

### SITE DATA

PROPOSED USAGE:	CHURCH & RELATED FACILITIES
LOT AREA:	156,099 SF ( 4.48 ACRES )
UNDEVELOPED LOT AREA:	17,126 SF
DEVELOPABLE LOT AREA:	138,973 SF
ZONING:	90-1 FOR CHURCH & RELATED USES
PROPOSED FAR:	0.14
BUILDING SETBACK:	NOT APPLICABLE
PARKING REQUIREMENTS PHASE:	
REQUIRED:	108 SPACES (41 SEATS DIVIDED BY 4) 8 SPACES
PHASE I PROVIDED:	99 SPACES PHASE I 8 SPACES ( 2 VAN ACCESSIBLE ) 105 SPACES (10 IS SMALL CAR SPACES)
PHASE II PROVIDED:	8 SPACES 11 SPACES (10 SMALL CAR SPACES)
MOTORCYCLE SPACES:	4 REQUIRED/PROVIDED
BICYCLE SPACES:	6 REQUIRED/PROVIDED

### ZONING CODE NOTES

1. THE PROPOSED ADDITION HEIGHT SHALL COMPLY WITH THE VIEW REGULATIONS OF THE CORRIDOR SECTOR DEVELOPMENT PLAN.

2. AREA LIGHTING SHALL NOT HAVE AN OFF-SITE LUMINANCE GREATER THAN 200 FOOT-LAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE - PER SECTION 14-16-3-5(B). ADDITIONALLY, THE SITE LIGHTING SHALL BE TURNED OFF WHENEVER THE BUILDING IS NOT IN USE. THE FIXTURE HEIGHT SHALL NOT EXCEED 16 FT. ABOVE ADJACENT FINISH GRADE.

PROVIDE MOTION DETECTION SWITCHES FOR SITE AND BUILDING LIGHTING FOR SECURITY PURPOSES.

16 FT. MAX. HT. FOR ASSEMBLY LIGHT POLE BRONZE ANODIZED E-CONCLIGHT MODEL \* E-P842AC200/8" SINGLE 250 W LAMP FIXTURE MODEL \* E-18425002 SET ON 36" NCH HI. CONCRETE PIER TYPICAL OF SEVEN (7).

### DRAWING INDEX

A101	SITE PLAN
C1	GRADING AND DRAINAGE
C2	MASTER UTILITY PLAN
LS-01	LANDSCAPE PLAN
A301	BUILDING ELEVATIONS
A302	BUILDING ELEVATIONS

PROJECT NUMBER: \_\_\_\_\_  
 APPLICATION NUMBER: \_\_\_\_\_

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

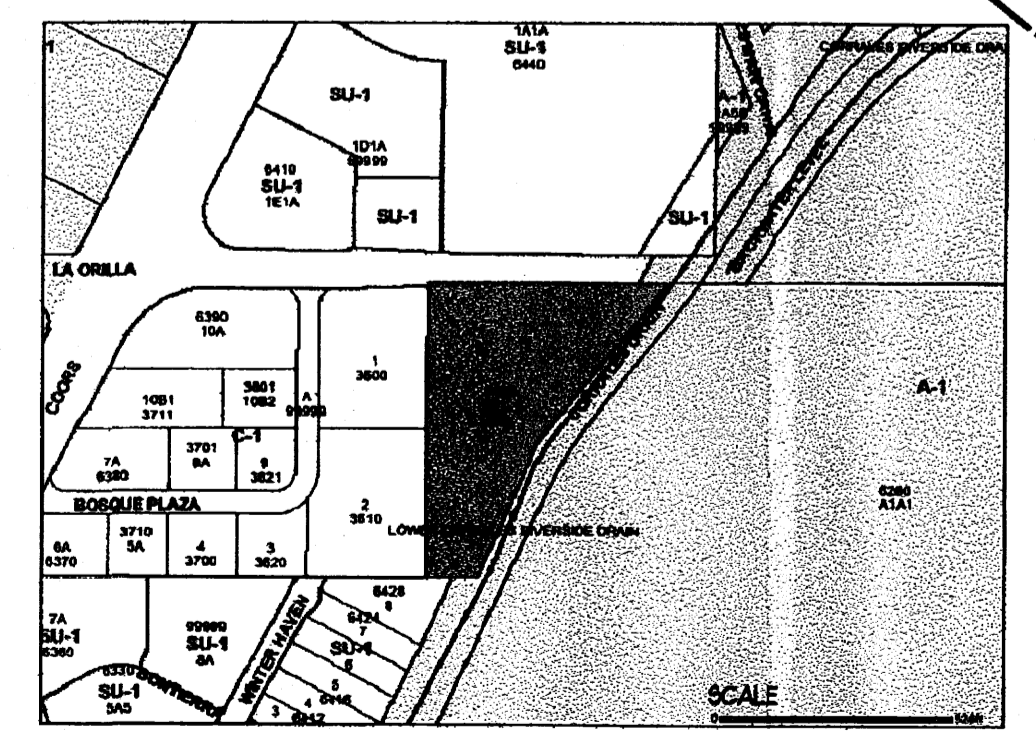
Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date
* Environmental Health, if necessary	

### SITE PLAN - PHASE II

1" = 40'-0"

### HATCH LEGEND

EXISTING CONSTRUCTION	EXISTING ASPHALT TO REMAIN FOLLOWING PHASE I, & REMOVED IN PHASE II	ASPHALT PAVING
LANDSCAPE AREA - SEE LANDSCAPE DRAWING FOR SPECIES & LAYOUT	PHASE II BUILDING	EXISTING ASPHALT PAVING ACCESS TO HOUSES TO REMAIN
PHASE I ADDITION TO CHAPEL	PROPOSED CONCRETE SIDEWALK	RE-CYCLED ASPHALT MILLINGS OR AGGREGATE BASE COURSE COMPACTED
		EXISTING ASPHALT PAVING TO BE REMOVED



### SITE PLAN - PHASE I

1" = 30'-0"

**DURA BILT**  
Products, Inc.

DESIGN / BUILDER  
Since 1950  
LICENSE NO. 3044

4808 JEFFERSON N.E.  
ALBUQUERQUE N.M. 87109  
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DATE: \_\_\_\_\_

PLOT DATE: JULY 28, 2008

REVISIONS:

1/4/08	RESPONSE TO 1/3/08 COA LTR.
8/28/08	RESPONSE TO 1/28/08 COA COMMENTS
8/28/08	RESPONSE TO 8/28/08 HEARINGS
10/14/08	DRB SUBMITTAL

FILE: A101.DWG

ADDITION TO CHAPEL FOR

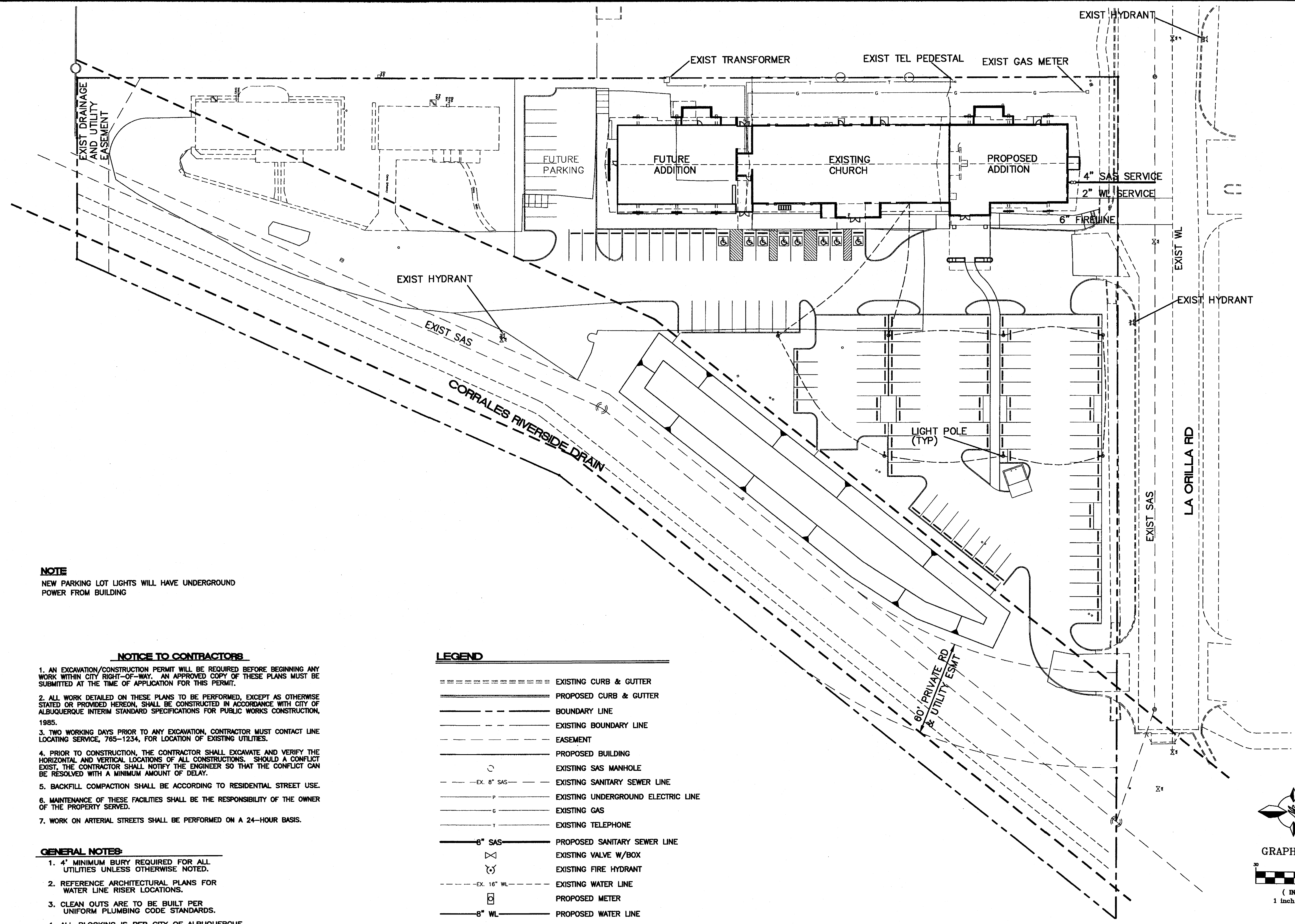
**Riverside Church of Christ**  
3100 LA ORILLA RD N.E.  
ALBUQUERQUE, NEW MEXICO 87120

SITE PLAN (PHASE I),  
SITE DATA, SITE PLAN  
(PHASE II)  
SHEET NO.

**A101**

PROJECT # 08-106





**NOTE**  
NEW PARKING LOT LIGHTS WILL HAVE UNDERGROUND POWER FROM BUILDING

**NOTICE TO CONTRACTORS**

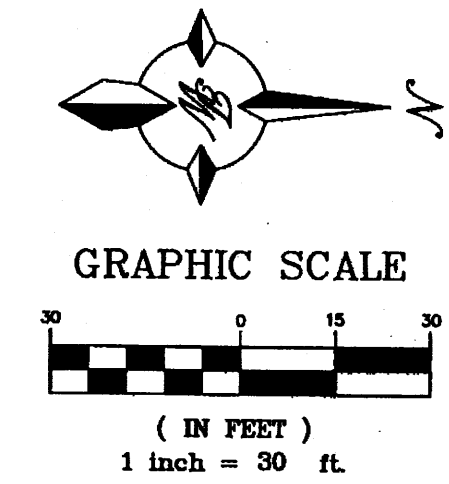
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

**GENERAL NOTES**

1. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
2. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
3. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
4. ALL BLOCKING IS PER CITY OF ALBUQUERQUE STANDARD DWG. 2320.
5. ALL PIPE MATERIAL TO BE USED PER UPC.

**LEGEND**

=====	EXISTING CURB & GUTTER
=====	PROPOSED CURB & GUTTER
-----	BOUNDARY LINE
-----	EXISTING BOUNDARY LINE
-----	EASEMENT
-----	PROPOSED BUILDING
○	EXISTING SAS MANHOLE
- - - - - EX. 8" SAS	EXISTING SANITARY SEWER LINE
- - - - - P	EXISTING UNDERGROUND ELECTRIC LINE
- - - - - G	EXISTING GAS
- - - - - T	EXISTING TELEPHONE
----- 8" SAS	PROPOSED SANITARY SEWER LINE
⊗	EXISTING VALVE W/BOX
⊗	EXISTING FIRE HYDRANT
- - - - - EX. 16" WL	EXISTING WATER LINE
⊞	PROPOSED METER
----- 8" WL	PROPOSED WATER LINE
⊙	PROPOSED LIGHT POLE
- - - - -	ELECTRICAL LINES TO AREA LIGHTING



**CAUTION**

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

	<b>ENGINEER'S SEAL</b> <b>RIVERSIDE CHURCH</b> ALBUQUERQUE, NM	DRAWN BY pm DATE 10-13-08
	<b>MASTER UTILITY PLAN</b>	2831-MUE SHEET #
		JOB # 28031

**DURA BILT**  
Products, Inc.

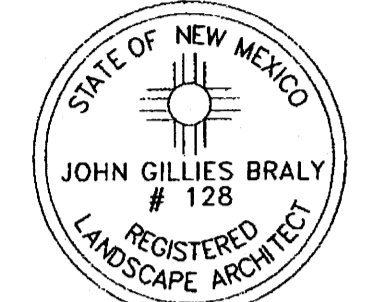
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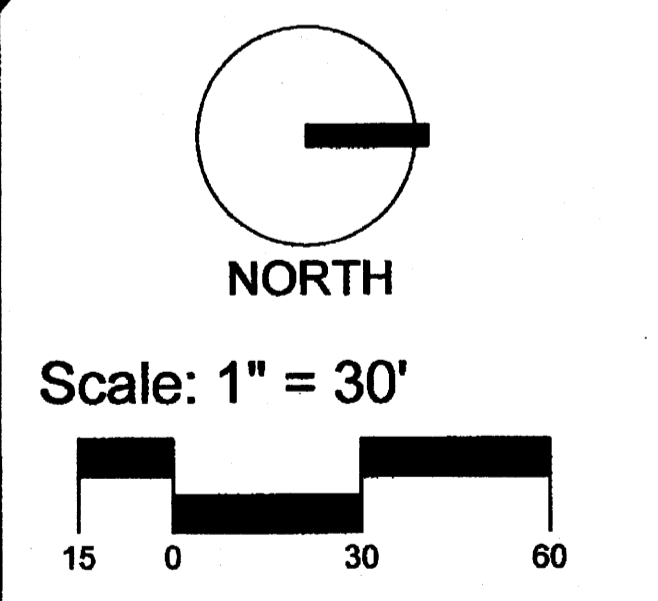
ADDITION TO CHAPEL  
FOR  
**Riverside**  
**Church of Christ**  
3100 LA ORILLA RD N.E.  
ALBUQUERQUE, NEW MEXICO 87120

SHEET NO.  
PROJECT # 08-106

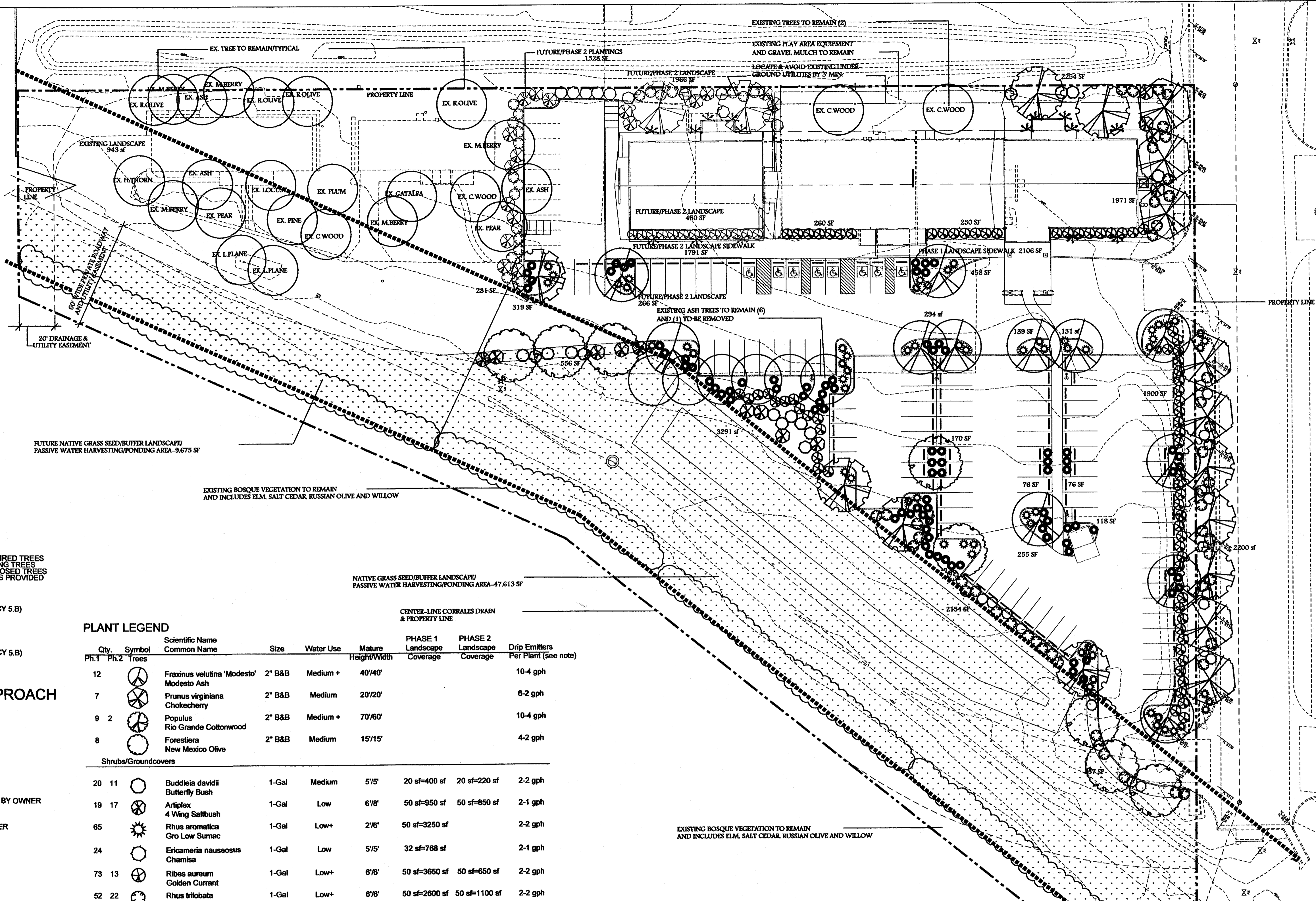


Date: 6/5/08  
 Revisions:  
 ▲ 7/1/08  
 ▲ 7/28/08  
 ▲ 8/7/08  
 ▲ 8/25/08  
 ▲ 9/8/08  
 10/1/08  
 Drawn by: JC  
 Reviewed by: Hulc

**Riverside Church of Christ**  
 Albuquerque, New Mexico



Sheet Title:  
**Landscape Plan**  
 Sheet Number:  
**LS-01**



**SITE DATA**

GROSS LOT AREA	195,099 SF
LESS UNDEVELOPED BUFFER STRIP	76,469 SF
PORTION OF LOT LEFT FOR DEVELOPMENT	118,630 SF
LESS BUILDING(S)	19,521 SF
LESS ROW LANDSCAPE AREA	2,200 SF
NET LOT AREA	96,909 SF
<b>REQUIRED LANDSCAPE</b>	
15% OF NET LOT AREA	14,537 SF
PROPOSED LANDSCAPE PHASE 1	19,515 SF
PROPOSED LANDSCAPE FUTURE	6,082 SF
TOTAL PROPOSED LANDSCAPE	25,597 SF
PERCENT OF NET LOT AREA	27 %
<b>REQUIRED LANDSCAPE COVERAGE/75% (Phase 1)</b>	
(19,515 - 2108 = 17,409 SF) X 75%	13,057 SF
PROPOSED LANDSCAPE COVERAGE	13,796 SF
PERCENT LANDSCAPE COVERAGE	78 %
<b>REQUIRED LANDSCAPE COVERAGE/75% (Phase 2)</b>	
(6,082 - 1,791 = 4,291 SF) X 75%	3,219 SF
PROPOSED LANDSCAPE COVERAGE	3,220 SF
PERCENT LANDSCAPE COVERAGE	76 %

REQUIRED STREET TREES PROVIDED AT 30' O.C. SPACING ALONG STREET	10
REQUIRED PARKING LOT TREES/PHASE 1 PROVIDED AT 1 PER 10 SPACES (105 SPACES/10)	10
REQUIRED TREES	6
EXISTING TREES	18
TOTAL TREES PROVIDED	24
<b>PHASE 1 PARKING AREA</b>	
20 % PHASE 1 PARKING	43,984 SF
(PER COORS CORRIDOR PLAN/OFF STREET PARKING POLICY 5.B)	8,797 SF
PROPOSED LANDSCAPE PHASE 1	9,381 SF
<b>PHASE 2 PARKING AREA</b>	
20 % PHASE 2 PARKING	3,944 SF
(PER COORS CORRIDOR PLAN/OFF STREET PARKING POLICY 5.B)	788 SF
PROPOSED LANDSCAPE PHASE 2	2026 SF

**PLANTING RESTRICTIONS APPROACH**

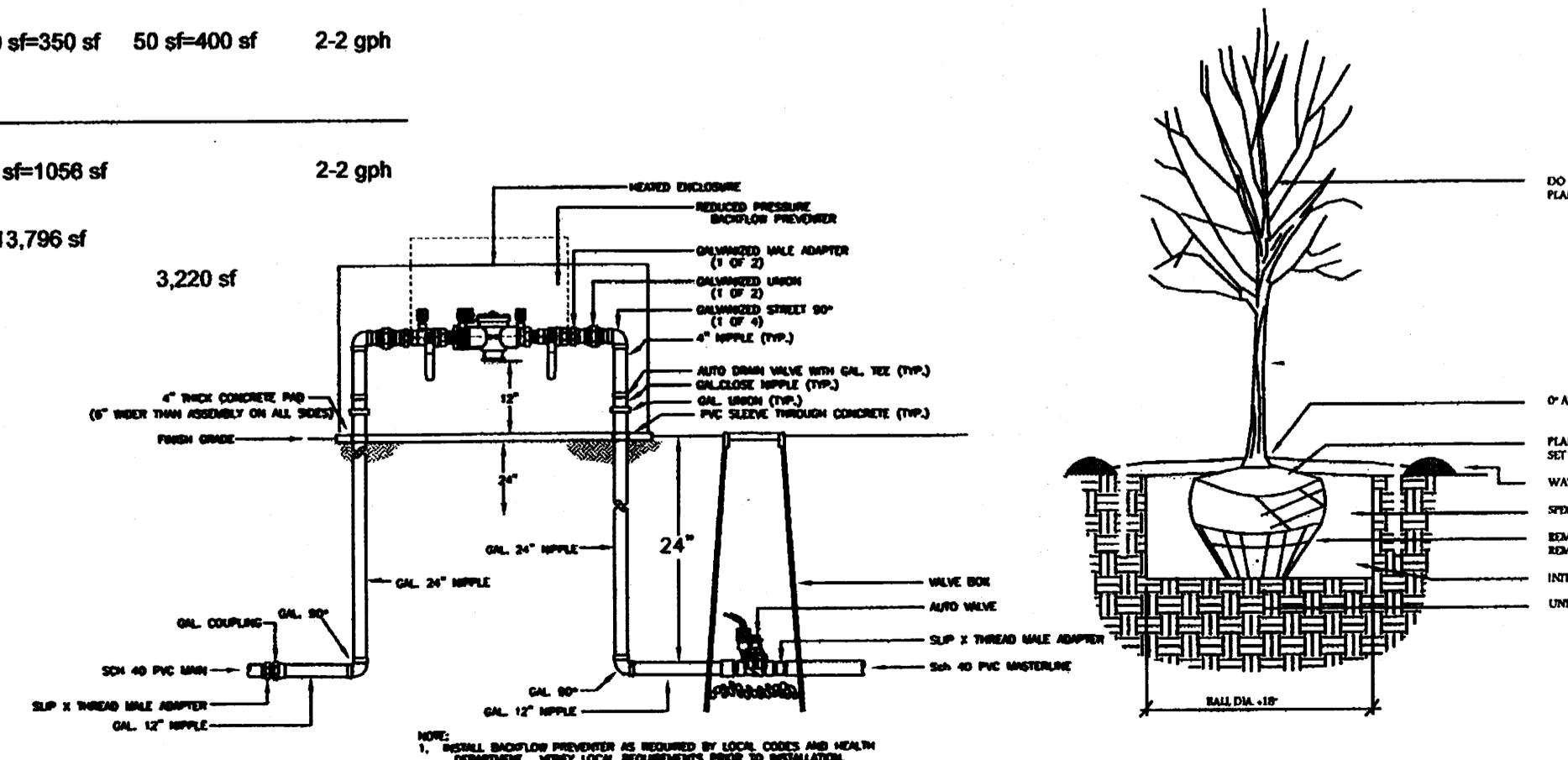
A MINIMUM OF 80% OF THE PLANTINGS TO BE LOW OR MEDIUM WATER USE PLANTS  
 A MAXIMUM OF 20% OF THE LANDSCAPE AREA TO BE HIGH WATER USE TURF

**NOTE**

MAINTENANCE OF LANDSCAPE AND IRRIGATION PROVIDED BY OWNER  
 PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER (WILKINS MODEL 975) PER CITY OF ALBUQUERQUE  
 WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER  
 THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE  
 PLANTING RESTRICTIONS APPROACH  
 IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUND COVER OF LANDSCAPE AREAS AT MATURITY  
 LANDSCAPE AREAS TO BE MULCHED WITH SANTA FE BROWN CRUSHER FINES AT 3" DEPTH  
 APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE  
 TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS  
 NO PARKING SPACE SHALL BE MORE THAN 50' FROM A TREE.  
 EXISTING TREES TO REMAIN AS POSSIBLE UNLESS NOTED OTHERWISE  
 NATIVE GRASS SEEDING AREAS TO BE SEEDING AT 2 LB/PLS PER 1000 SF AND TO INCLUDE INDIAN RICEGRASS (ORYZOPSIS HYMENOIDES) AND SALT GRASS (DISTICHLIS SPICATA).  
 NATIVE GRASSES TO BE RESEED FOR THREE CONSECUTIVE YEARS  
 DRIP SYSTEM TO BE RUN 1 HOUR/4 DAYS A WEEK DURING ESTABLISHMENT AND SUMMER MONTHS. PROVIDE SHADE TREES WITH 150 GALLONS PER WEEK DURING ESTABLISHMENT, PER THE CITY FORESTER'S STANDARD GUIDELINES

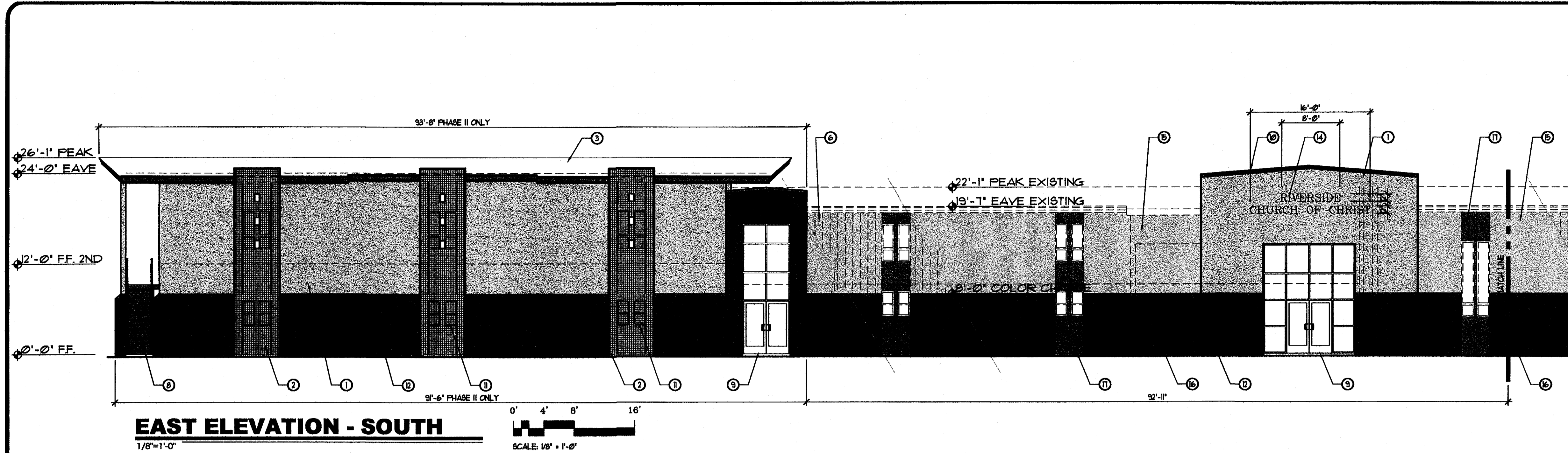
**PLANT LEGEND**

Qty.	Symbol	Scientific Name	Common Name	Size	Water Use	Mature Height/Width	PHASE 1 Landscape Coverage	PHASE 2 Landscape Coverage	Drip Emitters Per Plant (see note)
12	☉	Fraxinus velutina 'Modesto'	Modesto Ash	2" B&B	Medium +	40'/40'			10-4 gph
7	☉	Prunus virginiana	Chokecherry	2" B&B	Medium	20'/20'			6-2 gph
9	☉	Populus	Rio Grande Cottonwood	2" B&B	Medium +	70'/60'			10-4 gph
8	☉	Forestiera	New Mexico Olive	2" B&B	Medium	15'/15'			4-2 gph
<b>Shrubs/Groundcovers</b>									
20	☉	Buddleia davidii	Butterfly Bush	1-Gal	Medium	5'/5'	20 sf=400 sf	20 sf=220 sf	2-2 gph
19	☉	Artiplex	4 Wing Saltbush	1-Gal	Low	6'/8"	50 sf=950 sf	50 sf=850 sf	2-1 gph
65	☉	Rhus aromatica	Gro Low Sumac	1-Gal	Low+	2'/6"	50 sf=3250 sf		2-2 gph
24	☉	Ericameria nauseosus	Chamisa	1-Gal	Low	5'/5'	32 sf=768 sf		2-1 gph
73	☉	Ribes aureum	Golden Currant	1-Gal	Low+	6'/6"	50 sf=3650 sf	50 sf=650 sf	2-2 gph
52	☉	Rhus trilobata	Three Leaf Sumac	1-Gal	Low+	6'/6"	50 sf=2800 sf	50 sf=1100 sf	2-2 gph
7	☉	Campsis radicans	Trumpet Vine	1-Gal	Medium	10'/40'	50 sf=350 sf	50 sf=400 sf	2-2 gph
<b>Ornamental Grasses</b>									
88	☉	Schizachyrium	Little Bluestem	1-Gal	Medium+	2'/3'	12 sf=1056 sf		2-2 gph
							Total landscape coverage/Phase 1	13,796 sf	
							Total landscape coverage/Phase 2	3,220 sf	
<b>Native Grasses</b>									
2	☉	Oryzopsis hymenoides	Indian Ricegrass	Seed					
2	☉	Distichlis spicata	Salt Grass	Seed					



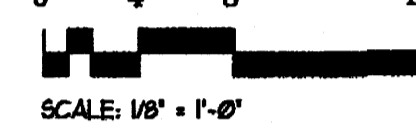
Mastervalue w/ RPBA

1 Deciduous Tree  
 L100



**EAST ELEVATION - SOUTH**

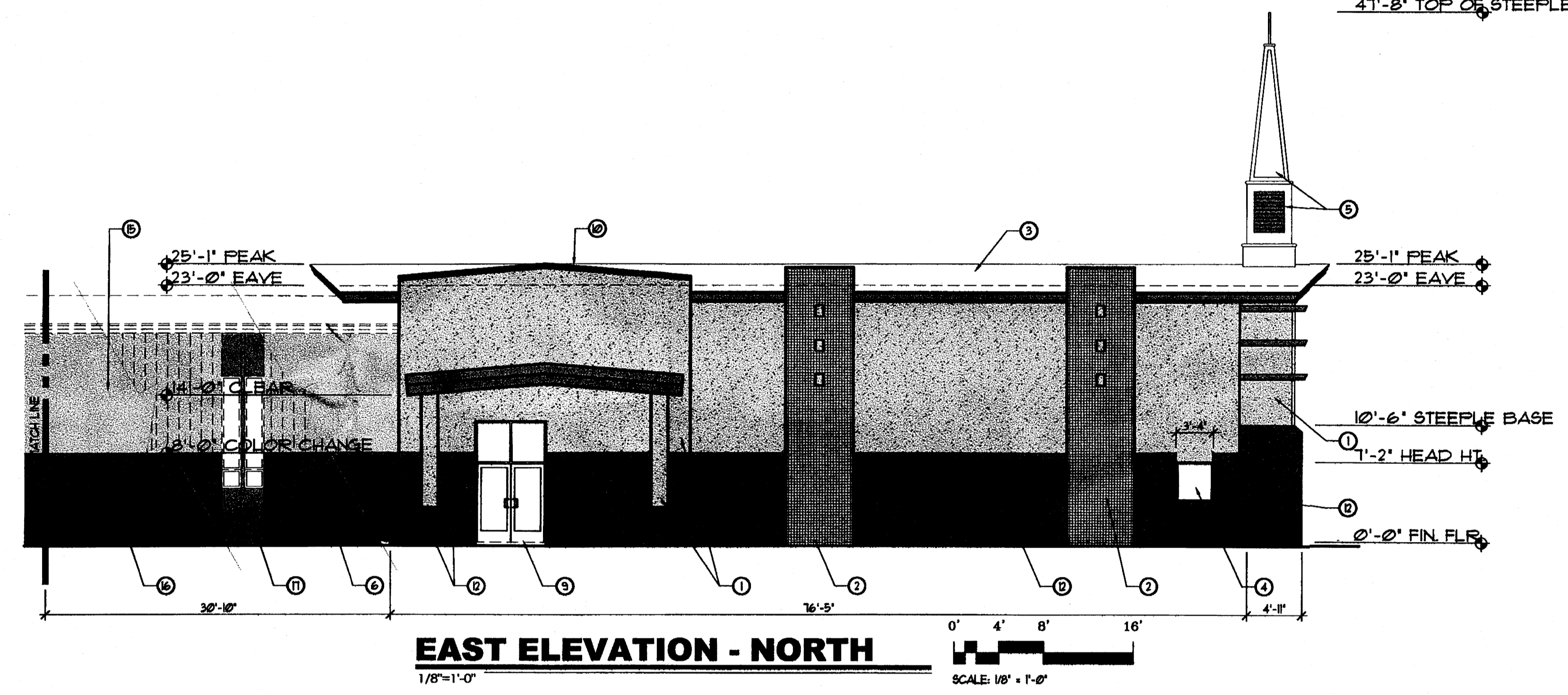
1/8"=1'-0"



SCALE: 1/8" = 1'-0"

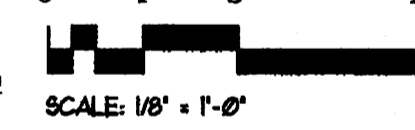
**KEYED NOTES**

1. STUCCO COLOR MATCH DRYVIT 'BEACH' 115 - COMMON COLOR CREAM
2. WELDED WIRE FABRIC SCREEN TRELLIS IN 2"x2" TUBE STEEL FRAME PAINT TO MATCH DRYVIT 'RED CLAY' 356 - COMMON COLOR RUST
3. METAL PANEL ROOFING, COLOR WHITE PROFILE M
4. ALUMINUM WINDOWS BRONZE ANODIZED (subject)
5. STEEPLE - PREFABRICATED COLOR OFF WHITE - LOUVERS PAINTED TO MATCH EAVE TRIM & TRELLISES
6. EXISTING PAINTED METAL WALL SHEETS TO REMAIN SEE NOTES 15 THRU 17 FOR PAINT REQUIREMENTS
7. PAINTED PLATE STEEL-SUPPORT BRACKETS PAINT TO MATCH COLOR OF TRELLISES
8. STEEL STAIRCASE PAINT TO MATCH TRELLISES
9. NEW STOREFRONT ALUMINUM DOOR AND WINDOW ASSEMBLY, BRONZE ANODIZED
10. METAL CAP TRIM PAINTED TO MATCH TRELLISES
11. EXISTING OPERABLE WINDOWS, BRONZE ALUMINUM & 1/2" GLASS
12. STUCCO COLOR MATCH DRYVIT 'ADOBE ACCENT' 199 - COMMON COLOR BROWN
13. TRIM & STEEL STRUCTURE • PORTO COCHERE PAINT TO MATCH TRELLISES
14. BRUSHED ALUMINUM LETTERS ATTACHED TO WALL - NOT ILLUMINATED
15. PAINT EXISTING STEEL WALL PANELS TO MATCH STUCCO DRYVIT 'BEACH' 115 - COMMON COLOR CREAM
16. PAINT EXISTING STEEL WALL PANELS TO MATCH STUCCO DRYVIT 'ADOBE ACCENT' 199 - COMMON COLOR BROWN
17. PAINT EXISTING ACCENT PANELS • WINDOWS TO MATCH DRYVIT 'RED CLAY' 356 - COMMON COLOR RUST

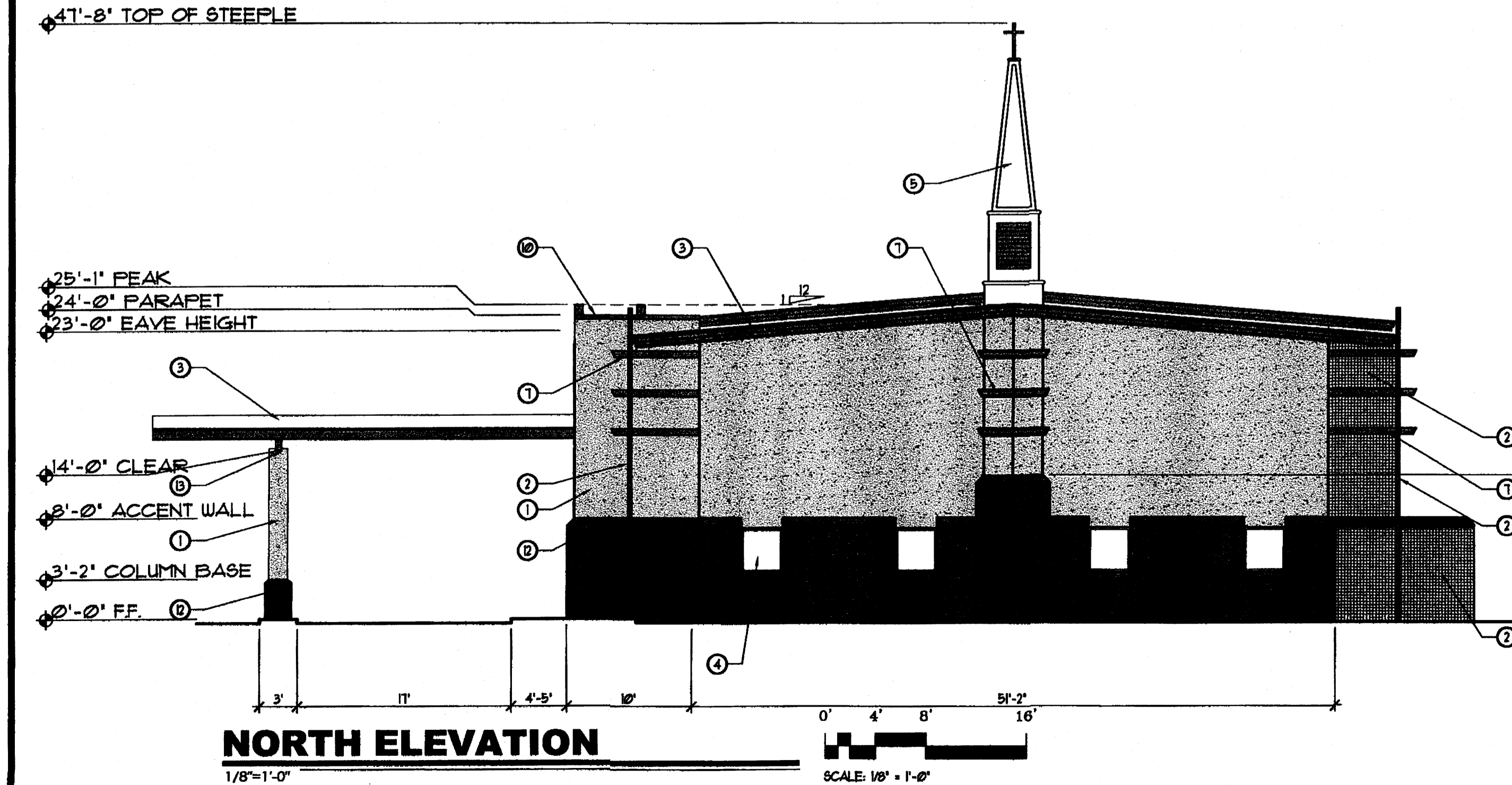


**EAST ELEVATION - NORTH**

1/8"=1'-0"

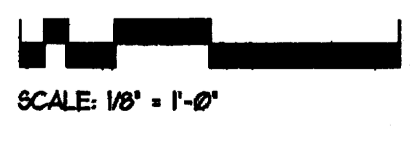


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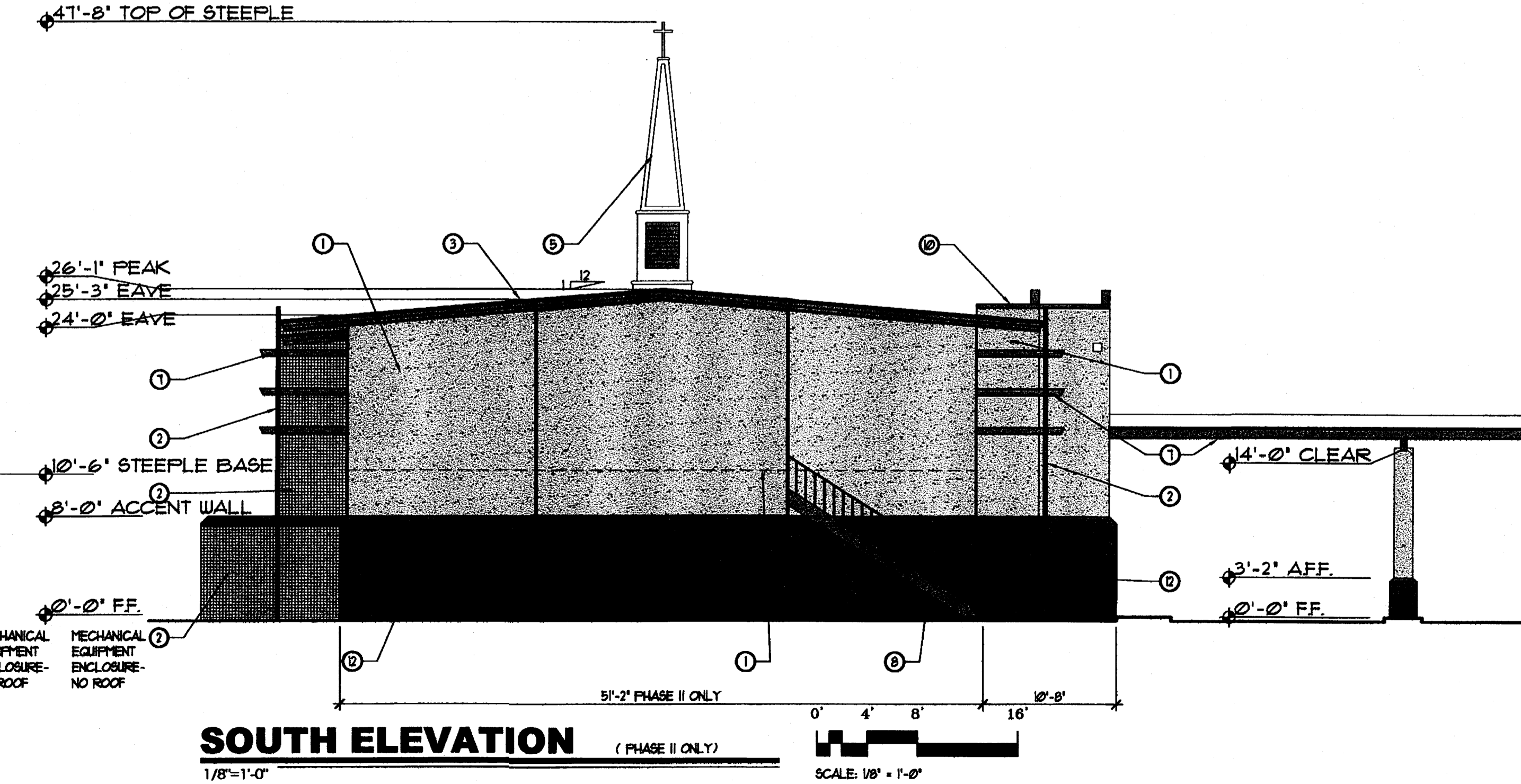


**NORTH ELEVATION**

1/8"=1'-0"

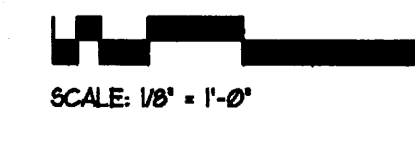


SCALE: 1/8" = 1'-0"



**SOUTH ELEVATION (PHASE II ONLY)**

1/8"=1'-0"



SCALE: 1/8" = 1'-0"

**DURA BILT**  
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DATE:  
PLOT DATE: 25 JUL 2008

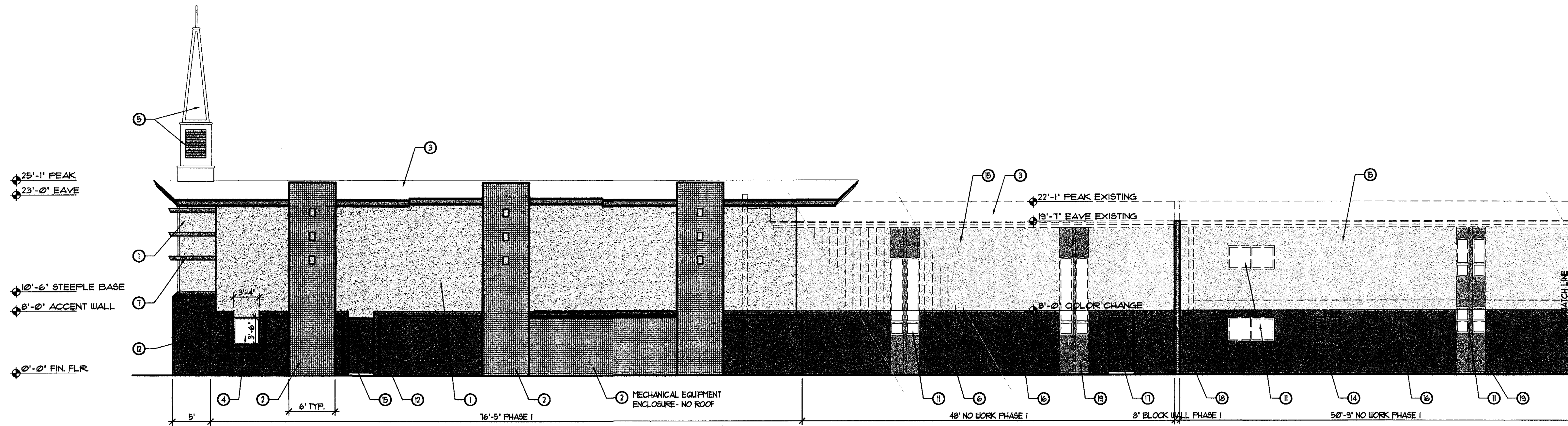
124.00 PER 13 & 14 COA COMMENTS
86.00 PER 131 COA COMMENTS
825.00 RESPONSE TO 82108 HEARING
1014.00 DRB SUBMITTAL

FILE: A301.DWG

ADDITION TO CHAPEL  
FOR  
**Riverside**  
**Church of Christ**  
3100 LA ORILLA RD N.E.  
ALBUQUERQUE, NEW MEXICO 87120

ELEVATIONS

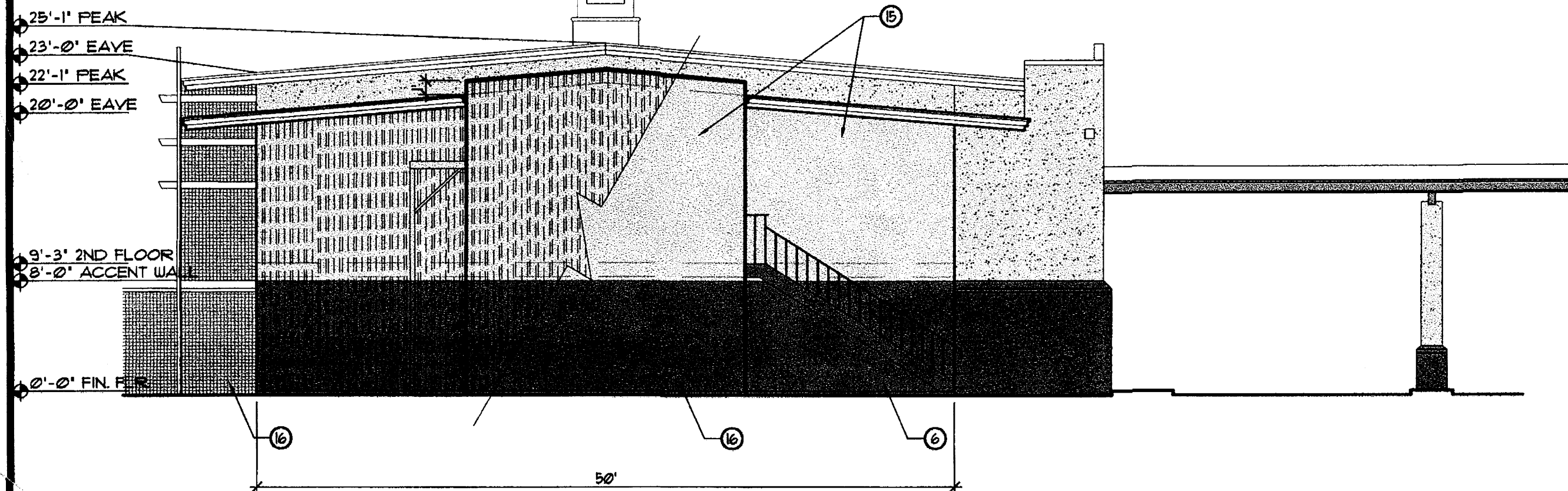
SHEET NO.  
**A301**  
PROJECT # 08-106 4 OF 6



**WEST ELEVATION - NORTH**

1/8" = 1'-0"

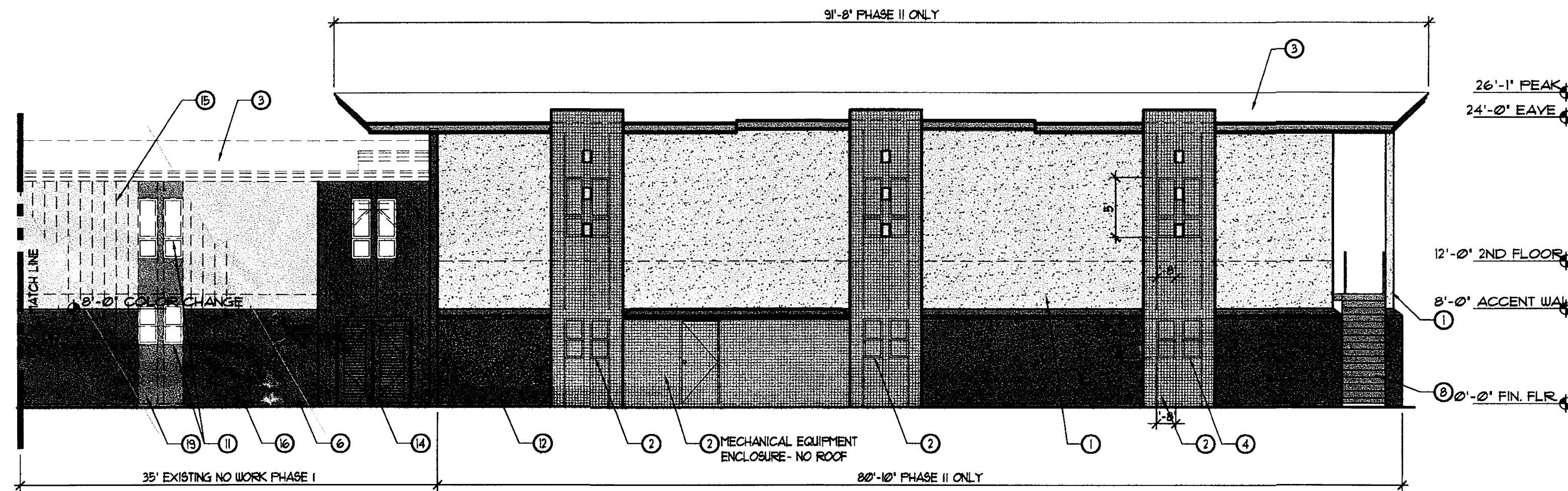
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**SOUTH ELEVATION** (PHASE I ONLY - EXISTING BUILDING END - PAINT ONLY)

1/8" = 1'-0"

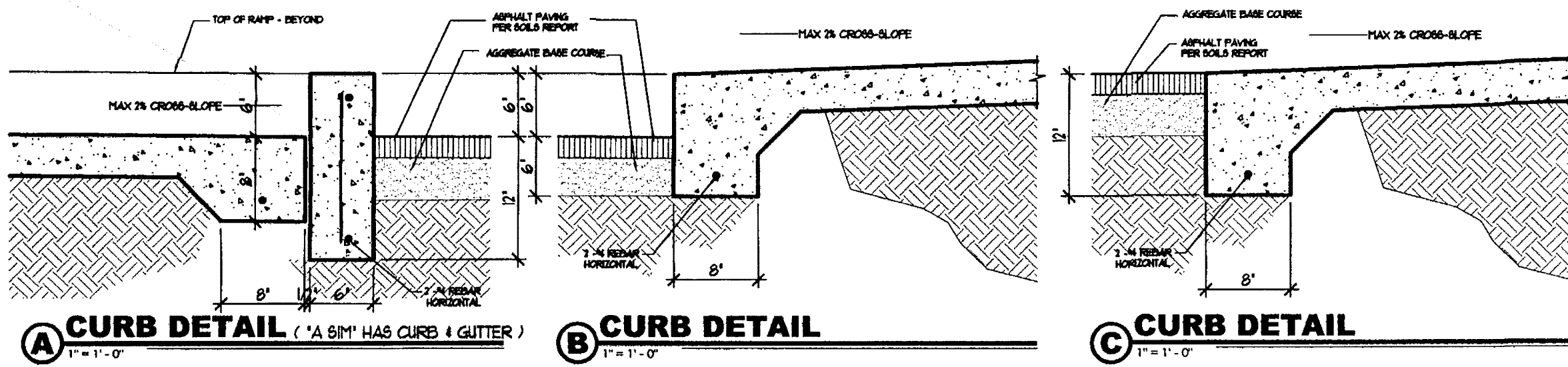
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**WEST ELEVATION - SOUTH**

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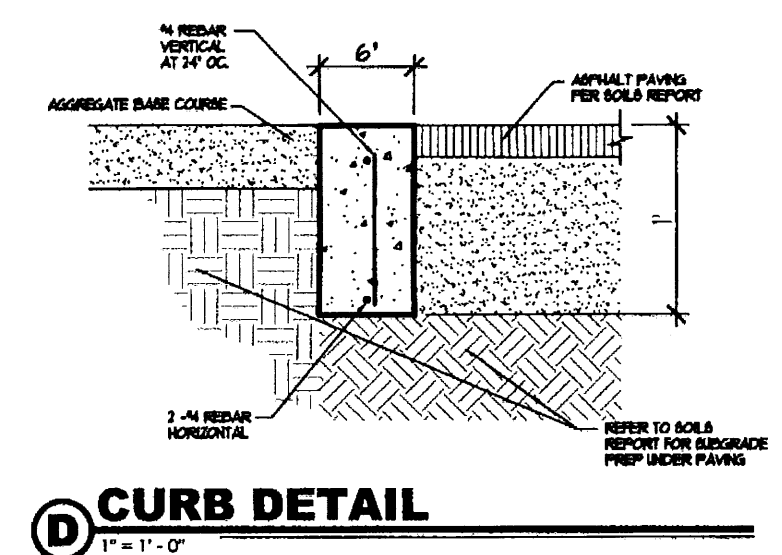
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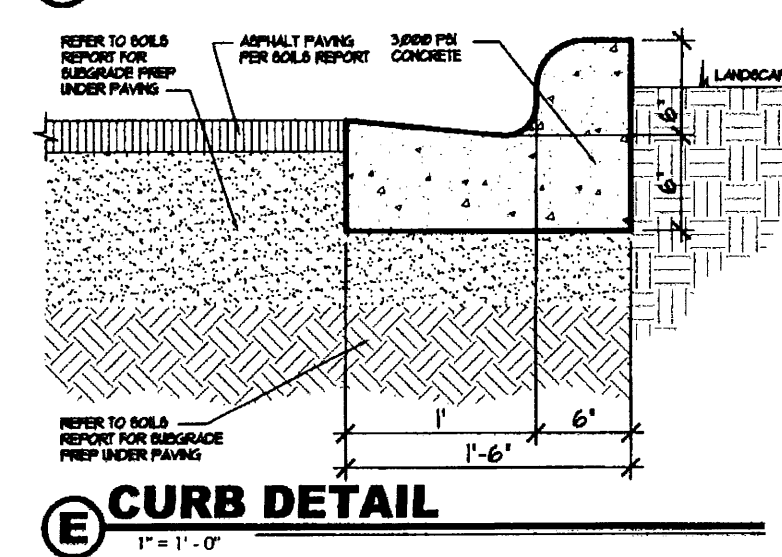
**A CURB DETAIL** (A BIM HAS CURB & GUTTER)

**B CURB DETAIL**

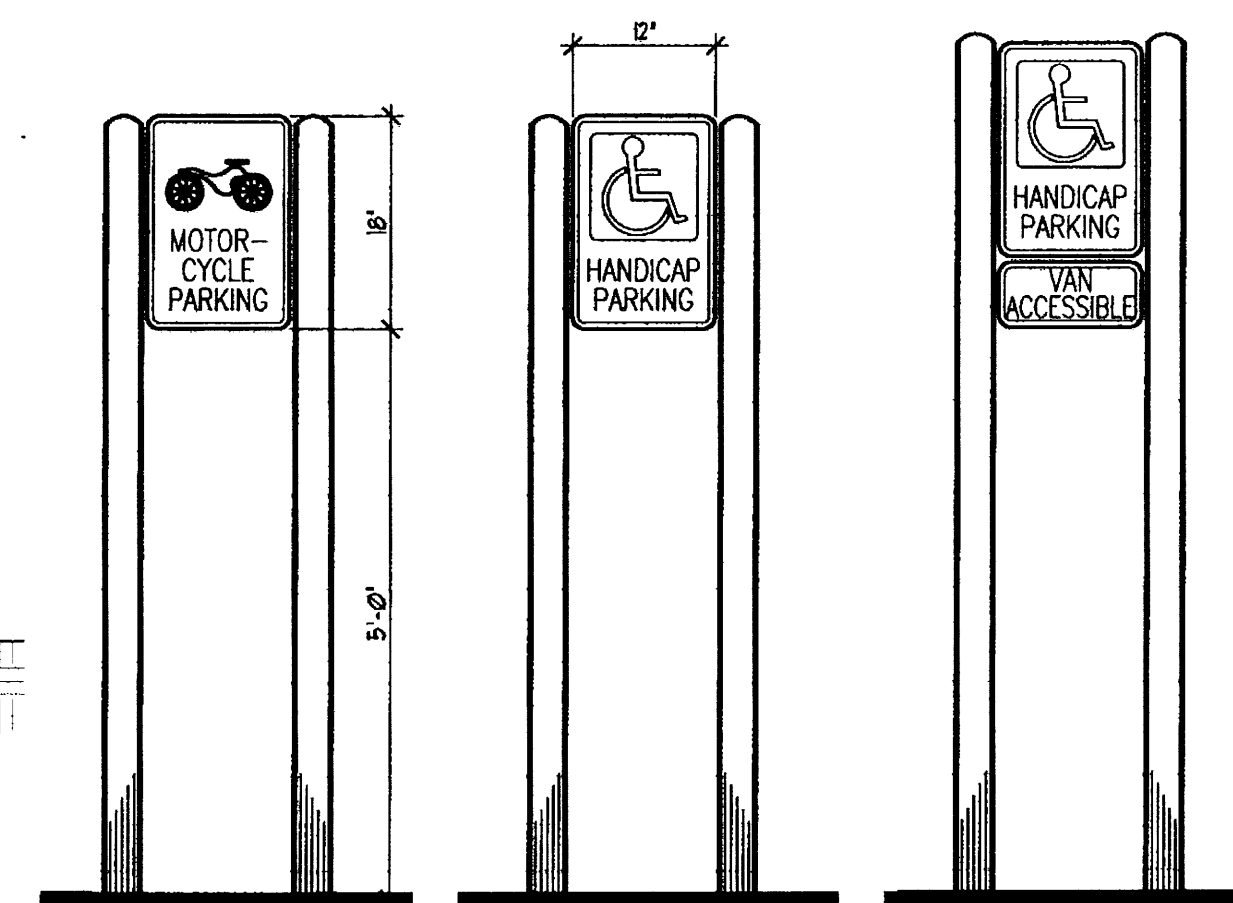
**C CURB DETAIL**



**D CURB DETAIL**

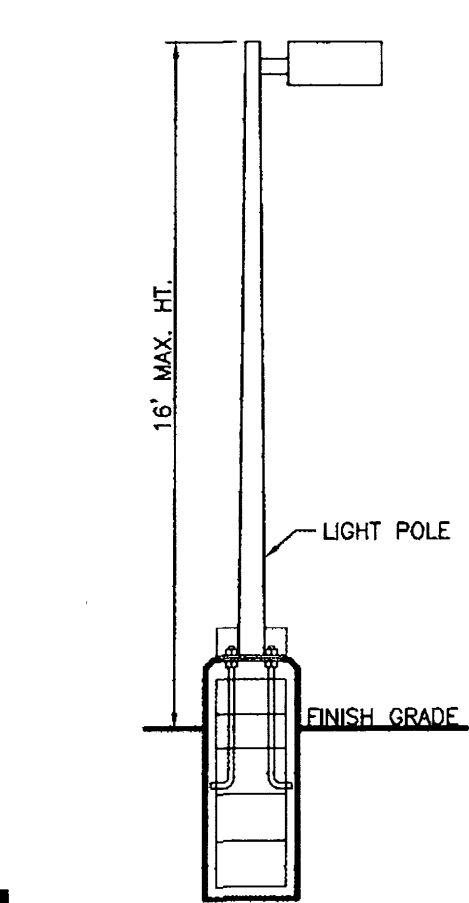


**E CURB DETAIL**



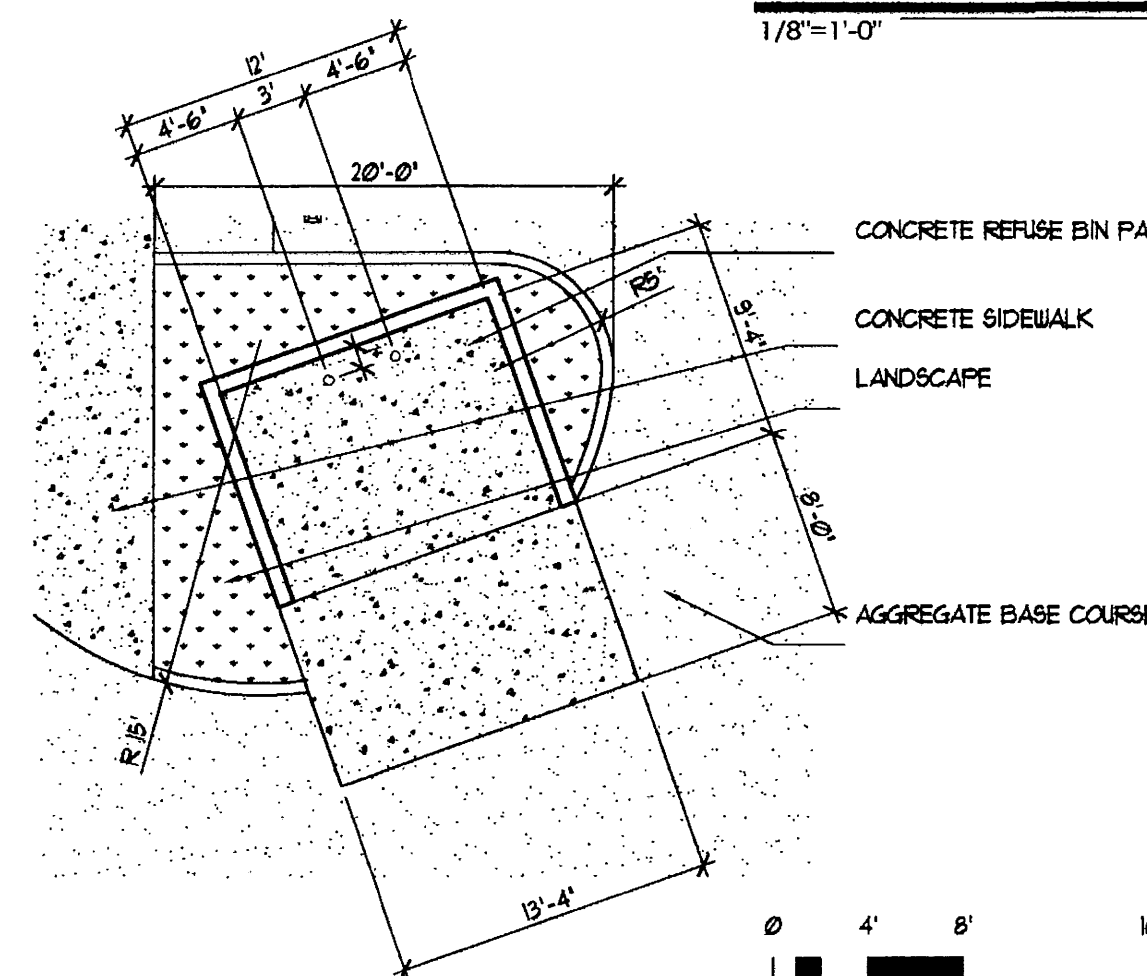
**SIGNAGE**

NO SCALE



**LIGHT & POLE**

NO SCALE



**REFUSE BIN PLAN**

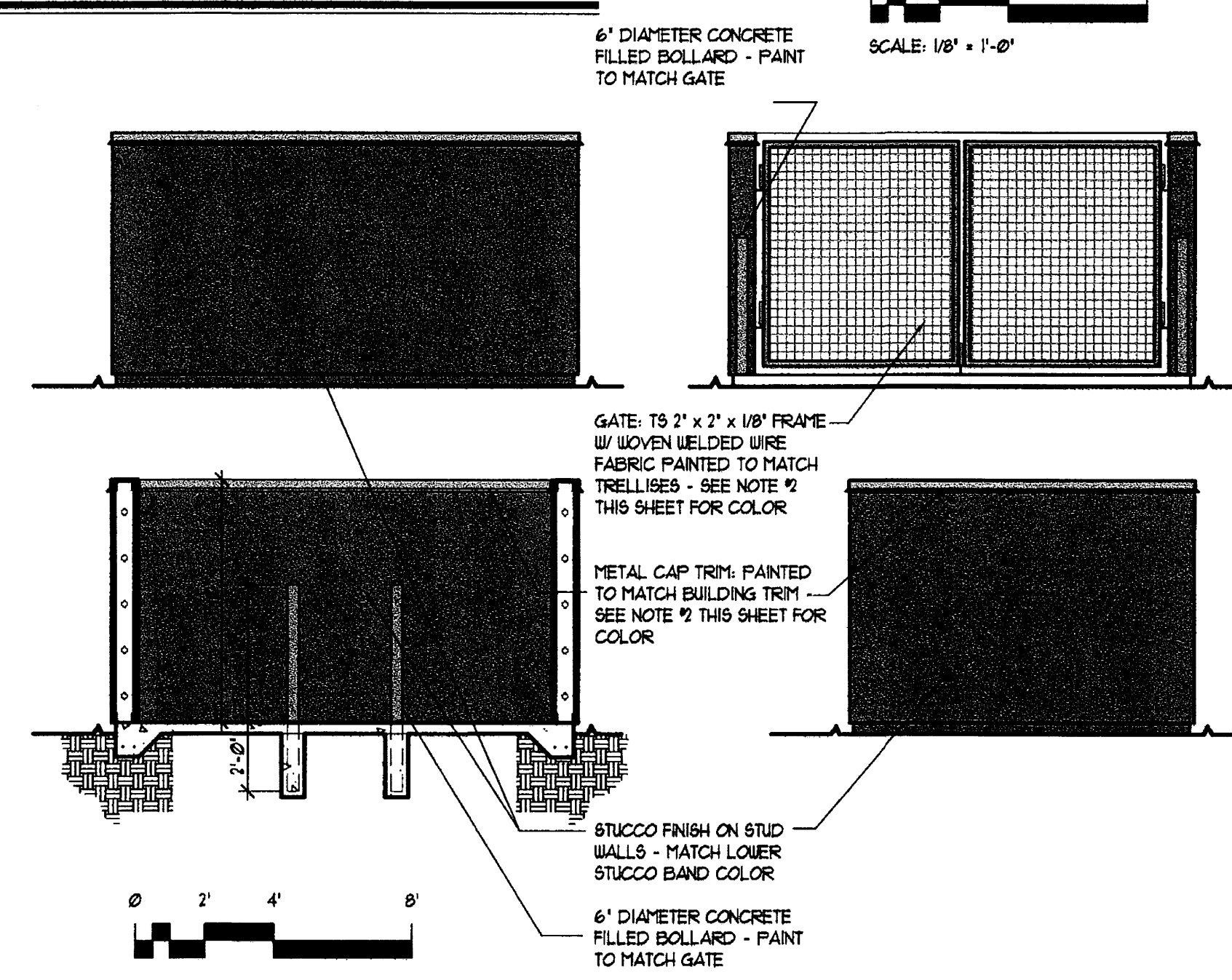
1/8" = 1'-0"



**EXISTING SIGN**

NO SCALE

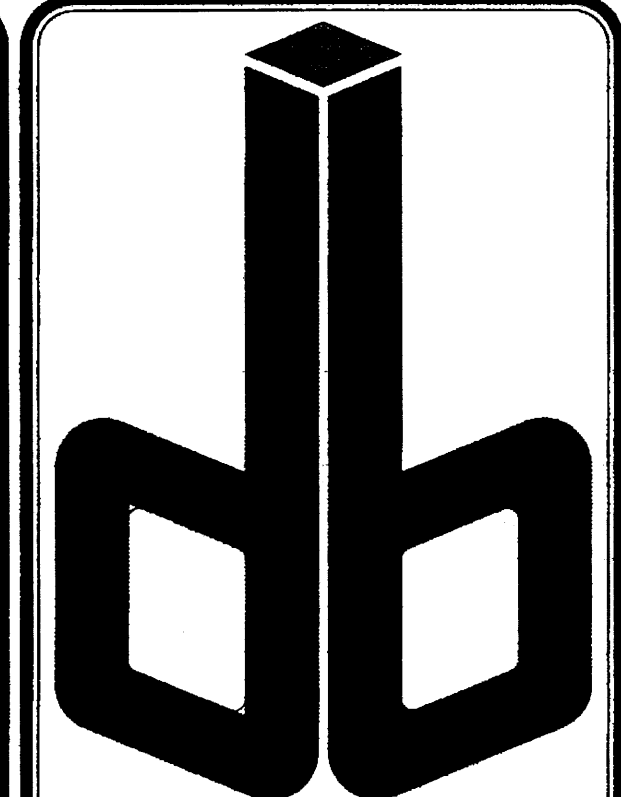
EXISTING ILLUMINATION  
T8U PAR SPOT LIGHT  
GROUND LEVEL (NOT IN PHOTO)



**REFUSE BIN ELEVATIONS**

1/4" = 1'-0"

- KEYED NOTES**
1. STUCCO COLOR MATCH DRYVIT BEACH 15 - COMMON COLOR CREAM
  2. WELDED WIRE FABRIC SCREEN TRELLIS IN 2"x2" TUBE STEEL FRAME PAINT TO MATCH DRYVIT "RED CLAY" 356 - COMMON COLOR RUST
  3. METAL PANEL ROOFING, COLOR WHITE PROFILE 11 - multi-tilt
  4. ALUMINUM WINDOW BRONZE ANODIZED
  5. STEEPLE-PREFABRICATED COLOR OFF WHITE - LOUVERS PAINTED TO MATCH EAVE TRIM & TRELLISES
  6. EXISTING PAINTED METAL WALL SHEETS TO REMAIN, SEE NOTES 15, 16 & 18 FOR PAINT COLOR REQUIREMENTS
  7. PAINTED PLATE STEEL - SUPPORT BRACKETS PAINT TO MATCH COLOR OF TRELLISES
  8. STEEL STAIRCASE PAINT TO MATCH TRELLISES
  9. NEW STOREFRONT ALUMINUM DOOR AND WINDOW ASSEMBLY, BRONZE ANODIZED
  10. METAL CAP TRIM PAINTED TO MATCH TRELLISES
  11. EXISTING OPERABLE WINDOWS TO REMAIN, BRONZE ALUMINUM & IG GLASS
  12. STUCCO COLOR MATCH DRYVIT ADOBE ACCENT 139 - COMMON COLOR CHOCOLATE ICE CREAM
  13. TRIM & STEEL STRUCTURE - PORTO COCHERE PAINT TO MATCH TRELLISES
  14. EXISTING DOOR TO REMAIN - NO WORK
  15. PAINT EXISTING STEEL WALL PANELS TO MATCH STUCCO DRYVIT "BEACH" 15 - COMMON COLOR CREAM
  16. PAINT EXISTING STEEL WALL PANELS TO MATCH STUCCO DRYVIT "ADOBE ACCENT" 139 - COMMON COLOR BROWN
  17. PERSONNEL DOOR - PAINT TO MATCH ADJACENT FINISH
  18. NEW CONCRETE MASONRY UNIT FIRE WALL, PAINTED BLACK & SHEATHED IN WOVEN WIRE FABRIC TO MATCH TRELLISES
  19. PAINT EXISTING ACCENT PANELS TO MATCH DRYVIT "RED CLAY" 356 - COMMON COLOR RUST



**DURA BILT**  
Products, Inc.

DESIGN / BUILDER  
Since 1950  
LICENSE NO. 3044

4808 JEFFERSON N.E.  
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Telephone: (505) 883-9100  
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www.durabiltproducts.com

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DATE:  
PLOT DATE: 25 JUL 2008  
124.08 COA 7/3 & 7/4 EMAILS  
8.6.08 COA 7/3/08 COMMENTS  
8.25.08 RESPONSE TO 8.21.08 HEARING  
10.14.08 DRB SUBMITTAL

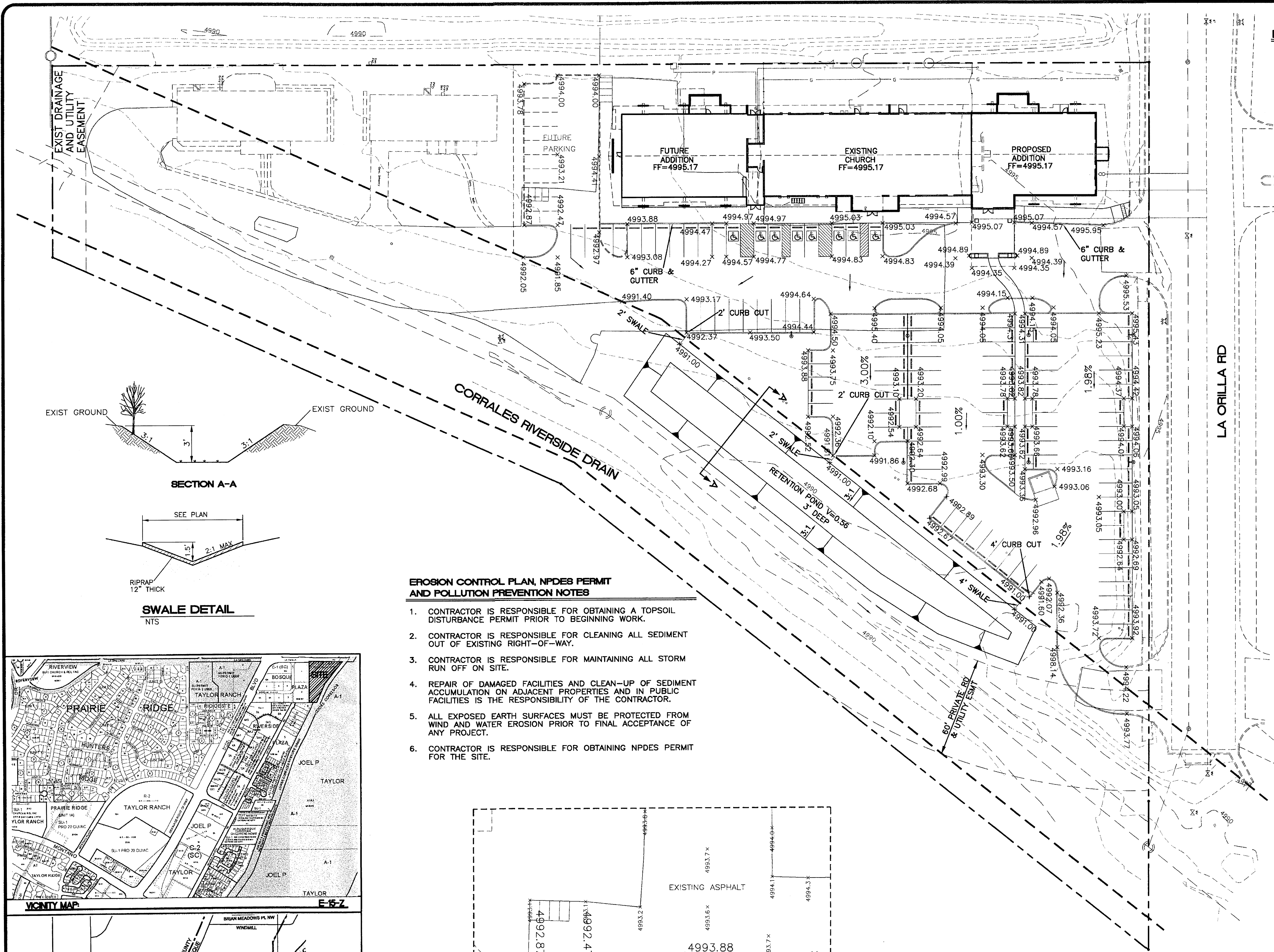
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ADDITION TO CHAPEL  
FOR  
**Riverside**  
**Church of Christ**  
3100 LA ORILLA RD N.E.  
ALBUQUERQUE, NEW MEXICO 87120

ELEVATIONS, SITE  
DETAILS

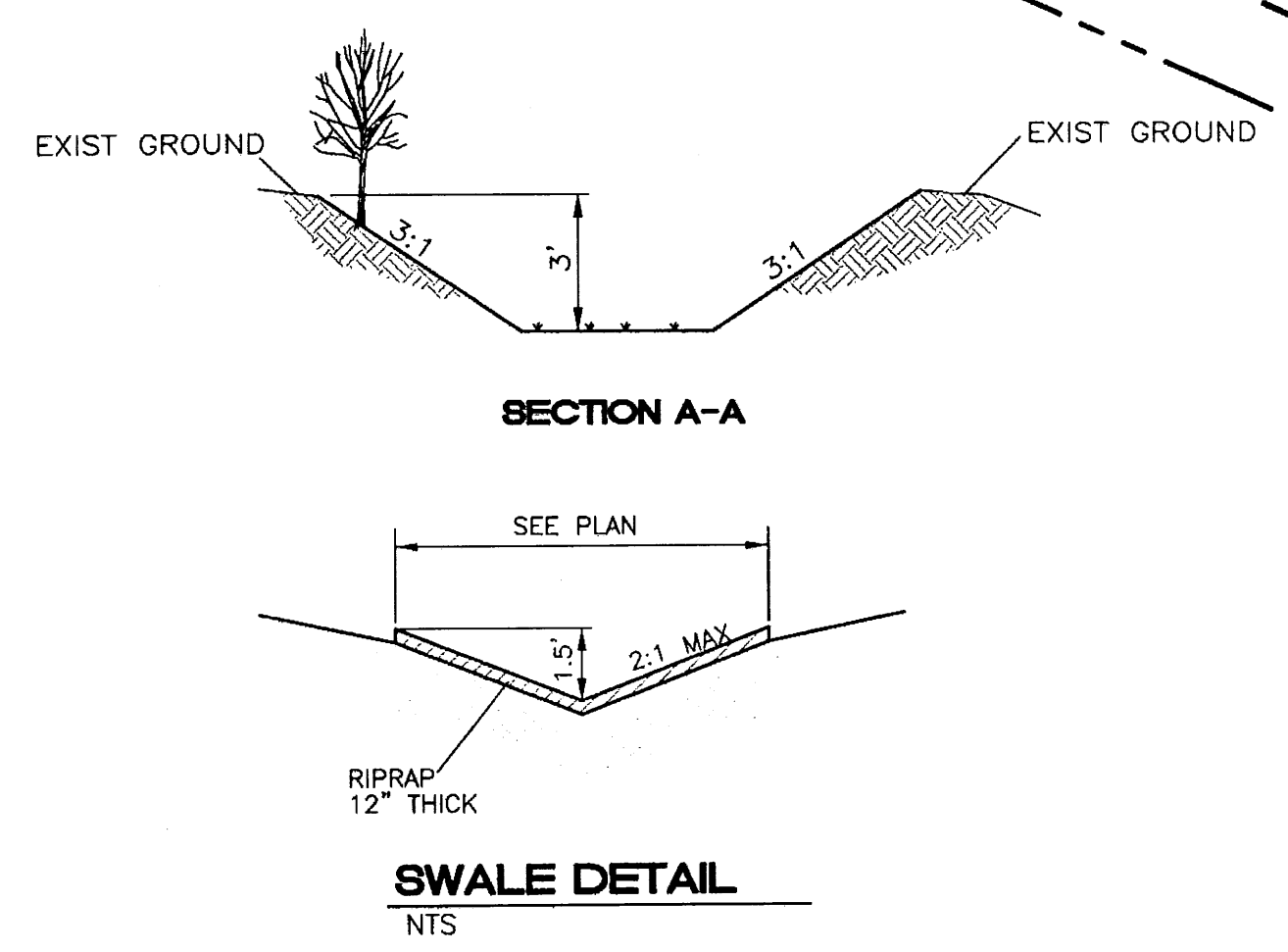
SHEET NO.  
**A302**  
PROJECT # 08-106 5 OF 5



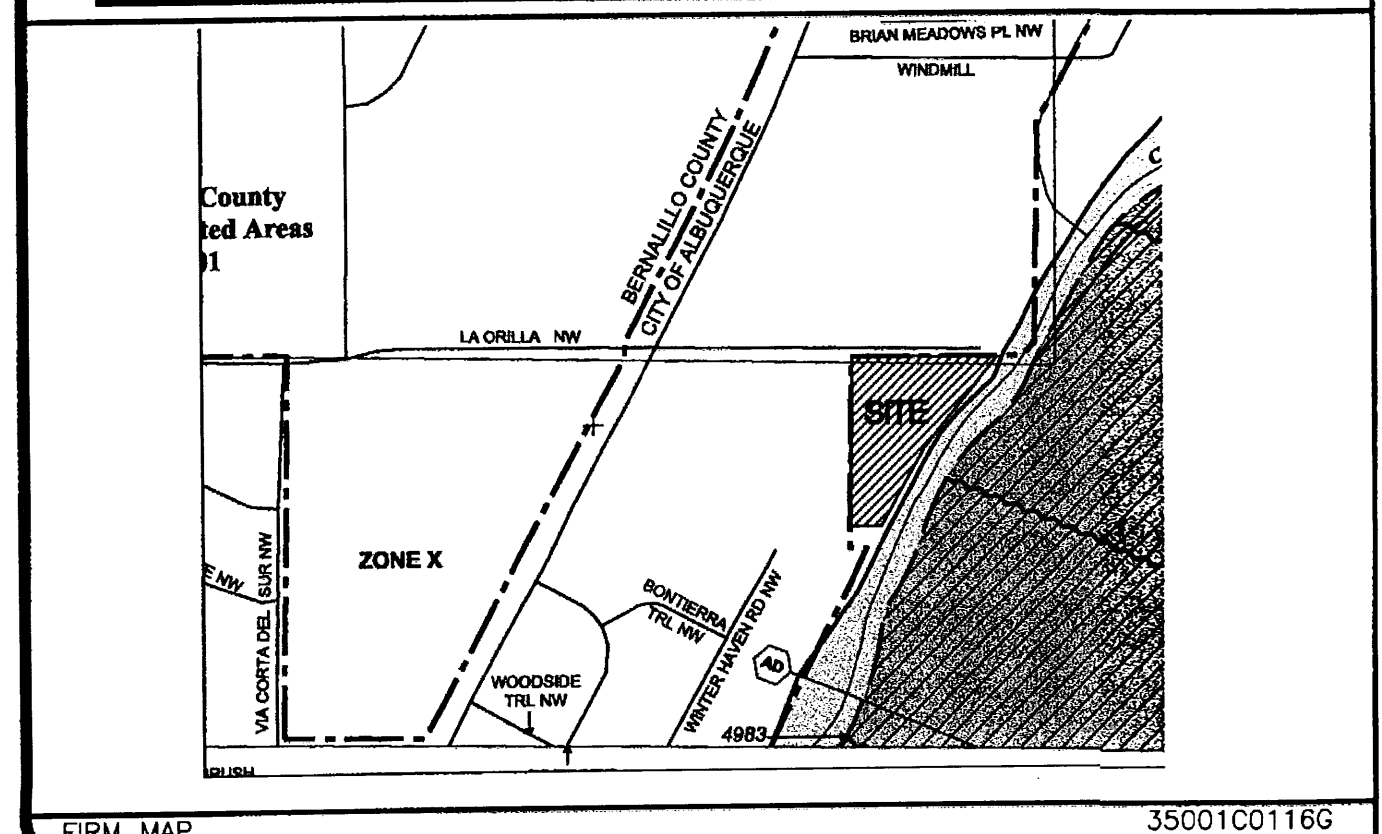
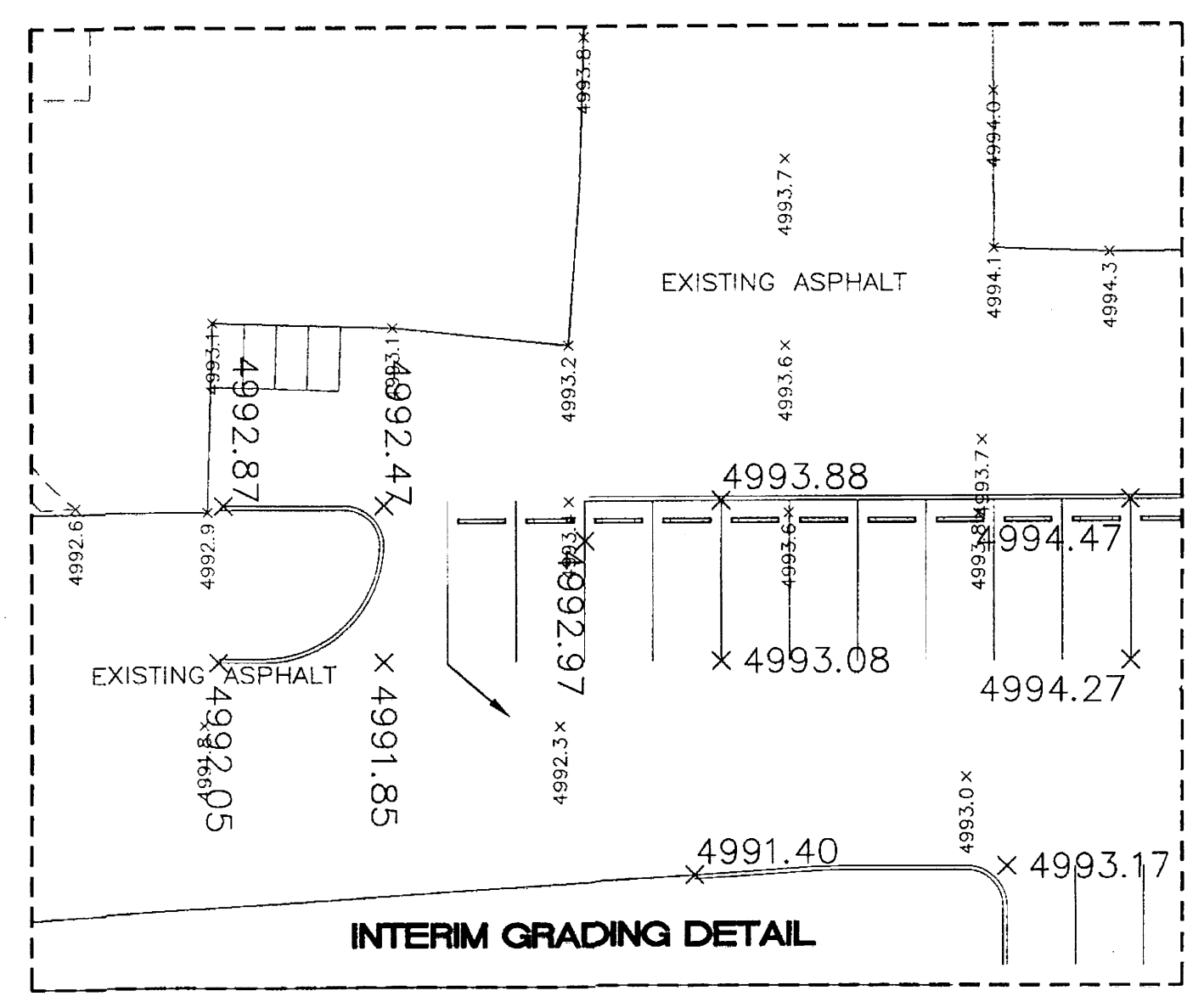
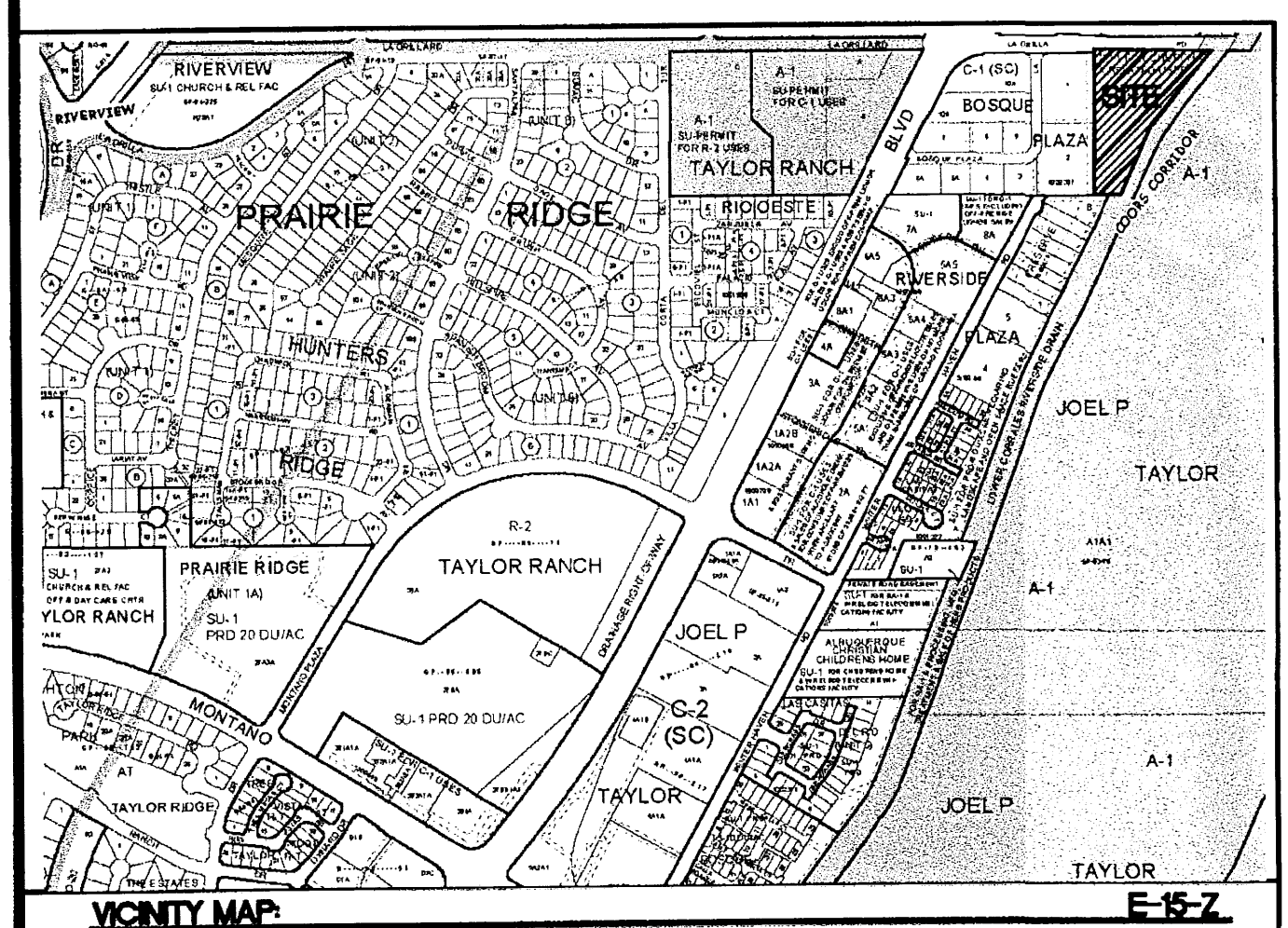


**LEGEND**

- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- BOUNDARY LINE
- EXISTING BOUNDARY LINE
- - - EASEMENT
- CENTERLINE
- PROPOSED BUILDING
- FLOW DIRECTION
- PROPOSED SWALE
- 100' BUFFER



- EROSION CONTROL PLAN, NPDES PERMIT AND POLLUTION PREVENTION NOTES**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
  2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
  3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
  4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
  5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
  6. CONTRACTOR IS RESPONSIBLE FOR OBTAINING NPDES PERMIT FOR THE SITE.



**ROUGH GRADING APPROVAL**

	<b>RIVERSIDE CHURCH</b> ALBUQUERQUE, NM	DRAWN BY pm
	<b>GRADING AND DRAINAGE PLAN</b>	DATE 10-13-08
<b>TIERRA WEST, LLC</b> 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100		2831-GRE
RONALD R. BOHANNAN P.E. #7868		SHEET #
		JOB # 28031

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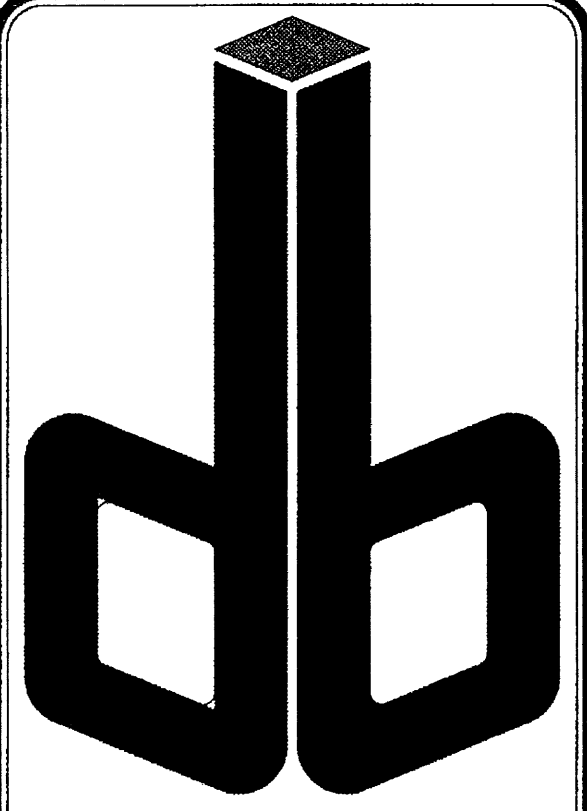
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ADDITION TO CHAPEL FOR  
**Riverside Church of Christ**  
3100 LA ORILLA RD N.E.  
ALBUQUERQUE, NEW MEXICO 87120

SHEET NO.

PROJECT # 08-106





# DURA BILT Products, Inc.

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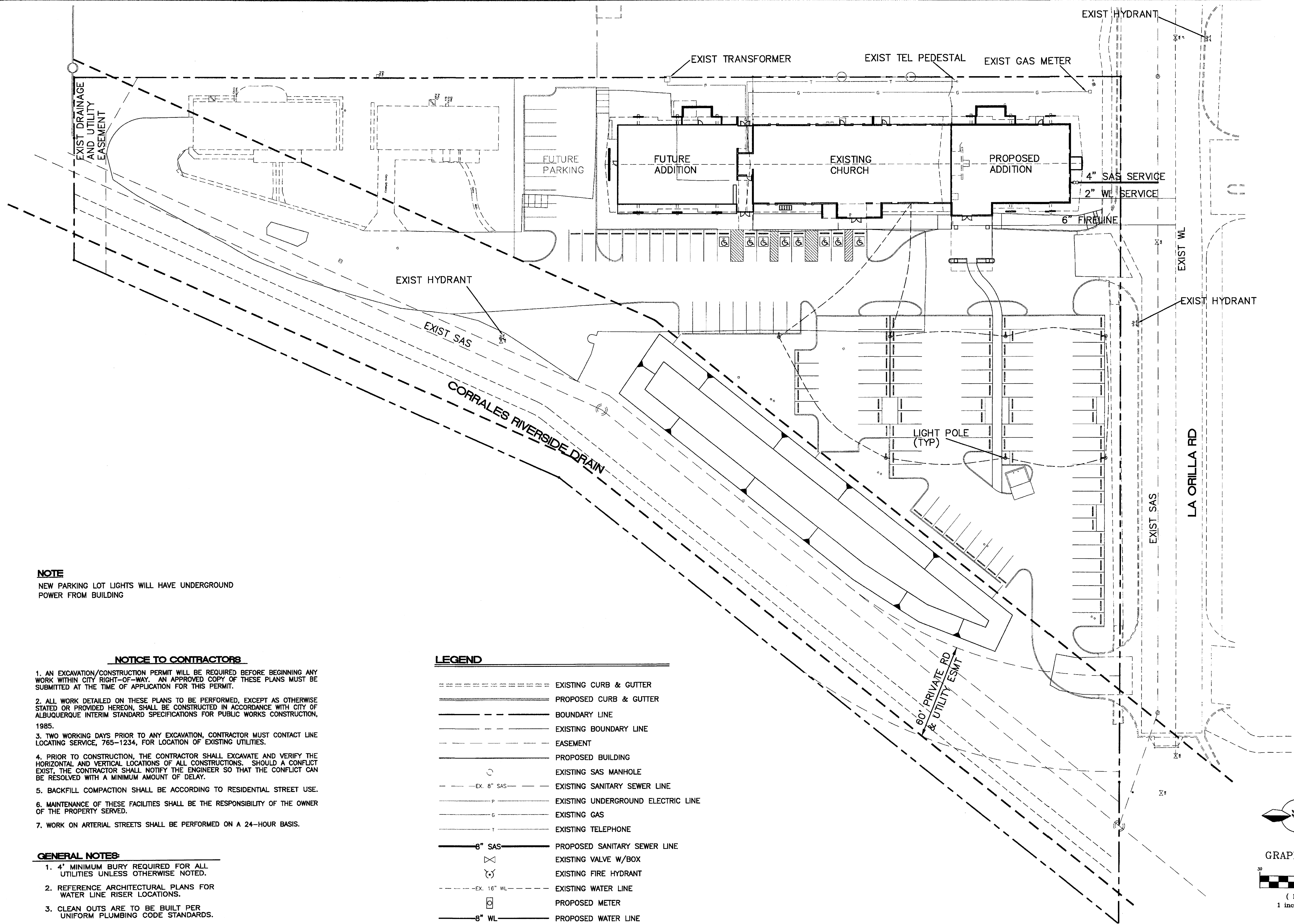
4808 JEFFERSON N.E.  
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## ADDITION TO CHAPEL FOR **Riverside Church of Christ** 3100 LA ORILLA RD N.E. ALBUQUERQUE, NEW MEXICO 87120

SHEET NO.

PROJECT # 08-106



**NOTE**  
NEW PARKING LOT LIGHTS WILL HAVE UNDERGROUND POWER FROM BUILDING

### NOTICE TO CONTRACTORS

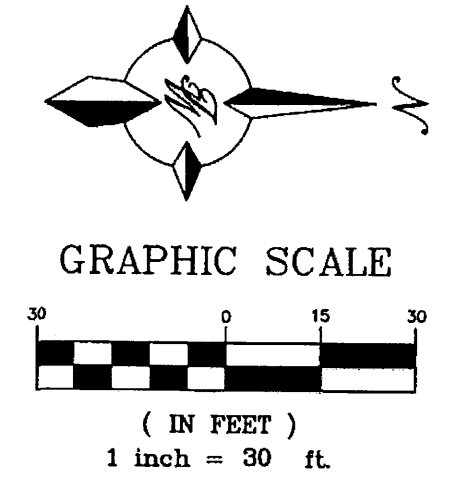
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

### GENERAL NOTES:

1. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
2. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
3. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
4. ALL BLOCKING IS PER CITY OF ALBUQUERQUE STANDARD DWG. 2320.
5. ALL PIPE MATERIAL TO BE USED PER UPC.

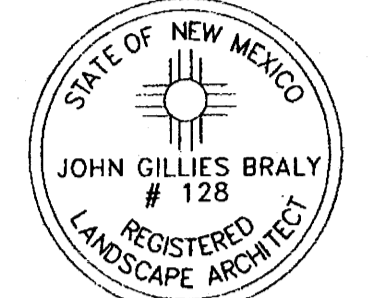
### LEGEND

=====	EXISTING CURB & GUTTER
-----	PROPOSED CURB & GUTTER
-----	BOUNDARY LINE
-----	EXISTING BOUNDARY LINE
-----	EASEMENT
-----	PROPOSED BUILDING
○	EXISTING SAS MANHOLE
--- EX. 8" SAS ---	EXISTING SANITARY SEWER LINE
--- P ---	EXISTING UNDERGROUND ELECTRIC LINE
--- G ---	EXISTING GAS
--- T ---	EXISTING TELEPHONE
--- 8" SAS ---	PROPOSED SANITARY SEWER LINE
⊗	EXISTING VALVE W/BOX
⊙	EXISTING FIRE HYDRANT
--- EX. 16" WL ---	EXISTING WATER LINE
⊞	PROPOSED METER
--- 8" WL ---	PROPOSED WATER LINE
⊙	PROPOSED LIGHT POLE
---	ELECTRICAL LINES TO AREA LIGHTING



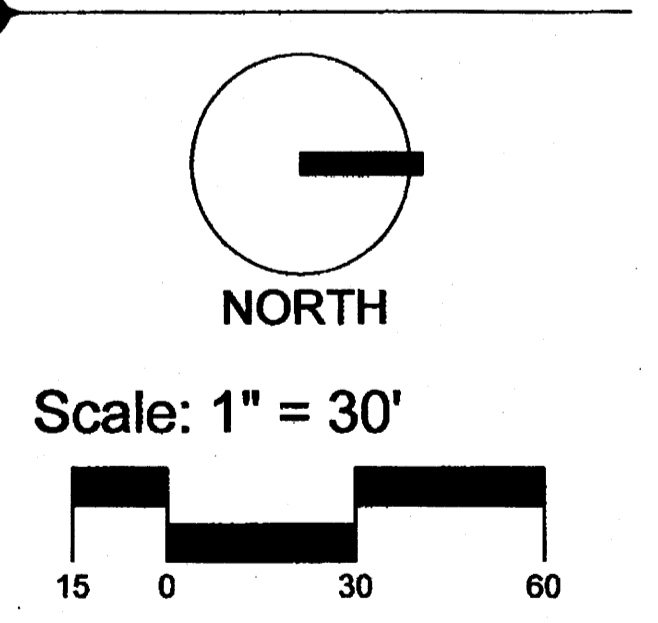
**CAUTION:**  
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

ENGINEER'S SEAL 	<b>RIVERSIDE CHURCH</b> ALBUQUERQUE, NM	DRAWN BY pm
	<b>MASTER UTILITY PLAN</b>	DATE 10-13-08
	<b>TERRA WEST, LLC</b> 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100	2831-MUE
RONALD R. BOHANNAN P.E. #7868		SHEET #
		JOB # 28031

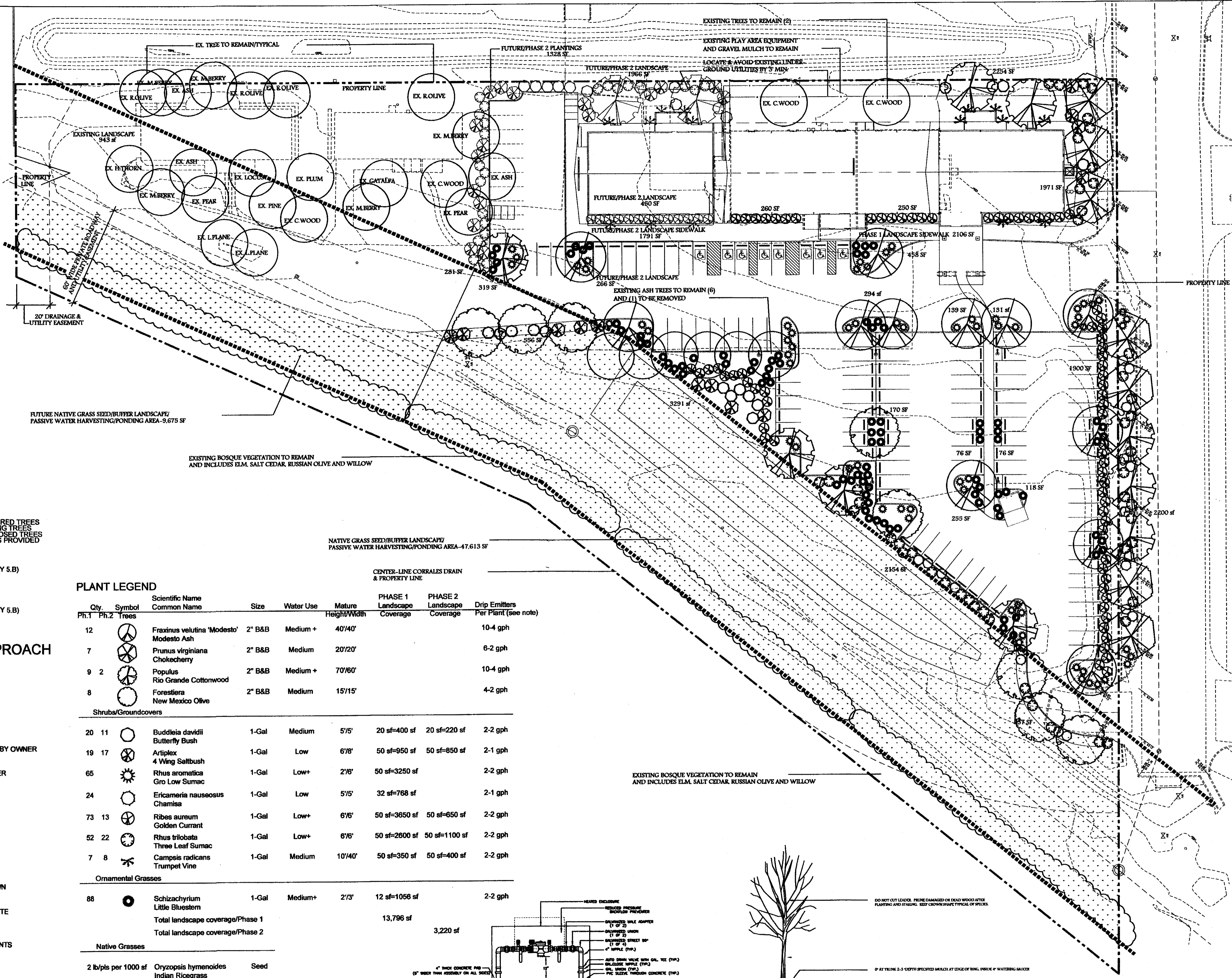


Date: 6/5/08  
 Revisions:  
 ▲ 7/1/08  
 ▲ 7/28/08  
 ▲ 8/7/08  
 ▲ 8/25/08  
 ▲ 9/8/08  
 ▲ 10/1/08  
 Drawn by: JC  
 Reviewed by: Hulc

**Riverside Church of Christ**  
 Albuquerque, New Mexico



Sheet Title:  
**Landscape Plan**  
 Sheet Number:  
**LS-01**



**SITE DATA**

GROSS LOT AREA	195,098 SF
LESS UNDEVELOPED BUFFER STRIP	78,469 SF
PORTION OF LOT LEFT FOR DEVELOPMENT	118,630 SF
LESS BUILDING(S)	19,521 SF
LESS ROW LANDSCAPE AREA	2,200 SF
NET LOT AREA	96,908 SF

REQUIRED LANDSCAPE 15% OF NET LOT AREA	14,537 SF
PROPOSED LANDSCAPE PHASE 1	19,518 SF
PROPOSED LANDSCAPE FUTURE	6,082 SF
TOTAL PROPOSED LANDSCAPE	25,602 SF
PERCENT OF NET LOT AREA	27 %

REQUIRED LANDSCAPE COVERAGE/75% (Phase 1) (19,518 - 2106 = 17,409 SF) X 75%	13,057 SF
PROPOSED LANDSCAPE COVERAGE	13,796 SF
PERCENT LANDSCAPE COVERAGE	78 %

REQUIRED LANDSCAPE COVERAGE/75% (Phase 2) (6,082 - 1,791 = 4,291 SF) X 75%	3,218 SF
PROPOSED LANDSCAPE COVERAGE	3,220 SF
PERCENT LANDSCAPE COVERAGE	78 %

REQUIRED STREET TREES PROVIDED AT 30' O.C. SPACING ALONG STREET 10  
 REQUIRED PARKING LOT TREES/PHASE 1 PROVIDED AT 1 PER 10 SPACES (105 SPACES/10) 10  
 6 EXISTING TREES  
 16 PROPOSED TREES  
 24 TREES PROVIDED

PHASE 1 PARKING AREA 43,984 SF  
 20% PHASE 1 PARKING 8,797 SF  
 (PER COORS CORRIDOR PLAN/OFF STREET PARKING POLICY 5.B)  
 PROPOSED LANDSCAPE PHASE 1 9,381 SF

PHASE 2 PARKING AREA 3,944 SF  
 20% PHASE 2 PARKING 789 SF  
 (PER COORS CORRIDOR PLAN/OFF STREET PARKING POLICY 5.B)  
 PROPOSED LANDSCAPE PHASE 2 2025 SF

**PLANTING RESTRICTIONS APPROACH**

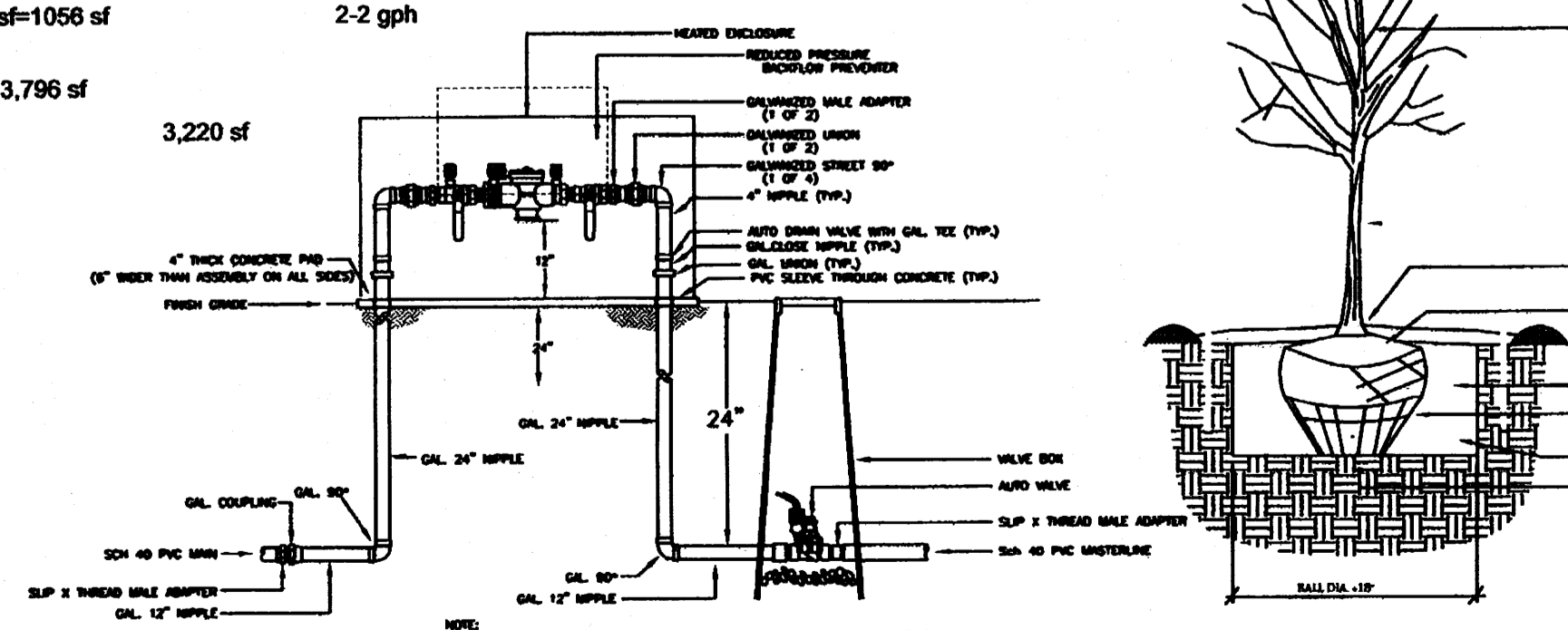
A MINIMUM OF 80% OF THE PLANTINGS TO BE LOW OR MEDIUM WATER USE PLANTS  
 A MAXIMUM OF 20% OF THE LANDSCAPE AREA TO BE HIGH WATER USE TURF

**NOTE**

MAINTENANCE OF LANDSCAPE AND IRRIGATION PROVIDED BY OWNER  
 PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER (WILKINS MODEL 975) PER CITY OF ALBUQUERQUE  
 WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER  
 THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE  
 PLANTING RESTRICTIONS APPROACH  
 IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUND COVER OF LANDSCAPE AREAS AT MATURITY  
 LANDSCAPE AREAS TO BE MULCHED WITH SANTA FE BROWN CRUSHER FINES AT 3" DEPTH  
 APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE  
 TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS  
 NO PARKING SPACE SHALL BE MORE THEN 50' FROM A TREE  
 EXISTING TREES TO REMAIN AS POSSIBLE UNLESS NOTED OTHERWISE  
 NATIVE GRASS SEEDING AREAS TO BE SEEDING AT 2 LB/PLS PER 1000 SF AND TO INCLUDE INDIAN RICEGRASS (ORYZOPSIS HYMENOIDES) AND SALT GRASS (DISTICHLIS SPICATA)  
 NATIVE GRASSES TO BE RESEED FOR THREE CONSECUTIVE YEARS  
 DRIP SYSTEM TO BE RUN 1 HOUR/4 DAYS A WEEK DURING ESTABLISHMENT AND SUMMER MONTHS. PROVIDE SHADE TREES WITH 160 GALLONS PER WEEK DURING ESTABLISHMENT, PER THE CITY FORESTER'S STANDARD GUIDELINES

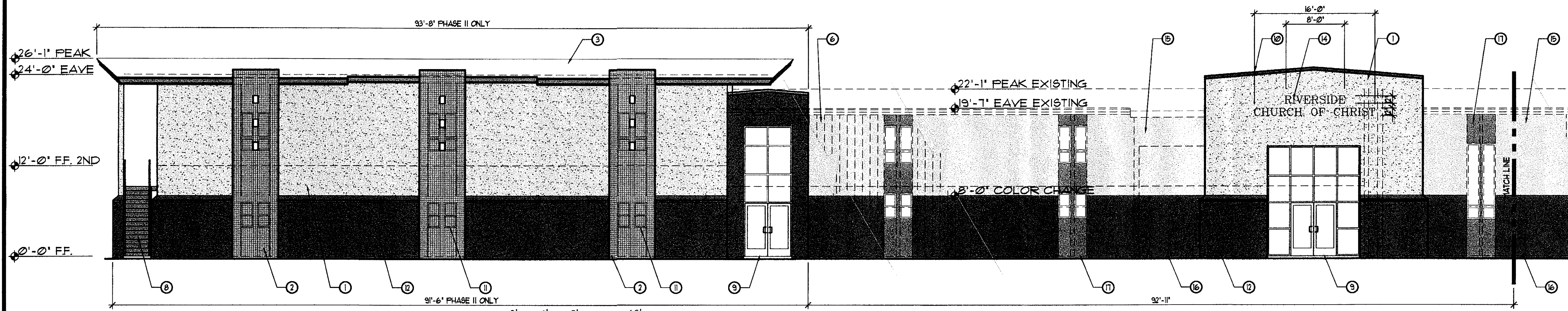
**PLANT LEGEND**

Qty.	Symbol	Scientific Name	Common Name	Size	Water Use	Mature Height/Width	PHASE 1 Landscape Coverage	PHASE 2 Landscape Coverage	Drip Emitters Per Plant (see note)
12	☉	Fraxinus velutina 'Modesto'	Modesto Ash	2" B&B	Medium +	40'/40'			10-4 gph
7	☉	Prunus virginiana	Chokecherry	2" B&B	Medium	20'/20'			6-2 gph
9	☉	Populus	Rio Grande Cottonwood	2" B&B	Medium +	70'/80'			10-4 gph
8	☉	Forestiera	New Mexico Olive	2" B&B	Medium	15'/15'			4-2 gph
<b>Shrubs/Groundcovers</b>									
20	☉	Buddleia davidii	Butterfly Bush	1-Gal	Medium	5'/5'	20 sf=400 sf	20 sf=220 sf	2-2 gph
19	☉	Artilex	4 Wing Saltbush	1-Gal	Low	6'/8'	50 sf=950 sf	50 sf=850 sf	2-1 gph
65	☉	Rhus aromatica	Gro Low Sumac	1-Gal	Low+	2'/6'	50 sf=3250 sf		2-2 gph
24	☉	Ericameria nauseosus	Chamisa	1-Gal	Low	5'/5'	32 sf=768 sf		2-1 gph
73	☉	Ribes aureum	Golden Currant	1-Gal	Low+	6'/6'	50 sf=3650 sf	50 sf=650 sf	2-2 gph
52	☉	Rhus trilobata	Three Leaf Sumac	1-Gal	Low+	6'/6'	50 sf=2800 sf	50 sf=1100 sf	2-2 gph
7	☉	Campsis radicans	Trumpet Vine	1-Gal	Medium	10'/40'	50 sf=350 sf	50 sf=400 sf	2-2 gph
<b>Ornamental Grasses</b>									
88	☉	Schizachyrium	Little Bluestem	1-Gal	Medium+	2'/3'	12 sf=1056 sf		2-2 gph
							13,796 sf		
								3,220 sf	
<b>Native Grasses</b>									
2 lb/pls per 1000 sf		Oryzopsis hymenoides	Indian Ricegrass	Seed					
2 lb/pls per 1000 sf		Distichlis spicata	Salt Grass	Seed					



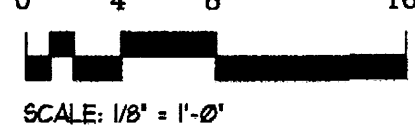
Mastervalue w/RPBA

1 Deciduous Tree  
 L100

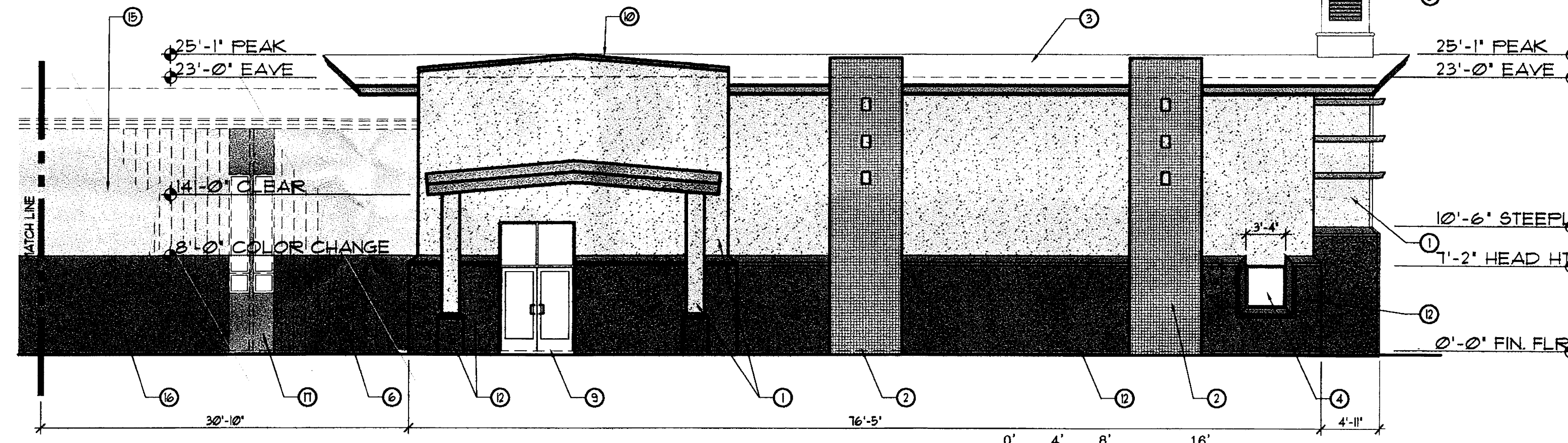


**EAST ELEVATION - SOUTH**

1/8"=1'-0"

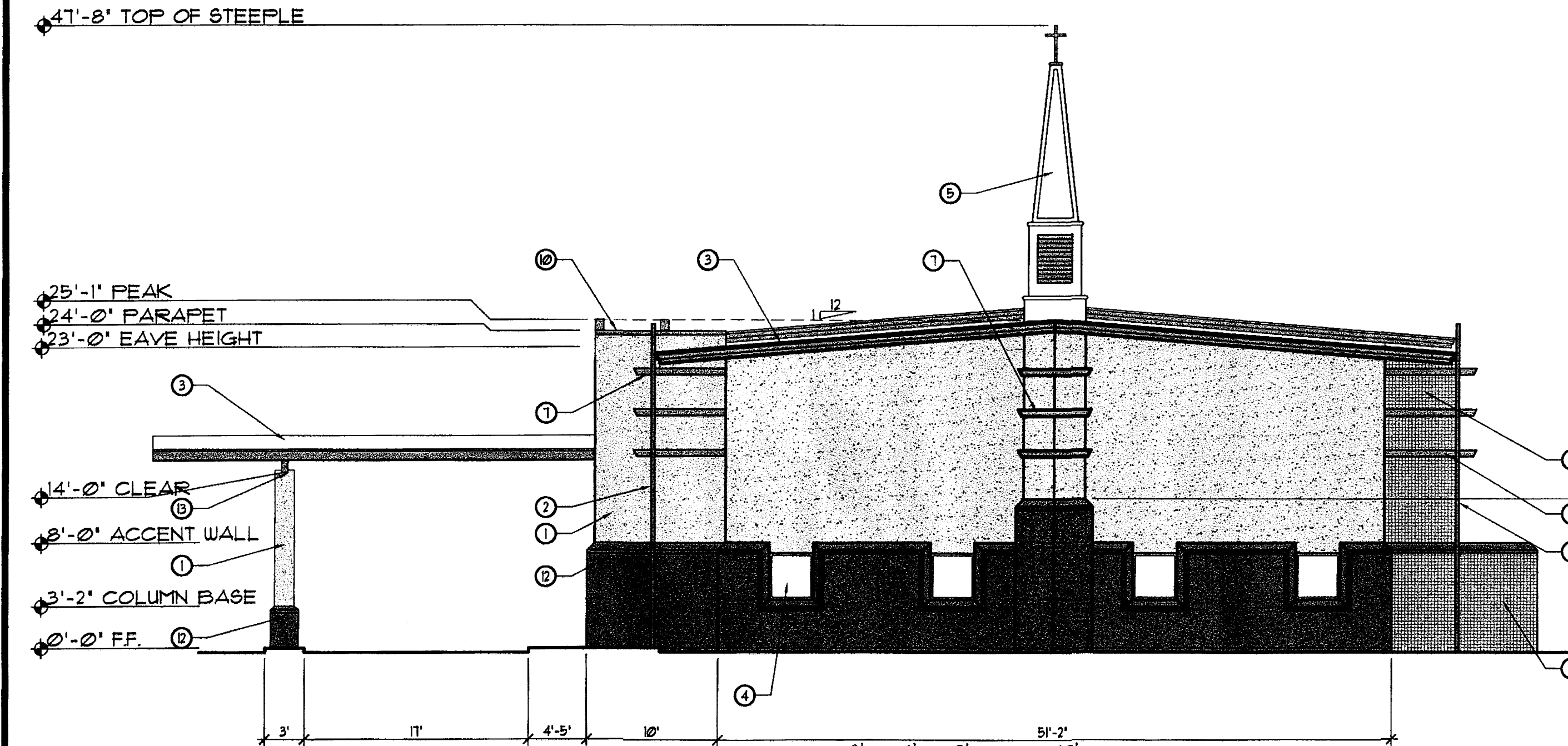
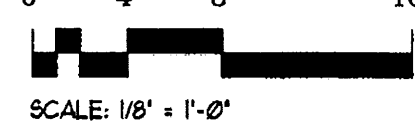


- KEYED NOTES**
1. STUCCO COLOR MATCH DRYVIT 'BEACH' 115 - COMMON COLOR CREAM
  2. WELDED WIRE FABRIC SCREEN TRELLIS IN 2"x2" TUBE STEEL FRAME PAINT TO MATCH DRYVIT 'RED CLAY' 356 - COMMON COLOR RUST
  3. METAL PANEL ROOFING, COLOR WHITE PROFILE M
  4. ALUMINUM WINDOW BRONZE ANODIZED (IMPERIAL)
  5. STEEPLE - PREFABRICATED COLOR OFF WHITE - LOUVERS PAINTED TO MATCH EAVE TRIM & TRELLISES
  6. EXISTING PAINTED METAL WALL SHEETS TO REMAIN SEE NOTES 15 THRU 17 FOR PAINT REQUIREMENTS
  7. PAINTED PLATE STEEL-SUPPORT BRACKETS PAINT TO MATCH COLOR OF TRELLISES
  8. STEEL STAIRCASE PAINT TO MATCH TRELLISES
  9. NEW STOREFRONT ALUMINUM DOOR AND WINDOW ASSEMBLY, BRONZE ANODIZED
  10. METAL CAP TRIM PAINTED TO MATCH TRELLISES
  11. EXISTING OPERABLE WINDOWS, BRONZE ALUMINUM & LG. GLASS
  12. STUCCO COLOR MATCH DRYVIT 'ADOBE ACCENT' 139 - COMMON COLOR BROWN
  13. TRIM & STEEL STRUCTURE • PORTO COCHERE PAINT TO MATCH TRELLISES
  14. BRUSHED ALUMINUM LETTERS ATTACHED TO WALL - NOT ILLUMINATED
  15. PAINT EXISTING STEEL WALL PANELS TO MATCH STUCCO DRYVIT 'BEACH' 115 - COMMON COLOR CREAM
  16. PAINT EXISTING STEEL WALL PANELS TO MATCH STUCCO DRYVIT 'ADOBE ACCENT' 139 - COMMON COLOR BROWN
  17. PAINT EXISTING ACCENT PANELS & WINDOWS TO MATCH DRYVIT 'RED CLAY' 356 - COMMON COLOR RUST



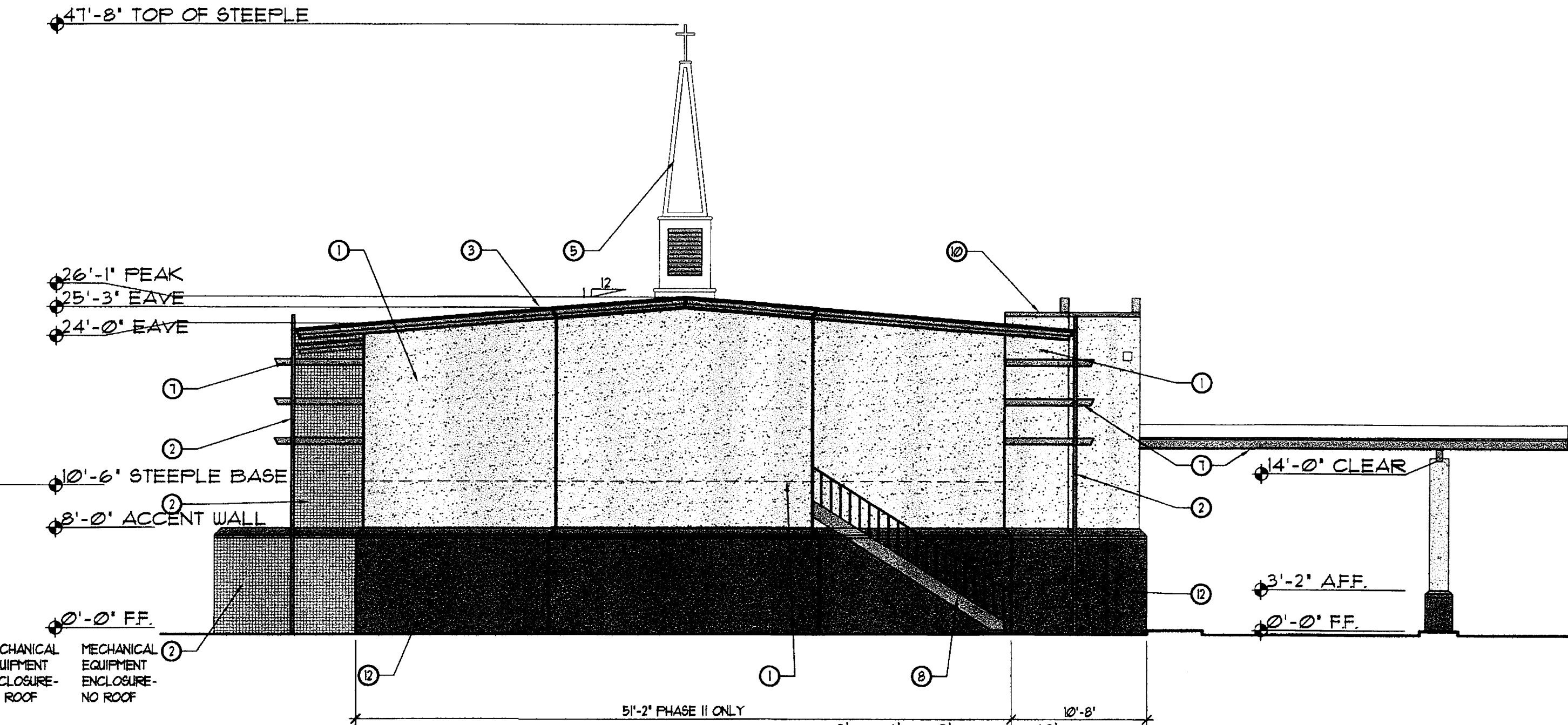
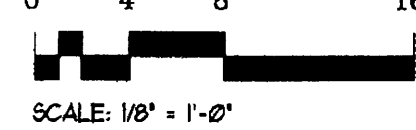
**EAST ELEVATION - NORTH**

1/8"=1'-0"



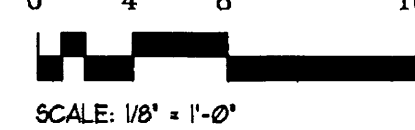
**NORTH ELEVATION**

1/8"=1'-0"



**SOUTH ELEVATION (PHASE II ONLY)**

1/8"=1'-0"



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DATE:  
PLOT DATE: 25 JUL 2008

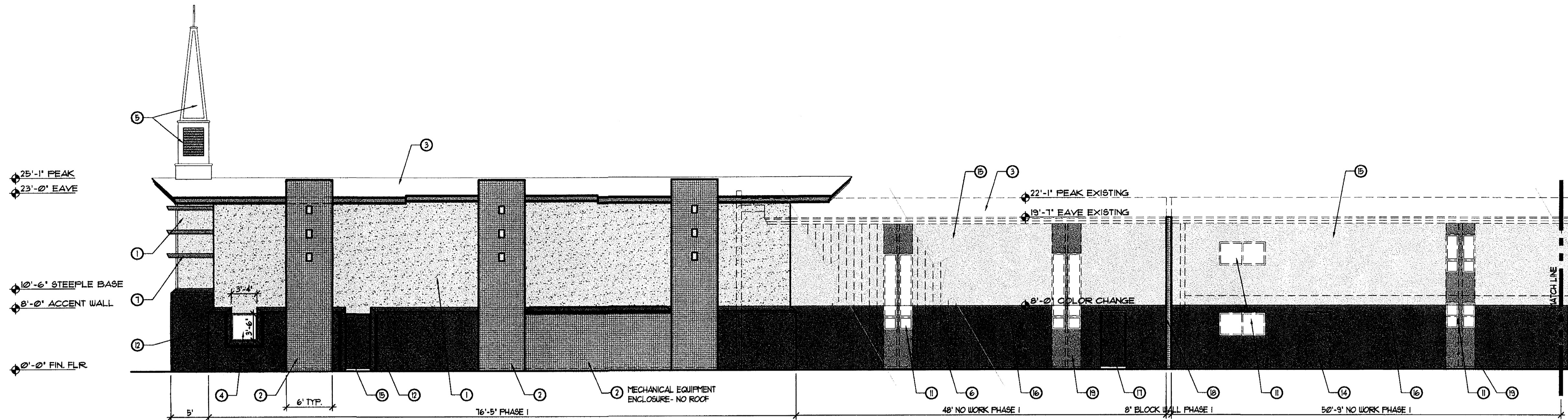
124.00 PER 13 & 14 COA COMMENTS  
86.00 PER 131 COA COMMENTS  
825.00 RESPONSE TO 82108 HEARING  
1014.00 DRB SUBMITTAL

FILE: A301.DWG

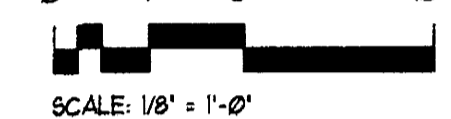
ADDITION TO CHAPEL  
FOR  
**Riverside**  
**Church of Christ**  
3100 LA ORILLA RD N.E.  
ALBUQUERQUE, NEW MEXICO 87120

ELEVATIONS

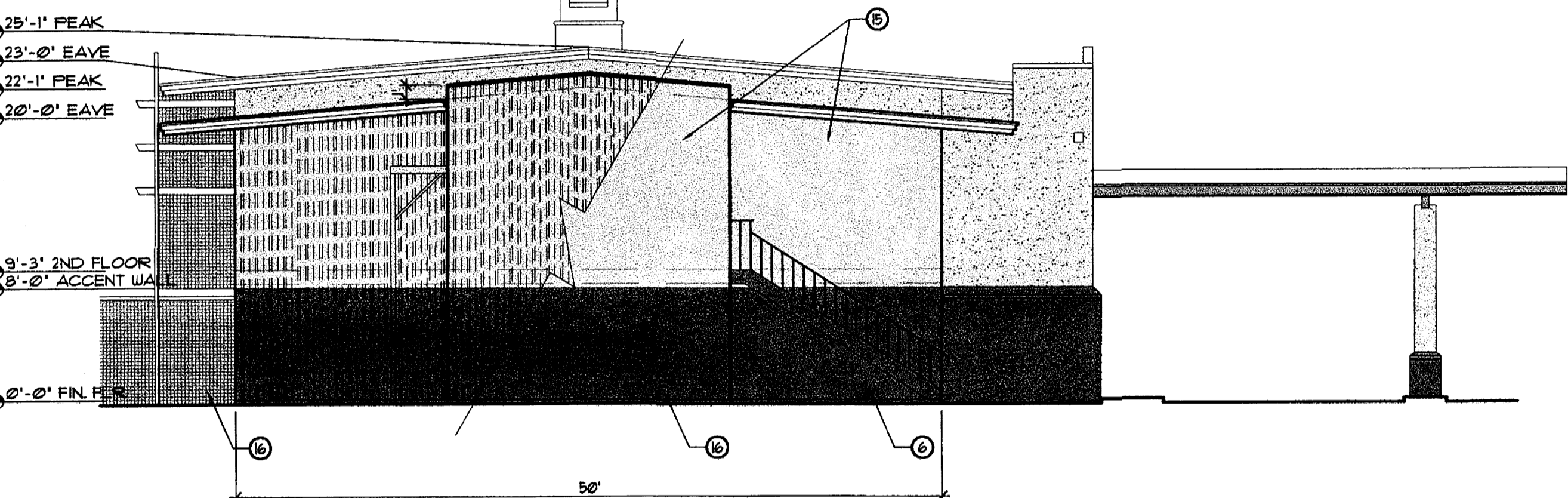
SHEET NO.  
**A301**  
PROJECT # 08-106 4 OF 6



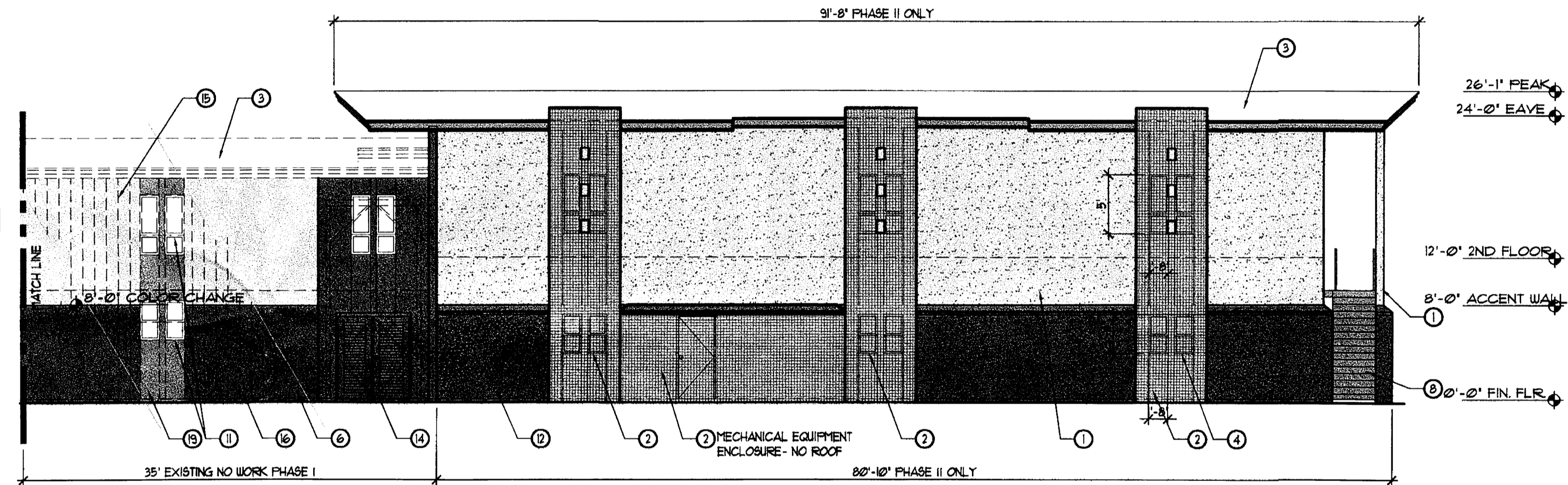
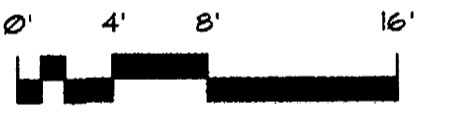
**WEST ELEVATION - NORTH**  
1/8" = 1'-0"



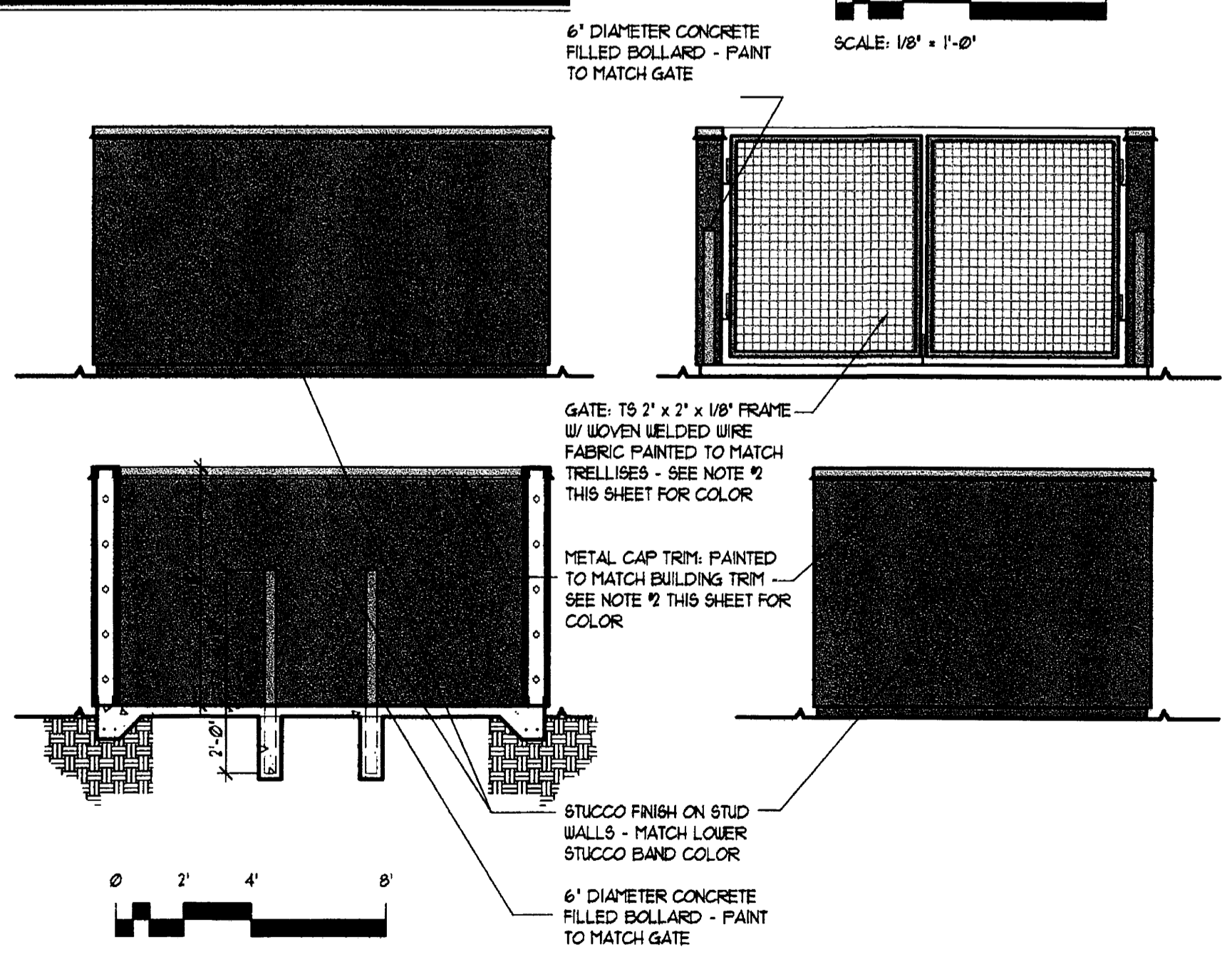
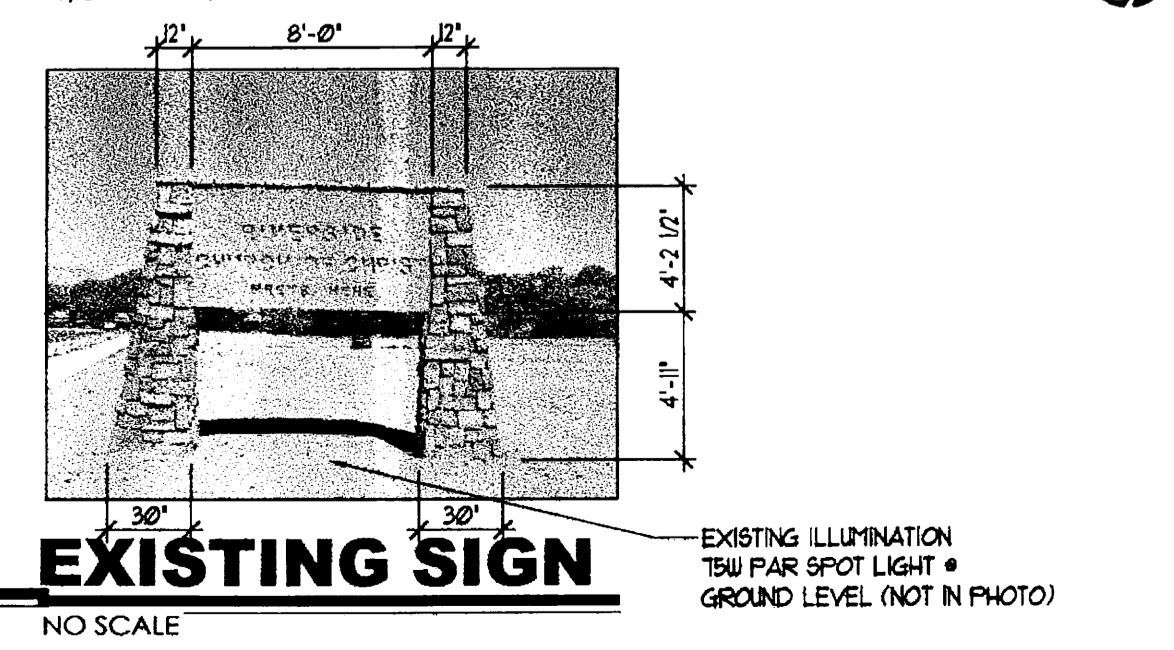
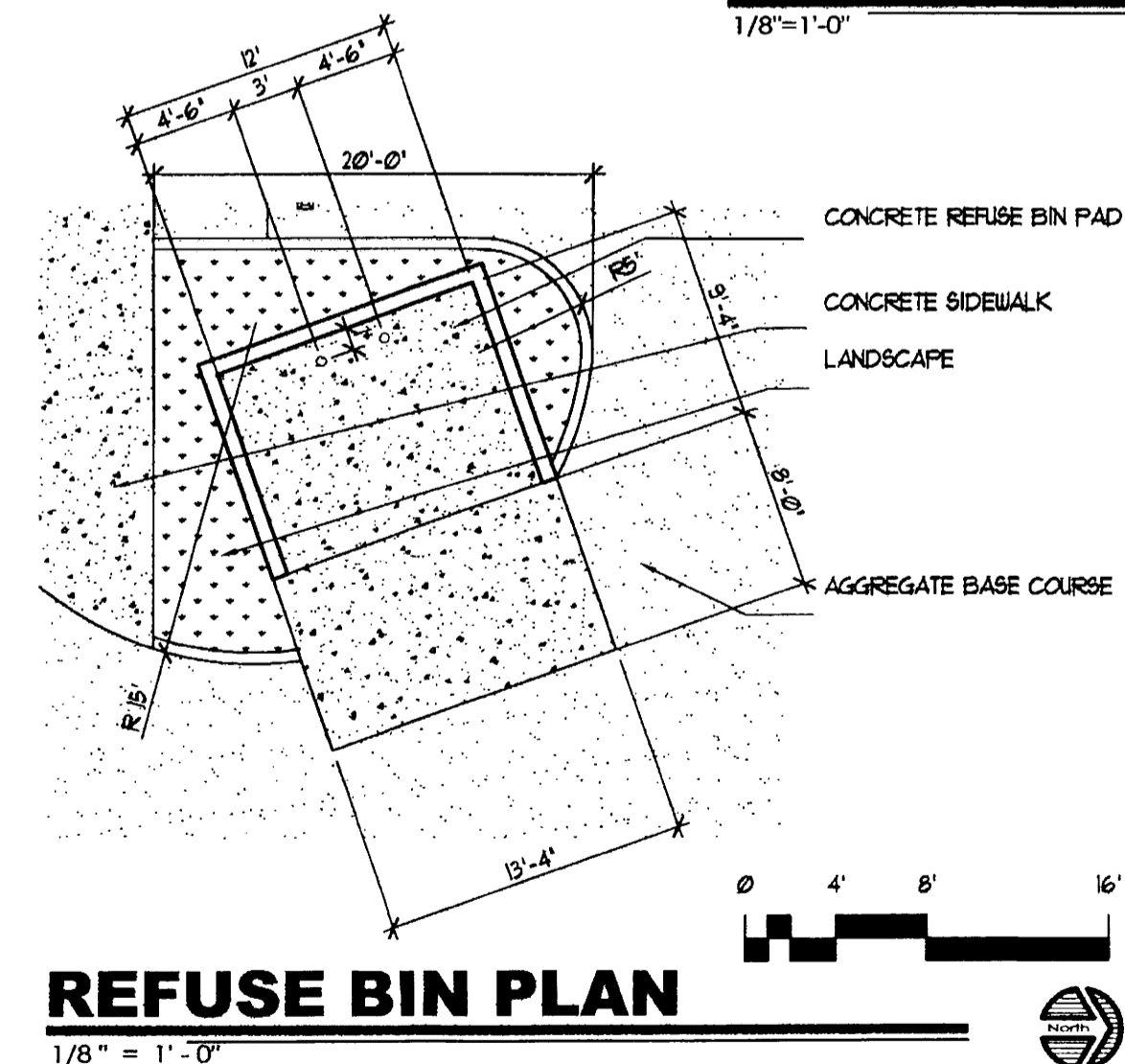
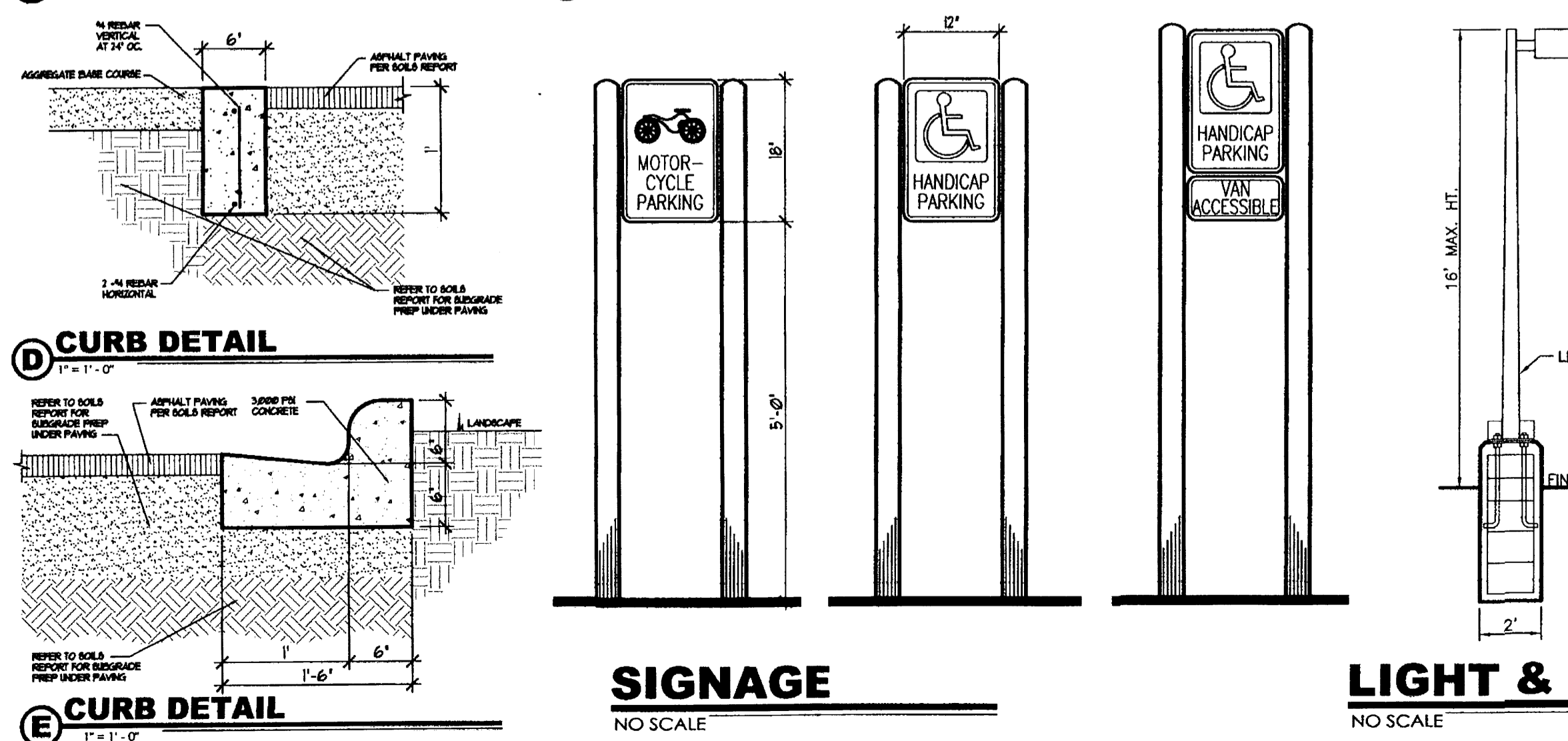
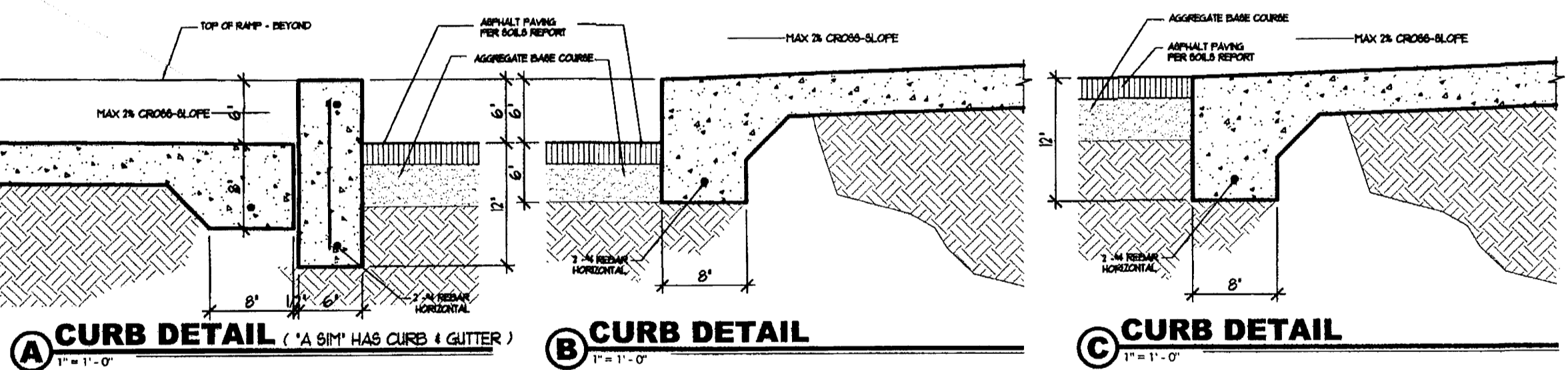
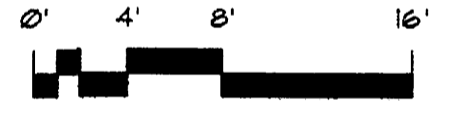
- KEYED NOTES**
1. STUCCO COLOR MATCH DRYVIT BEACH IS - COMMON COLOR CREAM
  2. WELDED WIRE FABRIC SCREEN TRELLIS IN 2"x2" TUBE STEEL FRAME PAINT TO MATCH DRYVIT "RED CLAY" 356 - COMMON COLOR RUST
  3. METAL PANEL ROOFING COLOR WHITE PROFILE M - MATCH EXISTING
  4. ALUMINUM UNIFORM BRONZE ANODIZED
  5. STEEPLE-PREFABRICATED COLOR OFF WHITE - LOUVERS PAINTED TO MATCH EAVE TRIM & TRELLISES
  6. EXISTING PAINTED METAL WALL SHEETS TO REMAIN. SEE NOTES 15, 16 & 19 FOR PAINT COLOR REQUIREMENTS
  7. PAINTED PLATE STEEL-SUPPORT BRACKETS PAINT TO MATCH COLOR OF TRELLISES
  8. STEEL STAIRCASE PAINT TO MATCH TRELLISES
  9. NEW STOREFRONT ALUMINUM DOOR AND WINDOW ASSEMBLY, BRONZE ANODIZED
  10. METAL CAP TRIM PAINTED TO MATCH TRELLISES
  11. EXISTING OPERABLE WINDOWS TO REMAIN, BRONZE ALUMINUM & IG GLASS
  12. STUCCO COLOR MATCH DRYVIT ADOBE ACCENT 139 - COMMON COLOR CHOCOLATE ICE CREAM
  13. TRIM & STEEL STRUCTURE - PORTO COCHERE PAINT TO MATCH TRELLISES
  14. EXISTING DOOR TO REMAIN - NO WORK
  15. PAINT EXISTING STEEL WALL PANELS TO MATCH STUCCO DRYVIT "BEACH" IS - COMMON COLOR CREAM
  16. PAINT EXISTING STEEL WALL PANELS TO MATCH STUCCO DRYVIT "ADOBE ACCENT" 139 - COMMON COLOR BROWN
  17. PERSONEL DOOR - PAINT TO MATCH ADJACENT FINISH
  18. NEW CONCRETE MASONRY UNIT FIRE WALL, PAINTED BLACK & SHEATHED IN WOVEN WIRE FABRIC TO MATCH TRELLISES
  19. PAINT EXISTING ACCENT PANELS TO MATCH DRYVIT "RED CLAY" 356 - COMMON COLOR RUST



**SOUTH ELEVATION (PHASE I ONLY - EXISTING BUILDING END - PAINT ONLY)**  
1/8" = 1'-0"



**WEST ELEVATION - SOUTH**  
1/8" = 1'-0"



**REFUSE BIN ELEVATIONS**  
1/4" = 1'-0"

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DATE:  
PLOT DATE: 25 JUL 2008

124.00 COA 1/3 & 1/4 EMAILS  
86.00 COA 1/24/08 COMMENTS  
825.00 RESPONSE TO 821.00 HEARING  
1014.00 DRB SUPPLEMENTAL

FILE: A302.DWG

ADDITION TO CHAPEL  
FOR  
**Riverside**  
**Church of Christ**  
3100 LA ORILLA RD N.E.  
ALBUQUERQUE, NEW MEXICO 87120

ELEVATIONS, SITE  
DETAILS

SHEET NO.  
**A302**

PROJECT # 08-106

5 OF 5