

PARKING INFORMATION

PARKING REQUIRED:
 GROUND FLOOR - 200/148,601 sf = 744 SPACES
 UPPER FLOORS - 300/177,189 sf = 591 SPACES
 TOTAL REQUIRED: 1,335 SPACES

PARKING PROVIDED:
 840 EXISTING PARKING SPACES
 1,339 NEW PARKING SPACES
 2,179 TOTAL PARKING SPACES

ACCESSIBLE PARKING REQUIRED:
 (801-1000 SPACES; 20 + 1 FOR EVERY 100 THAT EXCEEDS 1000) = 24 SPACES (3 VAN ACCESSIBLE)

ACCESSIBLE PARKING PROVIDED:
 30 EXISTING ACCESSIBLE PARKING SPACES
 21 NEW ACCESSIBLE PARKING SPACES
 51 TOTAL ACCESSIBLE PARKING SPACES (10 VAN ACCESSIBLE)

MOTORCYCLE PARKING REQUIRED:
 (MORE THAN 1000; 8 + 1 FOR EVERY ADDITIONAL 500 SPACES) = 9 SPACES

MOTORCYCLE PARKING PROVIDED:
 10 SPACES

BICYCLE PARKING REQUIRED:
 20/1,335 = 67 SPACES

BICYCLE PARKING PROVIDED:
 69 SPACES

RECORDING INFORMATION FOR ALL EASEMENTS: TRACTS D-1B-2 AND D-1E-1, SISTERS OF THE ORDER OF ST. DOMINIC, RECORDED ON JULY 5, 1996 IN BOOK 90-C, FOLIO 247 IN THE RECORDS OF THE BERNALILLO COUNTY CLERK, STATE OF NEW MEXICO.

NOTE: SHADED AREA INDICATES EXISTING CONSTRUCTION TO REMAIN

SITE DATA

LEGAL DESCRIPTION:
 TRACT D-1E-1 SISTERS OF THE ORDER OF ST. DOMINIC, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

ZONE:
 SU-2 I/IEP

GROSS F.A.R. (G.B.A / SITE AREA):
 325,790 SF / 1,655,598 SF = 0.1968 ACRES

SITE AREA:
 TRACT D-1E-1: 31.7211 ACRES (1,381,771 SF)

GROSS BUILDING AREA (G.B.A.):
 BUILDING 1 (EXISTING): 133,090 SF
 BUILDING 2 (NEW): 192,700 SF
 TOTAL G.B.A.: 325,790 SF

LEGEND

- PROPERTY LINE
- EASEMENT
- EXISTING POLE MOUNTED PARKING LIGHT; 40'-0" MAX. HEIGHT. RE: DETAIL 5/SHEET A1a
- NEW POLE MOUNTED PARKING LIGHT; 20'-0" MAX. HEIGHT. RE: DETAIL 5/SHEET A1a
- NEW POLE MOUNTED PEDESTRIAN LIGHT; 14'-0" MAX. HEIGHT. RE: DETAIL 5/SHEET A1a
- LIGHT BOLLARD
- FIRE HYDRANT
- BIKE RACK
- BIKE LOCKER

SHEET KEYED NOTES

1. TYPICAL PARKING SPACE; 9'-0" x 18'-0" UNLESS NOTED OTHERWISE (U.N.O.)
2. TYPICAL PARKING SPACE; 9'-0" x 20'-0" U.N.O.
3. TYPICAL PARKING SPACE; 8'-6" x 20'-0" U.N.O.
4. TYPICAL PARKING SPACE; 8'-6" x 18'-0" U.N.O.
5. TYPICAL ADA PARKING SPACE; 8'-0" x 20'-0" SIGNAGE TO MIDDLE
6. PARKING SPACE; 9'-0" x 16'-0"; ALLOWS FOR VEHICLES TO OVERHANG 2'-0" ONTO SIDEWALK. CURB ACTS AS WHEEL STOP
7. TYPICAL MOTORCYCLE PARKING SPACE; 4'-6" x 18'-0", WITH POLE MOUNTED SIGNAGE TO MEET CODE
8. ASPHALT PAVING
9. 8'-0" WIDE PEDESTRIAN CROSSWALK. COLOR AND TEXTURE PATTERN TO DIFFERENTIATE FROM SURROUNDING ASPHALT PAVING
10. CONCRETE CURB
11. CONCRETE WHEEL STOP
12. POLE MOUNTED ADA SIGNAGE
13. PAINTED ADA PAVEMENT SIGNAGE
14. METAL BIKE RACK
15. RELOCATED EXISTING BIKE LOCKERS
16. EXISTING FIRE HYDRANT
17. LANDSCAPED AREA; REFER TO LANDSCAPE PLAN
18. 4'-0" x 10'-0" PLANTING AREAS FLUSH WITH SIDEWALK, REFER TO LANDSCAPE PLAN
19. 8'-0" HIGH CMU COURTYARD WALL; FINISHED WITH EIFS, COLOR: RUST
20. 8' x 7'-0" HIGH CMU SCREEN WALL; FINISHED WITH EIFS, COLOR: RUST
21. COVERED OUTDOOR EATING AREA
22. CONCRETE BENCHES; RE: DETAIL 2/SHEET A1a
23. DIRECTIONAL SIGN; RE: DETAIL 4/SHEET A1a
24. PROPOSED MONUMENT SIGN; RE: DETAIL 3/SHEET A1a
25. EXISTING SPEED BUMP
26. NEW 3'-0" WIDE SPEED BUMP
27. 8'-0" WIDE x 6" HIGH RAISED PEDESTRIAN CROSSWALK
28. 8'-0" WIDE CONCRETE SIDEWALK
29. 8'-0" WIDE CONCRETE SIDEWALK
30. EXISTING INGRESS / EGRESS
31. EXISTING LIGHT POLE TO REMAIN
32. NEW LIGHT POLE
33. LIGHT BOLLARD
34. ACCESSIBLE RAMP; RE: DETAIL 6/A1a
35. EXISTING 10' ELECTRICAL AND PHONE EASEMENT
36. EXISTING 10' GAS EASEMENT
37. EXISTING 40' PUBLIC DRAINAGE EASEMENT
38. EXISTING 50' PUBLIC DRAINAGE EASEMENT
39. EXISTING 54.7' PUBLIC DRAINAGE EASEMENT
40. EXISTING 60' PUBLIC DRAINAGE EASEMENT
41. EXISTING 15' PUBLIC SIDEWALK EASEMENT
42. EXISTING 35' PUBLIC SIDEWALK EASEMENT
43. EXISTING 60' PUBLIC UTILITY EASEMENT
44. EXISTING 80' PUBLIC UTILITY & STORM DRAIN EASEMENT
45. EXISTING 20' PUBLIC WATERLINE EASEMENT
46. EXISTING 20' SANITARY SEWER EASEMENT
47. EXISTING 15' x 20' PUBLIC UTILITY EASEMENT
48. EXISTING TRANSFORMER
49. NEW TRANSFORMER
50. LOCATION OF TRASH COMPACTOR
51. ACCESSIBLE RAMP; RE: DETAIL 7/A1a
52. ACCESSIBLE RAMP; RE: DETAIL 8/A1a
53. ACCESSIBLE RAMP; RE: DETAIL 9/A1a
54. 130 FT. NEW CONCRETE CURB
55. 8' WIDE CRUSHER FINE WALKING TRAIL, NON-ADA ACCESSIBLE
56. RESPITE AREA WITH STONE BENCH PER DETAIL 2/A1a
57. EXISTING FENCE TO BE REMOVED
58. EXISTING FENCE TO REMAIN
59. SITE DISTANCE SETBACK LINE, 30' FROM CURB FACE, TYPICAL

FORMER PROJECT NUMBER:

PROJECT NUMBER: **1007488**

APPLICATION NUMBER:

Is an Infrastructure List Required? (X) Yes () No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

<i>[Signature]</i>	07-25-12
TRANSPORTATION DIVISION	DATE
<i>[Signature]</i>	09/25/12
ABCWUA	DATE
<i>[Signature]</i>	7-25-12
PARKS AND RECREATION DEPARTMENT	DATE
<i>[Signature]</i>	11-30-12
CITY ENGINEER	DATE
<i>[Signature]</i>	7-25-12
SOLID WASTE MANAGEMENT	DATE
<i>[Signature]</i>	12-5-12
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

architecture interiors landscape planning engineering

Dekker Perich Sabatini

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 505 761-9700
 fax 761-4222
 dps@dpsdesign.org

ARCHITECT

ENGINEER

PROJECT

Presbyterian Systems Office
 DRB Submittal
 9521 San Mateo NE
 Albuquerque, New Mexico

ZONING ENFORCEMENT
 City of Albuquerque
 dk
 7-17-12

REVISIONS

△	7/17/2012	DRB COMMENTS
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DRAWN BY

REVIEWED BY

DATE 6/12/2012

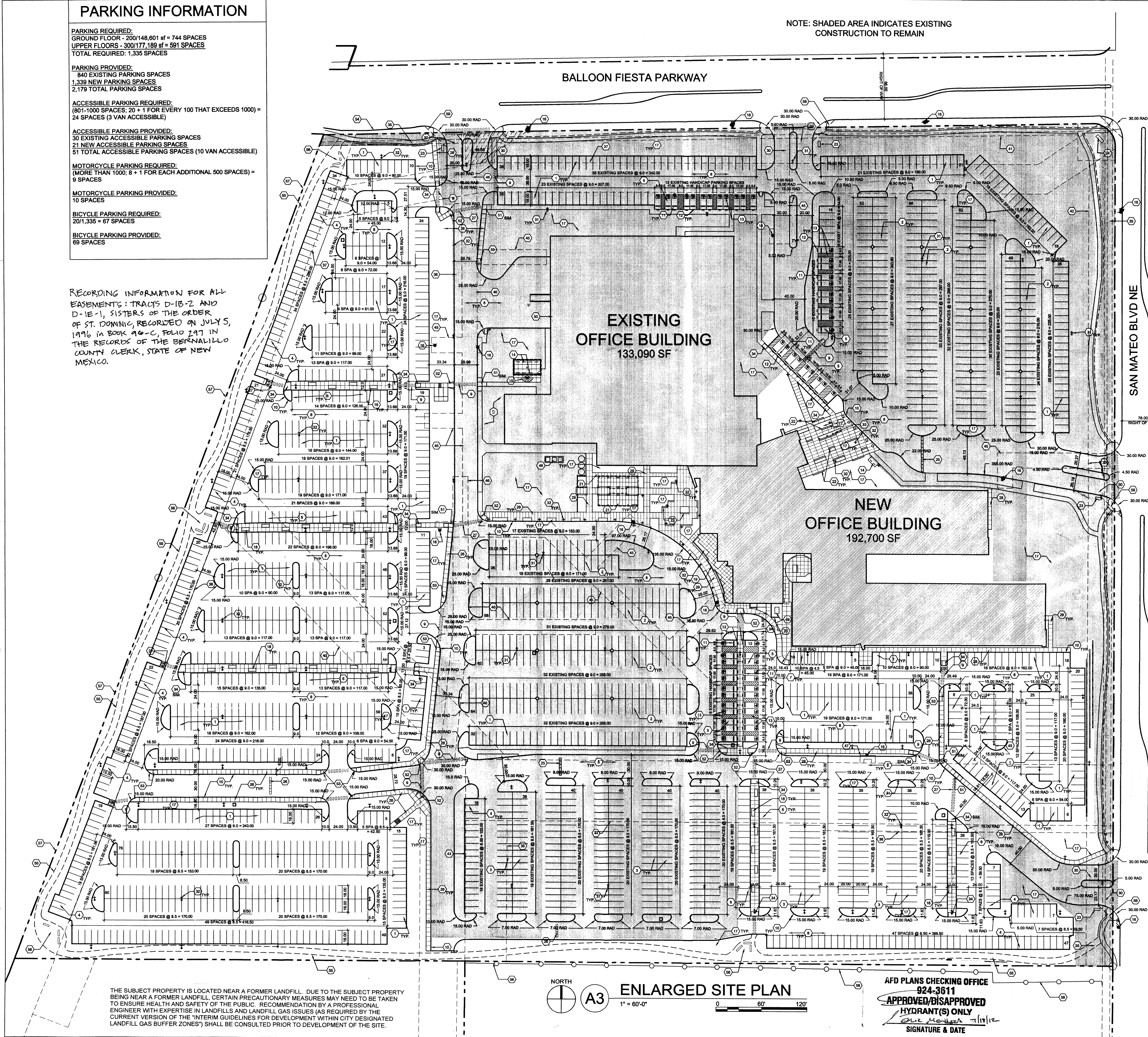
PROJECT NO. 11-0100

DRAWING NAME

ENLARGED SITE PLAN

SHEET NO.

A1a
1 of 10



THE SUBJECT PROPERTY IS LOCATED NEAR A FORMER LANDFILL. DUE TO THE SUBJECT PROPERTY BEING NEAR A FORMER LANDFILL, CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATION BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILLS AND LANDFILL GAS ISSUES (AS REQUIRED BY THE CURRENT VERSION OF THE "INTERIM GUIDELINES FOR DEVELOPMENT WITHIN CITY DESIGNATED LANDFILL GAS BUFFER ZONES") SHALL BE CONSULTED PRIOR TO DEVELOPMENT OF THE SITE.

GENERAL NOTES

1. REFER TO SHEET A1a FOR FURTHER INFORMATION.
2. CONSTRUCTION FENCING SHALL BE PLACED AT THE PERIMETER OF THE SITE FOR THE DURATION OF CONSTRUCTION TO PREVENT WORKERS FROM EXCEEDING LIMITS OF CONSTRUCTION ONTO CITY PROPERTY.

REVISIONS

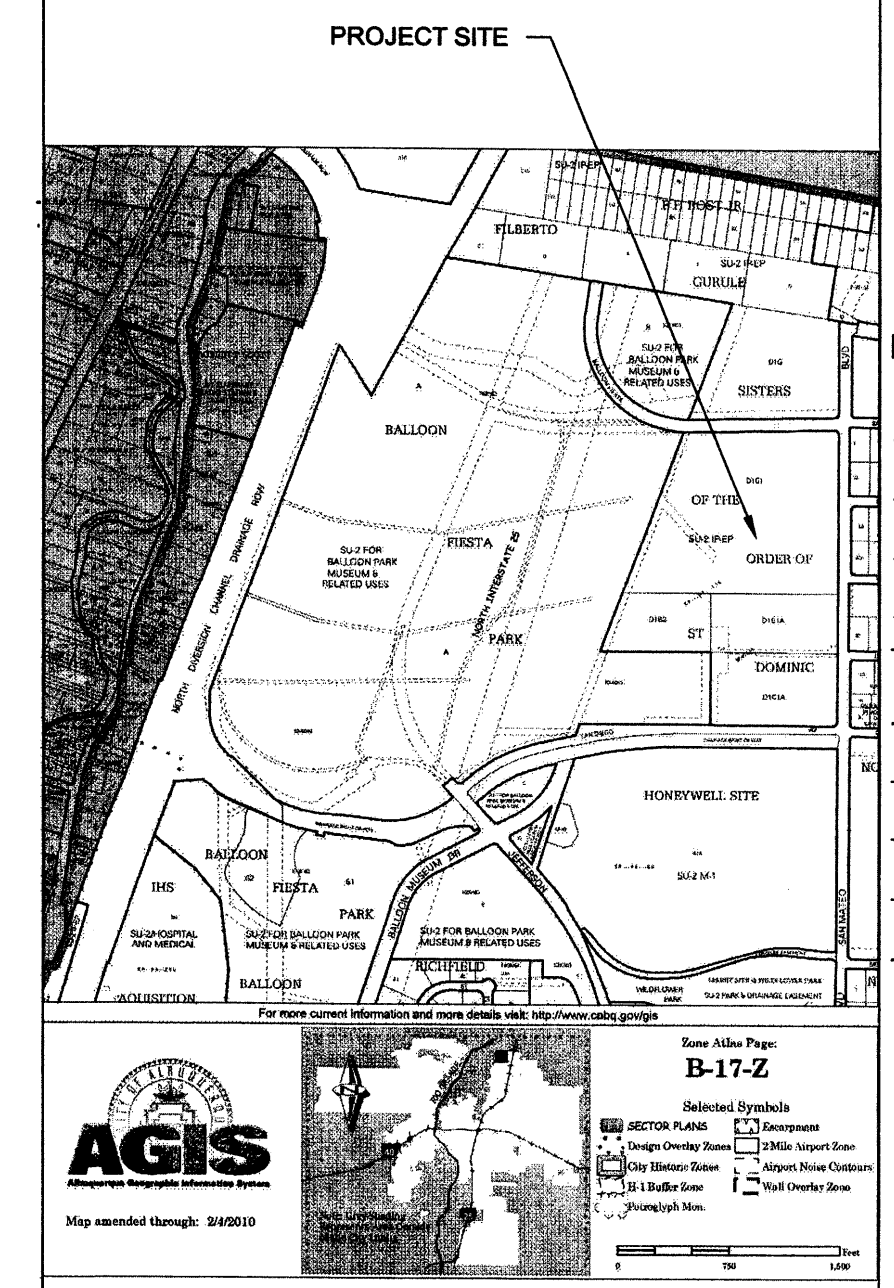
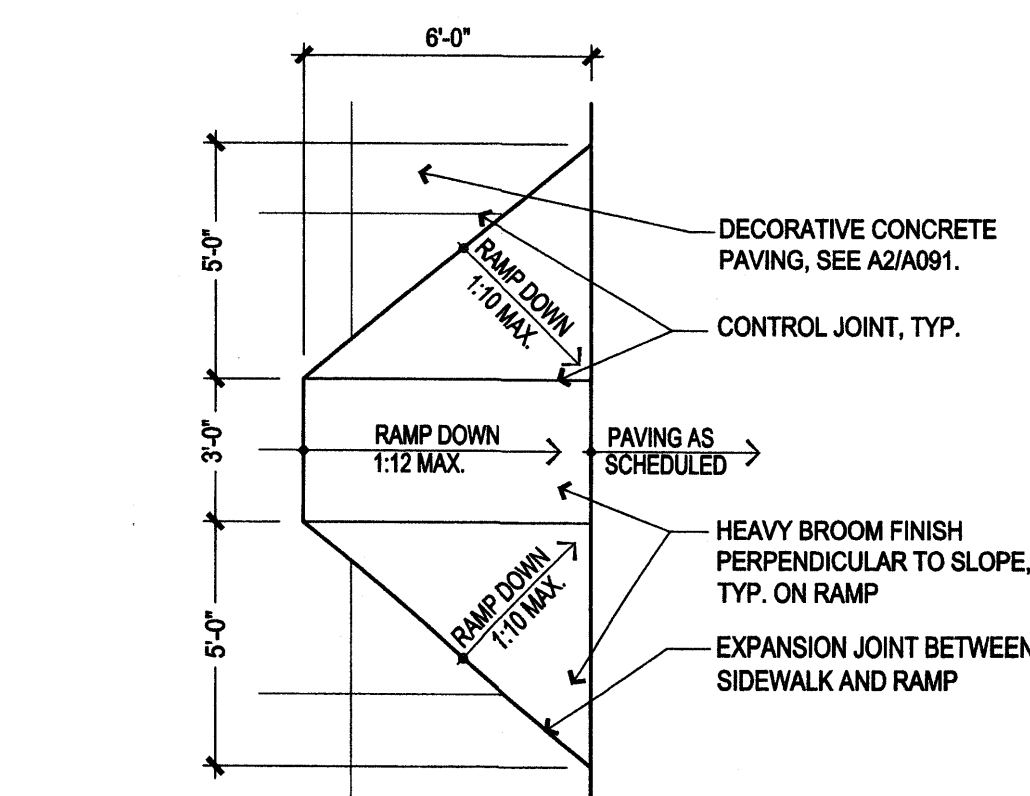
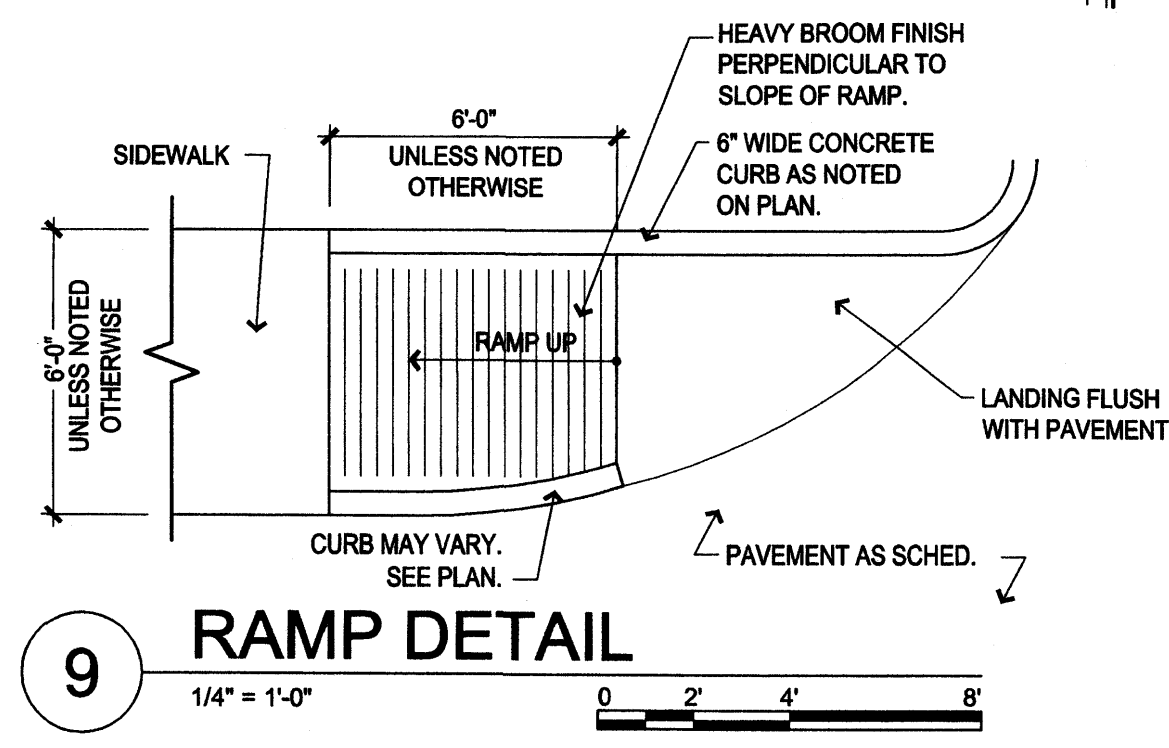
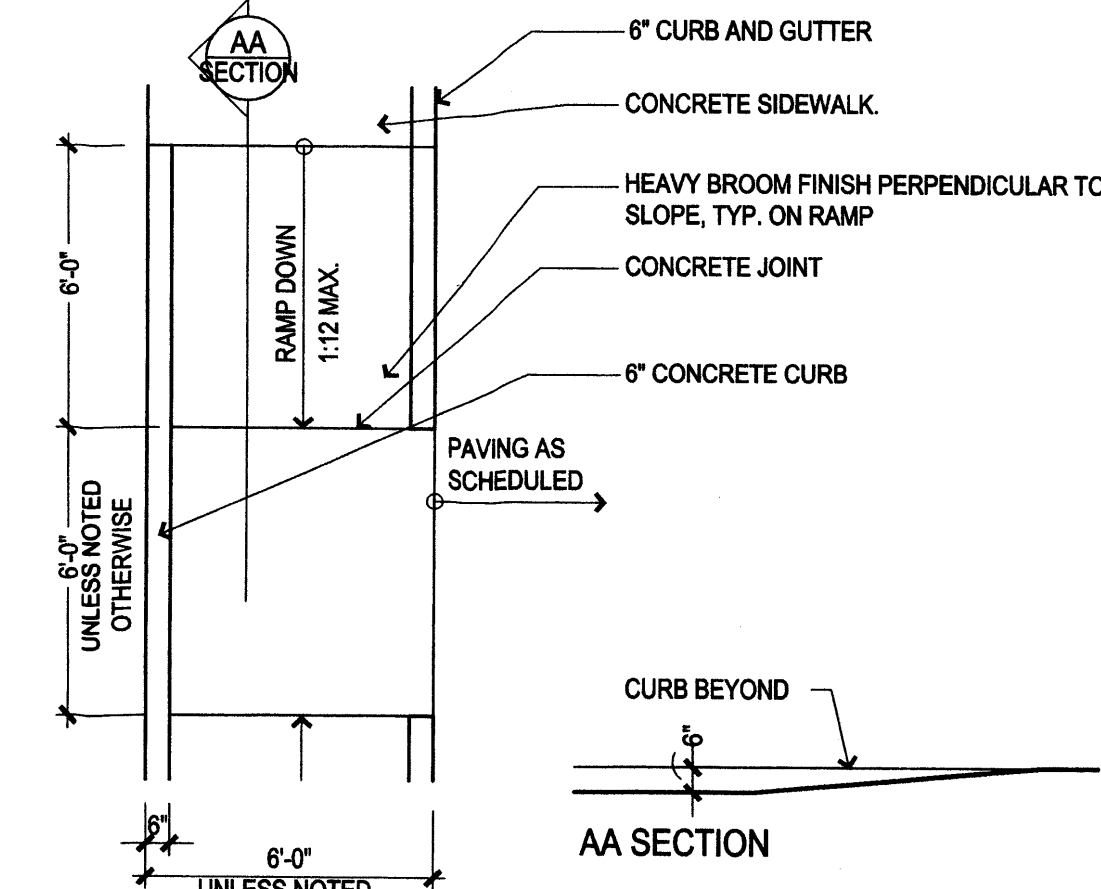
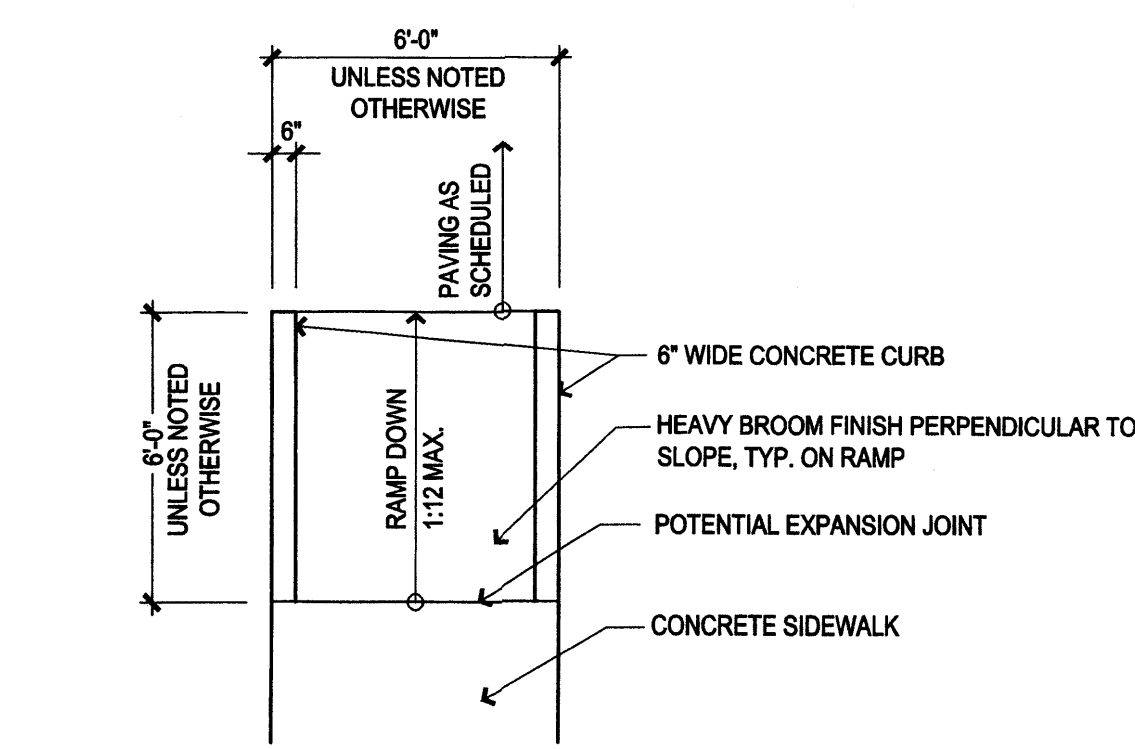
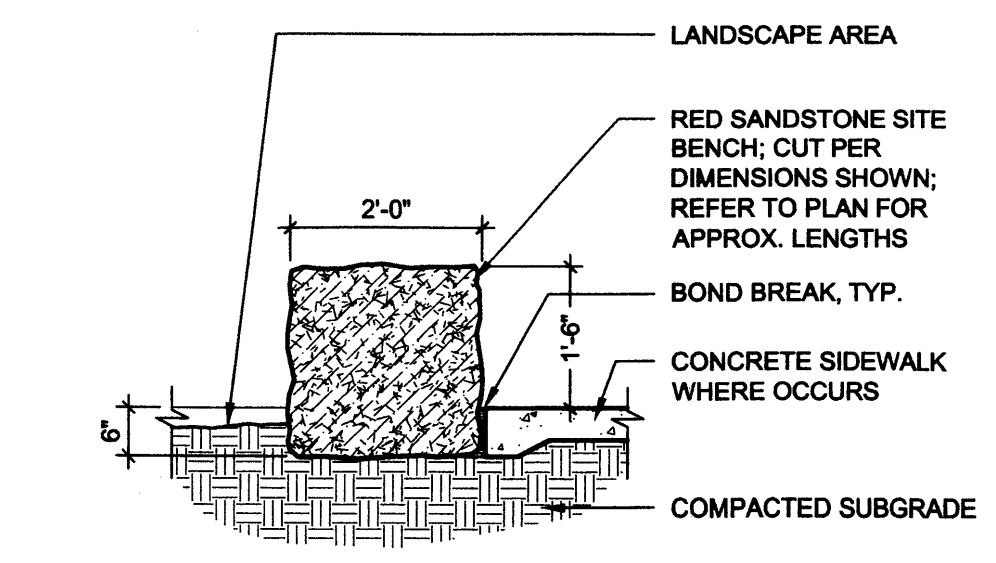
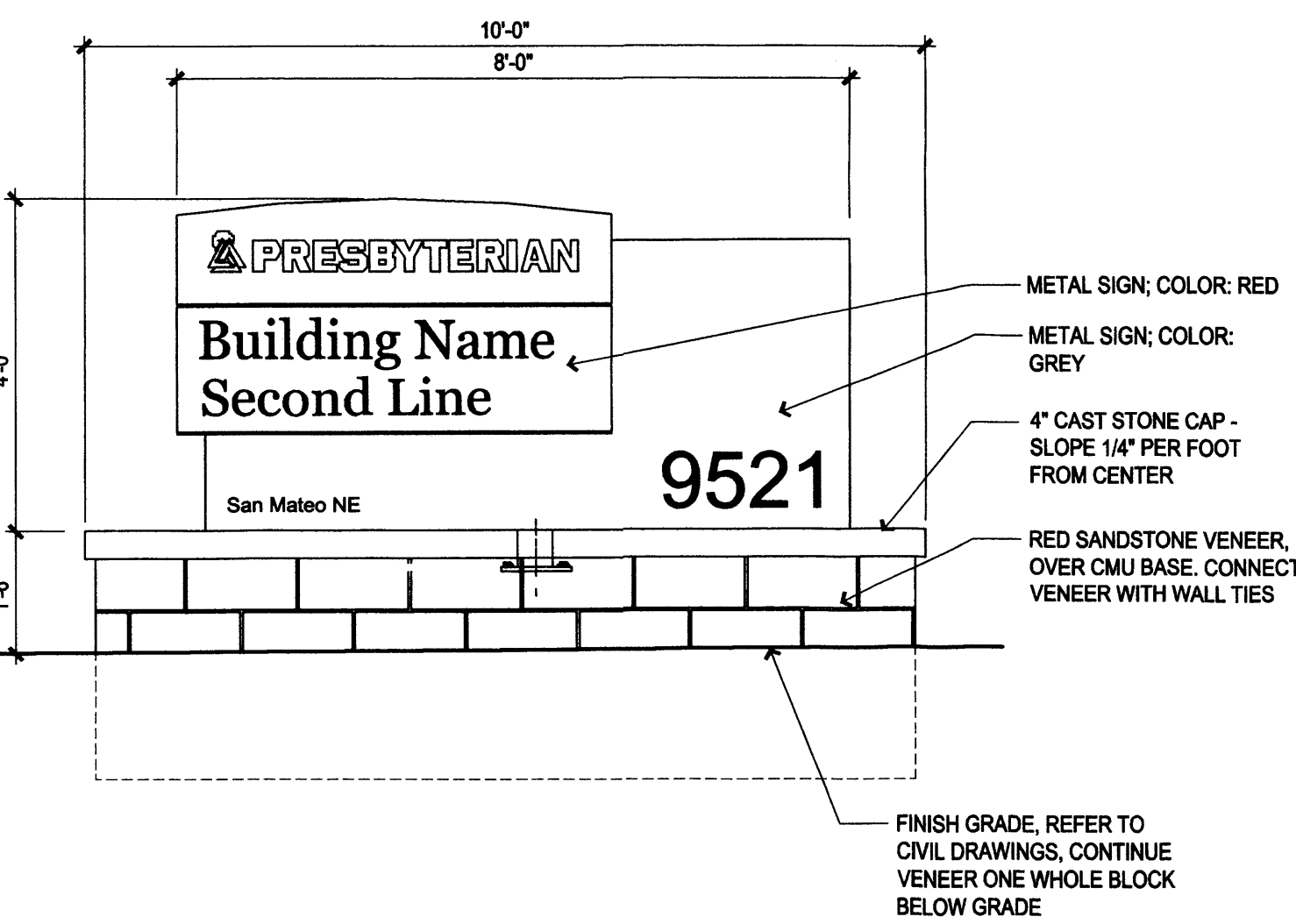
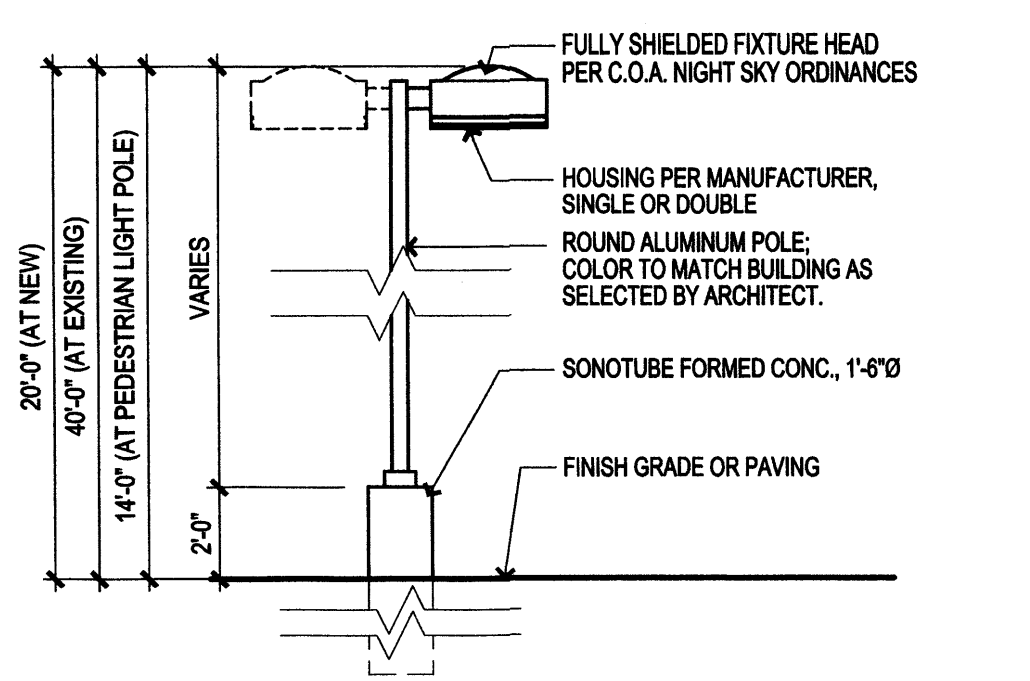
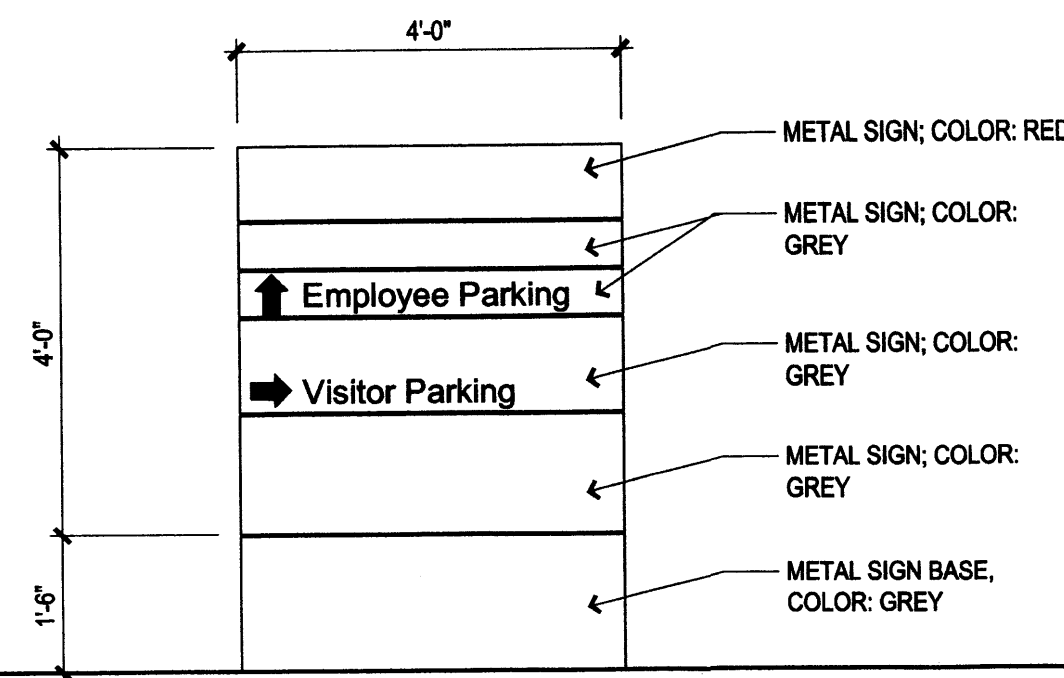
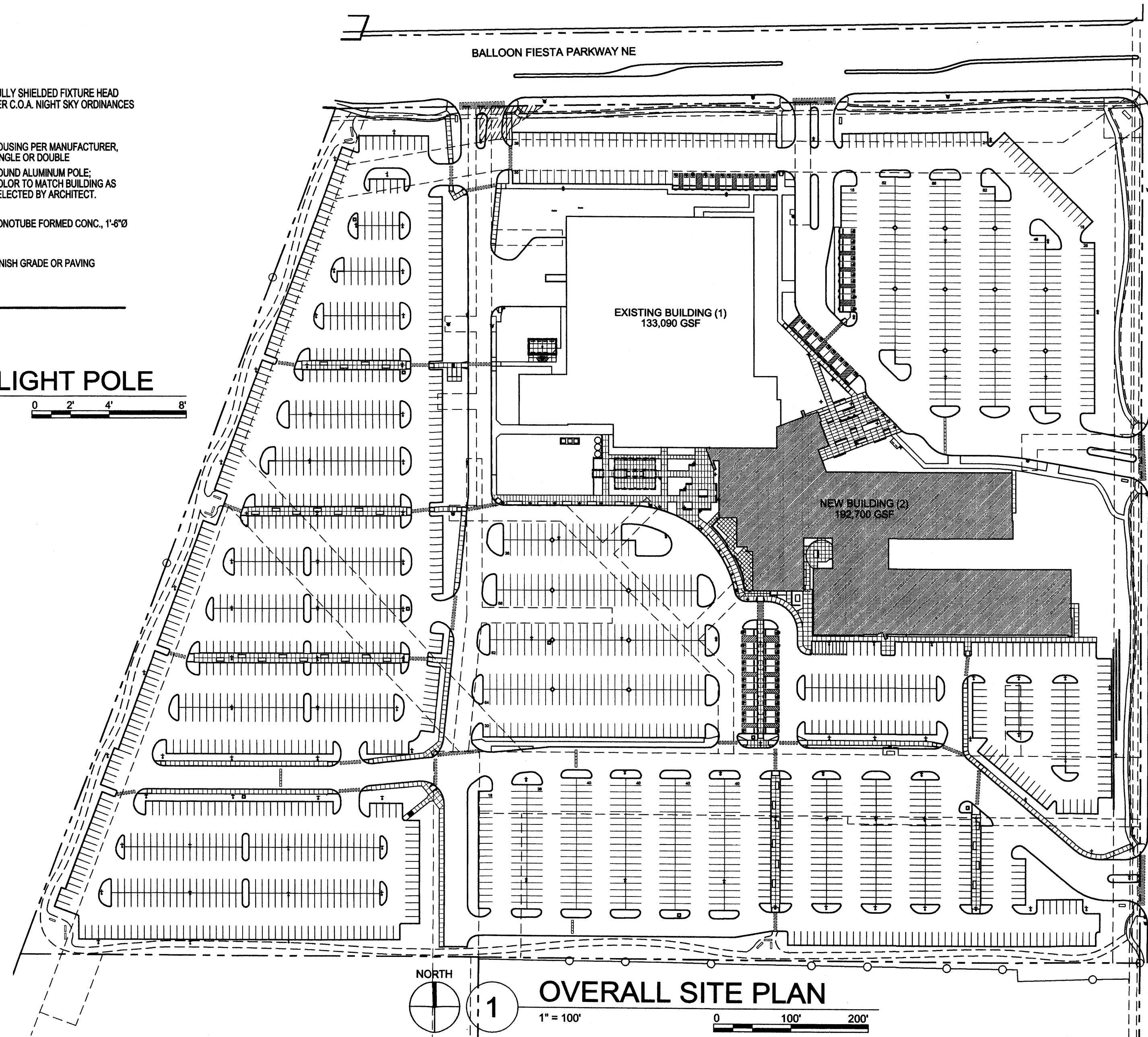
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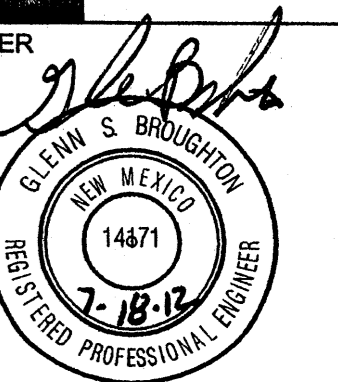
DRAWN BY: KK, TV
REVIEWED BY: CG
DATE: 6/12/2012
PROJECT NO.: 11-0100
DRAWING NAME:

OVERALL SITE PLAN

SHEET NO.

A1b
2 OF 18



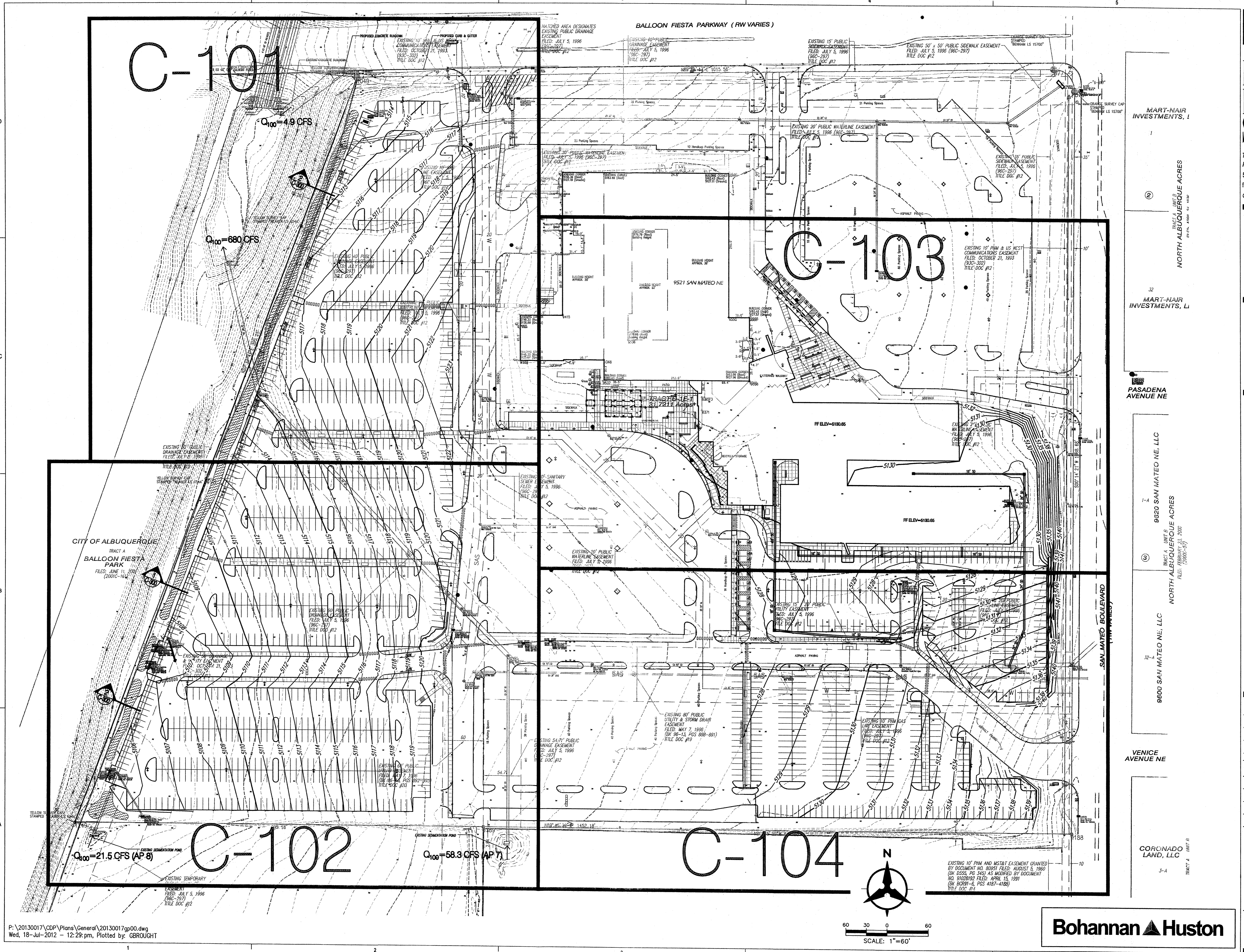


Presbyterian Systems Office
DRB Submittal
9521 San Mateo NE
Albuquerque, New Mexico

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DRAWN BY BO
REVIEWED BY GSB
DATE 7/16/2012
PROJECT NO. 11-0100
DRAWING NAME

GRADING &
DRAINAGE PLAN





GENERAL NOTES

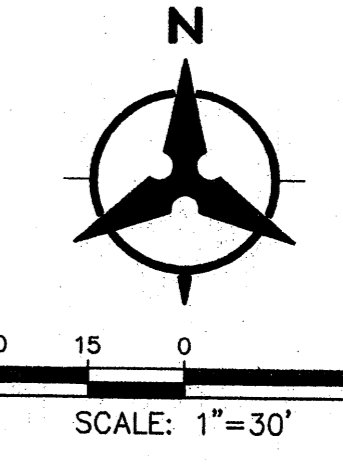
1. ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT. WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
2. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
4. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
5. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
6. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
7. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
8. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
9. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
10. ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
11. THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
12. ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
13. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.
14. THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

KEYED NOTES

1. CONSTRUCT TYPE 'D' DOUBLE GRATE STORM DRAIN INLET PER COA STD DWG 2206.
2. CONSTRUCT TYPE 'D' SINGLE GRATE STORM DRAIN INLET PER COA STD DWG 2206.
3. EXISTING TYPE 'C' SINGLE GRATE STORM DRAIN INLET TO REMAIN.
4. EXISTING TYPE 'A' SINGLE GRATE STORM DRAIN INLET TO REMAIN.
5. EXISTING TYPE 'A' DOUBLE GRATE STORM DRAIN INLET TO REMAIN.
6. INSTALL STORM DRAIN PIPE. SEE PLAN FOR SIZE.
7. RETAINING WALL.
8. CONCRETE RIBBON CHANNEL.
9. EXISTING TYPE 'D' SINGLE GRATE INLET TO REMAIN.
10. CONSTRUCT 12" WIDE CURB OPENING FOR DRAINAGE/WATER HARVESTING.
11. CONSTRUCT STORM DRAIN MANHOLE TYPE "C" PER COA STD DWG 2101.
12. INSTALL STORM DRAIN CLEANOUT
13. INSTALL RETAINING WALL

LEGEND

- PROPERTY LINE
- - - - 5.301 - - - - EXISTING CONTOURS
- 36.90 - PROPOSED SPOT ELEVATION
- TC=TOP OF CURB, FL=FLOW LINE
- TS=TOP OF SIDEWALK, TA=TOP OF ASPHALT
- EX=EXISTING, FG=FINISHED GRADE
- FGH=FINISHED GRADE HIGH
- FGl=FINISHED GRADE LOW
- S=2.0% - PROPOSED DIRECTION OF FLOW
- ~~~~~ WATER BLOCK
- ===== PROPOSED RETAINING WALL
- 5.305 --- PROPOSED INDEX CONTOURS
- PROPOSED INTER CONTOURS
- ~~~~~ PROPOSED WATER HARVESTING SWALE SEE 1/C-101



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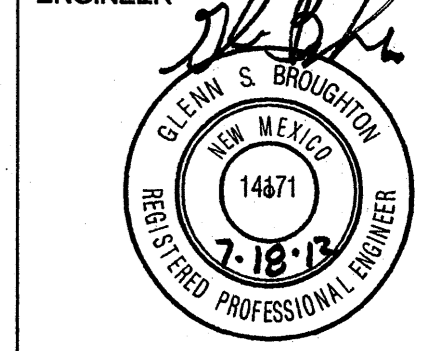
architecture
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landscape
planning
engineering

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ARCHITECT

ENGINEER



PROJECT

Presbyterian Systems Office
DRB Submittal
9521 San Mateo NE
Albuquerque, New Mexico

REVISIONS

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REVIEWED BY	GSB
DATE	7/16/2012
PROJECT NO.	11-0100
DRAWING NAME	

**GRADING &
DRAINAGE PLAN**

SHEET NO.

C-101
4 OF 18

REVISIONS

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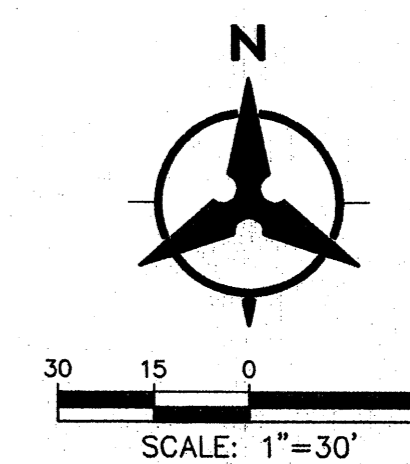
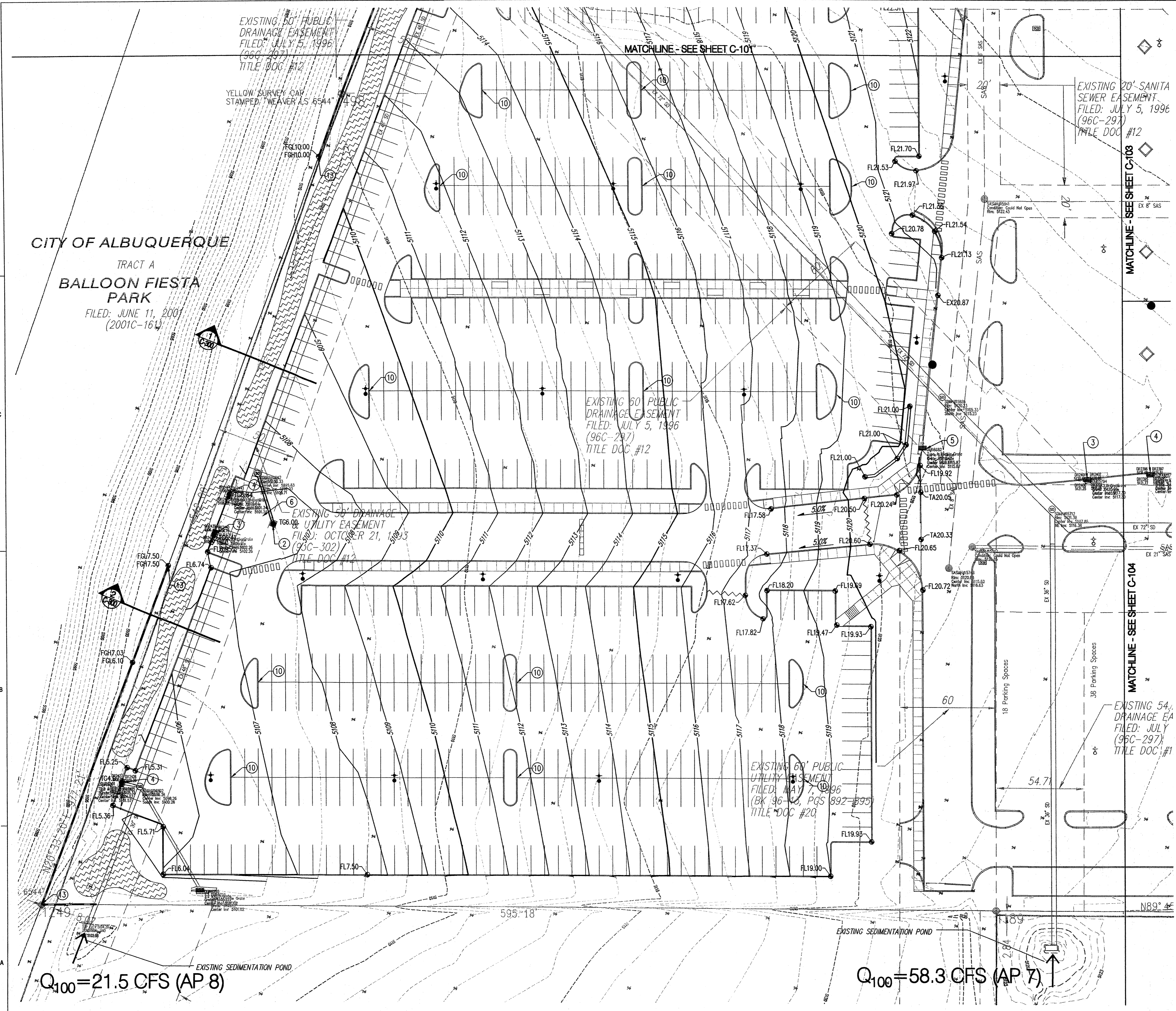
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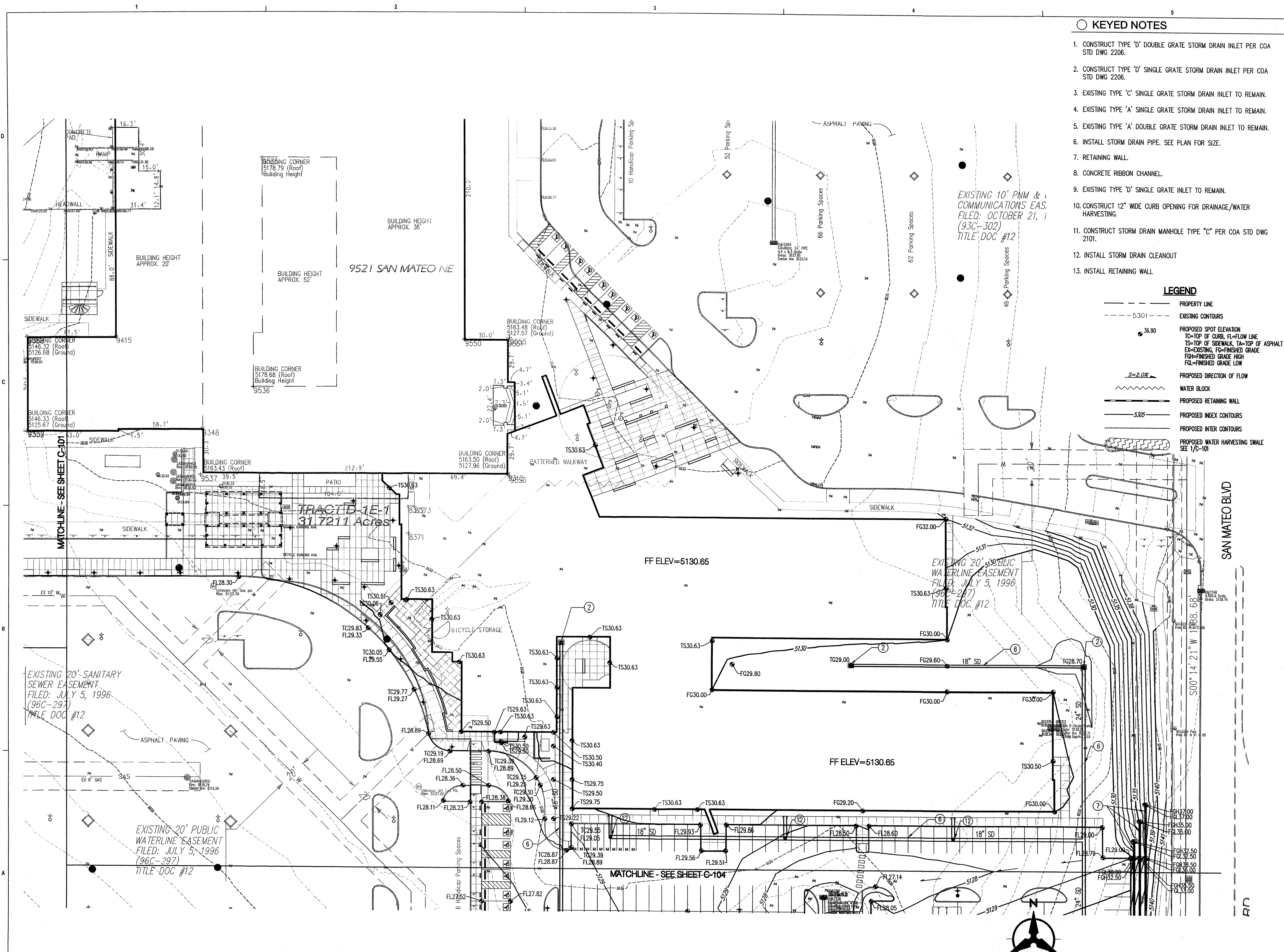
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12. INSTALL STORM DRAIN CLEANOUT
13. INSTALL RETAINING WALL

LEGEND

- PROPERTY LINE
- - - - - EXISTING CONTOURS
- 36.90 PROPOSED SPOT ELEVATION
- TC=TOP OF CURB, FL=FLOW LINE
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- EX=EXISTING, FG=FINISHED GRADE
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- S=2.0% PROPOSED DIRECTION OF FLOW
- ▬ WATER BLOCK
- ▬ PROPOSED RETAINING WALL
- - - - - PROPOSED INDEX CONTOURS
- - - - - PROPOSED INTER CONTOURS
- ▬ PROPOSED WATER HARVESTING SWALE SEE 1/C-101



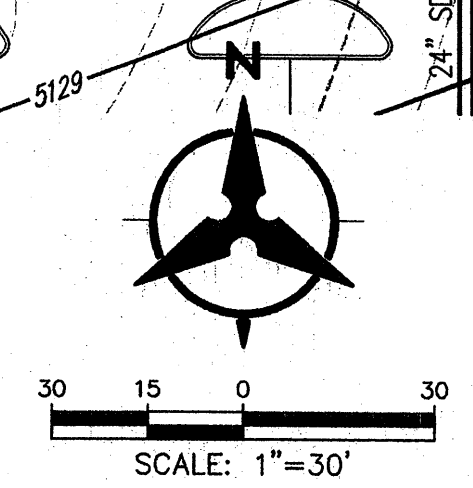


- KEYED NOTES**
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LEGEND

---	PROPERTY LINE
---	EXISTING CONTOURS
● 36.90	PROPOSED SPOT ELEVATION TO=TOP OF CURB, FL=FLOW LINE TS=TOP OF SIDEWALK, TA=TOP OF ASPHALT EX=EXISTING, FG=FINISHED GRADE FQH=FINISHED GRADE HIGH FGL=FINISHED GRADE LOW
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Bohannon & Huston

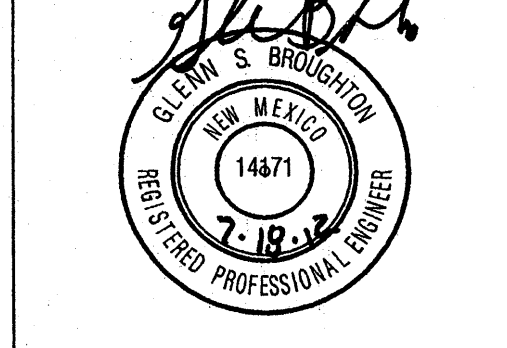
architecture
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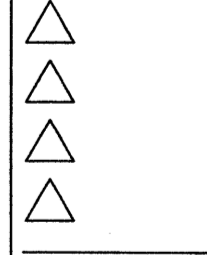
REVISIONS

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DRAWN BY	BO
REVIEWED BY	GSB
DATE	7/16/2012
PROJECT NO.	11-0100
DRAWING NAME	

GRADING &
DRAINAGE PLAN

SHEET NO.
C-103
6 OF 18



GENERAL NOTES

- ALL EXISTING UTILITIES TO REMAIN AS PREVIOUSLY CONSTRUCTED.
- 8" FIRE LINE.
- 3" DOMESTIC WATER LINE SERVICE.
- REDUCED PRESSURE BACKFLOW PREVENTER W/ HEATED ENCLOSURE.
- POST INDICATOR VALVE.
- 10"x10"x8" TAPPING SADDLE WITH GATE VALVE.
- 6" SANITARY SEWER SERVICE LINE.
- 2" WATER METER AND SERVICE LINE PER COA STD DWG 2363.

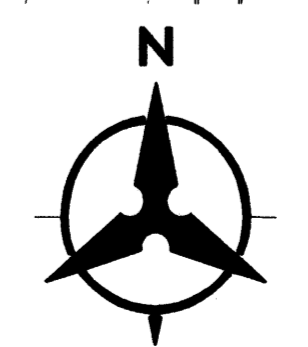
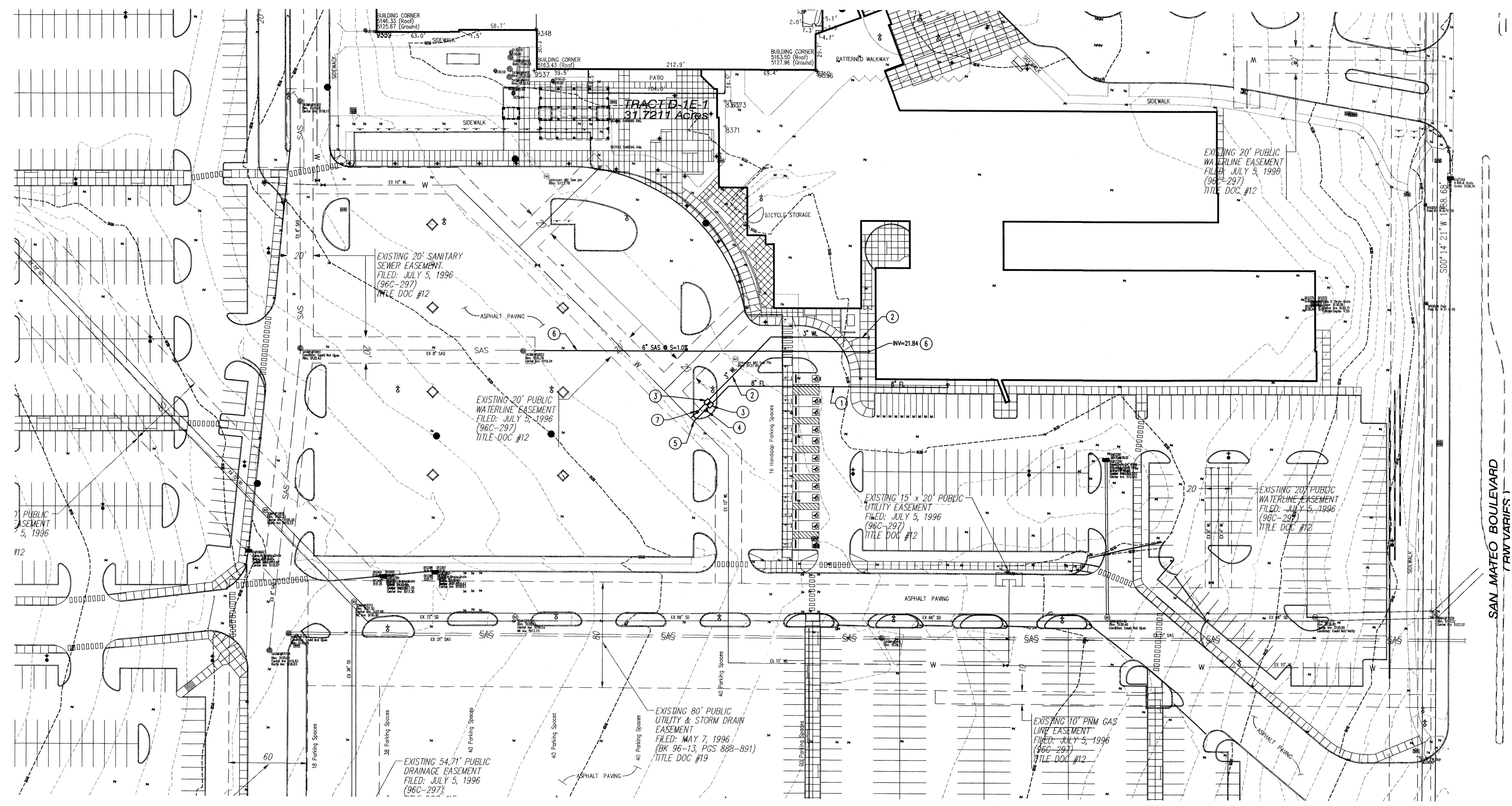
KEYED NOTES

UTILITY NOTES

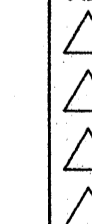
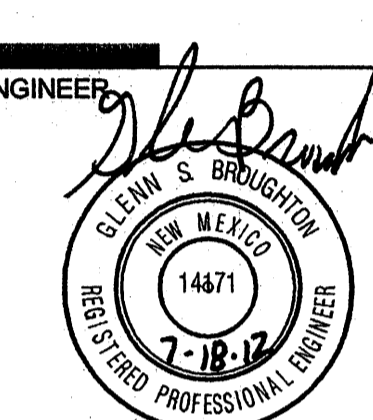
- THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO MECHANICAL UTILITIES AS SHOWN ON THIS PLAN INCLUDING: TRENCHING, BACKFILL, SUPPORTS, CLEANOUT PADS, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING, CLEANING, AND STERILIZING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.
- MINIMUM DEPTHS OF COVER SHALL BE: 36" FOR WATERLINES AND 48" FOR SEWER, EXCEPT AT BUILDING CONNECTION.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED OF HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE IAPMO UNIFORM PLUMBING CODE & NFPA 24, LATEST EDITION.
- UTILITY LINES SHALL BE INSTALLED PRIOR TO PAVEMENT, CURB AND GUTTER, AND/OR SIDEWALK, AS APPLICABLE.
- ROUGH GRADING OF SITE (+0.5') SHALL BE COMPLETED PRIOR TO INSTALLATION OF UTILITY LINES.
- CONTRACTOR WILL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING DRAIN LINES AND ALL NECESSARY FITTINGS.
- ALL VALVES SHALL BE ANCHORED PER COA STANDARD DWG. 2333.
- FIRE LINES SHALL USE PIPE MATERIALS UNDERWRITERS LABORATORIES LISTED AND APPROVED FOR FIRE SERVICE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WATER METER, FIRE LINE, AND SEWER HOOKUP FEES FOR INSTALLATIONS. OWNER SHALL BE RESPONSIBLE FOR UTILITY EXPANSION CHARGES, PRORATA AND OTHER SPECIAL ASSESSMENTS.
- CONTRACTOR SHALL VERIFY INVERTS AND LOCATIONS OF EXISTING WATER/SAS LINES PRIOR TO BEGINNING WORK. ALL CONFLICTS SHALL BE BROUGHT TO ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO BEGINNING WORK.
- CONTRACTOR SHALL NOTIFY THE AUTHORITY HAVING JURISDICTION PRIOR TO INSTALLATION OF FIRE SERVICE LINES, AND PRIOR TO TESTING OF ALL WATERLINES. CONTRACTOR SHALL COMPLETE, SIGN, AND SUBMIT THE "CONTRACTOR'S MATERIAL & TEST CERTIFICATE FOR UNDERGROUND PIPING" IN ACCORDANCE WITH NFPA 24.

LEGEND

- PROPERTY LINE
- - - EXISTING EASEMENT
- SAS - EXISTING SANITARY SEWER
- W - EXISTING WATER LINE
- - - EXISTING CAP
- ⊕ - EXISTING VALVE
- ⊕ - EXISTING FIRE HYDRANT
- ⊕ - EXISTING SANITARY SEWER MANHOLE
- ⊕ - EXISTING STORM DRAIN MANHOLE
- ⊕ - EXISTING INLET
- SAS - PROPOSED EASEMENT
- SAS - PROPOSED SANITARY SEWER LINE
- - PROPOSED SANITARY SEWER MANHOLE
- - PROPOSED CLEANOUT
- WL - PROPOSED WATER LINE
- FL - PROPOSED VALVE
- FL - PROPOSED FIRE LINE
- ⊕ - PROPOSED HYDRANT
- - - PROPOSED CAP



SCALE: 1"=40'

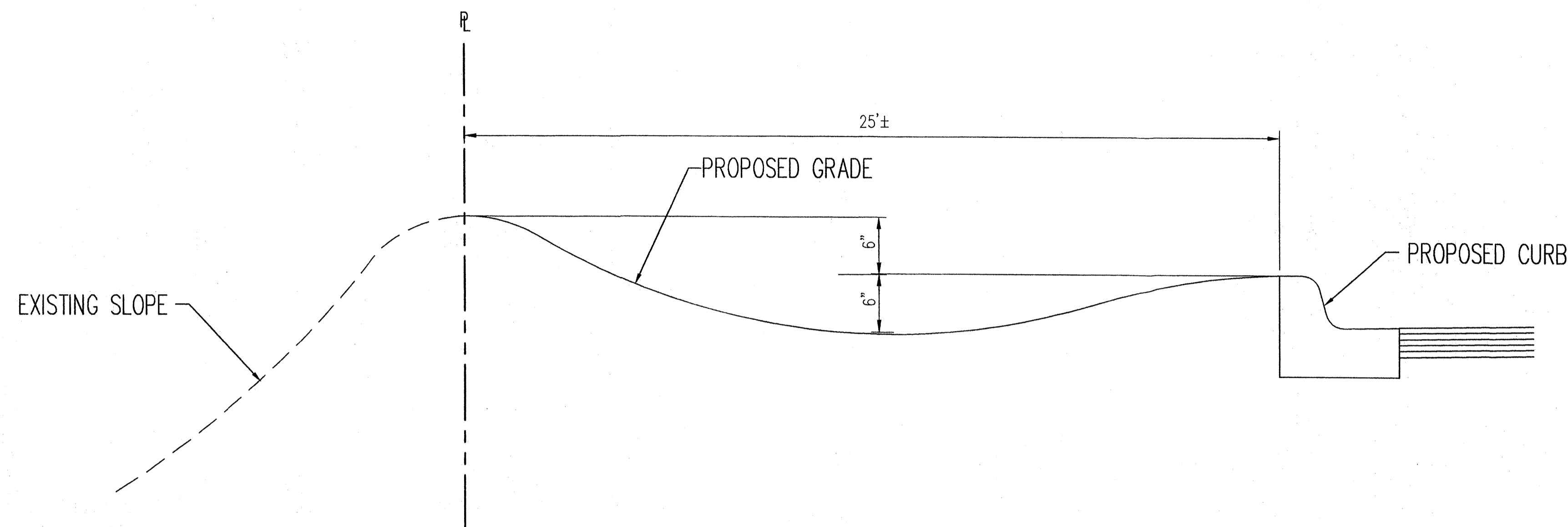


GENERAL NOTES

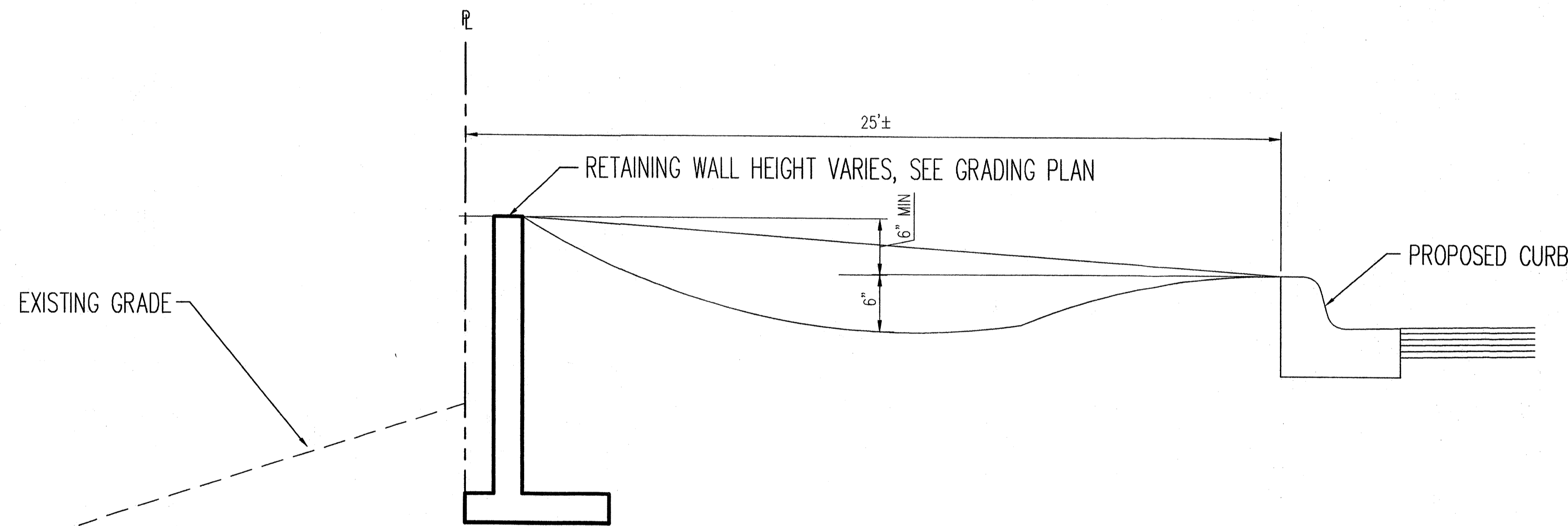
1. ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT. WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
2. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
4. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
5. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
6. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
7. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
8. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
9. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADES, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
10. ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
11. THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
12. ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
13. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADES AT THE END AND BEGINNING OF EACH DAY.
14. THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

GRADING NOTES

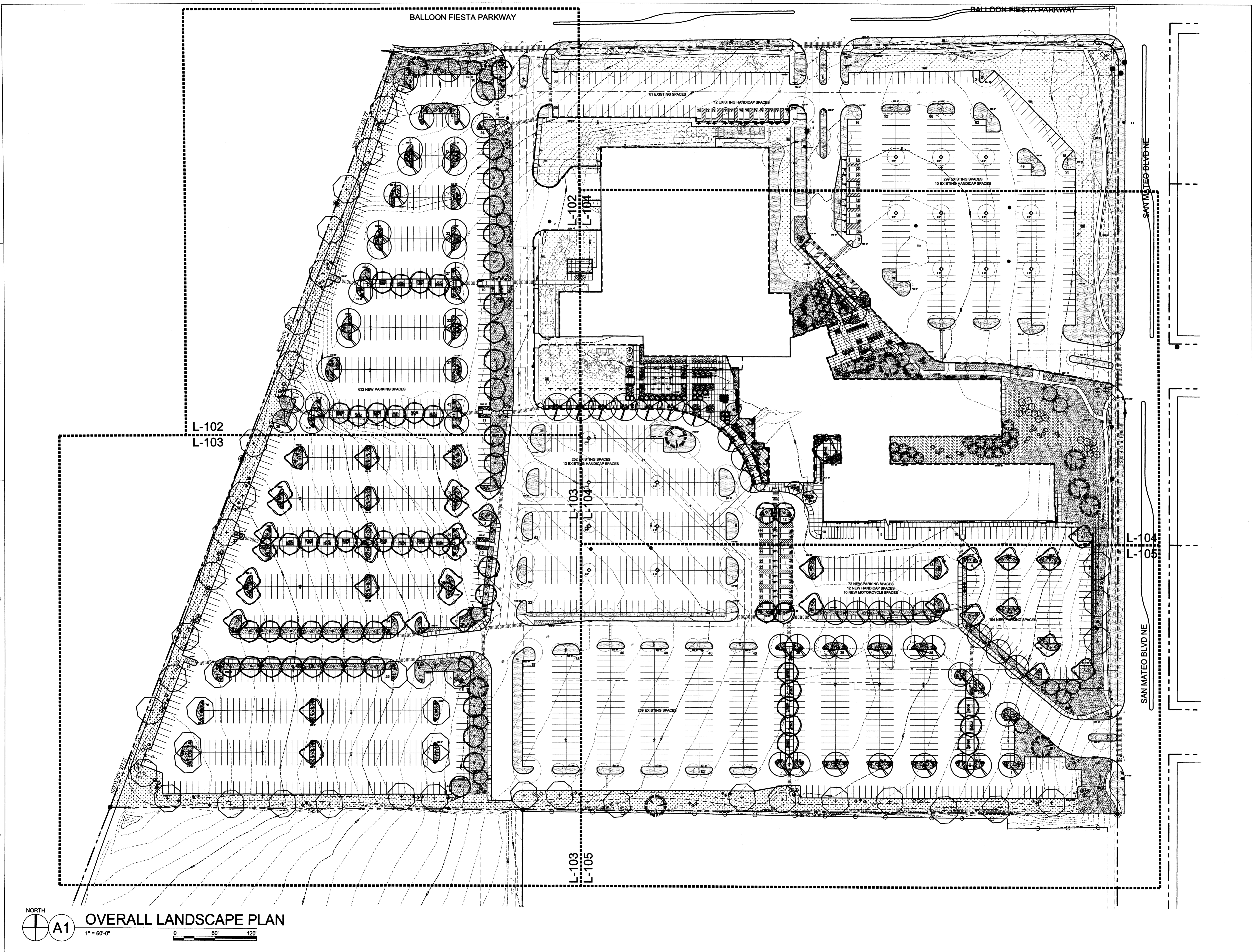
1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION". ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREIN, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
4. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
5. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY.
7. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAIL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
8. PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
9. ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDIANS AND ISLANDS.
10. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.



1 TYPICAL SECTION AT PROPERTY LINE
N.T.S.

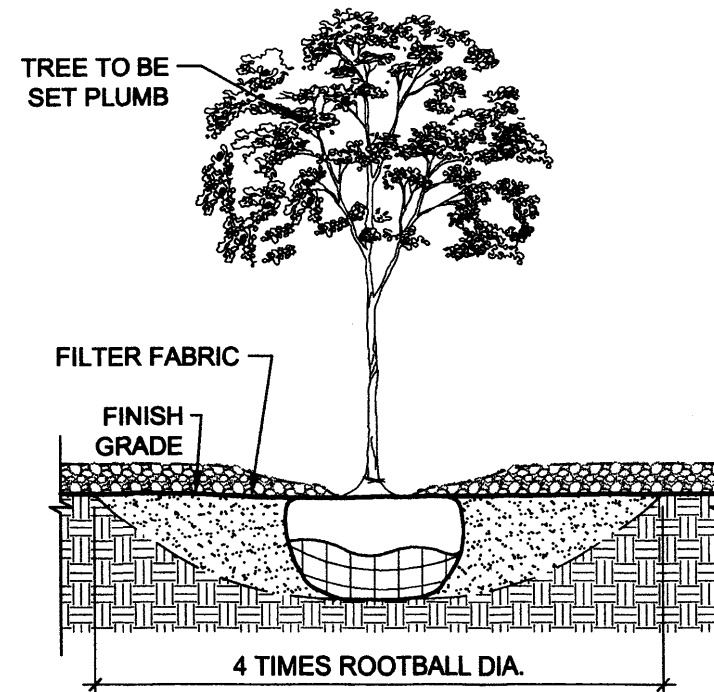


2 TYPICAL SECTION AT PROPERTY LINE
N.T.S.



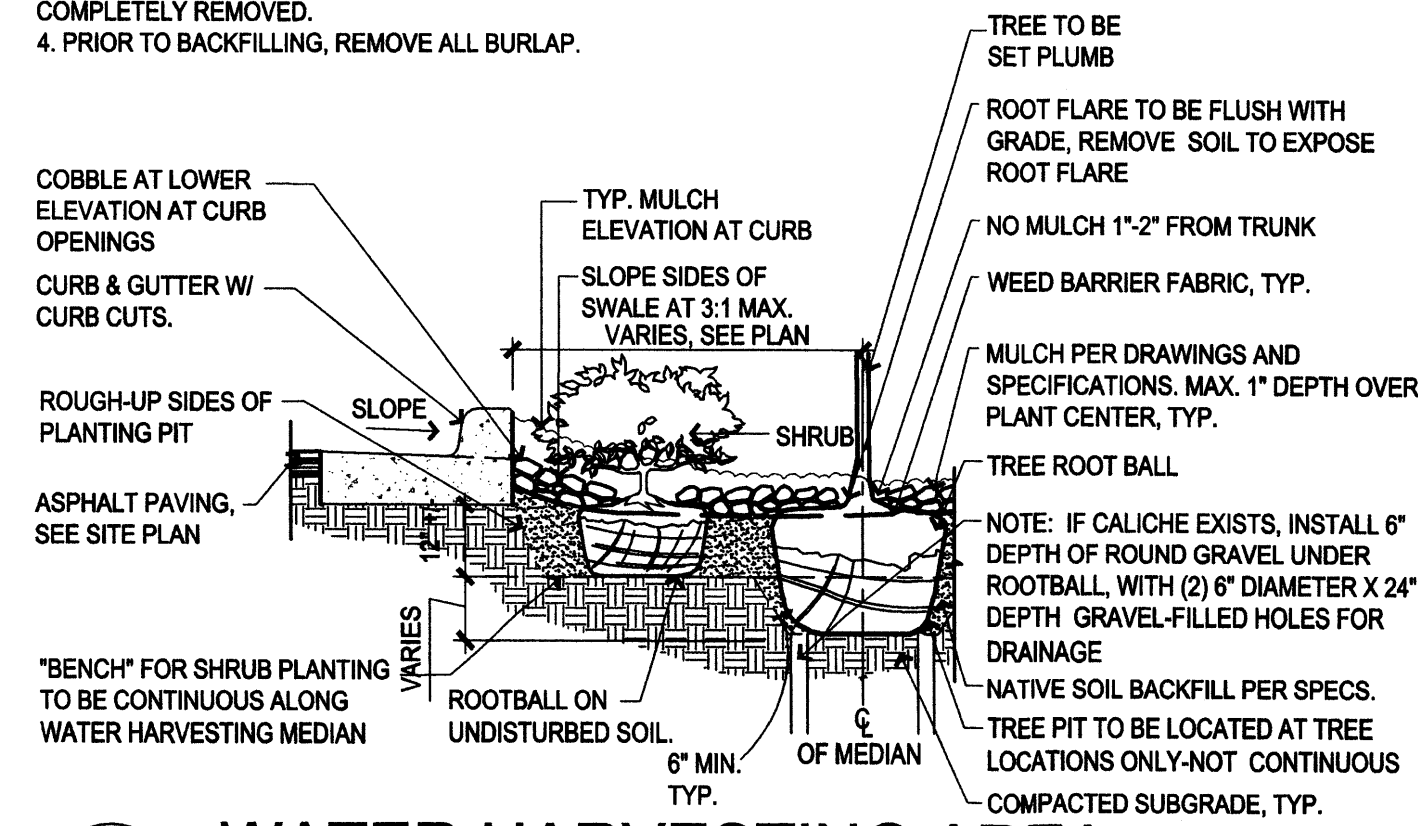
NORTH
A1 OVERALL LANDSCAPE PLAN
1" = 60'-0"
0 60 120

- NOTES:
1. PRIOR TO BACKFILLING, ALL MATERIAL SUCH AS CONTAINERS, WIRE, BURLAP, AND ROPE SHALL BE REMOVED AS COMPLETELY AS POSSIBLE, WHILE STILL PROTECTING THE INTEGRITY OF THE ROOTBALL.
 2. BOTTOM OF TREE PITS TO BE COMPACTED TO PREVENT SETTLING.



A1 TREE
3/4" = 1'-0"
0 1' 2' 3'

- NOTES:
1. PLANTER BACKFILL IS FOR USE AROUND SHRUB AND TREE PLANTINGS - TYPICALLY TO WITHIN 2'-0" OF ROOTBALLS.
 2. ROCK MULCH TO BE USED AS BACKFILL IN ALL OTHER AREAS OF WATER HARVESTING MEDIAN.
 3. PRIOR TO BACKFILLING, ALL MATERIAL SUCH AS CONTAINERS, WIRE, AND ROPE SHALL BE COMPLETELY REMOVED.
 4. PRIOR TO BACKFILLING, REMOVE ALL BURLAP.



A2 WATER HARVESTING AREA
1/2" = 1'-0"
0 1' 2' 4'

PLANTING SCHEDULE

TREES	SYMBOL	COMMON NAME	BOTANICAL NAME	INSTALLED SIZE
		BLOODGOOD JAPANESE MAPLE	Acer palmatum 'Bloodgood'	30" box Multi-trunk
		SERVICEBERRY	Amelanchier alnifolia	30" box Multi-trunk
		MODESTO ASH	Fraxinus velutina 'Modesto'	2"-Cal
		PINON PINE	Pinus edulis	6' height
		EXTRA BLUE LIMBER PINE	Pinus flexilis 'Extra Blue'	6' height
		AUSTRIAN PINE	Pinus nigra	6' height
		THUNDERHEAD BLACK PINE	Pinus thurborgii	6' height
		CHINESE PISTACHE	Pistacia chinensis	2"-Cal
		SHUMARD OAK	Quercus shumardii	2"-Cal
		MEXICAN ELDER	Sambucus mexicana	2"-Cal
		JAPANESE PAGODA TREE	Sophora japonica	2"-Cal
		ALLEE ELM	Ulmus parviflora 'Allee'	2"-Cal
		CHASTE TREE	Vitex agnus-castus	30" box Multi-trunk

SHRUBS / PERENNIALS	SYMBOL	COMMON NAME	BOTANICAL NAME	INSTALLED SIZE
		YARROW	Achillea sp.	1 Gal.
		SAGE	Artemisia sp.	1 Gal.
		THOMPSON BROOM	Baccharis hybrid 'Stam'	1 Gal.
		TRUMPET VINE	Campsis radicans	1 Gal.
		DARK KNIGHT BLUE MIST SPIRAEA	Caryopteris clandonensis 'Dark Knight'	1 Gal.
		FERNBUSH	Chamaebatia millefolium	1 Gal.
		TICKSEED	Coreopsis sp.	1 Gal.
		REDTWIG DOGWOOD	Cornus sericea 'Bailey'	1 Gal.
		APACHE PLUME	Fallugia paradoxa	1 Gal.
		BLANKETFLOWER	Gaillardia aristata	1 Gal.
		GAURA	Gaura sp.	1 Gal.
		IRIS	Iris sp.	1 Gal.
		JUNIPER	Juniperus sp.	1 Gal.
		LAVENDER	Lavendula sp.	1 Gal.
		CREEPING OREGON GRAPE	Mahonia aquifolium 'Compacta'	1 Gal.
		PHOTINIA	Photinia sp.	1 Gal.
		SHRUBBY CINQUEFOIL	Potentilla fruticosa	1 Gal.
		WESTERN SAND CHERRY	Prunus besseyii	1 Gal.
		PINK LADY INDIA HAWTHORN	Raphiolepis indica 'Pink Lady'	1 Gal.
		ROSEMARY	Rosmarinus sp.	1 Gal.
		CREEPING GERMANDER	Teucrium chamaedrys 'Prostratum'	1 Gal.
		PERIWINKLE	Vinca major	1 Gal.
		WISTERIA	Wisteria chinensis	1 Gal.

SUCCULENTS	SYMBOL	COMMON NAME	BOTANICAL NAME	INSTALLED SIZE
		PARRY'S AGAVE	Agave parryi	1 Gal.
		RED YUCCA	Hesperaloe parviflora	1 Gal.
		BEARGRASS	Nolina microcarpa	1 Gal.

GRASSES	SYMBOL	COMMON NAME	BOTANICAL NAME	INSTALLED SIZE
		FEATHER REED GRASS	Calamagrostis acutiflora 'Karl Foerster'	1 Gal.
		MAIDENHAIR GRASS	Miscanthus sinensis 'Gracillimus'	1 Gal.
		EL TORO MUHLY	Muhlenbergia emerleyi 'El Toro'	1 Gal.
		DEER GRASS	Muhlenbergia rigens	1 Gal.
		THREAD GRASS	Nassella tenuissima	1 Gal.

MULCHES	SYMBOL	DESCRIPTION
		EXISTING ROCK MULCH
		EXISTING TURF
		3/4" ROCK MULCH, 3" DEPTH OVER FILTER FABRIC, COLOR: SANTA FE BROWN
		CRUSHER FINES, 3" DEPTH OVER FILTER FABRIC, COLOR: CANYON GOLD
		NATIVE SEEDING, ALBUQUERQUE EASTSIDE MIX
		LANDSCAPE BOULDERS, 3' x 3' x 3' MIN.
		EXISTING PLANT MATERIAL TO REMAIN
		OPEN SPACE AREA

GENERAL SHEET NOTES

- A. FOR GRADING AND DRAINAGE INFORMATION, SEE CIVIL DRAWINGS. DO NOT RELY ON LANDSCAPE DRAWINGS FOR GRADING INFORMATION.
- B. FOR ADDITIONAL INFORMATION ON SITE ELEMENTS, SEE SITE PLAN.

PLANTING NOTES

1. THE LANDSCAPE DESIGN SHALL COMPLY WITH THE INTENT OF THE CITY OF ALBUQUERQUE WASTE WATER CONSERVATION, LANDSCAPING AND WATER WASTE ORDINANCE.
2. LANDSCAPING SHALL BE INSTALLED ACCORDING TO THE APPROVED PLAN; INSTALLATION SHALL BE COMPLETE WITHIN 60 DAYS OF THE RELATED BUILDING'S OCCUPANCY.
3. AFTER SUBSTANTIAL COMPLETION, THE INSTALLATION AND MAINTENANCE OF LANDSCAPING AND IRRIGATION SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
4. PLANTING SCHEDULE APPLIES TO NEW PLANT MATERIAL ONLY. FINAL SPECIES AND LOCATIONS MAY VARY FROM THIS PLAN.
5. LANDSCAPING SHALL HAVE ADEQUATE MAINTENANCE. LANDSCAPING WHICH DIES SHALL BE REPLACED BY THE OWNER AS EXPEDITIOUSLY AS POSSIBLE, BUT IN NO CASE LONGER THAN 60 DAYS AFTER NOTIFICATION.
6. THE EXISTING STREET TREE INSTALLATION IS COMPLIANT WITH THE CITY AND SECTOR PLAN REQUIREMENTS.
7. THERE IS EXTENSIVE EXISTING LANDSCAPE THAT WILL BE PRESERVED.
8. THERE IS EXISTING TURF IN THE LANDSCAPE, BUT NO ADDITIONAL TURF IS PROPOSED. SOME TURF WILL REQUIRE RENOVATION DUE TO CONSTRUCTION ACTIVITIES.
9. LANDSCAPE AREAS SHALL BE COVERED WITH MULCH OR SOD. SEE PLANTING LEGEND.
10. MINIMUM INSTALLATION SIZES FOR PLANT MATERIAL VARY BY SPECIES. SEE PLANT LEGEND.
11. A MINIMUM OF 75% OF THE LANDSCAPE AREA SHALL BE COVERED WITH LIVE VEGETATIVE MATERIALS AT MATURITY.

IRRIGATION NOTES

1. THE IRRIGATION SYSTEM DESIGN SHALL COMPLY WITH ALL CITY WATER CONSERVATION LANDSCAPE AND WASTE WATER ORDINANCES.
2. A FULLY AUTOMATED IRRIGATION SYSTEM IS USED TO IRRIGATE TREES, SHRUBS, AND GROUND COVER PLANTING AREAS. NEW IRRIGATION FOR NEW PLANT MATERIALS WILL TIE INTO THE EXISTING AUTOMATED SYSTEM.
3. THE IRRIGATION SYSTEM IS CONNECTED TO CITY WATER. THE POINT OF CONNECTION INCLUDES A WATER METER AND BACKFLOW PREVENTER.
4. THE NEW IRRIGATION SYSTEM ZONES SHALL BE DESIGNED WITH SEPARATE ZONES ACCORDING TO PLANT WATER REQUIREMENTS.
5. EACH NEW TREE SHALL RECEIVE THREE (3) - ONE (1) GPH EMITTERS. EACH SHRUB/PERENNIAL SHALL RECEIVE TWO (2) - TWO (2) GPH EMITTERS.
6. THE MAINTENANCE OF THE IRRIGATION SYSTEM SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

LANDSCAPE CALCULATIONS

TOTAL SITE AREA: 1,381,771 SF = 31.7 AC
 TOTAL BUILDING AREA: 325,790 SF
 TOTAL R.O.W. AREA: 16,298 SF
 NET LOT AREA: 1,039,683 SF = 23.9 AC

REQUIRED LANDSCAPE AREA: 15% OF NET LOT AREA = 155,952 SF
 PROVIDED LANDSCAPE AREA (NOT INCL. R.O.W.): 311,041 SF = 30%

REQUIRED OPEN SPACE: 5% OF NET LOT AREA = 51,984 SF
 PROVIDED OPEN SPACE: 122,320 SF = 11.8%

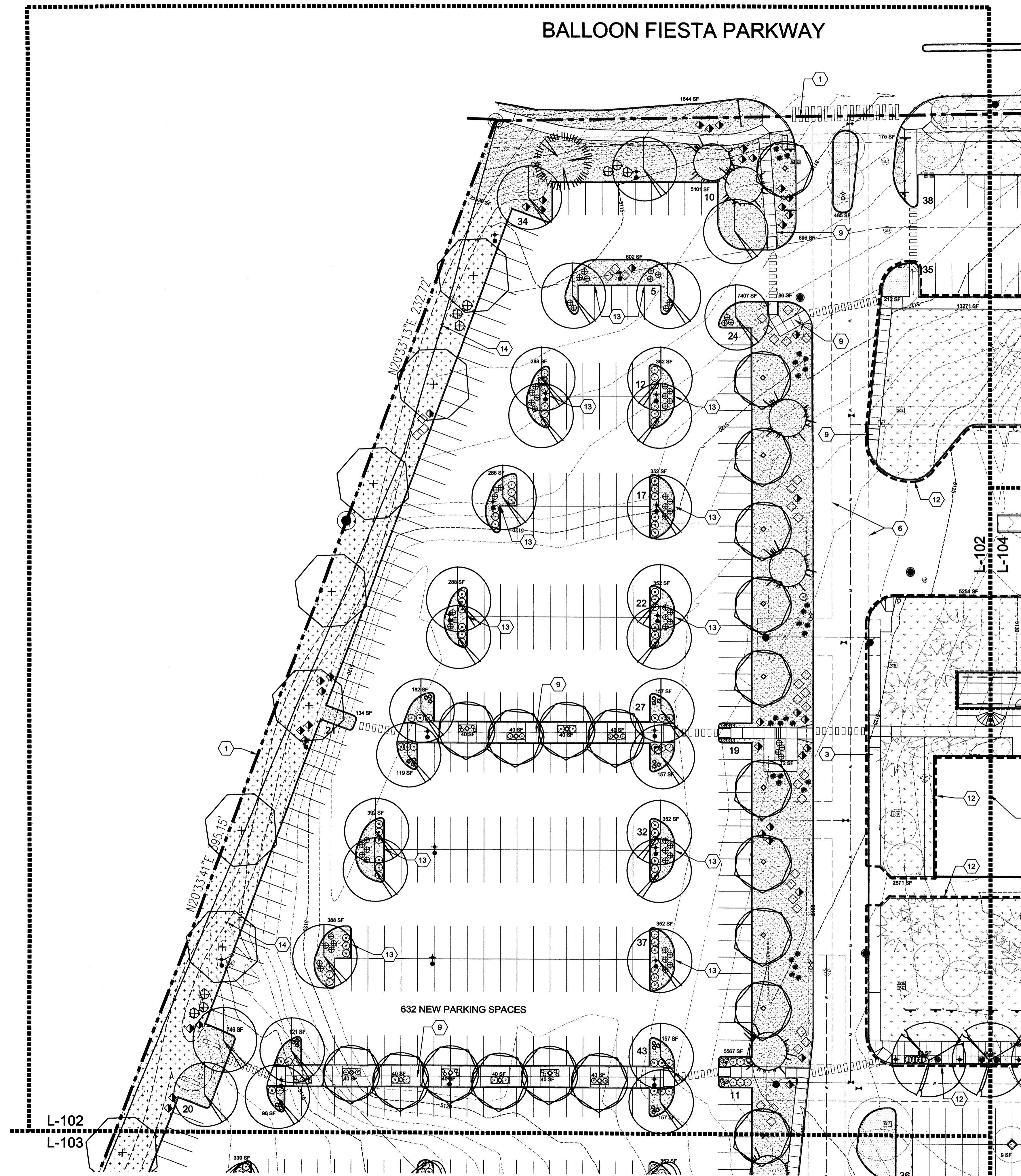
TREES/PARKING SPACES
 REQUIRED: 1 TREE/10 PARKING SPACES = 2,179 PARKING SPACES/10 = 218 TREES
 PROVIDED: 316 TREES

REVISIONS	DATE	DESCRIPTION
	7-17-2012	CHANGES MADE PER DRB COMMENTS

DRAWN BY	RE / CM
REVIEWED BY	MB
DATE	6/12/2012
PROJECT NO.	11-0100
DRAWING NAME	

**LANDSCAPE NOTES
AND DETAILS**

BALLOON FIESTA PARKWAY

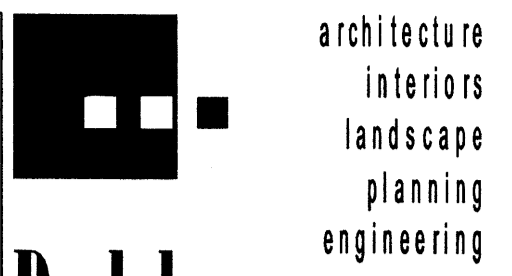


GENERAL SHEET NOTES

- A. SEE SHEET L-101 FOR GENERAL NOTES AND ADDITIONAL REQUIREMENTS.
- B. FOR GRADING AND DRAINAGE INFORMATION, SEE CIVIL DRAWINGS. DO NOT RELY ON LANDSCAPE DRAWINGS FOR GRADING INFORMATION.
- C. FOR ADDITIONAL INFORMATION ON SITE ELEMENTS, SEE SITE PLAN.

KEYED NOTES

- 1. PROPERTY LINE
- 2. EXISTING BUILDING
- 3. EXISTING SIDEWALK
- 4. EXISTING PARKING LOT
- 5. EXISTING MONUMENT SIGN
- 6. EASEMENT, SEE ARCHITECTURAL
- 7. NEW BUILDING
- 8. SHADE STRUCTURE
- 9. SIDEWALK
- 10. SEATWALL
- 11. SITE WALL
- 12. OPEN SPACE AREA
- 13. WATER HARVESTING CURB OPENING, SEE AZL-101 AND CIVIL
- 14. COMPACTED CRUSHER FINES TRAIL



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ARCHITECT

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Presbyterian Systems Office
 DRB Submittal
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REVISIONS	
▲	7-17-2012 CHANGES MADE PER DRB COMMENTS
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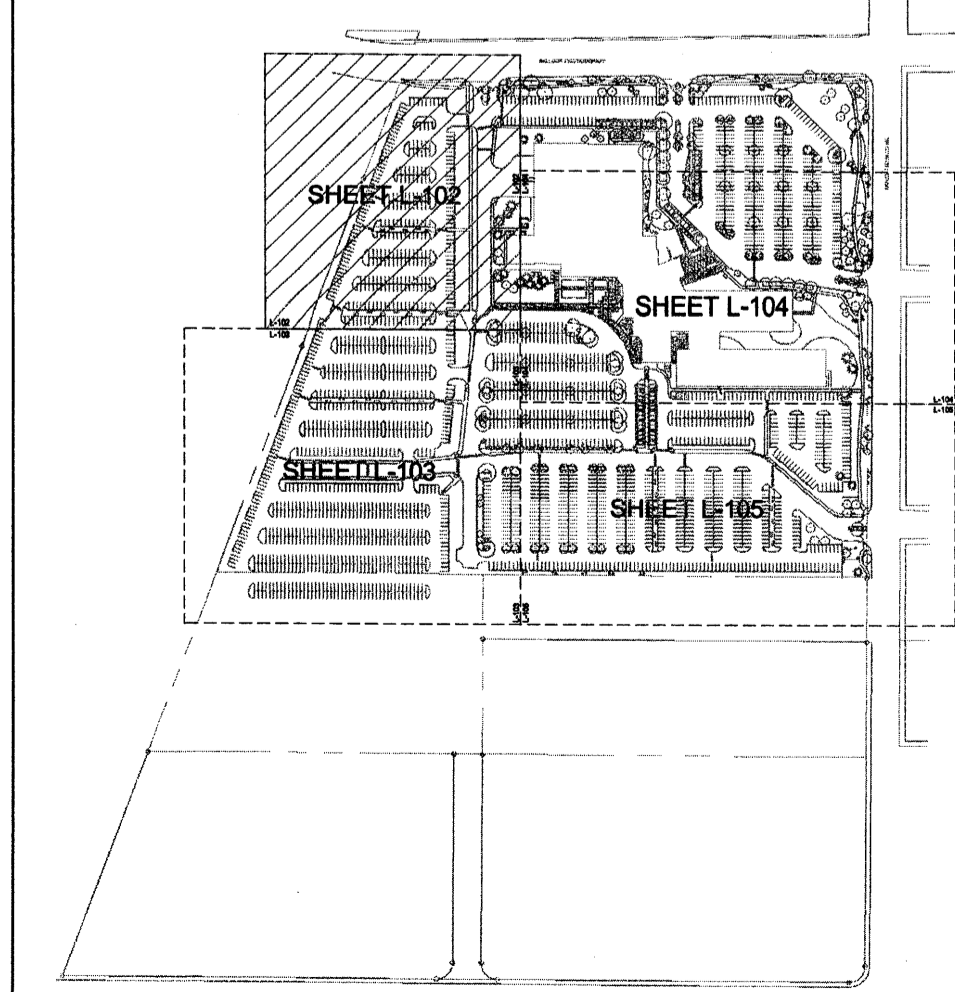
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REVIEWED BY	MB
DATE	6/12/2012
PROJECT NO.	11-0100
DRAWING NAME	

ENLARGED LANDSCAPE PLAN

SHEET NO.

L-102
12 OF 18

KEYPLAN

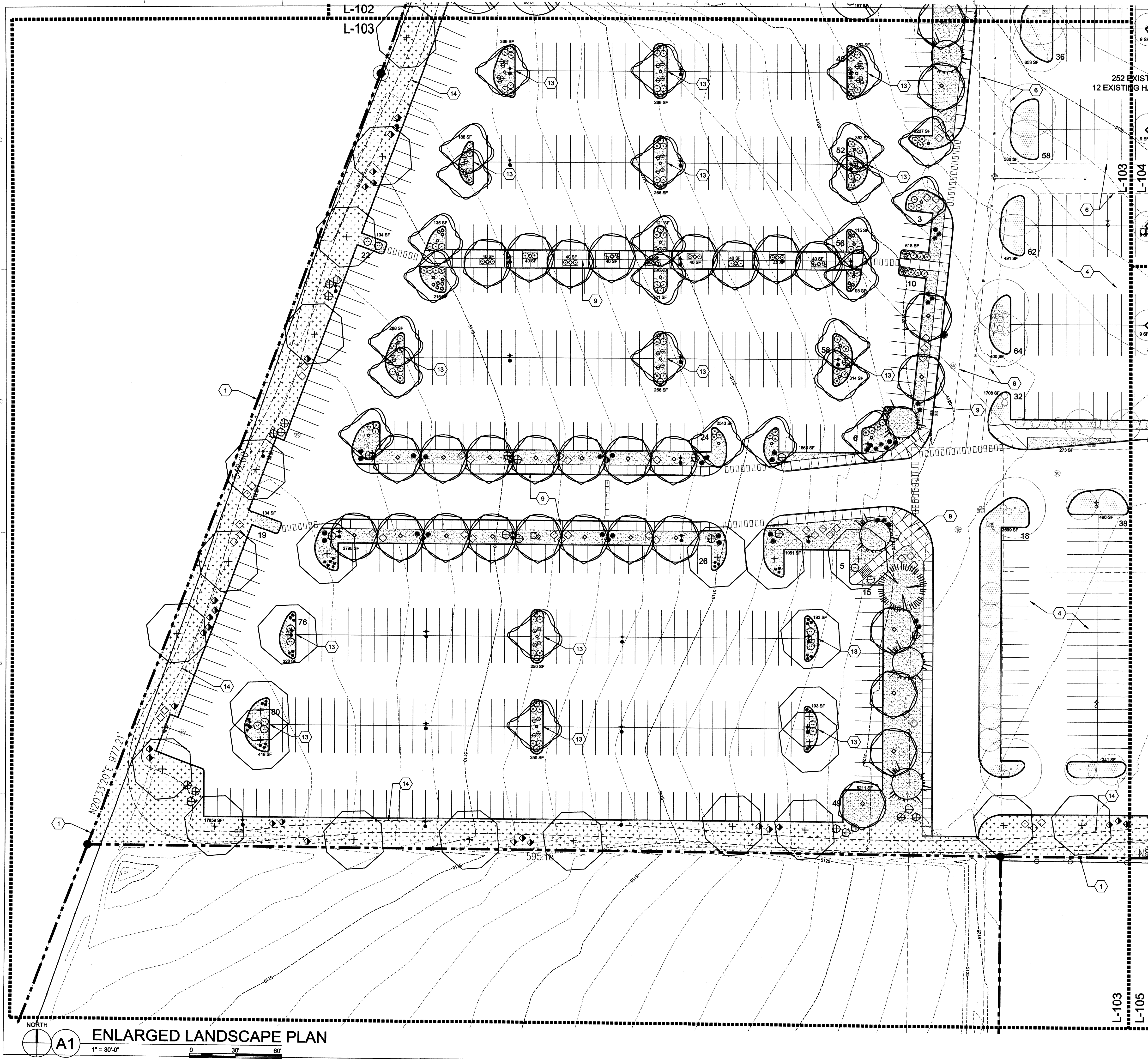


NORTH

A1 ENLARGED LANDSCAPE PLAN

1" = 30'-0"

0 30' 60'



GENERAL SHEET NOTES

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SHEET KEYED NOTES

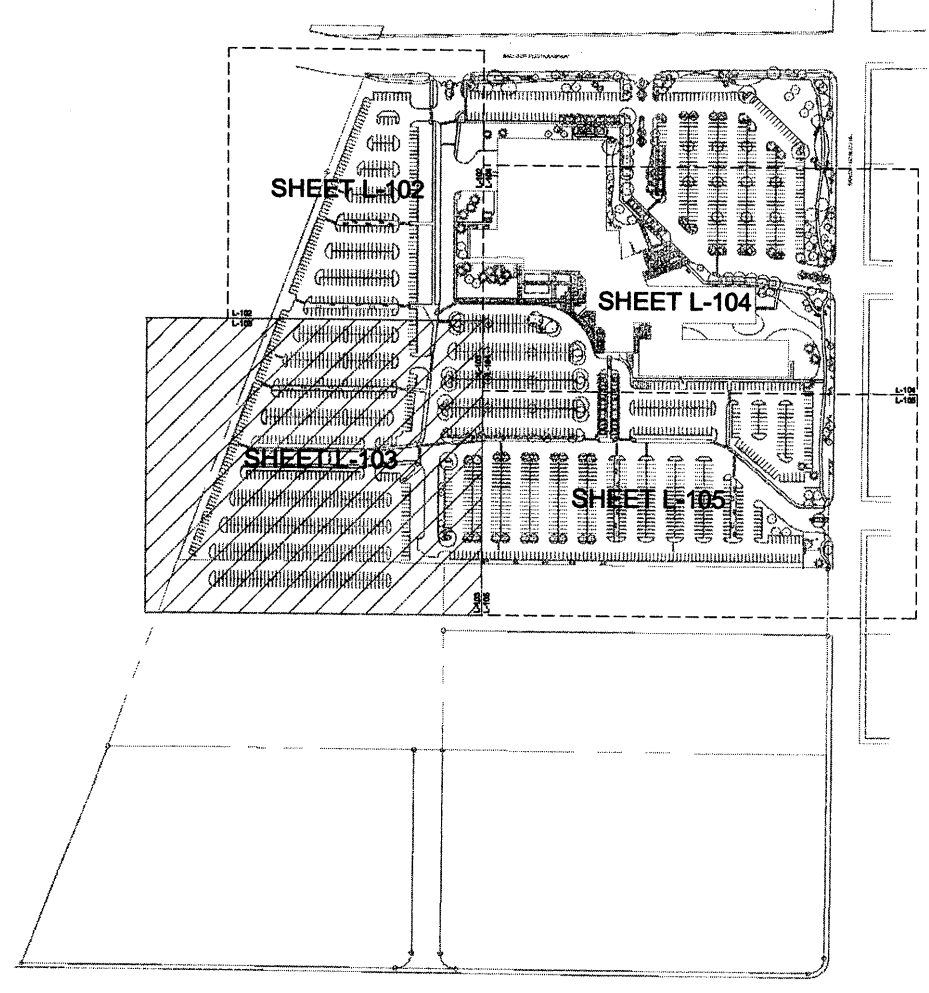
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- 12. OPEN SPACE AREA
- 13. WATER HARVESTING CURB OPENING, SEE A2/L-101 AND CIVIL
- 14. COMPACTED CRUSHER FINES TRAIL

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ARCHITECT
 ENGINEER
 PROJECT

Presbyterian Systems Office
 DRB Submittal
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KEYPLAN

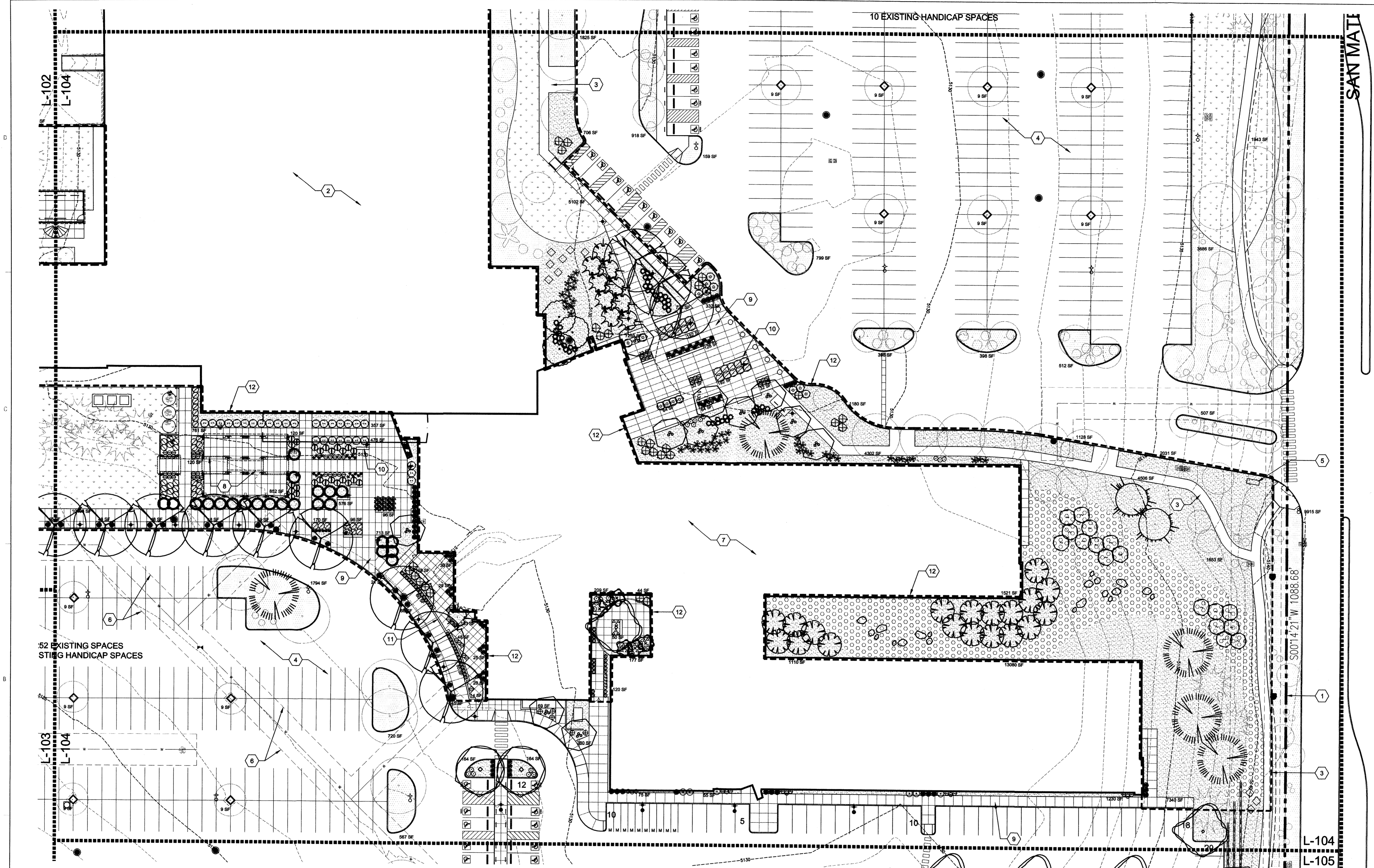


REVISIONS

▲	7-17-2012	CHANGES MADE PER DRB COMMENTS
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REVIEWED BY	MB
DATE	6/12/2012
PROJECT NO.	11-0100
DRAWING NAME	ENLARGED LANDSCAPE PLAN

ENLARGED LANDSCAPE PLAN
 1" = 30'-0"



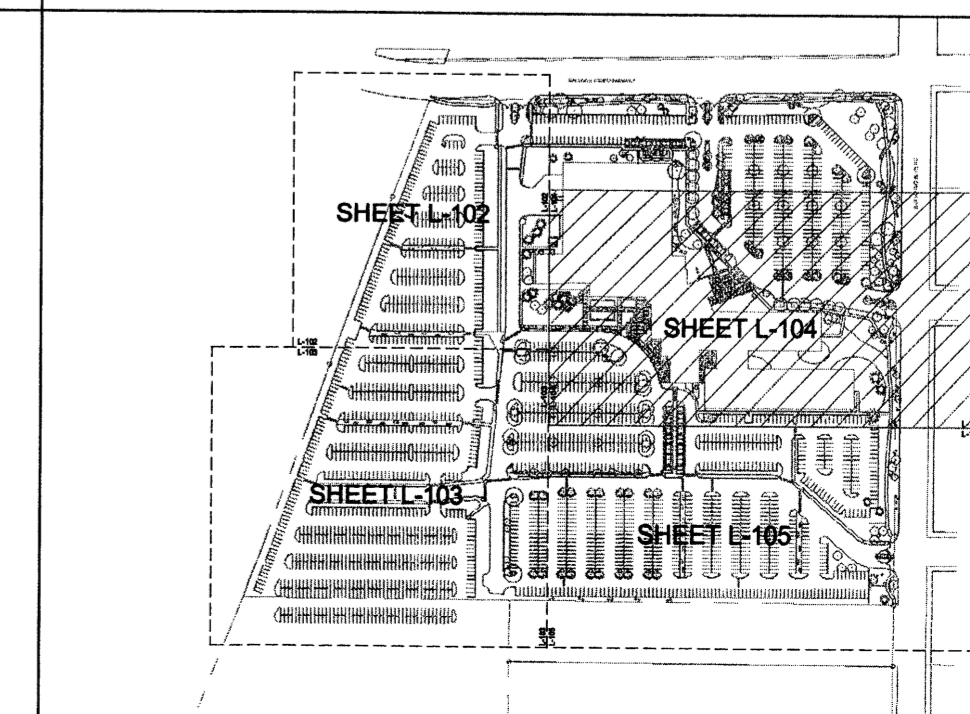
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SHEET KEYED NOTES

- 1. PROPERTY LINE
- 2. EXISTING BUILDING
- 3. EXISTING SIDEWALK
- 4. EXISTING PARKING LOT
- 5. EXISTING MONUMENT SIGN
- 6. EASEMENT, SEE ARCHITECTURAL
- 7. NEW BUILDING
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- 9. SIDEWALK
- 10. SEATWALL
- 11. SITE WALL
- 12. OPEN SPACE AREA
- 13. WATER HARVESTING CURB OPENING, SEE A2/L-101 AND CIVIL

KEYPLAN



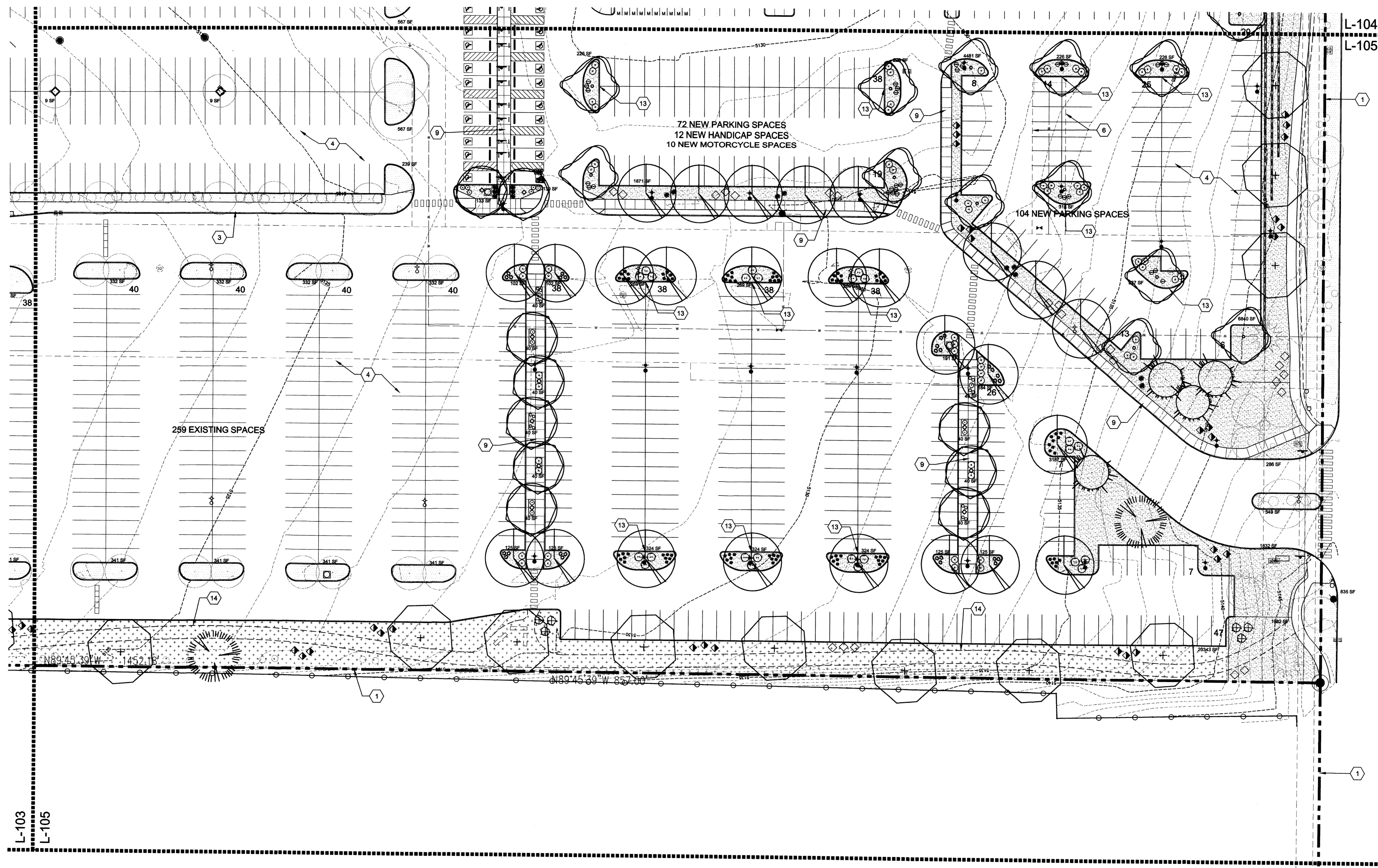
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△	7-17-2012 CHANGES MADE PER DRB COMMENTS
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ENLARGED LANDSCAPE PLAN

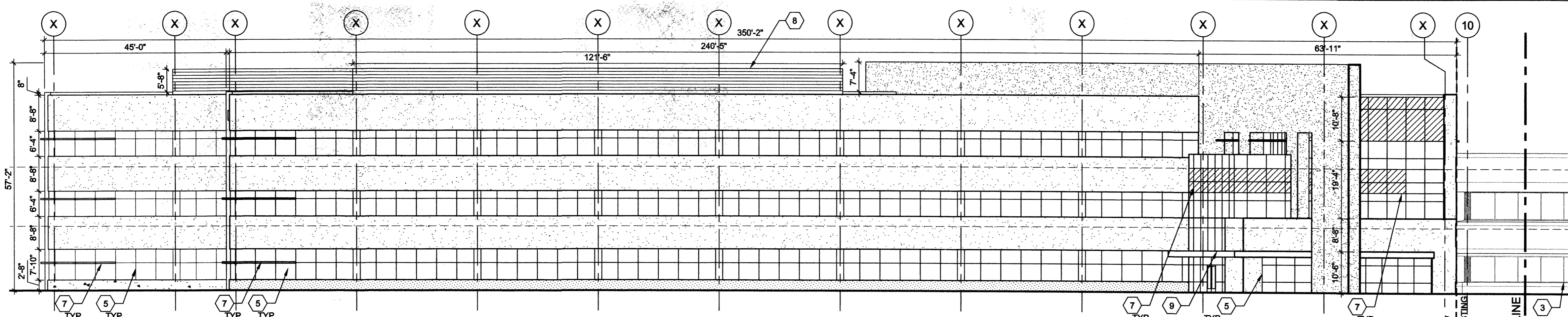
SHEET NO.

L-105
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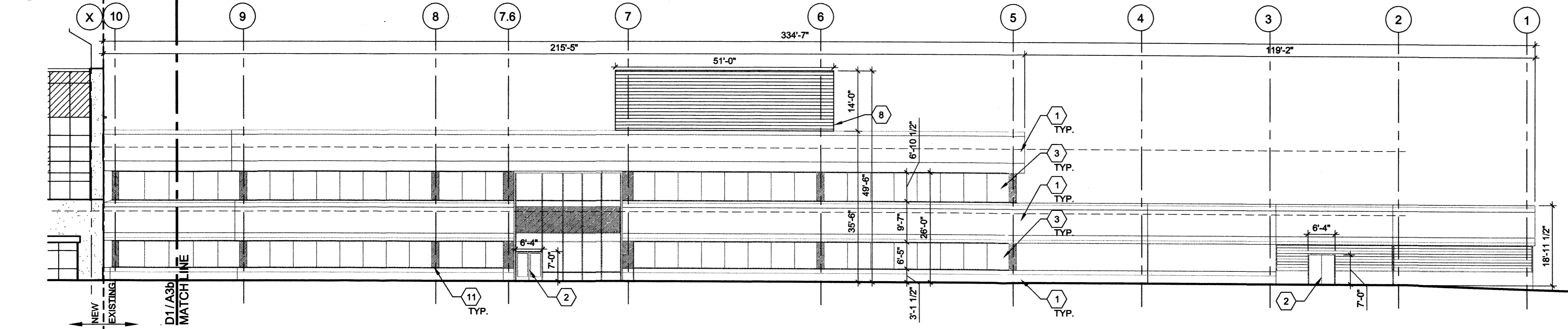


SAN MATEO BLVD NE

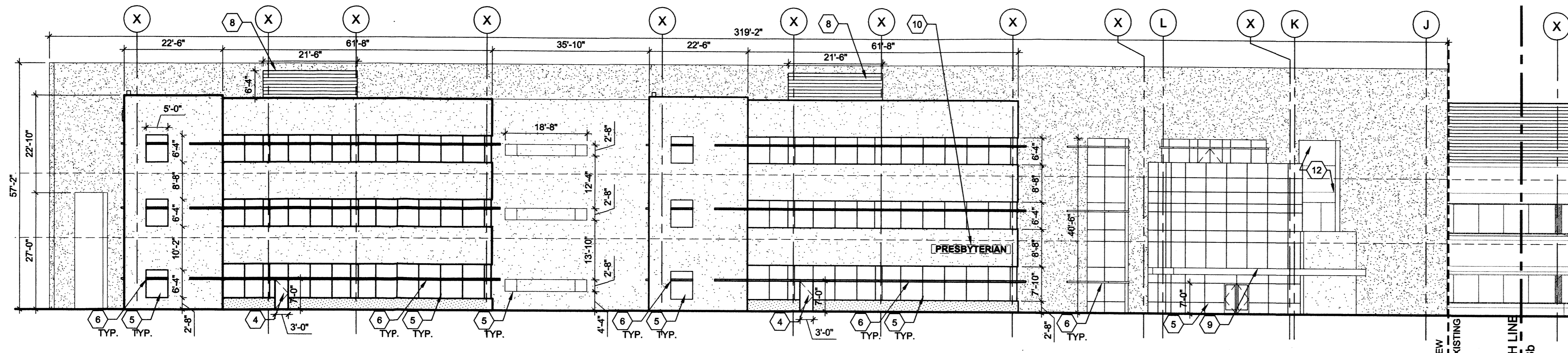
GENERAL SHEET NOTES	SHEET KEYED NOTES	KEYPLAN
<p>A. SEE SHEET L-101 FOR GENERAL NOTES AND ADDITIONAL REQUIREMENTS.</p> <p>B. FOR GRADING AND DRAINAGE INFORMATION, SEE CIVIL DRAWINGS. DO NOT RELY ON LANDSCAPE DRAWINGS FOR GRADING INFORMATION.</p> <p>C. FOR ADDITIONAL INFORMATION ON SITE ELEMENTS, SEE SITE PLAN.</p>	<p>1. PROPERTY LINE</p> <p>2. EXISTING BUILDING</p> <p>3. EXISTING SIDEWALK</p> <p>4. EXISTING PARKING LOT</p> <p>5. EXISTING MONUMENT SIGN</p> <p>6. EASEMENT, SEE ARCHITECTURAL</p> <p>7. NEW BUILDING</p> <p>8. SHADE STRUCTURE</p> <p>9. SIDEWALK</p> <p>10. SEATWALL</p> <p>11. SITE WALL</p> <p>12. OPEN SPACE AREA</p> <p>13. WATER HARVESTING CURB OPENING, SEE A2L-101 AND CIVIL</p> <p>14. COMPACTED CRUSHER FINES TRAIL</p>	



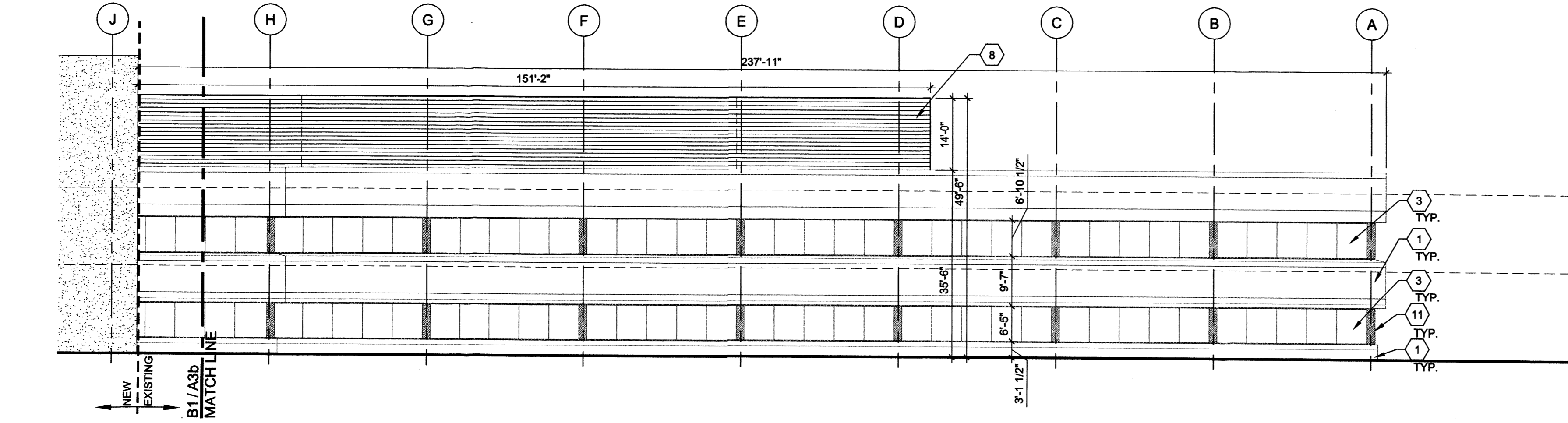
D1 PARTIAL NORTH ELEVATION
1/16" = 1'-0"
0 8' 16' 32'



C1 PARTIAL NORTH ELEVATION
1/16" = 1'-0"
0 8' 16' 32'



B1 PARTIAL EAST ELEVATION
1/16" = 1'-0"
0 8' 16' 32'



A1 PARTIAL EAST ELEVATION
1/16" = 1'-0"
0 8' 16' 32'

SHEET KEYED NOTES

1. EXISTING PRECAST FASCIA PANEL TO BE PAINTED. COLOR: WHITE
2. EXISTING DOOR
3. EXISTING WINDOW
4. ANODIZED ALUMINUM DOOR FRAME WITH BLUE/GREEN WIDE STILE GLASS DOOR
5. ANODIZED ALUMINUM WINDOW FRAME, WITH BLUE/GREEN GLAZING
6. ANODIZED ALUMINUM SUNSHADE
7. SPANDREL GLASS. COLOR: BLUE/GREEN
8. MECHANICAL SCREEN WALL, HORIZONTAL METAL PANEL, COLOR: GRAY
9. ENTRY CANOPY. COLOR: CREAM
10. LOCATION FOR BUILDING SIGNAGE, 2'-0" HIGH X 18'-0" WIDE AREA OF SIGN: 36 SF. BACK LIT, SURFACE MOUNTED ALUMINUM LETTERS - 18" TALL. COLOR: RED
- 11.1. EXISTING SPANDREL GLASS
12. OPENING
13. NOT USED

LEGEND

- EIFS, COLOR 1: CREAM
- EIFS, COLOR 2: RED/BROWN
- EIFS, COLOR 3: GRAY
- INSULATED METAL PANEL, COLOR: GRAY
- CONCRETE MASONRY UNIT VENEER, COLOR: RED/BROWN
- SPANDREL GLASS, COLOR: BLUE/GREEN

architecture
interiors
landscape
planning
engineering

**Dekker
Perich
Sabatini**

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Albuquerque, NM 87109
505 761-9700
fax 761-4222
dps@dpsdesign.org

ARCHITECT

ENGINEER

PROJECT

Presbyterian Systems Office
DRB Submittal
9521 San Mateo NE
Albuquerque, New Mexico

REVISIONS

- 7/17/2012 DRB COMMENTS
-
-
-

DRAWN BY SMS
REVIEWED BY TV
DATE 6/12/2012
PROJECT NO. 11-0100
DRAWING NAME

**BUILDING
ELEVATIONS**

SHEET NO.

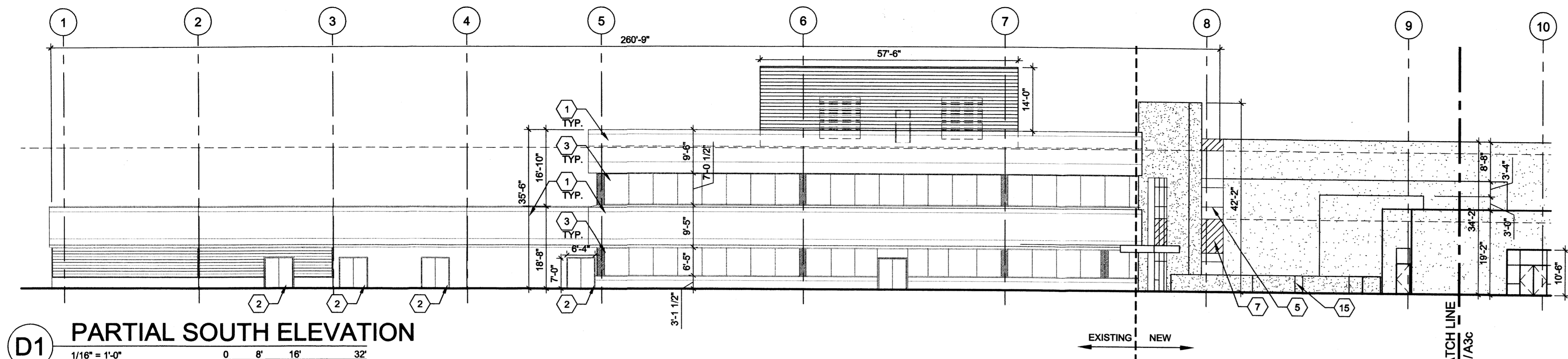
A3b
17 OF 19

SHEET KEYED NOTES

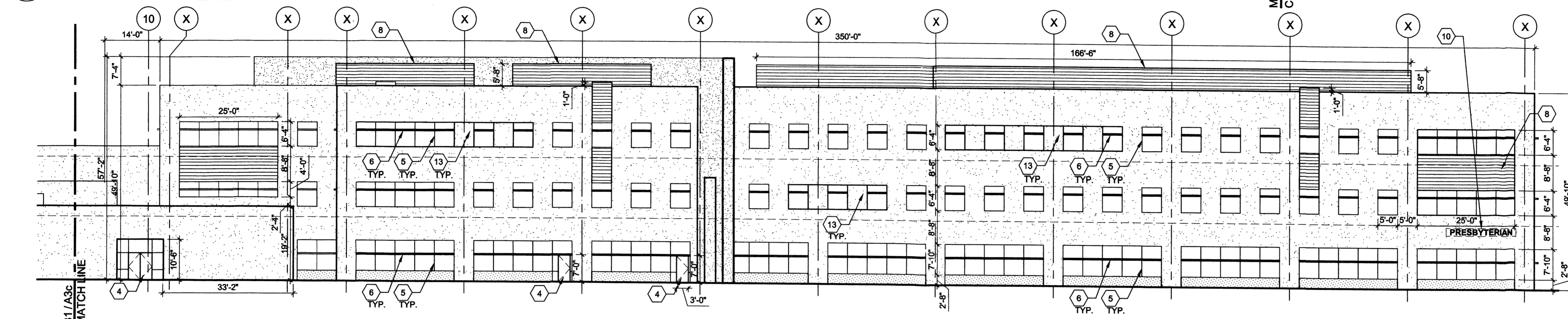
1. EXISTING PRECAST FASCIA PANEL TO BE PAINTED. COLOR: WHITE
2. EXISTING DOOR
3. EXISTING WINDOW
4. ANODIZED ALUMINUM DOOR FRAME WITH BLUE/GREEN WIDE STILE GLASS DOOR.
5. ANODIZED ALUMINUM WINDOW FRAME, WITH BLUE/GREEN GLAZING
6. ANODIZED ALUMINUM SUNSHADE
7. SPANDREL GLASS. COLOR. BLUE/GREEN
8. MECHANICAL SCREEN WALL, HORIZONTAL METAL PANEL, COLOR: GRAY
9. ENTRY CANOPY. COLOR: CREAM
10. LOCATION FOR BUILDING SIGNAGE, 2'-0" HIGH X 18'-0" WIDE AREA OF SIGN: 36 SF. BACK LIT. SURFACE MOUNTED ALUMINUM LETTERS - 18" TALL. COLOR: RED
11. EXISTING METAL ROLL UP DOOR
12. OPENING
13. RECESSED STUCCO WALL. COLOR: CREAM
14. HOLLOW METAL DOOR. COLOR TO MATCH ADJACENT EIFS COLOR
15. CURVED SITE WALL

LEGEND

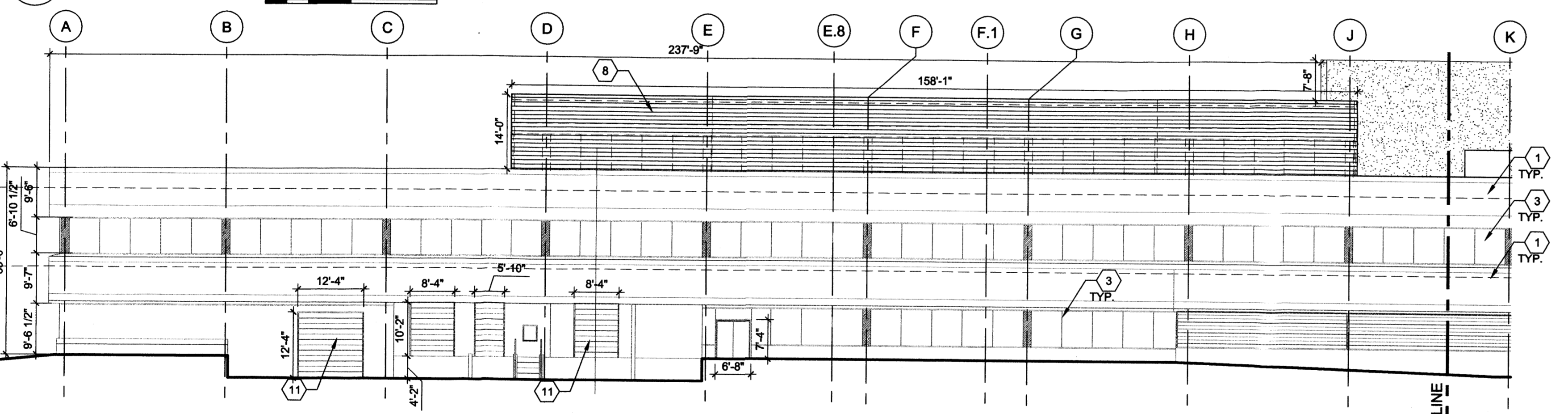
- EIFS, COLOR 1: CREAM
- EIFS, COLOR 2: RED/BROWN
- EIFS, COLOR 3: GRAY
- INSULATED METAL PANEL, COLOR: GRAY
- CONCRETE MASONRY UNIT VENEER, COLOR: RED/BROWN
- SPANDREL GLASS, COLOR: BLUE/GREEN



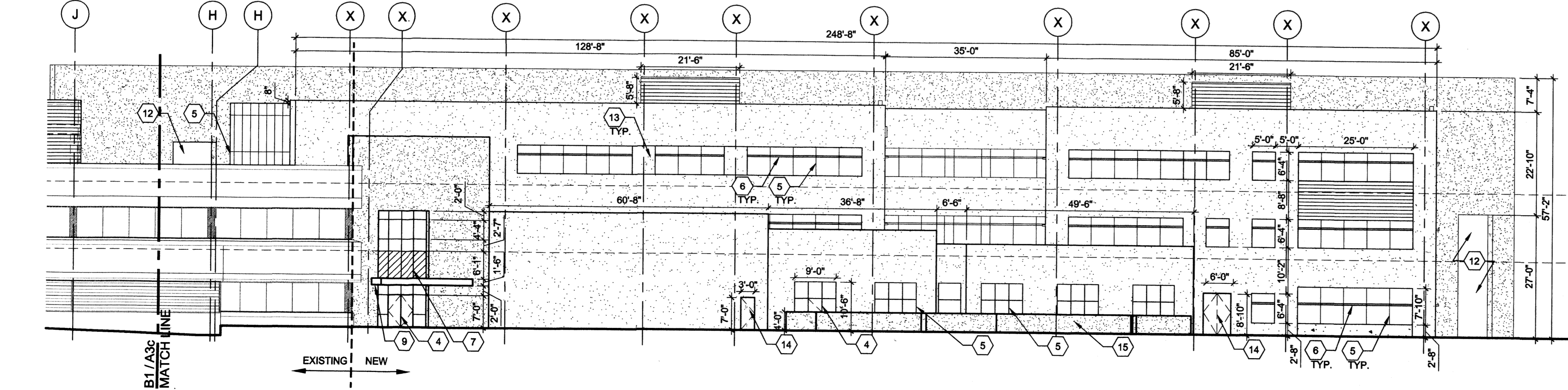
D1 PARTIAL SOUTH ELEVATION
1/16" = 1'-0"



C1 PARTIAL SOUTH ELEVATION
1/16" = 1'-0"



B1 PARTIAL WEST ELEVATION
1/16" = 1'-0"



A1 PARTIAL WEST ELEVATION
1/16" = 1'-0"