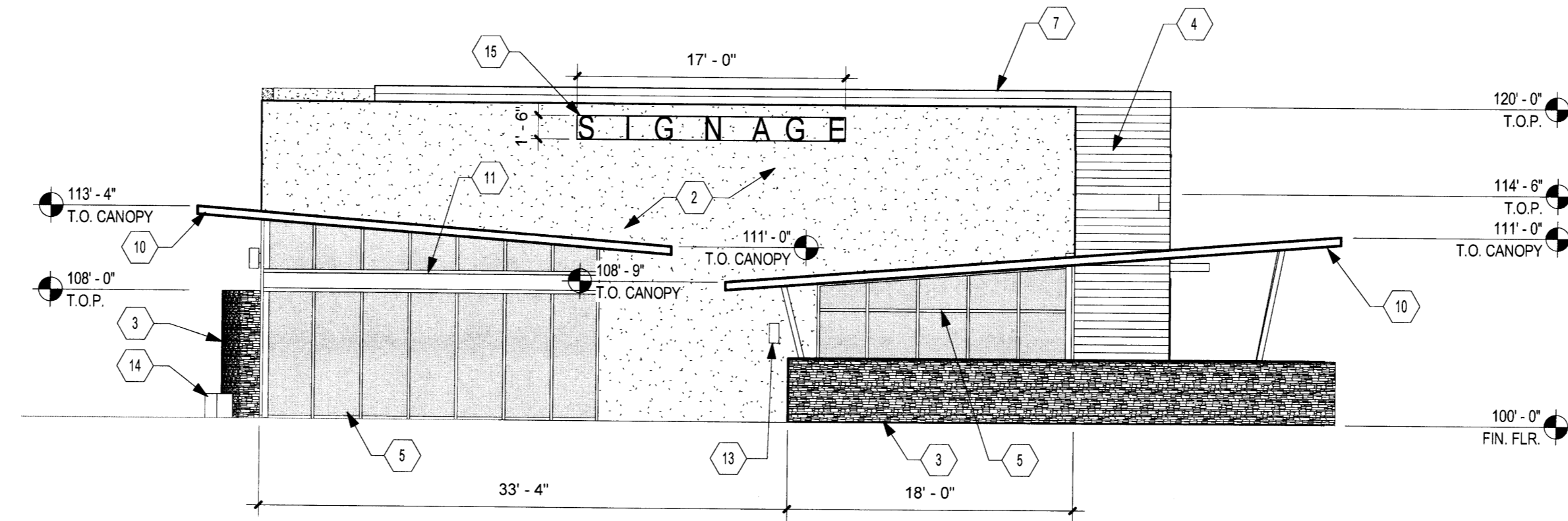
BUILDING SIGNAGE			
TOTAL EXISTING APPROVED SIGNAGE			
PROPOSED ELEVATION	ELEVATION SIZE	MAX. SIGN AREA (25% or 30% on Louisiana)	PROPOSED AREA
EAST	1199 SF	299.75 SF	25.5 SF
NORTH	2056 SF	514 SF	51 SF
WEST	1199 SF	299.75 SF	25.5 SF
SOUTH	2056 SF	514 SF	51 SF

ALLOWED SIGN AREA PER SIGN - 200 SF PER SIGN, AN ADDITIONAL 20 SF PER 125 FEET OF STREET FRONTAGE ALONG A SINGLE STREET. SIGN AREA ON LOUISIANA BLVD. NOT TO EXCEED 250 SF. SIGN AREA TO EXCEED 250 SF.

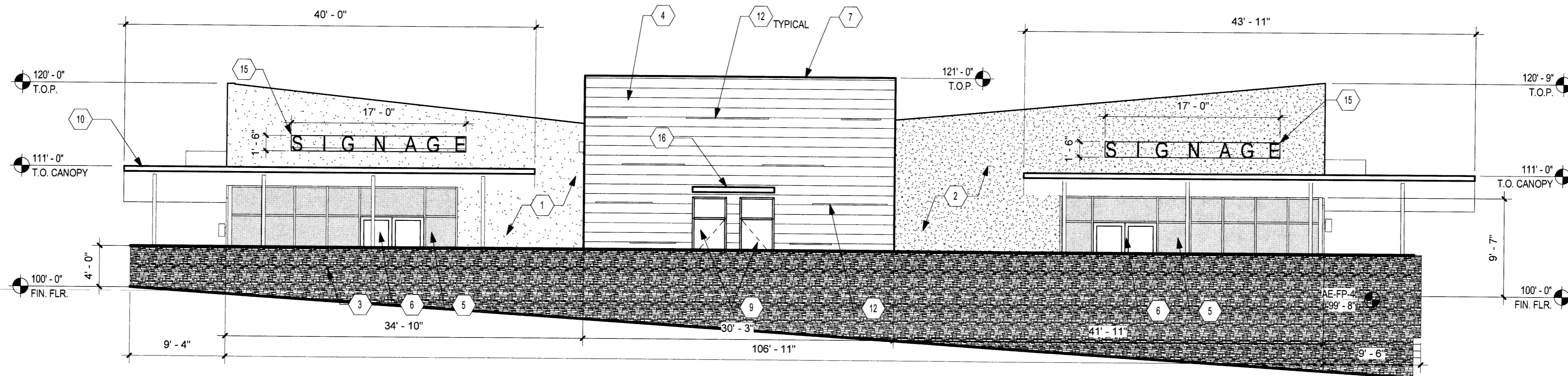
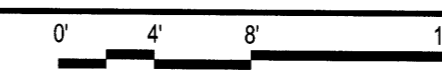
SIGNAGE - INTERNALLY ILLUMINATED SIGN. BOX SIGN NOT ALLOWED, EXCEPT FOR LOGOS.

MATERIAL LEGEND

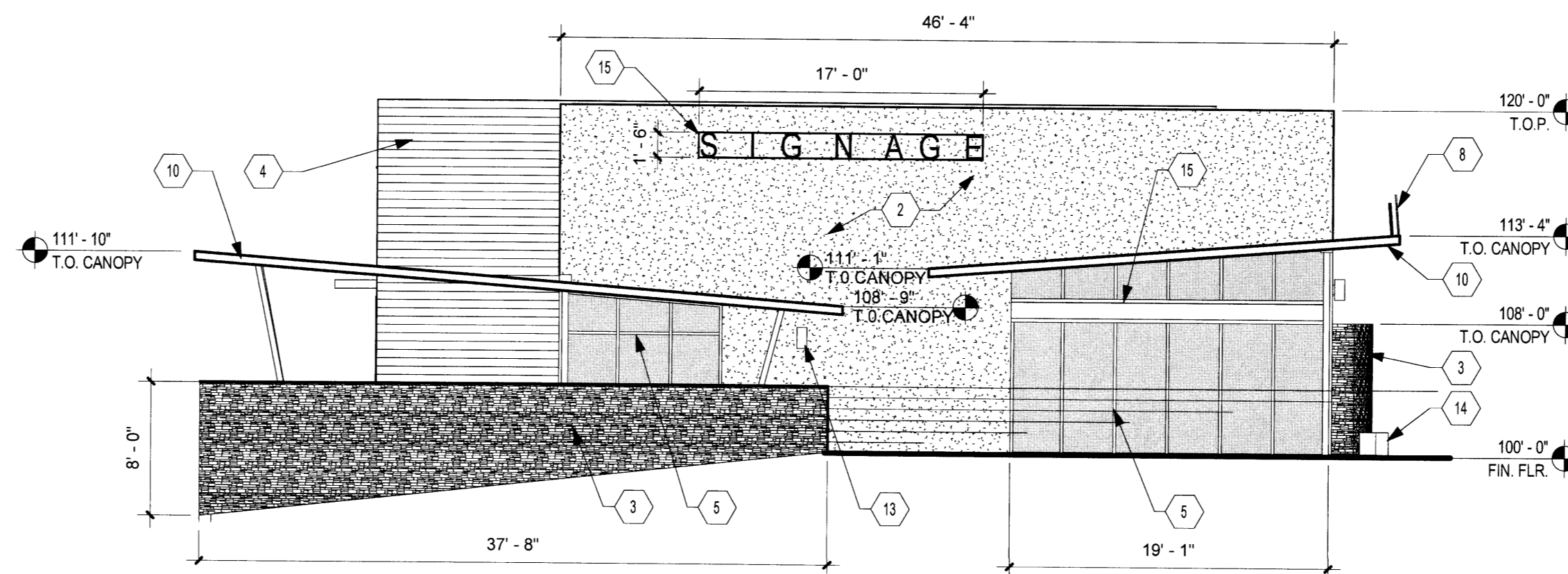
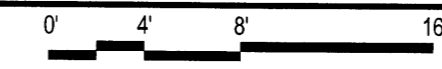
- EIFS-1 - SW6108 / LIGHT BROWN TO MATCH EXISTING TARGET
- EIFS-2 - SW611 / DARK BROWN TO MATCH EXISTING TARGET
- MP-1 - CORRUGATED METAL PANEL TO MATCH TARGET
- CULTURED STONE VENEER TO MATCH TARGET



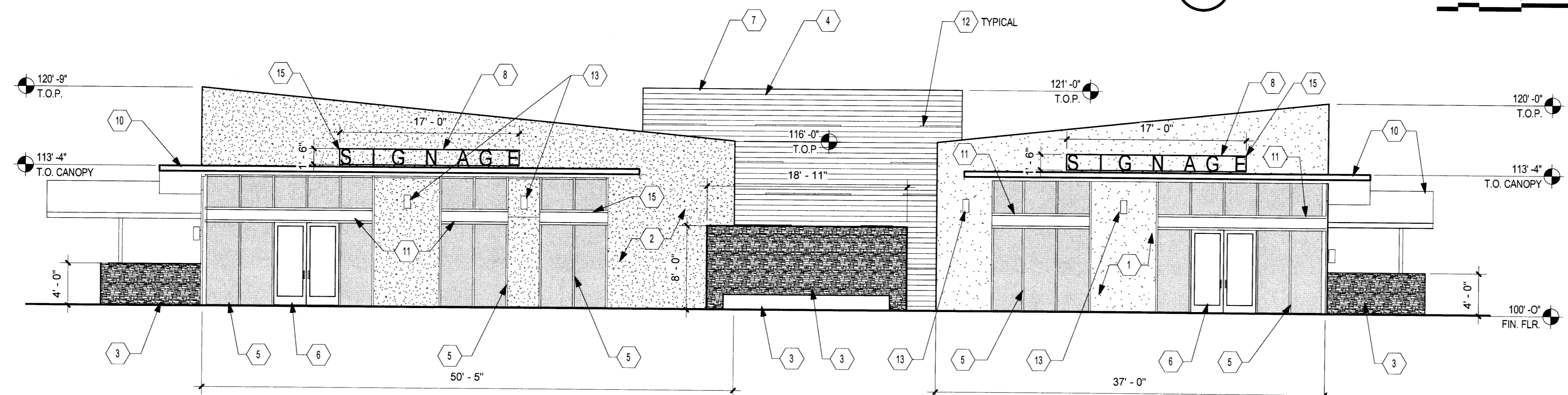
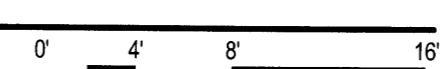
D5 EAST ELEVATION
1/8" = 1'-0"



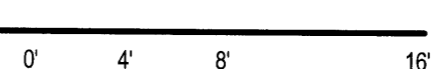
C5 NORTH ELEVATION
1/8" = 1'-0"



B5 WEST ELEVATION
1/8" = 1'-0"



A5 SOUTH ELEVATION
1/8" = 1'-0"



**DEKKER
PERICH
SABATINI**

7601 JEFFERSON NE, SUITE 100
ALBUQUERQUE, NM 87109
505.761.9700 / DPSDESIGN.ORG

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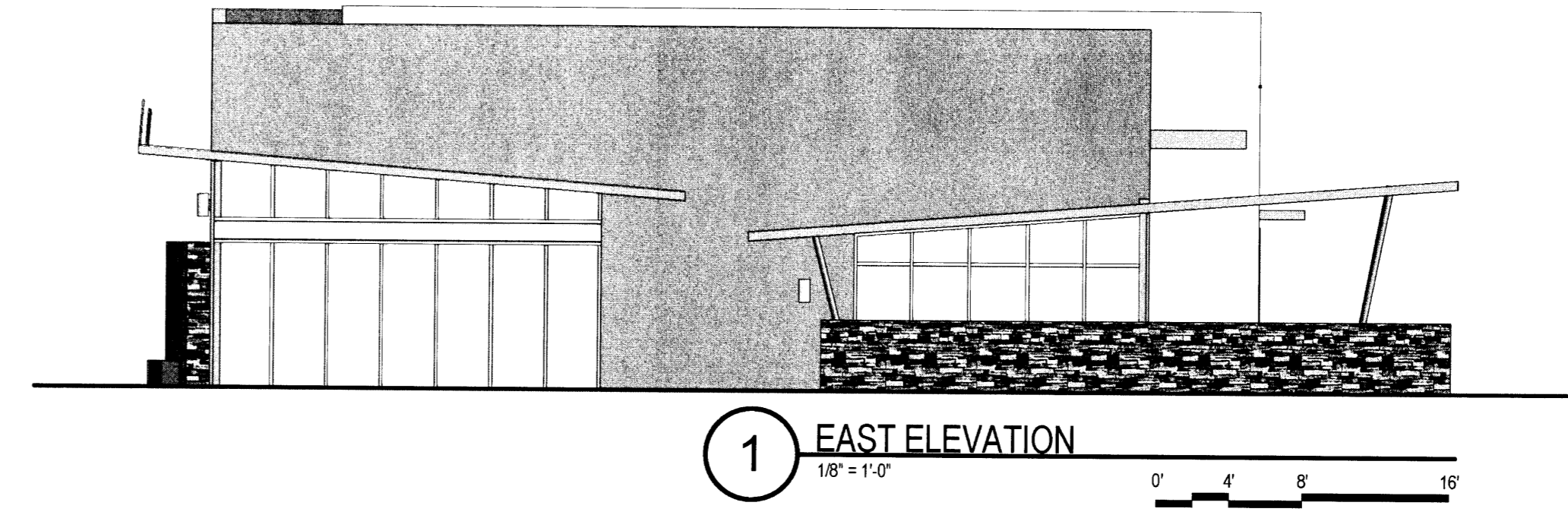
PROJECT
UPTOWN SHOPS - TARGET @
UPTOWN

REVISIONS

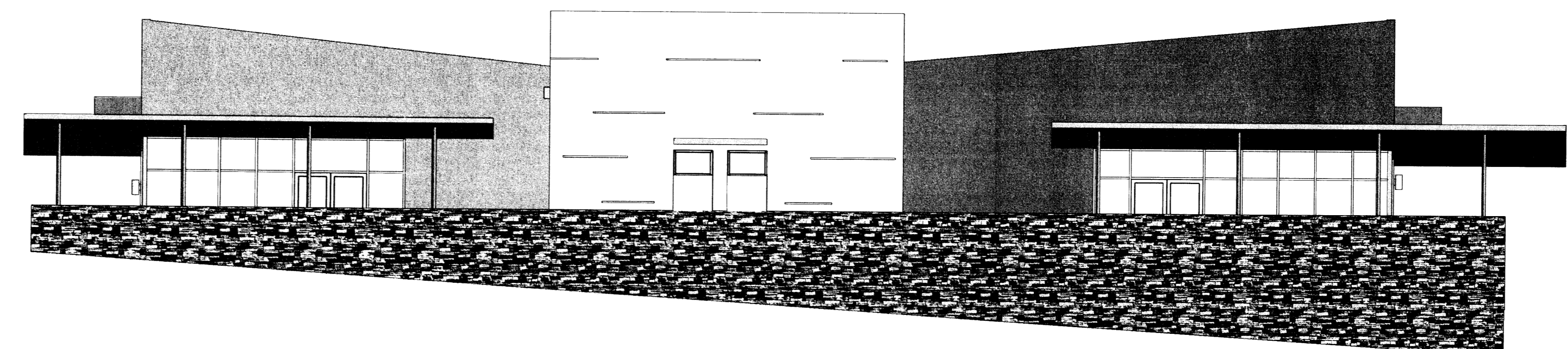
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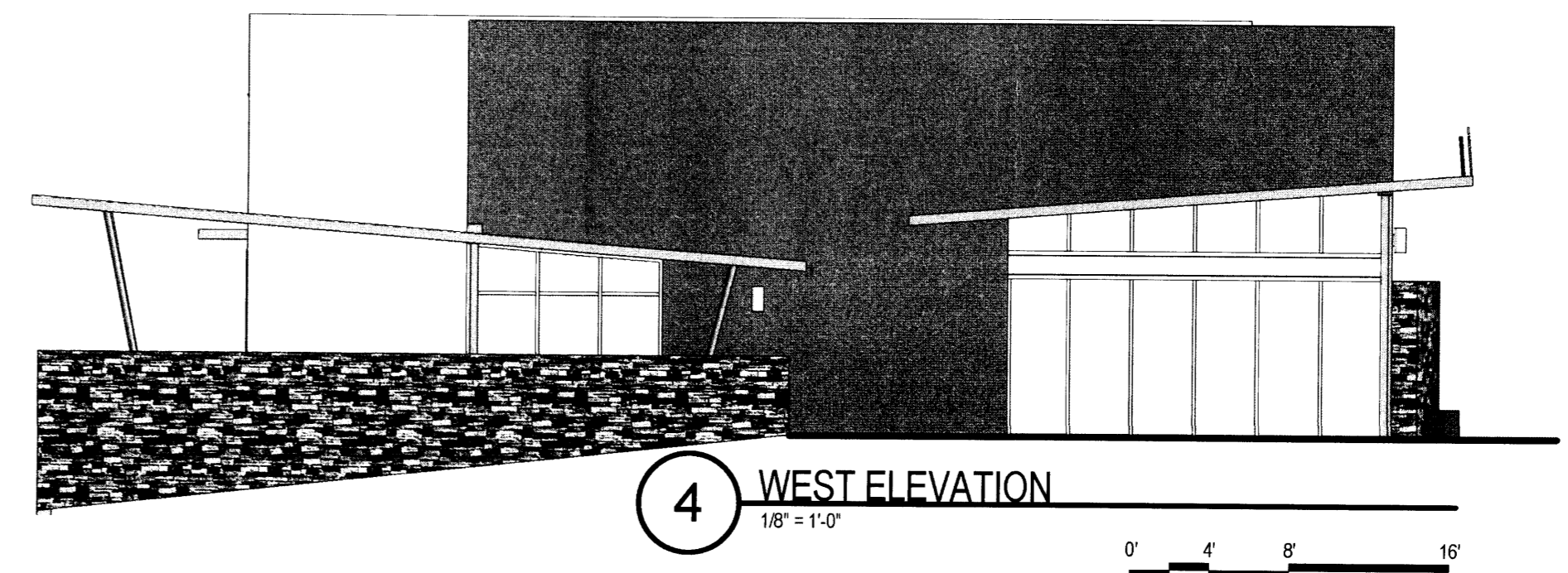
DRAWING NAME
**EXTERIOR
ELEVATIONS
(COLOR)**



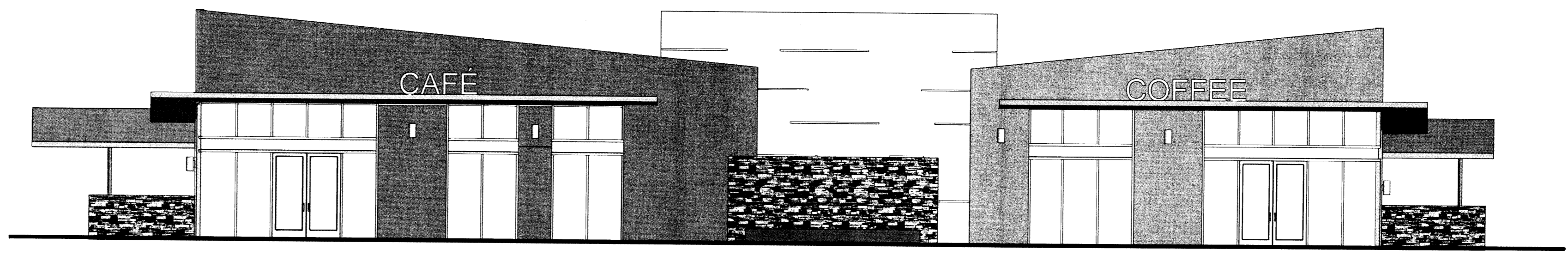
1 EAST ELEVATION
1/8" = 1'-0"



2 NORTH ELEVATION
1/8" = 1'-0"



4 WEST ELEVATION
1/8" = 1'-0"



3 SOUTH ELEVATION
1/8" = 1'-0"

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SEAL

PROJECT

UPTOWN SHOPS - TARGET @
UPTOWN

REVISIONS

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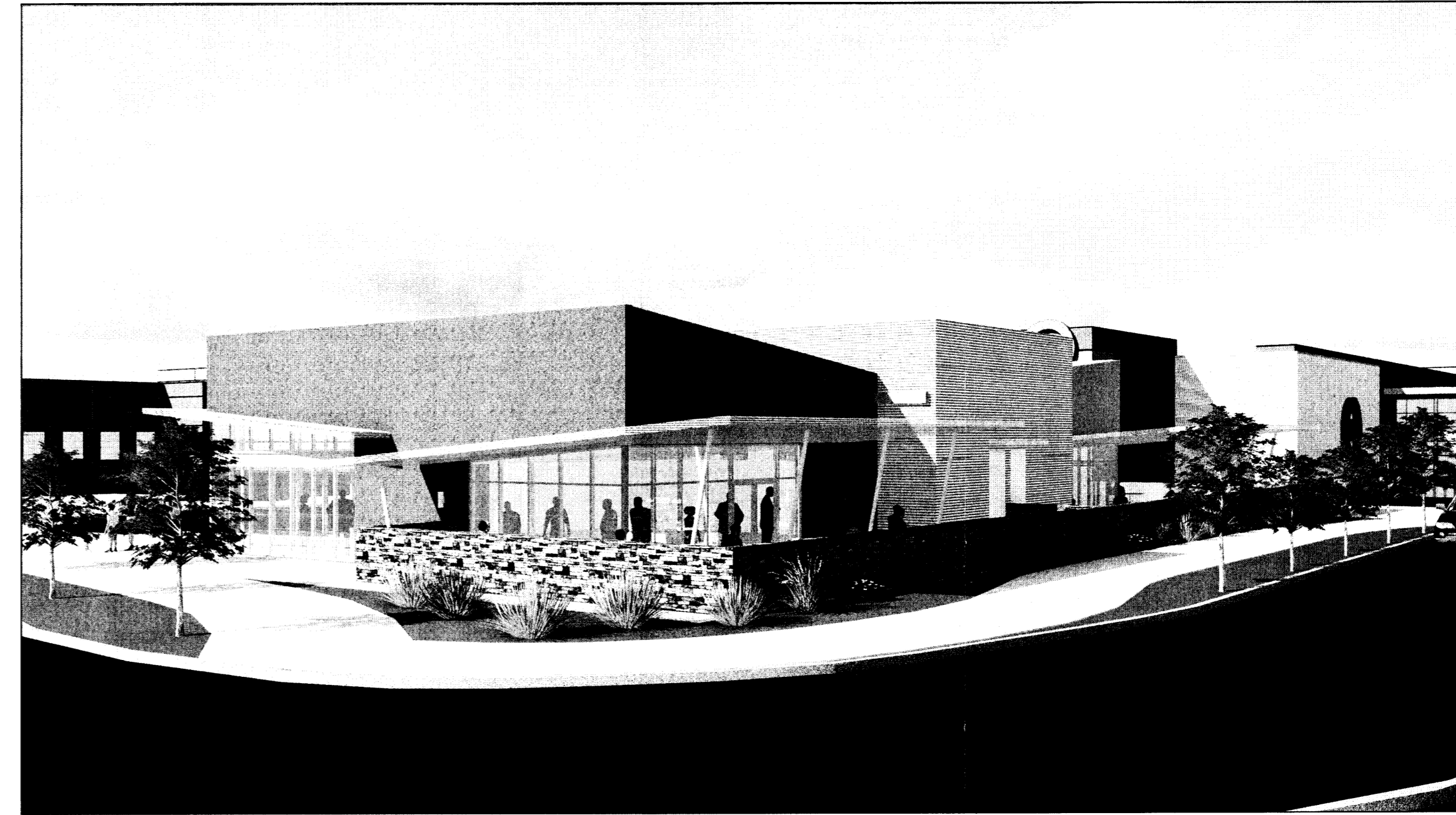
DRAWN BY	JP
REVIEWED BY	SL
DATE	20151119
PROJECT NO.	15-0102

DRAWING NAME
RENDERINGS

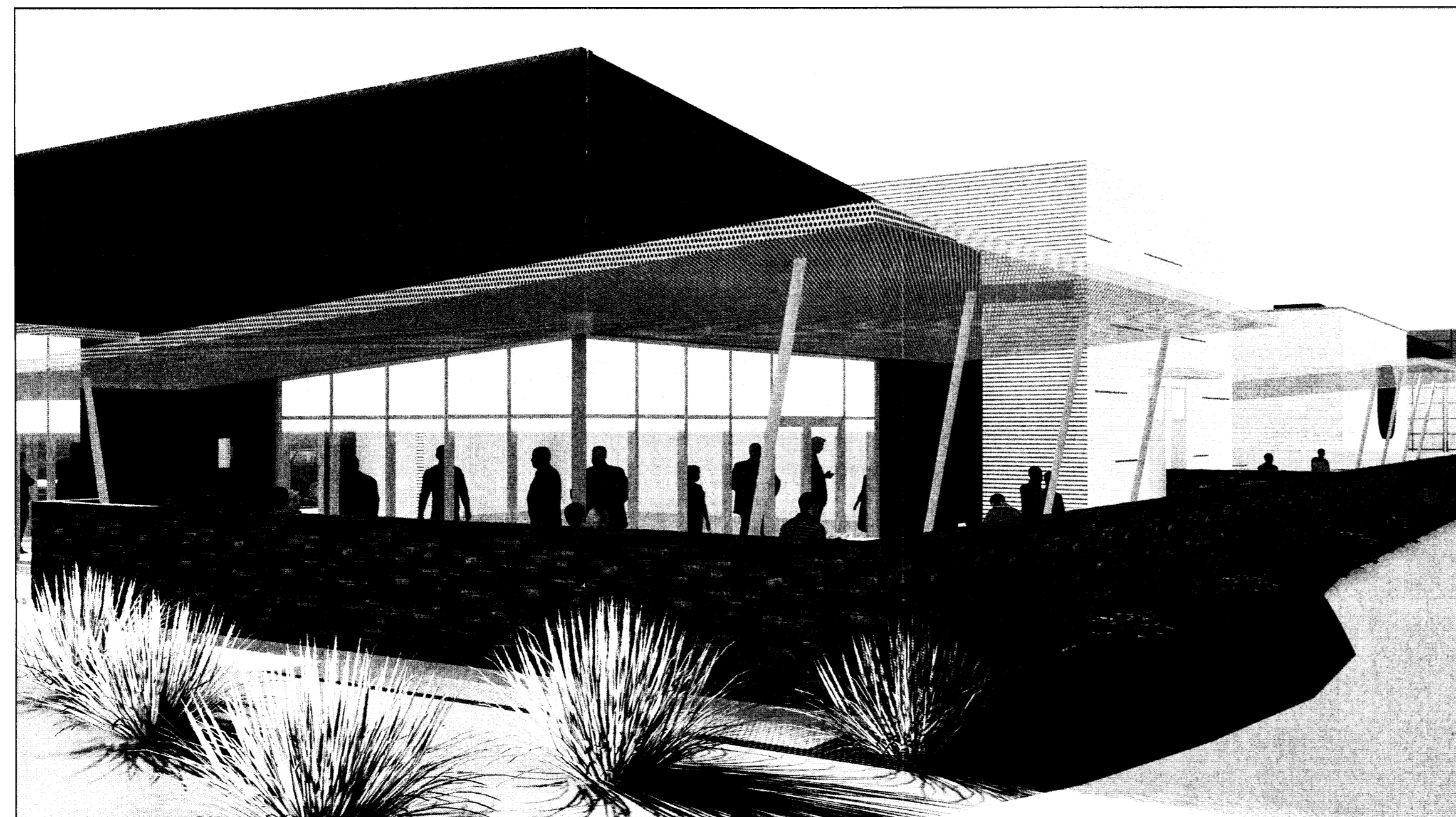
SHEET NO
09 of 11



VIEW LOOKING NORTHWEST



VIEW LOOKING SOUTHWEST



VIEW LOOKING SOUTHWEST



VIEW LOOKING NORTHWEST

NOTE: THE IMAGES ABOVE ARE CONCEPTUAL IN NATURE AND MAY NOT REFLECT THE REQUIREMENTS OF THESE DRAWINGS.