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DRB CASE ACTION LOG (SITE PLAN – BUILD P.)

REVISED 10/08/07

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 08DRB-70449

Project # 1007367

Project Name: LANDS OF JOEL P. TAYLOR

Agent: TIERRA WEST LLC

Phone No.: 858-3100

Your request was approved on 10-22-08 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

→ TRANSPORTATION: - address comments

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): _____

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). **RECORDED DATE:** _____
- Tax printout from the County Assessor.

- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

Created On:



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Created On:

**City of Albuquerque
Planning Department
Inter-Office Memorandum**

To: Jack Cloud, DRB Chair

From: Carol Toffaleti, Staff Planner, Development Review, 924-3345

Date: October 21, 2008

Subject: Project #1007367, Site Development Plan for Building Permit, Riverside Church of Christ

The EPC approved this proposal at a public hearing on September 18, 2008, subject to nine conditions. Except for Condition 4 which is under the City Engineer's purview, I find the applicant has met all the EPC's conditions of approval.

Please contact me if you have any questions.



City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
 - Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Tierra West LLC PHONE: 505-858-3100
 ADDRESS: 5571 Midway Park Place NE FAX: 505-858-1118
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: _____

APPLICANT: Riverside Church of Christ PHONE: 505-898-2627
 ADDRESS: 3100 La Orilla Road NW FAX: _____
 CITY: Albuquerque STATE NM ZIP 87120 E-MAIL: _____

Proprietary interest in site: Owner List all owners: _____

DESCRIPTION OF REQUEST: DRB Sign Off Site Development Plan for Building Permit

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tract A-1-B Block: _____ Unit: _____
 Subdiv/Addn/TBKA: Lands of Joel P. Taylor
 Existing Zoning: SU-1 for Church & Related Uses Proposed zoning: No Change MRGCD Map No _____
 Zone Atlas page(s): E-12 UPC Code: 101206248050510222

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): #1007085

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No
 No. of existing lots: 1 No. of proposed lots: 1 Total area of site (acres): 4.48 +/-
 LOCATION OF PROPERTY BY STREETS: On or Near: La Orilla Road NW
 Between: Coors Boulevard NW and Corrales Riverside Drain
 Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE _____ DATE 10/14/08
 (Print) Ronald R. Behannan, PE Applicant: Agent:

FOR OFFICIAL USE ONLY

Form revised 4/07

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>DRB - 70449</u>	<u>CMF</u>		\$ <u>20.00</u>
			\$
			\$
			\$
			\$
			Total
			\$ <u>20.00</u>

Hearing date Oct. 22, 2008

[Signature] 10.14.08
 Planner signature / date

Project # 1007367

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** **Maximum Size: 24" x 36"**
 ___ Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) **6 copies.**
 ___ Zone Atlas map with the entire property(ies) clearly outlined
 ___ Letter briefly describing, explaining, and justifying the request
 ___ List any original and/or related file numbers on the cover application
 Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)** **Maximum Size: 24" x 36"**
 ___ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 ___ Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 ___ Zone Atlas map with the entire property(ies) clearly outlined
 ___ Letter briefly describing, explaining, and justifying the request
 ___ Letter of authorization from the property owner if application is submitted by an agent
 ___ Copy of the document delegating approval authority to the DRB
 ___ Completed Site Plan for Subdivision Checklist
 ___ Infrastructure List, if relevant to the site plan
 ___ Fee (see schedule)
 ___ List any original and/or related file numbers on the cover application
 Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)** **Maximum Size: 24" x 36"**
 ___ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 ___ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 ___ Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. **6 copies.**
 ___ Solid Waste Management Department signature on Site Plan
 ___ Zone Atlas map with the entire property(ies) clearly outlined
 ___ Letter briefly describing, explaining, and justifying the request
 ___ Letter of authorization from the property owner if application is submitted by an agent
 ___ Copy of the document delegating approval authority to the DRB
 ___ Infrastructure List, if relevant to the site plan
 ___ Completed Site Plan for Building Permit Checklist
 ___ Copy of Site Plan with Fire Marshal's stamp
 ___ Fee (see schedule)
 ___ List any original and/or related file numbers on the cover application
 Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01)** **Maximum Size: 24" x 36"**
 AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02) **Maximum Size: 24" x 36"**
 ___ Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 ___ DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **6 copies**
 ___ Zone Atlas map with the entire property(ies) clearly outlined
 ___ Letter briefly describing, explaining, and justifying the request
 ___ Letter of authorization from the property owner if application is submitted by an agent
 ___ Infrastructure List, if relevant to the site plan
 ___ Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 ___ Fee (see schedule)
 ___ List any original and/or related file numbers on the cover application
 Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)**
 FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)
 ___ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 ___ Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 ___ Solid Waste Management Department signature on Site Plan for Building Permit
 ___ Zone Atlas map with the entire property(ies) clearly outlined
 ___ Letter carefully explaining how each EPC condition has been met **and** a copy of the EPC Notification of Decision
 N/A ___ Infrastructure List, if relevant to the site plan
 ___ Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 ___ List any original and/or related file numbers on the cover application
 Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

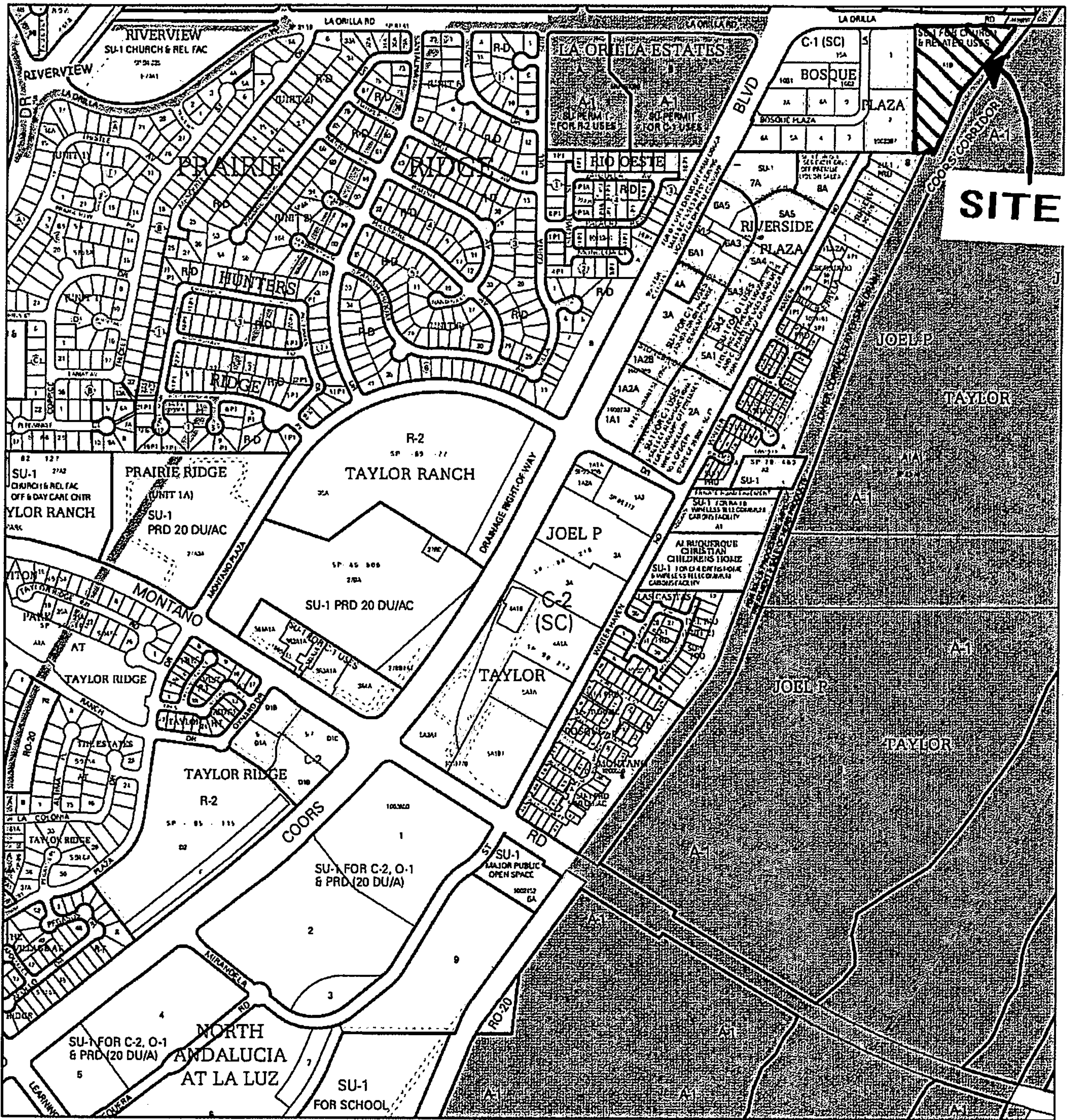
___ Ronald R. Bohannon, PE
 Applicant name (print)
 ___ *[Signature]* 10/14/08
 Applicant signature / date



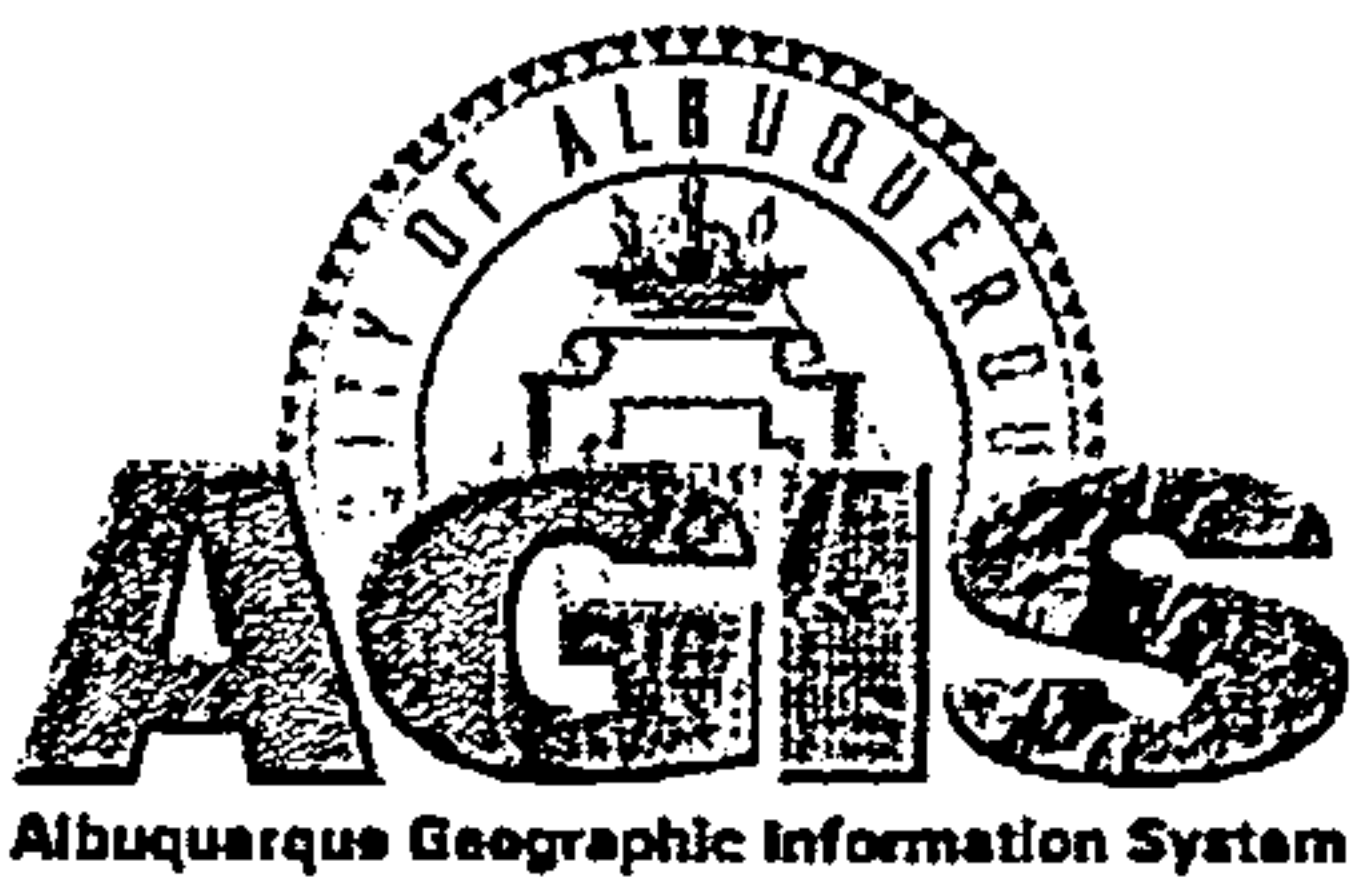
Form revised October 2007

- Checklists complete
 Fees collected
 Case #s assigned
 Related #s listed
- Application case numbers
 DRB - 20441
 - - -
 - - -

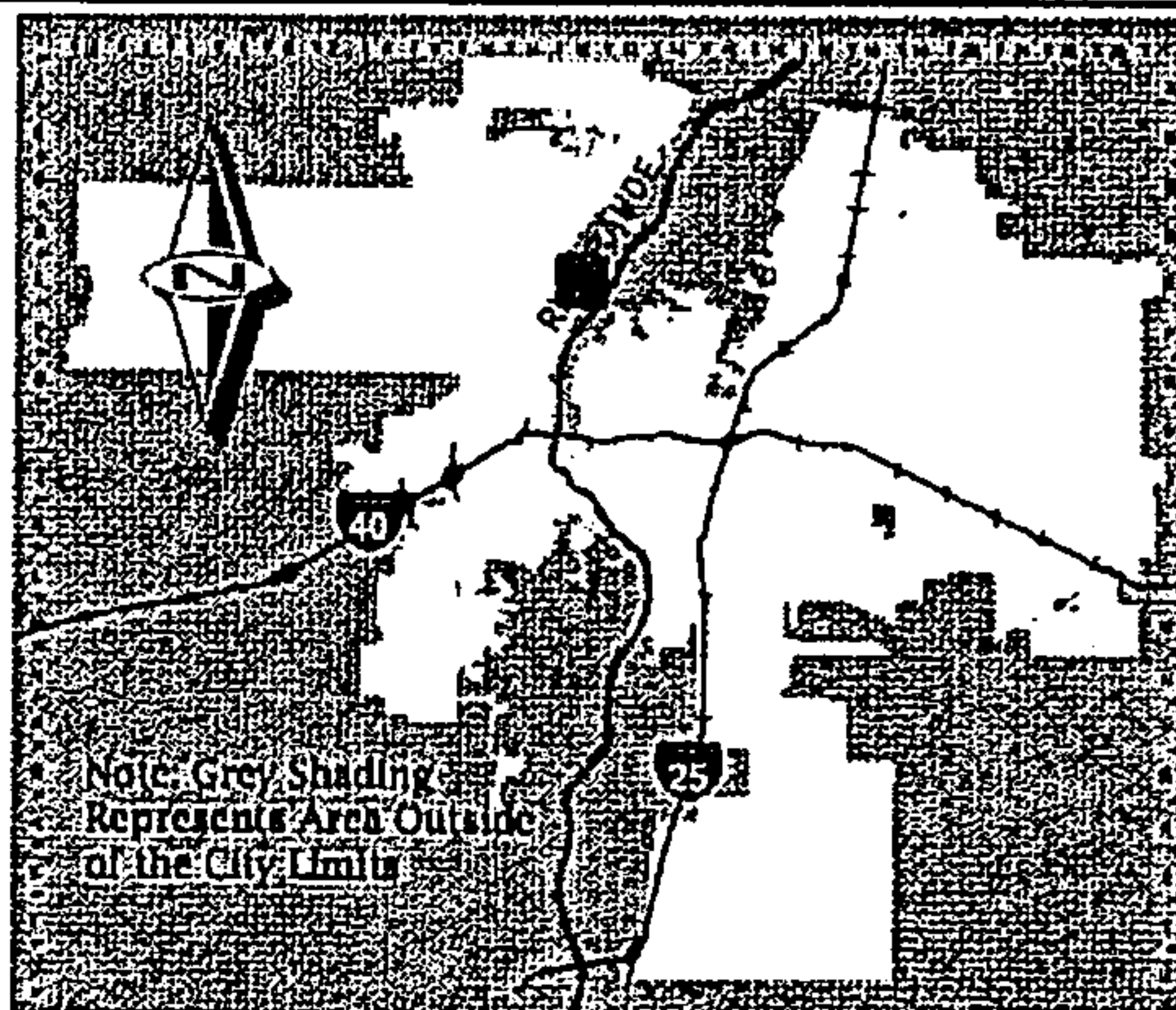
___ *[Signature]* 10.14.08
 Planner signature / date
 Project # 1007367



For more current information and more details visit: <http://www.cabq.gov/gis>



Map amended through: 6/13/2008



Zone Atlas Page:

E-12-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone



Jan

TIERRA WEST, LLC

5571 Midway Park Place NE Albuquerque, NM 87109
(505) 858-3100 Fax (505) 858-1118 1-800-245-3102
tierrawestllc.com

October 13, 2008

Mr. Jack Cloud
Planning Manager, DRB Chair
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

**RE: DRB Final Sign-off of EPC Approved Site Development for Building Permit
Legal Description: A-1-B, Lands of Joel P. Taylor
Project # 1007367**

Dear Mr. Cloud:

Tierra West LLC, on behalf of the owner of the above referenced property, requests EPC final sign-off approval for Site Development for Building Permit. We provided the following responses to the conditions listed by the Environmental Planning Commission.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
This letter specifies all modifications to the plans and how all conditions have been met.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
We met with Carol Toffaleti on October 13, 2008, to discuss the project and all conditions have been met to her satisfaction.
3. Site Development Plan:
 - a. The label for the area of asphalt within the 100' buffer zone that will be removed in Phase I shall include "and replace with landscaping".
The note is revised on Sheet A101.
 - b. The label for the metal screen on the church addition shall refer to sheets A301 and A302.
The reference to sheets A301 and A302 has been added.

4. RECOMMENDED CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT and NMDOT:

Conditions of approval for the proposed Site Development Plan for Building Permit shall include:

- a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chairs ramps (dwg. 2441).

All improvements on La Orilla were built with Sagebrush Community Church.

- b. Label and/or clarify curbing requirements between sidewalk adjacent to buildings and main drive aisle.

Details are shown on Sheet A302 clarifying the different curb types.

- c. Provide an ADA accessible connection between proposed sidewalk adjacent to buildings and the existing sidewalk/ramp adjacent to La Orilla Road, at the NW corner of the main drive aisle entrance with La Orilla.

This is shown on the Sheet A101.

- d. Remove line type between parking end isles at edge of asphalt, that implies curb and gutter.

A cutoff wall type curb will be built between the edge of asphalt and the aggregate base course to prevent the asphalt from raveling. A detail is shown on Sheet A302.

- e. Delete parking spaces 106 and 107 to increase throat length at east site drive.

This is shown on the Sheet A101.

- f. Site plans shall comply and be designed per DPM Standards.

The best of our knowledge the plans comply to DPM Standards.

5. Vehicular Access, Circulation and Parking: All small car spaces shall be called out on the site development plan and reflected in the parking calculations (19 total).

This is shown on the Sheet A101 in the Site Data Table.

6. Landscape Plan

- a. Shrubs and New Mexico olive shall be added next to the site drives at the north and south ends of the retention pond to provide a transition between the developed area and the buffer zone.

This is shown on the Landscape Plan (Sheet LS-01).

- b. In the landscaped bed west of the church addition, move the trees and shrubs at least 3' from the underground gas line.

Trees and shrubs have been moved to avoid the existing underground gas line.

- c. Two thirds of the street trees shall be shade trees, per the Street Tree Ordinance, and shall include Rio Grande cottonwood.
Rio Grande Cottonwood has been added to the street trees and the number increased to comply with the Street Tree Ordinance.
- d. Calculations:
- Landscape area in the ROW is 2,200 sf., which shall be subtracted from the total lot area and then added to the landscape area provided;
The ROW landscape area of 2200 SF was subtracted out of the calculations.
 - Delete line beginning "1/3 may be sidewalk...";
This has been done.
 - The 20% parking area landscaping requirements shall refer to Off-street parking Policy 5.B in the Coors Corridor Plan.
This is shown in the Site Data Table on the Landscape Plan.
- e. Plant legend:
- Change mature spread of Artiplex (four wing saltbush) to 6' X 8'. Adjustments to the number of plants and coverage shall be made according to achieve 75% minimum live ground cover.
This is shown on the Landscape Plan.
 - Include native grass species in plant legend.
Native grasses are shown in the Plant Legend.
- f. Change note on drip system (last note) to provide shade trees with 150 gallons per week during establishment, per City Forester's standard guidelines.
This note was added to the Landscape Plan as directed.
- g. The native grass species in the buffer zone shall be reseeded for three consecutive years.
This note has been added to the Landscape Plan.
- h. Trellises shall be used for climbing vines.
Trumpet vines have been added to the trellis locations.
7. Grading & Drainage:
- a. Correct location of site on vicinity map.
This is corrected.
 - b. Eliminate "future path" indicated along Corrales Riverside Drain.
This note is removed as shown on Sheet C1.
8. Architecture:
- a. The roof color may remain white but the materials shall be non-reflective.
The new roof will match the existing white roof. The roof will be a white PBR screwdown metal with silicanized polyester paint signature 200, color polar white.

b. Existing church:

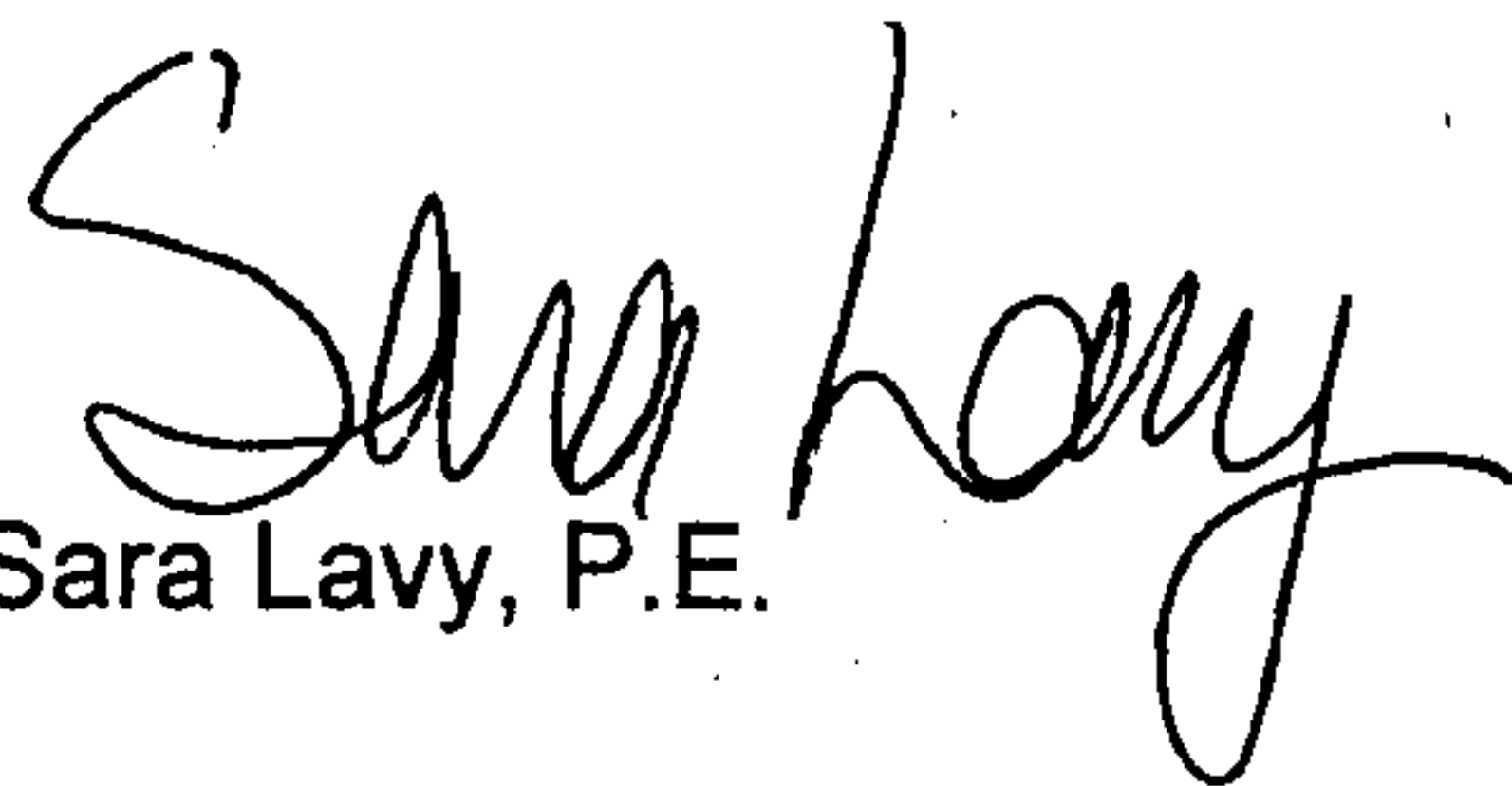
- Add a Keyed Note 17 and a corresponding label to Sheet 301 to indicate that the vertical accent panels will be painted to match the trellises on the additions.
Key note 17 on Sheet A301 was added with the requested information.
- Add a similar note, but numbered 19, to Sheet A302.
Key note 19 was added to Sheet A302 with the requested information.
- The keyed notes for repainting the wall panels shall clarify that the horizontal line is the dividing line between the two colors.
A note indicating the color change at an elevation of 8' was added to the elevations on Sheet A301 and A302.

9. A motion detection light shall be used for security purposes at the main entrance and adjacent parking area.

This note has been added to the Site Plan (Sheet A101) under the Zoning Code Notes.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,



Sara Lavy, P.E.

Enclosure/s

cc: Jeff Foss - DURA-BILT PRODUCTS, INC.

JN: 28031
SL/cla

28031
EPC



City of Albuquerque
Planning Department
Development Review Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: September 19, 2008

OFFICIAL NOTIFICATION OF DECISION

FILE: Project# 1007367*
08EPC-40079 SITE DEVELOPMENT -
BUILDG PRMT

Riverside Church of Christ
3100 La Orilla Rd. NW
Albuq. NM 87120

LEGAL DESCRIPTION: for all or a portion of tract A-1-B, LANDS OF JOEL P TAYLOR within Sec. 25, T11N R2E, zoned SU-1 FOR CHURCH & RELATED USES located on LA ORILLA RD NW BETWEEN COORS BLVD NW AND CORRALES RIVERSIDE DRAIN containing approximately 4.48 acres. (E-12) (Carol Toffaleti, Staff Planner)

On September 18, 2008 the Environmental Planning Commission voted to approve Project 1007367/08EPC 40079, a Site Development Plan for Building Permit, for Tract A-1-B Lands of Joel P. Taylor within Sec. 25 T11N R2E, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. The request is a site development plan for Tract A-1-B, Lands of Joel P. Taylor, a site of approximately 4.5 acres, located on La Orilla Road NW, between Coors Blvd. and the Corrales Riverside Drain, zoned SU-1 for Church and Related Uses. The applicant proposes to implement development in two phases: Phase I consists of a one story 3,940 sf addition to an existing church facility, the expansion of the parking area, a retention pond and landscaping; Phase II consists of a two story addition of 8,064 sf. for classrooms, and additional parking and landscaping.
2. The existing church facility is two-story and contains a chapel, classrooms and offices with a total square footage of 10,506 sf. Two one-story dwellings are in the southern part of the site, used by the pastor and caretaker. The majority of the site is currently vacant and consists of bare ground.
3. The site is in the Developing Urban area of the Comprehensive Plan and within the boundaries of the West Side Strategic Plan and Segment 3 of the Coors Corridor Plan (1984, as amended).

OFFICIAL NOTICE OF DECISION

SEPTEMBER 18, 2008

PROJECT #1007367

PAGE 2 OF 6

4. The subject site was annexed in 2001 and received its current zoning designation in early 2002 as part of actions involving several sites throughout the City totaling approximately 140 acres (#1001445, 01EPC-01244, 8/30/2001, Council Bill O-02-16, Enactment 13-2002, 3/18/2002). The two houses and church were already on the site at that time.
5. The proposal furthers the following goals and policies of the Comprehensive Plan (CP), West Side Strategic Plan (WSSP) and Coors Corridor Plan (CCP):
 - a. The Goals for the Developing Urban Area and Developed Landscape (CP), and CP Policy II.B.5.m, because the design of the new development will improve the visual quality of the built environment on the site.
 - b. CP Policy II.B.5.e and WSSP Policy 3.12, because the proposed development makes use of vacant area on a site that is contiguous to existing public facilities and services within the Taylor Ranch community.
 - c. CP Policy II.B.5.g, and CCP Policy 2.7, because grading of the site is kept to a minimum; the required retention pond follows the alignment of the existing drain; and most of the open areas are landscaped or covered with pervious paving materials that blend in with the natural backdrop of the Bosque.
 - d. CP Policy II.C.8.d, WSSP Policies 3.18, 4.6 (Vegetation), CCP Policy 2.2, CCP Design Guideline 1 of Policy 4.b.4.B, because the landscape design will revegetate the site, enhance its appearance; and provide a "green" transition to the Bosque through extensive use of native trees, shrubs and grasses.
 - e. The CP Water Management Goal and Policy II.D.2.b, because the majority of the parking area will be covered with pervious material which encourages infiltration of runoff; a retention pond will accommodate all developed runoff on the site; and the proposed plant species are low and medium water use.
 - f. WSSP Policy 4.6 (Lighting), because the number of lightpoles is limited, their height is 16 ft. and they will only be used when the church facility is in use, which will mitigate light pollution.
 - g. CCP Policy 3.5, because the proposed expansion of the existing church facilities is compatible with the roadway function and existing zoning; and the site layout and landscaping will upgrade the condition of the buffer zone for the Bosque within the site.
 - h. CCP Policy 3.8, because the 100' buffer zone for the Bosque will not contain new structures or vehicular facilities; bare ground will be replaced with a ponding area landscaped with native grasses; and the asphalt of the drive in front of the existing residences will be replaced with a pervious material that blends in with the natural soil color.
6. The proposal is in accordance with the following design policies, regulations and guidelines of the Coors Corridor Plan, a design overlay zone:
 - a. Design Regulation A.2 and Design Guidelines A.5, 6 & 7, and B.1 of Policy 4.b.4, because the landscape design calls for screening of mechanical equipment; incorporates existing trees; and proposes species that are ecologically and visually harmonious with the Bosque.

- b. Policy 4.b.5, and associated Design Regulations A.2, A.3, B.3 and Design Guideline B.1., because the off-street parking is located behind the building or landscaping; the paving materials are acceptable to the City; the landscaped beds are protected from vehicles; interior landscaping is provided; and the majority of the parking area is paved with pervious material.
- c. Policy 4.b.9 and Design Regulations 1 and 2, because the site lighting will not glare on residentially zoned property and is less than 20 feet high.
- d. Design Regulations A.1, B.2 and Design Guidelines B.1 & 2 under Policy 4.b.10, because the architectural design of the two building phases will attain a visual completeness; the screening of mechanical equipment is integrated with the building structure; building entries are protected; and the predominant colors are earth tones that correspond to architectural elements of the existing church and additions.
- e. Design Regulations B.1 & B.2, because the height and bulk of the building additions obstruct a relatively small proportion of the view from Coors Blvd. toward the Bosque and none of the view to the Sandia Mountains.
- f. Policy 4.d.1 and Design Regulation 6, because the proposed wall sign is unobtrusive due to its location, size and design.

7. Property-owners within 100' and the Taylor Ranch, Alban Hills and Coors Trail Neighborhood Associations were notified of the proposal. A facilitated meeting took place on July 21, 2008. Written comments were received from members of the Taylor Ranch and Alban Hills NAs and testimony from the former was also heard on August 21, 2008. They had concerns about protecting the buffer zone along the Corrales Riverside Drain, the overall appearance of the building, the height of the additions and area lighting. No comments have been received on the revised submittal.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. Site Development Plan:
 - a. The label for the area of asphalt within the 100' buffer zone that will be removed in Phase I shall include "and replace with landscaping".

OFFICIAL NOTICE OF DECISION
SEPTEMBER 18, 2008
PROJECT #1007367
PAGE 4 OF 6

b. The label for the metal screen on the church addition shall refer to sheets A301 and A302.

4. **RECOMMENDED CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT and NMDOT:**

Conditions of approval for the proposed Site Development Plan for Building Permit shall include:

- a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (dwg. 2441).
- b. Label and/or clarify curbing requirements between sidewalk adjacent to buildings and main drive aisle.
- c. Provide an ADA accessible connection between proposed sidewalk adjacent to buildings and the existing sidewalk/ramp adjacent to La Orilla Road, at the NW corner of the main drive aisle entrance with La Orilla.
- d. Remove line type between parking end isles at edge of asphalt, that implies curb and gutter.
- e. Delete parking spaces 106 and 107 to increase throat length at east site drive.
- f. Site plan shall comply and be designed per DPM Standards.

5. **Vehicular Access, Circulation and Parking:** All small car spaces shall be called out on the site development plan and reflected in the parking calculations (19 total).

6. **Landscape Plan**

- a. Shrubs and New Mexico olive shall be added next to the site drives at the north and south ends of the retention pond to provide a transition between the developed area and the buffer zone.
- b. In the landscaped bed west of the church addition, move the trees and shrubs at least 3' from the underground gas line.
- c. Two thirds of the street trees shall be shade trees, per the Street Tree Ordinance, and shall include Rio Grande cottonwood.
- d. Calculations:
 - Landscape area in the ROW is 2,200 sf., which shall be subtracted from the total lot area and then added to the landscape area provided;
 - Delete line beginning "1/3 may be sidewalk...";
 - The 20% parking area landscaping requirement shall refer to Off-street parking Policy 5.B in the Coors Corridor Plan.

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e. Plant legend:

- Change mature spread of Artiplex (four wing saltbush) to 6' x 8'. Adjustments to the number of plants and coverage shall be made accordingly to achieve 75% minimum live ground cover.
- Include native grass species in plant legend.

f. Change note on drip system (last note) to provide shade trees with 150 gallons per week during establishment, per the City Forester's standard guidelines.

g. The native grass species in the buffer zone shall be reseeded for three consecutive years.

h. Trellises shall be used for climbing vines.

7. Grading & Drainage:

a. Correct location of site on vicinity map.

b. Eliminate "future path" indicated along Corrales Riverside Drain.

8. Architecture:

a. The roof color may remain white but the material shall be non-reflective.

b. Existing church:

- Add a Keyed Note 17 and a corresponding label to Sheet 301 to indicate that the vertical accent panels will be painted to match the trellises on the additions.
- Add a similar note, but numbered 19, to Sheet A302.
- The keyed notes for repainting the wall panels shall clarify that the horizontal line is the dividing line between the two colors.

9. A motion detection light shall be used for security purposes at the main entrance and adjacent parking area.

PROTEST: IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION, WHICH IS BY OCTOBER 3, 2008.

APPEAL: IF YOU WISH TO APPEAL A FINAL DECISION, YOU MUST DO SO BY OCTOBER 3, 2008 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED.

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Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,


Richard Dineen
Planning Director

RD/CT/ac

cc: Tierra West LLC, 5571 Midway Park Pl. NE, Albuquerque, NM 87109
Cindi Caruso Mapel, Alban Hills NA, 6507 Calle Redonda NW, Albuquerque, NM 87120
Patsy Nelson, Alban Hills NA, 3301 La Rambia NW, Albuquerque, NM 87120
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