



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

February 3, 2015

Project# 1007488

16DRB-70003 VACATION OF PUBLIC WATERLINE EASEMENT
16DRB-70035 MINOR - PRELIMINARY/ FINAL PLAT APPROVAL
15DRB-70445 - AMENDED SITE PLAN FOR BUILDING PERMIT/ SUBDIVISION
[Deferred 1/6/16, 1/20/16]

BOHANNAN HUSTON INC & DEKKER PERICH SABATINI agents for
PRESBYTERIAN HEALTH CARE SERVICES request the referenced/ above action for
Tracts D-1E-1, **SISTERS OF THE ORDER OF ST DOMINIC** zoned IP-EP/ SU-2 C,
located on the southwest corner of BALLOON FIESTA PKWY NE and SAN MATEO
BLVD NE. (B-17)

At the February 3, 2016 Development Review Board meeting, the vacation was
approved as shown on exhibit b in the planning file per section 14-14-7-2(a) (1) and (b)
(1)(3) of the subdivision ordinance. The preliminary/final plat was approved with final
sign off delegated to planning for 15 day appeal period. With the signing of the infra-
structure list dated 2/3/16 and with an approved grading plan engineer stamp date
12/7/2015 the amended site plan for building permit was approved with final sign off
delegated to planning and to city engineer for the subdivision improvements agreement
(SIA).

Findings

(A)(1) The public easement vacation request was filed by the owners of a
majority of the footage of land abutting the proposed vacation.

(B)(1) Based on existing infrastructure, the public welfare is in no way served by
retaining the public easement.

(B)(3) There is no convincing evidence that any substantial property right is
being abridged against the will of the owner of the right. Property owners of
record abutting the proposed vacation were notified by first class mail at least six
days prior to the Development Review Board hearing approving the vacation and
no objection regarding access or the abridgement of a substantial property right
was raised.

CONDITIONS:

1. The vacated property shall be shown on the replat approved by the Development
Review Board and the approved replat shall be filed for record with the Bernalillo
County Clerk's Office within one year.

If you wish to appeal this decision, you must do so by February 18, 2016 in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision.

The date the determination in question is issued is not included in the 15-day period for filing an appeal.


If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).


Please note that the vacation of all plats, rights-of-way, and easements are void after one year from the final appeal date referenced above if all conditions are not met (The effective date of Development Review Board approval is the hearing date plus the 15-day appeal period.) (REF: Chapter 14 Article 14 Part 7-2 (E)(3)(6) Revised Ordinance.)



Jack Cloud, DRB Chair

4. **Project# 1006868**
16DRB-70009 VACATION OF PUBLIC
WATER AND SEWER EASEMENT 

PRECISION SURVEYING, INC. agents for LEVINE INVESTMENTS LIMITED PARTERSHIP request the referenced/ above action for Lot 3-A, **DEL NORTE PLAZA** zoned IP/ SU-2 NC, located east of SAN PEDRO DR NE between PASEO DEL NORTE NE and HOLLY AVE NE. (C-18) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A) (1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE.**

5. ~~Project# 1007488~~
16DRB-70003 VACATION OF PUBLIC
WATERLINE EASEMENT
16DRB-70035 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
15DRB-70445 - AMENDED SITE PLAN
FOR BUILDING PERMIT/
SUBDIVISION [Deferred 1/6/16, 1/20/16] 

BOHANNAN HUSTON INC & DEKKER PERICH SABATINI agents for PRESBYTERIAN HEALTH CARE SERVICES request the referenced/ above action for Tracts D-1E-1, **SISTERS OF THE ORDER OF ST DOMINIC** zoned IP-EP/ SU-2 C, located on the southwest corner of BALLOON FIESTA PKWY NE and SAN MATEO BLVD NE. (B-17) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A) (1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE. THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 15 DAY APPEAL PERIOD. WITH THE SIGNING OF THE INFRA-STRUCTURE LIST DATED 2/3/16 AND WITH AN APPROVED GRADING PLAN ENGINEER 12/7/2015 THE AMENDED SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING AND TO CITY ENGINEER FOR THE SUBDIVISION IMPROVEMENTS AGREEMENT (SIA).**

6. **Project# 1008656**
15DRB-70468 VACATION OF R-O-W
15DRB-70469 PRELIMINARY PLAT
15DRB-70470 TEMPORARY
DEFERRAL OF SIDEWALK
CONSTRUCTION

RIO GRANDE ENGINEERING agents for ASHTON HOMES LLC request the referenced/ above actions for Tracts A & B, **ESTATES AT GLENDALE** zoned SU-1/ RD 5 DU/AC, located on the south side of GLENDALE AVE NE between WYOMING BLVD NE and BARSTOW ST NE containing approximately 3.5 acres. (B-19)) [Deferred from 1/13/16, 1/27/16] **THE VACATION WAS WITHDRAWN. WITH AN APPROVED GRADING AND DRAINAGE PLAN ENGINEER STAMP DATED 12/28/15 AND WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 2/3/16, THE PRELIMINARY PLAT WAS APPROVED. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT IN THE PLANNING FILE.**



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- Administrative Approval (DRT, URT, etc.)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations

D Street Name Change (Local & Collector)

L A APPEAL / PROTEST of...

- Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Bohannon Huston, Inc. PHONE: (505) 823-1000
 ADDRESS: 7500 Jefferson NE FAX: _____
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: gbrought@bhinc.com
 APPLICANT: Presbyterian Healthcare Services PHONE: (505) 563-6641
 ADDRESS: PO Box 26666 FAX: _____
 CITY: Albuquerque STATE NM ZIP 87125 E-MAIL: jjeppson@phs.org
 Proprietary interest in site: Owner List all owners: _____

DESCRIPTION OF REQUEST: Minor plat to vacate existing public water line easement

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tract D-1E-1 Block: _____ Unit: _____
 Subdiv/Addn/TBKA: Sisters of the Order of St. Dominic
 Existing Zoning: IP Proposed zoning: No Change MRGCD Map No _____
 Zone Atlas page(s): B-17-Z UPC Code: 101706546230810220

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.): _____
DRB# 1007488

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? _____
 No. of existing lots: 1 No. of proposed lots: 1 Total site area (acres): 31.7
 LOCATION OF PROPERTY BY STREETS: On or Near: _____
 Between: _____ and _____
 Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE Glenn Broughton DATE 1/27/16
 (Print Name) Glenn Broughton Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 11/2014

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> All checklists are complete	<u>16 DRB - 70035</u>	<u>P&F</u>	_____	<u>\$215.00</u>
<input type="checkbox"/> All fees have been collected	_____	<u>CMF</u>	_____	<u>\$ 20.00</u>
<input type="checkbox"/> All case #'s are assigned	_____	_____	_____	\$ _____
<input type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input type="checkbox"/> Case history #'s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
	Hearing date <u>Feb. 3, 2016</u>			Total <u>\$235.00</u>

1-26-16
Staff signature & Date

Project # 1007488

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

SKETCH PLAT REVIEW AND COMMENT (DRB22) **Your attendance is required.**

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08) **Your attendance is required.**

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Copy of DRB approved infrastructure list
- Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
- List any original and/or related file numbers on the cover application

Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12) **Your attendance is required.**

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations & cross sections of perimeter walls **3 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- List any original and/or related file numbers on the cover application
- DXF file and hard copy of final plat data for AGIS is required.

MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16) **Your attendance is required.**

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings ensure property owner's and City Surveyor's signatures are on the plat prior to submittal
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations and cross sections of perimeter walls (11" by 17" maximum) **3 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- Fee (see schedule)
- List any original and/or related file numbers on the cover application
- Infrastructure list if required (**verify with DRB Engineer**)
- DXF file and hard copy of final plat data for AGIS is required.


AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03) **Your attendance is required.**

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- List any original and/or related file numbers on the cover application

Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.



 Applicant name (print)
Glenn Boughton 1/26/16
 Applicant signature / date



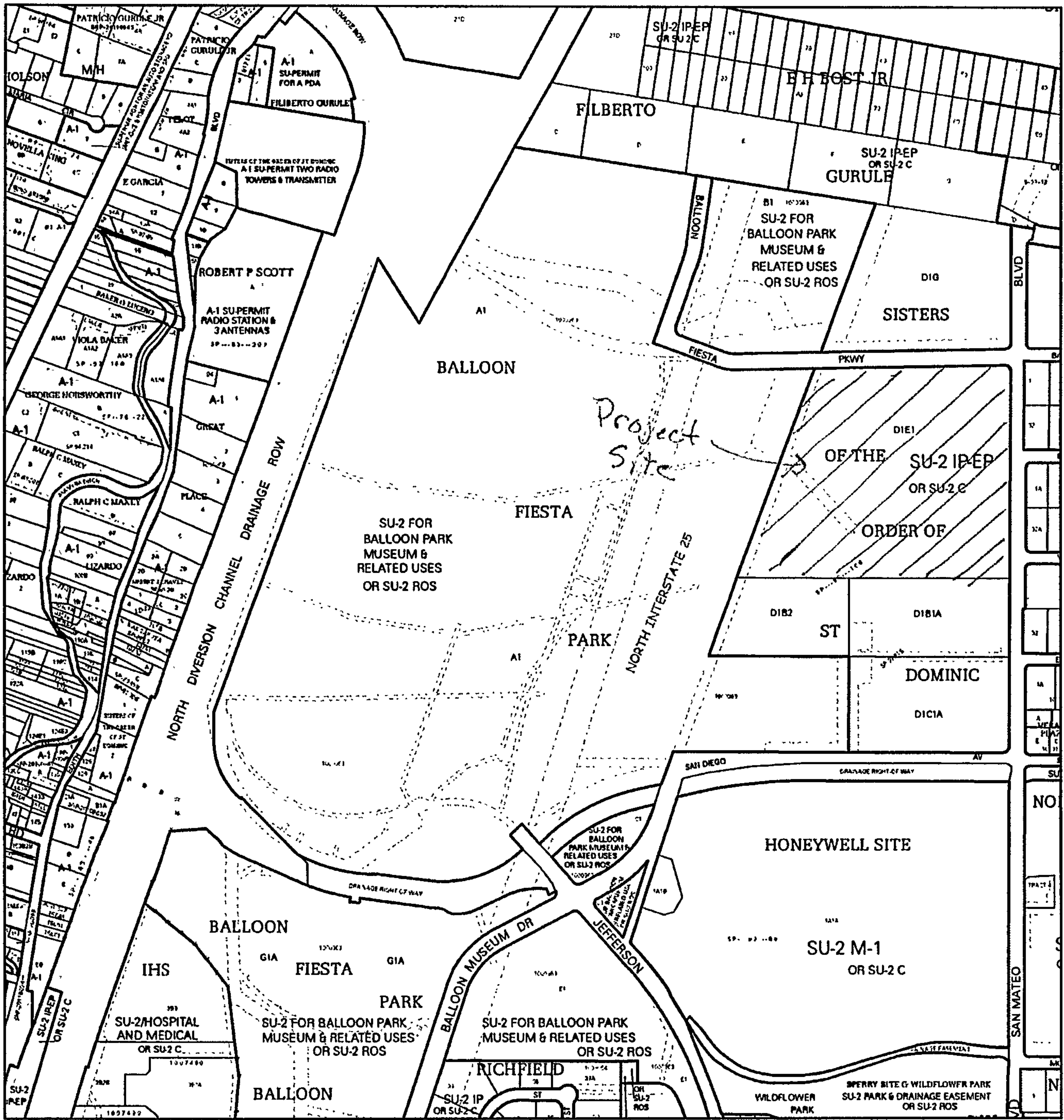
Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

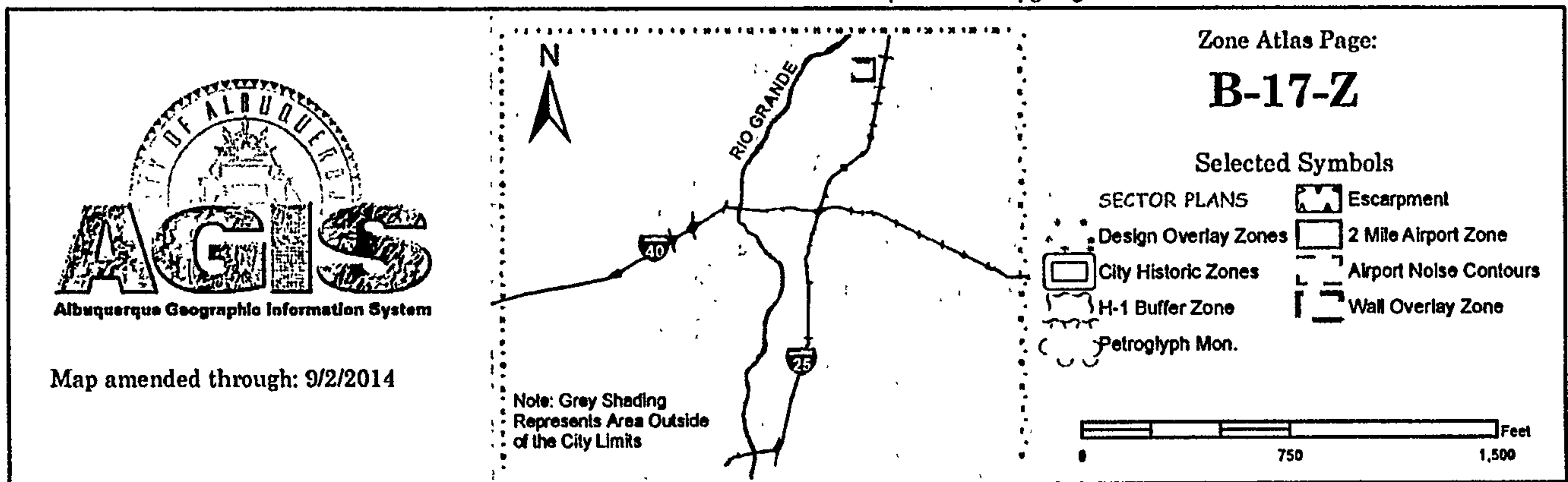
Application case numbers
16 - DRB - 70035


 Planner signature / date
 Project # 1007488

1-26-16



For more current information and details visit: <http://www.cabq.gov/gis>



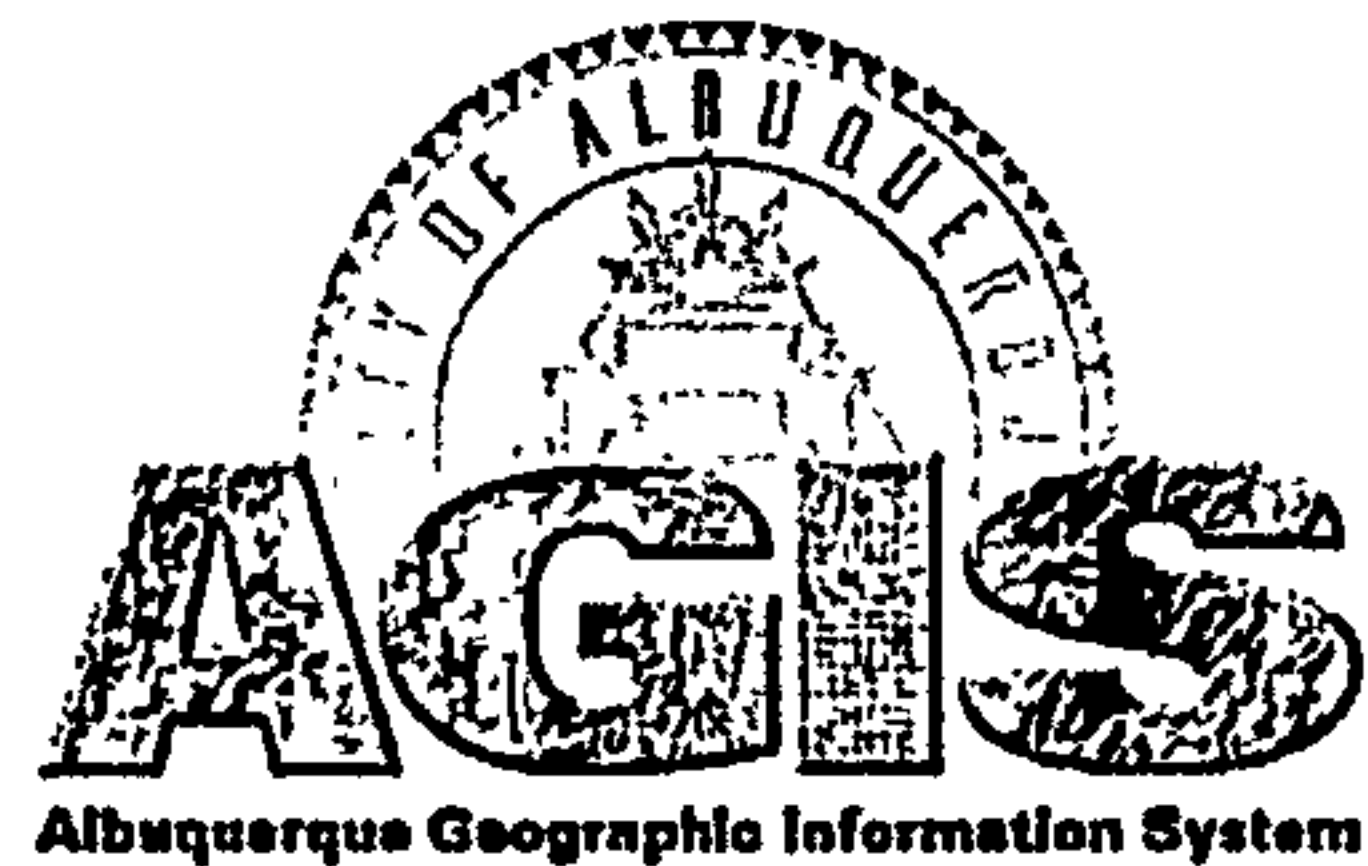
Zone Atlas Page:

B-17-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone

0 750 1,500 Feet



Map amended through: 9/2/2014

Note: Grey Shading Represents Area Outside of the City Limits

January 27, 2016

Jack Cloud, Chair
Development Review Board
City of Albuquerque
600 Second Street SW
Albuquerque, NM 87102

Re: Minor Subdivision Plat
Tract D-1E-1 Sisters of the Order of St. Dominic – Project #1007488

Dear Mr. Cloud:

Submitted for DRB review and approval is a request for the vacation of a public easement for the above referenced site.

Enclosed is the following information:

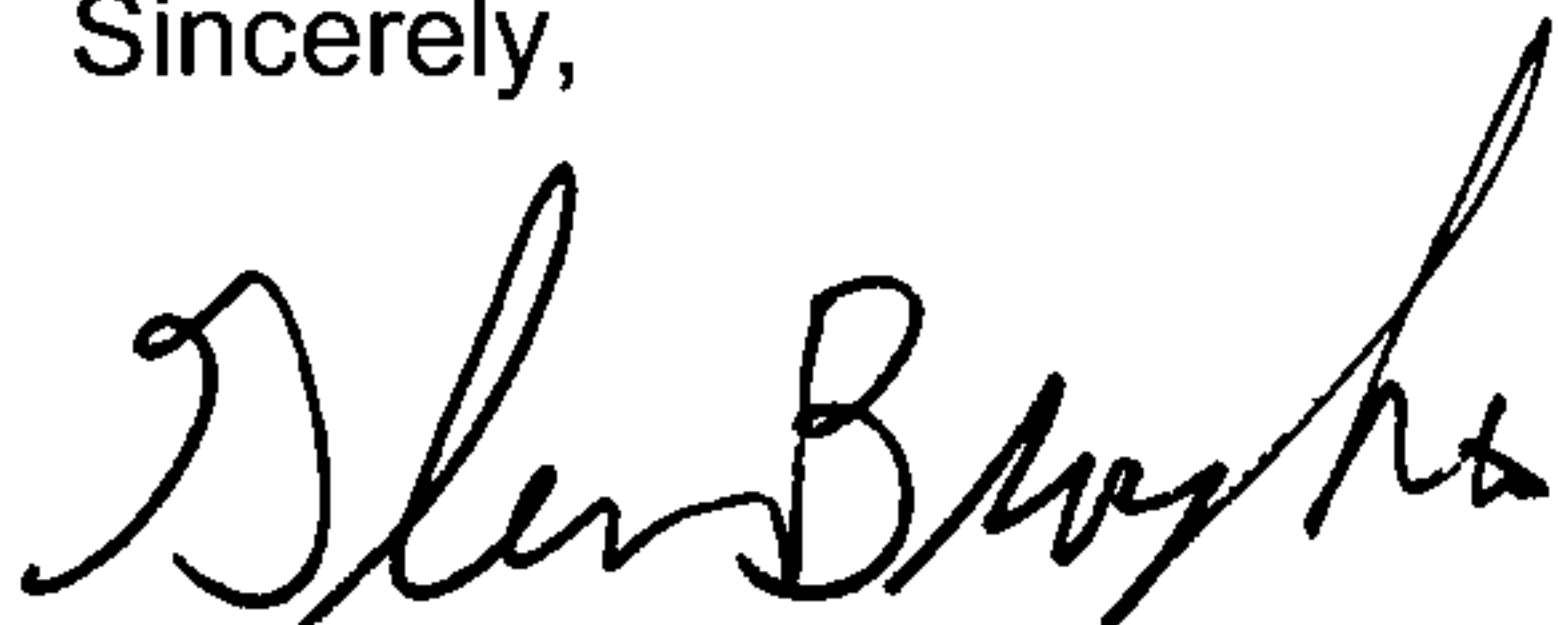
- Application for Development Review
- Letter of authorization
- Zone Atlas sheet showing the project area
- Certificate of No Effect
- Subdivision Plat – 6 copies
- Site Plan – 6 copies

We are requesting approval of a minor subdivision plat. The purpose of the plat is to vacate an existing 20-foot wide water line easement. A request to vacate a public easement was submitted on January 8, 2016 with the DRB hearing scheduled for February 3, 2016.

Under separate application an amended Site Plan for Building Permit has been submitted to DRB. The amended site plan includes a new building addition which will encroach onto the existing easement. For this reason, we are requesting to vacate a portion of the existing water line easement.

Please place this item on the DRB agenda to be heard on February 3, 2016. If you have any questions or require further information, please call myself or Matt Satches.

Sincerely,



Glenn Broughton, PE, LEED, AP
Senior Project Manager
Community Development & Planning

GSB/jcm
Enclosures

cc: Chris Gunning, Dekker/Perich/Sabatini

Engineering ▲

Spatial Data ▲

Advanced Technologies ▲



Presbyterian Healthcare Services
P.O. Box 26666
Albuquerque, NM 87125-6666
Phone: (505) 841-1234
www.phs.org

January 7, 2015

RE: Presbyterian Cooper Center

To Whom It May Concern:

Presbyterian Healthcare Services authorizes Dekker/Perich/Sabatini LLC and Bohannon Huston, Inc. to act as our agents in reference to the application for a vacation of public easement and minor plat as it pertains to the Presbyterian Cooper Center located at 9521 San Mateo NE, Albuquerque, NM.

Sincerely,

A handwritten signature in black ink, appearing to read 'JR Jeppson', written in a cursive style.

James R. Jeppson
Administrative Director

JRJ/lcv



City of Albuquerque
P.O. Box 1293 Albuquerque, New Mexico 87103
Planning Department
Suzanne Lubar, Director

Richard J. Berry, Mayor
January 25, 2016

Robert J. Perry, CAO

**SUBJECT: ALBUQUERQUE ARCHAEOLOGICAL ORDINANCE—Compliance
Documentation**

Project Number(s): 1007488

Case Number(s):

Agent: Bohannan Huston, Inc

Applicant: Presbyterian Healthcare Services

Legal Description: Tract D-1E-1 Sisters of the Order of St. Dominic

Zoning: IP

Acreage: 31.7 acres

Zone Atlas Page: B-17

CERTIFICATE OF NO EFFECT: Yes No

CERTIFICATE OF APPROVAL: Yes No

TREATMENT PLAN REVIEW:

DISCOVERY:

SUPPORTING DOCUMENTATION:

SITE VISIT: n/a

RECOMMENDATION(S):

- ***CERTIFICATE OF NO EFFECT IS ISSUED ((ref O-07-72 Section 4B(2)—
extensive previous land disturbance) .***

SUBMITTED:

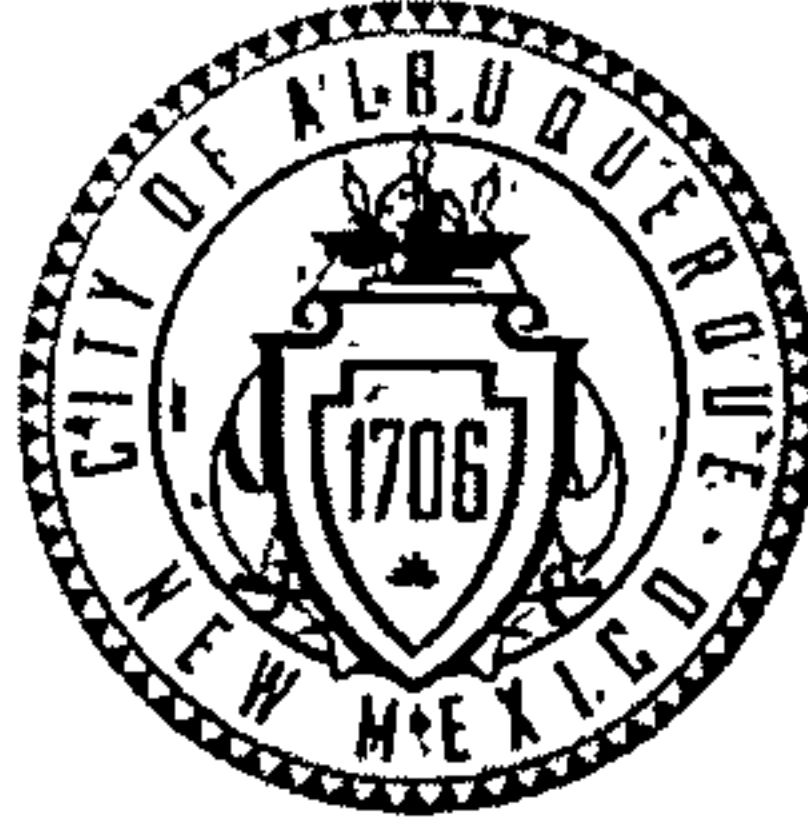
Matthew Schmader, PhD
Superintendent, Open Space Division
City Archaeologist

PROJECT #

1007488

February 3. 2016

Fit



INTER-OFFICE MEMORANDUM

COMMENTING AGENCIES

TRANSPORTATION DEVELOPMENT*John MacKenzie*
TRANSIT & PARKING DEPARTMENT*Shabih Rizvi*
COUNCIL OF GOVERNMENTS.....*Kendra Watkins/Andrew Gingerich*
AMAFCA.....*Lynn Mazur*
APD CRIME PREVENTION.....*Steve Sink*
OPEN SPACE DIVISION.....*Kent Reed Swanson/Sarah Brown*
FIRE DEPARTMENT.....*Antonio Chinchilla*
ZONING ENFORCEMENT INSPECTOR.....*Vince Montano*
NEIGHBORHOOD COORDINATION.....*Stephani Winklepleck*
PNM.....*Daniel Aragon*
NEW MEXICO GAS COMPANY.....*Patrick Sanchez*
ALBUQUERQUE PUBLIC SCHOOLS.....*April Winters*
COMCAST CABLE.....*Mike Mortus*
Mid.Rio Grande Conserv. Dist. (MRGCD).....*Ray Gomez*
ENVIRONMENTAL HEALTH.....*Paul Olson*

Your comments on the following case(s) are requested.

PROJECT # 1007488

Board hearing date:

WEDNESDAY, February 3, 2016



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- Administrative Approval (DRT, URT, etc.)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Bohannon Huston, Inc. PHONE: 505-823-1000
 ADDRESS: 7500 Jefferson NE FAX: _____
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: gbrought@bhinc.com
 APPLICANT: Presbyterian Healthcare Services PHONE: 505-563-6641
 ADDRESS: PO Box 26666 FAX: _____
 CITY: Albuquerque STATE NM ZIP 87125 E-MAIL: jjeppson@phs.org
 Proprietary interest in site: Owner List all owners: _____

DESCRIPTION OF REQUEST: Request vacation of 20' wide water line easement

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tract D-1E-1 Block: _____ Unit: _____
 Subdiv/Addn/TBKA: Sisters of the Order of St. Dominic
 Existing Zoning: IP Proposed zoning: No Change MRGCD Map No _____
 Zone Atlas page(s): B-17-Z UPC Code: 101706546230810220

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.): _____
 DRB# 1007488

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? _____
 No. of existing lots: 1 No. of proposed lots: 1 Total site area (acres): 31.7
 LOCATION OF PROPERTY BY STREETS: On or Near: SW corner Balloon Fiesta Pkwy NE & San Mateo Blvd NE
 Between: _____ and _____
 Check if project was previously reviewed by: Sketch/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE Glenn Broughton DATE 1/8/16
 (Print Name) Glenn Broughton Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 11/2014

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> All checklists are complete	<u>16 DRB - 70003</u>	<u>VPE</u>	_____	<u>\$ 45.00</u>
<input type="checkbox"/> All fees have been collected	_____	<u>CMF</u>	_____	<u>\$ 20.00</u>
<input type="checkbox"/> All case #s are assigned	_____	<u>ADV</u>	_____	<u>\$ 75.00</u>
<input type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
				Total
				<u>\$ 140.00</u>

Hearing date February 3, 2016

[Signature]
 Staff signature & Date 1-8-16

Project # 1007488

FORM V: SUBDIVISION VARIANCES & VACATIONS

- BULK LAND VARIANCE (DRB04)** **(PUBLIC HEARING CASE)**
 - Application for Minor Plat on FORM S-3, including those submittal requirements. **24 copies**
 - Letter briefly describing and explaining: the request, compliance with the Development Process Manual, and all improvements to be waived.
 - Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

- VACATION OF PUBLIC EASEMENT (DRB27)**
- VACATION OF PUBLIC RIGHT-OF-WAY (DRB28)**
 - The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) **24 copies.**
(Not required for City owned public right-of-way.)
 - Drawing showing the easement or right-of-way to be vacated, etc. (not to exceed 8.5" by 11") **24 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

- SIDEWALK VARIANCE (DRB20)**
- SIDEWALK WAIVER (DRB21)**
 - Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the variance or waiver
 - List any original and/or related file numbers on the cover application

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

- SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM STANDARDS (DRB25)**
 - Scale drawing showing the location of the proposed variance or waiver (not to exceed 8.5" by 14") **24 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the variance
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application

DRB meetings are approximately 30 DAYS after the filing deadline. Your attendance is required.

- TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB19)**
- EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB07)**
 - Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the deferral or extension
 - List any original and/or related file numbers on the cover application

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

- VACATION OF PRIVATE EASEMENT (DRB26)**
- VACATION OF RECORDED PLAT (DRB29)**
 - The complete document which created the private easement/recorded plat (not to exceed 8.5" by 14") **6 copies**
 - Scale drawing showing the easement to be vacated (8.5" by 11") **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter/documents briefly describing, explaining, and justifying the vacation **6 copies**
 - Letter of authorization from the grantors and the beneficiaries (private easement only)
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Cylen Baughman
Applicant name (print)
[Signature] 1/8/16
Applicant signature / date



- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
10 - DRB - 70003

Form revised 4/07
[Signature] 1-8-16
Planner signature / date
Project # 1007488

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from January 19, 2016 To February 3, 2016

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

[Signature]
(Applicant or Agent)

1/8/16
(Date)

I issued 1 signs for this application, 1-8-16
(Date)

[Signature]
(Staff Member)

PROJECT NUMBER: 1007488

TRACT D 1E

20' PUBLIC WATERLINE EASEMENT GRANTED WITH THE FILING OF THIS PLAT.

S90°00'00"W 145.09'

S00°00'00"E 31.50'

5' TYPICAL ON WATERLINE

PASADENA AVE

- 20' PUBLIC WATERLINE EASEMENT GRANTED WITH THE FILING OF THIS PLAT. (TYP.)

ORIGINAL LOT LINE

C/L WATERLINE

-N45°00'00"E 90.08'

TRACT D-1E-1
31.72108 ACRES

20' PUBLIC WATERLINE EASEMENT GRANTED WITH THE FILING OF THIS PLAT. (TYP.)

TANGI	
TANGENT	I
T1	NC
T2	NC
T3	SE
T4	SC
T5	SE
T6	NE
T7	NE
T8	N4
T9	UN
T10	UN
T11	SE
T12	SC
T13	NE
T14	SE
T15	NC

35' PUBLIC SIDEWALK GRANTED TO THE C WITH THE FILING

15'x20' PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT.

N00°00'00"E 97.98'

582.58'

T2

T3

T4

N00°00'00"E 86.87'

S89°45'39"E 136.51'

C/L WATERLINE N00°00'00"E

86.90'

S89°45'39"E 160.41'

822.29'

C/L STORM DRAIN LINE

C/L SANITARY SEWER LINE

857.00'

213.17'

C/L WATERLINE

324.42'

N89°45'39"W

10'

857.00'

EXISTING PUBLIC UTILITY AND STORM DRAINAGE EASEMENT
DOC. NO. 96051558
FILED: MAY 7, 1996
BK. 96-13, PGS. 888-891

10' GAS LINE EASEMENT GRANTED TO P.N.M. GAS SERVICES WITH THE FILING OF THIS PLAT.

EXISTING 10' PNM & MST&T CO. EASEMENT GRANTED BY DOC. NO. 80951 RECORDED IN BK. D555, PG. 345 ON AUGUST 5, 1960 AS MODIFIED BY DOC. NO. 91028192 RECORDED IN BK. BCR91-6, PGS. 4187-4188 ON APRIL 15, 1991

SAN

MATEO

BOULEVARD

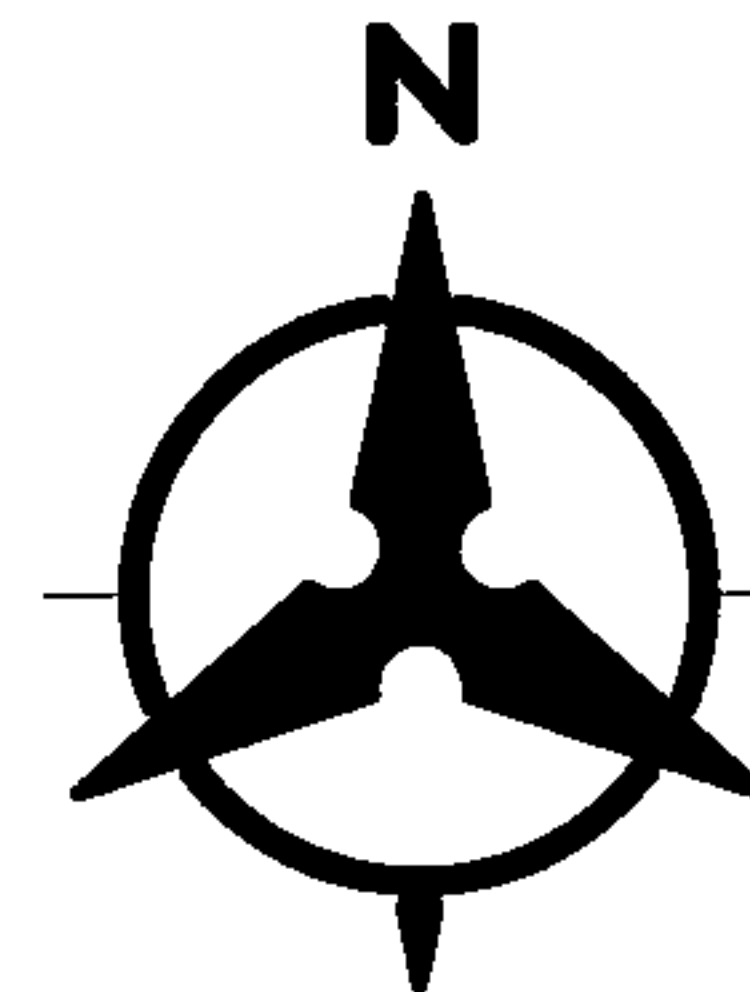
N.E.

VENICE AVE.

MATCHLINE

- EXHIBIT PREPARED FROM PLAT OF TRACTS D-1B-1, D-1B-2 & D-1E-1 SISTERS OF THE ORDER OF ST. DOMINIC RECORDED 7/5/1996 AS DOCUMENT #96075265

- EASEMENTS HIGHLIGHTED IN GREEN TO BE VACATED



Presbyterian Rev. Hugh Cooper
Administrative Center

EASEMENT VACATION EXHIBIT

DRAWN BY: BO

DATE: 01/07/2016

CHECKED BY: GSB

PROJECT NO.
20160235

Bohannon  **Huston**

www.bhinc.com

800.877.5332



Presbyterian Healthcare Services
P.O. Box 26666
Albuquerque, NM 87125-6666
Phone: (505) 841-1234
www.phs.org

January 7, 2015/2016

RE: Presbyterian Cooper Center

To Whom It May Concern:

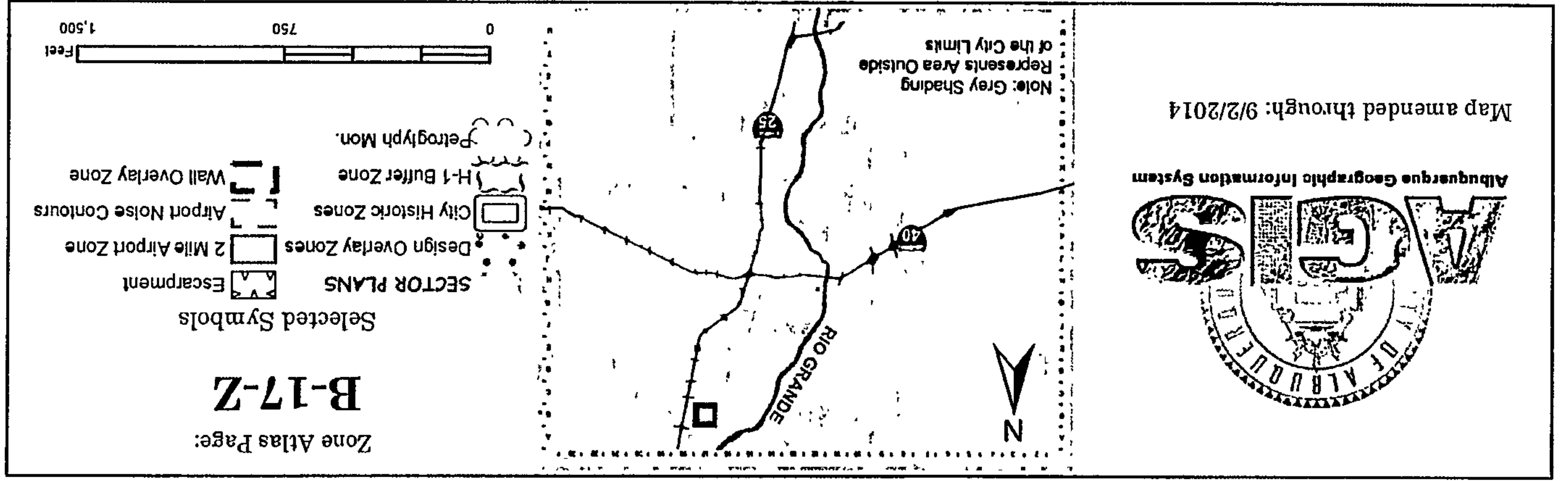
Presbyterian Healthcare Services authorizes Dekker/Perich/Sabatini LLC and Bohannon Huston, Inc. to act as our agents in reference to the application for a vacation of public easement and minor plat as it pertains to the Presbyterian Cooper Center located at 9521 San Mateo NE, Albuquerque, NM.

Sincerely,

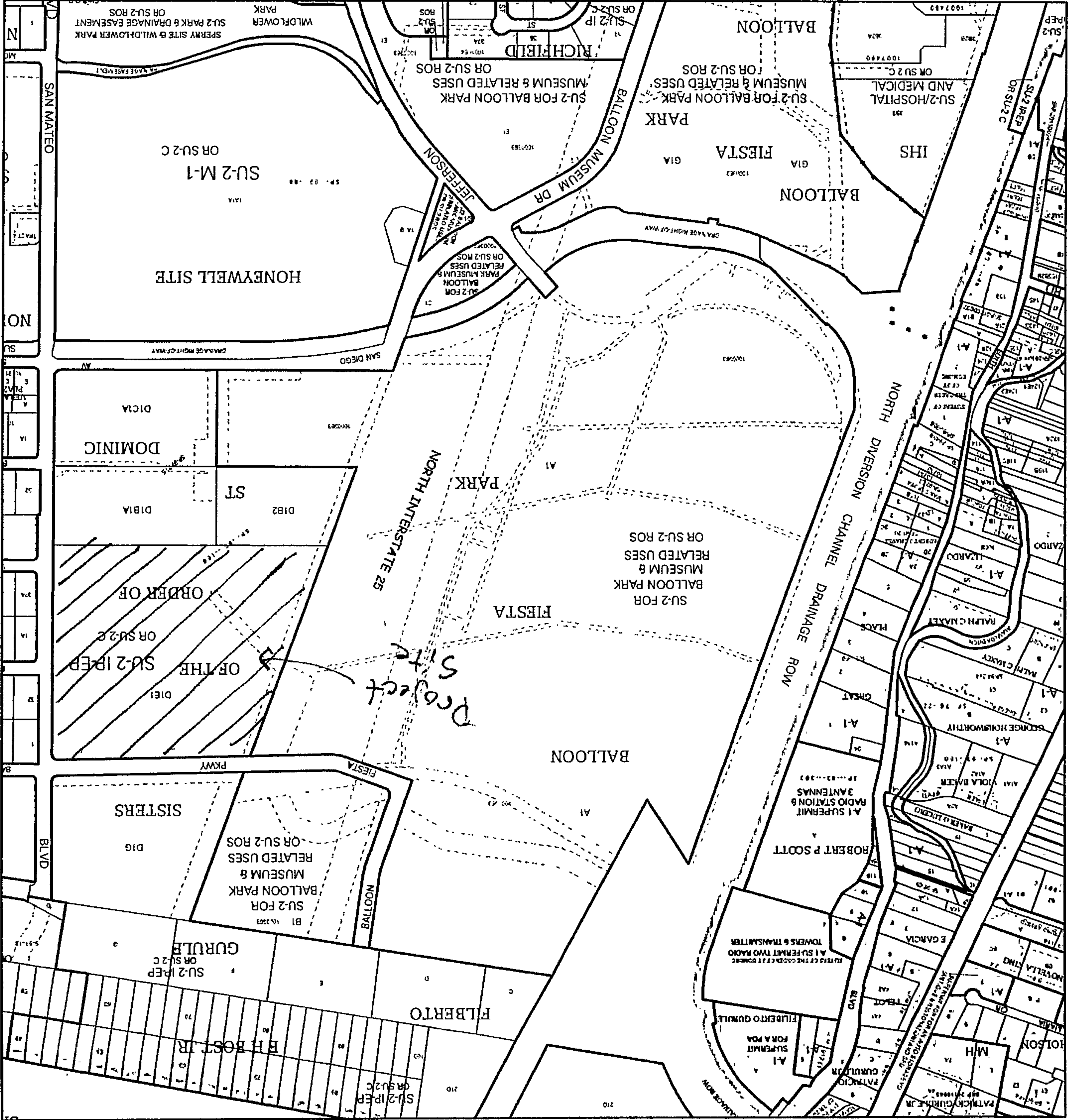
A handwritten signature in black ink, appearing to read 'J. R. Jeppson', written in a cursive style.

James R. Jeppson
Administrative Director

JRJ/lcv



For more current information and details visit: <http://www.cabq.gov/gis>



January 8, 2016

Jack Cloud, Chair
Development Review Board
City of Albuquerque
600 Second Street SW
Albuquerque, NM 87102

Re: Vacation of Public Easement
Tract D-1E-1 Sisters of the Order of St. Dominic – Project #1007488

Dear Mr. Cloud:

Submitted for DRB review and approval is a request for the vacation of a public easement for the above referenced site.

Enclosed is the following information:

- Application for Development Review
- Letter of authorization
- Zone Atlas sheet showing the project area
- Letter briefly describing, explaining, and justifying the request (this letter)
- Original plat
- Exhibit showing easement to be vacated
- Neighborhood notification information
- DRB Fee

We are requesting the vacation of an existing public water line easement located in the southeastern portion of the above referenced property. The purpose of the easement was to provide water service to a planned building. An amended site plan was approved in 2012 which modified the building layout. This altered the location of water and fire service point of connection to the public water line. As a result, this water service and easement are no longer required. The water lines within this easement were removed as a part of public infrastructure improvements (CPN 72082) associated with the 2012 amended site plan.

Under separate application an amended Site Plan for Building Permit has been submitted to DRB. The amended site plan includes a new building addition which will encroach onto the existing easement. For this reason, we are requesting to vacate a portion of the existing water line easement.

Please place this item on the DRB agenda to be heard on February 3, 2016. If you have any questions or require further information, please call myself or Matt Satches.

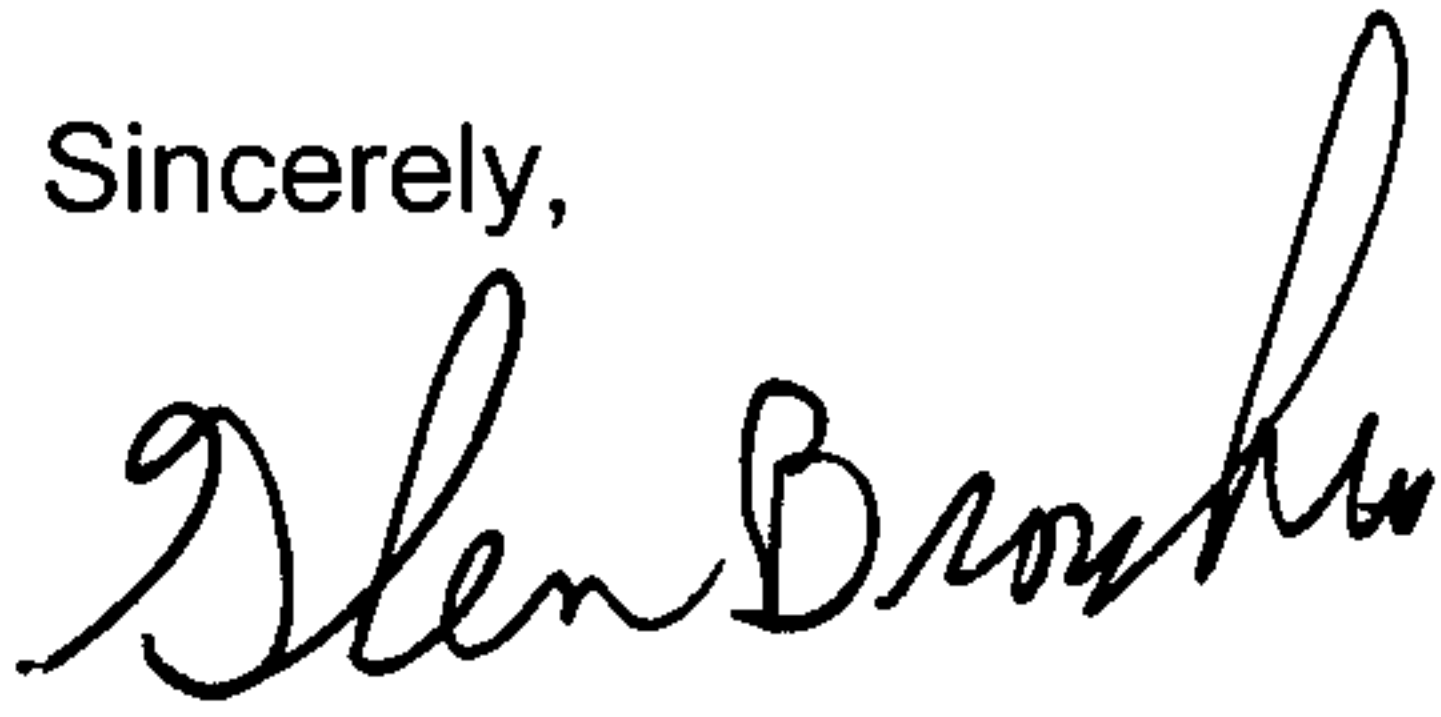
Engineering ▲

Spatial Data ▲

Advanced Technologies ▲

Jack Cloud, Chair
City of Albuquerque
January 8, 2016
Page 2

Sincerely,

A handwritten signature in black ink that reads "Glenn Broughton". The signature is written in a cursive, flowing style.

Glenn Broughton, PE, LEED, AP
Senior Project Manager
Community Development & Planning

GSB/jcm
Enclosures

cc: Chris Gunning, Dekker/Perich/Sabatini

U.S. Postal ServiceTM
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OFFICIAL USE

Postage	\$	
Certified Fee		
Return Receipt Fee (Endorsement Required)		
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$	607.10

Sent To: MARY T. CAUDILL
 Street, Apt. No.: 4915 WATERLESS NE
 or PO Box No. 4915
 City, State, ZIP+4: ALBUQUERQUE, NM 87113

PS Form 3800 August 2006 See Reverse for Instructions

7010 1870 0000 2738 5184

U.S. Postal ServiceTM
CERTIFIED MAILTM RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

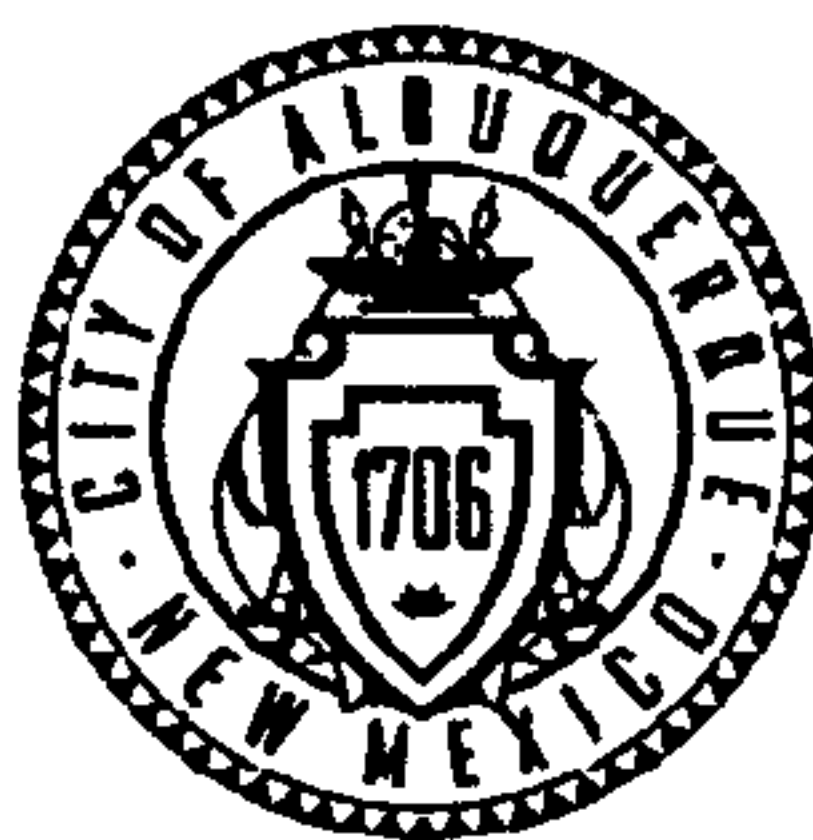
OFFICIAL USE

Postage	\$	
Certified Fee		
Return Receipt Fee (Endorsement Required)		
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$	607.10

Sent To: TONY PEREY
 Street, Apt. No.: 4909 WATERLESS NE
 or PO Box No. 4909
 City, State, ZIP+4: ALBUQUERQUE, NM 87113

PS Form 3800 August 2006 See Reverse for Instructions

7010 1870 0000 2738 5177



City of Albuquerque

P.O. Box 1293, Albuquerque, NM 87103

PLEASE NOTE: The NA/HOA information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office.

January 7, 2016

Glenn Broughton
Bohannan Huston Inc.
7500 Jefferson NE/87109
Phone: 505-823-1000/Fax: 505-798-7988
E-mail: gbrought@bhinc.com

Dear Glenn:

Thank you for your inquiry of **January 7, 2016** requesting the names of **ALL Neighborhood and/or Homeowner Associations** who would be affected under the provisions of §14-8-2-7 of the *Neighborhood Association Recognition Ordinance* by your proposed project at **(DRB SUBMITTAL) TRACT D-1E-1, SISTERS OF THE ORDER OF ST. DOMINIC, LOCATED ON THE SOUTHWEST CORNER OF BALLOON FIESTA PARKWAY NE AND SAN MATEO BOULEVARD NE BETWEEN BALLOON FIESTA PARKWAY NE AND SAN DIEGO AVENUE NE** zone map **B-17**.

Our records indicate that the **Neighborhood and/or Homeowner Associations** affected by this proposal and the contact names are as follows:

WILDFLOWER AREA N.A. "R"

Larry T. Caudill, 4915 Watercress NE/87113 857-0596 (h)

Tony Perry, 4909 Watercress NE/87113 797-7098 (h)

Please note that according to §14-8-2-7 of the *Neighborhood Association Recognition Ordinance* you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing (***please attach: 1) Copy of this letter; 2) Copy of letters sent to NA/HOA's and 3) Copy of White Receipts showing proof that you sent certified mail.***) If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Stephani I. Winklepleck

Neighborhood Liaison
OFFICE OF NEIGHBORHOOD COORDINATION
Planning Department

LETTERS MUST BE SENT TO BOTH CONTACTS OF EACH NA/HOA FOR THIS PLANNING DEPARTMENT SUBMITTAL

CERTIFIED MAIL
RETURN RECEIPT REQUESTED

January 7, 2016

Tony Perry
4909 Watercress NE
Albuquerque, New Mexico 87113

Re: Tract D-1E-1, Sisters of the Order of St. Dominic,
SW Corner of Balloon Fiesta Pkwy. NE and San Mateo Blvd. NE between
Balloon Fiesta Pkwy and San Diego Avenue NE
Vacation of Easement –DRB #1007488

Dear Mr. Perry:

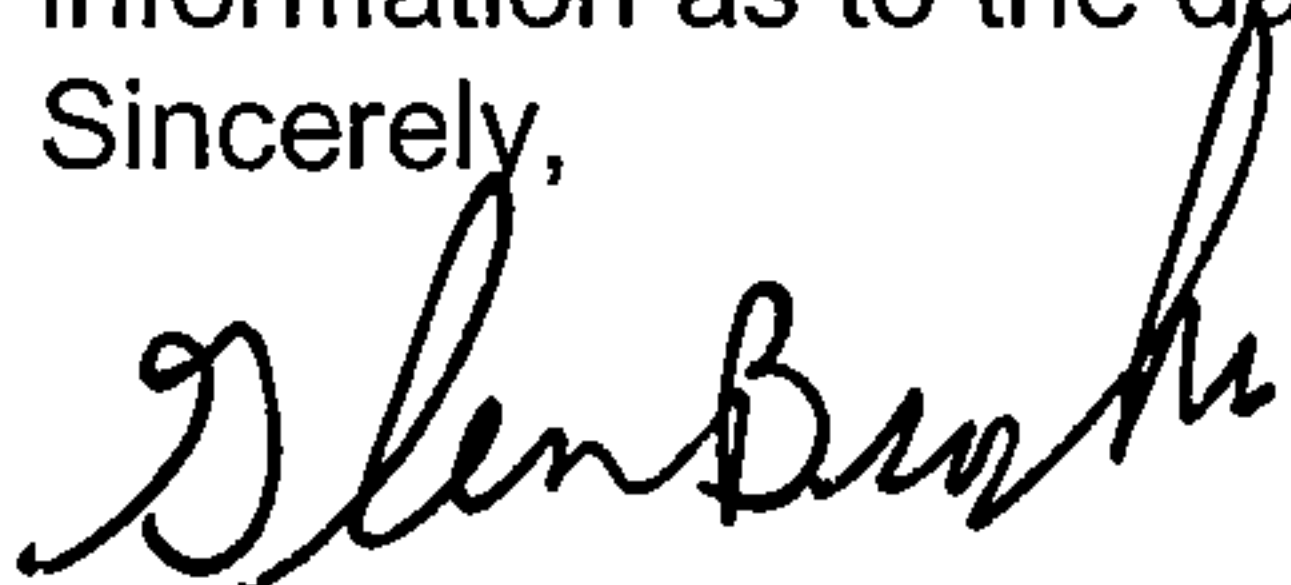
The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of the Wildflower Area Neighborhood Association.

This letter is to advise you that Bohannon Huston, Inc. is requesting the vacation of an existing public waterline easement located in the southeast portion of the above referenced property. The purpose of the easement was to serve a planned building and the easement is not currently.

Under separate application an amended Site Plan for Building Permit has been submitted to DRB. The amended site plan included a new building will encroach onto the existing easement. For this reason, we are requesting to vacate a portion of the existing waterline easement.

Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,



Glenn S. Broughton, PE, LEED, AP
Senior Project Manager
Community Development & Planning

GSB/jcm
Enclosure

Engineering ▲

Spatial Data ▲

Advanced Technologies ▲

Bohannon Huston

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

CERTIFIED MAIL
RETURN RECEIPT REQUESTED

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

January 7, 2016

Larry T. Caudill
4915 Watercress NE
Albuquerque, NM 87113

Re: Tract D-1E-1, Sisters of the Order of St. Dominic,
SW Corner of Balloon Fiesta Pkwy. NE and San Mateo Blvd. NE between
Balloon Fiesta Pkwy and San Diego Avenue NE
Vacation of Easement –DRB #1007488

Dear Mr. Caudill:

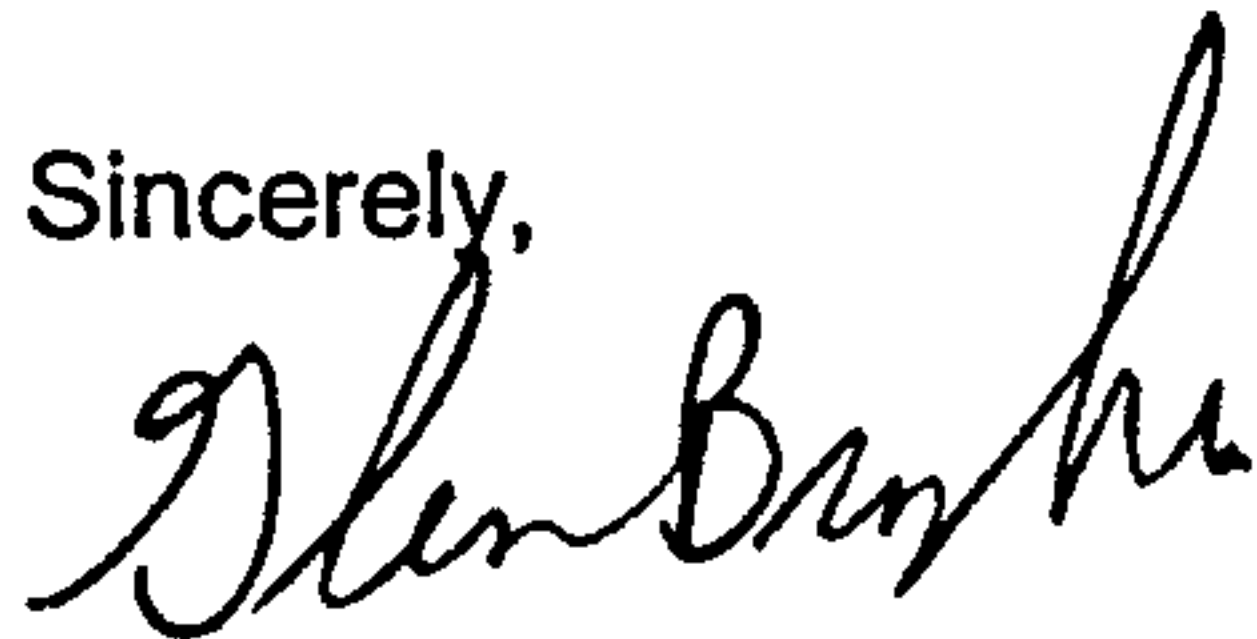
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Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,



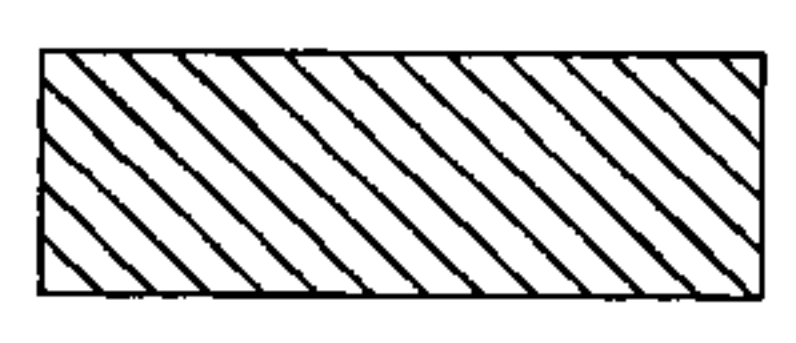
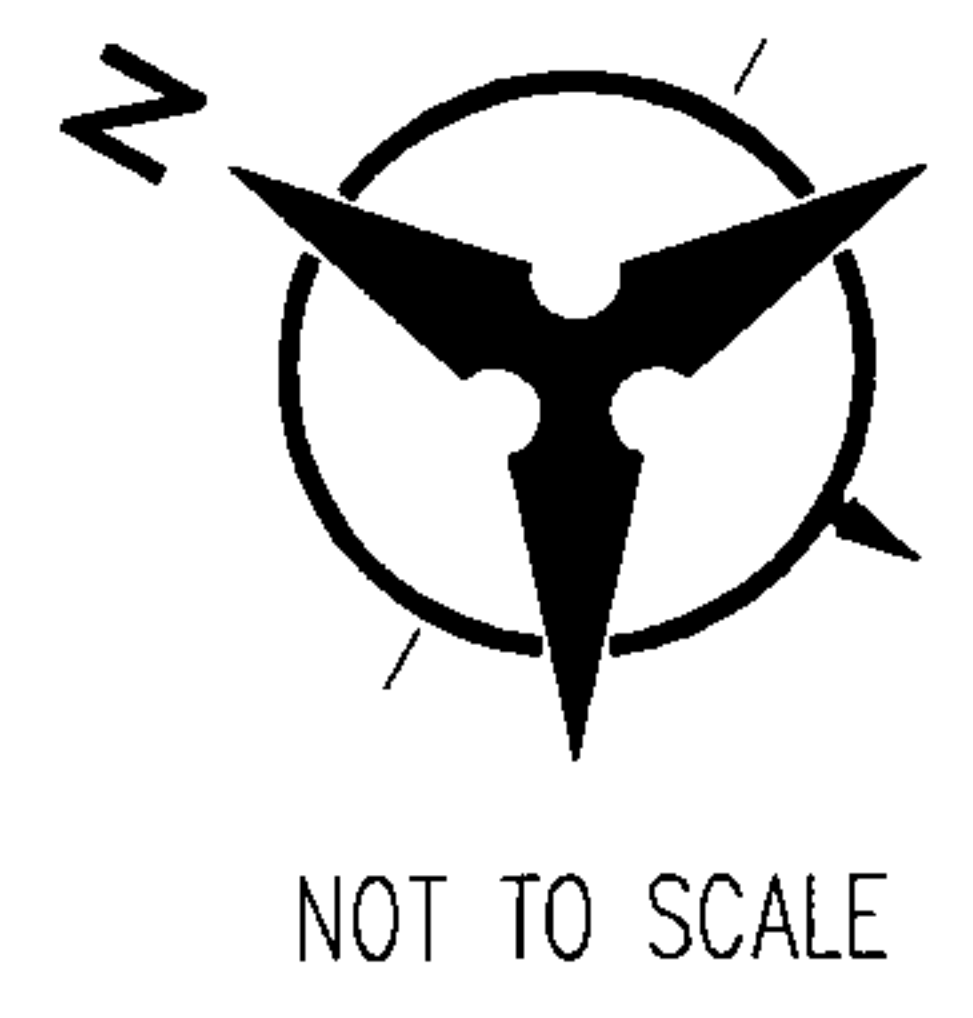
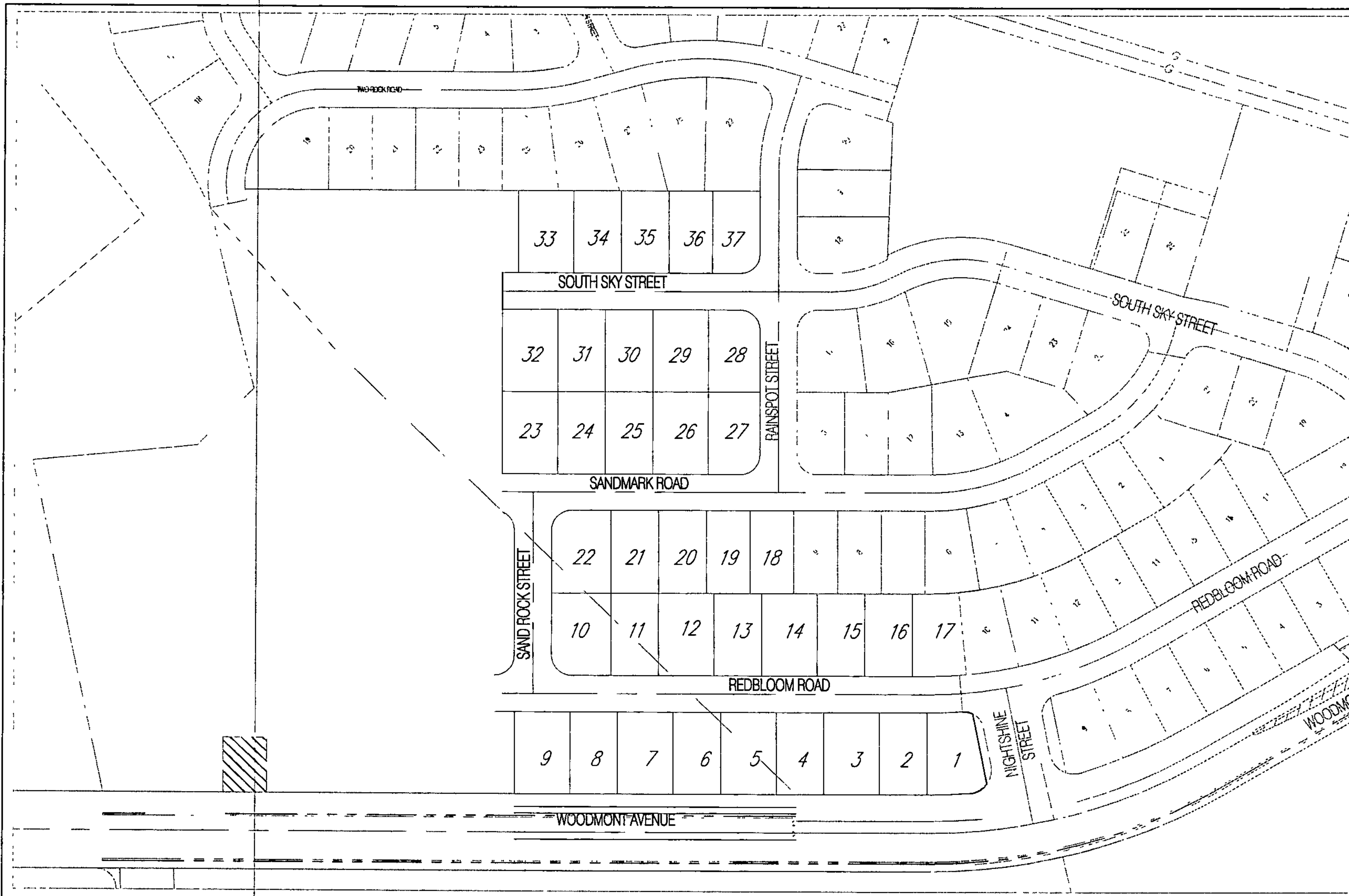
Glenn S. Broughton, PE, LEED, AP
Senior Project Manager
Community Development & Planning

GSB/jcm
Enclosure

Engineering ▲

Spatial Data ▲

Advanced Technologies ▲



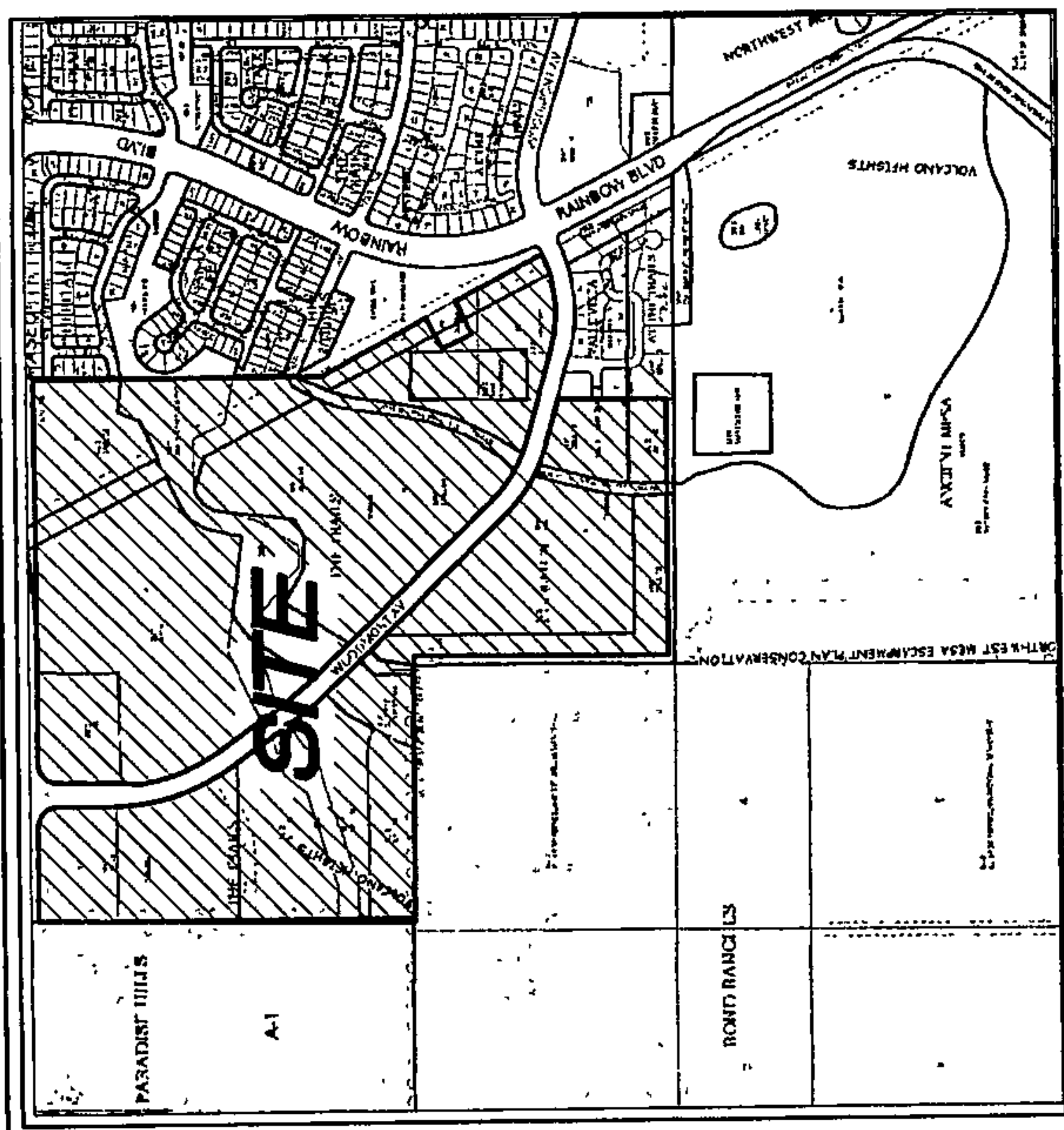
EXISTING TEMPORARY PUBLIC DRAINAGE EASEMENT TO BE VACATED WITH THIS PLAT. THE EASEMENT WAS FOR A FUTURE STORM DRAIN. STORM DRAIN IS NOT REQUIRED IN THIS LOCATION TO SERVE THE VALLE PRADO DEVELOPMENT. THEREFORE, THE EASEMENT IS NO LONGER REQUIRED.

EXHIBIT "C"

**VALLE PRADO UNIT 4
VACATION EXHIBIT**

01/08/16





VICINITY MAP
Not To Scale

GENERAL NOTES

- Bearings are grid based upon the New Mexico State Plane Coordinate System, Central Zone (NAD 27).
- Distances are ground
- Record plat bearings and distances where they differ from those measured by field survey are shown in parenthesis () unless otherwise indicated hereon
- All corners are a 5/8" rebar and cap stamped "HUGG L.S. 9750"
- Albuquerque City Zone Atlas page C-8 and C-9.
- U.C.L.S. Log Number 2007391925.
- No direct access to Paseo Del Norte will be allowed.
- All street centerline monumentation shall be installed at all centerline PC's, PT's, angle points and street intersections and shown thus: All centerline monumentation will be set using the standard four (4") aluminum monument stamped of Albuquerque Centerline Monument- Do not disturb. PS Number 9750" and will be set flush with the final asphalt lift.
- Manholes will be offset at all points of curvature, points of tangency, street intersections, and all other angle points to allow use of centerline monumentation.
- Current Zoning per the Volcano Heights Sector Development Plan as follows:
 Tracts 1 and 4 are designated SU-2 UR
 Tracts 2, 7 and 8 are designated SU-2 SRLL
 Tracts 6, 9 and 5 are designated SU-2 SRSL
 Tract 3 is designated SU-2 VC
 Tracts OS-1 thru OS-3 are designated SU-2 SU-1 Open Space

SUBDIVISION DATA

- Total number of existing Tracts: 11
- Total number of Tracts created: 13
- Total mileage of full width streets created: 0
- Gross Subdivision acreage: 158.6623 acres.
- Tracts OS-1 thru OS-3 are Private Open Space Areas conveyed to The Trails Community Association, Inc. Maintenance of said Tracts shall be the responsibility of said Trails Community Association, Inc. There shall be no direct vehicular access from adjacent tracts, parcels or lots
- Tracts OS-1 thru OS-3 are subject to a blanket access, public open space and public storm drain easements to be granted with the filing of this plat. Said Tracts OS-1, OS-2 and OS-3 are also subject to a blanket easement for public water and public sanitary sewer to be granted to the City of Albuquerque and New Mexico Utilities, Inc. with the filing of this plat.

TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following

10004509 25/30203, see attachment for additional APC's
 Trails LLC

[Signature]
 Bernalillo County Treasurer
 Date: 12-21-07

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of

- PNM Electric Services for installation, maintenance, and service of underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical service.
- PNM Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas
- QWest Corporation for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to ground pedestals and closures.
- Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.
- New Mexico Utilities, Inc. for the installation, maintenance, valves and other equipment and facilities reasonably necessary to provide water and sanitary sewer service

Included, is the right to build, rebuild, reconstruct, reconstruct, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

DISCLAIMER

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct Title Search of the properties shown hereon. Consequently, PNM does not warrant, nor release any easement or easement rights to which it may be entitled

PURPOSE OF PLAT:

The purpose of the Bulk Land Plat is to:

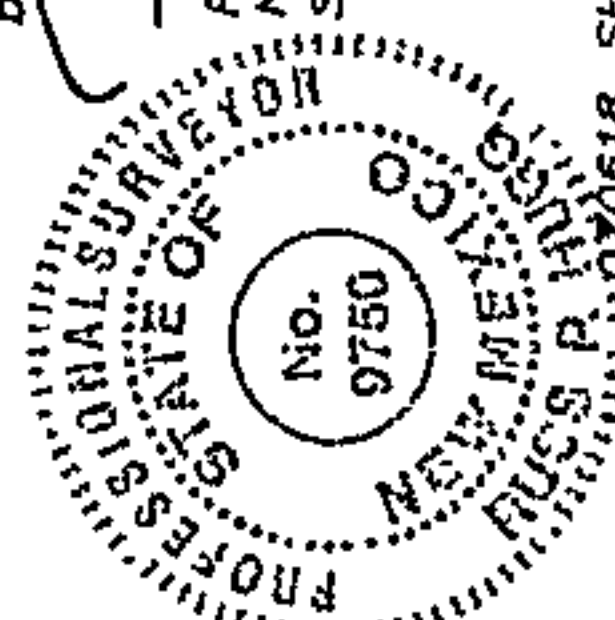
- Eliminate the existing interior tract lines and create the Thirteen (13) New Bulk Tracts shown hereon to facilitate plotting of future Trails Units
- Grant the Public Roadway and Drainage Easements to the City of Albuquerque as shown hereon.
- Grant the Public Water and Sanitary Sewer Easement to New Mexico Utilities, Inc (NMU), as shown hereon.
- Show the various Public Easements Vacated by 07DRB-70295

SHEET INDEX

- SHEET 1 OF 5 - Approvals, General Notes, Etc...
- SHEET 2 OF 5 - Legal Description, Free consent and dedication
- SHEET 3 OF 5 - Overall Plat Boundary and Vacated Lot lines and easements
- SHEET 4 OF 5 - North 1/2 of Trails Unit 3A
- SHEET 5 OF 5 - South 1/2 of Trails Unit 3A
- SHEET 6 OF 5 - Curve and Line Tables

DOC# 2007171107

12/21/07 04:12 PM Page 1 of 6
 10004509 25/30203, see attachment for additional APC's
 Trails LLC



Russ P. Hugg
 NMPS No. 9750
 September 25, 2007

**BULK LAND FLAT OF
 THE TRAILS UNIT 3A**
 (BEING A REPLAT OF TRACTS 1 THRU 8, OS-1 AND OS-2,
 THE TRAILS UNIT 3 AND TRACT 12, THE TRAILS UNIT 2)

WITHIN
 THE TOWN OF ALAMEDA GRANT
 IN
 PROJECTED SECTIONS 16 AND 17, TOWNSHIP 11 NORTH, RANGE 2 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 SEPTEMBER, 2007

PROJECT NUMBER: 1004404
 Application Number: 07DRB-70295

PLAT APPROVAL

UTILITY Approvals:

- [Signature]* PNM Gas and Electric Services 10-04-07 Date
- [Signature]* QWest Corporation 10/8/07 Date
- [Signature]* Comcast 10-3-07 Date
- [Signature]* New Mexico Utilities 12/19/07 Date

Note: These properties lie within the New Mexico Utilities, Inc. (NMU, Inc.) Franchise area Water and Sanitary Sewer capabilities are based upon the NMU, Inc. facilities, not the City of Albuquerque

CITY APPROVALS:

- [Signature]* City Surveyor 10-3-07 Date
- [Signature]* Real Property Division Date
- [Signature]* Environmental Health Department Date
- [Signature]* Traffic Engineering, Transportation Division 11-28-07 Date
- [Signature]* N/A N/A Date
- [Signature]* ABCMUA Date
- [Signature]* Christina D. Ambrose 11/28/07 Date
Parks and Recreation Department
- [Signature]* Bradley J. Bingham 11/29/07 Date
AMA/CA
- [Signature]* City Engineer 11-28-07 Date
- [Signature]* DRB Chairperson, Planning Department 12-21-07 Date

SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision, that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors, that it meets the minimum requirements of surveys and monuments that it shows all assessments of record, and that it is true and correct to the best of my knowledge and belief.



BULK LAND PLAT OF
THE TRAILS UNIT 3A
 (BEING A REPLAT OF TRACTS 1 THRU 8, OS-1 AND OS-2,
 THE TRAILS UNIT 3 AND TRACT 12, THE TRAILS UNIT 2)
 WITHIN
 THE TOWN OF ALAMEDA GRANT
 IN
 PROJECTED SECTIONS 16 AND 17, TOWNSHIP 11 NORTH, RANGE 2 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 SEPTEMBER, 2007

LEGAL DESCRIPTION

Those certain parcels of land situate within the Town of Alameda Grant in projected Sections 16 and 17, Township 11 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, comprising:

All of Tracts 1 thru 8, OS-1 and OS-2, The Trails Unit 3, as the same is shown and designated on the plat entitled "BULK LAND PLAT OF THE TRAILS UNIT 3 (BEING A REPLAT OF UNPLATTED LANDS OF TRAILS, LLC AND TRACT H-2, TRAILS UNIT 1) WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTIONS 16 AND 17, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico, on March 16, 2006 in Book 2006C, Page 85

AND

All of Tract 12, The Trails Unit 2, as the same is shown and designated on the plat entitled "BULK LAND PLAT OF THE TRAILS UNIT 2 (BEING A REPLAT OF TRACTS G AND J, THE TRAILS AND UNPLATTED DEED PARCELS) WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 16, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County on October 18, 2004 in Book 2004C, Page 332.

Said Parcels contains 158 6623 acres, more or less

FREE CONSENT AND DEDICATION

SURVEYED and REPLATTED and now comprising, "BULK LAND PLAT OF THE TRAILS UNIT 3A (BEING A REPLAT OF TRACTS 1 THRU 8, OS-1 AND OS-2, THE TRAILS UNIT 3 AND TRACT 12, THE TRAILS UNIT 2) WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTIONS 16 AND 17, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby grant to the use of the public forever, the public utility easements as shown hereon. Said owner(s) and proprietor(s) do hereby warrant that they hold among them, complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

OWNER(S)

THE TRAILS, LLC
 a Nevada limited liability company
 Longford Group, Inc., it's manager

By Kelly Murtagh
 John-K. Murtagh, President
 Kelly Murtagh, Vice President

THE TRAILS COMMUNITY ASSOCIATION, INC

Tracy Murphy 10-2-07
 Tracy Murphy, President Date

ACKNOWLEDGEMENT

STATE OF NEW MEXICO
 COUNTY OF BERNALILLO SS

The foregoing instrument was acknowledged before me this 2nd day of October 2007, by John-K. Murtagh, President of The Longford Group, Inc. KELLY MURTAGH, VICE PRESIDENT

Donna Krupcha My commission expires 12-1-08
 Notary Public

ACKNOWLEDGEMENT

STATE OF NEVADA NM
 COUNTY OF CLARK SS
 Bernalillo

The foregoing instrument was acknowledged before me this 2nd day of October 2007, by Tracy Murphy, President of Trails Community Association, Inc.

Donna Krupcha My commission expires 12-1-08
 Notary Public



NOTICE OF SUBDIVISION PLAT CONDITIONS

TRACTS 1 thru 8 AND TRACTS OS-1 AND OS-2
 THE TRAILS UNIT 3

The plat of TRACTS 1 THRU 8 AND TRACTS OS-1 AND OS-2, THE TRAILS UNIT 3 has been granted a variance or waiver from certain subdivision requirements pursuant to Section 7 of the City of Albuquerque Subdivision Ordinance

Future subdivision of lands within this plat, zoning Site Development Plan approvals, and development permits may be conditioned upon dedication of right-of-way and easements, and/or upon infrastructure improvements by the owner for water, sanitary sewer, streets, drainage, grading, and parks in accordance with current resolutions, ordinances, and policies in effect at the time for any specific proposal

The City and AMAFCA (with reference to drainage) may require and/or permit easements to be added, modified, or removed when future plats and/or Site Development Plans are approved.

By its approval of this subdivision, the City makes no representation or warranties as to availability of utilities, or final approval of all requirements including (but not limited to) the following items: water and sanitary sewer availability; future street dedications and/or improvements; park and open space requirements, drainage requirements and/or improvements, and excavation, filling, or grading requirements. Any person intending development of lands within this subdivision is cautioned to investigate the status of these items.

At such time as all such conditions have been satisfactorily met, the City Engineer shall approve a recordable document, removing such conditions from all of from a portion of the area within the subject subdivision.

Note: There is a Notice of subdivision plat conditions for Tracts 1 thru 8 and Tracts OS-1 and OS-2, The Trails Unit 3, filed in the office of the County Clerk of Bernalillo County, New Mexico on March 16, 2006 in Book A113, page 6952

NOTICE OF SUBDIVISION PLAT CONDITIONS

TRACTS 1 thru 10 AND TRACTS OS-1 AND OS-2
 THE TRAILS UNIT 3A

The plat of TRACTS 1 THRU 10 AND TRACTS OS-1 AND OS-2, THE TRAILS UNIT 3A has been granted a variance or waiver from certain subdivision requirements pursuant to Section 7 of the City of Albuquerque Subdivision Ordinance.

Future subdivision of lands within this plat, zoning Site Development Plan approvals, and development permits may be conditioned upon dedication of right-of-way and easements, and/or upon infrastructure improvements by the owner for water, sanitary sewer, streets, drainage, grading, and parks in accordance with current resolutions, ordinances, and policies in effect at the time for any specific proposal.

The City and AMAFCA (with reference to drainage) may require and/or permit easements to be added, modified, or removed when future plats and/or Site Development Plans are approved.

By its approval of this subdivision, the City makes no representation or warranties as to availability of utilities, or final approval of all requirements including (but not limited to) the following items: water and sanitary sewer availability; future street dedications and/or improvements; park and open space requirements, drainage requirements and/or improvements, and excavation, filling, or grading requirements. Any person intending development of lands within this subdivision is cautioned to investigate the status of these items.

At such time as all such conditions have been satisfactorily met, the City Engineer shall approve a recordable document, removing such conditions from all of from a portion of the area within the subject subdivision.

Note: There is a Notice of subdivision plat conditions for Tracts 1 thru 10 and Tracts OS-1 and OS-2, The Trails Unit 3A, filed in the office of the County Clerk of Bernalillo County, New Mexico on _____, 2007 in Book _____, page _____

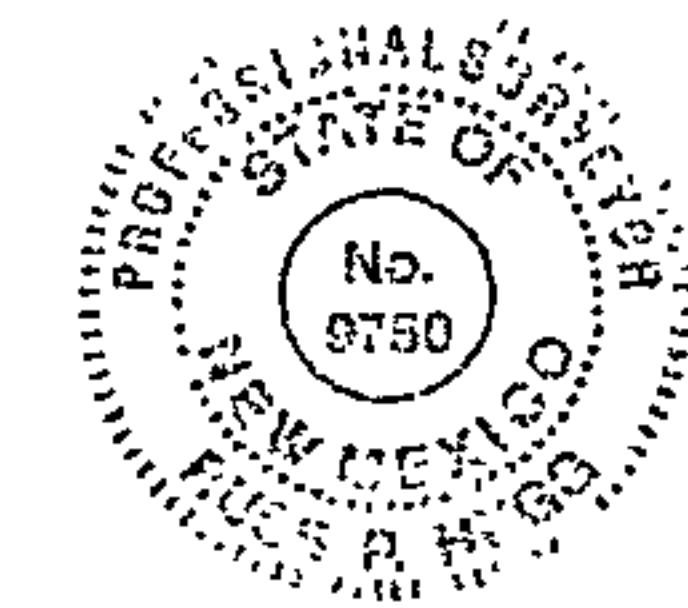
as Document Number _____.

SECTION 14-14-47 PROHIBITION ON PRIVATE RESTRICTIONS ON THE INSTALLATION OF SOLAR COLLECTORS

"No property within the area of requested final action shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat or site development plan for subdivision"

DOCM 2887171107

12/21/2007 01:42 PM Page 2 of 8
 PLAT # 332 00 B 2007C P 0362 N Toulouse, Bernalillo County
 [Barcode]



SURV+TEK, INC.

Consulting Surveyors Phone: 505-897-3366
 9384 Valley View Drive N.W. Albuquerque, New Mexico 87114 Fax: 505-897-3377

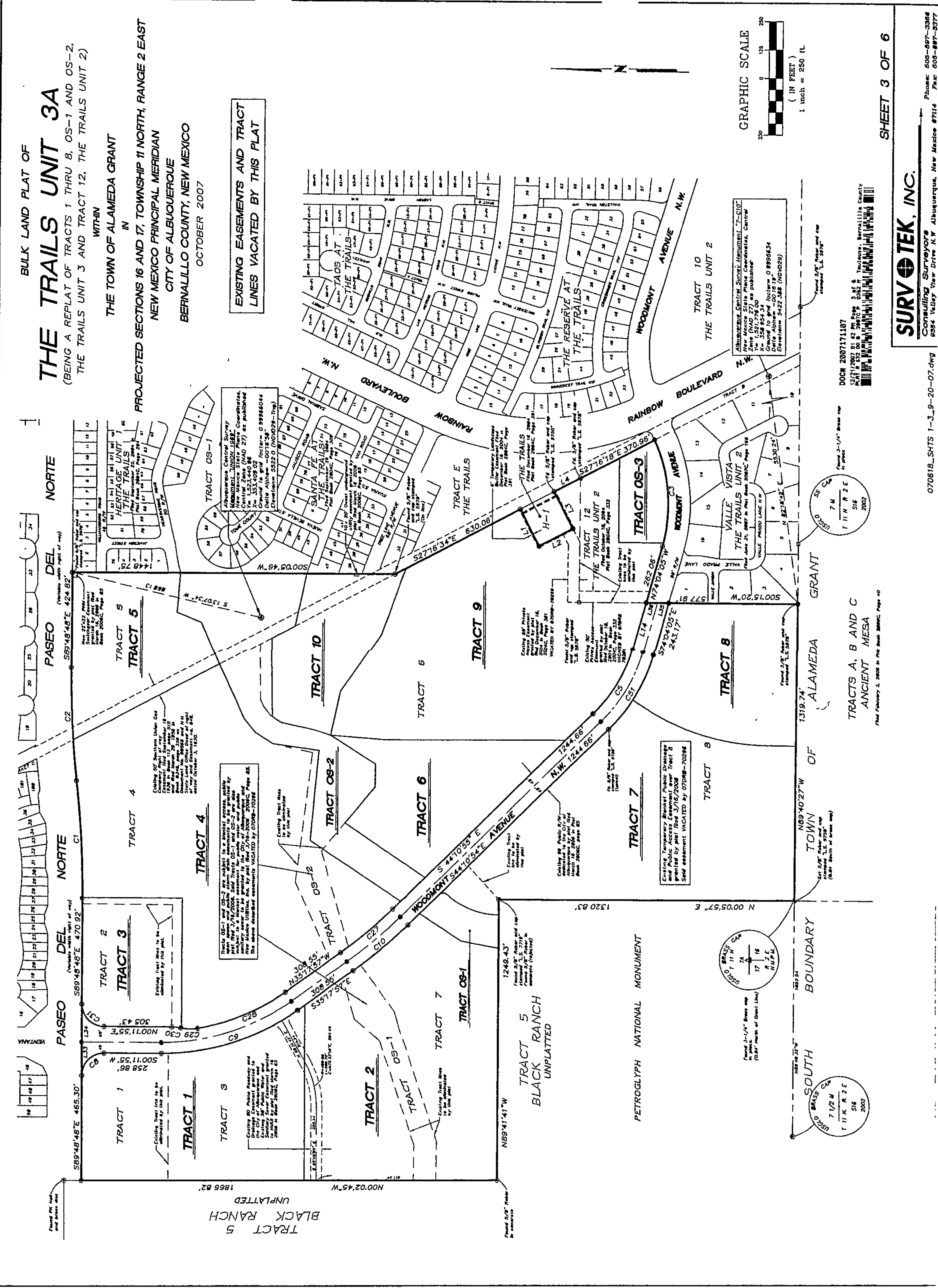
**BULK LAND PLAT OF
THE TRAILS UNIT 3A**

(BEING A REPLAT OF TRACTS 1 THRU 8, OS-1 AND OS-2,
THE TRAILS UNIT 3 AND TRACT 12, THE TRAILS UNIT 2)

WITHIN
THE TOWN OF ALAMEDA GRANT

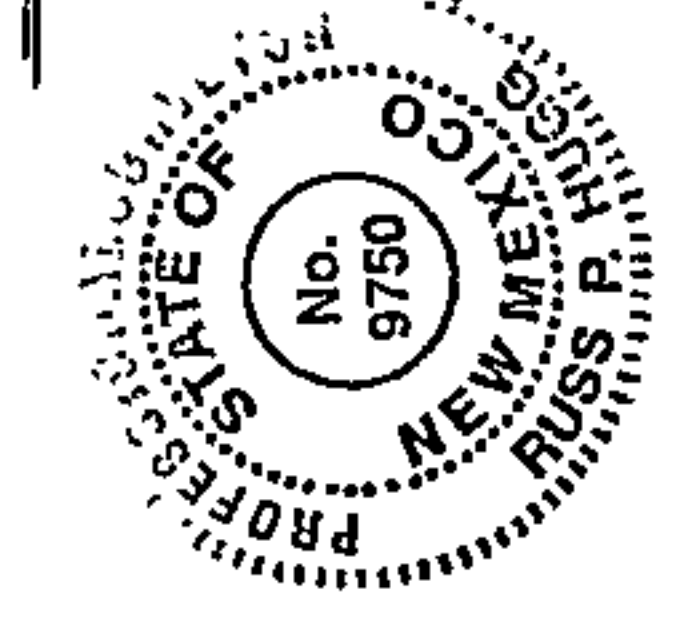
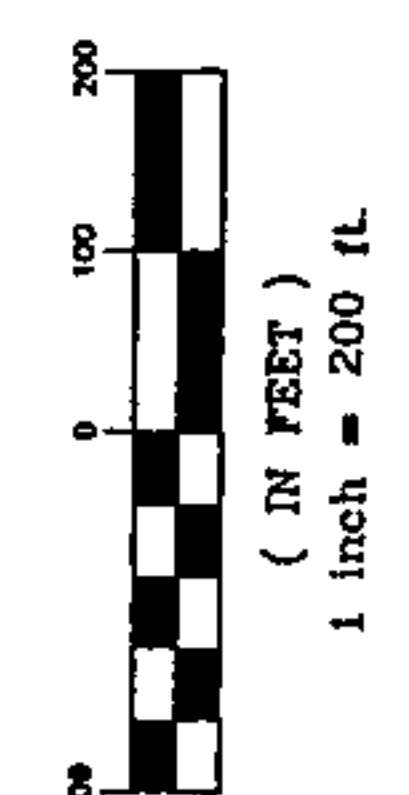
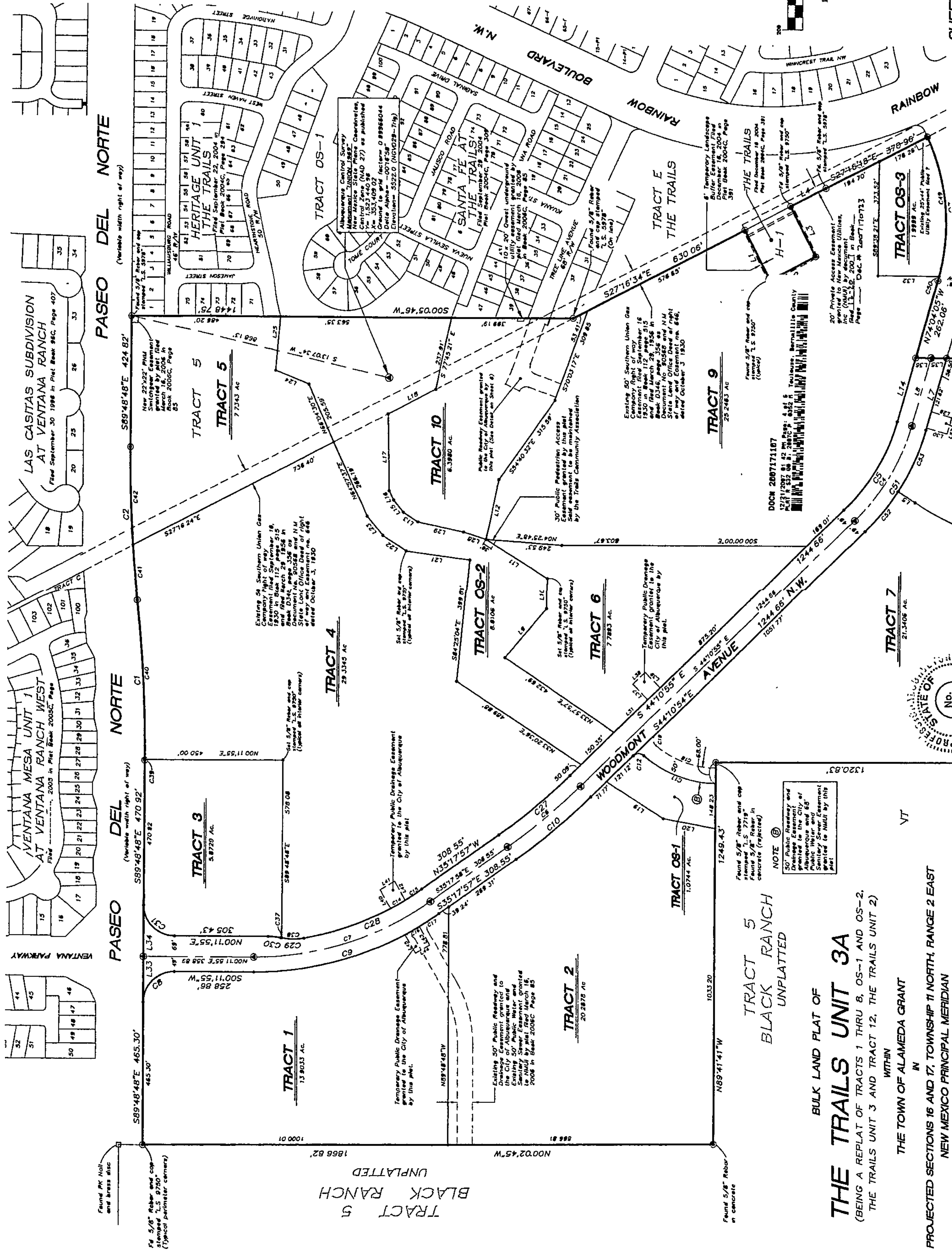
PROJECTED SECTIONS 16 AND 17, TOWNSHIP 11 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
OCTOBER 2007

EXISTING EASEMENTS AND TRACT
LINES VACATED BY THIS PLAT



DOCN 2007171107
12/1/2007 01:42 PM Page 3 of 6
SURVOTEK, INC.
3554 Valley View Drive N.W.
Albuquerque, New Mexico 87114
Phone: 505-897-3568
Fax: 505-897-3577

SURVOTEK, INC.
Consulting Surveyors



TRACT 5
 BLACK RANCH
 UNPLATTED
 BULK LAND PLAT OF
THE TRAILS UNIT 3A
 (BEING A REPLAT OF TRACTS 1 THRU 8, OS-1 AND OS-2,
 THE TRAILS UNIT 3 AND TRACT 12, THE TRAILS UNIT 2)
 WITHIN
 THE TOWN OF ALAMEDA GRANT
 IN
 PROJECTED SECTIONS 16 AND 17, TOWNSHIP 11 NORTH, RANGE 2 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 OCTOBER 2007

SURVOTEK, INC.
 Consulting Surveyors
 9354 Valley View Drive N.W. Albuquerque, New Mexico 87114 Phone: 505-897-3306 Fax: 505-897-3377

070618_SHTS 4-5-9-20-07.dwg
 SEE SHEET 5 OF 6

SHEET 4 OF 6

BULK LAND PLAT OF

THE TRAILS UNIT 3A

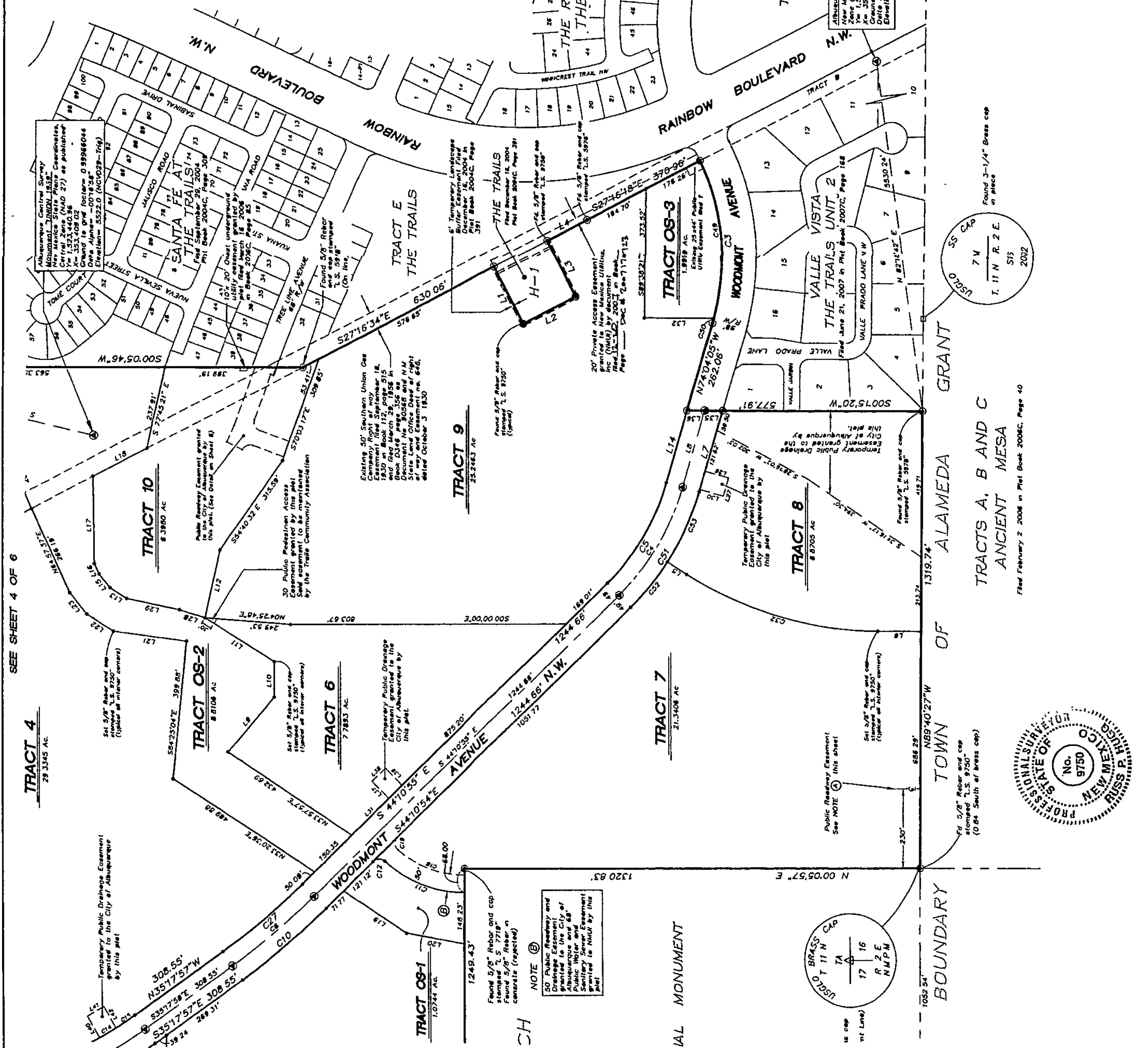
(BEING A REPLAT OF TRACTS 1 THRU 8, OS-1 AND OS-2, THE TRAILS UNIT 3 AND TRACT 12, THE TRAILS UNIT 2) WITHIN

THE TOWN OF ALAMEDA GRANT

IN

PROJECTED SECTIONS 16 AND 17, TOWNSHIP 11 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
OCTOBER 2007

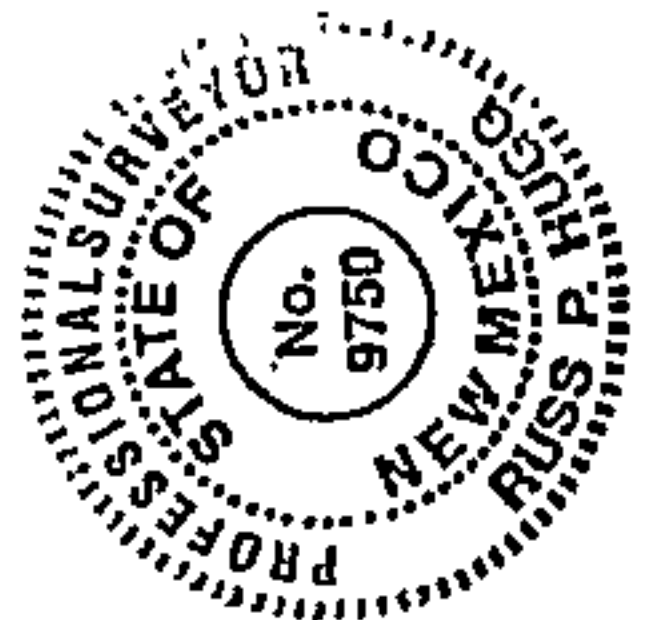
NOTE A
 48' Public Right-of-Way Easement reserved by this platting action to be granted in the future upon subsequent platting of proposed Tracts C-1 and C-2, Ancient Mesa (DMS Project No. 1004071).
 Except for the location of this easement as it relates to the proposed Tracts C-1 and C-2, the location of this easement within Tract 7 and construction of this easement to Woodmont Avenue NW will be determined at that time.



NOTE B
 50' Public Right-of-Way and Drainage Easement granted to the City of Albuquerque by this plat. Public Water and 68" Sanitary Sewer Easement granted to MUCW by this plat.

USLO BRASS T 11 N CAP TA R 2 E N.M.P.M. 17 16

USLO SS CAP 7 M S15 T. 11 N R. 2 E. 2002



Found February 2, 2006 in Plat Book 2006C, Page 40

TRACTS A, B AND C
ANCIENT MESA

DOC# 288711187
 12/27/2007 08:42 PM Page 5 of 8
 PLAT # 313 88 47 200706 052 R
 TULLOUSE, BERNALILLO COUNTY

BULK LAND FLAT OF THE TRAILS UNIT 3A

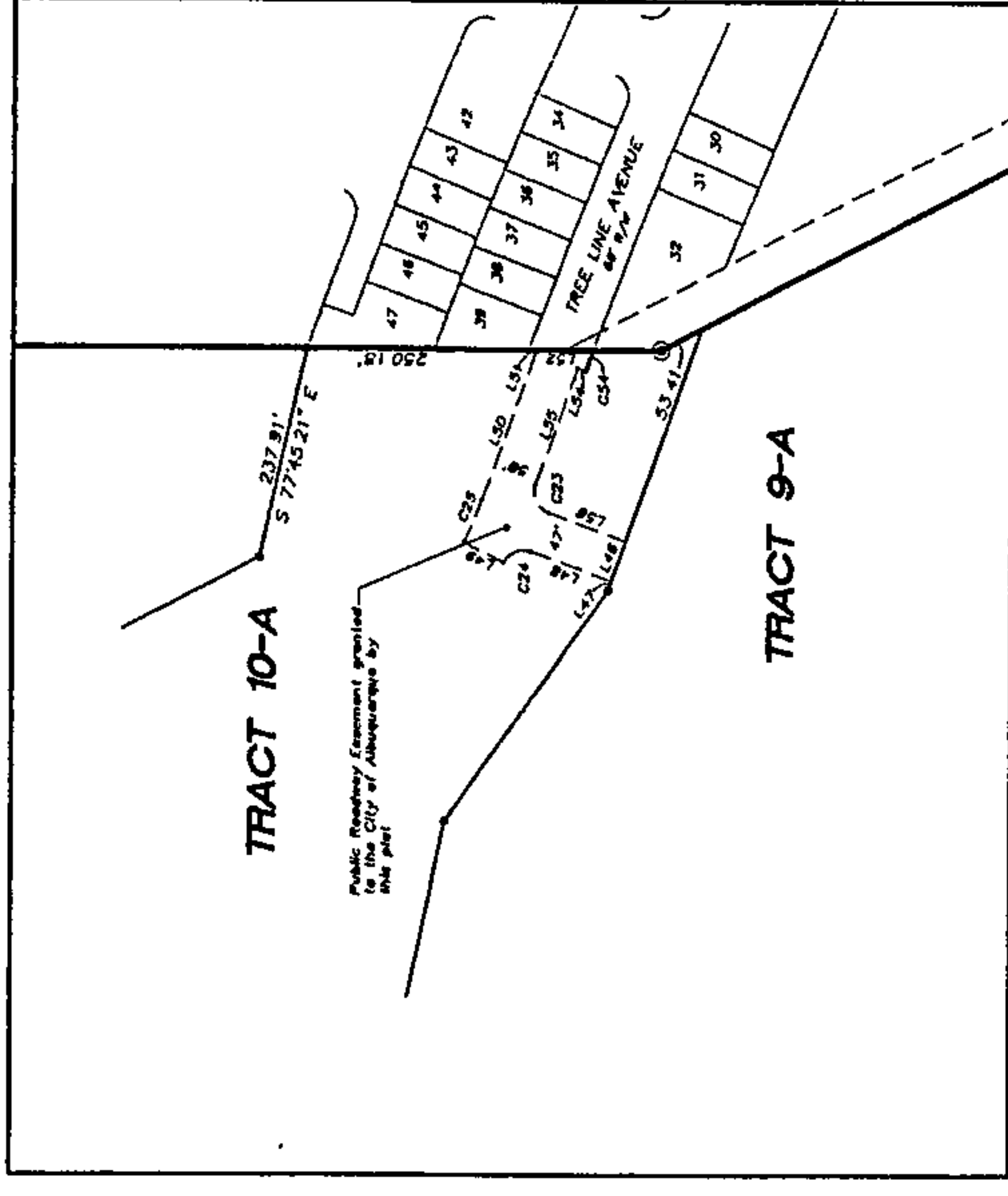
(BEING A REPLAT OF TRACTS 1 THRU 8, OS-1 AND OS-2,
THE TRAILS UNIT 3 AND TRACT 12, THE TRAILS UNIT 2)

WITHIN
IN
THE TOWN OF ALAMEDA GRANT

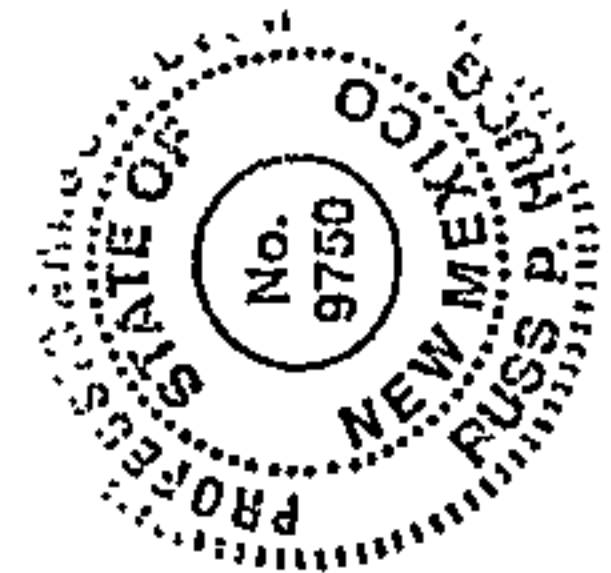
PROJECTED SECTIONS 16 AND 17, TOWNSHIP 11 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
OCTOBER 2007

LINE	LENGTH	BEARING
L1	184.00'	S62°43'26"W
L2	170.00'	S22°16'34"E
L3	184.00'	N62°43'26"E
L4	130.51'	S27°16'34"E
L5	66.10'	S32°32'05"W
L6	124.07'	S00°19'33"W
L7	243.17'	S74°04'05"E
L8	229.42'	N74°04'05"W
L9	207.93'	S49°49'12"E
L10	102.11'	S89°33'10"E
L11	237.43'	N32°12'03"E
L12	199.32'	S77°31'46"E
L13	57.66'	N32°26'33"E
L14	215.67'	N74°04'05"W
L15	50.59'	N51°14'55"E
L16	33.00'	N64°37'37"E
L17	250.90'	N89°01'47"E
L18	174.90'	S27°16'30"E
L19	221.41'	S33°20'36"W
L20	172.48'	S10°36'24"W
L21	211.17'	N07°30'45"E
L22	92.07'	N32°26'33"E
L23	79.17'	N51°14'55"E
L24	118.15'	N22°01'51"E
L25	174.85'	S84°56'30"E
L26	70.00'	S15°56'41"W
L27	55.00'	N74°03'19"W
L28	77.52'	N17°42'46"E
L29	153.59'	N12°11'46"E
L30	69.99'	N15°56'41"E
L31	152.04'	S44°10'54"E
L32	200.51'	N00°21'41"E
L33	149.02'	S89°16'48"E
L34	188.98'	S89°46'48"E
L37	70.00'	N45°49'06"E
L38	55.00'	S44°10'54"E
L39	70.00'	S45°49'06"W
L40	70.15'	N60°17'12"E
L41	55.00'	S29°42'48"E
L42	70.20'	S60°17'12"W
L43	70.21'	S60°24'54"W
L44	55.00'	N29°35'06"W
L45	70.17'	N60°24'54"E
L46	47.00'	N70°03'17"W
L47	10.50'	N70°03'17"W
L48	96.04'	N19°56'43"E
L49	50.00'	N26°43'51"E
L50	173.64'	S70°03'17"E
L51	9.00'	N19°56'43"E
L52	72.36'	S00°05'46"W
L54	9.00'	N19°56'43"E
L55	132.56'	N70°03'17"W
L56	92.43'	S19°56'43"W

CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	519.79'	4578.00'	260.17'	519.51'	N86°56'02"E	6°30'20"
C2	502.08'	4422.00'	251.31'	501.81'	N86°56'02"E	6°30'20"
C3	481.26'	622.00'	251.47'	471.05'	S85°24'55"W	41°02'00"
C4	365.13'	700.00'	186.82'	361.00'	S59°07'30"E	29°53'10"
C5	339.57'	651.00'	173.74'	335.23'	S59°07'30"E	29°53'10"
C6	310.06'	3000.00'	156.34'	309.75'	S39°44'26"E	8°52'57"
C7	619.56'	1000.00'	320.08'	609.70'	S17°33'01"E	35°29'53"
C8	157.10'	1000.00'	100.02'	147.44'	N44°48'26"W	90°00'43"
C9	649.92'	1049.00'	335.77'	639.57'	S17°33'01"E	35°29'53"
C10	317.65'	2049.00'	159.15'	317.34'	S39°44'26"E	8°52'57"
C11	256.74'	351.33'	134.41'	251.07'	S21°04'27"W	41°52'12"
C12	37.61'	25.00'	23.39'	34.16'	N01°05'11"W	89°11'28"
C14	55.01'	951.00'	27.51'	55.00'	S33°18'27"E	3°59'01"
C15	66.12'	951.00'	33.07'	66.11'	S33°18'27"E	3°59'01"
C16	55.01'	1049.00'	27.51'	55.00'	S29°37'26"E	3°00'16"
C17	76.40'	1049.00'	38.21'	76.38'	S33°12'47"E	4°10'22"
C18	213.08'	301.33'	111.21'	208.67'	S20°22'10"W	40°30'58"
C19	41.53'	25.00'	25.00'	35.36'	S64°56'43"W	89°00'00"
C23	36.31'	25.00'	22.20'	33.20'	N21°39'43"W	83°12'52"
C25	52.23'	441.00'	26.14'	52.20'	S66°39'43"E	6°47'08"
C27	302.46'	1951.00'	151.53'	302.16'	S39°44'26"E	8°52'57"
C28	424.24'	951.00'	215.71'	420.73'	S22°31'10"E	29°53'34"
C29	76.53'	200.00'	38.75'	76.09'	S01°13'33"W	21°55'52"
C30	41.86'	200.00'	21.01'	41.79'	N06°11'42"E	11°59'33"
C31	157.06'	100.00'	99.98'	141.41'	S45°11'34"W	89°59'17"
C32	564.44'	1028.98'	300.34'	576.62'	S16°35'51"W	32°32'35"
C37	3.10'	200.00'	1.55'	3.10'	S11°44'50"W	0°53'16"
C38	73.45'	200.00'	37.15'	73.04'	S00°46'54"W	21°02'35"
C39	2.20'	4578.00'	1.10'	2.20'	S89°49'38"E	0°01'39"
C40	517.59'	4578.00'	259.07'	517.32'	N86°55'12"E	6°28'40"
C41	181.99'	4422.00'	91.01'	181.98'	S84°51'37"W	2°21'29"
C42	320.09'	4422.00'	160.11'	320.02'	S86°06'47"W	4°08'51"
C49	466.76'	622.00'	243.24'	457.43'	N84°47'49"E	39°47'47"
C50	14.51'	622.00'	7.25'	14.51'	S74°41'11"E	1°14'13"
C51	390.68'	749.00'	189.90'	386.27'	S59°07'30"E	29°53'10"
C52	169.28'	749.00'	85.00'	168.52'	S50°39'23"E	12°56'58"
C53	221.41'	749.00'	111.52'	220.60'	S65°35'58"E	16°56'13"
C54	24.57'	4966.00'	12.28'	24.57'	N69°34'47"W	0°17'00"



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PLAT # 33 04 42 2007
NEW MEXICO
TOWNSHIP 11 NORTH, RANGE 2 EAST
CITY OF ALBUQUERQUE
BERNALILLO COUNTY



SURVOTEK, INC.
Consulting Surveyors
2184 Valley View Drive N.W. Albuquerque, New Mexico 87114
Phone 505-897-3388
Fax 505-897-3377

PROJECT #

1007488

FEBRUARY 3. 2016

VRS



Presbyterian Healthcare Services
P.O. Box 26666
Albuquerque, NM 87125-6666
(505) 841-1234
www.phs.org

May 2, 2012

Mr. Chris Gunning
Dekker/Perich/Sabatini LLC
7601 Jefferson NE, Suite 100
Albuquerque, NM 87109

RECEIVED
MAY 04 2012
Dekker/Perich/Sabatini

RE: 9521 San Mateo NE

Dear Chris:

This letter authorizes Dekker/Perich/Sabatini LLC to represent Presbyterian Healthcare Services with regard to the design and approval of all necessary steps related to the regulatory and permitting process with the City of Albuquerque. This letter authorizes Dekker/Perich/Sabatini LLC to act as Presbyterian Healthcare Services' agent as necessary with the permitting and associated approval processes required for the office building remodel and new construction at 9521 San Mateo NE.

Please contact me at 563-6641 if there are any questions.

Sincerely,

A handwritten signature in black ink, appearing to read 'James R. Jeppson'.

James R. Jeppson
Administrative Director

cc: Eric Cornish, Project Manager
Steve Perich, Dekker/Perich/Sabatini LLC

JRJ/kal

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission and Development Review Board. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

 6/12/2012

Applicant or Agent Signature / Date

NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36".

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. **Site Plan** (including utilities and easements)
2. **Landscaping Plan**
3. **Preliminary Grading Plan** (A separate Grading Plan sheet is required for a sites 1 acre or more.)
4. **Building and Structure Elevations**
5. **Conceptual Utility Plan**
6. **Previously approved Development Plan (if applicable)**

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A." Each non-applicable designation must be explained by notation on the Checklist.**

Accompanying Material

- A. 8-1/2" x 11" reduction for each plan sheet.
- B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

SHEET #1 - SITE PLAN

A. General Information

- 1. Date of drawing and/or last revision
- 2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100' *[Other scales as approved by staff]*
- 3. Bar scale
- 4. North arrow
- 5. Scaled vicinity map
- 6. Property lines (clearly identify)
- 7. Existing and proposed easements (identify each)
- 8. Phases of development including location and square footages of structures, circulation, parking and landscaping

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

B. Proposed Development (If supplemental Sheets are used please indicate sheet #)

1. Structural

- A. Location of existing & proposed structures (distinguish between existing & proposed, include phasing)
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Temporary structures, signs and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions thereof
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.
- K. Site amenities including patios, benches, tables, (indicating square footage of patios/ plazas).

2. Parking and Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. Location and typical dimensions, including handicapped spaces
 - 2. Calculations: spaces required: 1,335 provided: 2,160
Handicapped spaces (included in required total) required: 24 provided: 51
Motorcycle spaces (in addition to required total) required: 9 provided: 10
- B. Bicycle parking & facilities
 - 1. Bicycle racks, spaces required: 67 provided: 69
 - 2. Bikeways and other bicycle facilities, if applicable
- C. Public Transit
 - 1. Bus facilities, including routes, bays and shelters existing or required
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths
 - 2. Location and dimension of drive aisle crossings, including paving treatment
- E. Vehicular Circulation (Refer to Chapter 23 of DPM)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Curb cut locations and dimensions
 - 6. Existing and proposed street widths, right-of-way widths and curve radii
 - 7. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 8. Location of traffic signs and signals related to the functioning of the proposal
 - 9. Identify existing and proposed medians and median cuts

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

3. Phasing

- N/A A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use
- 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system – Phase I & II . . .
- 9. Backflow prevention detail
- 10. Planting Beds, indicating square footage of each bed
- 11. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 12. Responsibility for Maintenance (statement)
- 13. Statement of compliance with Water Conservation... Ordinance, see article 6-1-1-1.
- 14. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 15. Landscaped area provided; square footage and percent (specify clearly on plan)
- 16. Planting or tree well detail
- 17. Street Tree Plan as defined in the Street Tree Ord.

SHEET # 3 PRELIMINARY GRADING PLAN

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1 with written approval from the Planning Department Staff.

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SHEET #4 UTILITY PLAN

- 1. Fire hydrant locations, existing and proposed.
- 2. Distribution lines
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Existing water, sewer, storm drainage facilities (public and/or private).
- 5. Proposed water, sewer, storm drainage facilities (public and/or private)

SHEET #5 BUILDING AND STRUCTURE ELEVATIONS

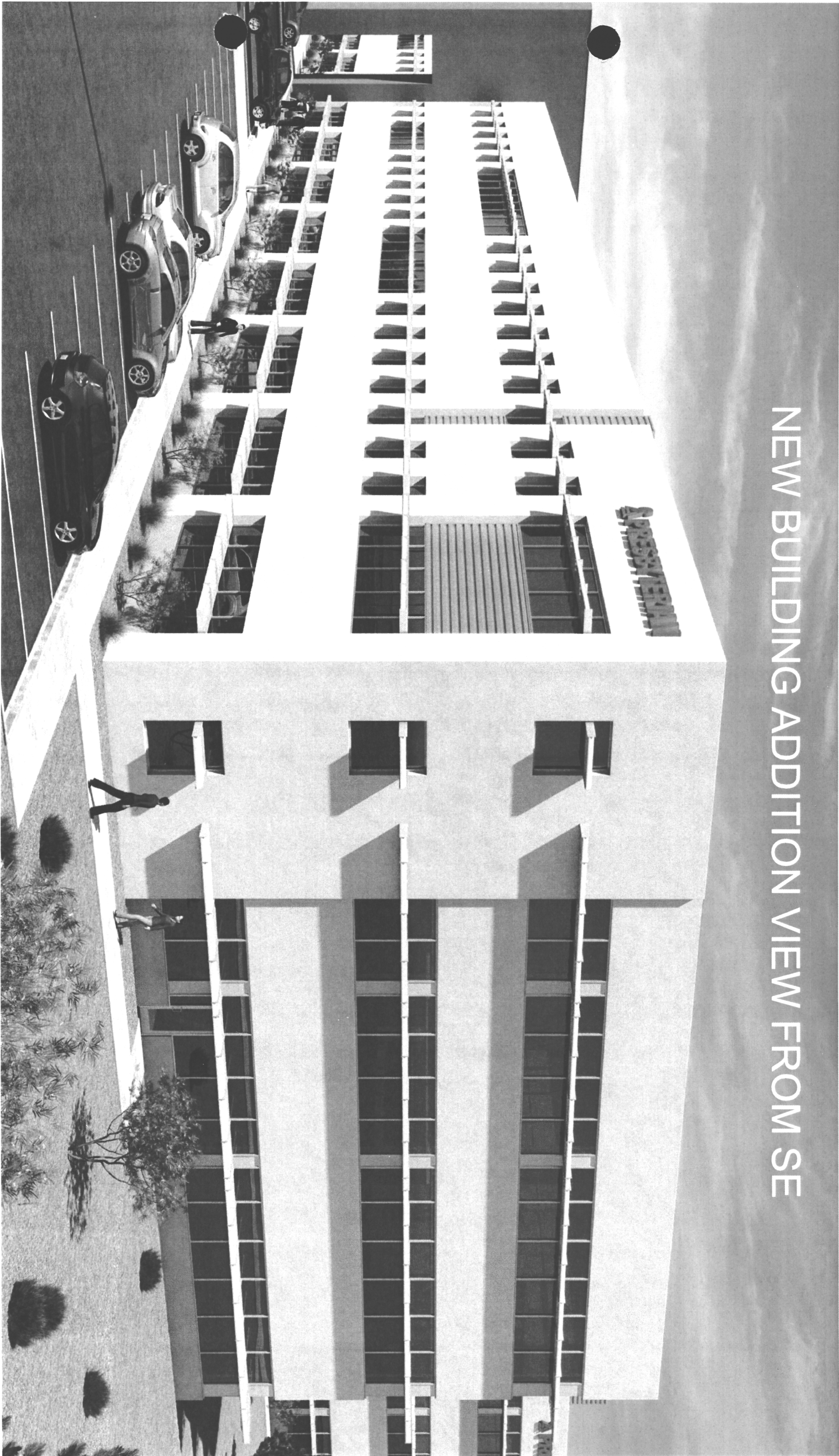
A. General Information

- A. Scale (minimum of 1/8" or as approved by Planning Staff).
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation (north, south, east, & west).
 - 2. Facade dimensions including overall height and width
 - 3. Location, dimensions, materials, and colors of principle façade elements- windows, doors, etc.
 - 4. For EPC and DRB submittals only – Color renderings or similar (12 copies) illustrations
- N/A E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff.

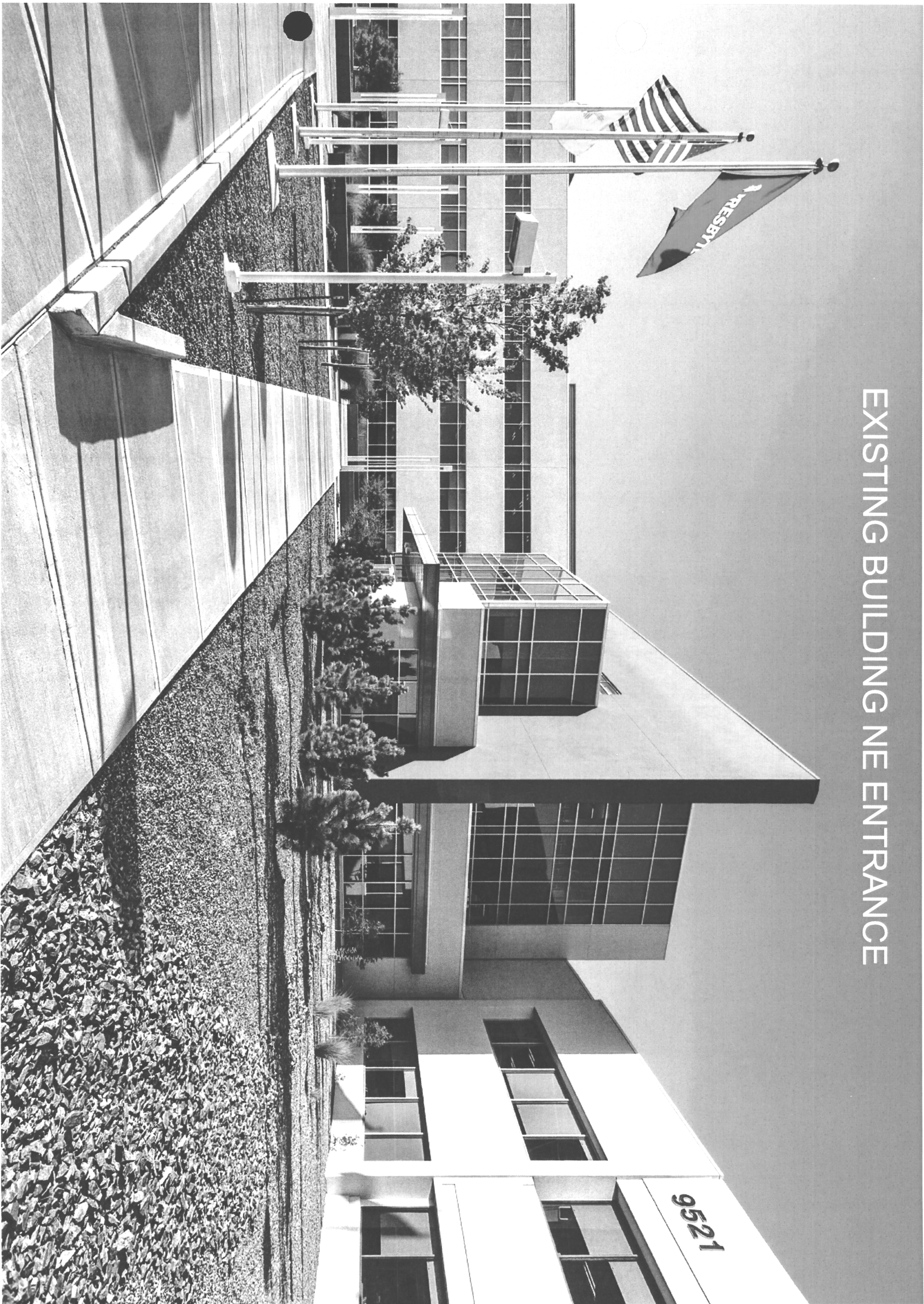
B. Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.

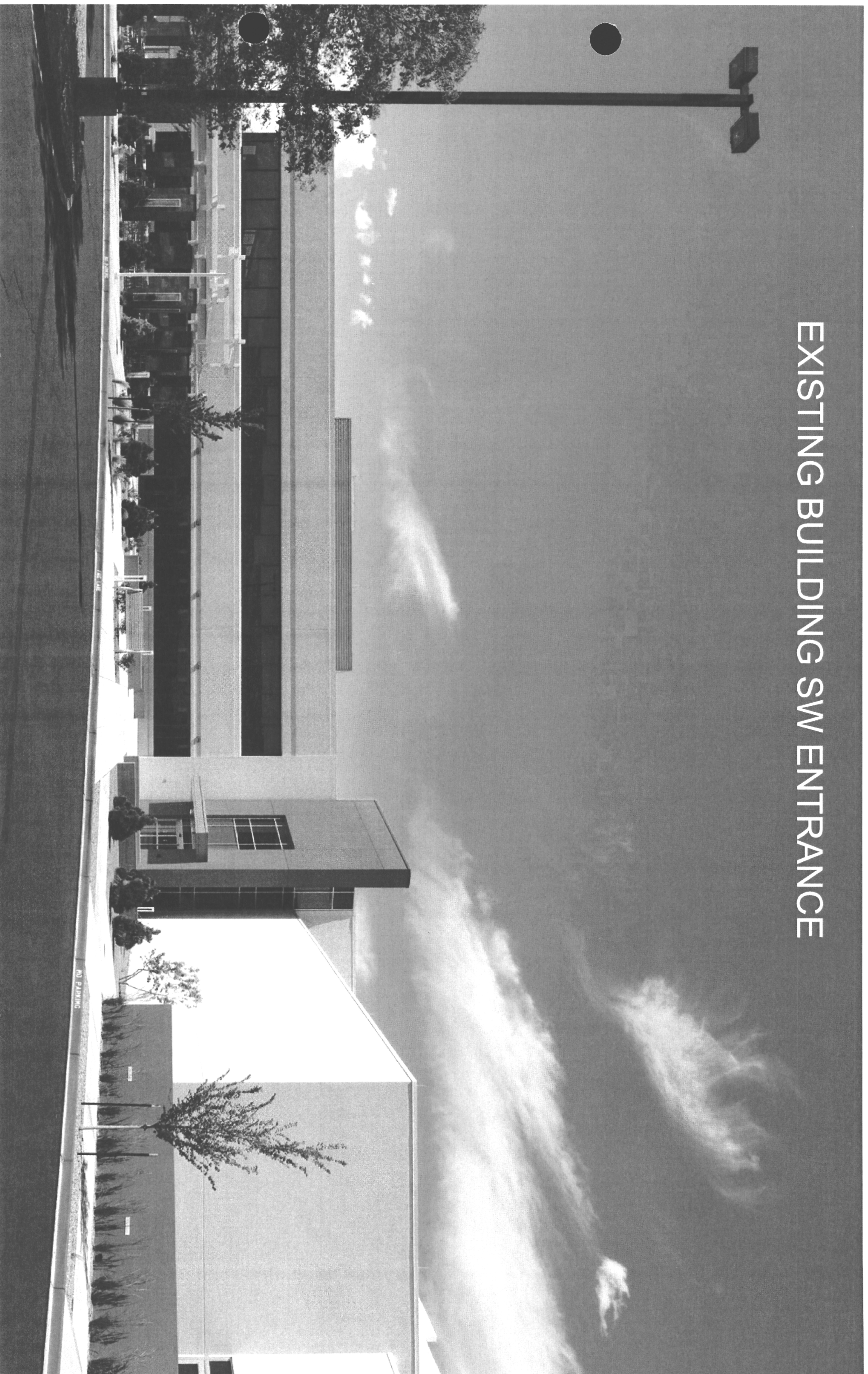
NEW BUILDING ADDITION VIEW FROM SE



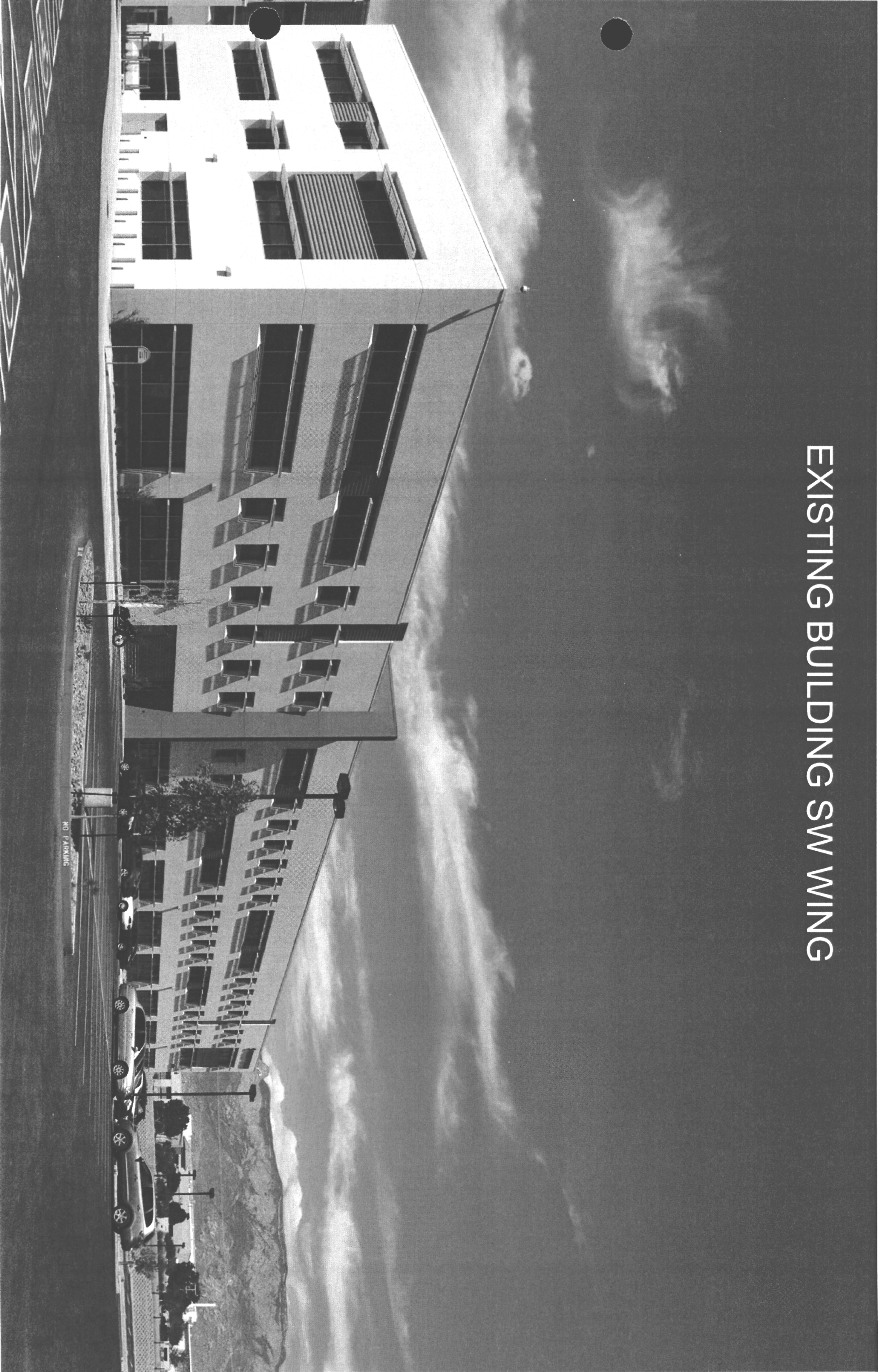
EXISTING BUILDING NE ENTRANCE



EXISTING BUILDING SW ENTRANCE



EXISTING BUILDING SW WING



SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission and Development Review Board. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. More details and/or minor changes may be necessary as the project progresses through DRB and building permit reviews. Certification of completeness as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. I ACKNOWLEDGE THAT MORE DETAILS AND/OR MINOR CHANGES MAY BE NECESSARY AS THE PROJECT PROGRESSES THROUGH THE REVIEW PROCESSES. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OR DEFERRAL OF THE APPLICATION.


12/3/2015

 Applicant or Agent Signature / Date

NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36", or as pre-approved by Planning Staff

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing):

1. **Site Plan** (including easements with recording information)
2. **Landscaping Plan**
3. **Conceptual Grading and Drainage Plan** (a separate Grading Plan sheet is required for sites > 1 acre)
4. **Conceptual Utility Plan** (for sites less than one acre, Utility Plan may be shown on Site Plan)
5. **Building and Structure Elevations**
6. **Previously approved Development Plan** (if applicable)

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. Please refer to the City's DPM, Zoning Code and any applicable Sector Development Plan and Master Development Plan for specific design requirements for the elements listed below. The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A." Each non-applicable designation must be explained by notation on the Checklist.

Accompanying Material

- A. 8-1/2" x 11" reduction for each plan sheet & electronic copy (pdf) of Site Development Plan
- B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

SHEET #1 – SITE PLAN

A. General Information

- 1. Date of drawing and/or last revision
- 2. Scale:

1.0 acre or less	1" = 10'	Over 5 acres	1" = 50'
1.0 - 5.0 acres	1" = 20'	Over 20 acres	1" = 100'

 [other scales, if approved by staff]
- 3. Bar scale
- 4. North arrow
- 5. Vicinity map
- 6. Signature Block (for DRB site dev. plans)
- 7. Property lines (clearly identify)
- 8. Existing easements on the site and within 20 ft. of the site with recording information; proposed easements on the site
- 9. Phases of development including location and square footages of structures, circulation, parking and landscaping
- N/A 10. Indicate existing structures and easements (with recording information) within 20 ft. of the site (NONE TO INDICATE WITHIN 20FT.)

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

B. Proposed Development

1. Structural

- 1. Location of existing & proposed structures on the site (distinguish between existing & proposed, include phasing)
- 2. Dimensions and square footage of each structure
- 3. Proposed use of each structure
- N/A 4. Walls, fences, and screening: indicate height, length, color and materials (NO NEW)
- N/A 5. Loading facilities (NO NEW - EXISTING TO REMAIN)
- 6. Conceptual site lighting (indicate general location & maximum height)
- N/A 7. Location of refuse container and enclosure (NO NEW - EXISTING COMPACTOR TO REMAIN)
- 8. Site amenities including patios, benches, tables (indicating square footage of patios/ plazas)

2. Parking and Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. **Location and typical dimensions**, including handicapped spaces
 - 2. **Calculations:** spaces required: 2,007 provided: 2,503

Handicapped spaces (included in required total) required: 31 provided: 55
Motorcycle spaces (in addition to required total) required: 11 provided: 12
- B. Bicycle parking & facilities
 - 1. Bicycle racks, spaces required: 101 provided: 101
 - N/A 2. Bikeways and other bicycle facilities, if applicable
- N/A C. Public Transit (NONE WITHIN NEARBY VICINITY)
 - N/A 1. Bus facilities, including routes, bays and shelters existing or required
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths
 - 2. Location and dimension of drive aisle crossings, including paving treatment
 - 3. Location of proposed and existing public sidewalk; define distance from back of curb to sidewalk
- E. Vehicular Circulation (Refer to Chapter 23 of DPM for design requirements)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - N/A 4. Location & orientation of refuse enclosure, with dimensions (NO NEW - EXISTING COMPACTOR TO REMAIN)
 - 5. Curb cut locations and dimensions
 - 6. Existing and proposed street widths, right-of-way widths and curve radii
 - 7. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions (NO NEW)
 - N/A 8. Location of traffic signs and signals related to the functioning of the proposal (NO NEW)
 - 9. Identify existing and proposed medians and median cuts

3. Phasing – This is required information if phasing of project is anticipated

- Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

SHEET #2 – LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff

- ✓ 1. Scale - must be same as scale on sheet #1 - Site Plan
- ✓ 2. Bar Scale
- ✓ 3. North Arrow
- ✓ 4. Property Lines
- ✓ 5. Existing and proposed easements
- ✓ 6. Statement of Landscaping Responsibility for Maintenance (Landscape Agreement will be required for landscape in public right-of-way prior to Building Permit)
- ✓ 7. Statement of compliance with Water Conservation Ordinance, see §6-1-1
- ✓ 8. Statement of compliance with §14-16-3-10, General Landscaping Regulations
- ✓ 9. Identify location and size (SF) of all landscaping areas, including:
 - A. Type, location and size of trees (common and/or botanical names)
 - B. Type and location of all ground cover material (organic/inorganic)
 - C. Existing vegetation, indicating whether it is to be preserved or removed
 - D. Ponding areas either for drainage or landscaping/recreational use
 - E. Turf area – only 20% of landscaped area can be high water-use turf
- ✓ 10. Landscape calculation table:
 - A. Required and Provided Landscape Area – square footage and percent
 - B. Required and Provided Trees (street, parking lot, screening, etc.)
- ✓ 11. Street Tree Plan as defined in the Street Tree Ordinance (see §6-6-2)
- ✓ 12. Verification of adequate sight distance
- ✓ 13. Provide a plant list of shrubs, grasses, and perennials

SHEET # 3 – CONCEPTUAL GRADING and DRAINAGE PLAN

The Conceptual Grading and Drainage Plan provides the Planning Commission and DRB with an understanding of site topography and how it relates to adjacent property. The City Engineer or her/his designee may waive or allow adjustments to the Conceptual Grading and Drainage Plan requirements for sites that are already developed or are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

A. General Information

- ✓ 1. Scale - must be same as Sheet #1 - Site Plan (SCALES DIFFER IN ORDER TO SHOW INFORMATION CLEARLY ON GRADING PLAN)
- ✓ 2. Bar Scale
- ✓ 3. North Arrow
- ✓ 4. Property Lines
- ✓ 5. Building footprints
- ✓ 6. Location of Retaining walls

B. Grading Information

- ✓ 1. Provide a narrative description of existing site topography, proposed grading improvements, flood zone status, and topography within 20 feet of the site.
- ✓ 2. Show existing and proposed contours, retaining wall heights, approximate street (drive entrance/parking lot) slopes.
- ✓ 3. Identify whether ponding is required
- ✓ 4. Indicate Finished Floor Elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

- ✓ 5. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change.
- ✓ 6. In addition to the above, the following must be provided for DRB applications:
 - A. Conceptual onsite drainage system
 - B. For sites 5 acres or greater or for sites where drainage infrastructure is required, a Drainage Report is required.

SHEET #4 – UTILITY PLAN

If site is less than one acre, the Utility Plan may be shown on sheet #1

- ✓ 1. Fire hydrant locations, existing and proposed.
- ✓ 2. Distribution lines
- ✓ 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- ✓ 4. Existing water, sewer, storm drainage facilities (public and/or private).
- ✓ 5. Proposed water, sewer, storm drainage facilities (public and/or private)

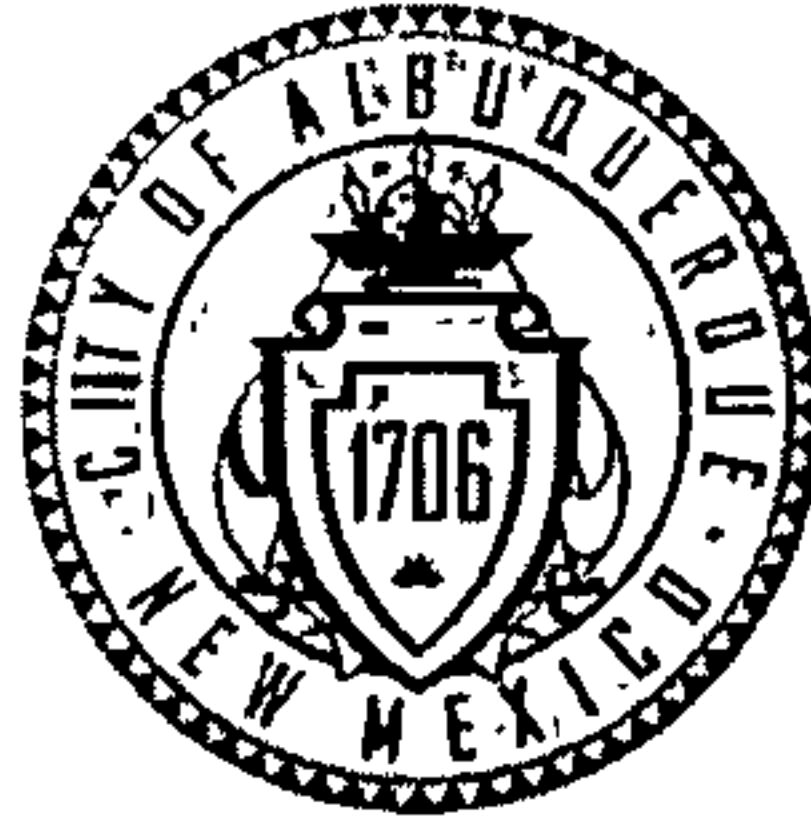
SHEET #5 BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- ✓ 1. Scale (minimum of 1/8" or as approved by Planning Staff)
- ✓ 2. Bar Scale
- ✓ 3. Detailed Building Elevations for each facade
 - ✓ a. Identify facade orientation (north, south, east, & west)
 - ✓ b. Facade dimensions including overall height and width of building and major building articulation elements such as doors and windows (to determine compliance with zoning or other regulations)
 - ✓ c. Materials and colors of principle building elements – façade, roof, windows, doors, etc.
 - ✓ d. 8½" x 11" color renderings or similar illustrations (2 for DRB and 10 for EPC)
- N/A 4. Dimensions, colors and materials of Refuse Enclosure (NO ENCLOSURE, EXIST. COMPACTOR ONLY)
- N/A 5. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discuss submittal requirements with Planning Department staff.

B. Signage

- ✓ 1. Site location(s) (NO NEW, ALL EXISTING TO REMAIN)
- ✓ 2. Sign elevations to scale
- ✓ 3. Dimensions, including height and width
- ✓ 4. Sign face area - dimensions and square footage clearly indicated
- ✓ 5. Lighting
- ✓ 6. Materials and colors for sign face and structural elements
- ✓ 7. Verification of adequate sight distance



INTER-OFFICE MEMORANDUM

COMMENTING AGENCIES

TRANSPORTATION DEVELOPMENT*John MacKenzie*
TRANSIT & PARKING DEPARTMENT*Shabih Rizvi*
COUNCIL OF GOVERNMENTS.....*Kendra Watkins/Andrew Gingerich*
AMAFCA.....*Lynn Mazur*
APD CRIME PREVENTION.....*Steve Sink*
OPEN SPACE DIVISION.....*Kent Reed Swanson/Sarah Brown*
FIRE DEPARTMENT.....*Antonio Chinchilla*
ZONING ENFORCEMENT INSPECTOR.....*Vince Montano*
NEIGHBORHOOD COORDINATION.....*Stephani Winklepleck*
PNM.....*Daniel Aragon*
NEW MEXICO GAS COMPANY.....*Patrick Sanchez*
ALBUQUERQUE PUBLIC SCHOOLS.....*April Winters*
COMCAST CABLE..... *Mike Mortus*
Mid.Rio Grande Conserv. Dist. (MRGCD)..... *Ray Gomez*
ENVIRONMENTAL HEALTH.....*Paul Olson*

Your comments on the following case(s) are requested.

PROJECT # 1007488

Board hearing date:

WEDNESDAY, January 6, 2015



SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- Administrative Approval (DRT, URT, etc.)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

Supplemental Form (SF)

S Z ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
 - Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street, NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Dekker/Perich/Sabatini PHONE: 505-761-9700
 ADDRESS: 71601 Jefferson St. NE, Suite 100 FAX: 505-761-4222
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: timv@dpsdesign.org
 APPLICANT: St. Presbyterian Healthcare Services PHONE: 505-563-6691
 ADDRESS: Po Box 26666 FAX: _____
 CITY: Albuquerque STATE NM ZIP 87125 E-MAIL: jjeppson@phs.org
 Proprietary interest in site: Owner List all owners: _____

DESCRIPTION OF REQUEST: Amended Site Development Plan for Bldg. Permit to Build new 3-story, 87,000sf Office Bldg. Plan for 82,500sf future building phases

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. D-1E-1 and D-1B-2 Block: _____ Unit: _____
 Subdiv/Addn/TBKA: Sisters of the Order of St. Dominic
 Existing Zoning: IP Proposed zoning: no change MRGCD Map No. _____
 Zone Atlas page(s): B-17.2 UPC Code: 101706546230810220

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.):
DRB # 1007488

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? _____
 No. of existing lots: 1 No. of proposed lots: 1 Total site area (acres): Approx 38 acres
 LOCATION OF PROPERTY BY STREETS: On or Near: Ballon Fiesta Parkway & San Mateo Blvd. NE
 Between: _____ and _____
 Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE [Signature] DATE 12/3/2015
 (Print Name) Tim Veltkamp Applicant: Agent:

FOR OFFICIAL USE ONLY

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>1SDRB - 70445</u>	<u>ASBP</u>	_____	<u>\$ 285.00</u>
_____	<u>ADV</u>	_____	<u>\$ 75.00</u>
_____	<u>CME</u>	_____	<u>\$ 20.00</u>
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
Total			<u>\$350.00</u>

Hearing date January 6, 2015

[Signature]
 Staff signature & Date 12-3-15

Project # 1007488

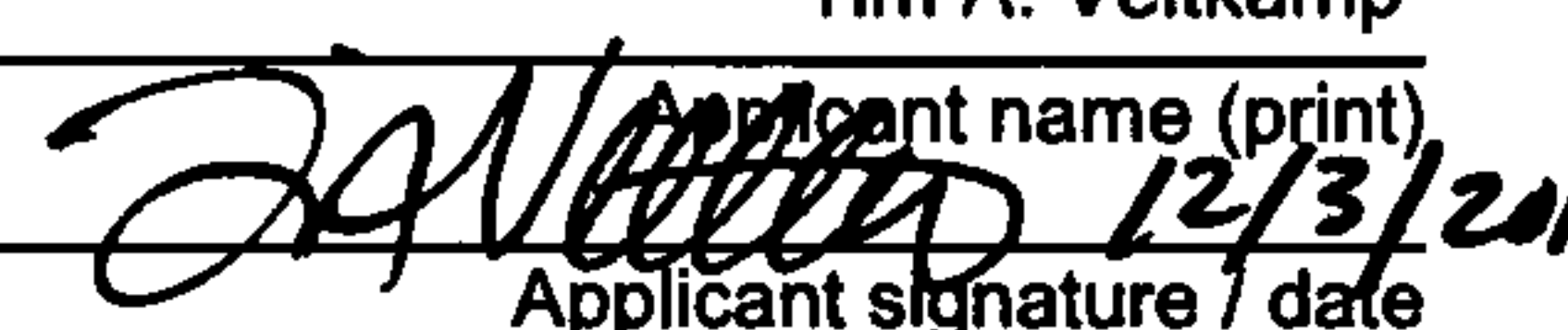
Revised: 11/2014

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB15)** **Maximum Size: 24" x 36"**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Subdivision Checklist
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- DRB hearings are approximately 30 DAYS after the filing deadline. Bring the original to the meeting.
Your attendance is required.

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB14)** **Maximum Size: 24" x 36"**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) **24 copies** for DRB public hearings
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- D. R. B. hearings are approximately 30 DAYS after the filing deadline. Bring the original to the meeting.
Your attendance is required.

- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION or BUILDING PERMIT (DRB10)** **Maximum Size: 24" x 36"**
- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - n/a DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) **24 copies** (NO PAST APPROVED SUBDIVISIONS ARE APPARENT)
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- D. R. B. hearings are approximately 30 DAYS after the filing deadline. Bring the original to the meeting.
Your attendance is required.

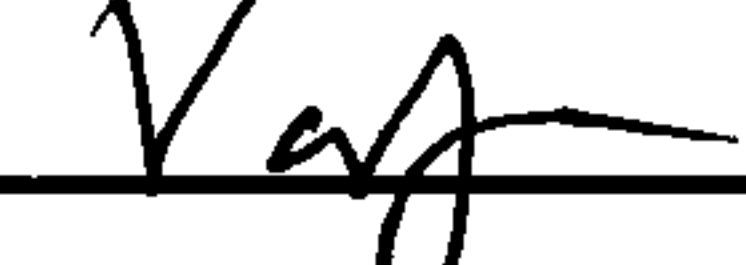
I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Tim A. Veltkamp
 Applicant name (print)

 Applicant signature / date



Form revised October 2007

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
 ISDRB - 70445

 12-3-15
 Planner signature / date
 Project # 9007488

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from December 22, 2015 to January 6, 2016

5. REMOVAL

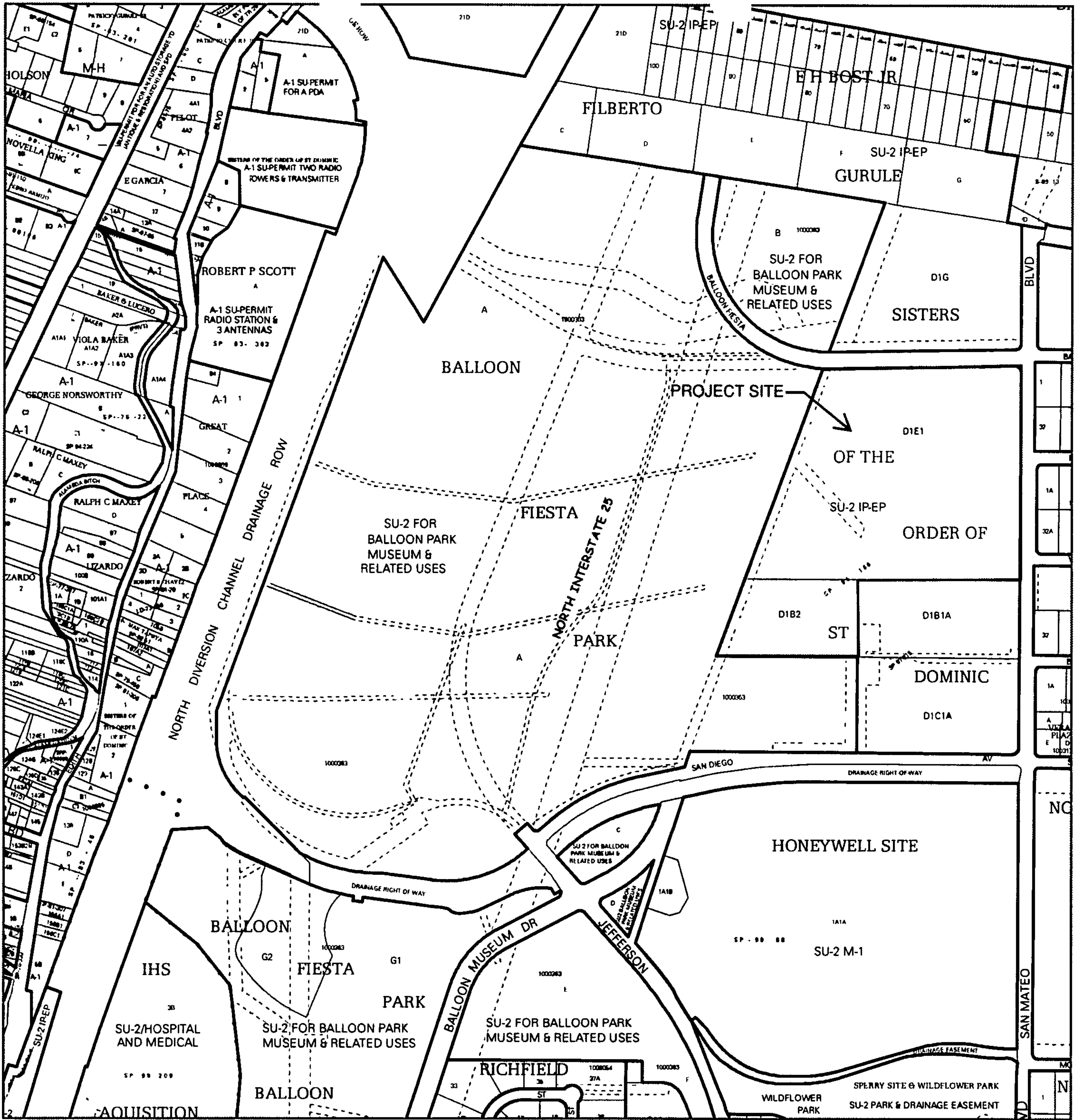
- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

[Signature] 12/3/2015
(Applicant or Agent) (Date)

I issued 1 signs for this application, 12-3-15 [Signature]
(Date) (Staff Member)

PROJECT NUMBER: 1007488



For more current information and more details visit: <http://www.cabq.gov/gis>

Map amended through: 2/4/2010

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
B-17-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1500 Feet

December 3, 2015



City of Albuquerque Planning Department
Plaza Del Sol Building
600 2nd St. NW
Albuquerque, NM 87102

**RE: Proposed Presbyterian Rev. Hugh Cooper Administrative Center Addition
9521 San Mateo NE, Albuquerque, NM 87113
Approx. 38 acres (Tracts D-1E-1 and D -1B-2 of Sisters of the Order of St. Dominic)**

To Whom It May Concern:

Dekker/Perich/Sabatini is acting on behalf of Presbyterian Healthcare Services as their agent during the entitlement and permitting process of this project. We are submitting the attached application for an Amended Site Development Plan for Building Permit dated December 3, 2015 for your review and consideration. The project is zoned under the current IP designation and shall not seek zoning change.

We have attached the previously approved Administrative Amendment of the site dating back to December of 2012. The documentation that accompanies this application shall amend the approved plan of 2012.

The main specifics of the project are as follows:

- Build a new 3-story, 87,000s.f. (verify new building area) office building addition adjacent to the existing building.
- Planning for future building phases including a 9,000s.f. 3-story office addition to the new addition, and a 73,500s.f. 3-story stand-alone office building.
- Planning for additional future parking areas (Site Area B) to accommodate the staff of future phase office buildings as they are constructed.

Additional project specifics include the following:

- Existing monument and directional signage, as dictated by Presbyterian standards, are to remain.
- Additional landscaping for the newly developed parking and building areas.

As Presbyterian Healthcare continues to grow, office space is needed to accommodate additional staff. The new construction shall adhere to the current City zone code and North I-25 Sector Plan, and compliment the existing building in scale, proportion, and architectural character. The amended Site Development Plan proposes changes to the total master planned building area that exceed ten percent over the approved building area, which warrants this application for an Amended Site Development Plan. The traffic flow produced by the additional Presbyterian workforce will be demonstrated in a Traffic Impact Study to be submitted under separate cover for review.

Thank you for your consideration of this application. If you have questions about this submittal, please feel free to call Chris Gunning or myself at 761-9700.

Very truly yours,

Dekker/Perich/Sabatini Ltd.

Tim Veltkamp, AIA



Presbyterian Healthcare Services
P.O. Box 26666
Albuquerque, NM 87125-6666
Phone: (505) 841-1234
www.phs.org

November 19, 2015

Mr. Chris Gunning
Dekker/Perich/Sabatini LLC
7601 Jefferson NE, Suite 100
Albuquerque, NM 87109

NOV 20 2015
DEKKER/PERICH/SABATINI

RE: 9521 San Mateo NE

Dear Chris:

This letter authorizes Dekker/Perich/Sabatini LLC to represent Presbyterian Healthcare Services with regard to the design and approval of all necessary steps related to the regulatory and permitting process with the City of Albuquerque. This letter authorizes Dekker/Perich/Sabatini LLC to act as Presbyterian Healthcare Services' agent as necessary with the permitting and associated approval processes required for the site development at 9521 San Mateo NE.

Please contact me at 563-6641 if there are any questions.

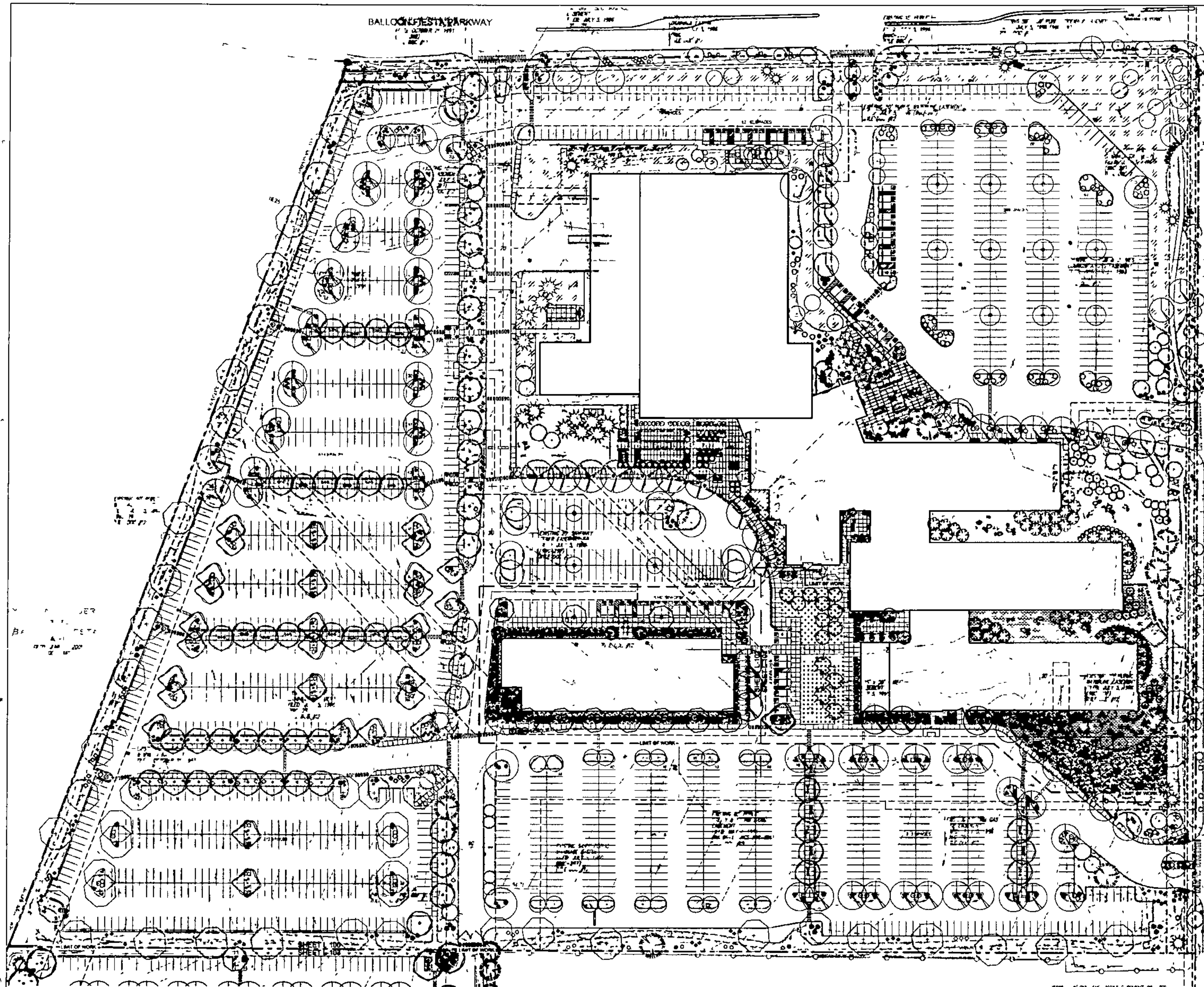
Sincerely,

A handwritten signature in black ink, appearing to read 'James R. Jeppson'.

James R. Jeppson
Administrative Director

Cc: Eric Cornish, Project Manager
Steve Perich, Dekker/Perich/Sabatini LLC

JRJ/lcv



GENERAL SHEET NOTES

- A. FOR GRADING AND DRAINAGE INFORMATION SEE CIVIL DRAWINGS DO NOT RELY ON LANDSCAPE DRAWINGS FOR GRADING INFORMATION
- B. FOR ADDITIONAL INFORMATION ON SITE ELEMENTS SEE SITE PLAN

PLANTING NOTES

1. THE LANDSCAPE DESIGN SHALL COMPLY WITH THE INTENT OF THE CITY OF ALBUQUERQUE WASTE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE.
2. LANDSCAPING SHALL BE INSTALLED ACCORDING TO THE APPROVED PLAN. INSTALLATION SHALL BE COMPLETE WITHIN 90 DAYS OF THE RELATED BUILDING'S OCCUPANCY.
3. AFTER SUBSTANTIAL COMPLETION, THE INSTALLATION AND MAINTENANCE OF LANDSCAPING AND IRRIGATION SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
4. PLANTING SCHEDULE APPLIES TO NEW PLANT MATERIAL ONLY. FINAL SPECIES AND LOCATIONS MAY VARY FROM THIS PLAN.
5. LANDSCAPING SHALL HAVE ADEQUATE MAINTENANCE. LANDSCAPING WHICH DIES SHALL BE REPLACED BY THE OWNER AS EXPEDITIOUSLY AS POSSIBLE, BUT IN NO CASE LOWER THAN 90 DAYS AFTER NOTIFICATION.
6. THE EXISTING STREET TREE INSTALLATION IS COMPLIANT WITH THE CITY AND SECTOR PLAN REQUIREMENTS.
7. THERE IS EXTENSIVE EXISTING LANDSCAPE THAT WILL BE PRESERVED.
8. THERE IS EXISTING HIGH WATER USE TURF IN THE LANDSCAPE, BUT NO ADDITIONAL HIGH WATER USE TURF IS PROPOSED. SOME TURF WILL REQUIRE RENOVATION DUE TO CONSTRUCTION ACTIVITIES.
9. LANDSCAPE AREAS SHALL BE COVERED WITH MULCH OR SEED. SEE PLANTING LEGEND.
10. MINIMUM INSTALLATION SIZES FOR PLANT MATERIAL VARY BY SPECIES. SEE PLANT LEGEND.
11. A MINIMUM OF 75% OF THE LANDSCAPE AREA SHALL BE COVERED WITH LIVE VEGETATIVE MATERIALS AT MATURITY.

IRRIGATION NOTES

1. THE IRRIGATION SYSTEM DESIGN SHALL COMPLY WITH ALL CITY WATER CONSERVATION LANDSCAPE AND WASTE WATER ORDINANCES.
2. A FULLY AUTOMATED IRRIGATION SYSTEM IS USED TO IRRIGATE TREES, SHRUBS AND GROUNDCOVER. PLANTING AREAS NEW IRRIGATION FOR NEW PLANT MATERIALS WILL TIE INTO THE EXISTING AUTOMATED SYSTEM.
3. THE IRRIGATION SYSTEM IS CONNECTED TO CITY WATER. THE POINT OF CONNECTION INCLUDES A WATER METER AND BACKFLOW PREVENTER.
4. THE NEW IRRIGATION SYSTEM ZONES SHALL BE DESIGNED WITH SEPARATE ZONES ACCORDING TO PLANT WATER REQUIREMENTS.
5. EACH NEW TREE SHALL RECEIVE THREE (3) - ONE (1) GPH EMITTERS. EACH SHRUB/PERENNIAL SHALL RECEIVE TWO (2) - ONE (1) GPH EMITTERS.
6. THE MAINTENANCE OF THE IRRIGATION SYSTEM SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

LANDSCAPE CALCULATIONS

TOTAL SITE AREA: 1,655,598 SF = 38.0 AC
 TOTAL BUILDING AREA: 498,280 SF
 TOTAL R.O.W. AREA: 18,288 SF
 NET LOT AREA: 1,141,010 SF = 26.19 AC

REQUIRED LANDSCAPE AREA: 15% OF NET LOT AREA = 171,152 SF
 PROVIDED LANDSCAPE AREA (NOT INCL. R.O.W.): 413,778 SF = 30%

REQUIRED OPEN SPACE: 3% OF NET LOT AREA = 57,090 SF
 EXISTING OPEN SPACE: 122,320 SF = 10.7%

NEW GRAVEL BED PROVIDED: 63,894 SF
 REQUIRED NEW LIVE GROUNDCOVER: 75% OF NEW GRAVEL BED = 47,770 SF
 PROVIDED NEW LIVE GROUNDCOVER: 47,880 SF

TREES/PARKING SPACES
 REQUIRED: 1 TREE/10 PARKING SPACES = 2,903 PARKING SPACES/10 = 291 TREES
 PROVIDED: 357 TREES (274 EXISTING/83 NEW)



7601 JEFFERSON NE SUITE 100
 ALBUQUERQUE, NM 87109
 505.761.9700 / DPSDESIGN.ORG

SEAL

PROJECT

Presbyterian Rev. Hugh Cooper
 Administrative Center - DRB SUBMITTAL
 9521 San Mateo NE
 Albuquerque, New Mexico

REVISIONS

DRAWN BY	CC
REVIEWED BY	MB
DATE	12/03/2015
PROJECT NO	15-0129

DRAWING NAME
**LANDSCAPE PLAN,
 NOTES, AND
 CALCULATIONS**

SHEET NO
L-100

A1 OVERALL LANDSCAPE PLAN
 1" = 60'

**DEKKER
PERICH
SABATINI**

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ALBUQUERQUE, NM 87109
505 761 9700 / DPSDESIGN DRG

SEAL

PROJECT

Presbyterian Rev. Hugh Cooper
Administrative Center - DRB SUBMITTAL
9521 San Mateo NE
Albuquerque, New Mexico

REVISIONS

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- △
- △
- △
- △

DRAWN BY CC
REVIEWED BY MB
DATE 12/03/2015
PROJECT NO 15-0129

DRAWING NAME
LANDSCAPE PLAN

SHEET NO
L-101

PLANTING LEGEND
SEE SHEET L-501 FOR FULL PLANTING SCHEDULE

TREES	
SYMBOL	COMMON NAME
	BLOODGOOD JAPANESE MAPLE
	DESERT WILLOW
	NEW MEXICO OLIVE
	MODESTO ASH
	AFGAN PINE
	EXTRA BLUE LIMBER PINE
	CHINESE PISTACHE
	TEXAS RED OAK
	MEXICAN ELDER
	ALLEE ELM
	CHASTE TREE

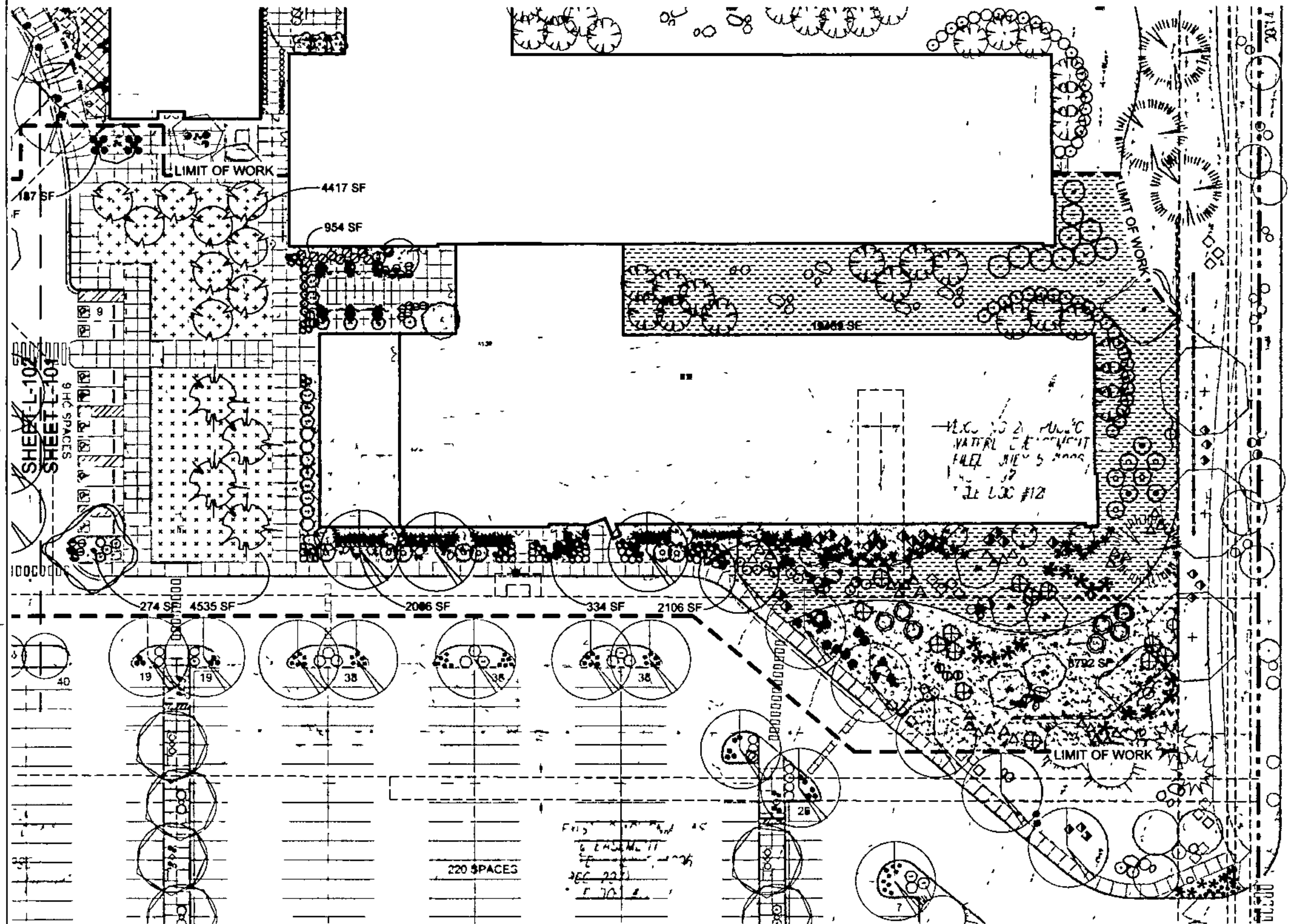
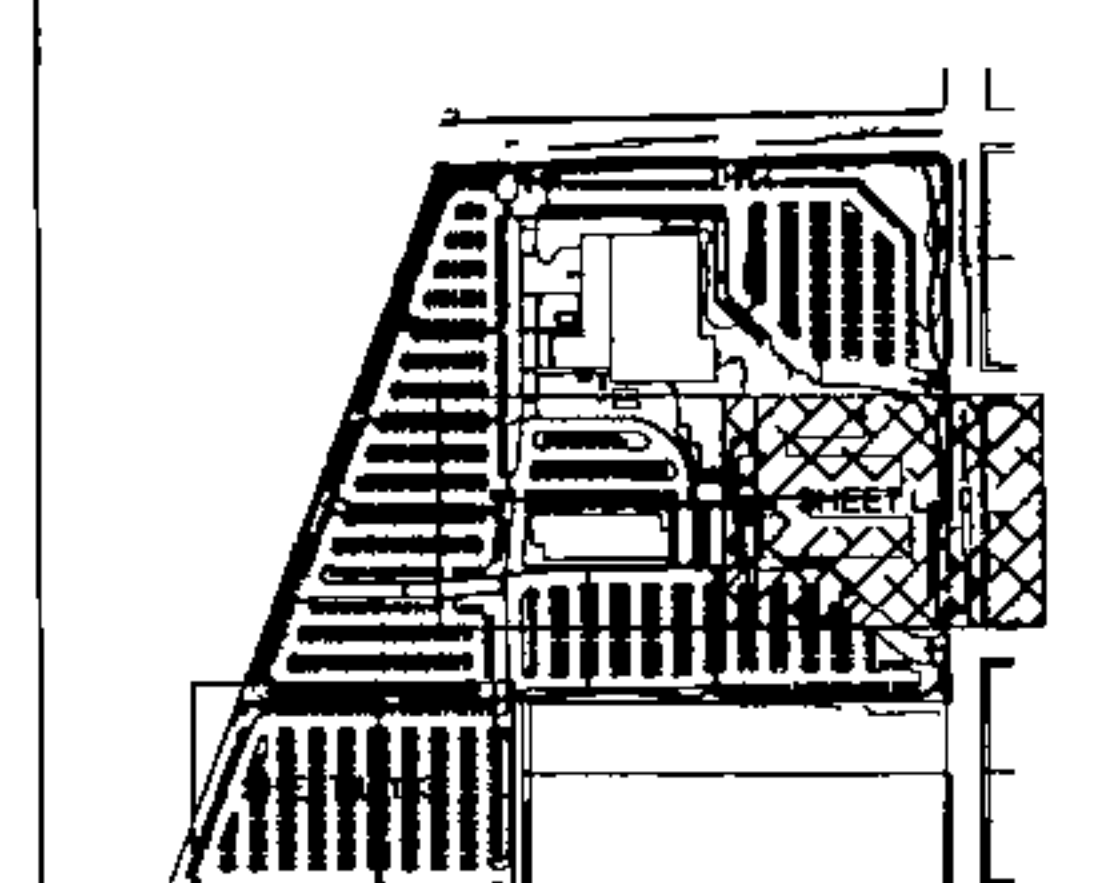
SHRUBS / PERENNIALS	
SYMBOL	COMMON NAME
	THOMPSON BROOM
	TRUMPET VINE
	DARK KNIGHT BLUE MIST SPIREA
	FERNBUSH
	BAILEY'S REDTWIG DOGWOOD
	CORAL BEAUTY COTONEASTER
	CONFLOWER
	APACHE PLUME
	BLANKETFLOWER
	PINK WHIRLING BUTTERFLIES
	BLUE CHIP JUNIPER
	DEEP BLUE LAVENDER
	CREEPING OREGON GRAPE
	SHRUBBY CINQUEFOIL
	WESTERN SAND CHERRY
	PINK LADY INDIA HAWTHORN
	ARP ROSEMARY
	CREEPING GERMANDER
	PERIWINKLE
	WISTERIA

SUCCULENTS	
SYMBOL	COMMON NAME
	PARRY'S AGAVE
	RED MOUNTAIN ICEPLANT
	RED YUCCA
	BEARGRASS
	GREY DESERT SPOON

GRASSES	
SYMBOL	COMMON NAME
	FEATHER REED GRASS
	BLUE FESCUE
	MAIDENHAIR GRASS
	EL TORO MUHLY
	DEER GRASS
	THREAD GRASS

MULCHES	
SYMBOL	DESCRIPTION
	3/4" ROCK MULCH, COLOR: SANTA ANA TAN
	CRUSHER FINES, COLOR: AMARETTO BROWN
	SEEDING - NATIVE GRASS MIX, IRRIGATED
	SEEDING - WILDFLOWER/GRASS MIX
	SEEDING - ALBUQUERQUE EASTSIDE MIX
	LANDSCAPE BOULDERS- 3'X3' MIN
	EXISTING PLANT MATERIAL TO REMAIN

KEYPLAN



A1 LANDSCAPE PLAN
1" = 30'-0"
NORTH

**DEKKER
PERICH
SABATINI**

7601 JEFFERSON NE SUITE 100
ALBUQUERQUE, NM 87109

505 761 9700 / DPSDESIGN.ORG

SEAL

PROJECT
**Presbyterian Rev. Hugh Cooper
Administrative Center - DRB SUBMITTAL**
9521 San Mateo NE
Albuquerque, New Mexico

REVISIONS
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DRAWN BY: CC
REVIEWED BY: MB
DATE: 12/03/2015
PROJECT NO: 15-0129

DRAWING NAME
LANDSCAPE PLAN

SHEET NO
L-102

PLANTING LEGEND
SEE SHEET L-501 FOR FULL PLANTING SCHEDULE

TREES	
SYMBOL	COMMON NAME
○	BLOODGOOD JAPANESE MAPLE
○	DESERT WILLOW
○	NEW MEXICO OLIVE
○	MODESTO ASH
○	AFGAN PINE
○	EXTRA BLUE LIMBER PINE
○	CHINESE PISTACHE
○	TEXAS RED OAK
○	MEXICAN ELDER
○	ALLEE ELM
○	CHASTE TREE

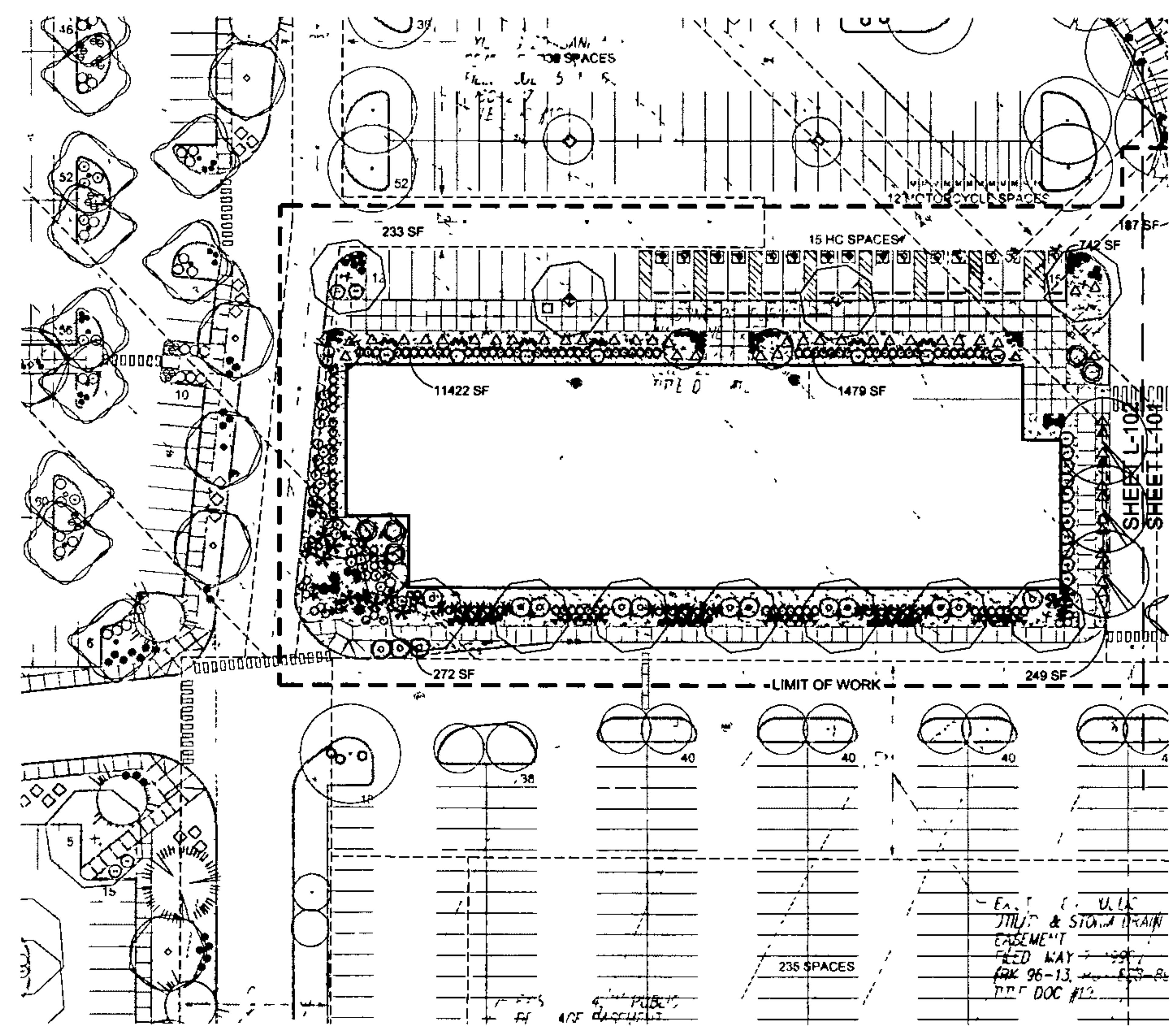
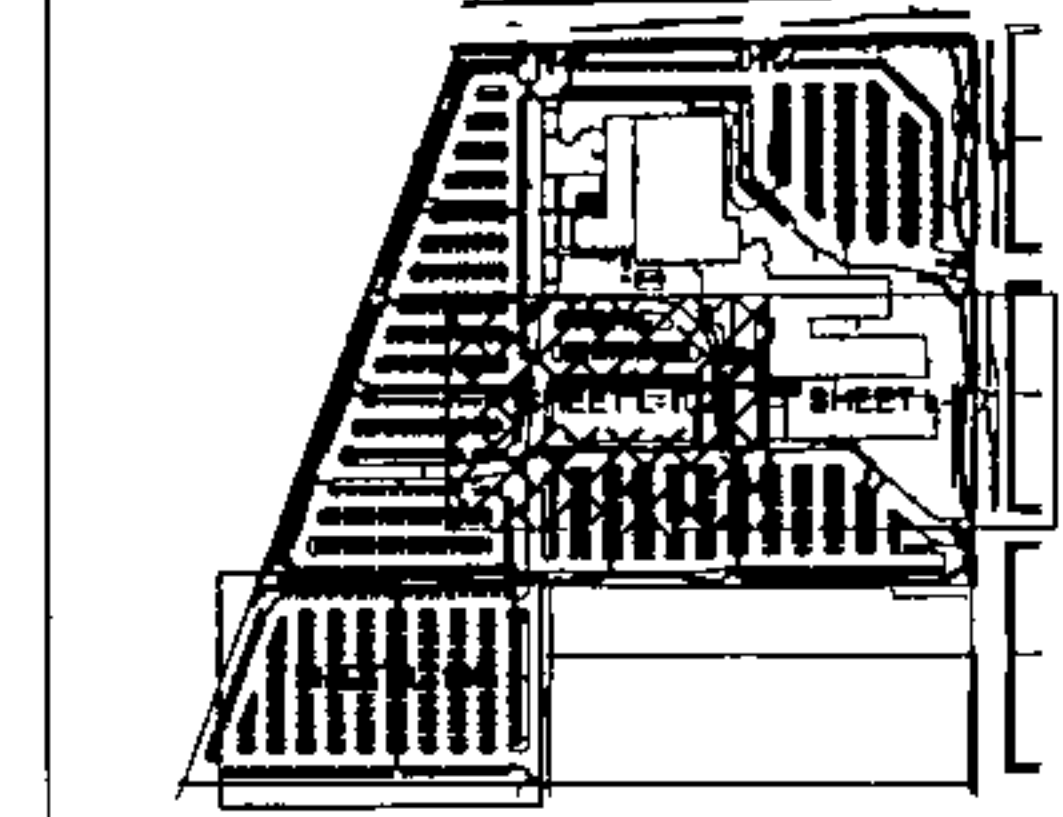
SHRUBS / PERENNIALS	
SYMBOL	COMMON NAME
○	THOMPSON BROOM
○	TRUMPET VINE
○	DARK KNIGHT BLUE MIST SPIREA
○	FERNBUSH
○	BAILEY'S REDTNG DOGWOOD
○	CORAL BEAUTY COTONEASTER
○	CONFLOWER
○	APACHE PLUME
○	BLANKETFLOWER
○	PINK WHIRLING BUTTERFLIES
○	BLUE CHIP JUNIPER
○	DEEP BLUE LAVENDER
○	CREEPING OREGON GRAPE
○	SHRUBBY CINQUEFOIL
○	WESTERN SAND CHERRY
○	PINK LADY INDIA HAWTHORN
○	ARP ROSEMARY
○	CREEPING GERMANDER
○	PERWINKLE
○	WISTERIA

SUCCULENTS	
SYMBOL	COMMON NAME
○	PARRY'S AGAVE
○	RED MOUNTAIN ICEPLANT
○	RED YUCCA
○	BEARGRASS
○	GREY DESERT SPOON

GRASSES	
SYMBOL	COMMON NAME
○	FEATHER REED GRASS
○	BLUE FESCUE
○	MAIDENHAIR GRASS
○	EL TORO MUJLY
○	DEER GRASS
○	THREAD GRASS

MULCHES	
SYMBOL	DESCRIPTION
○	3/4" ROCK MULCH COLOR SANTA ANA TAN
○	CRUSHER FINES COLOR AMARETTO BROWN
○	SEEDING - NATIVE GRASS MIX IRRIGATED
○	SEEDING - WILDFLOWER/GRASS MIX
○	SEEDING - ALBUQUERQUE EASTSIDE MIX
○	LANDSCAPE BOULDERS- 3'X3' MIN
○	EXISTING PLANT MATERIAL TO REMAIN

KEYPLAN



A1 LANDSCAPE PLAN
1" = 30'-0"
NORTH

EX. P. C. U.I.A.
TULI & STONER
EASEMENT
ELED WAY
FOR 96-13
T.T. DOC #12

**DEKKER
PERICH
SABATINI**

7601 JEFFERSON NE SUITE 100
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SEAL

PROJECT

Presbyterian Rev. Hugh Cooper
Administrative Center - DRB SUBMITTAL
9521 San Mateo NE
Albuquerque, New Mexico

REVISIONS

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- △
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DRAWN BY: CC
REVIEWED BY: MB
DATE: 12/03/2015
PROJECT NO: 15-0129

DRAWING NAME:
LANDSCAPE PLAN

SHEET NO:
L-103

PLANTING LEGEND
SEE SHEET L-501 FOR FULL PLANTING SCHEDULE

TREES	
SYMBOL	COMMON NAME
○	BLOODGOOD JAPANESE MAPLE
○	DESERT WILLOW
○	NEW MEXICO OLIVE
○	MODESTO ASH
○	AFGAN PINE
○	EXTRA BLUE LIMBER PINE
○	CHINESE PISTACHE
○	TEXAS RED OAK
○	MEXICAN ELDER
○	ALLEE ELM
○	CHASTE TREE

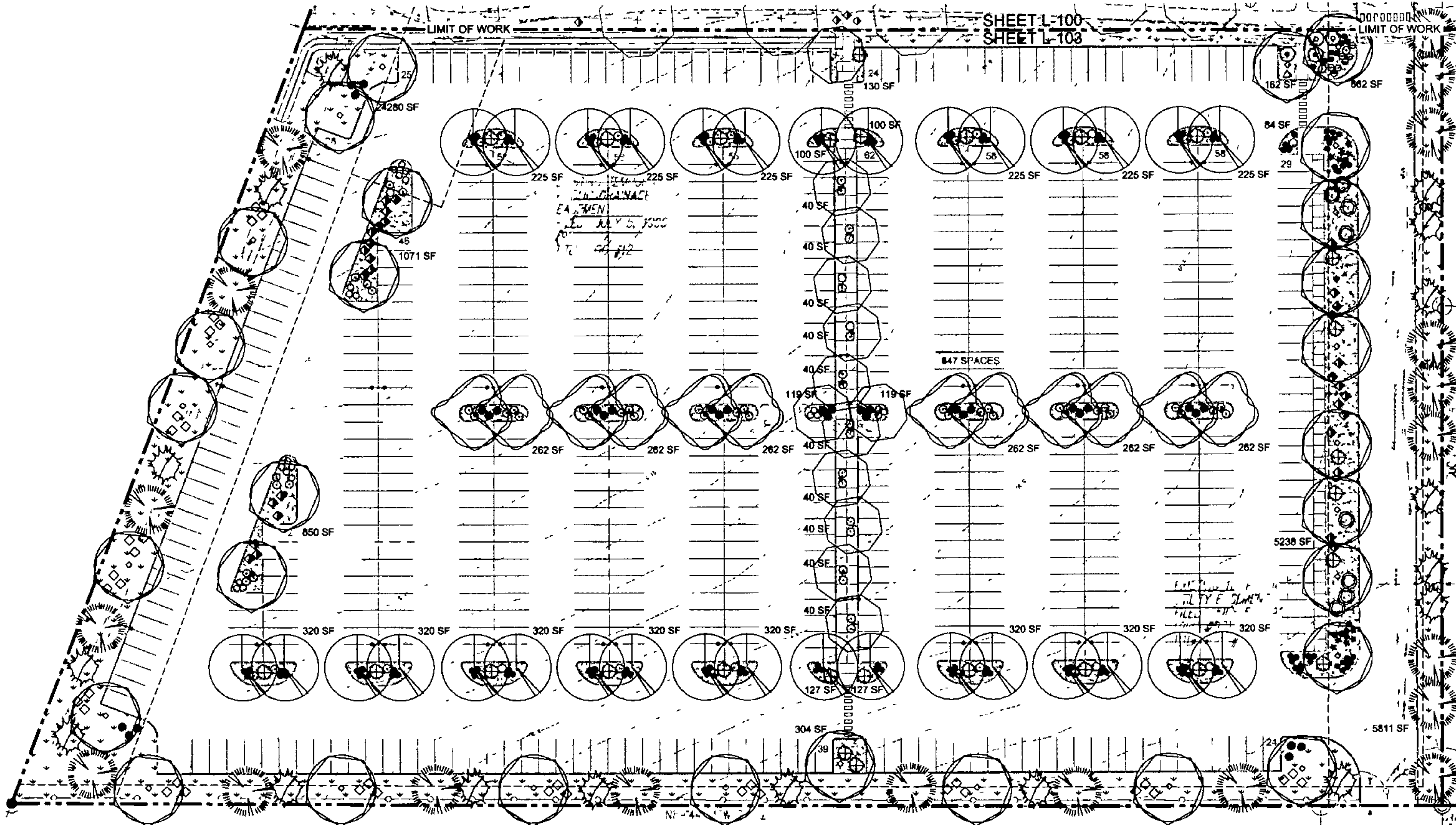
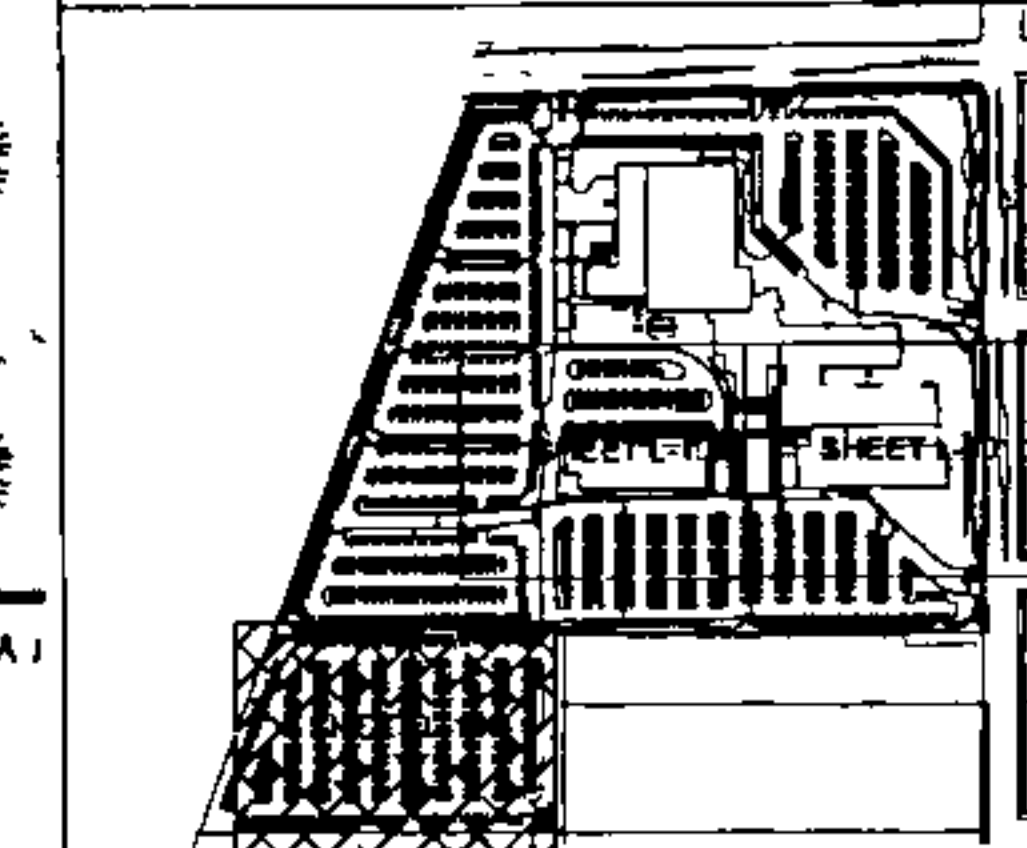
SHRUBS / PERENNIALS	
SYMBOL	COMMON NAME
○	THOMPSON BROOM
○	TRUMPET VINE
○	DARK KNIGHT BLUE MIST SPIREA
○	FERNBUSH
○	BAILEY'S REDTWIG DOGWOOD
○	CORAL BEAUTY COTONEASTER
○	CONFLOWER
○	APACHE PLUME
○	BLANKETFLOWER
○	PINK WHIRLING BUTTERFLIES
○	BLUE CHIP JUNIPER
○	DEEP BLUE LAVENDER
○	CREeping OREGON GRAPE
○	SHRUBBY CINQUEFOIL
○	WESTERN SAND CHERRY
○	PINK LADY INDIA HAWTHORN
○	ARP ROSEMARY
○	CREeping GERMANDER
○	PERWINKLE
○	WISTERIA

SUCCULENTS	
SYMBOL	COMMON NAME
○	PARRY'S AGAVE
○	RED MOUNTAIN ICEPLANT
○	RED YUCCA
○	BEARGRASS
○	GREY DESERT SPOON

GRASSES	
SYMBOL	COMMON NAME
○	FEATHER REED GRASS
○	BLUE FESCUE
○	MAIDENHAIR GRASS
○	EL TORO MUHLY
○	DEER GRASS
○	THREAD GRASS

MULCHES	
SYMBOL	DESCRIPTION
○	3/4" ROCK MULCH COLOR: SANTA ANA TAN
○	CRUSHER FINES COLOR: AMARETTO BROWN
○	SEEDING - NATIVE GRASS MIX IRRIGATED
○	SEEDING - WILDFLOWER/GRASS MIX
○	SEEDING - ALBUQUERQUE EASTSIDE MIX
○	LANDSCAPE BOULDERS- 3"X3" MIN
○	EXISTING PLANT MATERIAL TO REMAIN

KEYPLAN



A1 LANDSCAPE PLAN
1" = 30'-0"
NORTH

**DEKKER
PERICH
SABATINI**

7601 JEFFERSON NE SUITE 100
ALBUQUERQUE, NM 87109

505 761 9700 / DPSDESIGN.ORG

SEAL

PROJECT

Presbyterian Rev. Hugh Cooper
Administrative Center - DRB SUBMITTAL
9521 San Mateo NE
Albuquerque, New Mexico

REVISIONS

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DRAWN BY CC
REVIEWED BY MB
DATE 11/24/2015
PROJECT NO 15-0128

DRAWING NAME
**LANDSCAPE DETAILS,
AND SCHEDULE**

SHEET NO
L-501

PLANTING SCHEDULE

TREES SEE A1L-501					
SYMBOL	EST QTY	COMMON NAME	BOTANICAL NAME	INSTALLED SIZE	MATURE HT x DIA
	3	BLOODGOOD JAPANESE MAPLE	Acer palmatum 'Bloodgood'	30" box, Multi-Trunk	10' x 10'
	37	DESERT WILLOW	Chilopsis linearis	30" box	20' x 25'
	37	NEW MEXICO OLIVE	Forestiera newmexicana	30" box, Multi-Trunk	15' x 15'
	14	MODESTO ASH	Frazinus velutina 'Modesto'	2"-Cal	50' x 40'
	4	AFGAN PINE	Pinus edulis	6" height	40' x 18'
	4	EXTRA BLUE LIMBER PINE	Pinus flexilis 'Extra Blue'	6" height	30' x 20'
	39	CHINESE PISTACHE	Platanus chinensis	2"-Cal	80' x 60'
	3	TEXAS RED OAK	Quercus buckleyi	2"-Cal	40' x 40'
	18	MEXICAN ELDER	Sambucus mexicana	2"-Cal	20' x 25'
	18	ALLEE ELM	Ulmus parvifolia 'Emer II' P.P.	2"-Cal	50' x 35'
	29	CHASTE TREE	Vitex agnus-castus	30" box, Multi-Trunk	20' x 20'

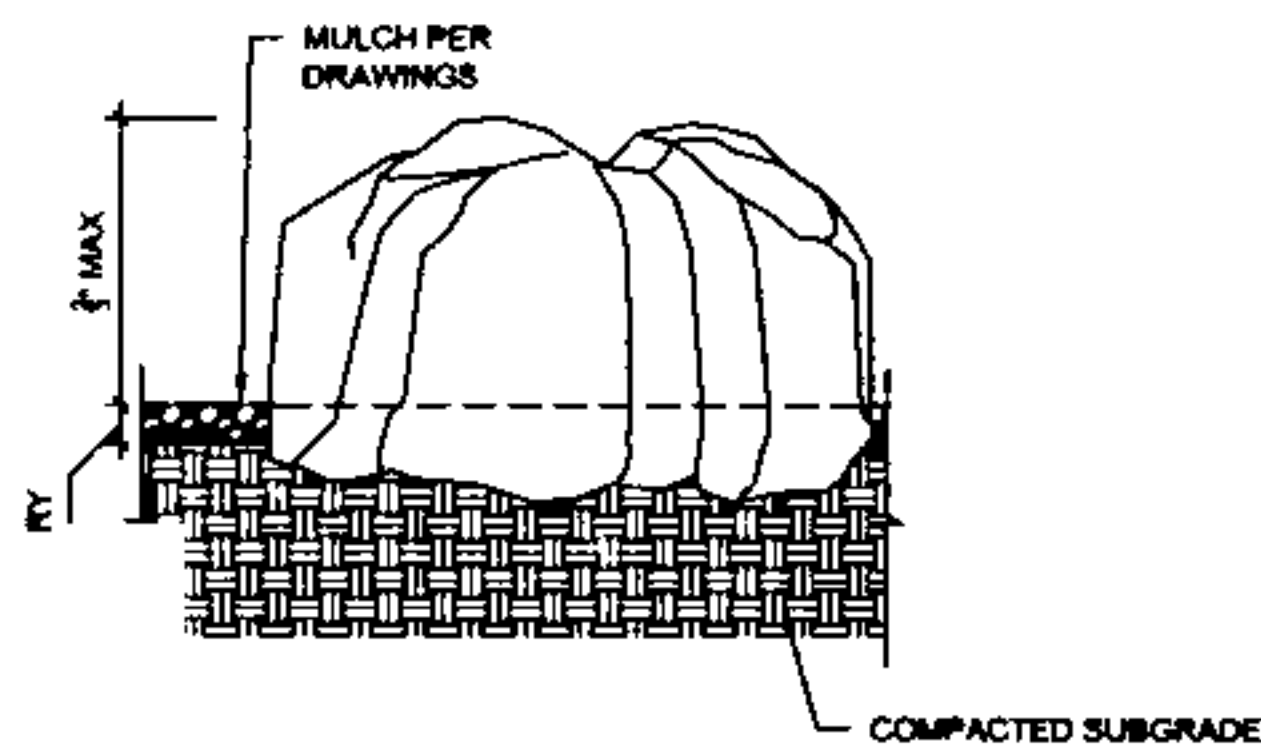
SHRUBS / PERENNIALS SEE A2L-501, A3L-501					
SYMBOL	EST QTY	COMMON NAME	BOTANICAL NAME	INSTALLED SIZE	MATURE HT x DIA
	71	THOMPSON BROOM	Baccharis hybrid 'Stam'	1 Gal	3' x 7'
	24	TRUMPET VINE	Campsis radicans	1 Gal	3' x 15'
	29	DARK KNIGHT BLUE MIST SPIREA	Caryopteris dandenonensis 'Dark Knight'	1 Gal	3' x 3'
	13	FERNBUSH	Chamaebatia millefolium	1 Gal	6' x 6'
	16	BAILEY'S REDTIG WOOD	Cornus sericea 'Bailey'	1 Gal	6' x 10'
	12	CORAL BEAUTY DOTONEASTER	Cotoneaster dammeri 'Coral Beauty'	1 Gal	2' x 6'
	36	CONEFLOWER	Echinacea purpurea 'PowWow Wild Berry'	1 Gal	2' x 1'
	43	APACHE PLUME	Fragaria parviflora	1 Gal	4' x 5'
	60	BLANKETFLOWER	Gaillardia aristata	1 Gal	3' x 3'
	59	WHIRLING BUTTERFLIES	Geum lindheimeri 'Pink Cloud'	1 Gal	2' x 2'
	83	BLUE CHIP JUNIPER	Juniperus horizontalis 'Blue Chip'	1 Gal	1' x 8'
	145	LAVENDER	Lavandula angustifolia 'Hidcote'	1 Gal	15' x 15'
	83	CREeping OREGON GRAPE	Mahonia aquifolium 'Compacta'	1 Gal	2' x 2'
	5	SHRUBBY CINQUEFOIL	Potentilla fruticosa	1 Gal	3' x 3'
	22	WESTERN SAND CHERRY	Prunus besseyi	1 Gal	3' x 3'
	5	PINK LADY INDIA HAWTHORN	Raphiolepis indica 'Pink Lady'	1 Gal	5' x 5'
	88	ARP ROSEMARY	Rosmarinus officinalis 'Arp'	1 Gal	4' x 4'
	109	CREeping GERMANDER	Teucrium chamaedrya 'Prostratum'	1 Gal	1' x 2'
	54	ARCADIA JUNIPER	Juniperus sabina var. arcadia	1 Gal	2' x 6'
	6	WISTERIA	Wisteria chinensis	1 Gal	

SUCCULENTS SEE A2L-501					
SYMBOL	EST QTY	COMMON NAME	BOTANICAL NAME	INSTALLED SIZE	MATURE HT x DIA
	6	PARRY'S AGAVE	Agave parryi	1 Gal	2' x 2'
	92	RED MOUNTAIN ICEPLANT	Desfontainia dyeri 'Red Mountain'	1 Gal	1' x 15'
	19	RED YUCCA	Hesperaloe parviflora	1 Gal	4' x 4'
	15	BEARGRASS	Holcus microcarpa	1 Gal	3' x 4'
	99	GREY DESERT SPOON	Dasylirion wheeleri	5 Gal	5' x 5'

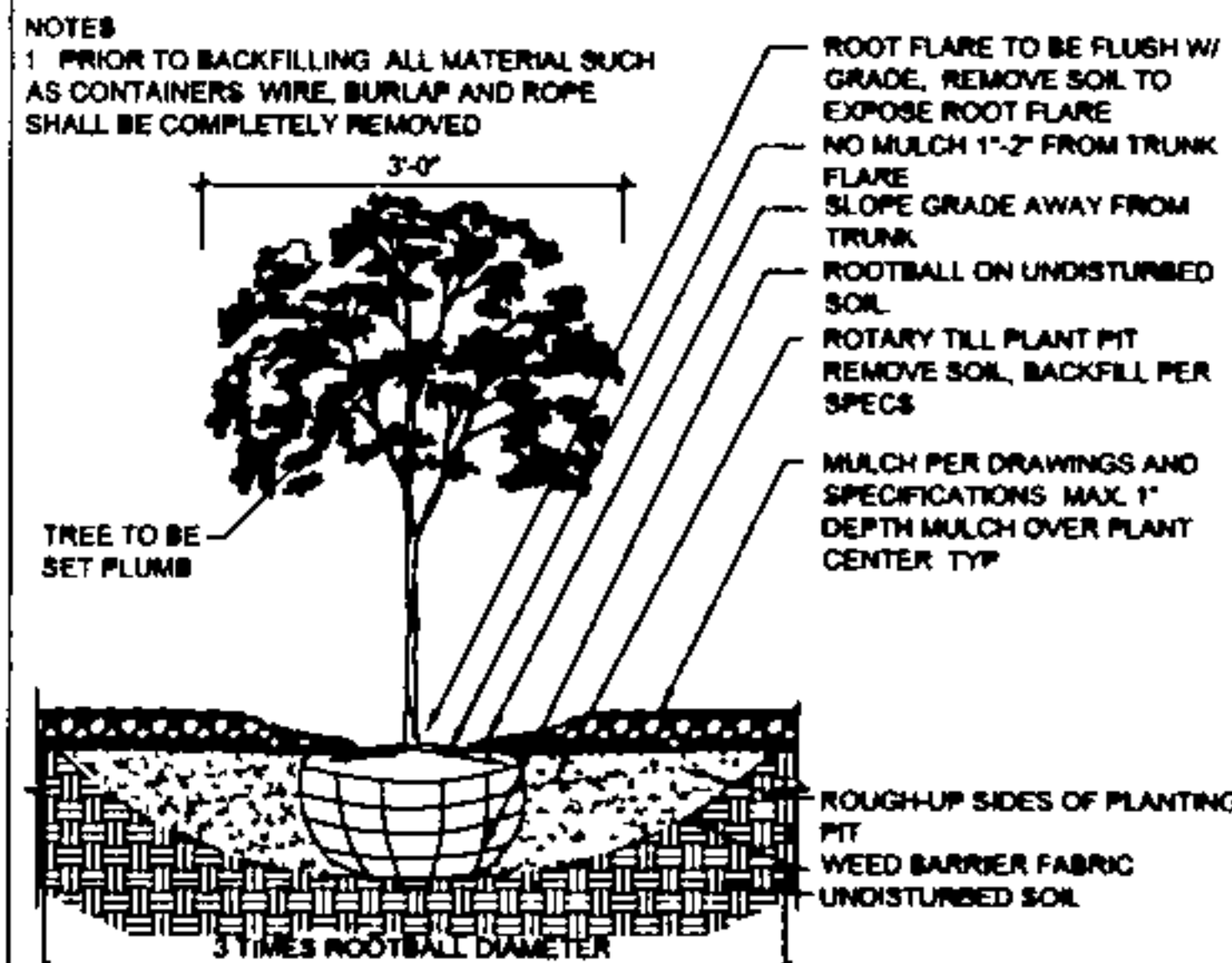
GRASSES SEE A2L-501					
SYMBOL	EST QTY	COMMON NAME	BOTANICAL NAME	INSTALLED SIZE	MATURE HT x DIA
	54	FEATHER REED GRASS	Calamagrostis scutiflora 'Karl Foerster'	1 Gal	4' x 2'
	54	BLUE FESCUE	Festuca Siskiyou Blue	1 Gal	2' x 1'
	30	MAIDENHAIR GRASS	Miscanthus sinensis 'Gracillimus'	1 Gal	5' x 5'
	21	EL TORO MUHLY	Muhlenbergia emersleyi 'El Toro'	1 Gal	2' x 3'
	4	DEER GRASS	Muhlenbergia rigens	1 Gal	4' x 4'
	177	THREAD GRASS	Nassella tenuissima	1 Gal	2' x 2'

MULCHES		
SYMBOL	EST QTY	DESCRIPTION
	44,205 SF	3/4" ROCK MULCH 3" DEPTH OVER FILTER FABRIC COLOR: SANTA ANA TAN AVAILABLE FROM LAFARGE NORTH AMERICA 505-343-7878
	19,489 SF	CRUSHED FINES 3" DEPTH OVER FILTER FABRIC COLOR: AMARETTO BROWN AVAILABLE FROM LAFARGE NORTH AMERICA 505-343-7878
	4,535 SF	AVAILABLE FROM LAFARGE NORTH AMERICA 505-343-7878
	4,417 SF	NATIVE GRASS SEEDING - SUMMER GREEN LAWN BLEND AVAILABLE FROM PLANTS OF THE SOUTHWEST 1-800-786-7333
	30,091 SF	WILDFLOWER SEEDING - 80% HIGH DESERT MIX/20% INDIAN RICE GRASS AVAILABLE FROM PLANTS OF THE SOUTHWEST 1-800-786-7333
	50	NATIVE SEEDING - ALBUQUERQUE EASTSIDE MIX AVAILABLE FROM CURTIS & CURTIS 1-575-782-4758
		LANDSCAPE BOULDERS- 3X3X3" MIN SEE B1L-501
		EXISTING PLANT MATERIAL TO REMAIN

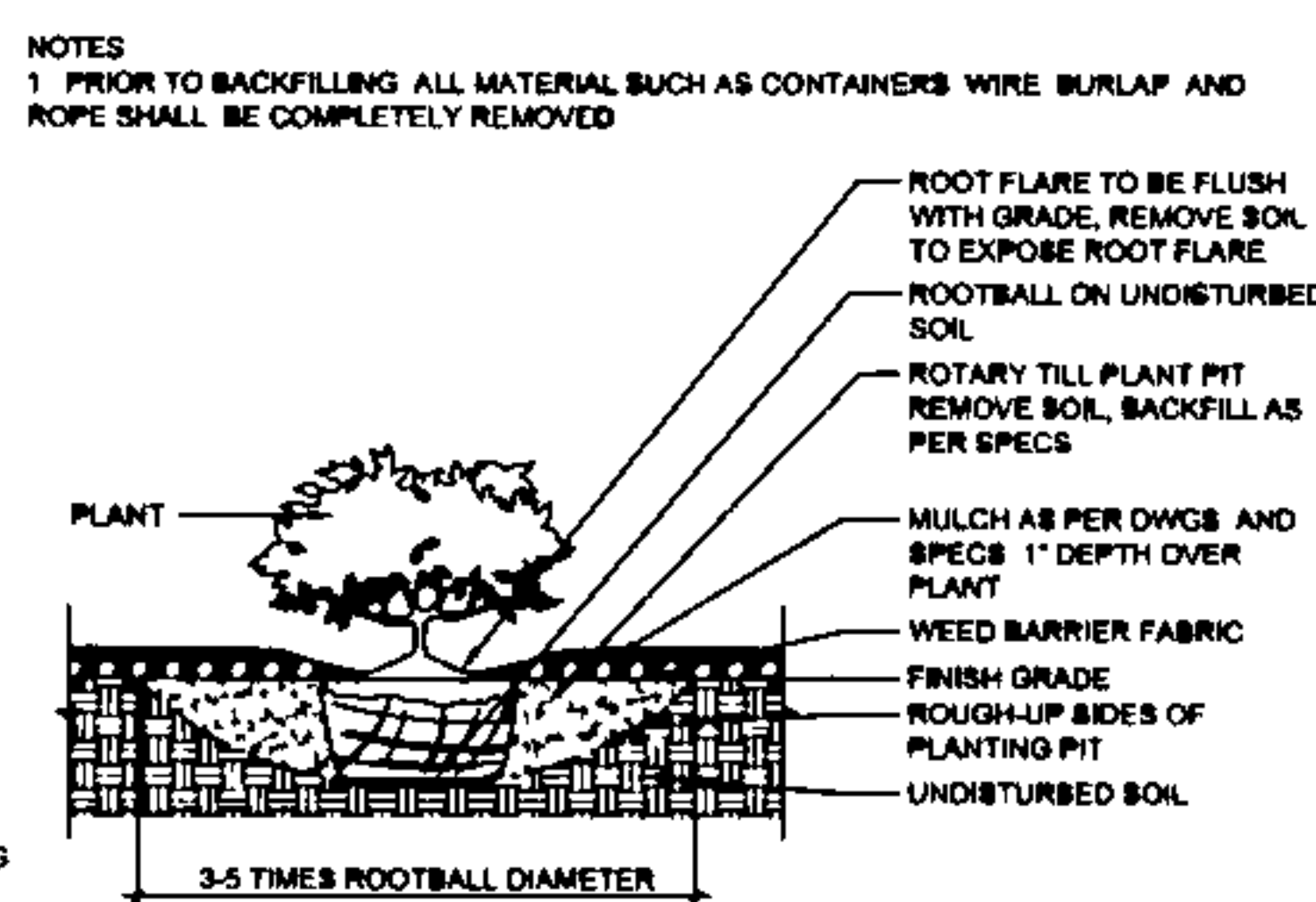
NOTES
1. BOULDER SELECTION AND PLACEMENT SHALL BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION



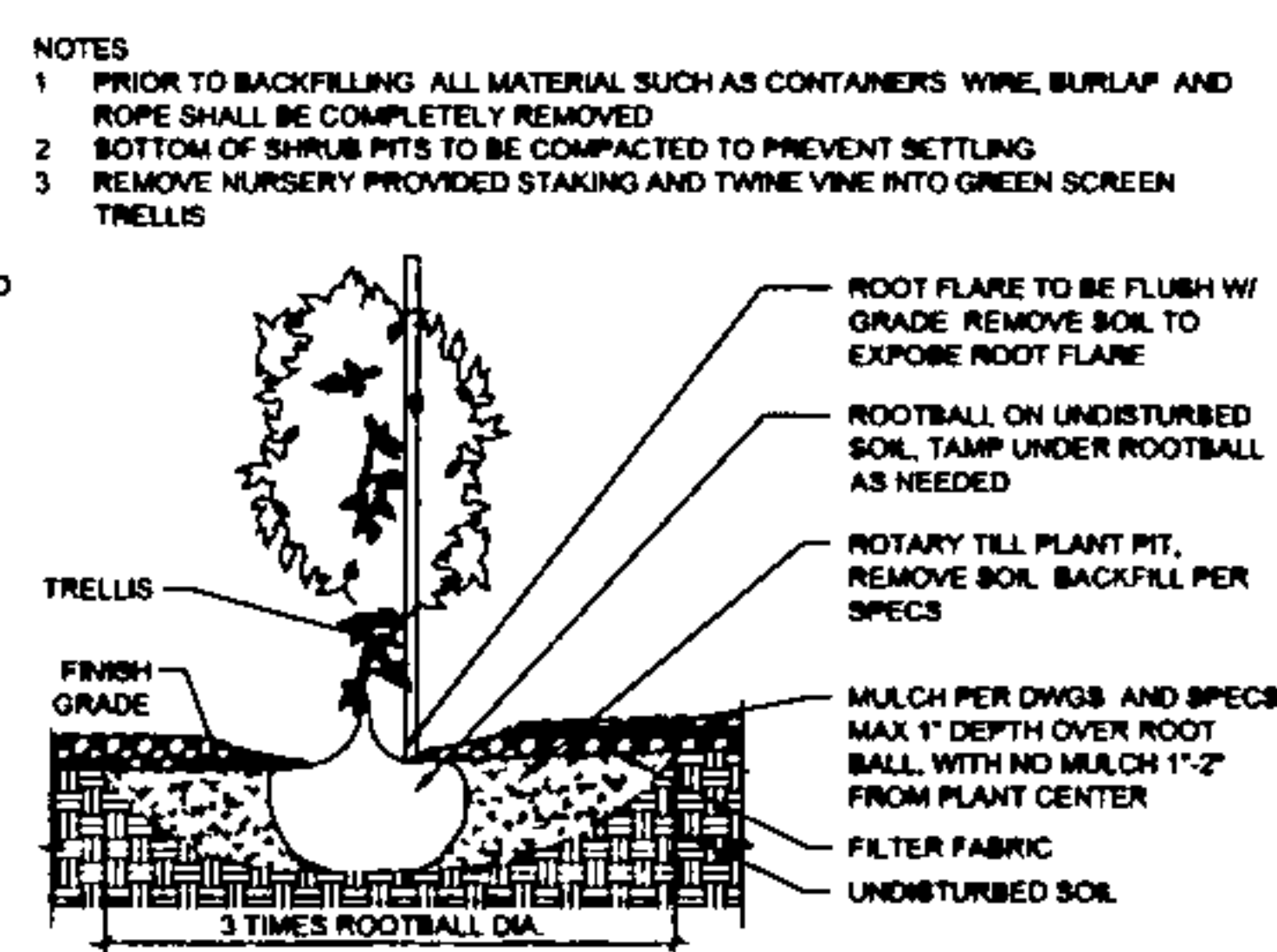
B1 BOULDER
3/4" = 1'-0"



A1 TREE IN PLANTING BED
3/4" = 1'-0"



A2 SHRUB IN BED
3/4" = 1'-0"



A3 VINE PLANTING
3/4" = 1'-0"

NOTES
1. PRIOR TO BACKFILLING ALL MATERIAL SUCH AS CONTAINERS WIRE, BURLAP AND ROPE SHALL BE COMPLETELY REMOVED

NOTES
1. PRIOR TO BACKFILLING ALL MATERIAL SUCH AS CONTAINERS WIRE, BURLAP AND ROPE SHALL BE COMPLETELY REMOVED
2. BOTTOM OF SHRUB PITS TO BE COMPACTED TO PREVENT SETTLING
3. REMOVE NURSERY PROVIDED STAKING AND TWINE VINE INTO GREEN SCREEN TRELLIS

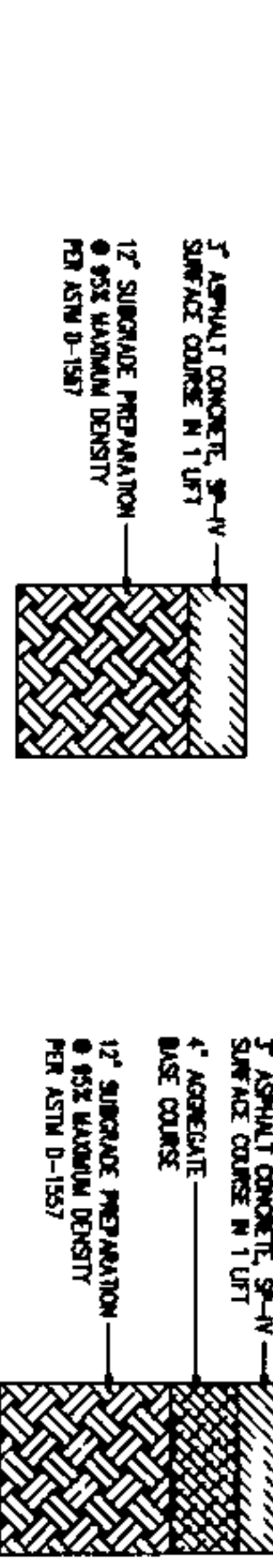
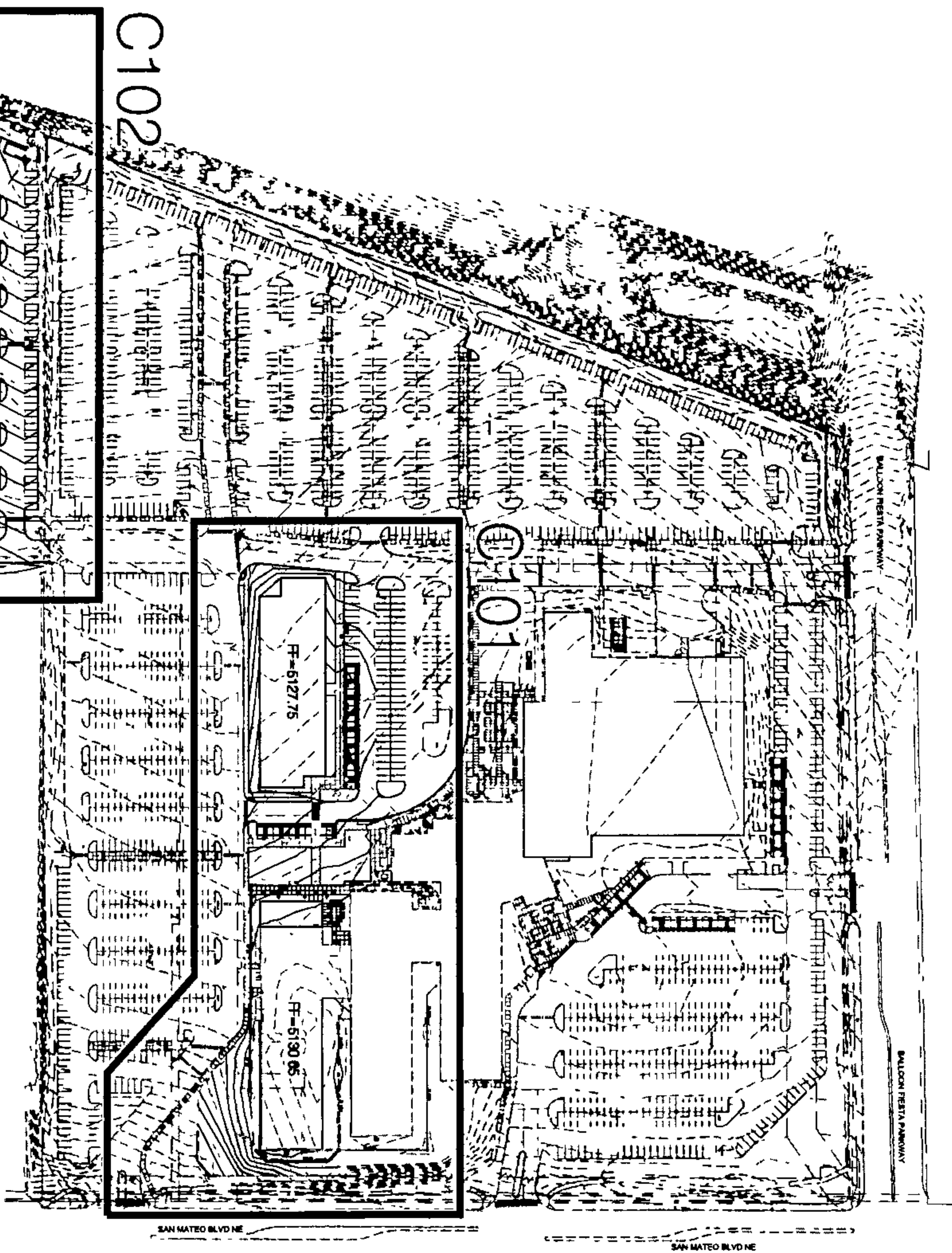
DEKKER
PERICH
SABATINI

7601 JEFFERSON NE, SUITE 100
ALBUQUERQUE, NM 87119
505.761.9700 / DP@DESIGN.DKG

Presbyterian Rev. Hugh Cooper
Administrative Center - DRB SUBMITTAL
9521 San Mateo NE
Albuquerque, New Mexico

DRAWN BY	GO
REVIEWED BY	GSB
DATE	12/03/2015
PROJECT NO.	15-0178
DRAWING NAME	OVERALL GRADING PLAN

SHEET NO
C100



GRADING & DRAINAGE NARRATIVE

1. THE PURPOSE OF THIS SUBMITTAL IS TO PROVIDE A CONCEPTUAL GRADING AND DRAINAGE PLAN FOR DEVELOPMENT OF THE PRESBYTERIAN COOPER CENTER LOCATED AT THE SOUTHWEST CORNER OF SAN MATEO BLVD AND BAYLON VISTA PARKWAY, LEA COUNTY, NEW MEXICO. THE SITE IS APPROXIMATELY 2.0 ACRES OF THE CORNER OF SAN MATEO BLVD AND BAYLON VISTA PARKWAY. THE SITE IS APPROXIMATELY 2.0 ACRES OF THE CORNER OF SAN MATEO BLVD AND BAYLON VISTA PARKWAY.

2. THE SITE IS CURRENTLY DEVELOPED WITH THE OLD DRIVE BUILDING AND AN ADJACENT THE ADJACENT DEVELOPMENT WITH THE STORM WATER TREATMENT SYSTEM AND THE ADJACENT DEVELOPMENT WITH THE STORM WATER TREATMENT SYSTEM AND THE ADJACENT DEVELOPMENT WITH THE STORM WATER TREATMENT SYSTEM.

3. THE GRADING AND DRAINAGE PLAN IS BASED ON THE 2011 LIDAR DATA PROVIDED BY THE CLIENT. THE GRADING AND DRAINAGE PLAN IS BASED ON THE 2011 LIDAR DATA PROVIDED BY THE CLIENT. THE GRADING AND DRAINAGE PLAN IS BASED ON THE 2011 LIDAR DATA PROVIDED BY THE CLIENT.

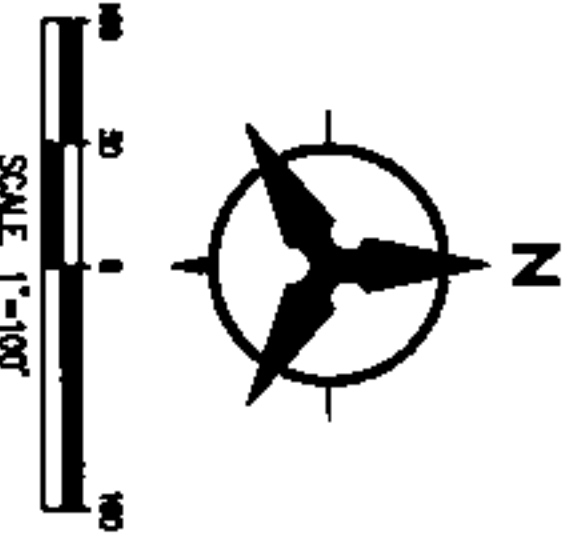
4. THE GRADING AND DRAINAGE PLAN IS BASED ON THE 2011 LIDAR DATA PROVIDED BY THE CLIENT. THE GRADING AND DRAINAGE PLAN IS BASED ON THE 2011 LIDAR DATA PROVIDED BY THE CLIENT. THE GRADING AND DRAINAGE PLAN IS BASED ON THE 2011 LIDAR DATA PROVIDED BY THE CLIENT.

GRADING NOTES

1. EXISTING PROPOSED GRADING SHALL BE PERFORMED AT THE DEVELOPER'S AND A ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. THE COST FOR REQUIRED CONSTRUCTION COSTS AND ENGINEERING FEES SHALL BE RESPONSIBLE TO THE CLIENT.
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE REGULATION, SITE PREPARATION, AND MAINTENANCE RESTRICTIONS, AS SHOWN ON THIS PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE, NEW MEXICO, AND THE STATE OF NEW MEXICO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE, NEW MEXICO, AND THE STATE OF NEW MEXICO.
4. EXISTING SPOTS SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
5. IT IS THE INTENT OF THESE PLANS THAT THE CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
6. THE CONTRACTOR IS TO DESIGN THAT NO SOIL EXPOSED FROM THE SITE DURING ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY.
7. A COMPLETE SET FOR ANY & ALL EXISTING UTILITIES, AND UNDEVELOPED MATERIAL AND/OR A BORING SITE CONTAINING ACCEPTABLE FILL MATERIAL, SHALL BE OBTAINED BY THE CONTRACTOR IN ACCORDANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE CONTRACTOR. ALL COSTS INCURRED IN OBTAINING A BORING OR BORING SITE AND FILL SHALL BE THE CONTRACTOR'S RESPONSIBILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE, NEW MEXICO, AND THE STATE OF NEW MEXICO.
8. FILING AND RECORDING CHARGES SHALL BE +/- \$1 FROM PLAN ELEVATIONS. PAID ELEVATIONS SHALL BE +/- \$1 FROM RECORDING PLAN ELEVATIONS.
9. ALL PROPOSED CONTOURS INDICATE TYPE OF PROPOSED ELEVATIONS IN THE FINISHED AREA AND MUST BE ADAPTED FOR MEASUREMENT AND RECORD.
10. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM DATUM OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.

GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE, NEW MEXICO, AND THE STATE OF NEW MEXICO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE, NEW MEXICO, AND THE STATE OF NEW MEXICO.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE, NEW MEXICO, AND THE STATE OF NEW MEXICO.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE, NEW MEXICO, AND THE STATE OF NEW MEXICO.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE, NEW MEXICO, AND THE STATE OF NEW MEXICO.
5. ALL UTILITIES, INCLUDING WATER, GAS, AND OTHER UTILITIES, SHALL BE MAINTAINED AND PROTECTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE, NEW MEXICO, AND THE STATE OF NEW MEXICO.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE, NEW MEXICO, AND THE STATE OF NEW MEXICO.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE, NEW MEXICO, AND THE STATE OF NEW MEXICO.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE, NEW MEXICO, AND THE STATE OF NEW MEXICO.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE, NEW MEXICO, AND THE STATE OF NEW MEXICO.
10. ALL PROPOSED CONTOURS INDICATE TYPE OF PROPOSED ELEVATIONS IN THE FINISHED AREA AND MUST BE ADAPTED FOR MEASUREMENT AND RECORD.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE, NEW MEXICO, AND THE STATE OF NEW MEXICO.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE, NEW MEXICO, AND THE STATE OF NEW MEXICO.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE, NEW MEXICO, AND THE STATE OF NEW MEXICO.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE, NEW MEXICO, AND THE STATE OF NEW MEXICO.



LEGEND

---	PROPERTY LINE
---	EXISTING CONTOURS
---	EXISTING PROPOSED SPOT ELEVATION
●	EXISTING SPOT ELEVATION
---	PROPOSED SPOT ELEVATION
---	PROPOSED CONTOUR
---	PROPOSED NEIGHBOR CONTOUR
---	PROPOSED CURB & GUTTER
---	EXISTENT
---	PROPOSED STORM DRAIN LINE
---	PROPOSED STORM DRAIN MANHOLE
---	PROPOSED STORM DRAIN VAULT

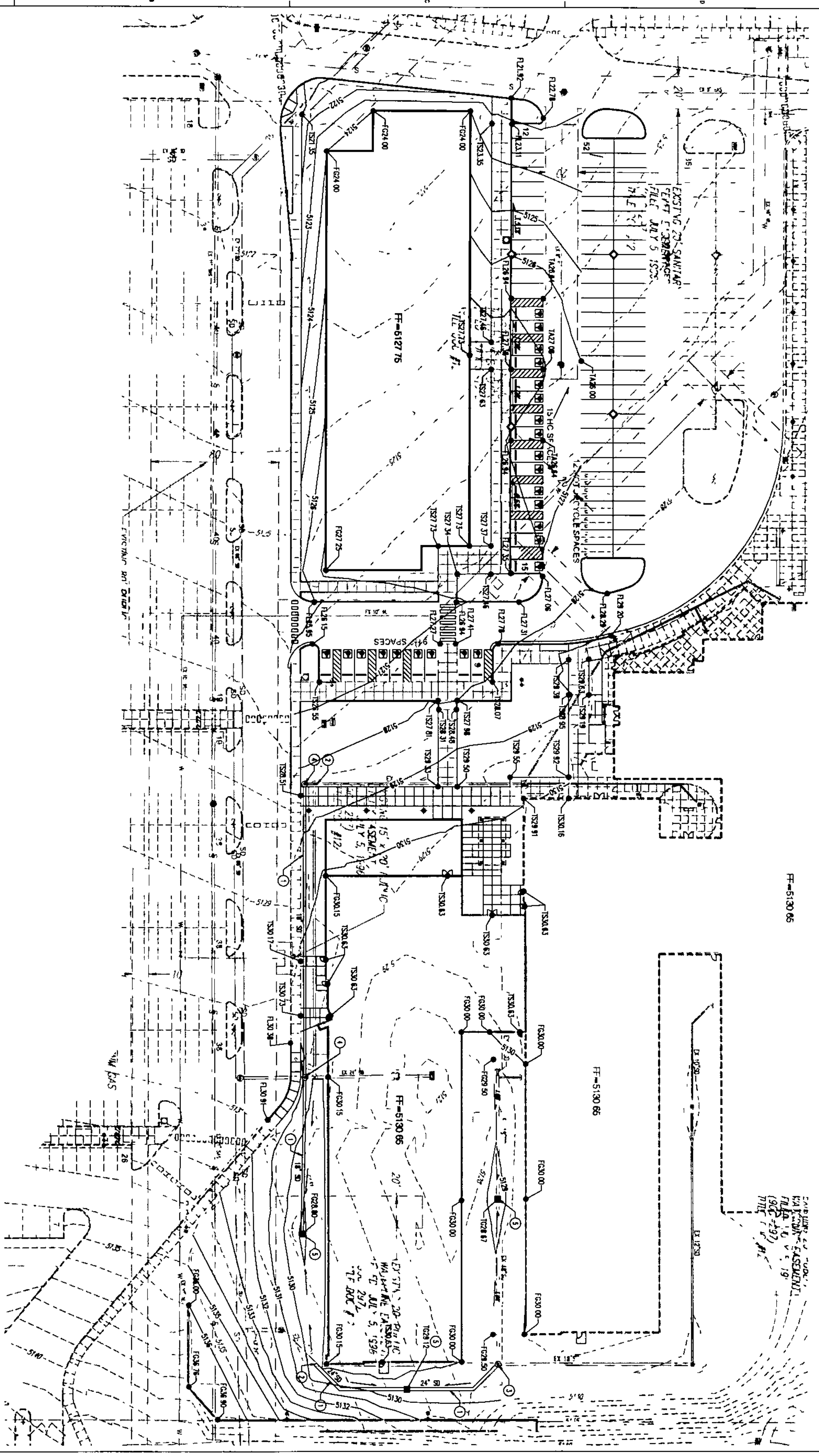
DEKER
PERICH
SABATINI

7601 JEFFERSON NE, SUITE 100
ALBUQUERQUE, NM 87110
505.761.9710 / DPOSSIGN ONE

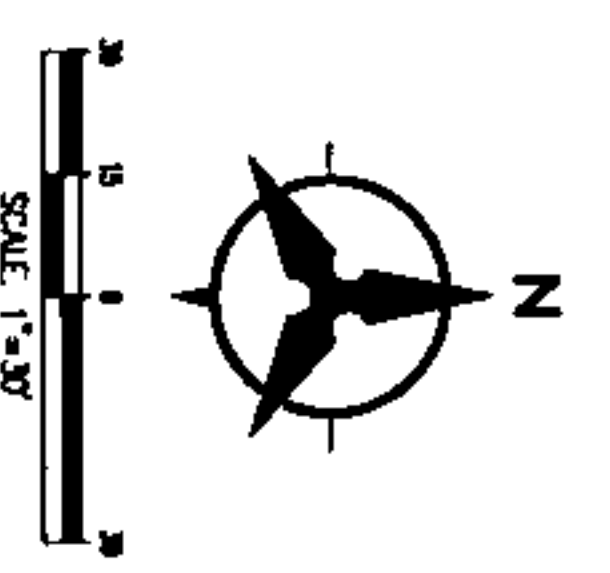
PROJECT
**Presbyterian Rev. Hugh Cooper
Administrative Center - DRB SUBMITTAL**
9521 San Mateo NE
Albuquerque, New Mexico

REVISIONS
DRAWING NAME
GRADING PLAN

SHEET NO
C101



- KEYED NOTES
- 1 NEW STORM DRAIN PIPE
 - 2 CONNECT TO EXISTING STORM DRAIN PIPE
 - 3 REMOVE & REPAIR EXISTING 4" DIA STORM DRAIN MANHOLE
 - 4 NEW 4" DIA STORM DRAIN MANHOLE
 - 5 NEW STORM DRAIN INLET



**DEKKER
PERICH
SABATINI**

7601 JEFFERSON NE, SUITE 100
ALBUQUERQUE, NM 87109
505.761.9700 / DPSDESIGN.ORG

SEAL

PROJECT

**Presbyterian Rev. Hugh Cooper
Administrative Center - DRB SUBMITTAL**
9521 San Mateo NE
Albuquerque, New Mexico

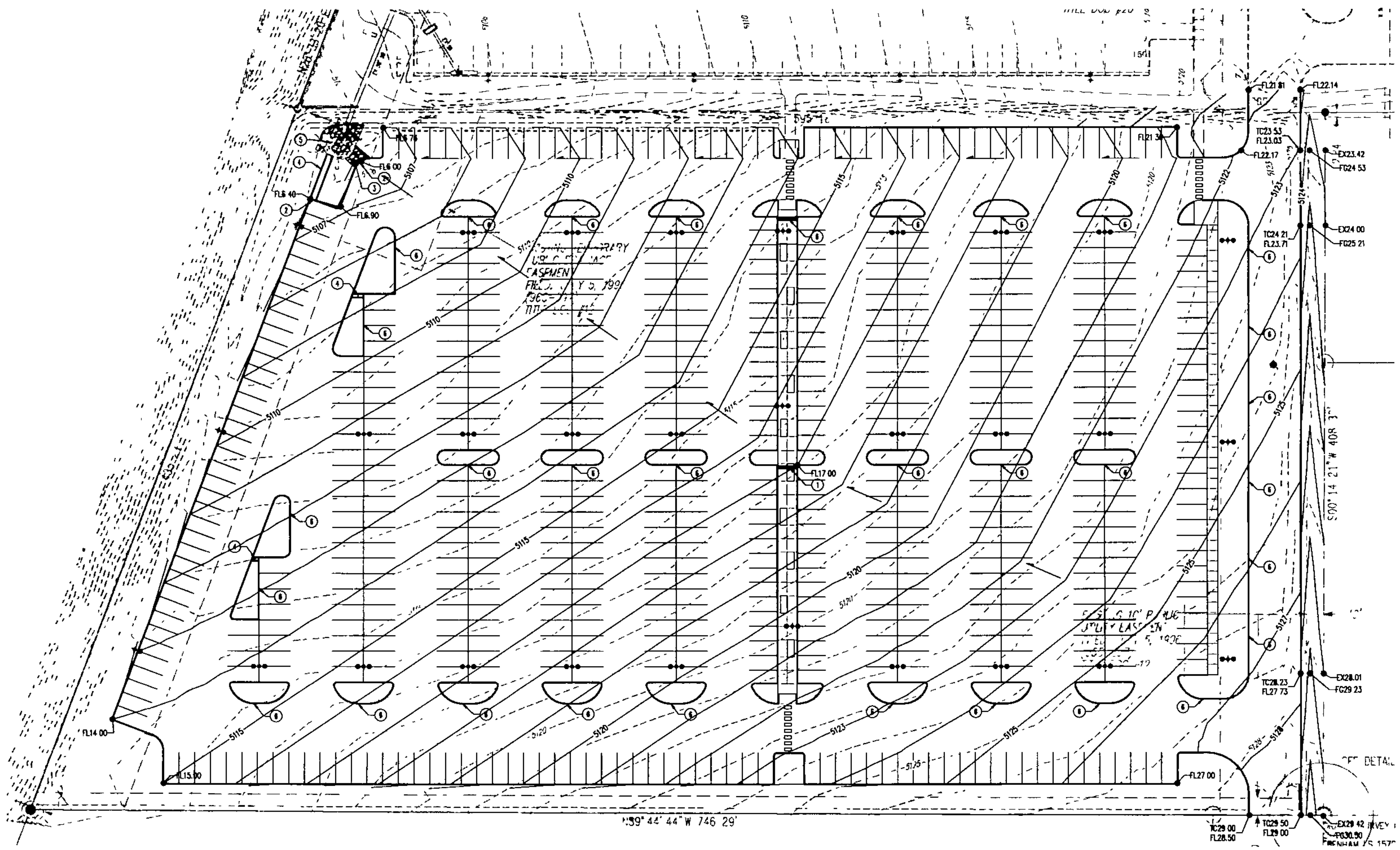
REVISIONS

- △
- △
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DRAWN BY	BO
REVIEWED BY	GSB
DATE	12/03/2015
PROJECT NO	15-0129

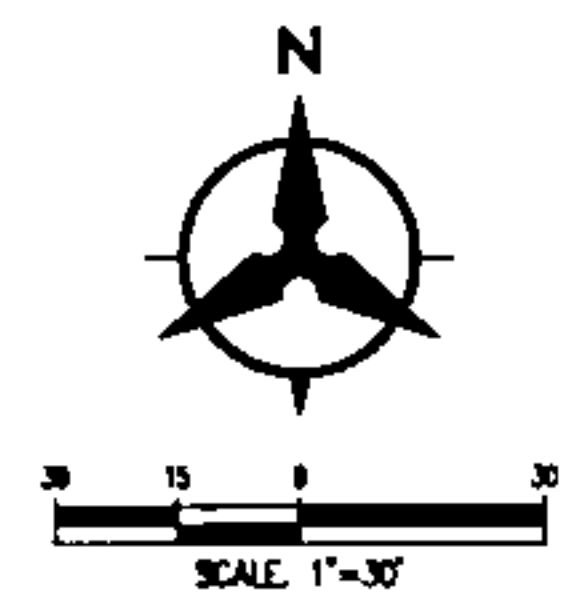
DRAWING NAME
GRADING PLAN

SHEET NO
C102



○ KEYED NOTES

- 1 SIDEWALK CULVERT
- 2 CURB OPENING
- 3 RIP-RAP RUNDOWN
- 4 CONCRETE RIBBON CHANNEL
- 5 EXISTING GROUTED RIP-RAP TO REMAIN
- 6 12" WIDE CURB OPENING & DEPRESSED LANDSCAPE AREA



**DEKKER
PERICH
SABATINI**

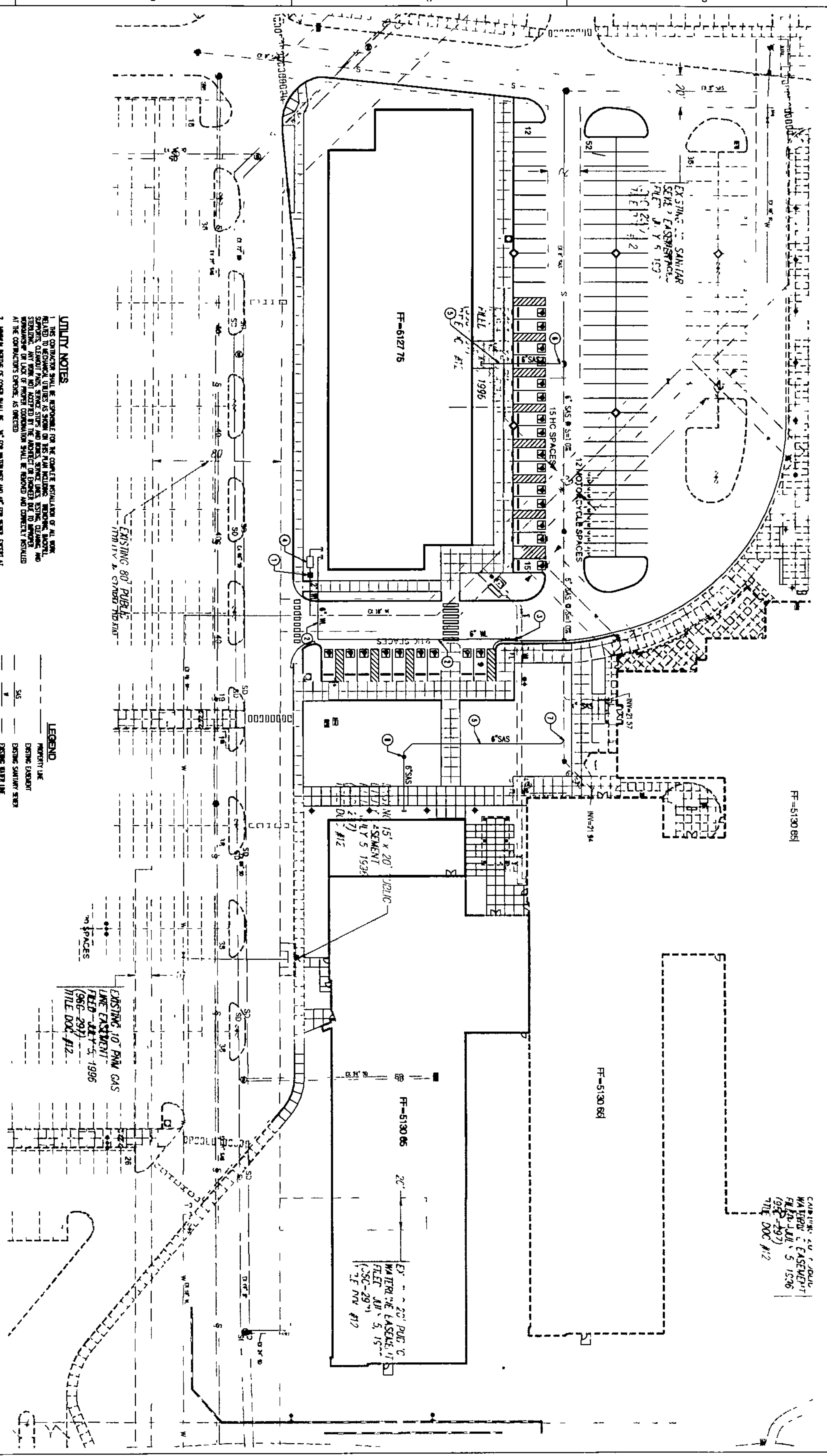
7601 JEFFERSON NE SUITE 110
ALBUQUERQUE, NM 87119
915.761.9700 / DPO@DEKPER.COM

**Presbyterian Rev. Hugh Cooper
Administrative Center - DRB SUBMITTAL**
9521 San Mateo NE
Albuquerque, New Mexico

REVISIONS
 DRAWING NAME
 PROJECT NO.
 DATE
 DRAWN BY
 REVIEWED BY
 PROJECT NO.
 DATE

SHEET NO.
C200

Bohannon & Huston
www.bhinc.com
800.877.5332

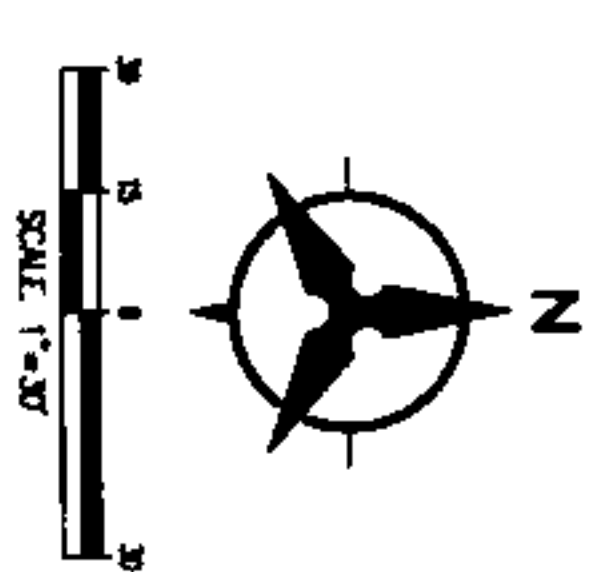


- UTILITY NOTES**
1. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK SHOWN ON THIS PLAN. ALL WORK SHALL BE PERFORMED UNDER CONTRACT SHALL EXCEPT AS OTHERWISE STATED OR PROVIDED BY GENERAL BE CONSIDERED IN ACCORDANCE WITH THE UNIFORM PLUMBING CODE & NMPL 24.1. UNLESS OTHERWISE SPECIFIED.
 2. ANY WORK NOT ACCEPTED BY THE AGENCY OR ENGINEER SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.
 3. UNLESS OTHERWISE SPECIFIED, ALL WORK SHALL BE 3\"/>

LEGEND

—	EXISTING LINE
---	EXISTING EXHIBIT
---	EXISTING SANITARY SEWER
---	EXISTING WATER LINE
---	EXISTING C/W
---	EXISTING WALK
---	EXISTING FIRE MHOIST
---	EXISTING SANITARY SEWER MANHOLE
---	EXISTING STORM DRAIN MANHOLE
---	EXISTING WALK
---	PROPOSED SANITARY SEWER LINE
---	PROPOSED SANITARY SEWER MANHOLE
---	PROPOSED WATER LINE
---	PROPOSED WALK
---	PROPOSED FIRE LINE
---	PROPOSED MHOIST
---	PROPOSED WATER METER

- KEYED NOTES**
1. NEW 2\"/>



DEKER
PERICH
SABATINI

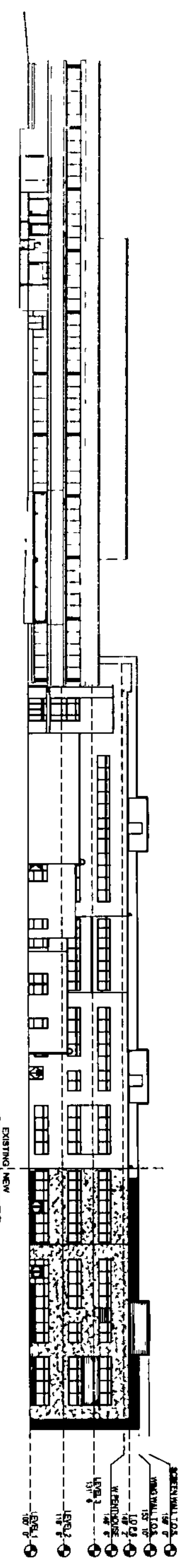
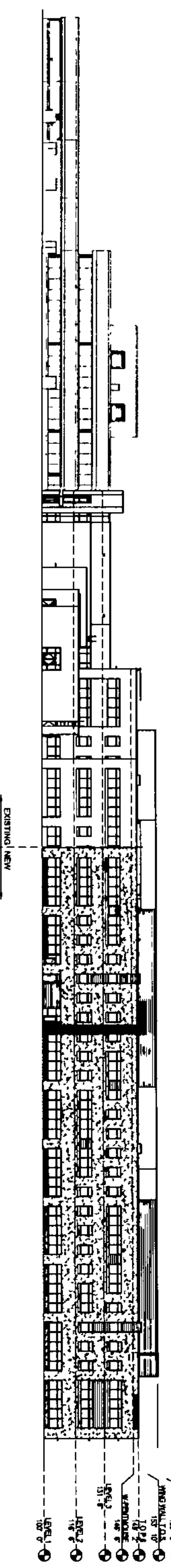
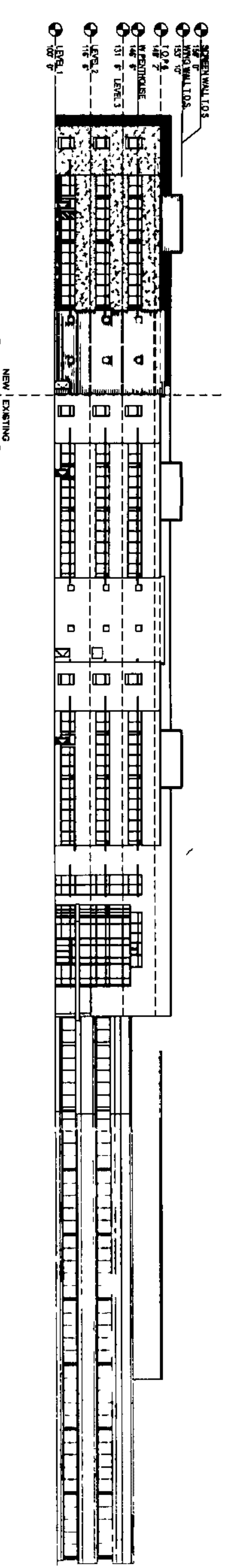
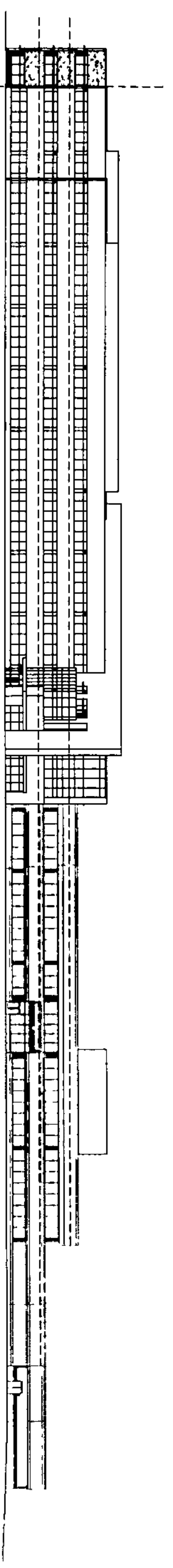
7601 JEFFERSON NE SUITE 100
ALBUQUERQUE, NM 87109
505.761.9700 / DPSDESIGN.ORG

GENERAL NOTES

A REFER TO SHEET A3b FOR FURTHER INFORMATION

LEGEND

- EPS COLOR 1 CREAM
- ▨ EPS COLOR 2 REDBROWN
- EPS COLOR 3 GRAY
- ▧ INSULATED METAL PANEL COLOR GRAY
- ▩ SPANDREL GLASS COLOR BLUE/GREEN



Presbyterian Rev. Hugh Cooper
Administrative Center - DRB SUBMITTAL
9521 San Mateo NE
Albuquerque, New Mexico

REVISIONS

DRAWING NAME
OVERALL BUILDING
ELEVATIONS

PROJECT NO 15-0129

DATE 12/03/2015

REVIEWED BY

DRAWN BY

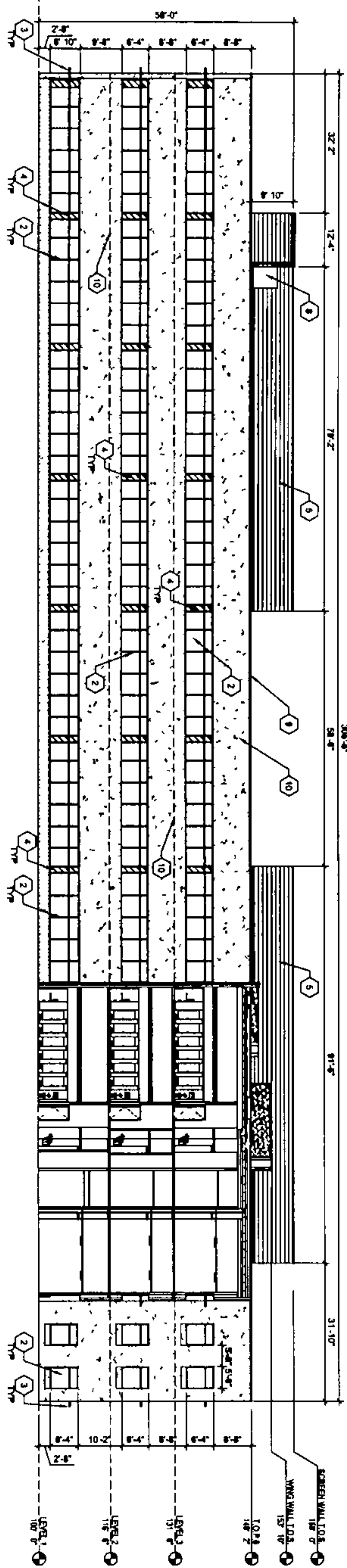
DEKKER PERICH SABATINI

7601 JEFFERSON NE, SUITE 100
ALBUQUERQUE, NM 87109
505 761 9760 / DP5DESIGN DRG

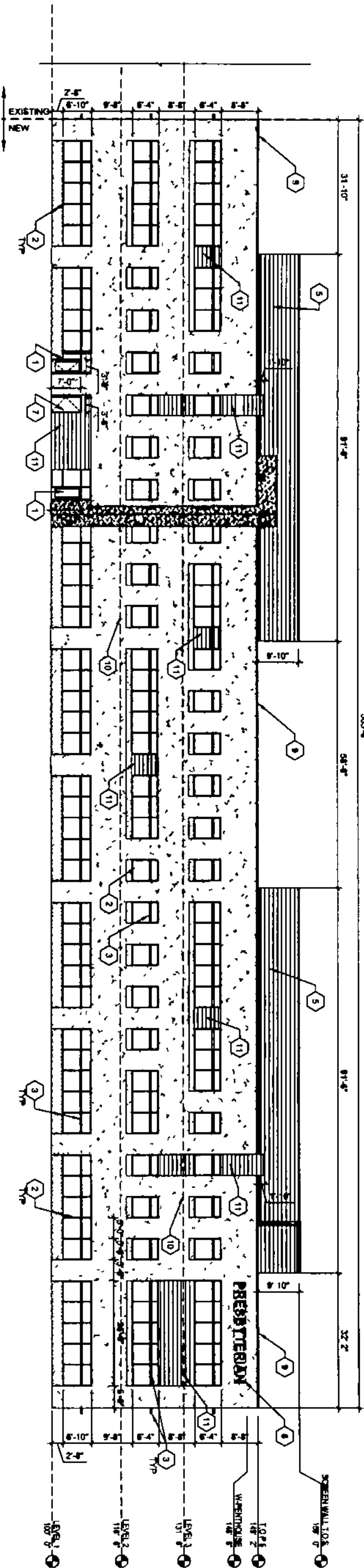
- KEY**
- 1 ANODIZED ALUMINUM DOOR FRAME WITH WIDE STYLE
 - 2 ANODIZED ALUMINUM WINDOW FRAME WITH IN LEADERS
 - 3 ANODIZED ALUMINUM RISER/SPANDREL
 - 4 MECHANICAL SCREEN WALL HORIZONTAL METAL PANEL, COLOR: GRAY
 - 5 LOCATION FOR BUILDING SIGNAGE: 2'-0" HIGH X 24'-0" WIDE
 - 6 ALUMINUM LETTERS: 2'-0" TALL COLOR: RED
 - 7 HOLLOW METAL DOOR COLOR TO MATCH ADJACENT SURFACE COLOR
 - 8 PRE-FABRICATED METAL CORNING COLOR: GRAY
 - 9 FINE FINISH FLOORING
 - 10 LINE OF FINISH FLOORING
 - 11 HORIZONTAL METAL PANEL COLOR: GRAY

LEGEND

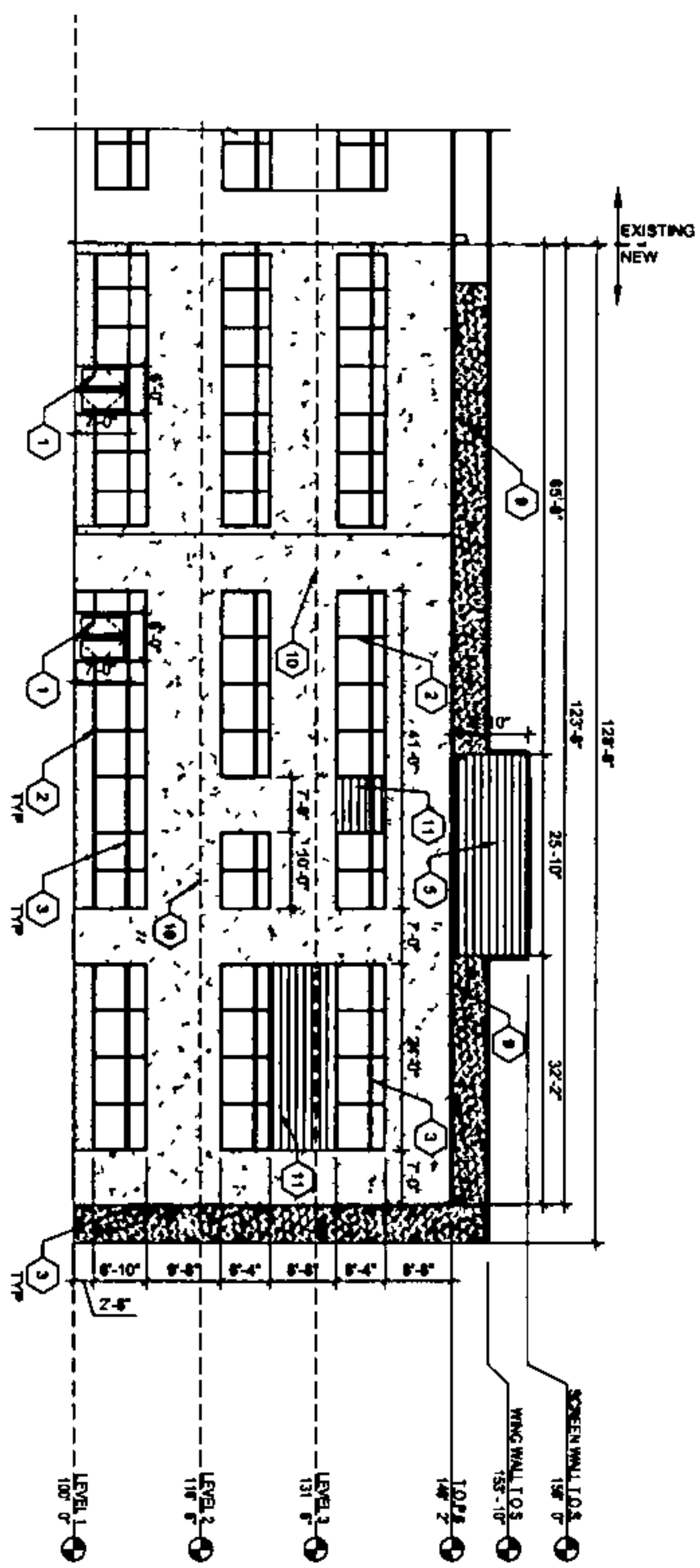
- EFS COLOR 1: CREAM
- EFS COLOR 2: REDBROWN
- EFS COLOR 3: GRAY
- INSULATED METAL PANEL COLOR: GRAY
- SPANDREL GLASS COLOR: BLUE/GRISH



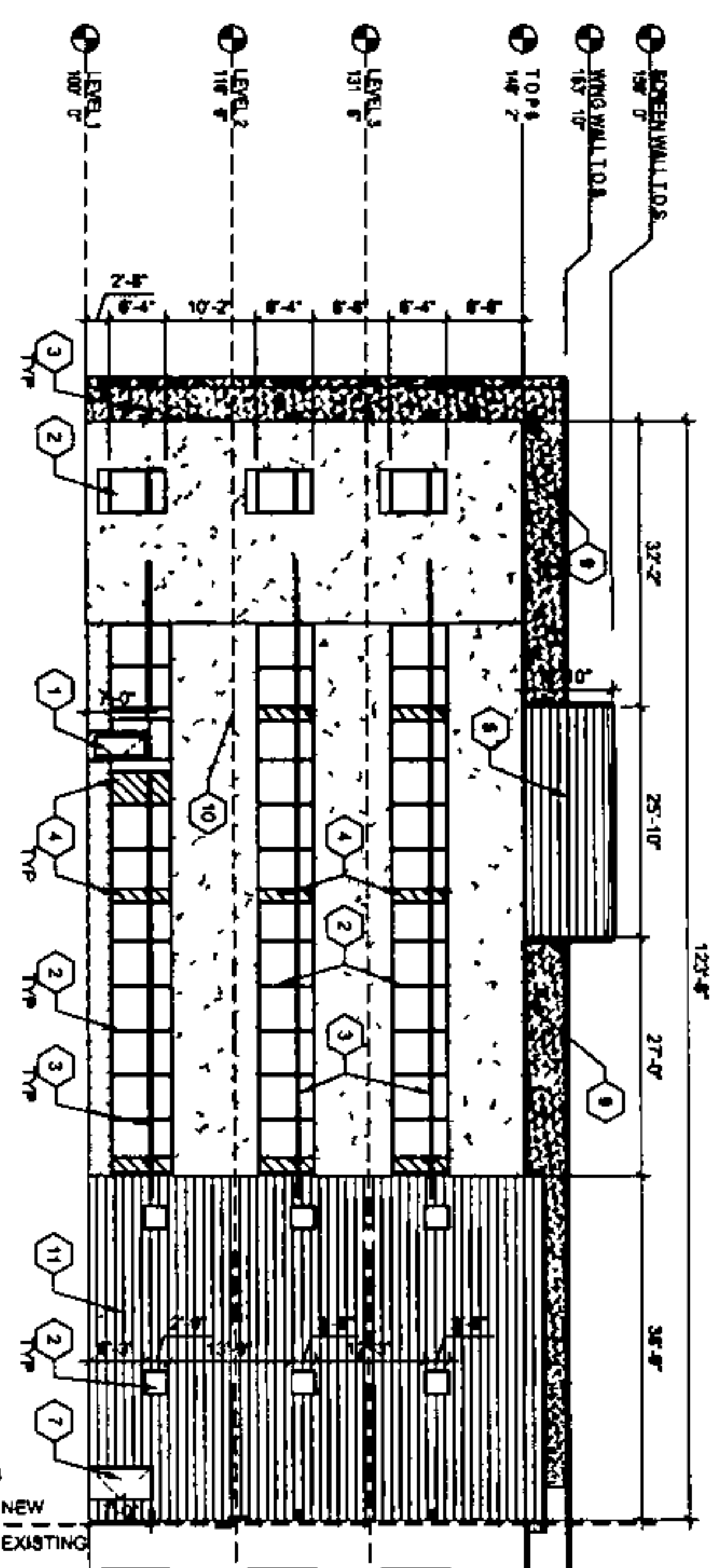
D1
PARTIAL NORTH ELEVATION
1/16" = 1'-0"



C1
PARTIAL SOUTH ELEVATION
1/16" = 1'-0"



A1
PARTIAL WEST ELEVATION
1/16" = 1'-0"



A4
PARTIAL EAST ELEVATION
1/16" = 1'-0"

PROJECT
**Presbyterian Rev. Hugh Cooper
Administrative Center - DRB SUBMITTAL**
9521 San Mateo NE
Albuquerque, New Mexico

REVISIONS

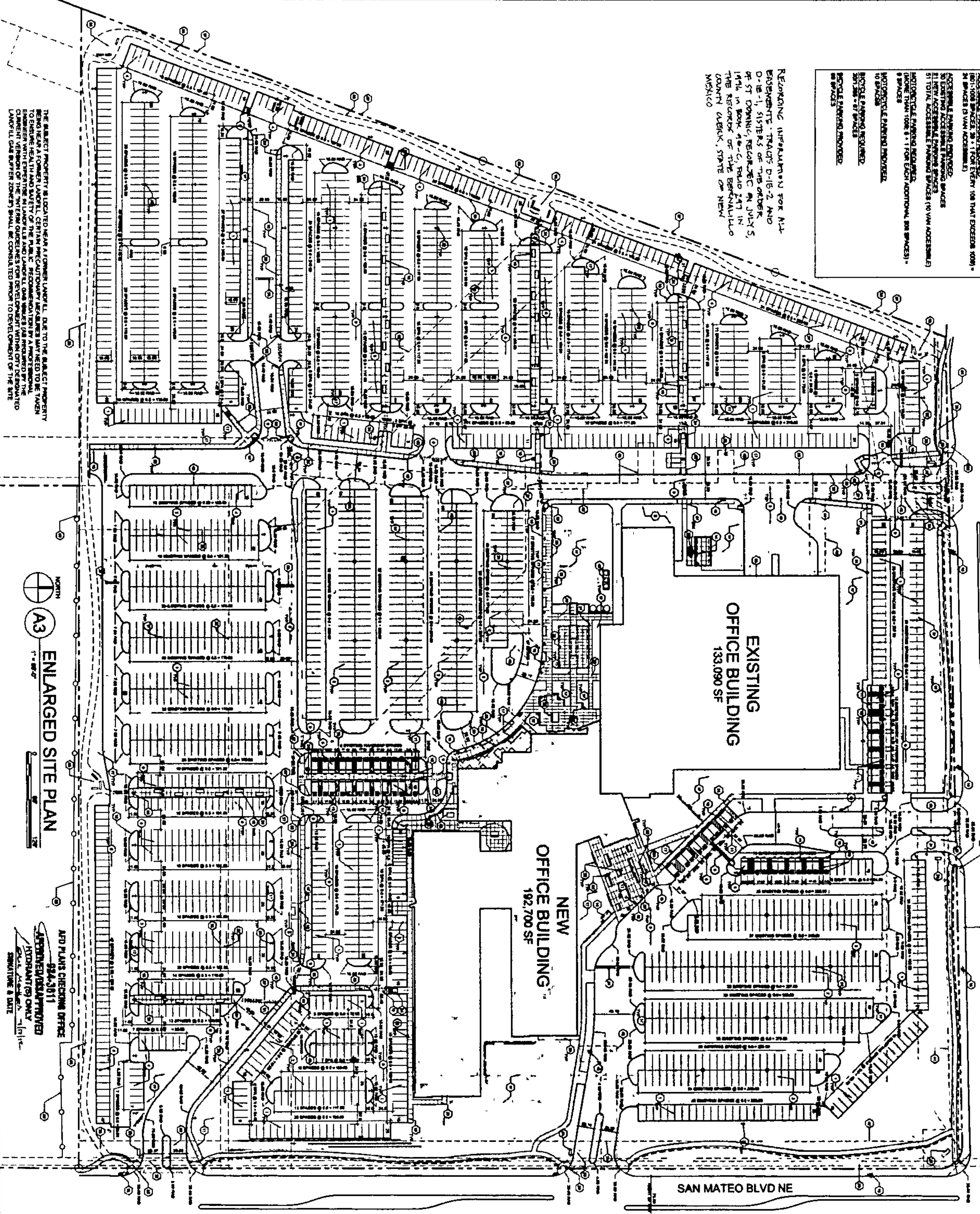
DRAWN BY	
REVIEWED BY	
DATE	12/03/2015
PROJECT NO.	15-0128
DRAWING NAME	NEW BUILDING ELEVATIONS

SHEET NO
A3b

PARKING INFORMATION

PARKING REQUIRED - 2.5 SPACES PER 1000 SF OF FLOOR AREA... TOTAL REQUIRED: 1323 SPACES

REMARKING INFORMATION FOR ALL SUBMITTALS... TRACT D-18-1, S1/4 SEC 2, T18N, R18E, S1/4 SEC 2, T18N, R18E...



NOTE: SHADED AREA INDICATES EXISTING CONSTRUCTION TO REMAIN

EXISTING OFFICE BUILDING 133,090 SF

NEW OFFICE BUILDING 192,700 SF

ENLARGED SITE PLAN

SITE DATA

LEGAL DESCRIPTION: TRACT D-18-1, SYSTEM OF THE CENTER OF ST. DOMINGO... BALLOON FIESTA PARKWAY... SAN MATEO BLVD NE

LEGEND

- PROPERTY LINE
EXISTING POLE MOUNTED PARKING LIGHT
NEW POLE MOUNTED PARKING LIGHT
NEW POLE MOUNTED RESTROOM LIGHT

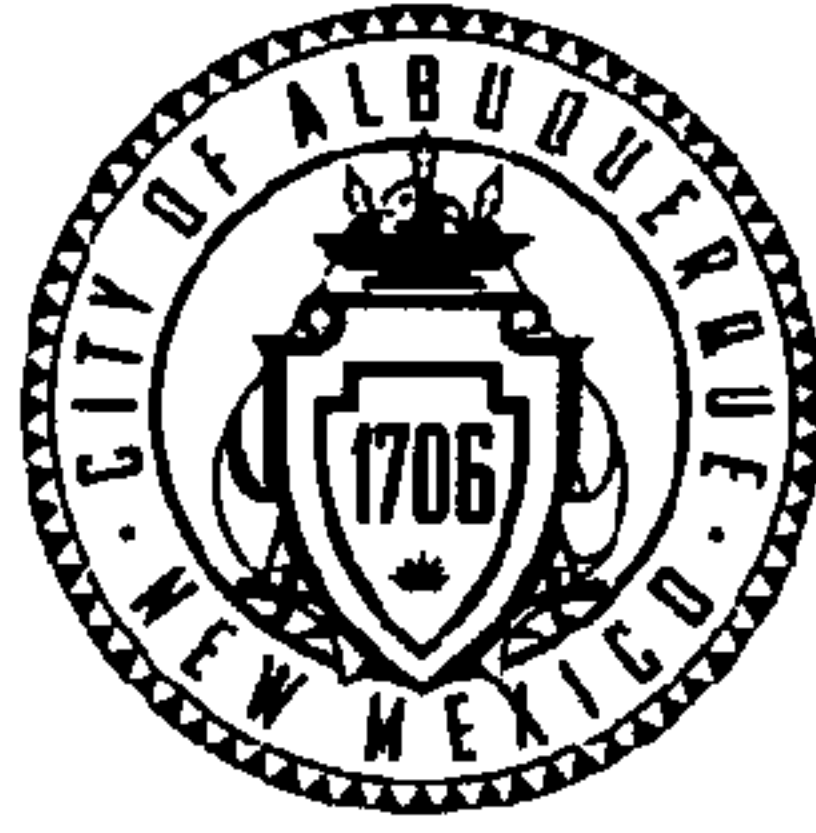
SHEET KEYED NOTES

- 1. TYPICAL PARKING SPACE, 9'6" X 18'0" (DEEpest NOTED)
2. TYPICAL PARKING SPACE, 9'6" X 18'0" UNO
3. TYPICAL PARKING SPACE, 9'6" X 18'0" UNO

APPROVED/REVISIONS
DATE: 07-26-12
DATE: 07-26-12

Project information including 'Presbyterian Systems Office DRB Submittal', architect 'Deker Perich Sabatini', and drawing title 'ENLARGED SITE PLAN'.

A1a 1 of 1b



City of Albuquerque
P.O. Box 1293, Albuquerque, NM 87103

PLEASE NOTE: The NA/HOA information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office

November 23, 2015

Chris Gunning
Dekker/Perich/Sabatini
7601 Jefferson NE, Suite 100/87109
Phone: 505-761-9700/Fax: 505-761-4222
E-mail: chrisg@dpsdesign.org

Dear Chris:

Thank you for your inquiry of **November 23, 2015** requesting the names of **ALL Neighborhood and/or Homeowner Associations** who would be affected under the provisions of §14-8-2-7 of the *Neighborhood Association Recognition Ordinance* by your proposed project at **(DRB SUBMITTAL) – TRACT D-1E-1, PLAT OF TRACTS D-B-1, D-1B-2 & D-1E-1, PLAT OF TRACTS D-1B-1, D-1B-2 & D-1E-1, SISTERS OF THE ORDER OF ST. DOMINIC, LOCATED ON 9521 SAN MATEO BOULEVARD NE BETWEEN BALLOON FIESTA PARKWAY NE AND SAN DIEGO AVENUE NE** Zone Map: **B-17**.

Our records indicate that the **Neighborhood and/or Homeowner Associations** affected by this submittal and the contact names are as follows:

WILDFLOWER AREA N.A. "R"

Larry T. Caudill

4915 Watercress NE/87113 857-0596 (h)

Tony Perry

4909 Watercress NE/87113 797-7098 (h)

Please note that according to §14-8-2-7 of the *Neighborhood Association Recognition Ordinance* you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing (**PLEASE ATTACH: 1) Copy of this letter; 2) Copy of letters sent to NA/HOA's and 3) Copy of White Receipts showing proof that you sent certified mail.**) If you have any questions about the information provided please contact me at (505) 924-3914 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Stephani Winklepleck

Neighborhood Liaison

OFFICE OF NEIGHBORHOOD COORDINATION

Planning Department

LETTERS MUST BE SENT TO BOTH CONTACTS OF EACH NA/HOA.

!!!Notice to Applicants!!!

SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected recognized neighborhood associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT**. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
 - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
 - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.").
 - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
 - d) The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

Information from the Office of Neighborhood Coordination

The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- ONC's "Official" Letter to the applicant (if there are associations). A copy must be submitted with application packet -OR-**
- The ONC "Official" Letter (if there are no associations). A copy must be submitted with application packet.
- Copies of Letters to Neighborhood and/or Homeowners Associations (if there are associations). A copy must be submitted with application packet.**
- Copies of the certified receipts to Neighborhood and/or Homeowners Associations (if there are associations). A copy must be submitted with application packet.**

Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.

Any questions, please feel free to contact Stephani at 924-3902 or via an e-mail message at swinklepleck@cabq.gov.

Thank you for your cooperation on this matter.

(below this line for ONC use only)

Date of Inquiry: 11/23/15 Time Entered: 3:20 p.m. ONC Rep. Initials: siw

December 3, 2015

Larry T. Caudill
4915 Watercress NE
Albuquerque, NM 87113
Phone: 857-0596

DEKKER
PERICH
SABATINI

**RE: Proposed Presbyterian Rev. Hugh Cooper Administrative Center Addition
9521 San Mateo NE, Albuquerque, NM 87113
Approx. 38 acres (Tracts D-1E-1 and D -1B-2 of Sisters of the Order of St. Dominic)**

To Whom It May Concern:

Dekker/Perich/Sabatini is acting on behalf of Presbyterian Healthcare Services as their agent during the entitlement and permitting process of this project located at the southwest corner of Balloon Fiesta Parkway and San Mateo Blvd. NE. We are submitting an application for an Amended Site Development Plan for Building Permit for review and consideration. The project is zoned under the current IP designation and shall not seek zoning change. The application will be requesting an amendment to the approved plan of December 2012.

The main specifics of the proposed amendment are as follows:

- Build a new 3-story, 87,000s.f. office building addition against the south eastern portion of the existing building.
- Planning for future building phases including a 9,000s.f. 3-story office addition to the proposed new addition, and a 73,500s.f. 3-story stand-alone office building located roughly in the center of the project site.
- Planning for additional on-site future parking areas to accommodate the staff of future phase office buildings as they are constructed.

Additional project specifics include the following:

- Existing monument and directional signage, as dictated by Presbyterian standards, are to remain.
- Additional landscaping will be provided for the newly developed parking and building areas.

As Presbyterian Healthcare continues to grow, office space is needed to accommodate additional staff. The new construction shall adhere to the current City zone code and North I-25 Sector Plan, and compliment the existing building in scale, proportion, and architectural character. The amended Site Development Plan proposes changes to the total master planned building area that exceed ten percent over the approved building area, which warrants this application for an Amended Site Development Plan. The traffic flow produced by the additional Presbyterian workforce will be demonstrated in a Traffic Impact Study to be submitted to the City of Albuquerque Planning Department for review.

According to the City of Albuquerque Development Review Board 2015 Schedule, the public hearing for this proposed amendment shall take place at 9:00am on Wednesday, January 6, 2016, in the basement hearing room in the Plaza Del Sol building at 600 2nd Street NW.

If you have questions about this submittal, please feel free to call Chris Gunning or myself at 761-9700.

Very truly yours,

Dekker/Perich/Sabatini Ltd.



Tim Veltkamp, AIA

December 3, 2015

Tony Perry
4909 Watercress NE
Albuquerque, NM 87113
Phone: 797-7098

DEKKER
PERICH
SABATINI

**RE: Proposed Presbyterian Rev. Hugh Cooper Administrative Center Addition
9521 San Mateo NE, Albuquerque, NM 87113
Approx. 38 acres (Tracts D-1E-1 and D -1B-2 of Sisters of the Order of St. Dominic)**

To Whom It May Concern:

Dekker/Perich/Sabatini is acting on behalf of Presbyterian Healthcare Services as their agent during the entitlement and permitting process of this project located at the southwest corner of Balloon Fiesta Parkway and San Mateo Blvd. NE. We are submitting an application for an Amended Site Development Plan for Building Permit for review and consideration. The project is zoned under the current IP designation and shall not seek zoning change. The application will be requesting an amendment to the approved plan of December 2012.

The main specifics of the proposed amendment are as follows:

- Build a new 3-story, 87,000s.f. office building addition against the south eastern portion of the existing building.
- Planning for future building phases including a 9,000s.f. 3-story office addition to the proposed new addition, and a 73,500s.f. 3-story stand-alone office building located roughly in the center of the project site.
- Planning for additional on-site future parking areas to accommodate the staff of future phase office buildings as they are constructed.

Additional project specifics include the following:

- Existing monument and directional signage, as dictated by Presbyterian standards, are to remain.
- Additional landscaping will be provided for the newly developed parking and building areas.

As Presbyterian Healthcare continues to grow, office space is needed to accommodate additional staff. The new construction shall adhere to the current City zone code and North I-25 Sector Plan, and compliment the existing building in scale, proportion, and architectural character. The amended Site Development Plan proposes changes to the total master planned building area that exceed ten percent over the approved building area, which warrants this application for an Amended Site Development Plan. The traffic flow produced by the additional Presbyterian workforce will be demonstrated in a Traffic Impact Study to be submitted to the City of Albuquerque Planning Department for review.

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If you have questions about this submittal, please feel free to call Chris Gunning or myself at 761-9700.

Very truly yours,

Dekker/Perich/Sabatini Ltd.



Tim Veltkamp, AIA

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LARRY T CAUDILL
4915 WATERCRESS NE
ALBUQUERQUE NM 87113

7015 0640 0003 6629 0827

PS Form 3800, April 2015 PSN 7530-02-000-9041 See reverse for instructions

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<input type="checkbox"/> Adult Signature Required	\$ _____
<input type="checkbox"/> Adult Signature Restricted Delivery	\$ _____

Postage 0.49

RECEIVED
Postmark
DEC 04 2015
Dekker/Perich/Sabatini
6.74

TONY PERRY
4909 WATERCRESS NE
ALBUQUERQUE NM 87113

0180 6299 E000 0490 5101

PS Form 3800, April 2015 PSN 7530-02-000-9041 See reverse for instructions

Handwritten mark

Current DRC Project No. _____

Date Submitted. 12/3/2015
 Date Site Plan Approved. _____
 Date Preliminary Plat Approved. _____
 Date Preliminary Plat Expires. _____
 DRB Project No. 1007488

DRAFT

Figure 12

INFRASTRUCTURE LIST

DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST
 PRESBYTERIAN REV. HUGH COOPER ADMINISTRATIVE CENTER

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
			PUBLIC ROADWAY IMPROVEMENTS						
			INTERSECTION IMPROVEMENTS: \$44,285 FINANCIAL CONTRIBUTION - VIA A SIA PROCEDURE C	ALAMEDA BLVD NE	SAN MATEO BLVD NE		/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/

AGENT/OWNER | **DEVELOPMENT REVIEW BOARD MEMBER APPROVALS**

GLENN BROUGHTON, P.E. PREPARED BY: PRINT NAME DATE: 12/3/2015 BOHANNAN HUSTON, INC. FIRM SIGNATURE: <i>Glenn Broughton</i>	DRB CHAIR DATE TRANSPORTATION DEVELOPMENT DATE ABCWUA DATE	PARKS & GENERAL SERVICES DATE AMAFCA DATE CITY ENGINEER DATE
MAXIMUM TIME ALLOWED TO CONSTRUCT IMPROVEMENTS WITHOUT A DRB EXTENSION _____		DATE

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT/OWNER

PROJECT#

1007488

January 6. 2016

ASB



DEVELOPMENT REVIEW BOARD SUPPLEMENTAL SUBMITTAL

PROJECT NO. 1007488

TO: **Application No.** 15DRB-70445

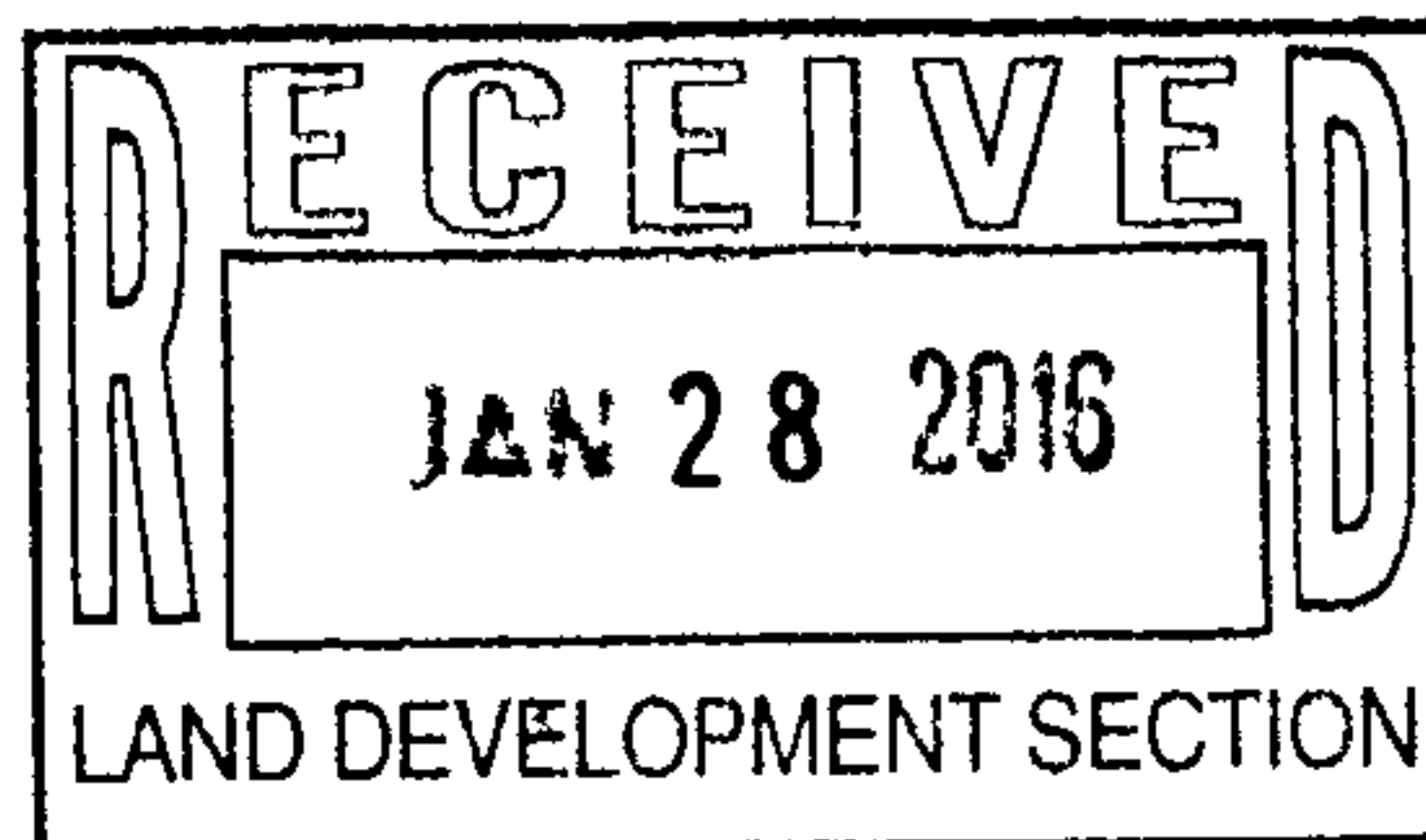
ALL MEMBERS

- Jack Cloud, DRB Chairman, Planning Department
- Abiel Carrillo, P.E., Hydrology
- Racquel Michel, P.E. , Transportation Development
- Kris Cadena, P.E., Albuquerque/ Bernalillo Co. WUA
- Carol Dumont, Parks/Municipal Development

NEXT HEARING DATE: February 3, 2016

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON. IF THE APPLICANT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

SUBMITTAL DESCRIPTION: Re-submitting revised sheets A1a, C102 and C200 to address comments made at original hearing on January 6, 2016.



CONTACT NAME: Tim Veltkamp, Dekker/Perich/Sabatini

TELEPHONE: 505-761-9700 **EMAIL:** timv@dpsdesign.org

January 28, 2016

Mr. Jack Cloud
Chairman
City of Albuquerque Planning Department
600 2nd St. NW
Albuquerque, NM 87103

DEKKER
PERICH
SABATINI

Re: DRB Re-submittal to address comments from January 6, 2016 hearing
Request for Amended Site Development Plan for Building Permit
Project # 1007488; 15DRB-70445

Dear Mr. Cloud:

This letter is to accompany submittal package drawing sheets being resubmitted in response to the comments provided by the DRB for the January 6, 2016 hearing. The comments are attached for reference, and our revisions to the sheets are as outlined below.

Sheet A1a-Site Development Plan:

1. Zoning Revisions:
 - a. General Note "D" added to state a separate permit is required for signage.
2. ABCWUA Revisions:
 - a. Existing public waterline easement within future building limits removed as it is to be vacated.
3. Transportation Revisions:
 - a. Clarification that no compact spaces are provided on this site.
 - b. Added General Note "B" adding "Violators Are Subject to a Fine and/or Towing" in regards to the ADA accessible parking signs.
 - c. Added General Note "C" adding "No Parking" to ADA access aisles.
 - d. Clarified VAN accessible locations at Future Office Bldg. and corrected access aisle width to be 8-foot wide.

Sheet C102-Grading Plan:

1. Hydrology Revisions:
 - a. Added Keyed Note "7" to include a water quality inlet to the inlet of the public storm drain at the northwest corner of the parking lot

Sheet C200-Utility Plan:

1. ABCWUA Revisions:
 - a. Noted the public water easement within the future building limits to be vacated.
 - b. Revised Keyed Note "2" to indicate that the fire line is private.

Other Items in Response to Comments Provided:

1. A request for a water / sewer availability statement was made on December 16, 2015. As of this date the availability statement has not been issued by ABCWUA.
2. The Phase 3 building does not require a separate domestic water or fire service. These services will be extended from the existing building to the north. An existing reduced pressure backflow preventer for both domestic and fire was installed with the previous project. New backflow prevention devices are not required to serve Phase 3.
3. TIS has been approved. Refer to attached letter dated 1/28/2016.
4. We are anticipating approval of the Infrastructure List prior to the February 3rd hearing.

We respectfully request approval of the above responses to comments provided. If you have any questions or need clarification of anything contained herein, please contact Chris Gunning or myself.

Very truly yours,

Dekker/Perich/Sabatini Ltd.

A handwritten signature in black ink, appearing to read 'Tim Veltkamp', written in a cursive style.

Tim Veltkamp, AIA

Attachments: DRB Comments from 1/6/2016 Hearing
Email from Jack Cloud regarding Zoning Comments dated 1/20/2016
TIS Approval Letter dated 1/28/2016

**DEVELOPMENT REVIEW BOARD
HYDROLOGY SECTION**

DRB Project Number: 1007488 Hearing Date: Jan 6, 2016

Project: Presbyterian (Cooper) Agenda Item No: 4

TYPE OF REQUEST:

<input type="checkbox"/> Sketch Plat	<input type="checkbox"/> Minor Preliminary / Final Plat	<input type="checkbox"/> Preliminary Plat	<input type="checkbox"/> Final Plat
<input type="checkbox"/> Temp Sidewalk Deferral	<input type="checkbox"/> Sidewalk Waiver/Variance	<input checked="" type="checkbox"/> Site Plan for Building Permit (Amendment)	<input checked="" type="checkbox"/> Site Plan for Subdivision (Amend.)
<input type="checkbox"/> SIA Extension (2yr)	<input type="checkbox"/> SIA Extension - Sidewalk	<input type="checkbox"/> Vacation of Public Easement	<input type="checkbox"/> Vacation of Public Right of Way

ENGINEERING COMMENTS:

- Conceptual grading plan acceptable
- Coordinated the possible need of a water/oil separator at parking lot outlet if 100% of the first flush volume cannot be contained.

RESOLUTION/COMMENTS:

Parks & Rec:

Water:

Transportation:

Planning:

APPROVED __; DELEGATED__ TO: (TRANS) (HYD) (WUA) (PRKS) (PLNG)

SIGNED-OFF: __ (I.L.) (SPSD) (SPBP) (FINAL PLAT) (OTHER_____)

DEFERRED __DATE_____ ; DENIED __;

SIGNED: Abiel Carrillo, P.E., Principal Engineer,
Hydrology Section; 505-924-3986
acarrillo@cabq.gov



**Development Review Board (DRB)
Review Comments
Utility Development Section
Reviewer: Kristopher Cadena, P.E.
Phone: 505.289.3301**

DRB Case No: 1007488	Date: 01/06/16	Item No: #4
Zone Atlas Page: B-17	LOCATION: Tracts D-1E-1 and D-1B-2, Sisters of the Order of St. Dominic Southwest corner of Balloon Fiesta Parkway NE and San Mateo Blvd. NE	
Request For: 15DRB-70445 Amended Site Development Plan for Building Permit/Subdivision		

ABCWUA Comment:

Please provide written description of how the following comments were addressed with the next submittal.

1. Request an availability/serviceability statement online at the following link: http://www.abcwua.org/Availability_Statements.aspx. Requests shall include fire marshal requirements. An executed statement must be obtained prior to approval.
2. Utility plan indicates the proposed building to the east will be constructed over an existing public waterline easement. This easement shall be vacated if it is confirmed there are no Water Authority facilities within the said easement.
3. Sanitary sewer for the proposed building on the west side is proposing a routine connection to a public manhole. The proposed building to the east is to be served by a proposed private sanitary sewer line which discharges into an existing private sanitary sewer line. Although these connections seem to be acceptable, the executed availability statement shall be the official notice.

UTILITY DEVELOPMENT

4. The Utility plan shall label the proposed 6" fire line as being private as it is proposed to be connected downstream of the existing backflow preventer.
5. Is any additional domestic or fire line needed for the proposed building to the east?
6. Cross Connection information (contact Jane Rael (505) 289-3439, jrael@abcwua.org or Robert Chavez (505) 289-3454, rfchavez@abcwua.org)
 - a. Per the Cross Connection Ordinance, all new non-residential premises must have a reduced pressure principle backflow prevention assembly approved by the Water Authority installed at each domestic service connection to the customer's water system or at a location approved by the Water Authority. The developer may request a variance in writing from the cross connection manager. All new fire line services to fire protection systems shall be equipped with a reduced pressure principal backflow prevention assembly approved by the Water Authority and Fire Marshal having jurisdiction at each service connection. A double check valve assembly approved by the Water Authority and Fire Marshal having jurisdiction may be installed instead of a reduced pressure backflow prevention assembly provided the fire protection system contains ANSI/NSF Standard 60 or 61 water piping throughout the entire fire protection system, the fire sprinkler drain discharges into atmosphere, and there are no reservoirs, fire department connections, connections from auxiliary water supplies, antifreeze nor other additives. The Water Utility Authority requests that all backflow (containment) devices be located above ground just outside the easement or roadway right-of-way.

DEVELOPMENT REVIEW BOARD
TRANSPORTATION DEVELOPMENT

DRB Project Number: 1007488
Presbyterian Cooper Center

AGENDA ITEM NO: 04

SUBJECT: Amended Site Development Plan for Building Permit, Amended Site Development Plan for Subdivision

ENGINEERING COMMENTS:

Update all existing parking spaces to follow the following requirements.

1. Label the compact parking spaces by placing the words "**COMPACT**" on the pavement of each space.
2. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 "**Violators Are Subject to a Fine and/or Towing.**"
3. The ADA access aisle shall have the words "**NO PARKING**" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
4. It is not apparent where the van accessible ADA spaces are located. The handicap accessible spaces must include an 8-foot wide van access aisle; all other aisles should be 5 feet in width. Please show this detail on the Future Office Building ADA parking spaces.
5. The TIS needs to be approved prior to the approval of the Infrastructure list and Site Development plans.

Disclaimer: The comments provided are based upon the information received from the applicant. If new or revised information is submitted, additional comments may be provided by Transportation Development.

RESOLUTION:

APPROVED __; DENIED __; DEFERRED __; COMMENTS PROVIDED __; WITHDRAWN __

DELEGATED: _____ TO: (TRANS) (HYD) (WUA) (PRKS) (PLNG)

SIGNED: Racquel M. Michel, P.E.
Transportation Development
505-924-3991 or rmichel@cabq.gov

DATE: January 6, 2016

Tim A. Veltkamp

From: Cloud, Jack W. <jcloud@cabq.gov>
Sent: Wednesday, January 20, 2016 11:24 AM
To: Christopher R. Gunning; Tim A. Veltkamp
Subject: RE: Site Plan for DRB #1007488

Yes, the 2010 amendment R-09-263 did allow for underlying zoning height requirements, just wasn't placed well in the text –

Just add a note that states A separate permit is required for signage. and you're good -

From: Christopher R. Gunning [mailto:chrisg@dpsdesign.org]
Sent: Wednesday, January 20, 2016 8:51 AM
To: Cloud, Jack W.; Tim A. Veltkamp
Subject: RE: Site Plan for DRB #1007488

Jack,

We addressed the height and signage issues in our submittal in 2012, but I had to go back and review our logic and the sector development plan requirements. Here's what I found.

Per the North I-25 SDP (2010), paragraph 1.5 (page 3) we have the choice of going with the new Land Use District Overlay, or going with the underlying zoning. As we did previously, we choose to go with the underlying zoning, which is IP. Per paragraph 4.3 (pages 38-39) of the SDP, the height requirements are per the City of Albuquerque Zoning Code since we are choosing to go with the underlying zoning. Per the IP zone requirements, 14-16-2-19 (C) (1) IP INDUSTRIAL PARK ZONE, "Structure height and width shall fall within 45° angle planes drawn from the horizontal at the mean grade along each boundary of the premises, but a structure shall not exceed a height of 120 feet." Both the existing building and our proposed addition falls within these limitations. Therefore, no review through ZHE is required.

Regarding signage, we are not requesting any changes to the previously approved ZHE approval (#1009482, 12ZHE-80334 thru 80340, NOD attached). We will retain the same number of signs, located on the same building elevations. The existing sign on the south facing elevation will simply be removed and relocated to the new wing on its south facing elevation. Therefore, no additional ZHE review should be required.

Please let me know if you agree with our interpretation. If not we'd be glad to meet with you and Andrew to discuss.

Thanks,
Chris

From: Cloud, Jack W. [mailto:jcloud@cabq.gov]
Sent: Tuesday, January 19, 2016 10:28 AM
To: Tim A. Veltkamp <TimV@dpsdesign.org>
Cc: Christopher R. Gunning <chrisg@dpsdesign.org>
Subject: FW: Site Plan for DRB #1007488

Tim –

I'm sorry but the Zoning comments had to be re-sent, and apparently there is a height issue that needs to be addressed through the Zoning Hearing Examiner/ ZHE. Unfortunately, the next deadline is February 4 for the March 15 hearing. The DRB is willing to proceed with the height variance being a Condition of Approval at the February 3 meeting, but you of course have the option of deferring the DRB hearing until after ZHE.

Jack Cloud, Chair
Development Review Board
505.924.3880

From: Garcia, Andrew B.
Sent: Friday, January 15, 2016 3:16 PM
To: Cloud, Jack W.
Subject: RE: Site Plan for DRB #1007488

Jack,

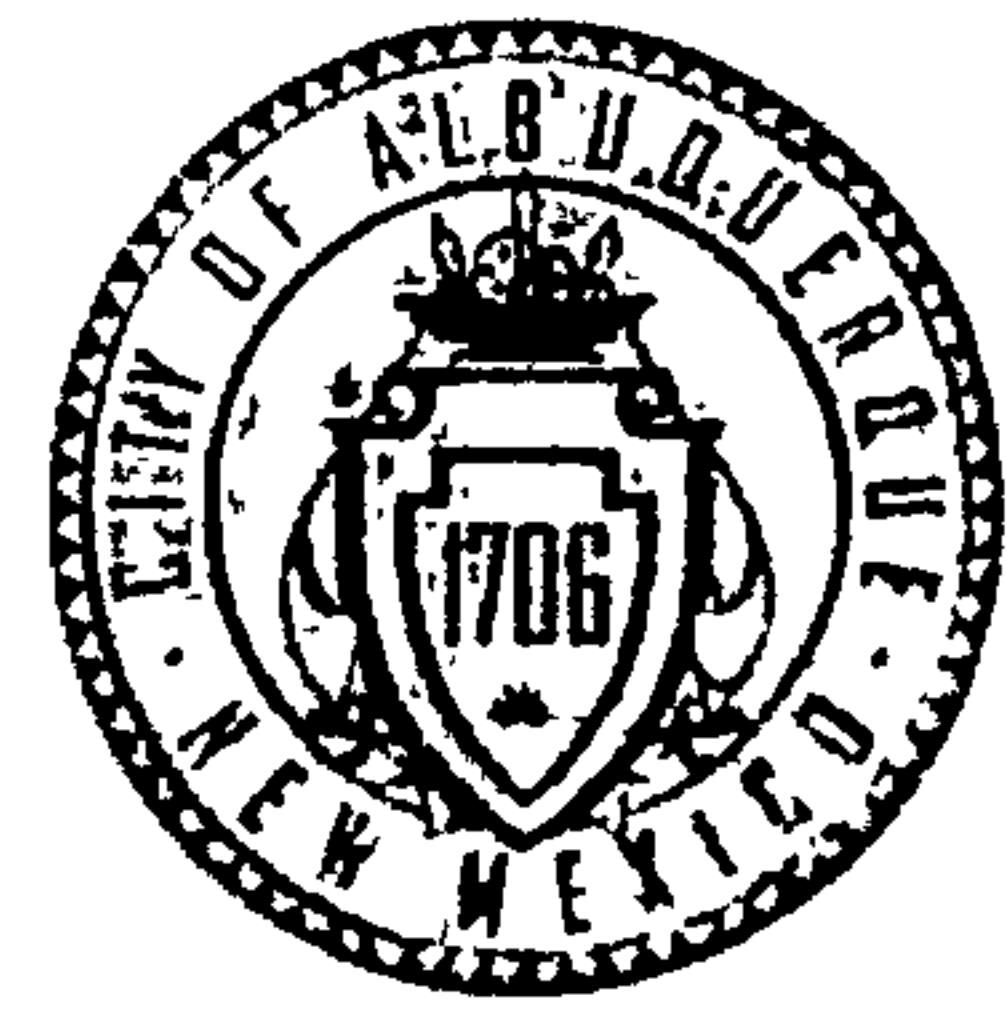
Code Enforcement had a couple of comments for project #'s 10107488:

- A separate permit is required for signage.
- The height of the building appears to exceed the allowable height of 39 ft. MAX as illustrated in Figure 11, Building Height Overlay on page 37 of the North I-25 Sector Development Plan. The building elevation submitted shows the building height to be 49' 2". A variance will be required for the proposed elevation height.

Regards,

Andrew Garcia
Code Enforcement Supervisor
Planning Department

CITY OF ALBUQUERQUE



January 28, 2016

Eric Wrage, P.E.
Bohannon Huston, Inc.
7500 Jefferson St. NE
Courtyard One
Albuquerque, NM 87109

Re: Presbyterian Cooper Center Expansion
9521 San Mateo Blvd. NE
Traffic Impact Study
Engineer's Stamp dated 01-13-16 (B17-D003)

Dear Mr. Wage,

The subject Traffic Impact Study received on January 28, 2016 has been reviewed and approved by the Transportation Development Section. All comments have been adequately addressed.

PO Box 1293

The final Traffic Impact Study shall be valid for a period of three years. Should significant modifications to the approved development proposal occur, the approved study shall be revised to incorporate the changes.

Albuquerque

If you have any questions, please feel free to contact me at (505) 924-3991.

New Mexico 87103

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

www.cabq.gov

via: email
C: Applicant, File