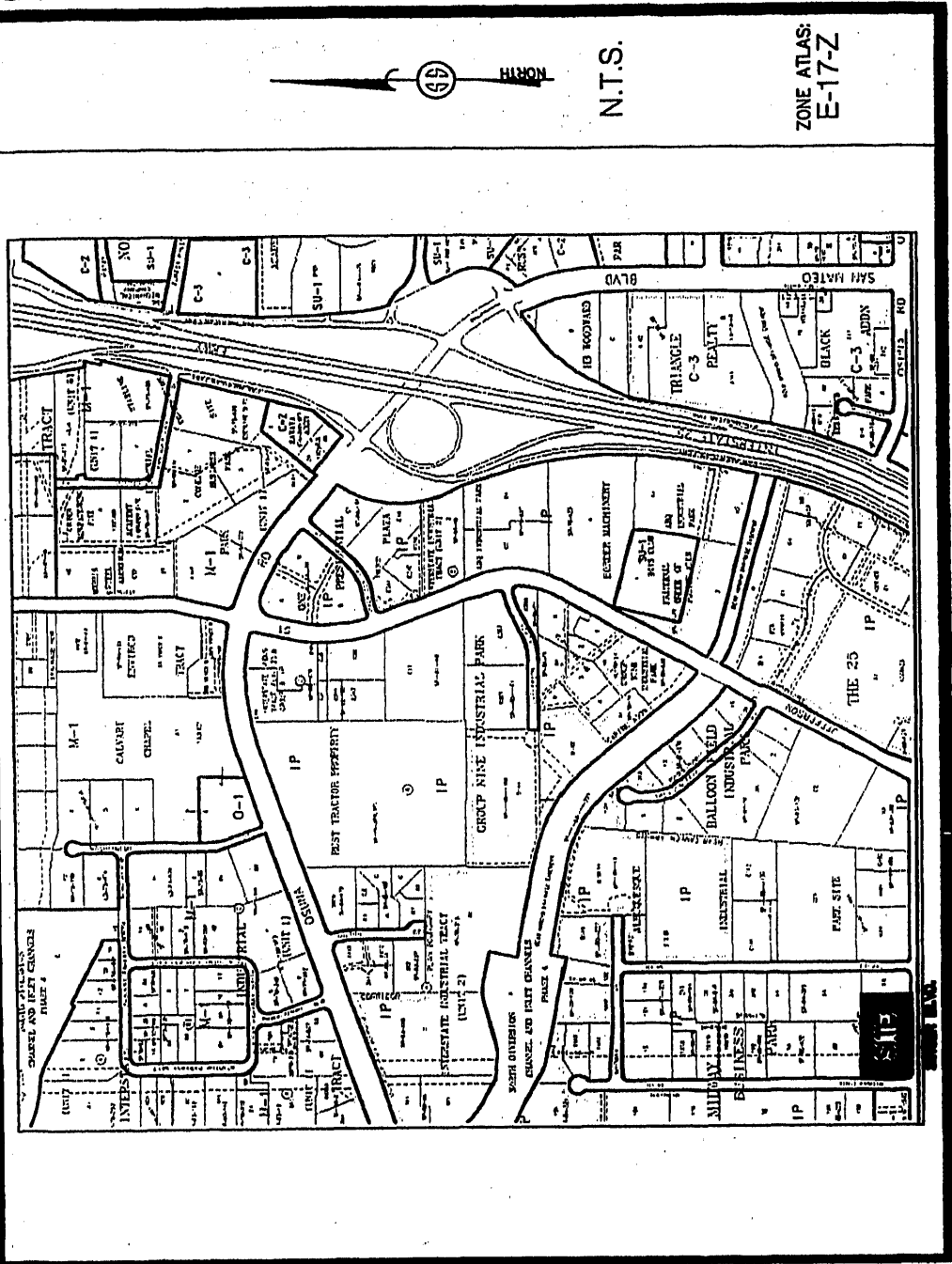


11 AUG 11 2008 5510-40

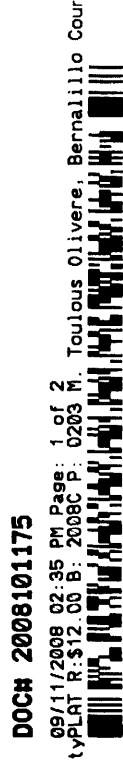


Vicinity Map

**PLAT OF
TRACTS 6-B-1-A & 7-B-1
MIDWAY BUSINESS PARK
PROJECTED SECTIONS 26 & 35, T. 11 N., R 3 E., N.M.P.M.
ELENA GALLEGOS GRANT
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
AUGUST 2008
SHEET 1 OF 2**

DISCLOSURE STATEMENT

THE PURPOSE OF THIS PLAT IS TO ADJUST A LOT LINE BETWEEN TWO (2) EXISTING TRACTS CREATING TWO NEW TRACTS.



LEGAL DESCRIPTION

Tract numbered Six-B-One (6-B-1) plat of MIDWAY BUSINESS PARK, Albuquerque, New Mexico as the same is shown and designated on said plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on February 26, 1986 in Volume C26, Folio 107;
AND
Tract numbered Seven-B (7-B) of MIDWAY BUSINESS PARK, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on April 4, 1986 in Volume C30, Folio 8.

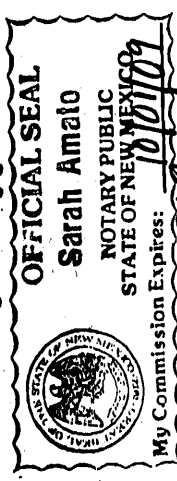
FREE CONSENT

THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THE PROPERTY DESCRIBED HEREON DO I HEREBY CONSENT TO THE PLATTING OF SAID PROPERTY AS SHOWN HEREON AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THEIR DESIRES AND SAID OWNERS WARRANT THAT THEY HOLD COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

SUBDIVISION DATA / NOTES

1. PLAT WAS COMPILED USING EXISTING RECORD DATA & ACTUAL FIELD SURVEY.
2. BEARINGS ARE N.M. STATE PLANE GRID BEARINGS, CENTRAL ZONE, NAD 83, AND ARE BASED ON AGRS CONTROL MONUMENTS "NDS-12-1D2" AND "NM-367-1".
3. DISTANCES ARE HORIZONTAL GROUND DISTANCES IN US FEET.
4. PLAT SHOWS ALL EASEMENTS OF RECORD.
5. RECORD BEARINGS AND DISTANCES IN PARENT-HESES () ARE FROM THE PLAT OF MIDWAY BUSINESS PARK, FILED IN ON APRIL 04, 1986 IN VOLUME C30, FOLIO 8.
6. GROSS AREA- 3.5400 ACRES
7. NUMBER OF EXISTING TRACTS/LOTS: 2
8. NUMBER OF TRACTS/LOTS CREATED: 2
9. NO PROPERTY WITHIN THE AREA OF THIS PLAT SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT. THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT.

OWNER(S) SIGNATURE: Steve P. Jarrett
OWNER(S) PRINT NAME: STEVE P. JARRETT
ACKNOWLEDGMENT
STATE OF NEW MEXICO)
COUNTY OF BERNALILLO)



THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 26th DAY OF AUGUST, 2008.
BY: STEVE P. JARRETT
MY COMMISSION EXPIRES: 10-01-09
Sarah Amato
NOTARY PUBLIC

CITY APPROVALS: PROJECT NO: 1007442 APPLICATION NO: 08X06-70375
CITY SURVEYOR: [Signature] DATE: 8-26-08
[Signature] DATE: 9/3/08
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION
PARKS & RECREATION DEPARTMENT
Christina Gonzalez DATE: 9/3/08
Roger A. Juan DATE: 9/3/08
A.B.C.W.U.A.
Bradley d. Bingham DATE: 9/3/08
A.M.A.F.C.A.
Bradley d. Bingham DATE: 9/3/08
CITY ENGINEER
[Signature] DATE: 9/3/08
DRP-CHAIRPERSON, PLANNING DEPARTMENT

SURVEYORS CERTIFICATION

I, Gary E. Gritsko, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico and is true & correct to the best of my knowledge and belief.

Gary E. Gritsko Date: August 25, 2008
Gary E. Gritsko
New Mexico Professional Surveyor No. 8686



THE SURVEY OFFICE, LLC

333 LOMAS BLVD., N.E.
ALBUQUERQUE, NEW MEXICO 87102
PHONE: (505) 998-0303
FAX: (505) 998-0306

T11N R3E SEC. 26 & 35

THIS IS TO CERTIFY THAT TAXES ARE CURRENT & PAID ON

UPC#: 01100205400301
PROPERTY OWNER OF RECORD:
THE SURVEY OFFICE, LLC
BERNALILLO COUNTY TREASURER'S OFFICE
[Signature] 9/11/2008

PLAT OF
TRACTS 6-B-1-A & 7-B-1
MIDWAY BUSINESS PARK
 PROJECTED SECTIONS 26 & 35, T. 11 N., R. 3 E., N.M.P.M.
 ELENA GALLEGOS GRANT
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 AUGUST 2008
 SHEET 2 OF 2

DOCH 2008101175

08/11/2008 02:35 PM Rep: 0203 R
 Toulous O'Leary, Bernalillo Cour
 PLAT R-512 00 B' 2008 CP: 0203 R

STATION: MDS_12_102
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 Y = 1534176.519
 GROUND TO GRID = 0.999672928
 DELTA ALPHA = 0.1216.66
 HORIZONTAL STATE PLANE
 COORDINATE SYSTEM
 CENTRAL ZONE
 NAD 83

STATION: NM_367_1
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 Y = 1539849.309
 GROUND TO GRID = 0.99966098
 DELTA ALPHA = 0.1216.66
 HORIZONTAL STATE PLANE
 COORDINATE SYSTEM
 CENTRAL ZONE
 NAD 83

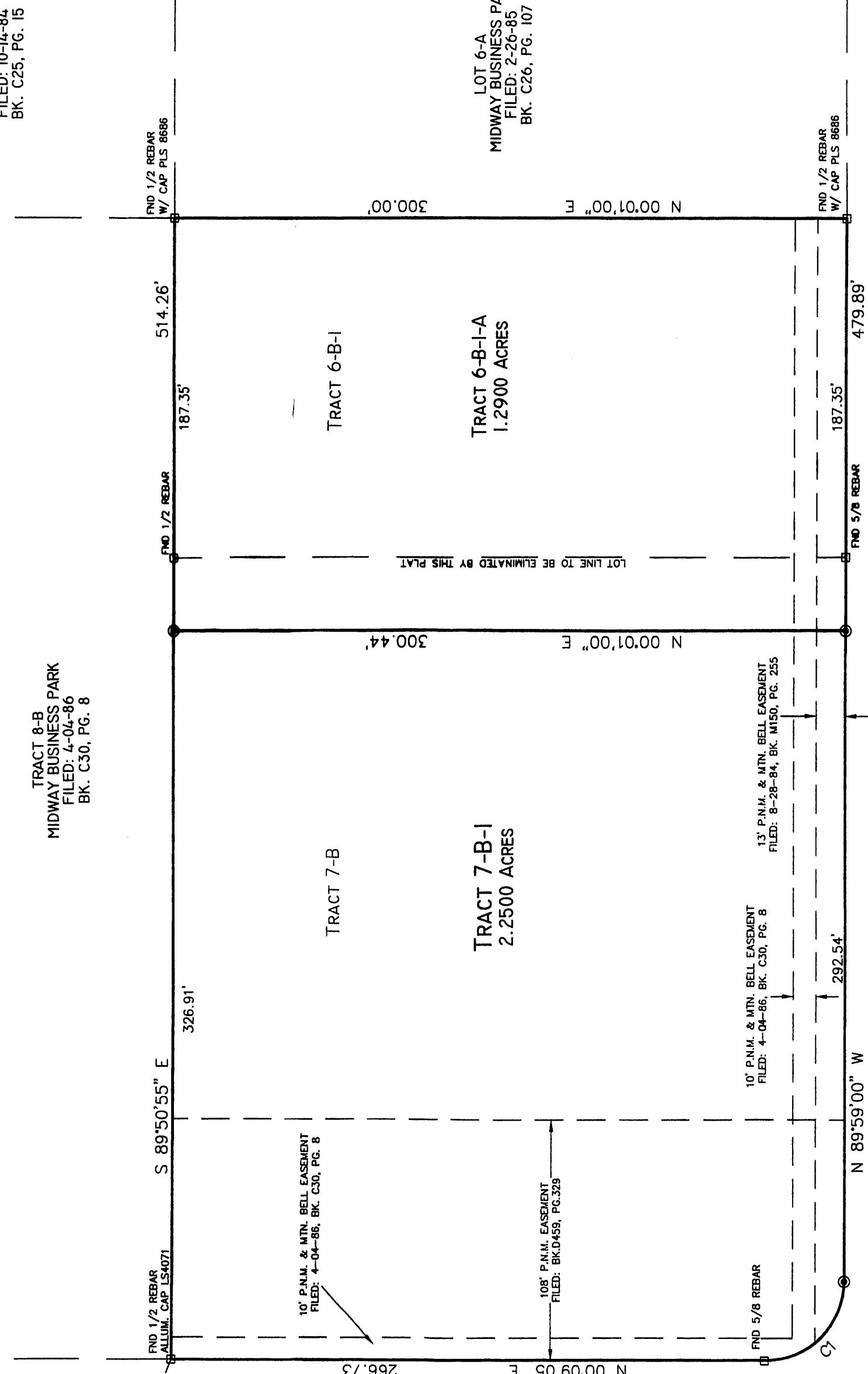
LOT 5-A
 MIDWAY BUSINESS PARK
 FILED: 10-11-84
 BK: C25, PG. 15

TRACT 8-B
 MIDWAY BUSINESS PARK
 FILED: 7-04-86
 BK: C30, PG. 8

LOT 6-A
 MIDWAY BUSINESS PARK
 FILED: 2-26-85
 BK: C26, PG. 107

MIDWAY PARK N.E.
 68' RIGHT-OF-WAY

SINGER BOULEVARD N.E.
 80' RIGHT-OF-WAY



CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C1	55.06	35.00	89°09'10"	90°08'05"	54.09

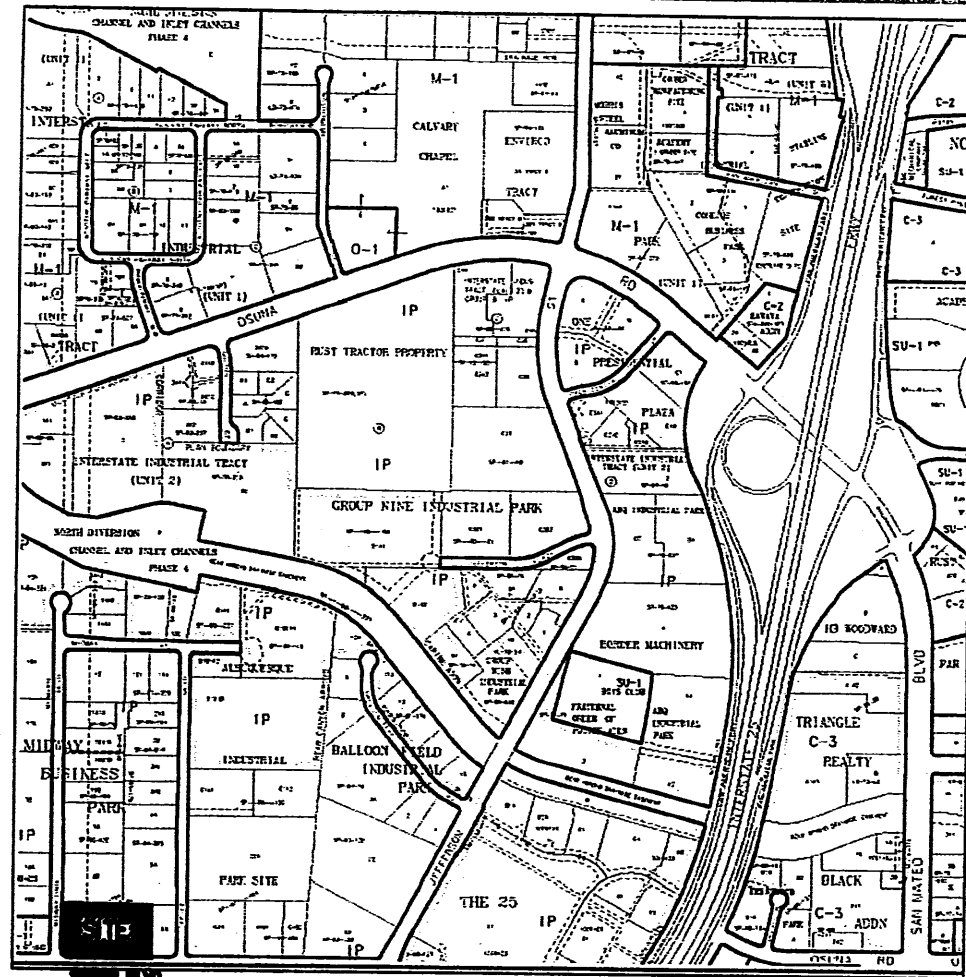
MONUMENT LEGEND

- - FOUND MONUMENT AS NOTED
- ⊙ - SET 1/2" REBAR W/CAP STAMPED "PLS 8686" UNLESS OTHERWISE NOTED

THE SURVEY OFFICE, LLC

333 LOMAS BLVD., N.E.
 ALBUQUERQUE, NEW MEXICO 87102
 PHONE: (505) 998-0303
 FAX: (505) 998-0306

T11N R3E SEC. 26 & 35



ZONE ATLAS:
E-17-Z

Vicinity Map

**PLAT OF
TRACTS 6-B-1-A & 7-B-1
MIDWAY BUSINESS PARK**
PROJECTED SECTIONS 26 & 35, T. 11 N., R 3 E., N.M.P.M.
ELENA GALLEGOS GRANT
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
AUGUST 2008
SHEET 1 OF 2

LEGAL DESCRIPTION

Tract numbered Six-B-One (6-B-1) plat of MIDWAY BUSINESS PARK, Albuquerque, New Mexico as the same is shown and designated on said plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on February 26, 1985 in Volume C26, Folio 107;
AND
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DISCLOSURE STATEMENT

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CITY APPROVALS: PROJECT NO: APPLICATION NO:
[Signature] 8-26-08
CITY SURVEYOR DATE

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE

PARKS & RECREATION DEPARTMENT DATE

A.B.C.W.U.A. DATE

A.M.A.F.C.A. DATE

CITY ENGINEER DATE

DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

SUBDIVISION DATA / NOTES

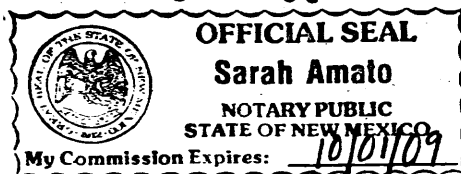
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OWNER(S) SIGNATURE: *[Signature]*
OWNER(S) PRINT NAME: **STEVEN P. FARRETT**

ACKNOWLEDGMENT
STATE OF NEW MEXICO)
) SS
COUNTY OF BERNALILLO)



THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 26th DAY OF AUGUST, 2008.

BY: *[Signature]*
STEVEN P. FARRETT

MY COMMISSION EXPIRES: 10-01-09

[Signature]
Sarah Amato
NOTARY PUBLIC

THIS IS TO CERTIFY THAT TAXES ARE CURRENT & PAID ON
UPC#: _____
PROPERTY OWNER OF RECORD: _____
BERNALILLO COUNTY TREASURER'S OFFICE: _____



SURVEYOR'S CERTIFICATION

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[Signature] AUGUST 25, 2008
Gary E. Gritsko Date
New Mexico Professional Surveyor No. 8686

THE SURVEY OFFICE, LLC

333 LOMAS BLVD., N.E. PHONE: (505) 998-0303
ALBUQUERQUE, NEW MEXICO FAX: (505) 998-0306
87102

T11N R3E SEC. 26 & 35

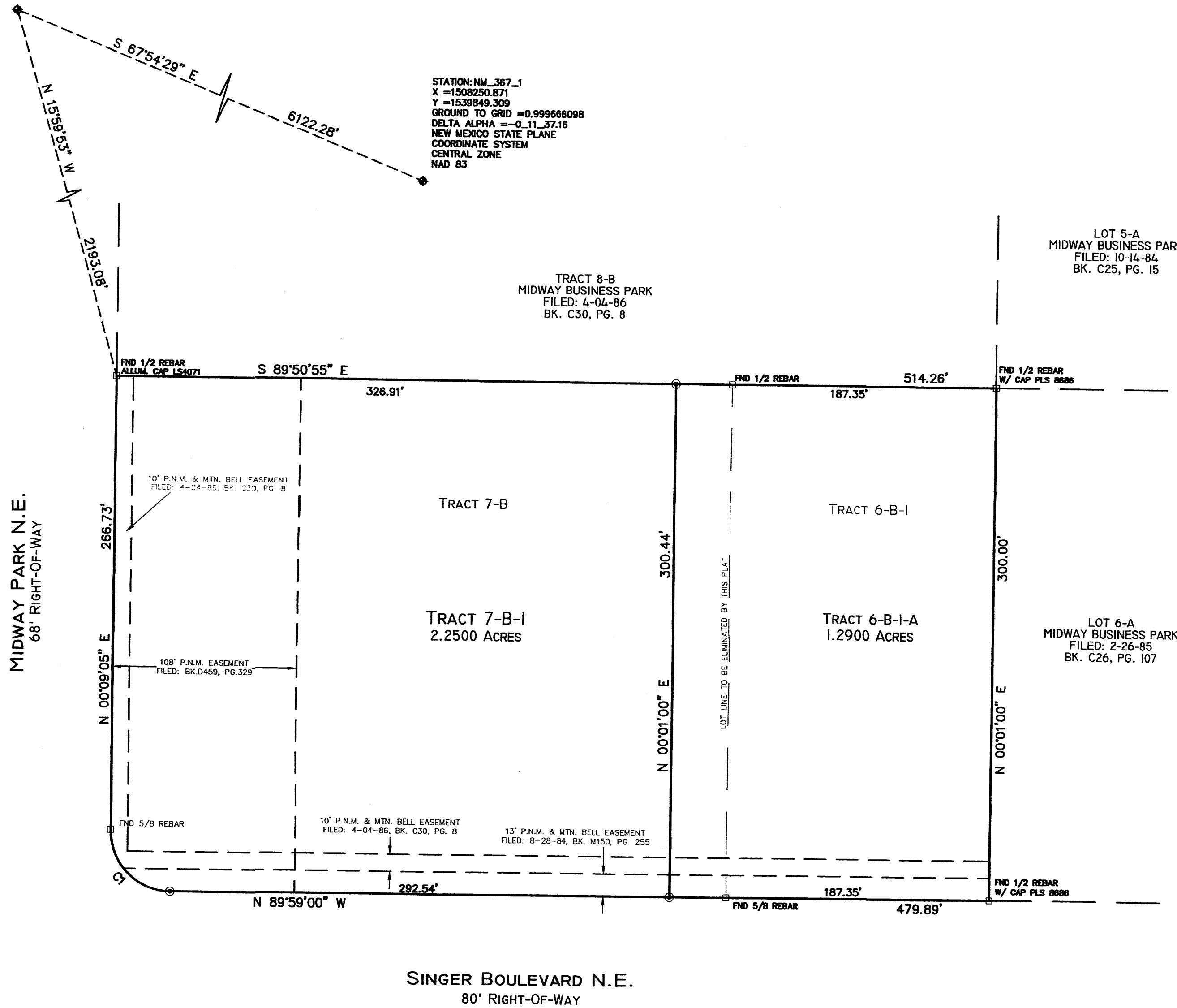
1" = 50'
 PROJECT NO. 0808AT03
 DRAWN BY: AT
 ZONE ATLAS: E-17-Z



PLAT OF
 TRACTS 6-B-1-A & 7-B-1
 MIDWAY BUSINESS PARK
 PROJECTED SECTIONS 26 & 35, T. 11 N., R 3 E., N.M.P.M.
 ELENA GALLEGOS GRANT
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 AUGUST 2008
 SHEET 2 OF 2

STATION: NDC_12_1D2
 X = 1510553.426
 Y = 1534176.519
 GROUND TO GRID = 0.999672928
 DELTA ALPHA = -0_12_16.66
 NEW MEXICO STATE PLANE
 COORDINATE SYSTEM
 CENTRAL ZONE
 NAD 83

STATION: NM_367_1
 X = 1508250.871
 Y = 1539849.309
 GROUND TO GRID = 0.999666098
 DELTA ALPHA = -0_11_37.16
 NEW MEXICO STATE PLANE
 COORDINATE SYSTEM
 CENTRAL ZONE
 NAD 83



MONUMENT LEGEND

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- ⊙ - SET 1/2" REBAR W/CAP STAMPED "PLS 8686" UNLESS OTHERWISE NOTED

CURVE TABLE					
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THE SURVEY OFFICE, LLC

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 ALBUQUERQUE, NEW MEXICO FAX: (505) 998-0306
 87102

T11N R3E SEC. 26 & 35

Runoff Calculations:

The following calculations are based on Zone 2 from Table A-9 found in the Albuquerque Development Process Manual, Section 22.2 page 15.

ZONE	1	2	3	4
100 YEAR PEAK DISCHARGE - TABLE A-9	1.250	2.030	2.870	4.370
2	1.560	2.280	3.140	4.700
3	1.870	2.600	3.450	5.020
4	2.200	2.920	3.730	5.250

Subbasin 1:

Treatment Type Areas for Subbasin 1:
 $Area_{S1} = 0$ $Area_{S2} = 0$ $Area_{S3} = 0.1714$ $Area_{S4} = 0.3282$ Ac
 $Q_{S1} = 1.560 \cdot Area_{S1} + 2.280 \cdot Area_{S2} + 3.140 \cdot Area_{S3} + 4.700 \cdot Area_{S4} = 2.081$ cfs

Subbasin 2:

Treatment Type Areas for Subbasin 2:
 $Area_{S1} = 0$ $Area_{S2} = 0$ $Area_{S3} = 0.1098$ $Area_{S4} = 1.0297$ Ac
 $Q_{S2} = 1.560 \cdot Area_{S1} + 2.280 \cdot Area_{S2} + 3.140 \cdot Area_{S3} + 4.700 \cdot Area_{S4} = 5.184$ cfs

Subbasin 3:

Treatment Type Areas for Subbasin 3:
 $Area_{S1} = 0$ $Area_{S2} = 0$ $Area_{S3} = 0.3508$ $Area_{S4} = 0.9815$ Ac
 $Q_{S3} = 1.560 \cdot Area_{S1} + 2.280 \cdot Area_{S2} + 3.140 \cdot Area_{S3} + 4.700 \cdot Area_{S4} = 5.715$ cfs

Total:
 $Q_{Total} = Q_{S1} + Q_{S2} + Q_{S3} = 12.98$ cfs

Water Quality First Flush Volumes Required

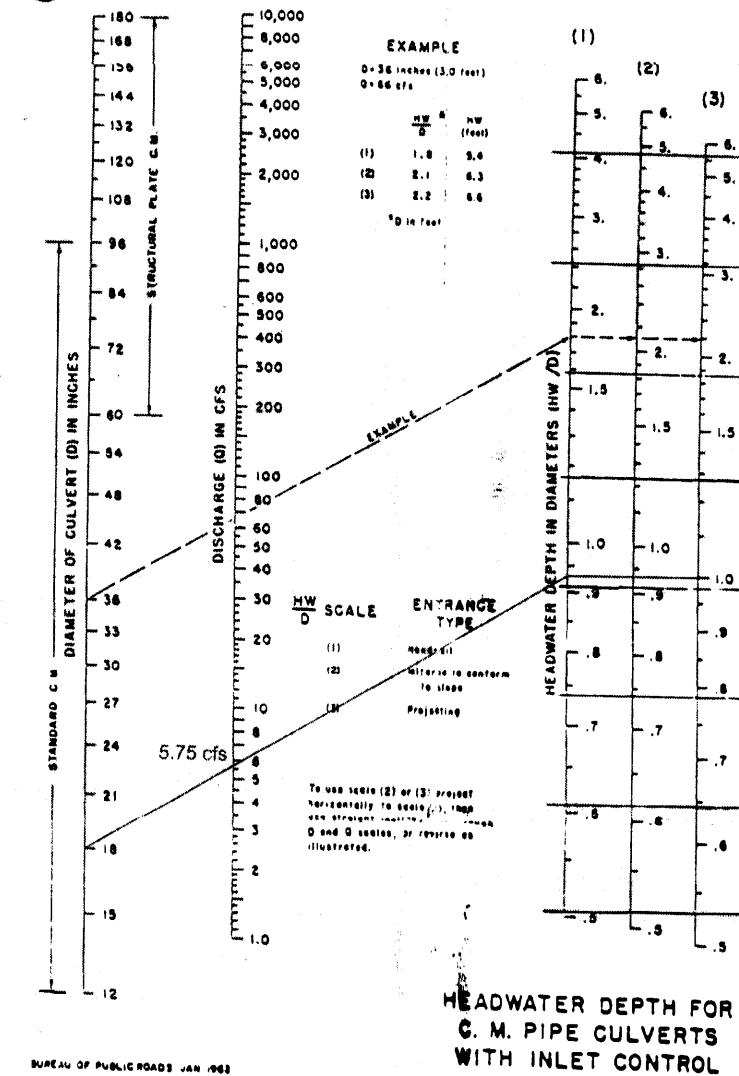
Pond #	$P_{100} = Area_{S1} \cdot 43560 \cdot \frac{0.34}{12}$ cu. ft.
Pond 1:	405.064
Pond 2:	1270.856
Pond 3:	1211.367
Total Pond Volume:	$P_{100} = P_{100,1} + P_{100,2} + P_{100,3} = 2887.287$ cu. ft.

Pond #	Elev.	Area (Cu. Ft.)	Vol (Cu. Ft.)	Cum. (Cu. Ft.)	Cum. (Ac-ft)
Pond 1	5117.75	214.2098	0	0	0
	5118.25	499.3876	178.39935	178.39935	0.004
	5118.75	802.1949	325.395625	503.794975	0.012

Pond #	Elev.	Area (Cu. Ft.)	Vol (Cu. Ft.)	Cum. (Cu. Ft.)	Cum. (Ac-ft)
Pond 2	5110.75	3.7036	0	0	0
	5111.25	53.4338	14.28435	14.28435	0.000
	5111.75	159.4263	53.215025	67.499375	0.002
	5112.25	318.6876	119.528475	187.02785	0.004
	5112.75	499.8758	204.64085	391.6687	0.009
	5113.25	697.9785	299.463575	691.132275	0.016
Pond 3	5113.75	912.7591	402.6844	1093.816675	0.025
	5114.25	1144.2227	514.24545	1608.062125	0.037

Pond #	Elev.	Area (Cu. Ft.)	Vol (Cu. Ft.)	Cum. (Cu. Ft.)	Cum. (Ac-ft)
Pond 3	5116.75	80.9655	0	0	0
	5117.25	236.9095	79.46875	79.46875	0.002
	5117.75	410.4333	161.8357	241.30445	0.006
	5118.25	601.541	252.993575	494.298025	0.011
	5118.75	810.2327	352.943425	847.24145	0.019

CHART 2



Manning Formula:

Triangular Channel Input

Flow: 0.3 cfs
 Slope: 0.0085 ft/ft
 Manning's n: 0.035
 Base Width: 0 ft
 Right Side Slope: 3:1
 Left Side Slope: 3:1

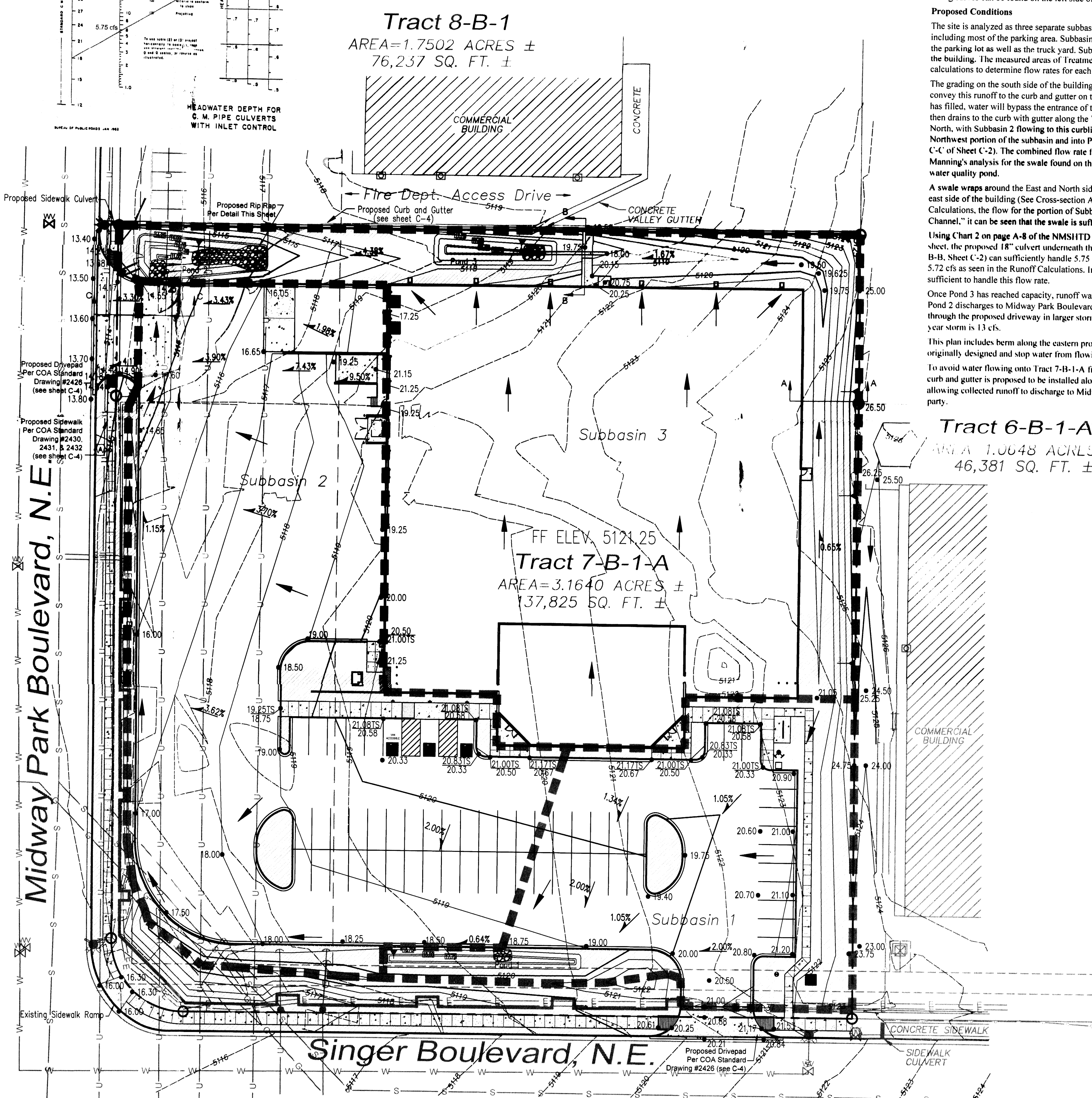
Output:
 Depth: 0.320 ft
 Flow Area: 0.308 sq ft
 Velocity: 0.975 fps
 Top Width: 1.92 ft
 Froude Number: 0.429
 Critical Depth: 0.228 ft
 Critical Slope: 0.0395 ft/ft

Manning Formula:

Circular Channel Input

Flow: 5.75 cfs
 Slope: 0.075 ft/ft
 Manning's n: 0.024
 Diameter: 18 in

Output:
 Depth: 0.631 ft
 Flow Area: 0.705 sq ft
 Velocity: 8.15 fps
 Top Width: 1.03 ft
 Froude Number: 1.48
 Critical Depth: 0.258 ft
 Critical Slope: 0.0098 ft/ft



Purvis Industries Warehouse Drainage

Background

Tract 7-B-1-A is allowed free discharge per the Drainage report for Singer Business Park (1985). This site has already been developed in accordance with these conditions. Currently, the site plan does not include any water quality features. As a part of this project, water quality ponding will be provided for Tract 7-B-1-A. Tract 7-B-1-A is created from Tract 7-B-1, which is the current playground for the existing Montessori School and a small portion of Tract 8-B, which is the existing property to the North.

Existing Conditions

The site is approximately 3 acres and slopes primarily from east to west at 3% and slightly from south to north. Currently, this site receives additional water from the site to the East. However, the original Drainage and Grading Plan for that site, mentioned above, shows a swale to divert all flow from the eastern site to Singer Boulevard. For Tract 7-B-1, all runoff currently flows to the West until reaching that portion of the site adjacent Midway Park Blvd NE, with flows discharging to Midway through the existing drive opening at the northwest corner of the site.

Methodology

Hydrology calculations for the site are performed in accordance with the Albuquerque DPM Section 22.2 using the Rational Method to calculate the peak flow rates to insure that flow paths, such as swales and gutters, are sufficient to carry flows to the water quality ponds located on-site.

The Water Quality ponding volume required was calculated by multiplying the impervious area of each individual subbasin by the first flush runoff value of 0.34". The water quality calculations as well as the pond rating curves can be found on the left side of this sheet.

Proposed Conditions

The site is analyzed as three separate subbasins. Subbasin 1 consists of the Southeastern portion of the site including most of the parking area. Subbasin 2 consists of the Western portion of the property including part of the parking lot as well as the truck yard. Subbasin 3 consists of the Northeastern portion of the site including the building. The measured areas of Treatment Types are shown at the left side of this sheet along with the calculations to determine flow rates for each of the subbasins.

The grading on the south side of the building is designed to form a swale within the parking lot in order to convey this runoff to the curb and gutter on the Southern side of the site until it reaches Pond 1. Once Pond 1 has drained, water will bypass the entrance of the pond and continue to flow along the curb and gutter. The water then drains to the curb with gutter along the West side of the property and then along this curb from South to North, with Subbasin 2 flowing to this curbline as well. The runoff water flows across a concrete swale on the Northwest portion of the subbasin and into Pond 2. The swale has a consistent depth of 0.3" (see Cross-section C-C of Sheet C-2). The combined flow rate for both Subbasins 1 and 2 is 7.27 cfs. As can be seen in the Manning's analysis for the swale found on this page, the swale has capacity for the water flowing into the water quality pond.

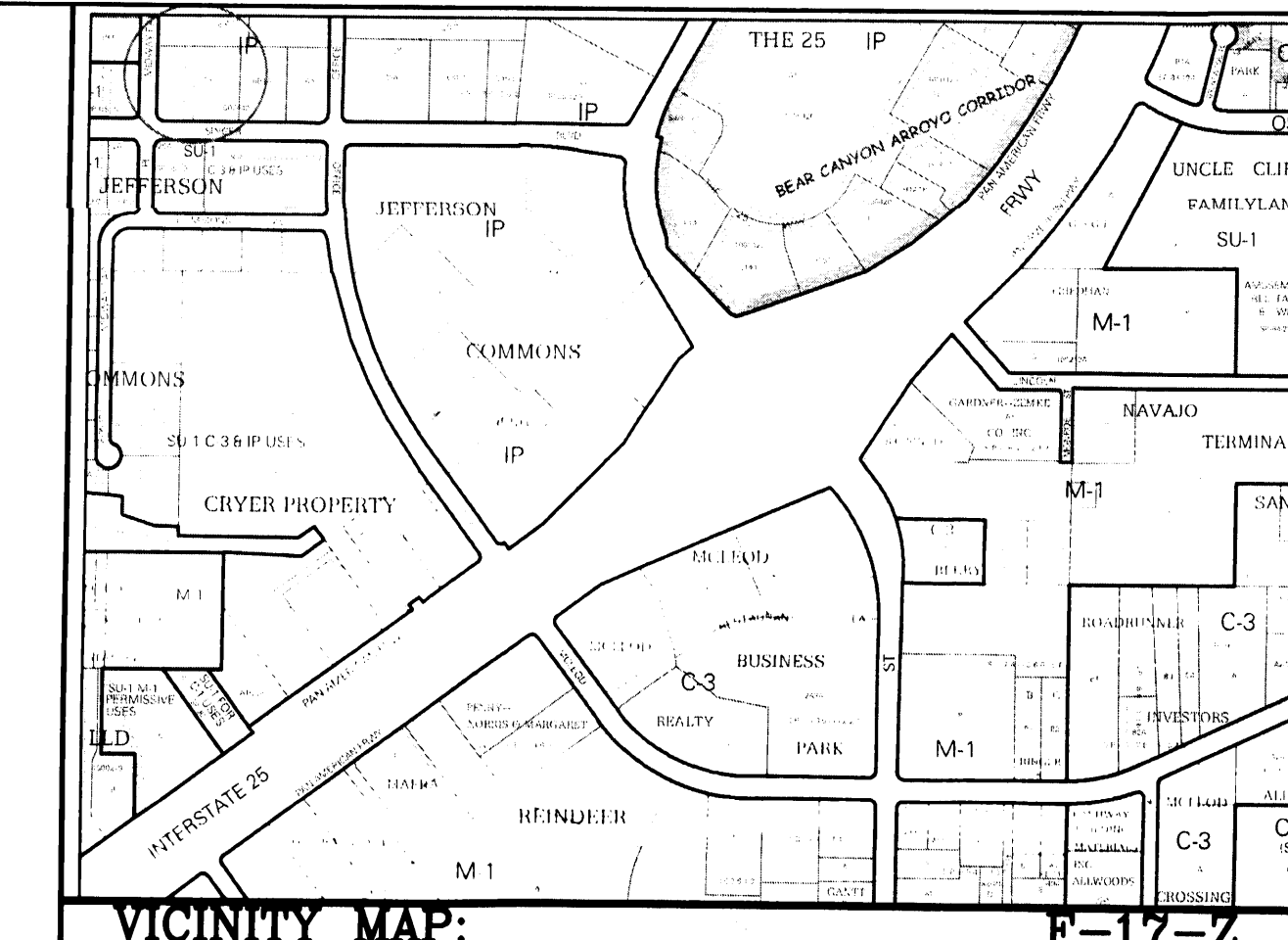
A swale wraps around the East and North side of the building and drains runoff into Pond 3. The swale on the east side of the building (See Cross-section A-A, Sheet C-2), is a relatively small swale. Based on the runoff Calculations, the flow for the portion of Subbasin 3 coming to this point is 0.3 cfs. In the graph "Triangular Channel," it can be seen that the swale is sufficient to handle this flow rate.

Using Chart 2 on page A-8 of the NMSITD Drainage Manual, Volume II, which is shown at the top of this sheet, the proposed 18" culvert underneath the sidewalk on the north side of the building (See Cross-section B-B, Sheet C-2) can sufficiently handle 5.75 cfs of water flow. The 100-year flow within this entire subbasin is 5.72 cfs as seen in the Runoff Calculations. In the graph "Circular Channel," it can be seen that the culvert is sufficient to handle this flow rate.

Once Pond 3 has reached capacity, runoff water overflows into a swale leading to Pond 2. The overflow from Pond 2 discharges to Midway Park Boulevard through a 3' x 0.5' concrete weir in smaller storms and also through the proposed driveway in larger storms. The total discharge rate to Midway Park Boulevard in a 100 year storm is 13 cfs.

This plan includes berm along the eastern property boundary that will allow Tract 6-B-1-A-1 to drain as it was originally designed and stop water from flowing onto Tract 7-B-1-A. Both tracts are owned by the same party.

To avoid water flowing onto Tract 7-B-1-A from Tract 8-B-1 due to the property line adjustment, a proposed curb and gutter is proposed to be installed along the Southern side of Tract 8-B-1, with a sidewalk culvert allowing collected runoff to discharge to Midway Park Boulevard. Both of these tracts are owned by the same party.

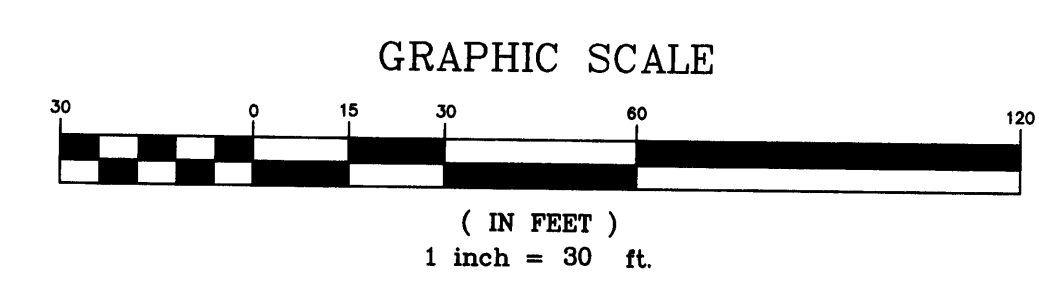


Legend

- UTILITY POLE
- GUY WIRE
- ⊕ TRANSFORMER
- ⊖ ELECTRIC BOX
- ⊙ WATER METER
- ⊖ ROOF DRAIN
- ⊖ WATER VALVE
- ⊖ FIRE HYDRANT
- ⊖ IRRIGATION CONTROL VALVE
- ⊖ SIDEWALK CULVERT
- ⊖ EDGE OF ASPHALT
- ⊖ BLUESTAKE ELECTRIC LINE
- ⊖ BLUESTAKE GAS LINE
- ⊖ OVERHEAD UTILITY LINE
- ⊖ BLUESTAKE WATER LINE
- ⊖ SUBBASIN BOUNDARY
- ⊖ PROPERTY LINE
- ⊖ PROPOSED POND ELEVATIONS
- ⊖ EXISTING CONTOURS
- ⊖ PROPOSED CONTOURS
- ⊖ LANDSCAPING HATCH

PROJECT: 1007442
 DATE: 10-14-15
 APP: 15-10337
 REQUEST SBP

A NEW OFFICE / WAREHOUSE for
PURVIS INDUSTRIES
 3815 SINGER BLVD. N.E. ALBUQUERQUE NEW MEXICO 87105



ENGINEER'S SEAL HUGH W. FLOYD P.E. 16633	DRAINAGE JOB # 019-15-200	OMISSION No. 15-121 DATE 09-2015 REV: - SHEET: C-1 1 OF 4
	FLOYD DEVELOPMENT SERVICES, LLC DEVELOPMENT, ENGINEERING, & WATERSHED CONSULTING 918 PINEHURST RD SE, SUITE 101 RIO RANCHO, NM 87124 HUGH@DEVELOPNM.COM 505-366-4187	

ISSUED FOR BUILDING PERMIT

RIPRAP NOTES:

ALL RIPRAP SHALL CONSIST OF 3" OF RIPRAP OVER 8" OF FILTER MATERIAL.

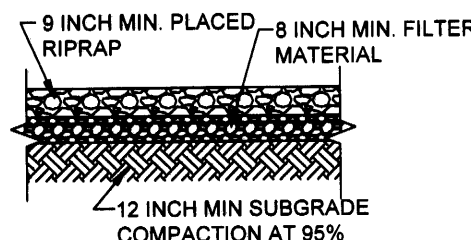
RIPRAP SHALL CONSIST OF CRUSHED ROCK MEETING THE FOLLOWING GRADATION, OR ENGINEER APPROVED EQUIVALENT.

MAX. DIMENSION	SMALLER
3"	50-60
6"	35-45
3"	10

FILTER MATERIAL SHALL CONSIST OF CRUSHED BASALT ROCK MEETING THE FOLLOWING GRADATION, OR ENGINEER APPROVED EQUIVALENT.

U.S. STANDARD SIEVE SIZE	PASSING BY WEIGHT
#4	45-55
#10	25-45
#20	0-20
#40	0-5

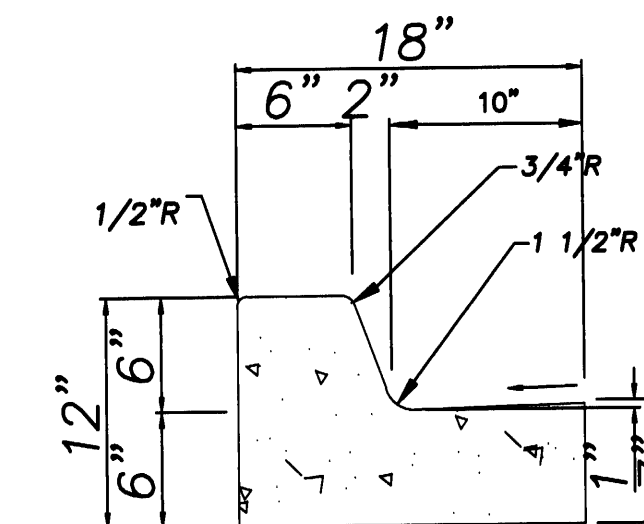
FILTER MATERIAL SHALL BE PLACED UNDER THE RIPRAP CHANNEL PAVEMENT AS SHOWN HEREON. THE SUBGRADE SHALL BE PROCESSED TO A 1 1/2" MIN. DEPTH AND COMPACTED TO 95% MIN. RELATIVE DENSITY PER ASTM D 1557. THE FILTER MATERIAL SHALL BE TAMPED AND SHAPED TO FORM A SMOOTH, EVEN, AND FIRM FOUNDATION FOR THE OVERLYING RIPRAP. THE CONTRACTOR'S OPERATIONS AND METHODS OF PLACING SHALL PREVENT SEPARATION OF THE MATERIALS. THE FILTER MATERIAL SHALL BE PLACED AND TAMPED IN THE VOIDS OF THE RIPRAP.



RIPRAP CROSS SECTION
NTS

GENERAL NOTES:

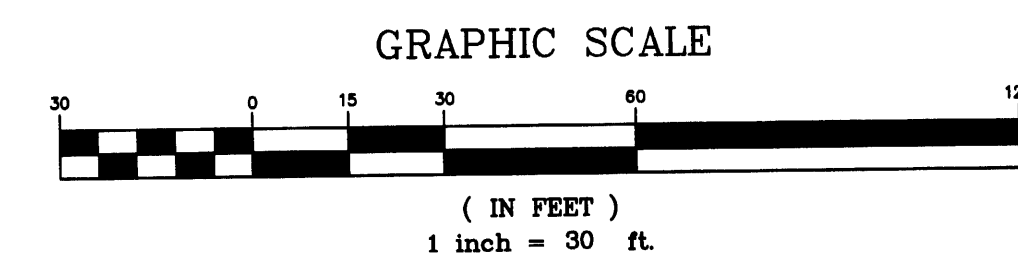
- CURBS & GUTTERS TO BE CONSTRUCTED OF P.C.C.
- FOR STANDARD C & G. PROVIDE CONTRACTION JOINTS. 6" O.C. MAX. ALSO PROVIDE 1/2" EXP. JOINTS. 48" O.C. MAX. AT CURB RETURNS & AT EACH SIDE OF DRIVEWAY & ADJACENT TO WALLS & BUILDINGS
- EDGES NOT SPECIF. DIMENSIONED SHALL BE EDGED WITH A 3/8" EDGING TOOL.
- STD. C & G SHALL BE USED FOR NEW CONSTR. UNLESS OTHERWISE APPROVED BY THE ENGINEER.
- REMOVE & REPLACE 12" WIDE STRIP OF PAVEMENT BEYOND LIP OF GUTTER WHEN CONSTRUCTING C & G. ADJACENT TO EXIST. A.C. PAVEMENT.
- STD. C & G. REQUIRE FULL FORM ON ALL FACES EXCEPT WITH PRIOR APPROVAL OF ENGINEER.



ON-SITE STD. CURB AND GUTTER
NTS

Legend

- UTILITY POLE
- GUY WIRE
- ⊠ TRANSFORMER
- ELECTRIC BOX
- ⊞ WATER METER
- ⊞ ROOF DRAIN
- ⊞ WATER VALVE
- ⊞ FIRE HYDRANT
- ⊞ IRRIGATION CONTROL VALVE
- ⊞ SIDEWALK CULVERT
- EDGE OF ASPHALT
- BLUESTAKE ELECTRIC LINE
- BLUESTAKE GAS LINE
- OVERHEAD UTILITY LINE
- BLUESTAKE WATER LINE
- SUBBASIN BOUNDARY
- PROPERTY LINE
- PROPOSED POND ELEVATIONS
- EXISTING CONTOURS
- PROPOSED CONTOURS
- LANDSCAPING HATCH



GRAPHIC SCALE
(IN FEET)
1 inch = 30 ft.

ENGINEER'S SEAL

HUGH W. FLOYD
P.E. 16633

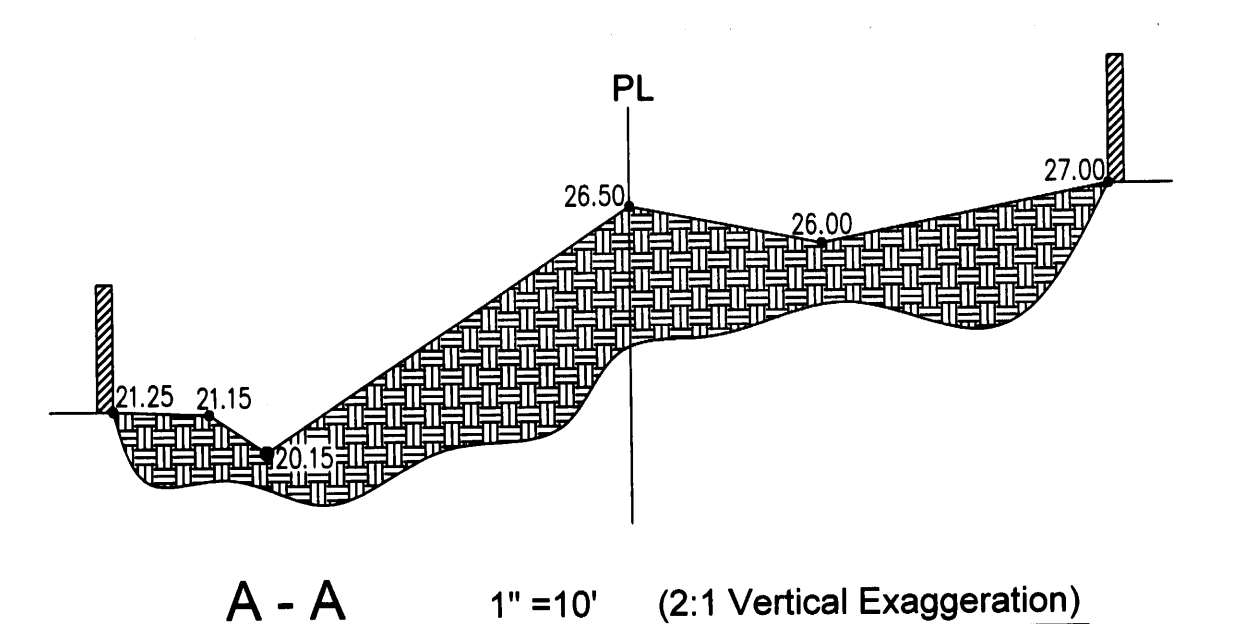
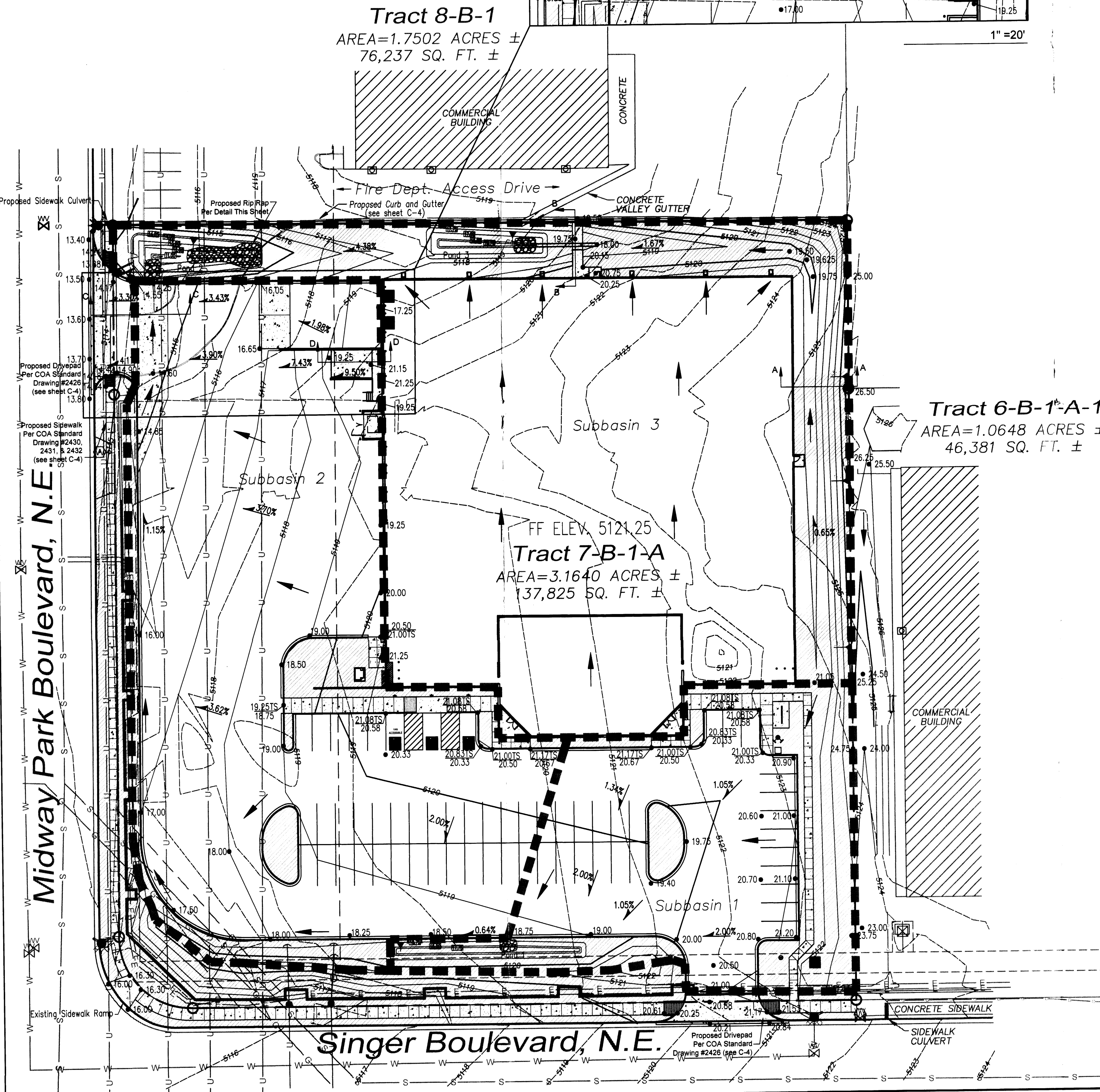
GRADING

JOB # 019-15-200

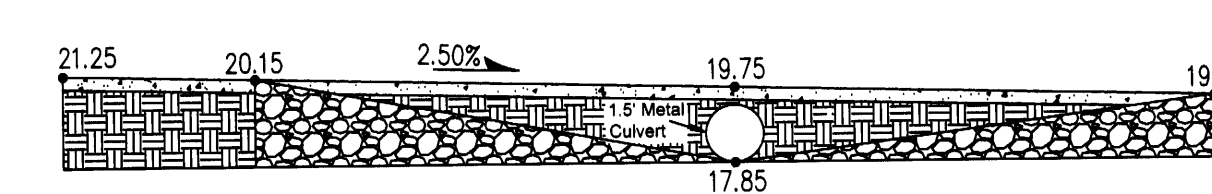
FLOYD DEVELOPMENT SERVICES, LLC
DEVELOPMENT, ENGINEERING, & WATERSHED
CONSULTING
918 PINEHURST RD SE, SUITE 101
RIO RANCHO, NM 87124
HUGH@DEVELOPNM.COM
505-366-4187

OMISSION No.
15-121
DATE 09-2015
Rev
SHEET: C-2
2 OF 4

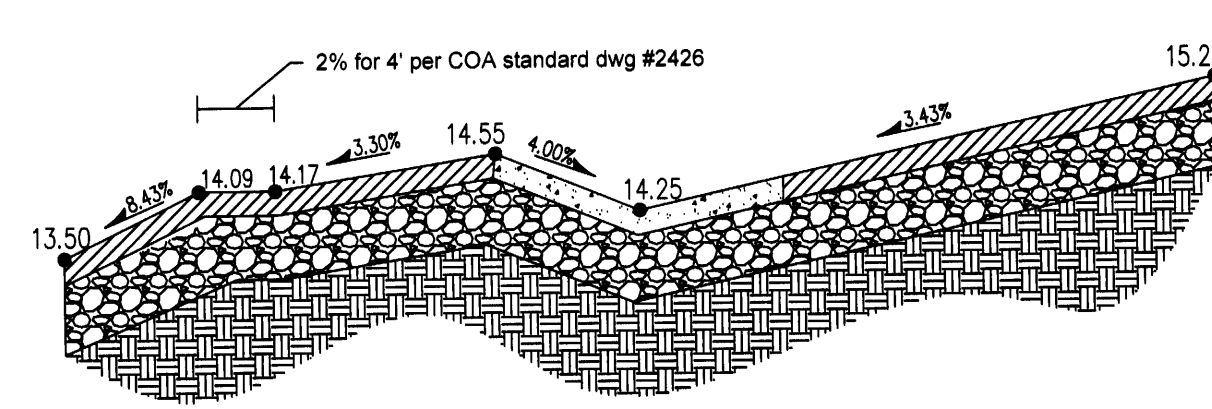
ISSUED FOR
BUILDING PERMIT



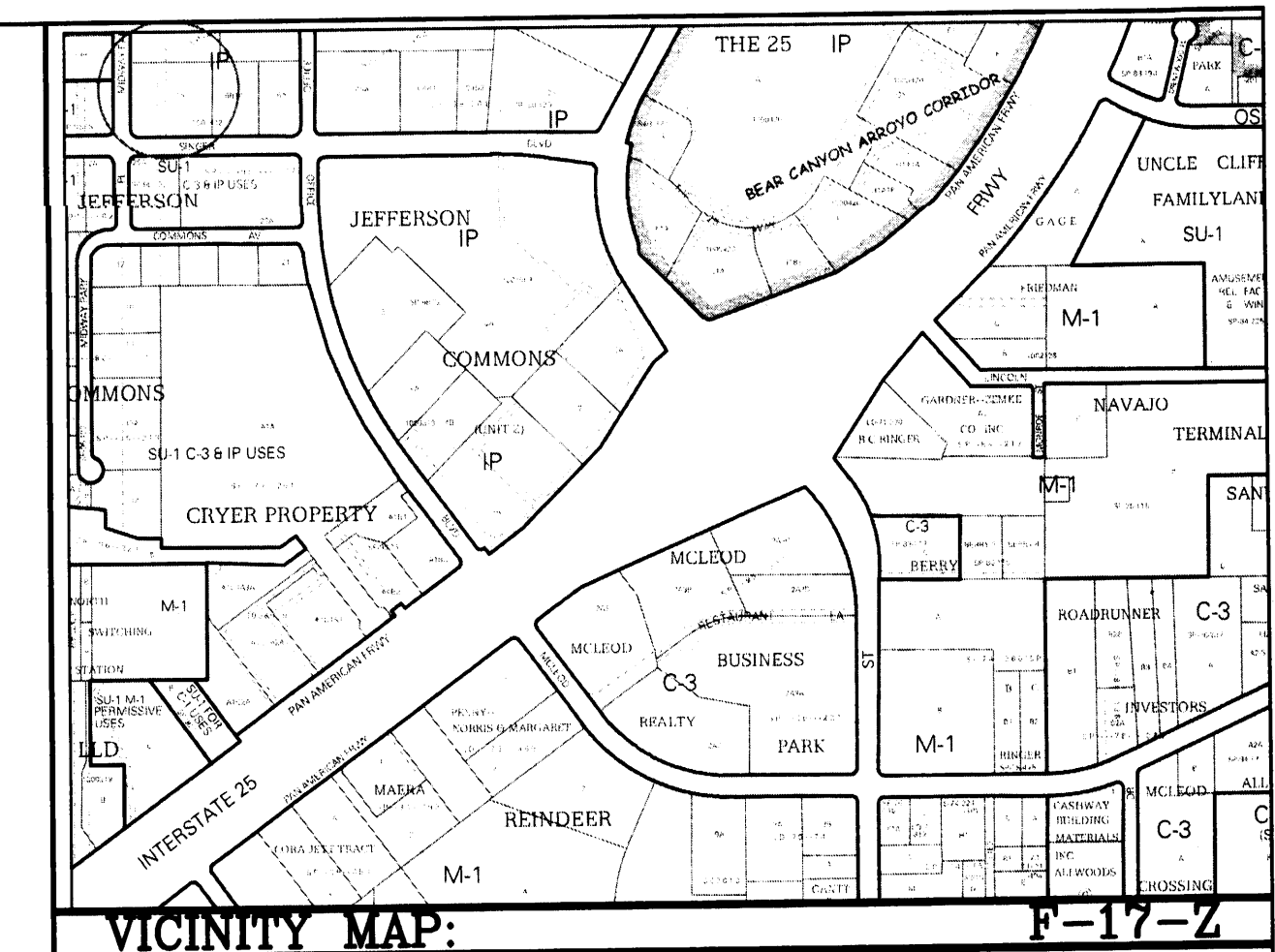
A - A 1" = 10' (2:1 Vertical Exaggeration)



B - B 1" = 5'



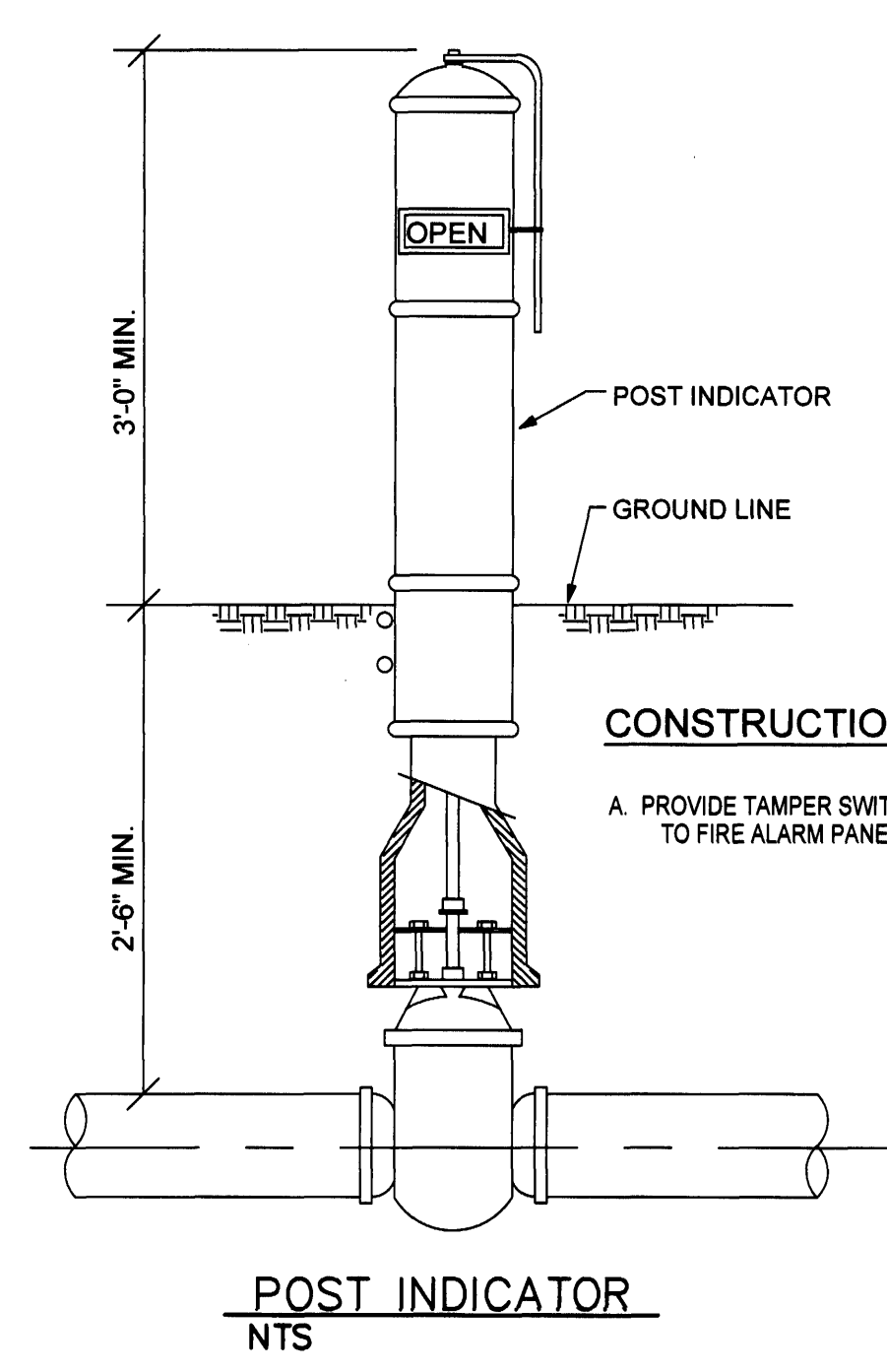
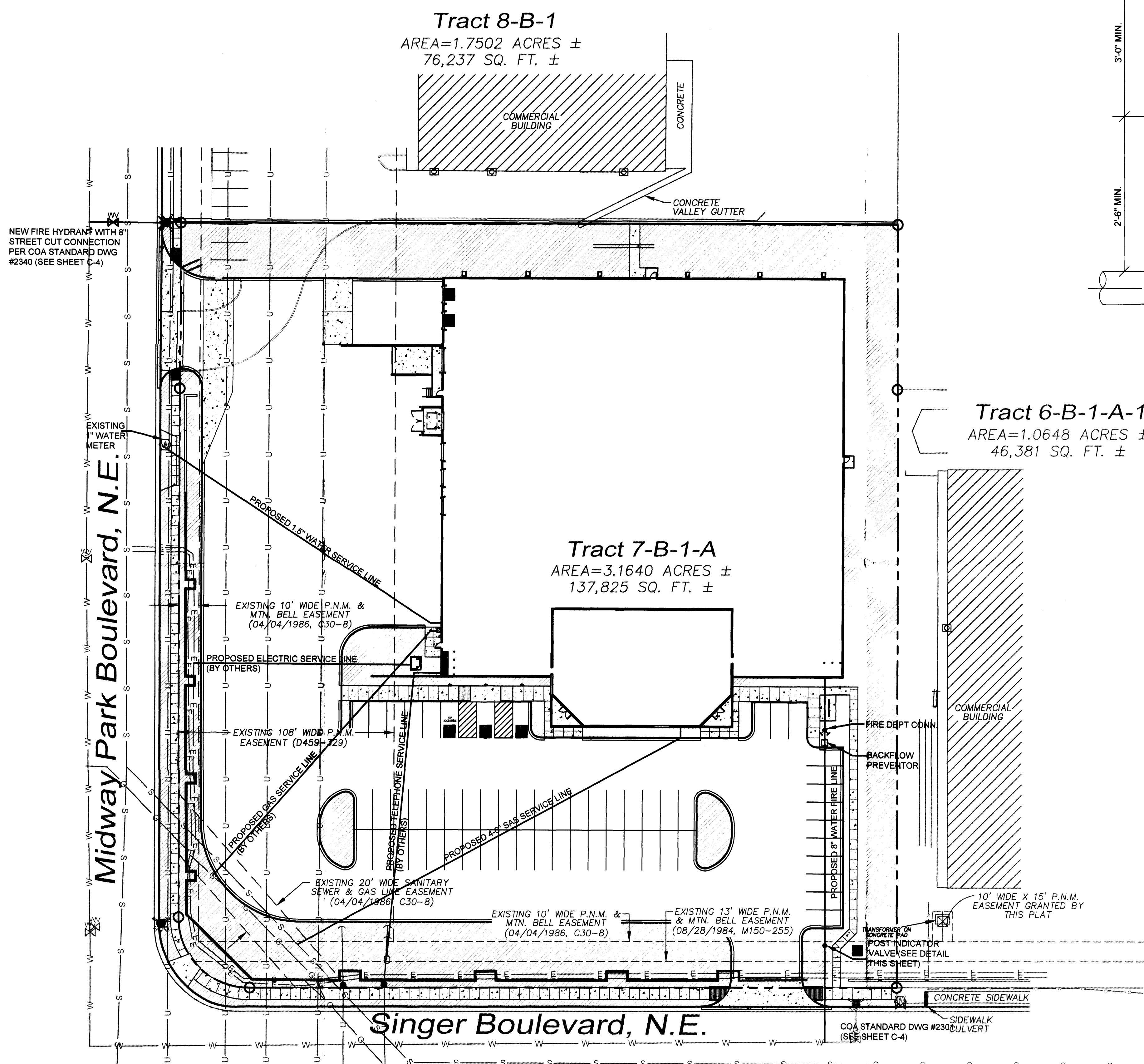
C - C 1" = 10' (5:1 Vertical Exaggeration)



VICINITY MAP: P-17-Z

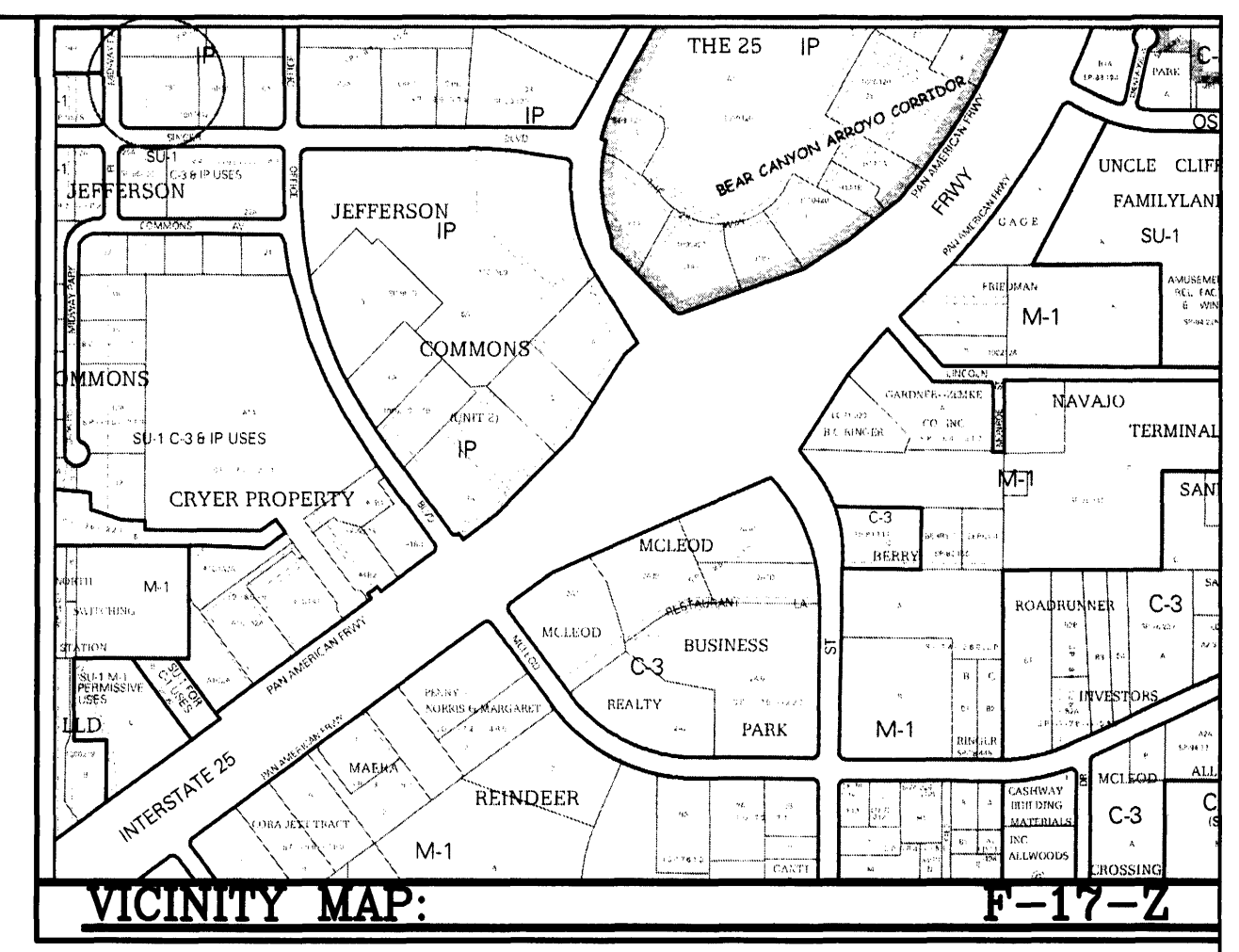
A NEW OFFICE / WAREHOUSE for

ALBUQUERQUE, NEW MEXICO 87109
3815 SINGER BLVD. N.E.



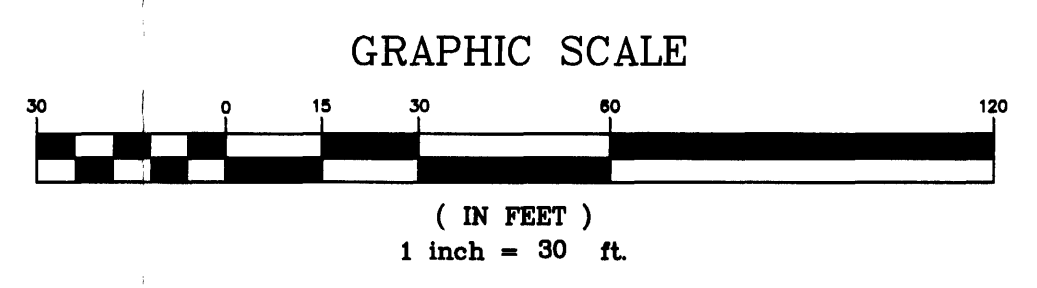
CONSTRUCTION NOTES
 A. PROVIDE TAMPER SWITCH WITH CONNECTION TO FIRE ALARM PANEL.

POST INDICATOR
 NTS




Legend

- UTILITY POLE
- GUY WIRE
- ⊠ TRANSFORMER
- ELECTRIC BOX
- ⊙ WATER METER
- ⊕ ROOF DRAIN
- ⊖ WATER VALVE
- ⊗ FIRE HYDRANT
- ⊘ IRRIGATION CONTROL VALVE
- ⊙ SIDEWALK CULVERT
- EDGE OF ASPHALT
- BLUESTAKE ELECTRIC LINE
- BLUESTAKE GAS LINE
- OVERHEAD UTILITY LINE
- BLUESTAKE WATER LINE
- ▬ SUBBASIN BOUNDARY
- PROPERTY LINE
- PROPOSED POND ELEVATIONS
- 5123 EXISTING CONTOURS
- 5123 PROPOSED CONTOURS
- ▨ LANDSCAPING HATCH



A NEW OFFICE / WAREHOUSE
 for
PURVIS INDUSTRIES
 3815 SINGER BLVD. N.E.
 ALBUQUERQUE
 NEW MEXICO 87109

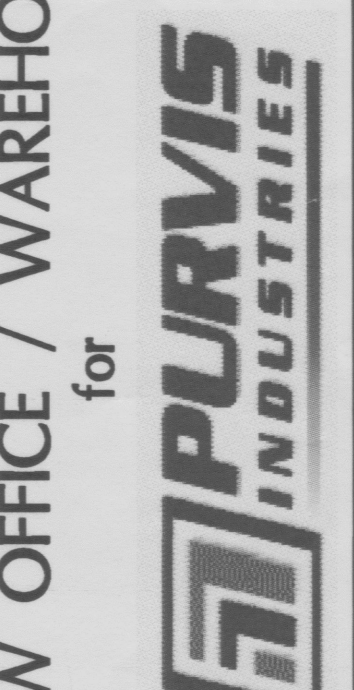
ENGINEER'S SEAL  HUGH W. FLOYD P.E. 16633	UTILITIES
	JOB # 019-15-200 FLOYD DEVELOPMENT SERVICES, LLC DEVELOPMENT, ENGINEERING, & WATERSHED CONSULTING 918 PINEHURST RD SE, SUITE 102 RIO RANCHO, NM 87124 HUGH@DEVELOPNM.COM 505-366-4187

OMISSION No. 15-121
DATE 09-2015 REV Δ - Δ - Δ -
SHEET: C-3 3 OF 4

ISSUED FOR
 BUILDING PERMIT



ALBUQUERQUE, NEW MEXICO 87105

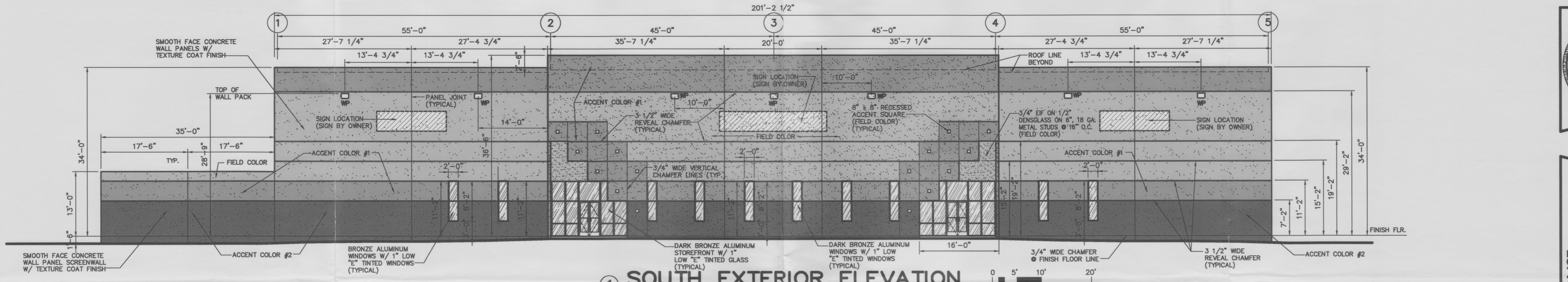


A NEW OFFICE / WAREHOUSE for PURVIS INDUSTRIES
3815 SINGER BLVD. NE
EL PASO, TEXAS 79912
FAX 877-2896

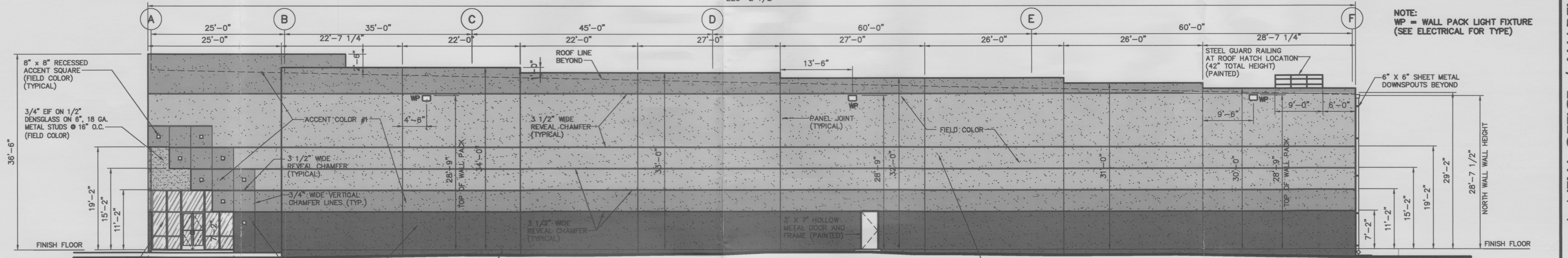
EL PASO, TEXAS 79912
FAX 877-2896

INDUSTRIAL GROUP, INC.
1845 NORTHWESTERN DRIVE, SUITE A
915 877-2020

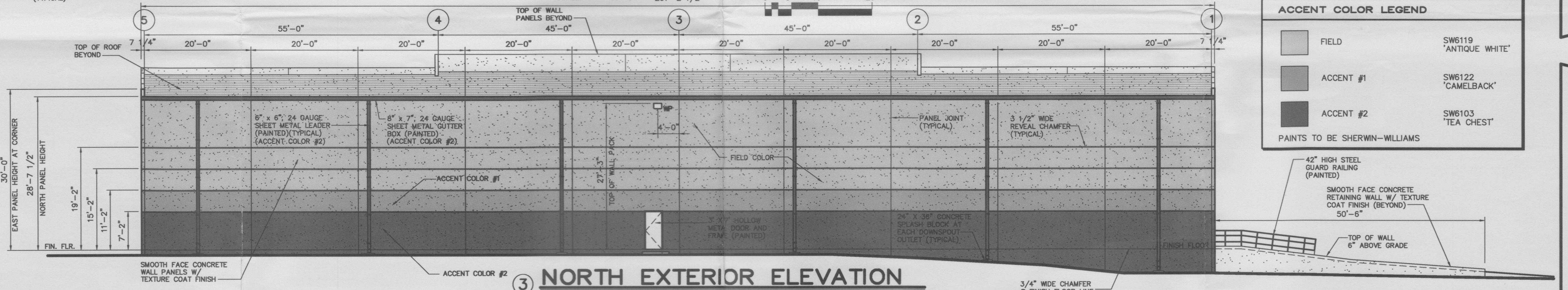
OMMISSION No. 15-121
DATE 09-11-2015
REVISIONS
SHEET: A-1
2 OF 2



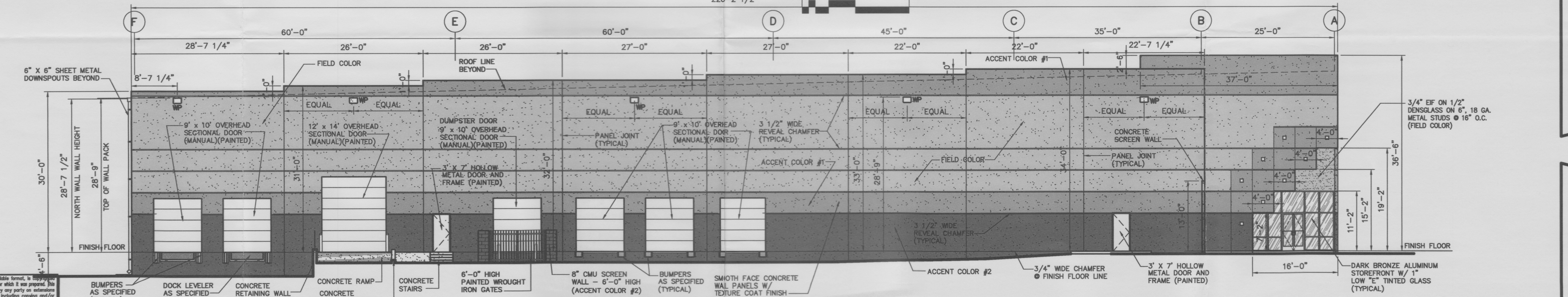
1 SOUTH EXTERIOR ELEVATION
SCALE: 1" = 10'-0"
226'-2 1/2"



2 EAST EXTERIOR ELEVATION
SCALE: 1" = 10'-0"
201'-2 1/2"



3 NORTH EXTERIOR ELEVATION
SCALE: 1" = 10'-0"
226'-2 1/2"

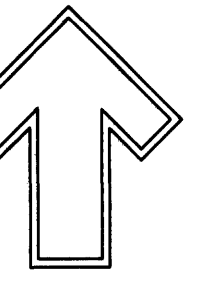


4 WEST EXTERIOR ELEVATION
SCALE: 1" = 10'-0"

ACCENT COLOR LEGEND		
[Color swatch]	FIELD	SW6119 'ANTIQUE WHITE'
[Color swatch]	ACCENT #1	SW6122 'CAMELBACK'
[Color swatch]	ACCENT #2	SW6103 'TEA CHEST'
PAINTS TO BE SHERWIN-WILLIAMS		

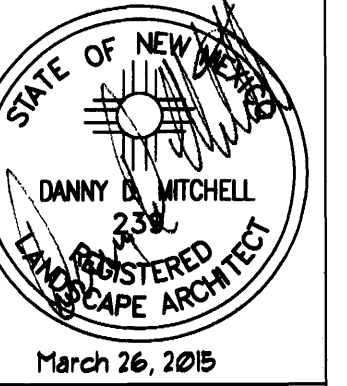
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SITE DEVELOPMENT PLAN



The Hilltop
1909 Edith NE
Albuquerque, NM 87104
Cory L. Hill
PH: (505) 898-3630
Fax: (505) 898-1131
danny@hilltoplandscaping.com

Landscape Architect



Proposed Building
Singer Av.
Albuquerque, NM

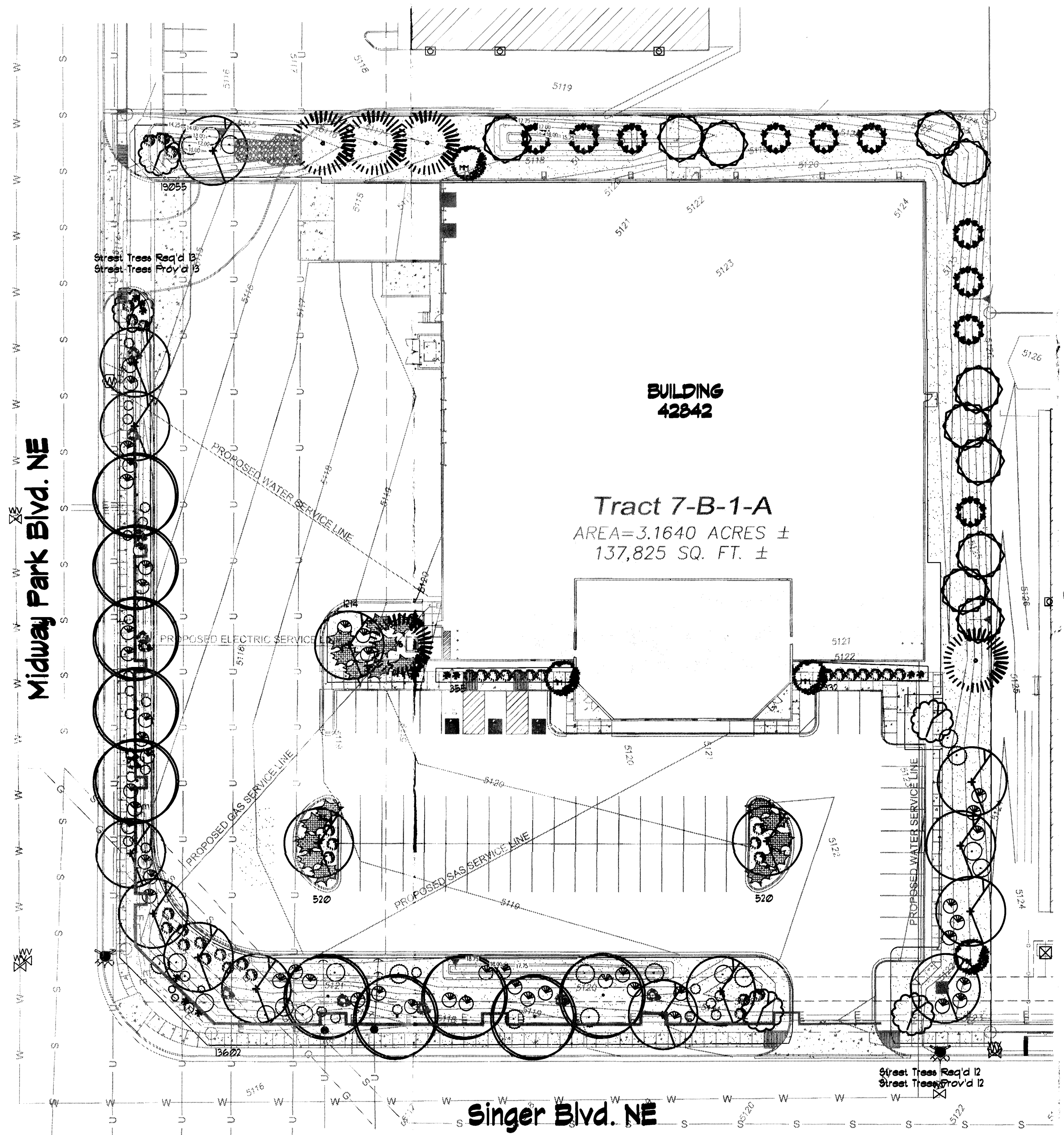
LANDSCAPE PLAN

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DRAWN BY: dh
REVISION: 05/16/2015
DATE: 03/16/2015

SHEET #
LS-101



LANDSCAPE LEGEND

QTY SIZE COMMON/BOTANICAL H2O USE

Trees

16	2" cal	Chinese Pistache <i>Pistacia chinensis</i>	30x30 900 14400M
10	2" cal	Honey Locust <i>Gleditsia triacanthos</i>	50x45 2025 20250M
6	6-8'	Austrian Pine <i>Pinus nigra</i>	65x25 625 3750 M
10	15 Gal.	Rocky Mountain Juniper <i>Juniperus scopulorum</i>	40x12 144 14400M
2	4-6'	Palm Yucca <i>Yucca faxoniana</i>	15x6 36 72 M
5	15 Gal.	Oklahoma Redbud <i>Cercis reniformis</i>	15x12 144 720 M
11	15 Gal.	Desert Willow <i>Chilopsis linearis</i>	20x25 625 6875 L

Shrubs & Groundcovers

3	5 Gal	Spanish Broom <i>Caryopteris x clandonensis</i>	10x10 100 300 M
39	5 Gal	India Hawthorn <i>Raphiolepis indica</i>	3x5 25 975 M
11	5 Gal	Karl Forester <i>Calamagrostis acutiflora</i>	2x3 4 44 M
4	5 Gal	Curl-leaf Mountain Mahogany <i>Cercocarpus ledifolius</i>	15x15 225 900 L
49	5 Gal	Grayleaf Cotoneaster <i>Cotoneaster glaucophyllus</i>	4x6 36 1764 M
18	5 Gal	Buffalo Juniper <i>Juniperus sabinna 'Buffalo'</i>	1x12 144 1008 M
3	1 Gal	Cherry Sage <i>Salvia greggii</i>	2x3 9 252 M
2	1 Gal	Blue Mist <i>Caryopteris x clandonensis</i>	3x3 9 18 M
25	1 Gal	Fern Bush <i>Chamaebatiaria millefolium</i>	5x6 36 900 L
10	1 Gal	Apache Plume <i>Fallugia paradoxa</i>	6x7 49 490 L
11	1 Gal	Chamisa <i>Chrysothamnus nauseosus</i>	5x5 25 275 L
12	2-3cf	Boulders To be placed at contractor discretion	Live Plant Material 69133
3250		Landscape Gravel / Filter Fabric 3/4" Crushed Gray	
3500		Oversize Cobble 2-4" Gray	

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

Clear site distances have been verified and no trees or shrubs that would interfere with visibility have been placed within the site triangles.

IRRIGATION NOTES:

Irrigation shall be a complete underground system with trees to receive (5) 1/2 GPH Drip Emitters and shrubs to receive (2) 1/2 GPH Drip Emitters. Drip and Bubblers systems to be tied to 1/2" polytube with flush caps at each end.

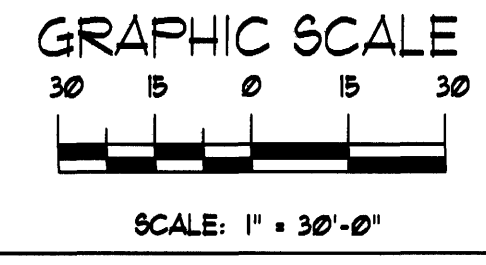
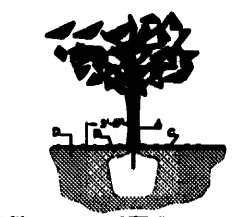
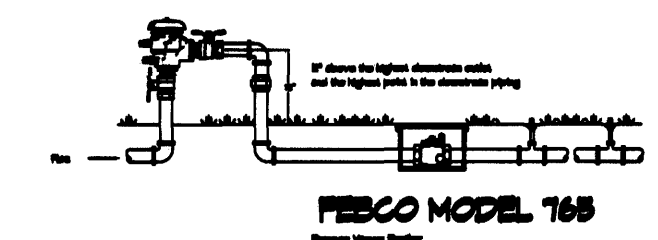
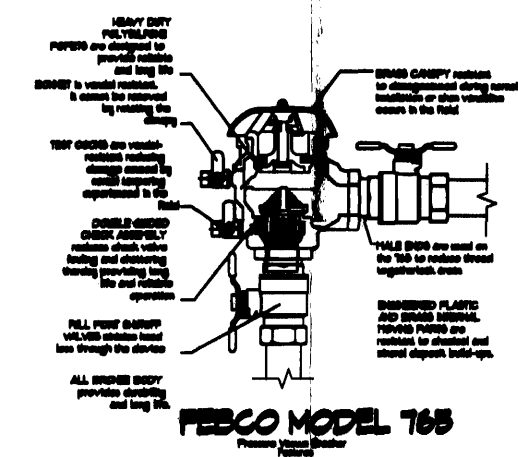
Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season. Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

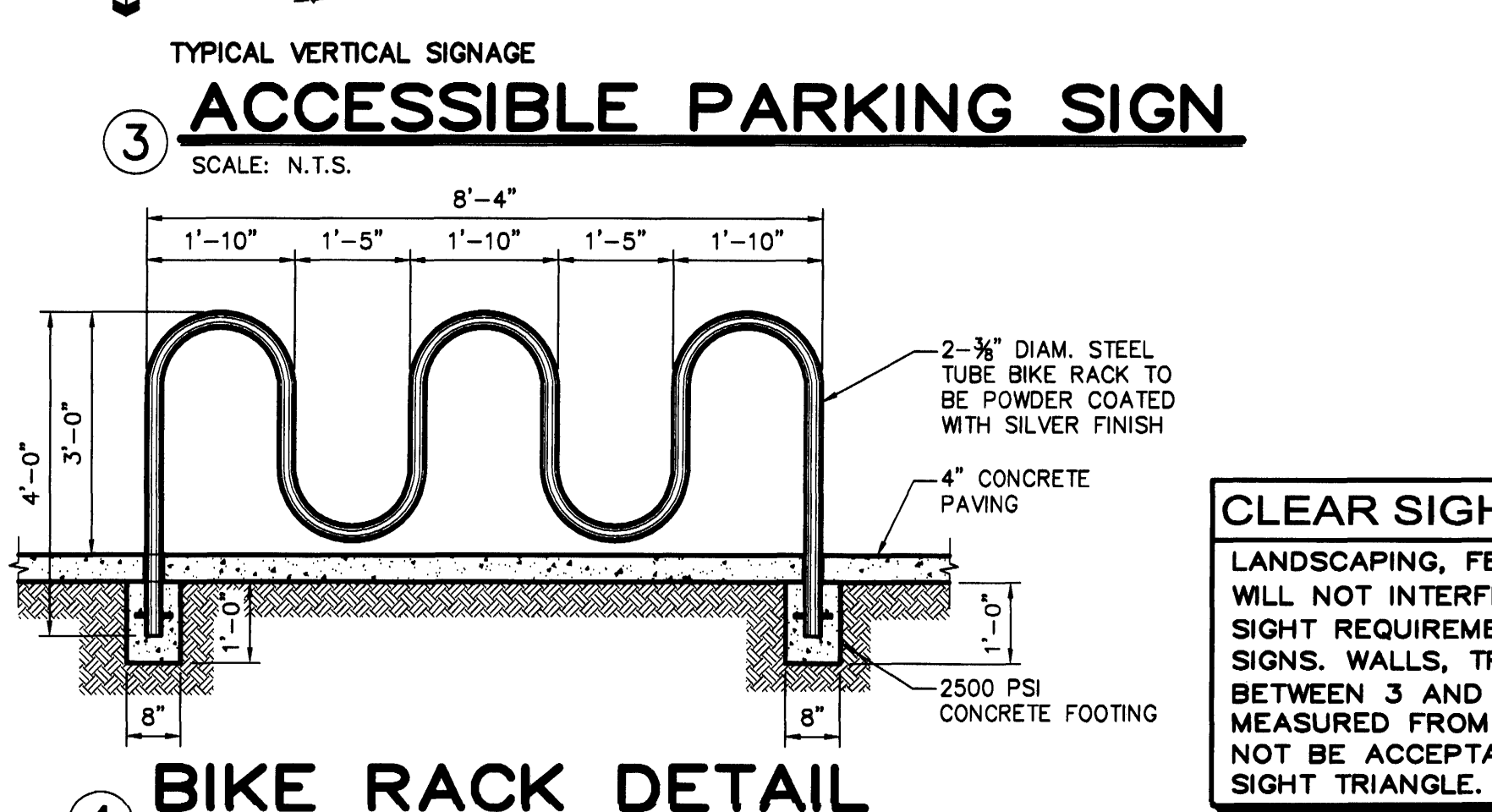
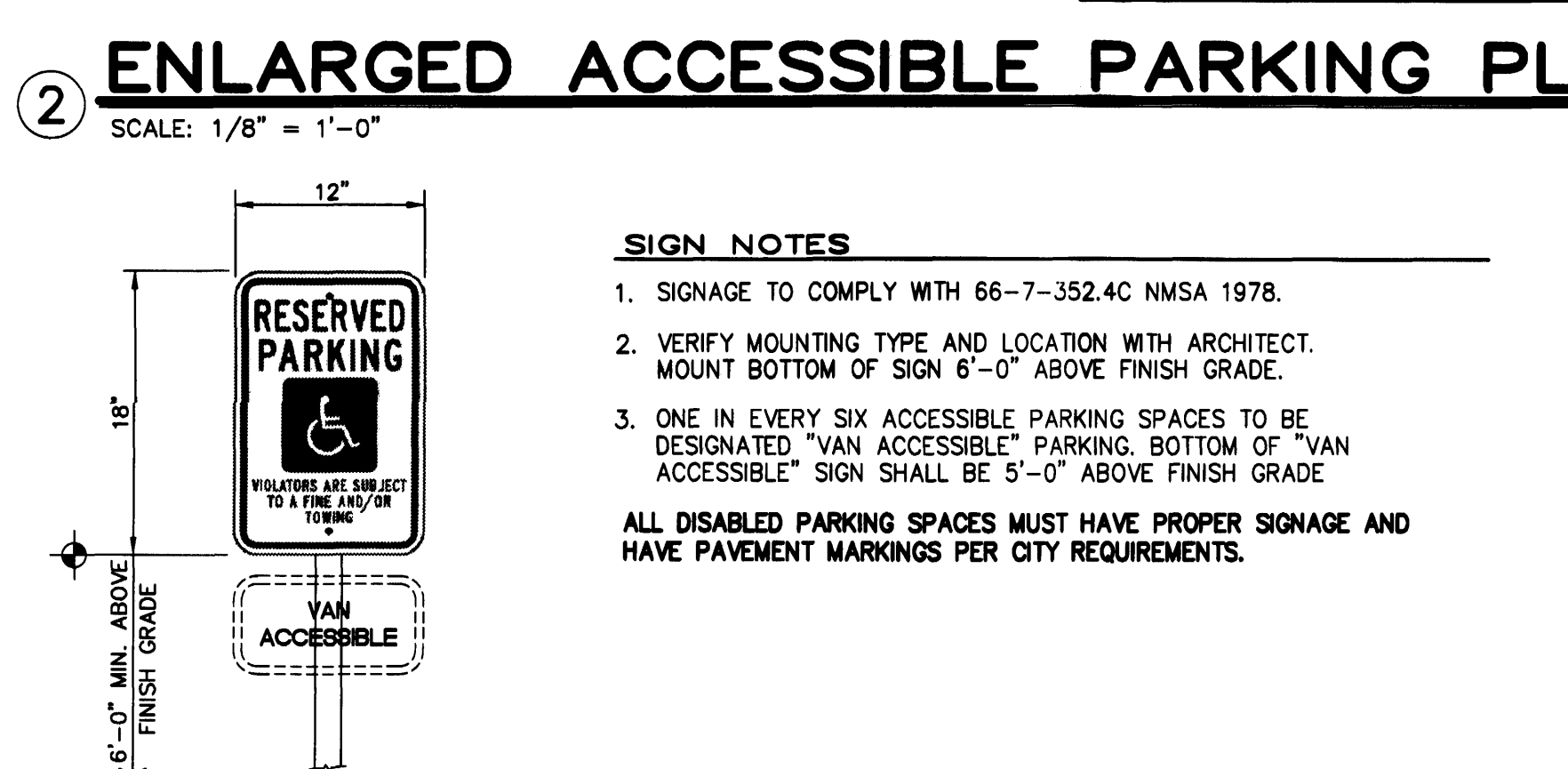
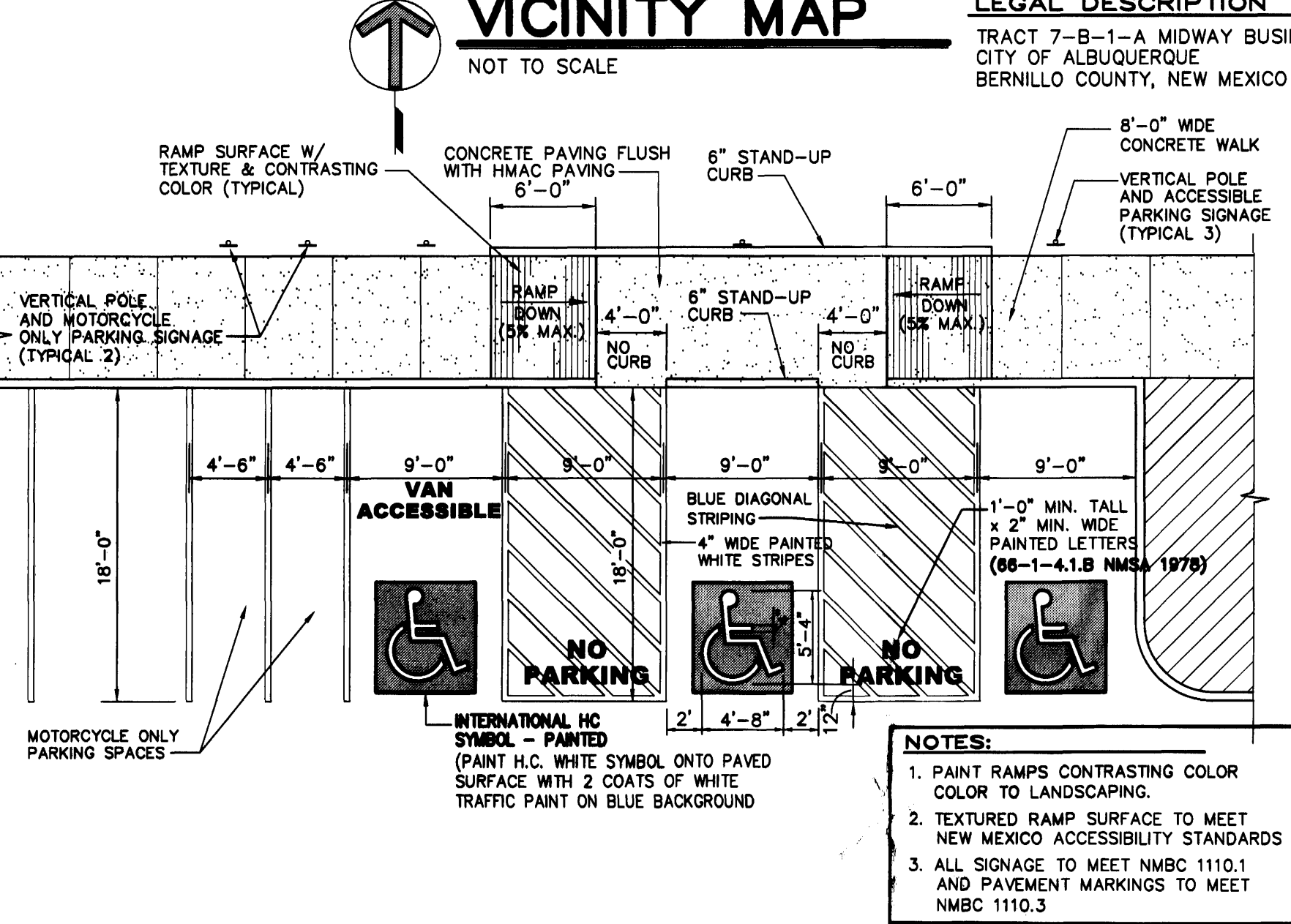
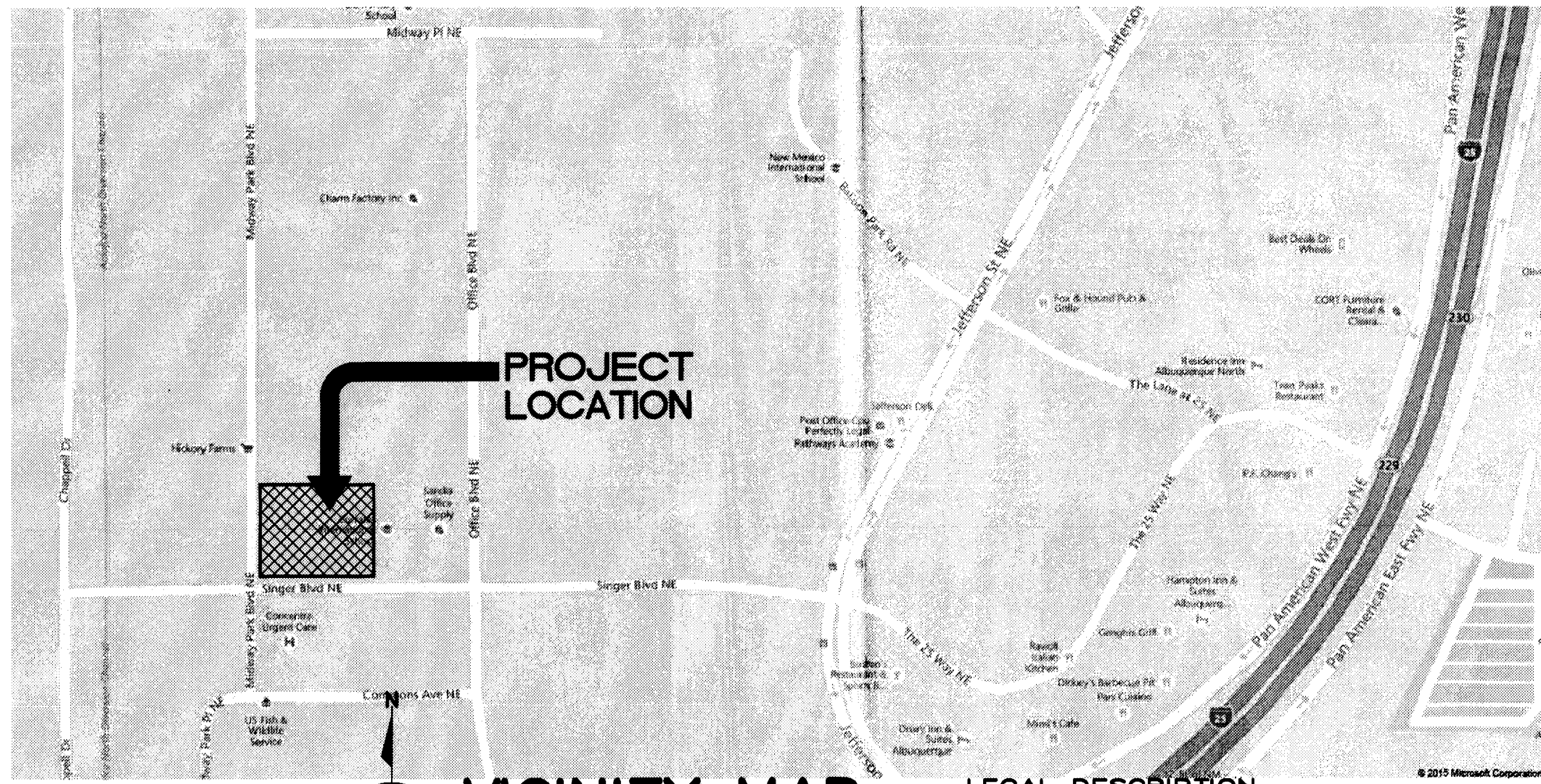
Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

LANDSCAPE CALCULATIONS

TOTAL LOT AREA (sf)	139624
TOTAL BUILDING AREA (sf)	42842
TOTAL LOT AREA (sf)	96782
LANDSCAPE REQUIREMENT	X .15
TOTAL LANDSCAPE REQUIRED (15%)	14517
TOTAL ON-SITE LANDSCAPE PROVIDED	35518
TOTAL LIVE PLANT COVER REQUIRED (15%)	26639
TOTAL LIVE PLANT COVER PROVIDED	69173





Curve Table

CURVE	RADIUS	ARC LENGTH	TANGENT	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	35.00' (35.00')	55.89' (55.06')	35.92' (35.08')	91°28'47" (90°08'02")	N 45°18'46" W	50.13'

PARKING CALCULATIONS

TYPE	REQUIRED	PROVIDED
AUTO PARKING	44 SPACES (WAREHOUSE: 1/2000 S.F. = 19 SPACES) (OFFICE: 1/200 S.F. = 25 SPACES)	58 SPACES
ACCESSIBLE PARKING	3 SPACES (3 SPACES REQUIRED FOR 36 TO 50 TOTAL REQUIRED AUTO PARKING)	3 SPACES
MOTORCYCLE PARKING	2 SPACES (2 SPACES REQUIRED FOR 28 TO 50 TOTAL REQUIRED AUTO PARKING)	2 SPACES
BICYCLE SPACES	2 SPACES (1 SPACE REQUIRED PER EACH 20 REQUIRED AUTO PARKING)	4 BIKE RACK

PROJECT NUMBER: _____

APPLICATION NUMBER: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) dated June 17, 2005 and the findings and conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () YES (X) NO If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

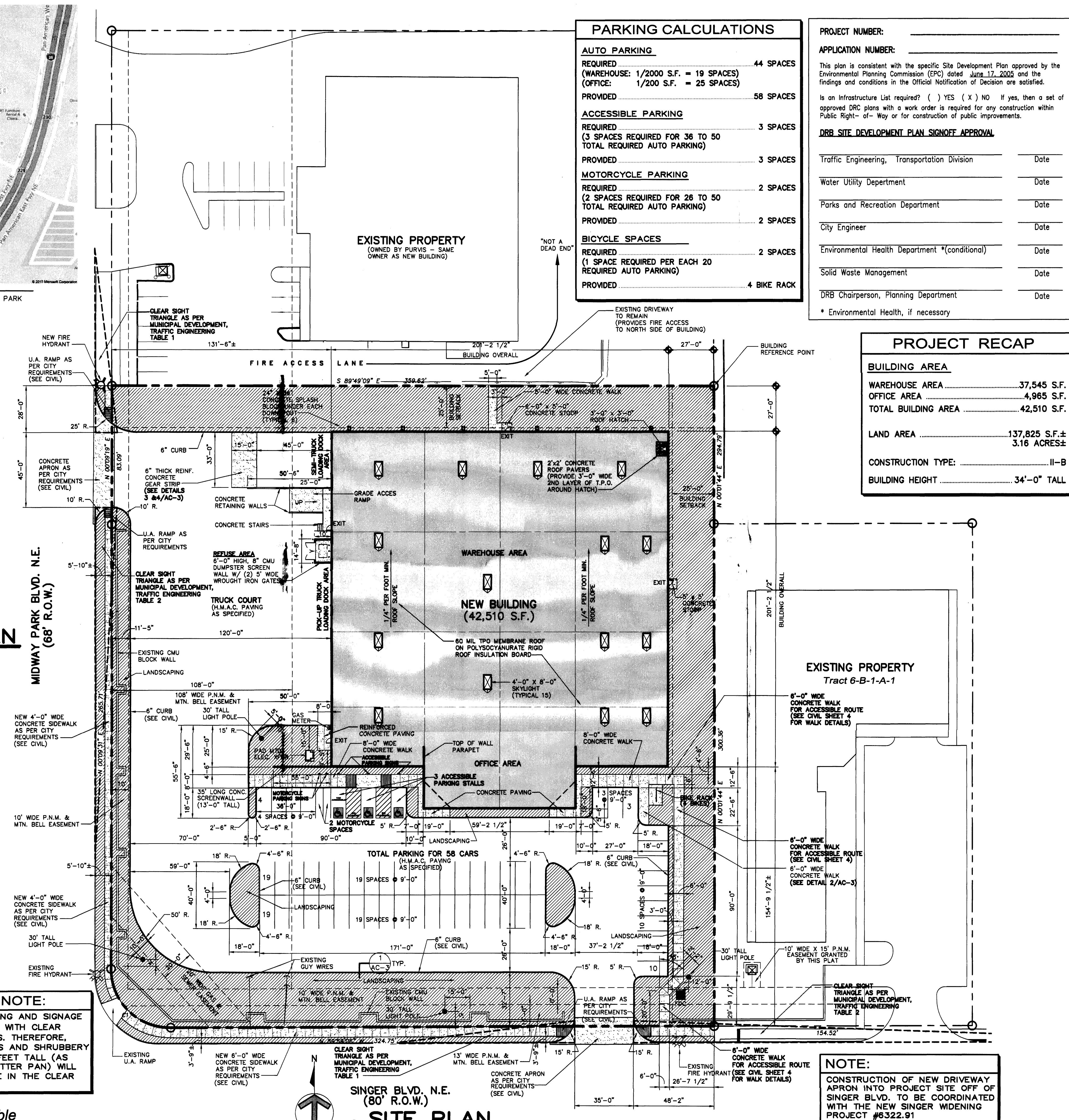
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

Department	Date
Traffic Engineering, Transportation Division	_____
Water Utility Department	_____
Parks and Recreation Department	_____
City Engineer	_____
Environmental Health Department *(conditional)	_____
Solid Waste Management	_____
DRB Chairperson, Planning Department	_____

* Environmental Health, if necessary

PROJECT RECAP

BUILDING AREA	
WAREHOUSE AREA	37,545 S.F.
OFFICE AREA	4,965 S.F.
TOTAL BUILDING AREA	42,510 S.F.
LAND AREA	137,825 S.F.±
	3.16 ACRES±
CONSTRUCTION TYPE:	II-B
BUILDING HEIGHT:	34'-0" TALL



STATE OF NEW MEXICO
H.T. PRES. 19
NO. 10-23-2015

A NEW OFFICE / WAREHOUSE for

PURVIS INDUSTRIES
ALBUQUERQUE, NEW MEXICO 87109
3815 SINGER BLVD. N.E.

INDUSTRIAL GROUP, INC.
1845 NORTHWESTERN DRIVE, SUITE A
EL PASO, TEXAS 79912
915 877-2020
FAX 877-2998

OMMISSION No. 15-121
DATE 09-11-2015
REV. 10-23-2015

SHEET: AC-1
1 OF 2

NOTE:
CONSTRUCTION OF NEW DRIVEWAY APRON INTO PROJECT SITE OFF OF SINGER BLVD. TO BE COORDINATED WITH THE NEW SINGER WIDENING PROJECT #6322.91

SITE DEVELOPMENT PLAN



ALBUQUERQUE,
NEW MEXICO 87109

A NEW OFFICE / WAREHOUSE



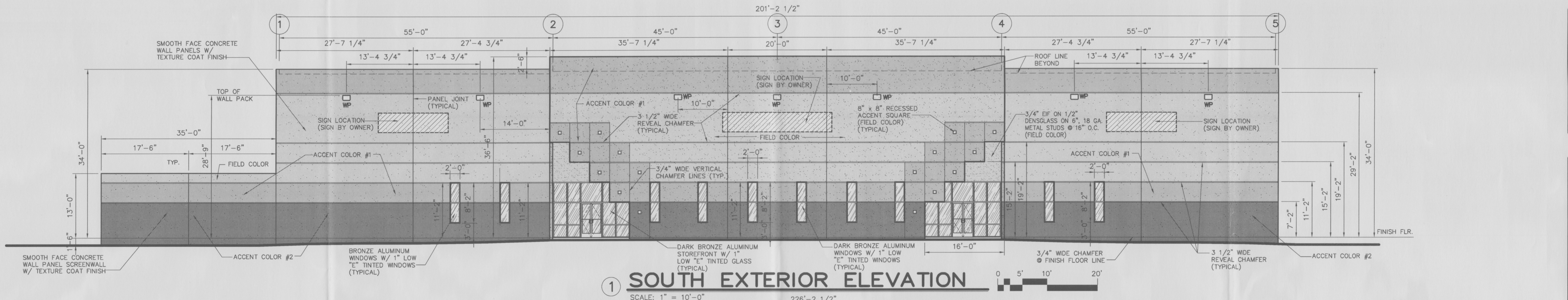
3815 SINGER BLVD. N.E.

EL PASO, TEXAS 79912
FAX 877-2998

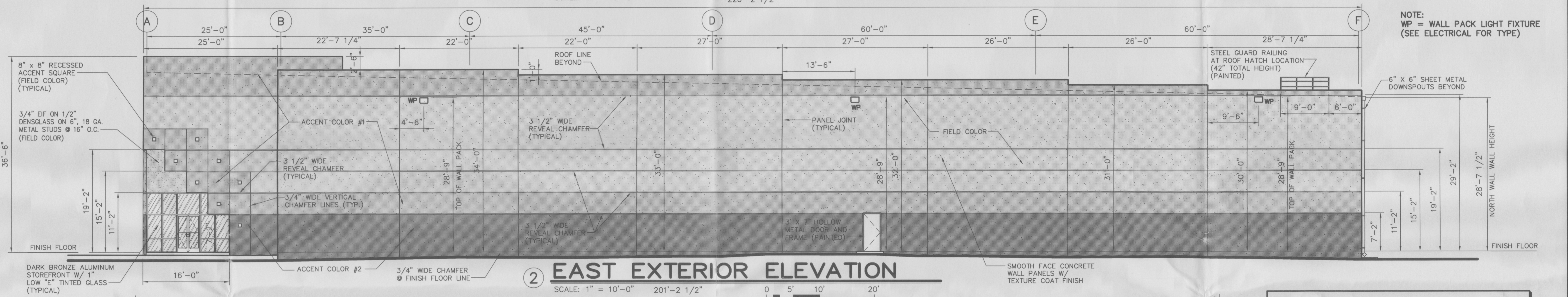
INDUSTRIAL GROUP, INC.
1845 NORTHWESTERN DRIVE, SUITE A
915 877-2020

PSRBB
MAM

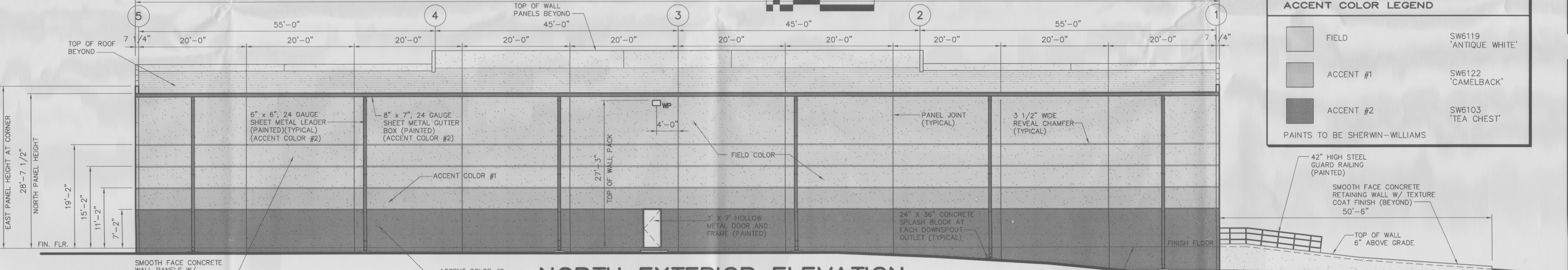
OMISSION No. 15-121
DATE 09-11-2015
REV. -
SHEET: A-1
2 OF 2



1 SOUTH EXTERIOR ELEVATION
SCALE: 1" = 10'-0"
226'-2 1/2"

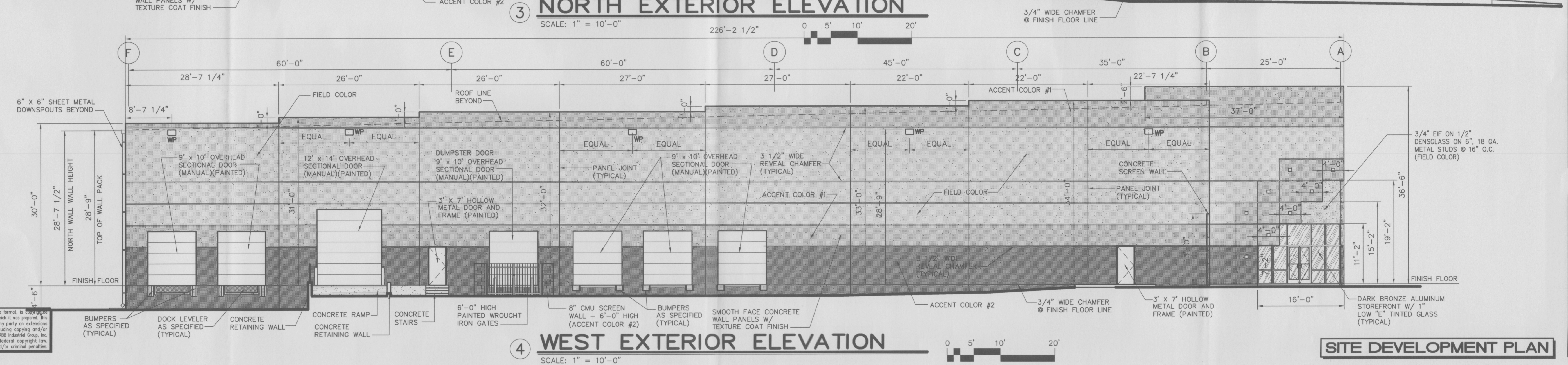


2 EAST EXTERIOR ELEVATION
SCALE: 1" = 10'-0"
201'-2 1/2"



3 NORTH EXTERIOR ELEVATION
SCALE: 1" = 10'-0"
226'-2 1/2"

ACCENT COLOR LEGEND	
[Light Gray Box]	FIELD SW6119 'ANTIQUE WHITE'
[Medium Gray Box]	ACCENT #1 SW6122 'CAMELBACK'
[Dark Gray Box]	ACCENT #2 SW6103 'TEA CHEST'
PAINTS TO BE SHERWIN-WILLIAMS	



4 WEST EXTERIOR ELEVATION
SCALE: 1" = 10'-0"

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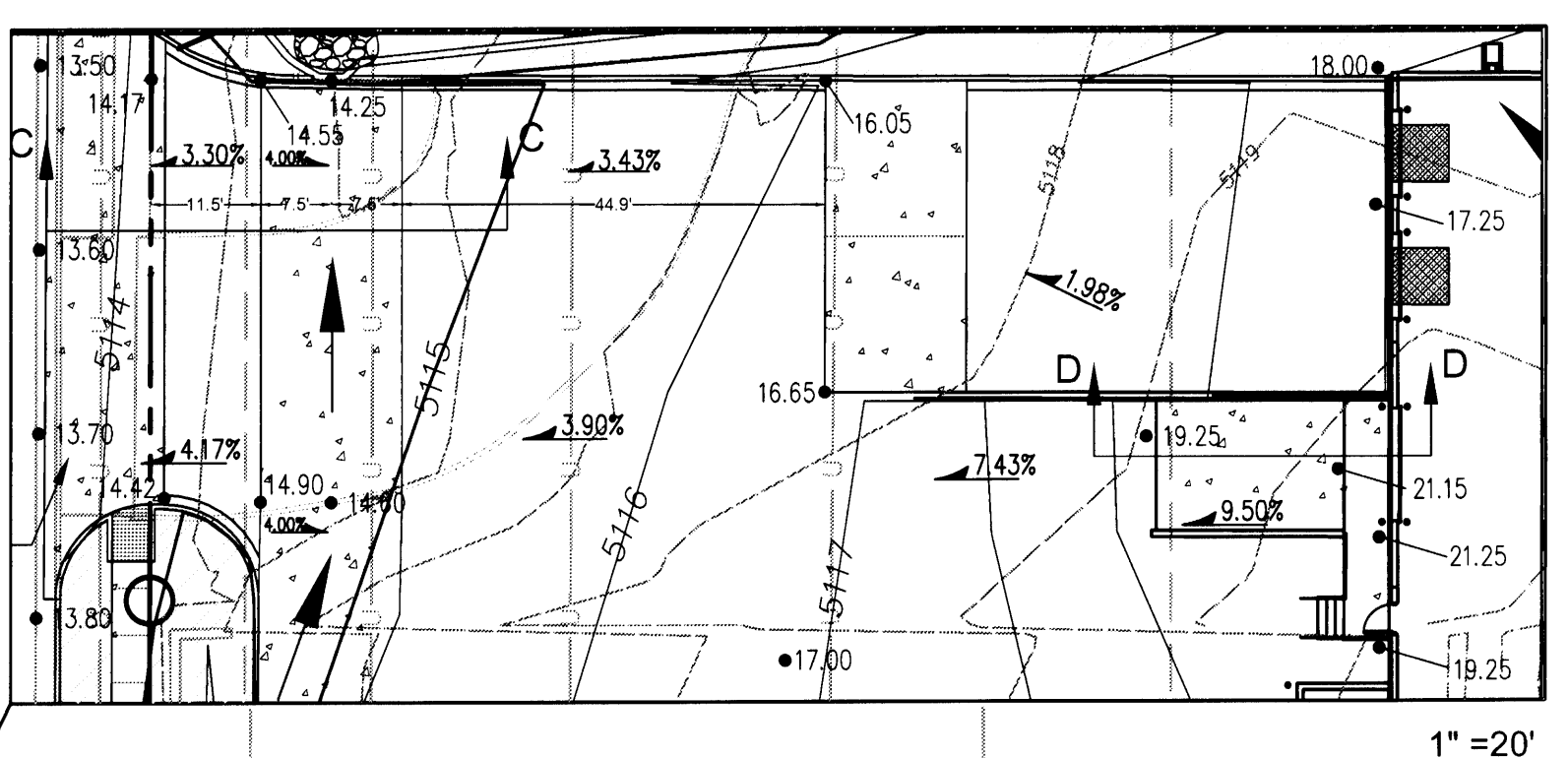
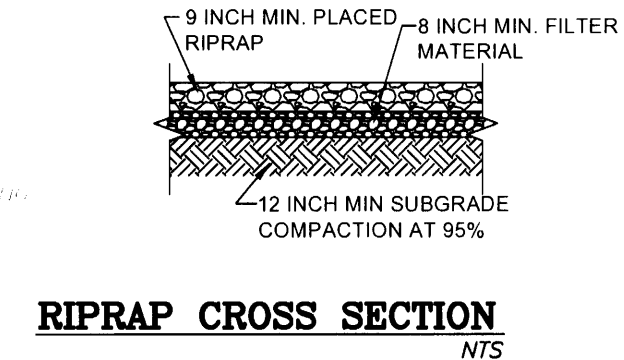
SITE DEVELOPMENT PLAN

RIPRAP NOTES:

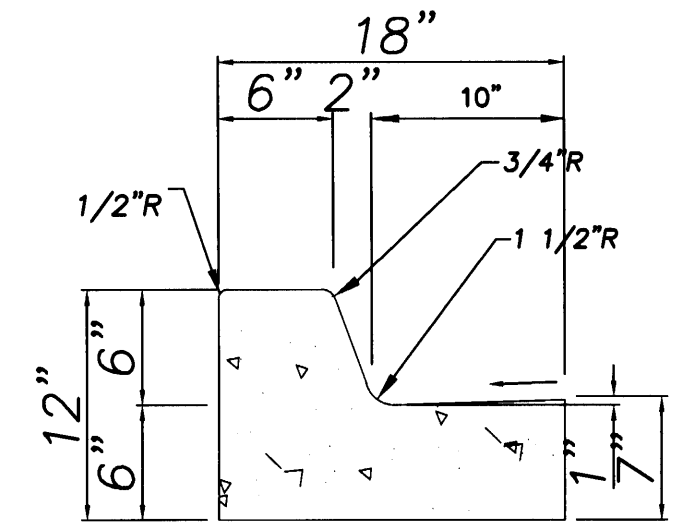
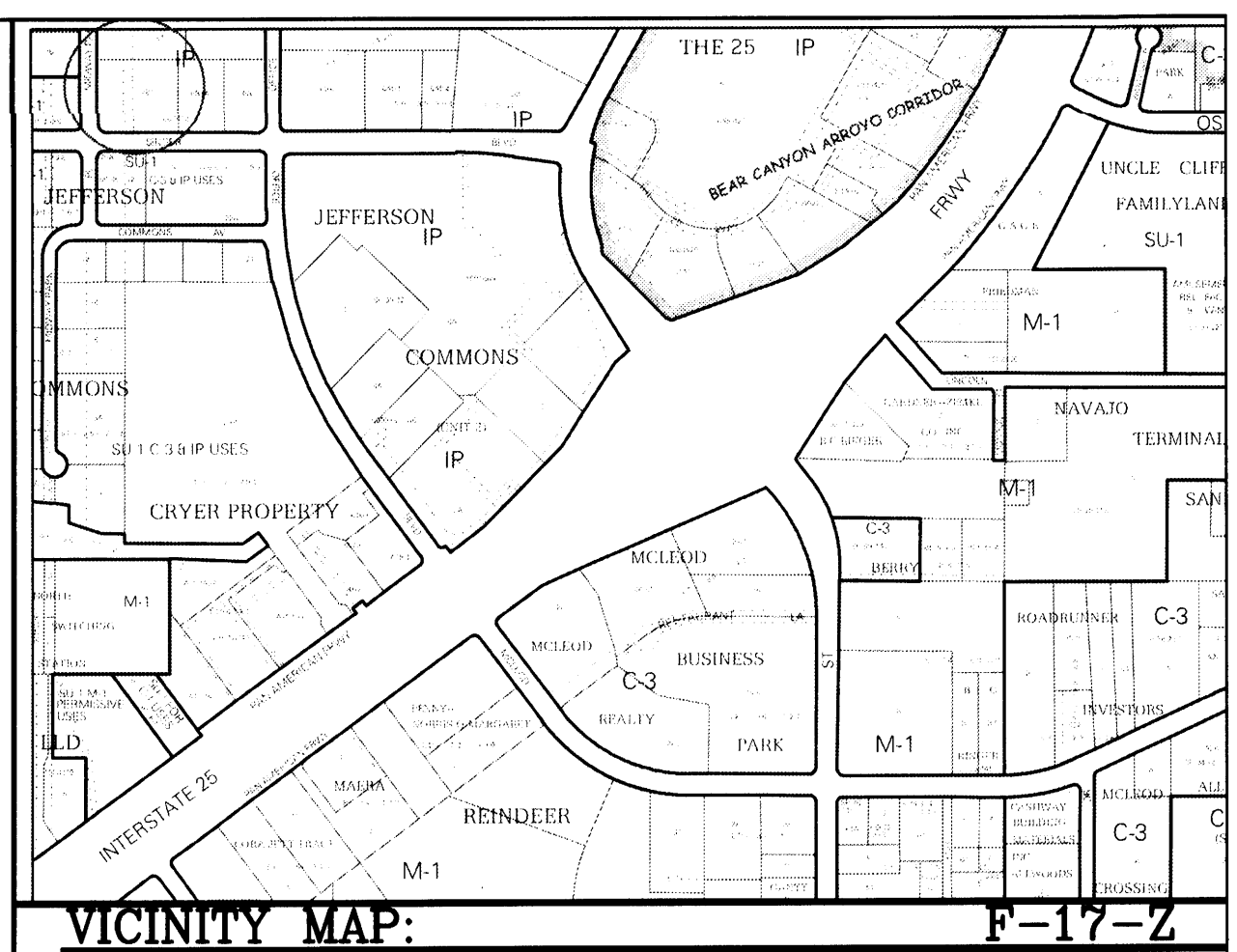
1. ALL RIPRAP SHALL BE PLACED ON A 12 INCH MIN. SUBGRADE COMPACTED AT 95%.

2. RIPRAP SHALL BE PLACED IN A 6 INCH MIN. FILTER MATERIAL.

3. RIPRAP SHALL BE PLACED IN A 9 INCH MIN. PLACED RIPRAP.

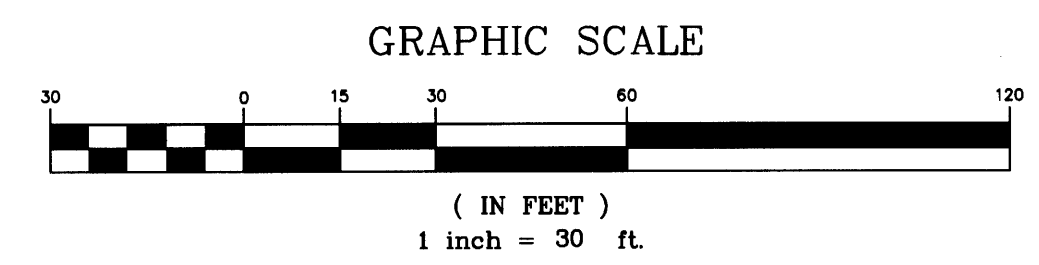
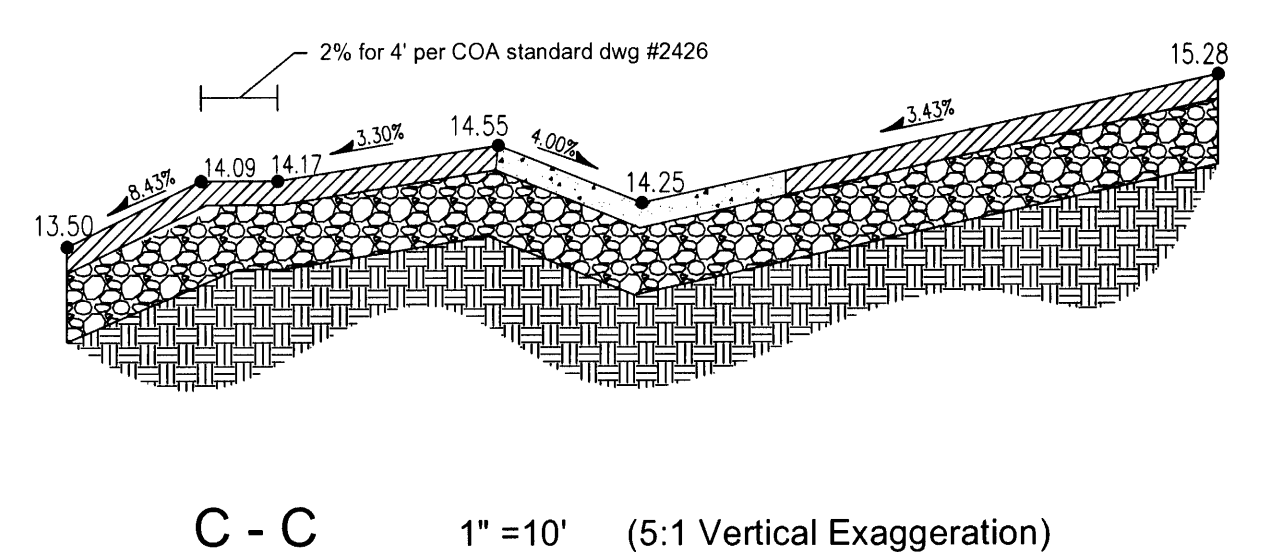
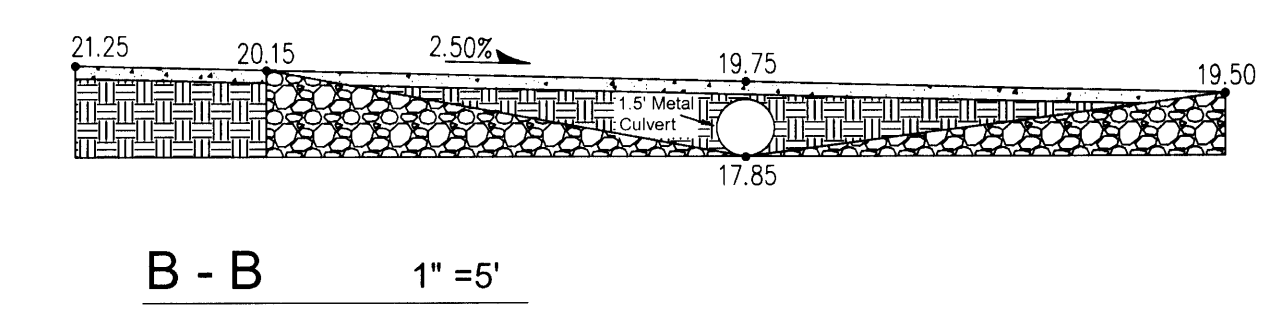
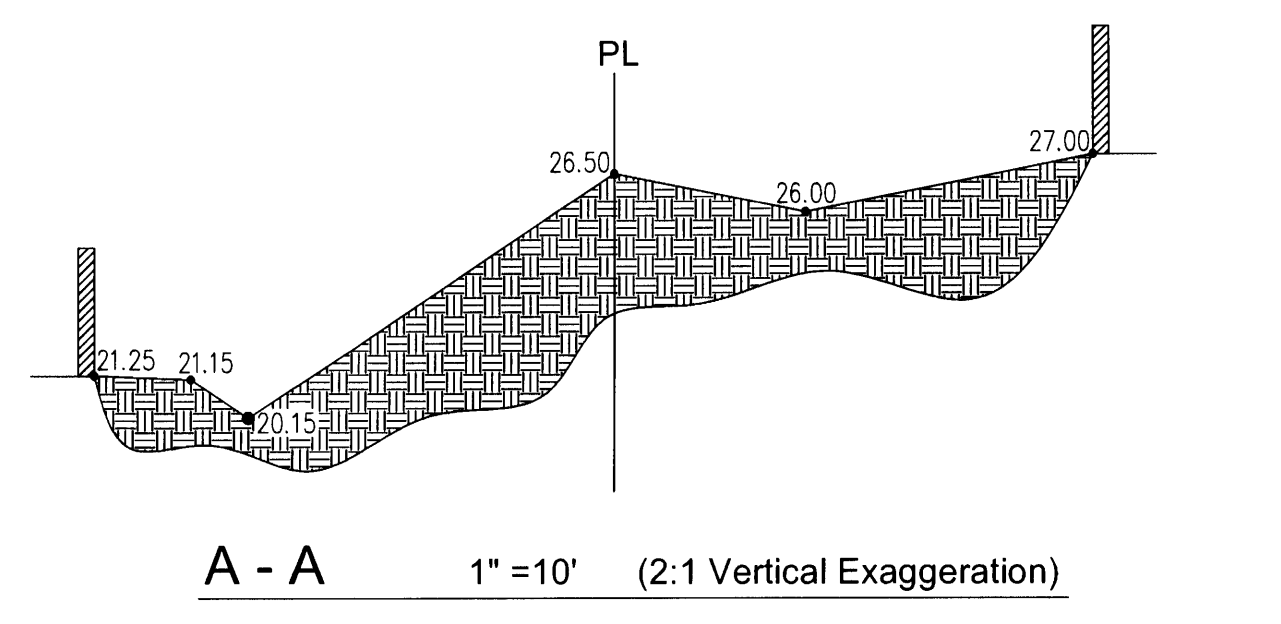
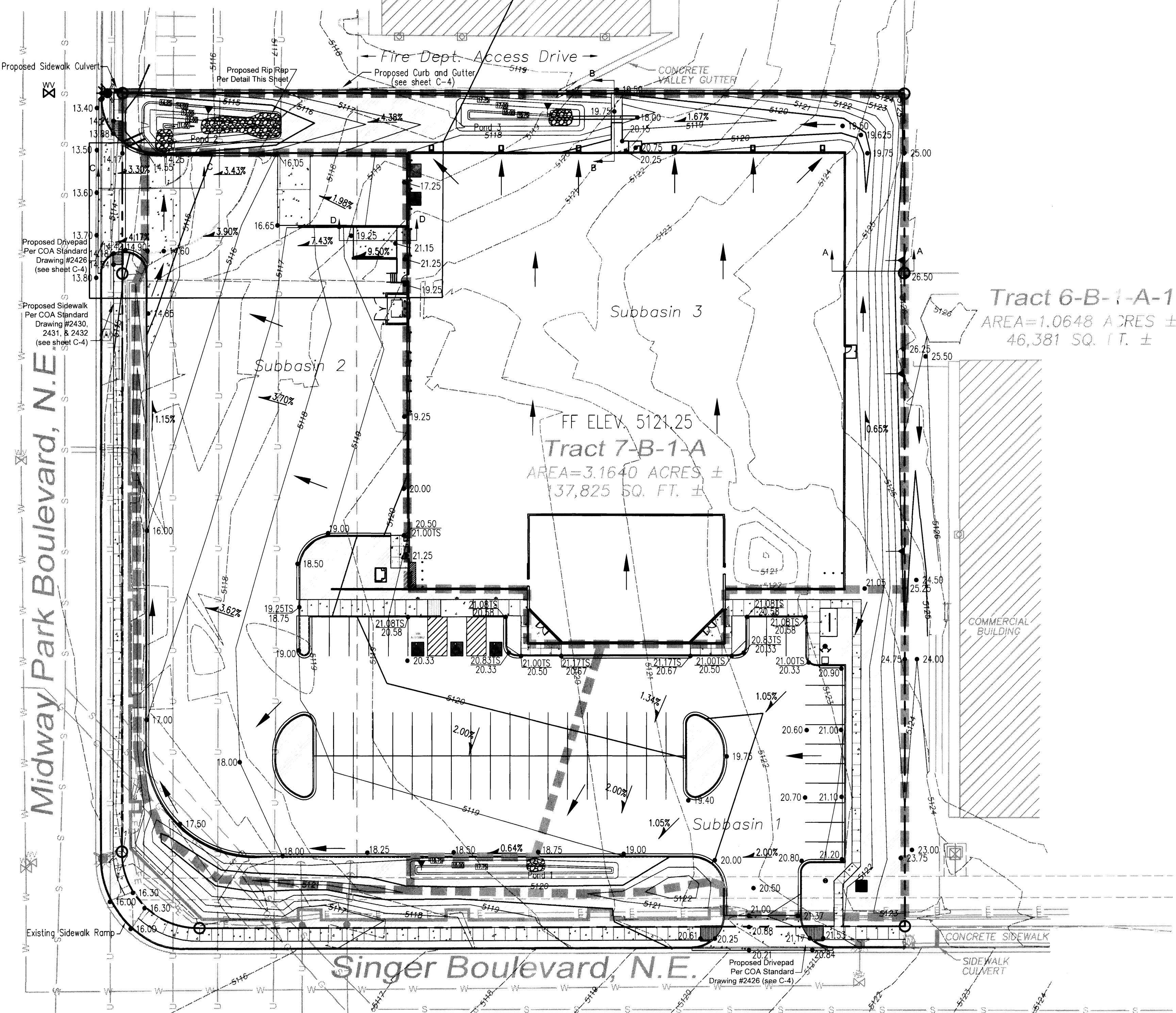


- GENERAL NOTES:**
- CURBS & GUTTERS TO BE CONSTRUCTED OF P.C.C.
 - FOR STANDARD C. & G. PROVIDE CONTRACTION JOINTS 6' O.C. MAX. ALSO PROVIDE 1/2" EXP. JOINTS 48" O.C. MAX. AT CURB RETURNS & AT EACH SIDE OF DRIVEWAY & ADJACENT TO WALLS & BUILDINGS
 - EDGES NOT SPECIF. DIMENSIONED SHALL BE EDGED WITH A 3/8" EDGING TOOL.
 - STD. C. & G. SHALL BE USED FOR NEW CONSTR. UNLESS OTHERWISE APPROVED BY THE ENGINEER.
 - REMOVE & REPLACE 12" WIDE STRIP OF PAVEMENT BEYOND LIP OF GUTTER WHEN CONSTRUCTING C. & G. ADJACENT TO EXIST. A.C. PAVEMENT.
 - STD. C. & G. REQUIRE FULL FORM ON ALL FACES EXCEPT WITH PRIOR APPROVAL OF ENGINEER.



Legend

- UTILITY POLE
- GUY WIRE
- TRANSFORMER
- ELECTRIC BOX
- WATER METER
- ROOF DRAIN
- WATER VALVE
- FIRE HYDRANT
- IRRIGATION CONTROL VALVE
- SIDEWALK CULVERT
- EDGE OF ASPHALT
- BLUESTAKE ELECTRIC LINE
- BLUESTAKE GAS LINE
- OVERHEAD UTILITY LINE
- BLUESTAKE WATER LINE
- SUBBASIN BOUNDARY
- PROPERTY LINE
- PROPOSED POND ELEVATIONS
- EXISTING CONTOURS
- PROPOSED CONTOURS
- LANDSCAPING HATCH



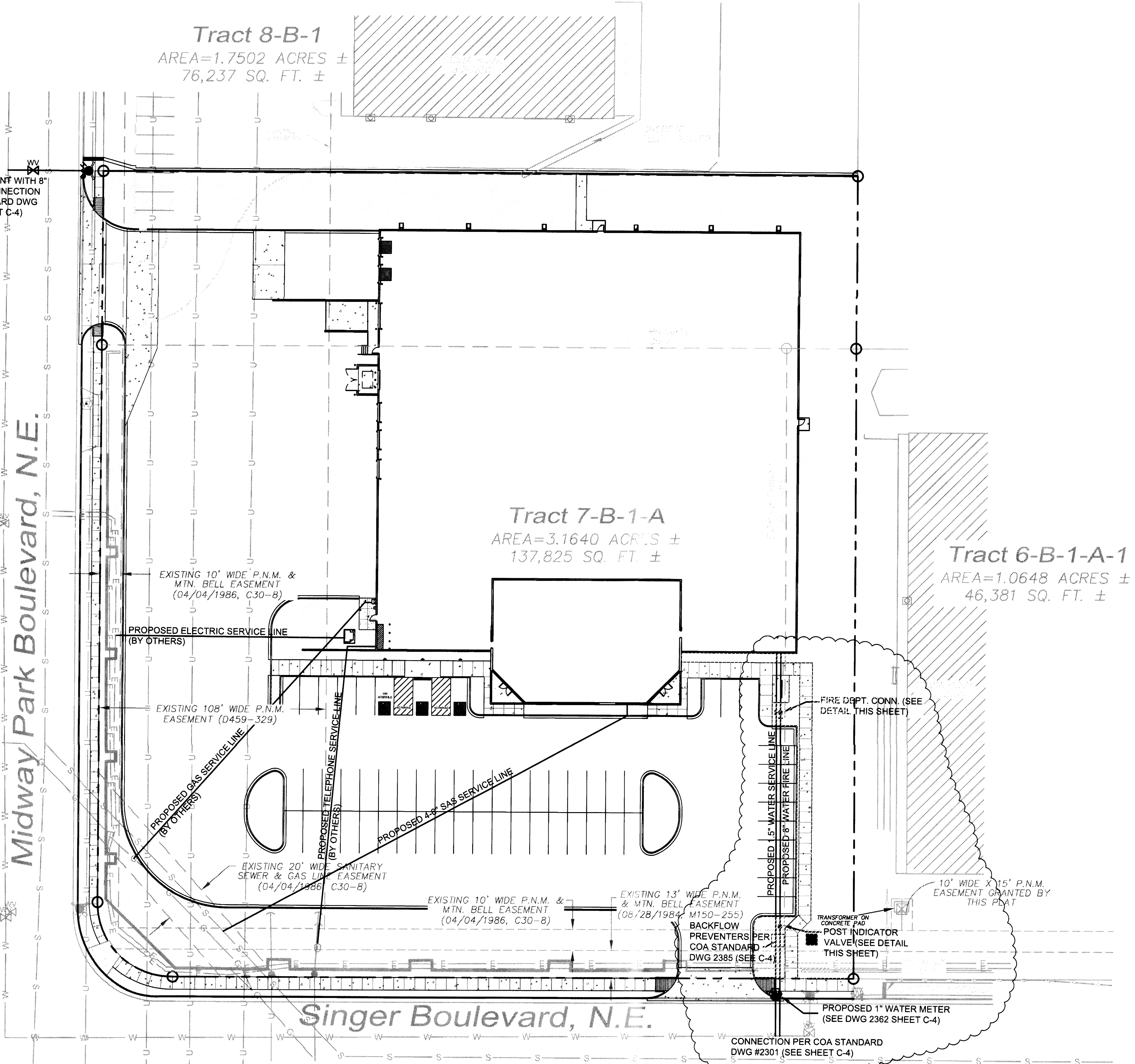
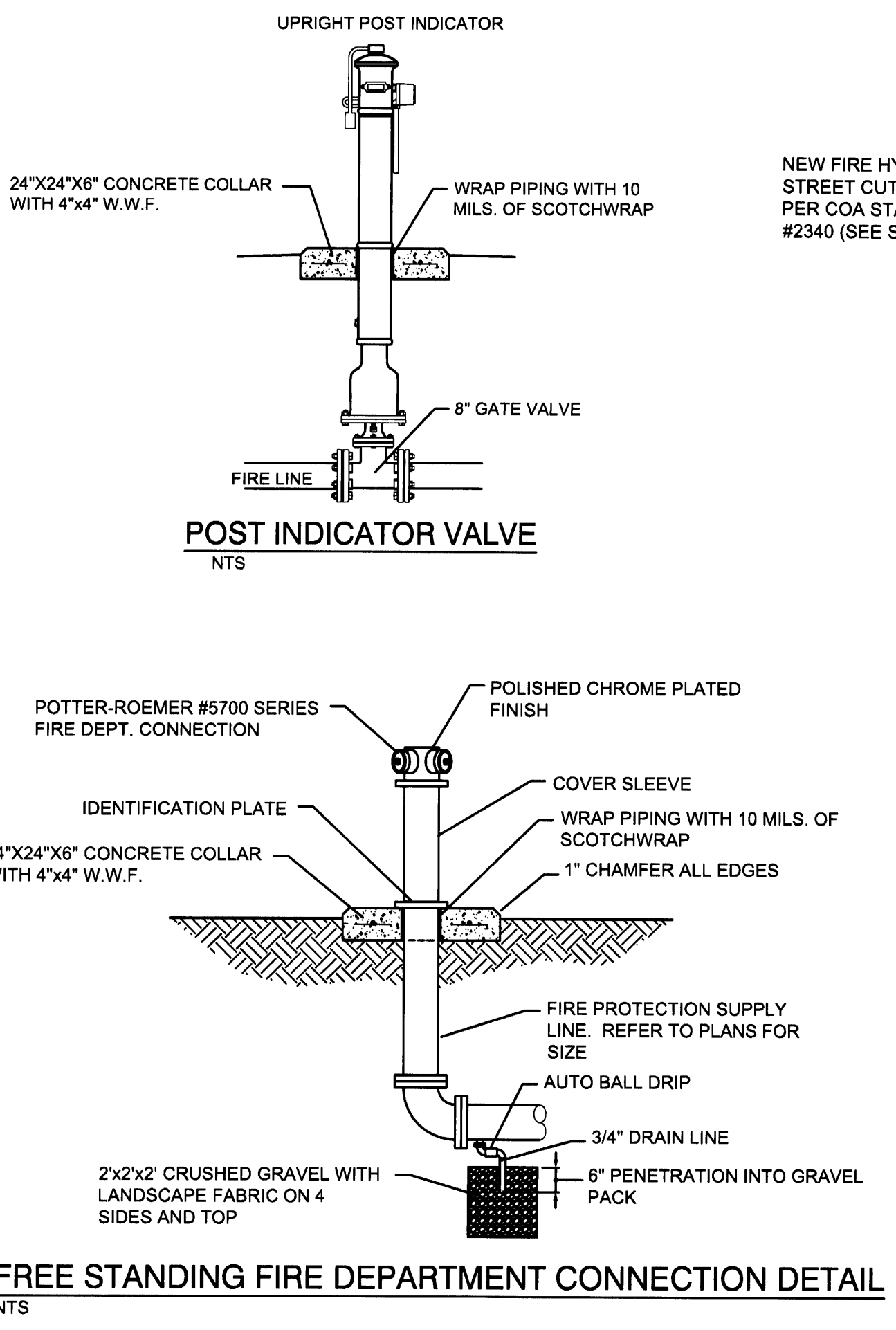
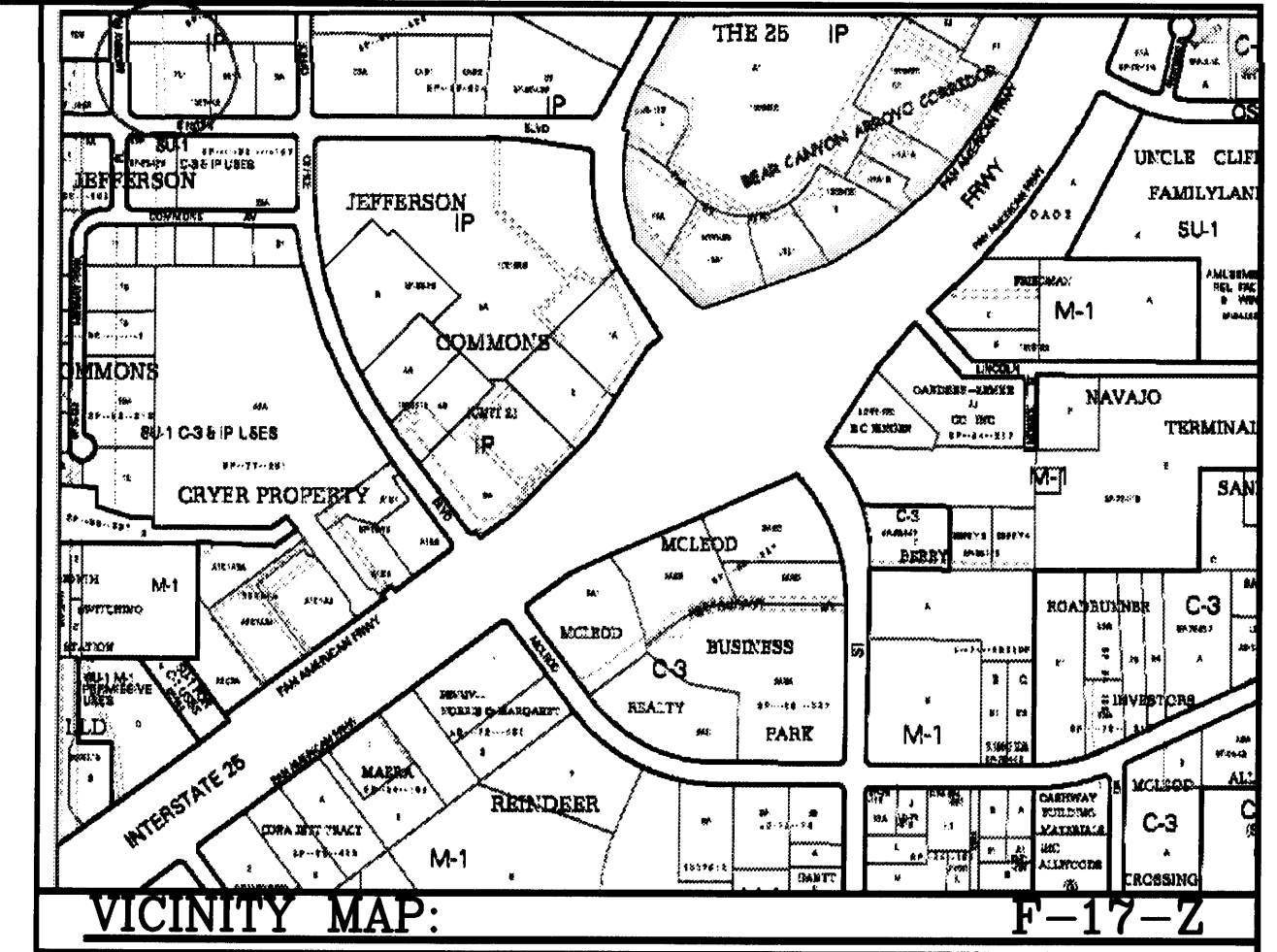
A NEW OFFICE / WAREHOUSE for

ALBUQUERQUE, NEW MEXICO 87109
3815 SINGER BLVD. N.E.

	GRADING	OMISSION No. 15-121 DATE 09-2015 REV: - SHEET: C-2 2 OF 4
	JOB # 019-15-200 FLOYD DEVELOPMENT SERVICES, LLC DEVELOPMENT, ENGINEERING, & WATERSHED CONSULTING 918 PINEHURST RD SE, SUITE 101 RIO RANCHO, NM 87124 HUGH@DEVELOPNM.COM 505-366-4187	ISSUED FOR BUILDING PERMIT

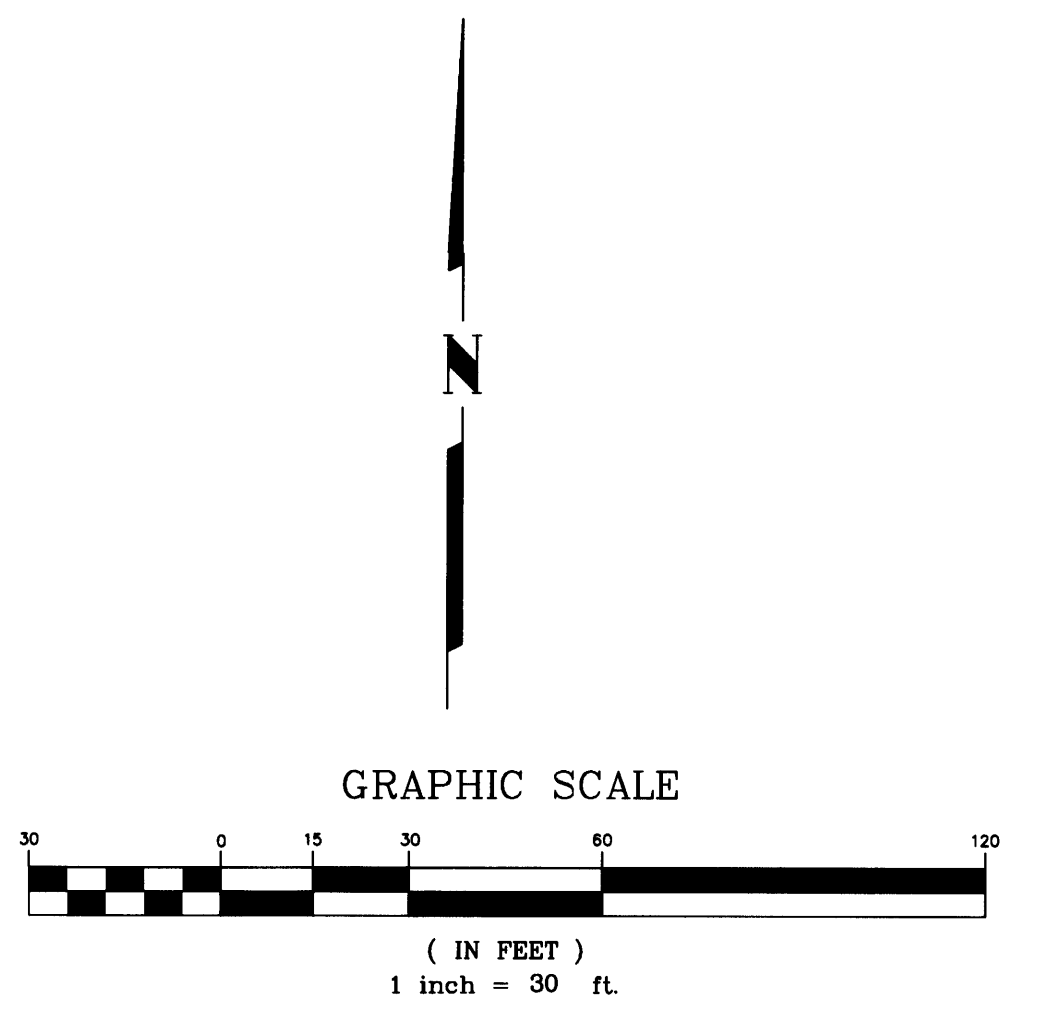
NOTES:

1. ALL MECHANICAL JOINTS SHALL BE RESTRAINED AT THE FITTING.
2. THE CONTRACTOR SHALL PROVIDE A MINIMUM PIPE LENGTH OF 20 LF FROM ALL MECHANICAL JOINTS. ALL PIPE JOINTS WITHIN 20 LF OF A MECHANICAL JOINT SHALL BE RESTRAINED AT THE CONTRACTOR'S EXPENSE.
3. THE CONTRACTOR SHALL RESTRAIN ALL PIPE JOINTS IN THE SPECIFIED DISTANCE LISTED IN THE TABLE ON THIS SHEET.
4. THE CONTRACTOR SHALL RESTRAIN ALL FIRE HYDRANT JOINTS FROM THE TEE ON THE MAIN TO THE FIRE HYDRANT FLANGE.



Legend

- UTILITY POLE
- GUY WIRE
- ⊠ TRANSFORMER
- ⊞ ELECTRIC BOX
- ⊞ WATER METER
- ⊞ ROOF DRAIN
- ⊞ WATER VALVE
- ⊞ FIRE HYDRANT
- ⊞ IRRIGATION CONTROL VALVE
- SIDEWALK CULVERT
- EDGE OF ASPHALT
- BLUESTAKE ELECTRIC LINE
- BLUESTAKE GAS LINE
- OVERHEAD UTILITY LINE
- BLUESTAKE WATER LINE
- SUBBASIN BOUNDARY
- PROPERTY LINE
- PROPOSED POND ELEVATIONS
- EXISTING CONTOURS
- PROPOSED CONTOURS
- LANDSCAPING HATCH
- EXISTING PROPERTY LINE

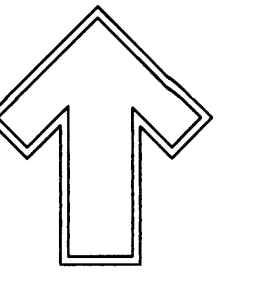


A NEW OFFICE / WAREHOUSE for
PURVIS INDUSTRIES
 3815 SINGER BLVD. N.E.
 ALBUQUERQUE, NEW MEXICO 87109

ISSUED FOR
SITE PLAN FOR
BUILDING PERMIT

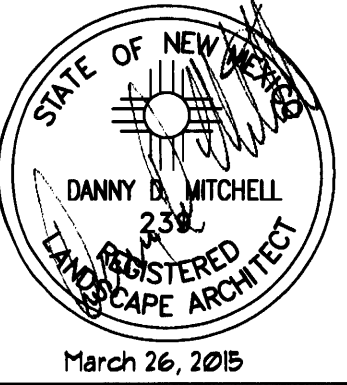
ENGINEER'S SEAL HUGH W. FLOYD P.E. 16633	UTILITIES	OMISSION No. 15-121 DATE 09-2015 REV 10-2015 SHEET: C-3 3 OF 4
	JOB # 019-15-200 FLOYD DEVELOPMENT SERVICES, LLC DEVELOPMENT, ENGINEERING, & WATERSHED CONSULTING 918 PINEHURST RD SE, SUITE 102 RIO RANCHO, NM 87124 HUGH@DEVELOPNM.COM 505-366-4187	

REVISION 1: MOVED DOMESTIC SERVICE LINE TO SE CORNER AND ADDED BACKFLOW PREVENTER TO SERVICE LINE.



The Hilltop
1909 Edith NE
Albuquerque, NM 87184
Cont. Lic. #16459
Ph. (505) 293-9630
Fax. (505) 293-1131
danny@hilltoplandscaping.com

Landscape Architect



March 26, 2015

Proposed Building
Singer Av.
Albuquerque, NM

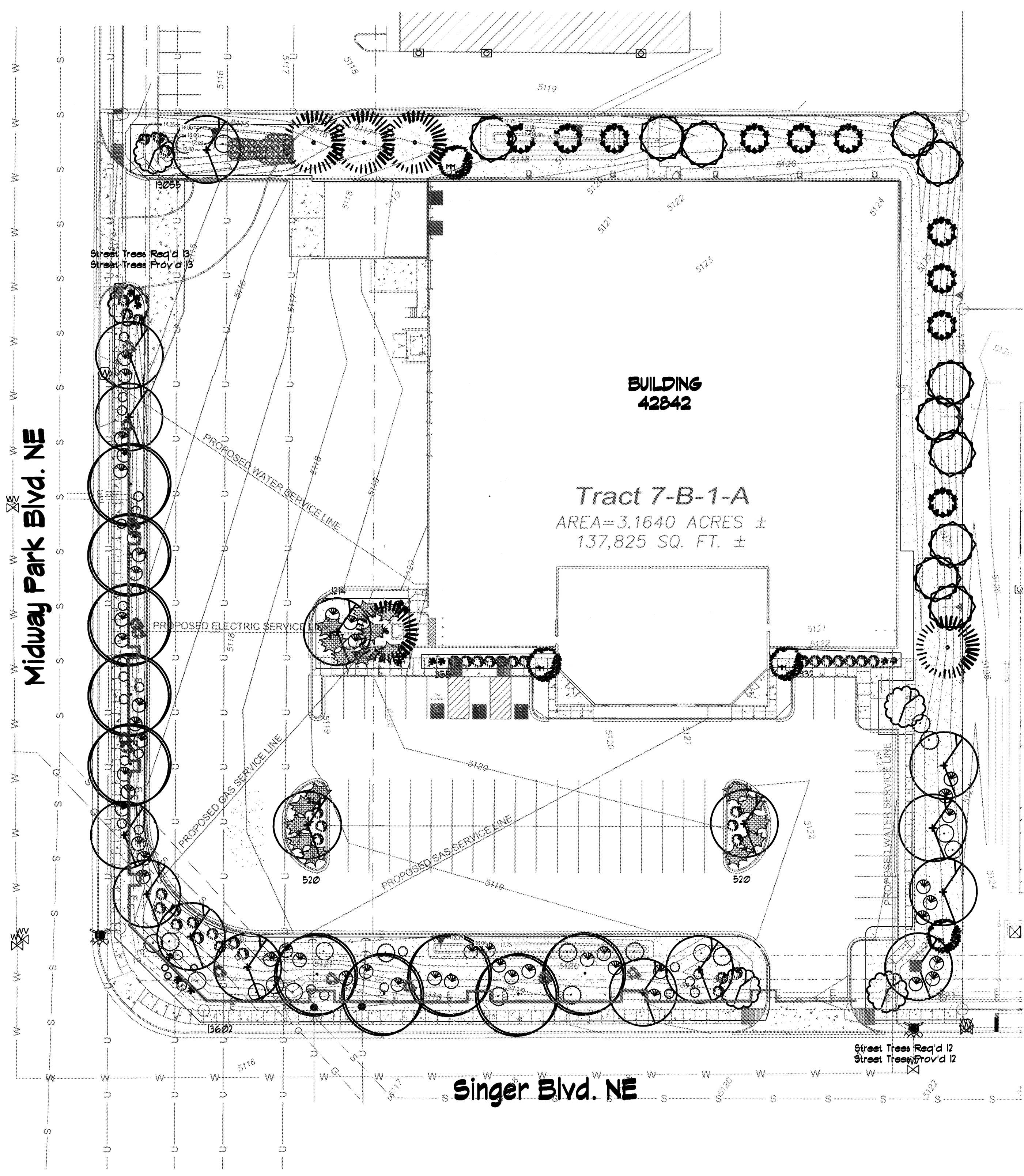
LANDSCAPE PLAN

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The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS

DRAWN BY
cm
REVISED BY
cm
DATE
03/16/2015

SHEET #
LS-101



LANDSCAPE LEGEND

QTY SIZE COMMON/BOTANICAL H2O USE

Trees

16	2' cal	Chinese Pistache <i>Pistacia chinensis</i>	30x30 900 14400M+
10	2' cal	Honey Locust <i>Gleditsia triacanthos</i>	50x45 202520250M
6	6-8'	Austrian Pine <i>Pinus nigra</i>	65x25 625 3750 M
10	15 Gal.	Rocky Mountain Juniper <i>Juniperus scopulorum</i>	40x12 144 14400M
2	4 - 6'	Palm Yucca <i>Yucca faxoniana</i>	15x6 36 72 M
5	15 Gal.	Oklahoma Reedbud <i>Cercis reniformis</i>	15x12 144 720 M
11	15 Gal.	Desert Willow <i>Chilopsis linearis</i>	20x25 625 6875 L

Shrubs & Groundcovers

3	5 Gal	Spanish Broom <i>Caryopteris x clandonensis</i>	10x10 100 300 M
39	5 Gal	India Hawthorn <i>Raphiolepis indica</i>	3x5 25 975 M
11	5 Gal	Karl Forester <i>Calamagrostis acutiflora</i>	2x3 4 44 M
4	5 Gal	Curl-leaf Mountain Mahogany <i>Cercocarpus ledifolius</i>	15x15 225 900 L+
49	5 Gal	Grayleaf Cotoneaster <i>Cotoneaster glaucophyllus</i>	4x6 36 1764 M
18	5 Gal	Buffalo Juniper <i>Juniperus sabina 'Buffalo'</i>	1x12 144 1008 M
3	1 Gal	Cherry Sage <i>Salvia greggii</i>	2x3 9 2592 M
2	1 Gal	Blue Mist <i>Caryopteris x clandonensis</i>	3x3 9 18 M
25	1 Gal	Fern Bush <i>Chamaebatia millefolium</i>	5x6 36 900 L
10	1 Gal	Apache Plume <i>Fallugia paradoxa</i>	6x1 49 490 L
11	1 Gal	Chamae <i>Chrysothamnus nauseosus</i>	5x5 25 275 L
12	2-3cf	Boulders To be placed at contractor discretion	
325lb		Landscape Gravel / Filter Fabric 3/4" Crushed Gray	
3500		Over-size Cobble 2-4" Gray	

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.
It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

Clear site distances have been verified and no trees or shrubs that would interfere with visibility have been placed within the site triangles.

IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive (5) 1/2 GPH Drip Emitters and Shrubs to receive (2) 1/2 GPH Drip Emitters. Drip and Bubblers systems to be tied to 1/2" poly pipe with flush caps at each end.

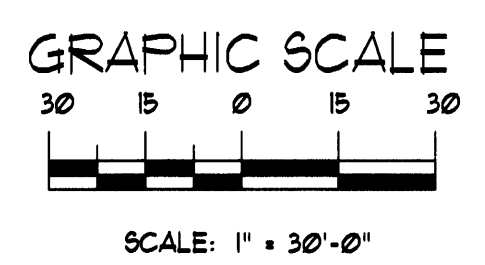
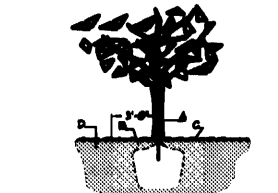
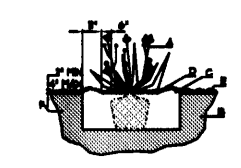
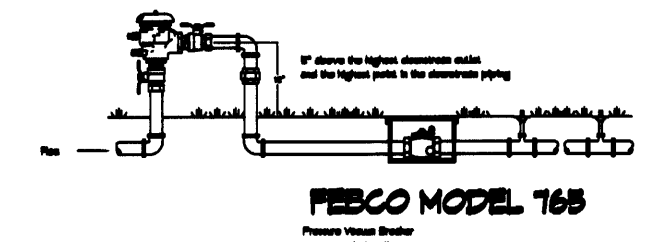
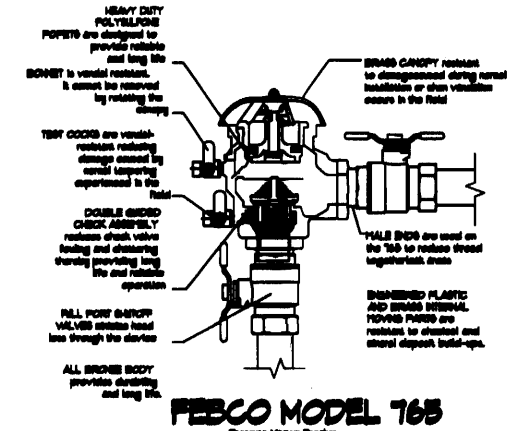
Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season. Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

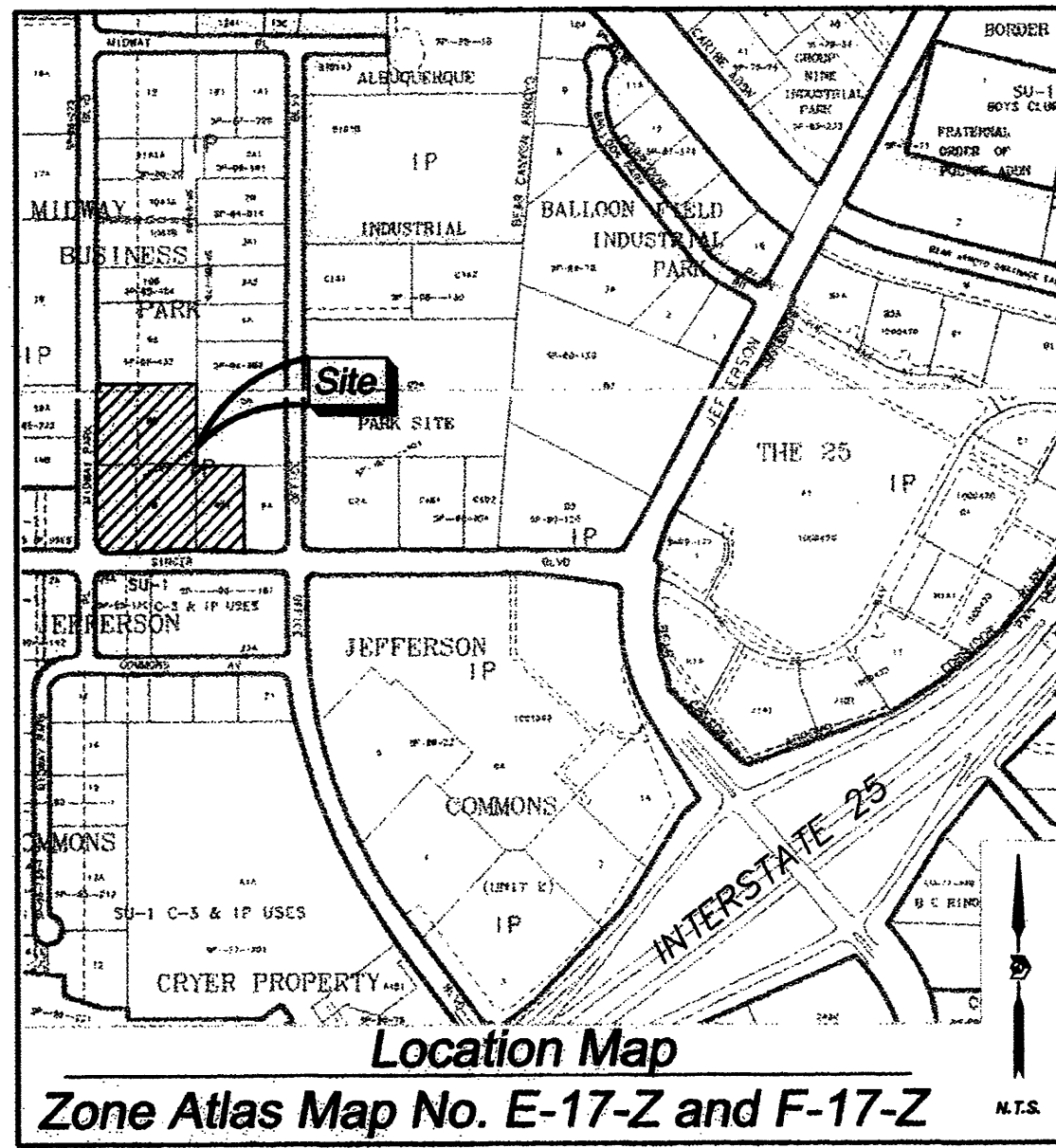
Irrigation maintenance shall be the responsibility of the Property Owner.

LANDSCAPE CALCULATIONS

TOTAL LOT AREA (sf)	139624
TOTAL BUILDING AREA (sf)	42842
TOTAL LOT AREA (sf)	96782
LANDSCAPE REQUIREMENT	X .15
TOTAL LANDSCAPE REQUIRED (15%)	14517
TOTAL ON-SITE LANDSCAPE PROVIDED	35510
TOTAL LIVE PLANT COVER REQUIRED (75%)	26639
TOTAL LIVE PLANT COVER PROVIDED	69713



SCALE: 1" = 30'-0"



RECORDING STAMP

Plat of
Tracts 6-B-1-A-1, 7-B-1-A and 8-B-1
Midway Business Park
 City of Albuquerque, Bernalillo County, New Mexico
 October 2014

Project No. 1007442
 Application No. 14DRB-70427
 Utility Approvals

Fernando Vigil 12/21/14
 PNM DATE
[Signature] 12/31/14
 NEW MEXICO GAS COMPANY DATE
[Signature] 1/8/15
 QWEST CORPORATION D/B/A CENTURYLINK QC DATE
[Signature] 12/29/14
 COMCAST DATE

City Approvals

[Signature] 10/30/14
 (Acting) CITY SURVEYOR DATE
 TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT DATE
 A.B.C.W.U.A. DATE
 PARKS AND RECREATION DEPARTMENT DATE
 AMAFCA DATE
 CITY ENGINEER DATE
 DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

TREASURER CERTIFICATE

Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED NEW MEXICO PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF THE MINIMUM STANDARDS FOR LAND SURVEYS AS ADOPTED BY THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

[Signature] 10/14/14
 LARRY W. MEDRANO DATE
 N.M.S. No. 11993



OFFICE LOCATION:
 5571 Midway Park Place, NE
 Albuquerque, NM 87109
 MAILING ADDRESS:
 PO Box 90636
 Albuquerque, NM 87199

505.856.5700 PHONE
 505.856.7900 FAX

Legal Description

A TRACT OF LAND SITUATE WITHIN THE ELENA GALLEGOS GRANT, PROJECTED SECTIONS 26 AND 35, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF TRACT 8-B, OF THE MIDWAY BUSINESS PARK, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 4, 1986, IN VOLUME C30, FOLIO 8, TOGETHER WITH TRACTS 6-B-1-A AND 7-B-1 AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON SEPTEMBER 11, 2008 IN BOOK 2008C, PAGE 203, SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE COORDINATE SYSTEM GRID BEARINGS (CENTRAL ZONE - NAD 1983) AND GROUND DISTANCES (U.S. SURVEY FOOT) AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF DESCRIBED TRACT LYING ON THE EAST RIGHT OF WAY LINE OF MIDWAY PARK BOULEVARD, N.E. MARKED BY A FOUND CHISELED "X" FROM WHENCE A TIE TO AGRS MONUMENT "S_27_26_34_35_11N_3E" BEARS S 29°59'27" W, A DISTANCE OF 427.11 FEET;
 THENCE FROM SAID POINT OF BEGINNING, LEAVING SAID EAST RIGHT OF WAY LINE, S 89°49'25" E, A DISTANCE OF 359.15 FEET TO AN ANGLE POINT MARKED BY A FOUND CHISELED "X";
 THENCE S 00°01'44" W, A DISTANCE OF 294.79 FEET TO AN ANGLE POINT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";
 THENCE S 89°53'34" E, A DISTANCE OF 154.44 FEET TO THE NORTHEAST CORNER OF DESCRIBED TRACT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";
 THENCE S 00°00'50" W, A DISTANCE OF 300.11 FEET TO THE SOUTHEAST CORNER OF DESCRIBED TRACT LYING ON THE NORTH RIGHT OF WAY LINE OF SINGER BOULEVARD, N.E. MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";
 THENCE ALONG SAID NORTH RIGHT OF WAY LINE, N 89°59'06" W, A DISTANCE OF 479.27 FEET TO A POINT OF CURVATURE AT THE INTERSECTION OF SINGER BOULEVARD, N.E. AND MIDWAY PARK BOULEVARD, N.E. MARKED BY A FOUND NO. 4 REBAR WITH RED PLASTIC CAP "ILLEGIBLE" (BENT);
 THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 35.00 FEET, AN ARC LENGTH OF 55.88 FEET, A DELTA ANGLE OF 91°28'47", A CHORD BEARING OF N 45°18'46" W, AND A CHORD LENGTH OF 50.13 FEET TO A POINT OF TANGENCY LYING ON THE EAST RIGHT OF WAY LINE OF MIDWAY PARK BOULEVARD, N.E. MARKED BY A FOUND NO. 5 REBAR (BENT);
 THENCE ALONG SAID EAST RIGHT OF WAY LINE, N 00°09'31" E, A DISTANCE OF 265.71 FEET TO AN ANGLE POINT MARKED BY A FOUND NO. 4 REBAR WITH ALUMINUM CAP "ILLEGIBLE";
 THENCE CONTINUING ALONG SAID EAST RIGHT OF WAY LINE, N 00°09'19" E, A DISTANCE OF 295.21 FEET TO THE POINT OF BEGINNING CONTAINING 5.9790 ACRES (260,443 SQUARE FEET) MORE OR LESS, NOW COMPRISING TRACTS 6-B-1-A-1, 7-B-1-A, AND 8-B-1, MIDWAY PARK.

Solar Note:

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERRECTED ON THE LOTS OF PARCELS WITHIN THE AREA OF THIS PLAT.

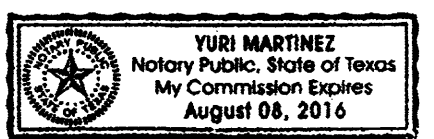
Free Consent

THE REPLAT SHOWN HERE IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER, EXISTING PUBLIC UTILITY EASEMENTS SHOWN HERE FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNER WARRANTS THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED. SAID OWNER DOES GRANT EASEMENTS AS SHOWN HEREON.

Robert W. Purvis OCTOBER 17, 2014
 ROBERT W. PURVIS DATE
 PRESIDENT
 PURVIS INDUSTRIES

Acknowledgment

STATE OF TEXAS) SS
 COUNTY OF DALLAS)
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 17 DAY OF October, 2014 BY
 ROBERT W. PURVIS.
 BY *[Signature]* MY COMMISSION EXPIRES: August 8, 2016
 NOTARY PUBLIC



INDEXING INFORMATION FOR COUNTY CLERK
 OWNER PURVIS INDUSTRIES
 SECTIONS 26&35, TOWNSHIP 11 N, RANGE 3 E,
 SUBDIVISION MIDWAY BUSINESS PARK

Subdivision Data:

ZONING: IP
 GROSS SUBDIVISION ACREAGE: 5.9790 ACRES±
 ZONE ATLAS INDEX NO: E-17-Z AND F-17-Z
 NO. OF TRACTS CREATED: 3
 NO. OF LOTS CREATED: 0
 MILES OF FULL-WIDTH STREETS CREATED: 0
 DATE OF SURVEY: AUGUST 29, 2014

Purpose of Plat

THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING THREE TRACTS INTO THREE NEW TRACTS, AND TO GRANT EASEMENTS.

Notes:

1. BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1983).
2. ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
3. THIS PROPERTY LIES WITHIN THE ELENA GALLEGOS GRANT, PROJECTED SECTIONS 26 & 35, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
4. PLAT SHOWS ALL EASEMENTS OF RECORD.
5. EASEMENT BEARINGS AND DISTANCES SHOWN HEREON ARE RECORD AND EASEMENTS HAVE BEEN ROTATED TO MATCH BASIS OF BEARINGS AND BOUNDARY UNLESS OTHERWISE INDICATED.

Public Utility Easements

- PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON JOINT USE OF:
- A. PUBLIC SERVICE COMPANY OF NEW MEXICO ("PNM"), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR INSTALLATION, MAINTENANCE AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.
 - B. NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.
 - C. QWEST CORPORATION D/B/A CENTURYLINK QC FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.
 - D. CABLE TV FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE WITHIN THE EASEMENT CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM AND OVER SAID EASEMENTS, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANTOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS NOR SHALL WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMER/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE (5) FEET ON EACH SIDE.

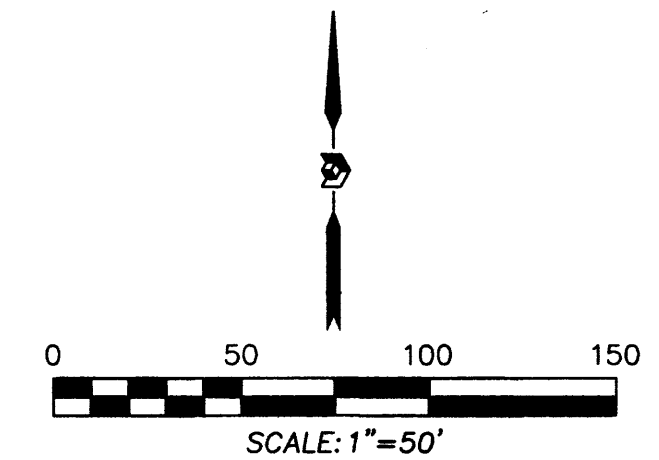
Disclaimer

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM), QWEST CORPORATION D/B/A CENTURYLINK QC AND NEW MEXICO GAS COMPANY (NMGC) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM, QWEST CORPORATION D/B/A CENTURYLINK QC AND NMGC DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN SPECIFICALLY DESCRIBED AND ON THIS PLAT.

Plat of
Tracts 6-B-1-A-1, 7-B-1-A and 8-B-1
Midway Business Park

City of Albuquerque, Bernalillo County, New Mexico
 October 2014

RECORDING STAMP



Legend

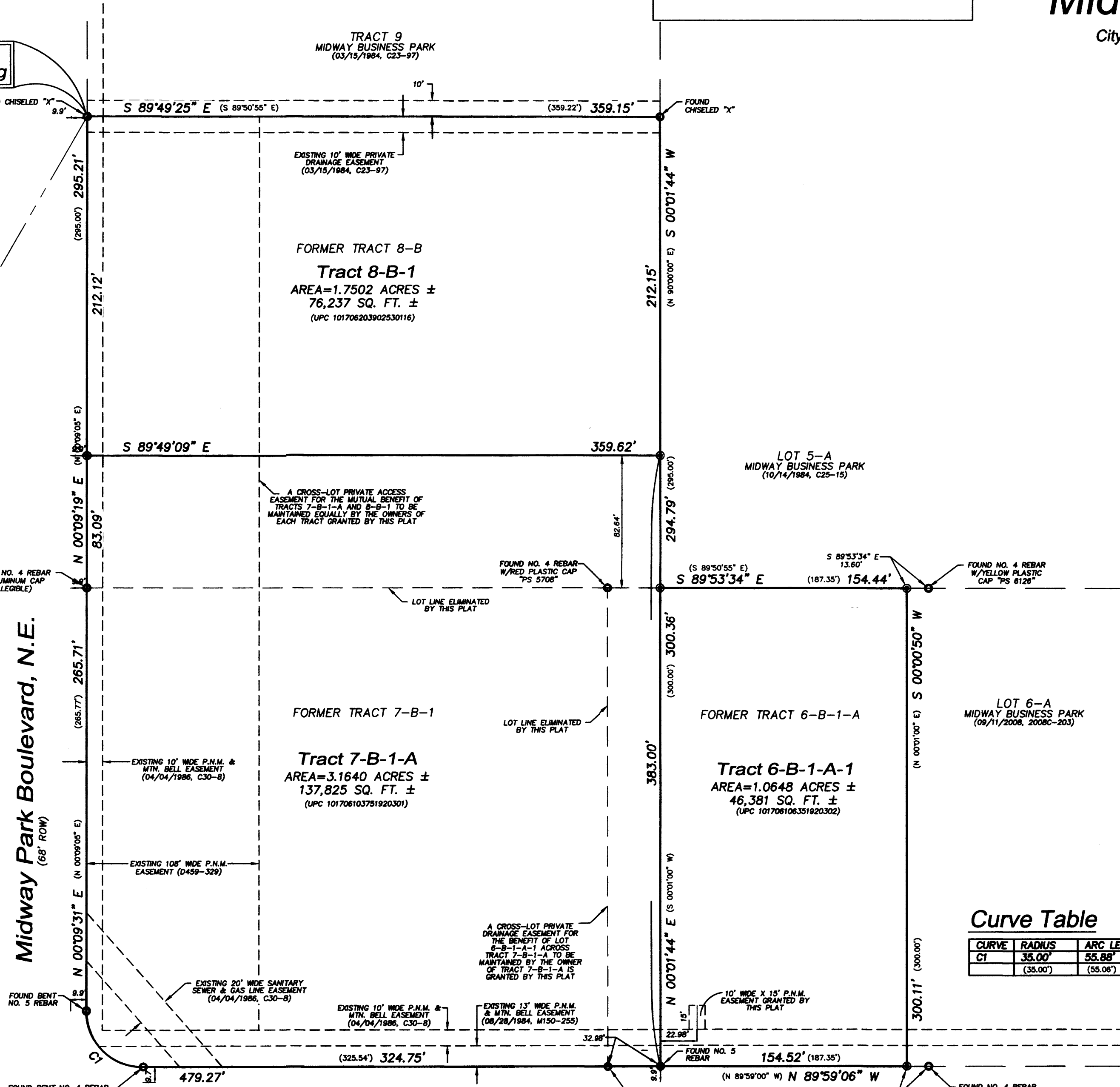
N 90°00'00" E	MEASURED BEARING AND DISTANCES
(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES
○	FOUND AND USED MONUMENT AS DESIGNATED
⊙	FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY
△	FOUND ALUMINUM AGRS MONUMENT AS DESIGNATED

A.G.R.S. MONUMENT "S_27_26_34_35_11N_36"
 STANDARD A.G.R.S. BRASS DISC
 (FOUND IN PLACE)
 NEW MEXICO STATE PLANE COORDINATES
 (CENTRAL ZONE-N.A.D. 1983)
 N= 1,508,397.940
 E= 1,534,561.674
 PUBLISHED EL=5113.117 (NAVD 1988)
 GROUND TO GRID FACTOR=0.999672139
 DELTA ALPHA ANGLE=-0712'13.83"

A.G.R.S. MONUMENT "I_25_18"
 STANDARD A.G.R.S. BRASS DISC
 (FOUND IN PLACE)
 NEW MEXICO STATE PLANE COORDINATES
 (CENTRAL ZONE-N.A.D. 1983)
 N= 1,505,666.336
 E= 1,535,672.415
 PUBLISHED EL=5128.340 (NAVD 1988)
 GROUND TO GRID FACTOR=0.999671141
 DELTA ALPHA ANGLE=-0712'05.92"

Midway Park Boulevard, N.E.
 (68' ROW)

Singer Boulevard, N.E.
 (80' ROW)



Curve Table

CURVE	RADIUS	ARC LENGTH	TANGENT	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	35.00'	55.86'	35.92'	91°28'47"	N 45°18'46" W	50.13'
	(35.00')	(55.06')	(35.08')	(90°08'05")		

PRECISION SURVEYS, INC.

OFFICE LOCATION:
 5571 Midway Park Place, NE
 Albuquerque, NM 87109
 MAILING ADDRESS:
 PO Box 90636
 Albuquerque, NM 87199

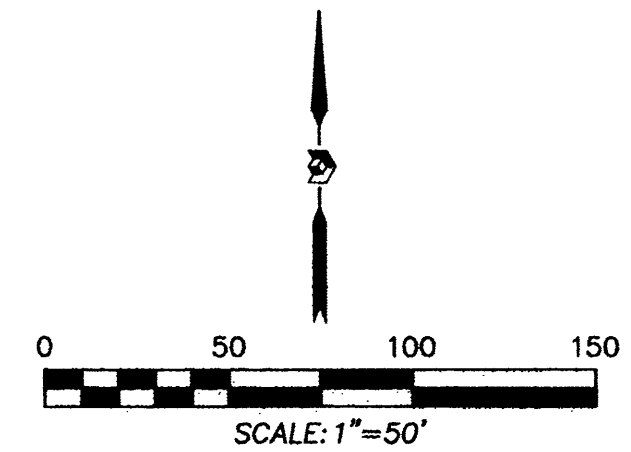
505.856.5700 PHONE
 505.856.7900 FAX

INDEXING INFORMATION FOR COUNTY CLERK
 OWNER PURVIS INDUSTRIES
 SECTIONS 26&35, TOWNSHIP 11 N, RANGE 3 E,
 SUBDIVISION MIDWAY BUSINESS PARK

Site Plan
 Tracts 6-B-1-A-1, 7-B-1-A and 8-B-1
Midway Business Park
 City of Albuquerque, Bernalillo County, New Mexico
 October 2014

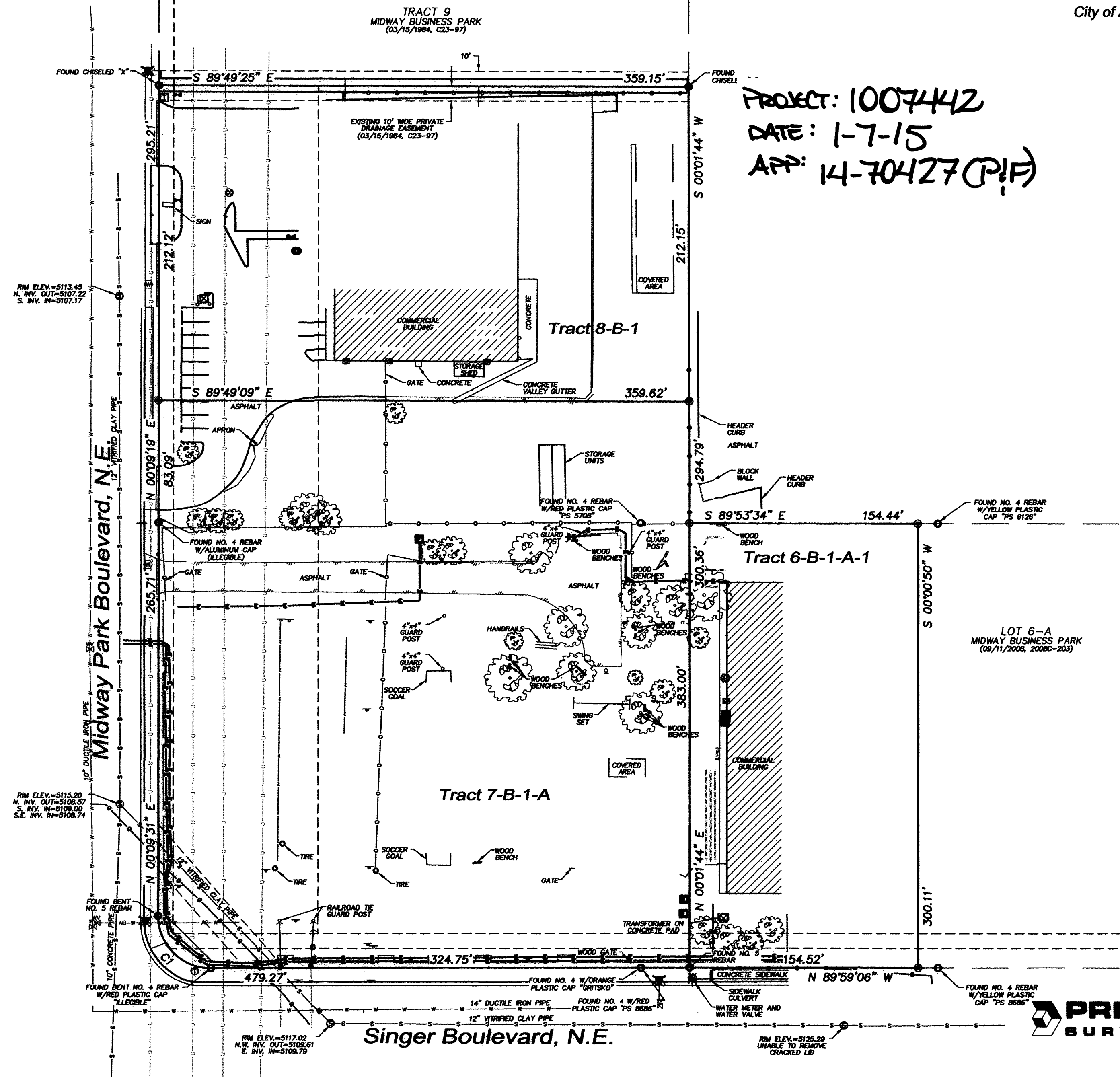
RECORDING STAMP

PROJECT: 1007442
 DATE: 1-7-15
 APP: 14-70427 (P/F)



Legend

Symbol	RECORD BEARINGS AND DISTANCES
○	FOUND AND USED MONUMENT AS DESIGNATED
△	FOUND ALUMINUM AGRS MONUMENT AS DESIGNATED
•	UTILITY POLE
+	GUY WIRE
○	BASKETBALL POST
⊠	TRANSFORMER
⊞	ELECTRIC BOX
⊞	PEDESTAL TELEPHONE
⊞	WATER METER
⊞	ROOF DRAIN
⊞	WATER VALVE
⊞	TELEPHONE CABINET
⊞	FIRE HYDRANT
⊞	TELEPHONE MANHOLE
⊞	SANITARY SEWER MANHOLE
⊞	CLEANOUT
⊞	IRRIGATION CONTROL VALVE
⊞	SIGN
⊞	SIDEWALK CULVERT
⊞	GUARD POST
⊞	TREE
⊞	MONITORING WELL
⊞	WOOD GATE
⊞	WIRE FENCE
⊞	CHAIN LINK FENCE
⊞	EDGE OF ASPHALT
⊞	BLUESTAKE ELECTRIC LINE
⊞	BLUESTAKE GAS LINE
⊞	OVERHEAD UTILITY LINE
⊞	BLUESTAKE WATER LINE
⊞	AS BUILT WATER LINE PER ABCWMA DOCUMENTS



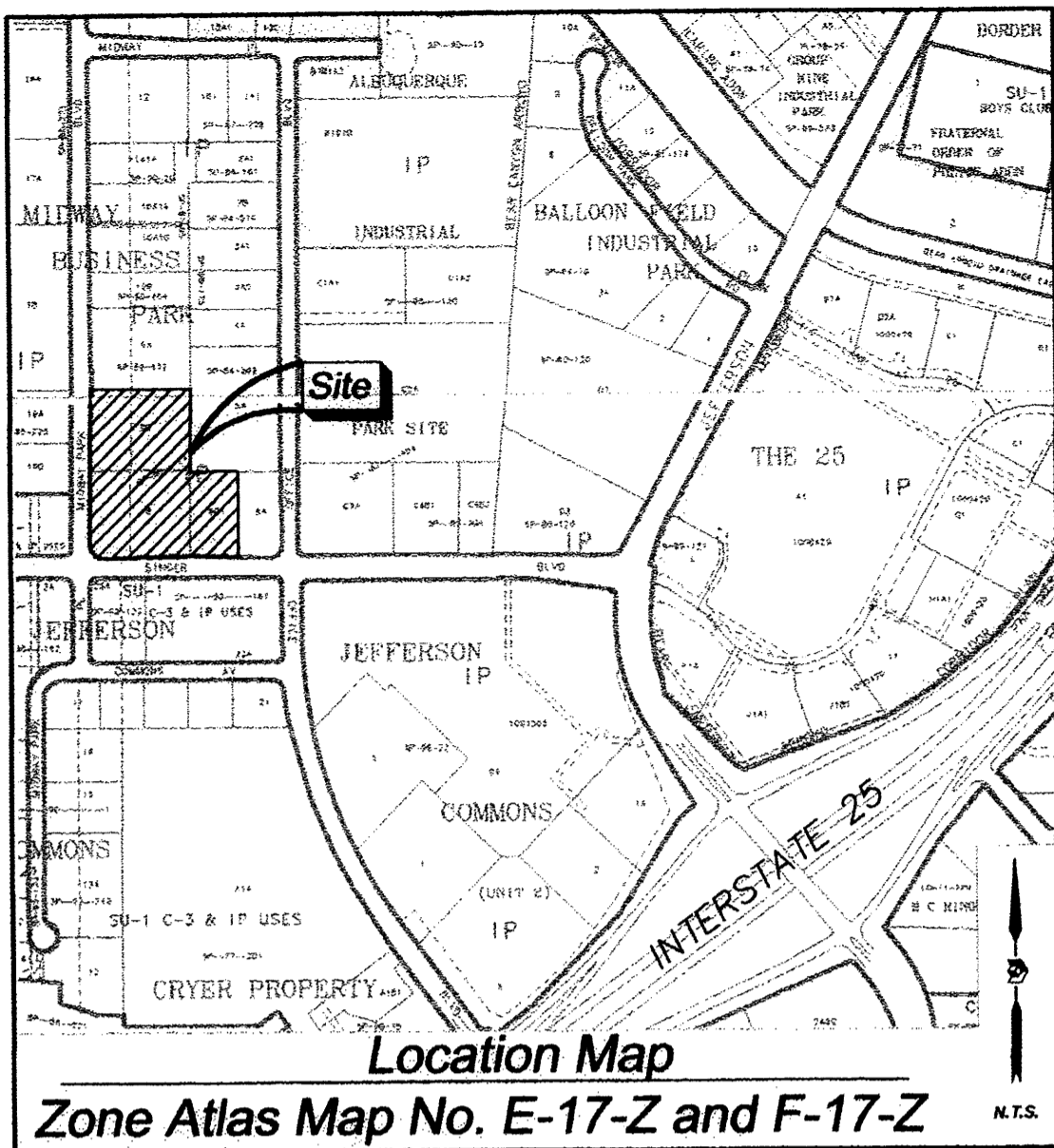
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C:\pwork\2014\10\15\1014118.dwg, 10/15/2014 10:36:50 AM, P: DwgPlot, 1774, 640, 400



Subdivision Data:

ZONING: IP
 GROSS SUBDIVISION ACREAGE: 5.9790 ACRES±
 ZONE ATLAS INDEX NO: E-17-Z and F-17-Z
 NO. OF TRACTS CREATED: 3
 NO. OF LOTS CREATED: 0
 MILES OF FULL-WIDTH STREETS CREATED: 0
 DATE OF SURVEY: AUGUST 29, 2014

Purpose of Plat

THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING THREE TRACTS INTO THREE NEW TRACTS.

Notes:

1. BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1983).
2. ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
3. THIS PROPERTY LIES WITHIN THE ELENA GALLEGOS GRANT, PROJECTED SECTIONS 26 & 35, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
4. PLAT SHOWS ALL EASEMENTS OF RECORD.
5. EASEMENT BEARINGS AND DISTANCES SHOWN HEREON ARE RECORD AND EASEMENTS HAVE BEEN ROTATED TO MATCH BASIS OF BEARINGS AND BOUNDARY UNLESS OTHERWISE INDICATED.

Public Utility Easements

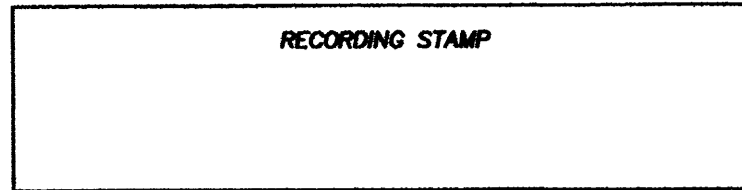
- PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON JOINT USE OF:
- A. PUBLIC SERVICE COMPANY OF NEW MEXICO ("PNM"), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR INSTALLATION, MAINTENANCE AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.
 - B. NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.
 - C. QWEST CORPORATION D/B/A CENTURYLINK QC FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.
 - D. CABLE TV FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE WITHIN THE EASEMENT CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM AND OVER SAID EASEMENTS, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANTOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMER/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE (5) FEET ON EACH SIDE.

Disclaimer

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM), QWEST CORPORATION D/B/A CENTURYLINK QC AND NEW MEXICO GAS COMPANY (NMGC) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM, QWEST CORPORATION D/B/A CENTURYLINK QC AND NMGC DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN SPECIFICALLY DESCRIBED AND ON THIS PLAT.



Plat of
 Tracts 6-B-1-A-1, 7-B-1-A and 8-B-1
Midway Business Park
 City of Albuquerque, Bernalillo County, New Mexico
 October 2014

Project No. 1007442
 Application No. 14DRB-
Utility Approvals

PNM	DATE
NEW MEXICO GAS COMPANY	DATE
QWEST CORPORATION D/B/A CENTURYLINK QC	DATE
COMCAST	DATE
City Approvals	
<i>Susan A. Amador, P.E.</i> (Acting) CITY SURVEYOR	10/30/14 DATE
TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT	DATE
A.B.C.W.U.A.	DATE
PARKS AND RECREATION DEPARTMENT	DATE
AMAFA	DATE
CITY ENGINEER	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

Legal Description

A TRACT OF LAND SITUATE WITHIN THE ELENA GALLEGOS GRANT, PROJECTED SECTIONS 26 AND 35, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF TRACT 8-B, OF THE MIDWAY BUSINESS PARK, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 4, 1986, IN VOLUME C30, FOLIO 8, TOGETHER WITH TRACTS 6-B-1-A AND 7-B-1 AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON SEPTEMBER 11, 2008 IN BOOK 2008C, PAGE 203, SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE COORDINATE SYSTEM GRID BEARINGS (CENTRAL ZONE - NAD 1983) AND GROUND DISTANCES (U.S. SURVEY FOOT) AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF DESCRIBED TRACT LYING ON THE EAST RIGHT OF WAY LINE OF MIDWAY PARK BOULEVARD, N.E. MARKED BY A FOUND CHISELED "X" FROM WHENCE A TIE TO AGRS MONUMENT "S_27_26_34_35_11N_3E" BEARS S 29°59'27" W, A DISTANCE OF 427.11 FEET;
 THENCE FROM SAID POINT OF BEGINNING, LEAVING SAID EAST RIGHT OF WAY LINE, S 89°49'25" E, A DISTANCE OF 359.15 FEET TO AN ANGLE POINT MARKED BY A FOUND CHISELED "X";
 THENCE S 00°01'44" W, A DISTANCE OF 294.79 FEET TO AN ANGLE POINT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";
 THENCE S 89°53'34" E, A DISTANCE OF 154.44 FEET TO THE NORTHEAST CORNER OF DESCRIBED TRACT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";
 THENCE S 00°00'50" W, A DISTANCE OF 300.11 FEET TO THE SOUTHEAST CORNER OF DESCRIBED TRACT LYING ON THE NORTH RIGHT OF WAY LINE OF SINGER BOULEVARD, N.E. MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";
 THENCE ALONG SAID NORTH RIGHT OF WAY LINE, N 89°59'06" W, A DISTANCE OF 479.27 FEET TO A POINT OF CURVATURE AT THE INTERSECTION OF SINGER BOULEVARD, N.E. AND MIDWAY PARK BOULEVARD, N.E. MARKED BY A FOUND NO. 4 REBAR WITH RED PLASTIC CAP "ILLEGIBLE" (BENT);
 THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 35.00 FEET, AN ARC LENGTH OF 55.88 FEET, A DELTA ANGLE OF 91°28'47", A CHORD BEARING OF N 45°18'46" W, AND A CHORD LENGTH OF 50.13 FEET TO A POINT OF TANGENCY LYING ON THE EAST RIGHT OF WAY LINE OF MIDWAY PARK BOULEVARD, N.E. MARKED BY A FOUND NO. 5 REBAR (BENT);
 THENCE ALONG SAID EAST RIGHT OF WAY LINE, N 00°09'31" E, A DISTANCE OF 265.71 FEET TO AN ANGLE POINT MARKED BY A FOUND NO. 4 REBAR WITH ALUMINUM CAP "ILLEGIBLE";
 THENCE CONTINUING ALONG SAID EAST RIGHT OF WAY LINE, N 00°09'19" E, A DISTANCE OF 295.21 FEET TO THE POINT OF BEGINNING CONTAINING 5.9790 ACRES (260,443 SQUARE FEET) MORE OR LESS, NOW COMPRISING TRACTS 6-B-1-A-1, 7-B-1-A, AND 8-B-1, MIDWAY PARK.

Solar Note:

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OF PARCELS WITHIN THE AREA OF THIS PLAT.

Free Consent

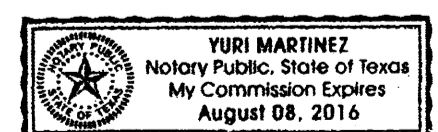
THE REPLAT SHOWN HERE IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HERE FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNER WARRANTS THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

Robert W. Purvis
 ROBERT W. PURVIS
 PRESIDENT
 PURVIS INDUSTRIES
 OCTOBER 17, 2014
 DATE

Acknowledgment

STATE OF TEXAS)
 COUNTY OF DALLAS) SS

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 17 DAY OF October, 2014 BY
 ROBERT W. PURVIS.
 BY *Yuri Martinez* MY COMMISSION EXPIRES: August 8, 2016
 NOTARY PUBLIC



Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED NEW MEXICO PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF THE MINIMUM STANDARDS FOR LAND SURVEYS AS ADOPTED BY THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

Larry W. Medrano 10/14/14
 LARRY W. MEDRANO
 N.M. S. No. 11993
 DATE

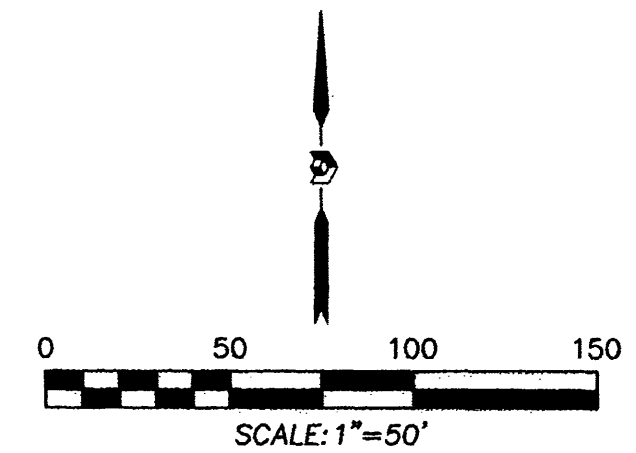


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 MAILING ADDRESS:
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INDEXING INFORMATION FOR COUNTY CLERK
 OWNER PURVIS INDUSTRIES
 SECTIONS 26&35, TOWNSHIP 11 N, RANGE 3 E,
 SUBDIVISION MIDWAY BUSINESS PARK

Plat of
Tracts 6-B-1-A-1, 7-B-1-A and 8-B-1
Midway Business Park
 City of Albuquerque, Bernalillo County, New Mexico
 October 2014

RECORDING STAMP



Legend

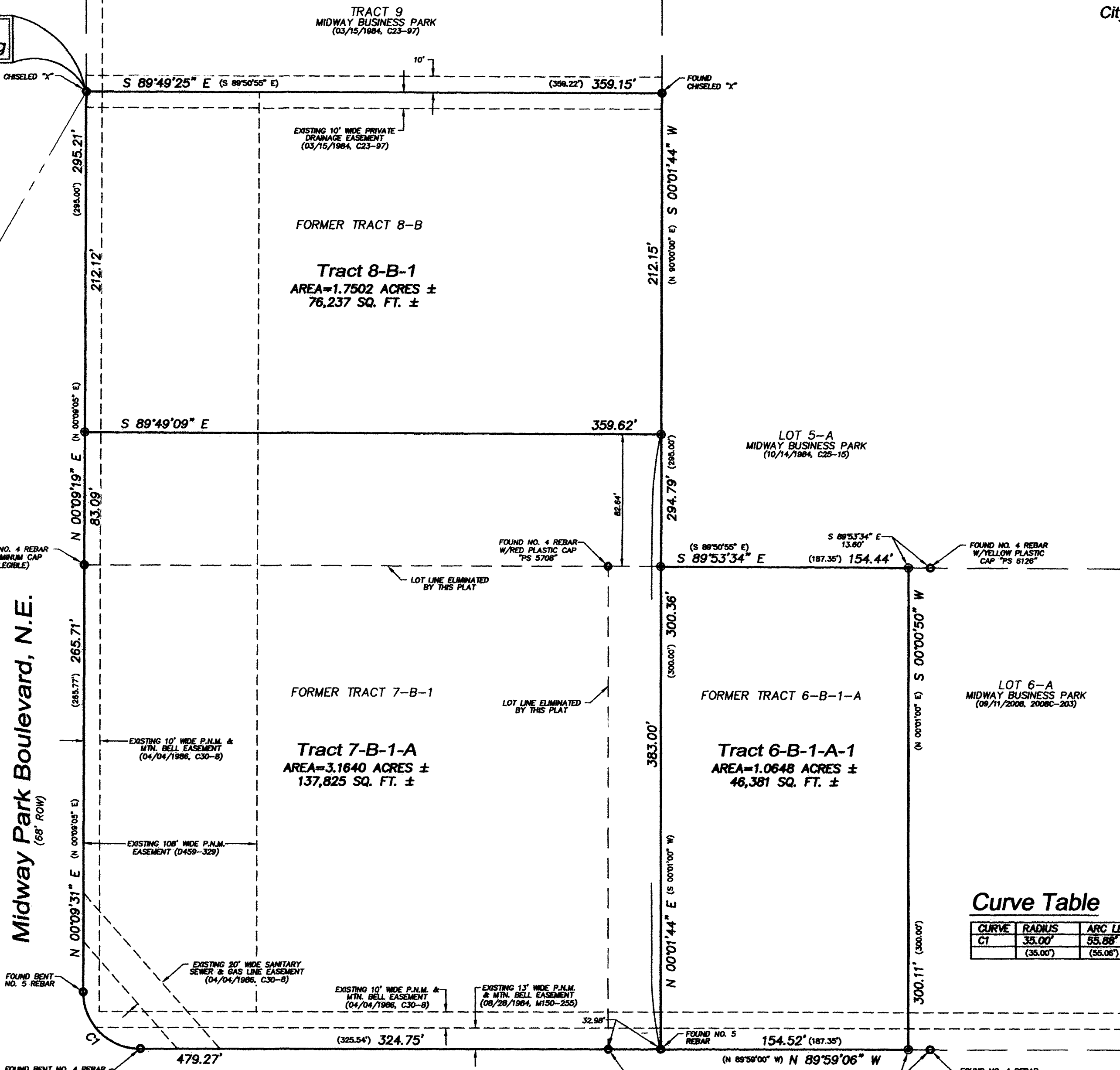
N 90°00'00" E	MEASURED BEARING AND DISTANCES
(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES
○	FOUND AND USED MONUMENT AS DESIGNATED
⊙	NOTES NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY
△	FOUND ALUMINUM AGRS MONUMENT AS DESIGNATED

A.G.R.S. MONUMENT "S_27_26_34_35_11N_3E"
 STANDARD A.G.R.S. BRASS DISC
 (FOUND IN PLACE)
 NEW MEXICO STATE PLANE COORDINATES
 (CENTRAL ZONE-N.A.D. 1983)
 N= 1,508,397.840
 E= 1,534,981.674
 PUBLISHED EL=511.3117 (NAVD 1988)
 GROUND TO GRID FACTOR=0.999872139
 DELTA ALPHA ANGLE=-0°12'13.83"

A.G.R.S. MONUMENT "L_25_18"
 STANDARD A.G.R.S. BRASS DISC
 (FOUND IN PLACE)
 NEW MEXICO STATE PLANE COORDINATES
 (CENTRAL ZONE-N.A.D. 1983)
 N= 1,505,698.338
 E= 1,535,672.415
 PUBLISHED EL=5128.340 (NAVD 1988)
 GROUND TO GRID FACTOR=0.999877141
 DELTA ALPHA ANGLE=-0°12'05.92"

Midway Park Boulevard, N.E.
 (68' ROW)

Singer Boulevard, N.E.
 (80' ROW)



Curve Table

CURVE	RADIUS	ARC LENGTH	TANGENT	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	35.00'	55.88'	35.92'	91°28'47"	N 45°18'46" W	50.13'
	(35.00')	(55.08')	(35.08')	(90°08'05")		

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 SUBDIVISION MIDWAY BUSINESS PARK

Runoff Calculations:

The following calculations are based on Zone 2 from Table A-9 found in the Albuquerque Development Process Manual, Section 22.2 page 15.

100 YEAR PEAK DISCHARGE - TABLE A-9				
ZONE	A	B	C	D
1	1.250	2.030	2.870	4.370
2	1.560	2.280	3.140	4.700
3	1.870	2.600	3.450	5.020
4	2.200	2.920	3.730	5.250

Subbasin 1:

Treatment Type Areas for Subbasin 1:
 $Area_{A1}=0$ $Area_{B1}=0$ $Area_{C1}=0.1714$ $Area_{D1}=0.3282$ Ac

$Q_{s1} = 1.560 \cdot Area_{A1} + 2.280 \cdot Area_{B1} + 3.140 \cdot Area_{C1} + 4.700 \cdot Area_{D1} = 2.081$ cfs

Subbasin 2:

Treatment Type Areas for Subbasin 2:
 $Area_{A2}=0$ $Area_{B2}=0$ $Area_{C2}=0.1098$ $Area_{D2}=1.0297$ Ac

$Q_{s2} = 1.560 \cdot Area_{A2} + 2.280 \cdot Area_{B2} + 3.140 \cdot Area_{C2} + 4.700 \cdot Area_{D2} = 5.184$ cfs

Subbasin 3:

Treatment Type Areas for Subbasin 3:
 $Area_{A3}=0$ $Area_{B3}=0$ $Area_{C3}=0.3508$ $Area_{D3}=0.9815$ Ac

$Q_{s3} = 1.560 \cdot Area_{A3} + 2.280 \cdot Area_{B3} + 3.140 \cdot Area_{C3} + 4.700 \cdot Area_{D3} = 5.715$ cfs

Total:

$Q_{s} = Q_{s1} + Q_{s2} + Q_{s3} = 12.98$ cfs

Water Quality First Flush Volumes Required

Pond 1:

$PVol_1 = Area_{P1} \cdot 43560 \cdot \frac{0.34}{12} = 405.064$ cu. ft.

Pond 2:

$PVol_2 = Area_{P2} \cdot 43560 \cdot \frac{0.34}{12} = 1270.856$ cu. ft.

Pond 3:

$PVol_3 = Area_{P3} \cdot 43560 \cdot \frac{0.34}{12} = 1211.367$ cu. ft.

Total Pond Volume:

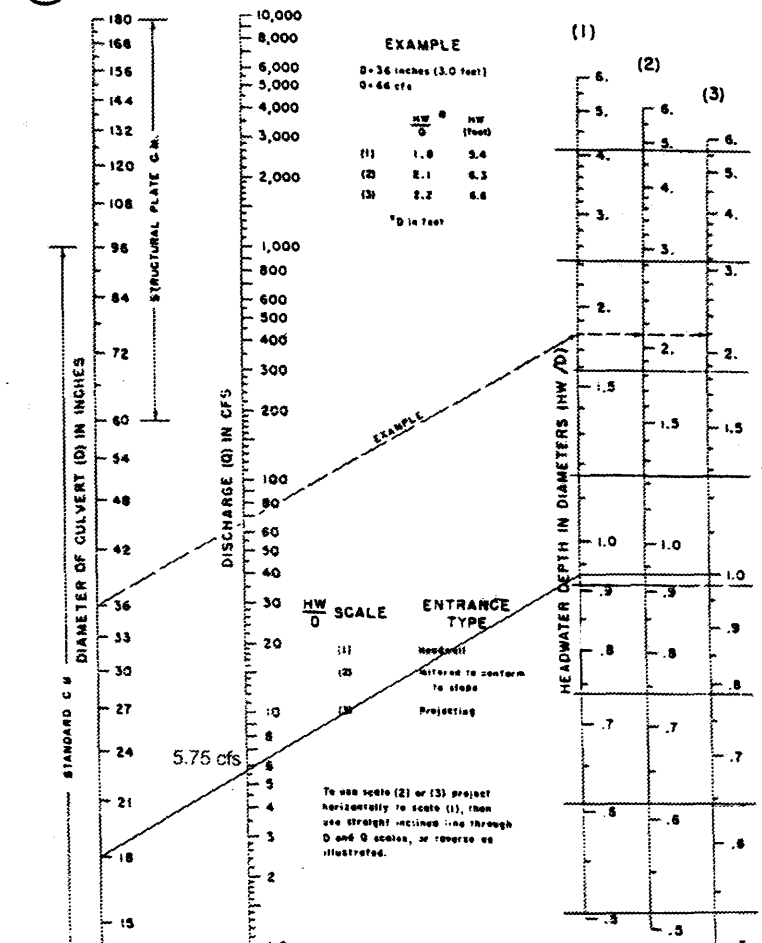
$PVol = PVol_1 + PVol_2 + PVol_3 = 2887.287$ cu. ft.

Elev.	Area (Cu. Ft.)	Vol (Cu. Ft.)	Cum. (Cu. Ft.)	Cum. (Ac-ft)
5117.75	214.2098	0	0	0
5118.25	499.3876	178.39935	178.39935	0.004
5118.75	802.1949	325.395625	503.794975	0.012

Elev.	Area (Cu. Ft.)	Vol (Cu. Ft.)	Cum. (Cu. Ft.)	Cum. (Ac-ft)
5110.75	3.7036	0	0	0
5111.25	53.4338	14.28435	14.28435	0.000
5111.75	159.4263	53.215025	67.499375	0.002
5112.25	318.6876	119.528475	187.02785	0.004
5112.75	499.8758	204.64085	391.6687	0.009
5113.25	697.9785	299.463575	691.132275	0.016
5113.75	912.7591	402.6844	1093.816675	0.025
5114.25	1144.2227	514.24545	1608.062125	0.037

Elev.	Area (Cu. Ft.)	Vol (Cu. Ft.)	Cum. (Cu. Ft.)	Cum. (Ac-ft)
5116.75	80.9655	0	0	0
5117.25	236.9095	79.46875	79.46875	0.002
5117.75	410.4333	161.8357	241.30445	0.006
5118.25	601.541	252.993575	494.298025	0.011
5118.75	810.2327	352.943425	847.24145	0.019

CHART 2



Manning Formula:

Triangular Channel

Input:
 Flow: 0.3 cfs
 Slope: 0.0065 ft/ft
 Manning's n: 0.035
 Base Width: 0 ft
 Right Side Slope: 3:1
 Left Side Slope: 3:1

Output:
 Depth: 0.320 ft
 Flow Area: 0.308 sf
 Velocity: 0.975 fps
 Velocity Head: 0.0148 ft
 Top Width: 1.92 ft
 Froude Number: 0.429
 Critical Depth: 0.228 ft
 Critical Slope: 0.0385 ft/ft

Manning Formula:

Circular Channel

Input:
 Flow: 5.75 cfs
 Slope: 0.075 ft/ft
 Manning's n: 0.024
 Diameter: 18 in.

Output:
 Depth: 0.631 ft
 Flow Area: 0.705 sf
 Velocity: 8.15 fps
 Velocity Head: 1.03 ft
 Top Width: 1.48 ft
 Froude Number: 2.08
 Critical Depth: 0.925 ft
 Critical Slope: 0.0208 ft/ft

Tract 8-B-1
 AREA=1.7502 ACRES ±
 76,237 SQ. FT. ±

Purvis Industries Warehouse Drainage

Background

Tract 7-B-1-A is allowed free discharge per the Drainage report for Singer Business Park (1985). This site has already been developed in accordance with these conditions. Currently, the site plan does not include any water quality features. As a part of this project, water quality ponding will be provided for Tract 7-B-1-A. Tract 7-B-1-A is created from Tract 7-B-1, which is the current playground for the existing Montessori School and a small portion of Tract 8-B, which is the existing property to the North.

Existing Conditions

The site is approximately 3 acres and slopes primarily from east to west at 3% and slightly from south to north. Currently, this site receives additional water from the site to the East. However, the original Drainage and Grading Plan for that site, mentioned above, shows a swale to divert all flow from the eastern site to Singer Boulevard. For Tract 7-B-1, all runoff currently flows to the West until reaching that portion of the site adjacent Midway Park Blvd NE, with flows discharging to Midway through the existing drive opening at the northwest corner of the site.

Methodology

Hydrology calculations for the site are performed in accordance with the Albuquerque DPM Section 22.2 using the Rational Method to calculate the peak flow rates to insure that flow paths, such as swales and gutters, are sufficient to carry flows to the water quality ponds located on-site.

The Water Quality ponding volume required was calculated by multiplying the impervious area of each individual subbasin by the first flush runoff value of 0.34". The water quality calculations as well as the pond rating curves can be found on the left side of this sheet.

Proposed Conditions

The site is analyzed as three separate subbasins. Subbasin 1 consists of the Southeastern portion of the site including most of the parking area. Subbasin 2 consists of the Western portion of the property including part of the parking lot as well as the truck yard. Subbasin 3 consists of the Northeastern portion of the site including the building. The measured areas of Treatment Types are shown at the left side of this sheet along with the calculations to determine flow rates for each of the subbasins.

The grading on the south side of the building is designed to form a swale within the parking lot in order to convey this runoff to the curb and gutter on the Southern side of the site until it reaches Pond 1. Once Pond 1 has filled, water will bypass the entrance of the pond and continue to flow along the curb and gutter. The water then drains to the curb with gutter along the West side of the property and then along this curb from South to North, with Subbasin 2 flowing to this curbline as well. The runoff water flows across a concrete swale on the Northwest portion of the subbasin and into Pond 2. The swale has a consistent depth of 0.3"(see Cross Section C-C of Sheet C-2). The combined flow rate for both Subbasins 1 and 2 is 7.27 cfs. As can be seen in the Manning's analysis for this page, the swale has capacity for the water flowing into the water quality pond.

A swale wraps around the East and North side of the building and drains runoff into Pond 3. The swale on the east side of the building (See Cross-section A-A, Sheet C-2), is a relatively small swale. Based on the Runoff Calculations, the flow for the portion of Subbasin 3 coming to this point is 0.3 cfs. In the graph "Triangular Channel," it can be seen that the swale is sufficient to handle this flow rate.

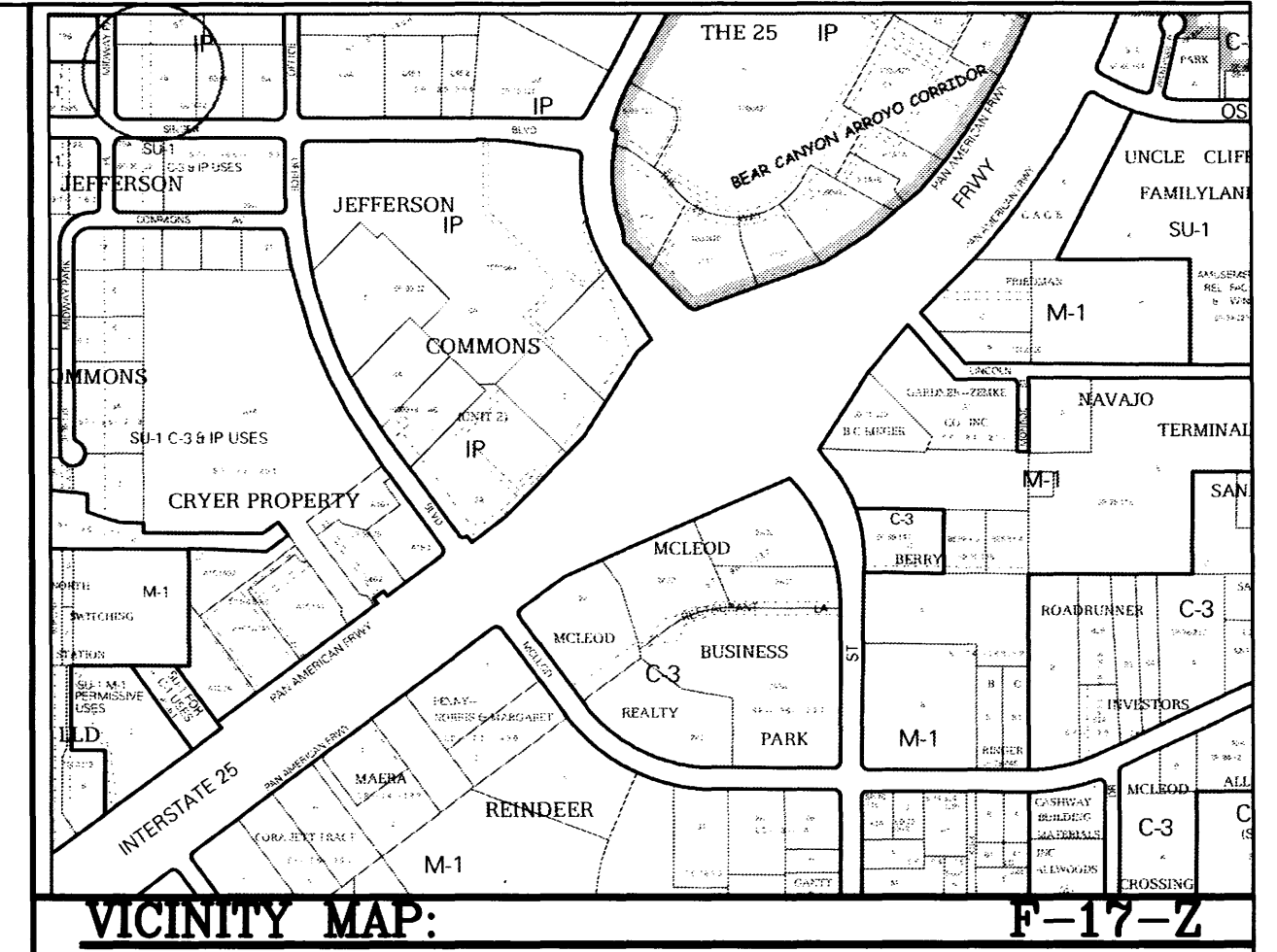
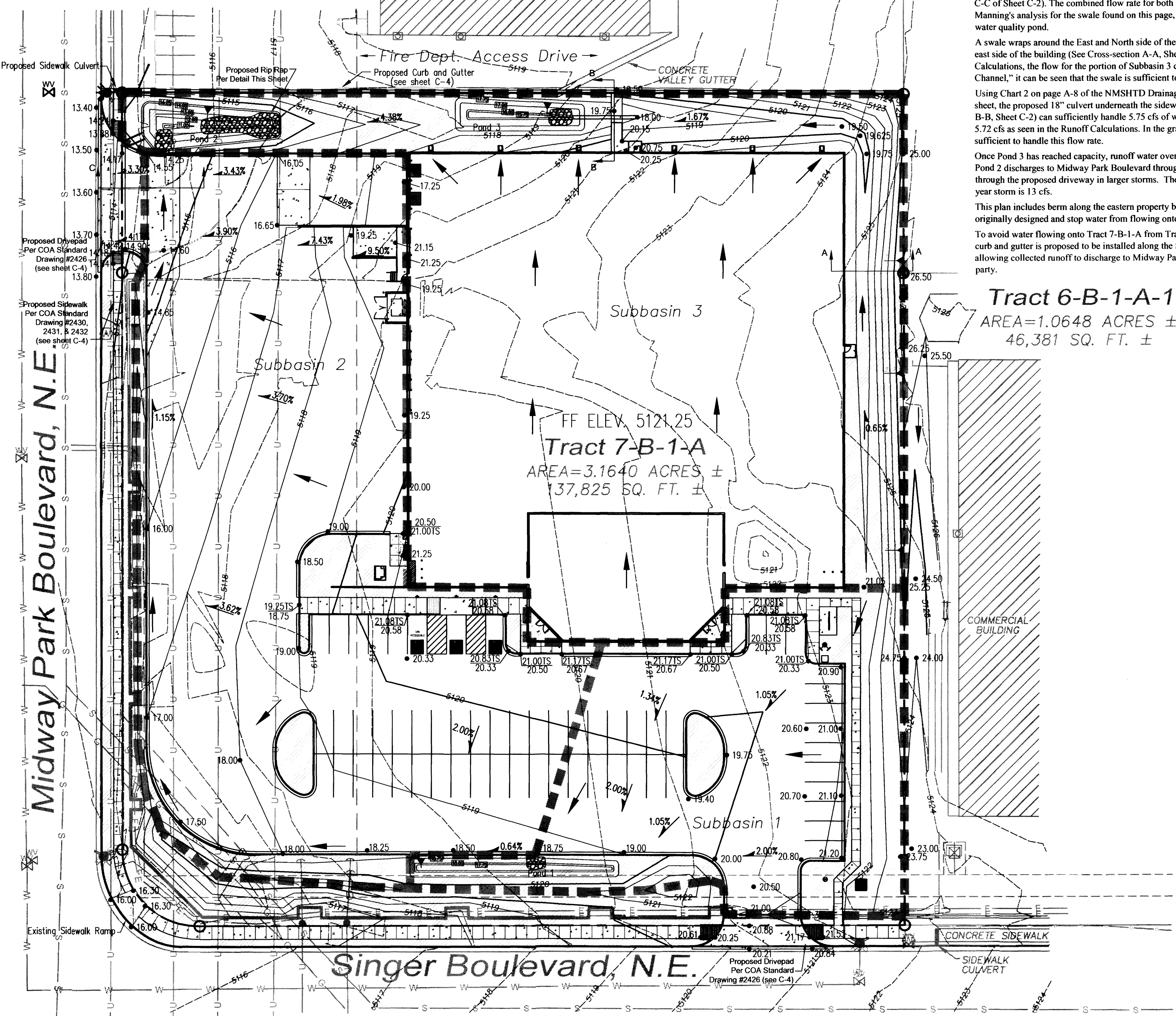
Using Chart 2 on page A-8 of the NMSHTD Drainage Manual, Volume II, which is shown at the top of this sheet, the proposed 18" culvert underneath the sidewalk on the north side of the building (See Cross-section B-B, Sheet C-2) can sufficiently handle 5.75 cfs of water flow. The 100-year flow within this entire subbasin is 5.72 cfs as seen in the Runoff Calculations. In the graph "Circular Channel," it can be seen that the culvert is sufficient to handle this flow rate.

Once Pond 3 has reached capacity, runoff water overflows into a swale leading to Pond 2. The overflow from Pond 2 discharges to Midway Park Boulevard through a 3' x 0.5' concrete weir in smaller storms and also through the proposed driveway in larger storms. The total discharge rate to Midway Park Boulevard in a 100 year storm is 13 cfs.

This plan includes berm along the eastern property boundary that will allow Tract 6-B-1-A-1 to drain as it was originally designed and stop water from flowing onto Tract 7-B-1-A. Both tracts are owned by the same party. To avoid water flowing onto Tract 7-B-1-A from Tract 8-B-1 due to the property line adjustment, a proposed curb and gutter is proposed to be installed along the Southern side of Tract 8-B-1, with a sidewalk culvert allowing collected runoff to discharge to Midway Park Boulevard. Both of these tracts are owned by the same party.

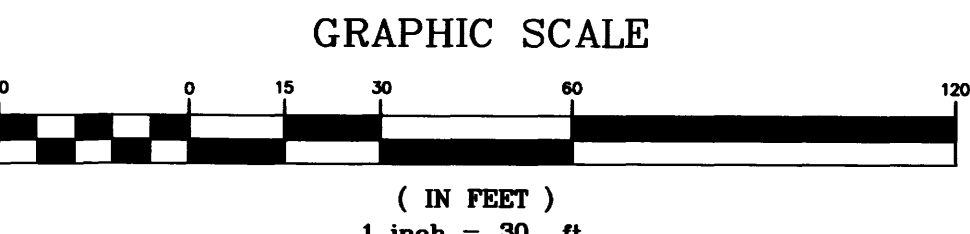
Tract 6-B-1-A-1
 AREA=1.0648 ACRES ±
 46,381 SQ. FT. ±

Tract 7-B-1-A
 AREA=3.1640 ACRES ±
 137,825 SQ. FT. ±



Legend

- UTILITY POLE
- GUY WIRE
- ⊠ TRANSFORMER
- ⊞ ELECTRIC BOX
- ⊞ WATER METER
- ⊞ ROOF DRAIN
- ⊞ WATER VALVE
- ⊞ FIRE HYDRANT
- ⊞ IRRIGATION CONTROL VALVE
- ⊞ SIDEWALK CULVERT
- ⊞ EDGE OF ASPHALT
- ⊞ BLUESTAKE ELECTRIC LINE
- ⊞ BLUESTAKE GAS LINE
- ⊞ OVERHEAD UTILITY LINE
- ⊞ BLUESTAKE WATER LINE
- ⊞ SUBBASIN BOUNDARY
- ⊞ PROPERTY LINE
- ⊞ PROPOSED POND ELEVATIONS
- ⊞ EXISTING CONTOURS
- ⊞ PROPOSED CONTOURS
- ⊞ LANDSCAPING HATCH



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	JOB # 019-15-200	DATE 09-2015 REV: - SHEET: C-1 1 OF 4
FLOYD DEVELOPMENT SERVICES, LLC DEVELOPMENT, ENGINEERING, & WATERSHED CONSULTING 918 PINEHURST RD SE, SUITE 101 RIO RANCHO, NM 87124 HUGH@DEVELOPNM.COM 505-366-4187		

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