

PROJECT RELATED EXCERPTS FROM THE UPTOWN SECTOR DEVELOPMENT PLAN (INCLUDING RELEVANT TEXT AMENDMENTS). REFERENCE THE CURRENT USDP FOR ADDITIONAL INFORMATION Site Design:

• There is no specific limitation on lot size in the SU-3 for MU-UPT Zone or the SU-3 for

- Trash receptacles, mechanical equipment, loading docks and Public Utility Structures shall be screened from public Streets through the use of Solid walls, Solid fences, berms, dense evergreen foliage or other acceptable screening devices as determined by the Planning
- There is no height limit for Solid Fences or Solid Walls. Walls and fences shall be tall enough to function as intended when used for screening.
- All screening devices shall be in compliance with the Clear Sight Triangle.

Fencing and Walls

- Walls including retaining walls and fences are permitted, but they must be shown and approved on the Site Development Plan.
- There is no height limit for fencing and/or walls.
- Acceptable materials include but are not limited to stucco over concrete masonry units (CMU), stabilized adobe, split face blocks, slump blocks, bricks, stone, glass blocks, curved interlock blocks, wood, tubular steel, wrought iron bars, other grill work, other structural materials or a combination of these materials. The finish of the walls shall be attractive and compatible with the building materials of adjacent Buildings on the Site.
- All fencing and walls shall be in compliance with the Clear Sight Triangle.
- The use of razor ribbon, razor wire, barbed wire, chain link fencing with or without slats, cyclone fencing or unfinished solid CMU is prohibited.

Open Space

- All Sites in the Uptown Area zoned SU-3 for MU-UPT shall provide a minimum of 10% of their Site acreage as Open Space.
- When phasing of a Site Development Plan is involved, each phase must meet the 10% of Site Open Space requirement when building that phase. If the Applicant is combining Open Space as allowable and the Open Space being combined is from more than one phase, the first phase built shall still meet the minimum 10% requirement at the time it is built. Subsequent phases shall not be built until the preceding phase's Open Space has been built. Under no circumstances shall the Applicant be allowed to defer providing and developing the required Open Space for each phase.
- 40% of the required Open Space shall be Landscape Area.
- Open Space shall be open and accessible to the general public. If the Open Space is not easily identifiable, as determined by the Planning Director, from the abutting Walkway, signage must be provided to direct the public to the Open Space. The exception to this requirement is the Landscaped Area on a traffic circle. For safety reasons, a landscaped traffic circle is not an appropriate place to be "open and accessible" to the public. However, the Landscaped Area on a traffic circle will count towards the "10% of Site" Open Space requirement because of the visual impact.
- Open Space, required or excess, shall not be covered in asphalt. Asphalt shall not be used as a surface for Open Space.
- Open Space shall be either Developed Open Space, as defined in the current USDP or a completely Landscaped Area, as defined in the current USDP.
- Required Developed Open Space areas such as Pedestrian Plazas shall have a Landscaped Area equal to 40% of the Site. A minimum of 15% of all Developed Open Space must be shaded from the summer sun with landscaping including trees and/or permanent or temporary shade structures. Each Open Space area must have landscaping
- If a Site has multiple Buildings and/or multiple Lots within it, the required Open Space may be combined into larger areas rather than in separate smaller areas near each Building so long as it is approved on the Site Development Plan in that configuration.
- Combined Open Space areas may be located across Internal Streets within a Site.
- All Open Space areas shall connect to Walkways.
- All Open Space areas that are not "Developed Open Space" and are 25 square feet in size or larger shall be built as a Landscape Area. The required 75% coverage will be calculated from the anticipated size of the plants at maturity. This Landscape Area may be included for the purpose of meeting the Open Space requirements of "10% of Site" and the landscape requirement of "40% of Open Space" and shall be included in the Landscape Plan.
- The use of gravel including rocks and crusher fine as ground cover is limited to a maximum of five (5%) percent of any Open Space including any gravel used in Landscape Areas and/or Planting Strips.
- The following elements <u>shall be</u> used to satisfy the "10% of Site" Open Space requirement. Open Space may include any combination or single use of the Open Space elements listed below:
 - a. All Landscape Area except as specifically excluded
 - b. Gardens
 - c. Landscape Area of traffic circles

 - d. Landscape Buffers as required
 - e. Parks
 - f. Pedestrian Plazas, patios, and/or courtyards g. Planting Strips - that portion wider than the required 4 or 6 feet.
 - h. Playgrounds
 - j. Recreational areas and landscaped trails k. Amphitheatre
 - Walkways any portion wider than the required 10 feet

- The following elements and/or items shall not be included as Open Space for the purpose of meeting the "10% of Site" Open Space requirement. Most of the elements and/or items on this list are required in other regulations.
 - a. Drainage Ponds
 - b. Driveways, drive aisles
 - c. Internal Streets, privately owned d. Parking in any form: Spaces, Lots, Structures
 - e. Planting Strips; 4 or 6 feet wide Planting Strips required for Street
 - f. Planting Strips; 4 foot wide Planting Strips abutting Walkways
 - g. Required Walkway Trees with or without Planting Strips h. Walkways except any portion of a Walkway that is wider than 10
 - i. Street Trees wherever they are planted, except for Street Trees planted

in the required Landscape Buffers which shall be counted toward Open

- j. Uptown Circulator and/or City Transit Stops k. All undeveloped areas such as dirt lots
- Open Space in excess of the "10% of Site" requirement shall:
 - a. be subject to the Street Tree definition and requirements if applicable
 - b. be required to provide shade over 15% of the excess Open Space c. shall contain at least one amenity from this Section
 - d. not be left as a dirt lot
- Required Developed Open Space areas shall include a minimum of two of the following
 - amenities: a. Bicycle amenities such as bicycle racks or bicycle lockers
 - b. Dog-friendly amenities
 - c. Drinking fountains
 - d. Low-water use fountain or water feature

approval of the Planning Director

- e. Playground equipment or other recreational amenity f. Sculpture or other artwork
- h. Any other amenities that meet the intent of this Section and the

Pedestrian Plazas and Playgrounds

Pedestrian Plazas are strongly encouraged as a means of meeting the "10% of Site" Open Space requirement. Pedestrian Plazas and playgrounds are very important elements of the Pedestrian Circulation System (PCS) which will help to unite the Uptown Area. Single-Level, Single-User Retail Facilities Exceeding 90,000 sq. ft. are required to include a Pedestrian Plaza as specified

Pedestrian Plazas and playgrounds shall meet the following regulations:

- Pedestrian Plazas and playgrounds shall be easily accessible and open to the public. Ground level Pedestrian Plazas and playgrounds shall connect to Walkways. If a Pedestrian Plaza is not located at ground level, as would be the case with a roof garden, signage must be provided to direct the public from the closest Walkway to the Pedestrian Plaza. The public shall not walk through any private space in order to access a Pedestrian
- Pedestrian Plazas shall be constructed of ADA accessible materials other than asphalt.
- Playgrounds shall be designed to be ADA accessible and provide play equipment that is appropriate for ages 2 years to 12 years.
- Pedestrian Plazas and playgrounds shall provide seating on-site with benches, boulders, retaining walls, ledges, raised planters, grass berms, tables and chairs or other ways for
- At least 15% of the Pedestrian Plaza and/or playground shall be shaded from the summer sun with landscaping including trees and/or shade structures that may be either permanent
- Pedestrian Plazas and playgrounds used to meet the "10% of Site" Open Space requirement must also provide a Landscape Area equal to a minimum of 40%.
- Pedestrian Scale Lighting shall be provided for all Pedestrian Plazas and playgrounds.
- Trash receptacles shall be provided on-site for Pedestrian Plazas and playgrounds.
- Pedestrian Plaza and playgrounds should be visible from the public Right-of-Way wherever possible for security.
- If paved, Pedestrian Plazas shall use decorative paving patterns and include the adjacent Walkway border element.
- Pedestrian Plazas shall include a minimum of two of the following
 - a. Bicycle amenities such as bicycle racks or bicycle lockers
 - b. Dog-friendly amenities
 - c. Drinking fountains d. Flower Garden
 - e. Low-water use fountain or water feature
 - f. Playground equipment or other children's entertainment feature g. Sculpture or other artwork
 - h. Any other amenities that meet the intent of this Section and the
 - approval of the Planning Director

Walkways

There is a lack of uniformity between the existing Walkway configurations, both in width and appearance throughout the Uptown Area. Walkway consistency is important to create a cohesive, recognizable and unique Uptown Area. All new Walkways will have a minimum six (6) inch decorative border as an additional unifying feature.

- New Construction and/or Redevelopment or any person who paves a new Parking Lot is required to build Walkways as described in this section
- · For Redevelopment and/or Parking Lot paving, the Walkway immediately adjacent or the closest parallel Walkway to the changed Façade shall be upgraded and must connect to other Walkways.
- All Walkways in the Uptown Area are required to be a minimum of ten (10) feet wide and shall include a minimum six (6) inch brick or other decorative, contrasting material as a border along both sides of the Walkway except for the following:
 - a. No decorative border is required on the side of a Walkway that abuts a Building but there shall be a border on the

outside edge of that Walkway.

- b. Walkways not intended for public use such as Walkways to service areas or loading docks may be a minimum of six (6) feet wide and do not require a border or trees.
- c. Walkways through Parking Lots shall be a minimum of eight (8) feet wide.
- The ten (10) foot wide Walkways may accommodate occasional uses such as utility boxes, benches and/or trash receptacles which encroach upon the width of the Walkway but a minimum six (6) foot clear path shall be maintained within the Walkway at all times. These occasional uses shall not take up more than one-third (1/3) of the width of any Building's Walkway.

Street Realm:

- Street Trees are required on the following Streets:
- a. Louisiana Blvd., Pennsylvania St., San Pedro Dr., south side of Menaul Blvd., Indian School Rd., Uptown Blvd., America's Pkwy and The Loop Rd. In order to eventually line the Streets with trees, new Street Trees on these Streets shall have an approximate regular maximum spacing of thirty (30) feet on center and be planted in six (6) foot wide Planting Strips adjacent to the required ten (10) foot wide Walkways. The Planting Strip
- and the adjacent Walkway shall run the length of the property where they are located. b. The north side of Menaul Blvd. shall be planted at an approximate maximum regular spacing of thirty (30) feet on center but there is no requirement for a Planting Strip. These Street Trees shall be planted in thirty-six (36) square foot Tree Wells.
- c. Internal and Local Streets, other than those Streets listed in "a." and "b." above, shall have an average maximum spacing of thirty (30) feet on center. The same number of required trees may be clustered in groups of no more than three (3) trees, but they must be shown on the approved Site Development Plan. These Street Trees shall be planted in a minimum four (4) foot wide Planting Strip that is adjacent to the required ten (10) foot wide Walkway. The length of the Planting Strip and the abutting Walkway shall run the length of the property where they are located.
- Landscape Buffers may be built within the public Right-of-Way

Walkways

- Walkways shall have pedestrian scale lighting and other pedestrian amenities such as benches, trash receptacles and water fountains that serve humans and animals.
- Creative placement and design of Walkways are encouraged. Curving Walkways and Walkways built in locations other than parallel to Streets such as a diagonal Walkway between two points adds interest to the Uptown Area.
- All Site Development Plans shall demonstrate Walkway interconnectivity to other Sites in the Uptown Area. All Walkways must connect to other Walkways within the Site and to public Right of Ways abutting the Site.

Landscaping:

New Construction shall apply the following landscape regulations and requirements:

- 40% of the "10% of Site" Open Space Requirement shall be Landscape Area. In addition, every Site shall have a minimum of a four (4) foot wide Planting Strip abutting a ten (10) foot wide Walkway.
- The use of Soil Connections to adjoining landscaping or Permeable Pavement connections in the Walkways and Parking areas are encouraged.
- Irrigation is required for all plantings. Irrigation systems shall meet the differing needs of trees and other vegetation to ensure all plantings flourish.
- Water Harvesting conservation techniques shall be utilized where possible and as approved by the City Hydrologist or City Engineer. Such techniques may include Water Harvesting, Graywater, Water Reuse Systems and Permeable Pavement. Rainwater from roofs should be directed or stored and used to water trees and other landscaping whenever possible.
- Organic Mulch shall be provided in areas around the living plants to reduce heat and conserve moisture. Gravel, rocks, crusher fine and rubber are not Organic Mulch.

- The use of gravel, including rocks and crusher fine as ground cover, is limited to five (5%) percent or less of any Landscape Area, Planting Strip or Open Space area.
- To provide the quality of landscaping envisioned in the Uptown Area, a minimum of ten (10%) percent of all Landscaped Area and Planting Strips shall contain flowering plants and flowering shrubs. These plants may be annuals or perennials but if annual plants are used, this requirement must be met each year with new plantings.
- . The minimum acceptable sizes of plants, trees or amounts of seed, at the time of planting, are as follows: Trees must be two inches in caliper
- Shrubs, bushes and low-growing evergreens shall be at least one Ground cover and turf must be adequate to provide 75% ground coverage within two growing seasons after planting.
- Traffic Circles with Landscape Areas are encouraged at the intersections of Streets and/or interior driveways.
- Forty (40%) percent of required Open Space shall be Landscaped Area. a. Landscape Areas shall be covered with a minimum of seventy-five (75%) percent living, vegetative materials, such as trees, grasses, vines, flowers and/or bushes/shrubs. Coverage shall be calculated from the anticipated size of mature plants.
- b. All Open Space areas that are not "Developed Open Space" and are 25 square feet in size or larger shall be planted as a Landscape Area. c. Planter boxes or large planting pots may also be counted as the Landscape Area of Open Space provided they are not within Planting Strips and are shown on the Landscape Plan. The surface area of planter boxes and large planting pots are measured in order to calculate the amount of Landscape Area they equal.
- d. Trees are strongly encouraged in Landscape Areas. e. Required Planting Strips are not considered as Landscape Area for
- the purpose of meeting the 40% of the "10% of Site" requirement.

a. Planting Strips must be a minimum of 4 feet wide and be covered with living, vegetative materials, such as grasses, vines, flowers and/or bushes/shrubs over sixty (60%) percent of the Planting Strip if it is directly between Parking and a Walkway. If the Planting Strip is required for Street Trees it shall be covered with living, vegetative materials, such as grasses, vines, flowers and/or bushes/shrubs over seventy-five (75%) percent of the Planting Strip. Coverage shall be calculated from the anticipated size of the

b. In order to facilitate the transition between Parking Spaces and adjacent Walkways, decorative pavers may be used within the forty (40%) percent of the Planting Strip not required to contain living, vegetative

c. Planting strips are not contained within Walkways, they abut Walkways i.e. a four (4) foot wide Planting strip abuts a ten (10) foot wide Walkway.

G. Trees

Tree regulations are as follows:

- New Construction and/or Redevelopment or any person who paves a new Parking Lot is required to plant trees as described in this section. A new Parking Lot is a Parking Lot which was not previously a paved Parking Lot.
- People required to plant new trees shall start including Signature Trees. Signature Trees are not as large as Shade Trees but they have a noticeable flower bloom in the spring or summer. Every Lot over twenty (20) feet wide shall have at least one (1)Shade or one (1) Signature Tree.
- All new trees including Street Trees, Walkway Trees and Parking Lot Trees shall be planted in a proportion of approximately one-third (1/3) Signature Trees and two thirds (2/3) Shade Trees. If Shade Trees cannot be planted because the location is above an underground Parking Structure, Signature Trees in raised planters or large pots may be
- Trees shall be a minimum of two (2) inches in caliper at the time of planting
- Trees shall be planted in Tree Wells or in Permeable Pavement to maximize the opportunity for the trees to thrive. The minimum size of a Tree Well or Permeable Pavement shall be thirty-six (36) square feet.
- Trees shall be irrigated so as to encourage a deep and wide root system that will provide healthy growth and structural stability. Trees shall be on separate irrigation zones from other vegetation because trees require water over a larger area than other plants, deeper into the soil, and less frequently than other vegetation.
- To prevent planting new trees that will be removed within a few years of their being planted there is a consideration given. If a new Building or a Parking Structure identified on an approved Site Development Plan is proposed to be built on an existing Parking Lot, that part of that Parking Lot that will be replaced by the new Parking Structure or Building, is not required to upgrade to the Parking Lot Tree, Walkway and Walkway Tree requirements even though the amount of New Construction and/or Redevelopment would require it.

- If the new Building or Parking Structure described can only be built with Public/Private Partnership funding such as a TIDD and other funding is not approved or if the Tax Increment Allotment is not sufficient to build the proposed Building or Parking Structure as determined by the owner/representative of the property then the Parking Lot Tree, Walkway and Walkway Tree requirements must be met within 6 months of the funding being denied or rejected. The Applicant shall amend the Site development Plan to show the required Parking Lot Trees, Walkways and Walkway Trees. Failure to comply to this regulation shall start enforcement action.
- If the new Building or a Parking Structure described is not dependent on Public/Private funding but has not been built within four and one-half (4 ½) years of the date of Site Development Plan approval, the Parking Lot Tree, Walkway and Walkway Tree requirements must be met within five (5) years of the date of the Site Development Plan approval. The Applicant shall amend the Site Development Plan to show the required Parking Lot Trees, Walkways and Walkway Trees. Failure to comply to this regulation shall start enforcement action.
- · Parking Lot Trees are required as follows:
 - a. Trees shall be planted at a rate of one (1) tree per eight (8) Parking Lot Spaces.
 - b. Each row of parking shall have an end cap with at least one (1)
 - c. Trees shall be planted in thirty-six (36) square foot Tree Wells.
 - d. No Parking Space shall be more than sixty (60) feet from a tree
- · Walkway Trees are required as follows:
 - a. Walkway Trees shall be planted in Planting Strips when the Walkway abuts a Building and/or a Parking Space not contained in a Parking Lot, at a number equal to a maximum of twenty-five (25) feet on
 - b. Walkway Trees planted in a Planting Strip may have regular or irregular spacing to accommodate the entrances of the corresponding Buildings provided that the total number of required trees are planted.
 - c. Walkways Trees shall be planted along Walkways that do not abut Buildings and are not shaded by existing trees at a number equal to a maximum to twenty-five (25) feet on center. This requirement includes Walkways internal to Parking Lots where trees will be planted on alternating sides of the
 - d. Three or less Walkway Trees may be clustered if sufficient Rooting Volume is supplied and if the requirement to shade the Walkway is met.
- To provide winter greenery, Evergreen Trees shall be required in the Landscape Buffers and are encouraged in park areas and internal Walkways where possible. Evergreen trees shall not be planted close to Streets or anywhere that their dense foliage could cause a traffic hazard. An Evergreen Tree may be substituted for a required Shade or Signature Tree.
- In a situation where Street Trees, Parking Lot Trees and/or Walkway Trees could be required, the requirement enforced shall be for whichever regulation yields the most trees.

Landscape Buffers

Landscape Buffers are required in specific locations to visually and physically

separate one land use or piece of property from another.

- Landscape Buffers may be crossed by Walkways and Bikeways provided that the Walkways and Bikeways take up less than thirty (30%) percent of the Landscape Buffer.
- No Parking is permitted within a Landscape Buffer.
- Landscape Buffers should, if possible, have at least a double row of trees. These trees shall be at least eight (8) feet high at time of planting and capable of reaching a height at maturity of at least twenty-five (25) feet. Spacing of the trees shall be equal to seventy-five (75%) percent of the mature canopy diameter of the trees. At least one-half (1/2) of the trees planted in a Landscape Buffer shall be Evergreen Trees. The rest of the
- In addition to trees the Landscape Buffer shall be covered with living, vegetative ground cover over seventy (70%) percent of the buffer.
- Trees in Landscape Buffers shall not count as a required Parking Space Trees because they do not serve the same purpose.

trees shall be a combination of Shade and Signature Trees

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architecture

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REVISIONS

DRAWN BY SJT REVIEWED BY CRG DATE 06/03/2013 PROJECT NO. 11-0096.002

DESIGN STANDARDS

DRAWING NAME

Building Design:

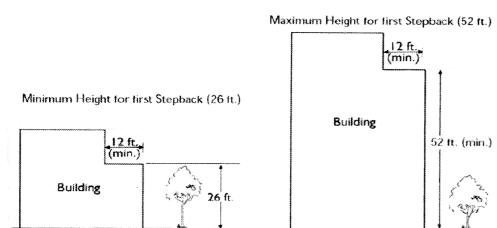
Building Size: The maximum square footage allowable for any one level of a Building for any single user or Establishment shall not exceed 90,000 square feet, unless the Building or Establishment is subject to an approved Site Development Plan which has:

- a Floor Area Ratio of 0.5 or greater, and
- at least 50% of the parking within a structure, which may include a freestanding parking structure, parking on the roof of a building, or parking below a building, and
- primary vehicular access must be to and from a collector street, or a street having a greater capacity, and
- for any Building or Establishment, any part of the occupiable area of which is within ¼ mile of the centerline of Louisiana or Menaul Boulevard, one major façade and one major public entrance of the Building or Establishment shall be separated from either Louisiana Boulevard, Menaul Boulevard, or any other bounding arterial street only by landscaping (hard & soft), sidewalks and/or pedestrian plaza as described in this Plan.

Floor Area Ratio (FAR)

- There is no maximum FAR in the Uptown Area.
- For properties 7 acres in size or larger the minimum FAR shall be 0.3. If the owner/representative of any property of at least 7 acres in size puts forth a completed application to obtain a TIDD from the City of Albuquerque and/or Bernalillo County and/or the State of New Mexico and is turned down, that property is not subject to a minimum FAR. If the Tax Increment Allotment awarded is not sufficient to build the infrastructure as proposed and the owner/representative of the property rejects the Tax Increment Allotment that property is not subject to a minimum FAR.
- Properties of less than 7 acres have no minimum FAR.
- For sites that have a one-level building in excess of 90,000 sf for any single-user or Establishment, the minimum FAR shall be 0.5.

• SU-3 for MU-UPT: Any Building height is allowed in SU-3 for MU-UPT so long as it has the required Stepback. A Stepback may occur at a minimum of 26 feet above ground level but at least one Stepback must occur at or before 52 feet above ground level. Only one Stepback is required. The minimum depth of a Stepback is 12 feet. The Stepback requirement only applies to the Façade of a Building that contains the main or primary entrance of the Building. Arcades, Awnings, or other pedestrian overhead structures shall be provided for all other exterior entryways. Parking Structures are not required to have a Stepback.



Setbacks

SU-3 for MU-UPT:

- A zero foot setback is permissive as long as a 10 foot Walkway and a 4 foot landscaped Planting Strip shall be provided between the Building Façade and
- the back of curb. There is no maximum setback.
- Setbacks along Menaul Blvd. shall be a minimum of 15 feet or as directed by the Menaul Blvd. Corridor Plan.
- All New Construction and/or Redevelopment must comply with all the zoning and design regulations of the current USDP except where specifically exempt.
- New Construction shall be allowed to occur in multiple phases provided that the phasing is clearly delineated on an approved Site Development Plan and provided that each individual phase meets the regulations of the current USDP as that phase is developed.
- LEED and Green Building methods are strongly encouraged for building and environmental benefits. A combination of planning, design, materials, technology, and vegetation will obtain the greatest benefits for the surrounding environment and for the life of the Buildings.

Buildings

 Materials on Buildings shall support a high quality, diverse architectural character that provides variety, interest and vitality. To achieve design integrity, individual building elements shall be of excellent design and quality materials such as brick, slate, stone or tile.

 The following external building materials shall be prohibited: Engineered wood paneling Vinyl siding Unfinished, solid faced, concrete masonry units Any other material designated as prohibited by the Planning

Articulation Regulations:

a. Vertical and horizontal articulation is required on all sides of a b. Articulation shall be required along no less than 50% of the unbroken length of a Building Façade and shall be distributed to avoid creating a blank

wall greater than 25 feet in length. c. At least three of the following elements shall be used for Building Articulation up to 52 feet of Building height above grade. Above 52 feet only two articulation elements are required:

Arcades Awnings Balconies Brackets, projecting Brick Canopies Cantilevers Cornices Entrances, extending outward from a façade Glazing or Windows, to be counted as one item Lintels, projecting and exposed Molding integrated into the Building Multiple finishes i.e. stone, brick and stucco Pitched roof forms Planters that incorporate landscaped areas and can be used for seating Portals Slate Tile

Transoms Trellises

Wall accenting i.e. shading, engraved patterns, etc. Wing-walls that include landscaped areas and can be used for seating Any other treatment that meets the approval of the Planning

Wireless Telecommunication Facilities (WTFs)

Wireless Telecommunication Facility shall be concealed facilities integrated into the building, face mounted or roof mounted, not freestanding and as required.

The following regulations apply to the SU-3 for MU-UPT Zone unless otherwise noted.

- Signs shall be contained within the property lines of the Premise upon which the sign is located and no sign shall project over any vehicular traffic area.
- All supports, frames and posts shall be painted, covered with masonry, stucco, decorative building materials or otherwise finished.
- Freestanding Signs including Monument Signs

a. Number of signs: i. A Premise shall be permitted one (1) Freestanding Sign along each Street and an additional one (1) Freestanding Sign for every one-hundred-fifty (150) feet of Street frontage along a

single Street. ii. A joint sign Premise

> a) A joint sign Premise agreement may be created by two or more owners of abutting Premises. This agreement shall allow the owners to combine the Street frontages of their properties in order to meet the one-hundred-fifty (150) feet of Street frontage required for one (1) additional Freestanding Sign.

b. Sign Area – Square Footage

i. Freestanding Signs may have two or more sides, but only the largest side of the Freestanding Sign shall be used in calculating the square footage of the sign. ii. A Premise within the SU-3 for MU-UPT Zone shall be permitted two- hundred (200) square feet of Sign Area for each sign, and an additional twenty (20) square feet of Sign Area for every one-hundred-twenty-five (125) feet of Street frontage along a single Street. In no case shall Sign Area shall exceed two-hundred-sixty (260) square feet.

c. Height and Length i. Freestanding Signs shall not exceed twenty-six (26) feet in

ii. The length of any individual Freestanding Sign* shall not exceed eighty (80) feet.

d. Freestanding signs with overhead wiring to supply electric power are prohibited.

• 7. Building-Mounted Signs including Wall, Marquee, Projecting and Canopy Signs a. Wall Signs shall adhere to the following regulations:

i. Number of signs: Every storefront, business or Building Façade is allowed to have Wall Signs on Façades facing Streets excluding alleys. There is no limit on the number of Wall Signs provided the signs do not exceed the percentage of Façade Sign Area regulations.

ii. Sign Area: The maximum allowable Sign Area of a storefront, business or Building Façade is based on the following percentages:

a) Twenty-five percent (25%) of the storefront, business or Building Façade to which it is applied, if the sign area is wholly visible from any abutting Street other than Louisiana, San Pedro, Indian School, Menaul and/or Interstate-40.

b) Thirty percent (30%) of the storefront, business or Building Façade to which it is applied, if the sign area is wholly visible from and abutting Louisiana, San

Pedro, Indian School, Menaul and /or Interstate-40.

iii. Height, length and/or width: Wall Signs may be any shape or size provided that they do not exceed the Sign allowances. iv. Wall Signs* may extend above the height of the Facade it is mounted on provided:

a) the Wall Sign is a continuation of the plane of the Façade where it is mounted b) that no more than twenty-five percent (25%) of the

Wall Sign height extends above the height of the Façade where it is mounted

c) that Wall Signs extending above the roof shall have sign supports covered in a manner which integrates the sign with the building design. Angle irons or similar

supports shall not be visible from public Right-of-Way v. Wall Signs shall not extend more than six (6) inches from the wall on which they are displayed.

b. Marquee Signs shall adhere to the following regulations: i. Number of Signs and Sign Area are governed by the same regulations as Wall Signs and shall be included in the total Wall Sign square footage authorized for each storefront, business or Building Façade

ii. Marquee Signs are allowed to project out a maximum of ten feet from the building where they are mounted. iii. Marquee Signs shall be mounted at least twelve (12) feet

above grade level as measured from the bottom of the sign. c. Projecting Signs not including Marquee Signs, shall adhere to the following regulations:

i. Projecting Signs shall be mounted at least twelve (12) feet above grade level as measured from the bottom of the sign. ii. Projecting Signs shall not extend above the ridgeline or the parapet wall of the Building by more than an additional ten percent (10%) of the height of the Projecting Sign measured from bottom of the sign to the ridgeline or parapet wall. iii. If there is only one (1) Projecting Sign on a storefront, business, or Building Façade, that sign shall not extend or project more than six (6) feet out from the storefront, business or Building Façade where it is mounted. If there are two (2) or more Projecting Signs on a storefront, business or Building Façade, no two (2) or more Projecting Signs shall extend or project more than four (4) feet out from the mounting wall. iv. The front surface or the surface parallel to the Façade may be no wider than two (2) feet or it will be considered a Wall Sign and shall be included in the total Wall Sign square footage authorized for the storefront, business or Building

Façade where it is mounted. d. Canopy or Awning Signs shall adhere to the following regulations: i. Canopies and Awnings are encouraged as articulation elements therefore, there is no limit to the number of Canopies or Awnings that may have signage printed directly

on the Canopy or Awning. ii. Separate signage mounted under and/or supported by a Canopy or an Awning located at ground level is discouraged and limited to one such sign per Façade. The bottom of such

sign shall be at least seven (7) feet above grade. iii. Separate signage mounted under and/or supported by an Awning or a Canopy extending from a window on any level is prohibited.

8. Additional Permanent signs, as follows, are allowed on private property but do not count towards any sign allowances with regard to number of signs or Sign Area Other limitations on these signs are listed individually

a. Wayfinding, "Sense of Place" and Informational Kiosks "Sense of Place", Wayfinding, informational Kiosks and directional signs are allowed on private or public property but shall have no references to specific businesses or products. b. Religious Signs

On-Premise signs consisting only of religious symbols of a religious group operating an institution or place of worship may be as high as fifteen (15) feet above the roof top of the principal building on the lot, regardless of whether the sign is illuminated. c. Flags

Official national, state, city flags and flags containing logos or emblems may fly for any period of time. d. Indoor Signs

Signs inside a building or structure, provided the sign is not so located as to be conspicuously visible and readable, without intentional effort, from outside the building or structure. e. Private Traffic Signs

Private traffic direction signs which are necessary for and function only to direct traffic movement onto, off of, or within a Premise shall be allowed without limit as to number. The maximum size shall not exceed

six (6) square feet. These signs shall not contain commercial advertising. Standard traffic signal light devices may be used if needed and approved by the Traffic Engineer. Horizontal directional signs on and flush with paved areas are exempt from limitations. f. Public Utility Signs

Signs placed by a public utility for the safety, welfare, or of the public are allowed, such as signs identifying high voltage, public telephones, or underground cable, etc.

g. Non-illuminated names of Buildings, dates of erection, monuments citations, and commemorative tablets are allowed when carved into stone, concrete, metal, or any other permanent type construction and made an integral part of an approved structure, or made flush to the ground (but not obstructing the view of traffic).

10. Creative Signage

Creative Signage is encouraged and incentivized within the Uptown Area. All illuminated signs and signs with moving elements require sign permits. a. Illumination

i. Any Illumination shall follow the New Mexico "Night Skies"

ii. Any Freestanding Sign or Building Mounted Sign may be illuminated and/or dynamic except for any restrictions or

prohibitions listed in the current USDP iii. Lighted signs including those that move, flash, rotate or use revolving lights, pulsating or oscillating beacons or spotlights, shall be at least fifty (50) feet away from any R-1 residential zone that is not within the USDP boundaries.

iv. Lighted signs* including those that move, flash, rotate or use revolving lights, pulsating or oscillating beacons or spotlights, shall not be wholly visible from any R-1 residence that is not within the USDP boundaries.

v. Any illuminated sign*, or any illuminated element of any sign, may turn on or off, or change its brightness, provided that no sign or any part of any sign move or rotate at a rate more often than once each ten seconds, or change its message or picture at a rate more often than once each five seconds. The motion of wind devices are not restricted.

vi. LED displays and holographic signs* are allowed with moving text and images provided the signs meet the requirements and allowances for either Freestanding Signs or Building Mounted Signs.

vii. Any Freestanding Sign* or Building Mounted Sign* may have changeable letters and text.

b. New Technologies and/or Sign Materials

The technology and materials for signs are constantly changing. Since these rules may predate new technologies that may be attractive and effective signs for the Uptown Area, an applicant may submit a Signage Plan indicating the use of such technologies and/or materials to the Planning Director for administrative approval. c. Iconic Signs

i. Iconic signs are encouraged in the Uptown Area. As an incentive for installing an Iconic Sign, exceptions shall be made as to height and length of the sign. In addition, one extra sign per street frontage shall be permitted if the sign is deemed to be an "Iconic Sign" by the Planning Director.

11. Transit Shelter and/or Uptown Circulator Signage Transit shelter and/or Uptown Circulator signage are signs which are

attached to, or part of, the structure of a transit or circulator shelter a. Transit Shelter and/or Uptown Circulator signs shall mirror the style of Uptown "Sense of Place" and Wayfinding signs. b. Transit shelter signs and/or Uptown Circulator signs shall not exceed twenty-four (24) square feet of Sign Area. c. A transit shelter sign and/or Uptown Circulator sign may be on the public Right-of-Way or on private property abutting the public Right-

d. Illumination shall be in accordance with Chapter V., Section L. # 10. e. A transit shelter sign and/or Uptown Circulator sign shall not encroach upon the Clear Sight Triangle.

Signs Advertising Alcoholic Beverages.

a. Freestanding and/or Building-Mounted signs that advertise alcoholic beverages are prohibited.

c. Signs that serve to identify businesses that sell alcohol are allowable but these business signs shall not include the name, logo or slogan of any alcoholic beverages.

13. Prohibited Signage

In addition to any other signs prohibited in the current USDP, the following signs are prohibited in the SU-3 for MU-UPT Zone a. Private signs on the public Right-of-Way, except for address signs,

numbers only b. Off-Premise Signs which advertise an activity, business, product, or service not located on, or no longer produced or conducted on the Premise upon which the sign is located unless the sign can meet the requirements for a new cap and replace Off-Premise sign. c. Signs that contribute to the confusion of traffic control such as signs resembling traffic control lighting, unauthorized traffic signs, signals, markings or devices which purport to be or are imitations of official traffic control devices.

d. Signs which hide or interfere with the effectiveness of any official traffic control device.

e. Signs with high intensity electronic discharge strobe lights.

f. Mobile signs or wheel/trailer mounted signs. g. Signs that violate the Clear Sight Triangle

h. Signs with audible devices.

archite cture

interiors landscape

planning engineering

7601 Jefferson NE Suite 100 Albuquerque, NM 87109 505 761-9700 fax 761-4222 |dps@dpsdesign.org

ARCHITECT

ENGINEER

PROJECT

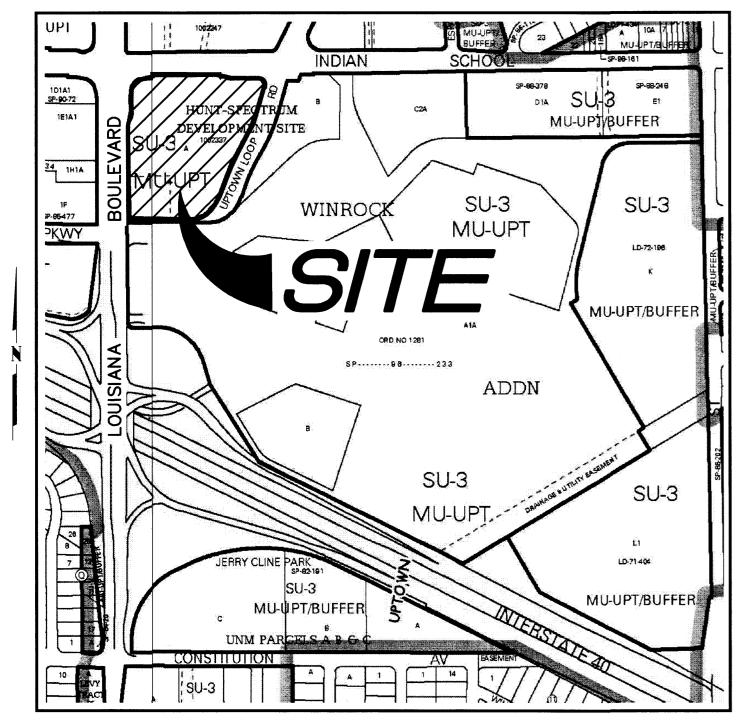
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REVISIONS

DRAWN BY SJT REVIEWED BY CRG DATE 01/__/2013 PROJECT NO. 11-0096.002

DESIGN STANDARDS

DRAWING NAME



VICINITY MAP

Not To Scale

GENERAL NOTES

- 1. Bearings are grid and based on the New Mexico State Plane Coordinate System, Central Zone (NAD83).
- 2. Distances are ground.
- 3. Distances along curved lines are arc lengths.
- Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ().
- 5. All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated
- All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- 7. City of Albuquerque Zone Atlas Page J-19.

SUBDIVISION DATA

- 1. Total number of existing Tracts: 1
- Total number of Tracts created: 3
- Gross Subdivision acreage: 7.3573 acres.

SECTION 14-14-4-7 PROHIBITION ON PRIVATE RESTRICTIONS ON THE INSTALLATION OF SOLAR COLLECTORS

"No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat.'

TREASURERS CERTIFICATION

	to certify following:		taxes	are	current	and	paid	
								_
			-					
Bernali	llo County	Treas	urer				Date	

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- A. Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- B. New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- C. Qwest d/b/a CenturyLink QC for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication
- D. Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

DISCLAIMER

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

PURPOSE OF PLAT

The purpose of this plat is to:

- Create 3 new tracts from existing Tract A−1.
- 2. Grant the additional Public Service Company of New Mexico Easement.

PLAT OF

TRACTS A-1-A, A-1-B AND A-1-C HUNT-SPECTRUM DEVELOPMENT SITE

(BEING A REPLAT OF TRACT A-1, HUNT-SPECTRUM DEVELOPMENT SITE) SITUATE WITHIN

SECTION 18 . TOWNSHIP 10 NORTH, RANGE 4 EAST NEW MEXICO PRINCIPAL MERIDIAN CITY OF ALBUQUERQUE

OCTOBER, 2012

BERNALILLO COUNTY, NEW MEXICO

PROJECT NUMBER:	
Application Number:	
PLAT APPROVAL	
UTILITY APPROVALS:	
Public Service Company of New Mexico	Date
New Mexico Gas Company	Date
QWest Corporation d/b/a CenturyLink QC	Date
Comcast	Date
CITY APPROVALS:	
City Surveyor Department of Municipal Development	Date
Real Property Division	
	Date
Environmental Health Department	Date
Environmental Health Department Traffic Engineering, Transportation Division	
	Date
Traffic Engineering, Transportation Division	Date
Traffic Engineering, Transportation Division ABCWUA	Date Date Date

SURVEYORS CERTIFICATION

DRB Chairperson, Planning Department

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision: that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

Russ P. Hugg NMPS No. 9750 October 15, 2011

SHEET 1 OF 4

Date

LEGAL DESCRIPTION

All of Tract lettered "A-1" of the HUNT-SPECTRUM DEVELOPMENT SITE, City of Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the plat entitled "PLAT OF TRACT A-1, HUNT-SPECTRUM DEVELOPMENT SITE (A REPLAT OF TRACT A, HUNT-SPECTRUM DEVELOPMENT SITE) SITUATE WITHIN SECTION 18, TOWNSHIP 10 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico, on January 3, 2012, in Plat Book 2012C, Page 001.

Said Tract contains 7.3573 acres, more or less.

FREE CONSENT AND DEDICATION

SURVEYED AND REPLATTED and now comprising "PLAT OF TRACTS A-1-A, A-1-B AND A-1-C, HUNT-SPECTRUM DEVELOPMENT SITE (BEING A REPLAT OF TRACT A-1, HUNT-SPECTRUM DEVELOPMENT SITE) SITUATE WITHIN SECTION 18, TOWNSHIP 10 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", is with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietors(s). Said owner(s) and proprietor(s) do hereby warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby grant to the use of the public forever, the public utility easements as shown hereon. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby certify that they are so authorized to act.

OWNER(S)

HUNT UPTOWN II, LLC, a New Mexico limited liability company
Ву:
James Dobbie
Senior Vice President
Hunt Uptown II, LLC
<u>ACKNOWLEDGMENT</u>
STATE OF NEW MEXICO SS
COUNTY OF BERNALILLO
The foregoing instrument was acknowledged before me this
day of Dobbie,
Senior Vice President of Hunt Uptown II, LLC.
My commission expires Notary Public

PLAT OF

TRACTS A-1-A, A-1-B AND A-1-C HUNT-SPECTRUM DEVELOPMENT SITE

(BEING A REPLAT OF TRACT A-1, HUNT-SPECTRUM DEVELOPMENT SITE)
SITUATE WITHIN

SECTION 18, TOWNSHIP 10 NORTH, RANGE 4 EAST NEW MEXICO PRINCIPAL MERIDIAN CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO

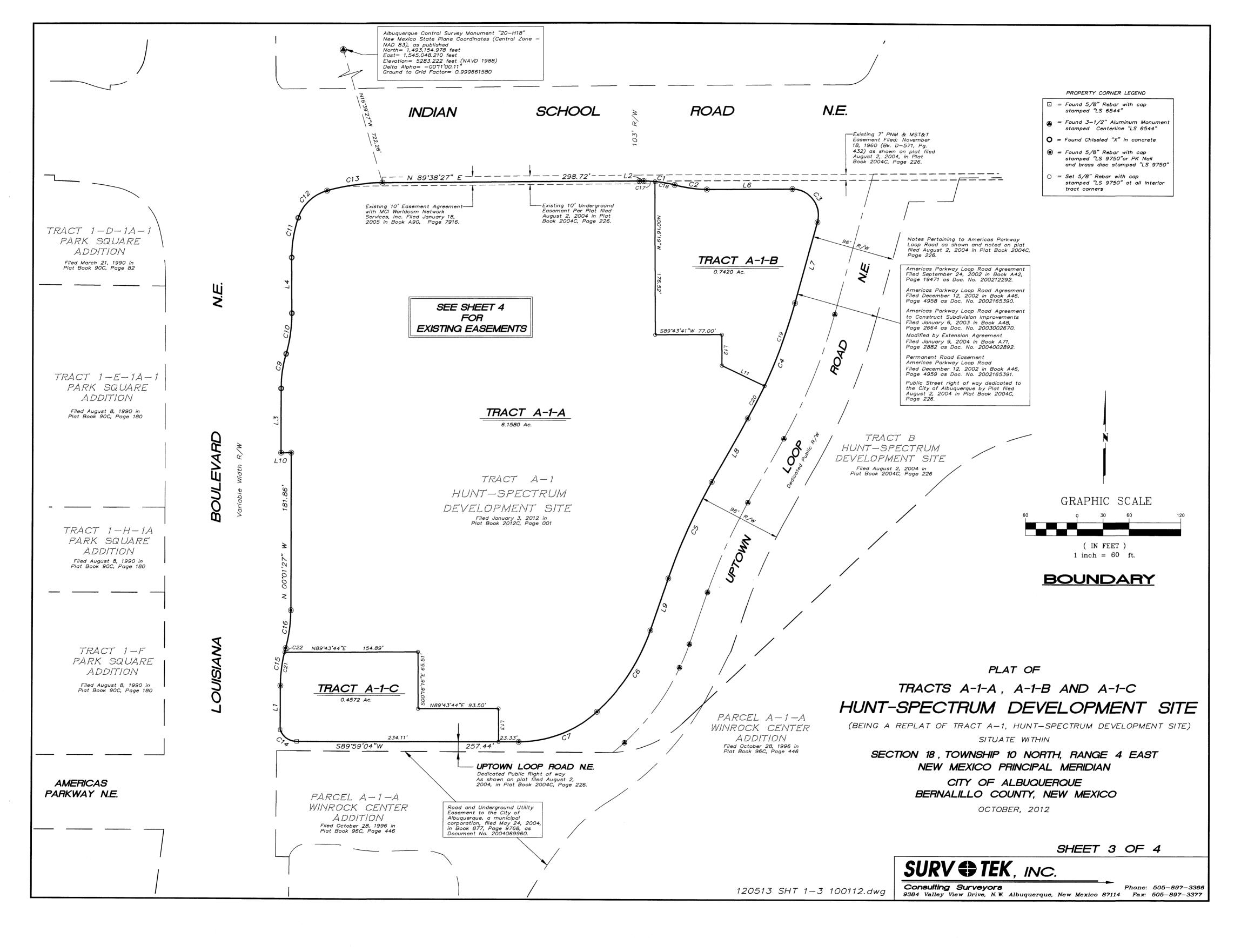
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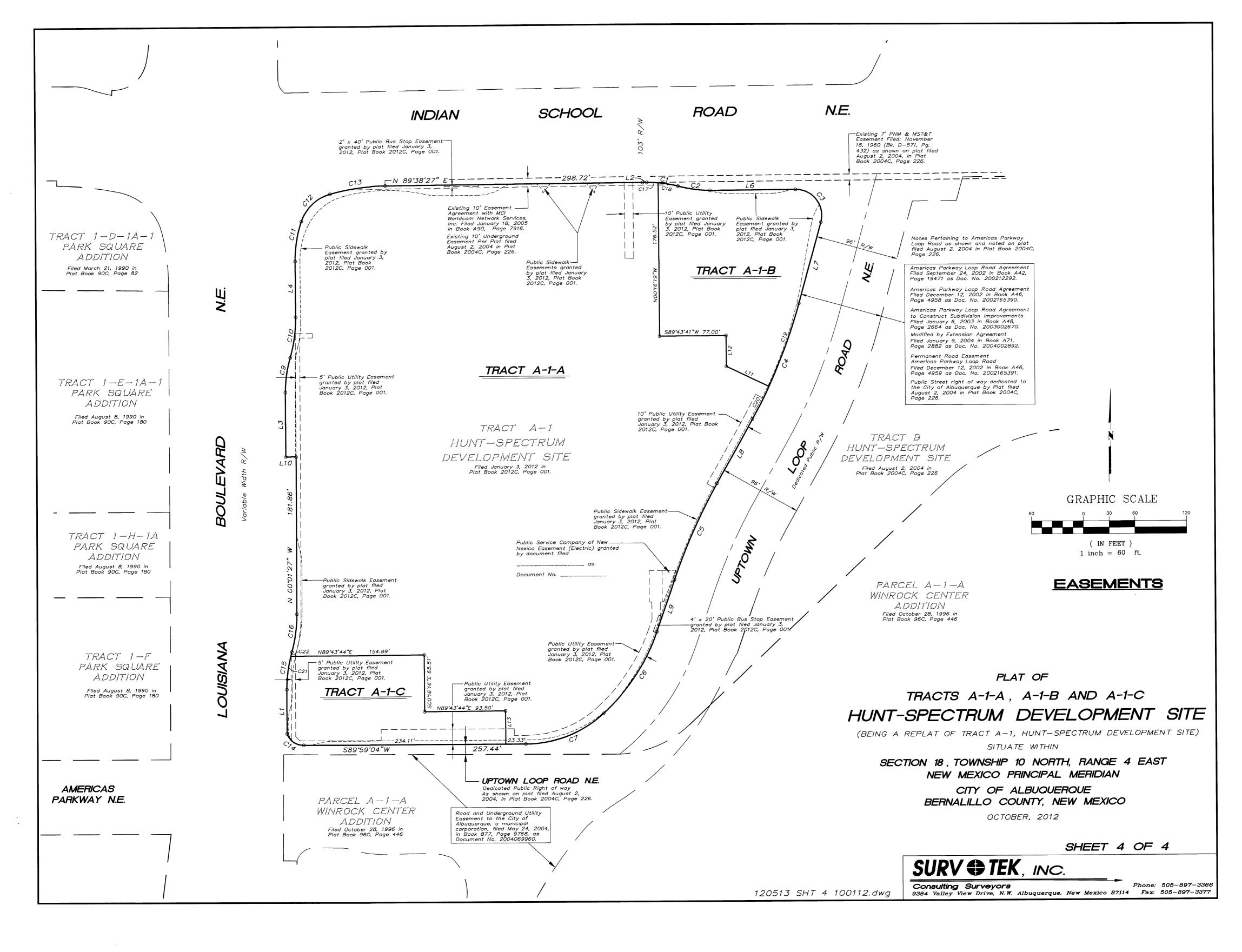
LINE TABLE					
LINE	LENGTH	BEARING			
L1	50.98	N00°01'27"W			
L2	5.00	N89°31'35"E			
L3	74.29	N00°01'27"W			
L4	64.22	N00°16′16″W			
L6	99.36	N89°30'47"E			
L7	96.76	S15°31'05"W			
L8	85.00	S29°12'40"W			
L9	63.18	S19*10'58"W			
L10	12.00	S89*46'51"W			
L11	54.65	N64°47′54"W			
L12	35.30	N00°16′19″W			
L13	38.36	S00°16′16″E			

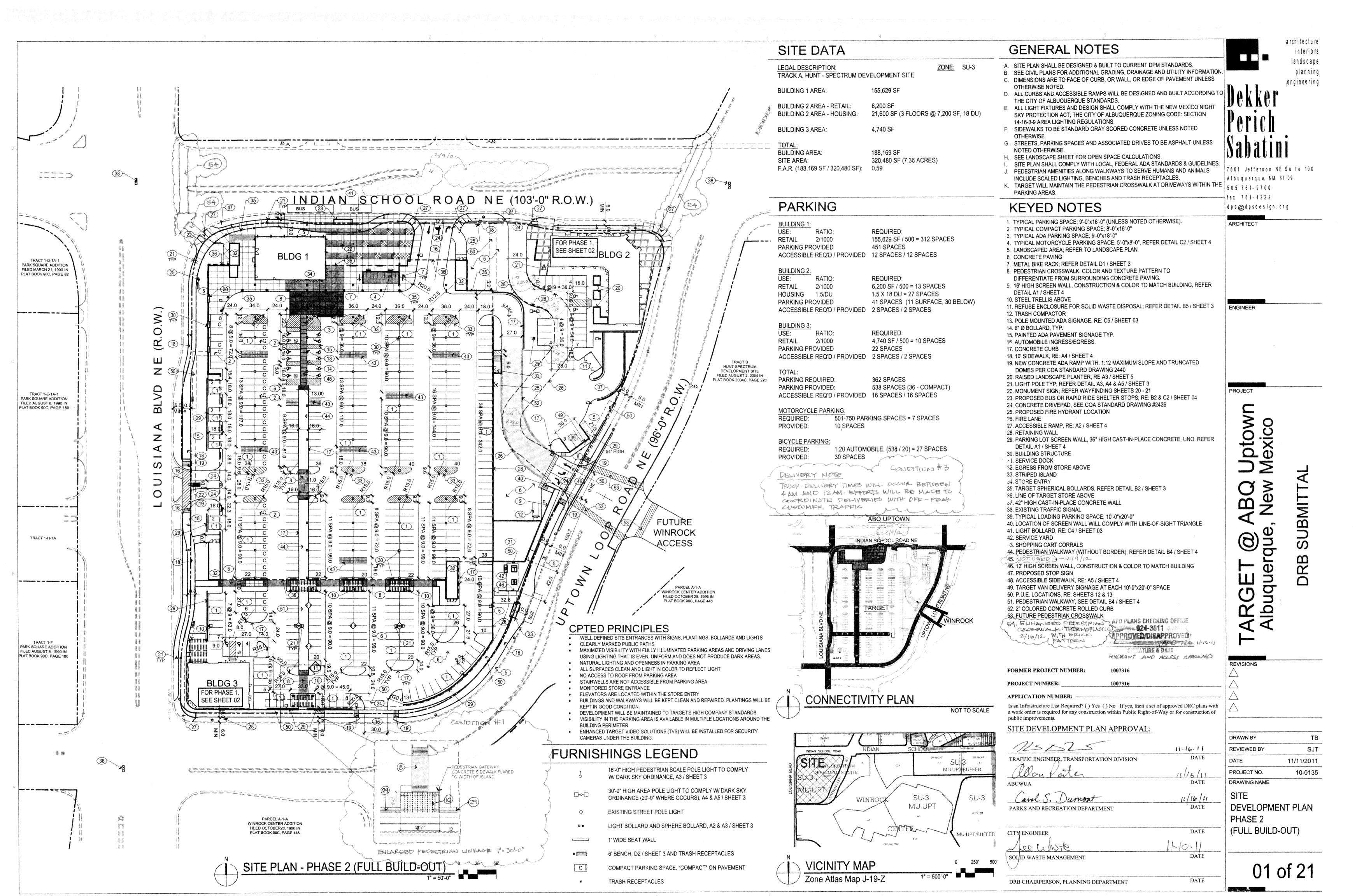
	CURVE TABLE					
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	36.40'	138.90'	18.31'	36.30'	S83*00'08"E	15*01'00"
C2	<i>37.59</i> ′	161.10'	18.88'	37.50'	S82*10'33"E	13°22'02"
C3	<i>55.50</i> '	30.00'	39.82'	47.92'	S37*29'04"E	106'00'21"
C4	143.87	602.00'	72.28'	143.53	S22°21'53"W	13°41'35"
C5	121.82'	698.00'	61.07'	121.67'	S24*12'40"W	10.00,00"
C6	113.73'	226.98'	58.08'	112.54	S33*30'11"W	28°42'27"
<i>C7</i>	99.26'	135.00'	51.99'	97.04'	S68*55'14"W	42°07'39"
C9	40.36'	139.33'	20.32'	40.22'	N08*09'55"E	16°35′51"
C10	47.41'	160.67	23.88'	47.24'	N08*06'34"E	16 ° 54'26"
C11	46.67'	139.33'	23.55	46.45'	N09'09'47"E	19*11'27"
C12	47.64'	49.33'	25.86	45.81	N46°34'41"E	55 * 19'58"
C13	65.04	239.33'	32.72'	64.84	N81*54'05"E	15*34'14"
C14	25.14'	20.00'	14.54	23.52	N55*44'57"W	72°01'55"
C15	43.96'	160.00'	22.12'	43.82'	N07*50'46"e	15*44'26"
C16	43.96'	160.00'	22.12'	43.82'	N07*50'46"E	15*44'26"
C17	13.02'	138.90'	6.51'	13.01'	N87°49'33"W	5 ° 22′10″
C18	23.39'	138.90'	11.72'	23.36'	N80°19'03"W	9*38'50"
C19	101.74'	602.00'	50.99'	101.62'	N20°21'36"E	9'41'00"
C20	42.13'	602.00'	21.07'	42.12'	N27*12'23"E	4°00'35"
C21	38.92'	160.00'	19.56	38.83'	S06°56'41"W	13 ° 56'15"
C22	5.03'	160.00'	2.52'	5.03°	S14°48'54"W	1.48,11"

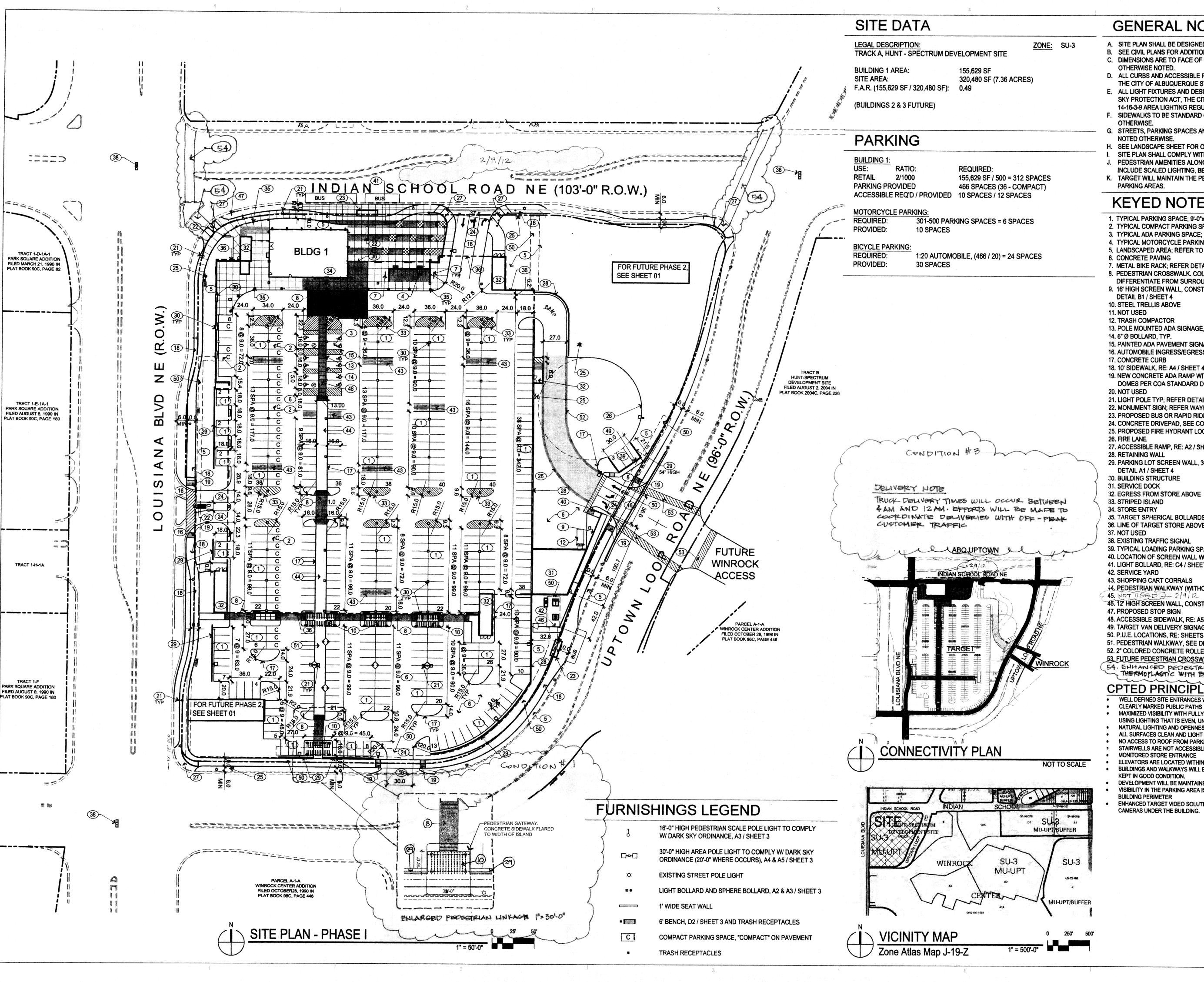
SHEET 2 OF 4

SURV TEK, INC.









GENERAL NOTES

- A. SITE PLAN SHALL BE DESIGNED & BUILT TO CURRENT DPM STANDARDS.
- SEE CIVIL PLANS FOR ADDITIONAL GRADING, DRAINAGE AND UTILITY INFORMATION. C. DIMENSIONS ARE TO FACE OF CURB. OR WALL, OR EDGE OF PAVEMENT UNLESS
- D. ALL CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO
- THE CITY OF ALBUQUERQUE STANDARDS.
- E. ALL LIGHT FIXTURES AND DESIGN SHALL COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT, THE CITY OF ALBUQUERQUE ZONING CODE: SECTION 14-16-3-9 AREA LIGHTING REGULATIONS.
- F. SIDEWALKS TO BE STANDARD GRAY SCORED CONCRETE UNLESS NOTED
- STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS
- I. SEE LANDSCAPE SHEET FOR OPEN SPACE CALCULATIONS.
- SITE PLAN SHALL COMPLY WITH LOCAL, FEDERAL ADA STANDARDS & GUIDELINES
- PEDESTRIAN AMENITIES ALONG WALKWAYS TO SERVE HUMANS AND ANIMALS INCLUDE SCALED LIGHTING, BENCHES AND TRASH RECEPTACLES.
- K. TARGET WILL MAINTAIN THE PEDESTRIAN CROSSWALK AT DRIVEWAYS WITHIN TH PARKING AREAS.

KEYED NOTES

- TYPICAL PARKING SPACE; 9'-0"x18'-0" (UNLESS NOTED OTHERWISE).
- 2. TYPICAL COMPACT PARKING SPACE; 8'-0"x16'-0"
- 3. TYPICAL ADA PARKING SPACE; 9'-0"x18'-0"
- 4. TYPICAL MOTORCYCLE PARKING SPACE; 5'-0"x8'-0", REFER DETAIL C2 / SHEET 4
- 5. LANDSCAPED AREA; REFER TO LANDSCAPE PLAN
- 7. METAL BIKE RACK; REFER DETAIL D1 / SHEET 3
- 8. PEDESTRIAN CROSSWALK. COLOR AND TEXTURE PATTERN TO
- DIFFERENTIATE FROM SURROUNDING CONCRETE PAVING.
- 9. 16' HIGH SCREEN WALL, CONSTRUCTION & COLOR TO MATCH BUILDING, REFER
- 10. STEEL TRELLIS ABOVE
- 13. POLE MOUNTED ADA SIGNAGE, RE: C5 / SHEET 03
- 14. 6" Ø BOLLARD, TYP.
- 15. PAINTED ADA PAVEMENT SIGNAGE TYP.
- 16. AUTOMOBILE INGRESS/EGRESS
- 18. 10' SIDEWALK, RE: A4 / SHEET 4
- 19. NEW CONCRETE ADA RAMP WITH. 1:12 MAXIMUM SLOPE AND TRUNCATED DOMES PER COA STANDARD DRAWING 2440
- 21. LIGHT POLE TYP; REFER DETAIL A3, A4 & A5 / SHEET 3
- 22. MONUMENT SIGN; REFER WAYFINDING SHEETS 20 21
- 23. PROPOSED BUS OR RAPID RIDE SHELTER STOPS, RE: B2 & C2 / SHEET 04 24. CONCRETE DRIVEPAD, SEE COA STANDARD DRAWING #2426
- 25. PROPOSED FIRE HYDRANT LOCATION
- 27. ACCESSIBLE RAMP, RE: A2 / SHEET 4
- 29. PARKING LOT SCREEN WALL, 36" HIGH CAST-IN-PLACE CONCRETE, UNO, REFER
- 30. BUILDING STRUCTURE
- 31. SERVICE DOCK
- 32. EGRESS FROM STORE ABOVE
- 35. TARGET SPHERICAL BOLLARDS, REFER DETAIL B2 / SHEET 3
- 36. LINE OF TARGET STORE ABOVE
- 38. EXISTING TRAFFIC SIGNAL
- 39. TYPICAL LOADING PARKING SPACE; 10'-0"x20'-0" 40. LOCATION OF SCREEN WALL WILL COMPLY WITH LINE-OF-SIGHT TRIANGLE
- 41. LIGHT BOLLARD, RE: C4 / SHEET 03
- 42. SERVICE YARD
- 43. SHOPPING CART CORRALS
- 44. PEDESTRIAN WALKWAY (WITHOUT BORDER), REFER DETAIL B4 / SHEET 4
- 46. 12' HIGH SCREEN WALL, CONSTRUCTION & COLOR TO MATCH BUILDING
- 47. PROPOSED STOP SIGN 48. ACCESSIBLE SIDEWALK, RE: A5 / SHEET 4
- 49. TARGET VAN DELIVERY SIGNAGE AT EACH 10'-0"x20'-0" SPACE
- 50. P.U.E. LOCATIONS, RE: SHEETS 12 & 13
- 51. PEDESTRIAN WALKWAY, SEE DETAIL B4 / SHEET 4 52. 2" COLORED CONCRETE ROLLED CURB
- 53. FUTURE PEDESTRIAN CROSSWALK
- 54. ENHANCED PEDESTRIAN CROSSWALK: 2/16/12 THERMOTLAGNIC WITH BRICK PATTERN

CPTED PRINCIPLES

- WELL DEFINED SITE ENTRANCES WITH SIGNS, PLANTINGS, BOLLARDS AND LIGHTS
- MAXIMIZED VISIBILITY WITH FULLY ILLUMINATED PARKING AREAS AND DRIVING LANES
- USING LIGHTING THAT IS EVEN, UNIFORM AND DOES NOT PRODUCE DARK AREAS. NATURAL LIGHTING AND OPENNESS IN PARKING AREA
- ALL SURFACES CLEAN AND LIGHT IN COLOR TO REFLECT LIGHT NO ACCESS TO ROOF FROM PARKING AREA
- STAIRWELLS ARE NOT ACCESSIBLE FROM PARKING AREA
- MONITORED STORE ENTRANCE
- ELEVATORS ARE LOCATED WITHIN THE STORE ENTRY BUILDINGS AND WALKWAYS WILL BE KEPT CLEAN AND REPAIRED, PLANTINGS WILL BE KEPT IN GOOD CONDITION.
- DEVELOPMENT WILL BE MAINTAINED TO TARGET'S HIGH COMPANY STANDARDS. VISIBILITY IN THE PARKING AREA IS AVAILABLE IN MULTIPLE LOCATIONS AROUND THE
- ENHANCED TARGET VIDEO SOLUTIONS (TVS) WILL BE INSTALLED FOR SECURITY
- CAMERAS UNDER THE BUILDING.

02 of 21

DEVELOPMENT PLAN

SJT

11/10/2011

10-0135

architecture

interiors landscape

planning

engineering

7601 Jefferson NE Suite 100

Albuquerque, NM 37109

dps@dpsdesign.org

505 761-9700

fax 761-4222

ARCHITECT

ENGINEER

PROJECT

ptow

(g)

REVISIONS

DRAWN BY

DATE

REVIEWED BY

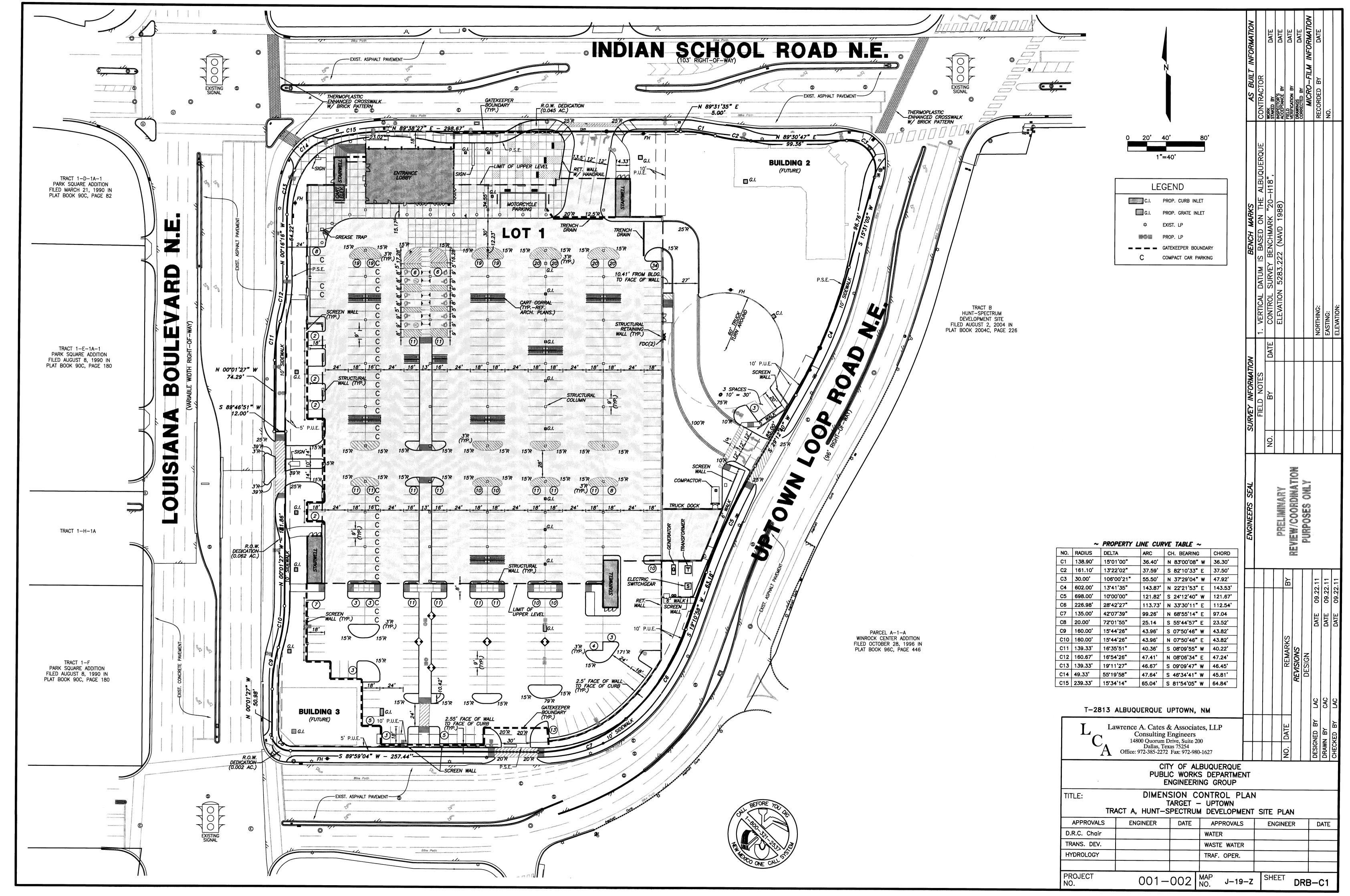
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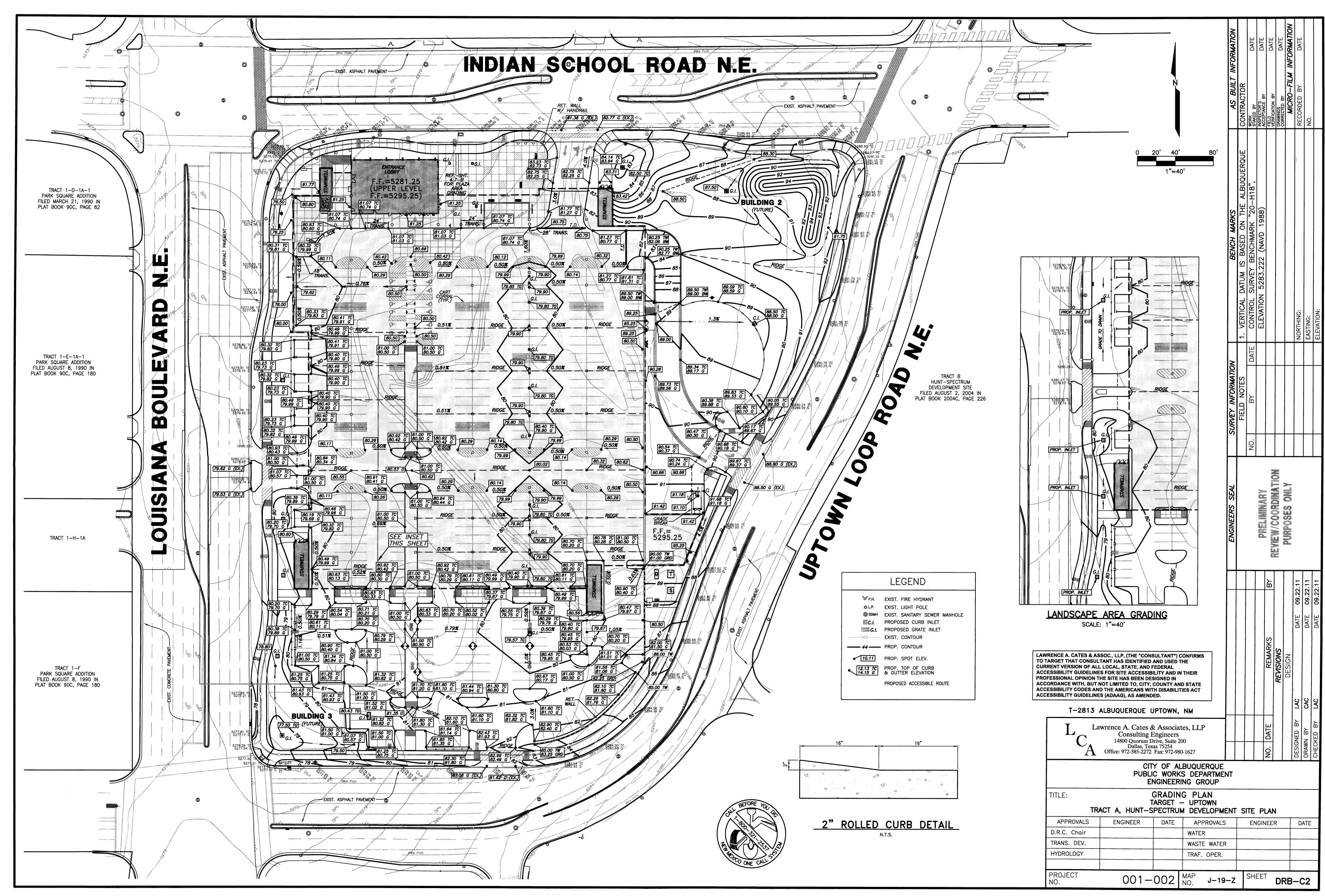
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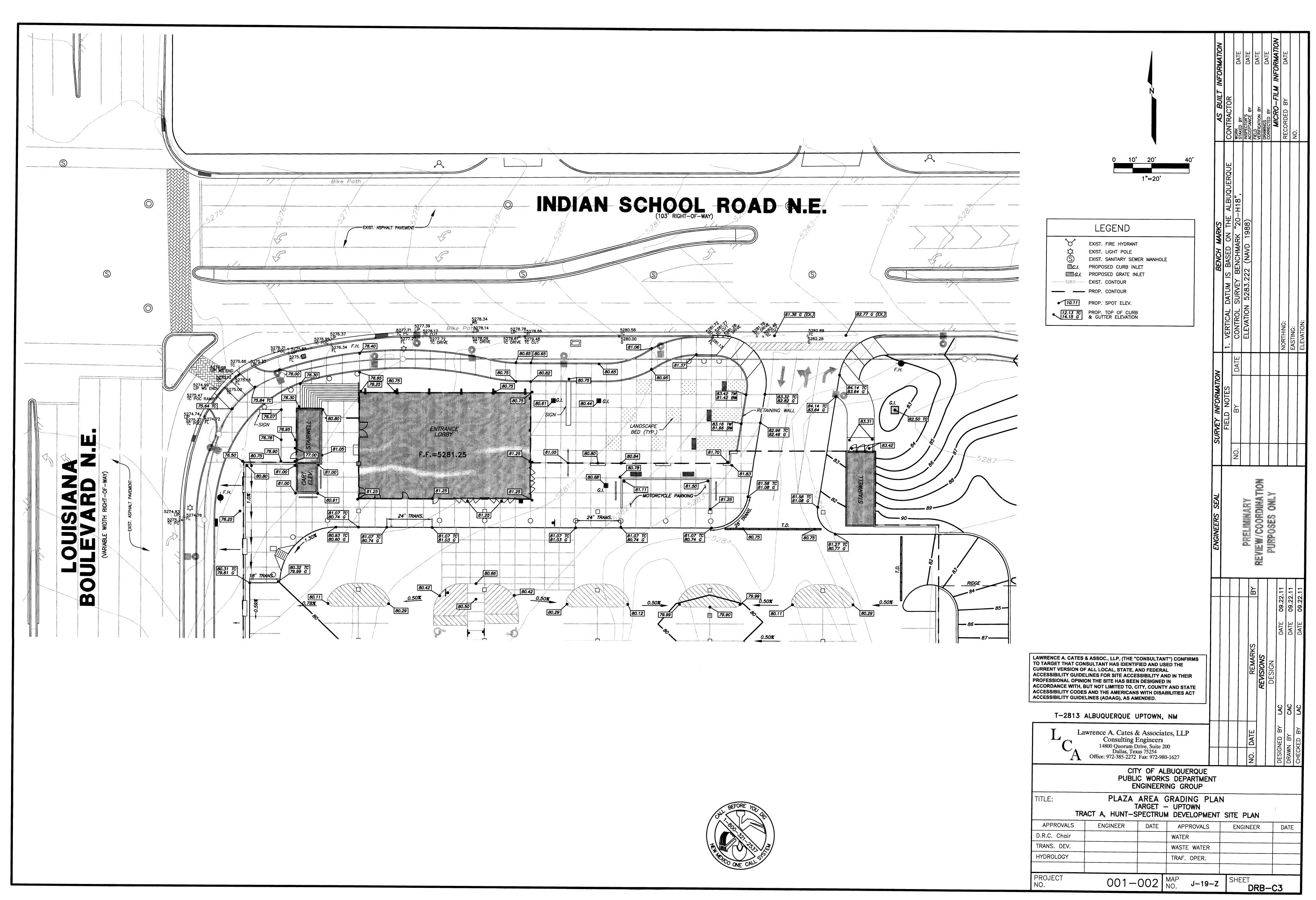
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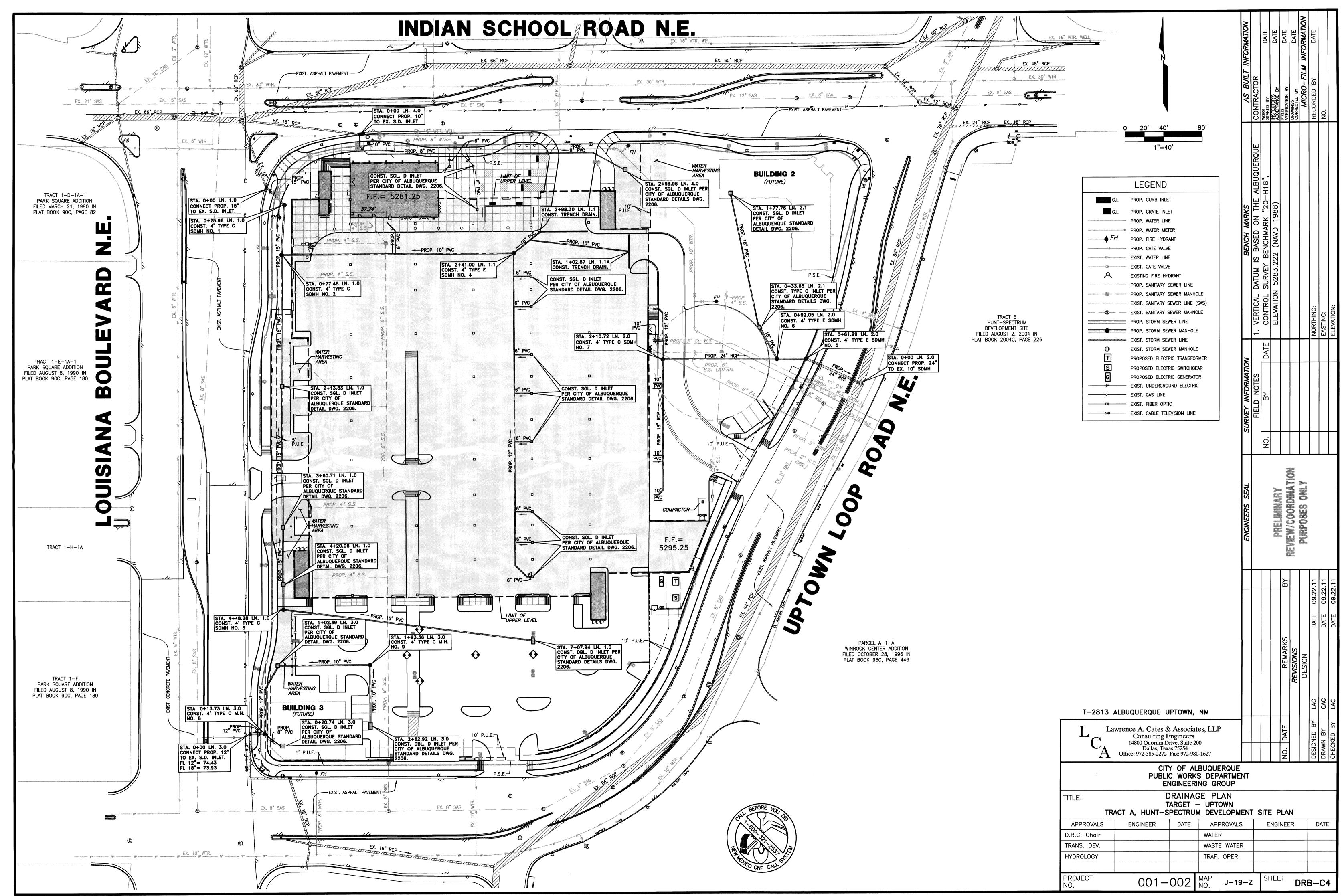
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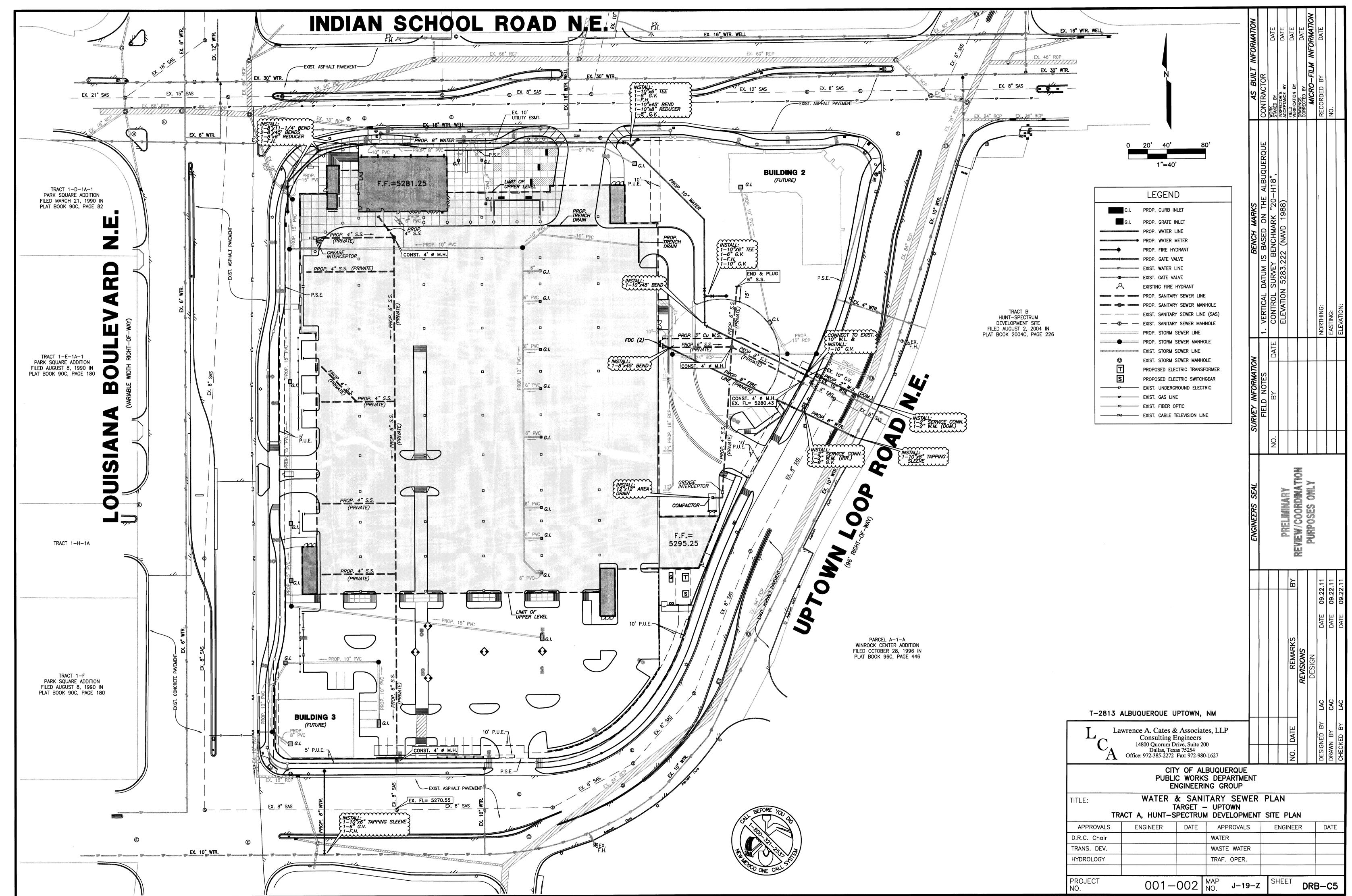
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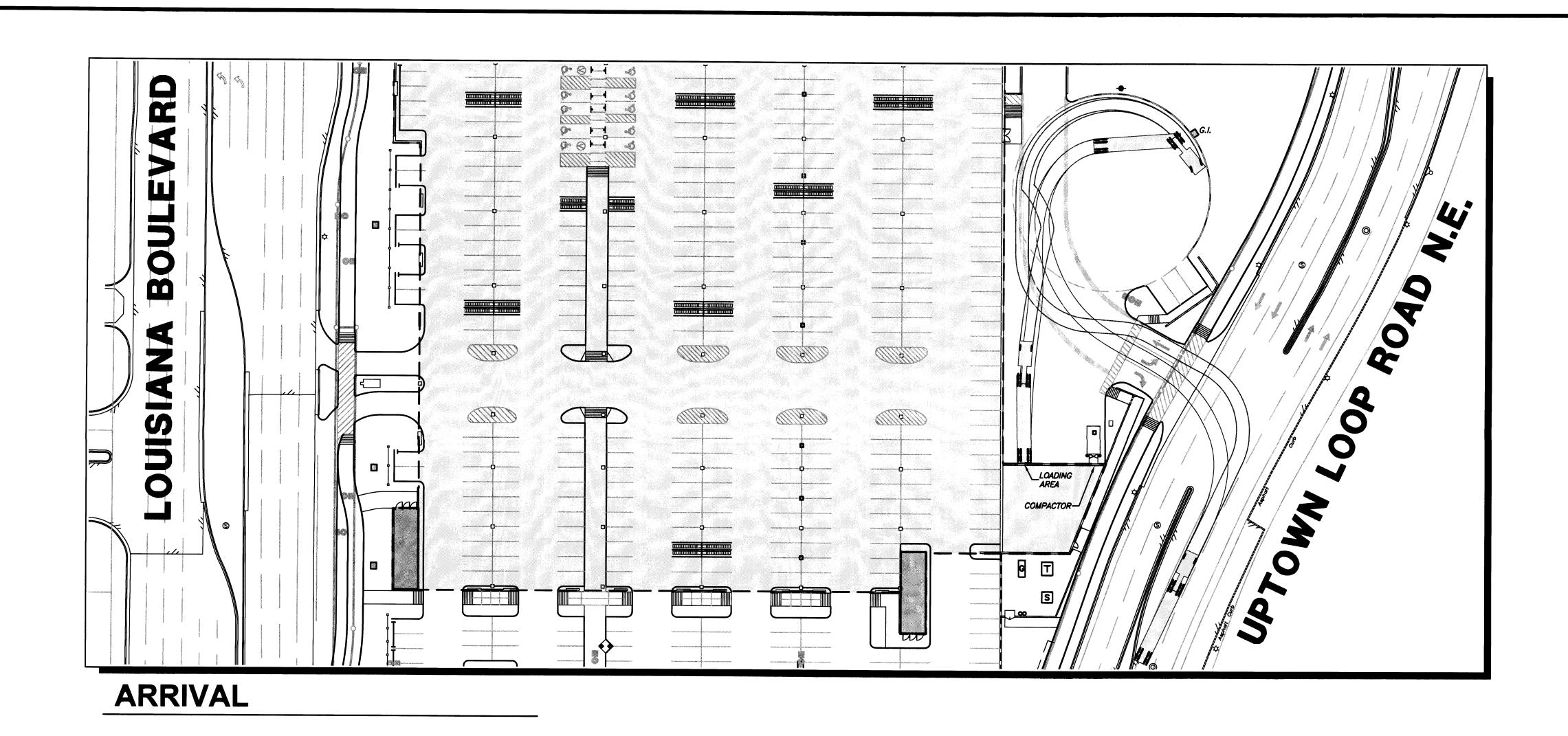
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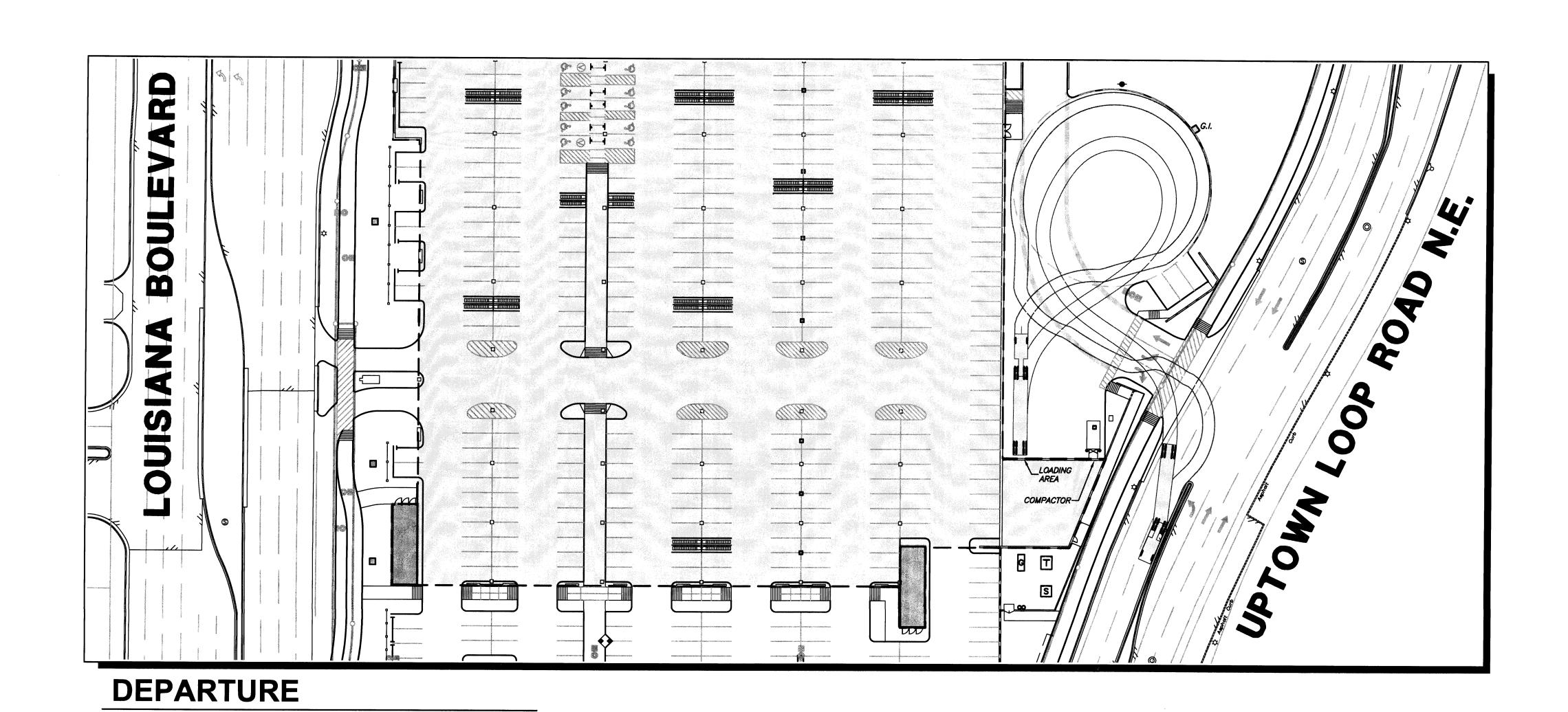


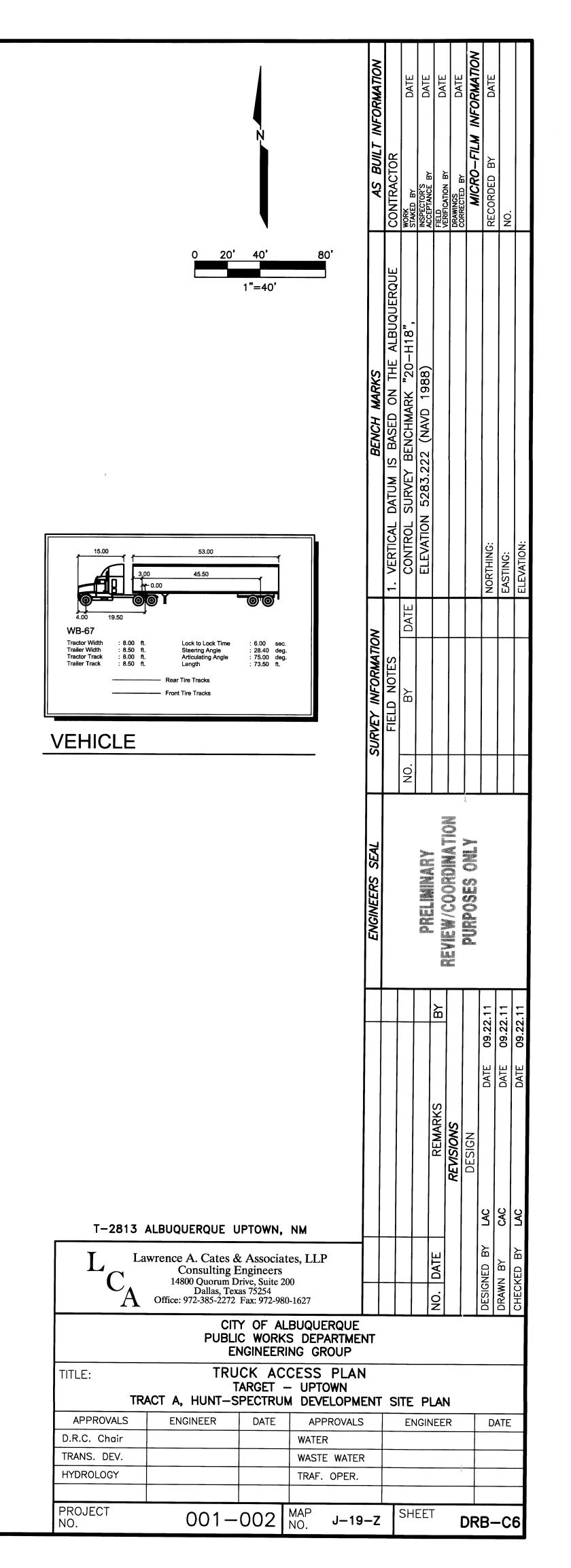
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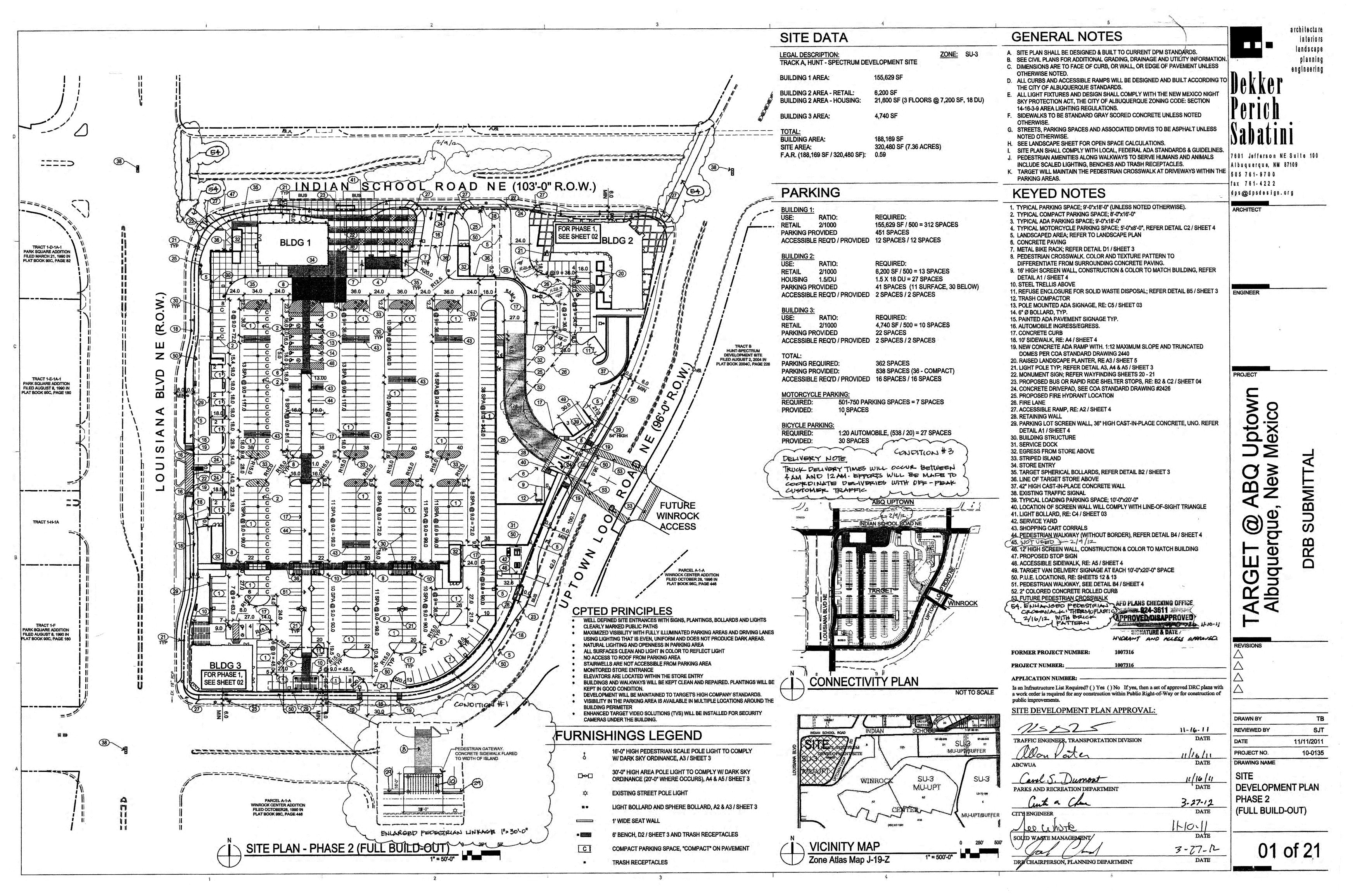
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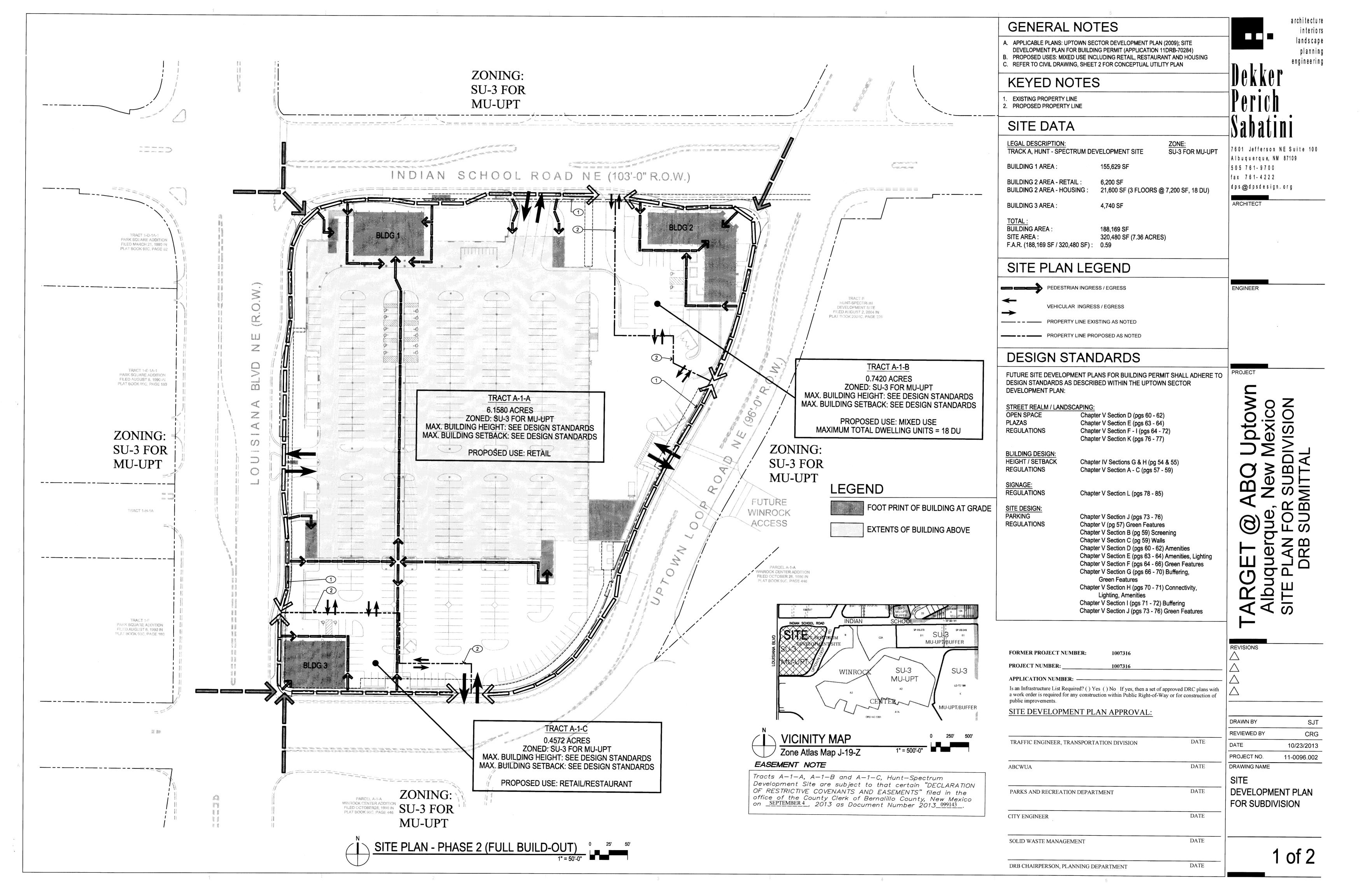


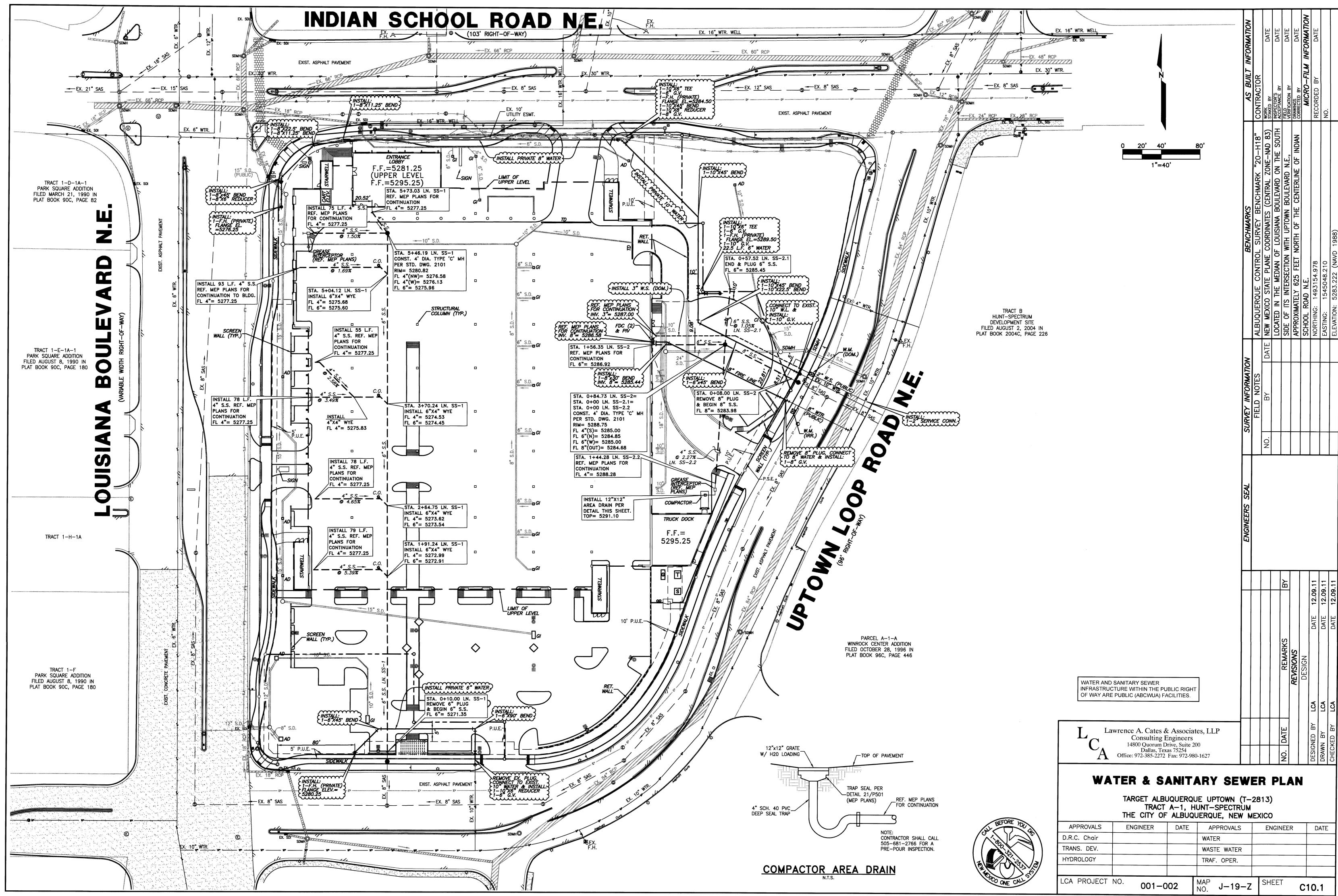


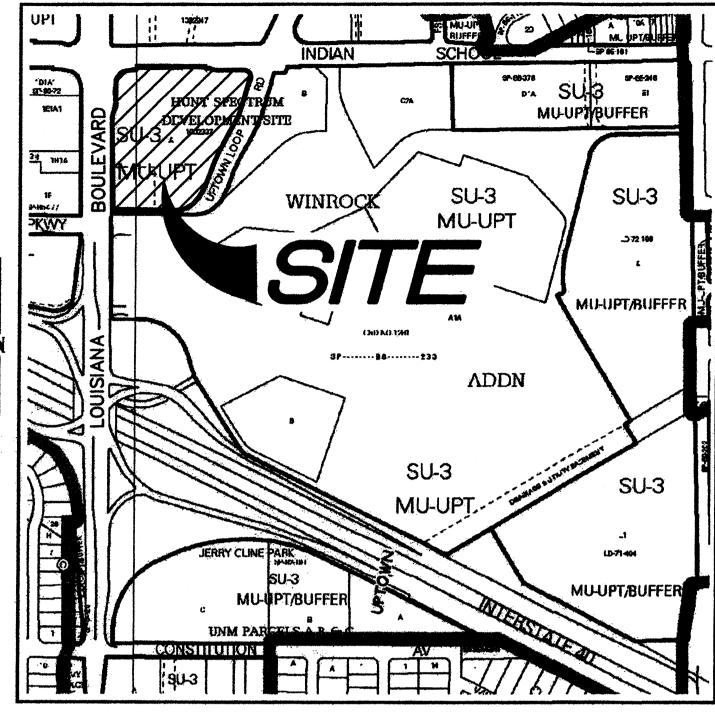


S\001-002\DRB\001-002_TRUCK DRIVING--2.dwg, SHEET 1, 2/16/2012 3:25.15









VICINITY MAP Not To Scale

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- Distances along curved lines are arc lengths.
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- 7. City of Albuquerque Zone Atlas Page J-19.

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- Total number of Tracts created: 3
- Gross Subdivision acreage: 7.3573 acres.

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"No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat.*

TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following: 101905802949820114

larger Corporation 9/10/14 Bernalillo County Treasurer

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PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- A. Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
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- D. Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

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- 1. Create 3 new tracts from existing Tract A-1.
- 2. Grant the public and private easements as shown hereon.

PLAT OF

TRACTS A-1-A, A-1-B AND A-1-C HUNT-SPECTRUM DEVELOPMENT SITE

(BEING A REPLAT OF TRACT A-1, HUNT-SPECTRUM DEVELOPMENT SITE) SITUATE WITHIN

SECTION 18, TOWNSHIP 10 NORTH, RANGE 4 EAST NEW MEXICO PRINCIPAL MERIDIAN CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO

JULY, 2013

PROJECT	NUMBER:	10073	16
Application	Number: _	13 PRB-	70675

PLAT APPROVAL	
HE MAN LE	8-5-13
Public Service Company of New Mexico	B/13/2013
New Mekico Gas Company	Date
QWest Corporation d/b/a CenturyLink QC	0/9/5 Date
COPICAST CITY ARPROVALS:	Date
Lily Surveyor	7-31-13
Department of Municipal Development	Date 11-72-13 Date
Real Property Division NA Environmental Health Department	11-27-13 Date
Traffic Engineeting, Tijansportation Division	10/23/13
ABCWUA	10/23/13
Caul S. Dumont	Date /0-23-/3 Date
Centra chen	10-23-13
City Engineer	10-23-13 Date
DRB Chairperson, Planning Department	11-22-13 Date

SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors: that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and pelief.

NMPS No. 9750 July 3, 2013

DOC# 2014071469

09/10/2014 10:42 AM Page: 1 of 4 ityPLAT R \$25.00 B: 2014C P: 0100 M. Toulous Olivere, Bernalillo Cour | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ### | ###

SHEET 1 OF 4

Consulting Surveyors Phone: 505-897-3366 9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114 Fax: 505-897-3377

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9750

LEGAL DESCRIPTION

All of Tract lettered "A-1" of the HUNT-SPECTRUM DEVELOPMENT SITE, City of Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the plat entitled "PLAT OF TRACT A-1, HUNT-SPECTRUM DEVELOPMENT SITE (A REPLAT OF TRACT A, HUNT-SPECTRUM DEVELOPMENT SITE) SITUATE WITHIN SECTION 18, TOWNSHIP 10 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO" filed in the office of the County Clerk of Bernalillo County, New Mexico MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico, on January 3, 2012, in Plat Book 2012C, Page 001.

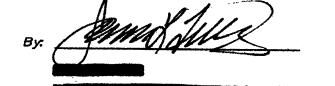
Said Tract contains 7.3573 acres, more or less.

FREE CONSENT AND DEDICATION

SURVEYED AND REPLATTED and now comprising "PLAT OF TRACTS A-1-A, A-1-B AND A-1-C, HUNT-SPECTRUM DEVELOPMENT SITE (BEING A REPLAT OF TRACT A-1, HUNT-SPECTRUM DEVELOPMENT SITE) SITUATE WITHIN SECTION 18, TOWNSHIP 10 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", is with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietors(s). Said owner(s) and proprietor(s) do hereby grant the public and private easements as shown hereon. Said owner(s) and proprietor(s) do hereby warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby certify that they are so authorized to got authorized to act.

OWNER(S)

Target Corporation, a Minnesota Corporation



James L. Tucker Director Real Estate Target Corporation

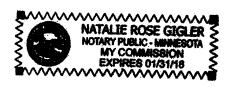
ACKA	WL	EDG	MENT

STATE OF MINNESOTA

COUNTY OF HENNEDIN

The foregoing instrument was acknowledged before me this day of November of Real Estate for Target Coropoation

My commission expires 1/31/18



PLAT OF

TRACTS A-1-A, A-1-B AND A-1-C HUNT-SPECTRUM DEVELOPMENT SITE

(BEING A REPLAT OF TRACT A-1, HUNT-SPECTRUM DEVELOPMENT SITE) SITUATE WITHIN

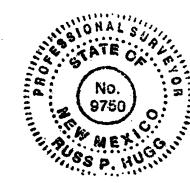
SECTION 18, TOWNSHIP 10 NORTH, RANGE 4 EAST NEW MEXICO PRINCIPAL MERIDIAN CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO

JULY, 2013

LINE	LENGTH	BEARING
L1	50.98	N00°01'27"W
L2	5.00	N89'31'35"E
L3	74.29	N00°01'27"W
L4	64.22	N001616"W
L6	99.36	N89°30'47"E
レフ	96.76	S15*31'05"W
L8	85.00	52912'40"W
<u>L9</u>	63.18	S1970'58"W
L10	12.00	S89'46'51"W
<u>L11</u>	53.96	S89°44'27"W
L12	70.38	N0075'33"W
L13	38.36	\$0076'16"E
L14	21.93'	S89°44'27"W
L15	22.89	S2610'25"E
L16	13.41	S89*59'52"E
L17	7.81	S14°41'02"E
L18	13.37	S89*59'04"W
L19	7.81	N0076'16"W
L20	82.00	N89°43'44"E
L21	53.43	S00'16'16"E
L22	117.00	N89°43'44"E
L23	50.50	S0076'16"E
L24	106.03	S89'43'44"W
L25	53.43	N0076'16"W
L26	43.00	589°43'44"W
L27	13.86	N0016'16"W
L28	10.14	N0016'16"W
L29	6.28	N00°00'56"W
L30	56.91	S00°16'19"E
L31	32.01	N89°43'41"E
L32	75.00	S0076'19"E
L33	3.87	N89°44'27"E
L34	74.14	S19*48'55"E
L35	36.60	S61°03'36"E
L36	29.77	529°12'40"W
L37	43.30	N61°03'36"W
L38	111.12	N0076'19"W
L39	57.07	N0076'19"W

LINE TABLE

CURVE TABLE						
CURVE	LENGTH		TANGENT	CHORD	CHORD BEARING	DELTA
<u>C1</u>	36.40'	138.90'	18.31'	<i>36.30</i> ′	\$83*00'08 " E	15'01'00"
C2	<i>37.59'</i>	161.10'	18.88'	_37.50'	S82*10'33"E	13'22'02"
<i>C3</i>	<i>55.50</i> ′	30.00'	39.82'	47.92'	537°29'04"E	106'00'21"
C4	143.87	602.00	72.28'	143.53	S22°21'53"W	13'41'35"
C5	121.82'	698.00'	61.07'	121.67	S24°12'40"W	10.00,00,
<i>C6</i>	113.73	226.98'	58.08'	112.54'	S33°30′11″W	28'42'27"
<i>C7</i>	99.26'	135.00	51.99'	97.04'	S68*55'14"W	42'07'39"
C9	40.36	139.33'	20.32'	40.22	N08°09'55"E	16'35'51"
C10	47.41'	160.67	23.88	47.24'	N08°06'34"E	16'54'26"
C11	46.67'	139.33'	23.55'	46.45	N09°09'47"E	19'11'27"
C12	47.64	49.33'	25.86'	45.81'	N46°34'41"E	55'19'58"
C13	65.04'	239.33	32.72'	64.84	N81°54'05"E	15'34'14"
C14	25.14'	20.00'	14.54	23.52	N55*44'57"W	72'01'55"
C15	43.96'	160.00'	22.12'	43.82'	N07°50'46"E	15'44'26"
C16	43.96'	160.00'	22.12'	43.82'	N07°50'46"E	15'44'26"
C17	13.02'	138.90'	6.51'	13.01'	N87°49'33"W	5'22'10"
C18	23.39°	138.90'	11.72'	23.36'	N8019'03"W	9:38'50"
C19	10.61'	602.00'	5.31'	10.61'	N28'42'22"E	100'37"
C20	133.26'	602.00'	66.90'	132.99'	N21°51'35"E	12.40.59"
C21	38.92'	160.00'	19.56'	38.83'	S06°56'41"W	1/3*56'15"
C22	<i>30.00</i> °.	117.19'	15.08'	29.92'	N82'39'01"E	14'40'06"
C23	23.56'	15.00'	15.00'	21.21'	S45°16'16"E	90.00,00,
C24	31.51	20.00'	20.09'	28.35'	N45'08'36"W	9015'20"
C25	23.56'	15.00'	15.00'	21.21'	N4516'16"W	90.00.00.
C26	43.98'	28.00'	28.00'	39.60'	S45°16'19"E	90.00.00
C27	14.01'	15.00'	7.56'	13.51'	S40'44'45"W	53'31'25"
C28	62.83'	60.00'	34.64'	60.00'	N43°58'58"E	59'59'51"
C29	23.57	10.00'	24.17'	18.48'	S06°27'40"W	135°02'27"
C30	91.86'	40.00'	88.95'	72.96'	S04*43'38"W	131'34'28"
C31	24.71'	20.00'	14.21'	23.17'	N35'07'17"E	70°47'11"
C32	26.50'	20.00'	15.61'	24.61'	N38°14'11"W	75'55'43"
C33	71.56'	54.00'	42.14'	66.44'	S3814'11"E	75'55'43"
C34	115.60'	698.00'	57.93'	115.46'	S23°57'20"W	9'29'19"



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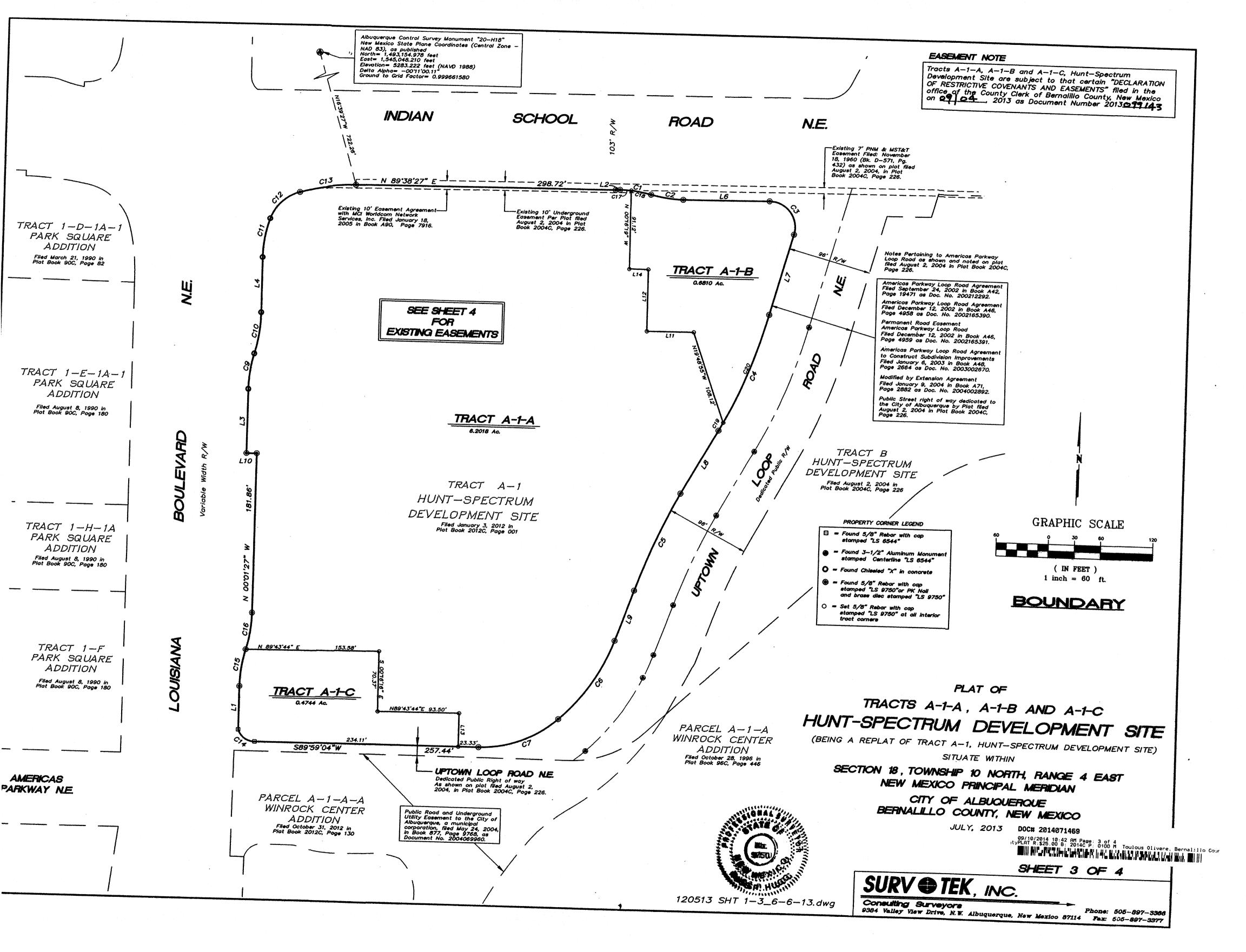
09/10/2014 10:42 AM Page: 2 of 4 ityPLAT R:\$25.00 B: 2014C P: 0100 M. Toulous Olivere, Bernalillo Gour

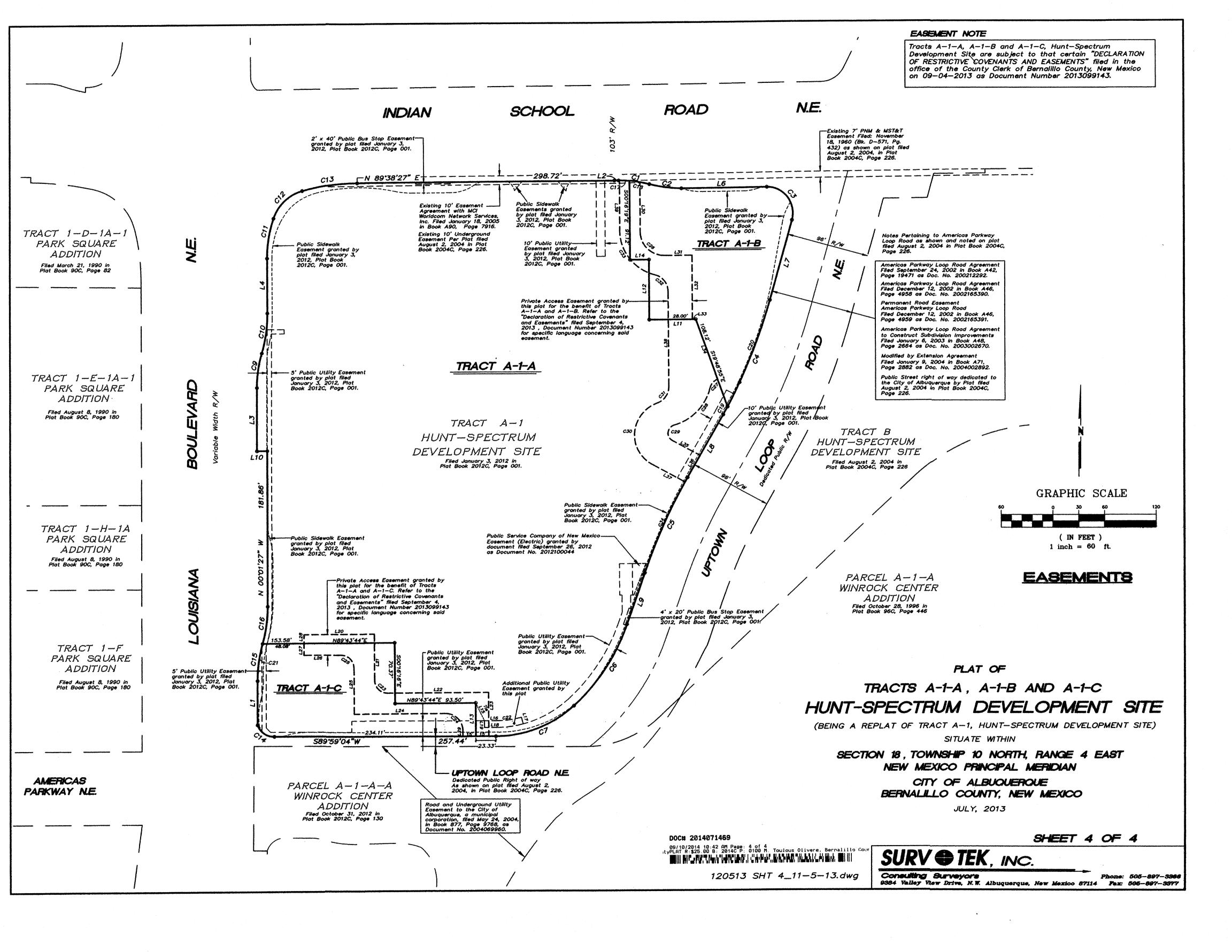
SHEET 2 OF 4

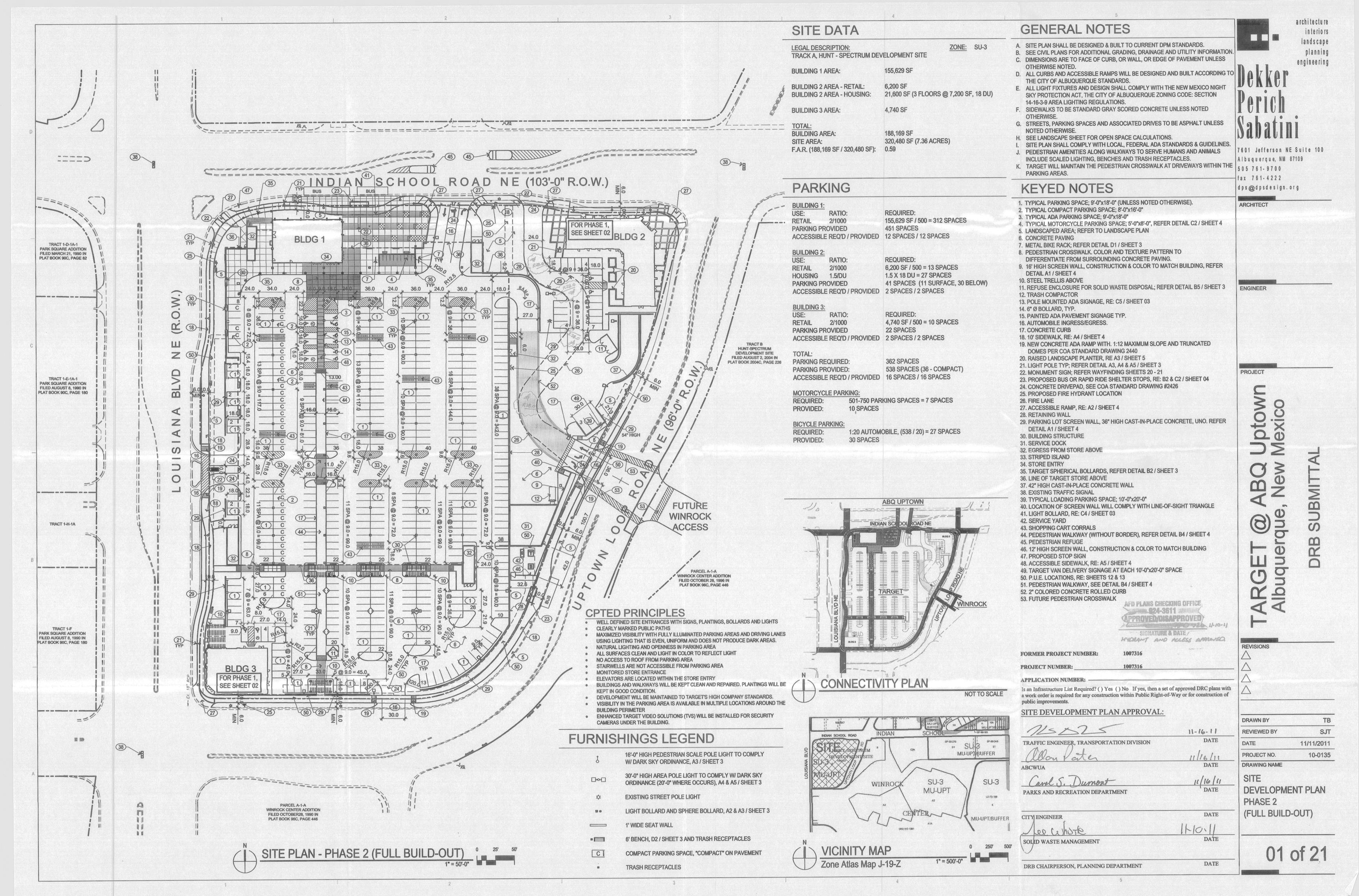
SURV TEK, INC.

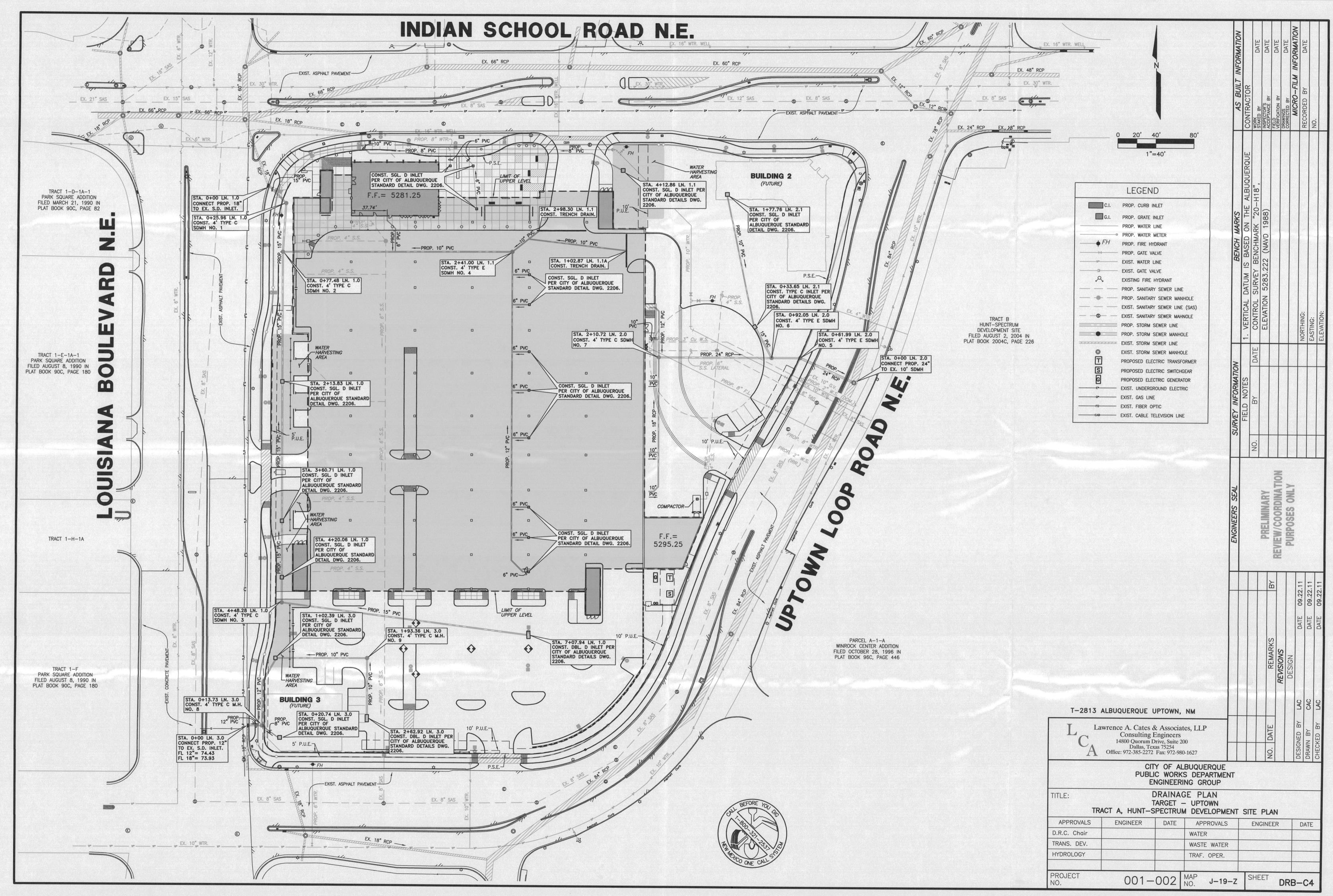
Conculting Surveyors

9384 Velley View Drive, N.W. Albuquerque, New Mexico 87114 Fax: 505-807-3377

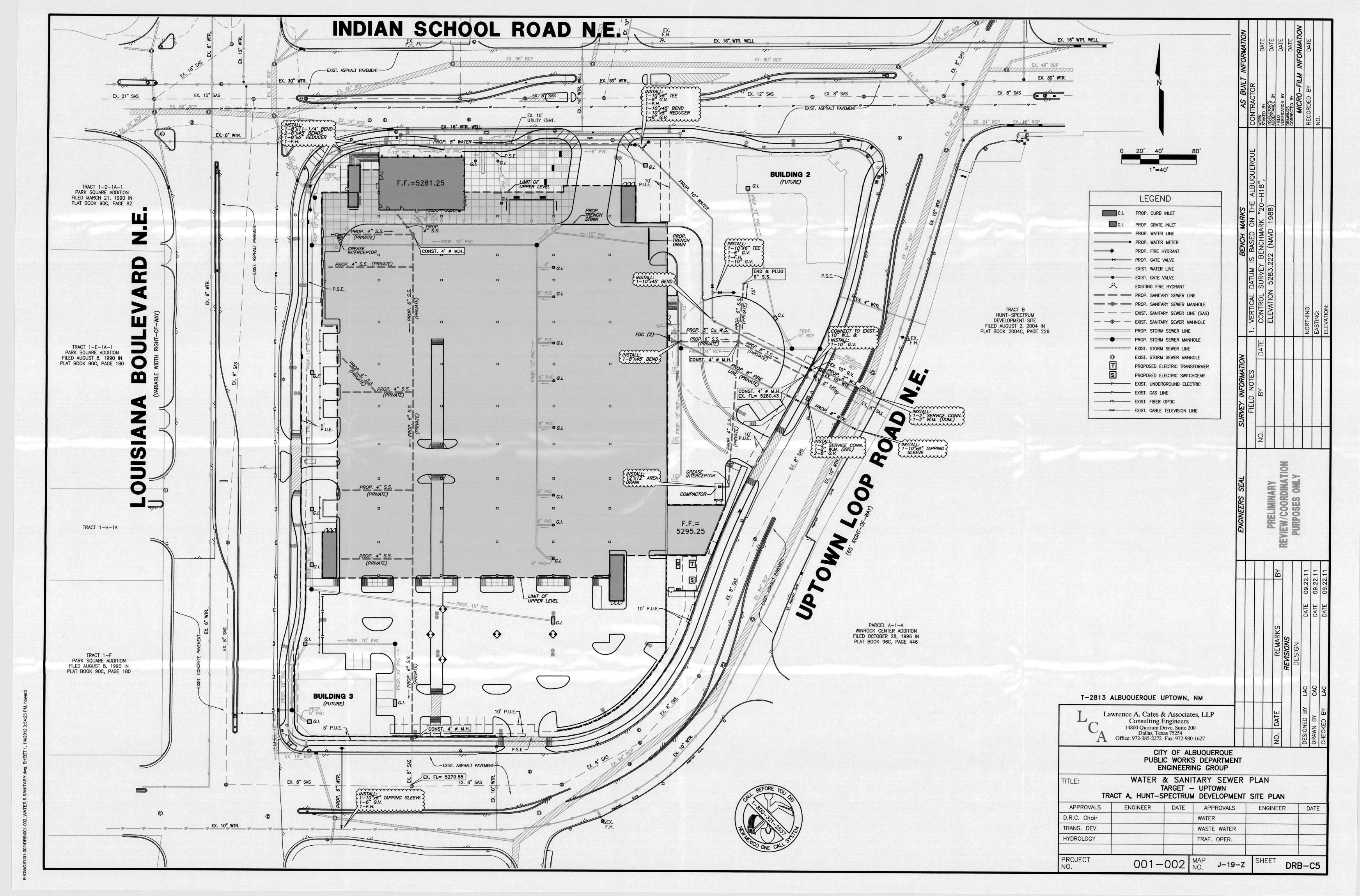


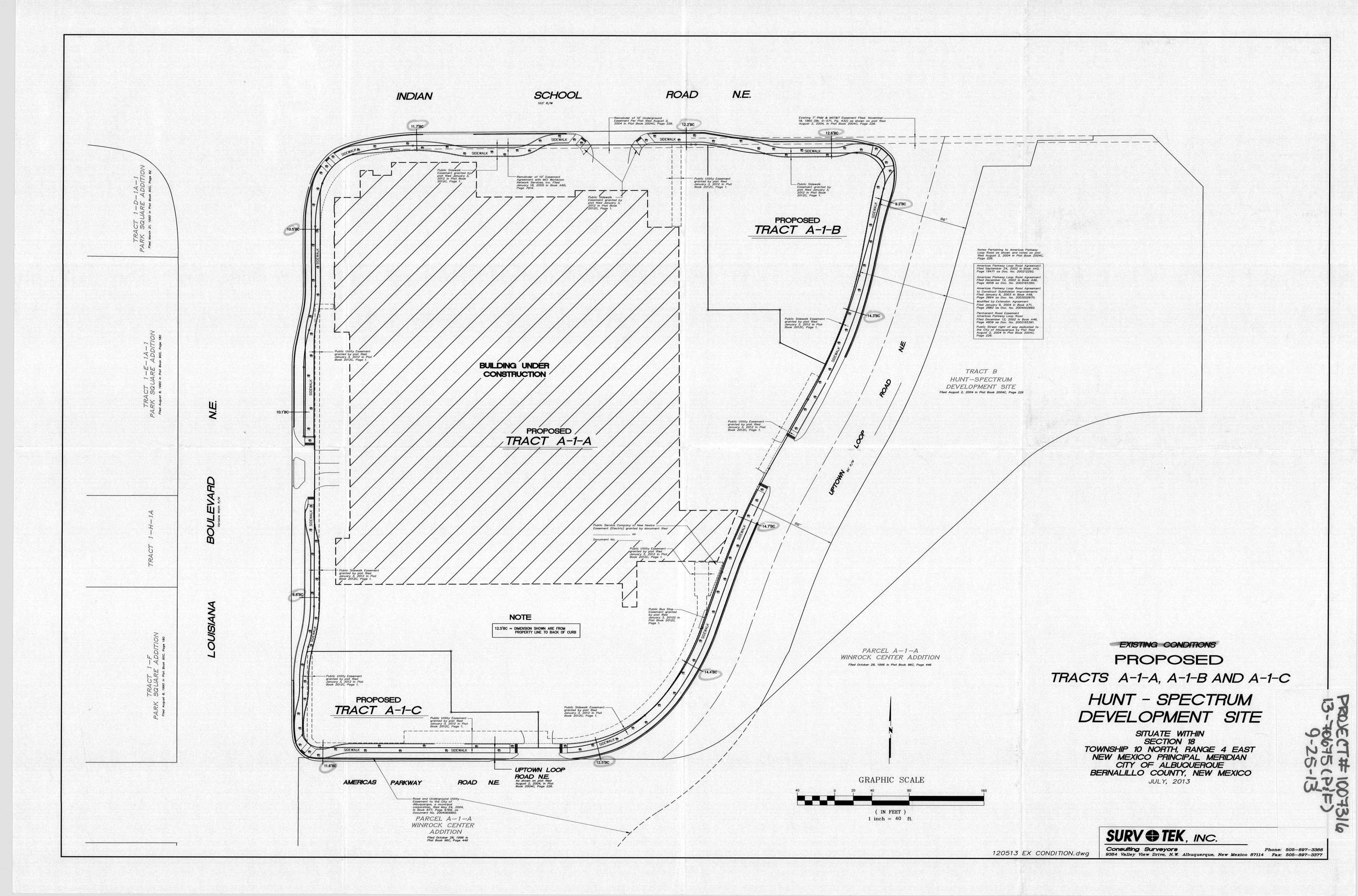


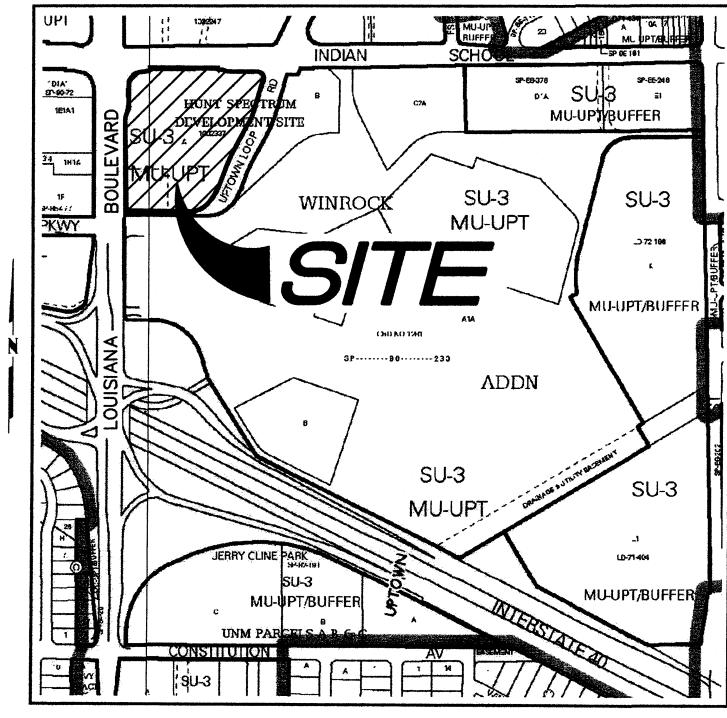




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VICINITY MAP

Not To Scale

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PLAT OF

TRACTS A-1-A, A-1-B AND A-1-C HUNT-SPECTRUM DEVELOPMENT SITE

(BEING A REPLAT OF TRACT A-1, HUNT-SPECTRUM DEVELOPME

SITUATE WITHIN SECTION 18, TOWNSHIP 10 NORTH, RANGE 4 EAS

NEW MEXICO PRINCIPAL MERIDIAN CITY OF ALBUQUERQUE BERNALILLO COUNTY. NEW MEXICO

JULY, 2013

PROJECT NUMBER:	THE PROPERTY OF THE PROPERTY O
Application Number:	
PLAT APPROVAL	
UTILITY APPROVALS:	
temanto light	8-5-15
Bublio Service Company of New Mexico	Date //
New Mekico Gas Company	8/13/2013
The many sas company	0/8/12
QWest Corporation d/b/a CenturyLink QC	
	8/5/13
Copicast	Date
Lind P. A Costa	7-31-13
City Surveyor Department of Municipal Development	Date
Real Property Division	Date
Environmental Health Department	Date
Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
AMAFCA	Date
City Engineer	Date
DRB Chairperson, Planning Department	Date

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Russ NMPS No. 9750 July 3, 2013

SHEET 1 OF 4

Consulting Surveyors 9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114 Fax: 505-897-3377

Phone: 505-897-3366

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9750

LEGAL DESCRIPTION

All of Tract lettered "A-1" of the HUNT-SPECTRUM DEVELOPMENT SITE, City of Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the plat entitled "PLAT OF TRACT A-1, HUNT-SPECTRUM DEVELOPMENT SITE (A REPLAT OF TRACT A, HUNT-SPECTRUM DEVELOPMENT SITE) SITUATE WITHIN SECTION 18, TOWNSHIP 10 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico, on January 3, 2012, in Plat Book 2012C, Page 001.

Said Tract contains 7.3573 acres, more or less.

FREE CONSENT

SURVEYED AND REPLATTED and now comprising "PLAT OF TRACTS A-1-A, A-1-B AND A-1-C, HUNT-SPECTRUM DEVELOPMENT SITE (BEING A REPLAT OF TRACT A-1, HUNT-SPECTRUM DEVELOPMENT SITE) SITUATE WITHIN SECTION 18, TOWNSHIP 10 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", is with the free consent of albuquerQue, Bernalized Countr, New Mexico, is with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) do hereby warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby certify that they are so authorized to act.

OWNER(S)

Target Corporation, a Minnesota Corporation



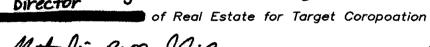
James L. Tucker Director Real Estate Target Corporation

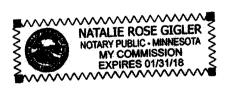
ACKNOWLEDGMENT

STATE OF MINNESOTA

COUNTY OF Hennepin

The foregoing instrument was acknowledged before me this 25th day of JUY James L. Tucker





PLAT OF

TRACTS A-1-A, A-1-B AND A-1-C HUNT-SPECTRUM DEVELOPMENT SITE

(BEING A REPLAT OF TRACT A-1, HUNT-SPECTRUM DEVELOPMENT SITE) SITUATE WITHIN

SECTION 18, TOWNSHIP 10 NORTH, RANGE 4 EAST NEW MEXICO PRINCIPAL MERIDIAN CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO

JULY, 2013

LINE TABLE					
LINE	LENGTH	BEARING			
L1	50.98	N00°01'27"W			
L2	5.00	N89°31'35"E			
L3	74.29	NO0'01'27"W			
L4	64.22	N00°16'16"W			
L6	99.36	N89°30'47"E			
L7	96.76	S15*31'05"W			
L8	85.00	S29'12'40"W			
L9	63.18	S19*10'58"W			
L10	12.00	S89*46'51"W			
L11	53.96	S89*44'27"W			
L12	70.38	NO0°15'33"W			
L13	<i>38.36</i>	S00°16'16"E			
L14	21.93'	\$89 ' 44'27"W			

CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	36.40'	138.90'	18.31'	<i>36.30</i> °	S83*00'08"E	15 ° 01′00″
C2	<i>37.59</i> ′	161.10'	18.88'	37.50'	S82*10'33"E	13*22'02"
C3	55.50'	30.00'	39.82'	47.92'	S37*29'04"E	106°00′21"
C4	143.87'	602.00'	72.28'	143.53	S22*21'53"W	13°41′35″
C5	121.82'	698.00'	61.07'	121.67	S24°12'40"W	10°00'00"
C6	113.73'	226.98'	58.08'	112.54	S33*30'11"W	28*42'27"
C7	99.26'	135.00'	51.99'	97.04'	S68*55'14"W	42°07'39"
C9	40.36	139.33'	20.32'	40.22'	N08*09'55"E	16 ° 35'51"
C10	47.41'	160.67	23.88'	47.24	N08*06'34"E	16 ° 54′26″
C11	46.67'	139.33'	23.55'	46.45	N09*09'47"E	19°11'27"
C12	47.64	49.33'	25.86'	45.81	N46*34'41"E	<i>55*</i> 19'58"
C13	65.04	239.33'	32.72'	64.84'	N81*54'05"E	15°34′14"
C14	25.14	20.00'	14.54'	23.52'	N55*44'57"W	72 * 01'55"
C15	43.96'	160.00'	22.12'	43.82'	N07*50'46"E	15°44'26"
C16	43.96'	160.00'	22.12'	43.82'	N07*50'46"E	15 °4 4′26″
C17	13.02'	138.90'	6.51'	13.01'	N87*49'33"W	5 22'10"
C18	23.39'	138.90'	11.72'	23.36'	N80°19'03"W	9 * 38'50"
C19	10.61'	602.00'	5.31'	10.61	N28'42'22"E	1.00'37"
C20	133.26'	602.00'	66.90'	132.99'	N21*51'35"E	12 ° 40'59"
C21	38.92'	160.00'	19.56'	38.83'	S06°56'41"W	13 ° 56'15"



SHEET 2 OF 4

SURV TEK, INC.

9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114 Fax: 505-897-3377

