

**Dekker
Perich
Sabatini**

7601 Jefferson NE Suite 100
Albuquerque, NM 87109
505 761-9700
fax 761-4222
dps@dpsdesign.org

ARCHITECT

ENGINEER

PROJECT

TARGET @ ABQ Uptown
Albuquerque, New Mexico
SITE PLAN FOR SUBDIVISION
DRB SUBMITTAL

PROJECT # 1007316
132828 - 10685 (SPS)
10-16-13 Hwy

REVISIONS

- △
- △
- △
- △

DRAWN BY: SJT
REVIEWED BY: CRG
DATE: 06/03/2013
PROJECT NO.: 11-0096.002
DRAWING NAME:

SITE
DEVELOPMENT PLAN
FOR SUBDIVISION

GENERAL NOTES

- A. REFER TO SHEET 3 FOR DESIGN STANDARDS
- B. REFER TO CIVIL DRAWING, SHEET 2 FOR CONCEPTUAL UTILITY PLAN
- C. APPLICABLE PLANS: UPTOWN SECTOR DEVELOPMENT PLAN (2009)
- D. PROPOSED USES: MIXED USE INCLUDING RETAIL, RESTAURANT AND HOUSING

KEYED NOTES

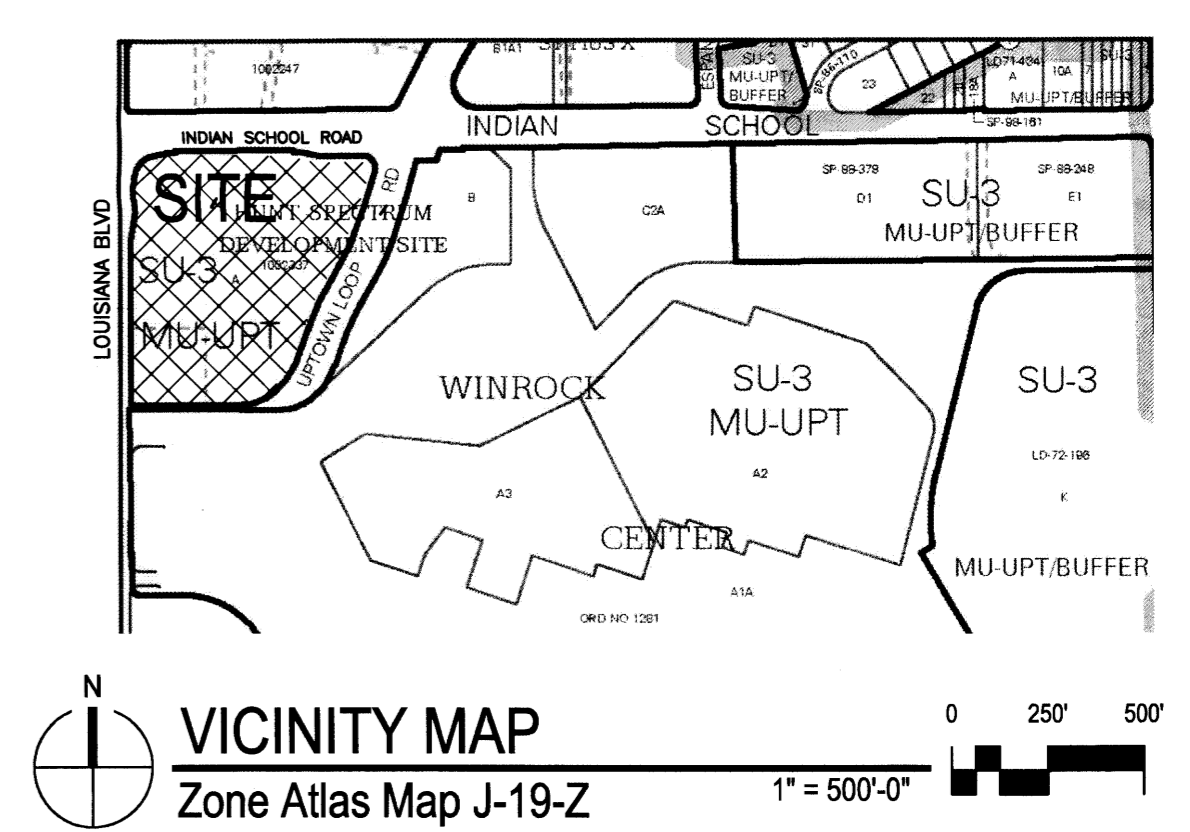
- 1. EXISTING PROPERTY LINE
- 2. PROPOSED PROPERTY LINE

SITE DATA

LEGAL DESCRIPTION:
TRACT A, HUNT - SPECTRUM DEVELOPMENT SITE
ZONE:
SU-3 FOR MU-UPT

SITE PLAN LEGEND

- PEDESTRIAN INGRESS / EGRESS
- VEHICULAR INGRESS / EGRESS
- PROPERTY LINE EXISTING AS NOTED
- PROPERTY LINE PROPOSED AS NOTED



FORMER PROJECT NUMBER: 1007316

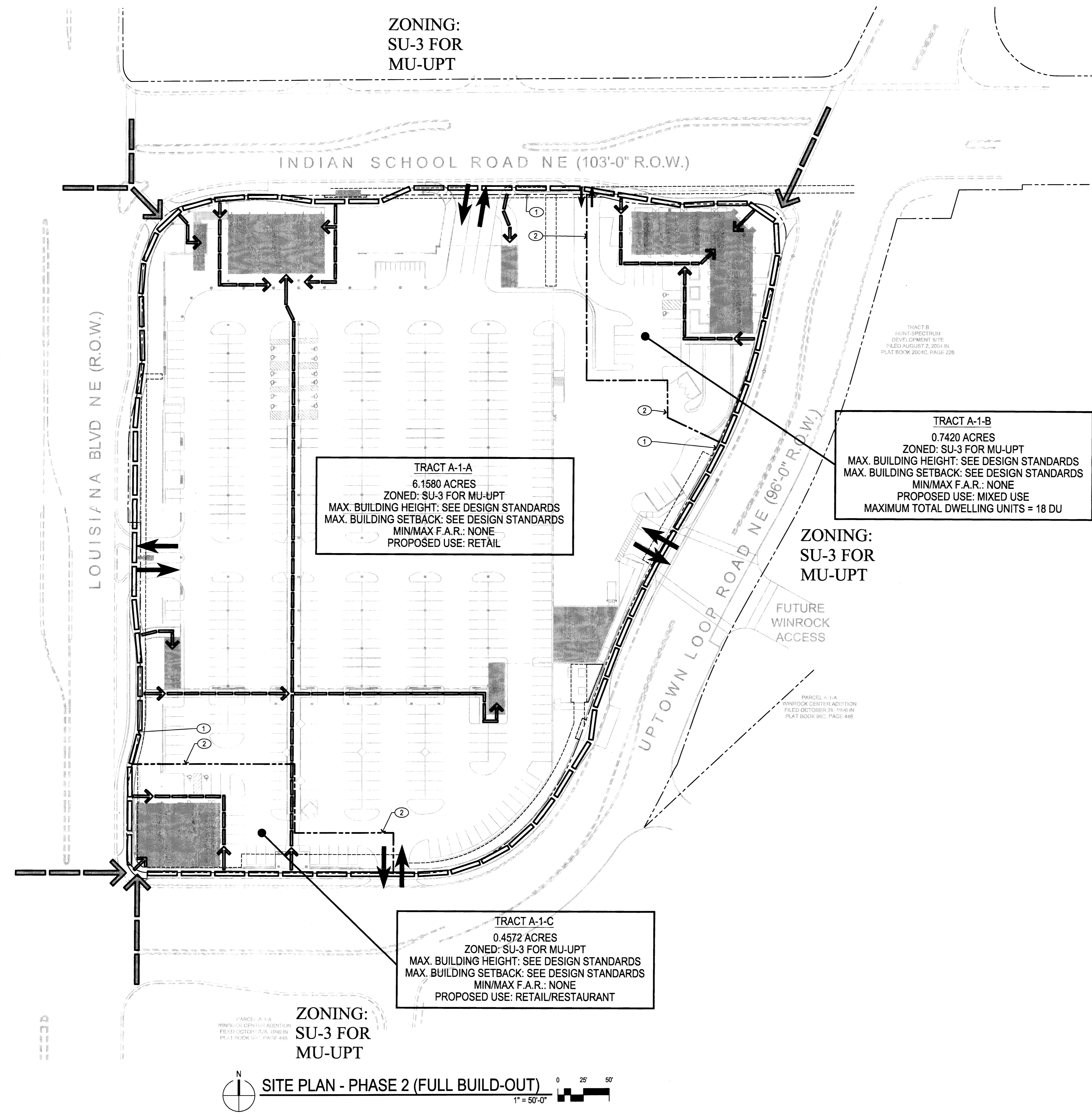
PROJECT NUMBER: 1007316

APPLICATION NUMBER:

Is an Infrastructure List Required? () Yes () No If yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
ABCWUA	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE



SITE PLAN - PHASE 2 (FULL BUILD-OUT)
1" = 50'-0"

INDIAN SCHOOL ROAD N.E.

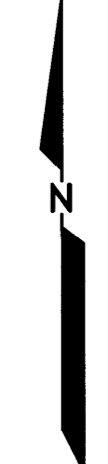
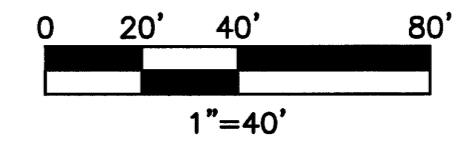
(103' RIGHT-OF-WAY)

LOUISIANA BOULEVARD N.E.

(VARIABLE WIDTH RIGHT-OF-WAY)

UPTOWN LOOP ROAD N.E.

(96' RIGHT-OF-WAY)

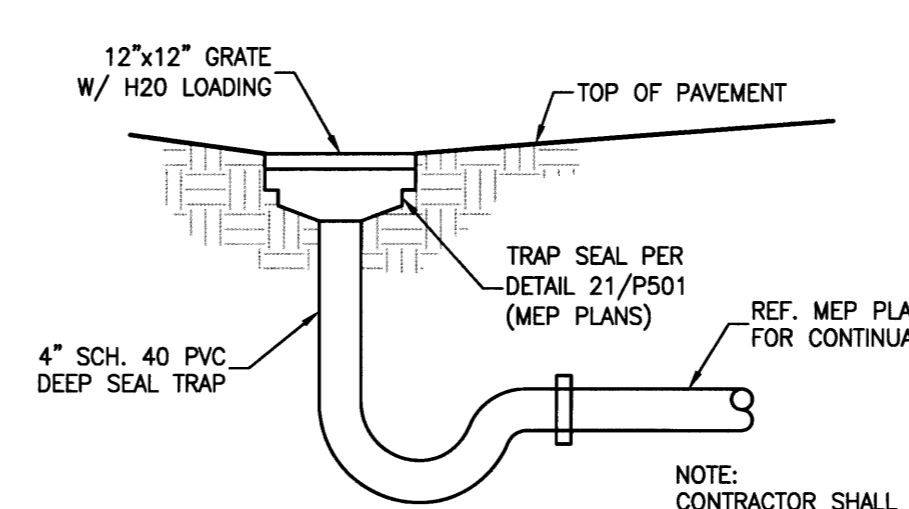
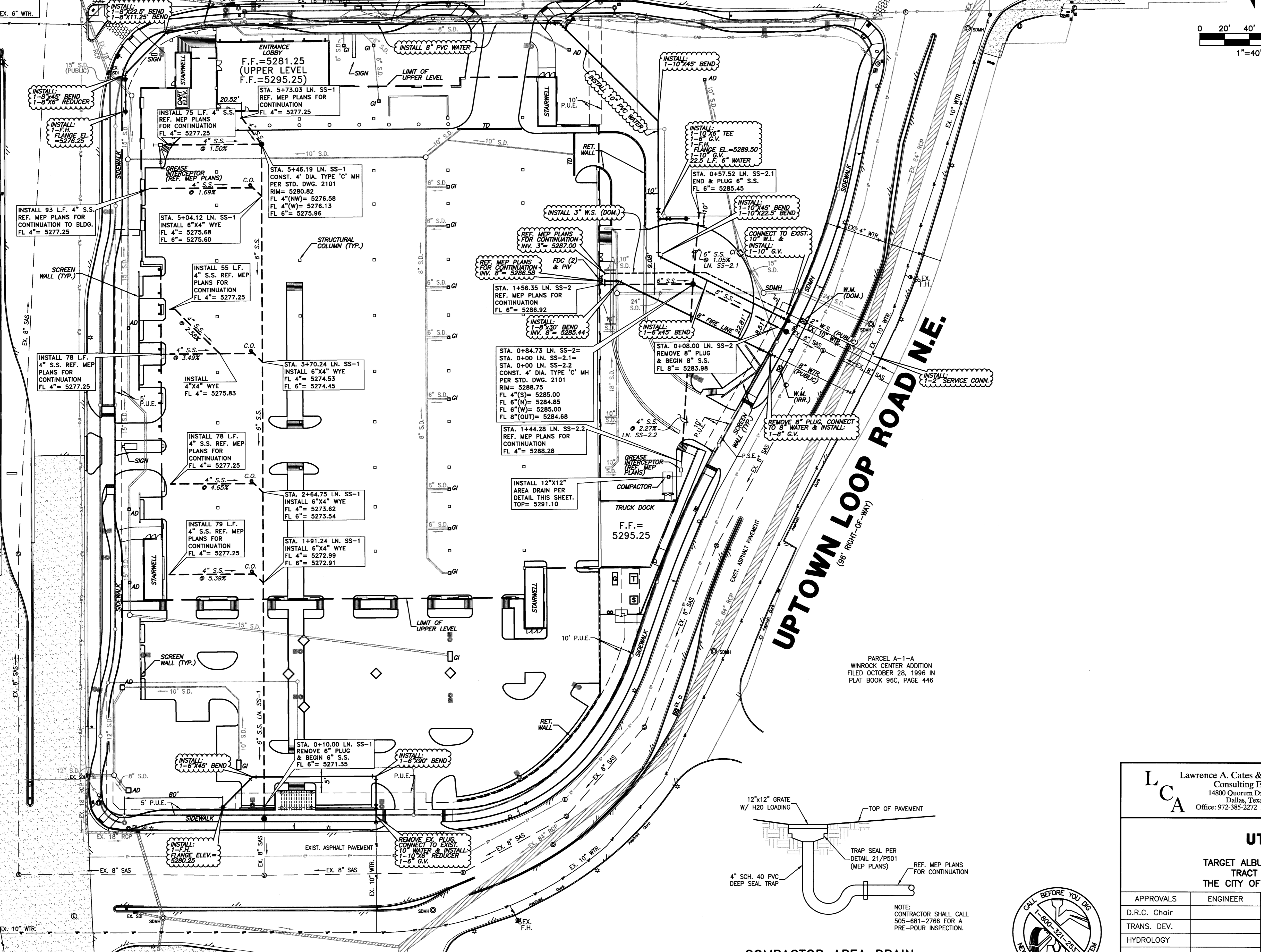


TRACT 1-D-1A-1
PARK SQUARE ADDITION
FILED MARCH 21, 1990 IN
PLAT BOOK 90C, PAGE 82

TRACT 1-E-1A-1
PARK SQUARE ADDITION
FILED AUGUST 8, 1990 IN
PLAT BOOK 90C, PAGE 180

TRACT 1-H-1A

TRACT 1-F
PARK SQUARE ADDITION
FILED AUGUST 8, 1990 IN
PLAT BOOK 90C, PAGE 180



NOTE:
CONTRACTOR SHALL CALL
505-681-2766 FOR A
PRE-POUR INSPECTION.



AS BUILT INFORMATION		CONTRACTOR	
ALBUQUERQUE CONTROL SURVEY BENCHMARK "20-H18"	DATE	ALBUQUERQUE CONTROL SURVEY BENCHMARK "20-H18"	DATE
NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE-NAD 83)	INSPECTOR'S FIELD CHECK BY	NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE-NAD 83)	INSPECTOR'S FIELD CHECK BY
LOCATED IN THE MEDIAN OF LOUISIANA BOULEVARD ON THE SOUTH SIDE OF ITS INTERSECTION WITH UPTOWN BOULEVARD N.E., APPROXIMATELY 625 FEET NORTH OF THE CENTERLINE OF INDIAN SCHOOL ROAD N.E.	DATE	LOCATED IN THE MEDIAN OF LOUISIANA BOULEVARD ON THE SOUTH SIDE OF ITS INTERSECTION WITH UPTOWN BOULEVARD N.E., APPROXIMATELY 625 FEET NORTH OF THE CENTERLINE OF INDIAN SCHOOL ROAD N.E.	DATE
SCHOOL ROAD N.E.	DATE	SCHOOL ROAD N.E.	DATE
NORTHINGS: 1493154.978	DATE	NORTHINGS: 1493154.978	DATE
EASTINGS: 1545048.210	DATE	EASTINGS: 1545048.210	DATE
ELEVATIONS: 5283.222 (NAVD 1988)	DATE	ELEVATIONS: 5283.222 (NAVD 1988)	DATE

SURVEY INFORMATION		FIELD NOTES	
NO.	DATE	NO.	DATE

ENGINEERS SEAL		REVISIONS	

LCA Lawrence A. Cates & Associates, LLP
Consulting Engineers
14800 Quorum Drive, Suite 200
Dallas, Texas 75254
Office: 972-385-2272 Fax: 972-980-1627

UTILITY PLAN					
TARGET ALBUQUERQUE UPTOWN (T-2813) TRACT A-1, HUNT-SPECTRUM THE CITY OF ALBUQUERQUE, NEW MEXICO					
APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
D.R.C. Chair			WATER		
TRANS. DEV.			WASTE WATER		
HYDROLOGY			TRAF. OPER.		
LCA PROJECT NO.	001-002	MAP NO.	J-19-Z	SHEET	C10.1

PLAT OF
TRACTS A-1-A, A-1-B AND A-1-C
HUNT-SPECTRUM DEVELOPMENT SITE

(BEING A REPLAT OF TRACT A-1, HUNT-SPECTRUM DEVELOPMENT SITE)

SITUATE WITHIN
SECTION 18, TOWNSHIP 10 NORTH, RANGE 4 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

OCTOBER, 2012

TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following:

Bernalillo County Treasurer _____ Date _____

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- A. Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- B. New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- C. Qwest d/b/a CenturyLink QC for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- D. Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

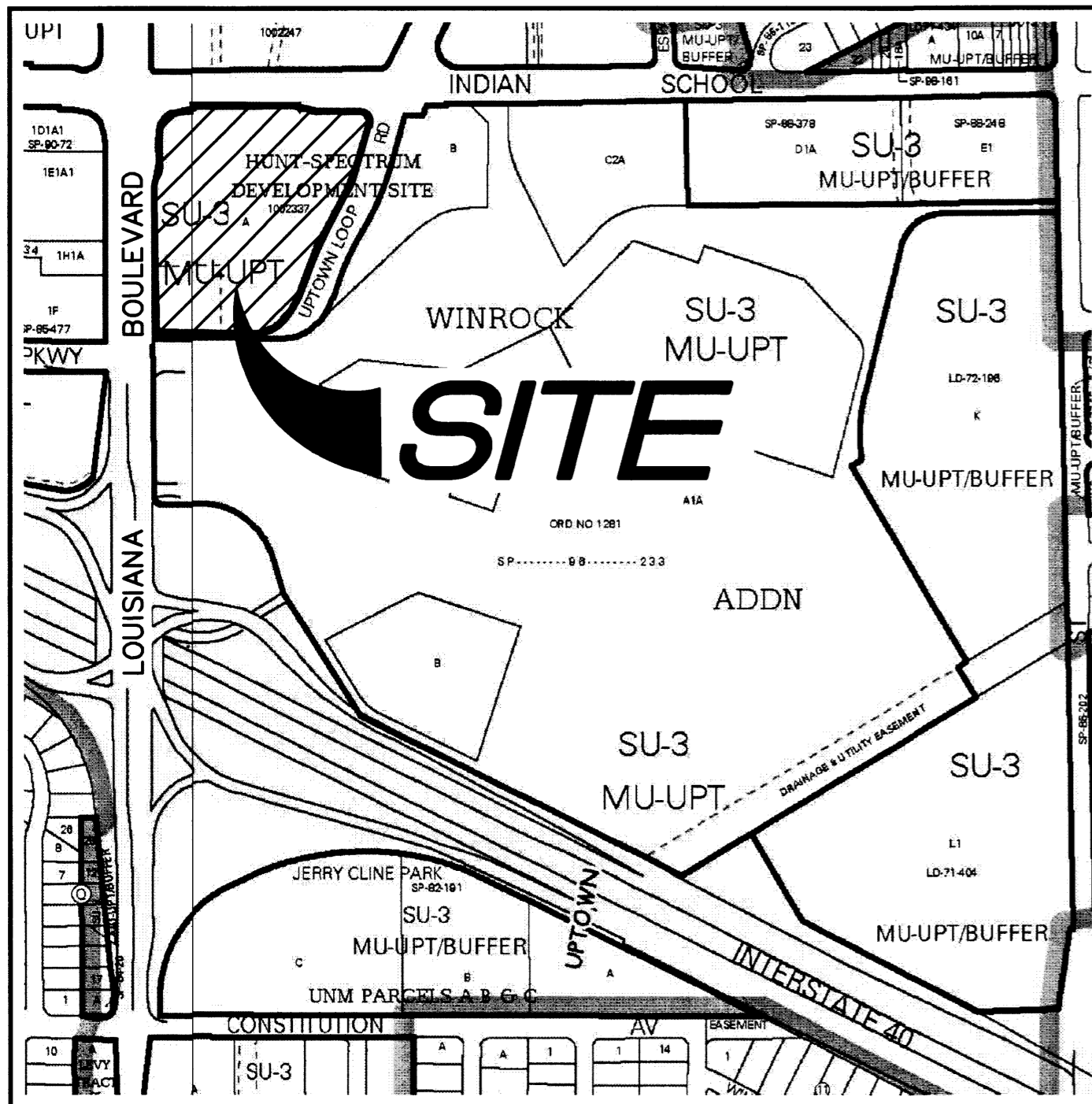
DISCLAIMER

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

PURPOSE OF PLAT

The purpose of this plat is to:

1. Create 3 new tracts from existing Tract A-1.
2. Grant the additional Public Service Company of New Mexico Easement.



VICINITY MAP
Not To Scale

GENERAL NOTES

1. Bearings are grid and based on the New Mexico State Plane Coordinate System, Central Zone (NAD83).
2. Distances are ground.
3. Distances along curved lines are arc lengths.
4. Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ().
5. All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
6. All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
7. City of Albuquerque Zone Atlas Page J-19.

SUBDIVISION DATA

1. Total number of existing Tracts: 1
2. Total number of Tracts created: 3
3. Gross Subdivision acreage: 7.3573 acres.

SECTION 14-14-4-7 PROHIBITION ON PRIVATE RESTRICTIONS ON THE INSTALLATION OF SOLAR COLLECTORS

"No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat."

PROJECT NUMBER: _____

Application Number: _____

PLAT APPROVAL

UTILITY APPROVALS:

Public Service Company of New Mexico	_____	Date
New Mexico Gas Company	_____	Date
QWest Corporation d/b/a CenturyLink QC	_____	Date
Comcast	_____	Date

CITY APPROVALS:

City Surveyor	_____	Date
Department of Municipal Development	_____	Date
Real Property Division	_____	Date
Environmental Health Department	_____	Date
Traffic Engineering, Transportation Division	_____	Date
ABCWUA	_____	Date
Parks and Recreation Department	_____	Date
AMAFCA	_____	Date
City Engineer	_____	Date
DRB Chairperson, Planning Department	_____	Date

SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

Russ P. Hugg
NMPS No. 9750
October 15, 2011

SHEET 1 OF 4

SURVOTEK, INC.

Consulting Surveyors
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3366 Fax: 505-897-3377

PLAT OF
TRACTS A-1-A, A-1-B AND A-1-C
HUNT-SPECTRUM DEVELOPMENT SITE
 (BEING A REPLAT OF TRACT A-1, HUNT-SPECTRUM DEVELOPMENT SITE)
 SITUATE WITHIN
SECTION 18, TOWNSHIP 10 NORTH, RANGE 4 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
 OCTOBER, 2012

LEGAL DESCRIPTION

All of Tract lettered "A-1" of the HUNT-SPECTRUM DEVELOPMENT SITE, City of Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the plat entitled "PLAT OF TRACT A-1, HUNT-SPECTRUM DEVELOPMENT SITE (A REPLAT OF TRACT A, HUNT-SPECTRUM DEVELOPMENT SITE) SITUATE WITHIN SECTION 18, TOWNSHIP 10 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico, on January 3, 2012, in Plat Book 2012C, Page 001.

Said Tract contains 7.3573 acres, more or less.

FREE CONSENT AND DEDICATION

SURVEYED AND REPLATTED and now comprising "PLAT OF TRACTS A-1-A, A-1-B AND A-1-C, HUNT-SPECTRUM DEVELOPMENT SITE (BEING A REPLAT OF TRACT A-1, HUNT-SPECTRUM DEVELOPMENT SITE) SITUATE WITHIN SECTION 18, TOWNSHIP 10 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", is with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s). Said owner(s) and proprietor(s) do hereby warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby grant to the use of the public forever, the public utility easements as shown hereon. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby certify that they are so authorized to act.

OWNERS(S)

HUNT UPTOWN II, LLC, a New Mexico limited liability company

By: _____

James Dobbie
 Senior Vice President
 Hunt Uptown II, LLC

ACKNOWLEDGMENT

STATE OF NEW MEXICO SS
 COUNTY OF BERNALILLO

The foregoing instrument was acknowledged before me this _____

day of _____, 2012, by James Dobbie,

Senior Vice President of Hunt Uptown II, LLC.

_____ My commission expires _____

Notary Public

LINE TABLE		
LINE	LENGTH	BEARING
L1	50.98	N00°01'27"W
L2	5.00	N89°31'35"E
L3	74.29	N00°01'27"W
L4	64.22	N00°16'16"W
L6	99.36	N89°30'47"E
L7	96.76	S15°31'05"W
L8	85.00	S29°12'40"W
L9	63.18	S19°10'58"W
L10	12.00	S89°46'51"W
L11	54.65	N64°47'54"W
L12	35.30	N00°16'19"W
L13	38.36	S00°16'16"E

CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	36.40'	138.90'	18.31'	36.30'	S83°00'08"E	15°01'00"
C2	37.59'	161.10'	18.88'	37.50'	S82°10'33"E	13°22'02"
C3	55.50'	30.00'	39.82'	47.92'	S37°29'04"E	106°00'21"
C4	143.87'	602.00'	72.28'	143.53'	S22°21'53"W	13°41'35"
C5	121.82'	698.00'	61.07'	121.67'	S24°12'40"W	10°00'00"
C6	113.73'	226.98'	58.08'	112.54'	S33°30'11"W	28°42'27"
C7	99.26'	135.00'	51.99'	97.04'	S68°55'14"W	42°07'39"
C9	40.36'	139.33'	20.32'	40.22'	N08°09'55"E	16°35'51"
C10	47.41'	160.67'	23.88'	47.24'	N08°06'34"E	16°54'26"
C11	46.67'	139.33'	23.55'	46.45'	N09°09'47"E	19°11'27"
C12	47.64'	49.33'	25.86'	45.81'	N46°34'41"E	55°19'58"
C13	65.04'	239.33'	32.72'	64.84'	N81°54'05"E	15°34'14"
C14	25.14'	20.00'	14.54'	23.52'	N55°44'57"W	72°01'55"
C15	43.96'	160.00'	22.12'	43.82'	N07°50'46"E	15°44'26"
C16	43.96'	160.00'	22.12'	43.82'	N07°50'46"E	15°44'26"
C17	13.02'	138.90'	6.51'	13.01'	N87°49'33"W	5°22'10"
C18	23.39'	138.90'	11.72'	23.36'	N80°19'03"W	9°38'50"
C19	101.74'	602.00'	50.99'	101.62'	N20°21'36"E	9°41'00"
C20	42.13'	602.00'	21.07'	42.12'	N27°12'23"E	4°00'35"
C21	38.92'	160.00'	19.56'	38.83'	S06°56'41"W	13°56'15"
C22	5.03'	160.00'	2.52'	5.03'	S14°48'54"W	1°48'11"

Albuquerque Control Survey Monument "20-H18"
 New Mexico State Plane Coordinates (Central Zone -
 NAD 83), as published
 North = 1,493,154.978 feet
 East = 1,545,048.210 feet
 Elevation = 5283.222 feet (NAVD 1988)
 Delta Alpha = -00°11'00.11"
 Ground to Grid Factor = 0.999661580

- PROPERTY CORNER LEGEND**
- = Found 5/8" Rebar with cap stamped "LS 6544"
 - = Found 3-1/2" Aluminum Monument stamped Centerline "LS 6544"
 - = Found Chiseled "X" in concrete
 - ⊙ = Found 5/8" Rebar with cap stamped "LS 9750" or PK Nail and brass disc stamped "LS 9750"
 - = Set 5/8" Rebar with cap stamped "LS 9750" at all interior tract corners

**TRACT 1-D-1A-1
 PARK SQUARE
 ADDITION**
 Filed March 21, 1990 in
 Plat Book 90C, Page 82

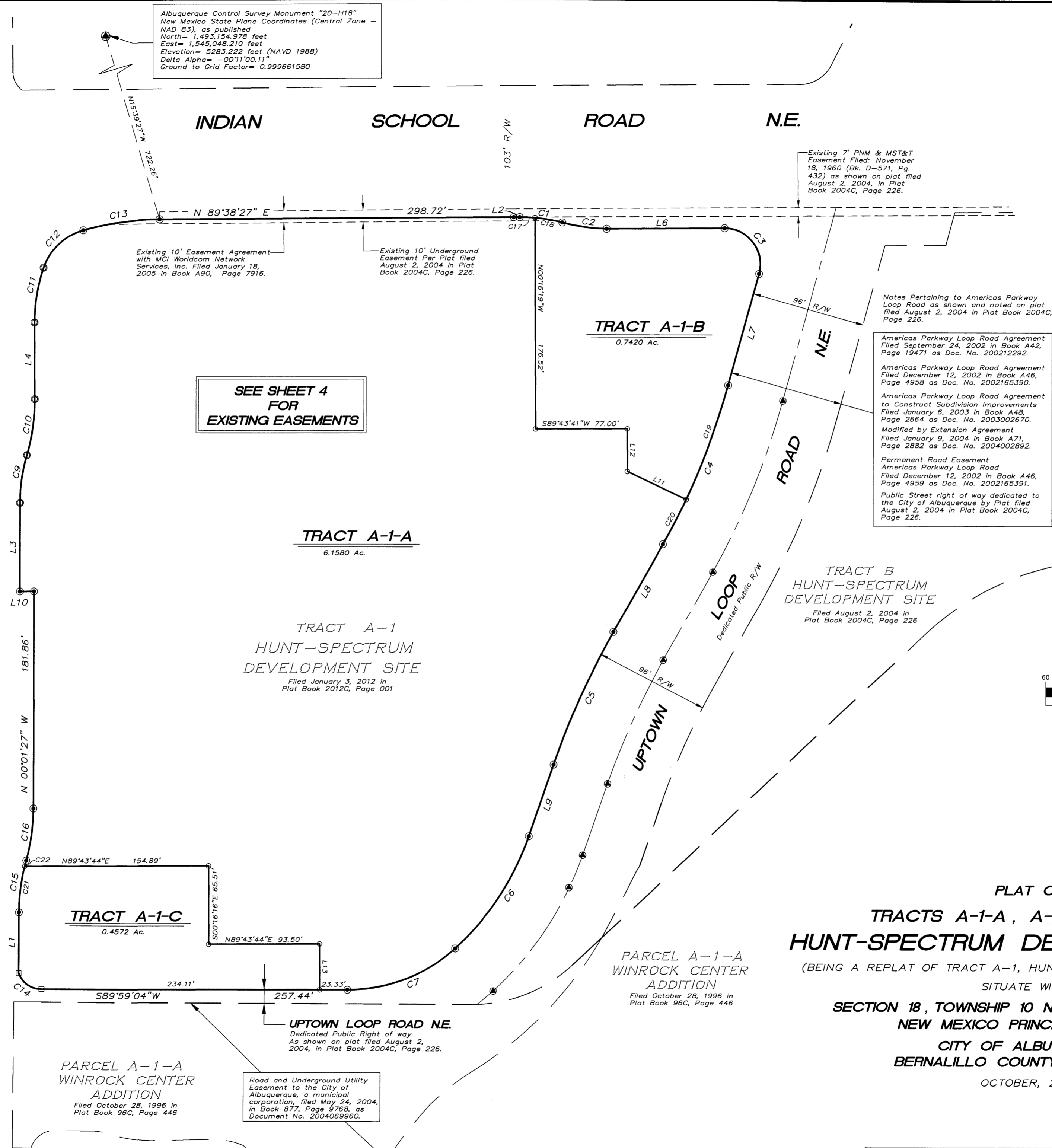
**TRACT 1-E-1A-1
 PARK SQUARE
 ADDITION**
 Filed August 8, 1990 in
 Plat Book 90C, Page 180

**TRACT 1-H-1A
 PARK SQUARE
 ADDITION**
 Filed August 8, 1990 in
 Plat Book 90C, Page 180

**TRACT 1-F
 PARK SQUARE
 ADDITION**
 Filed August 8, 1990 in
 Plat Book 90C, Page 180

**AMERICAS
 PARKWAY N.E.**

**N.E.
 BOULEVARD
 LOUISIANA**
 Variable Width R/W



**SEE SHEET 4
 FOR
 EXISTING EASEMENTS**

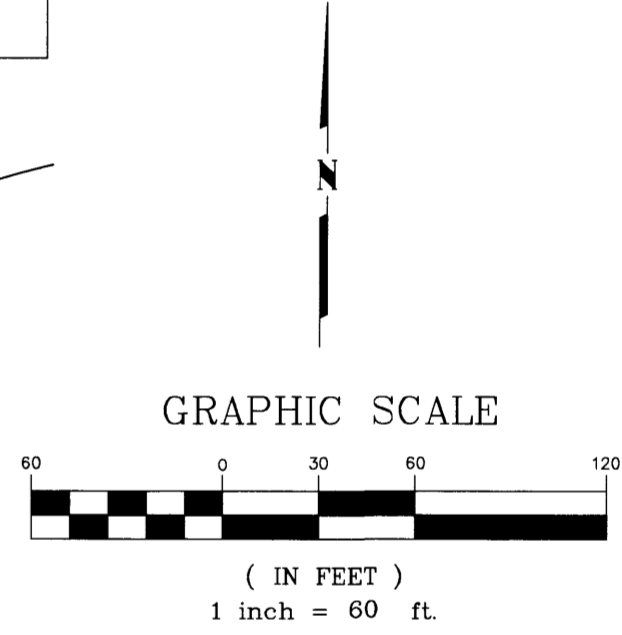
Notes Pertaining to Americas Parkway Loop Road as shown and noted on plat filed August 2, 2004 in Plat Book 2004C, Page 226.

Americas Parkway Loop Road Agreement Filed September 24, 2002 in Book A42, Page 19471 as Doc. No. 200212292.

Americas Parkway Loop Road Agreement Filed December 12, 2002 in Book A46, Page 4958 as Doc. No. 2002165390.

Americas Parkway Loop Road Agreement to Construct Subdivision Improvements Filed January 6, 2003 in Book A48, Page 2664 as Doc. No. 2003002670. Modified by Extension Agreement Filed January 9, 2004 in Book A71, Page 2882 as Doc. No. 2004002892.

Permanent Road Easement Americas Parkway Loop Road Filed December 12, 2002 in Book A46, Page 4959 as Doc. No. 2002165391. Public Street right of way dedicated to the City of Albuquerque by Plat filed August 2, 2004 in Plat Book 2004C, Page 226.



**PLAT OF
 TRACTS A-1-A, A-1-B AND A-1-C
 HUNT-SPECTRUM DEVELOPMENT SITE**
 (BEING A REPLAT OF TRACT A-1, HUNT-SPECTRUM DEVELOPMENT SITE)
 SITUATE WITHIN
**SECTION 18, TOWNSHIP 10 NORTH, RANGE 4 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO**
 OCTOBER, 2012

**PARCEL A-1-A
 WINROCK CENTER
 ADDITION**
 Filed October 28, 1996 in
 Plat Book 96C, Page 446

UPTOWN LOOP ROAD N.E.
 Dedicated Public Right of way
 As shown on plat filed August 2,
 2004, in Plat Book 2004C, Page 226.

**PARCEL A-1-A
 WINROCK CENTER
 ADDITION**
 Filed October 28, 1996 in
 Plat Book 96C, Page 446

Road and Underground Utility
 Easement to the City of
 Albuquerque, a municipal
 corporation, filed May 24, 2004,
 in Book 877, Page 9768, as
 Document No. 2004069960.

SHEET 3 OF 4

SURV TEK, INC.
 Consulting Surveyors
 9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
 Phone: 505-897-3366
 Fax: 505-897-3377

INDIAN SCHOOL ROAD N.E.

TRACT 1-D-1A-1
PARK SQUARE
ADDITION

Filed March 21, 1990 in
Plat Book 90C, Page 82

TRACT 1-E-1A-1
PARK SQUARE
ADDITION

Filed August 8, 1990 in
Plat Book 90C, Page 180

TRACT 1-H-1A
PARK SQUARE
ADDITION

Filed August 8, 1990 in
Plat Book 90C, Page 180

TRACT 1-F
PARK SQUARE
ADDITION

Filed August 8, 1990 in
Plat Book 90C, Page 180

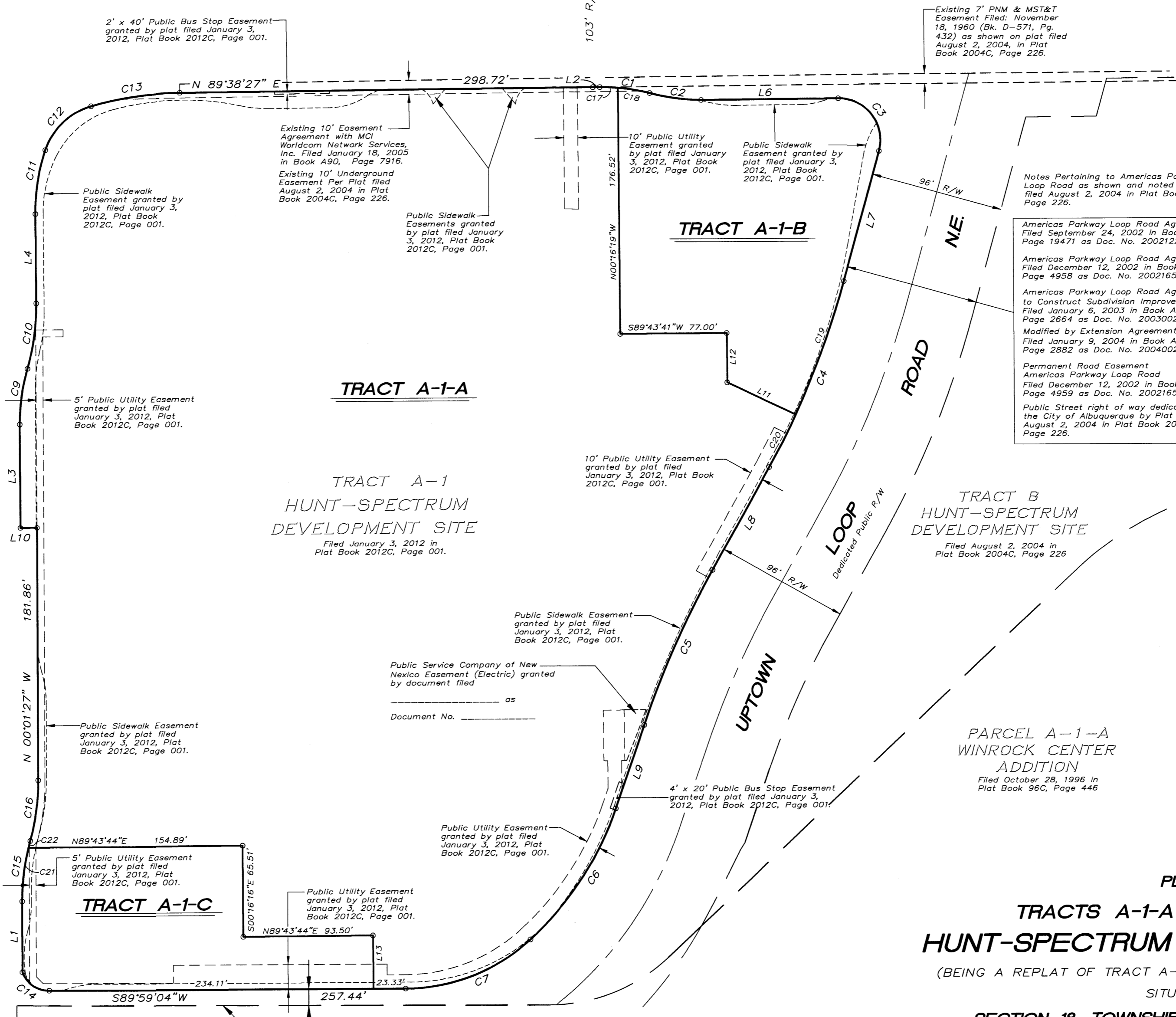
AMERICAS
PARKWAY N.E.

NE.

BOULEVARD

LOUISIANA

Variable Width R/W



2' x 40' Public Bus Stop Easement
granted by plat filed January 3,
2012, Plat Book 2012C, Page 001.

Existing 10' Easement
Agreement with MCI
Worldcom Network Services,
Inc. Filed January 18, 2005
in Book A90, Page 7916.
Existing 10' Underground
Easement Per Plat filed
August 2, 2004 in Plat
Book 2004C, Page 226.

Public Sidewalk
Easements granted
by plat filed January
3, 2012, Plat Book
2012C, Page 001.

Public Sidewalk
Easement granted by
plat filed January 3,
2012, Plat Book
2012C, Page 001.

5' Public Utility Easement
granted by plat filed
January 3, 2012, Plat
Book 2012C, Page 001.

Public Sidewalk Easement
granted by plat filed
January 3, 2012, Plat
Book 2012C, Page 001.

5' Public Utility Easement
granted by plat filed
January 3, 2012, Plat
Book 2012C, Page 001.

Public Utility Easement
granted by plat filed
January 3, 2012, Plat
Book 2012C, Page 001.

Public Utility Easement
granted by plat filed
January 3, 2012, Plat
Book 2012C, Page 001.

Public Service Company of New
Mexico Easement (Electric) granted
by document filed
as
Document No. _____

10' Public Utility Easement
granted by plat filed
January 3, 2012, Plat Book
2012C, Page 001.

Public Sidewalk Easement
granted by plat filed
January 3, 2012, Plat
Book 2012C, Page 001.

4' x 20' Public Bus Stop Easement
granted by plat filed January 3,
2012, Plat Book 2012C, Page 001.

Road and Underground Utility
Easement to the City of
Albuquerque, a municipal
corporation, filed May 24, 2004,
in Book 877, Page 9768, as
Document No. 2004069990.

Existing 7' PNM & MST&T
Easement Filed: November
18, 1960 (Bk. D-571, Pg.
432) as shown on plat filed
August 2, 2004, in Plat
Book 2004C, Page 226.

Notes Pertaining to Americas Parkway
Loop Road as shown and noted on plat
filed August 2, 2004 in Plat Book 2004C,
Page 226.

Americas Parkway Loop Road Agreement
Filed September 24, 2002 in Book A42,
Page 19471 as Doc. No. 200212292.

Americas Parkway Loop Road Agreement
Filed December 12, 2002 in Book A46,
Page 4958 as Doc. No. 2002165390.

Americas Parkway Loop Road Agreement
to Construct Subdivision Improvements
Filed January 6, 2003 in Book A48,
Page 2654 as Doc. No. 2003002670.

Modified by Extension Agreement
Filed January 9, 2004 in Book A71,
Page 2882 as Doc. No. 2004002892.

Permanent Road Easement
Americas Parkway Loop Road
Filed December 12, 2002 in Book A46,
Page 4959 as Doc. No. 2002165391.

Public Street right of way dedicated to
the City of Albuquerque by Plat filed
August 2, 2004 in Plat Book 2004C,
Page 226.

TRACT A-1
HUNT-SPECTRUM
DEVELOPMENT SITE

Filed January 3, 2012 in
Plat Book 2012C, Page 001.

TRACT B
HUNT-SPECTRUM
DEVELOPMENT SITE

Filed August 2, 2004 in
Plat Book 2004C, Page 226

PARCEL A-1-A
WINROCK CENTER
ADDITION

Filed October 28, 1996 in
Plat Book 96C, Page 446

PLAT OF
TRACTS A-1-A, A-1-B AND A-1-C
HUNT-SPECTRUM DEVELOPMENT SITE

(BEING A REPLAT OF TRACT A-1, HUNT-SPECTRUM DEVELOPMENT SITE)

SITUATE WITHIN

SECTION 18, TOWNSHIP 10 NORTH, RANGE 4 EAST

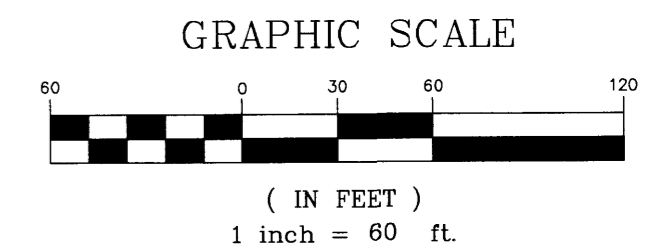
NEW MEXICO PRINCIPAL MERIDIAN

CITY OF ALBUQUERQUE

BERNALILLO COUNTY, NEW MEXICO

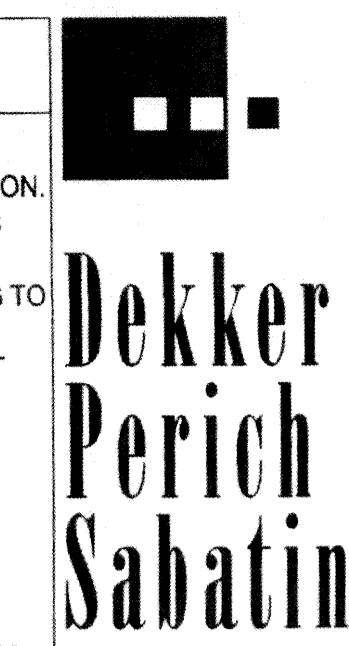
OCTOBER, 2012

SHEET 4 OF 4



EASEMENTS

SURV+TEK, INC.
Consulting Surveyors
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3366
Fax: 505-897-3377



7601 Jefferson NE Suite 100
Albuquerque, NM 87109
505 761-9700
fax 761-4222
dps@dpsdesign.org

ARCHITECT

ENGINEER

PROJECT

TARGET @ ABQ Uptown
Albuquerque, New Mexico

DRB SUBMITTAL

SITE DATA

LEGAL DESCRIPTION:	TRACK A, HUNT - SPECTRUM DEVELOPMENT SITE	ZONE:	SU-3
BUILDING 1 AREA:	155,629 SF		
BUILDING 2 AREA - RETAIL:	6,200 SF		
BUILDING 2 AREA - HOUSING:	21,600 SF (3 FLOORS @ 7,200 SF, 18 DU)		
BUILDING 3 AREA:	4,740 SF		
TOTAL:			
BUILDING AREA:	188,169 SF		
SITE AREA:	320,480 SF (7.36 ACRES)		
F.A.R. (188,169 SF / 320,480 SF):	0.59		

GENERAL NOTES

- SITE PLAN SHALL BE DESIGNED & BUILT TO CURRENT DPM STANDARDS.
- SEE CIVIL PLANS FOR ADDITIONAL GRADING, DRAINAGE AND UTILITY INFORMATION.
- DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- ALL CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
- ALL LIGHT FIXTURES AND DESIGN SHALL COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT, THE CITY OF ALBUQUERQUE ZONING CODE: SECTION 14-16-3-9 AREA LIGHTING REGULATIONS.
- SIDEWALKS TO BE STANDARD GRAY SCORED CONCRETE UNLESS NOTED OTHERWISE.
- STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE.
- SEE LANDSCAPE SHEET FOR OPEN SPACE CALCULATIONS.
- SITE PLAN SHALL COMPLY WITH LOCAL, FEDERAL ADA STANDARDS & GUIDELINES.
- PEDESTRIAN AMENITIES ALONG WALKWAYS TO SERVE HUMANS AND ANIMALS INCLUDE SCALED LIGHTING, BENCHES AND TRASH RECEPTACLES.
- TARGET WILL MAINTAIN THE PEDESTRIAN CROSSWALK AT DRIVEWAYS WITHIN THE PARKING AREAS.

KEYED NOTES

- TYPICAL PARKING SPACE, 9'-0"x18'-0" (UNLESS NOTED OTHERWISE).
- TYPICAL COMPACT PARKING SPACE, 8'-0"x16'-0"
- TYPICAL ADA PARKING SPACE, 9'-0"x18'-0"
- TYPICAL MOTORCYCLE PARKING SPACE, 5'-0"x8'-0", REFER DETAIL C2 / SHEET 4
- LANDSCAPED AREA; REFER TO LANDSCAPE PLAN
- CONCRETE PAVING
- METAL BIKE RACK; REFER DETAIL D1 / SHEET 3
- PEDESTRIAN CROSSWALK. COLOR AND TEXTURE PATTERN TO DIFFERENTIATE FROM SURROUNDING CONCRETE PAVING.
- 18" HIGH SCREEN WALL, CONSTRUCTION & COLOR TO MATCH BUILDING, REFER DETAIL A1 / SHEET 4
- STEEL TRELLIS ABOVE
- REFUSE ENCLOSURE FOR SOLID WASTE DISPOSAL; REFER DETAIL B5 / SHEET 3
- TRASH COMPACTOR
- POLE MOUNTED ADA SIGNAGE, RE: C5 / SHEET 03
- 6" Ø BOLLARD, TYP.
- PAINTED ADA PAVEMENT SIGNAGE TYP.
- AUTOMOBILE INGRESS/EGRESS.
- CONCRETE CURB
- 10' SIDEWALK, RE: A4 / SHEET 4
- NEW CONCRETE ADA RAMP WITH 1:12 MAXIMUM SLOPE AND TRUNCATED DOMES PER COA STANDARD DRAWING 2440
- RAISED LANDSCAPE PLANTER, RE: A3 / SHEET 5
- LIGHT POLE TYP. REFER DETAIL A3, A4 & A5 / SHEET 3
- MONUMENT SIGN; REFER WAYFINDING SHEETS 20 - 21
- PROPOSED BUS OR RAPID RIDE SHELTER STOPS, RE: B2 & C2 / SHEET 04
- CONCRETE DRIVEPAD, SEE COA STANDARD DRAWING #2426
- PROPOSED FIRE HYDRANT LOCATION
- FIRE LANE
- ACCESSIBLE RAMP, RE: A2 / SHEET 4
- RETAINING WALL
- PARKING LOT SCREEN WALL, 36" HIGH CAST-IN-PLACE CONCRETE, UNO. REFER DETAIL A1 / SHEET 4
- BUILDING STRUCTURE
- SERVICE DOCK
- EGRESS FROM STORE ABOVE
- STRIPED ISLAND
- STORE ENTRY
- TARGET SPHERICAL BOLLARDS, REFER DETAIL B2 / SHEET 3
- LINE OF TARGET STORE ABOVE
- 42" HIGH CAST-IN-PLACE CONCRETE WALL
- EXISTING TRAFFIC SIGNAL
- TYPICAL LOADING PARKING SPACE; 10'-0"x20'-0"
- LOCATION OF SCREEN WALL WILL COMPLY WITH LINE-OF-SIGHT TRIANGLE
- LIGHT BOLLARD, RE: C4 / SHEET 03
- SERVICE YARD
- SHOPPING CART CORRALS
- PEDESTRIAN WALKWAY (WITHOUT BORDER), REFER DETAIL B4 / SHEET 4
- NOT USED - 2/19/12
- 12" HIGH SCREEN WALL, CONSTRUCTION & COLOR TO MATCH BUILDING
- PROPOSED STOP SIGN
- ACCESSIBLE SIDEWALK, RE: A5 / SHEET 4
- TARGET VAN DELIVERY SIGNAGE AT EACH 10'-0"x20'-0" SPACE
- P.U.E. LOCATIONS, RE: SHEETS 12 & 13
- PEDESTRIAN WALKWAY, SEE DETAIL B4 / SHEET 4
- 2" COLORED CONCRETE ROLLED CURB
- FUTURE PEDESTRIAN CROSSWALK
- ENHANCED PEDESTRIAN CROSSWALK WITH BRICK PATTERN

PARKING

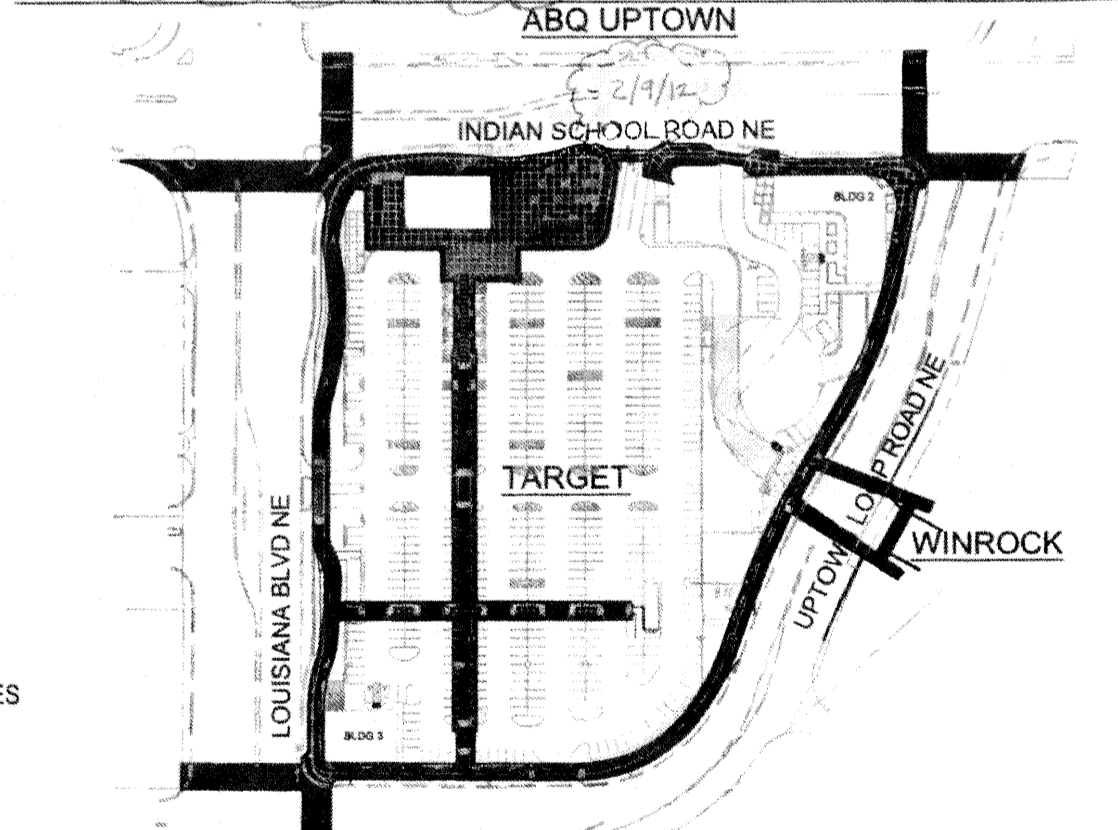
BUILDING 1:			
USE:	RATIO:	REQUIRED:	
RETAIL	2/1000	155,629 SF / 500 = 312 SPACES	
PARKING PROVIDED:		451 SPACES	
ACCESSIBLE REQ'D / PROVIDED:		12 SPACES / 12 SPACES	
BUILDING 2:			
USE:	RATIO:	REQUIRED:	
RETAIL	2/1000	6,200 SF / 500 = 13 SPACES	
HOUSING	1.5/DU	1.5 X 18 DU = 27 SPACES	
PARKING PROVIDED:		41 SPACES (11 SURFACE, 30 BELOW)	
ACCESSIBLE REQ'D / PROVIDED:		2 SPACES / 2 SPACES	
BUILDING 3:			
USE:	RATIO:	REQUIRED:	
RETAIL	2/1000	4,740 SF / 500 = 10 SPACES	
PARKING PROVIDED:		22 SPACES	
ACCESSIBLE REQ'D / PROVIDED:		2 SPACES / 2 SPACES	

TOTAL:		
PARKING REQUIRED:	362 SPACES	
PARKING PROVIDED:	538 SPACES (36 - COMPACT)	
ACCESSIBLE REQ'D / PROVIDED:	16 SPACES / 16 SPACES	

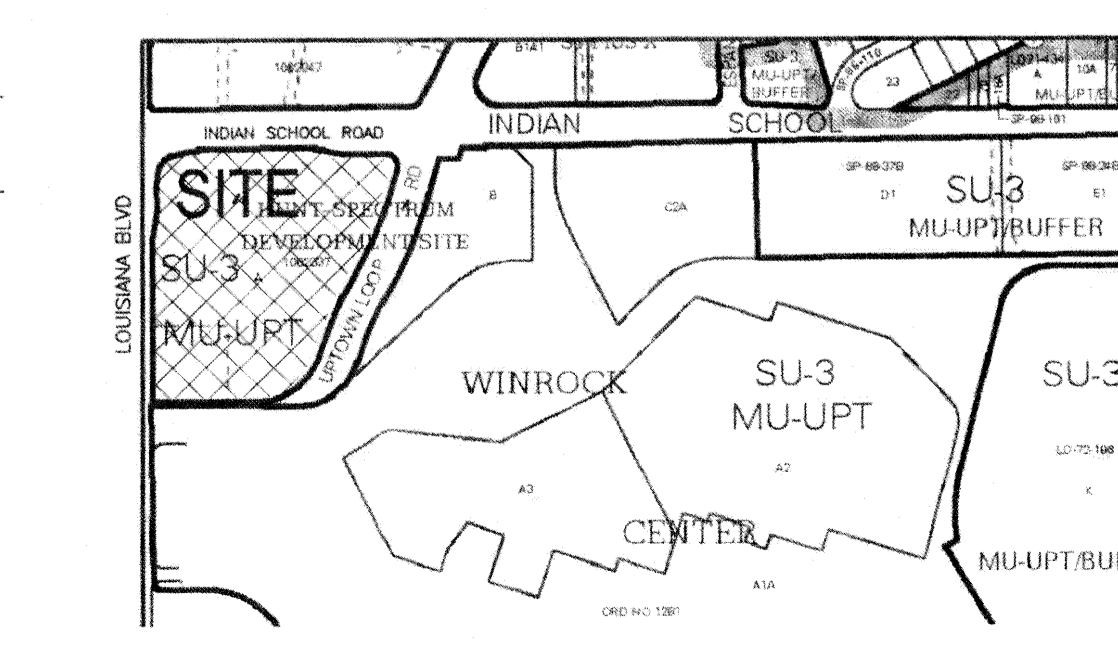
MOTORCYCLE PARKING:	
REQUIRED:	501-750 PARKING SPACES = 7 SPACES
PROVIDED:	10 SPACES

BICYCLE PARKING:	
REQUIRED:	1:20 AUTOMOBILE, (538 / 20) = 27 SPACES
PROVIDED:	30 SPACES

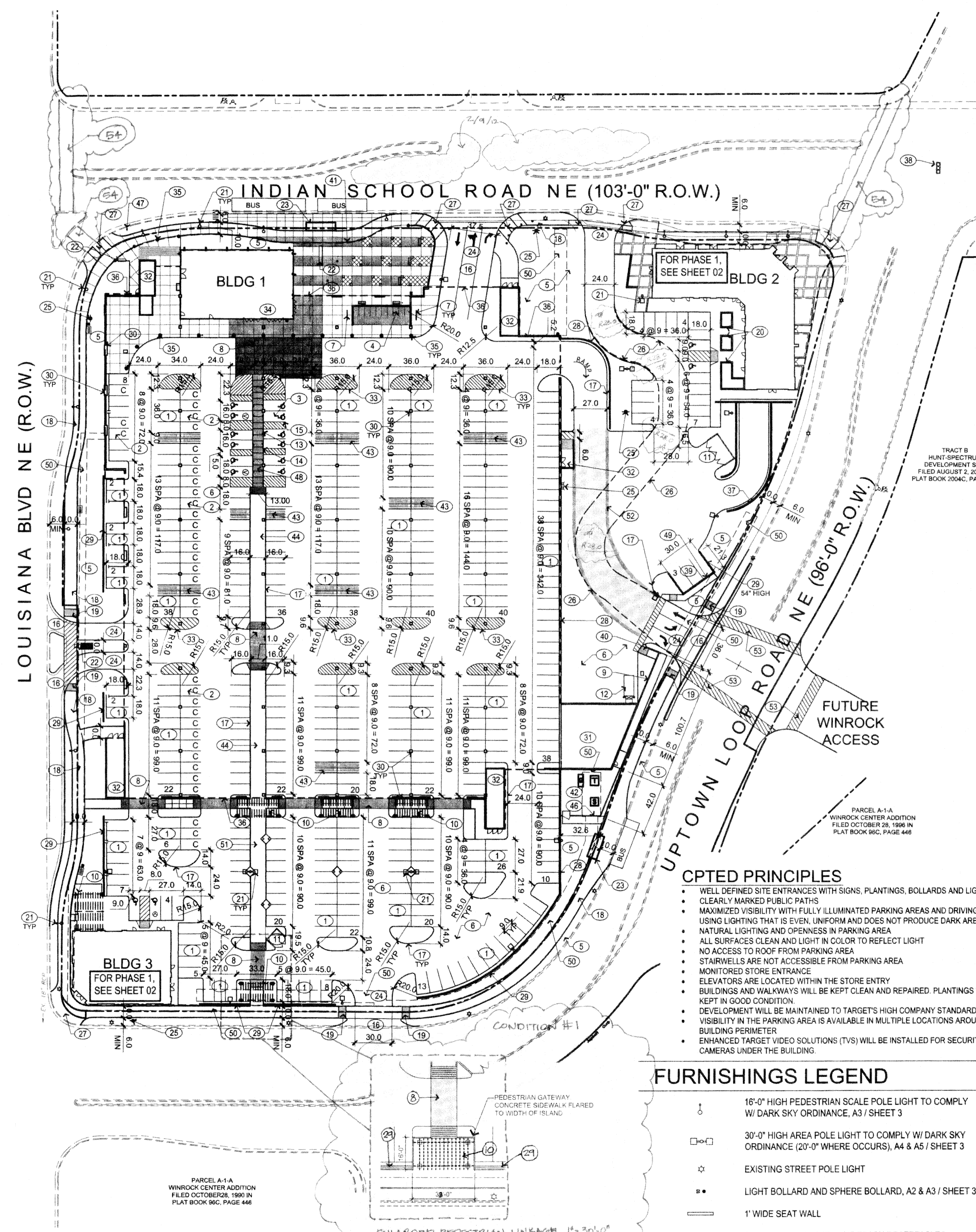
DELIVERY NOTE
TRUCK DELIVERY TIMES WILL OCCUR BETWEEN 4 AM AND 12 AM. EFFORTS WILL BE MADE TO COORDINATE DELIVERIES WITH OFF-PEAK CUSTOMER TRAFFIC.



CONNECTIVITY PLAN
NOT TO SCALE



VICINITY MAP
Zone Atlas Map J-19-Z
1" = 500'-0"



TRACT 1-D-1A-1
PARK SQUARE ADDITION
FILED MARCH 21, 1990 IN
PLAT BOOK 90C, PAGE 82

TRACT 1-E-1A-1
PARK SQUARE ADDITION
FILED AUGUST 8, 1990 IN
PLAT BOOK 90C, PAGE 180

TRACT 1-H-1A

TRACT 1-F
PARK SQUARE ADDITION
FILED AUGUST 8, 1990 IN
PLAT BOOK 90C, PAGE 180

PARCEL A-1-A
WINROCK CENTER ADDITION
FILED OCTOBER 28, 1998 IN
PLAT BOOK 96C, PAGE 448

SITE PLAN - PHASE 2 (FULL BUILD-OUT)
1" = 50'-0"

- CPTED PRINCIPLES**
- WELL DEFINED SITE ENTRANCES WITH SIGNS, PLANTINGS, BOLLARDS AND LIGHTS
 - CLEARLY MARKED PUBLIC PATHS
 - MAXIMIZED VISIBILITY WITH FULLY ILLUMINATED PARKING AREAS AND DRIVING LANES USING LIGHTING THAT IS EVEN, UNIFORM AND DOES NOT PRODUCE DARK AREAS.
 - NATURAL LIGHTING AND OPENNESS IN PARKING AREA
 - ALL SURFACES CLEAN AND LIGHT IN COLOR TO REFLECT LIGHT
 - NO ACCESS TO ROOF FROM PARKING AREA
 - STAIRWELLS ARE NOT ACCESSIBLE FROM PARKING AREA
 - MONITORED STORE ENTRANCE
 - ELEVATORS ARE LOCATED WITHIN THE STORE ENTRY
 - BUILDINGS AND WALKWAYS WILL BE KEPT CLEAN AND REPAIRED. PLANTINGS WILL BE KEPT IN GOOD CONDITION.
 - DEVELOPMENT WILL BE MAINTAINED TO TARGET'S HIGH COMPANY STANDARDS.
 - VISIBILITY IN THE PARKING AREA IS AVAILABLE IN MULTIPLE LOCATIONS AROUND THE BUILDING PERIMETER
 - ENHANCED TARGET VIDEO SOLUTIONS (TVS) WILL BE INSTALLED FOR SECURITY CAMERAS UNDER THE BUILDING

FURNISHINGS LEGEND

- 16'-0" HIGH PEDESTRIAN SCALE POLE LIGHT TO COMPLY W/ DARK SKY ORDINANCE, A3 / SHEET 3
- 30'-0" HIGH AREA POLE LIGHT TO COMPLY W/ DARK SKY ORDINANCE (20'-0" WHERE OCCURS), A4 & A5 / SHEET 3
- EXISTING STREET POLE LIGHT
- LIGHT BOLLARD AND SPHERE BOLLARD, A2 & A3 / SHEET 3
- 1' WIDE SEAT WALL
- 6" BENCH, D2 / SHEET 3 AND TRASH RECEPTACLES
- COMPACT PARKING SPACE, "COMPACT" ON PAVEMENT
- TRASH RECEPTACLES

FORMER PROJECT NUMBER: 1007316
PROJECT NUMBER: 1007316

APPLICATION NUMBER:
Is an Infrastructure List Required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
Alban Pater	11/16/11
ABCWUA	DATE
Carol S. Dumont	11/16/11
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
Joe White	11/10/11
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

REVISIONS

△	
△	
△	
△	

DRAWN BY	TB
REVIEWED BY	SJT
DATE	11/11/2011
PROJECT NO.	10-0135
DRAWING NAME	

SITE DEVELOPMENT PLAN PHASE 2 (FULL BUILD-OUT)

SITE DATA

LEGAL DESCRIPTION: TRACK A, HUNT - SPECTRUM DEVELOPMENT SITE ZONE: SU-3
BUILDING 1 AREA: 155,629 SF
SITE AREA: 320,480 SF (7.36 ACRES)
F.A.R. (155,629 SF / 320,480 SF): 0.49
(BUILDINGS 2 & 3 FUTURE)

PARKING

BUILDING 1:
USE: RETAIL RATIO: 2/1000 REQUIRED: 155,629 SF / 500 = 312 SPACES
PARKING PROVIDED: 466 SPACES (36 - COMPACT)
ACCESSIBLE REQ'D / PROVIDED: 10 SPACES / 12 SPACES

MOTORCYCLE PARKING:
REQUIRED: 301-500 PARKING SPACES = 6 SPACES
PROVIDED: 10 SPACES

BICYCLE PARKING:
REQUIRED: 1:20 AUTOMOBILE, (466 / 20) = 24 SPACES
PROVIDED: 30 SPACES

GENERAL NOTES

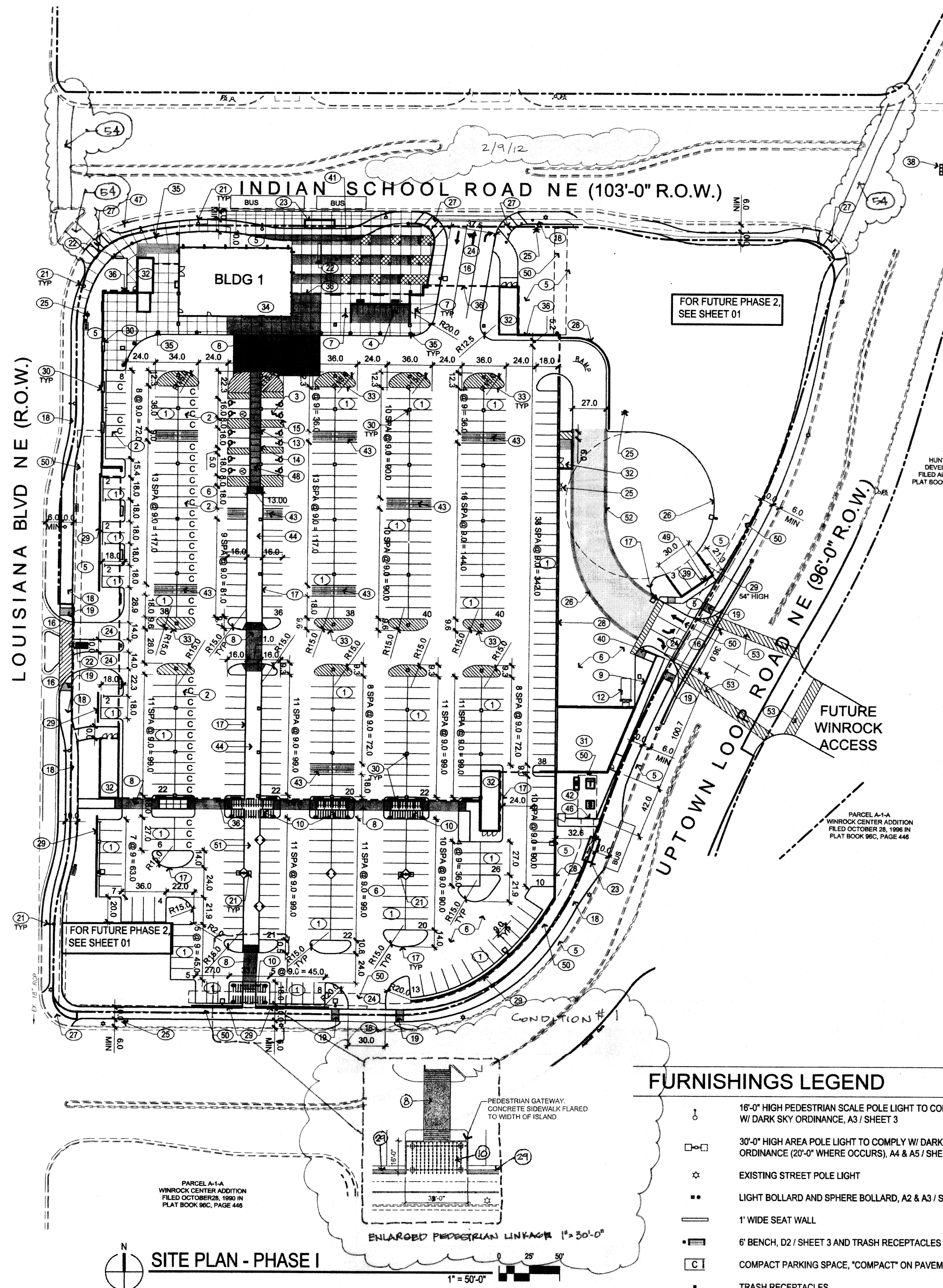
- A. SITE PLAN SHALL BE DESIGNED & BUILT TO CURRENT DPM STANDARDS.
- B. SEE CIVIL PLANS FOR ADDITIONAL GRADING, DRAINAGE AND UTILITY INFORMATION.
- C. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- D. ALL CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
- E. ALL LIGHT FIXTURES AND DESIGN SHALL COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT, THE CITY OF ALBUQUERQUE ZONING CODE: SECTION 14-16-3-9 AREA LIGHTING REGULATIONS.
- F. SIDEWALKS TO BE STANDARD GRAY SCORED CONCRETE UNLESS NOTED OTHERWISE.
- G. STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE.
- H. SEE LANDSCAPE SHEET FOR OPEN SPACE CALCULATIONS.
- I. SITE PLAN SHALL COMPLY WITH LOCAL, FEDERAL ADA STANDARDS & GUIDELINES.
- J. PEDESTRIAN AMENITIES ALONG WALKWAYS TO SERVE HUMANS AND ANIMALS INCLUDE SCALED LIGHTING, BENCHES AND TRASH RECEPTACLES.
- K. TARGET WILL MAINTAIN THE PEDESTRIAN CROSSWALK AT DRIVEWAYS WITHIN THE PARKING AREAS.

KEYED NOTES

1. TYPICAL PARKING SPACE; 9'-0"x18'-0" (UNLESS NOTED OTHERWISE).
2. TYPICAL COMPACT PARKING SPACE; 8'-0"x16'-0"
3. TYPICAL ADA PARKING SPACE; 9'-0"x18'-0"
4. TYPICAL MOTORCYCLE PARKING SPACE; 5'-0"x8'-0", REFER DETAIL C2 / SHEET 4
5. LANDSCAPED AREA; REFER TO LANDSCAPE PLAN
6. CONCRETE PAVING
7. METAL BIKE RACK; REFER DETAIL D1 / SHEET 3
8. PEDESTRIAN CROSSWALK. COLOR AND TEXTURE PATTERN TO DIFFERENTIATE FROM SURROUNDING CONCRETE PAVING.
9. 16" HIGH SCREEN WALL, CONSTRUCTION & COLOR TO MATCH BUILDING, REFER DETAIL B1 / SHEET 4
10. STEEL TRELLIS ABOVE
11. NOT USED
12. TRASH COMPACTOR
13. POLE MOUNTED ADA SIGNAGE, RE: C5 / SHEET 03
14. 6" Ø BOLLARD, TYP.
15. PAINTED ADA PAVEMENT SIGNAGE TYP.
16. AUTOMOBILE INGRESS/EGRESS.
17. CONCRETE CURB
18. 10' SIDEWALK, RE: A4 / SHEET 4
19. NEW CONCRETE ADA RAMP WITH 1:12 MAXIMUM SLOPE AND TRUNCATED DOMES PER COA STANDARD DRAWING 2440
20. NOT USED
21. LIGHT POLE TYP; REFER DETAIL A3, A4 & A5 / SHEET 3
22. MONUMENT SIGN; REFER WAYFINDING SHEETS 20 - 21
23. PROPOSED BUS OR RAPID RIDE SHELTER STOPS, RE: B2 & C2 / SHEET 04
24. CONCRETE DRIVEPAD, SEE COA STANDARD DRAWING #2426
25. PROPOSED FIRE HYDRANT LOCATION
26. FIRE LANE
27. ACCESSIBLE RAMP, RE: A2 / SHEET 4
28. RETAINING WALL
29. PARKING LOT SCREEN WALL, 36" HIGH CAST-IN-PLACE CONCRETE, UNO, REFER DETAIL A1 / SHEET 4
30. BUILDING STRUCTURE
31. SERVICE DOCK
32. EGRESS FROM STORE ABOVE
33. STRIPED ISLAND
34. STORE ENTRY
35. TARGET SPHERICAL BOLLARDS, REFER DETAIL B2 / SHEET 3
36. LINE OF TARGET STORE ABOVE
37. NOT USED
38. EXISTING TRAFFIC SIGNAL
39. TYPICAL LOADING PARKING SPACE; 10'-0"x20'-0"
40. LOCATION OF SCREEN WALL WILL COMPLY WITH LINE-OF-SIGHT TRIANGLE
41. LIGHT BOLLARD, RE: C4 / SHEET 03
42. SERVICE YARD
43. SHOPPING CART CORRALS
44. PEDESTRIAN WALKWAY (WITHOUT BORDER), REFER DETAIL B4 / SHEET 4
45. NOT USED 2-2/12
46. 12' HIGH SCREEN WALL, CONSTRUCTION & COLOR TO MATCH BUILDING
47. PROPOSED STOP SIGN
48. ACCESSIBLE SIDEWALK, RE: A5 / SHEET 4
49. TARGET VAN DELIVERY SIGNAGE AT EACH 10'-0"x20'-0" SPACE
50. P.U.E. LOCATIONS, RE: SHEETS 12 & 13
51. PEDESTRIAN WALKWAY, SEE DETAIL B4 / SHEET 4
52. 2" COLORED CONCRETE ROLLED CURB
53. FUTURE PEDESTRIAN CROSSWALK
54. ENHANCED PEDESTRIAN CROSSWALK: 2/16/12 THERMOPLASTIC WITH BRICK PATTERN

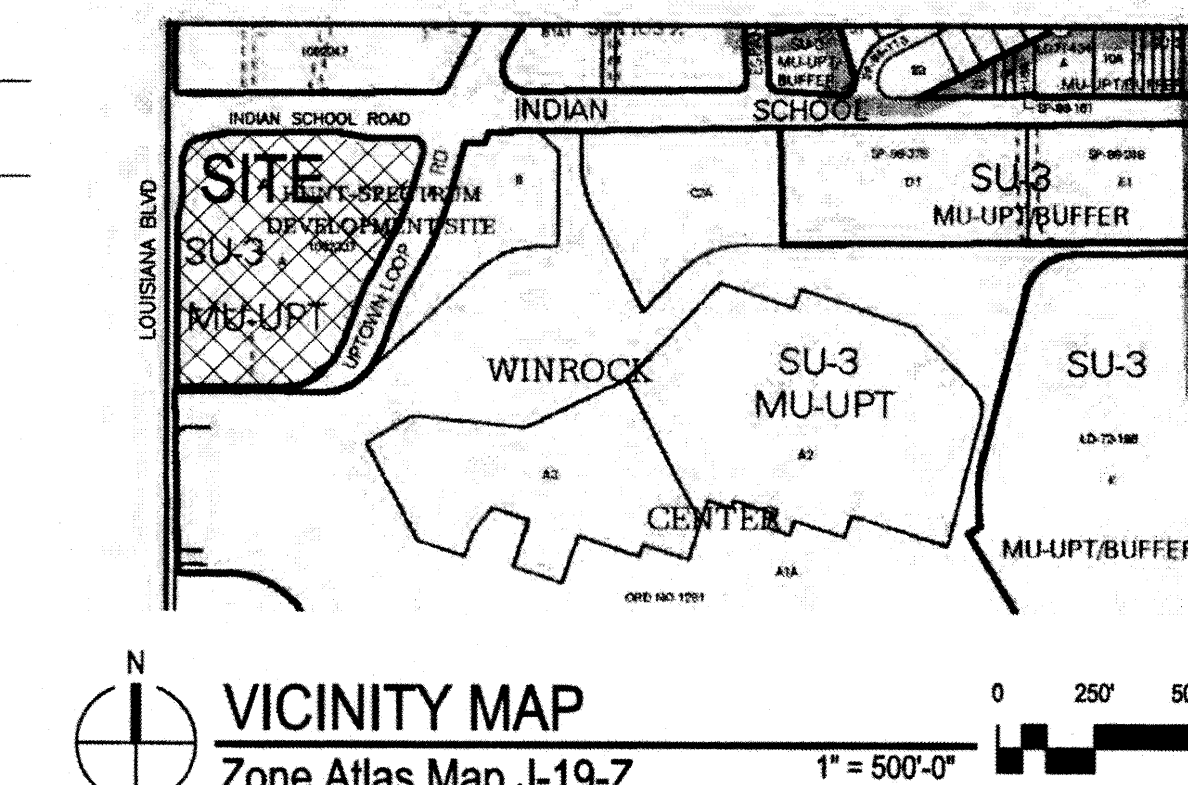
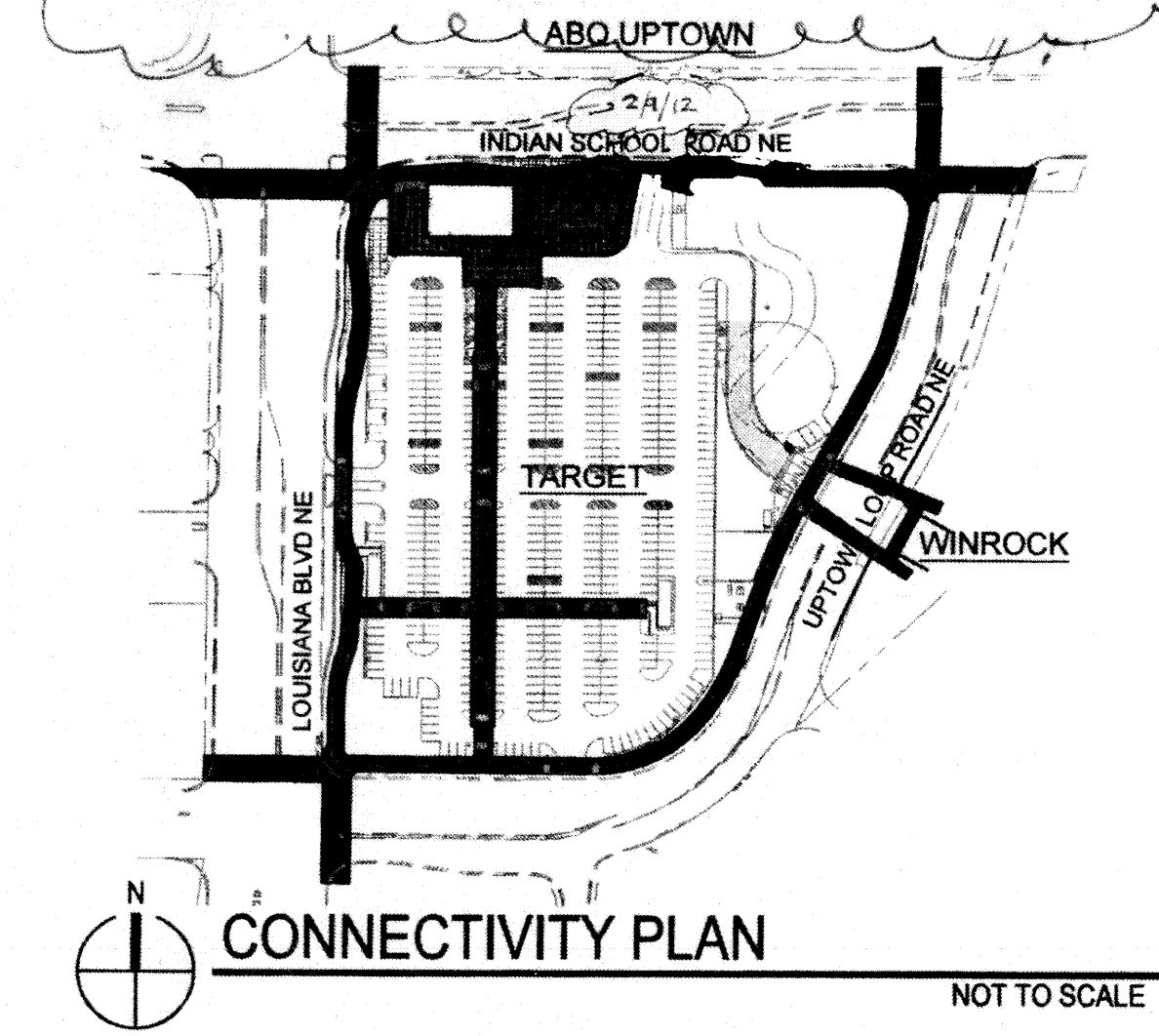
CEPT PRINCIPLES

- WELL DEFINED SITE ENTRANCES WITH SIGNS, PLANTINGS, BOLLARDS AND LIGHTS
- CLEARLY MARKED PUBLIC PATHS
- MAXIMIZED VISIBILITY WITH FULLY ILLUMINATED PARKING AREAS AND DRIVING LANES USING LIGHTING THAT IS EVEN, UNIFORM AND DOES NOT PRODUCE DARK AREAS.
- NATURAL LIGHTING AND OPENNESS IN PARKING AREA
- ALL SURFACES CLEAN AND LIGHT IN COLOR TO REFLECT LIGHT
- NO ACCESS TO ROOF FROM PARKING AREA
- STAIRWELLS ARE NOT ACCESSIBLE FROM PARKING AREA
- MONITORED STORE ENTRANCE
- ELEVATORS ARE LOCATED WITHIN THE STORE ENTRY
- BUILDINGS AND WALKWAYS WILL BE KEPT CLEAN AND REPAIRED. PLANTINGS WILL BE KEPT IN GOOD CONDITION.
- DEVELOPMENT WILL BE MAINTAINED TO TARGET'S HIGH COMPANY STANDARDS.
- VISIBILITY IN THE PARKING AREA IS AVAILABLE IN MULTIPLE LOCATIONS AROUND THE BUILDING PERIMETER
- ENHANCED TARGET VIDEO SOLUTIONS (TVS) WILL BE INSTALLED FOR SECURITY CAMERAS UNDER THE BUILDING.



CONDITION #3

DELIVERY NOTE
TRUCK DELIVERY TIMES WILL OCCUR BETWEEN 4 AM AND 12 AM. EFFORTS WILL BE MADE TO COORDINATE DELIVERIES WITH OFF-PEAK CUSTOMER TRAFFIC



FURNISHINGS LEGEND

- ⊙ 16'-0" HIGH PEDESTRIAN SCALE POLE LIGHT TO COMPLY W/ DARK SKY ORDINANCE, A3 / SHEET 3
- 30'-0" HIGH AREA POLE LIGHT TO COMPLY W/ DARK SKY ORDINANCE (20'-0" WHERE OCCURS), A4 & A5 / SHEET 3
- ☆ EXISTING STREET POLE LIGHT
- LIGHT BOLLARD AND SPHERE BOLLARD, A2 & A3 / SHEET 3
- 1' WIDE SEAT WALL
- 6" BENCH, D2 / SHEET 3 AND TRASH RECEPTACLES
- COMPACT PARKING SPACE, "COMPACT" ON PAVEMENT
- TRASH RECEPTACLES

SITE PLAN - PHASE I

TRACT 1-0-1A-1
PARK SQUARE ADDITION
FILED MARCH 21, 1990 IN
PLAT BOOK 96C, PAGE 82

TRACT 1-0-1A-1
PARK SQUARE ADDITION
FILED AUGUST 8, 1990 IN
PLAT BOOK 96C, PAGE 180

TRACT 1-4-1A

TRACT 1-4-1A
PARK SQUARE ADDITION
FILED AUGUST 8, 1990 IN
PLAT BOOK 96C, PAGE 180

TRACT 1-4-1A
PARK SQUARE ADDITION
FILED AUGUST 8, 1990 IN
PLAT BOOK 96C, PAGE 180

PARCEL A-1-A
WINROCK CENTER ADDITION
FILED OCTOBER 26, 1999 IN
PLAT BOOK 96C, PAGE 446

PARCEL A-1-A
WINROCK CENTER ADDITION
FILED OCTOBER 26, 1999 IN
PLAT BOOK 96C, PAGE 446

INDIAN SCHOOL ROAD N.E.

(103' RIGHT-OF-WAY)

LOUISIANA BOULEVARD N.E.

(VARIABLE WIDTH RIGHT-OF-WAY)

UPTOWN LOOP ROAD N.E.

(66' RIGHT-OF-WAY)

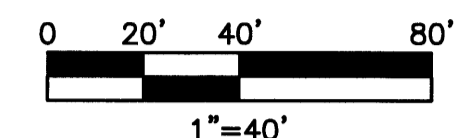
LOT 1

BUILDING 2 (FUTURE)

BUILDING 3 (FUTURE)

LEGEND

- C.I. PROP. CURB INLET
- G.I. PROP. GRATE INLET
- EXIST. LP
- PROP. LP
- GATEKEEPER BOUNDARY
- C COMPACT CAR PARKING



~ PROPERTY LINE CURVE TABLE ~

NO.	RADIUS	DELTA	ARC	CH. BEARING	CHORD
C1	138.90'	15°01'00"	36.40'	N 83°00'08" W	36.30'
C2	161.10'	13°22'02"	37.59'	S 82°10'33" E	37.50'
C3	30.00'	106°00'21"	55.50'	N 37°29'04" W	47.92'
C4	602.00'	13°41'35"	143.87'	N 22°21'53" E	143.53'
C5	698.00'	10°00'00"	121.82'	S 24°12'40" W	121.67'
C6	226.98'	28°42'27"	113.73'	N 33°30'11" E	112.54'
C7	135.00'	42°07'39"	99.26'	N 68°55'14" E	97.04'
C8	20.00'	72°01'55"	25.14'	S 55°44'57" E	23.52'
C9	160.00'	15°44'26"	43.96'	S 07°50'46" W	43.82'
C10	160.00'	15°44'26"	43.96'	N 07°50'46" E	43.82'
C11	139.33'	16°35'51"	40.36'	S 08°09'55" W	40.22'
C12	160.67'	16°54'26"	47.41'	N 08°06'34" E	47.24'
C13	139.33'	19°11'27"	46.67'	S 09°09'47" W	46.45'
C14	49.33'	55°19'58"	47.64'	S 46°34'41" W	45.81'
C15	239.33'	15°34'14"	65.04'	S 81°54'05" W	64.84'

T-2813 ALBUQUERQUE UPTOWN, NM

LCA Lawrence A. Cates & Associates, LLP
 Consulting Engineers
 14800 Quorum Drive, Suite 200
 Dallas, Texas 75254
 Office: 972-385-2272 Fax: 972-980-1627

CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT
 ENGINEERING GROUP

TITLE: DIMENSION CONTROL PLAN
 TARGET - UPTOWN
 TRACT A, HUNT-SPECTRUM DEVELOPMENT SITE PLAN

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
D.R.C. Chair			WATER		
TRANS. DEV.			WASTE WATER		
HYDROLOGY			TRAF. OPER.		

PROJECT NO. 001-002 MAP NO. J-19-Z SHEET DRB-C1

AS BUILT INFORMATION

CONTRACTOR	DATE
STAMPED BY	DATE
INSPECTOR'S NAME	DATE
FIELD CHANGE BY	DATE
VERIFICATION BY	DATE
CORRECTED BY	DATE
RECORDED BY	DATE
NO.	ELEVATION

BENCH MARKS

1. VERTICAL DATUM IS BASED ON THE ALBUQUERQUE CONTROL SURVEY BENCHMARK "20-H18".	DATE
ELEVATION 5283.222 (NAVD 1988)	DATE

SURVEY INFORMATION

FIELD NOTES	DATE
BY	DATE
NO.	DATE

ENGINEERS SEAL

PRELIMINARY REVIEW/COORDINATION PURPOSES ONLY

NO.	DATE	REVISIONS	BY
	09.22.11	DESIGN	
	09.22.11		
	09.22.11		

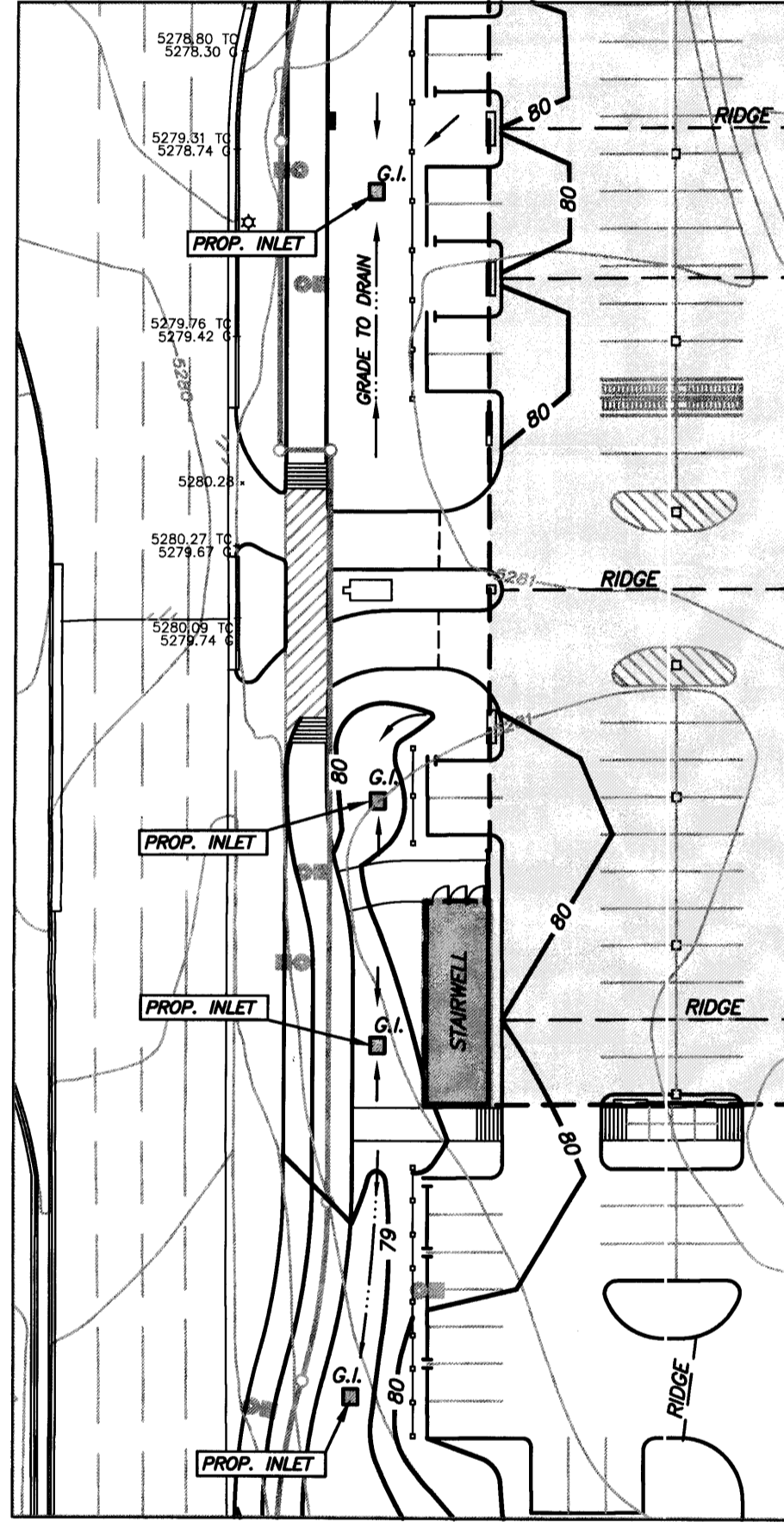
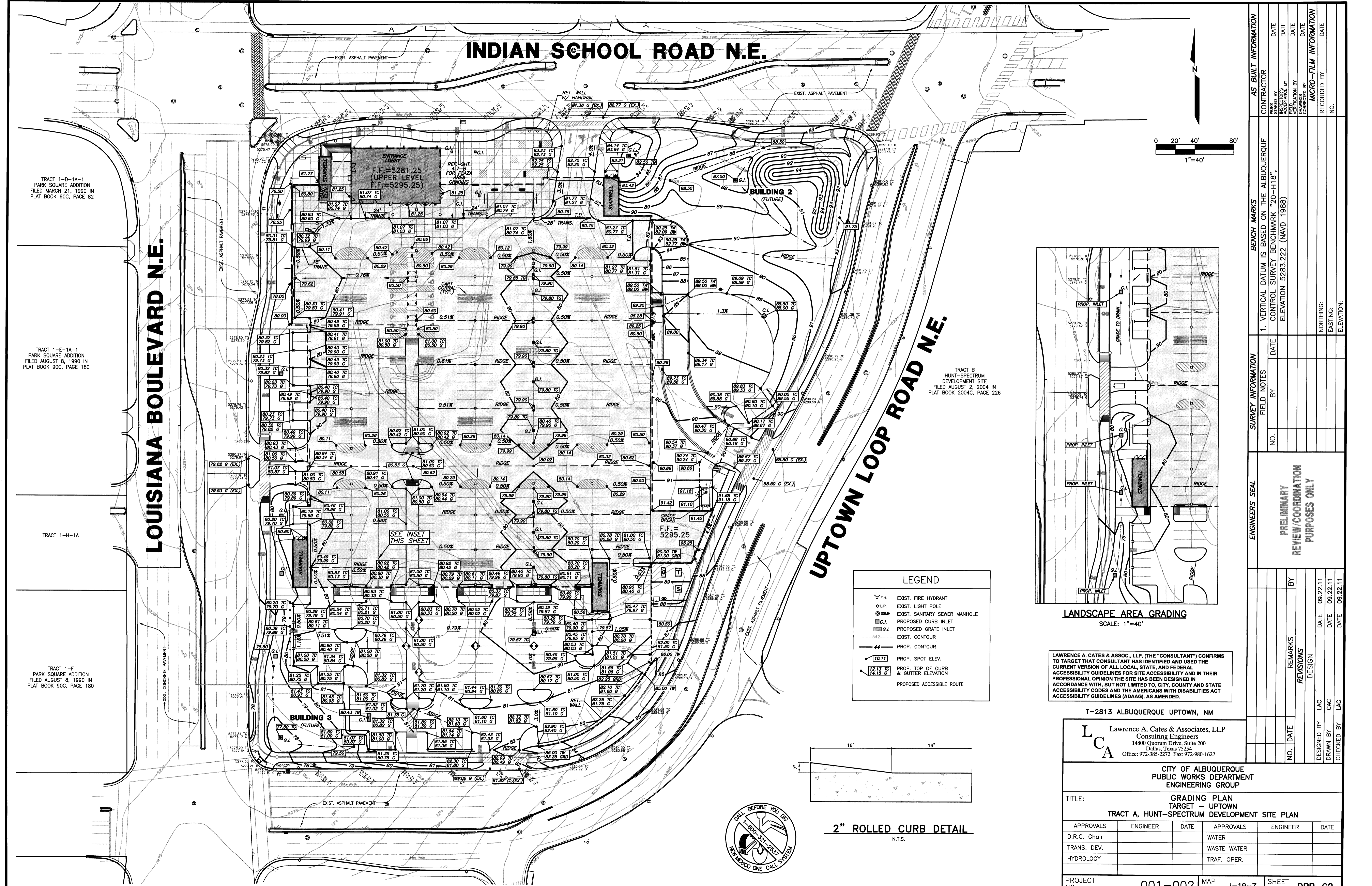


PLANNING AND DESIGN CONTROL PLAN SHEET 1 OF 2 (SHEET 1 OF 2) 10/12/11 10:00 AM

INDIAN SCHOOL ROAD N.E.

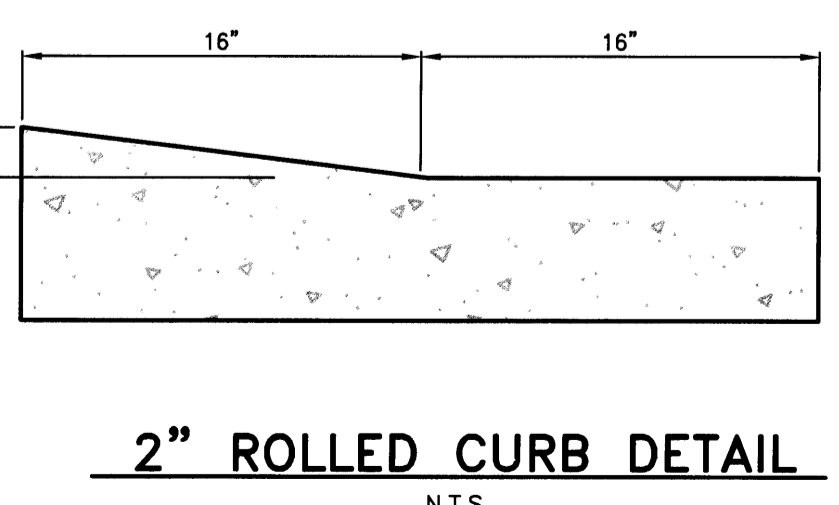
LOUISIANA BOULEVARD N.E.

UPTOWN LOOP ROAD N.E.



LEGEND

- ⊕ F.H. EXIST. FIRE HYDRANT
- ⊕ L.P. EXIST. LIGHT POLE
- ⊕ S.S.M. EXIST. SANITARY SEWER MANHOLE
- ⊕ C.I. PROPOSED CURB INLET
- ⊕ G.I. PROPOSED GRATE INLET
- 542 — EXIST. CONTOUR
- 44 — PROP. CONTOUR
- 10.71 PROP. SPOT ELEV.
- 12.13 TO 14.15 PROP. TOP OF CURB & GUTTER ELEVATION
- — — — — PROP. ACCESSIBLE ROUTE



LAWRENCE A. CATES & ASSOC., LLP, (THE "CONSULTANT") CONFIRMS TO TARGET THAT CONSULTANT HAS IDENTIFIED AND USED THE CURRENT VERSION OF ALL LOCAL, STATE, AND FEDERAL ACCESSIBILITY GUIDELINES FOR SITE ACCESSIBILITY AND IN THEIR PROFESSIONAL OPINION THE SITE HAS BEEN DESIGNED IN ACCORDANCE WITH, BUT NOT LIMITED TO, CITY, COUNTY AND STATE ACCESSIBILITY CODES AND THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG), AS AMENDED.

T-2813 ALBUQUERQUE UPTOWN, NM
LCA Lawrence A. Cates & Associates, LLP
 Consulting Engineers
 14800 Quorum Drive, Suite 200
 Dallas, Texas 75254
 Office: 972-385-2272 Fax: 972-980-1627

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP					
TITLE: GRADING PLAN TARGET UPTOWN TRACT A, HUNT-SPECTRUM DEVELOPMENT SITE PLAN					
APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
D.R.C. Chair			WATER		
TRANS. DEV.			WASTE WATER		
HYDROLOGY			TRAF. OPER.		
PROJECT NO.	001-002	MAP NO.	J-19-Z	SHEET	DRB-C2

ENGINEERS SEAL		SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
PRELIMINARY REVIEW/COORDINATION PURPOSES ONLY		NO.	DATE	1. VERTICAL DATUM IS BASED ON THE ALBUQUERQUE CONTROL SURVEY BENCHMARK "20-H18", ELEVATION 5283.222 (NAVD 1988)	CONTRACTOR	DATE	
		BY			WORKED BY	DATE	
NO.	DATE	REMARKS	BY	DATE	INSPECTOR'S ACCEPTANCE BY	DATE	
		DESIGN			VERIFICATION BY	DATE	
					DRAWINGS ORIGINATED BY	DATE	
					DESIGNED BY	DATE	
					DRAWN BY	DATE	
					CHECKED BY	DATE	
					RECORDED BY	DATE	
					NO.		

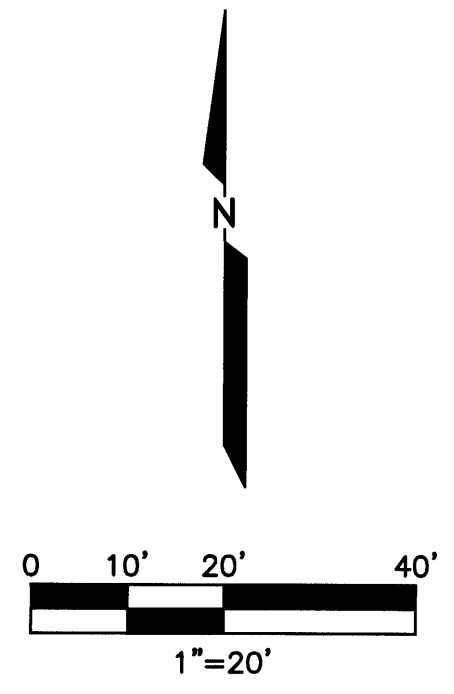
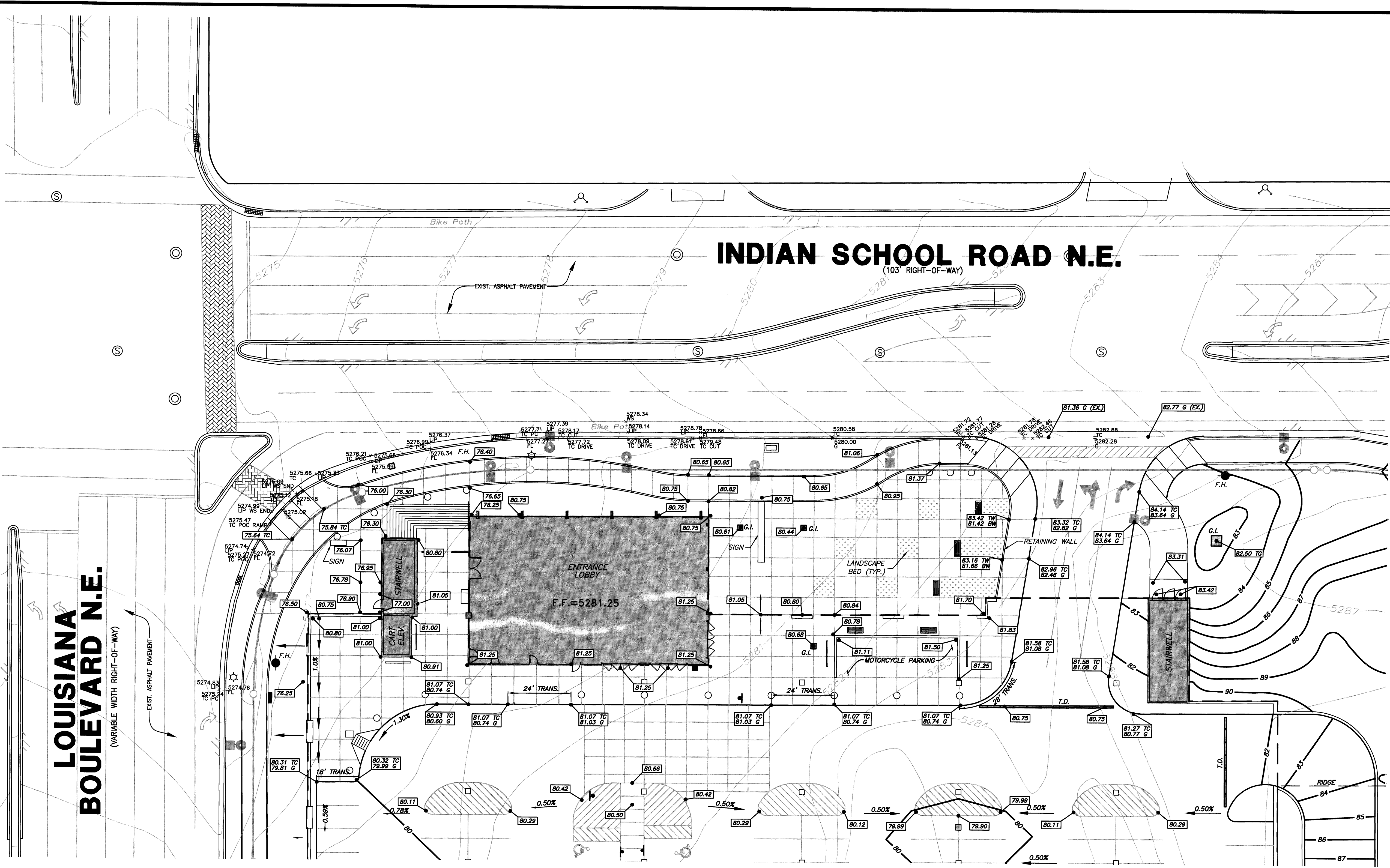
TRACT 1-D-1A-1
PARK SQUARE ADDITION
FILED MARCH 21, 1990 IN
PLAT BOOK 90C, PAGE 82

TRACT 1-E-1A-1
PARK SQUARE ADDITION
FILED AUGUST 8, 1990 IN
PLAT BOOK 90C, PAGE 180

TRACT 1-H-1A

TRACT 1-F
PARK SQUARE ADDITION
FILED AUGUST 8, 1990 IN
PLAT BOOK 90C, PAGE 180





LEGEND	
	EXIST. FIRE HYDRANT
	EXIST. LIGHT POLE
	EXIST. SANITARY SEWER MANHOLE
	PROPOSED CURB INLET
	PROPOSED GRATE INLET
	EXIST. CONTOUR
	PROP. CONTOUR
	PROP. SPOT ELEV.
	PROP. TOP OF CURB & GUTTER ELEVATION

LOUISIANA BOULEVARD N.E.
(VARIABLE WIDTH RIGHT-OF-WAY)

INDIAN SCHOOL ROAD N.E.
(103' RIGHT-OF-WAY)

AS BUILT INFORMATION	
CONTRACTOR	DATE
WORKED BY	DATE
INSPECTOR'S ACCEPTANCE BY	DATE
VERIFICATION BY	DATE
DRAWING CORRECTED BY	DATE
MICRO-FILM INFORMATION	
RECORDED BY	DATE
NO.	

BENCH MARKS	
1. VERTICAL DATUM IS BASED ON THE ALBUQUERQUE CONTROL SURVEY BENCHMARK "20-H18", ELEVATION 5283.222 (NAD 1988)	

SURVEY INFORMATION	
FIELD NOTES	DATE
NO.	BY

ENGINEERS SEAL	
PRELIMINARY REVIEW/COORDINATION PURPOSES ONLY	
NO.	DATE
REVISIONS	BY
DESIGN	DATE 09.22.11
LAC	DATE 09.22.11
CAC	DATE 09.22.11
LAC	DATE 09.22.11

LAWRENCE A. CATES & ASSOC., LLP, (THE "CONSULTANT") CONFIRMS TO TARGET THAT CONSULTANT HAS IDENTIFIED AND USED THE CURRENT VERSION OF ALL LOCAL, STATE, AND FEDERAL ACCESSIBILITY GUIDELINES FOR SITE ACCESSIBILITY AND IN THEIR PROFESSIONAL OPINION THE SITE HAS BEEN DESIGNED IN ACCORDANCE WITH, BUT NOT LIMITED TO, CITY, COUNTY AND STATE ACCESSIBILITY CODES AND THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG), AS AMENDED.

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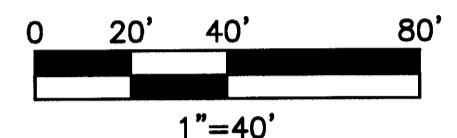
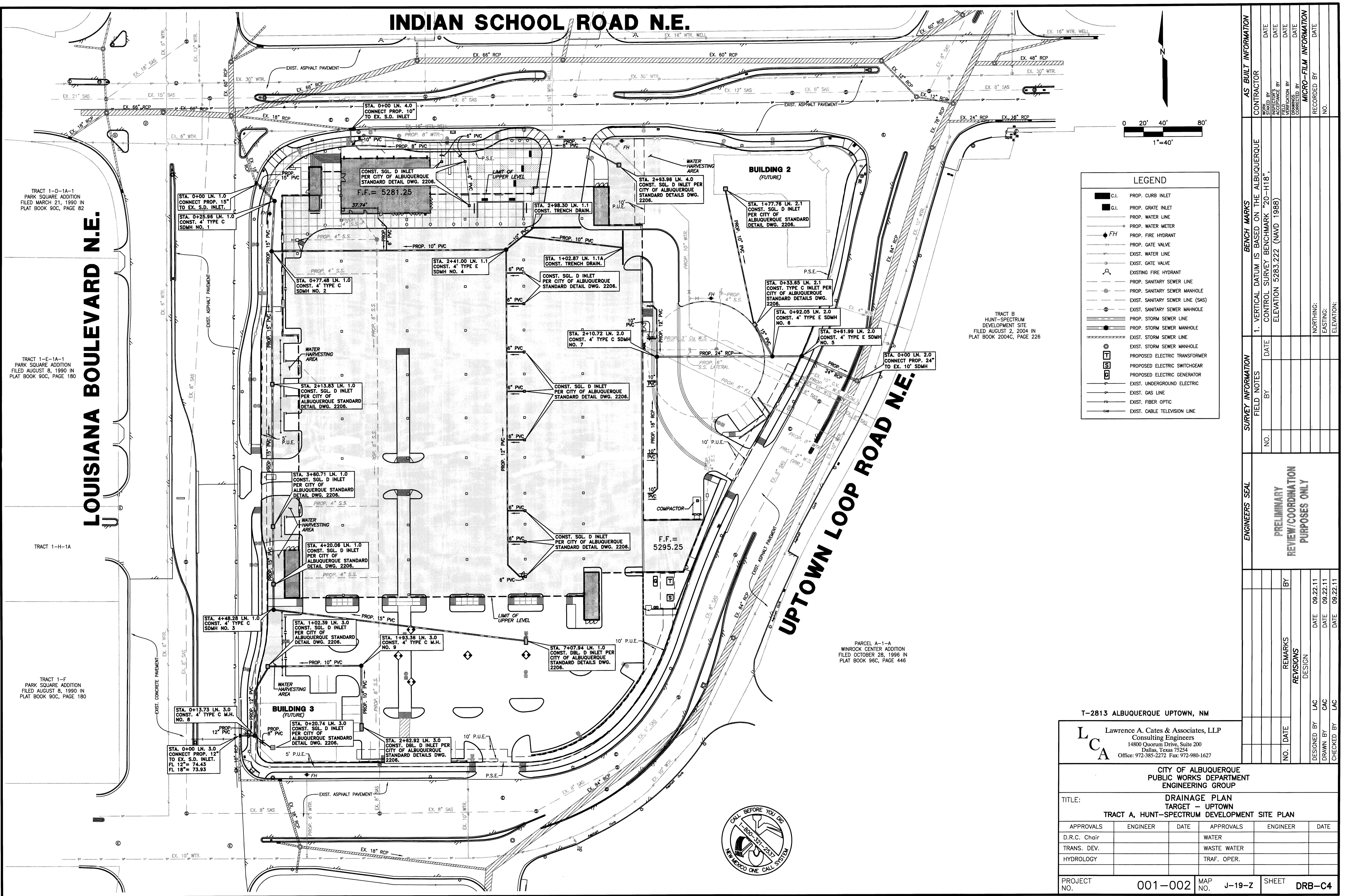
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP					
TITLE: PLAZA AREA GRADING PLAN TARGET - UPTOWN TRACT A, HUNT-SPECTRUM DEVELOPMENT SITE PLAN					
APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
D.R.C. Chair			WATER		
TRANS. DEV.			WASTE WATER		
HYDROLOGY			TRAF. OPER.		
PROJECT NO.	001-002	MAP NO.	J-19-Z	SHEET	DRB-C3



INDIAN SCHOOL ROAD N.E.

LOUISIANA BOULEVARD N.E.

UPTOWN LOOP ROAD N.E.



LEGEND	
	PROP. CURB INLET
	PROP. GRATE INLET
	PROP. WATER LINE
	PROP. WATER METER
	PROP. FIRE HYDRANT
	PROP. GATE VALVE
	EXIST. WATER LINE
	EXIST. GATE VALVE
	EXISTING FIRE HYDRANT
	PROP. SANITARY SEWER LINE
	PROP. SANITARY SEWER MANHOLE
	EXIST. SANITARY SEWER LINE (SAS)
	EXIST. SANITARY SEWER MANHOLE
	PROP. STORM SEWER LINE
	PROP. STORM SEWER MANHOLE
	EXIST. STORM SEWER LINE
	EXIST. STORM SEWER MANHOLE
	PROPOSED ELECTRIC TRANSFORMER
	PROPOSED ELECTRIC SWITCHGEAR
	PROPOSED ELECTRIC GENERATOR
	EXIST. UNDERGROUND ELECTRIC
	EXIST. GAS LINE
	EXIST. FIBER OPTIC
	EXIST. CABLE TELEVISION LINE

TRACT B
HUNT-SPECTRUM
DEVELOPMENT SITE
FILED AUGUST 2, 2004 IN
PLAT BOOK 2004C, PAGE 226

PARCEL A-1-A
WINROCK CENTER ADDITION
FILED OCTOBER 28, 1996 IN
PLAT BOOK 96C, PAGE 446

TRACT 1-D-1A-1
PARK SQUARE ADDITION
FILED MARCH 21, 1990 IN
PLAT BOOK 90C, PAGE 82

TRACT 1-E-1A-1
PARK SQUARE ADDITION
FILED AUGUST 8, 1990 IN
PLAT BOOK 90C, PAGE 180

TRACT 1-H-1A

TRACT 1-F
PARK SQUARE ADDITION
FILED AUGUST 8, 1990 IN
PLAT BOOK 90C, PAGE 180

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEERS SEAL	
CONTRACTOR	DATE	1. VERTICAL DATUM IS BASED ON THE ALBUQUERQUE CONTROL SURVEY BENCHMARK "20-H18", ELEVATION 5283.222 (NAVD 1988)	NO.	BY	DATE	PRELIMINARY REVIEW/COORDINATION PURPOSES ONLY	NO. DATE REVISIONS DESIGN
INSPECTOR'S ACCEPTANCE BY	DATE						
VERIFICATION BY	DATE					DESIGNED BY	LAC
DRAWINGS	DATE					DRAWN BY	CAC
DATE						CHECKED BY	LAC
DATE						DATE	09.22.11
DATE						DATE	09.22.11
DATE						DATE	09.22.11

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Dallas, Texas 75254
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CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE: DRAINAGE PLAN
TRACT A, HUNT-SPECTRUM DEVELOPMENT SITE PLAN

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
D.R.C. Chair			WATER		
TRANS. DEV.			WASTE WATER		
HYDROLOGY			TRAF. OPER.		

PROJECT NO. 001-002 MAP NO. J-19-Z SHEET DRB-C4



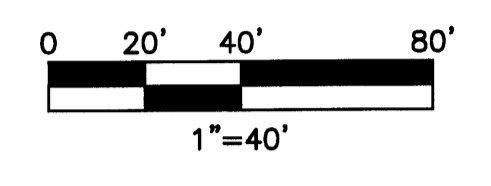
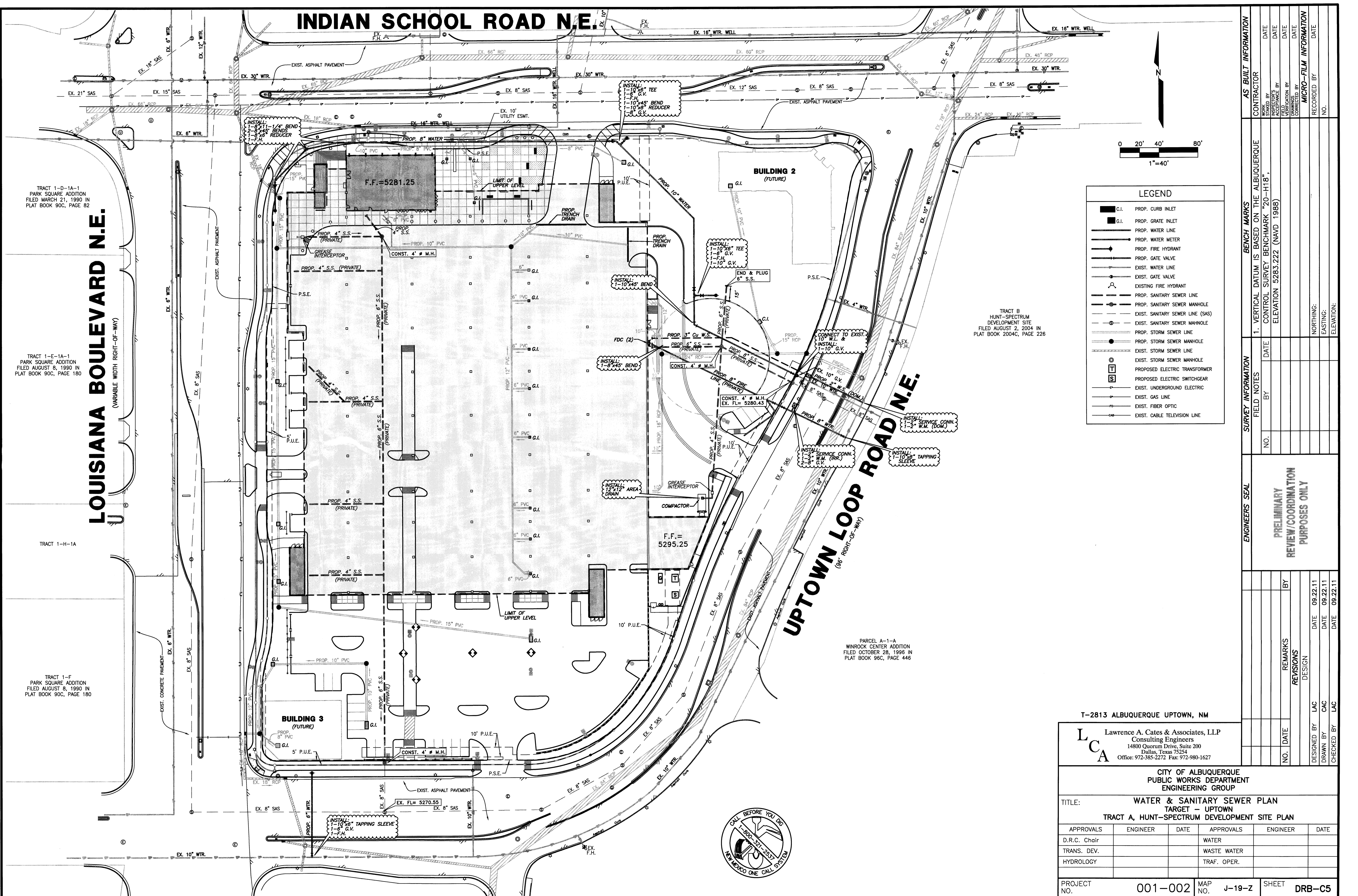
INDIAN SCHOOL ROAD N.E.

LOUISIANA BOULEVARD N.E.

(VARIABLE WIDTH RIGHT-OF-WAY)

UPTOWN LOOP ROAD N.E.

(96' RIGHT-OF-WAY)



LEGEND	
	PROP. CURB INLET
	PROP. GRATE INLET
	PROP. WATER LINE
	PROP. WATER METER
	PROP. FIRE HYDRANT
	PROP. GATE VALVE
	EXIST. WATER LINE
	EXIST. GATE VALVE
	EXISTING FIRE HYDRANT
	PROP. SANITARY SEWER LINE
	PROP. SANITARY SEWER MANHOLE
	EXIST. SANITARY SEWER LINE (SAS)
	EXIST. SANITARY SEWER MANHOLE
	PROP. STORM SEWER LINE
	PROP. STORM SEWER MANHOLE
	EXIST. STORM SEWER LINE
	EXIST. STORM SEWER MANHOLE
	PROPOSED ELECTRIC TRANSFORMER
	PROPOSED ELECTRIC SWITCHGEAR
	EXIST. UNDERGROUND ELECTRIC
	EXIST. GAS LINE
	EXIST. FIBER OPTIC
	EXIST. CABLE TELEVISION LINE

TRACT B
HUNT-SPECTRUM
DEVELOPMENT SITE
FILED AUGUST 2, 2004 IN
PLAT BOOK 2004C, PAGE 226

PARCEL A-1-A
WINROCK CENTER ADDITION
FILED OCTOBER 28, 1996 IN
PLAT BOOK 96C, PAGE 446

TRACT 1-D-1A-1
PARK SQUARE ADDITION
FILED MARCH 21, 1990 IN
PLAT BOOK 90C, PAGE 82

TRACT 1-E-1A-1
PARK SQUARE ADDITION
FILED AUGUST 6, 1990 IN
PLAT BOOK 90C, PAGE 180

TRACT 1-H-1A

TRACT 1-F
PARK SQUARE ADDITION
FILED AUGUST 6, 1990 IN
PLAT BOOK 90C, PAGE 180

AS BUILT INFORMATION	
CONTRACTOR	DATE
INSPECTOR'S ACCEPTANCE BY	DATE
VERIFICATION BY	DATE
COMPLETED BY	DATE
MICRO-FILM INFORMATION	
RECORDED BY	DATE
NO.	

BENCH MARKS	
1. VERTICAL DATUM IS BASED ON THE ALBUQUERQUE CONTROL SURVEY BENCHMARK "20-H18", ELEVATION 5283.222 (NAVD 1988)	

SURVEY INFORMATION	
FIELD NOTES	DATE
NO.	

ENGINEERS SEAL

PRELIMINARY REVIEW/COORDINATION PURPOSES ONLY

NO.	DATE	REMARKS	BY
		DESIGN	
	09.22.11		LAC
	09.22.11		CAC
	09.22.11		LAC

T-2813 ALBUQUERQUE UPTOWN, NM

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CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

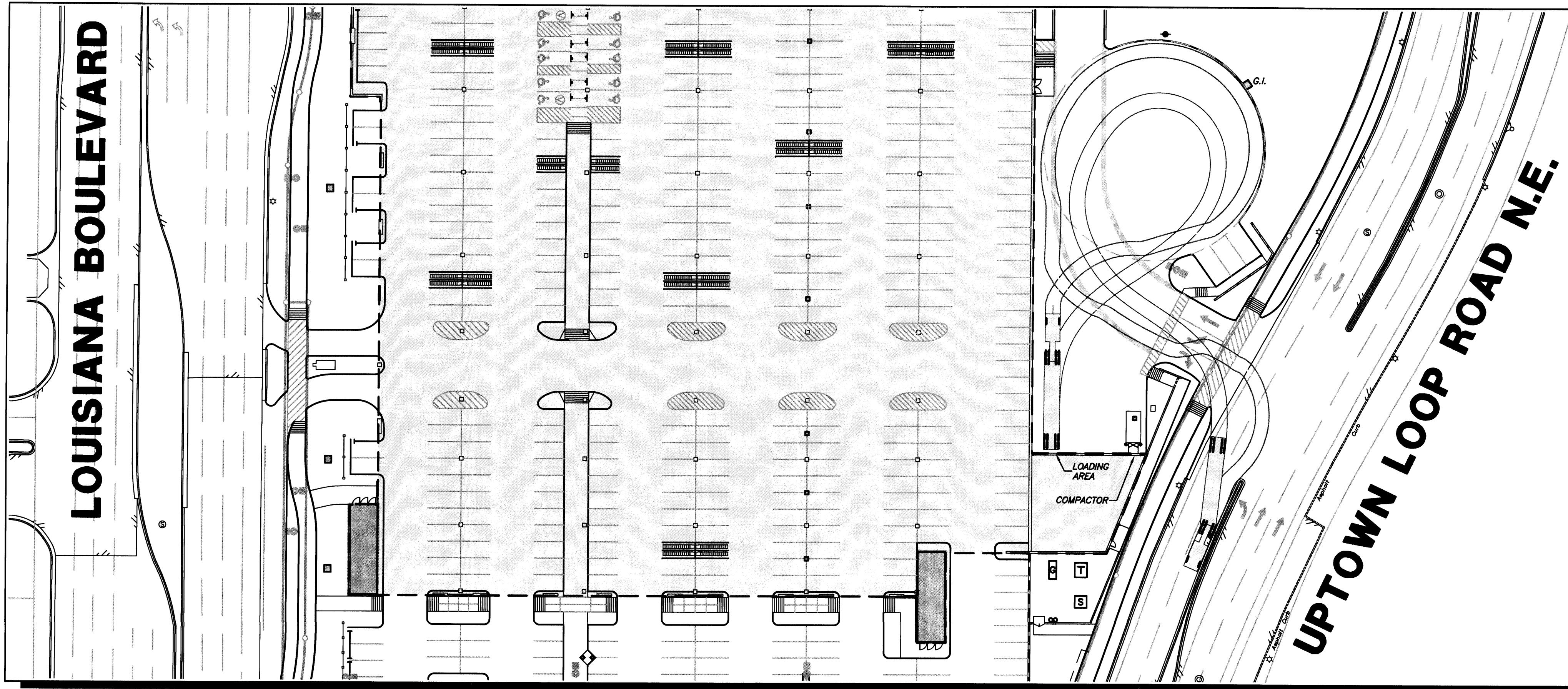
TITLE: **WATER & SANITARY SEWER PLAN
TARGET - UPTOWN
TRACT A, HUNT-SPECTRUM DEVELOPMENT SITE PLAN**

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
D.R.C. Chair			WATER		
TRANS. DEV.			WASTE WATER		
HYDROLOGY			TRAF. OPER.		

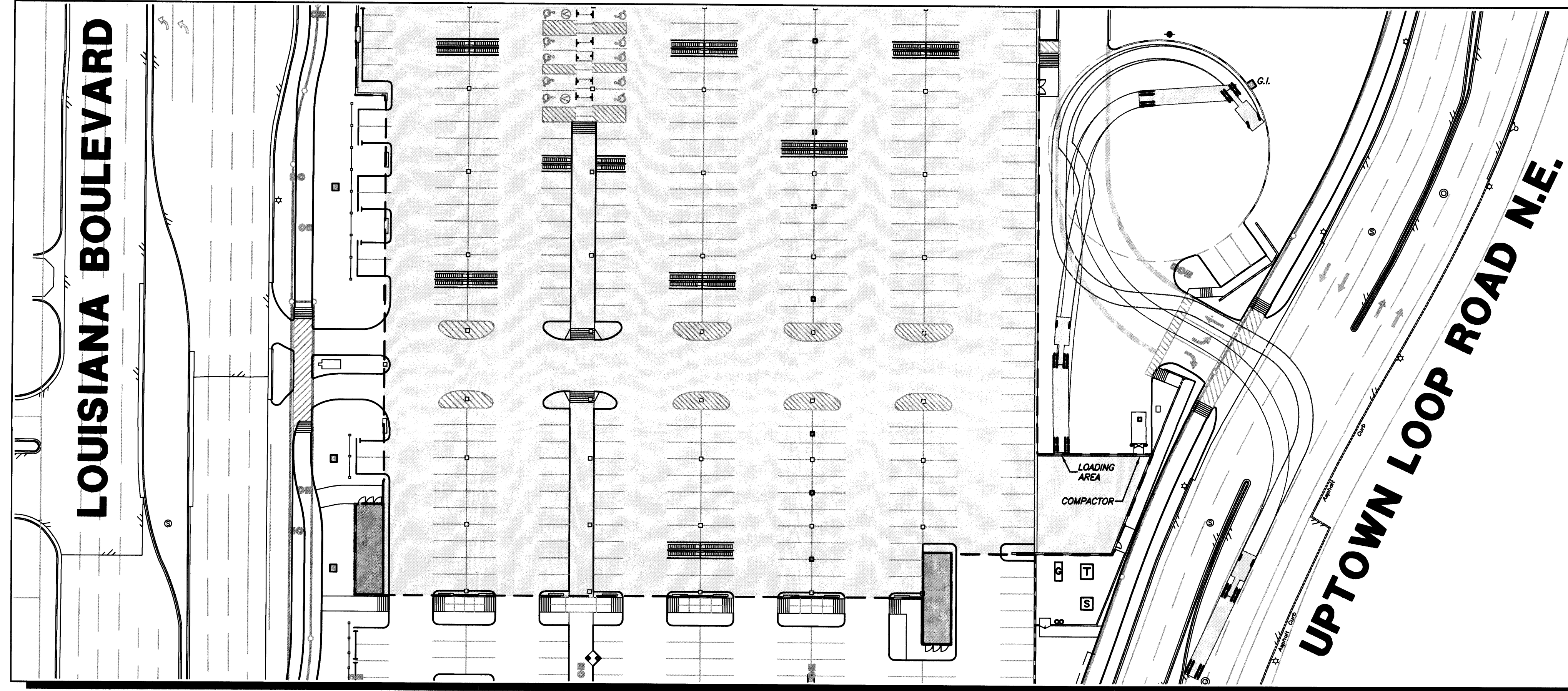
PROJECT NO.	001-002	MAP NO.	J-19-Z	SHEET	DRB-C5
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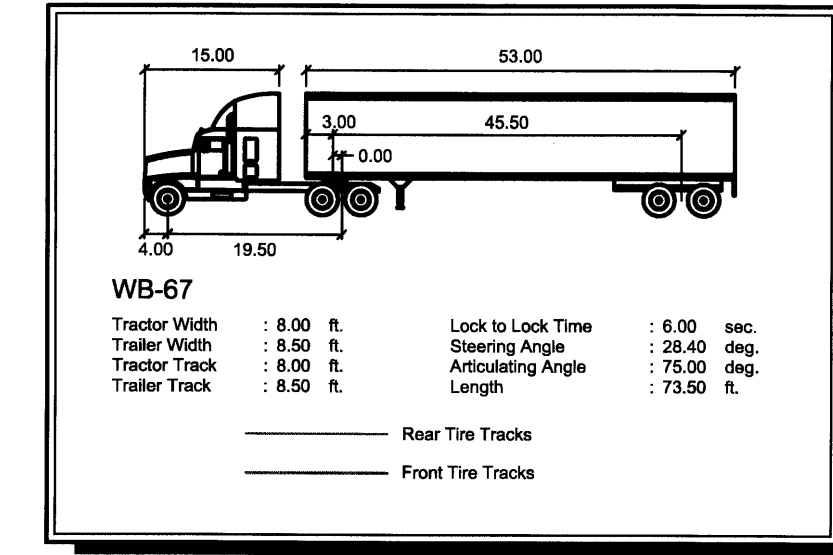
R:\WORKING DOCUMENTS\001 TRUCK DRIVING - 2.dwg, SHEET 1, 2/16/2012, 3:25:19 PM, 11



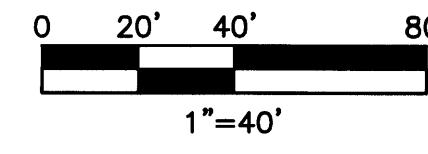
DEPARTURE



ARRIVAL



VEHICLE



T-2813 ALBUQUERQUE UPTOWN, NM					
Lawrence A. Cates & Associates, LLP Consulting Engineers 14800 Quorum Drive, Suite 200 Dallas, Texas 75254 Office: 972-385-2272 Fax: 972-980-1627					
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP					
TITLE: TRUCK ACCESS PLAN TARGET - UPTOWN TRACT A, HUNT-SPECTRUM DEVELOPMENT SITE PLAN					
APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
D.R.C. Chair			WATER		
TRANS. DEV.			WASTE WATER		
HYDROLOGY			TRAF. OPER.		
PROJECT NO.	001-002	MAP NO.	J-19-Z	SHEET	DRB-C6

**PRELIMINARY
REVIEW/COORDINATION
PURPOSES ONLY**

NO.	DATE	REMARKS	BY
		DESIGN	
DESIGNED BY	LAC	DATE	09.22.11
DRAWN BY	CAC	DATE	09.22.11
CHECKED BY	LAC	DATE	09.22.11

SURVEY INFORMATION		FIELD NOTES	
NO.	BY	NO.	DATE

BENCH MARKS
 1. VERTICAL DATUM IS BASED ON THE ALBUQUERQUE CONTROL SURVEY BENCHMARK "20-H18", ELEVATION 5283.222 (NAVD 1988)

AS BUILT INFORMATION		CONTRACTOR	
WORK BY	DATE	CONTRACTOR	DATE
INSPECTOR'S ACCEPTANCE BY	DATE	INSPECTOR'S ACCEPTANCE BY	DATE
DRAWINGS VERIFICATION BY	DATE	DRAWINGS VERIFICATION BY	DATE
CONTRACTOR'S SIGNATURE	DATE	CONTRACTOR'S SIGNATURE	DATE
MICRO-FILM INFORMATION		RECORDED BY	
NO.	DATE	NO.	DATE

DRAWN BY	TB
REVIEWED BY	SJT
DATE	11/11/2011
PROJECT NO.	10-0135
DRAWING NAME	SITE DEVELOPMENT PLAN PHASE 2 (FULL BUILD-OUT)
SITE DEVELOPMENT PLAN PHASE 2 (FULL BUILD-OUT)	
01 of 21	

GENERAL NOTES

- A. SITE PLAN SHALL BE DESIGNED & BUILT TO CURRENT DPM STANDARDS.
- B. SEE CIVIL PLANS FOR ADDITIONAL GRADING, DRAINAGE AND UTILITY INFORMATION.
- C. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- D. ALL CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
- E. ALL LIGHT FIXTURES AND DESIGN SHALL COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT, THE CITY OF ALBUQUERQUE ZONING CODE: SECTION 14-16-3-9 AREA LIGHTING REGULATIONS.
- F. SIDEWALKS TO BE STANDARD GRAY SCORED CONCRETE UNLESS NOTED OTHERWISE.
- G. STREETS, PARKING SPACES AND ASSOCIATED DRIVELINES TO BE ASPHALT UNLESS NOTED OTHERWISE.
- H. SEE LANDSCAPE SHEET FOR OPEN SPACE CALCULATIONS.
- I. SITE PLAN SHALL COMPLY WITH LOCAL, FEDERAL ADA STANDARDS & GUIDELINES.
- J. PEDESTRIAN AMENITIES ALONG WALKWAYS TO SERVE HUMANS AND ANIMALS INCLUDE SCALED LIGHTING, BENCHES AND TRASH RECEPTACLES.
- K. TARGET WILL MAINTAIN THE PEDESTRIAN CROSSWALK AT DRIVEWAYS WITHIN THE PARKING AREAS.

KEYED NOTES

1. TYPICAL PARKING SPACE; 9'-0"x18'-0" (UNLESS NOTED OTHERWISE).
2. TYPICAL COMPACT PARKING SPACE; 8'-0"x16'-0"
3. TYPICAL ADA PARKING SPACE; 9'-0"x18'-0"
4. TYPICAL MOTORCYCLE PARKING SPACE; 5'-0"x8'-0", REFER DETAIL C2 / SHEET 4
5. LANDSCAPED AREA; REFER TO LANDSCAPE PLAN
6. CONCRETE PAVING
7. METAL BIKE RACK; REFER DETAIL D1 / SHEET 3
8. PEDESTRIAN CROSSWALK. COLOR AND TEXTURE PATTERN TO DIFFERENTIATE FROM SURROUNDING CONCRETE PAVING.
9. 18" HIGH SCREEN WALL, CONSTRUCTION & COLOR TO MATCH BUILDING, REFER DETAIL A1 / SHEET 4
10. STEEL TRELLIS ABOVE
11. REFUSE ENCLOSURE FOR SOLID WASTE DISPOSAL; REFER DETAIL B5 / SHEET 3
12. TRASH COMPACTOR
13. POLE MOUNTED ADA SIGNAGE, RE: C5 / SHEET 03
14. 6" Ø BOLLARD, TYP.
15. PAINTED ADA PAVEMENT SIGNAGE TYP.
16. AUTOMOBILE INGRESS/EGRESS.
17. CONCRETE CURB
18. 10' SIDEWALK, RE: A4 / SHEET 4
19. NEW CONCRETE ADA RAMP WITH 1:12 MAXIMUM SLOPE AND TRUNCATED DOMES PER COA STANDARD DRAWING 2440
20. RAISED LANDSCAPE PLANTER, RE A3 / SHEET 5
21. LIGHT POLE TYP; REFER DETAIL A3, A4 & A5 / SHEET 3
22. MONUMENT SIGN; REFER WAYFINDING SHEETS 20 - 21
23. PROPOSED BUS OR RAPID RIDE SHELTER STOPS, RE: B2 & C2 / SHEET 04
24. CONCRETE DRIVEPAD, SEE COA STANDARD DRAWING #2426
25. PROPOSED FIRE HYDRANT LOCATION
26. FIRE LANE
27. ACCESSIBLE RAMP, RE: A2 / SHEET 4
28. RETAINING WALL
29. PARKING LOT SCREEN WALL, 36" HIGH CAST-IN-PLACE CONCRETE, UNO. REFER DETAIL A1 / SHEET 4
30. BUILDING STRUCTURE
31. SERVICE DOCK
32. EGRESS FROM STORE ABOVE
33. STRIPED ISLAND
34. STORE ENTRY
35. TARGET SPHERICAL BOLLARDS, REFER DETAIL B2 / SHEET 3
36. LINE OF TARGET STORE ABOVE
37. 42" HIGH CAST-IN-PLACE CONCRETE WALL
38. EXISTING TRAFFIC SIGNAL
39. TYPICAL LOADING PARKING SPACE; 10'-0"x20'-0"
40. LOCATION OF SCREEN WALL WILL COMPLY WITH LINE-OF-SIGHT TRIANGLE
41. LIGHT BOLLARD, RE: C4 / SHEET 03
42. SERVICE YARD
43. SHOPPING CART CORRALS
44. PEDESTRIAN WALKWAY (WITHOUT BORDER), REFER DETAIL B4 / SHEET 4
45. NOT USED - 2/1/12
46. 12" HIGH SCREEN WALL, CONSTRUCTION & COLOR TO MATCH BUILDING
47. PROPOSED STOP SIGN
48. ACCESSIBLE SIDEWALK, RE: A5 / SHEET 4
49. TARGET VAN DELIVERY SIGNAGE AT EACH 10'-0"x20'-0" SPACE
50. P.U.E. LOCATIONS, RE: SHEETS 12 & 13
51. PEDESTRIAN WALKWAY, SEE DETAIL B4 / SHEET 4
52. 2" COLORED CONCRETE ROLLED CURB
53. FUTURE PEDESTRIAN CROSSWALK
54. ENHANCED PEDESTRIAN CROSSWALK WITH BRICK PATTERN

FORMER PROJECT NUMBER: 1007316

PROJECT NUMBER: 1007316

APPLICATION NUMBER:

Is an Infrastructure List Required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

SITE DEVELOPMENT PLAN APPROVAL:

<i>MSZS</i>	11-16-11
TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
<i>Alfon Pater</i>	11/16/11
ABCWUA	DATE
<i>Carol S. Durnest</i>	11/16/11
PARKS AND RECREATION DEPARTMENT	DATE
<i>Chris a. Chen</i>	3-27-12
CITY ENGINEER	DATE
<i>Joe White</i>	11/10/11
SOLID WASTE MANAGEMENT	DATE
<i>John Ch...</i>	3-27-12
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

SITE DATA

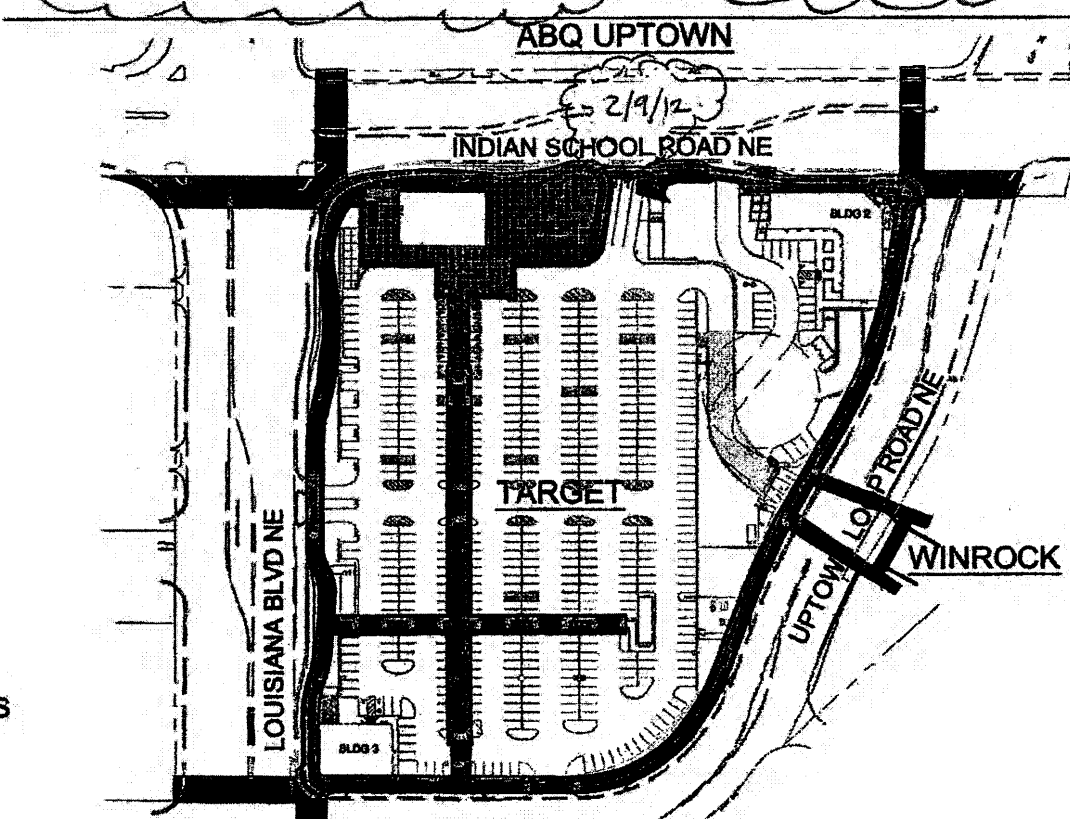
LEGAL DESCRIPTION: TRACT A, HUNT - SPECTRUM DEVELOPMENT SITE ZONE: SU-3

BUILDING 1 AREA:	155,629 SF
BUILDING 2 AREA - RETAIL:	6,200 SF
BUILDING 2 AREA - HOUSING:	21,800 SF (3 FLOORS @ 7,200 SF, 18 DU)
BUILDING 3 AREA:	4,740 SF
TOTAL BUILDING AREA:	188,169 SF
SITE AREA:	320,480 SF (7.36 ACRES)
F.A.R. (188,169 SF / 320,480 SF):	0.59

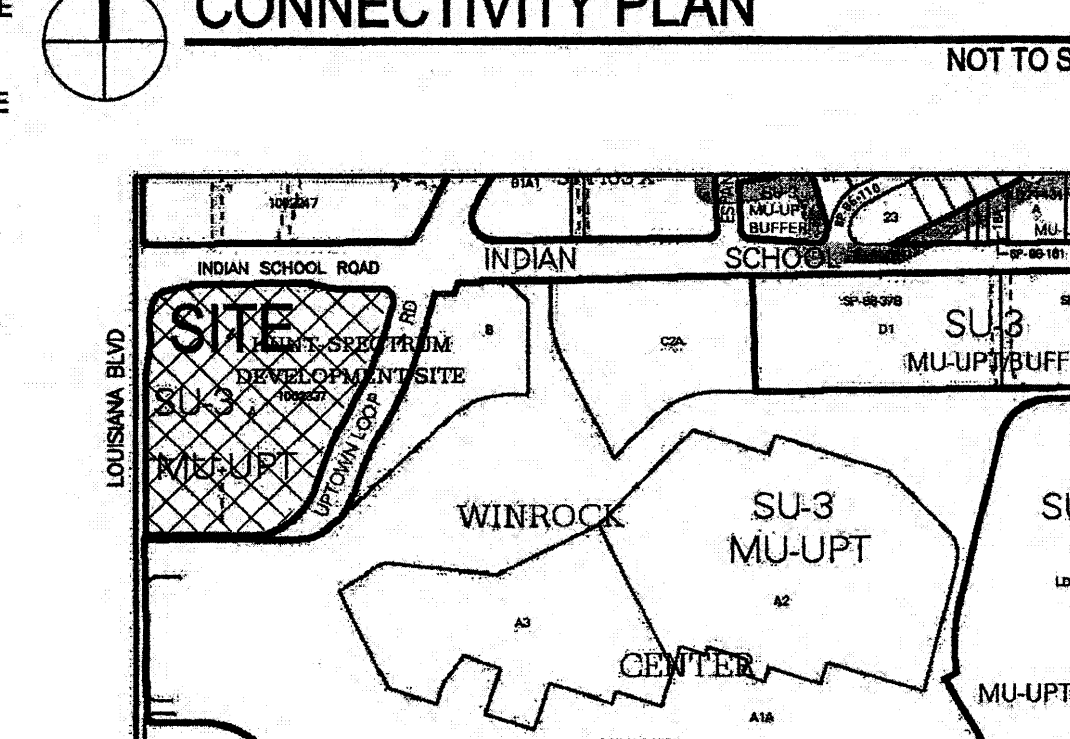
PARKING

BUILDING 1:		REQUIRED:
USE:	RATIO:	155,629 SF / 500 = 312 SPACES
RETAIL:	2/1000	
PARKING PROVIDED:		451 SPACES
ACCESSIBLE REQ'D / PROVIDED:		12 SPACES / 12 SPACES
BUILDING 2:		REQUIRED:
USE:	RATIO:	6,200 SF / 500 = 13 SPACES
RETAIL:	2/1000	
HOUSING:	1.5/DU	1.5 X 18 DU = 27 SPACES
PARKING PROVIDED:		41 SPACES (11 SURFACE, 30 BELOW)
ACCESSIBLE REQ'D / PROVIDED:		2 SPACES / 2 SPACES
BUILDING 3:		REQUIRED:
USE:	RATIO:	4,740 SF / 500 = 10 SPACES
RETAIL:	2/1000	
PARKING PROVIDED:		22 SPACES
ACCESSIBLE REQ'D / PROVIDED:		2 SPACES / 2 SPACES
TOTAL:		
PARKING REQUIRED:		362 SPACES
PARKING PROVIDED:		538 SPACES (36 - COMPACT)
ACCESSIBLE REQ'D / PROVIDED:		16 SPACES / 16 SPACES
MOTORCYCLE PARKING:		
REQUIRED:		501-750 PARKING SPACES = 7 SPACES
PROVIDED:		10 SPACES
BICYCLE PARKING:		
REQUIRED:		1:20 AUTOMOBILE, (538 / 20) = 27 SPACES
PROVIDED:		30 SPACES

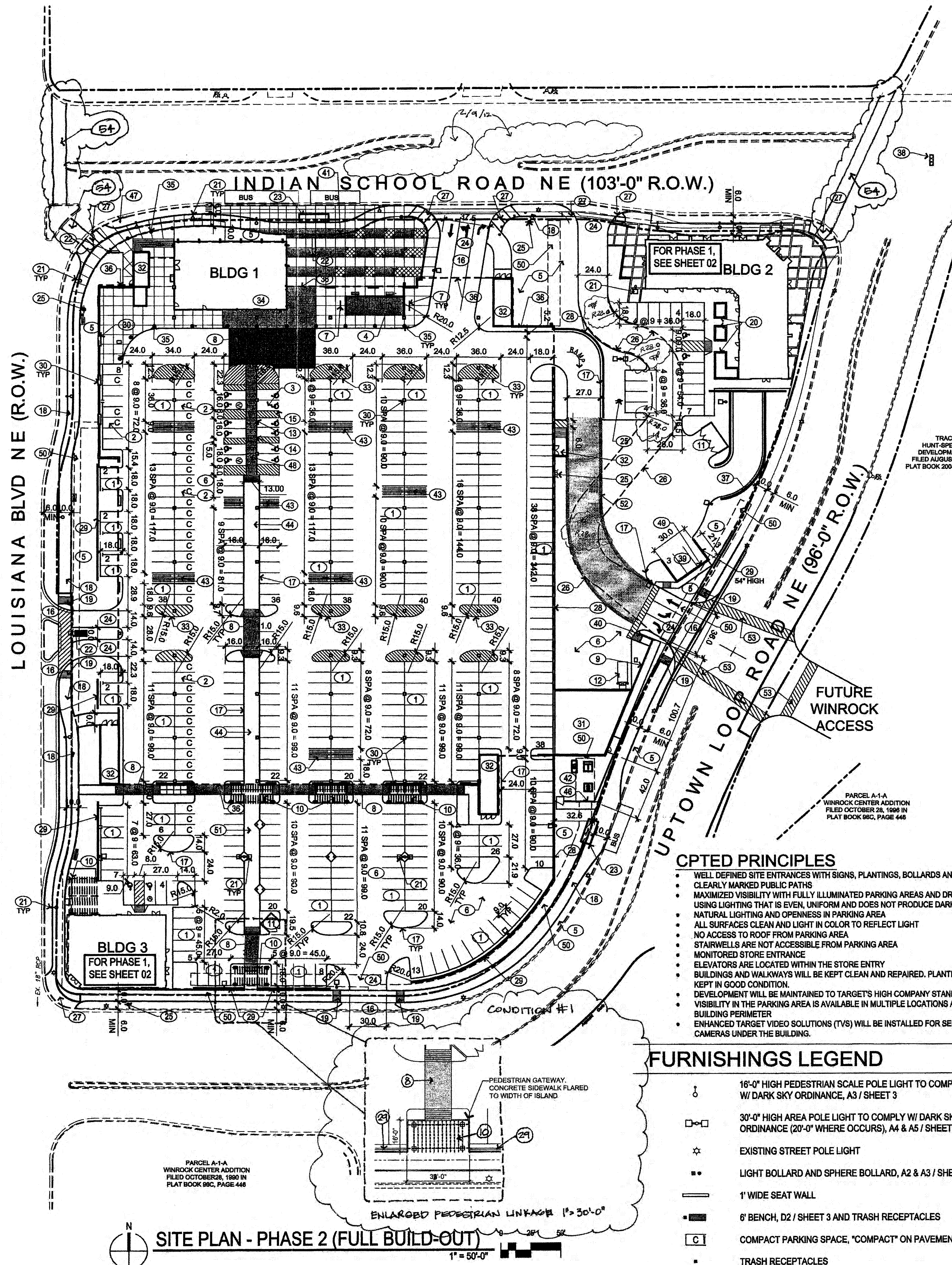
DELIVERY NOTE
TRUCK DELIVERY TIMES WILL OCCUR BETWEEN 4 AM AND 12 AM. EFFORTS WILL BE MADE TO COORDINATE DELIVERIES WITH OFF-PEAK CUSTOMER TRAFFIC



CONNECTIVITY PLAN
NOT TO SCALE



VICINITY MAP
Zone Atlas Map J-19-Z
1" = 500'-0"



OPTED PRINCIPLES

- WELL DEFINED SITE ENTRANCES WITH SIGNS, PLANTINGS, BOLLARDS AND LIGHTS
- CLEARLY MARKED PUBLIC PATHS
- MAXIMIZED VISIBILITY WITH FULLY ILLUMINATED PARKING AREAS AND DRIVING LANES USING LIGHTING THAT IS EVEN, UNIFORM AND DOES NOT PRODUCE DARK AREAS.
- NATURAL LIGHTING AND OPENNESS IN PARKING AREA
- ALL SURFACES CLEAN AND LIGHT IN COLOR TO REFLECT LIGHT
- NO ACCESS TO ROOF FROM PARKING AREA
- STAIRWELLS ARE NOT ACCESSIBLE FROM PARKING AREA
- MONITORED STORE ENTRANCE
- ELEVATORS ARE LOCATED WITHIN THE STORE ENTRY
- BUILDINGS AND WALKWAYS WILL BE KEPT CLEAN AND REPAIRED. PLANTINGS WILL BE KEPT IN GOOD CONDITION.
- DEVELOPMENT WILL BE MAINTAINED TO TARGET'S HIGH COMPANY STANDARDS.
- VISIBILITY IN THE PARKING AREA IS AVAILABLE IN MULTIPLE LOCATIONS AROUND THE BUILDING PERIMETER
- ENHANCED TARGET VIDEO SOLUTIONS (TVS) WILL BE INSTALLED FOR SECURITY CAMERAS UNDER THE BUILDING.

FURNISHINGS LEGEND

- 16'-0" HIGH PEDESTRIAN SCALE POLE LIGHT TO COMPLY W/ DARK SKY ORDINANCE, A3 / SHEET 3
- 30'-0" HIGH AREA POLE LIGHT TO COMPLY W/ DARK SKY ORDINANCE (20'-0" WHERE OCCURS), A4 & A5 / SHEET 3
- ☆ EXISTING STREET POLE LIGHT
- LIGHT BOLLARD AND SPHERE BOLLARD, A2 & A3 / SHEET 3
- 1' WIDE SEAT WALL
- 6" BENCH, D2 / SHEET 3 AND TRASH RECEPTACLES
- COMPACT PARKING SPACE, "COMPACT" ON PAVEMENT
- TRASH RECEPTACLES

TRACT 1-D-1A-1
PARK SQUARE ADDITION
FILED MARCH 21, 1990 IN
PLAT BOOK 90C, PAGE 82

TRACT 1-E-1A-1
PARK SQUARE ADDITION
FILED AUGUST 8, 1990 IN
PLAT BOOK 90C, PAGE 180

TRACT 1-F
PARK SQUARE ADDITION
FILED AUGUST 8, 1990 IN
PLAT BOOK 90C, PAGE 180

TRACT B
HUNT-SPECTRUM
DEVELOPMENT SITE
FILED AUGUST 2, 2004 IN
PLAT BOOK 2004C, PAGE 228

PARCEL A-1-A
WINROCK CENTER ADDITION
FILED OCTOBER 28, 1998 IN
PLAT BOOK 96C, PAGE 448

PARCEL A-1-A
WINROCK CENTER ADDITION
FILED OCTOBER 28, 1998 IN
PLAT BOOK 96C, PAGE 448

SITE PLAN - PHASE 2 (FULL BUILD-OUT)
1" = 50'-0"

GENERAL NOTES

- A. APPLICABLE PLANS: UPTOWN SECTOR DEVELOPMENT PLAN (2009); SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (APPLICATION 11DRB-70284)
- B. PROPOSED USES: MIXED USE INCLUDING RETAIL, RESTAURANT AND HOUSING
- C. REFER TO CIVIL DRAWING, SHEET 2 FOR CONCEPTUAL UTILITY PLAN

KEYED NOTES

- 1. EXISTING PROPERTY LINE
- 2. PROPOSED PROPERTY LINE

SITE DATA

LEGAL DESCRIPTION: TRACK A, HUNT - SPECTRUM DEVELOPMENT SITE	ZONE: SU-3 FOR MU-UPT
BUILDING 1 AREA:	155,629 SF
BUILDING 2 AREA - RETAIL:	6,200 SF
BUILDING 2 AREA - HOUSING:	21,600 SF (3 FLOORS @ 7,200 SF, 18 DU)
BUILDING 3 AREA:	4,740 SF
TOTAL:	
BUILDING AREA:	188,169 SF
SITE AREA:	320,480 SF (7.36 ACRES)
F.A.R. (188,169 SF / 320,480 SF):	0.59

SITE PLAN LEGEND

- PEDESTRIAN INGRESS / EGRESS
- VEHICULAR INGRESS / EGRESS
- PROPERTY LINE EXISTING AS NOTED
- PROPERTY LINE PROPOSED AS NOTED

DESIGN STANDARDS

FUTURE SITE DEVELOPMENT PLANS FOR BUILDING PERMIT SHALL ADHERE TO DESIGN STANDARDS AS DESCRIBED WITHIN THE UPTOWN SECTOR DEVELOPMENT PLAN:

STREET REALM / LANDSCAPING:	
OPEN SPACE	Chapter V Section D (pgs 60 - 62)
PLAZAS	Chapter V Section E (pgs 63 - 64)
REGULATIONS	Chapter V Section F - I (pgs 64 - 72) Chapter V Section K (pgs 76 - 77)
BUILDING DESIGN:	
HEIGHT / SETBACK	Chapter IV Sections G & H (pg 54 & 55)
REGULATIONS	Chapter V Section A - C (pgs 57 - 59)
SIGNAGE:	
REGULATIONS	Chapter V Section L (pgs 78 - 85)
SITE DESIGN:	
PARKING	Chapter V Section J (pgs 73 - 76)
REGULATIONS	Chapter V (pg 57) Green Features Chapter V Section B (pg 59) Screening Chapter V Section C (pg 59) Walls Chapter V Section D (pgs 60 - 62) Amenities Chapter V Section E (pgs 63 - 64) Amenities, Lighting Chapter V Section F (pgs 64 - 66) Green Features Chapter V Section G (pgs 66 - 70) Buffering, Green Features Chapter V Section H (pgs 70 - 71) Connectivity, Lighting, Amenities Chapter V Section I (pgs 71 - 72) Buffering Chapter V Section J (pgs 73 - 76) Green Features

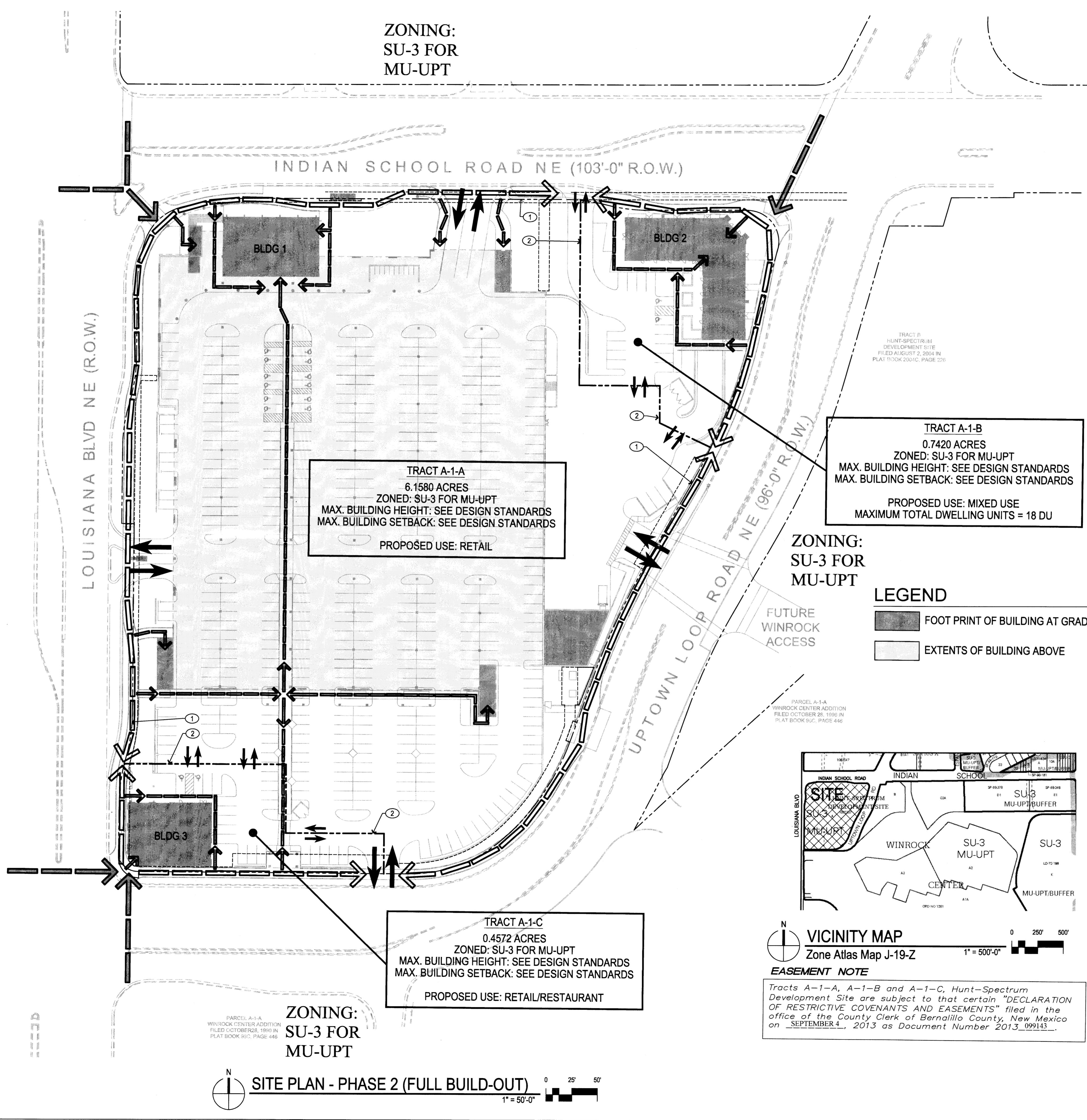
FORMER PROJECT NUMBER: 1007316

PROJECT NUMBER: 1007316

APPLICATION NUMBER:
Is an Infrastructure List Required? () Yes () No. If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
ABCWUA	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE



ZONING:
SU-3 FOR
MU-UPT

INDIAN SCHOOL ROAD NE (103'-0" R.O.W.)

LOUISIANA BLVD NE (R.O.W.)

UPTOWN LOOP ROAD NE (96'-0" R.O.W.)

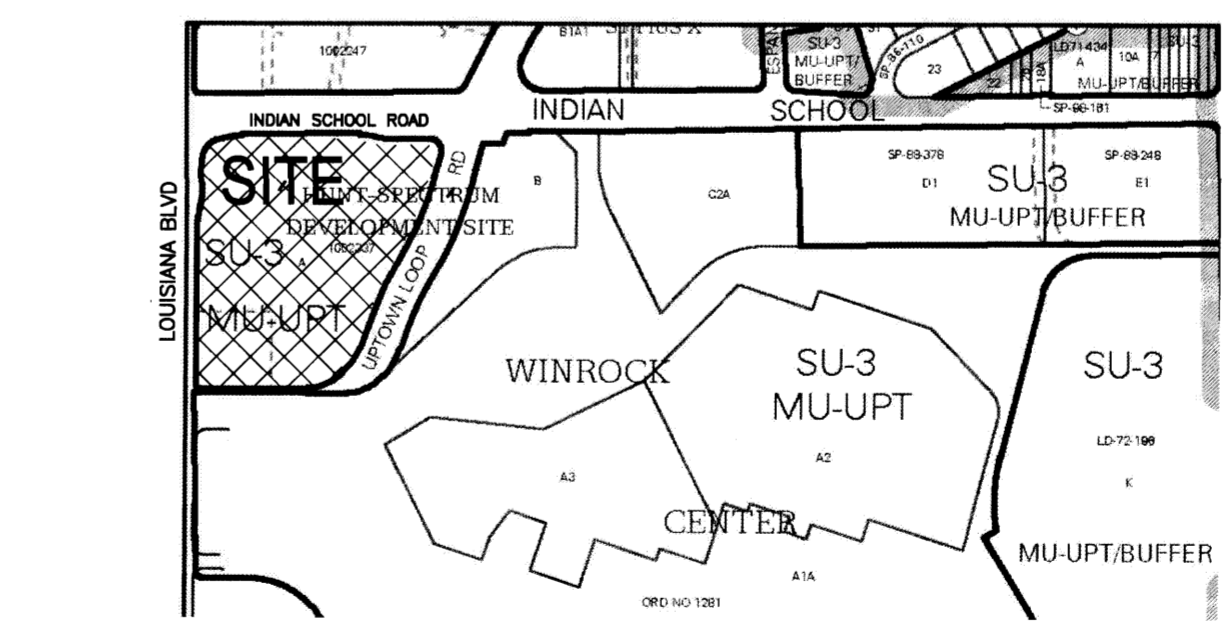
TRACT A-1-A
6.1580 ACRES
ZONED: SU-3 FOR MU-UPT
MAX. BUILDING HEIGHT: SEE DESIGN STANDARDS
MAX. BUILDING SETBACK: SEE DESIGN STANDARDS
PROPOSED USE: RETAIL

TRACT A-1-B
0.7420 ACRES
ZONED: SU-3 FOR MU-UPT
MAX. BUILDING HEIGHT: SEE DESIGN STANDARDS
MAX. BUILDING SETBACK: SEE DESIGN STANDARDS
PROPOSED USE: MIXED USE
MAXIMUM TOTAL DWELLING UNITS = 18 DU

ZONING:
SU-3 FOR
MU-UPT

LEGEND

- FOOT PRINT OF BUILDING AT GRADE
- EXTENTS OF BUILDING ABOVE



VICINITY MAP
Zone Atlas Map J-19-Z
1" = 500'-0"

EASEMENT NOTE
Tracts A-1-A, A-1-B and A-1-C, Hunt-Spectrum Development Site are subject to that certain "DECLARATION OF RESTRICTIVE COVENANTS AND EASEMENTS" filed in the office of the County Clerk of Bernalillo County, New Mexico on SEPTEMBER 4, 2013 as Document Number 2013_099143.

TRACT A-1-C
0.4572 ACRES
ZONED: SU-3 FOR MU-UPT
MAX. BUILDING HEIGHT: SEE DESIGN STANDARDS
MAX. BUILDING SETBACK: SEE DESIGN STANDARDS
PROPOSED USE: RETAIL/RESTAURANT

ZONING:
SU-3 FOR
MU-UPT

SITE PLAN - PHASE 2 (FULL BUILD-OUT)
1" = 50'-0"

ZONING:
SU-3 FOR
MU-UPT

TRACT 1-1D-1A-1
PARK SQUARE ADDITION
FILED MARCH 21, 1990 IN
PLAT BOOK 90C, PAGE 92

TRACT 1-E-1A-1
PARK SQUARE ADDITION
FILED AUGUST 6, 1990 IN
PLAT BOOK 90C, PAGE 160

TRACT 1-H-1A

TRACT 1-F
PARK SQUARE ADDITION
FILED AUGUST 6, 1990 IN
PLAT BOOK 90C, PAGE 160

PARCEL A-1-A
WINROCK CENTER ADDITION
FILED OCTOBER 28, 1995 IN
PLAT BOOK 90C, PAGE 446

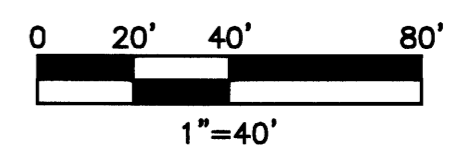
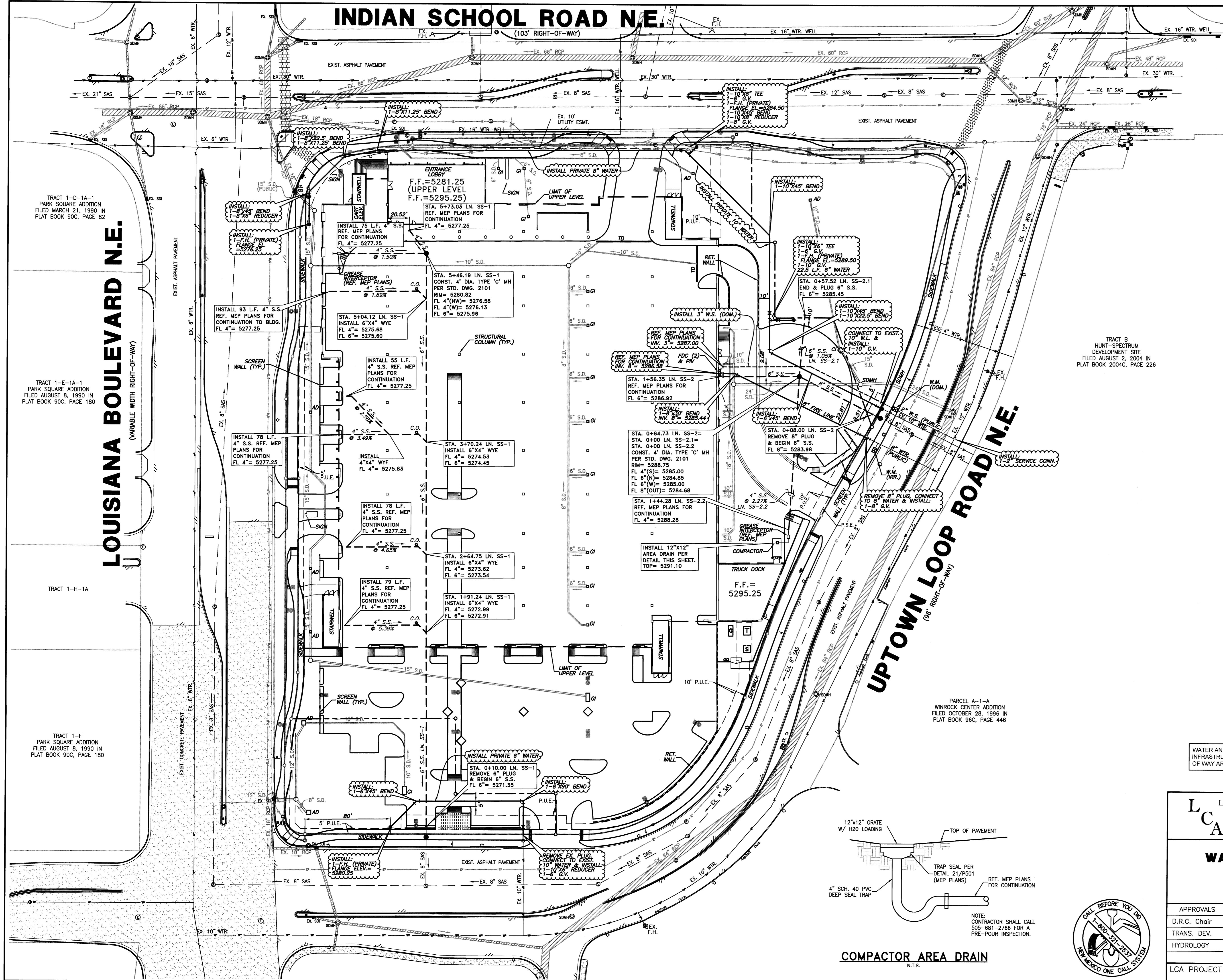
TRACT B
HUNT-SPECTRUM
DEVELOPMENT SITE
FILED AUGUST 2, 2004 IN
PLAT BOOK 2004C, PAGE 236

PARCEL A-1-A
WINROCK CENTER ADDITION
FILED OCTOBER 28, 1995 IN
PLAT BOOK 90C, PAGE 446

INDIAN SCHOOL ROAD N.E.

LOUISIANA BOULEVARD N.E.

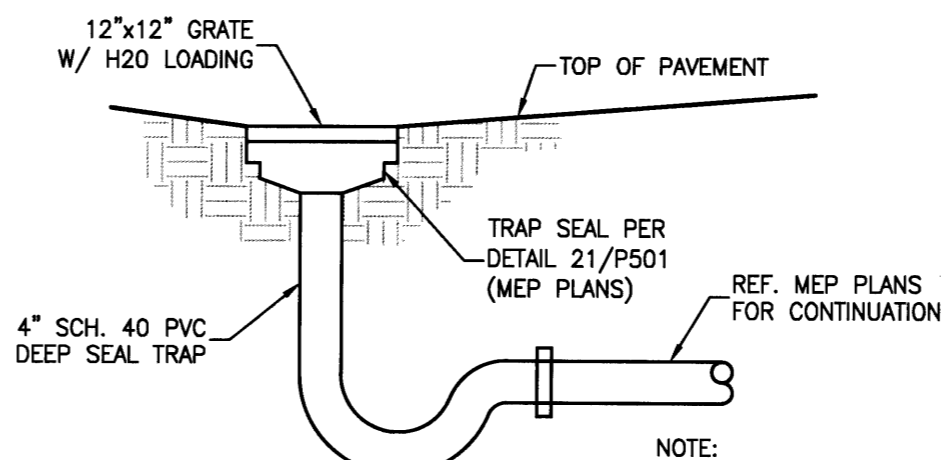
UPTOWN LOOP ROAD N.E.



TRACT B
HUNT-SPECTRUM
DEVELOPMENT SITE
FILED AUGUST 2, 2004 IN
PLAT BOOK 2004C, PAGE 226

PARCEL A-1-A
WINROCK CENTER ADDITION
FILED OCTOBER 28, 1996 IN
PLAT BOOK 96C, PAGE 446

WATER AND SANITARY SEWER
INFRASTRUCTURE WITHIN THE PUBLIC RIGHT
OF WAY ARE PUBLIC (ABCWUA) FACILITIES.



COMPACTOR AREA DRAIN
N.T.S.

NOTE:
CONTRACTOR SHALL CALL
505-681-2766 FOR A
PRE-POUR INSPECTION.



AS BUILT INFORMATION		BENCHMARKS		SURVEY INFORMATION		ENGINEERS SEAL	
CONTRACTOR	ALBUQUERQUE CONTROL SURVEY BENCHMARK "20-H18"	DATE		NO.		NO.	
DATE	NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE-NAD 83)	BY		BY		BY	
INSPECTOR'S DATE	LOCATED IN THE MEDIAN OF LOUISIANA BOULEVARD ON THE SOUTH	NO.		NO.		NO.	
DATE	SIDE OF ITS INTERSECTION WITH UPTOWN BOULEVARD N.E.	REVISIONS		REVISIONS		REVISIONS	
DATE	APPROXIMATELY 625 FEET NORTH OF THE CENTERLINE OF INDIAN	DATE	12.09.11	DATE	12.09.11	DATE	12.09.11
DATE	SCHOOL ROAD N.E.	DESIGNED BY	LCA	DRAWN BY	LCA	CHECKED BY	LCA
DATE		DATE	12.09.11	DATE	12.09.11	DATE	12.09.11
DATE		DATE		DATE		DATE	
DATE		DATE		DATE		DATE	

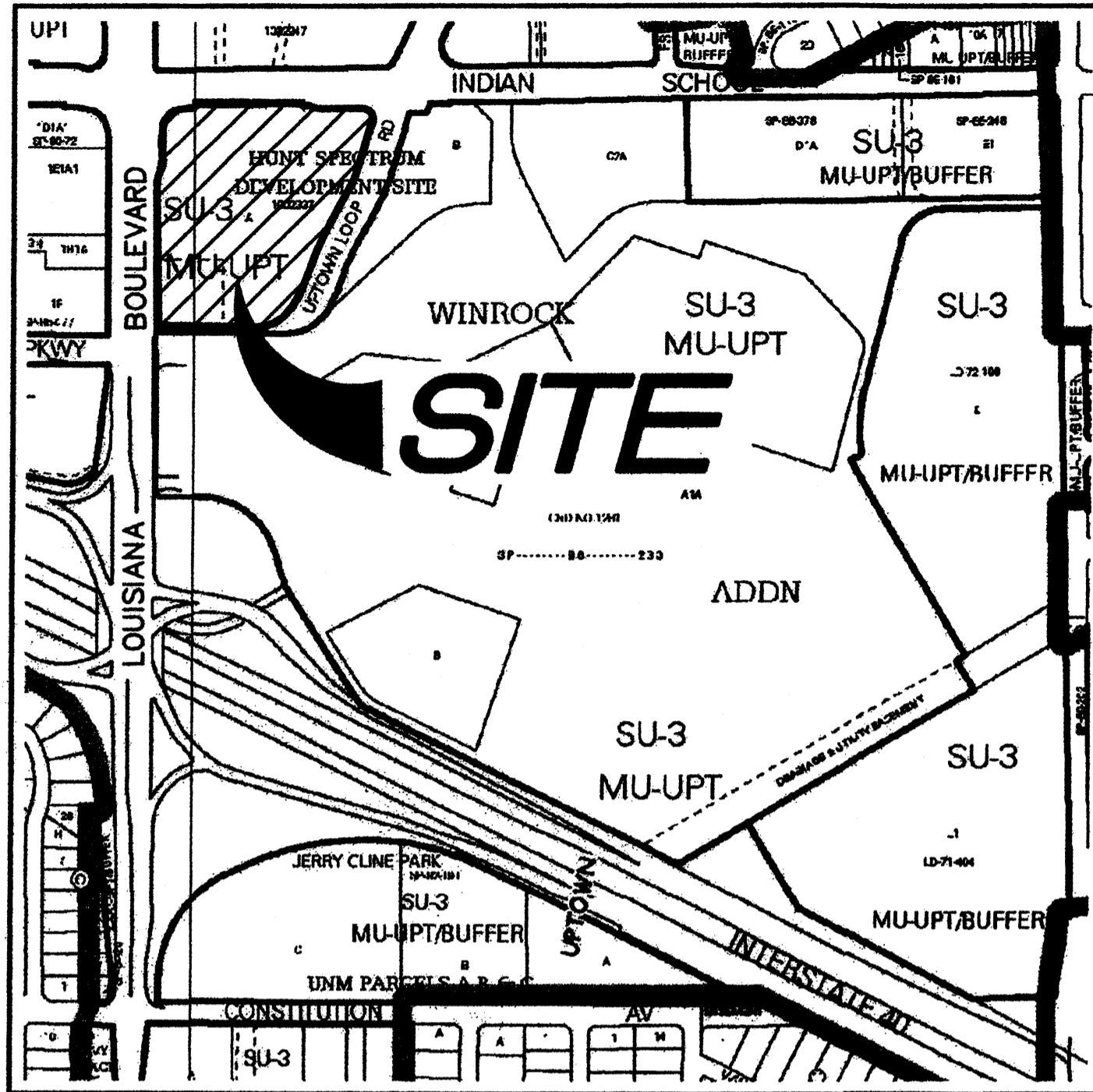
LCA Lawrence A. Cates & Associates, LLP
Consulting Engineers
14800 Quorum Drive, Suite 200
Dallas, Texas 75254
Office: 972-385-2272 Fax: 972-980-1627

WATER & SANITARY SEWER PLAN

TARGET ALBUQUERQUE UPTOWN (T-2813)
TRACT A-1, HUNT-SPECTRUM
THE CITY OF ALBUQUERQUE, NEW MEXICO

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
D.R.C. Chair			WATER		
TRANS. DEV.			WASTE WATER		
HYDROLOGY			TRAF. OPER.		

LCA PROJECT NO.	001-002	MAP NO.	J-19-Z	SHEET	C10.1
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VICINITY MAP
Not To Scale

GENERAL NOTES

- Bearings are grid and based on the New Mexico State Plane Coordinate System, Central Zone (NAD83).
- Distances are ground.
- Distances along curved lines are arc lengths.
- Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ().
- All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- City of Albuquerque Zone Atlas Page J-19.

SUBDIVISION DATA

- Total number of existing Tracts: 1
- Total number of Tracts created: 3
- Gross Subdivision acreage: 7.3573 acres.

SECTION 14-14-4-7 PROHIBITION ON PRIVATE RESTRICTIONS ON THE INSTALLATION OF SOLAR COLLECTORS

"No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat."

TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following: 101905802949820814
Yann Pala 9/10/14
 Bernalillo County Treasurer Date

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- Qwest d/b/a CenturyLink QC for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

DISCLAIMER

In approving this plat, Public Service Company of New Mexico (PNM), Qwest Corporation d/b/a Centurylink QC and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM, Centurylink and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

PURPOSE OF PLAT

The purpose of this plat is to:

- Create 3 new tracts from existing Tract A-1.
- Grant the public and private easements as shown hereon.

PLAT OF
TRACTS A-1-A, A-1-B AND A-1-C
HUNT-SPECTRUM DEVELOPMENT SITE

(BEING A REPLAT OF TRACT A-1, HUNT-SPECTRUM DEVELOPMENT SITE)

SITUATE WITHIN
SECTION 18, TOWNSHIP 10 NORTH, RANGE 4 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

JULY, 2013

PROJECT NUMBER: 1007316

Application Number: 13 PRB-70675

PLAT APPROVAL

UTILITY APPROVALS

Fernando Vigil 8-5-13
 Public Service Company of New Mexico Date
[Signature] 8/13/2013
 New Mexico Gas Company Date
[Signature] 8/8/13
 Qwest Corporation d/b/a CenturyLink QC Date
[Signature] 8/5/13
 Comcast Date

CITY APPROVALS

Luiz P. Acosta 7-31-13
 City Surveyor
 Department of Municipal Development Date
[Signature] 11-22-13
 Real Property Division Date
[Signature] 11-22-13
 Environmental Health Department Date
[Signature] 10/23/13
 Traffic Engineering, Transportation Division Date
Allen Peter 10/23/13
 ABCWUA Date
Carl S. Dumont 10-25-13
 Parks and Recreation Department Date
Carla A. Chua 10-23-13
 AMAFCA Date
Carla A. Chua 10-23-13
 City Engineer Date
[Signature] 11-22-13
 DRB Chairperson, Planning Department Date

SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.



Russ P. Hugg
 NMPS No. 9750
 July 3, 2013

DOCH 2014071469
 09/10/2014 10:42 AM Page: 1 of 4
 CityPLAT R \$25.00 B: 2014C P: 0100 M: Toulous Olivere, Bernalillo Cour

SHEET 1 OF 4

SURVOTEK, INC.

Consulting Surveyors Phone: 505-897-9396
 9384 Valley View Drive, N.E. Albuquerque, New Mexico 87114 Fax: 505-897-3377

PLAT OF
TRACTS A-1-A, A-1-B AND A-1-C
HUNT-SPECTRUM DEVELOPMENT SITE
(BEING A REPLAT OF TRACT A-1, HUNT-SPECTRUM DEVELOPMENT SITE)

SITUATE WITHIN
SECTION 18, TOWNSHIP 10 NORTH, RANGE 4 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

JULY, 2013

LEGAL DESCRIPTION

All of Tract lettered "A-1" of the HUNT-SPECTRUM DEVELOPMENT SITE, City of Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the plat entitled "PLAT OF TRACT A-1, HUNT-SPECTRUM DEVELOPMENT SITE (A REPLAT OF TRACT A, HUNT-SPECTRUM DEVELOPMENT SITE) SITUATE WITHIN SECTION 18, TOWNSHIP 10 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico, on January 3, 2012, in Plat Book 2012C, Page 001.

Said Tract contains 7.3573 acres, more or less.

FREE CONSENT AND DEDICATION

SURVEYED AND REPLATTED and now comprising "PLAT OF TRACTS A-1-A, A-1-B AND A-1-C, HUNT-SPECTRUM DEVELOPMENT SITE (BEING A REPLAT OF TRACT A-1, HUNT-SPECTRUM DEVELOPMENT SITE) SITUATE WITHIN SECTION 18, TOWNSHIP 10 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", is with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s). Said owner(s) and proprietor(s) do hereby grant the public and private easements as shown hereon. Said owner(s) and proprietor(s) do hereby warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby certify that they are so authorized to act.

OWNER(S)


Target Corporation, a Minnesota Corporation

By:  **James L. Tucker**
Director Real Estate
Target Corporation

ACKNOWLEDGMENT

STATE OF MINNESOTA SS
COUNTY OF Hennepin

The foregoing instrument was acknowledged before me this 18th
day of November, 2013, by James L. Tucker
Director of Real Estate for Target Corporation

 My commission expires 1/31/16
Notary Public



LINE TABLE		
LINE	LENGTH	BEARING
L1	50.98	N00°01'27"W
L2	5.00	N89°31'35"E
L3	74.29	N00°01'27"W
L4	64.22	N00°16'16"W
L6	99.36	N89°30'47"E
L7	96.76	S15°31'05"W
L8	85.00	S29°12'40"W
L9	63.18	S19°10'58"W
L10	12.00	S89°46'51"W
L11	53.96	S89°44'27"W
L12	70.38	N00°15'33"W
L13	38.36	S00°16'16"E
L14	21.93	S89°44'27"W
L15	22.89	S26°10'25"E
L16	13.41	S89°59'52"E
L17	7.81	S14°41'02"E
L18	13.37	S89°59'04"W
L19	7.81	N00°16'16"W
L20	82.00	N89°43'44"E
L21	53.43	S00°16'16"E
L22	117.00	N89°43'44"E
L23	50.50	S00°16'16"E
L24	106.03	S89°43'44"W
L25	53.43	N00°16'16"W
L26	43.00	S89°43'44"W
L27	13.86	N00°16'16"W
L28	10.14	N00°16'16"W
L29	6.28	N00°00'56"W
L30	56.91	S00°16'19"E
L31	32.01	N89°43'41"E
L32	75.00	S00°16'19"E
L33	3.87	N89°44'27"E
L34	74.14	S19°48'55"E
L35	36.60	S61°03'36"E
L36	29.77	S29°12'40"W
L37	43.30	N61°03'36"W
L38	111.12	N00°16'19"W
L39	57.07	N00°16'19"W

CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	36.40'	138.90'	18.31'	36.30'	S83°00'08"E	15°01'00"
C2	37.59'	161.10'	18.88'	37.50'	S82°10'33"E	13°22'02"
C3	55.50'	30.00'	39.82'	47.92'	S37°29'04"E	106°00'21"
C4	143.87'	602.00'	72.28'	143.53'	S22°21'53"W	13°41'35"
C5	121.82'	698.00'	61.07'	121.67'	S24°12'40"W	10°00'00"
C6	113.73'	226.98'	58.08'	112.54'	S33°30'11"W	28°42'27"
C7	99.26'	135.00'	51.99'	97.04'	S68°55'14"W	42°07'39"
C9	40.36'	139.33'	20.32'	40.22'	N08°09'55"E	16°35'51"
C10	47.41'	160.67'	23.88'	47.24'	N08°06'34"E	16°54'26"
C11	46.67'	139.33'	23.55'	46.45'	N09°09'47"E	19°11'27"
C12	47.64'	49.33'	25.86'	45.81'	N46°34'41"E	55°19'58"
C13	65.04'	239.33'	32.72'	64.84'	N81°54'05"E	15°34'14"
C14	25.14'	20.00'	14.54'	23.52'	N55°44'57"W	72°01'55"
C15	43.96'	160.00'	22.12'	43.82'	N07°50'46"E	15°44'26"
C16	43.96'	160.00'	22.12'	43.82'	N07°50'46"E	15°44'26"
C17	13.02'	138.90'	6.51'	13.01'	N87°49'33"W	5°22'10"
C18	23.39'	138.90'	11.72'	23.36'	N80°19'03"W	9°38'50"
C19	10.61'	602.00'	5.31'	10.61'	N28°42'22"E	1°00'37"
C20	133.26'	602.00'	66.90'	132.99'	N21°51'35"E	12°40'59"
C21	38.92'	160.00'	19.56'	38.83'	S06°56'41"W	13°56'15"
C22	30.00'	117.19'	15.08'	29.92'	N82°39'01"E	14°40'06"
C23	23.56'	15.00'	15.00'	21.21'	S45°16'16"E	90°00'00"
C24	31.51'	20.00'	20.09'	28.35'	N45°08'36"W	90°15'20"
C25	23.56'	15.00'	15.00'	21.21'	N45°16'16"W	90°00'00"
C26	43.98'	28.00'	28.00'	39.60'	S45°16'19"E	90°00'00"
C27	14.01'	15.00'	7.56'	13.51'	S40°44'45"W	53°31'25"
C28	62.83'	60.00'	34.64'	60.00'	N43°58'58"E	59°59'51"
C29	23.57'	10.00'	24.17'	18.48'	S06°27'40"W	135°02'27"
C30	91.86'	40.00'	88.95'	72.96'	S04°43'38"W	131°34'28"
C31	24.71'	20.00'	14.21'	23.17'	N35°07'17"E	70°47'11"
C32	26.50'	20.00'	15.61'	24.61'	N38°14'11"W	75°55'43"
C33	71.56'	54.00'	42.14'	66.44'	S38°14'11"E	75°55'43"
C34	115.60'	698.00'	57.93'	115.46'	S23°57'20"W	9°29'19"



DOCH 2014071469
09/10/2014 10:42 AM Page: 2 of 4
PLAT R: 25.08 S: 2014C P: 0100 M. Toulouse Oliveira, Bernalillo Cour

SHEET 2 OF 4

SURV TEK, INC.
Consulting Surveyors
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114 Phone: 505-897-3986 Fax: 505-897-3377

Albuquerque Control Survey Monument "20-H18"
 New Mexico State Plane Coordinates (Central Zone -
 NAD 83), as published
 North = 1,493,154.979 feet
 East = 1,545,048.210 feet
 Elevation = 5283.222 feet (NAVD 1988)
 Delta Alpha = -00'11".00.11"
 Ground to Grid Factor = 0.999661580

EASEMENT NOTE
 Tracts A-1-A, A-1-B and A-1-C, Hunt-Spectrum
 Development Site are subject to that certain "DECLARATION
 OF RESTRICTIVE COVENANTS AND EASEMENTS" filed in the
 office of the County Clerk of Bernalillo County, New Mexico
 on 09/24/2013 as Document Number 201307143

TRACT 1-D-1A-1
 PARK SQUARE
 ADDITION
 Filed March 21, 1990 in
 Plat Book 90C, Page 82

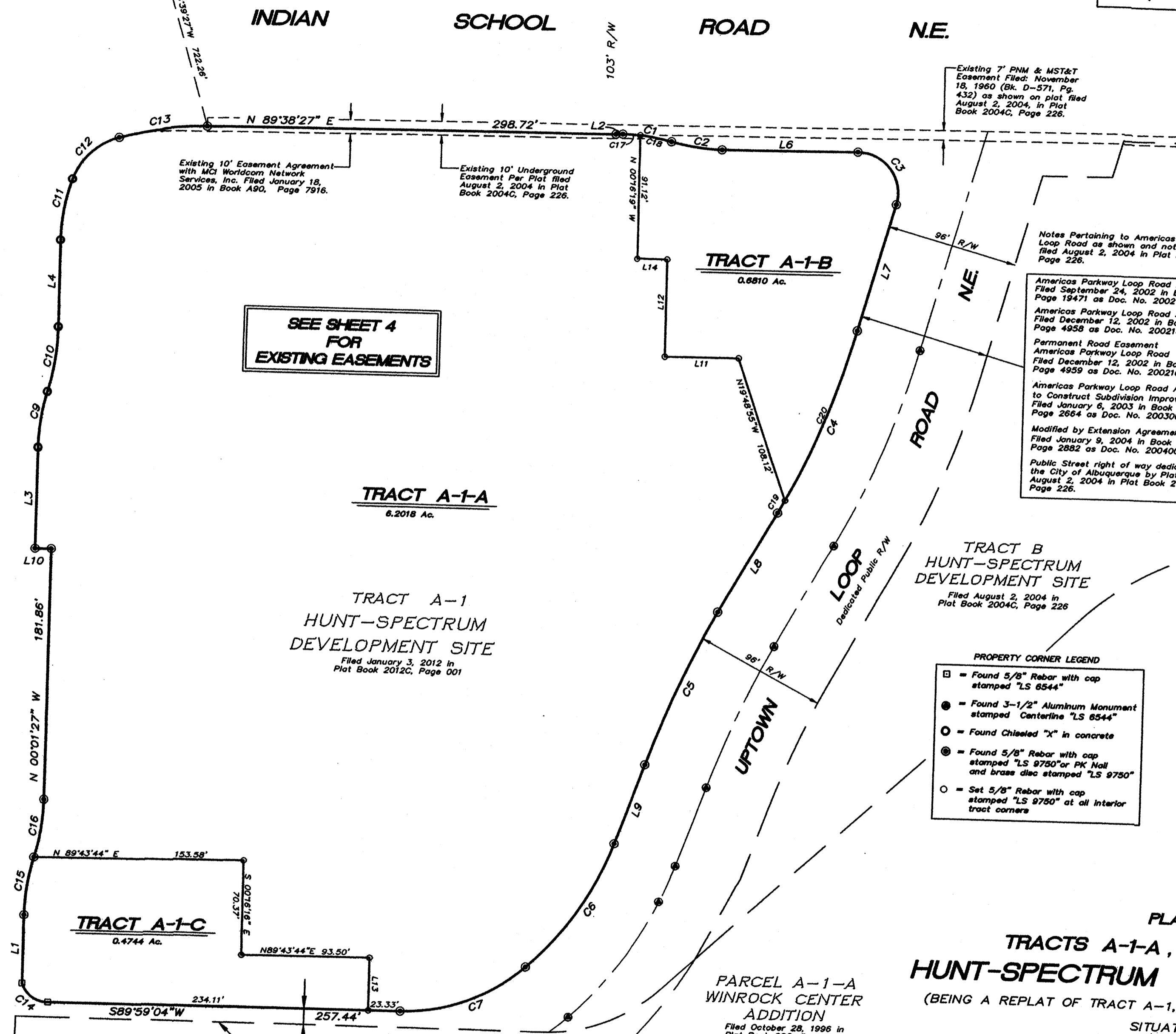
TRACT 1-E-1A-1
 PARK SQUARE
 ADDITION
 Filed August 8, 1990 in
 Plat Book 90C, Page 180

TRACT 1-H-1A
 PARK SQUARE
 ADDITION
 Filed August 8, 1990 in
 Plat Book 90C, Page 180

TRACT 1-F
 PARK SQUARE
 ADDITION
 Filed August 8, 1990 in
 Plat Book 90C, Page 180

AMERICAS
 PARKWAY NE

NE.
 BOULEVARD
 LOUISIANA
 Variable Width R/W



SEE SHEET 4
 FOR
 EXISTING EASEMENTS

Existing 7' PNM & MST&T
 Easement Filed November
 18, 1960 (Bk. D-571, Pg.
 432) as shown on plat filed
 August 2, 2004, in Plat
 Book 2004C, Page 226.

Notes Pertaining to Americas Parkway
 Loop Road as shown and noted on plat
 filed August 2, 2004 in Plat Book 2004C,
 Page 226.

Americas Parkway Loop Road Agreement
 Filed September 24, 2002 in Book A42,
 Page 19471 as Doc. No. 200212292.

Americas Parkway Loop Road Agreement
 Filed December 12, 2002 in Book A46,
 Page 4958 as Doc. No. 2002165390.

Permanent Road Easement
 Americas Parkway Loop Road
 Filed December 12, 2002 in Book A46,
 Page 4959 as Doc. No. 2002165391.

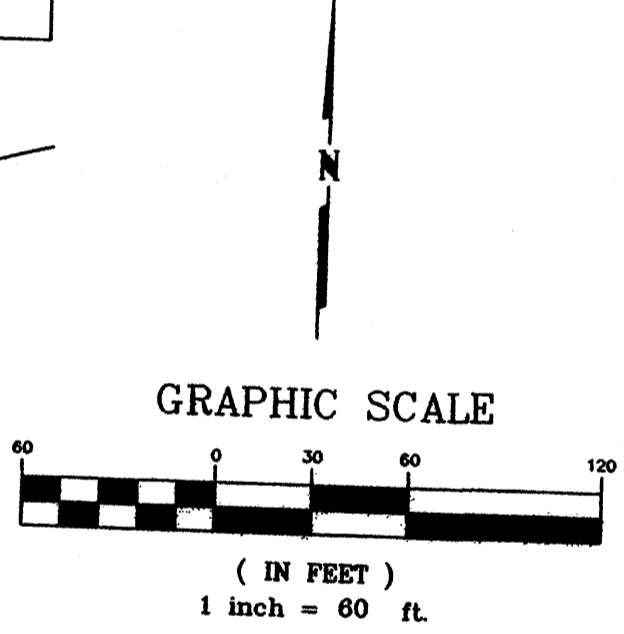
Americas Parkway Loop Road Agreement
 to Construct Subdivision Improvements
 Filed January 6, 2003 in Book A45,
 Page 2664 as Doc. No. 2003002670.

Modified by Extension Agreement
 Filed January 9, 2004 in Book A71,
 Page 2882 as Doc. No. 2004002892.

Public Street right of way dedicated to
 the City of Albuquerque by Plat filed
 August 2, 2004 in Plat Book 2004C,
 Page 226.

TRACT B
 HUNT-SPECTRUM
 DEVELOPMENT SITE
 Filed August 2, 2004 in
 Plat Book 2004C, Page 226

- PROPERTY CORNER LEGEND**
- = Found 5/8" Rebar with cap stamped "LS 6544"
 - = Found 3-1/2" Aluminum Monument stamped Centerline "LS 6544"
 - = Found Chiseled "X" in concrete
 - ⊙ = Found 5/8" Rebar with cap stamped "LS 9750" or PK Nail and brass disc stamped "LS 9750"
 - = Set 5/8" Rebar with cap stamped "LS 9750" at all interior tract corners



BOUNDARY

PLAT OF
 TRACTS A-1-A, A-1-B AND A-1-C
 HUNT-SPECTRUM DEVELOPMENT SITE
 (BEING A REPLAT OF TRACT A-1, HUNT-SPECTRUM DEVELOPMENT SITE)
 SITUATE WITHIN
 SECTION 18, TOWNSHIP 10 NORTH, RANGE 4 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO

PARCEL A-1-A
 WINROCK CENTER
 ADDITION
 Filed October 28, 1996 in
 Plat Book 96C, Page 446

UPTOWN LOOP ROAD NE
 Dedicated Public Right of way
 As shown on plat filed August 2,
 2004, in Plat Book 2004C, Page 226.

PARCEL A-1-A-A
 WINROCK CENTER
 ADDITION
 Filed October 31, 2012 in
 Plat Book 2012C, Page 130

Public Road and Underground
 Utility Easement to the City of
 Albuquerque, a municipal
 corporation, filed May 24, 2004,
 in Book 877, Page 9766, as
 Document No. 2004069960.

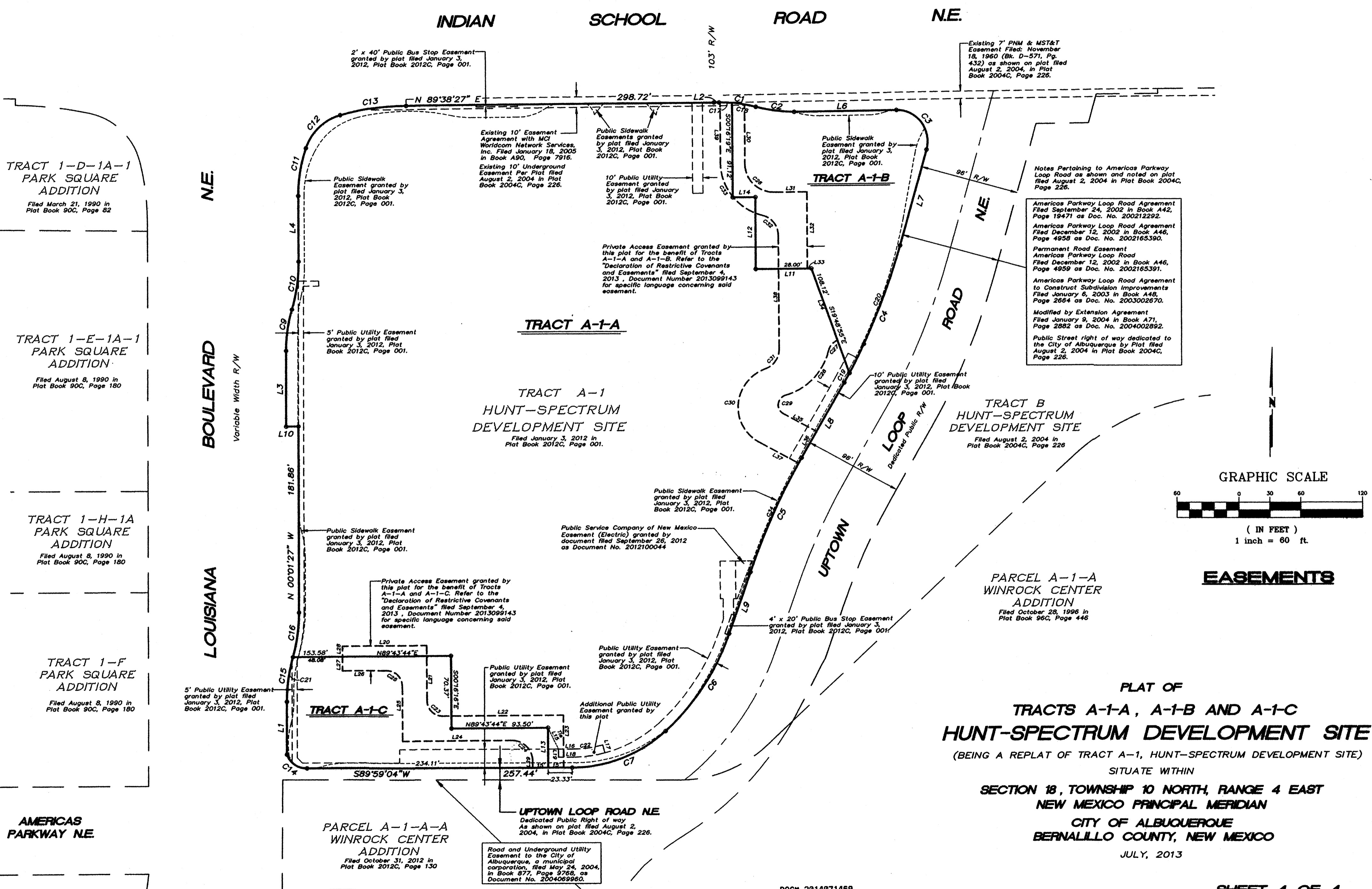


120513 SHT 1-3_6-6-13.dwg

SURV TEK, INC.
 Consulting Surveyors
 9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
 Phone: 505-897-3366
 Fax: 505-897-3377

JULY, 2013 DOCH 2014071469
 09/10/2014 10:42 AM Page: 3 of 4
 CityPLAT R: \$25.00 B: 2014C P: 0100 H Toulous Olivere, Bernalillo Cour
 SHEET 3 OF 4

EASEMENT NOTE
 Tracts A-1-A, A-1-B and A-1-C, Hunt-Spectrum Development Site are subject to that certain "DECLARATION OF RESTRICTIVE COVENANTS AND EASEMENTS" filed in the office of the County Clerk of Bernalillo County, New Mexico on 09-04-2013 as Document Number 2013099143.



**TRACT 1-D-1A-1
 PARK SQUARE
 ADDITION**
 Filed March 21, 1990 in
 Plat Book 90C, Page 82

**TRACT 1-E-1A-1
 PARK SQUARE
 ADDITION**
 Filed August 8, 1990 in
 Plat Book 90C, Page 180

**TRACT 1-H-1A
 PARK SQUARE
 ADDITION**
 Filed August 8, 1990 in
 Plat Book 90C, Page 180

**TRACT 1-F
 PARK SQUARE
 ADDITION**
 Filed August 8, 1990 in
 Plat Book 90C, Page 180

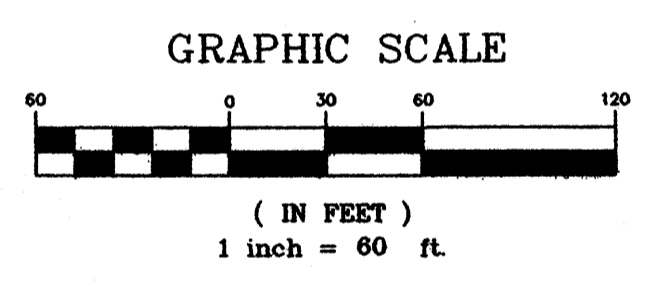
**AMERICAS
 PARKWAY NE**

**PARCEL A-1-A-A
 WINROCK CENTER
 ADDITION**
 Filed October 31, 2012 in
 Plat Book 2012C, Page 130

**TRACT B
 HUNT-SPECTRUM
 DEVELOPMENT SITE**
 Filed August 2, 2004 in
 Plat Book 2004C, Page 226

**PARCEL A-1-A
 WINROCK CENTER
 ADDITION**
 Filed October 28, 1996 in
 Plat Book 96C, Page 446

**PLAT OF
 TRACTS A-1-A, A-1-B AND A-1-C
 HUNT-SPECTRUM DEVELOPMENT SITE**
 (BEING A REPLAT OF TRACT A-1, HUNT-SPECTRUM DEVELOPMENT SITE)
 SITUATE WITHIN
 SECTION 18, TOWNSHIP 10 NORTH, RANGE 4 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JULY, 2013



DOCH 2014071469
 09/10/2014 10:42 AM Page: 4 of 4
 City: PLAT R: \$25.00 B: 2014C P: 0100 M: Toulous Oliveira, Bernalillo Court
 120513 SHT 4_11-5-13.dwg

SURV TEK, INC.
 Consulting Surveyors
 6364 Valley View Drive, N.W. Albuquerque, New Mexico 87114
 Phone: 505-897-3966 Fax: 505-897-3977

SITE DATA

LEGAL DESCRIPTION: TRACK A, HUNT - SPECTRUM DEVELOPMENT SITE ZONE: SU-3

BUILDING 1 AREA:	155,629 SF
BUILDING 2 AREA - RETAIL:	6,200 SF
BUILDING 2 AREA - HOUSING:	21,600 SF (3 FLOORS @ 7,200 SF, 18 DU)
BUILDING 3 AREA:	4,740 SF
TOTAL BUILDING AREA:	188,169 SF
SITE AREA:	320,480 SF (7.36 ACRES)
F.A.R. (188,169 SF / 320,480 SF):	0.59

GENERAL NOTES

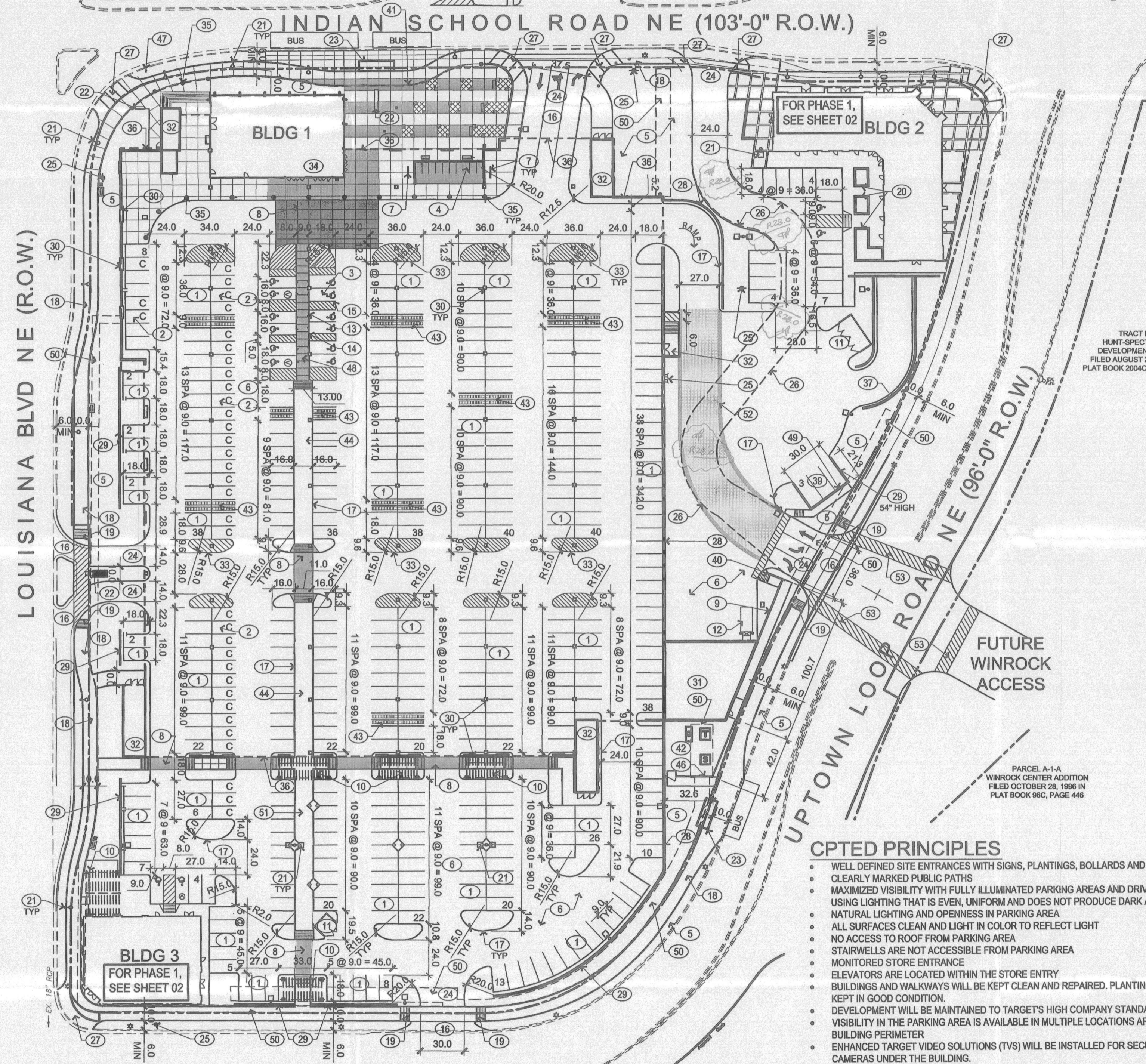
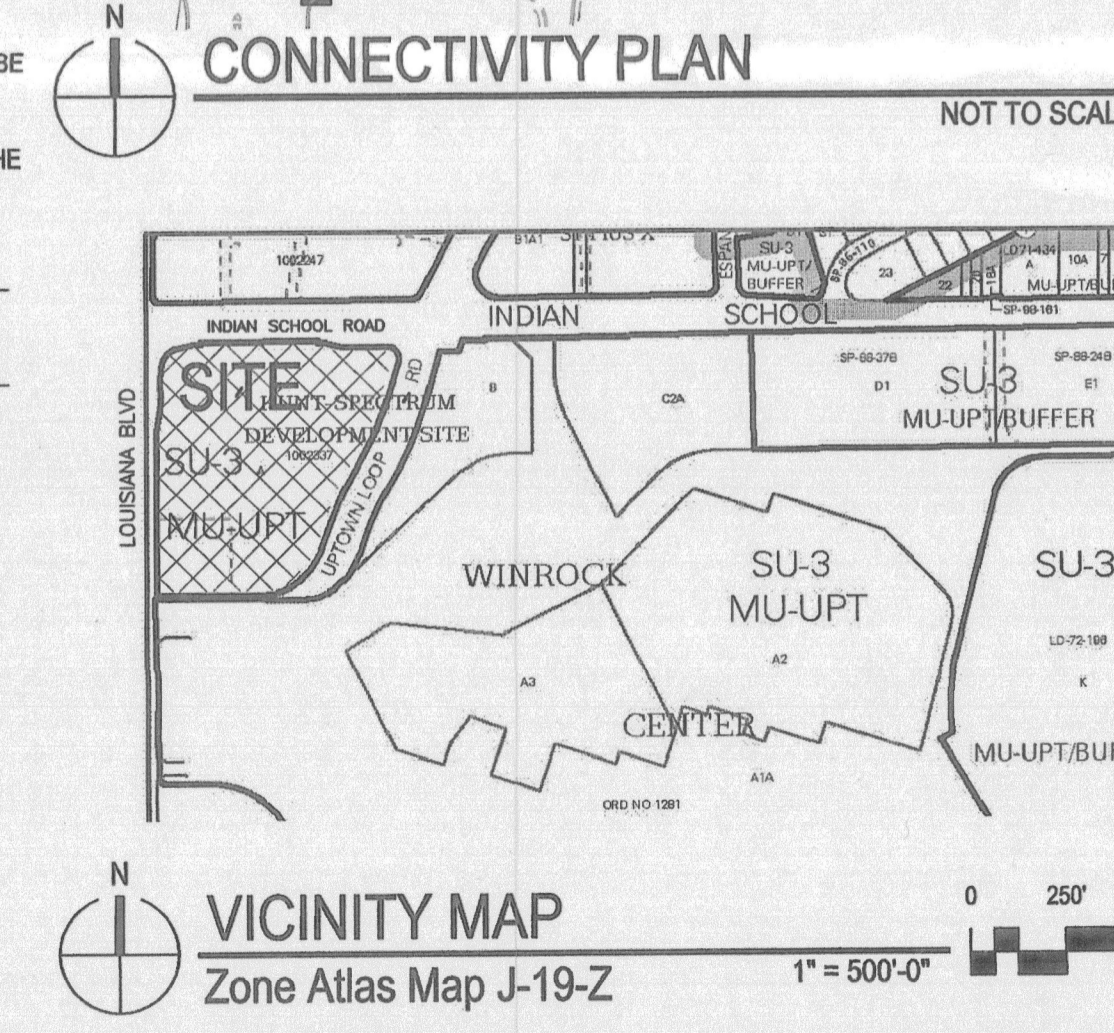
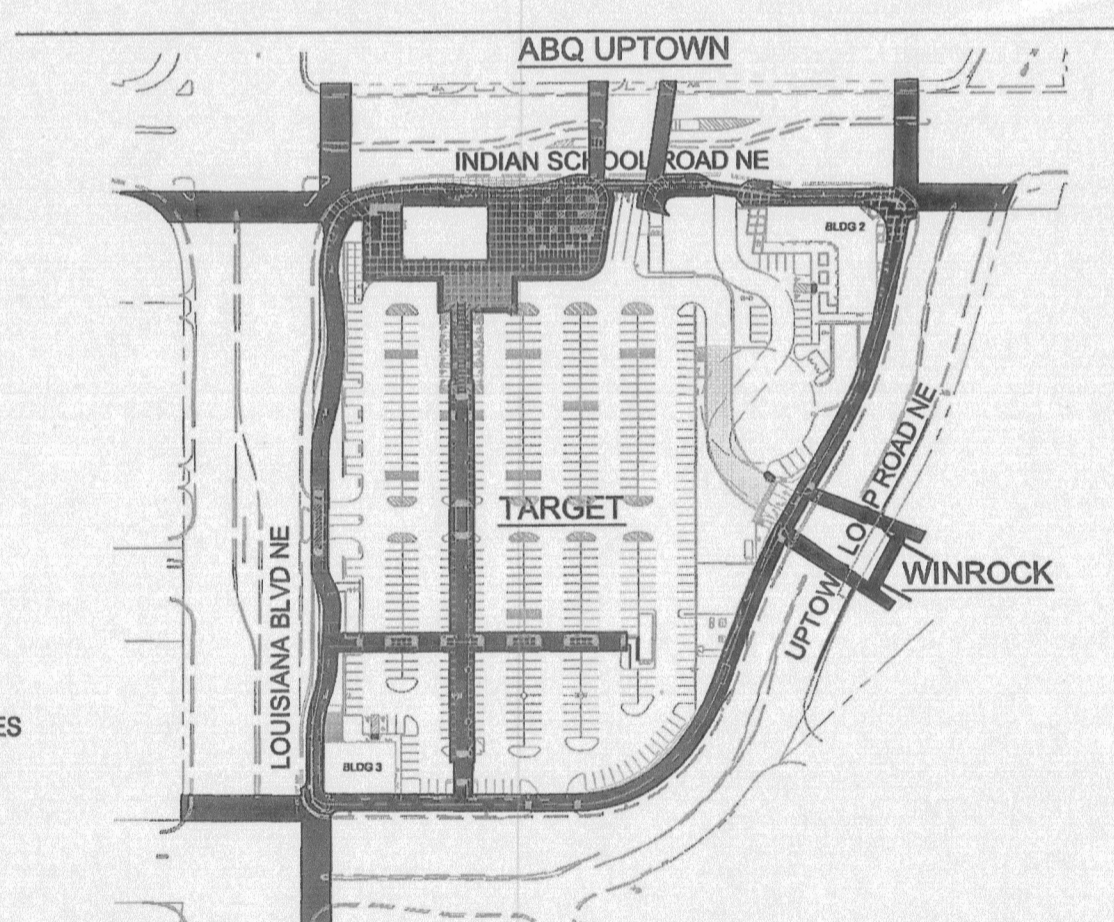
- A. SITE PLAN SHALL BE DESIGNED & BUILT TO CURRENT DPM STANDARDS.
- B. SEE CIVIL PLANS FOR ADDITIONAL GRADING, DRAINAGE AND UTILITY INFORMATION.
- C. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- D. ALL CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
- E. ALL LIGHT FIXTURES AND DESIGN SHALL COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT, THE CITY OF ALBUQUERQUE ZONING CODE: SECTION 14-16-3-9 AREA LIGHTING REGULATIONS.
- F. SIDEWALKS TO BE STANDARD GRAY SCORED CONCRETE UNLESS NOTED OTHERWISE.
- G. STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE.
- H. SEE LANDSCAPE SHEET FOR OPEN SPACE CALCULATIONS.
- I. SITE PLAN SHALL COMPLY WITH LOCAL, FEDERAL ADA STANDARDS & GUIDELINES.
- J. PEDESTRIAN AMENITIES ALONG WALKWAYS TO SERVE HUMANS AND ANIMALS INCLUDE SCALED LIGHTING, BENCHES AND TRASH RECEPTACLES.
- K. TARGET WILL MAINTAIN THE PEDESTRIAN CROSSWALK AT DRIVEWAYS WITHIN THE PARKING AREAS.

KEYED NOTES

1. TYPICAL PARKING SPACE; 9'-0"x18'-0" (UNLESS NOTED OTHERWISE).
2. TYPICAL COMPACT PARKING SPACE; 8'-0"x16'-0"
3. TYPICAL ADA PARKING SPACE; 9'-0"x18'-0"
4. TYPICAL MOTORCYCLE PARKING SPACE; 5'-0"x8'-0", REFER DETAIL C2 / SHEET 4
5. LANDSCAPED AREA; REFER TO LANDSCAPE PLAN
6. CONCRETE PAVING
7. METAL BIKE RACK; REFER DETAIL D1 / SHEET 3
8. PEDESTRIAN CROSSWALK. COLOR AND TEXTURE PATTERN TO DIFFERENTIATE FROM SURROUNDING CONCRETE PAVING.
9. 18" HIGH SCREEN WALL, CONSTRUCTION & COLOR TO MATCH BUILDING, REFER DETAIL A1 / SHEET 4
10. STEEL TRELIS ABOVE
11. REFUSE ENCLOSURE FOR SOLID WASTE DISPOSAL; REFER DETAIL B5 / SHEET 3
12. TRASH COMPACTOR
13. POLE MOUNTED ADA SIGNAGE, RE: C5 / SHEET 03
14. 6" Ø BOLLARD, TYP.
15. PAINTED ADA PAVEMENT SIGNAGE TYP.
16. AUTOMOBILE INGRESS/EGRESS.
17. CONCRETE CURB
18. 10' SIDEWALK, RE: A4 / SHEET 4
19. NEW CONCRETE ADA RAMP WITH 1:12 MAXIMUM SLOPE AND TRUNCATED DOMES PER COA STANDARD DRAWING 2440
20. RAISED LANDSCAPE PLANTER, RE: A3 / SHEET 5
21. LIGHT POLE TYP; REFER DETAIL A3, A4 & A5 / SHEET 3
22. MONUMENT SIGN; REFER WAYFINDING SHEETS 20 - 21
23. PROPOSED BUS OR RAPID RIDE SHELTER STOPS, RE: B2 & C2 / SHEET 04
24. CONCRETE DRIVEPAD, SEE COA STANDARD DRAWING #2426
25. PROPOSED FIRE HYDRANT LOCATION
26. FIRE LANE
27. ACCESSIBLE RAMP, RE: A2 / SHEET 4
28. RETAINING WALL
29. PARKING LOT SCREEN WALL, 36" HIGH CAST-IN-PLACE CONCRETE, UNO. REFER DETAIL A1 / SHEET 4
30. BUILDING STRUCTURE
31. SERVICE DOCK
32. EGRESS FROM STORE ABOVE
33. STRIPED ISLAND
34. STORE ENTRY
35. TARGET SPHERICAL BOLLARDS, REFER DETAIL B2 / SHEET 3
36. LINE OF TARGET STORE ABOVE
37. 42" HIGH CAST-IN-PLACE CONCRETE WALL
38. EXISTING TRAFFIC SIGNAL
39. TYPICAL LOADING PARKING SPACE; 10'-0"x20'-0"
40. LOCATION OF SCREEN WALL WILL COMPLY WITH LINE-OF-SIGHT TRIANGLE
41. LIGHT BOLLARD, RE: C4 / SHEET 03
42. SERVICE YARD
43. SHOPPING CART CORRALS
44. PEDESTRIAN WALKWAY (WITHOUT BORDER), REFER DETAIL B4 / SHEET 4
45. PEDESTRIAN REFUGE
46. 12" HIGH SCREEN WALL, CONSTRUCTION & COLOR TO MATCH BUILDING
47. PROPOSED STOP SIGN
48. ACCESSIBLE SIDEWALK, RE: A5 / SHEET 4
49. TARGET VAN DELIVERY SIGNAGE AT EACH 10'-0"x20'-0" SPACE
50. P.U.E. LOCATIONS, RE: SHEETS 12 & 13
51. PEDESTRIAN WALKWAY, SEE DETAIL B4 / SHEET 4
52. 2" COLORED CONCRETE ROLLED CURB
53. FUTURE PEDESTRIAN CROSSWALK

PARKING

BUILDING 1:	USE: RATIO:	REQUIRED:
RETAIL	2/1000	155,629 SF / 500 = 312 SPACES
PARKING PROVIDED		451 SPACES
ACCESSIBLE REQ'D / PROVIDED		12 SPACES / 12 SPACES
BUILDING 2:	USE: RATIO:	REQUIRED:
RETAIL	2/1000	6,200 SF / 500 = 13 SPACES
HOUSING	1.5/DU	1.5 X 18 DU = 27 SPACES
PARKING PROVIDED		41 SPACES (1 SURFACE, 30 BELOW)
ACCESSIBLE REQ'D / PROVIDED		2 SPACES / 2 SPACES
BUILDING 3:	USE: RATIO:	REQUIRED:
RETAIL	2/1000	4,740 SF / 500 = 10 SPACES
PARKING PROVIDED		22 SPACES
ACCESSIBLE REQ'D / PROVIDED		2 SPACES / 2 SPACES
TOTAL:		
PARKING REQUIRED:		362 SPACES
PARKING PROVIDED:		538 SPACES (36 - COMPACT)
ACCESSIBLE REQ'D / PROVIDED		16 SPACES / 16 SPACES
MOTORCYCLE PARKING:		
REQUIRED:		501-750 PARKING SPACES = 7 SPACES
PROVIDED:		10 SPACES
BICYCLE PARKING:		
REQUIRED:		1:20 AUTOMOBILE, (538 / 20) = 27 SPACES
PROVIDED:		30 SPACES



CPTED PRINCIPLES

- WELL DEFINED SITE ENTRANCES WITH SIGNS, PLANTINGS, BOLLARDS AND LIGHTS
- CLEARLY MARKED PUBLIC PATHS
- MAXIMIZED VISIBILITY WITH FULLY ILLUMINATED PARKING AREAS AND DRIVING LANES USING LIGHTING THAT IS EVEN, UNIFORM AND DOES NOT PRODUCE DARK AREAS.
- NATURAL LIGHTING AND OPENNESS IN PARKING AREA
- ALL SURFACES CLEAN AND LIGHT IN COLOR TO REFLECT LIGHT
- NO ACCESS TO ROOF FROM PARKING AREA
- STAIRWELLS ARE NOT ACCESSIBLE FROM PARKING AREA
- MONITORED STORE ENTRANCE
- ELEVATORS ARE LOCATED WITHIN THE STORE ENTRY
- BUILDINGS AND WALKWAYS WILL BE KEPT CLEAN AND REPAIRED. PLANTINGS WILL BE KEPT IN GOOD CONDITION.
- DEVELOPMENT WILL BE MAINTAINED TO TARGETS HIGH COMPANY STANDARDS.
- VISIBILITY IN THE PARKING AREA IS AVAILABLE IN MULTIPLE LOCATIONS AROUND THE BUILDING PERIMETER
- ENHANCED TARGET VIDEO SOLUTIONS (TVS) WILL BE INSTALLED FOR SECURITY CAMERAS UNDER THE BUILDING.

FURNISHINGS LEGEND

- 16'-0" HIGH PEDESTRIAN SCALE POLE LIGHT TO COMPLY W/ DARK SKY ORDINANCE, A3 / SHEET 3
- 30'-0" HIGH AREA POLE LIGHT TO COMPLY W/ DARK SKY ORDINANCE (20'-0" WHERE OCCURS), A4 & A5 / SHEET 3
- ☆ EXISTING STREET POLE LIGHT
- LIGHT BOLLARD AND SPHERE BOLLARD, A2 & A3 / SHEET 3
- 1' WIDE SEAT WALL
- 6' BENCH, D2 / SHEET 3 AND TRASH RECEPTACLES
- C COMPACT PARKING SPACE, "COMPACT" ON PAVEMENT
- TRASH RECEPTACLES

SITE PLAN - PHASE 2 (FULL BUILD-OUT)
1" = 50'-0"

FORMER PROJECT NUMBER: 1007316
PROJECT NUMBER: 1007316

APPLICATION NUMBER:
Is an Infrastructure List Required? () Yes () No If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

SITE DEVELOPMENT PLAN APPROVAL:

<i>NS 25</i>	11-16-11
TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
<i>Alfon Pater</i>	11/16/11
ABCWUA	DATE
<i>Carol S. Dument</i>	11/16/11
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
<i>Joe White</i>	11-10-11
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

REVISIONS

- △
- △
- △
- △

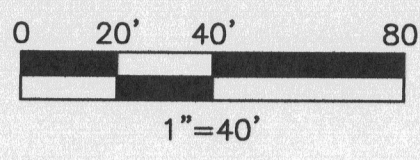
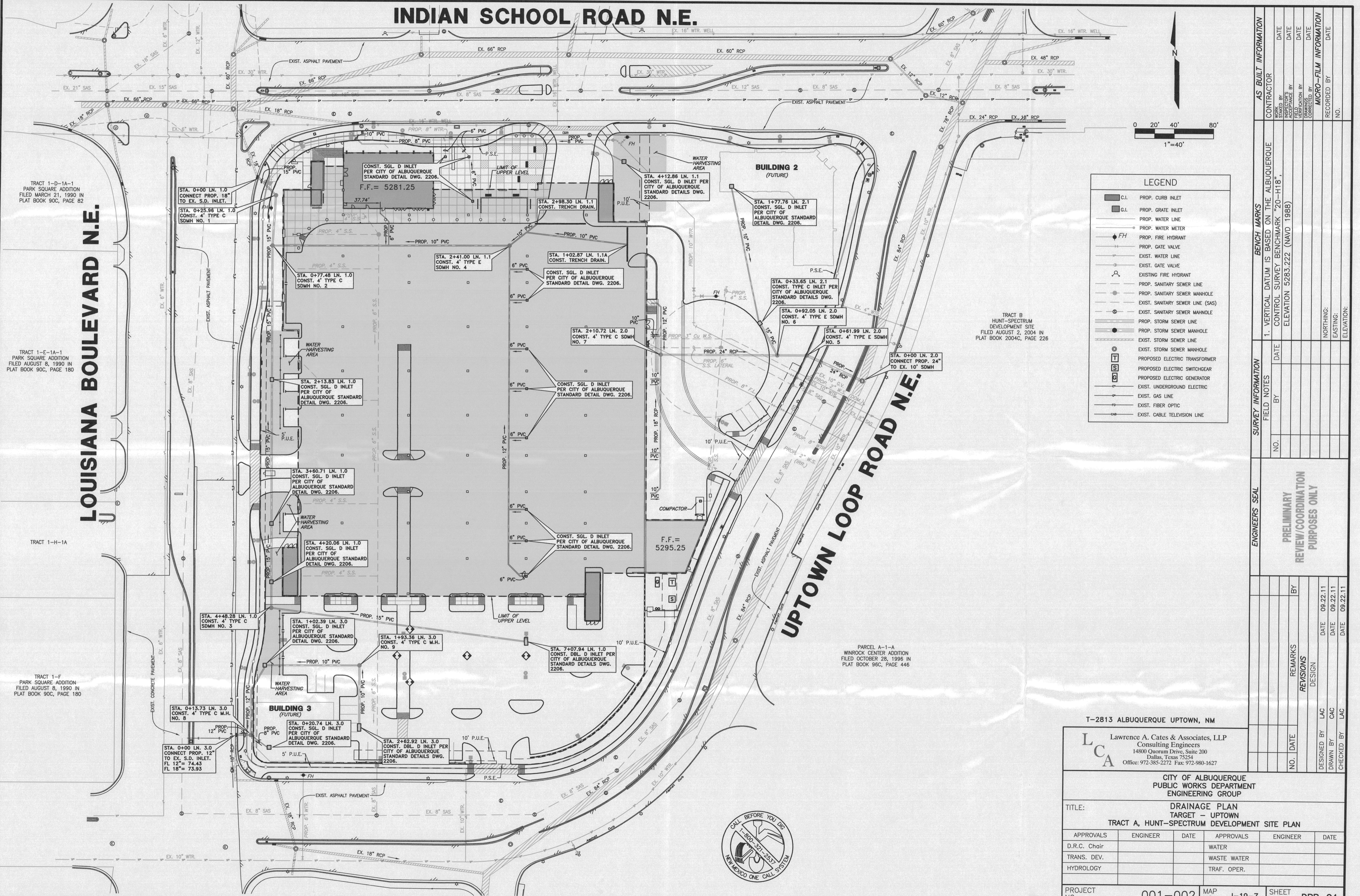
DRAWN BY	TB
REVIEWED BY	SJT
DATE	11/11/2011
PROJECT NO.	10-0135
DRAWING NAME	

SITE DEVELOPMENT PLAN PHASE 2 (FULL BUILD-OUT)

INDIAN SCHOOL ROAD N.E.

LOUISIANA BOULEVARD N.E.

UPTOWN LOOP ROAD N.E.



LEGEND	
	PROP. CURB INLET
	PROP. GRATE INLET
	PROP. WATER LINE
	PROP. WATER METER
	PROP. FIRE HYDRANT
	PROP. GATE VALVE
	EXIST. WATER LINE
	EXIST. GATE VALVE
	EXISTING FIRE HYDRANT
	PROP. SANITARY SEWER LINE
	PROP. SANITARY SEWER MANHOLE
	EXIST. SANITARY SEWER LINE (SAS)
	EXIST. SANITARY SEWER MANHOLE
	PROP. STORM SEWER LINE
	PROP. STORM SEWER MANHOLE
	EXIST. STORM SEWER LINE
	EXIST. STORM SEWER MANHOLE
	PROPOSED ELECTRIC TRANSFORMER
	PROPOSED ELECTRIC SWITCHGEAR
	PROPOSED ELECTRIC GENERATOR
	EXIST. UNDERGROUND ELECTRIC
	EXIST. GAS LINE
	EXIST. FIBER OPTIC
	EXIST. CABLE TELEVISION LINE

TRACT B
HUNT-SPECTRUM
DEVELOPMENT SITE
FILED AUGUST 2, 2004 IN
PLAT BOOK 2004C, PAGE 226

PARCEL A-1-A
WINROCK CENTER ADDITION
FILED OCTOBER 28, 1996 IN
PLAT BOOK 96C, PAGE 446

TRACT 1-D-1A-1
PARK SQUARE ADDITION
FILED MARCH 21, 1990 IN
PLAT BOOK 90C, PAGE 82

TRACT 1-E-1A-1
PARK SQUARE ADDITION
FILED AUGUST 8, 1990 IN
PLAT BOOK 90C, PAGE 180

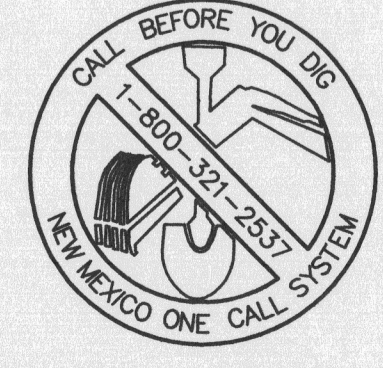
TRACT 1-H-1A

TRACT 1-F
PARK SQUARE ADDITION
FILED AUGUST 8, 1990 IN
PLAT BOOK 90C, PAGE 180

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEERS SEAL	
CONTRACTOR	DATE	1. VERTICAL DATUM IS BASED ON THE ALBUQUERQUE CONTROL SURVEY BENCHMARK "20-H18", ELEVATION 5283.222 (NAVD 1988)	NO.	BY	PRELIMINARY REVIEW/COORDINATION PURPOSES ONLY		REVISIONS
INSPECTOR'S NAME	DATE				NO.	DATE	
FIELD VERIFICATION BY	DATE				DESIGNED BY	LAC	08.22.11
CONCORRECTED BY	DATE				DRAWN BY	CAC	08.22.11
MICRO-FILM INFORMATION					CHECKED BY	LAC	08.22.11
RECORDED BY	NO.						

T-2813 ALBUQUERQUE UPTOWN, NM
LCA Lawrence A. Cates & Associates, LLP
Consulting Engineers
14800 Quorum Drive, Suite 200
Dallas, Texas 75254
Office: 972-385-2272 Fax: 972-980-1627

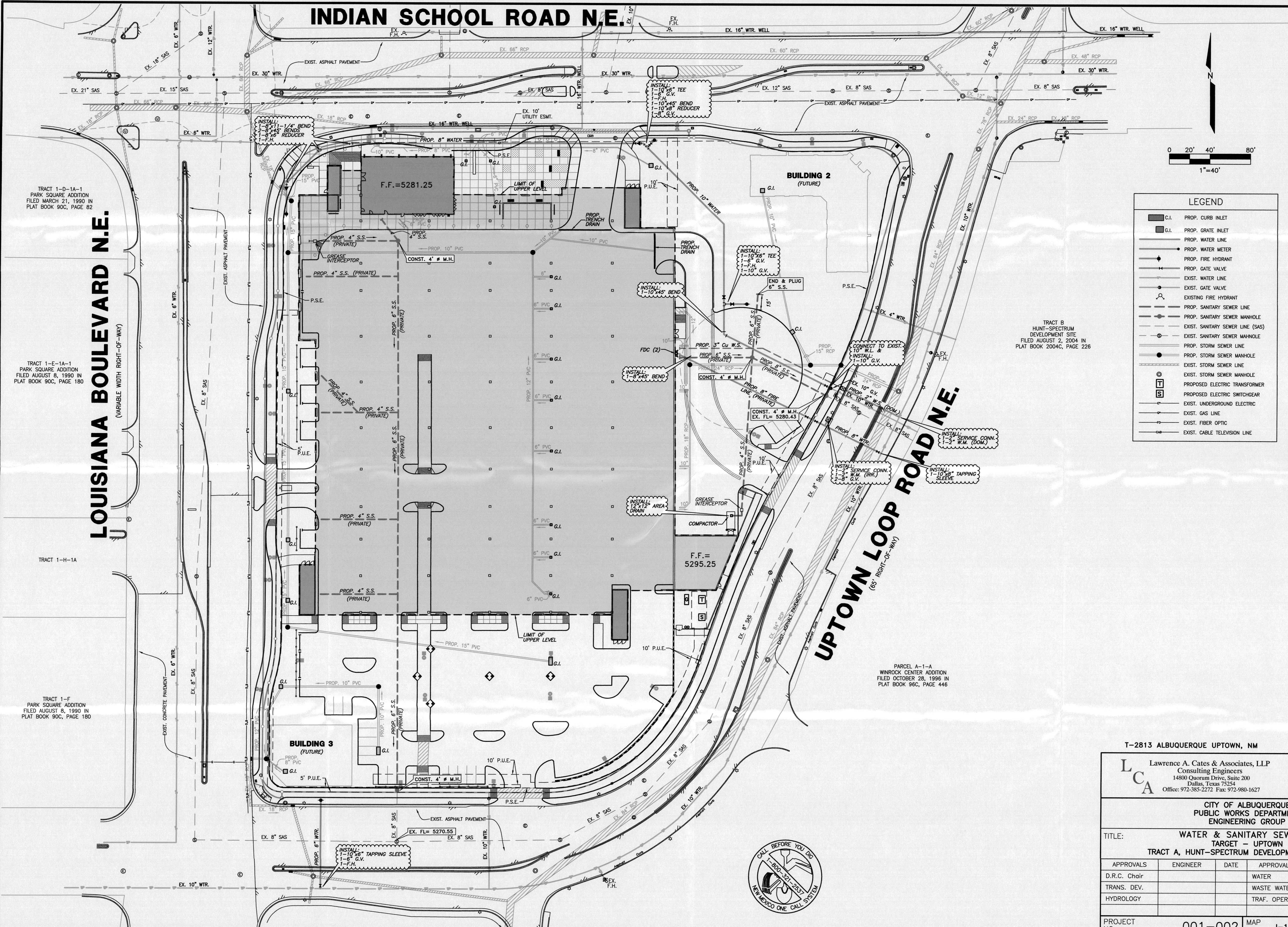
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP					
TITLE: DRAINAGE PLAN TARGET - UPTOWN TRACT A, HUNT-SPECTRUM DEVELOPMENT SITE PLAN					
APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
D.R.C. Chair			WATER		
TRANS. DEV.			WASTE WATER		
HYDROLOGY			TRAF. OPER.		
PROJECT NO.	001-002	MAP NO.	J-19-Z	SHEET	DRB-C4



INDIAN SCHOOL ROAD N.E.

LOUISIANA BOULEVARD N.E.

UPTOWN LOOP ROAD N.E.



LEGEND	
	PROP. CURB INLET
	PROP. GRATE INLET
	PROP. WATER LINE
	PROP. WATER METER
	PROP. FIRE HYDRANT
	PROP. GATE VALVE
	EXIST. WATER LINE
	EXIST. GATE VALVE
	EXISTING FIRE HYDRANT
	PROP. SANITARY SEWER LINE
	PROP. SANITARY SEWER MANHOLE
	EXIST. SANITARY SEWER LINE (SAS)
	EXIST. SANITARY SEWER MANHOLE
	PROP. STORM SEWER LINE
	PROP. STORM SEWER MANHOLE
	EXIST. STORM SEWER LINE
	EXIST. STORM SEWER MANHOLE
	PROPOSED ELECTRIC TRANSFORMER
	PROPOSED ELECTRIC SWITCHGEAR
	EXIST. UNDERGROUND ELECTRIC
	EXIST. GAS LINE
	EXIST. FIBER OPTIC
	EXIST. CABLE TELEVISION LINE

TRACT B
HUNT-SPECTRUM
DEVELOPMENT SITE
FILED AUGUST 2, 2004 IN
PLAT BOOK 2004C, PAGE 226

PARCEL A-1-A
WINROCK CENTER ADDITION
FILED OCTOBER 28, 1996 IN
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TRACT 1-D-1A-1
PARK SQUARE ADDITION
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TRACT 1-E-1A-1
PARK SQUARE ADDITION
FILED AUGUST 8, 1990 IN
PLAT BOOK 90C, PAGE 180

TRACT 1-H-1A

TRACT 1-F
PARK SQUARE ADDITION
FILED AUGUST 8, 1990 IN
PLAT BOOK 90C, PAGE 180

AS BUILT INFORMATION	
CONTRACTOR	DATE
WORK STARTED BY	DATE
FIELD ACCEPTANCE BY	DATE
FIELD REVISION BY	DATE
DRAWN BY	DATE
CHECKED BY	DATE
RECORDED BY	DATE
NO.	

BENCH MARKS	
1. VERTICAL DATUM IS BASED ON THE ALBUQUERQUE CONTROL SURVEY BENCHMARK "20-H18", ELEVATION 5283.222 (NAVD 1988)	

SURVEY INFORMATION	
FIELD NOTES	DATE
NO.	BY

ENGINEERS SEAL

PRELIMINARY REVIEW/COORDINATION PURPOSES ONLY

REVISIONS	
NO.	DATE
DESIGN	09.22.11
CAC	09.22.11
LAC	09.22.11

T-2813 ALBUQUERQUE UPTOWN, NM

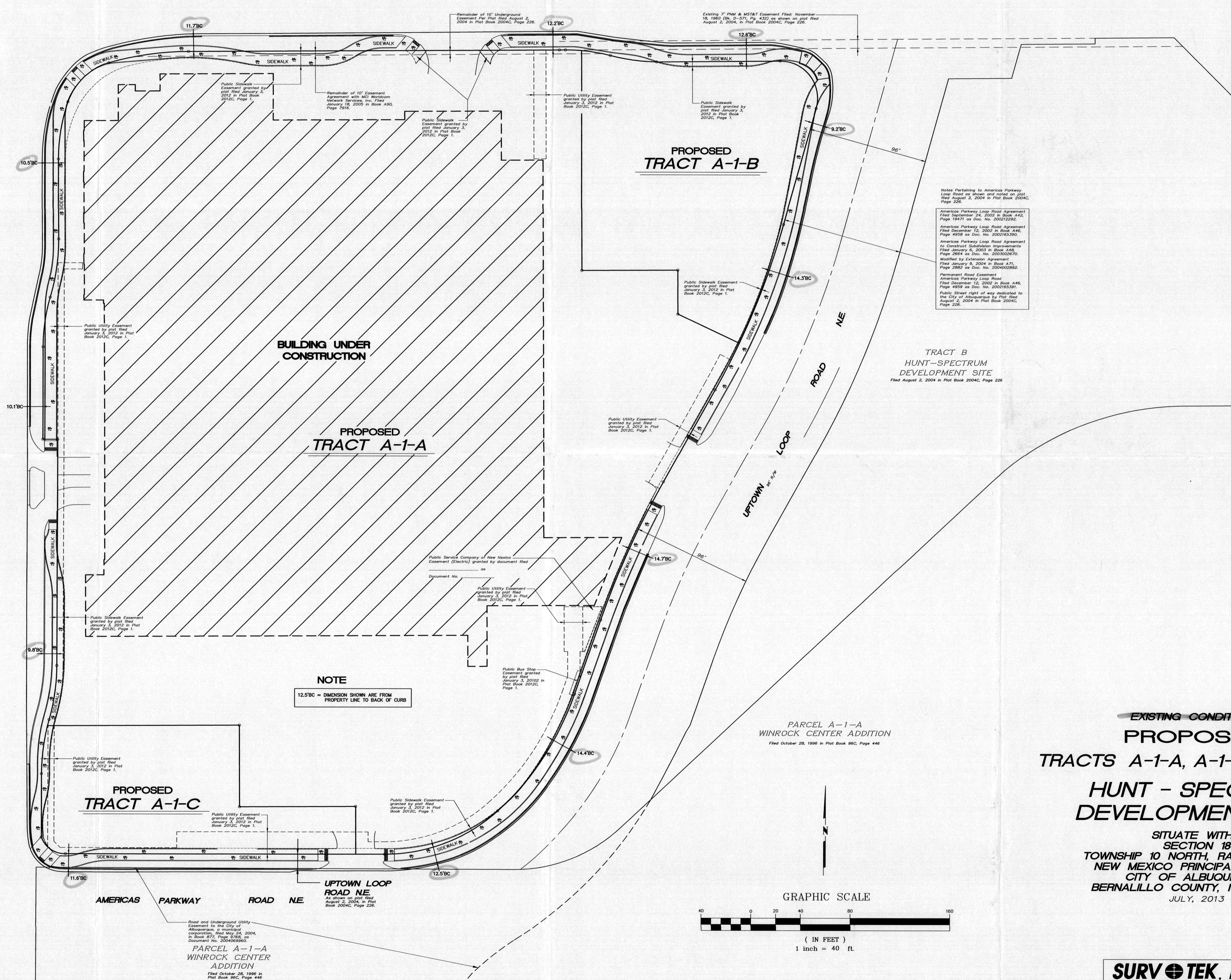
Lawrence A. Cates & Associates, LLP
Consulting Engineers
14800 Quorum Drive, Suite 200
Dallas, Texas 75254
Office: 972-385-2272 Fax: 972-980-1627

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP					
TITLE: WATER & SANITARY SEWER PLAN TARGET - UPTOWN TRACT A, HUNT-SPECTRUM DEVELOPMENT SITE PLAN					
APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
D.R.C. Chair			WATER		
TRANS. DEV.			WASTE WATER		
HYDROLOGY			TRAF. OPER.		
PROJECT NO.	001-002	MAP NO.	J-19-Z	SHEET	DRB-C5



INDIAN SCHOOL ROAD N.E.

103' R/W



PROPOSED TRACT A-1-B

BUILDING UNDER CONSTRUCTION

PROPOSED TRACT A-1-A

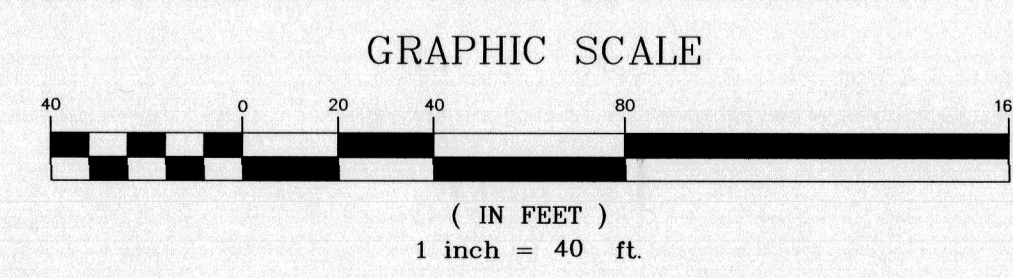
PROPOSED TRACT A-1-C

NOTE
12.5'BC = DIMENSION SHOWN ARE FROM PROPERTY LINE TO BACK OF CURB

PARCEL A-1-A
WINROCK CENTER ADDITION
Filed October 28, 1996 in Plat Book 96C, Page 446

TRACT B
HUNT-SPECTRUM
DEVELOPMENT SITE
Filed August 2, 2004 in Plat Book 2004C, Page 226

EXISTING CONDITIONS
PROPOSED
TRACTS A-1-A, A-1-B AND A-1-C
HUNT - SPECTRUM
DEVELOPMENT SITE
SITUATE WITHIN
SECTION 18
TOWNSHIP 10 NORTH, RANGE 4 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JULY, 2013



TRACT 1-D-1A-1
PARK SQUARE ADDITION
Filed March 21, 1999 in Plat Book 90C, Page 82

TRACT 1-E-1A-1
PARK SQUARE ADDITION
Filed August 6, 1999 in Plat Book 90C, Page 180

TRACT 1-H-1A

TRACT 1-F
PARK SQUARE ADDITION
Filed August 6, 1999 in Plat Book 90C, Page 180

NE.
BOULEVARD
LOUISIANA

PARCEL A-1-A
WINROCK CENTER
ADDITION
Filed October 28, 1996 in
Plat Book 96C, Page 446

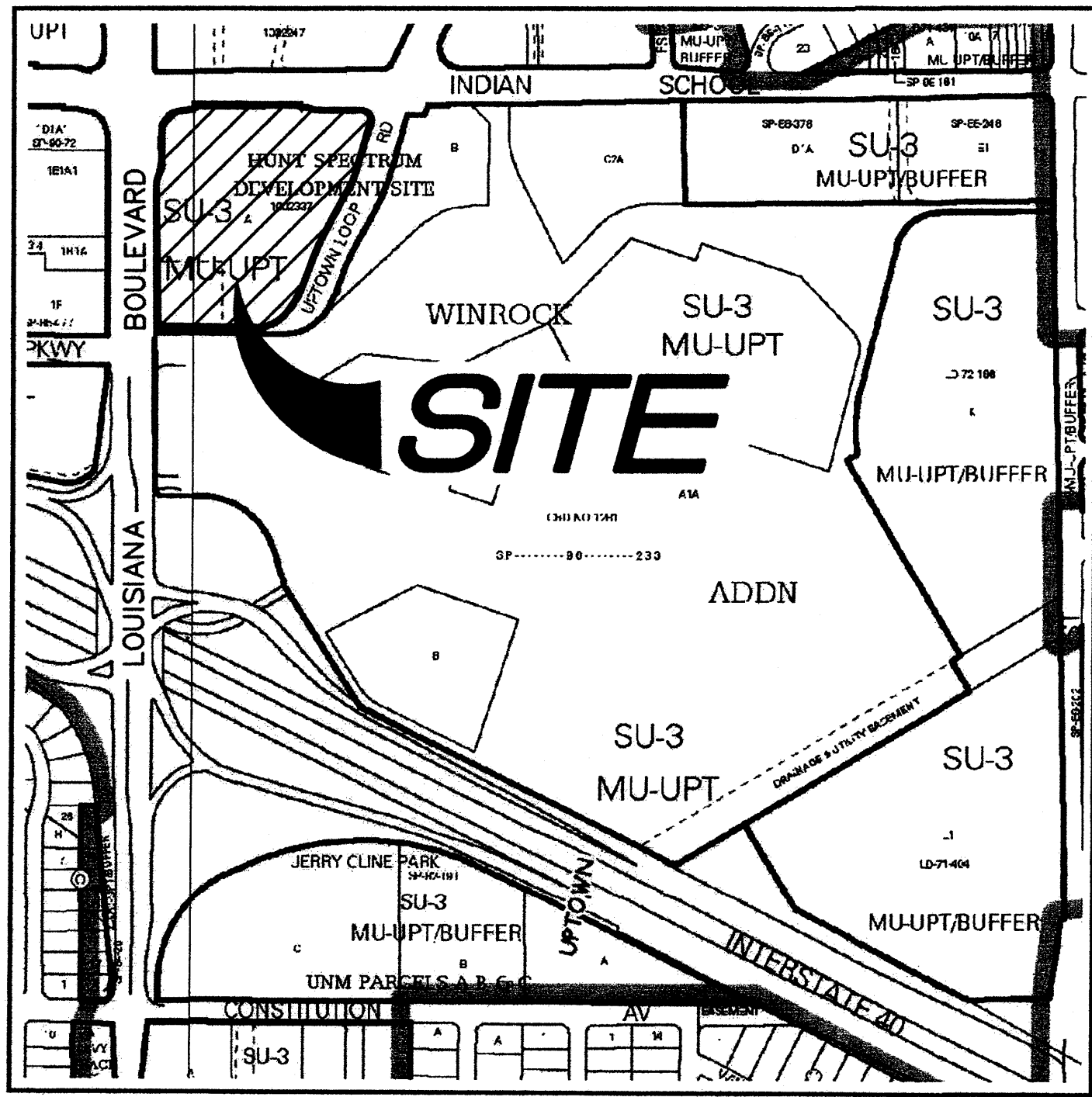
Notes Pertaining to American Parkway Loop Road as shown and noted on plat filed August 2, 2004 in Plat Book 2004C, Page 226.
American Parkway Loop Road Agreement Filed September 24, 2002 in Book A46, Page 19477 as Doc. No. 200212292.
American Parkway Loop Road Agreement Filed December 10, 2002 in Book A46, Page 4958 as Doc. No. 200210290.
American Parkway Loop Road Agreement to Construct Schedule Amendments Filed January 6, 2003 in Book A46, Page 2664 as Doc. No. 200302070.
Modified by Extension Agreement Filed January 9, 2004 in Book 471, Page 2882 as Doc. No. 200402882.
Permanent Road Easement American Parkway Loop Road Filed December 12, 2002 in Book A46, Page 4959 as Doc. No. 200210391.
Public Street right of way dedicated to the City of Albuquerque by Plat filed August 2, 2004 in Plat Book 2004C, Page 226.

PROJECT # 1007316
13-74675 (P/F)
9-25-13

SURVTEK, INC.

Consulting Surveyors
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3366
Fax: 505-897-3377

120513 EX CONDITION.dwg



VICINITY MAP
Not To Scale

GENERAL NOTES

- Bearings are grid and based on the New Mexico State Plane Coordinate System, Central Zone (NAD83).
- Distances are ground.
- Distances along curved lines are arc lengths.
- Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ().
- All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- City of Albuquerque Zone Atlas Page J-19.

SUBDIVISION DATA

- Total number of existing Tracts: 1
- Total number of Tracts created: 3
- Gross Subdivision acreage: 7.3573 acres.

SECTION 14-14-4-7 PROHIBITION ON PRIVATE RESTRICTIONS ON THE INSTALLATION OF SOLAR COLLECTORS

"No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat."

TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following:

Bernalillo County Treasurer Date

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- Qwest d/b/a CenturyLink QC for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

DISCLAIMER

In approving this plat, Public Service Company of New Mexico (PNM), Qwest Corporation d/b/a Centurylink QC and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM, Centurylink and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

PURPOSE OF PLAT

The purpose of this plat is to:

- Create 3 new tracts from existing Tract A-1.

PLAT OF
TRACTS A-1-A, A-1-B AND A-1-C
HUNT-SPECTRUM DEVELOPMENT SITE
(BEING A REPLAT OF TRACT A-1, HUNT-SPECTRUM DEVELOPME.
SITUATE WITHIN
SECTION 18, TOWNSHIP 10 NORTH, RANGE 4 EAS
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JULY, 2013

PROJECT NUMBER: _____

Application Number: _____

PLAT APPROVAL

UTILITY APPROVALS:

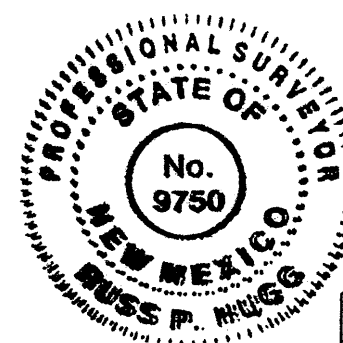
<i>Fernando Vigil</i> Public Service Company of New Mexico	8-5-13 Date
<i>[Signature]</i> New Mexico Gas Company	8/13/2013 Date
<i>[Signature]</i> QWest Corporation d/b/a CenturyLink QC	8/8/13 Date
<i>[Signature]</i> Comcast	8/5/13 Date

CITY APPROVALS

<i>Russ P. Acosta</i> City Surveyor Department of Municipal Development	7-31-13 Date
Real Property Division	Date
Environmental Health Department	Date
Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
AMAFCA	Date
City Engineer	Date
DRB Chairperson, Planning Department	Date

SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.



Russ P. Hugg
NMPS No. 9750
July 3, 2013

SHEET 1 OF 4

SURVOTEK, INC.

Consulting Surveyors Phone: 505-897-3366
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114 Fax: 505-897-3377

PROJECT # 1007316
13-10675 (P&F)
9-25-13

PLAT OF
TRACTS A-1-A, A-1-B AND A-1-C
HUNT-SPECTRUM DEVELOPMENT SITE
 (BEING A REPLAT OF TRACT A-1, HUNT-SPECTRUM DEVELOPMENT SITE)
 SITUATE WITHIN
SECTION 18, TOWNSHIP 10 NORTH, RANGE 4 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
 JULY, 2013

LEGAL DESCRIPTION

All of Tract lettered "A-1" of the HUNT-SPECTRUM DEVELOPMENT SITE, City of Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the plat entitled "PLAT OF TRACT A-1, HUNT-SPECTRUM DEVELOPMENT SITE (A REPLAT OF TRACT A, HUNT-SPECTRUM DEVELOPMENT SITE) SITUATE WITHIN SECTION 18, TOWNSHIP 10 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico, on January 3, 2012, in Plat Book 2012C, Page 001.

Said Tract contains 7.3573 acres, more or less.

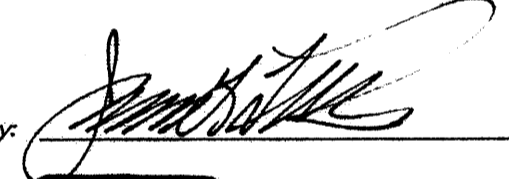
FREE CONSENT

SURVEYED AND REPLATTED and now comprising "PLAT OF TRACTS A-1-A, A-1-B AND A-1-C, HUNT-SPECTRUM DEVELOPMENT SITE (BEING A REPLAT OF TRACT A-1, HUNT-SPECTRUM DEVELOPMENT SITE) SITUATE WITHIN SECTION 18, TOWNSHIP 10 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", is with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s). Said owner(s) and proprietor(s) do hereby warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby certify that they are so authorized to act.

LINE TABLE		
LINE	LENGTH	BEARING
L1	50.98	N00°01'27"W
L2	5.00	N89°31'35"E
L3	74.29	N00°01'27"W
L4	64.22	N00°16'16"W
L6	99.36	N89°30'47"E
L7	96.76	S15°31'05"W
L8	85.00	S29°12'40"W
L9	63.18	S19°10'58"W
L10	12.00	S89°46'51"W
L11	53.96	S89°44'27"W
L12	70.38	N00°15'33"W
L13	38.36	S00°16'16"E
L14	21.93'	S89°44'27"W

OWNER(S)

Target Corporation, a Minnesota Corporation

By: 

James L. Tucker
 Director Real Estate
 Target Corporation

CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	36.40'	138.90'	18.31'	36.30'	S83°00'08"E	15°01'00"
C2	37.59'	161.10'	18.88'	37.50'	S82°10'33"E	13°22'02"
C3	55.50'	30.00'	39.82'	47.92'	S37°29'04"E	106°00'21"
C4	143.87'	602.00'	72.28'	143.53'	S22°21'53"W	13°41'35"
C5	121.82'	698.00'	61.07'	121.67'	S24°12'40"W	10°00'00"
C6	113.73'	226.98'	58.08'	112.54'	S33°30'11"W	28°42'27"
C7	99.26'	135.00'	51.99'	97.04'	S68°55'14"W	42°07'39"
C9	40.36'	139.33'	20.32'	40.22'	N08°09'55"E	16°35'51"
C10	47.41'	160.67'	23.88'	47.24'	N08°06'34"E	16°54'26"
C11	46.67'	139.33'	23.55'	46.45'	N09°09'47"E	19°11'27"
C12	47.64'	49.33'	25.86'	45.81'	N46°34'41"E	55°19'58"
C13	65.04'	239.33'	32.72'	64.84'	N81°54'05"E	15°34'14"
C14	25.14'	20.00'	14.54'	23.52'	N55°44'57"W	72°01'55"
C15	43.96'	160.00'	22.12'	43.82'	N07°50'46"E	15°44'26"
C16	43.96'	160.00'	22.12'	43.82'	N07°50'46"E	15°44'26"
C17	13.02'	138.90'	6.51'	13.01'	N87°49'33"W	5°22'10"
C18	23.39'	138.90'	11.72'	23.36'	N80°19'03"W	9°38'50"
C19	10.61'	602.00'	5.31'	10.61'	N28°42'22"E	1°00'37"
C20	133.26'	602.00'	66.90'	132.99'	N21°51'35"E	12°40'59"
C21	38.92'	160.00'	19.56'	38.83'	S06°56'41"W	13°56'15"

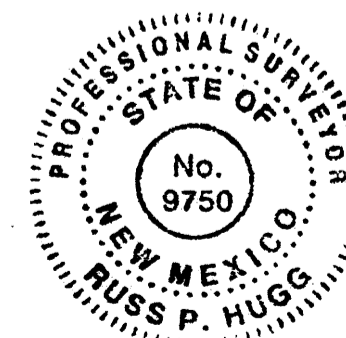
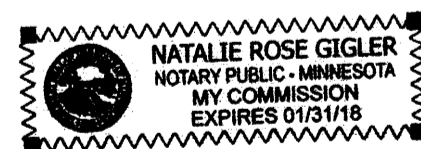
ACKNOWLEDGMENT

STATE OF MINNESOTA SS
 COUNTY OF Hennepin

The foregoing instrument was acknowledged before me this 25th
 day of July, 2013, by _____ **James L. Tucker**

 _____ of Real Estate for Target Corporation

Natalie Rose Gigler My commission expires 1/31/18
 Notary Public



Albuquerque Control Survey Monument "20-H18"
 New Mexico State Plane Coordinates (Central Zone -
 NAD 83), as published
 North= 1,493,154.978 feet
 East= 1,545,048.210 feet
 Elevation= 5283.222 feet (NAVD 1988)
 Delta Alpha= -00'11'00.11"
 Ground to Grid Factor= 0.999661580

EASEMENT NOTE
 Tracts A-1-A, A-1-B and A-1-C, Hunt-Spectrum
 Development Site are subject to that certain "DECLARATION
 OF RESTRICTIVE COVENANTS AND EASEMENTS" filed in the
 office of the County Clerk of Bernalillo County, New Mexico
 on _____, 2013 as Document Number 2013_____.

TRACT 1-D-1A-1
 PARK SQUARE
 ADDITION
 Filed March 21, 1990 in
 Plat Book 90C, Page 82

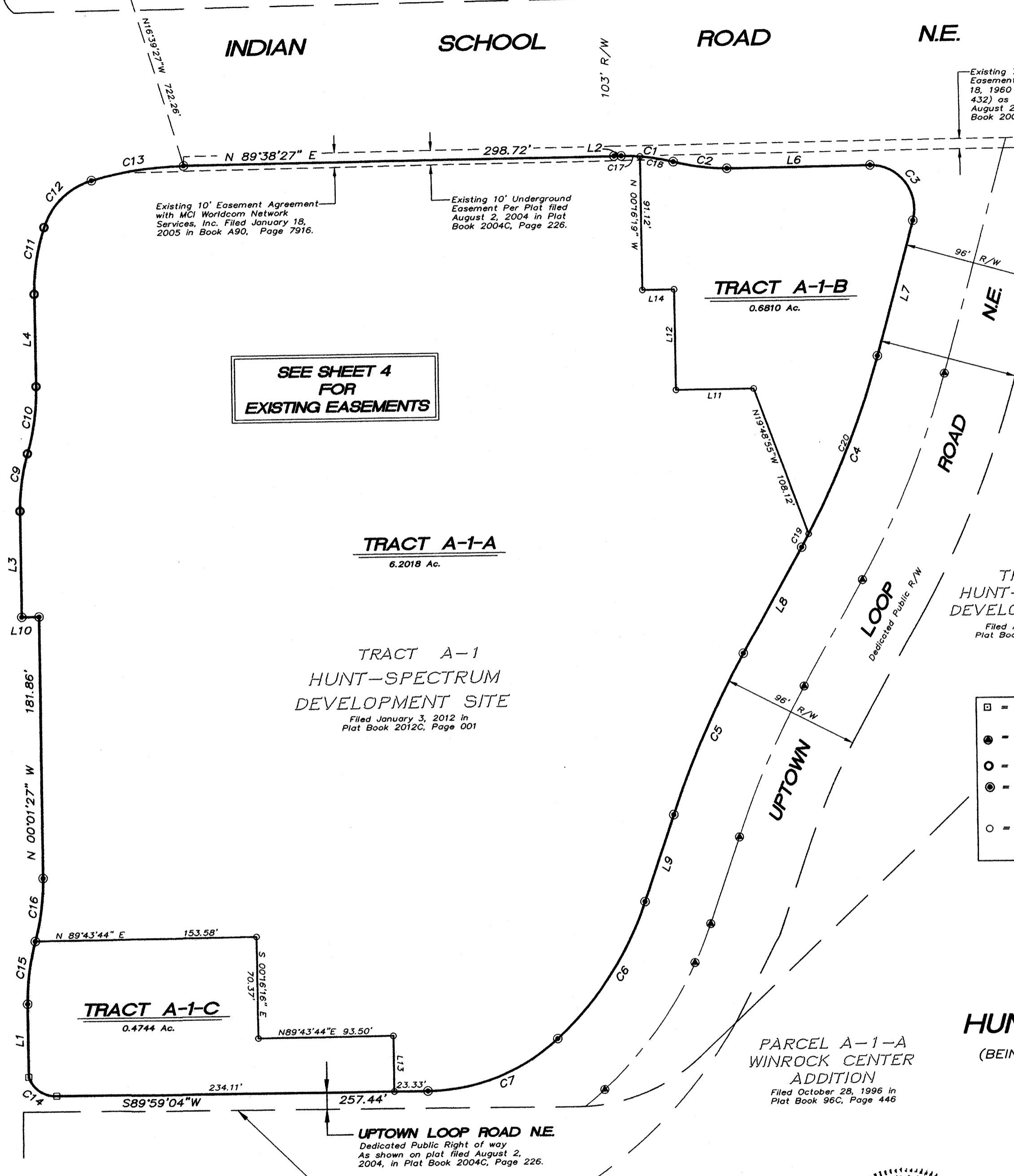
TRACT 1-E-1A-1
 PARK SQUARE
 ADDITION
 Filed August 8, 1990 in
 Plat Book 90C, Page 180

TRACT 1-H-1A
 PARK SQUARE
 ADDITION
 Filed August 8, 1990 in
 Plat Book 90C, Page 180

TRACT 1-F
 PARK SQUARE
 ADDITION
 Filed August 8, 1990 in
 Plat Book 90C, Page 180

AMERICAS
 PARKWAY N.E.

NE
 BOULEVARD
 LOUISIANA
 Variable Width R/W



Existing 7' PNM & MST&T
 Easement Filed: November
 18, 1960 (Bk. D-571, Pg.
 432) as shown on plat filed
 August 2, 2004, in Plat
 Book 2004C, Page 226.

Notes Pertaining to Americas Parkway
 Loop Road as shown and noted on plat
 filed August 2, 2004 in Plat Book 2004C,
 Page 226.

Americas Parkway Loop Road Agreement
 Filed September 24, 2002 in Book A42,
 Page 19471 as Doc. No. 200212292.

Americas Parkway Loop Road Agreement
 Filed December 12, 2002 in Book A46,
 Page 4958 as Doc. No. 2002165390.

Permanent Road Easement
 Americas Parkway Loop Road
 Filed December 12, 2002 in Book A46,
 Page 4959 as Doc. No. 2002165391.

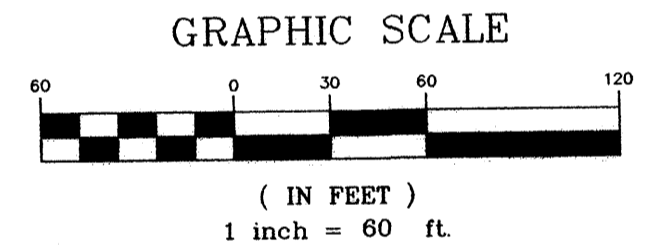
Americas Parkway Loop Road Agreement
 to Construct Subdivision Improvements
 Filed January 6, 2003 in Book A48,
 Page 2664 as Doc. No. 2003002670.

Modified by Extension Agreement
 Filed January 9, 2004 in Book A71,
 Page 2882 as Doc. No. 2004002892.

Public Street right of way dedicated to
 the City of Albuquerque by Plat filed
 August 2, 2004 in Plat Book 2004C,
 Page 226.

TRACT B
 HUNT-SPECTRUM
 DEVELOPMENT SITE
 Filed August 2, 2004 in
 Plat Book 2004C, Page 226

- PROPERTY CORNER LEGEND**
- = Found 5/8" Rebar with cap stamped "LS 6544"
 - = Found 3-1/2" Aluminum Monument stamped Centerline "LS 6544"
 - = Found Chiseled "X" in concrete
 - ⊙ = Found 5/8" Rebar with cap stamped "LS 9750" or PK Nail and brass disc stamped "LS 9750"
 - = Set 5/8" Rebar with cap stamped "LS 9750" at all interior tract corners



BOUNDARY

**PLAT OF
 TRACTS A-1-A, A-1-B AND A-1-C
 HUNT-SPECTRUM DEVELOPMENT SITE**

(BEING A REPLAT OF TRACT A-1, HUNT-SPECTRUM DEVELOPMENT SITE)
 SITUATE WITHIN
 SECTION 18, TOWNSHIP 10 NORTH, RANGE 4 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JULY, 2013

PARCEL A-1-A
 WINROCK CENTER
 ADDITION
 Filed October 28, 1996 in
 Plat Book 96C, Page 446

UPTOWN LOOP ROAD N.E.
 Dedicated Public Right of way
 As shown on plat filed August 2,
 2004, in Plat Book 2004C, Page 226.

PARCEL A-1-A-A
 WINROCK CENTER
 ADDITION
 Filed October 31, 2012 in
 Plat Book 2012C, Page 130

Public Road and Underground
 Utility Easement to the City of
 Albuquerque, a municipal
 corporation, filed May 24, 2004,
 in Book 877, Page 9768, as
 Document No. 2004069960.



120513 SHT 1-3_6-6-13.dwg

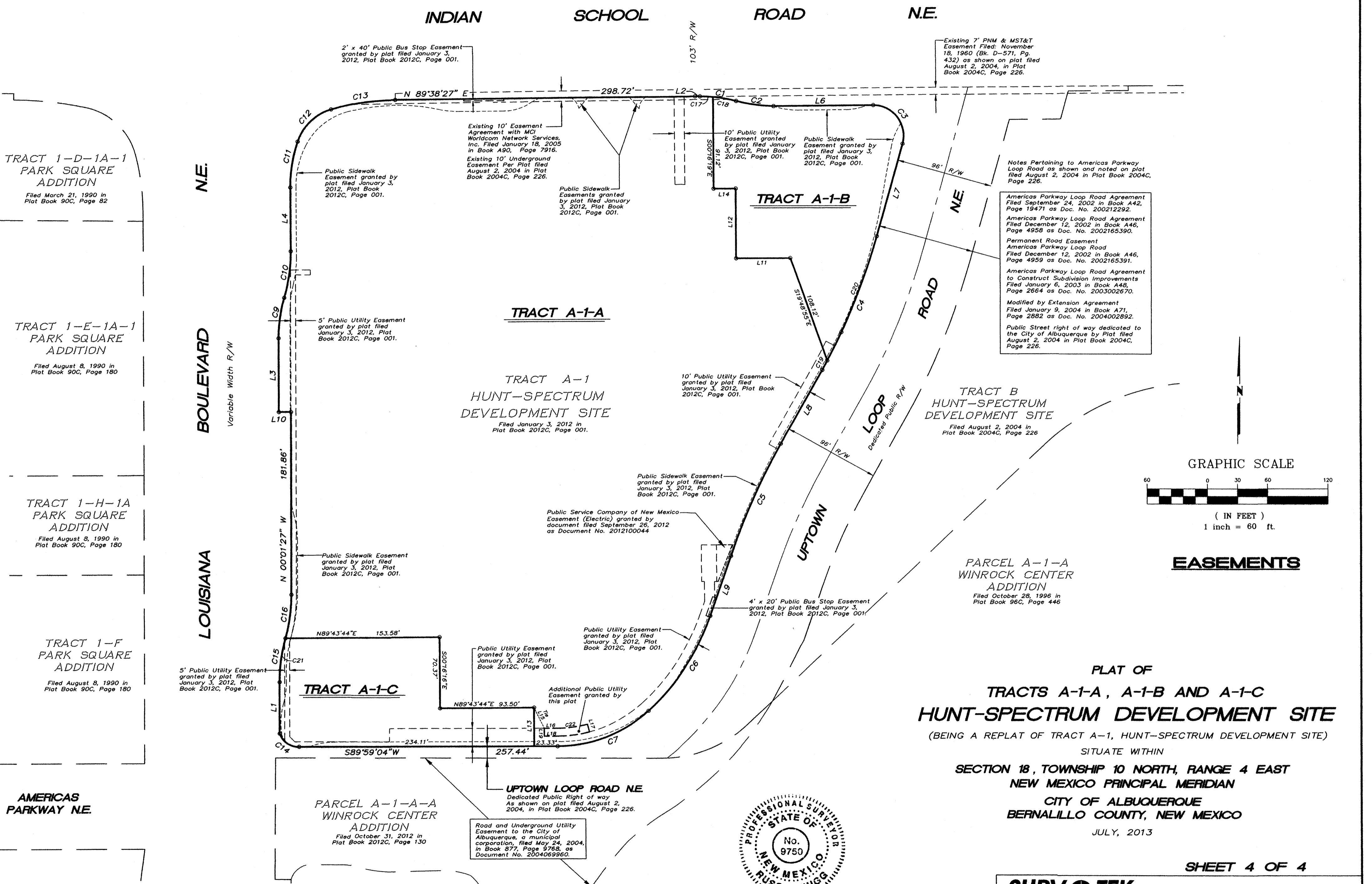
SURV ● TEK, INC.
 Consulting Surveyors
 9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
 Phone: 505-897-3368
 Fax: 505-897-3577

CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C22	30.00'	117.19'	15.08'	29.92'	N82°39'01"E	14°40'06"

LINE TABLE		
LINE	LENGTH	BEARING
L15	22.89	S26°10'25"E
L16	13.41	S89°59'52"E
L17	7.81	S14°41'02"E
L18	13.37	S89°59'04"W
L19	7.81	N00°16'16"W

EASEMENT NOTE

Tracts A-1-A, A-1-B and A-1-C, Hunt-Spectrum Development Site are subject to that certain "DECLARATION OF RESTRICTIVE COVENANTS AND EASEMENTS" filed in the office of the County Clerk of Bernalillo County, New Mexico on _____, 2013 as Document Number 2013_____.



TRACT 1-D-1A-1
PARK SQUARE
ADDITION

TRACT 1-E-1A-1
PARK SQUARE
ADDITION

TRACT 1-H-1A
PARK SQUARE
ADDITION

TRACT 1-F
PARK SQUARE
ADDITION

AMERICAS
PARKWAY NE.

N.E.

BOULEVARD

LOUISIANA

Variable Width R/W

INDIAN SCHOOL ROAD N.E.

TRACT A-1-B

TRACT A-1-A

TRACT A-1
HUNT-SPECTRUM
DEVELOPMENT SITE

TRACT B
HUNT-SPECTRUM
DEVELOPMENT SITE

PARCEL A-1-A
WINROCK CENTER
ADDITION

PLAT OF
TRACTS A-1-A, A-1-B AND A-1-C
HUNT-SPECTRUM DEVELOPMENT SITE

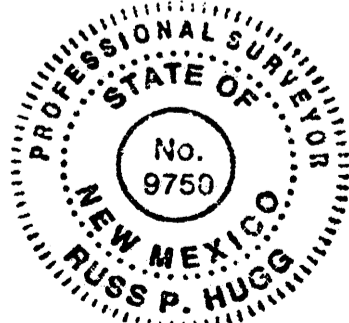
(BEING A REPLAT OF TRACT A-1, HUNT-SPECTRUM DEVELOPMENT SITE)

SITUATE WITHIN
SECTION 18, TOWNSHIP 10 NORTH, RANGE 4 EAST
NEW MEXICO PRINCIPAL MERIDIAN

CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

JULY, 2013

SHEET 4 OF 4



120513 SHT 4_6-6-13.dwg

SURVOTEK, INC.
Consulting Surveyors
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3366
Fax: 505-897-3377