

Location Map
Zone Atlas Map No. K-21-Z

Subdivision Data:

GROSS SUBDIVISION ACREAGE: 8.2403 ACRES ±
 ZONE ATLAS INDEX NO: K-21-Z
 NO. OF TRACTS CREATED: 1
 NO. OF LOTS CREATED: 0
 MILES OF FULL-WIDTH STREETS CREATED: 0
 DATE OF SURVEY: OCTOBER 2008

Disclosure Statement:

THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING TRACT INTO ONE NEW TRACT, TO VACATE FOUR EXISTING EASEMENTS AND TO GRANT A NEW PUBLIC WATERLINE EASEMENT.

Notes:

1. BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1983).
2. ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
6. THIS PROPERTY LIES WITHIN SECTION 21, TOWNSHIP 10 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
4. PLAT SHOWS ALL EASEMENTS OF RECORD.
5. SP NO. 2008420396.

Easements

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.

PUBLIC UTILITY EASEMENTS SHOWN (AND NOTED AS PUE'S) ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

1. PNM (ELECTRIC) FOR INSTALLATION, MAINTENANCE, AND SERVICE OF UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
2. PNM (GAS) FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
3. QWEST CORPORATION FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
4. COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHGEAR DOOR AND FIVE FEET (5') ON EACH SIDE.

IN APPROVING THIS PLAT, PNM (ELECTRIC AND GAS) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.

THE UNDERSIGNED UTILITIES CONSENT TO THE VACATION OF EASEMENTS SHOWN HEREON AND RELEASE ANY CLAIM TO ANY IMPROVEMENTS WITHIN THOSE EASEMENTS.

RECORDING STAMP

Plat of
 Tract 2A-5A1-A1-A
Horne Development Addition

Albuquerque, Bernalillo County, New Mexico
 November 2008

Project No. 1007320

Application No. 08DRB-

Utility Approvals

PNM (ELECTRIC)	DATE
PNM (GAS)	DATE
QWEST TELECOMMUNICATIONS	DATE
COMCAST	DATE

City Approvals

<i>[Signature]</i> CITY SURVEYOR	11-18-08 DATE
REAL PROPERTY DIVISION	DATE
ENVIRONMENTAL HEALTH DEPARTMENT	DATE
TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT	DATE
A.B.C.W.U.A.	DATE
PARKS AND RECREATION DEPARTMENT	DATE
AMAFCA	DATE
CITY ENGINEER	DATE

DRB CHAIRPERSON, PLANNING DEPARTMENT

TREASURER'S CERTIFICATE

Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED NEW MEXICO PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF THE MINIMUM STANDARDS FOR LAND SURVEYS AS ADOPTED BY THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

[Signature] 11/13/08
 LARRY W. MEDRANO
 N.M.P.S. No. 11993
 DATE



PRECISION SURVEYS, INC.

8500-A Jefferson Street, NE
 Albuquerque, NM 87113

866.442.8011 TOLL FREE
 505.856.5700 PHONE
 505.856.7900 FAX

Legal Description

TRACT NUMBERED TWO-A-FIVE-A-ONE-A-ONE (2A-5A1-A1), OF HORNE DEVELOPMENT ADDITION, AS THE SAME IS SHOWN AND DESIGNATED ON THE REPLAT OF SAID ADDITION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON OCTOBER 6, 1993, IN PLAT BOOK 93-C, FOLIO 291, CONTAINING 8.2403 ACRES, MORE OR LESS, NOW COMPRISING TRACT 2A-5A1-A1-A, HORNE DEVELOPMENT ADDITION.

Solar Note:

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERRECTED ON THE LOTS OF PARCELS WITHIN THE AREA OF THIS PLAT.

Free Consent and Dedication

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

[Signature] 11/14/08
 Michael T. Miller, Lowe's Home Centers Inc.
 Vice President, Real Estate Acquisition
 DATE

Acknowledgment

STATE OF ILLINOIS) SS
 COUNTY OF DUPAGE)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 14 DAY OF November 2008 BY MICHAEL T. MILLER, VICE PRESIDENT, REAL ESTATE ACQUISITION, LOWE'S HOME CENTERS, INC.

BY *[Signature]* MY COMMISSION EXPIRES: 3-28-09
 NOTARY PUBLIC

Notes

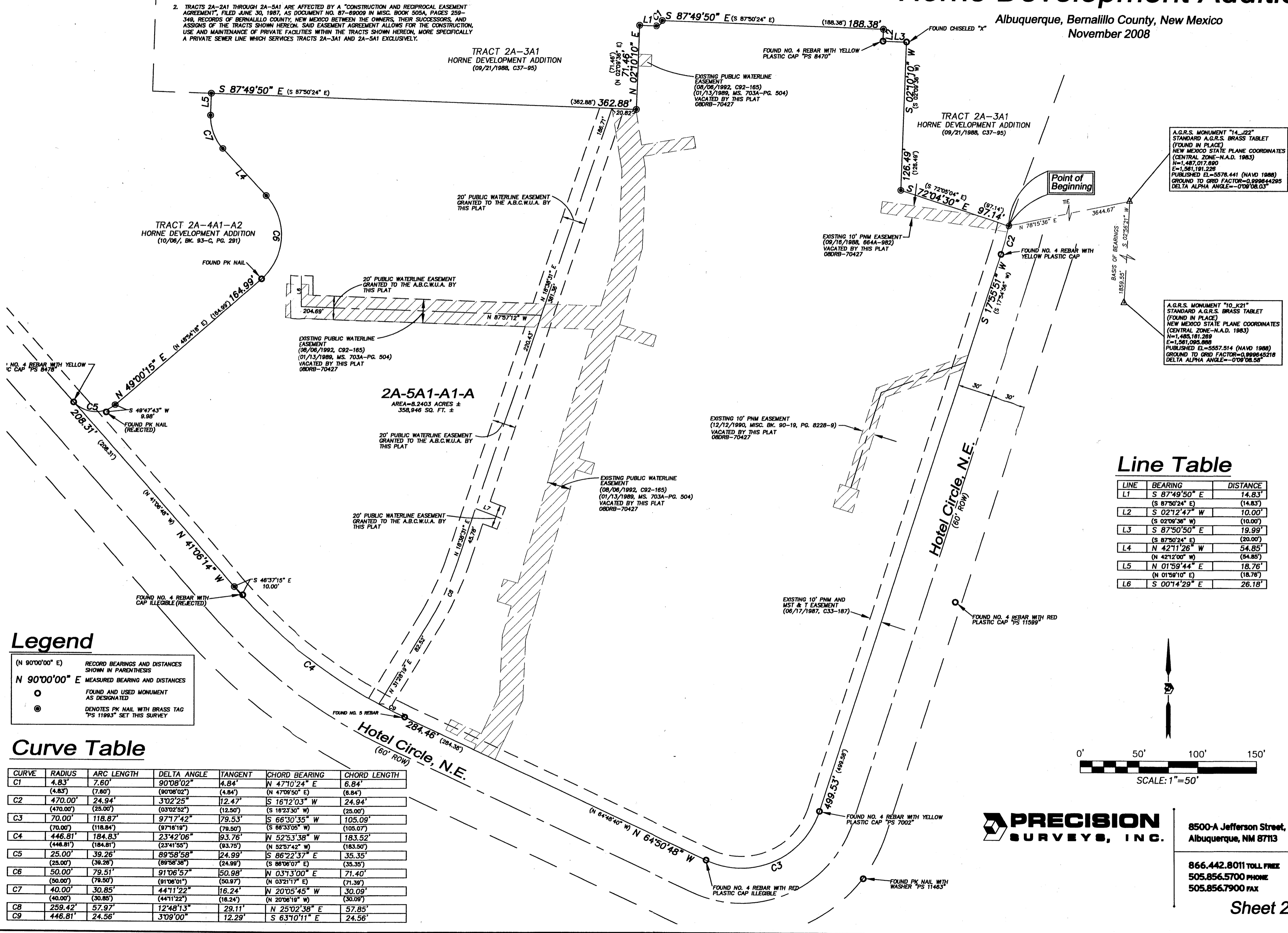
1. AN EXISTING EASEMENT FOR THE PURPOSE OF PRIVATE ACCESS, DRAINAGE AND PARKING ON, OVER AND ACROSS TRACTS 2A-2A, 2A-3A1, 2A-4A1 AND 2A-5A1 WAS GRANTED BY PLAT FILED 6/26/1992, C34-7. SAID EASEMENT IS A RECIPROCAL EASEMENT BETWEEN THE AFORESAID TRACTS AND IS IN ACCORDANCE WITH THE APPROVED SITE DEVELOPMENT PLAN (2-1681-3).
2. TRACTS 2A-2A1 THROUGH 2A-5A1 ARE AFFECTED BY A "CONSTRUCTION AND RECIPROCAL EASEMENT AGREEMENT", FILED JUNE 30, 1987, AS DOCUMENT NO. 87-89009 IN MISC. BOOK 505A, PAGES 259-348, RECORDS OF BERNALILLO COUNTY, NEW MEXICO BETWEEN THE OWNERS, THEIR SUCCESSORS, AND ASSIGNS OF THE TRACTS SHOWN HEREON. SAID EASEMENT AGREEMENT ALLOWS FOR THE CONSTRUCTION, USE AND MAINTENANCE OF PRIVATE FACILITIES WITHIN THE TRACTS SHOWN HEREON, MORE SPECIFICALLY A PRIVATE SEWER LINE WHICH SERVICES TRACTS 2A-3A1 AND 2A-5A1 EXCLUSIVELY.

RECORDING STAMP

Plat of
Tract 2A-5A1-A1-A

Horne Development Addition

Albuquerque, Bernalillo County, New Mexico
November 2008



A.G.R.S. MONUMENT "14_J22"
STANDARD A.G.R.S. BRASS TABLET
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1983)
N=1,487,017.890
E=1,561,191.228
PUBLISHED EL=5576.441 (NAVD 1988)
GROUND TO GRID FACTOR=0.999844295
DELTA ALPHA ANGLE=-0.00'08.03"

A.G.R.S. MONUMENT "10_K21"
STANDARD A.G.R.S. BRASS TABLET
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1983)
N=1,485,161.289
E=1,561,095.898
PUBLISHED EL=5557.514 (NAVD 1988)
GROUND TO GRID FACTOR=0.999845218
DELTA ALPHA ANGLE=-0.00'08.58"

Line Table

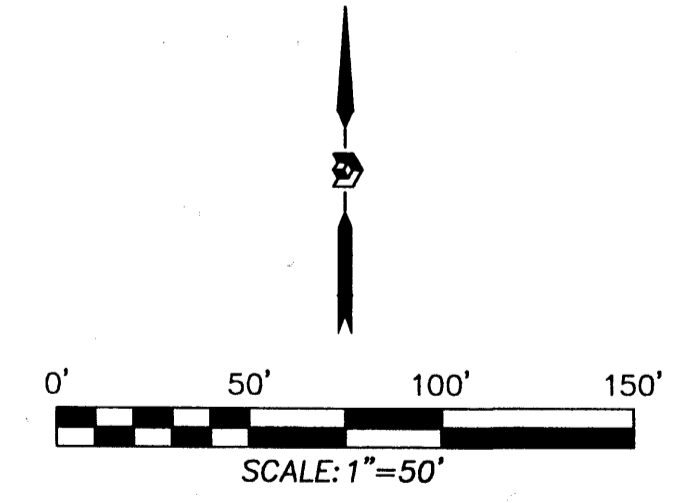
LINE	BEARING	DISTANCE
L1	S 87°49'50" E (S 87°50'24" E)	14.83'
L2	S 02°12'47" W (S 02°09'36" W)	10.00'
L3	S 87°50'50" E (S 87°50'24" E)	19.99'
L4	N 42°11'26" W (N 42°12'00" W)	54.85'
L5	N 01°59'44" E (N 01°59'10" E)	18.76'
L6	S 00°14'29" E	26.18'

Legend

- (N 90°00'00" E) RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESES
- N 90°00'00" E MEASURED BEARING AND DISTANCES
- FOUND AND USED MONUMENT AS DESIGNATED
- DENOTES PK NAIL WITH BRASS TAG "PS 11993" SET THIS SURVEY

Curve Table

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	TANGENT	CHORD BEARING	CHORD LENGTH
C1	4.83' (4.83')	7.60' (7.60')	90°08'02" (90°08'02")	4.84' (4.84')	N 47°10'24" E (N 47°09'50" E)	6.84' (6.84')
C2	470.00' (470.00')	24.94' (25.00')	3°02'25" (03°02'52")	12.47' (12.50')	S 16°12'03" W (S 16°23'30" W)	24.94' (25.00')
C3	70.00' (70.00')	118.87' (118.84')	97°17'42" (97°16'19")	79.53' (78.60')	S 66°30'35" W (S 66°33'05" W)	105.09' (105.07')
C4	446.81' (446.81')	184.83' (184.81')	23°42'06" (23°41'58")	93.76' (93.75')	W 52°53'38" W (N 52°57'42" W)	183.52' (183.50')
C5	25.00' (25.00')	39.26' (39.26')	89°58'58" (89°58'38")	24.99' (24.99')	S 86°22'37" E (S 86°06'07" E)	35.35' (35.35')
C6	50.00' (50.00')	79.51' (78.50')	91°06'57" (91°06'01")	50.98' (50.97')	N 03°13'00" E (N 03°21'17" E)	71.40' (71.39')
C7	40.00' (40.00')	30.85' (30.85')	44°11'22" (44°11'22")	16.24' (16.24')	N 20°05'45" W (N 20°06'19" W)	30.09' (30.09')
C8	259.42' (259.42')	57.97' (57.97')	12°48'13" (12°48'13")	29.11' (29.11')	N 25°02'38" E (S 63°10'11" E)	57.85' (57.85')
C9	446.81' (446.81')	24.56' (24.56')	3°09'00" (3°09'00")	12.29' (12.29')	S 63°10'11" E (S 63°10'11" E)	24.56' (24.56')

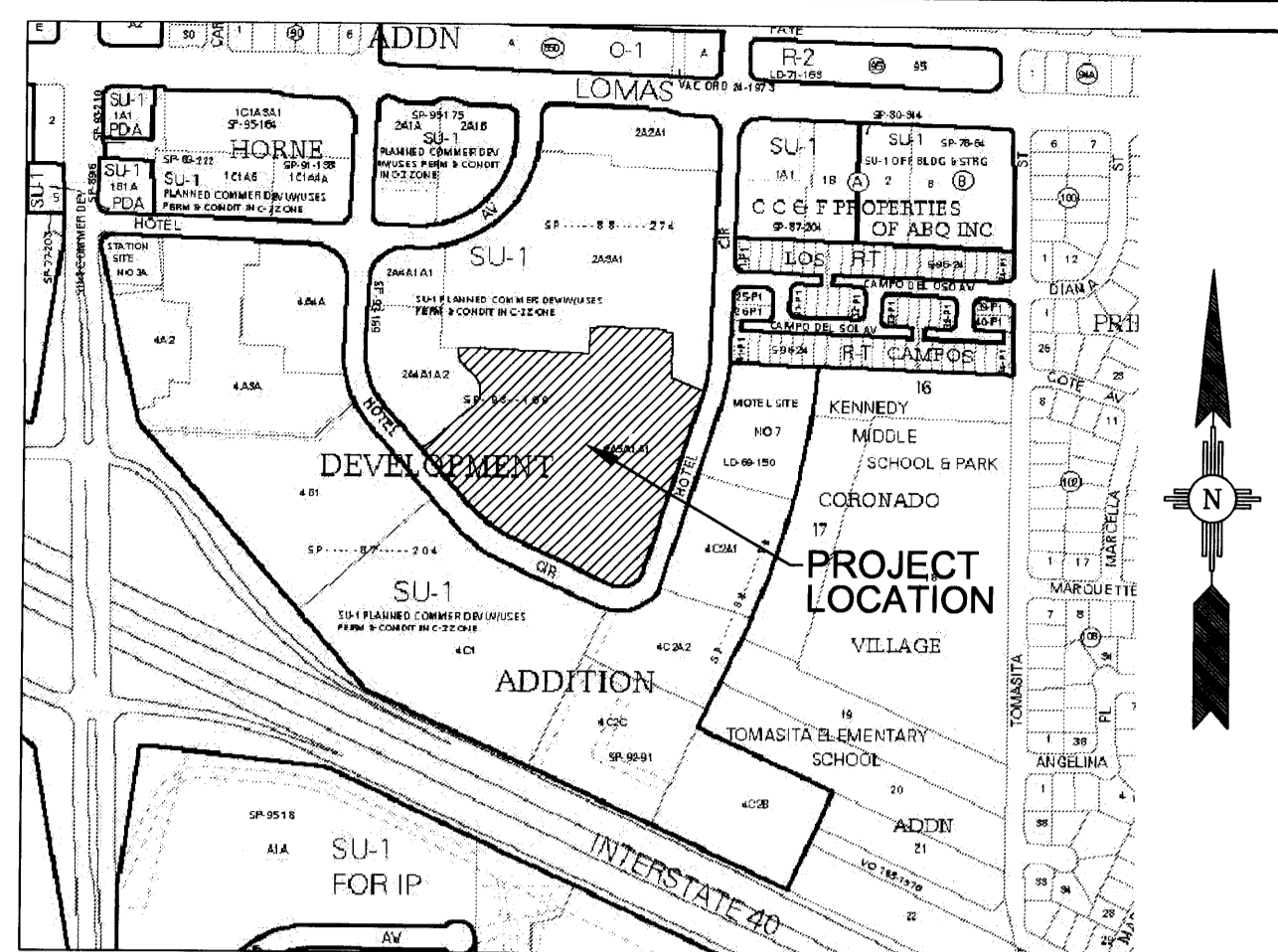


PRECISION SURVEYS, INC.

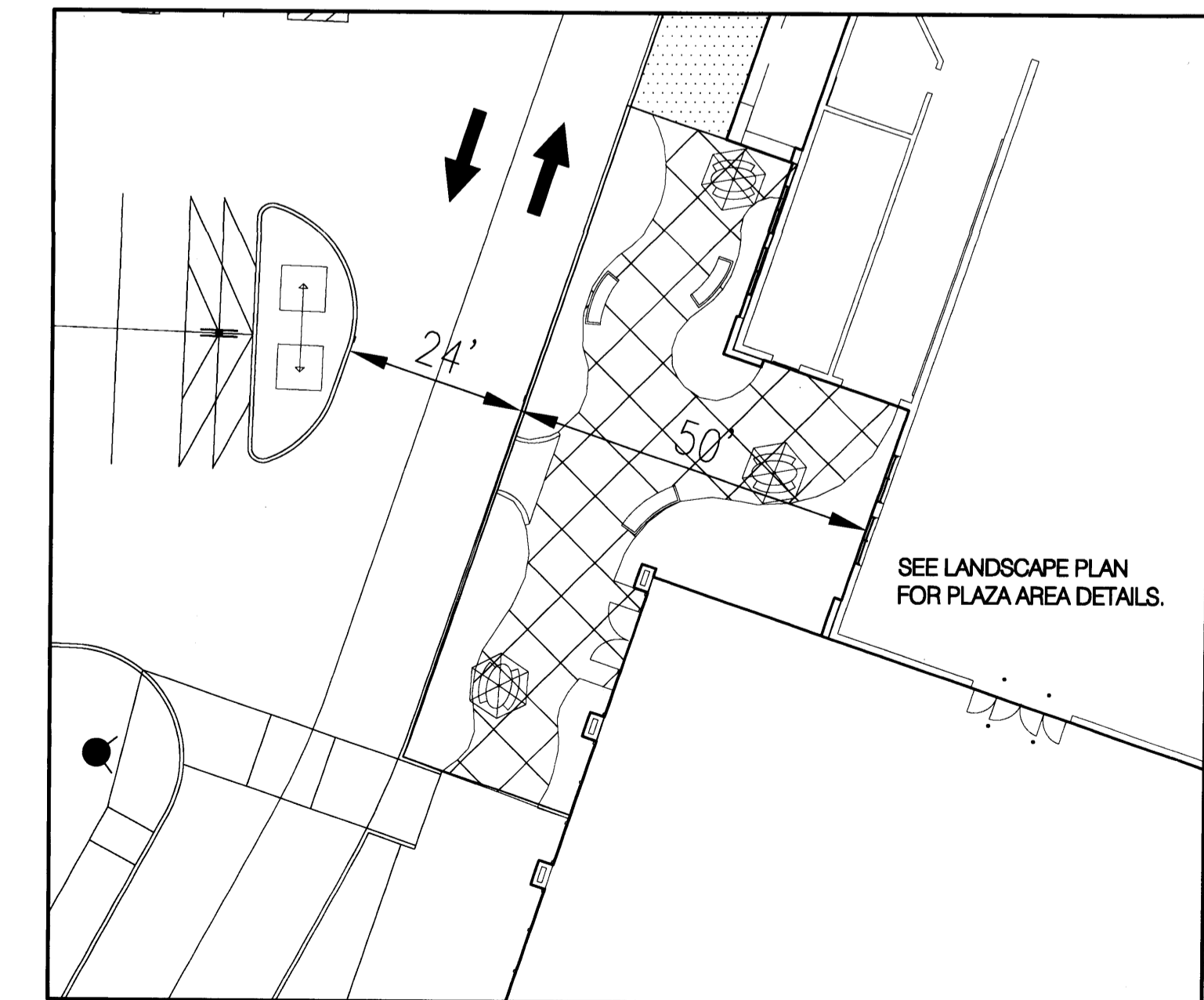
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VICINITY MAP
ZONE ATLAS PAGE K-21-Z



1 PLAZA DETAIL
SCALE: 1"=20'

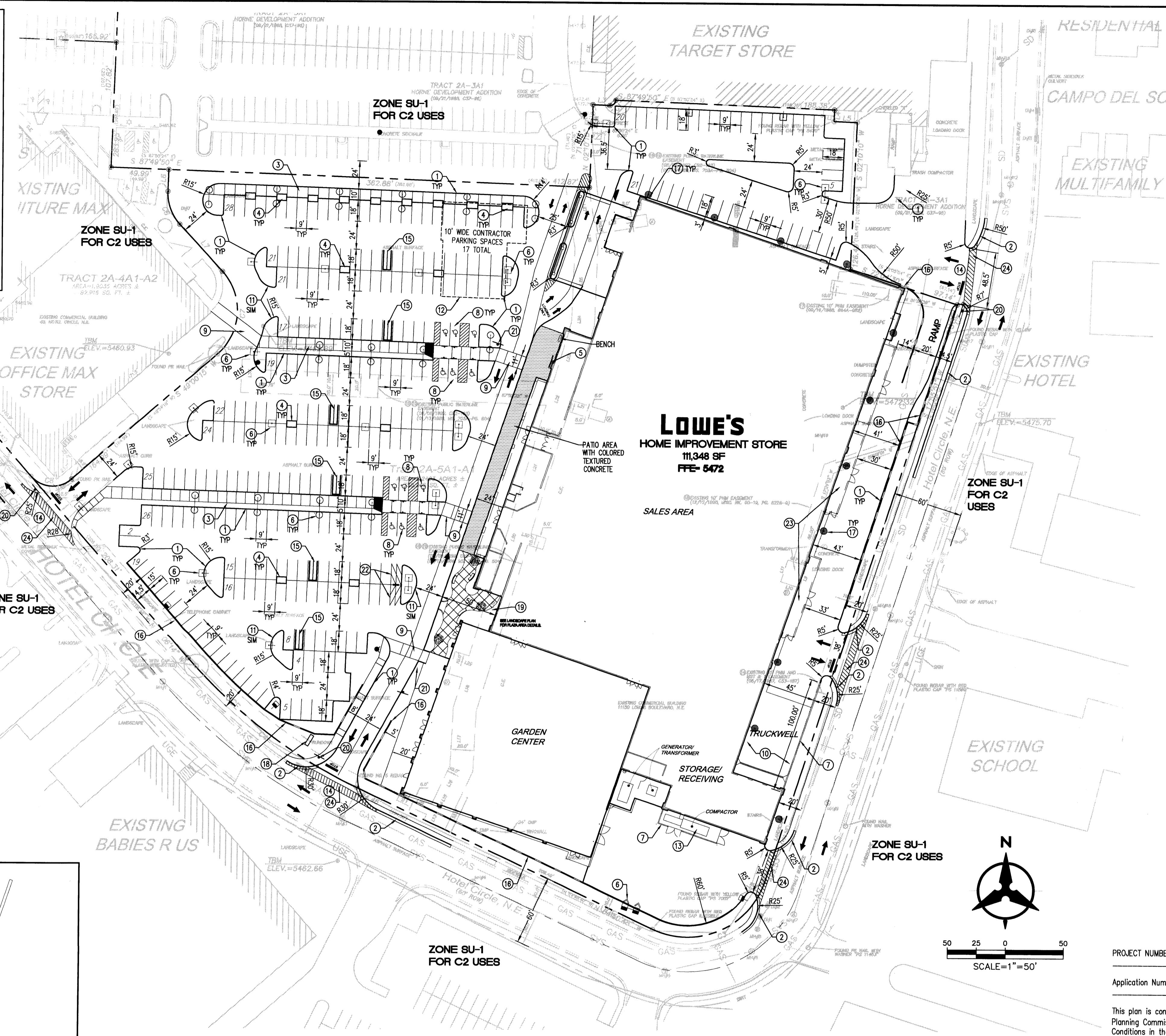
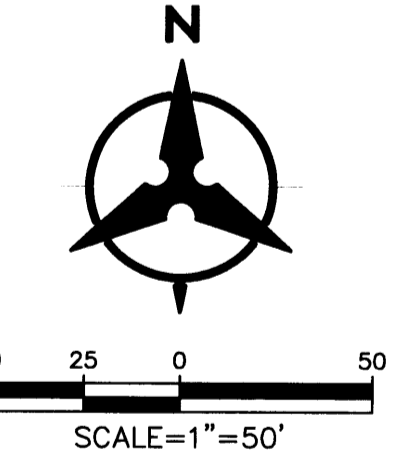
SEE LANDSCAPE PLAN FOR PLAZA AREA DETAILS.

LEGEND

- PROPERTY LINE
- 6" CONCRETE CURB
- COA STD CURB & GUTTER
- SCREEN WALL
- SIDEWALK
- WALL MOUNTED LIGHT (20' HIGH)
- TYPICAL 16' HIGH POLE MOUNTED LIGHT PER 4/C002
- TYPICAL 20' HIGH POLE MOUNTED LIGHT PER 5/C002
- EXISTING CURB & GUTTER
- 6" CONTOUR BENCH - RED
- TABLE WITH UMBRELLA

Use	Building SF	PARKING CALCULATIONS				PLAZA REQUIREMENTS			
		Required	Provided	Disabled	Motorcycle	Plaza SF Required	Plaza SF Provided		
Home Improvement	111,348	427							
Garden Center	26,568	67	325	12	12	6	4	25	
Total	137,916	494	325	12	12	6	4	25	

Parking Calculation Notes:
 1. Parking provided includes disabled parking spaces.
 2. Due to the nature of the proposed use it is anticipated that the need for motorcycle spaces is very minimal.
 3. Parking provided is on this tract only. There is an existing shared parking agreement with the adjacent tracts.
 4. Required parking, disabled parking, motorcycle parking and bicycle parking per zoning code section 14-16-3-1. Requirements as follows:
 Regular Retail Parking:
 1space/200 SF - for 15,000SF = 75 spaces
 1space/250 SF - for 45,000SF = 180 spaces
 1space/300 SF - for > 60,000SF = 172spaces
 Total of 427 spaces
 Garden Center Parking:
 1space/400 SF = 67spaces
 Disabled Parking:
 494 regular spaces required = 12 disabled spaces required
 Motorcycle Parking:
 494 regular spaces required = 6 disabled spaces required
 Bike Parking:
 1bike space/20 regular spaces required = 25bike spaces required



SHEET INDEX

C-001	SITE PLAN FOR BUILDING PERMIT
C-002	EXISTING & PROPOSED CONDITIONS EXHIBIT
C-003	SITE PLAN DETAILS
L-101	LANDSCAPE PLAN
L-102	LANDSCAPE DETAILS
C-101	CONCEPTUAL GRADING & DRAINAGE PLAN
C-201	CONCEPTUAL UTILITY PLAN
A-101	ARCHITECTURAL BUILDING ELEVATIONS

- GENERAL NOTES**
- PLEASE SEE SHEET C-002 FOR COMPARISON OF EXISTING & PROPOSED CONDITIONS.
 - MAINTENANCE AGREEMENT BETWEEN THE CITY OF ALBUQUERQUE & OWNER SHALL BE SIGNED PER LARGE RETAIL FACILITY ORDINANCE.
 - A BLANKET CROSS ACCESS, CROSS DRAINAGE AND CROSS PARKING EASEMENT IS IN PLACE.
 - INTERNAL HANDICAP RAMPS SHALL BE PROVIDED AT ALL PEDESTRIAN CROSSWALKS. SLOPE SHALL NOT EXCEED 12:1 ON ANY RAMPS.
 - TRUCKS MAY NOT BE MOVED OR LEFT IDLING BETWEEN HOURS OF 10PM & 6:30AM IF THE TRUCK BAYS ARE LOCATED WITHIN 300' OF A RESIDENTIAL STRUCTURE.
 - ALL EXISTING TREES NOT SHOWN AS "EXISTING TO REMAIN" SHALL BE REMOVED. SEE LANDSCAPE PLANS FOR DETAILS.

- KEYED NOTES**
- 6" CONCRETE CURB.
 - COA STANDARD CURB & GUTTER.
 - 10' WIDE PATTERNED CONCRETE SIDEWALK.
 - 6"x9" LANDSCAPE PLANTER.
 - BIKE RACK PER 3/C-003.
 - LIGHT POLE PER 4/C-003 OR 5/C-003.
 - 8' HIGH SPLIT FACE CMU SCREEN WALL PER 10/C-003.
 - HANDICAP PARKING SPACE PER 2/C-003.
 - COLORLED, TEXTURED, CONCRETE CROSSWALK.
 - LOADING DOCK.
 - END ISLAND PLANTER PER 1/C-003.
 - 10' WIDE CONTRACTOR PARKING SPACES. TOTAL OF 17.
 - TRASH COMPACTOR.
 - NEW FULL ACCESS DRIVEWAY.
 - CART CORRAL, WELDED METAL PIPE, PAINTED TO MATCH BUILDING (LOWES BLUE).
 - LIGHT BIEGE STUCCO FINISH RETAINING WALL. SEE 11/C-003 SEE GRADING AND DRAINAGE PLAN FOR HEIGHT.
 - WALL MOUNTED LIGHT.
 - MONUMENT SIGN. SEE ARCHITECTURAL FOR ELEVATION.
 - PLAZA AREA (2,954 SF) SEE DETAIL 1, THIS SHEET.
 - STOP SIGN PER 7/C-003.
 - PEDESTRIAN CROSSING SIGN PER 8/C-003.
 - MOTORCYCLE PARKING PER 9/C-003.
 - PALLET AND APPLIANCE RECYCLING AREA
 - ADA ACCESSIBLE PATTERNED CONCRETE OR THERMOPLASTIC CROSSWALK TO BE BUILT UNDER SEPARATE WORK ORDER.

PROJECT NUMBER: _____
 Application Number: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division	_____	Date	_____
Water Utility Department	_____	Date	_____
Parks and Recreation Department	_____	Date	_____
City Engineer	_____	Date	_____
Solid Waste Management	_____	Date	_____
DRB Chairperson, Planning Department	_____	Date	_____

PROJECT TEAM
 Gary Wyatt Sr. VP, Real Estate, Engr & Const. JUN 5, 2008
 Dan Moylan Real Estate Manager REVISIONS OCTOBER 31, 2008
 Matthew Smiley Site Development Manager
 Brian Neill Real Estate Director

Bohannon & Huston
 7500 Jefferson St. NE Albuquerque, NM 87109-4335
 ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

LOWE'S HOME CENTERS, INC.
 1605 CURTIS BRIDGE ROAD WILKESBORO, NC 28697
 336.658.4000 (V) 336.658.3257 (F)

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LOWE'S

LOWE'S OF:
 Market Center East
 Albuquerque, NM

PROJECT No: 07-028 DRAWN BY: BO CHECKED BY: BUS/IRM

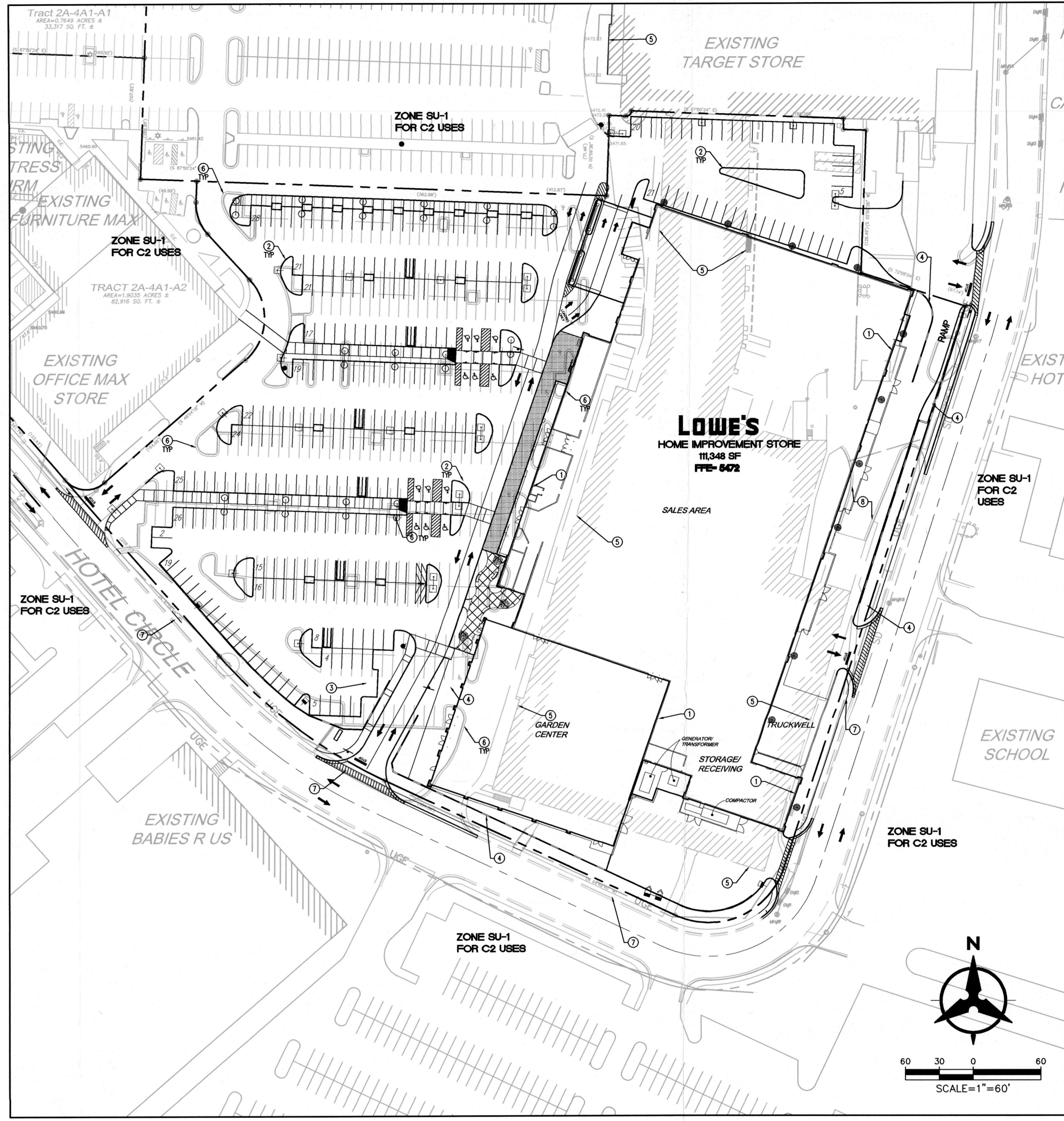
SITE PLAN FOR BUILDING PERMIT

DRAWING NUMBER: **C-001**



EXISTING CONDITIONS

THIS VIEW SHOWS AN AERIAL PHOTO AND THE SURVEY LINWORK. THIS PLAN IS AN EXHIBIT OF EXISTING CONDITIONS TO BE USED FOR INFORMATION ONLY.



PROPOSED CONDITIONS OVERLAYED ON EXISTING CONDITIONS

THIS VIEW SHOWS THE SURVEY AND THE PROPOSED SITE PLAN. THIS IS TO BE USED AS AN EXHIBIT TO COMPARE EXISTING AND PROPOSED CONDITIONS AND IS FOR INFORMATION ONLY.

KEYED NOTES

1. PROPOSED BUILDING.
2. PROPOSED PARKING ISLAND
3. PROPOSED PLAZA
4. PROPOSED RETAINING WALL
5. EXISTING BUILDING
6. EXISTING PARKING ISLAND
7. EXISTING PUBLIC SIDEWALK TO REMAIN
8. EXISTING RETAINING WALL

LEGEND

- PROPERTY LINE
- 6" CONCRETE CURB
- COA STD CURB & GUTTER
- SCREEN WALL
- SIDEWALK
- WALL MOUNTED LIGHT (20' HIGH)
- TYPICAL 15' HIGH POLE MOUNTED LIGHT PER 4/C002
- TYPICAL 20' HIGH POLE MOUNTED LIGHT PER 5/C002
- EXISTING CURB & GUTTER

FOR INFORMATION ONLY

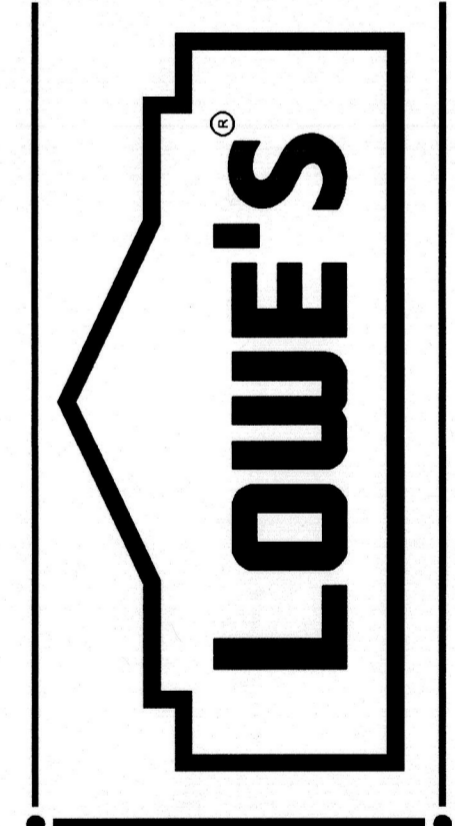
PROJECT TEAM	DRAWING DATE
Gary Wyatt Sr. VP Real Estate, Eng & Const.	JUNE 5, 2008
Dan Moylean Real Estate Manager	REVISED
Matthew Smiley Site Development Manager	OCTOBER 31, 2008
Bram Neil Real Estate Director	

Bohannon & Huston

County 1 7500 Jefferson St. NE Albuquerque, NM 87106-4335
 ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

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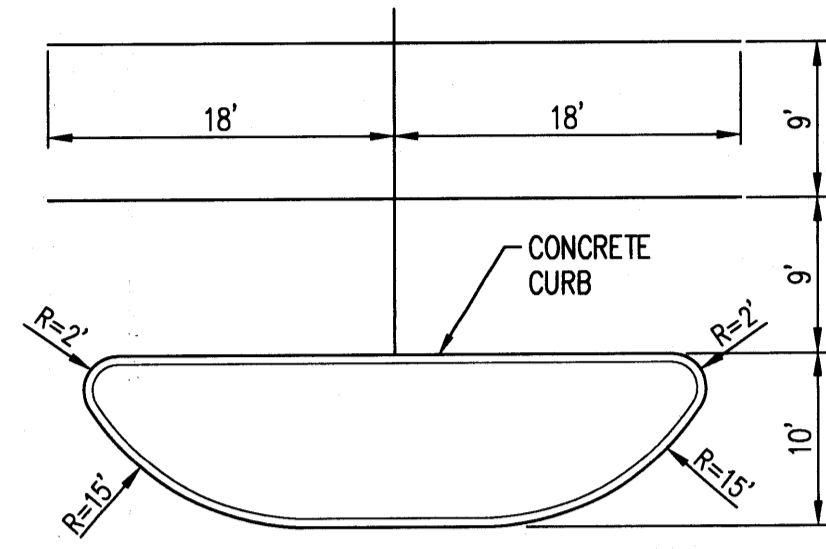


EXISTING & PROPOSED CONDITIONS EXHIBIT

LOWE'S OF:
 Market Center East
 Albuquerque, NM

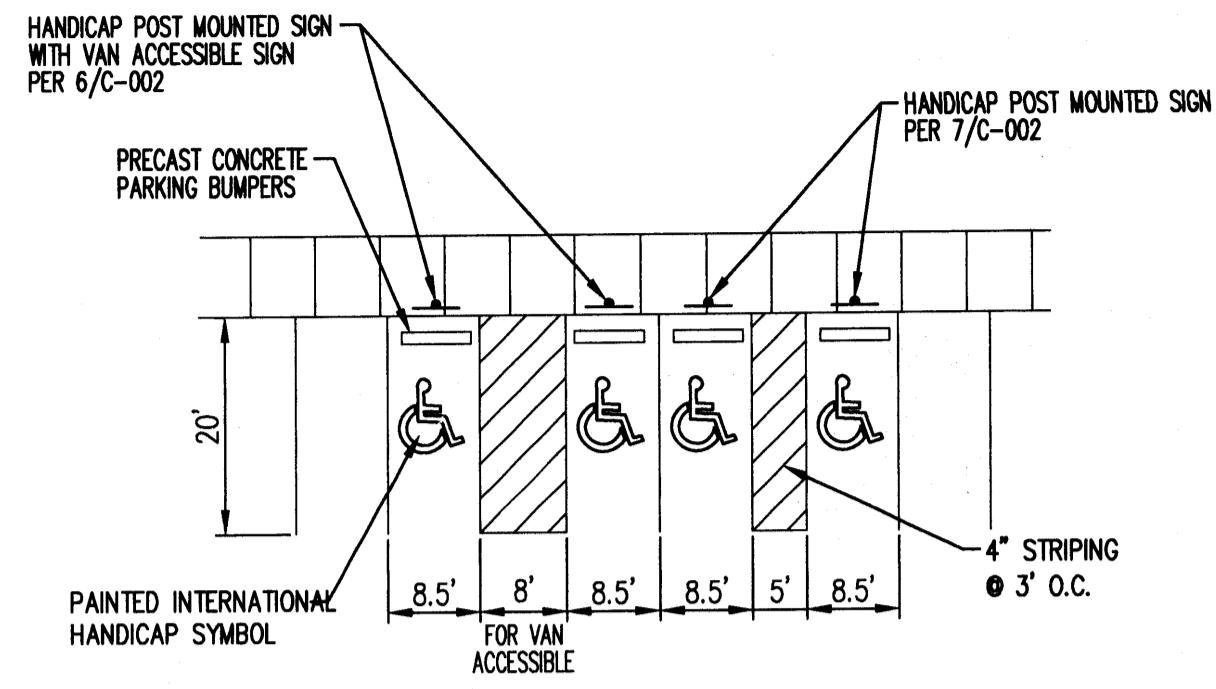
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DRAWING NUMBER:
C-002

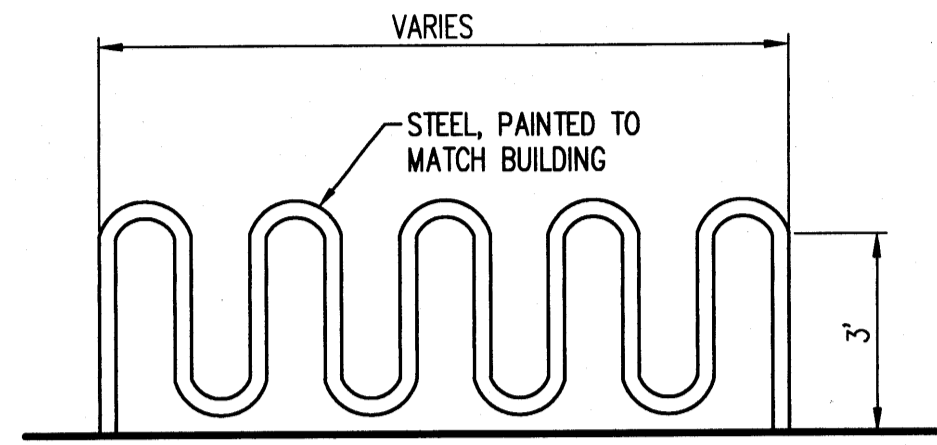


1 TYPICAL END PLANTER ISLAND & PARKING LOT STRIPING
NTS

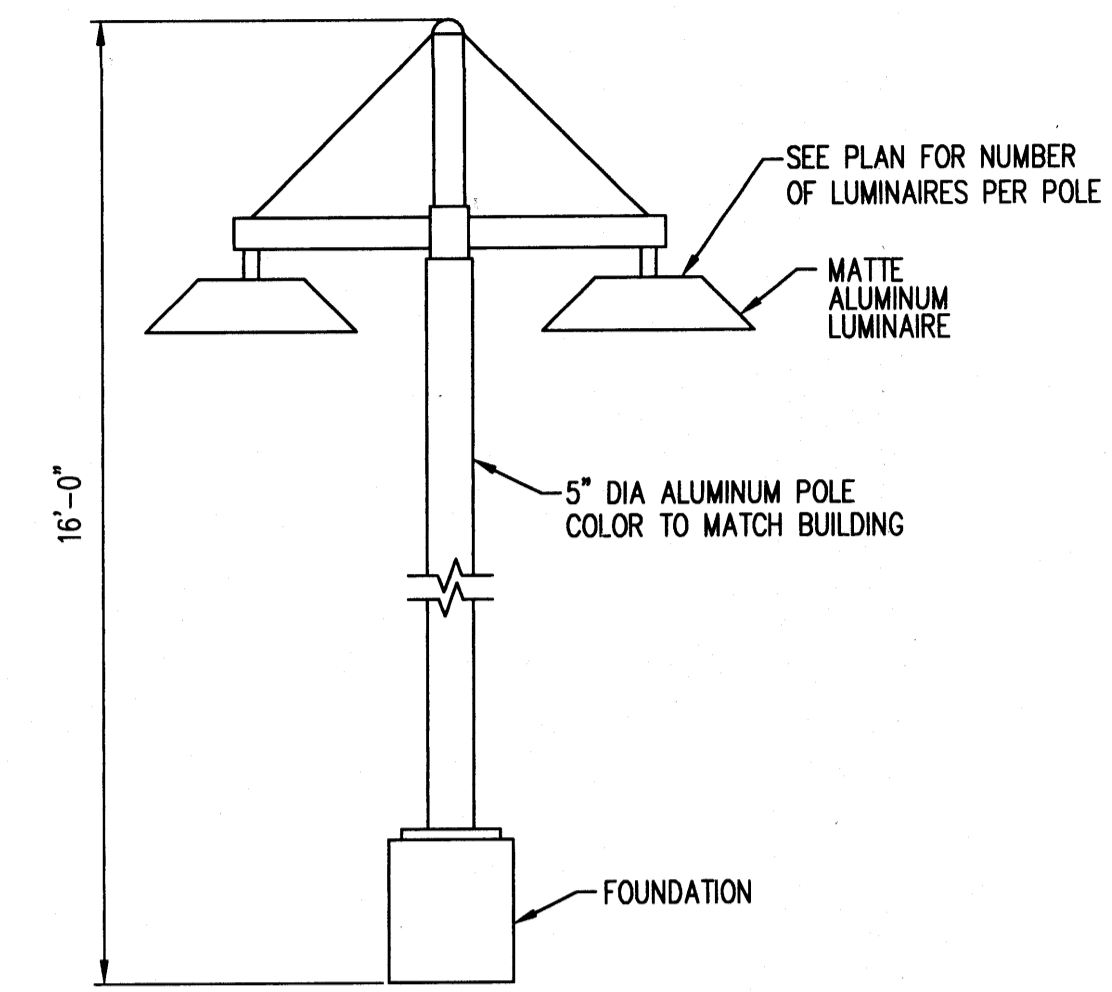
NOTE: SEE GRADING PLAN FOR WATER HARVESTING ISLAND DETAIL



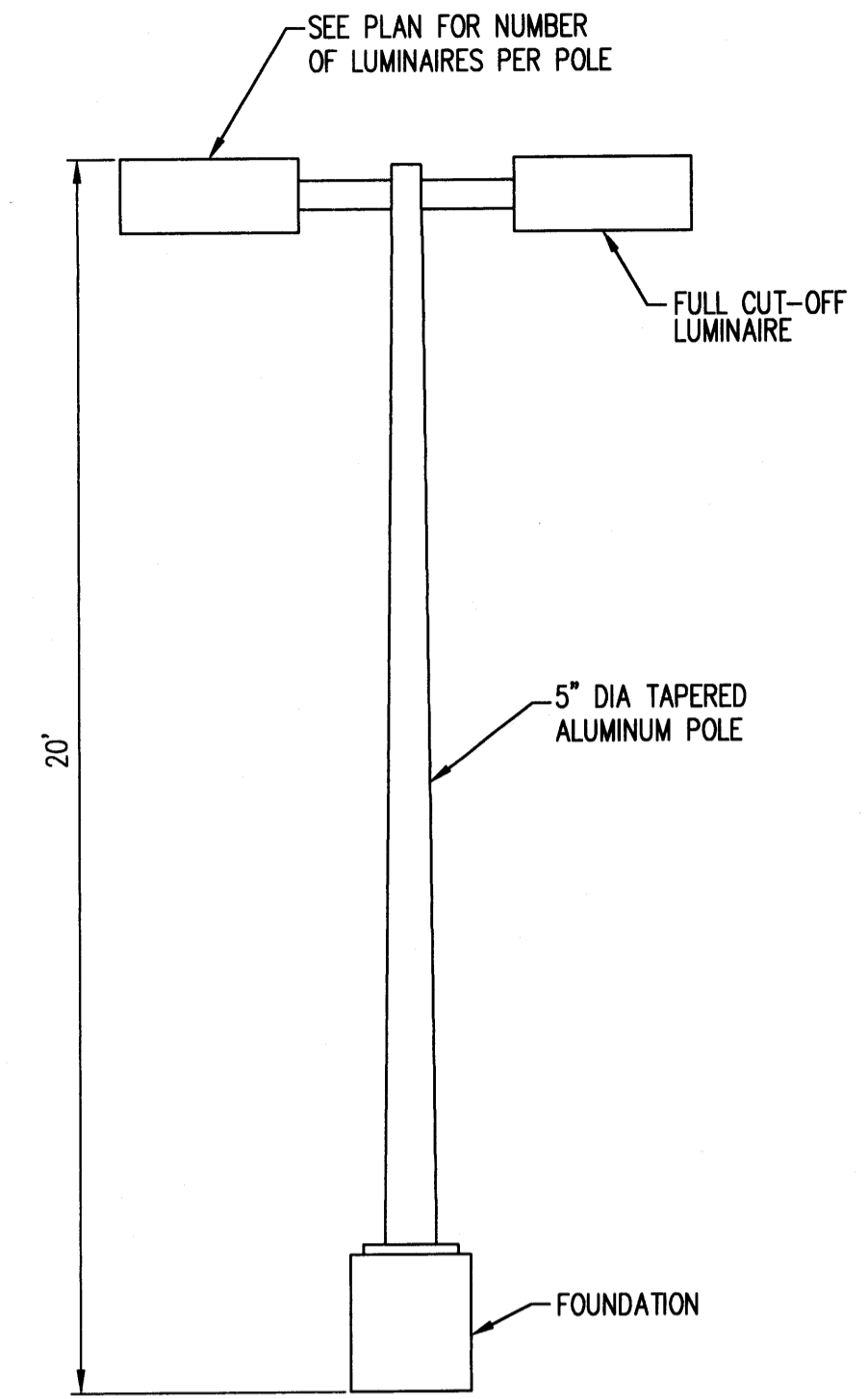
2 TYPICAL HANDICAP PARKING DETAIL
NTS



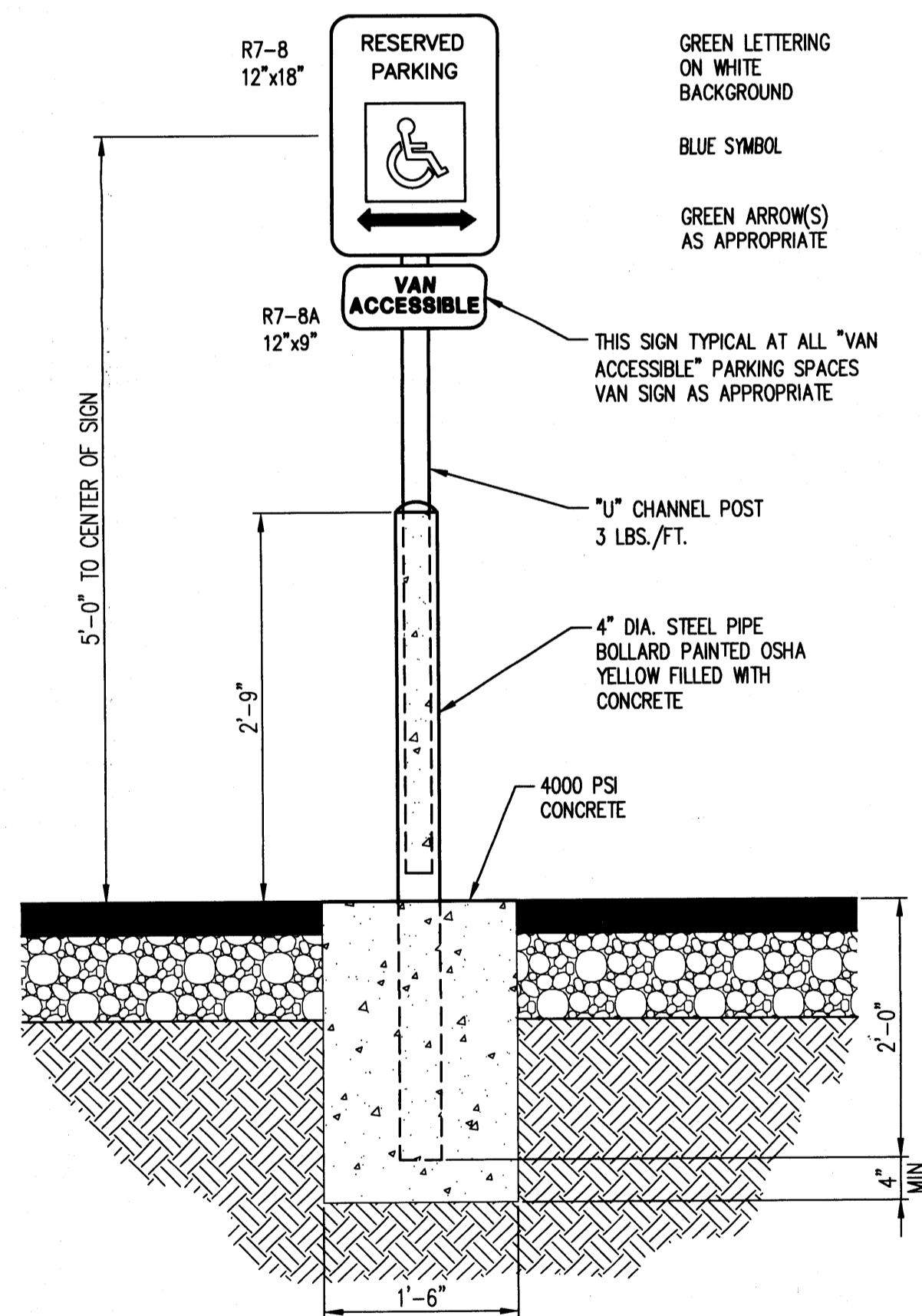
3 BIKE RACK
NTS



4 DECORATIVE POLE MOUNTED LIGHT
NTS

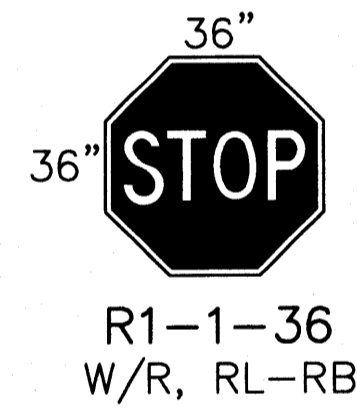


5 TYPICAL POLE MOUNTED LIGHT
NTS



6 HANDICAP PARKING SIGN MOUNTING DETAIL
NTS

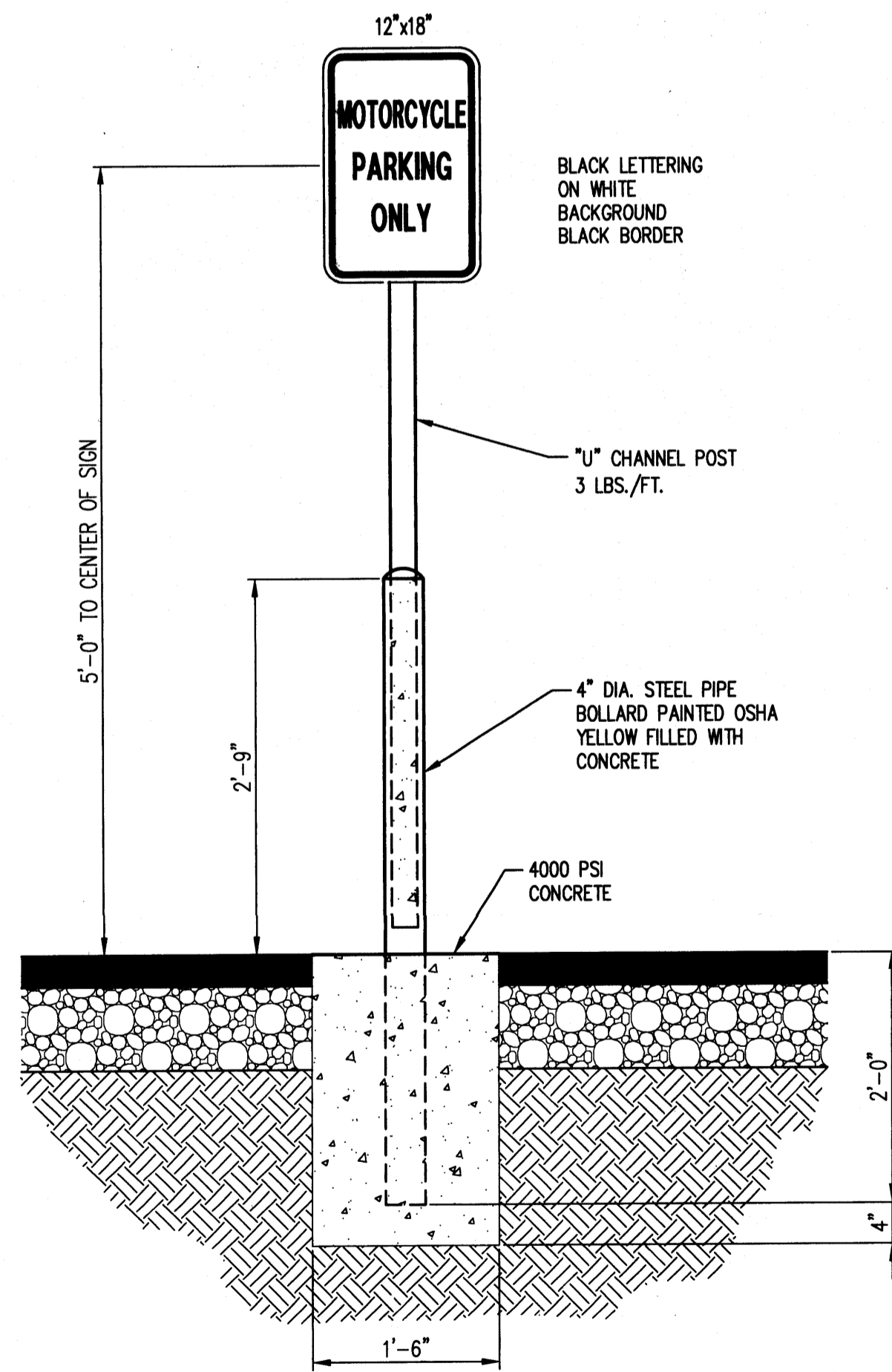
ONE AT EACH HANDICAP SPACE. WHERE HANDICAP SPACES FACE EACH OTHER WITHOUT WALKWAY, THERE SHALL BE ONE POST WITH SIGNS MOUNTED BOTH SIDES



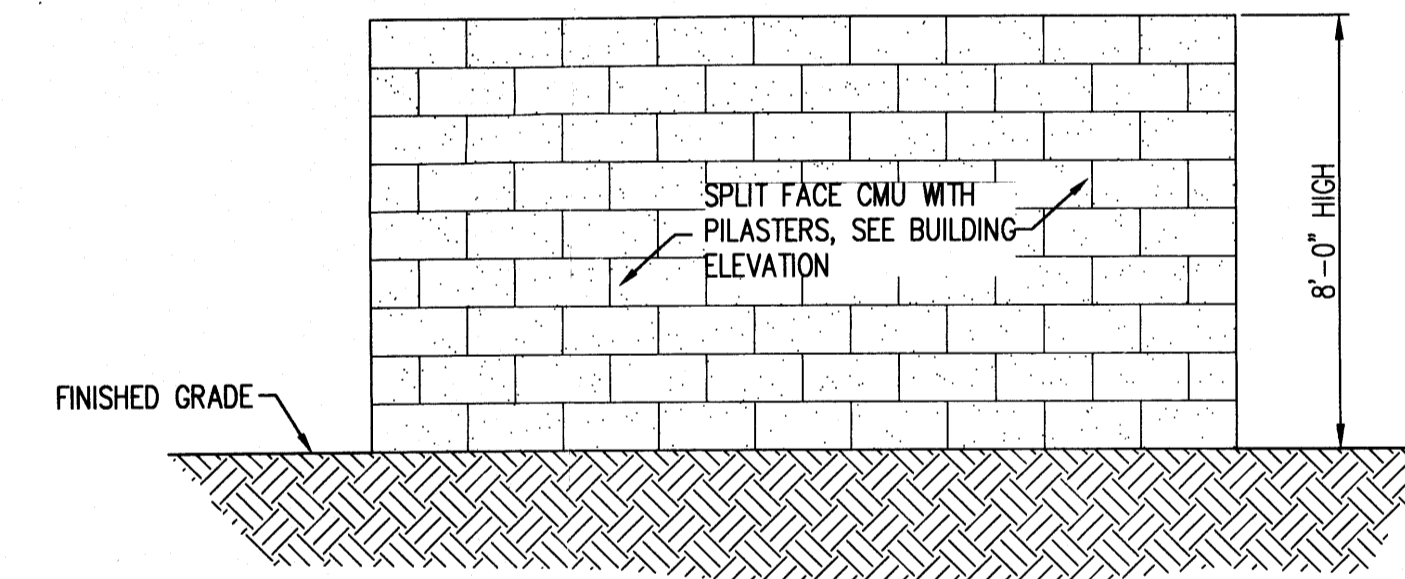
7 STOP SIGN
NTS



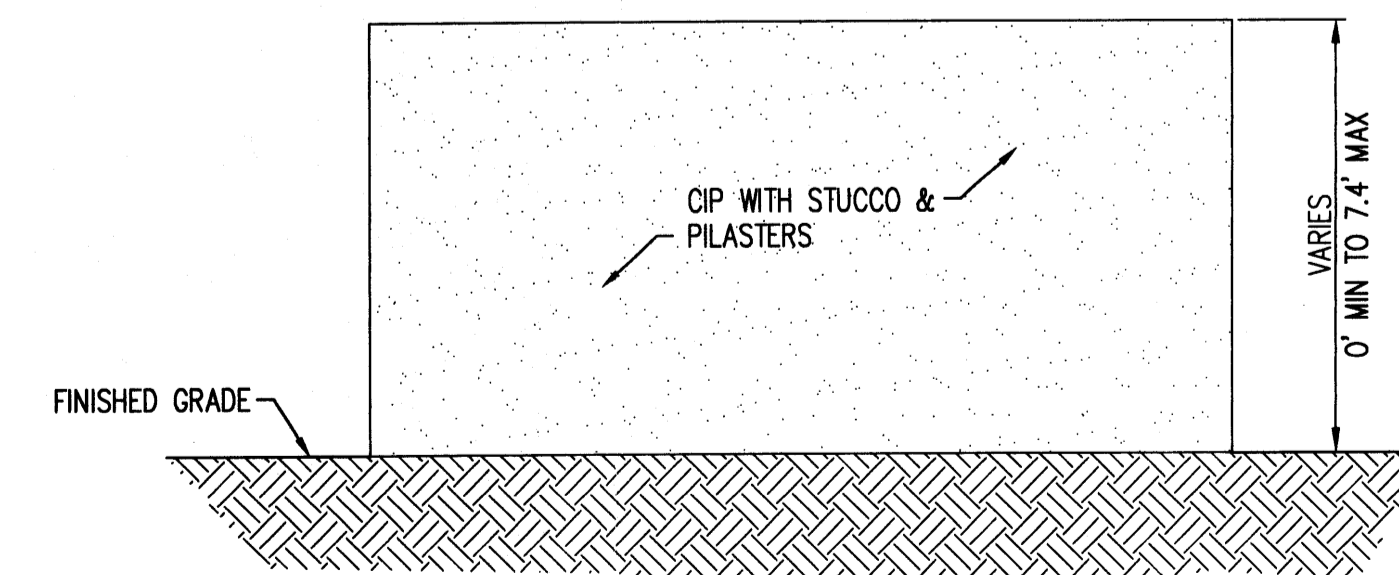
8 PEDESTRIAN CROSSING SIGN
NTS



9 MOTORCYCLE PARKING SIGN
NTS



10 SCREEN WALL ELEVATION
NTS

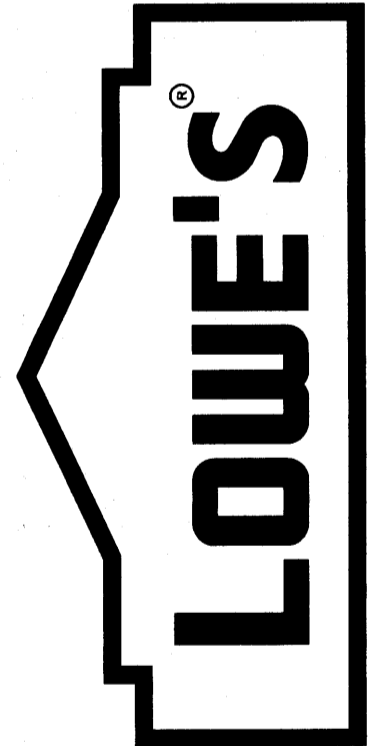


11 RETAINING WALL ELEVATION
NTS

PROJECT TEAM	DRAWING DATE	JUNE 5, 2008
	DESIGNED BY	GARY WYATT
	CHECKED BY	DAN MOYLAN
	REVISION DATE	OCTOBER 31, 2008
	PROJECT MANAGER	MATTHEW SPINLEY
PROJECT DATE	DATE	JUNE 5, 2008
	DESIGNED BY	GARY WYATT
	CHECKED BY	DAN MOYLAN
	REVISION DATE	OCTOBER 31, 2008
	PROJECT MANAGER	MATTHEW SPINLEY

Bohannon & Huston
 Courtyard 1 7500 Jefferson St. NE Albuquerque, NM 87109-4335
 ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES
 Real Estate Director

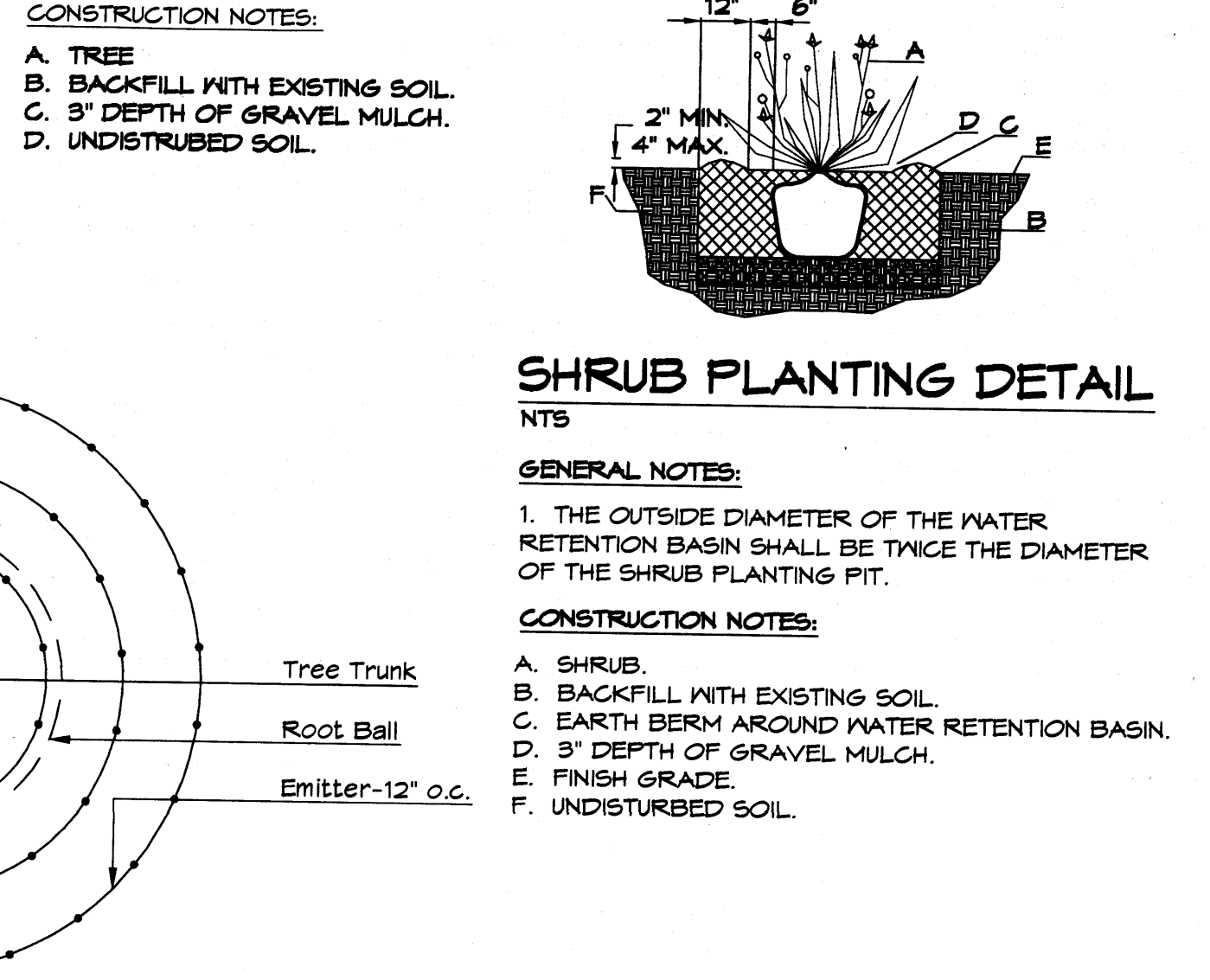
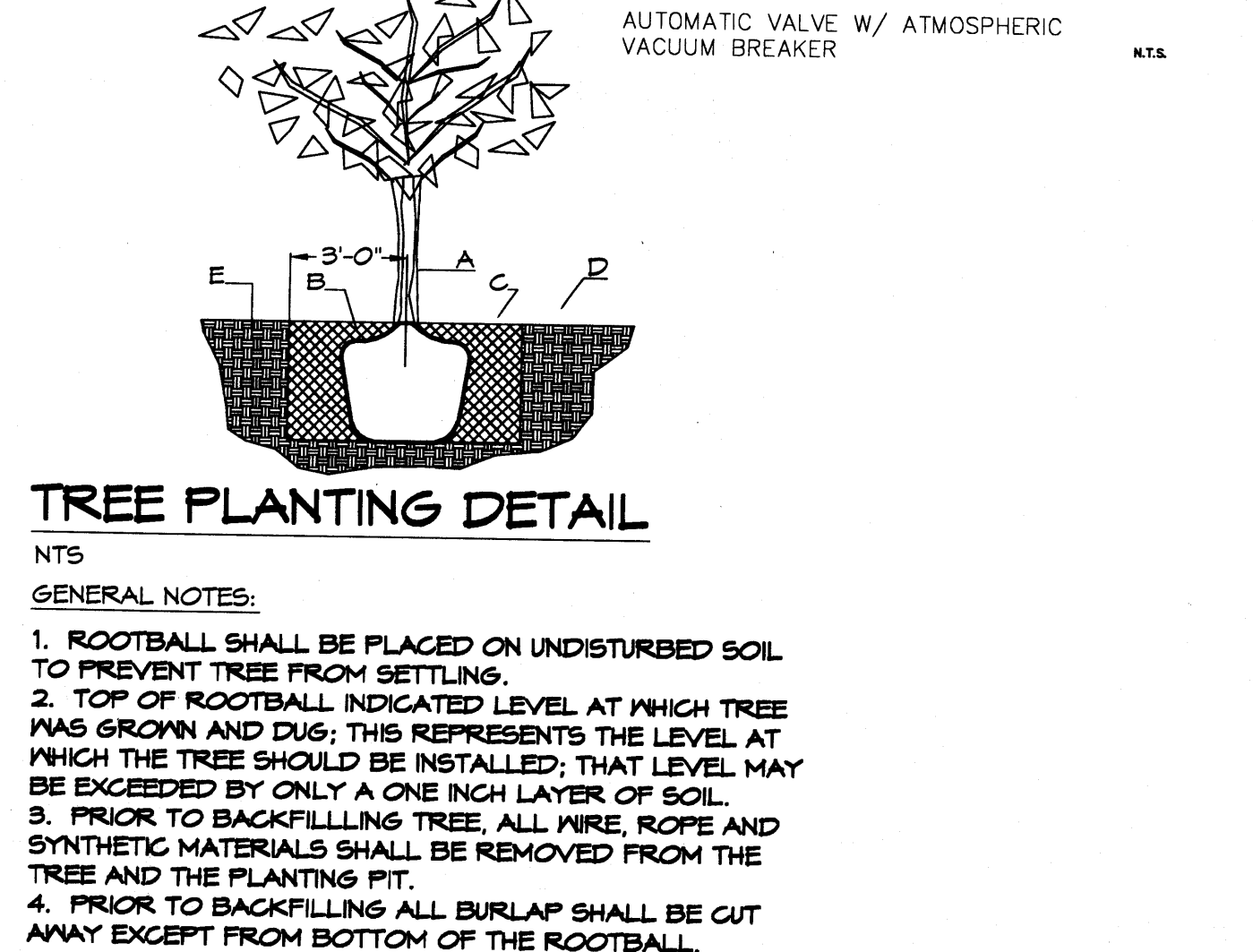
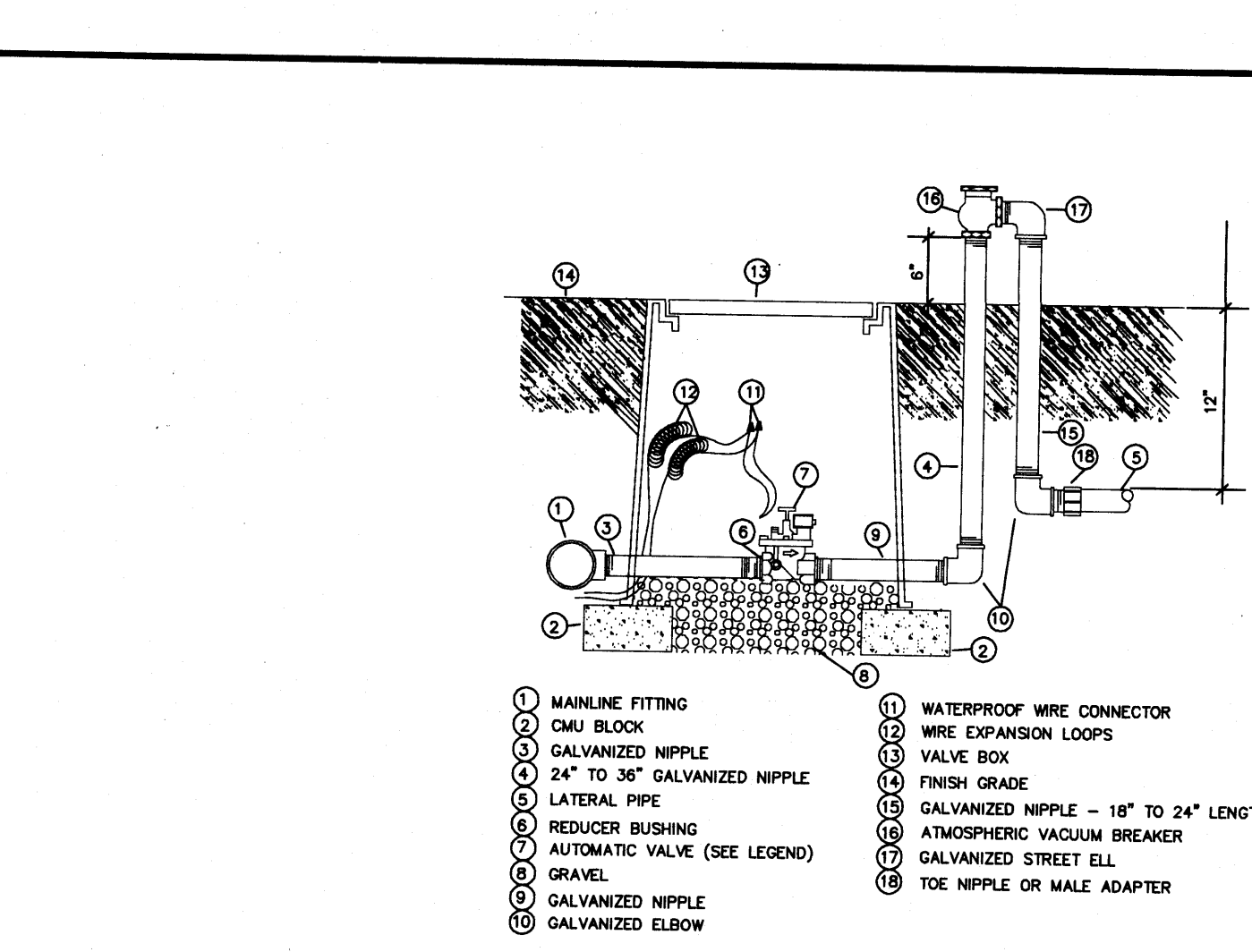
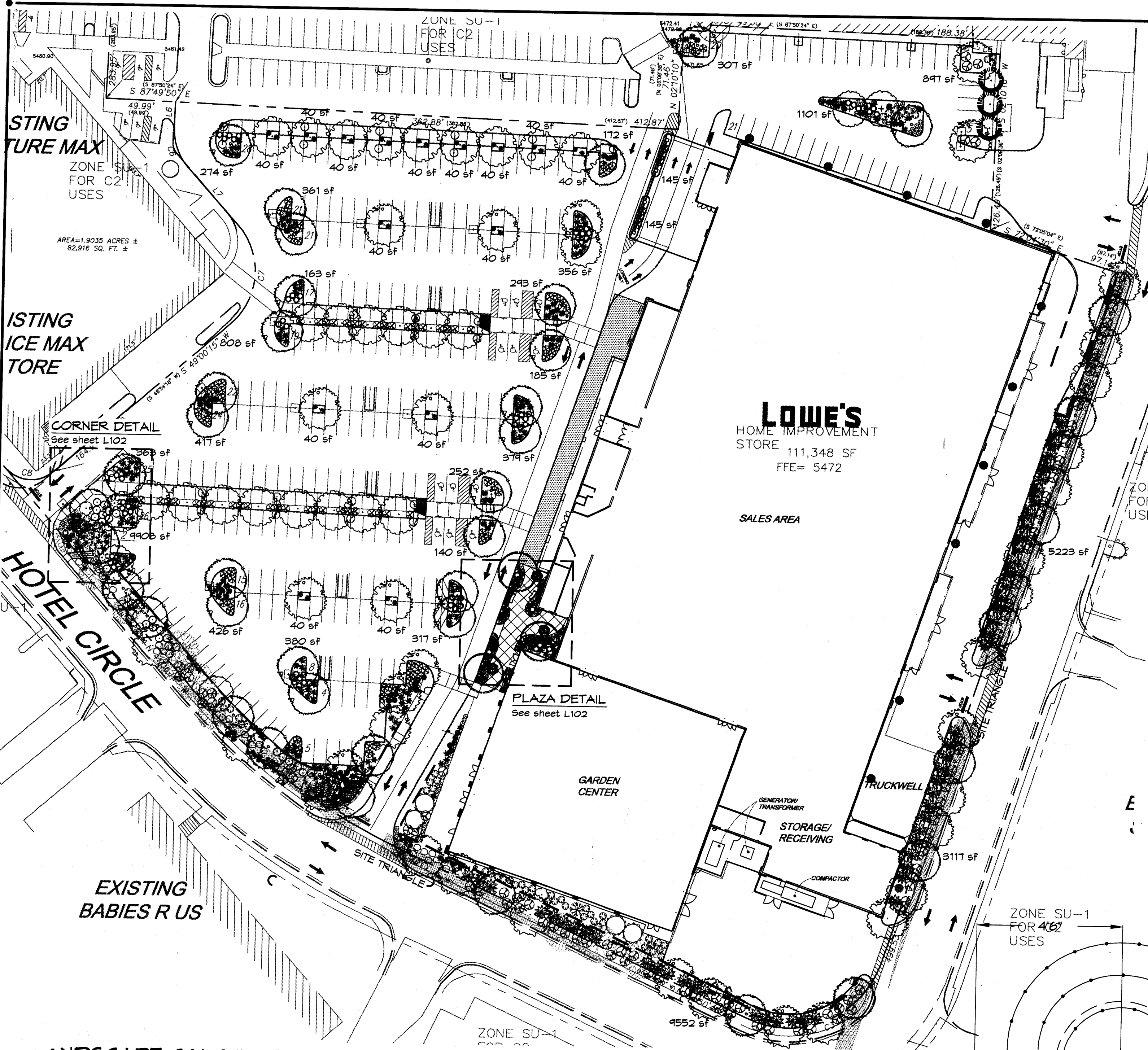
LOWE'S HOME CENTERS, INC.
 1605 CURTIS BRIDGE ROAD
 WILKESBORO, NC 28697
 336.658.4000 (V) 336.658.3257 (F)
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SITE PLAN DETAILS
 LOWE'S OF:
Market Center East
 Albuquerque, NM
 PROJECT No: 07-028
 DRAWN BY: BO
 CHECKED BY: BLS/AM

DRAWING NUMBER:

C-003



PLANT LEGEND

All plants shall be sized per American Standard for Nursery Stock. Installation size shall indicate the greater of height or spread. In cases where Type O plants have been pruned for rejuvenation, measurement should be by spread of roots rather than by the height of the plant.

* DENOTES EVERGREEN PLANT MATERIAL

AUTUMN BLAZE MAPLE 37 Acer x Freemanii 'Autumn Blaze' 2" Cal., 12-14" Inst./40' x 50' maturity Water (M) Allergy (L) Osf	JAPANESE PAGODA TREE 3 Sophora japonica 2" Cal., 12-14" Inst./35' x 35' maturity Water (M) Allergy (L) Osf
BUR OAK 40 Quercus macrocarpa 2" Cal., 12-14" Inst./60' x 60' maturity Water (M) Allergy (M) Osf	EASTERN REDBUD 4 Cercis canadensis 2" Cal., 8-10" Inst./30' x 30' maturity Water (M) Allergy (L) Osf
CHITALPA 24 Chilopsis x Catalpa 2" Cal., 12-14" Inst./30' x 30' maturity Water (M) Allergy (L) Osf	AFGHAN PINE 3 Pinus eldarica 6'-8' Inst., 40' x 18' maturity Water (M) Allergy (L) Osf
RED YUCCA 67 Hesperaloe parviflora 5 Gal., 18"-3' Inst./3' x 4' maturity Water (L+) Allergy (L) 16sf	BEARGRASS 11 Nolina microcarpa 5 Gal., 18"-3' Inst./5' x 6' maturity Water (L+) Allergy (L) 36sf

SHRUBS/ORNAMENTAL TREES

FIFTEEN GAL.

DESERT MALLOW 4 Chilopsis linearis 15 Gal., 4'-10" Inst./20' x 25' maturity Water (L+) Allergy (L) 225sf	SPANISH BROOM 3 Genista hispanica 5 Gal., 2'-4" Inst./10' x 10' maturity Water (M) Allergy (L) 100sf	BUTTERFLY BUSH 4 Buddleia davidii 5 Gal., 12"-3' Inst./10' x 10' maturity Water (M) Allergy (L) 100sf	ROSE OF SHARON 2 Hibiscus syriacus 5 Gal., 12"-3' Inst./10' x 10' maturity Water (M) Allergy (L) 100sf	INDIAN HAWTHORN 46 Raphanopelta indica 5 Gal., 18"-3' Inst./3' x 6' maturity Water (M) Allergy (L) 56sf	RUSSIAN SAGE 26 Perovskia atriplicifolia 5 Gal., 18"-3' Inst./3' x 6' maturity Water (M) Allergy (L) 36sf	MAIDENRAGE 40 Miscanthus sinensis 5 Gal., 18"-3' Inst./3' x 3' maturity Water (M+) Allergy (L) 25sf	SCOTCH BROOM 62 Celtis occidentalis 5 Gal., 18"-3' Inst./4' x 4' maturity Water (M) Allergy (L) 16sf	BLUE MIST SPIREA 50 Caryopteris clandestina 5 Gal., 12"-3' Inst./3' x 5' maturity Water (M) Allergy (L) 50sf
---	---	--	---	--	--	--	---	---

SHRUBS/ORNAMENTAL GRASSES

FIVE GAL.

SPANISH BROOM 3 Genista hispanica 5 Gal., 2'-4" Inst./10' x 10' maturity Water (M) Allergy (L) 100sf	BUTTERFLY BUSH 4 Buddleia davidii 5 Gal., 12"-3' Inst./10' x 10' maturity Water (M) Allergy (L) 100sf	ROSE OF SHARON 2 Hibiscus syriacus 5 Gal., 12"-3' Inst./10' x 10' maturity Water (M) Allergy (L) 100sf	INDIAN HAWTHORN 46 Raphanopelta indica 5 Gal., 18"-3' Inst./3' x 6' maturity Water (M) Allergy (L) 56sf	RUSSIAN SAGE 26 Perovskia atriplicifolia 5 Gal., 18"-3' Inst./3' x 6' maturity Water (M) Allergy (L) 36sf	MAIDENRAGE 40 Miscanthus sinensis 5 Gal., 18"-3' Inst./3' x 3' maturity Water (M+) Allergy (L) 25sf	SCOTCH BROOM 62 Celtis occidentalis 5 Gal., 18"-3' Inst./4' x 4' maturity Water (M) Allergy (L) 16sf	BLUE MIST SPIREA 50 Caryopteris clandestina 5 Gal., 12"-3' Inst./3' x 5' maturity Water (M) Allergy (L) 50sf
---	--	---	--	--	--	---	---

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	358947	square feet
TOTAL BUILDINGS AREA	111348	square feet
TOTAL GARDEN AREA	26568	square feet
NET LOT AREA	221031	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	33154	square feet
TOTAL BED PROVIDED	36281	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	27210	square feet
TOTAL GROUNDCOVER PROVIDED	34455 (94%)	square feet
TOTAL PONDING AREA	0	square feet
TOTAL SOD AREA (max. 20% of landscape required)	0	square feet
TOTAL PLAZA AREA REQUIRED	2760	square feet
TOTAL PLAZA AREA PROVIDED	2454	sf
TOTAL PERMEABLE PAVING PROVIDED	1759 (60%)	square feet
LANDSCAPE REQUIREMENT	40%	
TOTAL LANDSCAPE REQUIREMENT	1181	square feet
TOTAL BED PROVIDED	1195	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	896	square feet
TOTAL GROUNDCOVER PROVIDED	1195 (100%)	square feet
TOTAL LANDSCAPE PROVIDED	37476 (11%)	square feet

STREET TREE REQUIREMENTS

Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:

Name of Street: Hotel Circle SE
Required # 20 Provided # 20

Name of Street: Hotel Circle South -West Corner
Required # 12 Provided # 12

Name of Street: Hotel Circle South -East Corner
Required # 9 Provided # 9

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:

Irrigation shall be a complete underground system with 5 loops to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of 6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" polytube with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for Irrigation system is unknown at current time and will be coordinated in the Field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

WALKWAY TREE REQUIREMENTS

Street trees required under the COA Big Box Ordinance are as follows:

1 Shade tree per 25 linear feet
Required 24 Provided 24

PARKING LOT TREE REQUIREMENTS

Shade trees required under the COA Parking Lot Tree Ordinance and Big Box Ordinance are as follows:

1 Shade tree per 8 spaces
Required 40 Provided 40

NOTE TO CLIENT:

Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.

EXISTING LANDSCAPING:

Per site visit on 6-30-08, the existing landscaping is as follows:

Along Hotel Circle, the landscape beds consist of dead turf grass and a 2.5' - 3' gravel buffer along sidewalk, which shall be removed and replaced with new gravel and filter fabric. Those trees that will not be disturbed by construction shall remain. Including Cottonwood trees, Flowering Pear trees, Purple Leaf Plum trees, Sycamore trees and Ash Trees. The majority of Ash trees on site are stressed and have large amounts of deadwood. Root structures around Cottonwood trees may prevent planting per plan, shrubs will not be discarded, but relocated around the perimeter of root structure to preserve integrity of landscaping plan design.

Interior Islands consist of gravel and minimal if any shrubs and stressed Ash trees. The configuration of most existing Islands will not remain as-is after construction, therefore none of the existing interior trees shall remain. Interior Islands will receive new gravel and filter fabric.

GRAPHIC SCALE

50 25 0 25 50

SCALE: 1"=50'

LANDSCAPING PLAN

LOWE'S OF:
Market Center East
Albuquerque, NM

LANDSCAPE ARCHITECTS & CONTRACTORS
The Hilltop
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cmj@hilltoplandscaping.com

All creative ideas contained herein remain the property of The Hilltop Landscape Architects and Contractors and are protected by copyright laws. This is an original design and must not be reprinted or copied unless applicable laws have been kept or job order placed. All plants shall be sized per American Standard for Nursery Stock.

PROJECT TEAM
Gary Wyatt
Sic VP Real Estate, Eng & Const.
Dan Moylan
Real Estate Manager
Matthew Smiley
Site Development Manager
Bram Neil
Real Estate Director

DRAWING DATE
JUNE 5, 2008

Bohannon & Huston
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

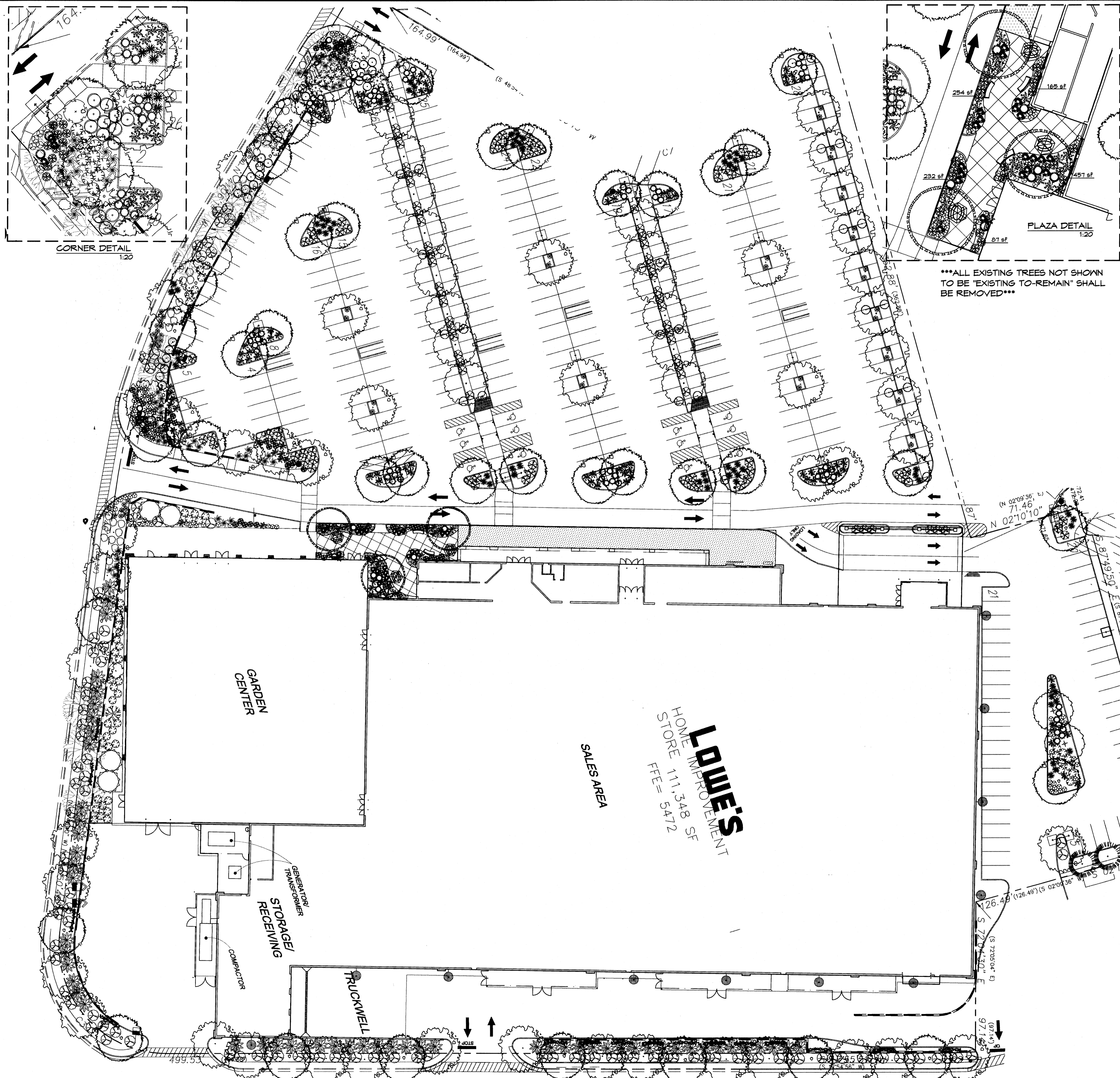
LOWE'S HOME CENTERS, INC.
1605 CURTIS BRIDGE ROAD
WILKESBORO, NC 28687

336.658.4000 (V) 336.658.3257 (F)

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LANDSCAPING PLAN
DRAWN BY: C.J. CHECKED BY: CAJID

DRAWING NUMBER:
L101



- ### PLANT LEGEND
- All plants shall be sized per American Standard for Nursery Stock. Installation size shall indicate the greater of height or spread. In cases where Type O plants have been pruned for rejuvenation, measurement should be by spread of roots rather than by the height of the plant.
- * DENOTES EVERGREEN PLANT MATERIAL
- | | |
|--|---|
| <ul style="list-style-type: none"> AUTUMN BLAZE MAPLE 37
Sopora japonica
2' Cal., 12-14" inst./40' x 50' maturity
Water (M) Allergy (L) Osf BUR OAK 40
Quercus macrocarpa
2' Cal., 12-14" inst./60' x 60' maturity
Water (M) Allergy (M) Osf CHITALPA 24
Chilopsis x Catalpa
2' Cal., 12-14" inst./30' x 30' maturity
Water (M) Allergy (L) Osf DESERT ACCENTS <ul style="list-style-type: none"> RED YUCCA 67
Hesperaloe parviflora
5 Gal., 18"-3' inst./3' x 4' maturity
Water (L+) Allergy (L) 16sf SHRUBS/ORNAMENTAL TREES
FIFTEEN GAL. <ul style="list-style-type: none"> DESERT WILLOW 4
Chilopsis linearis
15 Gal., 4-10' inst./20' x 25' maturity
Water (L+) Allergy (L) Osf SHRUBS/ORNAMENTAL GRASSES
FIVE GAL. <ul style="list-style-type: none"> SPANISH BROOM 3
Genista hispanica
5 Gal., 2-4' inst./10' x 10' maturity
Water (M) Allergy (L) 100sf BUTTERFLY BUSH 4
Buddleia davidii
5 Gal., 12-3' inst./10' x 10' maturity
Water (M) Allergy (L) 100sf ROSE OF SHARON 2
Hibiscus syriacus
5 Gal., 2-3' inst./10' x 10' maturity
Water (M) Allergy (L) 100sf INDIAN HANTHORN 46
Raphirolepis indica
5 Gal., 18"-5' inst./6' x 6' maturity
Water (M) Allergy (L) 5sf RUSSIAN SAGE 28
Perovskia atrorubra
5 Gal., 18"-5' inst./6' x 6' maturity
Water (M) Allergy (L) 5sf REGAL HEST 58
Muhlenbergia capillaris
5 Gal., 18"-5' inst./6' x 6' maturity
Water (M) Allergy (L) 5sf MUSO PINE 12
Pinus mugo
5 Gal., 12"-5' inst./3' x 3' maturity
Water (M) Allergy (L) 5sf | <ul style="list-style-type: none"> JAPANESE PAGODA TREE 3
Sophora japonica
2' Cal., 12-14" inst./35' x 35' maturity
Water (M) Allergy (L) Osf EASTERN REDBUD 4
Cercis canadensis
2' Cal., 8-10" inst./30' x 30' maturity
Water (M) Allergy (L) Osf AFGHAN PINE 3
Pinus eldarica
6"-8" inst., 40' x 18' maturity
Water (M) Allergy (L) Osf... EXISTING TREE TO REMAIN <ul style="list-style-type: none"> BEARGRASS 11
Nolina microcarpa
5 Gal., 18"-3' inst./5' x 6' maturity
Water (L+) Allergy (L) 36sf PHOTNIA 55
Photinia fraseri
5 Gal., 6"-15" inst./2' x 2' maturity
Water (M) Allergy (L) 64sf MADONNAGRASS 40
Miscanthus sinensis
5 Gal., 18"-3' inst./3' x 3' maturity
Water (M) Allergy (L) 25sf SCOTCH BROOM 62
Celtis occidentalis
5 Gal., 18"-5' inst./4' x 4' maturity
Water (M) Allergy (L) 16sf BLUE MIST SPREA 50
Caryopteris clandonensis
5 Gal., 12"-5' inst./2' x 3' maturity
Water (M) Allergy (L) 5sf ONE GAL. <ul style="list-style-type: none"> CHAMISA 60
Crypthanthus nussorum
1 Gal., 6"-15" inst./3' x 3' maturity
Water (L) Allergy (L) 25sf POWIS CASTLE SAGE 32
Artemisia x Poulis Castle
1 Gal., 6"-15" inst./2' x 3' maturity
Water (L+) Allergy (L) 25sf WILDFLOWER 114
1 Gal., 3"-15" inst./varies at maturity
Water (varies) Allergy (varies) 4sf GREYLEAF COTONEASTER 62
Cotoneaster duxifolius
5 Gal., 8"-10" inst./2' x 4' maturity
Water (M) Allergy (L) 5sf BANKS ROSE 4
Rosa banksiae
1 Gal., 6"-15" inst./climbing to 20'
Water (M) Allergy (L) BOULDERS 16 WATER HARVESTING:
Any curb cuts or swales will be shown on the grading and drainage plan. Landscape contractor will coordinate with grading and drainage for maximum water harvesting potential. Plaza paving will be permeable material. |
|--|---|

ALL EXISTING TREES NOT SHOWN TO BE "EXISTING TO-REMAIN" SHALL BE REMOVED

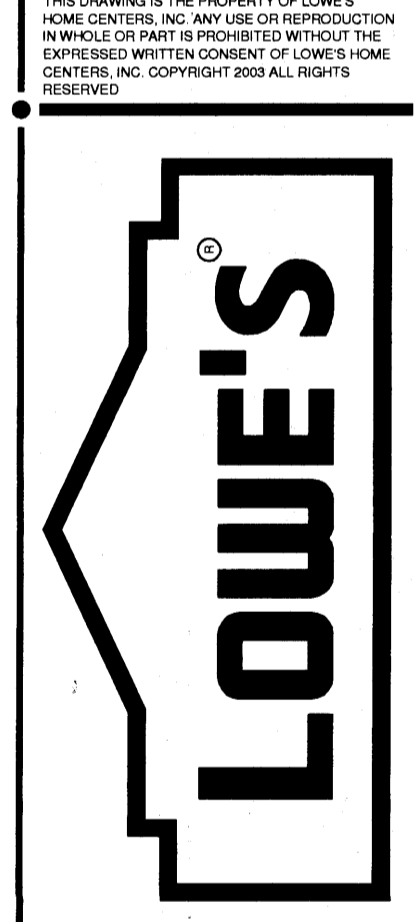
PROJECT TEAM
 Gary Wyatt
 Sr. VP Real Estate, Eng & Const.
 Dan Moylan
 Real Estate Manager
 Matthew Smiley
 Site Development Manager
 Bram Nell
 Real Estate Director

DRAWING DATE
 JUNE 5, 2008

Bohannon & Huston
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

LOWE'S HOME CENTERS, INC.
 1605 CURTIS BRIDGE ROAD
 WILKESBORO, NC 28697

336.658.4000 (V) 336.658.3257 (F)



LANDSCAPING PLAN-ENLARGED

LOWE'S OF:
 Market Center East
 Albuquerque, NM

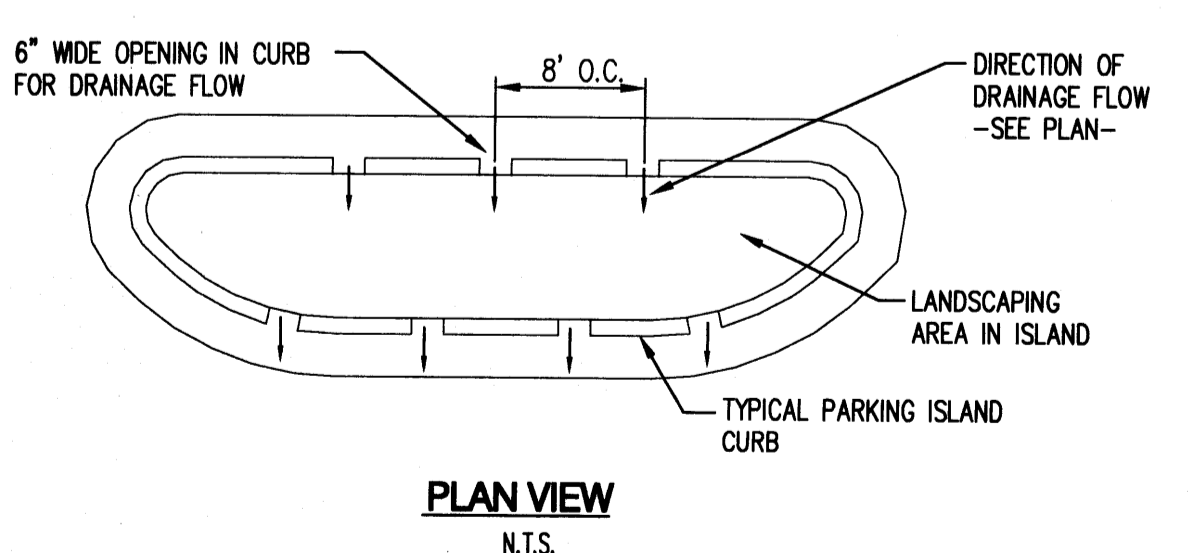
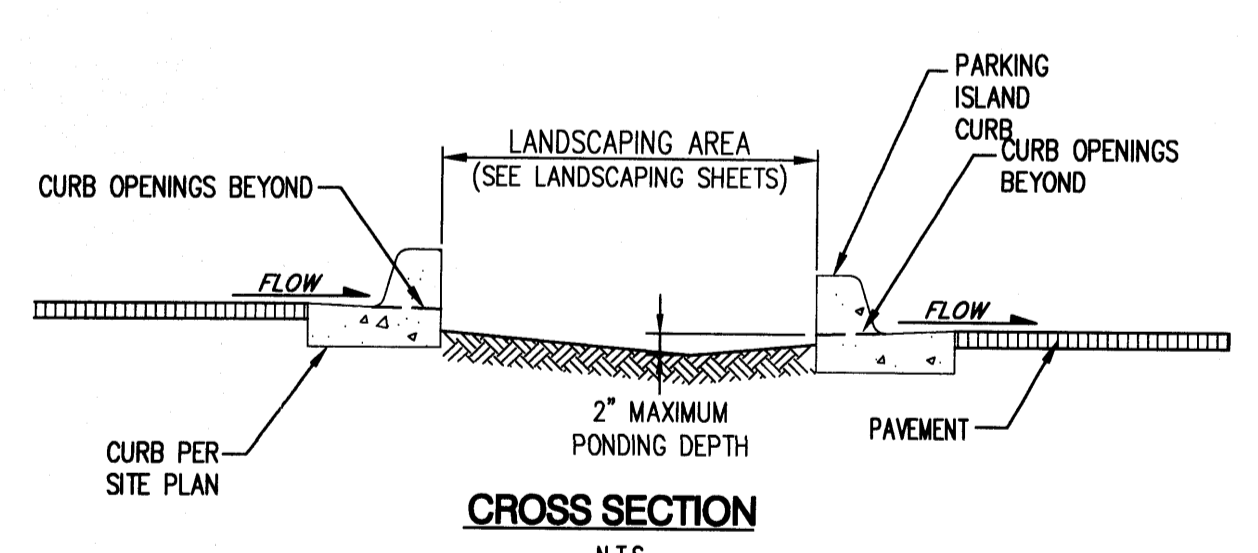
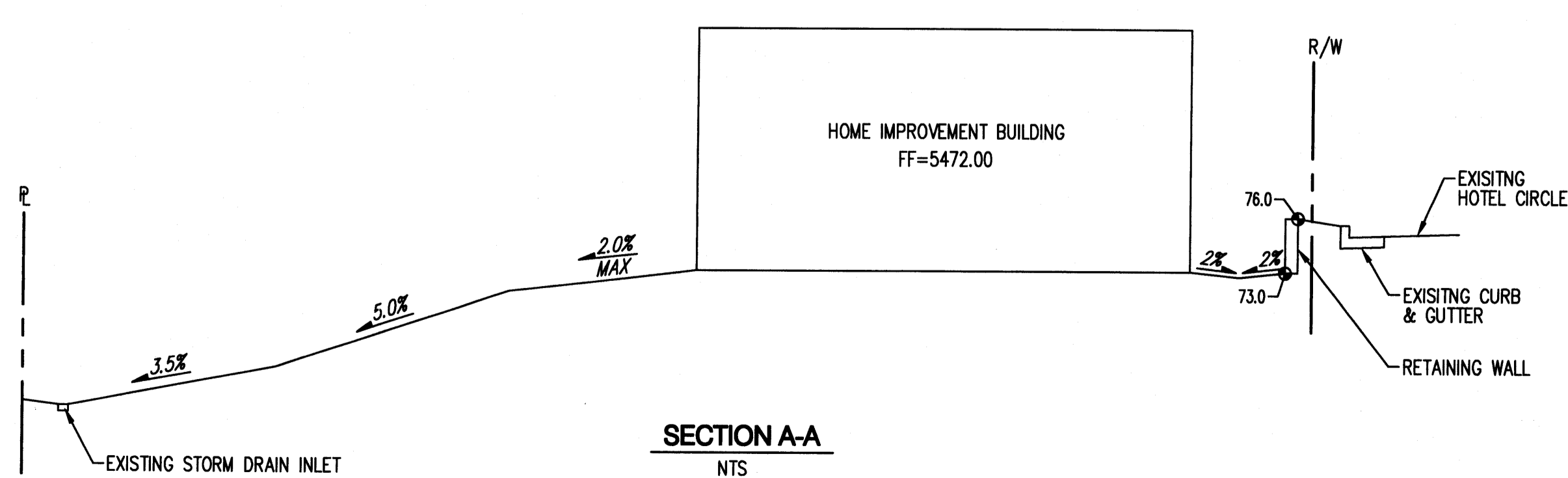
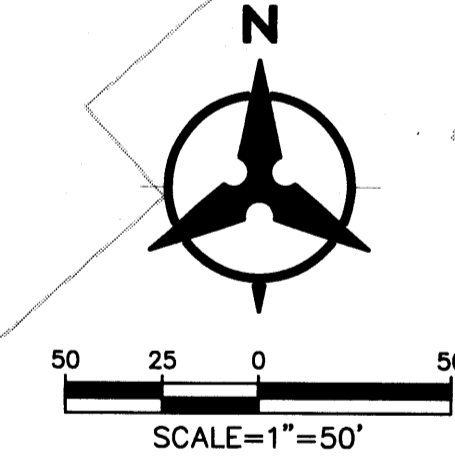
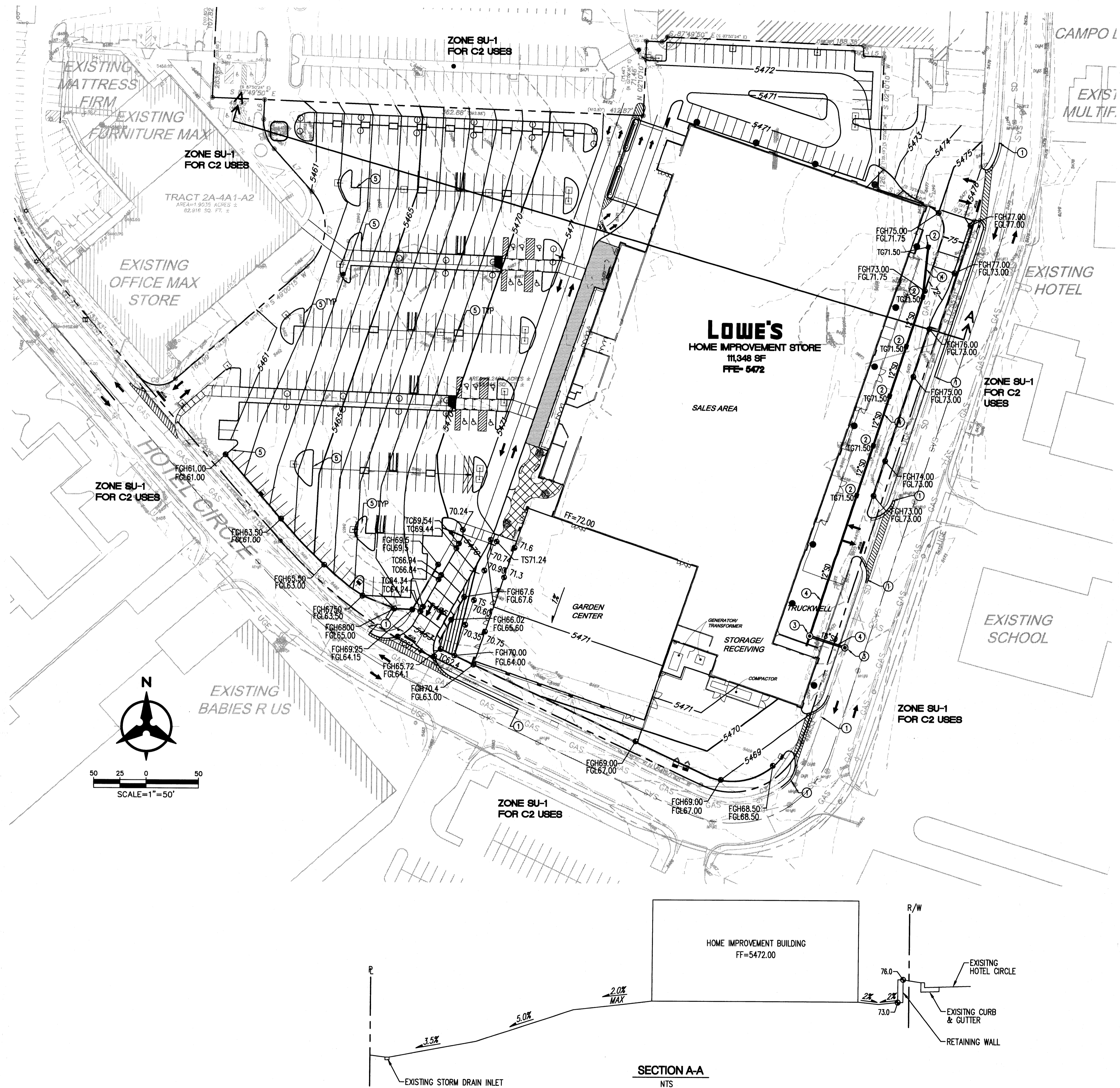
PROJECT No. 07-028
 DRAWN BY: GJ
 CHECKED BY: CAJUD

DRAWING NUMBER:
 L102

The Hilltop
 LANDSCAPE ARCHITECTS & CONTRACTORS

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 cmj@hilltoplandscaping.com

GRAPHIC SCALE
 30 15 0 15 30
 SCALE: 1"=30'



1 TYPICAL WATER HARVESTING DETAIL
N.T.S.

NOTE: SEE SITE PLAN DETAIL 1/CO03 FOR TYPICAL ISLAND GEOMETRY

DRAINAGE NARRATIVE

I. INTRODUCTION
The purpose of this submittal is to present a grading and drainage plan for the proposed Lowe's Home Improvement Store in NE Albuquerque. The project will include a home improvement store with a pedestrian plaza, parking and landscaping on approximately 8.2 acres. This submittal is in support of the Site Plan for Building Permit application at EPC.

II. SITE LOCATION
The site is located within zone atlas maps K-21-Z. The site is bounded along the north by an existing Target Store and parking lot, along the east and south by Hotel Circle, and along the west by an existing office supply store. In reference to the Federal Emergency Management Agency map #35001C0359F, there is no flood zone near the site.

III. EXISTING HYDROLOGIC CONDITIONS
The site encompasses approximately 8.2 acres and is currently a shopping center with parking and minimal landscaping. Slopes for the site range between 1 to 5% to the west and there appears to be free discharge off of the site. Currently, the majority of the site drains via surface flow into inlets located in Hotel Circle. There is no offsite drainage that affects the site.

IV. PROPOSED HYDROLOGIC CONDITIONS
The southern portion of the proposed parking lot drains over surface and to the existing storm drain in Hotel Circle. The northern portion drains to an existing inlet located near the NW corner of the site. The building will drain to the new private storm drain behind the building which ties to the existing public storm drain in Hotel Circle. The amount of impervious area is not changed with the proposed development.

V. CONCLUSION
The drainage management plan is capable of safely passing the 100 year storm and meets city requirements. The peak discharge for this site is lower than the allowable described in the approved drainage report. All analysis was completed in accordance with section 22.2 of the Development Process Manual.

KEYED NOTES

1. MATCH EXISTING GRADE.
2. NEW STORM DRAIN INLET.
3. NEW STORM DRAIN MAN HOLE.
4. NEW STORM DRAIN.
5. WATER HARVESTING ISLAND. SEE DETAIL THIS SHEET.

LEGEND

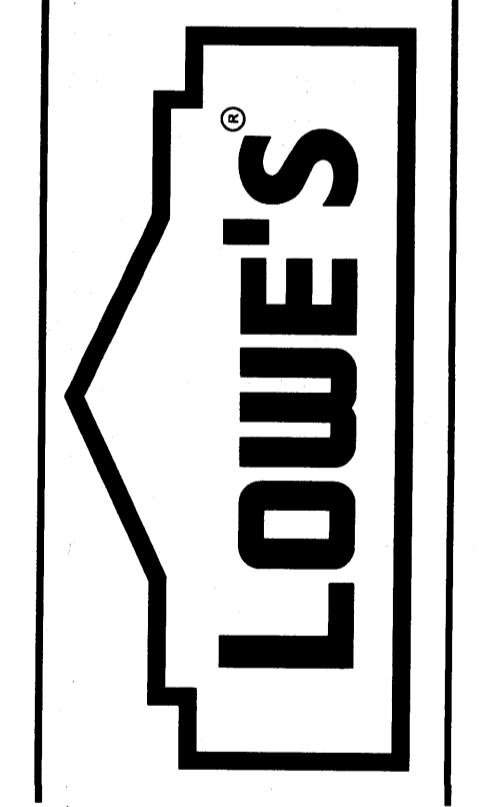
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- - - 5.301 - - - EXISTING INDEX CONTOUR
- - - EXISTING INTERMEDIATE CONTOUR
- S=2.0% — PROPOSED DIRECTION OF FLOW
- PROPOSED RETAINING WALL
- - - 5.305 - - - PROPOSED INDEX CONTOUR
- - - PROPOSED INTERMEDIATE CONTOUR
- PROPOSED CURB
- - - EXIST EASEMENT

PROJECT TEAM
 Gary West Sr. VP, Real Estate, Eng & Const.
 Dan Moylan Real Estate Manager
 Matthew Smiley Site Development Manager
 Brian Neil Real Estate Director

DRAWING DATE
 JUNE 5, 2008
 REVISION
 OCTOBER 31, 2008

Bohannon & Huston
 Engineering & Spatial Data & Advanced Technologies
 Courtyard 1 7500 Jefferson St. NE Albuquerque, NM 87109-4335

LOWE'S HOME CENTERS, INC.
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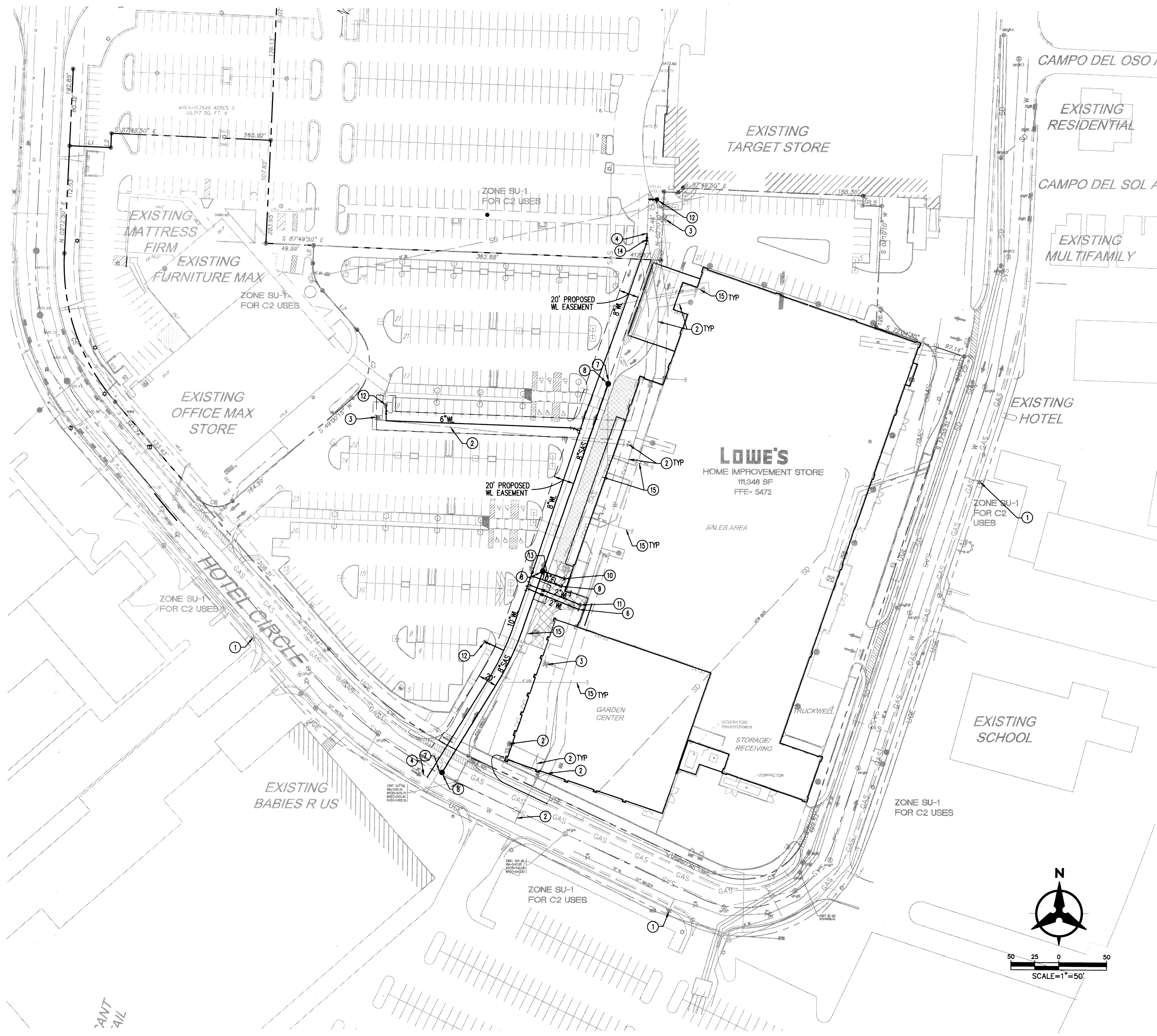


CONCEPTUAL GRADING & DRAINAGE PLAN

LOWE'S OF:
Market Center East
 Albuquerque, NM

PROJECT No: 07-028 | DRAWN BY: BO | CHECKED BY: BLS/RM

DRAWING NUMBER:
C-101



KEYED NOTES

1. EXISTING FIRE HYDRANT TO REMAIN.
2. DEMO EXISTING 8" WATERLINE AND RELATED APPURTENANCES.
3. DEMO EXISTING FIRE HYDRANT.
4. CONNECT WATER SERVICE TO EXISTING WATERLINE.
5. CONNECT SEWER LINE TO EXISTING MANHOLE AT INVERT ELEVATION SHOWN.
6. EXTEND IRRIGATION SERVICE LINE TO WITHIN 5' OF BUILDING.
7. CONNECT EXISTING SEWER LINE TO NEW SAS MANHOLE.
8. NEW GAS MANHOLE.
9. CONNECT FIRE LINE TO WITHIN 5' OF BUILDING.
10. EXTEND SAS LINE TO WITHIN 5' OF BUILDING.
11. EXTEND WATER SERVICE LINE TO WITHIN 5' OF BUILDING.
12. NEW FIRE HYDRANT.
13. NEW 10" X 8" REDUCER.
14. NEW 8" GATE VALVE.
15. DEMO EXISTING SAS LINE AND RELATED SERVICES.

LEGEND

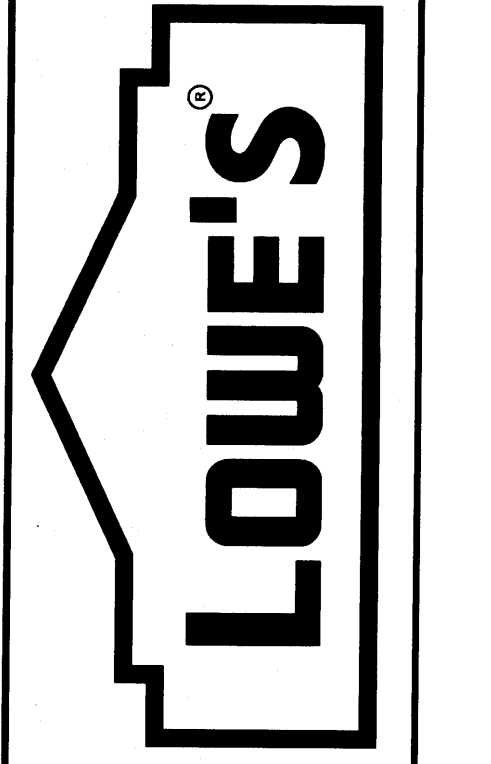
- PROPERTY LINE
- - - EXISTING EASEMENT
- - - SAS EXISTING SANITARY SEWER
- - - W EXISTING WATER LINE
- EXISTING WATER METER
- EXISTING CAP
- ⊗ EXISTING VALVE
- ⊙ EXISTING FIRE HYDRANT
- ⊕ EXISTING SANITARY SEWER MANHOLE
- ⊖ EXISTING STORM DRAIN MANHOLE
- EXISTING INLET
- - - PROPOSED EASEMENT
- - - SAS PROPOSED SANITARY SEWER LINE
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED CLEANOUT
- W PROPOSED WATER LINE
- ⊗ PROPOSED VALVE
- FL PROPOSED FIRE LINE
- ⊙ PROPOSED HYDRANT
- PROPOSED CAP
- PROPOSED WATER METER

PROJECT TEAM

Gary Wyatt Sr. VP, Real Estate, Eng. & Const.	DRAWING DATE JUNE 5, 2008
Dan Moylan Real Estate Manager	REVISED OCTOBER 31, 2008
Matthew Spilley Site Development Manager	
Brian Neil Real Estate Director	

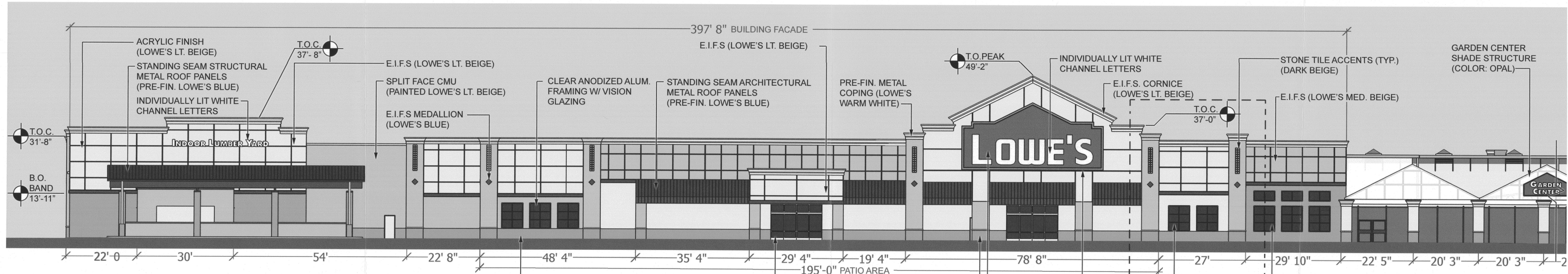
Bohannon & Huston
 ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES
 Courtyard 1 7500 Jefferson St. NE Albuquerque, NM 87109-4395

LOWE'S HOME CENTERS, INC.
 1605 CURTIS BRIDGE ROAD
 WILKESBORO, NC 28697
 336.658.4000 (V) 336.658.3257 (F)

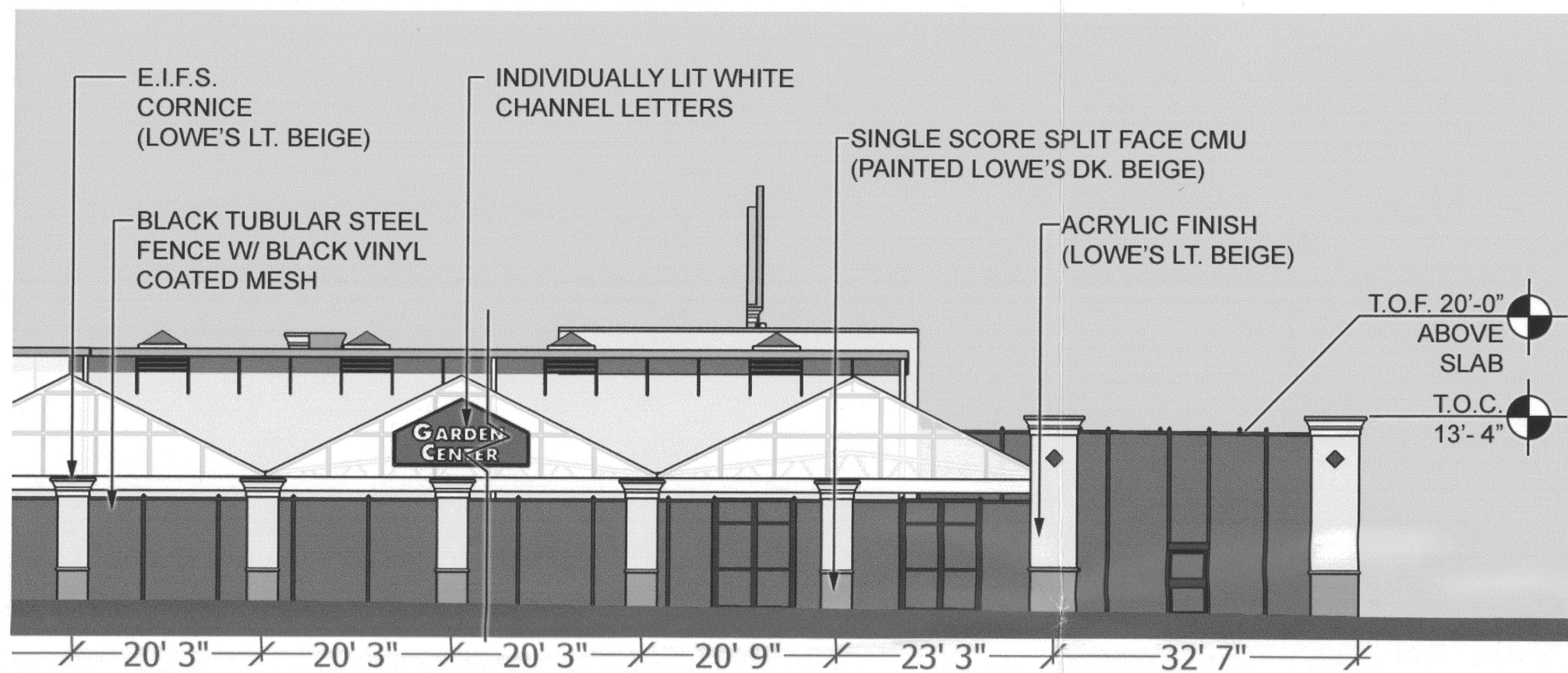


CONCEPTUAL UTILITY PLAN
 LOWE'S OF:
Market Center East
 Albuquerque, NM
 PROJECT No: 07-028 DRAWN BY: BO CHECKED BY: BUSIRM

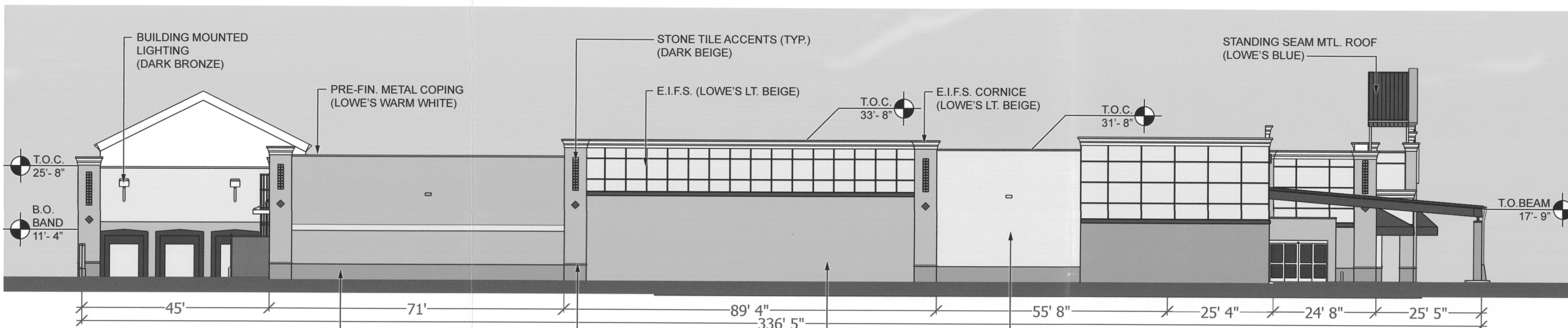
DRAWING NUMBER:
C-201



WEST ELEVATION - 1/16" = 1'-0"



WEST ELEVATION - 1/16" = 1'-0"



NORTH ELEVATION - 1/16" = 1'-0"

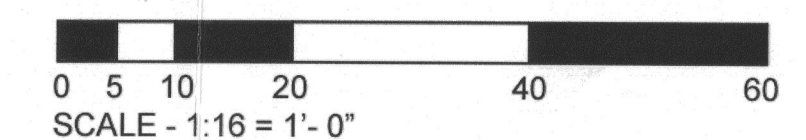
FACADE ARTICULATION CALCULATIONS	
•TOTAL BUILDING FACADE	397'-8"
•ARTICULATION REQUIRED	198'-10"
•ARTICULATION PROVIDED	241'-8"
•DISPLAY WINDOWS 7 @ 6'8"	46'-8"
•RECESSED PATIO	195'-0"
(SEE C-001 FOR LAYOUT)	

LEGEND	
(A)	MULTIPLE FINISHES (i.e. stone and stucco)
(B)	PROJECTING CORNICES AND BRACKETS
(D)	PITCHED ROOF FORMS
(F)	SLATE OR TILE WORK AND MOLDING INTEGRATED INTO BUILDING



COMPLIANCE WITH MAJOR STRUCTURE ARTICULATION REQUIREMENTS DETAIL

SIGNAGE SCHEDULE		
SIGNAGE	HEIGHT	AREA
1. "LOWE'S"	9'-4" / 8'-0"	645.23 S.F.
2. "LOWE'S"	9'-4" / 8'-0"	645.23 S.F.
3. "GARDEN CENTER"		81.56 S.F.
4. "INDOOR LUMBER YARD"	2'-2" / 1'-8"	62.92 S.F.
TOTAL SIGNAGE:		1434.94 S.F.



REPRESENTATION ONLY
NOT FOR CONSTRUCTION

BUILDING IMAGES SHOWN ARE A REPRESENTATION OF THE DESIGN INTENT AND MAY NOT REFLECT ANY SUBTLE VARIATIONS IN COLOR, MATERIAL OR CONSTRUCTION THAT MAY OCCUR DUE TO LOCAL MATERIAL DIFFERENCES AND FINAL DESIGN DETAILING.

B | R | R

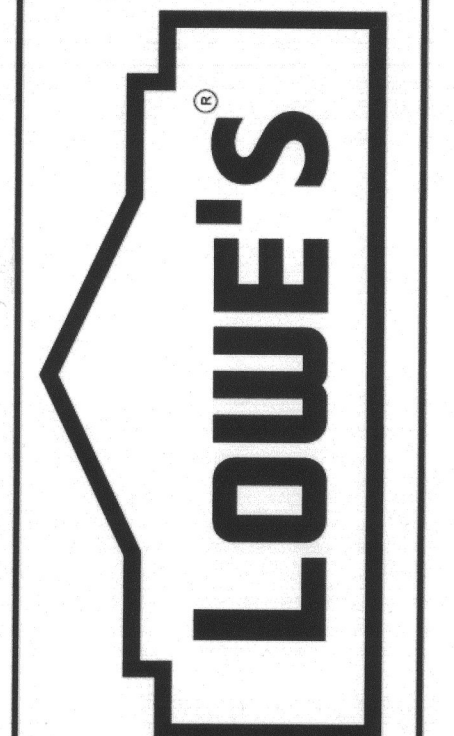
REPRESENTATION ONLY
NOT FOR CONSTRUCTION

BUILDING, LANDSCAPE, AND SITE FURNISHING IMAGES SHOWN ARE A REPRESENTATION OF THE DESIGN INTENT AND MAY NOT REFLECT ANY SUBTLE VARIATIONS IN COLOR, MATERIAL OR CONSTRUCTION THAT MAY OCCUR DUE TO LOCAL MATERIAL DIFFERENCES AND FINAL DESIGN DETAILING.

PROJECT TEAM
 Gary Wyatt Sr. VP Real Estate, Eng & Const.
 Dan Moylan Real Estate Manager
 Matthew Smiley Site Development Manager
 Brian Neill Real Estate Director
 DRAWING DATE
 JUNE 5, 2008

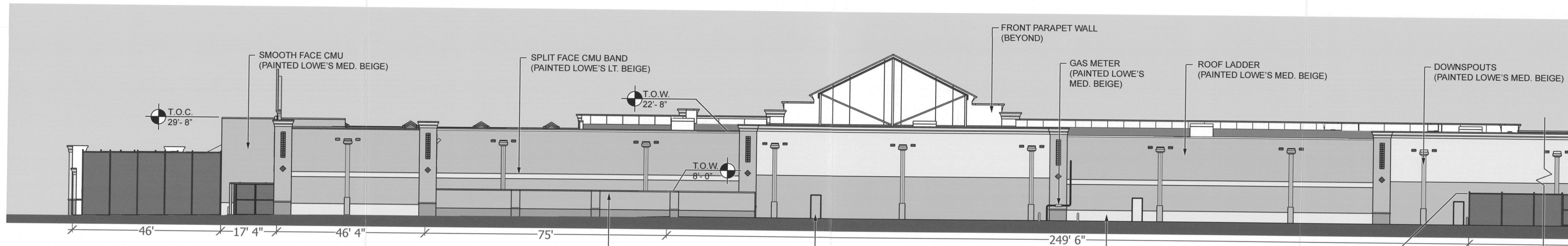
Bohannon & Huston
 Courtyard 1 7500 Jefferson St. NE Albuquerque, NM 87109-4335
 ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

LOWE'S HOME CENTERS, INC.
 1605 CURTIS BRIDGE ROAD
 WILKESBORO, NC 28697
 336.658.4000 (V) 336.658.3257 (F)

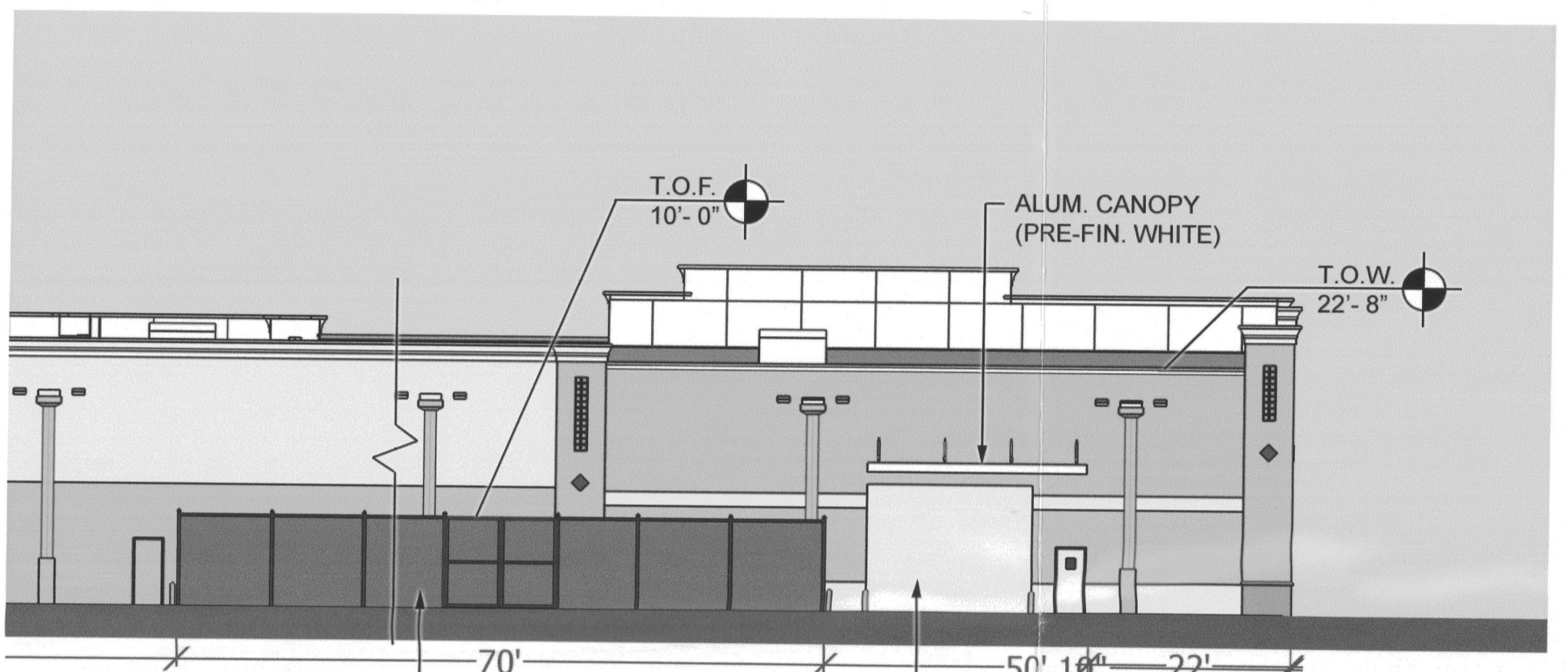


LOWE'S OF:
Market Center East
 Albuquerque, NM
 PROJECT No. 07-028
 DRAWN BY: BO
 CHECKED BY: BJS/RM

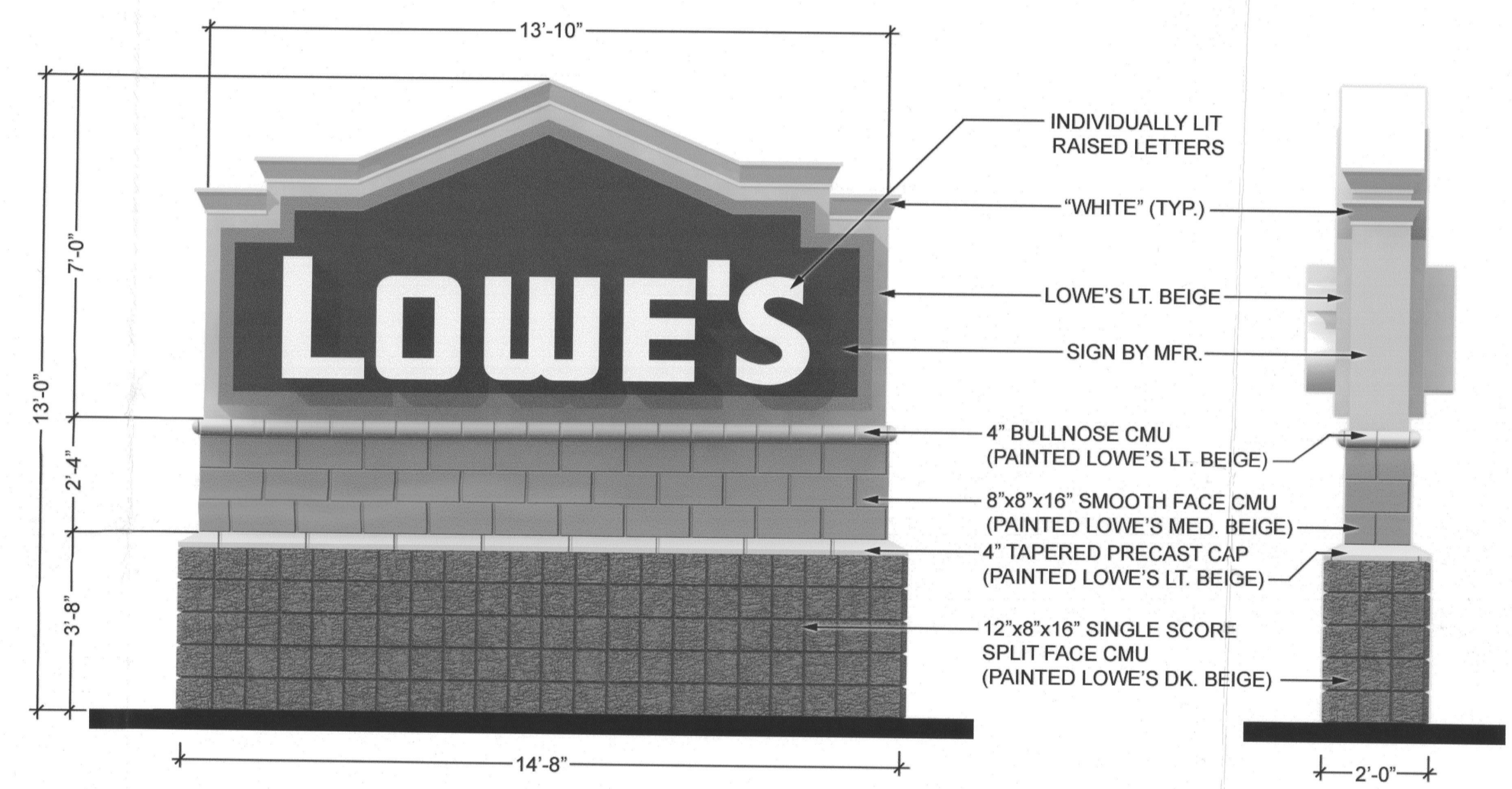
DRAWING NUMBER:
A-101



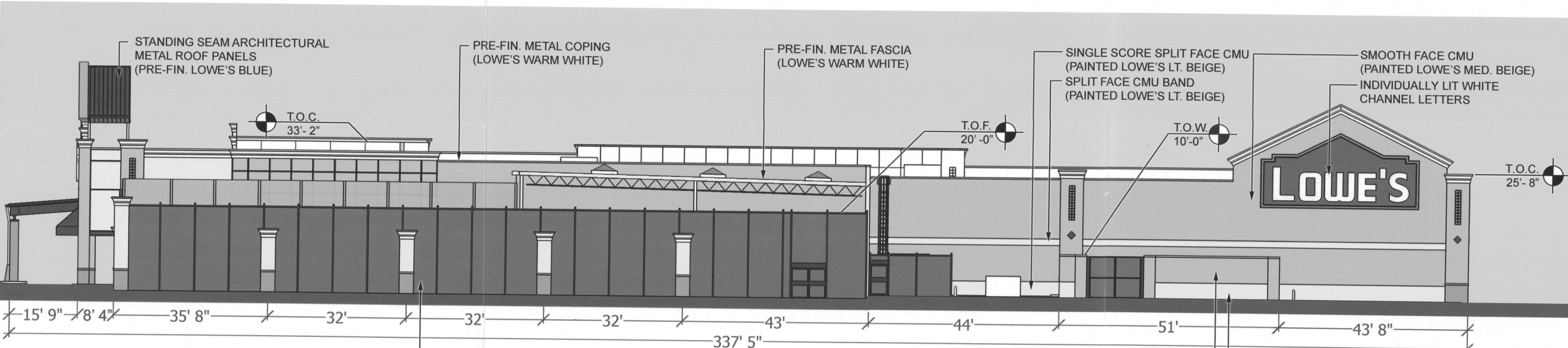
EAST ELEVATION - 1/16" = 1'-0"



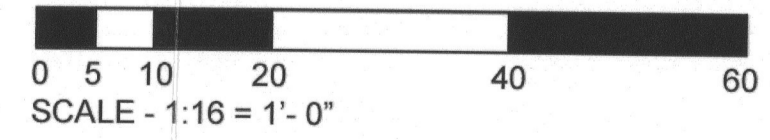
EAST ELEVATION - 1/16" = 1'-0"



MONUMENT SIGN ELEVATION NOT TO SCALE



SOUTH ELEVATION - 1/16" = 1'-0"



B | R | R

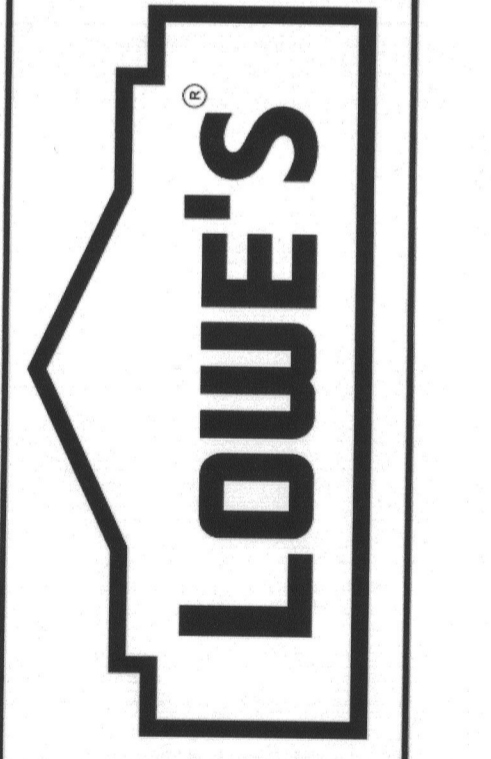
**REPRESENTATION ONLY
NOT FOR CONSTRUCTION**
BUILDING IMAGES SHOWN ARE A REPRESENTATION OF THE DESIGN INTENT AND MAY NOT REFLECT ANY SUBTLE VARIATIONS IN COLOR, MATERIAL OR CONSTRUCTION THAT MAY OCCUR DUE TO LOCAL MATERIAL DIFFERENCES AND FINAL DESIGN DETAILING.

PROJECT TEAM	DRAWING DATE
Gary Wyatt Sr. VP Real Estate, Eng & Const.	JUNE 5, 2008
Dan Moylan Real Estate Manager	
Matthew Smiley Site Development Manager	
Bram Neil Real Estate Director	

Bohannon & Huston
 Courtyard 1 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING & SPATIAL DATA • ADVANCED TECHNOLOGIES

LOWE'S HOME CENTERS, INC.
 1605 CURTIS BRIDGE ROAD
 WILKESBORO, NC 28697
 336.658.4000 (V) 336.658.3257 (F)

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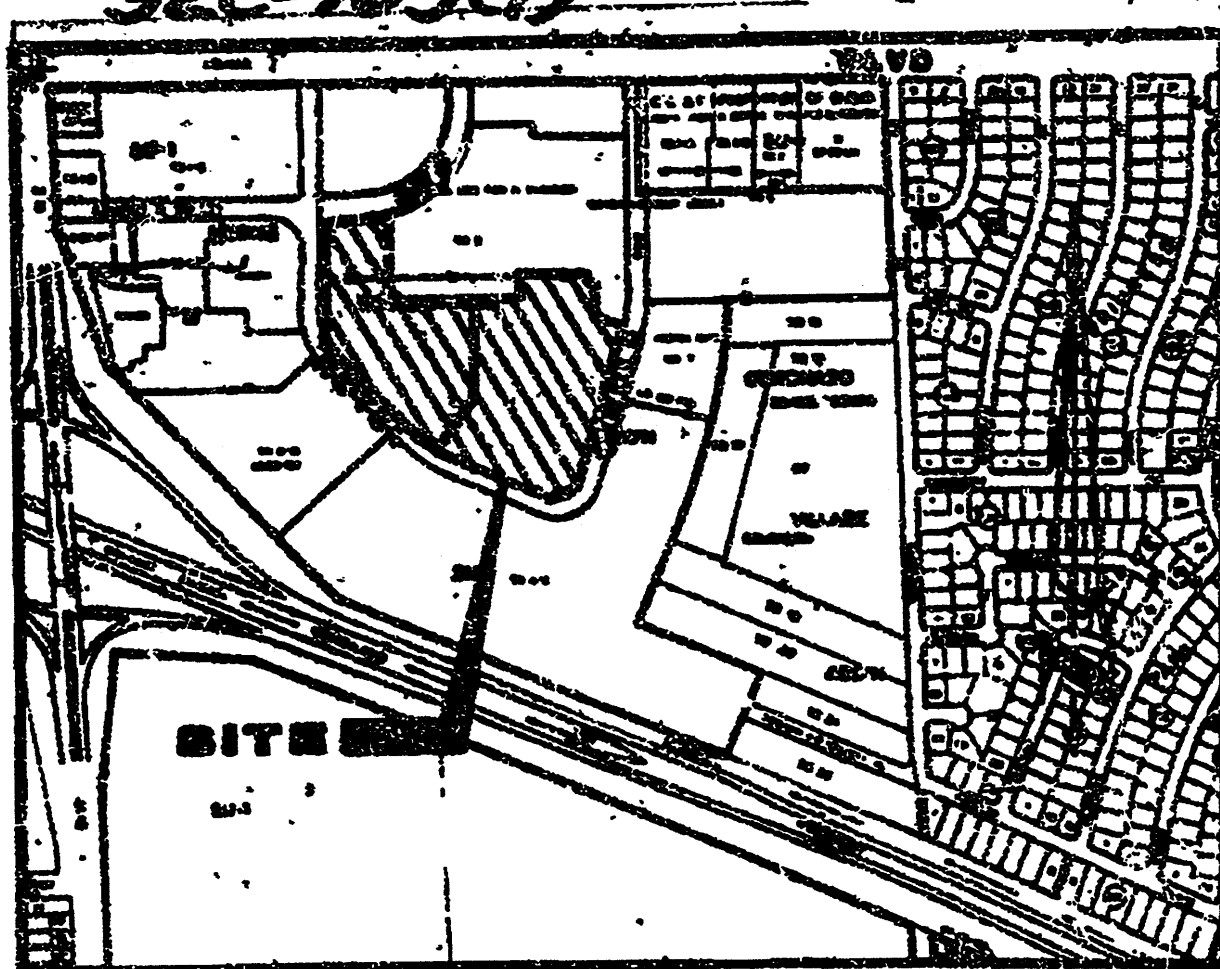
LOWE'S OF:
Market Center East
 Albuquerque, NM
 PROJECT No. 07-028 | DRAWN BY: BD | CHECKED BY: BUSIRM

DRAWING NUMBER:

A-102

92C-165(1)

92C-165(1)



VICINITY MAP: K-21 SCALE 1" = 600'

NMOC NO. 92062209450103

SUBDIVISION DATA

1. DRB Case No. 92-0271
2. Zone Atlas Index No.: K-21
3. Gross Subdivision Acreage: 10.9083

NOTES

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone).
2. Distances are ground distances.
3. Bearings and distances in parenthesis are records.
4. Unless otherwise indicated, all points marked with an open circle are set 5/8" rebar and plastic cap "PS 8478".
5. All easements of record plat are shown hereon.
6. All information shown hereon is based upon plat of record "Horne Development Addition Tracts 2A-2A1 through 2A-5A1" as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on September 21, 1988 (037-95).
7. An existing easement for the purpose of Private Access, Drainage and Parking on, over and across Tracts 2A-2A1, 2A-3A1, 2A-4A1 and 2A-5A1 was granted by plat filed 5-26-87 (C34-7) (1-2). Said easement is a Reciprocal Easement between the aforementioned Tracts and is in accordance with the approved site development Plan (Z-1661-3).
8. Tracts 2A-2A1 through 2A-5A1 are affected by a "Construction and Reciprocal Easement Agreement" filed June 30, 1987 as Document No. 87-69009 in Misc. Book 505A, Pages 259-349, records of Bernalillo County, New Mexico between the owners, their successors and assigns of the tracts shown hereon. Said Easement Agreement allows for the construction, use and maintenance of private facilities within the tracts shown hereon, more specifically a private sanitary sewerline which services Tracts 2A-3A1 and 2A-5A1 exclusively.

PURPOSE OF PLAT

1. Grant Public Waterline Easements to the City of Albuquerque as shown hereon.
2. Vacate portions of a Public Waterline Easement as shown hereon. VAC. ORD. NO. 92-49

FREE CONSENT

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) hereof. Said owner(s) and/or proprietor(s) do hereby grant Public Waterline Easements to the City of Albuquerque and consent to the vacation of portions of Public Waterline Easements as show hereon.

OWNER OF TRACT 2A-4A1 & TRACT 2A-5A1
MCE Associates, Limited Partnership

BY: DeLong Properties, Inc., its General Partner

BY: Patrick D. Barnett BUY
Patrick D. Barnett
Executive Vice President

STATE OF NEW YORK

COUNTY OF NEW YORK

On this 30th day of JULY, 1992, the FREE
CONSENT was acknowledged before me by PATRICK BARNETT

Notary Public William P. DeGraw

My commission expires August 31, 1994

ALLAN P. DEGRW
NOTARY PUBLIC, State of New York
No. 81-753170
Qualified in New York County
Commission Expires August 31, 1994

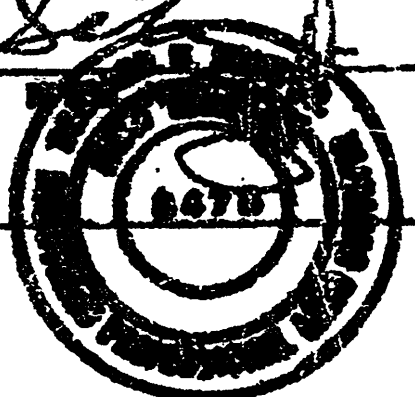
DESCRIPTION:

A tract of land situate within section 21, Township 10 North, Range 4 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being TRACTS 2A-4A1 and 2A-5A1 of HORNE DEVELOPMENT ADDITION, TRACTS 2A-2A1 THROUGH 2A-5A1 as the same are shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on September 21, 1988 in Volume C37, folio 48, from whence the City of Albuquerque Control Monument "S-K21" bears N48 53'55" E, 1141.07 feet from the northeast corner of said TRACT 2A-5A1. Said tract of land containing 10.9083 acres more or less.

SURVEYOR'S CERTIFICATION

I, Bernard W. Seitz, Jr., do hereby certify specifically and only to: Market Centre East Associates, a field survey under my supervision was made on the ground using the normal standard of care of Professional Surveyors practicing in the State of New Mexico on this date. The field survey was made for the purposes of replatting. All notes shown hereon are a part of this certification and this map accurately depicts the results of said survey. I further certify that this plat meets the minimum requirements for monumentation and surveys of the City of Albuquerque Subdivision Ordinance and the "New Mexico Minimum Standards for Land Surveying, November 1988."

B. W. Seitz, Jr. 7-20-92
Bernard W. Seitz, Jr.,
Professional Surveyor
P.C.S. Job No. 92-67 Date



09278637

**PLAT OF
TRACT 2A-4A1-A & TRACT 2A-5A1-A
HORNE DEVELOPMENT ADDITION
BEING A REPLAT OF
TRACT 2A-4A1 & TRACT 2A-5A1
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JUNE 1992**

State of New Mexico } SS
County of Bernalillo }
This instrument was filed for record on
11:07 AUG 6 1992
At _____ of said County
of record of said County Folio 92C-165
By Patrick D. Barnett Clerk & Retarder
Deputy Clerk

APPROVED AND ACCEPTED BY:

- SUBDIVISION CASE NO.: SA-92-114
- Jack Clark 8-6-92
Planning Director, City of Albuquerque Date
 - Frank J. Quinn 7-21-92
City Engineering Division, City of Albuquerque Date
 - Frank J. Quinn 7-21-92
Albuquerque Metropolitan Arroyo Flood Control Authority Date
 - Rubel H. Roberts 7-21-92
Traffic Division, City of Albuquerque Date
 - Robert W. Kane 7-21-92
Water Utilities Division, City of Albuquerque Date
 - Debra M. Stone 7-21-92
Parks and Recreation Department, City of Albuquerque Date
 - Neil Chitt 07/20/92
City Surveyor, City of Albuquerque Date
 - Condy Chavez 8/6/92
Real Property, City of Albuquerque Date
 - Condy Chavez 8/6/92
Bernalillo County Treasurer Date
 - Rob Roberts 7-21-92
Public Service Company of New Mexico Date

1-021-057-104-449-20123
THIS TO CERTIFY THAT TAXES ARE PAID
AUG 20 1992
PROPERTY OF RECORD
Bernalillo County Treasurer's Office
Condy Chavez 7/2/92

JOB NO. : 92-67	PROFESSIONAL CONTRACTING SERVICES
OFFICE : 918	Surveying - Technical - Planning
DRAFT : 898	SERVICES
PLANS : 108	
DATE : 6-92	

92C-165(1)

92C-165(1)

92C-165(2)

ACS BRASS CAP "1-J20A"
 X = 415,571.74
 Y = 1,487,117.18
 CENTRAL ZONE
 $\Delta = -00^{\circ}09'44"$
 G-G = 099964805
 ELEV = 5438.26
 NAD 1927

NMOC NO. 92062209450103

09278837 PLAT OF
 TRACT 2A-4A1-A & TRACT 2A-5A1-A
 HORNE DEVELOPMENT ADDITION
 BEING A REPLAT OF
 TRACT 2A-4A1 & TRACT 2A-5A1
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JUNE 1992

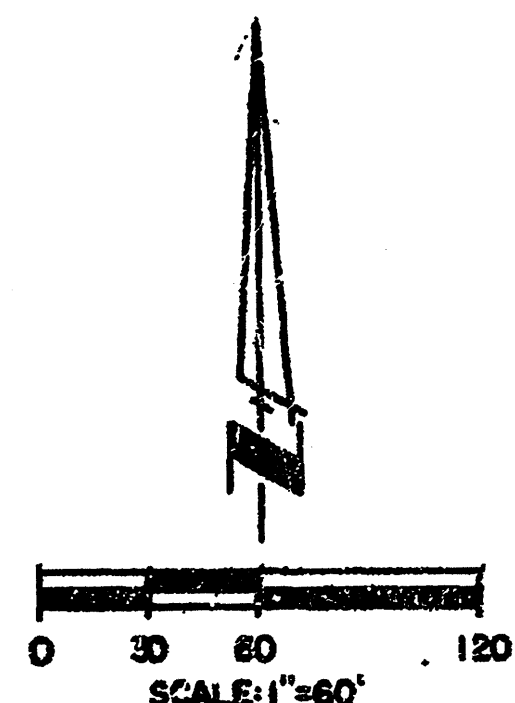
State of New Mexico
 County of Bernalillo
 This instrument was filed for record on
 AUG 6 1992
 of records of said County Clerk
 Deputy Clerk

TRACT 2A-3A1
 HORNE DEVELOPMENT ADD'N.
 BOOK C37, PAGE 95
 FILED 9-21-88

TRACT 2A-4A1-A
 4.8078 ACRES

TRACT 2A-5A1-A
 6.1005 ACRES

- FOUND #5 REBAR & CAP EHBA LS779 ATTACHED ALLOY TAG EHBA LS8478
- FOUND PK NAIL
- ⊙ SET #5 REBAR & CAP "PS 8478"
- ▲ REFERENCE CORNER - SET #5 REBAR & CAP "PS 8478"



CURVE NO.	DELTA	RADIUS	LENGTH	CHORD	TAN	CH-BEARING
1	12°42'28"	470.00	104.24	104.03	52.34	S 8°30'50"W
2	90°09'00"	4.83	7.58	6.85	4.85	N 47°09'38"E
3	9°02'51"	470.00	25.00	25.00	12.50	S 16°23'30"W
4	97°18'54"	70.00	118.84	105.07	79.50	S 68°33'08"W
5	11°50'58"	446.81	92.40	92.24	46.37	N 58°53'12"W
6	11°50'58"	446.81	92.40	92.24	46.37	N 47°02'18"W
7	43°19'04"	221.88	187.81	183.84	88.14	N 19°27'18"W
8	89°57'30"	150.00	157.01	141.37	99.93	N 47°11'01"E
9	14°45'10"	331.80	85.23	84.98	42.85	N 84°47'51"E
10	23°41'52"	446.81	184.80	183.49	93.74	N 52°02'44"W

ADDITIONAL COURSES

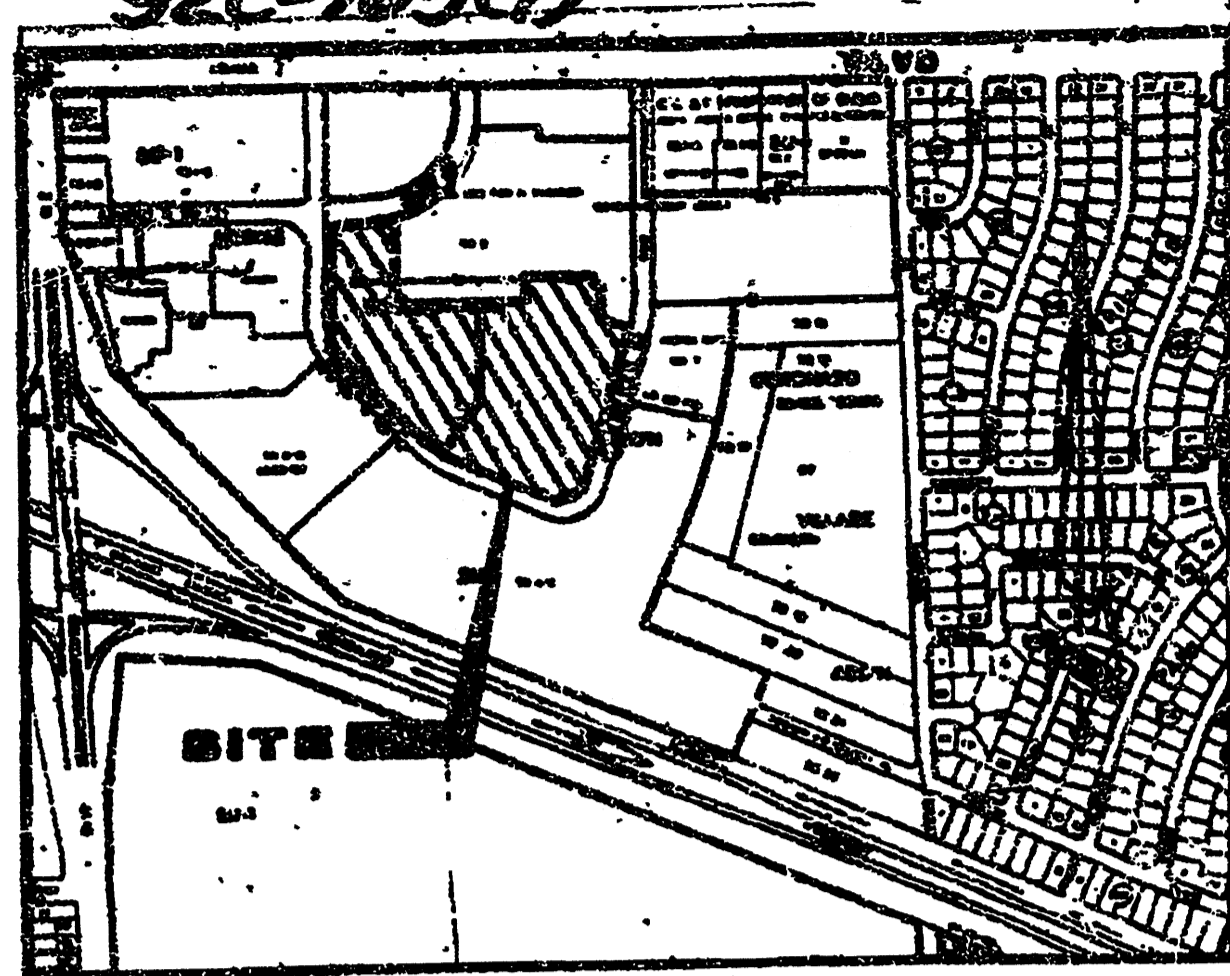
REF NO.	BEARING	DISTANCE
1	N25°11'20"E	10.01
2	N25°11'20"E	31.84
3	N02°41'20"E	51.28
4	N16°33'13"E	35.16
5	N16°33'13"E	5.00
6	N16°33'13"E	7.53
7	N16°33'13"E	63.59
8	N02°09'36"E	7.20
9	N02°09'36"E	58.61
10	N09°05'24"W	15.28
11	N09°05'24"W	64.06
12	N64°48'49"W	38.65
13	N73°26'47"W	17.54
14	S73°26'47"E	18.69
15	S73°26'47"E	37.73
16	N02°09'36"E	14.00
17	N25°11'20"E	6.90
18	N80°54'36"E	50.61
25	N02°09'36"E	25.75
26	N02°09'36"E	75.00
27	S87°50'24"E	20.00
28	S87°50'24"E	6.25
29	N25°11'20"E	4.93
30	N82°50'24"W	75.81
33	N02°09'36"E	71.46
34	S87°50'24"E	24.83
35	S82°09'36"W	20.00
36	S87°50'24"E	20.00
37	S72°05'04"E	97.14
38	S87°50'14"E	24.55

JOB NO. 88-57
 OFFICE 888
 TRACT 2A-4A1-A
 FILED 1-22-88
 DATE 6-1-92

92C-165(2)

92C-16

92C-165(1)



VICINITY MAP: K-21 SCALE 1" = 800'

NMOC NO. 92062209450103

SUBDIVISION DATA

- 1. DRB Case No. 92-0271
- 2. Zone Atlas Index No.: K-21
- 3. Gross Subdivision Acreage: 10.9083

NOTES

- 1. Bearings are New Mexico State Plane Grid Bearings (Central Zone).
- 2. Distances are ground distances.
- 3. Bearings and distances in parenthesis are record.
- 4. Unless otherwise indicated, all points marked with an open circle are set 5/8" rebar and plastic cap "PS 8478".
- 5. All easements of record plat are shown hereon.
- 6. All information shown hereon is based upon plat of record "Horne Development Addition Tracts 2A-2A1 through 2A-5A1" as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on September 21, 1988 (C37-95).
- 7. An existing easement for the purpose of Private Access, Drainage and Parking on, over and across Tracts 2A-2A1, 2A-3A1, 2A-4A1 and 2A-5A1 was granted by plat filed 5-26-87 (C34-7) (1-2). Said easement is a Reciprocal Easement between the aforementioned Tracts and is in accordance with the approved site development plan (Z-1661-3).
- 8. Tracts 2A-2A1 through 2A-5A1 are affected by a "Construction and Reciprocal Easement Agreement" filed June 30, 1987 as Document No. 67-69008 in Misc. Book 505A, Pages 259-349, records of Bernalillo County, New Mexico between the owners, their successors and assigns of the tracts shown hereon. Said Easement Agreement allows for the construction, use and maintenance of private facilities within the tracts shown hereon, more specifically a private sanitary sewerline which services Tracts 2A-3A1 and 2A-5A1 exclusively.

PURPOSE OF PLAT

- 1. Grant Public Waterline Easements to the City of Albuquerque as shown hereon.
- 2. Vacate portions of a Public Waterline Easement as shown hereon. VAC. ORD. NO. 92-49

FREE CONSENT

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) hereof. Said owner(s) and/or proprietor(s) do hereby grant Public Waterline Easements to the City of Albuquerque and Consent to the Vacation of portions of Public Waterline Easements as show hereon.

OWNER OF TRACT 2A-4A1 & TRACT 2A-5A1
MCE Associates, Limited Partnership

BY: Delma Properties, Inc., its General Partner

BY: Patrick D. Barrett 8/1
Patrick D. Barrett
Executive Vice President

STATE OF NEW YORK)
COUNTY OF NEW YORK) SS

On this 30th day of JULY, 1992, the FREE CONSENT was acknowledged before me by PATRICK BARRETT

Notary Public ALLAN P. DEGENROW
My commission expires AUGUST 31, 1994

ALLAN P. DEGENROW
NOTARY PUBLIC, State of New York
No. 87-7820170
Qualified in New York County
Commission Expires August 31, 1994

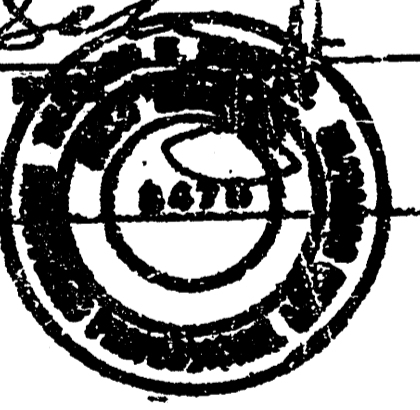
DESCRIPTION:

A tract of land situate within Section 21, Township 10 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being TRACTS 2A-4A1 and 2A-5A1 of HORNE DEVELOPMENT ADDITION, TRACTS 2A-2A1 THROUGH 2A-5A1 as the same are shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on September 21, 1988 in Volume C37, folio 85, from whence the City of Albuquerque Control Monument "S-K21" bears N48°53'55" E, 1141.07 feet from the northeast corner of said TRACT 2A-5A1. Said tract of land containing 10.9083 acres more or less.

SURVEYOR'S CERTIFICATION

I, Bernard W. Seitz, Jr., do hereby certify specifically and only that Market Centre East Associates, a field survey under my supervision was made on the ground using the normal standard of care of Professional Surveyors practicing in the State of New Mexico on this date. The field survey was made for the purpose of replating. All notes shown hereon are a part of said survey. I further certify that this plat meets the minimum requirements for monumentation and surveys of the City of Albuquerque Subdivision Ordinance and the "New Mexico Minimum Standards for Land Surveying, November 1989."

B. W. Seitz, Jr. 7-20-92
Bernard W. Seitz, Jr.,
Project Surveyor
P.C.S. Job No. 92-67



09276837

**PLAT OF
TRACT 2A-4A1-A & TRACT 2A-5A1-A
HORNE DEVELOPMENT ADDITION
BEING A REPLAT OF
TRACT 2A-4A1 & TRACT 2A-5A1
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO**

JUNE 1992

State of New Mexico } SS
County of Bernalillo }
This instrument was filed for record on

1107 AUG 6 1992
All of above recorded in Vol. 92C
of record of said County folio 15
Rec'd by the County Clerk & Recorder
Deputy Clerk

APPROVED AND ACCEPTED BY:

- SUBDIVISION CASE NO.: SA-92-114
- Jack Clark 8-6-92
Planning Director, City of Albuquerque Date
 - Frank J. Quinn 7-21-92
City Engineering Division, City of Albuquerque Date
 - Frank J. Quinn 7-21-92
Albuquerque Metropolitan Arroyo Flood Control Authority Date
 - Rubén H. Duarte 7-21-92
Traffic Division, City of Albuquerque Date
 - Robert W. Kane 7-21-92
Water Utilities Division, City of Albuquerque Date
 - Debra M. Stapp 7-21-92
Parks and Recreation Department, City of Albuquerque Date
 - W. J. Clark 08/20/92
City Surveyor, City of Albuquerque Date
 - W. J. Clark 8-1-92
Real Property, City of Albuquerque Date
 - Candy Chavez 8/6/92
Bernalillo County Treasurer Date
 - Rob Roberts 7-21-92
Public Service Company of New Mexico Date

ENTERED
AUG 20 1992

1-021-057-104-448-20/23
THIS TO CERTIFY THAT TAXES ARE PAID IN FULL
AUG 21 1992 1-021-057-149-430-20/24
PROPERTY DIVISION OF RECORDS
Bernalillo County East Assoc.
BERNALILLO COUNTY TREASURER'S OFFICE
Candy Chavez 8/6/92

JOB NO. : 88-67
OFFICE : 3MS
DRAFT : 8MS
PLANK : 108
DATE : 6-88

PROFESSIONAL
CONTRACTING
SERVICES
Surveyors - Topographers - Planners
ENGINEERS
2200 10TH ST. NE - ALBUQUERQUE, N.M.
87110-2202

PAGE 7 OF 2

92C-165(1)

92C-165(2)

ACS BRASS CAP "1-J20A"
X = 419.371 74
Y = 1,487.117 13
CENTRAL ZONE
G = -09°09' 44"
G-G = 099964805
ELEV = 5438.25
MAD 1927

- FOUND #5 REBAR 1 ATTACHED ALLOY 1
- FOUND #6 REBAR 1
- SET #5 REBAR 6
- ▲ REFERENCE CORNER

CURVE DATA

CURVE NO.	BETA
1	114.59
2	114.59
3	114.59
4	114.59
5	114.59
6	114.59
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92C-165(2)

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92C-166

ACS BRASS CAP "1-J204"
 X = 415,571.74
 Y = 1,487,117.18
 CENTRAL ZONE
 Δ = -00°09'44"
 G-S-O: 99984805
 ELEV = 5458.26
 NAD 1927

NMOC NO. 92062209450103

09278837 PLAT OF
 TRACT 2A-4A 1-A & TRACT 2A-5A 1-A
 HORNE DEVELOPMENT ADDITION
 BEING A REPLAT OF
 TRACT 2A-4A1 & TRACT 2A-5A1
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JUNE 1992

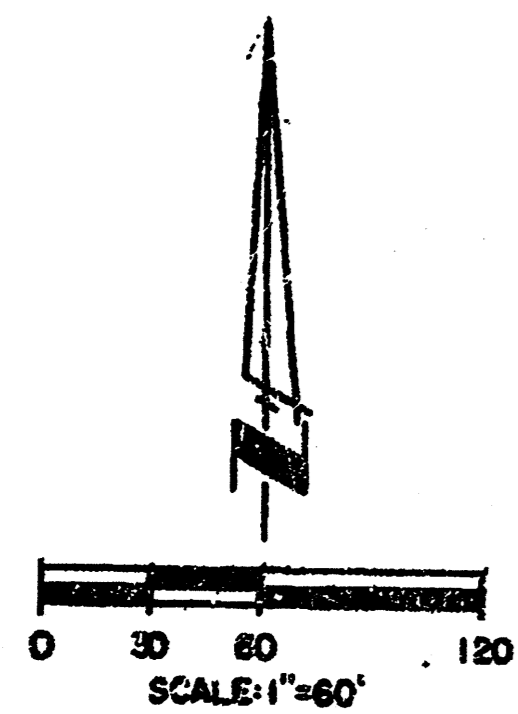
State of New Mexico
 County of Bernalillo } SS
 This instrument was filed for record on
 AUG 6 1992
 of records of said County Clerk
 Deputy Clerk

TRACT 2A-3A1
 HORNE DEVELOPMENT ADD'N.
 BOOK C 37, PAGE 95
 FILED 9-21-88

TRACT 2A-4A 1-A
 4.8078 ACRES

TRACT 2A-5A 1-A
 6.1005 ACRES

- FOUND #5 REBAR & CAP EHBA L5779 ATTACHED ALLOY TAG EHBA L56478
- FOUND PK NAIL
- SET #5 REBAR & CAP "PS 8478"
- ▲ REFERENCE CORNER - SET #5 REBAR & CAP "PS 8478"

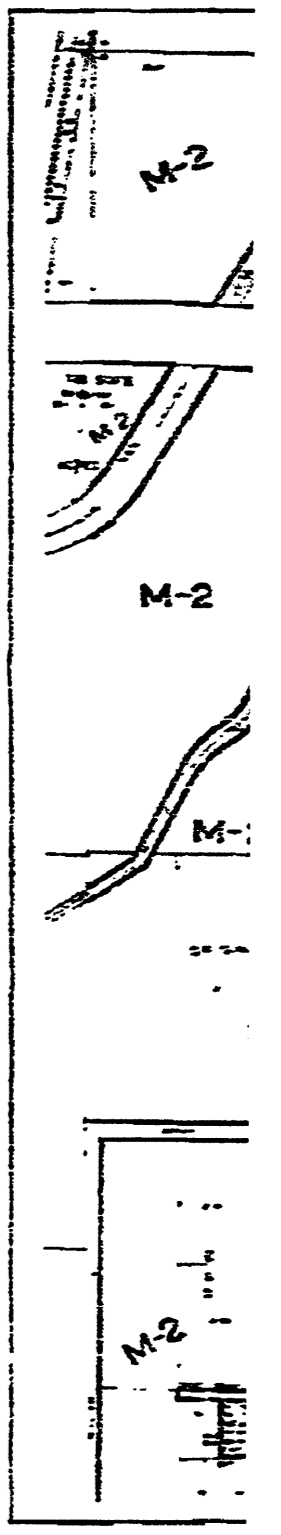


CURVE NO.	DELTA	RADIUS	LENGTH	CHORD	TAN	CH. BEARING
1	12°42'28"	470.00	104.24	104.03	52.34	S 8°30'50"W
2	07°05'03"	4.83	1.58	6.93	4.83	N 47°09'36"E
3	3°02'51"	470.00	25.00	25.00	12.50	S 19°23'30"W
4	97°15'24"	470.00	118.84	105.07	79.50	S 68°33'02"W
5	11°50'55"	446.81	92.40	92.24	46.37	N 49°53'12"W
6	11°50'38"	446.81	92.40	92.24	46.37	N 49°53'12"W
7	43°19'04"	221.55	187.81	183.84	88.14	N 19°27'19"W
8	89°37'25"	100.00	157.01	141.37	99.93	N 47°11'01"E
9	14°43'19"	331.80	85.23	84.98	42.83	N 84°47'51"E
10	23°41'52"	446.81	184.80	183.49	93.74	N 32°52'44"W

ADDITIONAL COURSES

REF NO.	BEARING	DISTANCE
1	N25°11'20"E	10.01
2	N25°11'20"E	31.84
3	N02°41'20"E	51.28
4	N16°33'13"E	35.16
5	N16°33'13"E	5.00
6	N16°33'13"E	7.53
7	N16°33'13"E	63.59
8	N02°09'36"E	7.20
9	N02°09'36"E	58.61
10	N09°05'24"W	15.28
11	N09°05'24"W	64.06
12	N64°48'40"W	38.65
13	N75°26'47"W	17.54
14	S75°26'47"E	18.69
15	S75°26'47"E	37.33
16	N02°09'36"E	14.80
17	N25°11'20"E	6.90
18	N80°54'36"E	50.61
25	N02°09'36"E	25.75
26	N02°09'36"E	75.00
27	S87°50'24"E	20.00
28	S87°50'24"E	6.25
29	N25°11'20"E	4.93
30	N80°54'36"E	15.81
33	N02°09'36"E	71.46
34	S87°50'24"E	14.83
35	S87°50'24"E	40.00
36	S87°50'24"E	20.00
37	S72°05'04"E	97.34
38	S87°50'14"E	26.55

DATE: 6/1/92
 OFFICE: BERNALILLO COUNTY CLERK'S OFFICE
 COUNTY: BERNALILLO COUNTY
 STATE: NEW MEXICO



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92C-166