



6. **Project# 1007442**
16DRB-70048 AMENDMENT TO
PRELIMINARY PLAT 


FLOYD DEVELOPMENT SERVICES agent(s) for PURVIS INDUSTRIES request(s) the above action(s) for all or a portion of Lot(s) 6-B-1-A, 7-B-1-A & 8-B-1, **MIDWAY BUSINESS PARK** zoned IP, located on NE CORNER OF SINGER AND MIDWAY containing approximately 3.164 acre(s). (E & F-17) **THE AMENDED PRELIMINARY PLAT, WAS APPROVED. THIS AMENDMENT DOES NOT EXTEND THE EXPIRATION DATE OF THE ALREADY APPROVED PRELIMINARY PLAT.**

7. **Project# 1008797**
16DRB-70043 EXT OF SIA FOR TEMP
DEFR SDWK CONST 

FLOYD DEVELOPMENT SERVICES agent(s) for RCS - TAOS, LLC request(s) the above action(s) for all or a portion of Lot(s) 1-56 TAOS UNIT 1, **TAOS AT THE TRAILS Unit(s) 1**, zoned VTRD, located on KAYSER MILL & MISSION RIDGE BETWEEN UNIVERSE AND OAKRIDGE (C-9) **A ONE OR TWO YEAR EXTENSION TO THE 4-YEAR AGREEMENT FOR THE DEFERRAL OF SIDEWALKS WAS APPROVED.**

8. **Project# 1003478**
16DRB-70044 AMENDMENT TO
PRELIMINARY PLAT 

ISAACSON AND ARFMAN PA agent(s) for CURB, INC request(s) the above action(s) for all or a portion of Tract(s) 8, **AVALON SUBDIVISION Unit(s) 5**, zoned SU-1 IP, located on 90TH ST NW BETWEEN BLUEWATER RD NW AND LOS VOLCANES RD NW containing approximately 9.98 acre(s). (K-9) **THE AMENDED PRELIMINARY PLAT WAS APPROVED. THIS AMENDMENT DOES NOT EXTEND THE EXPIRATION DATE OF THE ALREADY APPROVED PRELIMINARY PLAT.**

9. **Project# 1010521**
16DRB-70040 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL 

THE GROUP agent(s) for NAZISH LLC request(s) the above action(s) for all or a portion of Lot(s) 12, Block(s) 3, Tract(s) 2, **NORTH ALBUQUEQUE ACRES Unit(s) 3**, zoned RD, located on OAKLAND AVE BETWEEN WYOMING BLVD AND QUAIL SPRINGS PL containing approximately 1.0025 acre(s). (C-19) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 2/10/16 AND WITH AN APPROVED GRADING PLAN ENGINEER STAMP DATED 12/1/16, THE PRELIMINARY PLAT WAS APPROVED. FINAL PLAT WAS DEFERRED FOR THE SUBDIVISION IMPROVEMENTS AGREEMENT (SIA).**

DRB CASE ACTION LOG - BLUE SHEET

- Preliminary/Final Plat (P&F)
- Site Plan for Subdivision (SPS)
- Site Plan for Building Permit (SBP)

This sheet **must** accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

Site Plans: It is the responsibility of the applicant/agent/developer/owner to insert the DRB approved Site Plan for Subdivision and/or Site Plan for Building Permit in each copy of building permit plansets. If the building permit plans have been submitted prior to the Site Plan for Subdivision and/or Site Plan for Building Permit being signed-off, then it is the responsibility of the applicant/agent/developer/owner to insert a copy of the signed-off Site Plan for Subdivision and/or Site Plan for Building Permit in each copy of the building permit plansets.

Project# 1007442
Application # 15DRB-70337
To be known as: Midway Business Park
AGENT: Floyd Development Services Inc.

Your request was approved on 10-28-15 by the DRB with delegation of signature(s) to the following departments - outstanding comments to be addressed as follows:

Transportation:

ABCWUA:

City Engineer:

Parks and Recreation :

Planning:

15 day appeal period

PLATS:

Planning must record this plat. Please submit the following items:

-The original plat and a mylar copy for the County Clerk.

-Tax certificate from the County Treasurer.

-Recording fee (checks payable to the County Clerk). **RECORDED DATE:**

-Tax printout from the County Assessor.

-County Treasurer's signature must be obtained prior to the recording of the plat with County Clerk.

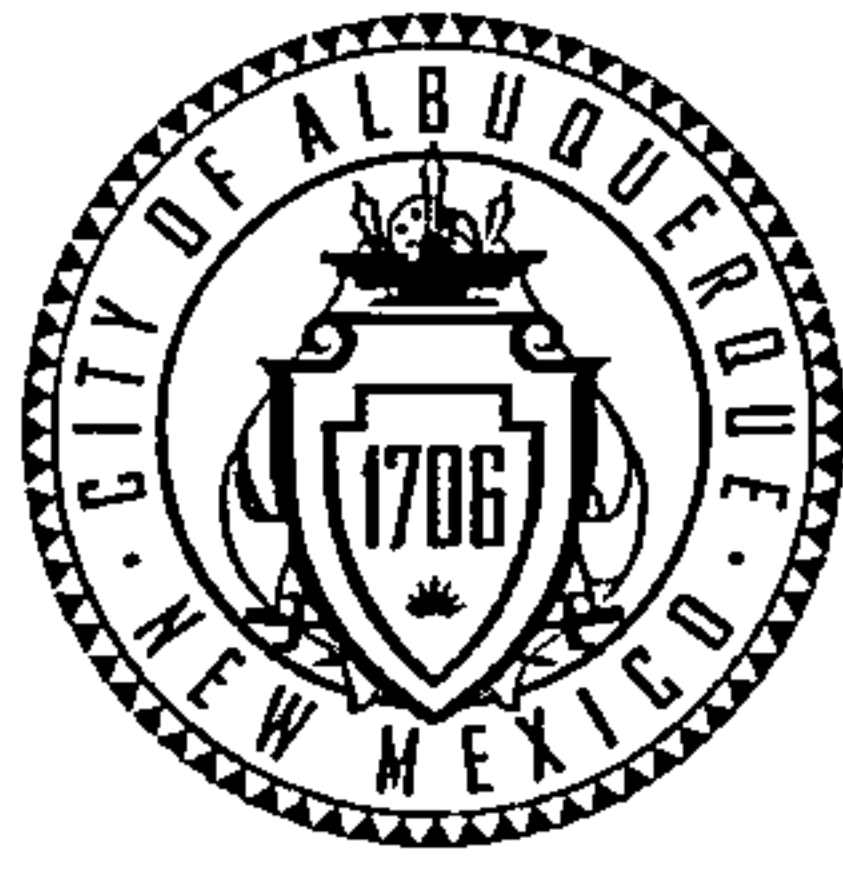
Property Management's signature must be obtained prior to Planning Department's signature.

AGIS DXF File approval required.

Copy of recorded plat for Planning.

ALL SITE PLANS:

3 copies of the approved site plan. Include all pages.



CITY OF ALBUQUERQUE
 PLANNING DEPARTMENT
 DEVELOPMENT REVIEW BOARD

October 14, 2015

PUBLIC AGENCY COMMENTS

Project# 1007442
 15DRB-70337 – SITE DEVELOPMENT PLAN
 FOR BUILDING PERMIT

FLOYD DEVELOPMENT SERVICES LLC agents for PURVIS INDUSTRIES request the referenced/above action for Tract 7-B-1, **MIDWAY BUSINESS PARK** zoned IP, located on the northeast corner of SINGER BLVD NE and MIDWAY PARK BLVD NE containing approximately 3.16 acre. (E-17 / F-17)

<p>AMAFCA</p> <p><i>Lynn Mazur</i> lmazur@amafca.org</p>	<p>No comment.</p>
<p>MRCOG</p> <p><i>Kendra Watkins</i> kwatkins@mrcog-nm.gov <i>Andrew Gingerich</i> AGingerich@mrcog-nm.gov <i>Maida Rubin</i> mrubin@mrcog-nm.gov</p>	
<p>TRANSIT</p> <p><i>Shabih Rizvi</i> srizvi@cabq.gov</p>	
<p>ZONING ENFORCEMENT</p> <p><i>Vince Montano</i> VMontano@cabq.gov</p>	
<p>NEIGHBORHOOD COORDINATION</p> <p><i>Stephani Winklepleck</i> SWinklepleck@cabq.gov</p>	<p>Affected NA/HOA's: No Neighborhood and/or Homeowner Associations</p>
<p>APS</p> <p><i>April Winters</i> winters_a@aps.edu</p>	<p>This will have no adverse impacts to the APS district.</p>

<p>POLICE DEPARTMENT <i>Steve Sink</i> SSink@cabq.gov</p>	<p>... project is in the Valley Area Commar</p> <ul style="list-style-type: none"> - It appears proposed exterior lighting is in conflict with proposed landscaping. Recommend removing from the plans large tree-variety landscaping in areas immediately adjacent to parking lot pole lights. Once trees become mature, they will reduce the effectiveness of available illumination. Additionally, all low-level bush variety landscaping should be maintained to a height no higher than three feet. All building approaches should also be void on landscaping to provide as much natural surveillance as possible. - Suggest incorporating into the plans a video surveillance systems. Cameras should be positioned to view all vehicle/pedestrian access points, parking lots, walkways, building approaches, common areas and maintenance facilities. Each camera should be monitored and recorded for real-time and historical use.
<p>FIRE DEPARTMENT <i>Antonio Chinchilla</i> achinchilla@cabq.gov</p>	
<p>PNM ELECTRIC <i>Daniel Aragon</i> Daniel.Aragon@pnm.com</p>	
<p>NEW MEXICO GAS COMPANY <i>Robert Gomez</i> Robert.gomez@nmgco.com</p>	
<p>COMCAST <i>Mike Mortus</i> Mike_Mortus@cable.comcast.com</p>	
<p>CENTURYLINK</p>	
<p>ENVIRONMENTAL HEALTH <i>Paul Olson</i> polson@cabq.gov</p>	
<p>M.R.G.C.D <i>Ray Gomez</i> michael@mrgcd.us</p>	
<p>OPEN SPACE DIVISION <i>Kent Reed Swanson</i> kswanson@cabq.gov <i>Sarah Brown</i> sbrowne@cabq.gov</p>	<p>no adverse comments.</p>
<p>TRANSPORTATION PLANNING (DMD) <i>John MacKenzie</i> jmackenzie@cabq.gov</p>	<p>Per MRCOG's 2040 Long Range Bikeway System Map, Singer Blvd. is proposed to contain on street bicycle lanes across the frontage of this property. DMD is in the process of finalizing its design for the reconstruction of Singer Blvd. to include new bicycle lanes fronting this property. The applicant should contact Moby Mirza of DMD to coordinate the construction of improvements identified on this Site Development Plan with the Singer Project. Moby can be reached at 768-2767.</p>

PARKS AND RECREATION <i>Carol Dumont</i> cdumont@cabq.gov	Parks and Recreation has no adverse comments for this request. Information comment only is that the Bikeways and Trails Plan identifies a proposed bike lane on this section of Singer Blvd.
CITY ENGINEER/ HYDROLOGY <i>Rita Harmon</i> RHarmon@cabq.gov	
ABCWUA <i>Kris Cadenda</i> KCadena@abcwua.org	
TRANSPORTATION DEVELOPMENT <i>Racquel Michel</i> RMichel@cabq.gov	
PLANNING DEPARTMENT <i>Jack Cloud</i> jcloud@cabq.gov	Refer to comments from Zoning Enforcement plus any public hearing comments regarding proposed site plan. The building does not appear to meet the height requirements of the IP zone on the north and south elevations.

6. **Project# 1005182**
14DRB-70318 PRELIMINARY PLAT
14DRB-70412 SUBDN DESIGN
VARIANCE FROM MIN DPM STDS

WILSON & COMPANY agents for D.R. SCOTT LLC request the referenced/ above actions for **LA CUENTISTA SUBDIVISION Unit II**, zoned R-1, located on the southwest corner of ROSA PARKS RD NW and KIMMICK DR NW containing approximately 34.47 acres. (C-10 & C-11) [*Deferred from 10/8/14, 11/5/14, 11/12/14, 12/3/14, 12/17/14, 12/31/14, 1/7/15*] **WITH AN APPROVED GRADING AND DRAINAGE PLAN ENGINEER STAMP DATED 1/15/15 AND WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 1/14/15, THE PRELIMINARY PLAT WAS APPROVED. A SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM DESIGN STANDARDS WAS APPROVED AS SHOWN ON EXHIBIT IN THE PLANNING FILE.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

7. **Project# 1007442**
14DRB-70427 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

PRECISION SURVEYS, INC. agent(s) for PURVIS INDUSTRIES, LTD. request(s) the above action(s) for all or a portion of Lot(s) 6-B-1-A-1, 7-B-1-A AND 8-B-1, **MIDWAY BUSINESS PARK** zoned IP, located on SINGER BETWEEN MIDWAY PARK AND OFFICE containing approximately 5.979 acre(s). (E-17 AND F-17) [*Deferred from 1/7/15*] **INDEFINITELY DEFERRED.**

8. Other Matters:
ADJOURNED:

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
January 7, 2015
DRB Comments**

ITEM # 5

PROJECT # 1007442

APPLICATION # 14-70427

RE: Lots 6-B-1-A thru 8-B, Midway Business Park

Per the Subdivision Ordinance, this zoning (IP) requires that the proposed plat conform to an approved Site Development Plan. Parking calculations (required and provided) and dimensioned setbacks need to be noted for existing development; there are apparently buildings on proposed Tract 7-B-1-A which are not shown. Based on existing development, easements are required for circulation (and likely for drainage) for proposed Tract 8-B. Sidewalks are needed on Singer and Midway Park Blvd's; refer to comments from Transportation Development.

Jack Cloud, DRB Chairman
924-3880/ jcloud@cabq.gov

PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
TRANSPORTATION SECTION

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO: 1007442

AGENDA ITEM NO: 7

SUBJECT:

FINAL PLAT
PRELIMINARY PLAT

ENGINEERING COMMENTS:

No adverse comments.

Disclaimer: The comments provided are based upon the information received from the applicant. If new or revised information is submitted, additional comments may be provided by Transportation Development.

RESOLUTION:

APPROVED ___; DENIED ___; DEFERRED ___; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED: Kristal D. Metro
Transportation Development

DATE: JANUARY 14, 2015
505-924-3991

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT**

**HYDROLOGY DEVELOPMENT SECTION
DEVELOPMENT REVIEW BOARD MEMO**

DRB PROJECT NO: 1007442

AGENDA ITEM NO: 7

SUBJECT:

Plat approval

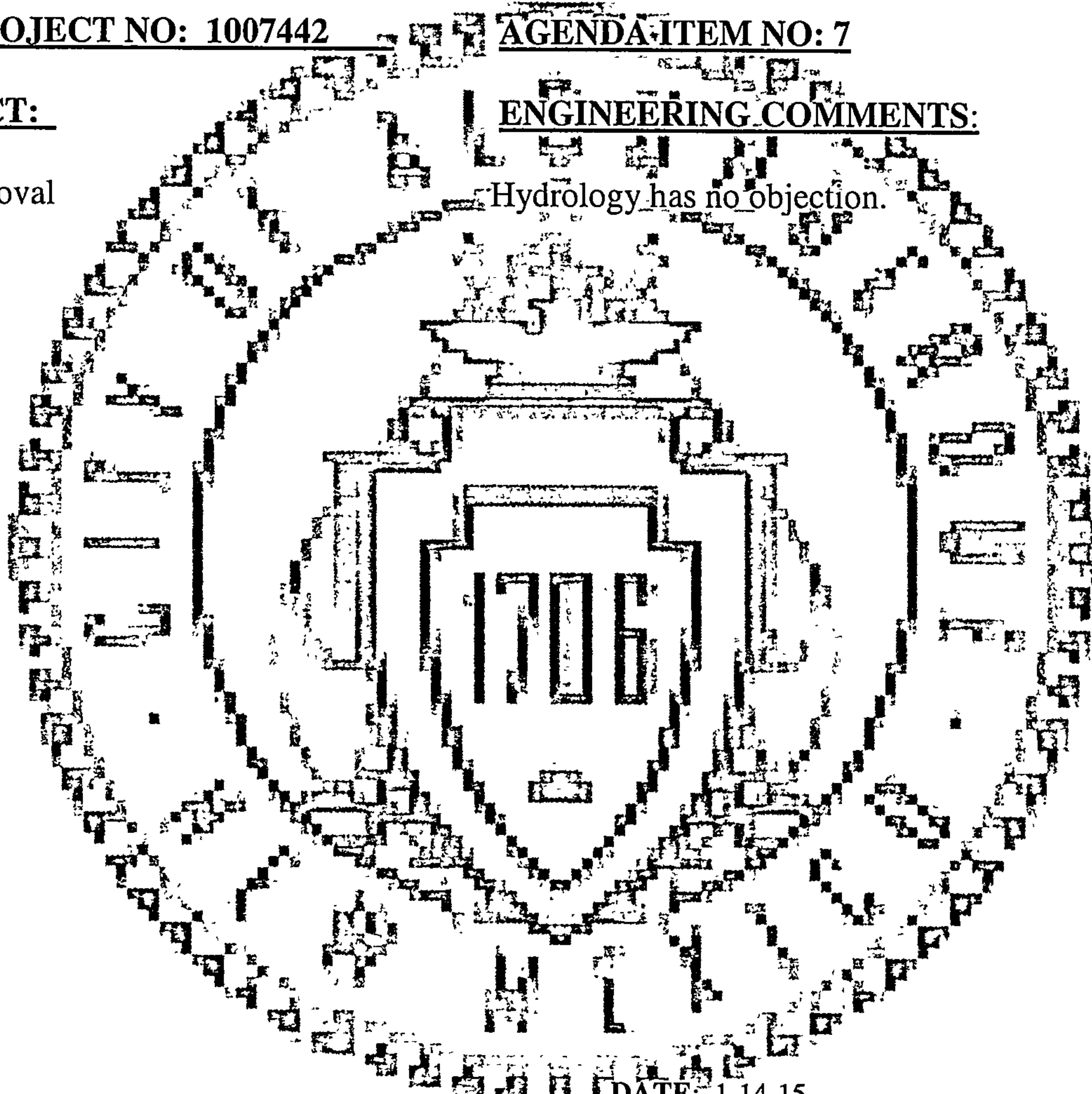
ENGINEERING COMMENTS:

Hydrology has no objection.

SIGNED:

Curtis Cherne
Hydrology Section
City Engineer Designee
AMAFCA Designee
924-3986

DATE: 1-14-15





09/18/08 Completed S.H.
DRB CASE ACTION LOG (PREL/FINAL)

REVISED 10/08/07

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 08DRB-70375

Project # 1007442

Project Name: PARKLAND HILLS ADDITION

Agent: ROBERT LUPTON

Phone No.:

Your request was approved on 9-3-08 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: Exhibit - show R-OW, improve med

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): _____

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). **RECORDED DATE:** _____
- Tax printout from the County Assessor.

- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**

AGIS DXF File approval required. OK

Copy of recorded plat for Planning.

Created On:



DRB CASE ACTION LOG (PREL/FINAL)

REVISED 10/08/07

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 08DRB-70375

Project # 1007442

Project Name: PARKLAND HILLS ADDITION

Agent: ROBERT LUPTON

Phone No.:

Your request was approved on 9-3-08 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: Exhibit - show R-OW, improve notes

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): _____

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). **RECORDED DATE:** _____
- Tax printout from the County Assessor.

- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**

- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

Created On:

7442

DXF Electronic Approval Form

DRB Project Case #: 1007442

Subdivision Name: MIDWAY BUSINESS PARK TRACTS 6B1A & 7B1

Surveyor: GARY D GARDEY

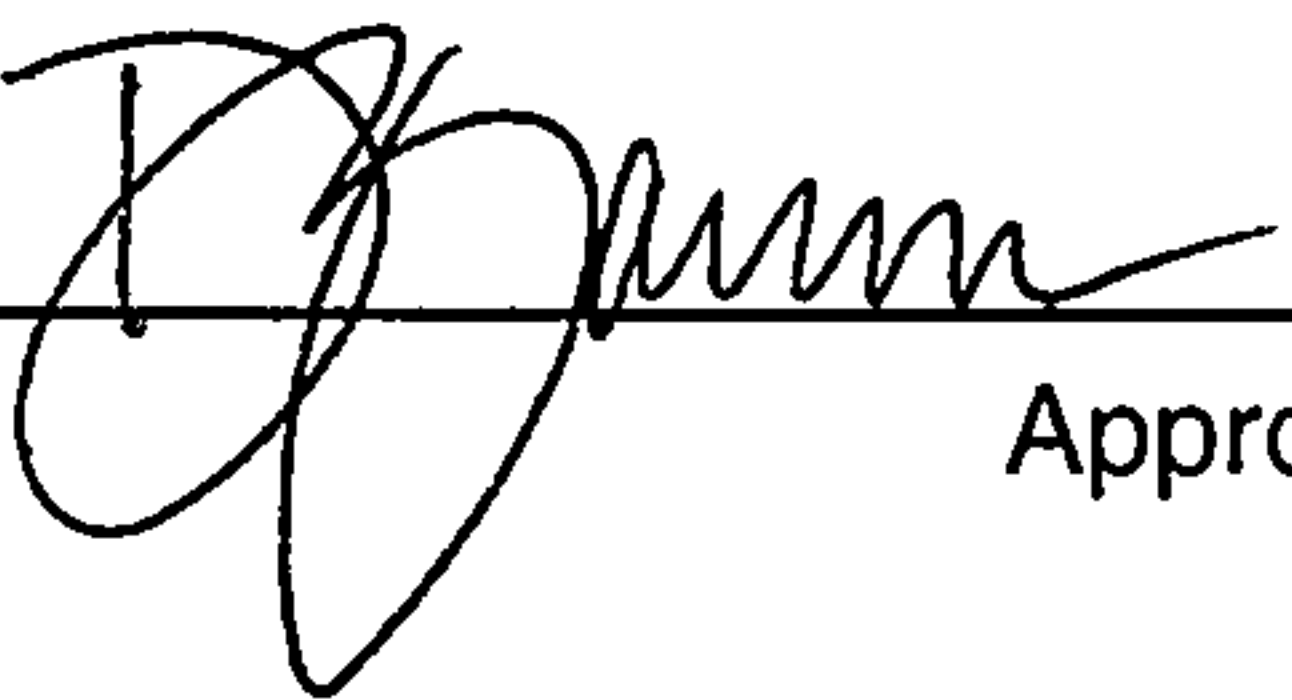
Contact Person: SARAH AMATO

Contact Information: 998-0303

DXF Received: 9/11/2008

Hard Copy Received: 9/11/2008

Coordinate System: Ground rotated to NMSP Grid


Approved

09.11.2008
Date

* The DXF file cannot be accepted (at this time) for the following reason(s):

AGIS Use Only
Copied fc 7442 to agiscov on 9/11/2008 Contact person notified on 9/11/2008

12. **Project#-1007442**
08DRB-70375 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

THE SURVEY OFFICE agent(s) for 3821 SINGER LLC request(s) the above action(s) for all or a portion of Tract(s) 6B-1 & 7-B, **MIDWAY BUSINESS PARK** zoned IP, located on MIDWAY PARK BLVD NE BETWEEN SINGER BLVD NE AND OFFICE BLVD NE containing approximately 3.54 acre(s). (E-17) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION FOR EXHIBIT SHOWING LOCATION OF SIDEWALK, PAVEMENT ,CURB AND GUTTER AND DISTANCE OF FACE OF CURB TO PROPERTY LINE. A COPY OF THE RECORDED PLAT MUST BE PROVIDED TO PLANNING IN ADDITION TO AGIS DXF FILE.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

13. **Project# 1006964**
08DRB-70372 SKETCH PLAT REVIEW
AND COMMENT

JACKS HIGH COUNTRY INC agent(s) for SANTOSH MODY request(s) the above action(s) for all or a portion of zoned C-2, located on CENTRAL AVE SE BETWEEN SAN MATEO SE AND MADERIA SE containing approximately 3.6719 acre(s). (K-18) **THE ABOVE ITEM WAS REVIEWED AND COMMENTS WERE GIVEN.**

14. **Project# 1007231**
08DRB-70371 SKETCH PLAT REVIEW
AND COMMENT

K/G ARCHITECTS agent(s) for K/G ARCHITECTS request(s) the above action(s) for all or a portion of Lot(s) B & 12, Block(s) 11, zoned SU-2 IP, located on CENTRAL AVE W BETWEEN 94TH ST SW AND 90TH ST SW (K-9) **THE ABOVE ITEM WAS REVIEWED AND COMMENTS WERE GIVEN.**

15. **Project# 1007437**
08DRB-70369 SKETCH PLAT REVIEW
AND COMMENT

WAYJOHN SURVEYING INC agent(s) for GALLOWAY request(s) the above action(s) for all or a portion of Block(s) 2, Tract(s) A-1, **MESA PARK ADDITION** zoned C-1, located on ARIZONA SE BETWEEN ZUNI RD SE AND BELL AVE SE containing approximately .5792 acre(s). (L-18) **THE ABOVE ITEM WAS REVIEWED AND COMMENTS WERE GIVEN.**

16. Other Matters: None

ADJOURNED: 10:00

8. **Project# 1007139**
08DRB-70299 VACATION OF PUBLIC
EASEMENT
08DRB-70304 SIDEWALK WAIVER
08DRB-70305 MINOR - TEMP DEFR
SWDK CONST
08DRB-70306 MAJOR - PRELIMINARY
PLAT APPROVAL
08DRB-70307 MAJOR - SDP FOR
SUBDIVISION

MARK GOODWIN AND ASSOCIATES PA agent(s) for JUAN TABO HILLS LLC request(s) the above action(s) for all or a portion of Tract(s) 3-A & 4-A, **JUAN TABO HILLS Unit(s) 1**, zoned RD, SU-1, located on JUAN TABO BLVD SE BETWEEN GULFSTREAM DR SE AND TIJERAS ARROYO containing approximately 14.3953 acre(s). (M-22) [Deferred from 7/30/08] **DEFERRED TO 9/17/08 AT THE AGENT'S REQUEST.**

9. **Project# 1007140**
08DRB-70297 VACATION OF PUBLIC
EASEMENT
08DRB-70300 SIDEWALK WAIVER
08DRB-70301 MINOR - TEMP DEFR
SWDK CONST
08DRB-70302 MAJOR - SDP FOR
SUBDIVISION
08DRB-70303 MAJOR - PRELIMINARY
PLAT APPROVAL

MARK GOODWIN AND ASSOCIATES PA agent(s) for JUAN TABO HILLS, LLC request(s) the above action(s) for all or a portion of Tract(s) 2-A, A-C, **JUAN TABO HILLS, UNIT 1** zoned AD, SU-1, located on JUAN TABO BLVD BETWEEN VIA POSADA RD AND JULFSTREAM DR containing approximately 41.0242 acre(s). (M-22) [Deferred from 7/30/08] **DEFERRED TO 9/17/08 AT THE AGENT'S REQUEST.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

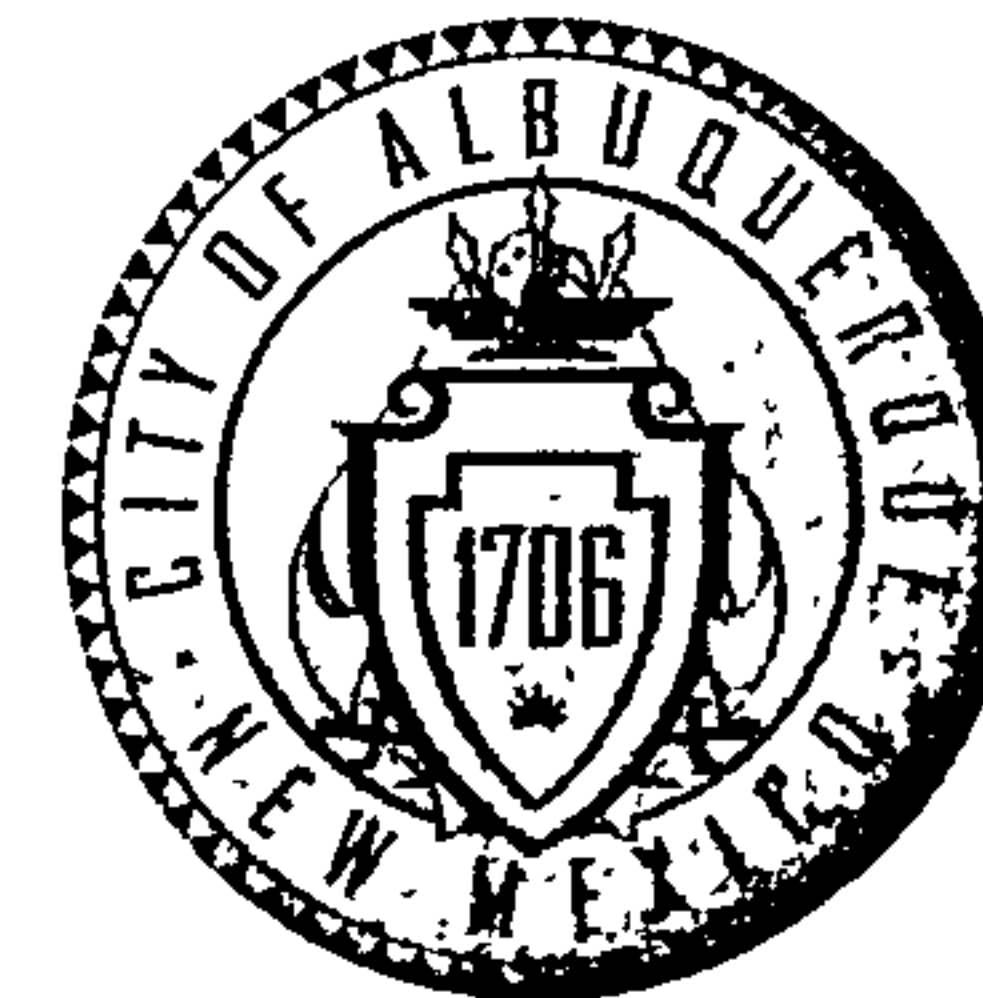
10. **Project# 1007440**
08DRB-70373 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

ROBERT LUPTON agent(s) for REX P WILSON request(s) the above action(s) for all or a portion of Lot(s) 14A & 15a, Block(s) 34, **PARKLAND HILLS ADDITION**, zoned R-1, located on RIDGECREST DR SE AND LAUREL CIR SE containing approximately .4807 acre(s). (L-17) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION FOR SITE SKETCH TO VERIFY LOCATION OF PAVEMENT, SIDEWALK AND CURB AND GUTTER AND INDICATION OF DISTANCE OF FACE OF CURB TO PROPERTY LINE, AND TO PLANNING FOR A SITE SKETCH INDICATING WHERE THE EXISTING BUILDINGS ARE LOCATED AND VERIFICATION OF SETBACKS, AND AGIS DXF FILE.**

11. **Project# 1007441**
08DRB-70374 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

ROBERT LUPTON agent(s) for REX P WILSON request(s) the above action(s) for all or a portion of Lot(s) 5A, 10A & 11A, Block(s) 61, **PARKLAND HILLS ADDITION** zoned R-1, located on INSPIRATION DR SE BETWEEN TRUMBULL SE AND ADAMS ST SE containing approximately .5129 acre(s). (L-17) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION FOR EXHIBIT INDICATING LOCATION OF PAVEMENT, SIDEWALK AND CURB AND GUTTER AND DISTANCE OF FACE OF CURB TO PROPERTY LINE AND TO PLANNING FOR A SITE SKETCH VERIFYING SETBACKS, AND FOR AGIS DXF FILE.**

CITY OF ALBUQUERQUE



CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1007442

AGENDA ITEM NO: 12

SUBJECT:

Final Plat
Preliminary Plat

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

PO Box 1293

ENGINEERING COMMENTS:

Albuquerque

No adverse comments.

NM 87103

RESOLUTION:

www.cabq.gov

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee
924-3986

DATE: September 3, 2008



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- Administrative Approval (DRT, URT, etc.)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
 - Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Hugh Floyd PHONE: (505)366-4187
 ADDRESS: 918 Pinehurst Rd SE, Suite 101 FAX: _____
 CITY: Rio Rancho STATE NM ZIP 87124 E-MAIL: Hugh@developnm.com
 APPLICANT: Purvis Industries PHONE: (214) 358-5500
 ADDRESS: 20500 North Stemmons Frwy FAX: _____
 CITY: Dallas STATE TX ZIP 75220 E-MAIL: _____
 Proprietary interest in site: _____ List all owners: Bob Purvis

DESCRIPTION OF REQUEST: Infrastructure List Revision

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tracts 6-B-1-A, 7-B-1-A, and 8-B-1 Block: _____ Unit: _____
 Subdiv/Addn/TBKA: Midway Business Park
 Existing Zoning: IP Proposed zoning: N/A MRGCD Map No _____
 Zone Atlas page(s): E17/F17 UPC Code: ABQ48131

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.): 1007442, 14 DRB-70427, 15 DRB-70337

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No
 No. of existing lots: 1 No. of proposed lots: 1 Total site area (acres): 3.164
 LOCATION OF PROPERTY BY STREETS: On or Near: NE corner of Singer Blvd and Midway Park Blvd.
 Between: _____ and _____
 Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: 7/30/2015

SIGNATURE

Hugh Floyd
 (Print Name) Hugh Floyd

DATE 2/02/16
 Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 11/2014

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> All checklists are complete	<u>16 DRB - 70048</u>	<u>APP</u>	_____	<u>\$ 50.00</u>
<input type="checkbox"/> All fees have been collected	_____	<u>CME</u>	_____	<u>\$ 20.00</u>
<input type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	Total
<input type="checkbox"/> F.H.D.P. fee rebate	Hearing date <u>Feb. 10, 2016</u>	_____	_____	<u>\$ 70.00</u>

[Signature]
 Staff signature & Date 2-2-16

Project # 1007442

FORM S(3): SUBDIVISION - D.B. MEETING (UNADVERTISED) INTERNAL ROUTING
 DRB Project # 1007442 Located at the northeast corner of Singer Boulevard and Midway Boulevard.
 A **Bulk Land Variance** requires application on FORM-V in addition to application for subdivision on FORM-S.

SKETCH PLAT REVIEW AND COMMENT (DRB22) **Your attendance is required.**

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08) **Your attendance is required.**

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Copy of DRB approved infrastructure list
- Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
- List any original and/or related file numbers on the cover application

Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12) **Your attendance is required.**

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations & cross sections of perimeter walls **3 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- List any original and/or related file numbers on the cover application
- DXF file and hard copy of final plat data for AGIS is required.

MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16) **Your attendance is required.**

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings ensure property owner's and City Surveyor's signatures are on the plat prior to submittal
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations and cross sections of perimeter walls (11" by 17" maximum) **3 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- Fee (see schedule)
- List any original and/or related file numbers on the cover application
- Infrastructure list if required (**verify with DRB Engineer**)
- DXF file and hard copy of final plat data for AGIS is required.

AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03) **Your attendance is required.**

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- List any original and/or related file numbers on the cover application

Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Hugh Floyd

Hugh Floyd Applicant name (print)
[Signature] 2/02/16
 Applicant signature / date

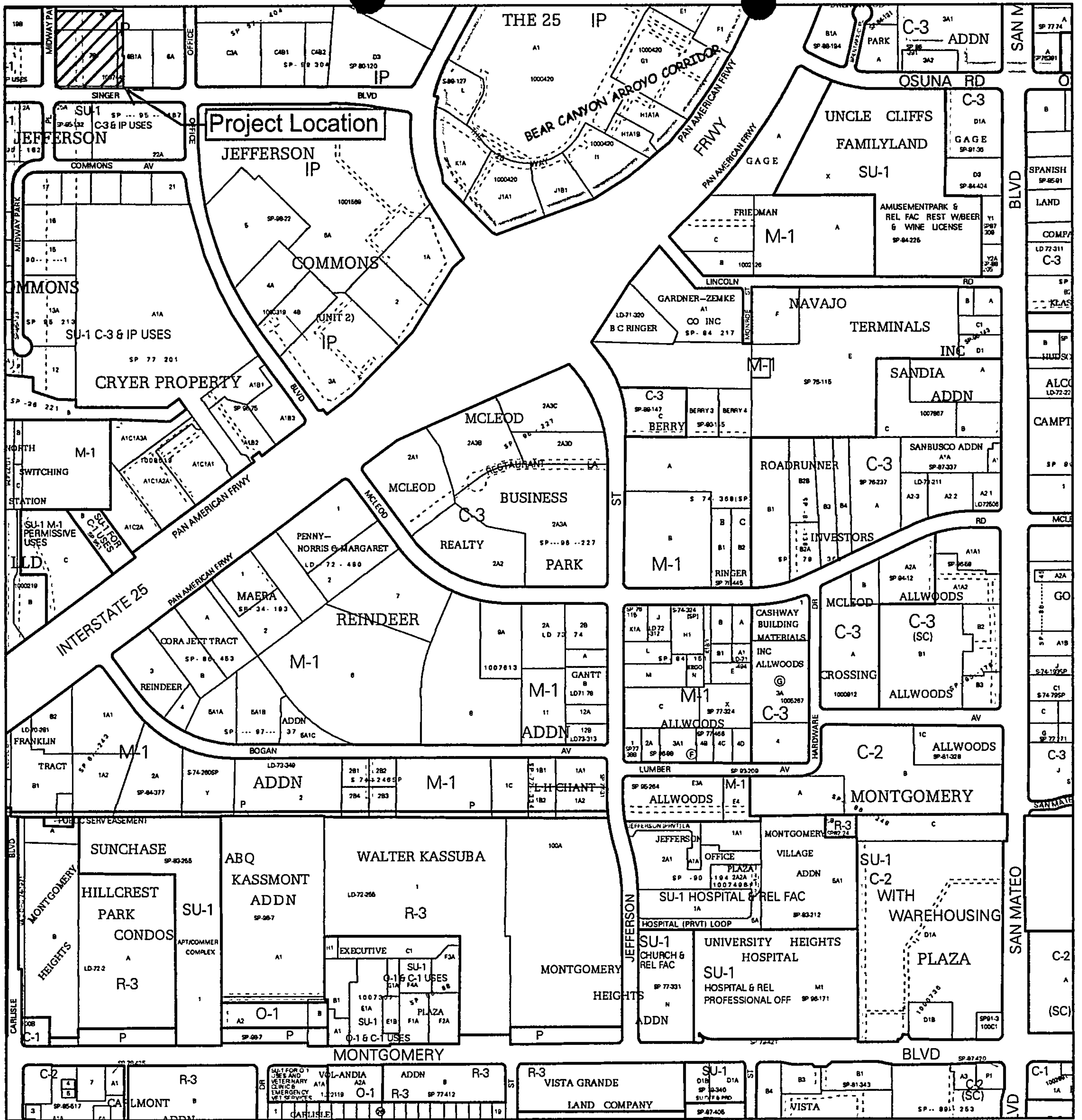


Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
16 - DRB - 70048

[Signature] 2-2-16
 Planner signature / date
 Project # 1007442



For more current information and details visit: <http://www.cabq.gov/gis>

Map amended through: 9/2/2014

Zone Atlas Page:
F-17-Z

Selected Symbols

	SECTOR PLANS		Escarpment
	Design Overlay Zones		2 Mile Airport Zone
	City Historic Zones		Airport Noise Contours
	H-1 Buffer Zone		Wall Overlay Zone
	Petroglyph Mon.		

Note: Grey Shading Represents Area Outside of the City Limits

0 750 1,500 Feet

Floyd Development Services, LLC

918 Pinehurst Road SE, Suite 102
Rio Rancho, NM 87114

Phone (505) 366-4187

February 2, 2016

City of Albuquerque
Development Review Board
Plaza del Sol
600 Second Street NW
Albuquerque, NM 87102

Re: DRB Project # 1007442
Infrastructure List Revision

Floyd Development Services, agent for Purvis Industries, is requesting a change to the Infrastructure List for Lots 6-B-1-A-1, 7-B-1-A, and 8-B-1 of Midway Business Park Subdivision.

We are requesting that the infrastructure list be revised to reflect the fact that the building is now under construction and a certificate of occupancy will not be issued without the completion of the Midway sidewalk.

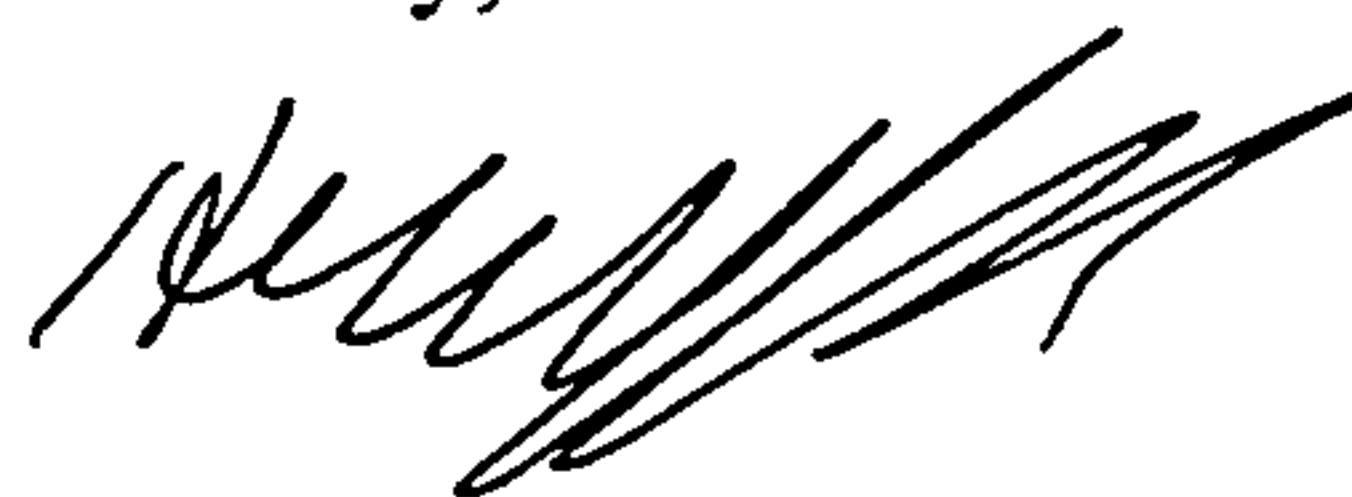
Included with this submittal:

- Development Plan Review Application
- Zone Atlas map with the entire property clearly outlined
- Infrastructure List (Original List and Proposed Revised List)

Related filings:

- Preliminary Plat Prj No. 1007422, DRB Hearing June 10, 2015

Sincerely,



Hugh W. Floyd, PE
Project Engineer

PROJECT #
1007442

February 10, 2016

AFF

Cloud, Jack W.

From: Jen <jenmeisner@msn.com>
Sent: Thursday, October 01, 2015 2:19 PM
To: Cloud, Jack W.
Subject: Property on the corner of Singer Blvd and Midway Park NE

Dear Jack,

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Thank you for your consideration.

Sincerely,

Jen Meisner

Cloud, Jack W.

From: Christi Zimmerman <Christi.Zimmerman@cort.com>
Sent: Friday, October 02, 2015 4:51 PM
To: Cloud, Jack W.
Subject: File # 1007442/15DRB-70337

Good Afternoon Jack,

I understand that you are going to be holding a hearing next week regarding this case. I will be out of town on a business trip or I would attend the hearing in person.

My son attends Sage Montessori Charter School and I feel very strongly about this case.

First of all Purvis Industries Ltd decided to remove the majority of our children's playground from the lease to the school. This is extremely upsetting as a parent, the children need a large playground to run and play as physical activities are such a huge part of their growth and development and overall health needs. They have decided to leave us with a mere 58.5 feet off of the building for all of the children to play which is completely inadequate.

Secondly part of the property that they removed from the lease is where we dropped off and picked up our children in a safe and controlled environment. We now have to park all over the neighborhood and walk our children in across busy streets, Singer in particular. This is a very busy street and it is in a very industrial part of town with a large volume of Commercial Vehicles especially during pick up and drop off hours. This is very unsettling trying to get our children to and from school across this busy streets with large commercial vehicles.

I am extremely concerned with the possibility of new construction on this lot as it will only increase the danger to our children. There will be even more traffic, possible disruption in the traffic flow and construction equipment in a very close proximity to our children. Not to mention all of the workers that will be on site, and working mere feet from the play ground of the school. I feel that this would just leave our children in a more vulnerable position.

I am also worried about the construction disrupting our children in the classroom. This is an amazing school and that is why we chose to send our children here. With construction vehicles and equipment running just feet from the school it will be extremely noisy and disruptive to the children who are trying to focus and get their work done. As well so for the School staff who are trying to focus and teach our children and keep them safe. I hope that you will take all of these facts into consideration before you decide to let them build 60 from our school.

I appreciate your time, have a wonderful weekend.



Christi Zimmerman

Account Representative

CORT, A Berkshire Hathaway Company

5901 Pan American Fwy NE Albuquerque, NM 87109

T 505-345-3411 | E Christi.Zimmerman@cort.com | cort.com

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Cloud, Jack W.

From: Terra Whitehead <jokingviolin@gmail.com>
Sent: Friday, October 09, 2015 10:08 AM
To: Cloud, Jack W.
Subject: Concerns regarding file # 1007442/15DRB-70337

To Jack Cloud and the Development Review Board,

Regarding file # 1007442/15DRB-70337

I am a parent of a first grader at Sage Montessori Charter School. I would like to make my concerns known to the board regarding the request to build by Purvis Industries.

The site Purvis has requested to build on is in extremely close proximity to the school. I am concerned that having an active construction site so near the school may cause a dangerous and extremely distracting environment for the students.

The lot that Purvis is requesting to build on was, for the first month and a half of the school year, the students' playground as well as the student drop off and pick up site. Parents are now having to park on a side street and walk their students to the west doors. This means students, parents, younger siblings and staff will be walking right next to the construction site during drop off and pick up times. Again, I am concerned this is a danger to all involved.

I feel it would be in the best interest of the students and staff to postpone construction until the summer vacation time period.

Thank you for your time,
Terra Whitehead

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From: Peter Saturn <cruzsatur1@yahoo.com>
Sent: Sunday, October 11, 2015 10:18 PM
To: Cloud, Jack W.
Subject: file # 1007442/15DRB-70337 Sage Montessori Charter School

Dear Mr. Cloud:

We are writing to express our concern regarding the development proposed for the site adjacent to the Sage Montessori Charter School on Singer Boulevard N.E., where our grandchildren attend school.

We believe that the proposed construction will have a detrimental effect on the students and staff of the school. The students will be deprived of much-needed playground space. Also, the noise and dust levels that will be produced as a result of the construction will make it extremely difficult for the students to focus on their teachers and their studies.

Families who send their students to this charter school are very invested in providing their children with a first-class educational experience, and this construction will undoubtedly have a negative impact on the student's ability to learn.

We sincerely hope that you take these concerns into account as you consider the merits of this project, and that you will deny the building permit.

Thank you,

Eileen and Peter Saturn
5115 Golondrina NW
Albuquerque, N.M. 87120

Cloud, Jack W.

From: Laura Togami <LTogami@qualitysleepsolutions.com>
Sent: Monday, October 12, 2015 1:20 PM
To: Cloud, Jack W.
Cc: 'Director@sagecharterschoolabq.org'
Subject: File# 1007442/15DRB-70337 URGENT for 10/14/2015

October 12, 2015

Jack Cloud, Chairman
Planning Department
600 2nd Street NW, Albuquerque, NM

Dear Mr. Cloud,

I am writing today in opposition of file # 1007442/15DRB-70337. To my understanding, the owner of the property, Purvis Industries, Ltd. is requesting a building permit for the property at 3821 Singer Blvd. NE, Albuquerque, NM 87109. This company recently terminated a lease agreement with the adjacent school, Sage Montessori Charter School and plans to build immediately. As a parent of two students as well as a concerned citizen, I feel building on this lot, so close to a school would put students in jeopardy of physical harm, as well as create distraction and excessive noise which will disrupt their learning environment.

If allowed to build, it is my opinion that the new business it will create will have a chilling impact on the effectiveness of the school as well as create foot traffic not conducive to learning. I respectfully request that you vote "no" to building permit request file # 1007442/15DRB-70337.

Sincerely yours,

Laura Togami

Cc: Margaret Cassidy-Baca, Director of Sage Montessori Charter School

Laura Togami, PSGT
VP of Operations
Quality Sleep Solutions, Inc.
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Cloud, Jack W.

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Sent: Tuesday, October 13, 2015 8:40 PM
To: Cloud, Jack W.
Cc: director@sagecharterschoolabq.org; munozraquel22@yahoo.com
Subject: file # 1007442/15DRB-70337

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I was made aware that the school had lost it's lease to the property where the school held it's recess. I do think it should've happened in the first place, but I am concerned that construction will be occurring during the school hours. I would like to have it stopped. Not only for the safety of the children, but for the kids ability to learn.

Studies have been made that interruptions impact a child's ability to learn. I have included a link of one study, but there are many more. <http://www.quietclassrooms.org/library/bronzaft2.htm>

As a business owner and manager, I know how difficult it is when there is noise outside my office, but a teacher doesn't need any unnecessary distractions and this is one that can be avoided.

I propose that the construction should be done during non-school hours. It should start at least an hour after school and should end no later than an hour prior to school starting.

I hope that this email makes it to the hands of the people that make the decisions and that the right decision is made for the safety and well being of the children.

Jerry Segura
268 Gene Ave NW
Albuquerque, NM 87107

Cloud, Jack W.

From: Maribel <m.acosta06@comcast.net>
Sent: Tuesday, October 13, 2015 10:32 AM
To: Cloud, Jack W.
Subject: Montessori Charter School - Development Review Board

Good Morning I want to express in few words my concern of the construction that is going to affect my Grand children education with the noise and dust also the exposure to different people around them and their safe environmental. Please try to do that during vacations on another time.
Thank you for all your support!

M&J Bridal Boutique & M&J Santa Fe Sol Bar and Grill

Maribel Cardona Hernandez

SANTA FE PLACE MALL

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Santa Fe NM 87592

SHIPPING

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Santa Fe N.M. 87507

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www.mjbridalboutique.com

<https://www.facebook.com/pages/MJ-Bridal-Boutique/102680196437436?ref=hl>

<https://twitter.com/mandjbridal>

"Nunca se logró nada grande sin riesgo."

Cloud, Jack W.

From: Raquel Munoz <munozraquel22@yahoo.com>
Sent: Wednesday, October 14, 2015 12:19 AM
To: Cloud, Jack W.
Subject: Ref# 1007442/15DRB-70337

October 14, 2015

Mr. Cloud,

I am writing to you as a concerned parent, but I think I speak for the school when I say we are concerned. Both of my children attend Sage Montessori Charter School and I was notified of the dishearten decision to terminate the schools lease on the west lot and now the possibility of construction starting? I am asking that you take into consideration, while making a decision, the learning environment our children are being forced to endure.

I understand that the landlord has a project he would like to follow through with and canceling it wouldn't be a solution, however, postponing it would be a solution. He would not only have the opportunity to construct in the near future, but the school would have time to relocate and the children would not be affected.

As a parent I know I do everything I can to help my kids succeed in school and I know the teachers and staff are doing there best too, but now I ask you, what will you do to help our children?

I sincerely hope you make a decision that will benefit both parties.

Raquel Munoz

Cloud, Jack W.

From: Jen <jenmeisner@msn.com>
Sent: Thursday, October 01, 2015 2:19 PM
To: Cloud, Jack W.
Subject: Property on the corner of Singer Blvd and Midway Park NE

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I appreciate your time, have a wonderful weekend.



Christi Zimmerman

Account Representative

CORT, A Berkshire Hathaway Company

5901 Pan American Fwy NE Albuquerque, NM 87109

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Sincerely yours,

Laura Togami

Cc: Margaret Cassidy-Baca, Director of Sage Montessori Charter School

Laura Togami, PSGT
VP of Operations
Quality Sleep Solutions, Inc.
1009 Golf Course Rd, Suite 109
Rio Rancho, NM 87124
P: 505.273.2790
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www.QualitySleepSolutions.com

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268 Gene Ave NW
Albuquerque, NM 87107

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Thank you for all your support!

M&J Bridal Boutique & M&J Santa Fe Sol Bar and Grill

Maribel Cardona Hernandez

SANTA FE PLACE MALL

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<https://www.facebook.com/pages/MJ-Bridal-Boutique/102680196437436?ref=hl>

<https://twitter.com/mandjbridal>

"Nunca se logró nada grande sin riesgo."

Cloud, Jack W.

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Sent: Wednesday, October 14, 2015 12:19 AM
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Subject: Ref# 1007442/15DRB-70337

October 14, 2015

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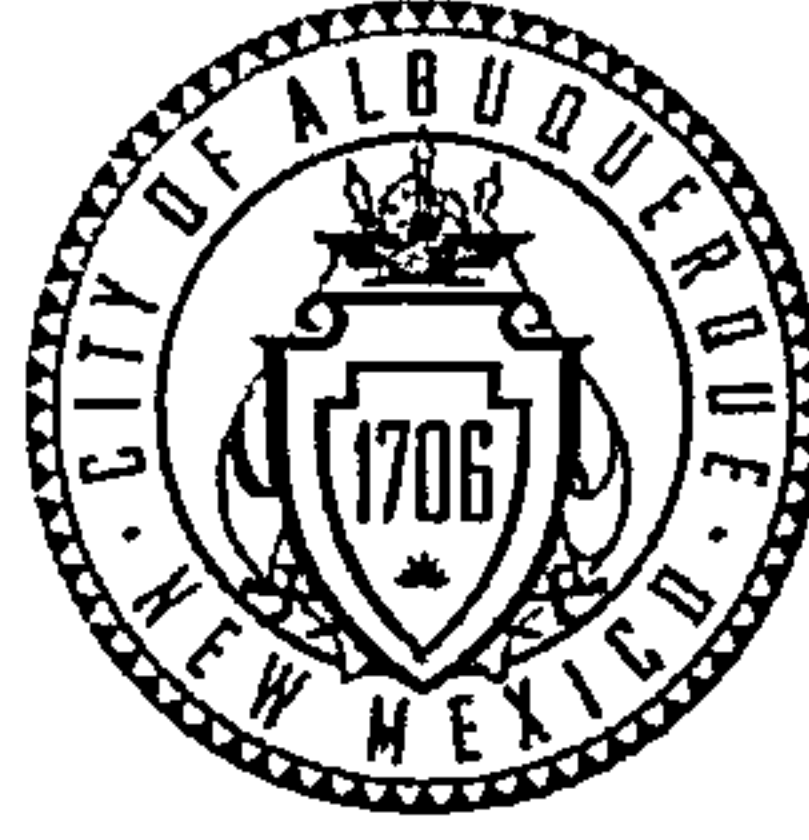
I am writing to you as a concerned parent, but I think I speak for the school when I say we are concerned. Both of my children attend Sage Montessori Charter School and I was notified of the dishearten decision to terminate the schools lease on the west lot and now the possibility of construction starting? I' am asking that you take into consideration, while making a decision, the learning environment our children are being forced to endure.

I understand that the landlord has a project he would like to follow through with and canceling it wouldn't be a solution, however, postponing it would be a solution. He would not only have the opportunity to construct in the near future, but the school would have time to relocate and the children would not be affected.

As a parent I know I do everything I can to help my kids succeed in school and I know the teachers and staff are doing there best too, but now I ask you, what will you do to help our children?

I sincerely hope you make a decision that will benefit both parties.

Raquel Munoz



INTER-OFFICE MEMORANDUM

COMMENTING AGENCIES

TRANSPORTATION DEVELOPMENT*John MacKenzie*
TRANSIT & PARKING DEPARTMENT*Shabih Rizvi*
COUNCIL OF GOVERNMENTS.....*Kendra Watkins/Andrew Gingerich*
AMAFCA.....*Lynn Mazur*
APD CRIME PREVENTION.....*Steve Sink*
OPEN SPACE DIVISION.....*Kent Reed Swanson/Sarah Brown*
FIRE DEPARTMENT.....*Antonio Chinchilla*
ZONING ENFORCEMENT INSPECTOR.....*Vince Montano*
NEIGHBORHOOD COORDINATION.....*Stephani Winklepleck*
PNM.....*Daniel Aragon*
NEW MEXICO GAS COMPANY.....*Patrick Sanchez*
ALBUQUERQUE PUBLIC SCHOOLS.....*April Winters*
COMCAST CABLE.....*Mike Mortus*
Mid.Rio Grande Conserv. Dist. (MRGCD).....*Ray Gomez*
ENVIRONMENTAL HEALTH.....*Paul Olson*

Your comments on the following case(s) are requested.

PROJECT # 1007442

Board hearing date:

WEDNESDAY, October 14, 2015



		Supplemental Form (SF)	
SUBDIVISION	S	Z	ZONING & PLANNING
<input type="checkbox"/> Major subdivision action			<input type="checkbox"/> Annexation
<input type="checkbox"/> Minor subdivision action			
<input type="checkbox"/> Vacation	V		<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
<input type="checkbox"/> Variance (Non-Zoning)			<input type="checkbox"/> Adoption of Rank 2 or 3 Plan or similar
SITE DEVELOPMENT PLAN	P		<input type="checkbox"/> Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
<input type="checkbox"/> for Subdivision			
<input checked="" type="checkbox"/> for Building Permit			
<input type="checkbox"/> Administrative Amendment (AA)			
<input type="checkbox"/> Administrative Approval (DFT, URT, etc.)			
<input type="checkbox"/> IP Master Development Plan	D		<input type="checkbox"/> Street Name Change (Local & Collector)
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	L	A	APPEAL / PROTEST of...
STORM DRAINAGE (Form D)			<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other
<input type="checkbox"/> Storm Drainage Cost Allocation Plan			

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Floyd Development Services, LLC PHONE: (505) 366-4187
 ADDRESS: 918 Pinehurst Road SE, Suite 101 FAX: _____
 CITY: Rio Rancho STATE NM ZIP 87124 E-MAIL: Hugh@developnm.com
 APPLICANT: Purvis Industries PHONE: (214) 358-5500
 ADDRESS: 20500 North Stemmons Frwy FAX: (214) 358-5515
 CITY: Dallas STATE TX ZIP 75220 E-MAIL: _____
 Proprietary interest in site: _____ List all owners: Bob Purvis

DESCRIPTION OF REQUEST: Master drainage plan for site cannot be found

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tracts 6-B-1-A, 7-B-1 & 8-B Block: _____ Unit: _____
 Subdiv/Addr/TBKA: Midway Business Park
 Existing Zoning: IP Proposed zoning: N/A MRGCD Map No N/A
 Zone Atlas page(s): E17 & F17 UPC Code: ABQ48131

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): 1007442

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO
 No. of existing lots: 1 No. of proposed lots: 1 Total site area (acres): 3.164
 LOCATION OF PROPERTY BY STREETS: On or Near: NE Corner of Singer Blvd. & Midway Park Blvd.
 Between: _____ and _____
 Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team (PRT) Review Date: 7/30/2015

SIGNATURE [Signature] DATE 9/14/2015
 (Print Name) Hugh Floyd Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 11/2014

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> All checklists are complete	<u>15DRB-70337</u>	<u>SBP</u>	_____	<u>\$385.00</u>
<input type="checkbox"/> All fees have been collected	_____	<u>CMF</u>	_____	<u>\$20.00</u>
<input type="checkbox"/> All case #'s are assigned	_____	<u>ADV</u>	_____	<u>\$75.00</u>
<input type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input type="checkbox"/> Case history #'s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
	Hearing date <u>Oct. 14, 2015</u>			Total <u>\$480.00</u>
	<u>9-18-15</u>	Project # <u>1007442</u>		
	Staff signature & Date			


FORM P(2): SITE PLAN REVIEW - D.R.B. PUBLIC HEARING

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB15)** **Maximum Size: 24" x 36"**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Subdivision Checklist
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- DRB hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.
Your attendance is required.

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB14)** **Maximum Size: 24" x 36"**
- NA 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - NA Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) **24 copies** for DRB public hearings
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - NA Copy of the document delegating approval authority to the DRB
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist
 - NA 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- D. R. B. hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.
Your attendance is required.

- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION or BUILDING PERMIT (DRB10)** **Maximum Size: 24" x 36"**
- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) **24 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- D. R. B. hearings are approximately 30DAYS after the filing deadline. **Bring the original** to the meeting.
Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Hugh Floyd, Floyd Development Services, LLC
 Applicant name (print)

 Applicant signature / date
 9/16/15



Form revised October 2007

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
 15 - DRB - 70337


 Planner signature / date
 9-18-15
 Project # 1007442

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from Sept. 29, 2015 to Oct. 14, 2015

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

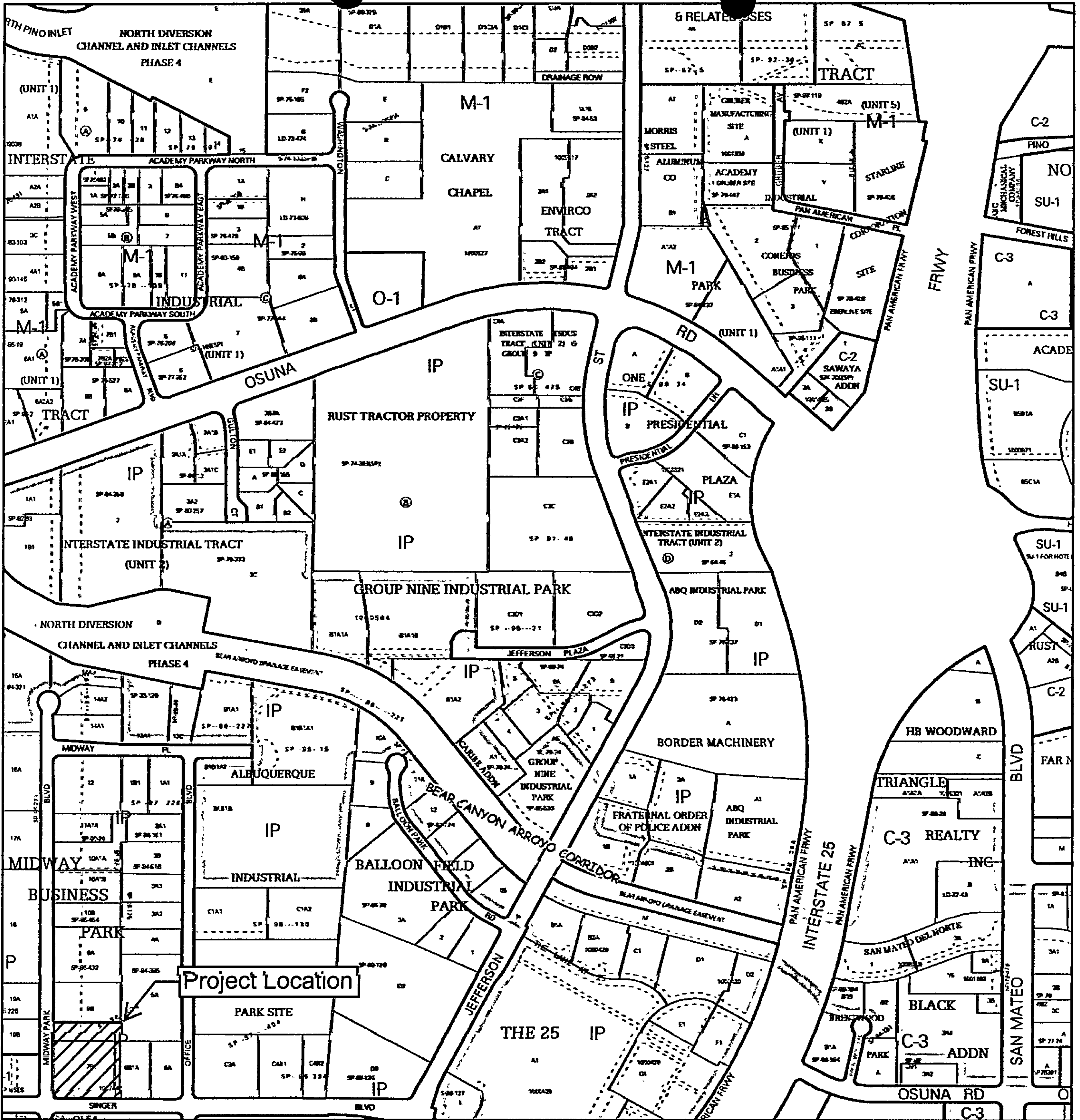
I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

[Signature]
(Applicant or Agent)

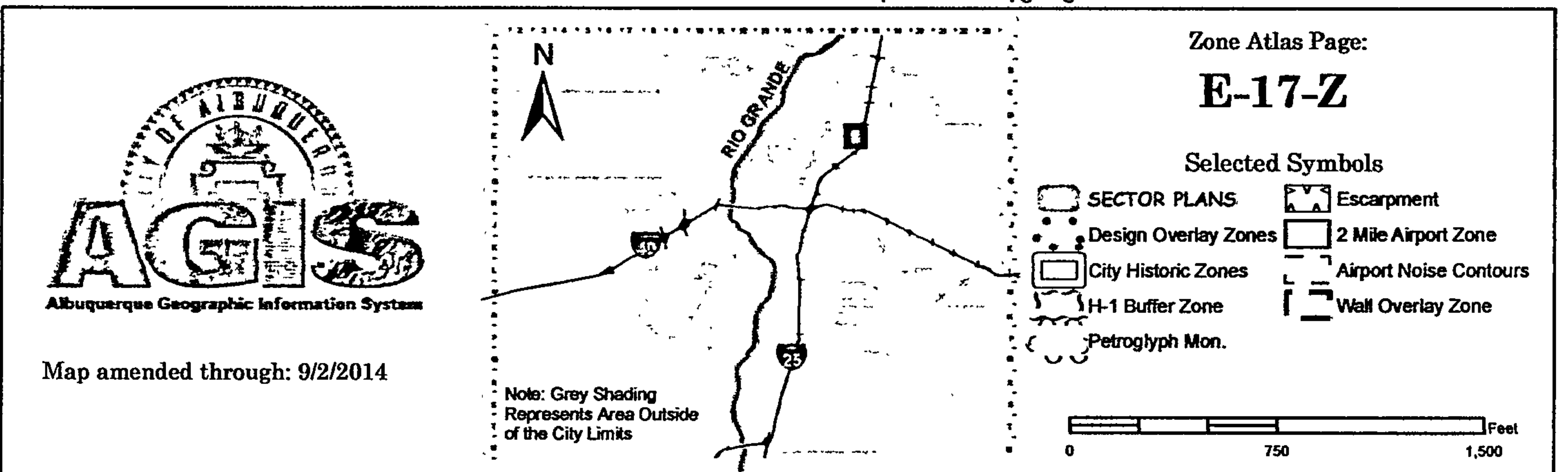
9/18/15
(Date)

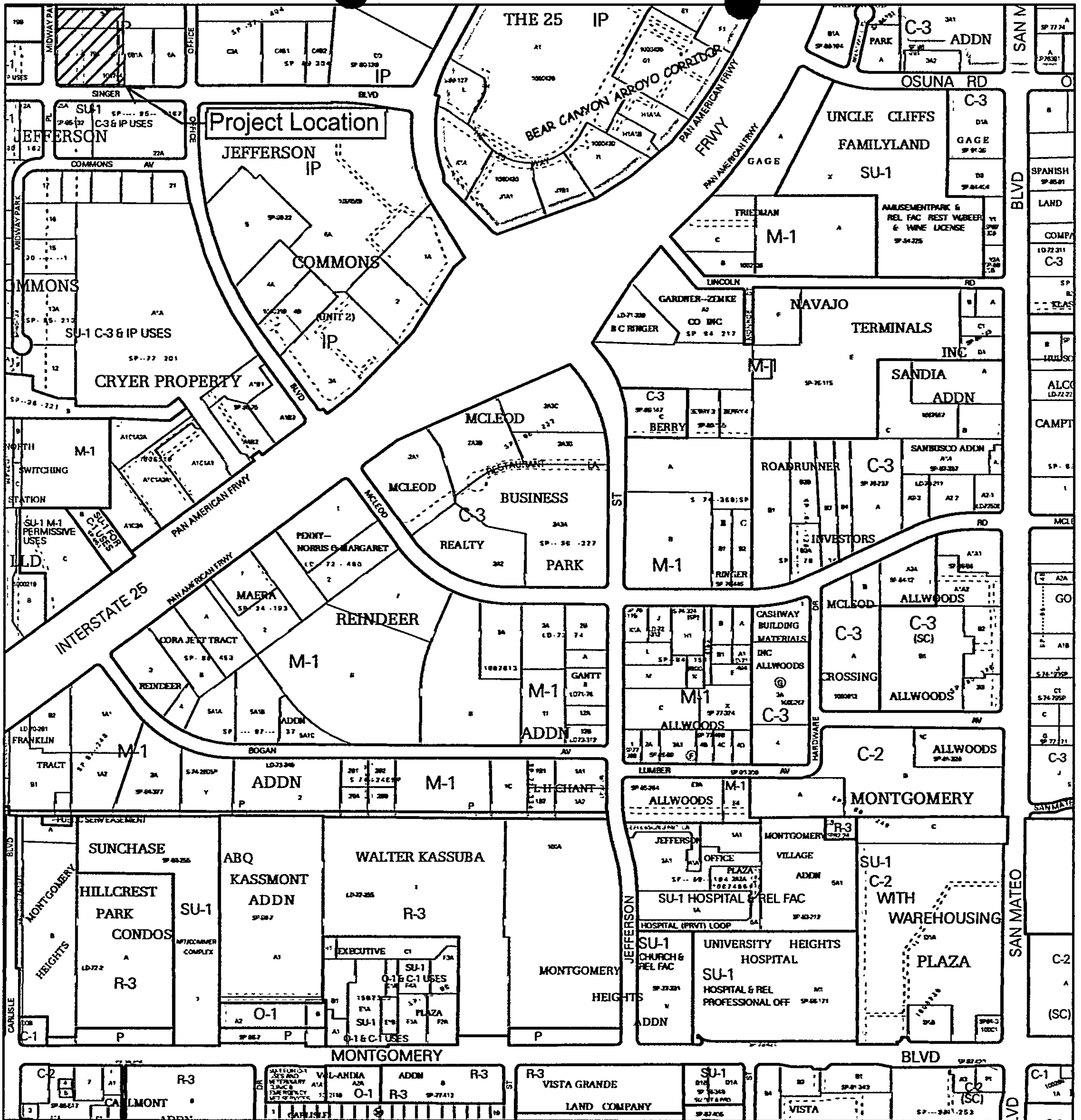
I issued 1 signs for this application, 9-18-15 [Signature]
(Date) (Staff Member)

PROJECT NUMBER: 1007442

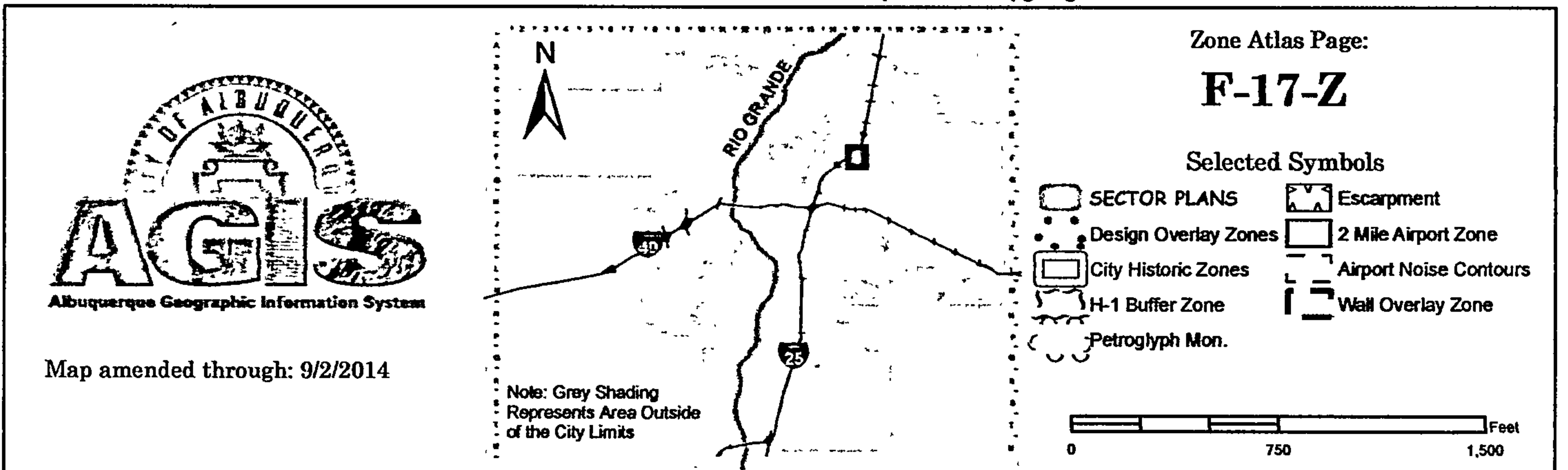


For more current information and details visit: <http://www.cabq.gov/gis>





For more current information and details visit: <http://www.cabq.gov/gis>



Floyd Development Services, LLC

918 Pinehurst Road SE, Suite 101
Rio Rancho, NM 87124

Phone (505) 366-4187

September 15, 2015

City of Albuquerque
Development Review Board
Plaza del Sol
600 Second Street NW
Albuquerque, NM 87102

Re: Office/Warehouse for Purvis Industries, Tract 7-B-1-A

Floyd Development Services LLC, agent for Purvis Industries, is requesting a Site Plan for Building Permit hearing to review the site plan layout for Tract 7-B-1-A (formerly Tract 7-B-1 and portions of Tracts 6-b-1-A and 8-B, plat in progress) of Midway Business Park. Enclosed please find the required submittal documents for a Site Plan for Building Permit for Tract 7-B-1-A, which is required due to the IP zoning of the property. This tract will be developed as an office/warehouse for Purvis Industries.

The same site is in for review with a Building Permit Submittal. The previously submitted platting action has been approved for Preliminary Plat and includes an Infrastructure List containing sidewalk on Singer and Midway Boulevards. It is our intent to build this sidewalk with the Building Permit plan set and then apply for Final Plat on that action.

Related Filings:

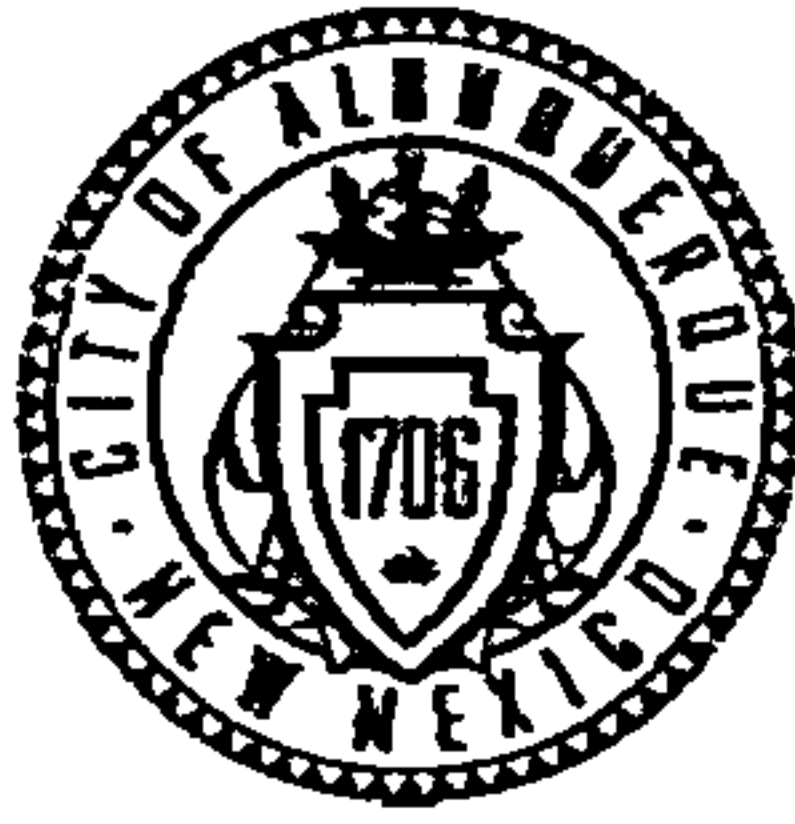
- Lot Line Adjustments DRB#1007442. 01-09-15

Sincerely,



Hugh W. Floyd, PE
Project Engineer

Enclosures



City of Albuquerque
P.O. Box 1293, Albuquerque, NM 87103

PLEASE NOTE: The NA/HOA information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office.

September 16, 2015

Planning Department
Plaza Del Sol Building
600 Second St. NW
Second Floor (924-3860)

This letter will serve to notify you that on **September 16, 2015:**

Contact Name: HUGH FLOYD OR JEREMY SHELL

Company or Agency: FLOYD DEVELOPMENT SERVICES, LLC
918 PINEHURST ROAD SE, SUITE 101
RIO RANCHO, NM 87124
PHONE: 505-366-4187

contacted the Office of Neighborhood Coordination requesting the names of **ALL Neighborhood and/or Homeowner Associations** who would be affected under the provisions of §14-8-2-7 of the *Neighborhood Association Recognition Ordinance* by your proposed project at **(DRB SUBMITTAL) – TRACT 7-B-1-A (FORMERLY TRACT 7-B-1 AND A PORTION OF TRACTS 6-B-1-A AND 8-B), MIDWAY BUSINESS PARK (REPLAT IN PROGRESS) LOCATED ON THE NORTHEAST CORNER OF SINGER BOULEVARD NE AND MIDWAY PARK BOULEVARD NE zone map E-F-17).**

Our records indicate that as of September 16, 2015, there were no Neighborhood and/or Homeowner Associations in this area.

If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Stephani Winklepleck

Neighborhood Liaison

OFFICE OF NEIGHBORHOOD COORDINATION

PLANNING DEPARTMENT

!!!Notice to Applicants!!!

SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected recognized neighborhood associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT**. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
 - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
 - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.").
 - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
 - d) The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

Information from the Office of Neighborhood Coordination

The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- [] ONC's "Official" Letter to the applicant (*if there are associations*). A copy must be submitted with application packet -OR-
- [X] **The ONC "Official" Letter (*if there are no associations*). A copy must be submitted with application packet.**
- [] Copies of Letters to Neighborhood and/or Homeowners Associations (*if there are associations*). A copy must be submitted with application packet.
- [] Copies of the certified receipts to Neighborhood and/or Homeowners Associations (*if there are associations*). A copy must be submitted with application packet.

Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.

Any questions, please feel free to contact Stephani at 924-3902 or via an e-mail message at swinklepleck@cabq.gov.

Thank you for your cooperation on this matter.

(below this line for ONC use only)

Date of Inquiry: **09/16/15** Time Entered: **12:00 p.m.** ONC Rep. Initials: **siw**

PSRBB

MM

INDUSTRIAL GROUP, INC.

Project Summary:

This project will provide a 42,510 SF Office Warehouse facility for Purvis Industries. The 4,965 SF administrative office/sales areas provides support to the 37,545 SF warehouse area to house the various products sold and distributed by Purvis industries. The building will provide a harmonious blend to the industrial area with its warm earth tones and the concrete exterior will provide a low maintenance, long lasting structure that will provide the owner with many years of service.

74

1845 NORTHWESTERN DRIVE
SUITE A
EL PASO, TEXAS 79912
(915) 877-2020 FAX (915) 877-2998



LEGAL DESCRIPTION
 TRACT 7-B-1-A MIDWAY BUSINESS PARK
 CITY OF ALBUQUERQUE
 BERNILLO COUNTY, NEW MEXICO

PARKING CALCULATIONS	
AUTO PARKING	
REQUIRED (1/3000 S.F. = 19 SPACES)	44 SPACES
PROVIDED (1/200 S.F. = 26 SPACES)	58 SPACES
ACCESSIBLE PARKING	
REQUIRED (2 SPACES REQUIRED FOR 26 TO 50 TOTAL REQUIRED AUTO PARKING)	3 SPACES
PROVIDED	3 SPACES
MOTORCYCLE PARKING	
REQUIRED (2 SPACES REQUIRED FOR 26 TO 50 TOTAL REQUIRED AUTO PARKING)	2 SPACES
PROVIDED	2 SPACES
BIKE RACKS	
REQUIRED (1 SPACE REQUIRED FOR EACH 20 REQUIRED AUTO PARKING)	2 SPACES
PROVIDED	4 BIKE RACK

PROJECT NUMBER: _____

APPLICATION NUMBER: _____

This plan is compliant with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) dated June 17, 2008 and the Rules and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () YES (X) NO If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

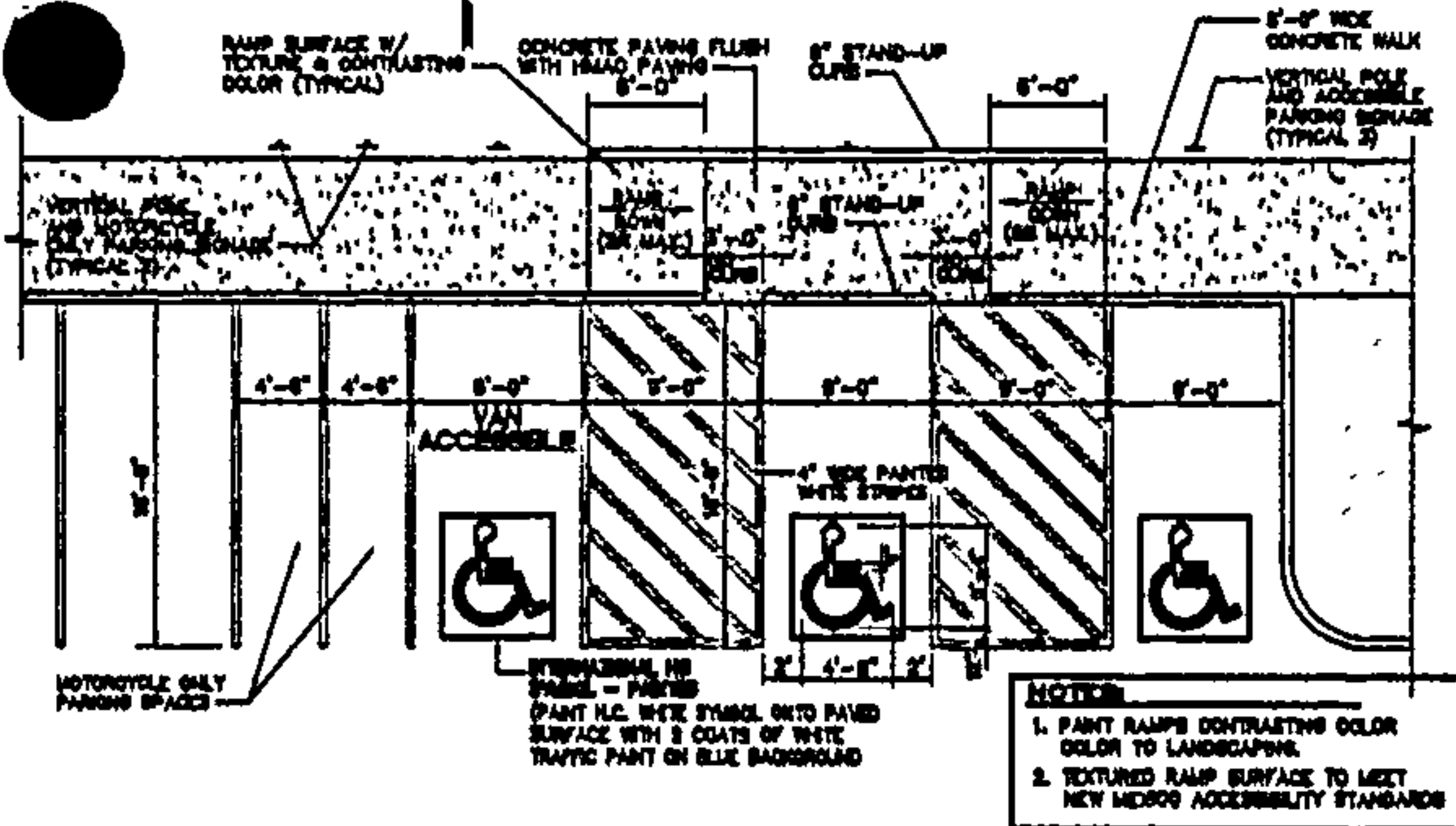
DRG SITE DEVELOPMENT PLAN CHECK APPROVAL

Traffic Engineering, Transportation Division	Date
Water Utility Department	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRG Chairperson, Planning Department	Date

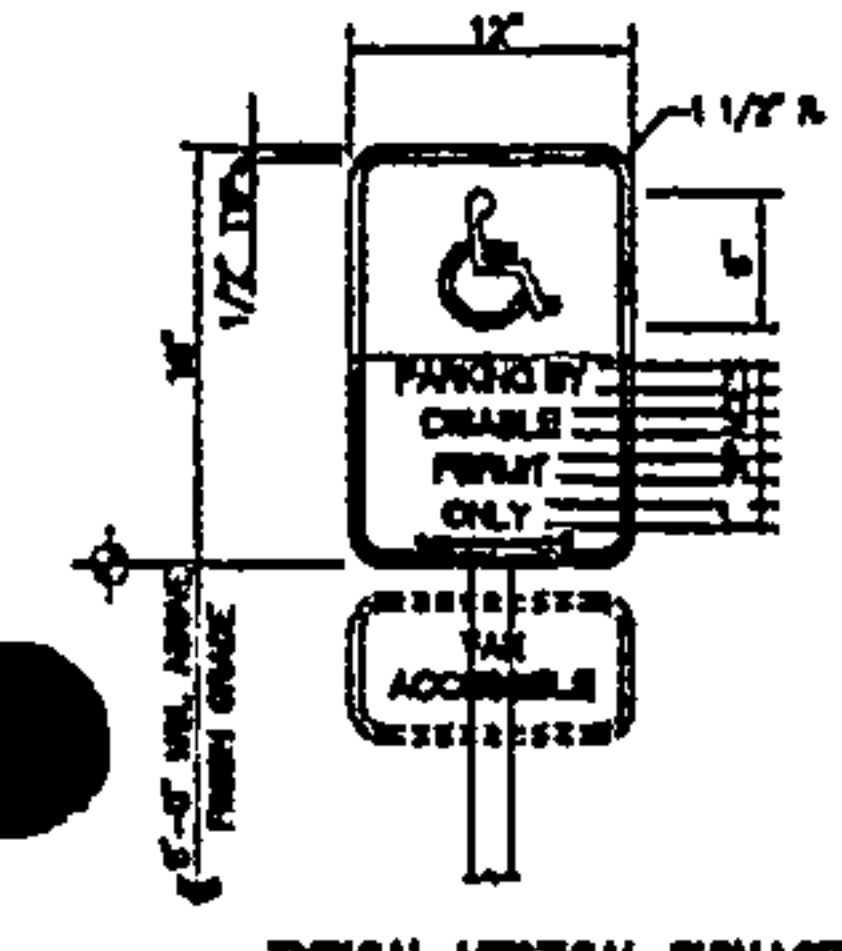
* Environmental Health, if necessary

PROJECT RECAP

BUILDING AREA	
WAREHOUSE AREA	37,546 S.F.
OFFICE AREA	4,963 S.F.
TOTAL BUILDING AREA	42,510 S.F.
LAND AREA	
	137,825 S.F. ±
	3.18 ACRES ±
CONSTRUCTION TYPE: I-B	
BUILDING HEIGHT: 34'-0" TALL	

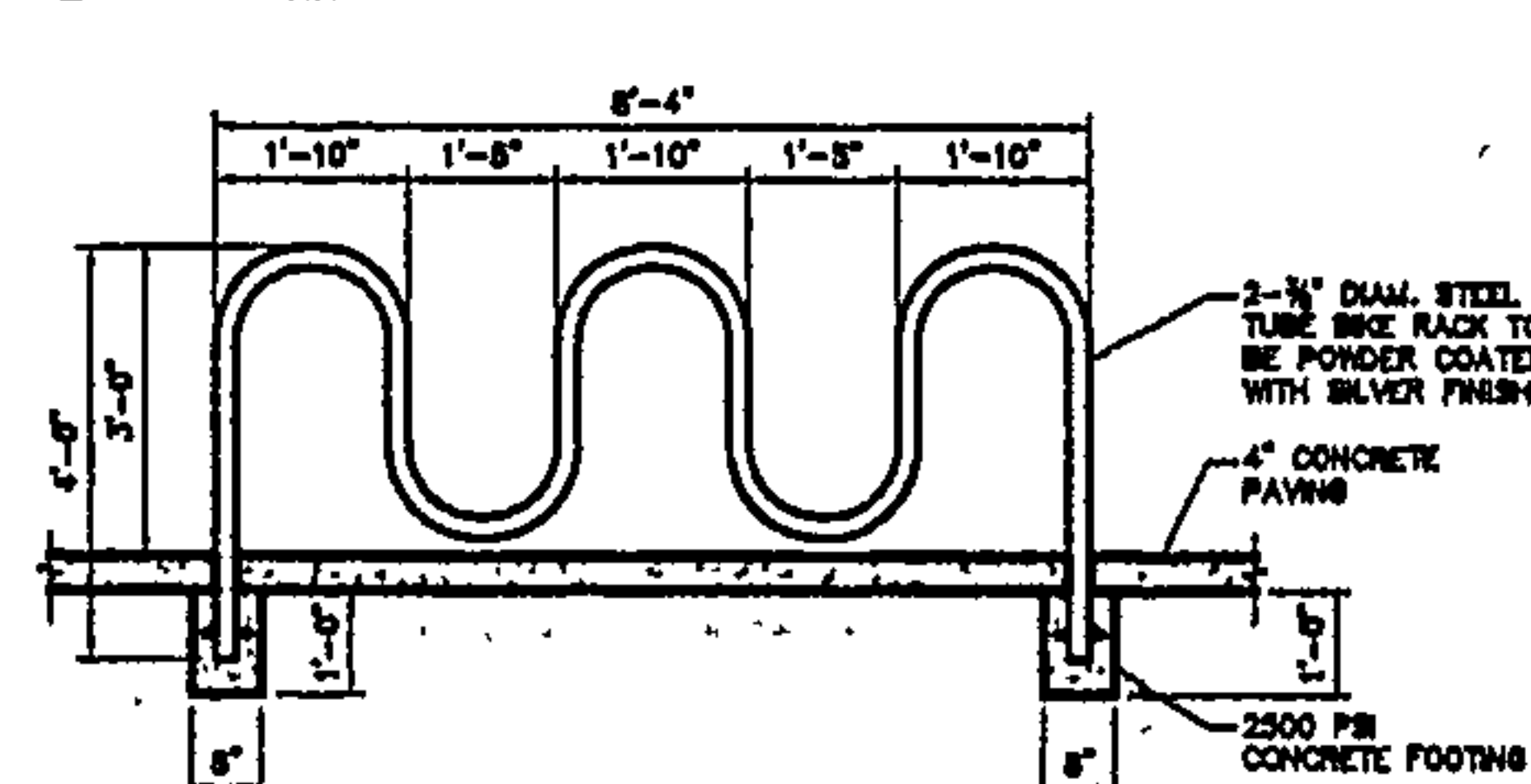


2 ENLARGED ACCESSIBLE PARKING PLAN
 SCALE: 1/8" = 1'-0"



- SIGN NOTES**
- ALL LETTERS ARE 1.5 SERIES "C".
 - TOP HALF OF SIGN SHALL HAVE A REFLECTORIZED BLUE BACKGROUND WITH WHITE REFLECTORIZED LEGEND AND BORDER.
 - BOTTOM HALF OF SIGN SHALL HAVE A REFLECTORIZED WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.
 - DIRECTIONAL ARROWS ON SIGN AS APPLICABLE.
 - VERIFY MOUNTING TYPE AND LOCATION WITH ARCHITECT. MOUNT BOTTOM OF SIGN 6'-0" ABOVE FINISH GRADE.
 - ONE IN EVERY EIGHT ACCESSIBLE PARKING SPACES TO BE DESIGNATED "VAN ACCESSIBLE" PARKING. BOTTOM OF "VAN ACCESSIBLE" SIGN SHALL BE 8'-0" ABOVE FINISH GRADE.
- ALL DISABLED PARKING SPACES MUST HAVE PROPER SIGNAGE AND PROPER PAINT MARKINGS PER CITY REQUIREMENTS.

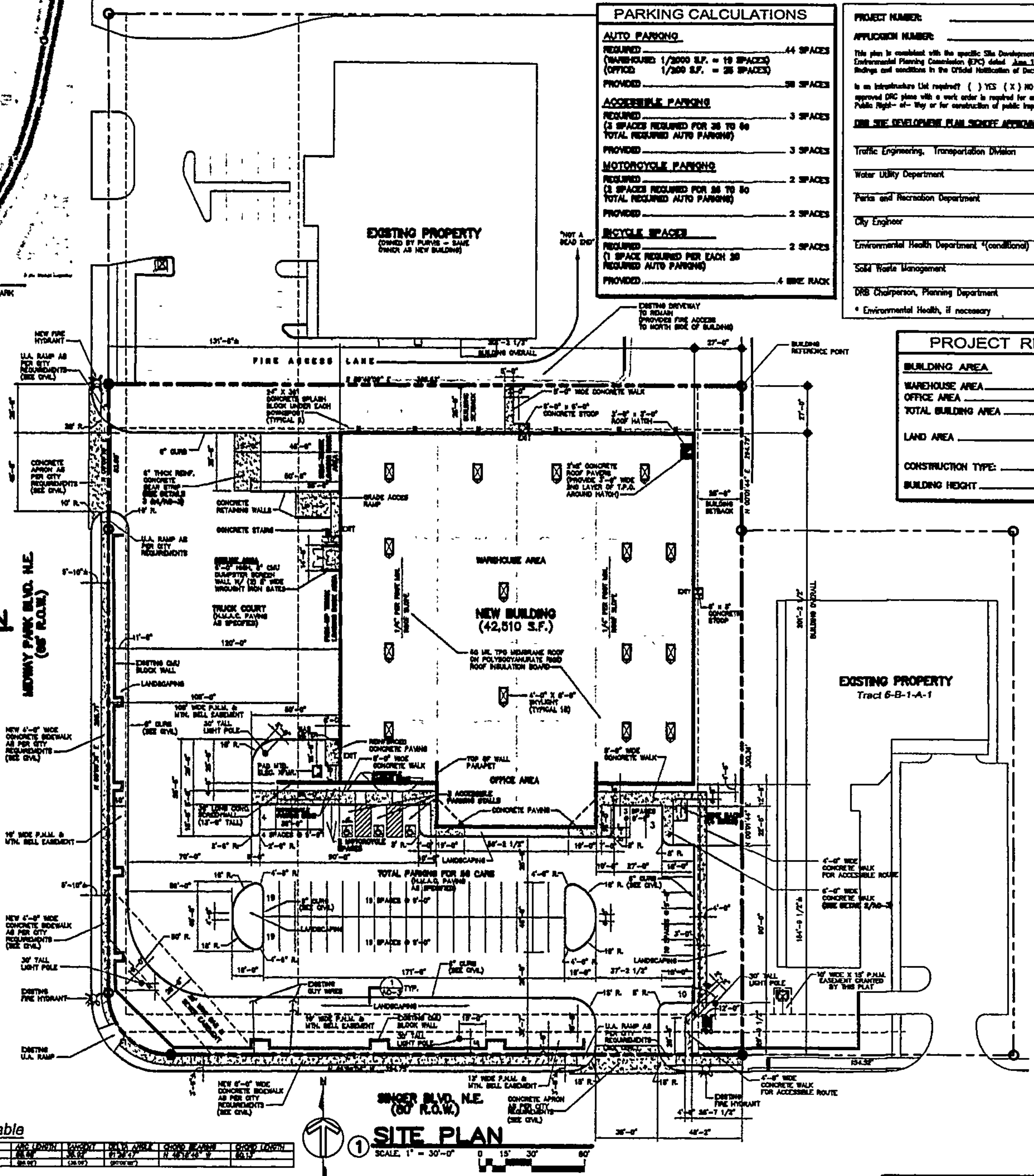
3 ACCESSIBLE PARKING SIGN
 SCALE: N.T.S.



4 BIKE RACK DETAIL
 SCALE: 1/2" = 1'-0" 4 BIKE CAPACITY

Curve Table

GRADE	MIN. CURVE	MAX. CURVE	MIN. CURVE	MIN. CURVE	MIN. CURVE	MIN. CURVE
CL	CL	CL	CL	CL	CL	CL
CL97	90	90	90	90	90	90
CL97	90	90	90	90	90	90



1 SITE PLAN
 SCALE: 1" = 30'-0"

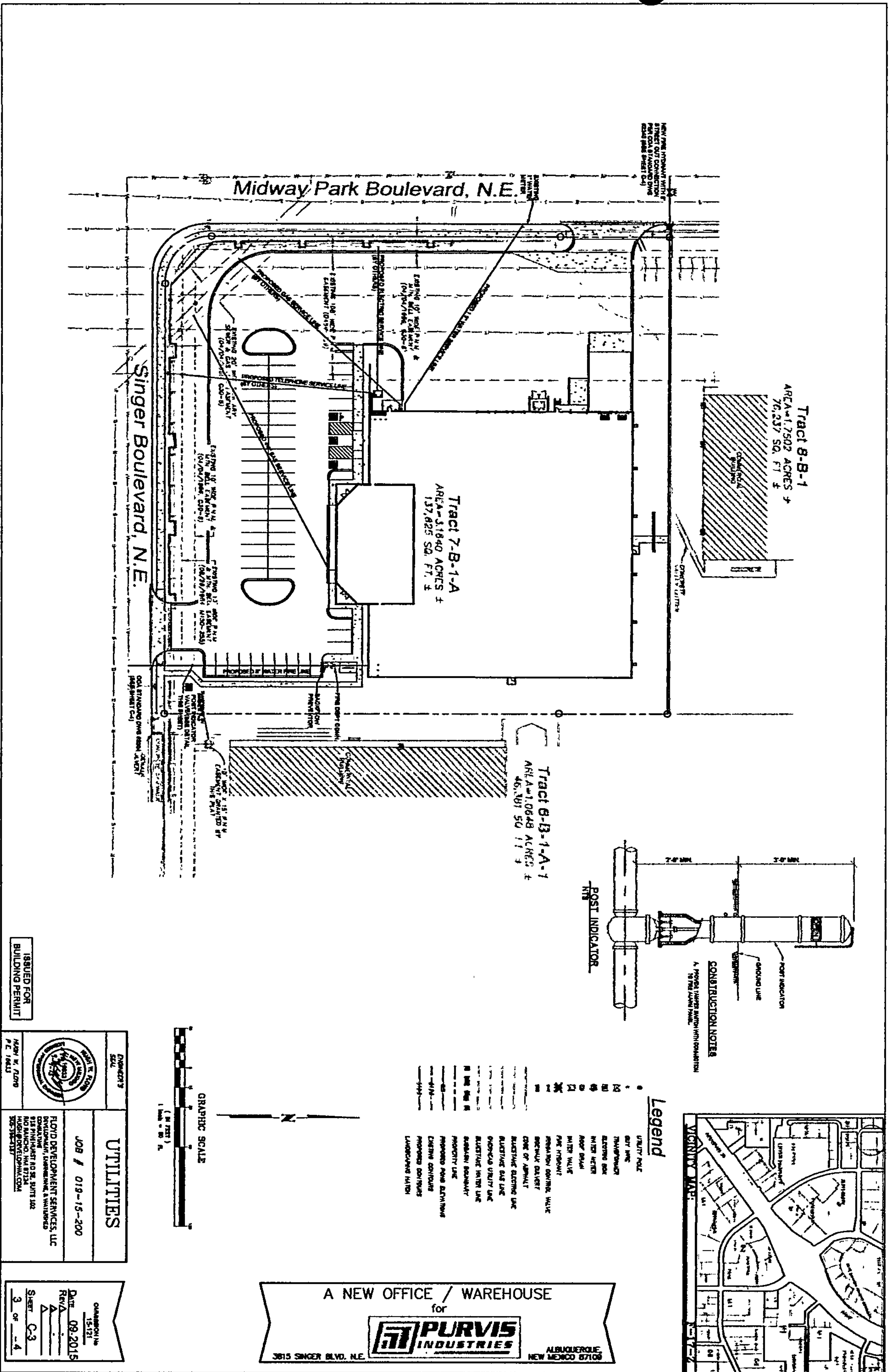


PURVIS INDUSTRIES
 A NEW OFFICE / WAREHOUSE for
 385 SINGER BLVD. NE
 ALBUQUERQUE, NEW MEXICO 87109

PSRBB
 INDUSTRIAL GROUP, INC.
 1845 NORTHWESTERN DRIVE, SUITE A
 EL PASO, TEXAS 79912
 FAX 877-2098
 915 877-2020

COMMISSION No. 15-121
 DATE 09-11-2015
 Rev A
 SHEET AC-1
 1 OF 2

SITE DEVELOPMENT PLAN



NEW AND EXISTING UTILITIES
 SUBJECT TO CITY STANDARDS AND
 COA STANDARDS (SEE CITY
 ENGINEERING DEPT. OFFICE)

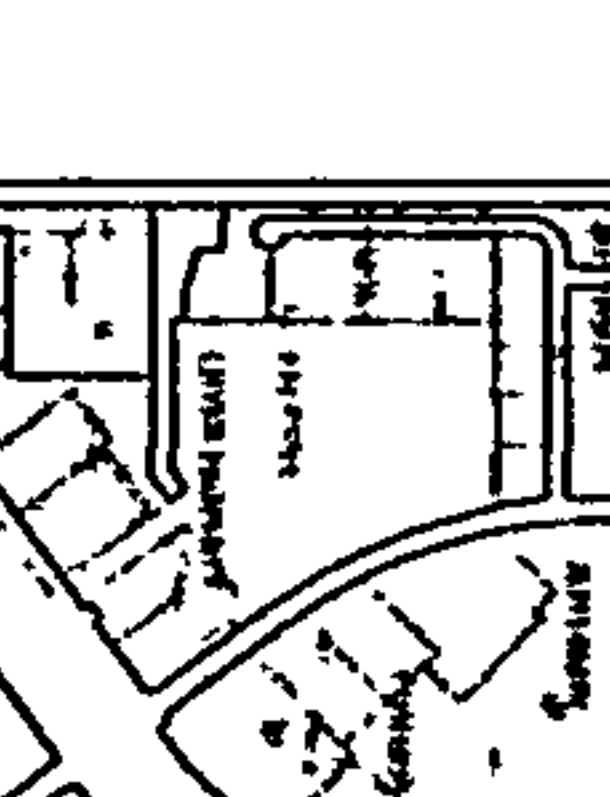
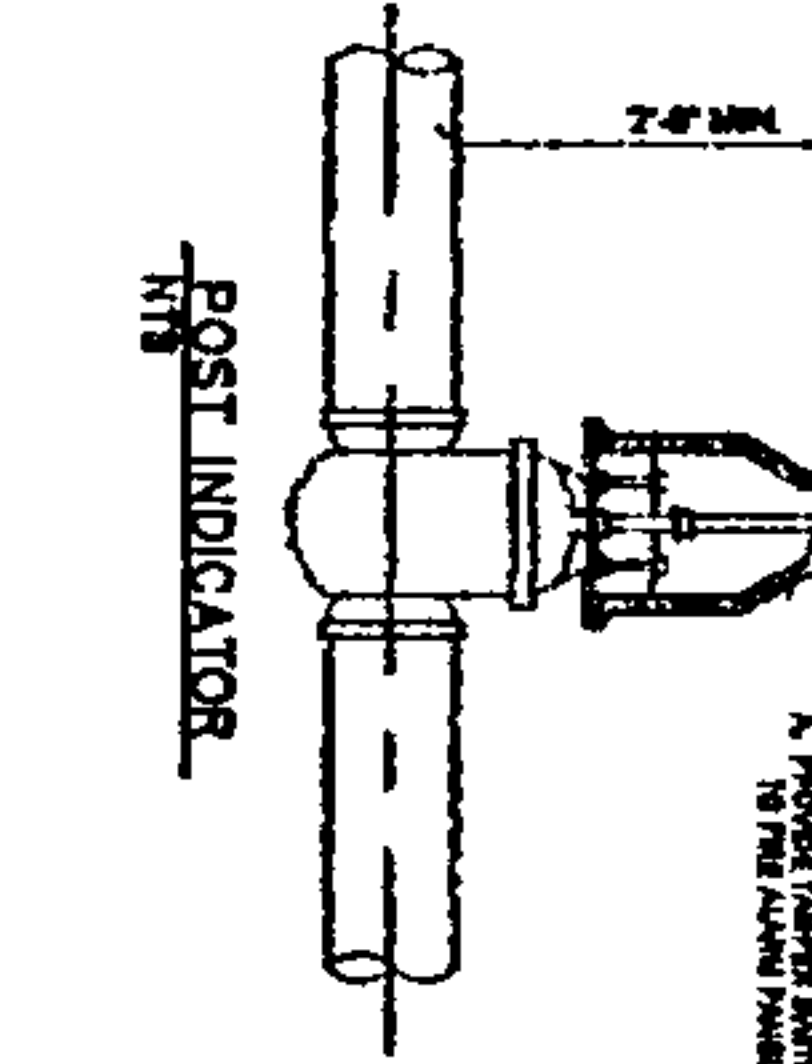
Midway Park Boulevard, N.E.

Singer Boulevard, N.E.

Tract 7-B-1-A
 AREA=137,825 ACRES ±

Tract 8-B-1-A-1
 AREA=46,381 ACRES ±

Tract 8-B-1
 AREA=76,237 ACRES ±



Legend

- UTILITY POLE
- GAS LINE
- ELECTRIC LINE
- WATER LINE
- MANHOLE
- PROPOSED AND EXISTING
- EXISTING CONDUIT
- PROPOSED CONDUIT
- LANDSCAPING HIGH

CONSTRUCTION NOTES

A. POLES TO BE MARKED WITH REFLECTIVE TAPE TO THE FOLLOWING SPECIFICATIONS:

1. 18" DIA. Poles

2. 18" DIA. Poles

3. 18" DIA. Poles

4. 18" DIA. Poles

5. 18" DIA. Poles

6. 18" DIA. Poles

7. 18" DIA. Poles

8. 18" DIA. Poles

9. 18" DIA. Poles

10. 18" DIA. Poles

11. 18" DIA. Poles

12. 18" DIA. Poles

13. 18" DIA. Poles

14. 18" DIA. Poles

15. 18" DIA. Poles

16. 18" DIA. Poles

17. 18" DIA. Poles

18. 18" DIA. Poles

19. 18" DIA. Poles

20. 18" DIA. Poles

21. 18" DIA. Poles

22. 18" DIA. Poles

23. 18" DIA. Poles

24. 18" DIA. Poles

25. 18" DIA. Poles

26. 18" DIA. Poles

27. 18" DIA. Poles

28. 18" DIA. Poles

29. 18" DIA. Poles

30. 18" DIA. Poles

ISSUED FOR
 BUILDING PERMIT

ENGINEER'S SEAL

UTILITIES

JOB # 019-15-200

FLOYD DEVELOPMENT SERVICES, LLC
 DEVELOPMENT, ENGINEERING, AND SURVEYING
 218 FRENCHMAN RD. SUITE 100
 ALBUQUERQUE, NM 87134
 INFO@FDS-UTL.COM

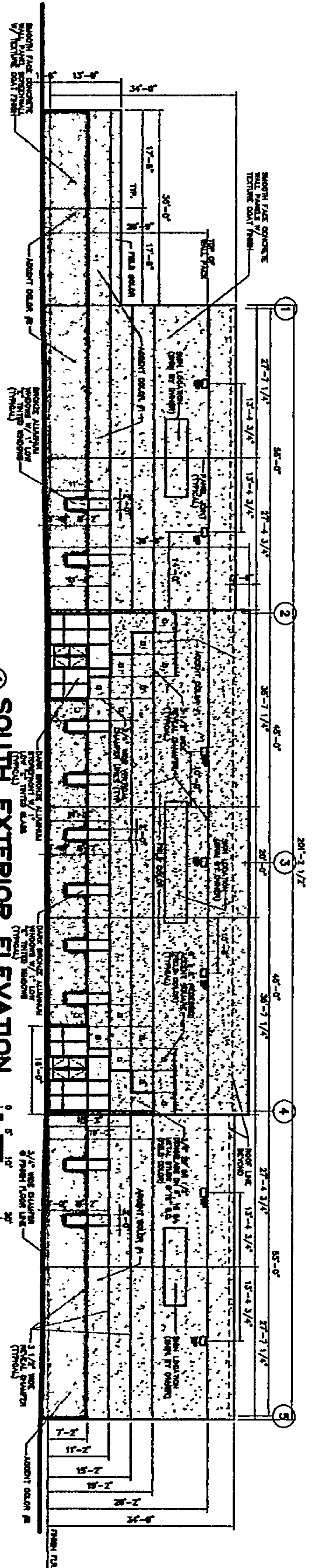
DATE: 09-2015

REV: A

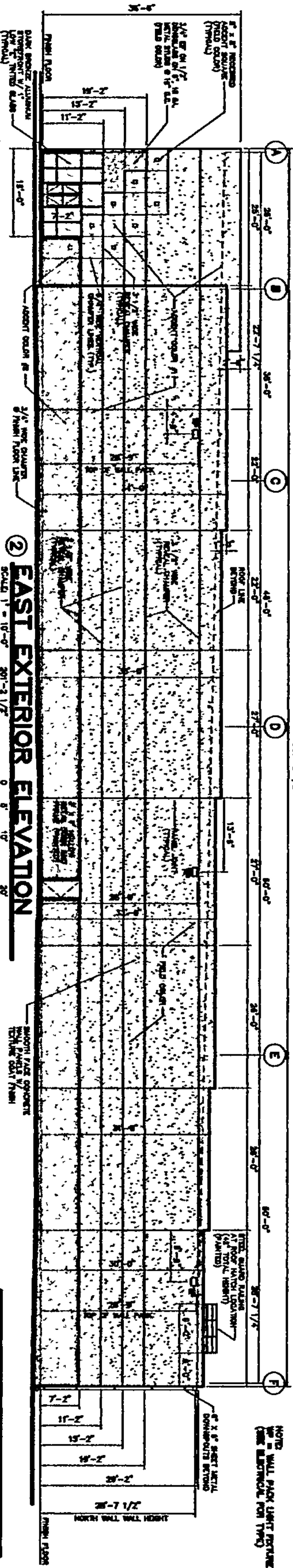
SHEET: C-3

3 OF 4

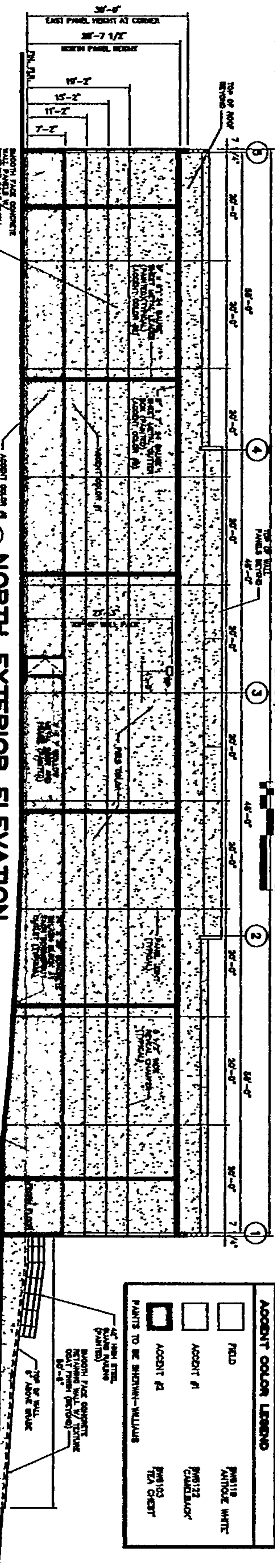
A NEW OFFICE / WAREHOUSE
 for
PURVIS INDUSTRIES
 ALBUQUERQUE, NEW MEXICO 87108
 3815 SINGER BLVD. N.E.



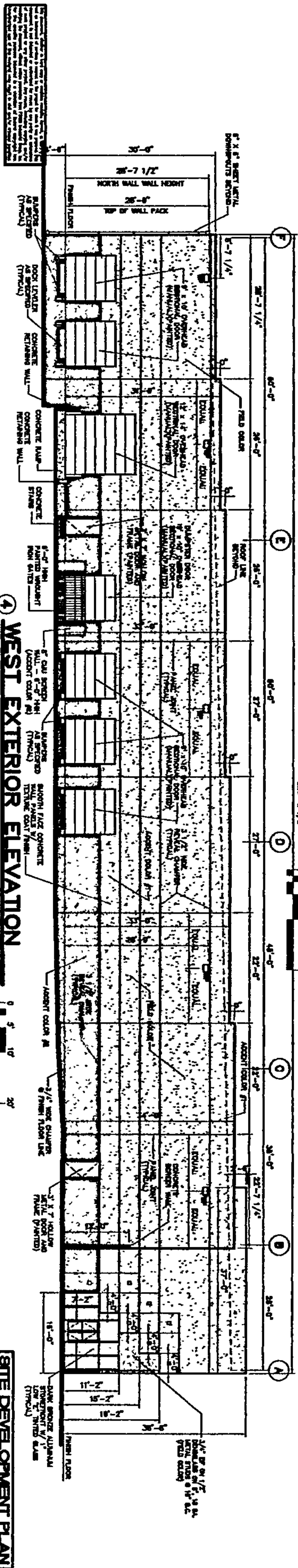
① SOUTH EXTERIOR ELEVATION
SCALE 1" = 10'-0"



② EAST EXTERIOR ELEVATION
SCALE 1" = 10'-0"



③ NORTH EXTERIOR ELEVATION
SCALE 1" = 10'-0"



④ WEST EXTERIOR ELEVATION
SCALE 1" = 10'-0"

ACCENT COLOR LEGEND

FIELD	PRM118	ANTIQUE WHITE
ACCENT #1	PRM122	CUMBERBOLD
ACCENT #2	PRM103	TEA CHEST

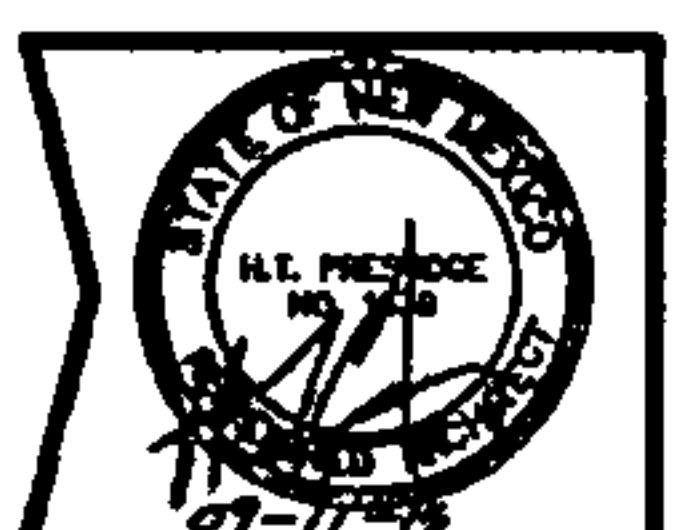
PAINTS TO BE SHOWN-WALLS

SITE DEVELOPMENT PLAN

QUANTITY No. 15-121
 DATE 08-11-2013
 REVA
 SHEET A-1
 2 OF 2

PSRBB
INDUSTRIAL GROUP, INC.
 1845 NORTHWESTERN DRIVE, SUITE A EL PASO, TEXAS 79912
 915 877-2020 FAX 877-2998

A NEW OFFICE / WAREHOUSE
 for
PURVIS INDUSTRIES
 385 SINGER BLVD. NE ALBUQUERQUE, NEW MEXICO 87109



Agent Letter

Owner Information:

Purvis Industries
10500 North Stemmons Frwy
Dallas, TX 75220
Office Phone: 214-358-5500
Fax: 214-358-5515

Agent Information:

Hugh Floyd
Floyd Development Services, LLC
918 Pinehurst Road SE, Suite 101
Rio Rancho, NM 87124
Cell Phone: 505-366-4187

Legal Description: Tract 7-B-1-A Midway Business Park, Albuquerque, New Mexico

I, Bob Purvis, representative for Purvis Industries, owners of the above referenced land, hereby authorize Floyd Development Services LLC to be agent of the property listed above.



Owner
Bob Purvis

9-14-2015

Date

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission and Development Review Board. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. More details and/or minor changes may be necessary as the project progresses through DRB and building permit reviews. Certification of completeness as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. I ACKNOWLEDGE THAT MORE DETAILS AND/OR MINOR CHANGES MAY BE NECESSARY AS THE PROJECT PROGRESSES THROUGH THE REVIEW PROCESSES. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OR DEFERRAL OF THE APPLICATION.

 9/15/15
Applicant or Agent Signature / Date

NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36", or as pre-approved by Planning Staff

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing):

1. **Site Plan** (including easements with recording information)
2. **Landscaping Plan**
3. **Conceptual Grading and Drainage Plan** (a separate Grading Plan sheet is required for sites > 1 acre)
4. **Conceptual Utility Plan** (for sites less than one acre, Utility Plan may be shown on Site Plan)
5. **Building and Structure Elevations**
6. **Previously approved Development Plan** (if applicable)

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. Please refer to the City's DPM, Zoning Code and any applicable Sector Development Plan and Master Development Plan for specific design requirements for the elements listed below. The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A." Each non-applicable designation must be explained by notation on the Checklist.

Accompanying Material

- A. 8-1/2" x 11" reduction for each plan sheet & electronic copy (pdf) of Site Development Plan
- B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

SHEET #1 – SITE PLAN

A. General Information

- 1. Date of drawing and/or last revision
- 2. Scale:
1.0 acre or less 1" = 10' Over 5 acres 1" = 50'
1.0 - 5.0 acres 1" = 20' Over 20 acres 1" = 100'
[other scales, if approved by staff]
- 3. Bar scale
- 4. North arrow
- 5. Vicinity map
- 6. Signature Block (for DRB site dev. plans)
- 7. Property lines (clearly identify)
- 8. Existing easements on the site and within 20 ft. of the site with recording information;
proposed easements on the site
- NA 9. Phases of development including location and square footages of structures, circulation,
parking and landscaping
- 10. Indicate existing structures and easements (with recording information) within 20 ft. of the site

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

B. Proposed Development

1. Structural

- 1. Location of existing & proposed structures on the site (distinguish between existing & proposed, include phasing)
- 2. Dimensions and square footage of each structure
- 3. Proposed use of each structure
- 4. Walls, fences, and screening: indicate height, length, color and materials
- 5. Loading facilities
- 6. Conceptual site lighting (indicate general location & maximum height)
- 7. Location of refuse container and enclosure
- NA 8. Site amenities including patios, benches, tables (indicating square footage of patios/ plazas)

2. Parking and Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. Location and typical dimensions, including handicapped spaces
 - 2. Calculations: spaces required: 44 provided: 58
Handicapped spaces (included in required total) required: 3 provided: 3
Motorcycle spaces (in addition to required total) required: 2 provided: 2
- B. Bicycle parking & facilities
 - 1. Bicycle racks, spaces required: 2 provided: 4
 - NA 2. Bikeways and other bicycle facilities, if applicable
- C. Public Transit
 - 1. Bus facilities, including routes, bays and shelters existing or required
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths
 - 2. Location and dimension of drive aisle crossings, including paving treatment
 - 3. Location of proposed and existing public sidewalk; define distance from back of curb to sidewalk
- E. Vehicular Circulation (Refer to Chapter 23 of DPM for design requirements)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Curb cut locations and dimensions
 - 6. Existing and proposed street widths, right-of-way widths and curve radii
 - NA 7. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - NA 8. Location of traffic signs and signals related to the functioning of the proposal
 - 9. Identify existing and proposed medians and median cuts

3. Phasing – This is required information if phasing of project is anticipated

- Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

SHEET #2 – LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff

- 1. Scale - must be same as scale on sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Statement of Landscaping Responsibility for Maintenance (Landscape Agreement will be required for landscape in public right-of-way prior to Building Permit)
- 7. Statement of compliance with Water Conservation Ordinance, see §6-1-1
- 8. Statement of compliance with §14-16-3-10, General Landscaping Regulations
- 9. Identify location and size (SF) of all landscaping areas, including:
 - A. Type, location and size of trees (common and/or botanical names)
 - B. Type and location of all ground cover material (organic/inorganic)
 - C. Existing vegetation, indicating whether it is to be preserved or removed
 - D. Ponding areas either for drainage or landscaping/recreational use
 - E. Turf area – only 20% of landscaped area can be high water-use turf
- 10. Landscape calculation table:
 - A. Required and Provided Landscape Area – square footage and percent
 - B. Required and Provided Trees (street, parking lot, screening, etc.)
- 11. Street Tree Plan as defined in the Street Tree Ordinance (see §6-6-2)
- 12. Verification of adequate sight distance
- 13. Provide a plant list of shrubs, grasses, and perennials

SHEET # 3 – CONCEPTUAL GRADING and DRAINAGE PLAN

The Conceptual Grading and Drainage Plan provides the Planning Commission and DRB with an understanding of site topography and how it relates to adjacent property. The City Engineer or her/his designee may waive or allow adjustments to the Conceptual Grading and Drainage Plan requirements for sites that are already developed or are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Building footprints
- 6. Location of Retaining walls

B. Grading Information

- 1. Provide a narrative description of existing site topography, proposed grading improvements, flood zone status, and topography within 20 feet of the site.
- 2. Show existing and proposed contours, retaining wall heights, approximate street (drive entrance/parking lot) slopes.
- 3. Identify whether ponding is required
- 4. Indicate Finished Floor Elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

- 5. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change.
- 6. In addition to the above, the following must be provided for DRB applications:
 - A. Conceptual onsite drainage system
 - B. For sites 5 acres or greater or for sites where drainage infrastructure is required, a Drainage Report is required.

SHEET #4 – UTILITY PLAN

If site is less than one acre, the Utility Plan may be shown on sheet #1

- 1. Fire hydrant locations, existing and proposed.
- 2. Distribution lines
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Existing water, sewer, storm drainage facilities (public and/or private).
- 5. Proposed water, sewer, storm drainage facilities (public and/or private)

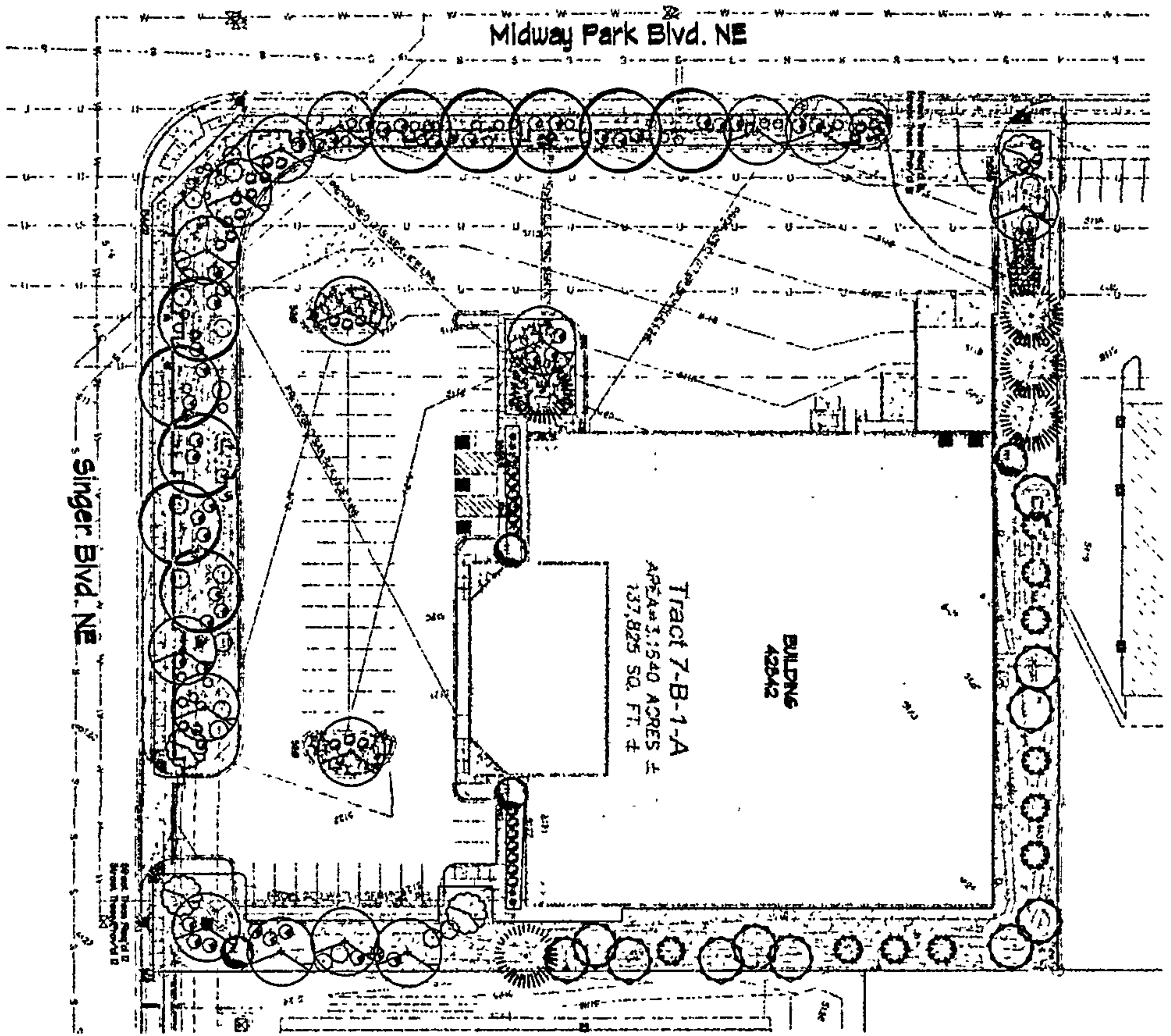
SHEET #5 BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- 1. Scale (minimum of 1/8" or as approved by Planning Staff)
- 2. Bar Scale
- 3. Detailed Building Elevations for each facade
 - a. Identify facade orientation (north, south, east, & west)
 - b. Facade dimensions including overall height and width of building and major building articulation elements such as doors and windows (to determine compliance with zoning or other regulations)
 - c. Materials and colors of principle building elements – façade, roof, windows, doors, etc.
 - d. 8½" x 11" color renderings or similar illustrations (2 for DRB and 10 for EPC)
- 4. Dimensions, colors and materials of Refuse Enclosure
- NA 5. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discuss submittal requirements with Planning Department staff.

B. Signage

- NA 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements
- 7. Verification of adequate sight distance



LANDSCAPE LEGEND

ONT SIZE CARTON/QUANTITY 100 LINE

Tree	Size	Quantity	Notes
1	2" cal	1000	Green Pines
2	2" cal	1000	Prinos chinensis
3	2" cal	1000	Long Leaf Pine
4	6-8"	4000	Pinus rigida
5	6-8"	4000	Pinus strobus
6	4-6"	800	Pinus taeda
7	4-6"	800	Pinus resinosa
8	6-8"	400	Pinus strobus
9	6-8"	400	Pinus strobus
10	6-8"	400	Pinus strobus

Shrubs & Groundcovers

1	3-6"	1000	Spirea
2	3-6"	1000	Yucca
3	3-6"	1000	Yucca
4	3-6"	1000	Yucca
5	3-6"	1000	Yucca
6	3-6"	1000	Yucca
7	3-6"	1000	Yucca
8	3-6"	1000	Yucca
9	3-6"	1000	Yucca
10	3-6"	1000	Yucca

LANDSCAPE NOTES:

1. All trees to be planted by the contractor.

2. All trees to be planted by the contractor.

3. All trees to be planted by the contractor.

4. All trees to be planted by the contractor.

5. All trees to be planted by the contractor.

6. All trees to be planted by the contractor.

7. All trees to be planted by the contractor.

8. All trees to be planted by the contractor.

9. All trees to be planted by the contractor.

10. All trees to be planted by the contractor.

LANDSCAPE CALCULATIONS

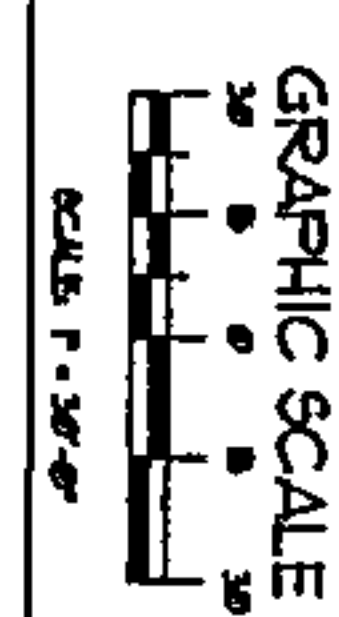
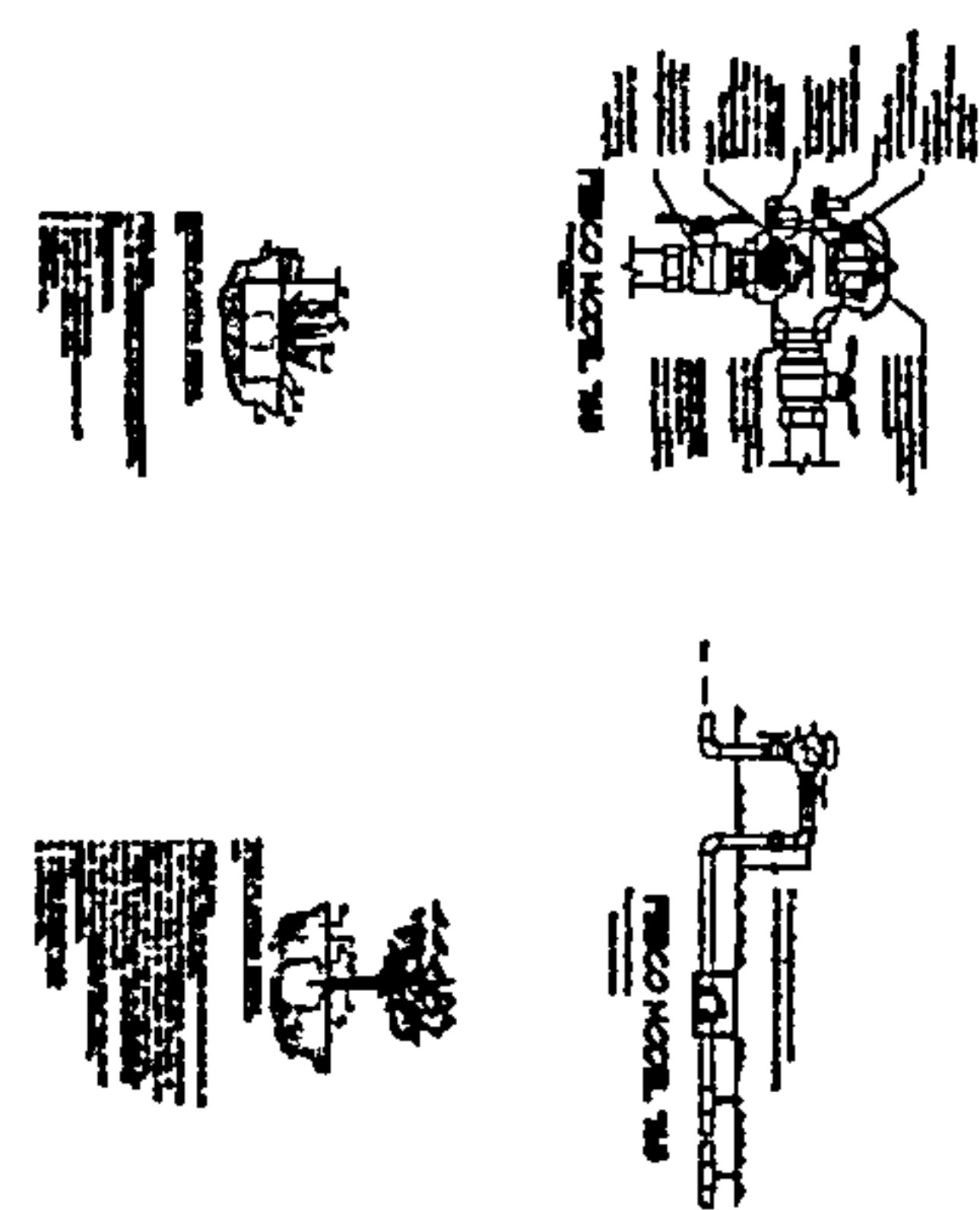
TOTAL LOT AREA (sq ft) 100,000

TOTAL BUILDING FOOTPRINT (sq ft) 10,000

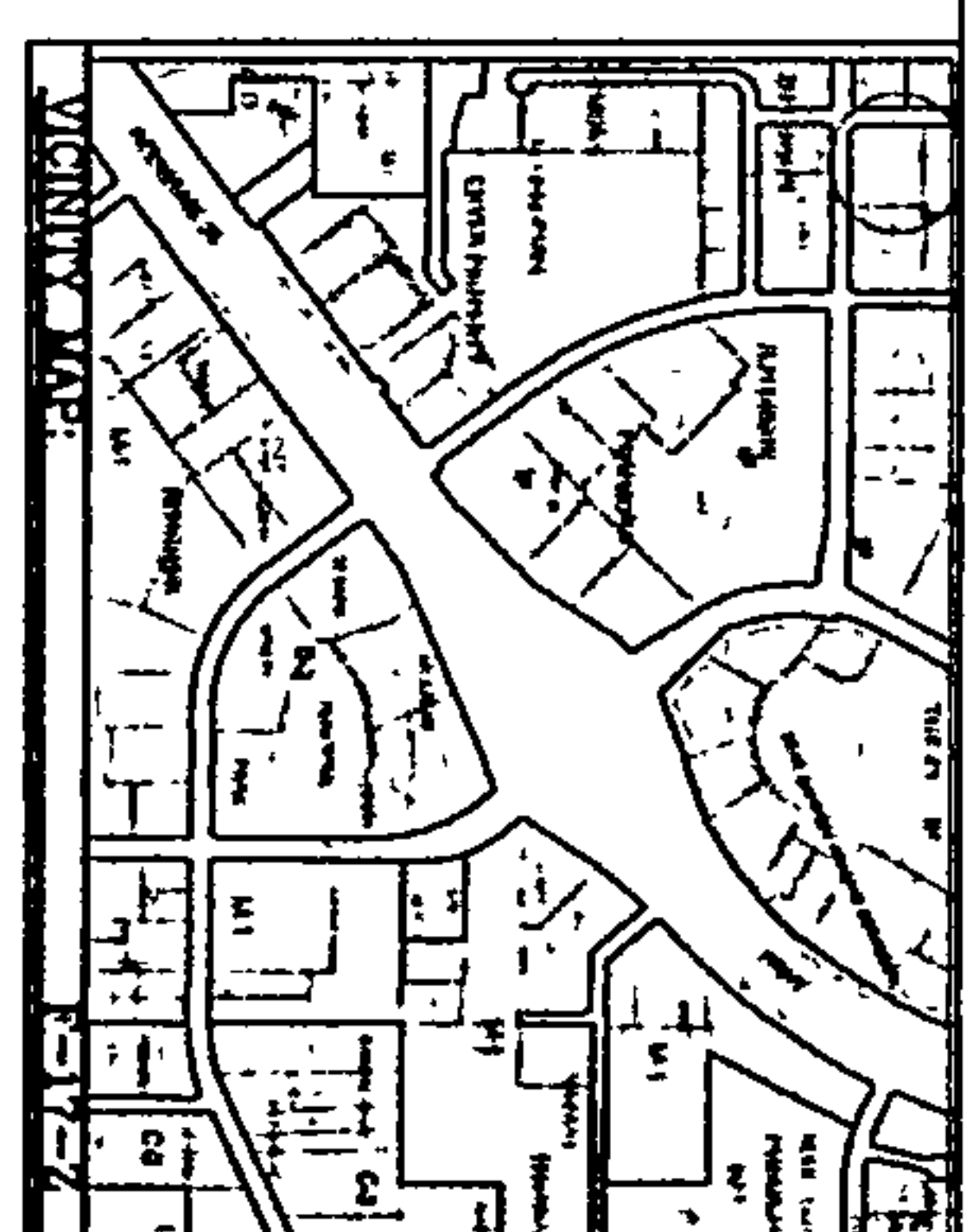
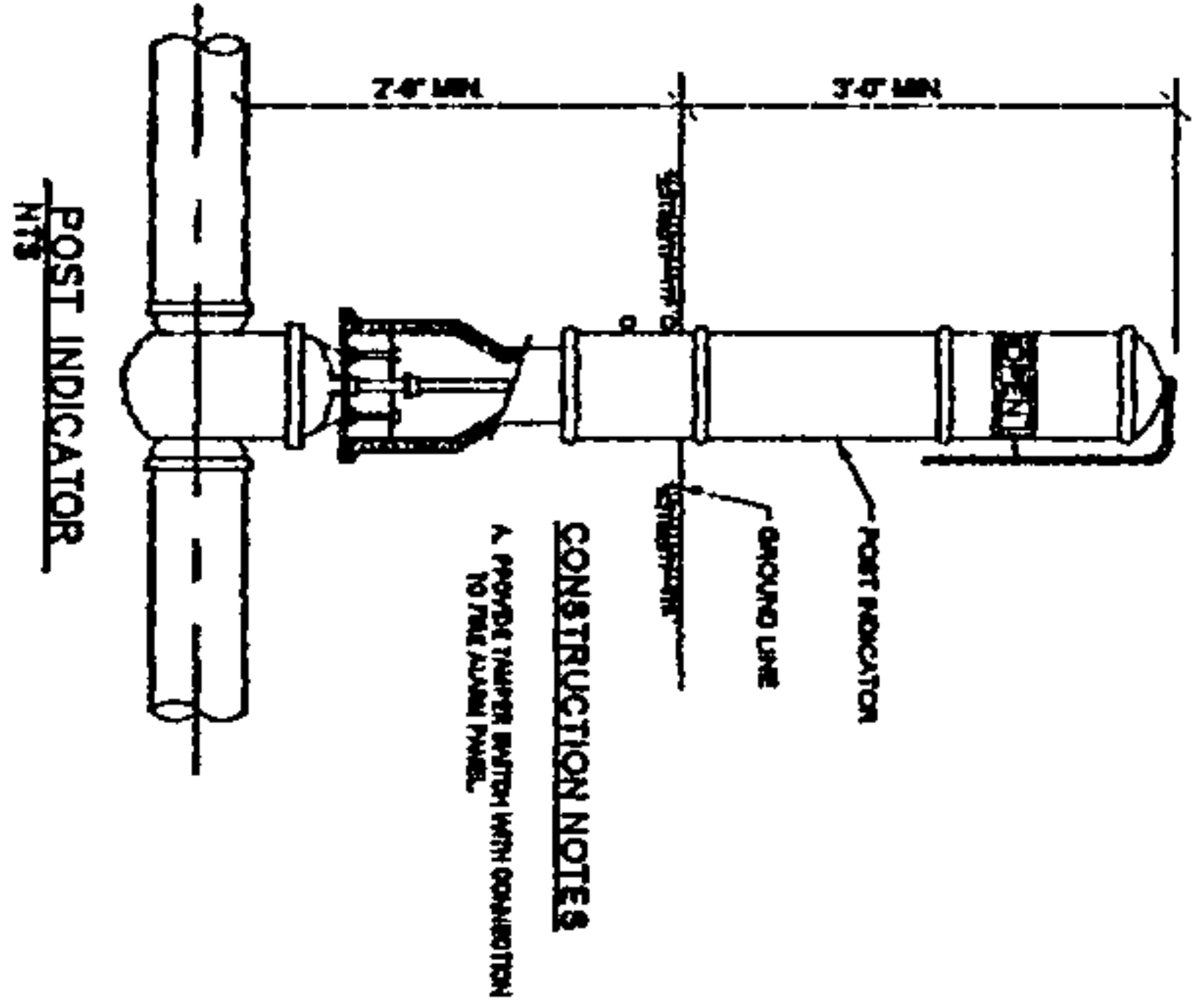
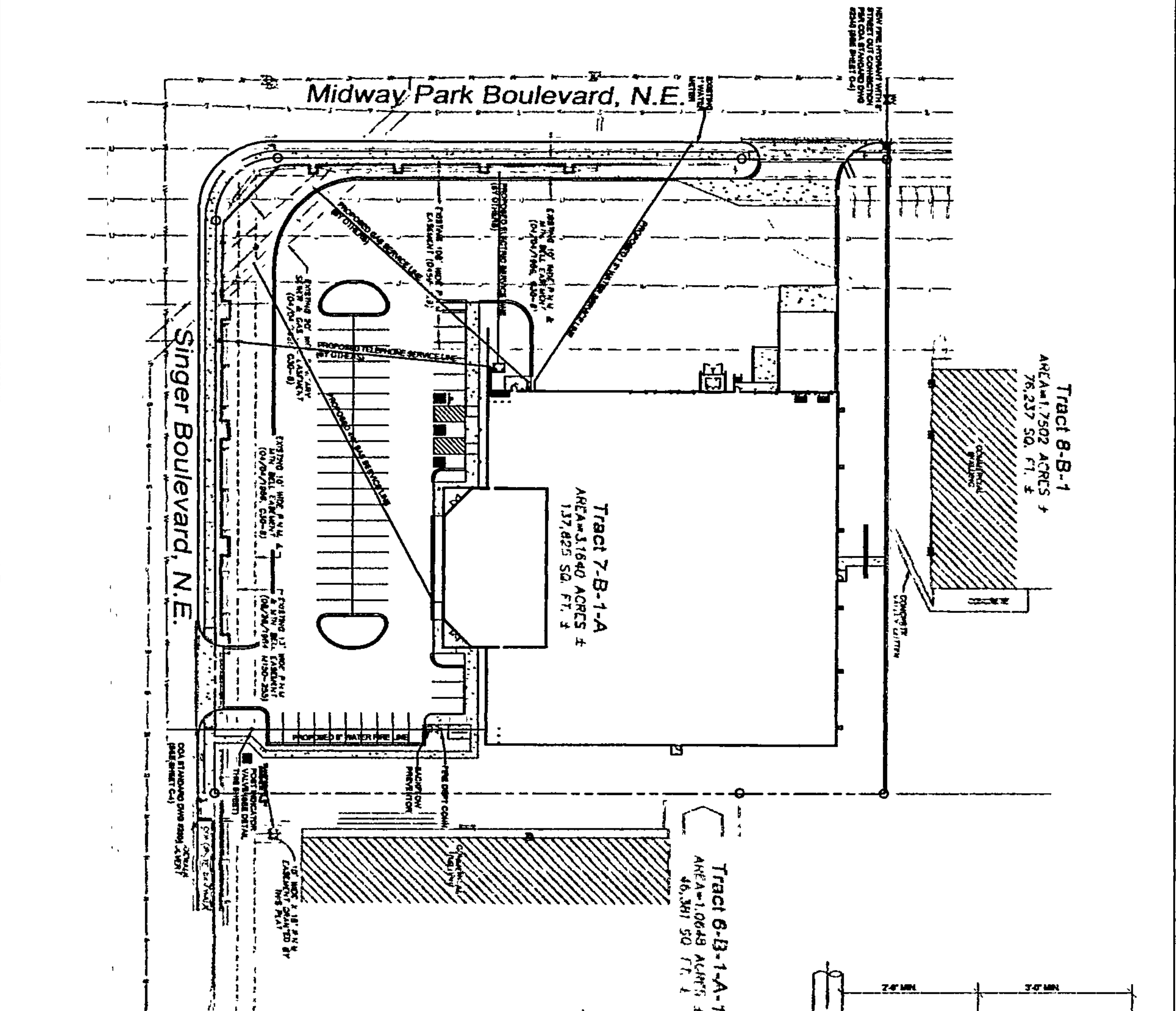
TOTAL LANDSCAPE REQUIRED (sq ft) 90,000

TOTAL ON-SITE LANDSCAPE PROVIDED (sq ft) 90,000

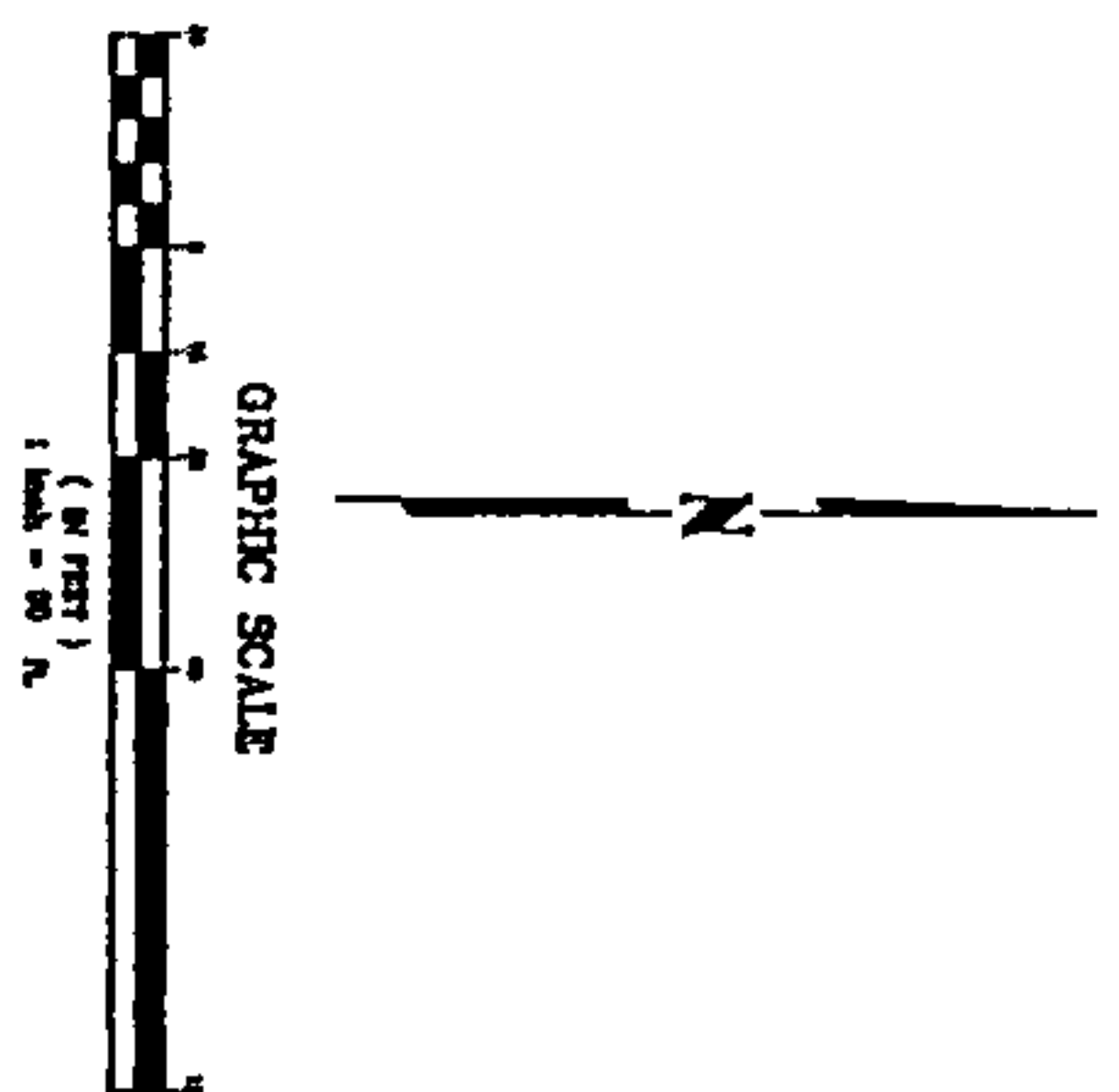
TOTAL LIVE PLANT COVER PROVIDED (sq ft) 90,000



<p>LS-101</p>	<p>DRAWN BY</p> <p>REVISION 1</p> <p>DATE 01/26/2009</p>	<p>The Hilltop</p> <p>LANDSCAPE ARCHITECTS & CONTRACTORS</p>	<p>Proposed Building</p> <p>Singer Av.</p> <p>Albuquerque, NM</p> <p>LANDSCAPE PLAN</p>	<p>THE HILLTOP LANDSCAPE ARCHITECTS & CONTRACTORS</p> <p>1509 Edith NE</p> <p>Albuquerque, NM 87104</p> <p>Cont. Lic. 26-486</p> <p>Ph. (505) 856-5450</p> <p>Fax (505) 856-1131</p> <p>derry@thehilltoplandscape.com</p>	
	<p>SCALE: 1" = 30'-0"</p>	<p>The design contained herein shall be the property of The Hilltop Landscape Architects and Contractors and are protected by copyright law. This is an original design and may not be reproduced or copied without the prior written consent of The Hilltop Landscape Architects and Contractors.</p>	<p>Proposed Building</p> <p>Singer Av.</p> <p>Albuquerque, NM</p>	<p>THE HILLTOP LANDSCAPE ARCHITECTS & CONTRACTORS</p>	<p>THE HILLTOP LANDSCAPE ARCHITECTS & CONTRACTORS</p>



- Legend**
- UTILITY POLE
 - GUY WIRE
 - TRANSMISSION
 - ELECTRIC BAR
 - WATER WATER
 - HOT DRINK
 - WATER VALVE
 - FIRE HYDRANT
 - APPROXIMATE CENTER, VALVE
 - SERVICE DIALBOX
 - END OF SPAN/IT
 - ELECTRIC ELECTRIC LINE
 - ELECTRIC GAS LINE
 - OVERHEAD UTILITY LINE
 - SUBSTANT WATER LINE
 - SEWER/STORM
 - PROPERTY LINE
 - PROPOSED POND ELEVATION
 - EXISTING CONTOUR
 - PROPOSED CONTOUR
 - LANDSCAPE HATCH



UTILITIES

JOB # 019-15-200

DATE 09-2015

SHEET C-3

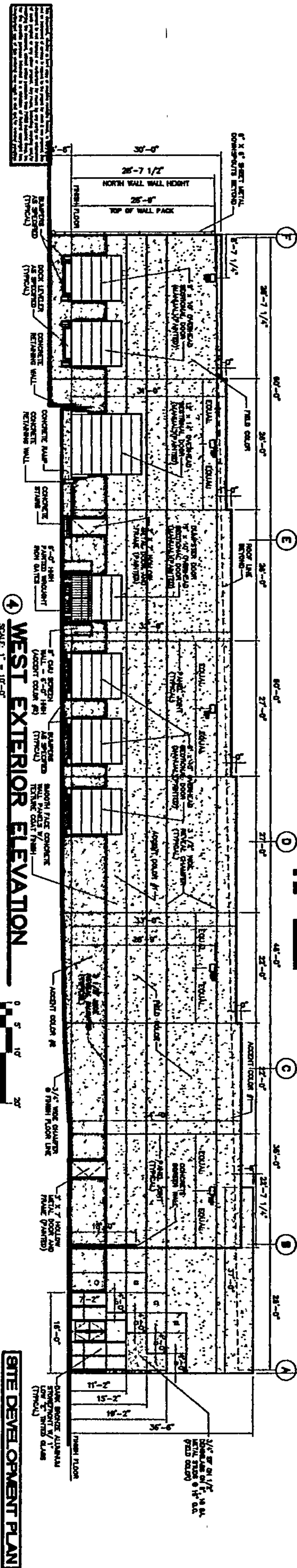
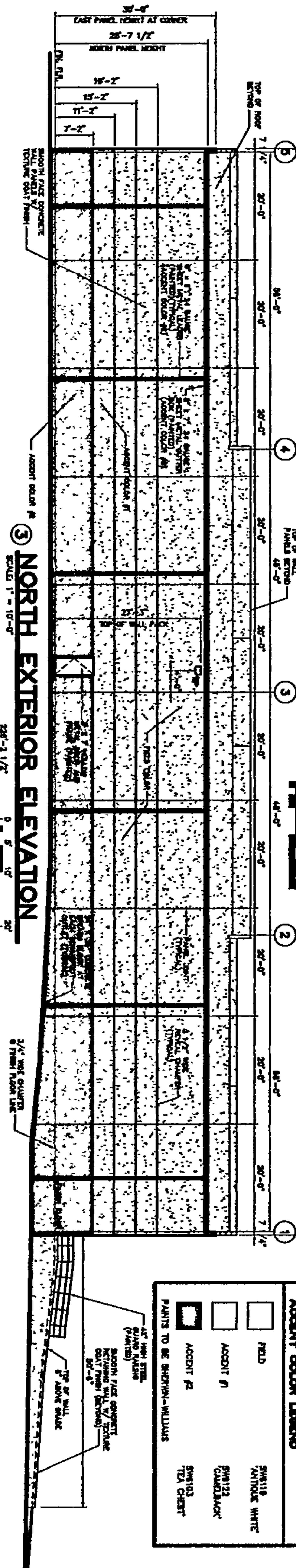
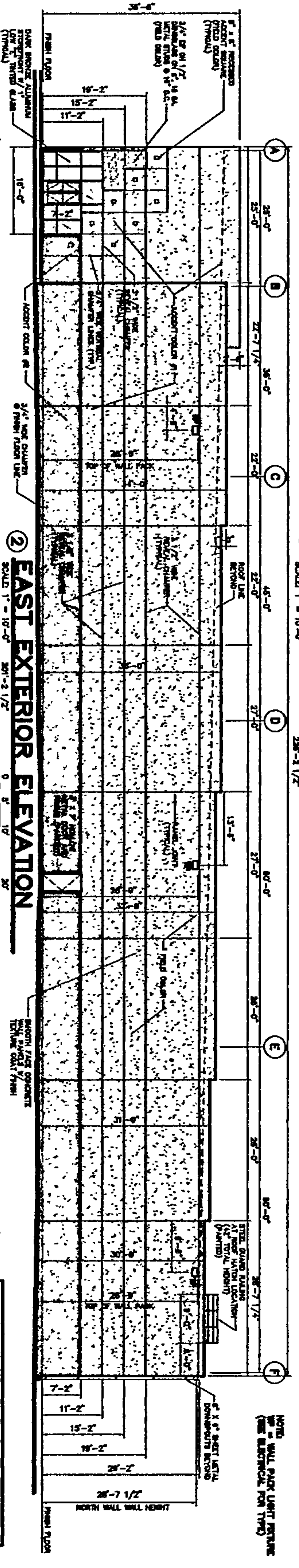
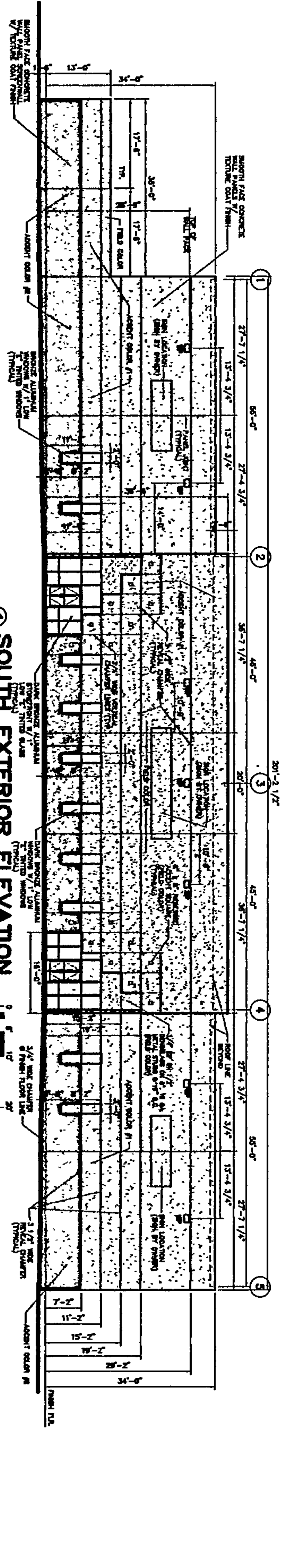
3 OF 4

ISSUED FOR BUILDING PERMIT

A NEW OFFICE / WAREHOUSE
for

PURVIS INDUSTRIES

3615 SINGER BLVD. N.E. ALBUQUERQUE, NEW MEXICO 87106



ACCENT COLOR LEGEND

[Symbol]	FIELD	SM118	PATRIOTIC WHITE
[Symbol]	ACCENT #1	SM122	GUARDIAN
[Symbol]	ACCENT #2	SM113	TEX CHEST

PAINTS TO BE SHERWIN-WILLIAMS

SITE DEVELOPMENT PLAN

QUANTITY No. 18-121
 DATE 08-11-2015
 Rev. A
 Sheet A-1
 2 of 2

PSRBB
INDUSTRIAL GROUP, INC.
 1845 NORTHWESTERN DRIVE, SUITE A EL PASO, TEXAS 79912
 915 877-2020 FAX 877-2998

A NEW OFFICE / WAREHOUSE
 for
PURVIS INDUSTRIES
 385 SINGER BLVD. NE. ALBUQUERQUE, NEW MEXICO 87109



PROJECT #

1007412

OCTOBER 14. 2015

SBF

January 14, 2015

Mr. Jack Cloud, Chair
Development Review Board
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

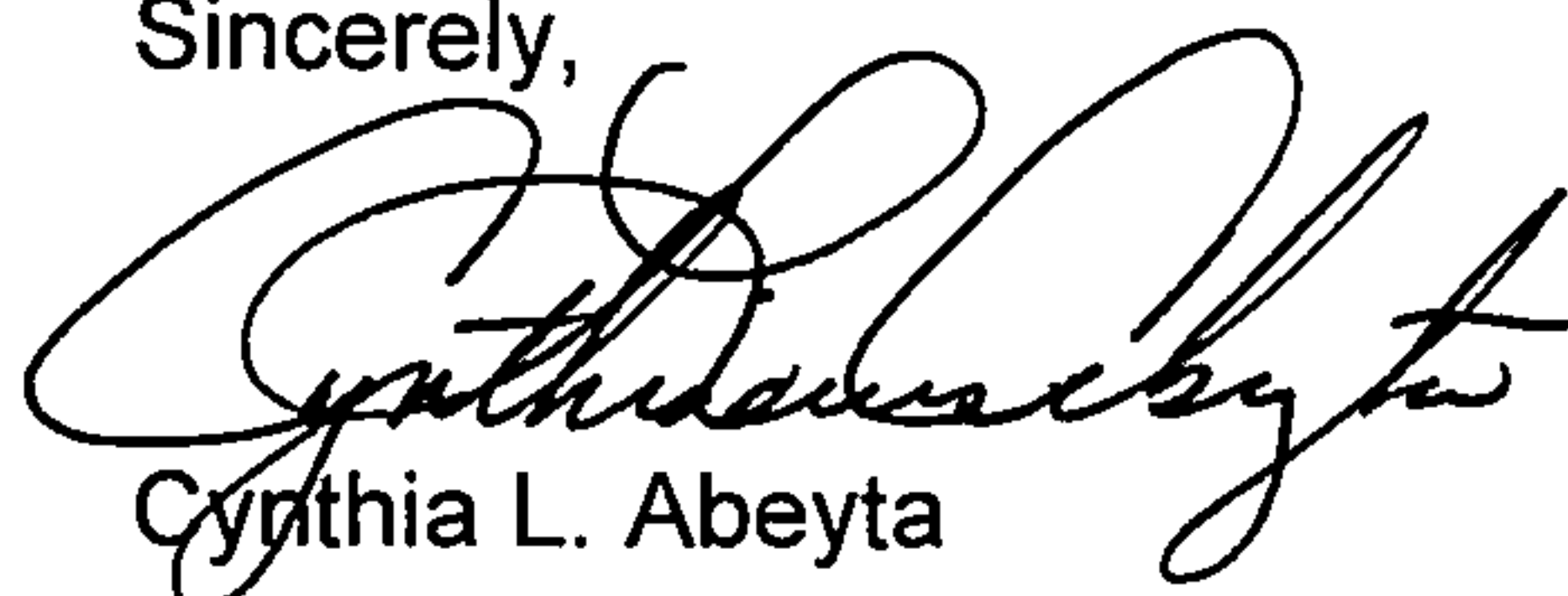
**RE: APPROVAL TO REPLAT EXISTING 3 TRACTS INTO 3 NEW TRACTS
TRACTS 6-B-1-A-1, 7-B-1-A and 8-B-1, MIDWAY BUSINESS PARK
ZONE ATLAS E-17 AND F-17 PAGES**

Dear Chairman Cloud:

Precision Survey, Inc., on behalf of our client, requests an indefinite deferral. The additional time is needed to respond to staff comments and provide the additional information requested.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,


Cynthia L. Abeyta

cc: Bob Purvis
Jim Strozier

JN: 146118



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- APEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Precision Surveys, Inc. PHONE: 505.856.5700
 ADDRESS: PO Box 90636 FAX: 505.856.7900
 CITY: Albuquerque STATE NM ZIP 87199 E-MAIL: larry@presurv.com

APPLICANT: Purvis Industries, Ltd. PHONE: 214.358.5500
 ADDRESS: PO Box 540757 FAX: 214.358.5515
 CITY: Dallas STATE TX ZIP 75220 E-MAIL: bob.purvis@purvisindustries.com
 Proprietary interest in site: owner List all owners: _____

DESCRIPTION OF REQUEST: Replat the existing three tracts into three new tracts.

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 6-B-1-A-1, 7-B-1-A and 8-B-1 Block: _____ Unit: _____
 Subdiv/Addn/TBKA: Midway Business Park
 Existing Zoning: IP Proposed zoning: same MRGCD Map No N/A
 Zone Atlas page(s): E-17 and F-17 UPC Code: 101706106351920302 / 101706103751920301 / 101706203902530116

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.): _____
1007442

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No
 No. of existing lots: 3 No. of proposed lots: 3 Total site area (acres): 5.9790 +/-
 LOCATION OF PROPERTY BY STREETS: On or Near: Singer Boulevard, NE
 Between: Midway Park Boulevard, NE and Office Boulevard, NE
 Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE [Signature] DATE December 30, 2014
 (Print Name) Cynthia L. Abeyta Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 4/2012

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>14 DRB - 70427</u>	<u>P&F</u>	_____	<u>\$ 355.00</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>CMF</u>	_____	<u>\$ 20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
	Hearing date <u>Jan. 7, 2015</u>			Total <u>\$ 375.00</u>

[Signature]
 Staff signature & Date 12-30-14

Project # 1007442

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

SKETCH PLAT REVIEW AND COMMENT (DRB22) Your attendance is required.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08) Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Copy of DRB approved infrastructure list
 - Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
 - List any original and/or related file numbers on the cover application
- Extension of preliminary plat approval expires after one year.**

MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12) Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations & cross sections of perimeter walls **3 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- List any original and/or related file numbers on the cover application
- DXF file and hard copy of final plat data for AGIS is required.

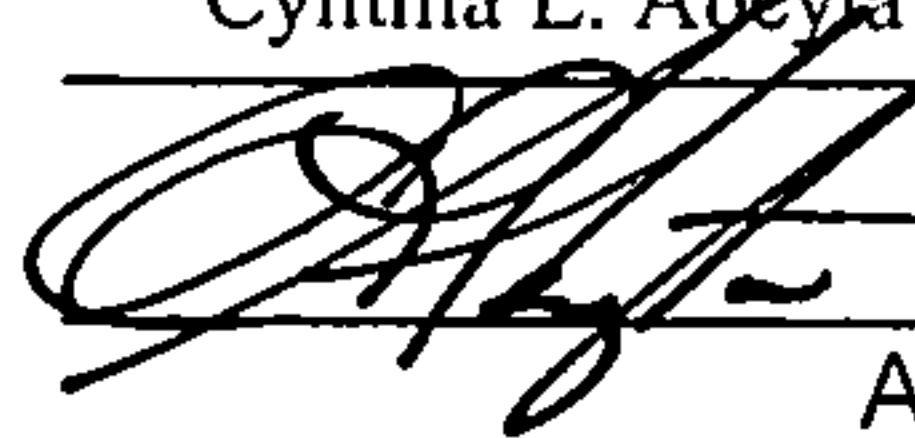
MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16) Your attendance is required.

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings ensure property owner's and City Surveyor's signatures are on the plat prior to submittal
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations and cross sections of perimeter walls (11" by 17" maximum) **3 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- Fee (see schedule)
- List any original and/or related file numbers on the cover application
- Infrastructure list if required (**verify with DRB Engineer**)
- DXF file and hard copy of final plat data for AGIS is required.

AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03) Your attendance is required.

- PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.
- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - List any original and/or related file numbers on the cover application
- Amended preliminary plat approval expires after one year**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.


Cynthia L. Abeyta

 Applicant name (print) _____
 12/30/14
 Applicant signature / date _____

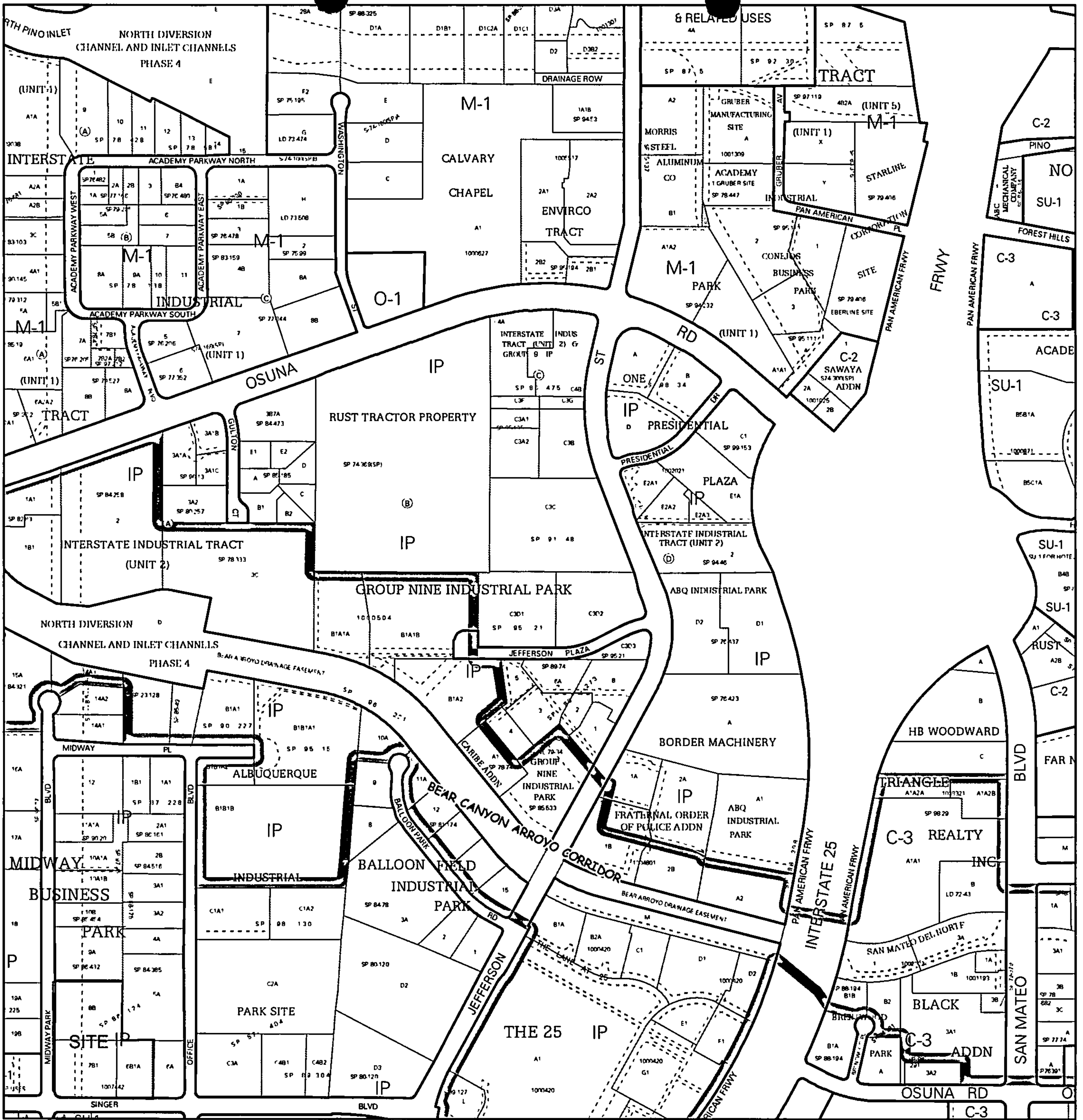


Form revised October 2007

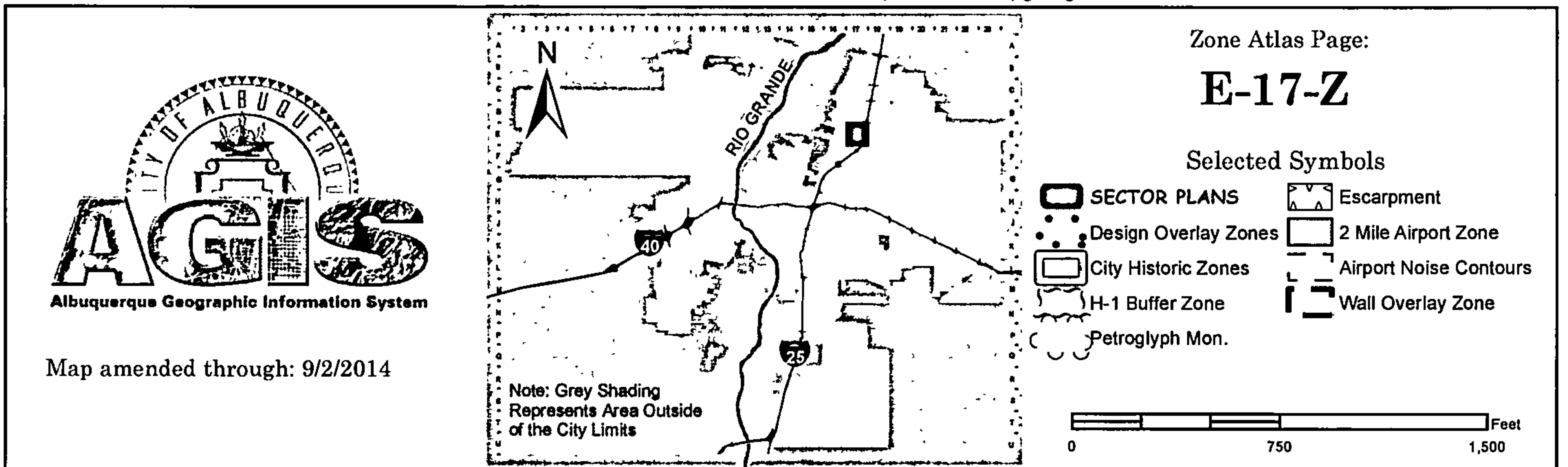
- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

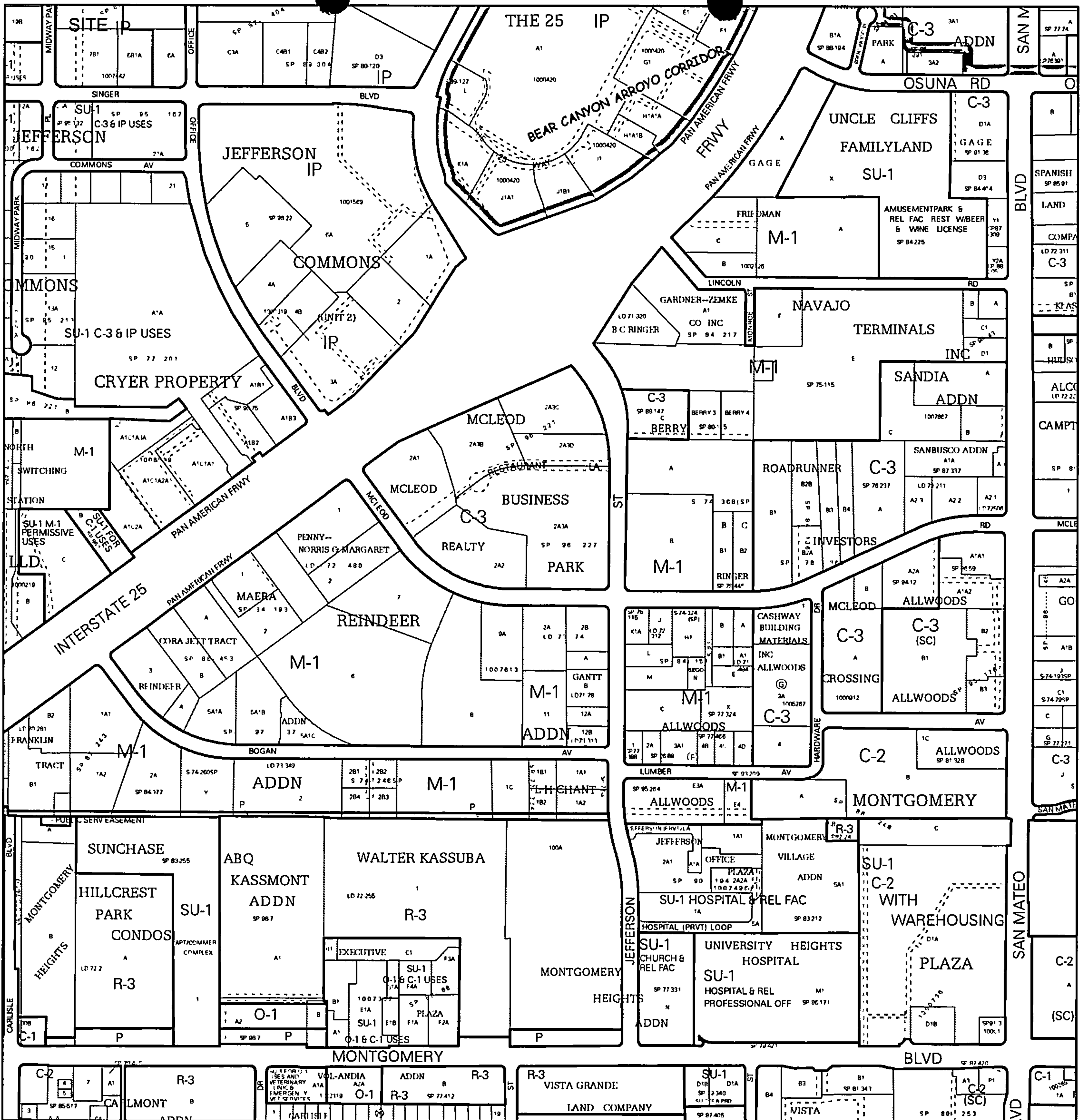
Application case numbers
14 - DRB - 70427


 12-30-14
 Planner signature / date _____
 Project # 1007442



For more current information and details visit: <http://www.cabq.gov/gis>





For more current information and details visit: <http://www.cabq.gov/gis>

Map amended through: 9/2/2014

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
F-17-Z

Selected Symbols

	SECTOR PLANS		Escarpment
	Design Overlay Zones		2 Mile Airport Zone
	City Historic Zones		Airport Noise Contours
	H-1 Buffer Zone		Wall Overlay Zone
	Petroglyph Mon.		

0 750 1,500 Feet

December 30, 2014

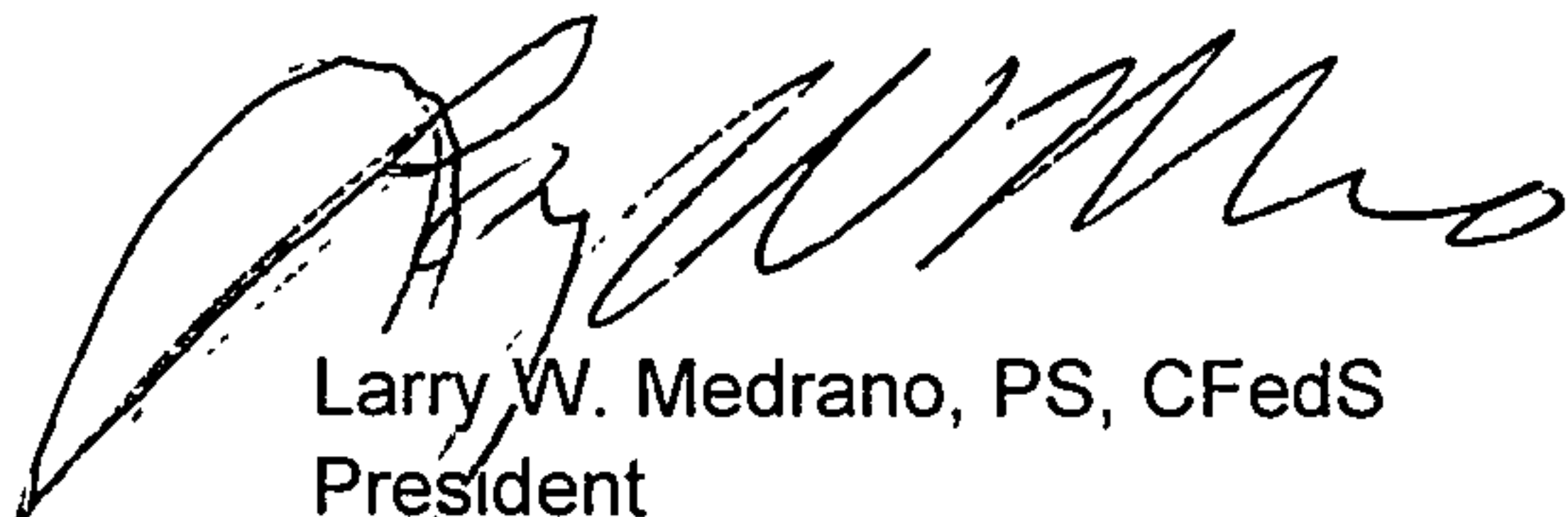
Mr. Jack Cloud, Chair
Development Review Board
Planning Development Services Division
600 2nd Street, NW
Albuquerque, NM 87102

**RE: REQUEST FOR APPROVAL TO REPLAT EXISTING 3 TRACTS INTO 3 NEW TRACTS
TRACTS 6-B-1-A-1, 7-B-1-A AND 8-B-1, MIDWAY BUSINESS PARK
ZONE ATLAS MAP: E-17-Z AND F-17-Z**

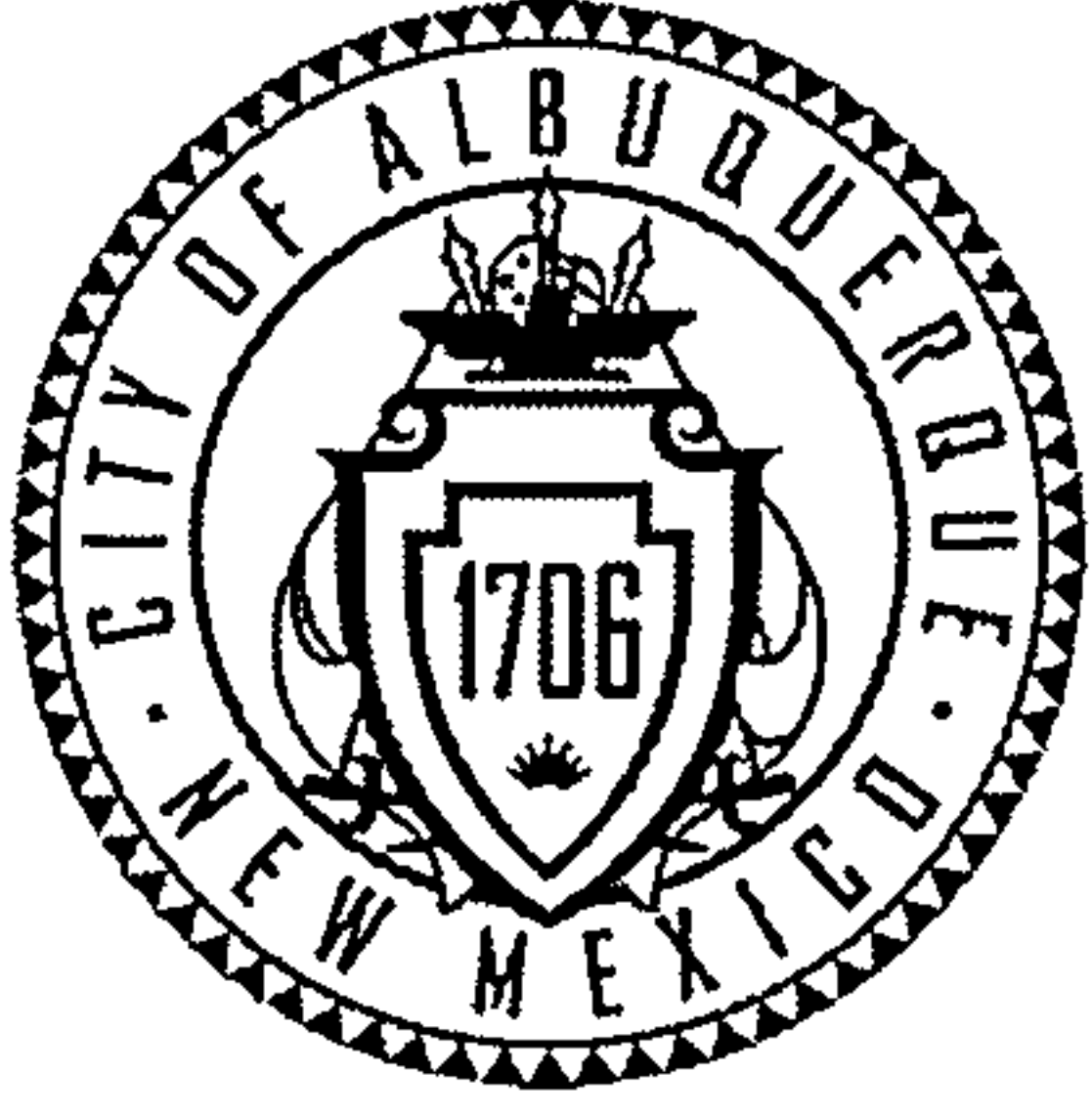
Dear Mr. Cloud,

On behalf of our client, Purvis Industries, Ltd., we request DRB approval of a replat for the referenced project. The lots are located on Singer Boulevard, NE, between Midway Park Boulevard, NE and Office Boulevard, NE as shown on the attached zone atlas pages.

Sincerely,



Larry W. Medrano, PS, CFedS
President
Precision Surveys, Inc.



City of Albuquerque
P.O. Box 1293 Albuquerque, New Mexico 87103
Planning Department
Suzanne Lubar, Director

Richard J. Berry, Mayor
November 4, 2014

Robert J. Perry, CAO

SUBJECT: ALBUQUERQUE ARCHAEOLOGICAL ORDINANCE—Compliance

Documentation

Project Number(s): 1007442

Case Number(s):

Agent: Precision Surveys, Inc.

Applicant: Purvis Industries

Legal Description: Tract 6-B-1-A-1, 7-B-1-A and 8-B-1 Midway Business Park

Zoning: IP

Acreage: 5.98 +/- acres

Zone Atlas Page: E17 & F17

CERTIFICATE OF NO EFFECT: Yes No

CERTIFICATE OF APPROVAL: Yes No

TREATMENT PLAN REVIEW:

DISCOVERY:

SUPPORTING DOCUMENTATION: AGIS aerial photograph

SITE VISIT: n/a

RECOMMENDATION(S):

- ***CERTIFICATE OF NO EFFECT IS ISSUED (ref O-07-72 Section 4B(2)—extensive previous land disturbance).***

SUBMITTED:

MF Schmader

Matthew Schmader, PhD
Superintendent, Open Space Division
City Archaeologist

Cynthia Abeyta

From: Larry Medrano <larry@presurv.com>
Sent: Monday, December 29, 2014 2:34 PM
To: Cynthia Abeyta
Subject: FW: Albuquerque Site Plans for City Submittal

URGENT

-----Original Message-----

From: Jim Strozier [mailto:cp@consensusplanning.com]
Sent: Monday, December 29, 2014 2:16 PM
To: Bob Purvis
Cc: Larry Armijo; Larry Medrano; Jackie Fishman
Subject: RE: Albuquerque Site Plans for City Submittal

Bob,

I checked the recent and DRB agendas to see if there had been a hearing regarding the property. There was not.

I then spoke with Larry Medrano at Precision Surveys last week. He has not submitted the plat and was waiting on a final site plan. I reviewed the existing zoning and platting for the property. It is zoned straight IP, which does require a Master Development Plan (the same thing as a site plan for subdivision in the City's regulations). This property was developed as a part of the original Midway Business Park, which should qualify as the existing Master Development Plan. This is also a reduction of lots from 5 to 3 and cleans up the existing conditions on the property.

Larry will submit the plat this week - tomorrow is the deadline, for a hearing next Wednesday. Once the plat is approved, the property should be able to proceed to building permit. I think that the site plan you had prepared by Cortland Morgan can be an informational item to address any concerns that they may have regarding access, circulation, parking, etc.

One suggestion is that we have the architect add the parking calculations to the site plan.

Let me know if you have any questions.

Jim Strozier, AICP
Consensus Planning, Inc.
505.764.9801
www.consensusplanning.com

Cynthia Abeyta

From: Sammons, Joshua R. <jsammons@cabq.gov>
Sent: Friday, November 07, 2014 1:37 PM
To: Donna Medina; 'tgaulden@cabq.gov'; 'cbradley@cabq.gov'; Gricius, Michelle A.
Cc: Cynthia Abeyta; Larry Medrano; jgarcia@tierrawestllc.com; Cloud, Jack W.
Subject: RE: DXF submittal for COA project no 1007442 Midway Business Park

Ms. Medina,

The DXF for 1007442 has been approved. I will forward on the signed approval letter.

Thanks,

Joshua Sammons
GIS Coordinator
AGIS - Planning Department
City of Albuquerque
(505) 924-3921

From: Donna Medina [mailto:donna@presurv.com]
Sent: Friday, November 07, 2014 11:10
To: 'tgaulden@cabq.gov'; 'jsammons@cabq.gov'; 'cbradley@cabq.gov'; Gricius, Michelle A.
Cc: Cynthia Abeyta; Larry Medrano; jgarcia@tierrawestllc.com
Subject: DXF submittal for COA project no 1007442 Midway Business Park

Attached is a dxf file for project no. 1007442 Midway Business Park, Tracts 6-B-1-A-1, 7-B-1-A and 8-B-1 and Pdf's of the plat. The coordinate system used was NAD 1983, Central Zone. File provided is based on grid coordinates for the referenced system. Let me know if you have any questions.

Donna Medina
Technician



Physical
5571 Midway Park Place, NE
Albuquerque, NM 87109

Mailing
PO Box 90636
Albuquerque, NM 87199

505-856-5700 phone
505-856-7900 fax
866-442-8011 toll free



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- Administrative Approval (DRT, URT, etc.)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): CITY OF ALBQ PLANNING DEPT. PHONE: 924-3860
 ADDRESS: 600 2ND ST., 3RD FLOOR NW FAX: 924-3839
 CITY: ALBQ STATE NM ZIP 87102 E-MAIL: _____
 APPLICANT: COA COUNCIL SERVICES PHONE: 768-3100
 ADDRESS: CITY/COUNTY BLDG FAX: _____
 CITY: ALBQ STATE NM ZIP 87102 E-MAIL: _____
 Proprietary interest in site: _____ List all owners: CITY WIDE

DESCRIPTION OF REQUEST: AMEND THE SUBDIVISION ORDINANCE TO ALLOW FOR PHASING OF FINAL SUBDIVISION PLATS

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. CITY WIDE Block: _____ Unit: _____
 Subdiv/Addn/TBKA: _____
 Existing Zoning: _____ Proposed zoning: _____ MRGCD Map No _____
 Zone Atlas page(s): _____ UPC Code: _____

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): _____

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? _____
 No. of existing lots: _____ No. of proposed lots: _____ Total site area (acres): _____
 LOCATION OF PROPERTY BY STREETS: On or Near: CITY WIDE
 Between: _____ and _____
 Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE [Signature] DATE _____
 (Print Name) KYM E DICOME Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 11/2014

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>15EPC - 40002</u>	<u>TA</u>	_____	\$ <u>0</u>
<input type="checkbox"/> All fees have been collected	_____	_____	_____	\$ _____
<input type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
	Hearing date <u>Feb. 12, 2015</u>			Total \$ <u>0</u>

[Signature] 1-9-15 Staff signature & Date Project # 1001620

FORM Z: ZONE CODE TEXT & MAP AMENDMENTS, PLAN APPROVALS & AMENDMENTS

ANNEXATION (EPC08)

- Application for zone map amendment including those submittal requirements (see below).
Annexation and establishment of zoning must be applied for simultaneously.
 - Petition for Annexation Form and necessary attachments
 - Zone Atlas map with the entire property(ies) clearly outlined and indicated
NOTE: The Zone Atlas must show that the site is in County jurisdiction, but is contiguous to City limits.
 - Letter describing, explaining, and justifying the request
NOTE: Justifications must adhere to the policies contained in "Resolution 54-1990"
 - Letter of authorization from the property owner if application is submitted by an agent
 - Board of County Commissioners (BCC) Notice of Decision
 - Office of Neighborhood Coordination (ONC) inquiry response form, notification letter(s), certified mail receipts
 - Sign Posting Agreement form
 - Traffic Impact Study (TIS) form
 - List any original and/or related file numbers on the cover application
- EPC hearings are approximately 7 weeks after the filing deadline.* Your attendance is required.

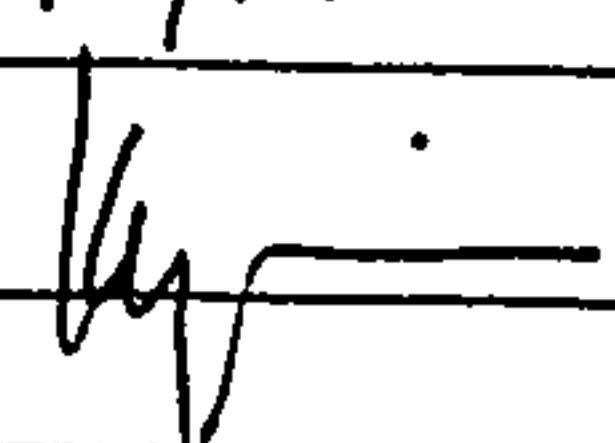
- SDP PHASE I – DRB CONCEPTUAL PLAN REVIEW (DRBPH1)** (Unadvertised)
 - SDP PHASE II - EPC FINAL REVIEW & APPROVAL (EPC14)** (Public Hearing)
 - SDP PHASE II - DRB FINAL SIGN-OFF (DRBPH2)** (Unadvertised)
 - Copy of findings from required pre-application meeting (needed for the DRB conceptual plan review only)
 - Proposed Sector Plan (30 copies for EPC, 6 copies for DRB)
 - Zone Atlas map with the entire plan area clearly outlined and indicated
 - Letter describing, explaining, and justifying the request
 - Office of Neighborhood Coordination (ONC) inquiry response form, notification letter(s), certified mail receipts (for EPC public hearing only)
 - Traffic Impact Study (TIS) form (for EPC public hearing only)
 - Fee for EPC final approval only (see schedule)
 - List any original and/or related file numbers on the cover application
- Refer to the schedules for the dates, times and places of DRB and EPC hearings.* Your attendance is required.

- AMENDMENT TO ZONE MAP - ESTABLISHMENT OF ZONING OR ZONE CHANGE (EPC05)**
 - Zone Atlas map with the entire property clearly outlined and indicated
 - Letter describing, explaining, and justifying the request pursuant to Resolution 270-1980.
 - Letter of authorization from the property owner if application is submitted by an agent
 - Office of Neighborhood Coordination (ONC) inquiry response form, notification letter(s), certified mail receipts
 - Sign Posting Agreement form
 - Traffic Impact Study (TIS) form
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- EPC hearings are approximately 7 weeks after the filing deadline.* Your attendance is required.

- AMENDED TO SECTOR DEVELOPMENT MAP (EPC03)**
 - AMENDMENT SECTOR DEVELOPMENT, AREA, FACILITY, OR COMPREHENSIVE PLAN (EPC04)**
 - Proposed Amendment referenced to the materials in the Plan being amended (text and/or map)
 - Plan to be amended with materials to be changed noted and marked
 - Zone Atlas map with the entire plan/amendment area clearly outlined
 - Letter of authorization from the property owner if application is submitted by an agent (map change only)
 - Letter describing, explaining, and justifying the request pursuant to Resolution 270-1980 (Sector Plan map change only)
 - Letter briefly describing, explaining, and justifying the request
 - Office of Neighborhood Coordination (ONC) inquiry response form, notification letter(s), certified mail receipts (for sector plans only)
 - Traffic Impact Study (TIS) form
 - Sign Posting Agreement
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- EPC hearings are approximately 7 weeks after the filing deadline.* Your attendance is required.


- AMENDMENT TO ZONING CODE OR SUBDIVISION REGULATORY TEXT (EPC07)**
 - Amendment referenced to the sections of the Zone Code/Subdivision Regulations being amended
 - Sections of the Zone Code/Subdivision Regulations to be amended with text to be changed noted and marked
 - Letter describing, explaining, and justifying the request
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- EPC hearings are approximately 7 weeks after the filing deadline.* Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

KYM DICOME

 Applicant name (print)
 1-9-2015
 Applicant signature & Date



- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
 15EPC-40002

Revised: June 2011

 1-9-15
 Staff signature & Date
 Project # 1001620

**CITY OF ALBUQUERQUE
CITY COUNCIL**

INTEROFFICE MEMORANDUM

TO: Suzanne Lubar, Director, Planning Department

FROM: Jon K. Zaman, Director, Council Services

SUBJECT: Bill No. O-14-33

DATE: December 16, 2014

Jon 12/22/14

The attached ordinance was introduced by the City Council on December 15, 2014. The intent of this ordinance is to amend the Subdivision Ordinance to allow for phasing of final subdivision plats.

We request that you submit this ordinance to the Environmental Planning Commission for a hearing as soon as possible. Please note that the Subdivision Ordinance calls for this amendment to be evaluated by the Planning Director and the Development Review Board (the "DRB") before the Planning Commission's hearing.

Please submit the Planning Director's and DRB's evaluations, and the Environmental Planning Commission's comments and recommendations, including the transcript from the meeting, back to the City Council as soon as possible. Thank you.

cc: Russell Brito, Planning Department
Kym Dicome, Planning Department
File O-14-33

[+ Bracketed/Underscored Material+] - New
[-Bracketed/Strikethrough Material-] - Deletion

1 SECTION 3. SECTION 14-14-3-5, FINAL PLAT, SUBSECTION A, IS HEREBY
2 AMENDED AS FOLLOWS:

3 (A) Purpose and Intent.

4 (1) The final plat when recorded is the legal instrument which will allow
5 transfer of land within the subdivision to take place. Legal
6 commitments, dedications, assurances, [+ phasing plan
7 requirements,+] and any other special agreements must be explicitly
8 stated either upon the plat or by separate instrument to which reference
9 is made on the subdivision plat. All agreements between the subdivider
10 and the city shall be in writing and recorded as appropriate.

11 (2) The final plat must be approved by the Development Review Board if
12 it substantially conforms to the preliminary plat as approved, including
13 any [+ phasing plan,+] modifications[+ ,_or+] [-and-] conditions
14 specified in the preliminary plat approval.

15 SECTION 4. SEVERABILITY CLAUSE. If any section, paragraph, sentence,
16 clause, word or phrase of this Ordinance is for any reason held to be invalid or
17 unenforceable by any court of competent jurisdiction, such decision shall not
18 affect the validity of the remaining provisions of this Ordinance. The Council
19 hereby declares that it would have passed this Ordinance and each section,
20 paragraph, sentence, clause, word or phrase thereof irrespective of any
21 provisions being declared unconstitutional or otherwise invalid.

22 SECTION 5. COMPILATION. Sections 1, 2 and 3 of this Ordinance shall
23 amend, be incorporated in and made part of the Revised Ordinances of
24 Albuquerque, New Mexico, 1994.

25 SECTION 6. EFFECTIVE DATE. This Ordinance shall take effect five days
26 after publication by title and general summary.

PROJECT #
10074112

January 7, 2014

24

City of Albuquerque Planning Department
One Stop Shop – Development and Building Services

08/26/2008 Issued By: PLNSDH

Permit Number: 2008 070 375 **Category Code 910**

Application Number: 08DRB-70375, Minor - Preliminary/ Final Plat Approval

Address:

Location Description: MIDWAY PARK BLVD NE BETWEEN SINGER BLVD NE AND OFFICE BLVD NE

Project Number: 1007442

Applicant
3821 Singer Llc
Steve Jarrett
1108 Salmanca Nw
Albuquerque NM 87107
261-6288

Agent / Contact
The Survey Office

333 Lomas Blvd Ne
Albuquerque NM 87102
988-0303

Application Fees

441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	\$20.00
441006/4983000	DRB Actions	\$285.00
TOTAL:		\$305.00

City Of Albuquerque
Treasury Division

8/26/2008 12:10PM LDC: ANNX
WS# 007 TRANS# 0023
RECEIPT# 00103095-00103095
PERMIT# 2008070375 TRSLJS
Trans Amt \$305.00
Conflict Manag. Fee \$20.00
DRB Actions \$285.00
CK \$305.00
CHANGE \$0.00

Thank You

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

PRELIM/FINAL

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- D** Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

Professional/Agent (if any): THE SURVEY OFFICE PHONE: 998-0303
 ADDRESS: 333 LOMAS BLVD NE FAX: 998-0305
 CITY: ALBU STATE NM ZIP 87102 E-MAIL: _____

APPLICANT: STEVE JARRETT, 3821 SINGER LLC PHONE: 261-6288
 ADDRESS: 1108 SALAMANCA NW FAX: _____
 CITY: LOS RANCHOS STATE NM ZIP 87107 E-MAIL: _____

Proprietary interest in site: OWNER List all owners: _____

DESCRIPTION OF REQUEST: ADJUST A LOT LINE BETWEEN TWO EXISTING TRACTS, CREATING TWO NEW TRACTS.

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes No

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. TRACT 1B-1 & 7-B Block: N/A Unit: N/A
 Subdiv/Addn/TBKA: MIDWAY BUSINESS PARK
 Existing Zoning: IP Proposed zoning: N/A
 Zone Atlas page(s): E-17-2 UPC Code: 1-017-061-084-520-20302 MRGCD Map No N/A
1-017-062-039-005-30101

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z-, V-, S-, etc.): AX 79-17
279-94

CASE INFORMATION:

Within city limits? Yes No Within 1000FT of a landfill? NO
 No. of existing lots: 2 No. of proposed lots: 2 Total area of site (acres): 3.5400
 LOCATION OF PROPERTY BY STREETS: On or Near: MIDWAY PARK BLVD NE
 Between: SINGER BLVD NE and OFFICE BLVD NE

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE Sarah Gibson DATE 8/26/08
 (Print) SARAH GIBSON Applicant: Agent:

FOR OFFICIAL USE ONLY

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>08283</u> <u>70375</u>	<u>P&E</u>	<u>5(3)</u>	<u>\$ 285.00</u>
	<u>CME</u>		<u>\$ 20.00</u>
			\$ _____
			\$ _____
			\$ _____
			\$ _____
			\$ _____
			Total
			<u>\$ 305.00</u>

Hearing date 09/03/08
Sandy Handley 08/26/08 Project # 1007442
 Planner signature / date

Form revised 4/07

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

SKETCH PLAT REVIEW AND COMMENT (DRB22) Your attendance is required.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08) Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Copy of DRB approved infrastructure list
 - Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
 - List any original and/or related file numbers on the cover application
- Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12) Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations & cross sections of perimeter walls **3 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- List any original and/or related file numbers on the cover application
- DXF file and hard copy of final plat data for AGIS is required.

MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16) Your attendance is required.

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations and cross sections of perimeter walls (11" by 17" maximum) **3 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- Fee (see schedule)
- List any original and/or related file numbers on the cover application
- Infrastructure list if required (**verify with DRB Engineer**)
- DXF file and hard copy of final plat data for AGIS is required.

AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03) Your attendance is required.

- PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.
- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - List any original and/or related file numbers on the cover application
- Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

SARAH GIBSON
 Applicant name (print)
Sarah Gibson 8/26/08
 Applicant signature / date

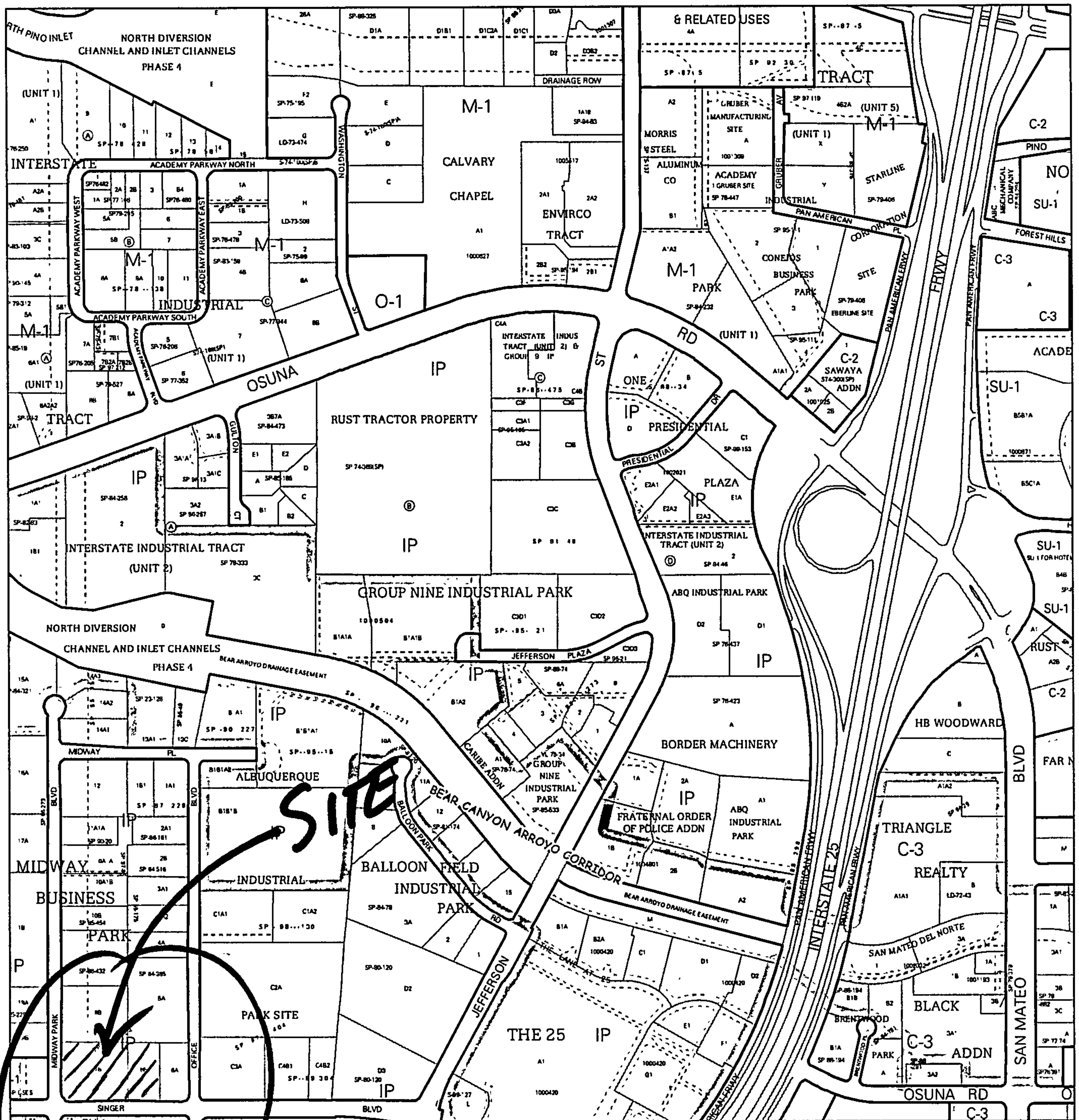


Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
 08DRB- _____ -70375

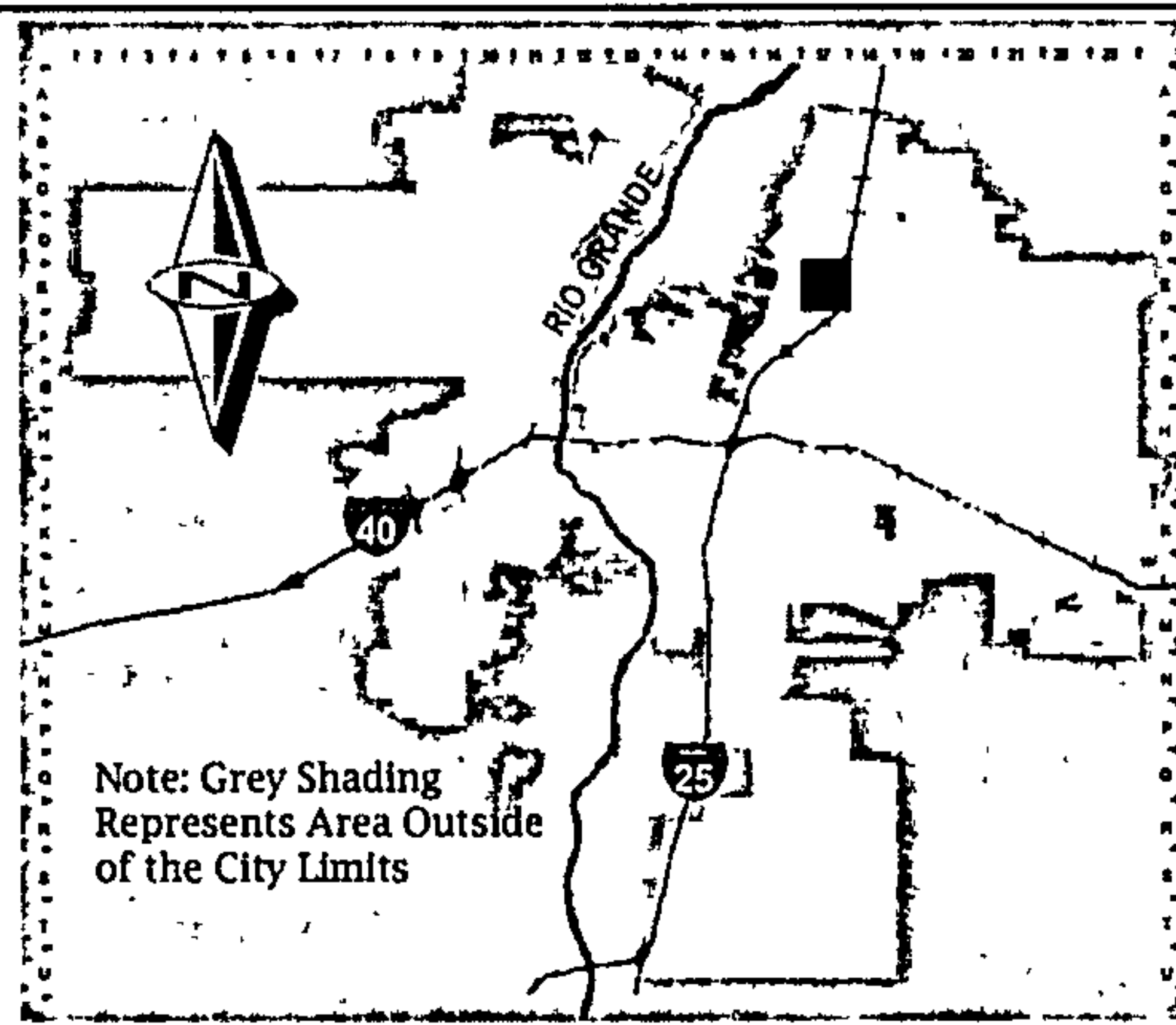
Sandy Handley 08/26/08
 Planner signature / date
 Project # 1007442



For more current information and more details visit: <http://www.cabq.gov/gis>

AGIS
Albuquerque Geographic Information System

Map amended through: 6/13/2008



Zone Atlas Page:
E-17-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet

***THE SURVEY OFFICE
333 LOMAS BLVD, NE
ALBUQUERQUE, NEW MEXICO 87102
(505) 998-0303 (505) FAX 998-0305***

August 26, 2008

DEVELOPMENT REVIEW BOARD MEMBERS
600 SECOND STREET NW
PLAZA DEL SOL
ALBUQUERQUE, NM 87102

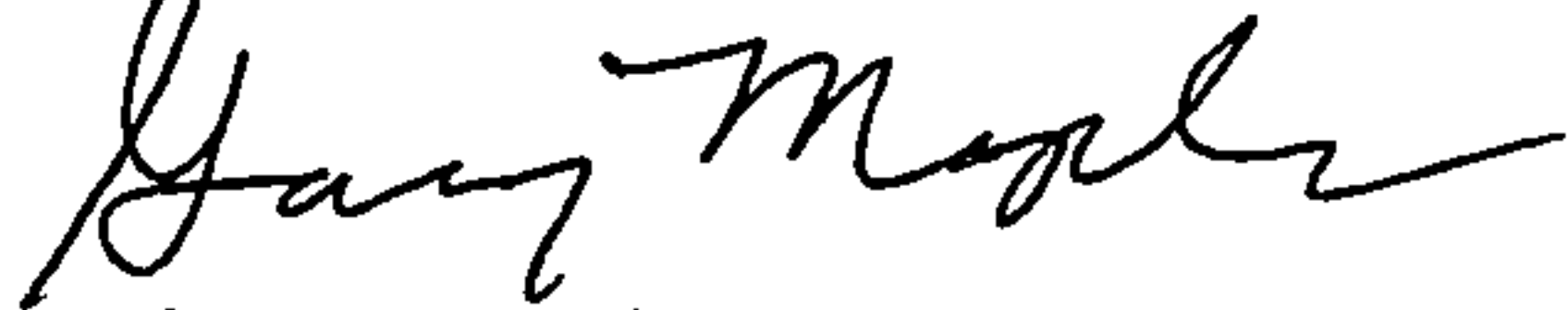
REF: TRACTS 6-B-1-A & 7-B-1, MIDWAY BUSINESS PARK

Dear Board Members:

The purpose of the above referenced replat is to adjust a lot line between two existing tracts creating tow new tracts. The property has an existing building (school) with current sewer & water account.

If you have any questions please feel free to contact me.

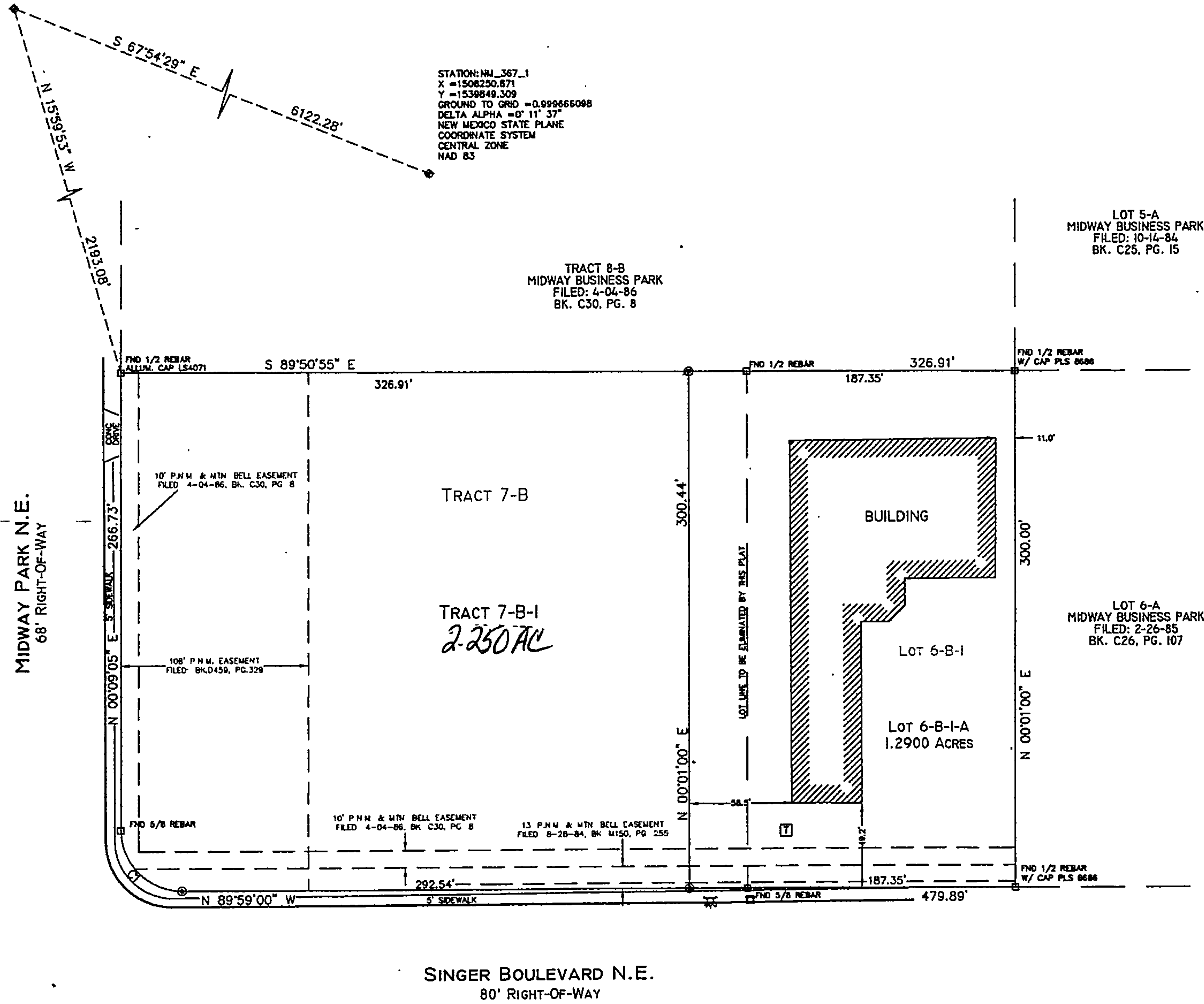
Sincerely,



Gary Maple
President

STATION: NDC_12_102
X = 1510553.426
Y = 1534176.518
GROUND TO GRID = 0.999672928
DELTA ALPHA = 0° 12' 15"
NEW MEXICO STATE PLANE
COORDINATE SYSTEM
CENTRAL ZONE
NAD 83

STATION: NM_367_1
X = 1508250.871
Y = 1539849.309
GROUND TO GRID = 0.999666098
DELTA ALPHA = 0° 11' 37"
NEW MEXICO STATE PLANE
COORDINATE SYSTEM
CENTRAL ZONE
NAD 83



SINGER BOULEVARD N.E.
80' RIGHT-OF-WAY



DEVELOPMENT REVIEW BOARD SUPPLEMENTAL SUBMITTAL

PROJECT NO. 1007442

TO: ALL MEMBERS

Application No. 14-DRB-70427

Jack Cloud, DRB Chairman, Planning Department

Curtis Cherne, P.E., Hydrology

Kristal Metro, P.E., Transportation Development

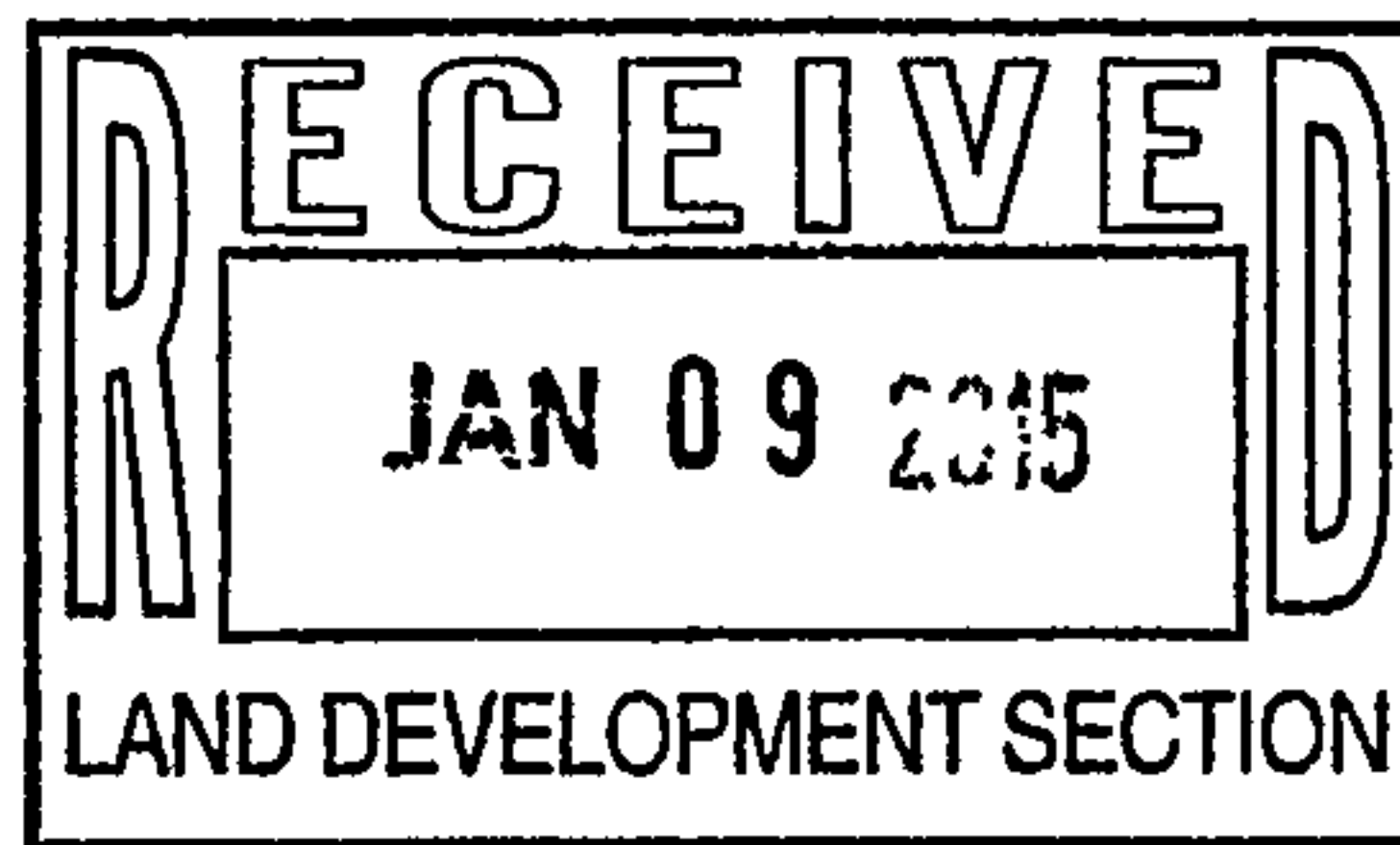
Allan Porter, P.E., Albuquerque/ Bernalillo Co.WUA

Carol Dumont, Parks/Municipal Development

NEXT HEARING DATE: January 14, 2015

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON. IF THE APPLICANT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFIINITELY DEFERRED ON A NO SHOW.

SUBMITTAL DESCRIPTION: _____



CONTACT NAME: Cynthia L. Abeyta

TELEPHONE: 505.856.5700 EMAIL: cynthia@presurv.com

Current DRC
Project Number: _____

FIGURE 12

Date Submitted: January 9, 2015
 Date Site Plan Approved: _____
 Date Preliminary Plat Approved: _____
 Date Preliminary Plat Expires: _____
 DRB Project No.: 1007442
 DRB Application No.: 14-DRB-70427

INFRASTRUCTURE LIST
 (Rev 9-20-05)
EXHIBIT "A"
 TO SUBDIVISION IMPROVEMENTS AGREEMENT
 DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Lot 6-B-1-A-1, 7-B-1-A, and 8-B-1, Midway Business Park
 PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Lot 6-B-1-A and 7-B-1, Midway Business Park
 EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
<input type="text"/>	<input type="text"/>	4'	Public Sidewalk	Midway Park Blvd. NE	West Property Line	Singer Blvd. NE	/	/	/
<input type="text"/>	<input type="text"/>	6'	Public Sidewalk	Singer Blvd. NE	South Property Line	Midway Park Blvd.	/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
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<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
Approval of Creditable Items:							Approval of Creditable Items:		
Impact Fee Administrator Signature Date							City User Dept. Signature Date		

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

1

2

3

AGENT / OWNER

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

Larry W. Medrano
NAME (print)

_____ DRB CHAIR - date

_____ PARKS & RECREATION - date

Precision Surveys, Inc.
FIRM

_____ TRANSPORTATION DEVELOPMENT - date

_____ AMAFCA - date



SIGNATURE - date

_____ UTILITY DEVELOPMENT - date

_____ - date

_____ CITY ENGINEER - date

_____ - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER