

DRB CASE ACTION LOG - BLUE SHEET

- Preliminary/Final Plat [FP]
- Site Plan - Subdivision [SPS]
- Site Plan - Building Permit [SBP] (Amended)

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

Project #: 1007488 Application #: 12DRB-7072
Project Name: Sisters of the Order of St. Dominic
Agent: DKKER Pouch Sabatini Phone #:

Your request was approved on 7-25-12 by the DRB with delegation of signature(s) to the following departments - outstanding comments to be addressed

TRANSPORTATION:

ABCWUA:

CITY ENGINEER / AMAFCA: SM

PARKS / CIP:


PLANNING (Last to sign): add recording info for e-reports
clarify trail note and legend

PLATS:

- Planning must record this plat. Please submit the following items:
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
 - County Treasurer's signature must be obtained prior to the recording of the plat with County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

ALL SITE PLANS:

- 3 copies of the approved site plan. Include all pages.

7. **Project# 1007488**
12DRB-70172 AMENDED SDP FOR BP


DEKKER PERICH SABATINI agent(s) for PRESBYTERIAN HEALTHCARE SERVICES request(s) the above action(s) for all or a portion of Lot(s) D-1E-1, **SISTERS OF THE ORDER OF ST. DOMINIC** zoned SU-2/IP-EP, located on 9521 SAN MATEO BLVD NE containing approximately 31.72 acre(s). (B-17)[*Deferred from 7/11/12 at the agent's request*] **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 7/25/12, THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO CITY ENGINEER FOR COMPLETION OF SIA AND TO PLANNING FOR RECORDING INFORMATION AND ADDITIONAL INFORMATION ON KEYED NOTES REGARDING TRAIL.**

8. **Project# 1009194**
12DRB-70208 AMENDED SDP FOR BP

JAMES MILLER agent(s) for PROGRESSIVE VENTURE LLC request(s) the above action(s) for all or a portion of Lot(s) C4B2, **ALBUQUERQUE INDUSTRIAL PARK SITE** zoned I-P, located on SINGER BLVD BETWEEN JEFFERSON I-25 EXCHANGE (E-17) **THE AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO TRANSPORTATION FOR CLARIFICATION OF EXISTING VERSUS PROPOSED CONDITIONS, AND TO PLANNING.**

9. **Project# 1003421**
12DRB-70175 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
12DRB-70188 EPC APPROVED SDP
FOR SUBDIVISION

TIERRA WEST LLC agent(s) for KEN WILLIAMS ENTERPRISE, INC request(s) the above action(s) for all or a portion of Lot(s) 1A-2-A, **RENAISSANCE CENTER** zoned SEE ATTACHED FORM, located on UNION WAY RD. NE BETWEEN MISSION RD NE AND RENAISSANCE BLVD NE containing approximately 12.55 acre(s). (F-16)) [*Deferred from 7/18/12 at the agent's request*]**DEFERRED TO 8/1/12 AT THE AGENT'S REQUEST.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

10. **Project# 1002632**
12DRB-70203 EXT OF SIA FOR TEMP
DEFR SDWK CONST

TIERRA WEST LLC agent(s) for CAPITAL ALLICANCE INVESTMENTS request(s) the above action(s) for all or a portion of **SUNDANCE ESTATES Unit(s) 1 AND 1-B**, zoned R-LT, located on LYON BETWEEN PARADISE AND PROPOSED UNSER ALIGNMENT containing approximately 32.3 acre(s). (B-11) **A TWO YEAR EXTENSION TO THE AGREEMENT FOR THE TEMPORARY DEFERRAL OF SIDEWALKS WAS APPROVED.**


9. **Project# 1008799**
12DRB-70067 MAJOR - FINAL PLAT
APPROVAL

BOHANNAN HUSTON INC agent(s) for RCS-TRAILS 9-A, LLC request(s) the above action(s) for all or a portion of Tract(s) 9A, **THE TRAILS UNIT 2** zoned RD, located on WOODMONT BETWEEN RAINBOW AND UNIVERSE containing approximately 19.77 acre(s). (C-9) [*Indefinitely Deferred at the Applicant's request on 4/11/12*] **DENIED.**

10. **Project# 1008800**
12DRB-70165 EXT OF MAJOR
PRELIMINARY PLAT

BOHANNAN HUSTON INC agent(s) for THE TRAILS, LLC request(s) the above action(s) for all or a portion of Tract(s) 9A (TRACT B TIERRA VISTA AT THE TRAILS UNIT 1), **THE TRAILS UNIT 2** zoned R-D, located on WOODMONT AVE, BETWEEN RAINBOW BLVD AND UNIVERSE BLVD containing approximately 7.95 acre(s). (C-9)**DENIED.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND
MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**


11. **Project# 1007488**
12DRB-70172 AMENDED SITE
DEVELOPMENT PLAN FOR
BUILDING PERMIT 

DEKKER PERICH SABATINI agent(s) for PRESBYTERIAN HEALTHCARE SERVICES request(s) the above action(s) for all or a portion of Lot(s) D-1E-1, **SISTERS OF THE ORDER OF ST. DOMINIC** zoned SU-2/IP-EP, located on 9521 SAN MATEO BLVD NE containing approximately 31.72 acre(s). (B-17)**DEFERRED TO 7/11/12 AT THE AGENT'S REQUEST.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

12. **Project# 1003483**
12DRB-70171 AMENDMENT TO
INFRASTRUCTURE LIST

SANTOSH MODY agent(s) for BHARAT & CHAMPA MODY request(s) the above action(s) for all or a portion of Lot(s) 17A, Block(s) 12, Tract(s) A, **NORTH ABQ ACRES Unit(s) B**, zoned SU-2(IP), located on SAN PEDRO BETWEEN ALAMEDA AND SIGNAL containing approximately 2.74 acre(s). (C-18)**THE AMENDMENT TO THE INFRASTRUCTURE LIST WAS APPROVED.**

13. **Project# 1004360**
12DRB-70169 EXT OF SIA FOR TEMP
DEFR SDWK CONST 

RIO GRANDE ENGINEERING agent(s) for 50/50 LLC request(s) the above action(s) for all or a portion of Lot(s) I-18, **VENTANA DEL BOSQUE** zoned R A-2, located on MOUNTAIN NW, BETWEEN GABALDON AND RIO GRANDE (J-12) **DEFERRED TO 6/27/12 AT THE AGENT'S REQUEST.**



DRB CASE ACTION LOG (PREL/FINAL)

REVISED 10/08/07

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 08DRB-70406

Project # 1007488

Project Name: SISTERS OF THE ORDER OF DOMINIC

Agent: LAND DEVELOPMENT CONSULTANTS

Phone No.: 797-4120

Your request was approved on 9-24-08 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): - see comments; include maintenance of beneficiaries of easement

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). **RECORDED DATE:** _____
- Tax printout from the County Assessor.

- 3 copies of the approved site plan. Include all pages.
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required. OK
- Copy of recorded plat for Planning.

Created On:

7488

DXF Electronic Approval Form

DRB Project Case #: 1007488

Subdivision Name: SISTERS OF THE ORDER OF ST DOMINIC TRACT D1E1A & D1E1B

Surveyor: JACOBO J PACHECO

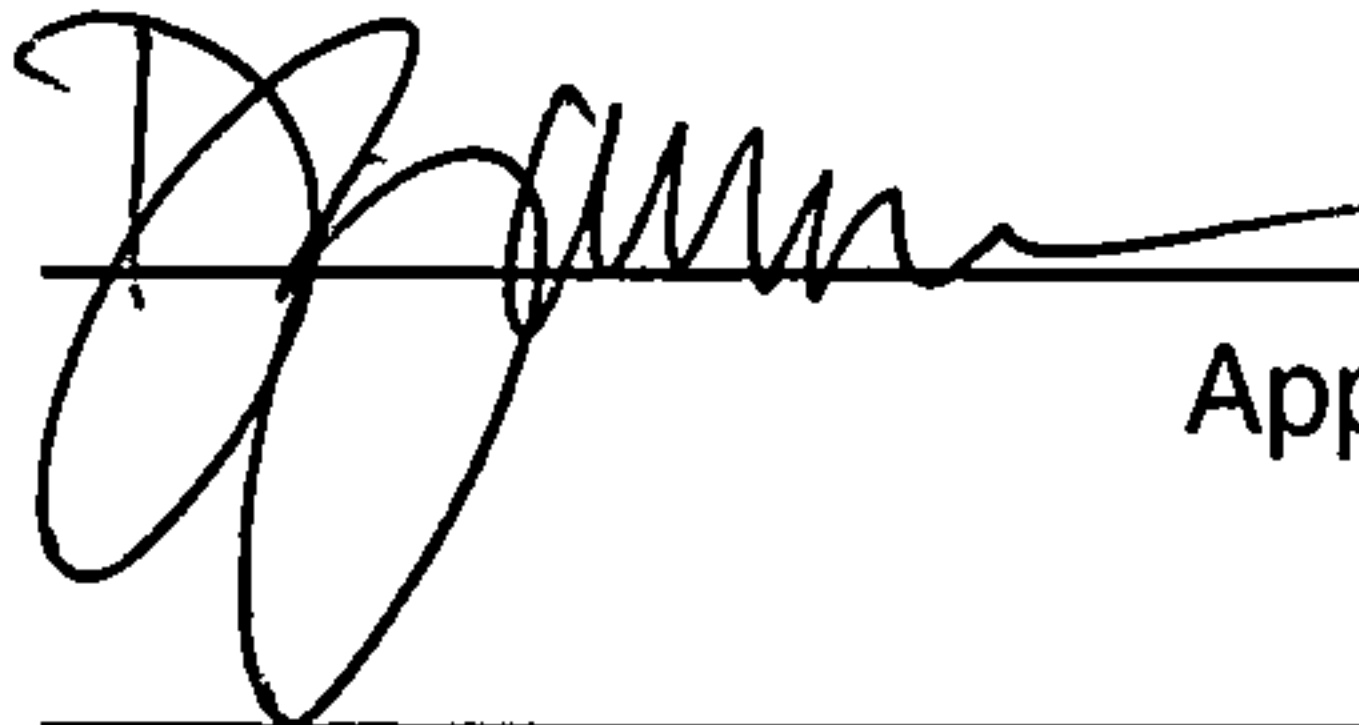
Contact Person: JACOBO J PACHECO

Contact Information: 797-4120

DXF Received: 9/16/2008

Hard Copy Received: 9/16/2008

Coordinate System: Ground rotated to NMSP Grid


Approved

09-16-2008
Date

* The DXF file cannot be accepted (at this time) for the following reason(s):

AGIS Use Only

Copied fc 7488 to agiscov on 9/16/2008 Contact person notified on 9/16/2008

15. ~~Project# 1007488~~
08DRB-70406 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

LAND DEVELOPMENT CONSULTANTS agent(s) for CITICORP CREDIT SERVICES request(s) the above action(s) for all or a portion of Lot(s) D-1E-1, **SISTERS OF THE ORDER OF AT DOMINIC** zoned SU-2 FOR IP-EP, located on SAN MATEO BLVD NE BETWEEN BALLOON FIESTA PKWY NE AND SAN DIEGO DR NE containing approximately 31.7178 acre(s). (B-17) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR SOLAR COLLECTORS NOTE, MAINTENANCE AND BENEFICIARIES OF EASEMENT AND CROSS ACCESS EASEMENT.**

16. **Project# 1007459**
08DRB-70393 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

CARTESIAN SURVEYS INC agent(s) for CHARLES ABBOT request(s) the above action(s) for all or a portion of Lot(s) 10-15, Block(s) 12, **ALBRIGHT-MOORE ADDITION**, zoned S-R, located on LOS TOMASES NW AND KINLEY AVE NW containing approximately .4864 acre(s). (J-14) **DEFERRED TO 10/8/08 AT THE AGENT'S REQUEST.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

17. **Project# 1007099**
08DRB-70408 SKETCH PLAT REVIEW
AND COMMENT

THE SURVEY OFFICE agent(s) for SANDIA FOUNDATION request(s) the above action(s) for all or a portion of Lot(s) 1-11, 33-38 & 1-3, 38, 39 & THE NW 58. 2 FEET OF 37, Block(s) 16 & 17, **ZUNI ADDITION**, zoned C-2/SU-1, located on MENAUL BLVD NE BETWEEN MESILLA AVE NE AND PROSPECT AVE NE containing approximately 4.183 acre(s). (H-19) **ITEM WAS REVIEWED AND COMMENTS GIVEN.**

18. **Project# 1007474**
08DRB-70404 SKETCH PLAT REVIEW
AND COMMENT

SOUNDER, MILLER & ASSOCIATES agent(s) for JOHN MAHONEY request(s) the above action(s) for all or a portion of Tract(s) A-3-A & A-1, **LANDS OF DAVID MACIEL & FLORAL MEADOWS**, zoned RLT, located on RIO GRANDE BLVD NW BETWEEN MONTOYA ST NW AND FLORAL RD NW (H-12) **THE ABOVE ITEM WAS REVIEWED AND COMMENTS GIVEN.**

19. Other Matters: None

ADJOURNED: 10:15




INTERA Incorporated
6000 Uptown Boulevard NE
Suite 100
Albuquerque, NM 87110
Telephone: 505 246 1600
Fax: 505 246 2600

MEMORANDUM

DATE: September 22, 2008

TO: Jack Cloud, Planning Department – Design Review Board

COPY: Suzanne Busch, Environmental Health Department
Donna Griffin, Legal Department
Land Development Consultants

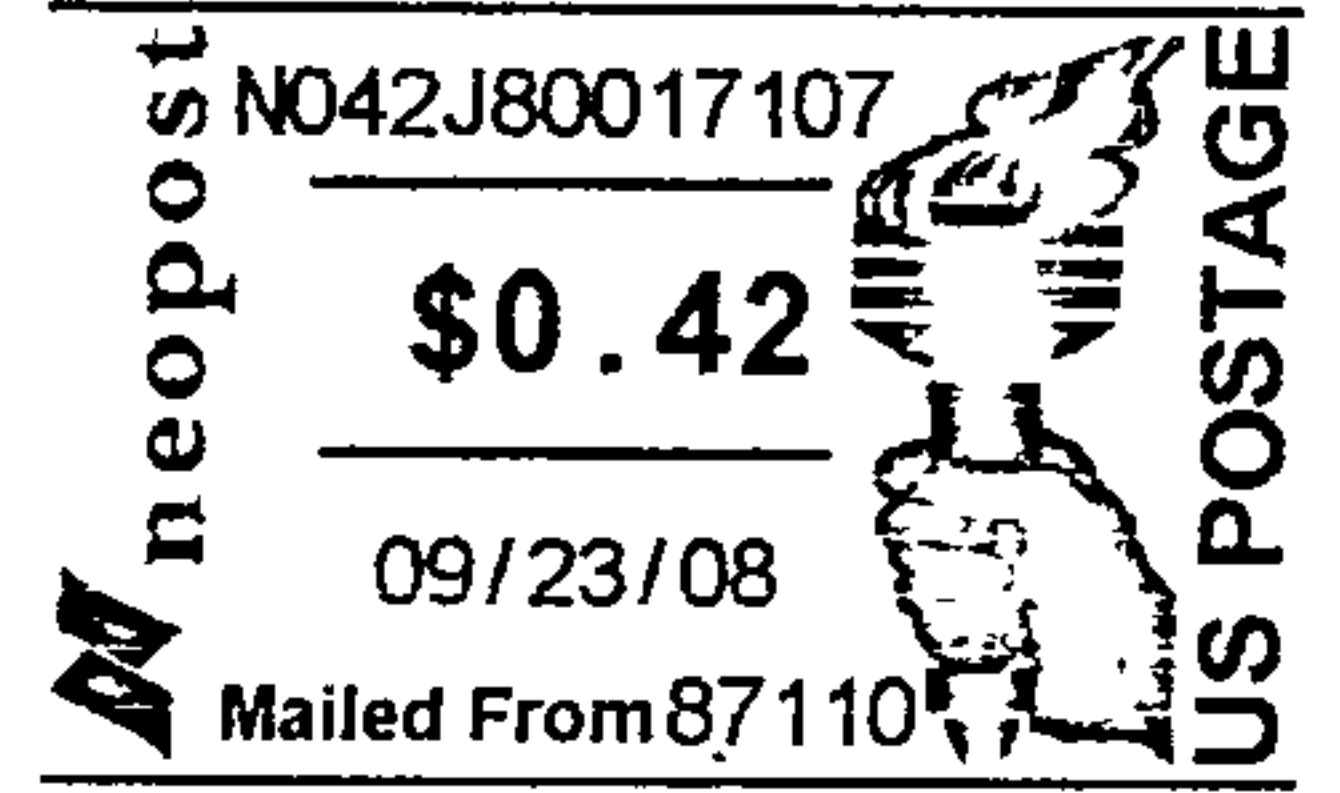
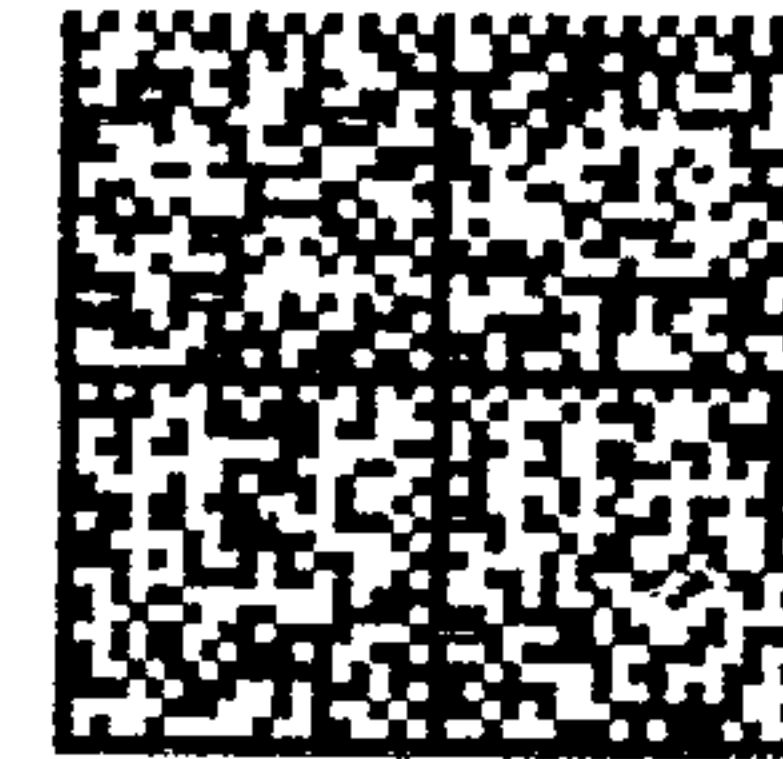
FROM: James Joseph, INTERA Inc. 

SUBJECT: Project # 1007488, 08DRB-70406 Minor – Preliminary/Final Plat Approval, Lots D-1 and E-1, Sisters of the Order of at Dominic, Located on San Mateo Blvd. NE Between Balloon Fiesta Parkway NE and San Diego Dr. NE.

There is the potential for the above-named project to be impacted by the presence of landfill gas generated by a former City owned/operated landfill (Coronado Landfill). The developers of this site are required to follow the most current version of the “City of Albuquerque Interim Guidelines for Development within City Designated Landfill Buffer Zones”. A review and approval of the Site Plan(s), the proposed construction, design drawings, and a certification of construction will be required by the Environmental Health Department, Environmental Services Division.



Intera Incorporated
 6000 Uptown Boulevard NE, Suite 100
 Albuquerque, New Mexico 87110

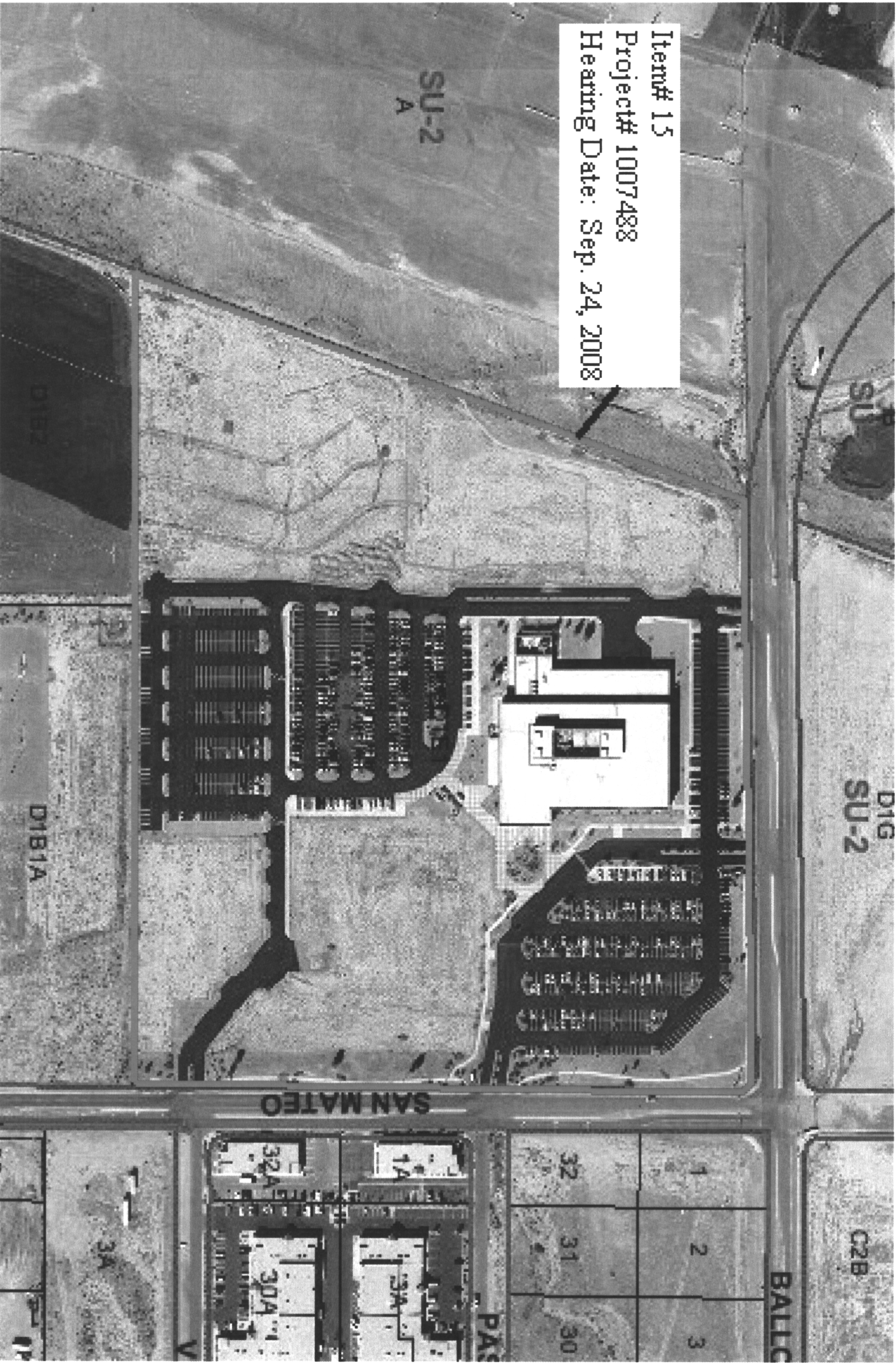


Jack Cloud
 Design Review Board
 600 2nd Street NW
 Suite 201
 Albuquerque, NM 87102

87102+2285



Item# 15
Project# 1007488
Hearing Date: Sep. 24, 2008



CITY OF ALBUQUERQUE

PLANNING DEPARTMENT

September 24, 2008

DRB Comments

ITEM # 15


PROJECT # 1007488

APPLICATION # 08-70406

RE: Tracts D-1E-1, Sisters of the Order of St. Dominic

Please provide a Solar Note consistent with Section 14-14-4-7 which is specific to this type of request, i.e. use the words "THIS PLAT" (rather than the words "REQUESTED FINAL ACTION") at the beginning of the note, and don not use the words "OR SITE DEVELOPMENT PLAN FOR SUBDIVISION" at the end of the note.

An access easement is needed where the driveway of the south parking area overlaps onto proposed tract 1A.



Jack Cloud AICP, DRB Chairman
924-3880/ jcloud@cabq.gov

City of Albuquerque Planning Department
One Stop Shop – Development and Building Services

09/16/2008 Issued By: PLNSDH

Permit Number: 2008 070 406 **Category Code 910**

Application Number: 08DRB-70406, Minor - Preliminary/ Final Plat Approval

Address:

Location Description: SAN MATEO BLVD NE BETWEEN BALLOON FIESTA PKWY NE AND SAN DIEGO DR NE

Project Number: 1007488

Applicant
Citicorp Credit Services

100 Citibank Dr
San Antonio TX 78245
210-877-8830

Agent / Contact
Land Development Consultants

5620-B San Francisco Dr Ne
Albuquerque NM 87109
797-4120

Application Fees

441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	\$20.00
441006/4983000	DRB Actions	\$215.00
TOTAL:		\$235.00

City Of Albuquerque
Treasury Division

9/16/2008 9:30AM LOC: ANX
US# 003 TRANS# 0003
RECEIPT# 00096474-00096474
PERMIT# 2008070406 TRSSVC
Trans Amt \$235.00
Conflict Mgmt. Fee \$20.00
DRB Actions \$215.00
CI \$235.00
CHANGE \$0.00

Thank You

Current DRC
Project Number: _____

FIGURE 12

Date Submitted: 7/25/12

Date Site Plan Approved: _____

Date Preliminary Plat Approved: N/A

Date Preliminary Plat Expires: N/A

DRB Project No.: 1007488

DRB Application No.: 12 DRB-70172

ORIGINAL

INFRASTRUCTURE LIST

(Rev 9-20-05)

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Presbyterian Systems Office

PROPOSED NAME OF PROJECT/SITE DEVELOPMENT PLAN

Tracts D-1B-2 & D-1E-1 Sisters of the Order of St. Dominic

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size 25' F-F	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
			ARTERAIL PAVING W/ PCC CURB & GUTTER/ MEDIAN CURB (SOUTH SIDE) (Approx 145 LF)	Balloon Fiesta Pkwy	West Site Entrance	Existing Concrete Rundown	/	/	/
			CONTRETE RUNDOWN	Balloon Fiesta Parkway	West Property Line	Existing Concrete Rundown	/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
Approval of Creditable Items:							Approval of Creditable Items:		
Impact Fee Administrator Signature Date							City User Dept. Signature Date		

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

- 1 _____
- 2 _____
- 3 _____

AGENT / OWNER	DEVELOPMENT REVIEW BOARD MEMBER APPROVALS	
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<p><u>Glenn Broughton</u> NAME (print)</p> <p><u>Bobannan Huston</u> FIRM</p> <p><u>Glenn Broughton</u> 7/25/12 SIGNATURE - date</p>	<p><u>[Signature]</u> 7-25-12 DRB CHAIR - date</p> <p><u>[Signature]</u> 07-25-12 TRANSPORTATION DEVELOPMENT - date</p> <p><u>Allen Parker</u> 07/25/12 UTILITY DEVELOPMENT - date</p> <p><u>[Signature]</u> 7/25/12 CITY ENGINEER - date</p>	<p><u>Carol S. Dumont</u> 7-25-12 PARKS & RECREATION - date</p> <p>_____ AMAFCA - date</p> <p>_____ - date</p> <p>_____ - date</p>
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DESIGN REVIEW COMMITTEE REVISIONS				
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REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

City of Albuquerque Planning Department

DEVELOPMENT AND BUILDING SERVICES

STANDARD APPLICATION, Paper Plans Required

DEVELOPMENT REVIEW BOARD

06/12/2012 Issued By: BLDAVM 150472

Category Code **910**
2012 070 172

Application Number: 12DRB-70172, Amended Sdp For Bp

Address:

Location Description: 9521 SAN MATEO BLVD NE

Project Number: 1007488

Applicant

PRESBYTERIAN HEALTHCARE SERVICES

PO BOX 26666
ALBUQUERQUE NM 87125

Agent / Contact

DEKKER PERICH SABATINI
KEVIN KOFCHUR
7601 JEFFERSON NE SUITE 100
ALBUQUERQUE NM 87109

Application Fees

441018/4943000	APN Fee	
441032/3416000	Conflict Mgmt Fee	\$20.00
441006/4958000	DRB Actions	\$50.00
TOTAL:		\$70.00

City of Albuquerque Treasury
Date: 6/12/2012 Office: ANNEX
Stat ID: W50000006 Cashier: TRSSV6
Batch: 337 Trans #: 29
Permit: 2012070172
Receipt Num 00024346
Payment Total: \$70.00
0901 Conflict Manag. Fee \$20.00
0903 DRB Actions \$50.00
Check Tendered : \$70.00

City of Albuquerque Planning Department

DEVELOPMENT AND BUILDING SERVICES

STANDARD APPLICATION, Paper Plans Required

DEVELOPMENT REVIEW BOARD

07/09/2012 Issued By: BLDAVM 150472

Category Code **910**
2012 070 172

Application Number: 12DRB-70172, Amended Sdp For Bp

Address:

Location Description: 9521 SAN MATEO BLVD NE

Project Number: 1007488

Applicant
PRESBYTERIAN HEALTHCARE SERVICES

PO BOX 26666
ALBUQUERQUE NM 87125

Agent / Contact
DEKKER PERICH SABATINI
KEVIN KOFCHUR
7601 JEFFERSON NE SUITE 100
ALBUQUERQUE NM 87109

Application Fees

APN Fee

Conflict Mgmt Fee

DRB Actions \$50.00

TOTAL: **\$50.00**

City of Albuquerque Treasury
Date: 7/9/2012 Office: ANNEX
Stat ID: W5000007 Cashier: TRSSVG
Batch: 445 Trans #: 40
Permit: 2012070172
Receipt Num 00032471
Payment Total: \$50.00
0903 DRB Actions
VISA Tendered : \$50.00



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z

ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
 - Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): DEKKER/PERICH/SABATINI PHONE: 761-9700
 ADDRESS: 7601 JEFFERSON ST. NE SUITE 100 FAX: 761-4222
 CITY: ALBUQUERQUE STATE NM ZIP 87109 E-MAIL: kevink@dpsdesign.org

APPLICANT: PRESBYTERIAN HEALTHCARE SERVICES PHONE: 841-1234
 ADDRESS: P.O. BOX 26666 FAX: _____
 CITY: ALBUQUERQUE STATE NM ZIP 87125 E-MAIL: _____

Proprietary interest in site: _____ List all owners: _____

DESCRIPTION OF REQUEST: APPROVAL OF AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. D-1E-1 Block: _____ Unit: _____
 Subdiv/Addn/TBKA: SISTERS OF THE ORDER OF ST. DOMINIC
 Existing Zoning: SU-2/IP-EP Proposed zoning: NO CHANGE MRGCD Map No _____
 Zone Atlas page(s): B-17 UPC Code: 101706546236810220

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): AA-96-57; V-96-53; DRB-96-234; DRB-94-378/DRB-93-324; CSU-71-96; Z-87-113, 1007488

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO (BUFFER ON SITE, NOT TOUCHING BUILDING)
 No. of existing lots: 1 No. of proposed lots: N/A Total site area (acres): 31.72
 LOCATION OF PROPERTY BY STREETS: On or Near: 9521 SAN MATEO BLVD. NE
 Between: SAN DIEGO AVE. NE and BALLOON FIESTA PARKWAY NE

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: 10/25/2011

SIGNATURE [Signature] DATE 6/12/2012
 (Print Name) KEVIN KOEHLER Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 4/2012

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>12 DRB - 70172</u>	<u>ASBP</u>	_____	<u>\$ 50.00</u>
_____	<u>CMF</u>	_____	<u>\$ 20.00</u>
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
Hearing date <u>June 20, 2012</u>			Total <u>\$ 70.00</u>

Valer Pater

6-12-2012
Staff signature & Date

Project # 1007488

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** **Maximum Size: 24" x 36"**
- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) **6 copies.**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)** **Maximum Size: 24" x 36"**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Completed Site Plan for Subdivision Checklist
 - Infrastructure List, if relevant to the site plan
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)** **Maximum Size: 24" x 36"**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. **6 copies.**
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist
 - Copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01)** **Maximum Size: 24" x 36"**
- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02)** **Maximum Size: 24" x 36"**
- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)**
- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Solid Waste Management Department signature on Site Plan for Building Permit
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
 - Infrastructure List, if relevant to the site plan
 - Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

KEVIN KOFLER (AGENT)
Applicant name (print)

[Signature] 6/12/2012
Applicant signature / date



Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
12 - DRB - 70172

[Signature] 6-12-2012
Planner signature / date

Project # 1007488

CITY OF ALBUQUERQUE



FROM: Carol Dumont, Parks & Recreation Department

DATE: June 19, 2012

**Parks & Recreation Comments for Development Review Board meeting
of June 20, 2012**

**Project #1007488 12DRB-70172 Amended Site Development Plan for Building Permit –
Lot(s) D-1E-1, Sisters of the Order of St. Dominic zoned SU-2/IP-EP**

- 1. Height shown for new building is 57' 2" which exceeds the North I-25 Sector Development Plan 3 story height limit of 39' which is a concern for balloonists safety.**
- 2. Proposed new building appears to be located on landfill buffers for both Nazareth and Coronado landfills according to Figure 9 of the North I-25 Sector Development Plan Figure 9 "Closed Landfill Sites" exhibit which identifies the 1000 ft. required buffer area. Certain Environmental requirements must be met. Defer to Environmental Health for requirements for Site Development Plan approval.**
- 3. The proximity of the western parking area and water harvesting area to the property line is of concern to the Parks & Recreation Department as the property line is adjacent a steep eroding slope on the Balloon Fiesta Park property. Any additional runoff would be harmful to the Park property. Request that additional water harvesting areas be provided in parking lot landscaped areas.**
- 4. Request that temporary construction fencing be installed for the duration of the construction to prevent contractors from exceeding limits of construction onto the City property.**
- 5. Request deferral to allow time for Balloon Fiesta Commission to meet with Presbyterian Medical Services to discuss and come to agreement on issues relating to the proposed amended site development plan.**

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

July 17, 2012

Mr. Jack Cloud
Chairman
City of Albuquerque Planning Department
600 2nd St. NW
Albuquerque, NM 87103

Re: DRB Re-submittal to address comments from 6/20/2012 hearing
Request for Amended Site Development Plan for Building Permit
Project # 1007488; 12DRB-70172

Dear Mr. Cloud:

This letter is to document our responses to the comments provided by the DRB for the June 20, 2012 hearing, and revisions to the submittal package to address those comments. The comments are attached for reference, and our responses are below.

A. Environmental Health:

- a. A memo from Suzanne Busch of Environmental Health was provided via an email from Jack Cloud on June 19, 2012.
- b. The memo noted that a landfill gas assessment report is required. DPS emailed the report dated August 30, 2011 to Suzanne for her review prior to the 6/20/12 hearing. Following the hearing Suzanne emailed to request an update to the report based on the site plan submitted. The updated report was provided, and Suzanne reviewed it and notified us there were no requirements for the area of the site being reviewed. A copy of Suzanne's email dated 7/3/12 is attached.

B. Parks & Recreation:

- a. Carol Dumont of Parks and Rec provided written comments. Below are our responses and actions.
- b. Comment 1: Building height limit. As is allowed in the North I-25 Sector Plan, we are retaining the existing zoning (SU-2 IP/EP) and the height limit under that zoning is per the requirements of the Zone Code (14-16-Z-19.C.1) which allows 26' at any legal location, and increases based on a sloping line measured from the property line or centerline of adjacent ROW, up to a maximum height of 120 feet. The building addition as submitted meets those requirements.
- c. Comment 2: Landfill Gas Buffer. See Environmental Health comments above.
- d. Comment 3: Water harvesting and the west landscape buffer. Additional water harvesting has been provided in the landscape islands of the parking areas per the request of this comment and those of Hydrology. The west landscape buffer is oversized relative to the requirements of the Sector Plan and Zone Code, and is graded with a swale to retain any rain which falls directly on it. Drainage up-stream of this area is managed with storm drain inlets and piping, and does not surface drain across this area. There will be no new surface drainage across the hillside to the west, which is on Balloon Fiesta Park property.
- e. Comment 4: Construction fencing along the west property line. A temporary fence will be provided along the west property line during construction.
- f. Comment 5: Meeting between Balloon Fiesta Park and Presbyterian. A meeting was held at our offices on July 3, 2012 as requested, and the comments were discussed relative to our responses above. It was agreed that the two entities would remain in contact and work together on this project and on-going events at the park.

C. Hydrology:

- a. Curtis Cherne of Hydrology provided written comments. Below are our responses and actions.
- b. First Comment: Infrastructure List. A draft infrastructure list was provided by BHI on 6/19/12. Hydrology has reviewed the draft and provided comments, which have been incorporated into the revised version being submitted with this letter.

- c. Second Comment: The overall site plan has been made a second sheet behind the site plan with the signature block. It is being retained to show context with the existing surface improvements in the ROW.
- d. Third Comment: The existing storm drains and sedimentation ponds that drain through the site have been shown on the revised drawings submitted with this letter.
- e. Fourth Comment: Additional water harvesting has been provided at the parking end islands, which addresses this comment and Parks and Rec comment 3 above.
- f. Fifth Comment: Our civil engineer, BHI, has received the referenced letter and has addressed those further comments with Hydrology.

D. Transportation:

- a. Kristal Metro of Transportation provided written comments. Below are our responses and actions.
- b. First Comment: The requested exhibit was provided at the hearing on 6/20/12. There are existing sidewalk easements already in place per the existing plat.
- c. Second Comment: The sign locations have been modified and sight distance triangles have been added to the Site Development Plan.
- d. Third Comment: As-built information for the Balloon Fiesta Parkway frontage was submitted by BHI to Transportation via email on 6/29/12.
- e. Fourth Comment: See the first comment above regarding sidewalk easements for the sidewalks along both Balloon Fiesta Parkway and San Mateo. These easements are also called out on the Site Plan.
- f. Fifth Comment: The sign locations have been modified and a sight distance exhibit has been provided.
- g. Sixth Comment: The medians have been shown on the overall site plan as requested.
- h. Seventh Comment: The legends on the Landscape Plans have been revised to locate the symbols adjacent to the plant names.
- i. Eighth Comment: ADA pathways have been more clearly identified as requested.
- j. Ninth Comment: The ADA parking stalls are flush with the walkway. Parking bumpers have been provided.
- k. Tenth Comment: Existing fencing has been called out on the site plan as requested.
- l. Eleventh Comment: A revised infrastructure list has been provided.
- m. Twelfth Comment: The site plan has been revised to more clearly indicate the existing conditions. Areas of the site with existing improvements to remain are shaded gray, and areas to be improved are not.
- n. Thirteenth Comment: The previous version of the site plan did not use keyed note 55 so it was an erroneous note. However, the new version of the site plan submitted with this letter utilizes note 55 along with several other new notes.

E. Planning:

- a. Jack Cloud, DRB chairman, provided written comments for Planning. Below are our responses and actions.
- b. First Comment: The first two sheets of the drawing set have been switched so the official Site Development Plan with signature block comes first.
- c. Second Comment: The zoning information on the site plan has been updated to show the existing SU-2 IP/EP zoning, indicating we are following that compliance path option under the North I-25 Sector Plan.
- d. Third Comment: Conformance with North I-25 Sector Plan - Community Context, Community Identified Issues, Community Design Policies, and specifically proposed paving/parking quantity.
 - i. Community Context:
 - 1. Albuquerque/Bernalillo County Comprehensive Plan, Established and Developing Urban Area Policy d, requires that the design of new development shall respect the existing neighborhood values, natural environment conditions and carrying capacities, etc. The proposed amendments to the Site Development Plan are based on the original site master plan, tailored to the needs of the applicant (PHS). The use of the site remains an office use, and is in context with surrounding uses and densities.

2. Trails and Bikeways Facilities Plan: PHS has many cyclists and is providing amenities such as bike storage and shower facilities to support this group and encourage use of the City-wide system as an alternative transportation mode.
 3. Balloon Fiesta Park Master Development Plan recommends that the gateway area to the Park from I-25 should be protected by the City and County. No changes are proposed to Balloon Fiesta Parkway with the exception of improving the roadway infrastructure at the northwest corner of the site. New landscaping will be provided along Balloon Fiesta Parkway at this location adjacent to the new off-street parking areas.
 4. Metropolitan Transportation Plans & Programs are furthered by the introduction of new ridership in the form of 2,000+ potential riders. PHS is working with ABQ Ride on programs to encourage their staff to utilize public transportation.
 5. Transportation: PHS is moving its administrative facilities from their current location near the airport to this more central location, which will shorten the commute for the majority of its staff, thereby reducing the impact on transportation infrastructure.
 6. Drainage: The first phase of development on the site implemented a significant drainage infrastructure that handles not only on-site flows but also flows from up-stream as well. The on-site improvements will utilize the existing capacities which were designed for full built-out.
 7. Landfills: As noted above, the presence of nearby closed landfills necessitates the investigation of potential landfill gas issues. These investigations have been done in the form of a landfill gas assessment that has been reviewed by City Environmental Health.
- ii. Community Identified Issues:
1. Land Use & Community Design – Building Height: The existing building is two stories with a mechanical penthouse/roof screen which appears as a third story. The proposed phase two building continues the scale of the existing building, limiting the number of stories to three, with rooftop equipment screens. The overall height of the phase two building is only eight feet taller than the existing building. The taller of the two buildings is located at the east end of the site, further away from Balloon Fiesta Park.
 2. Transportation & Environmental Issues: See Community Context section above.
- iii. Community Design Policies:
1. Policy CD1: Views from the public ROW to natural features are maintained by limiting the building height to what is proposed rather than what is allowed under the Zone Code. Views from the new central building entry plaza accentuate Sandia Crest.
 2. Policy CD2: The proposed building addition is located adjacent to the San Mateo, and follows the intent of the original master plan.
 3. Policy CD3: Bicycle access is provided through the City system, and continued on-site to the west building entrance adjacent to the fitness center. A 1.1 mile pedestrian path loop extends around the entire site, and connects to Balloon Fiesta Park to the west.
 4. Policy CD4: A well defined internal vehicular circulation path connects the public ROW with parking cells of limited size.
 5. Policy CD5: Site lighting is provided with a variety of devices including the existing 40' light poles in the existing parking areas, new 20' light poles in the new parking areas, and new 14' pedestrian scale light poles at entry plazas.
 6. Policy CD6: Service areas and loading docks are located out of view of the public ROW and are integrated into the design of the buildings.
 7. Policy CD7: Landscaping is informal and naturalistic, as well as low-water-use.
 8. Policy CD8: The buildings have a horizontal nature, with varied fenestration consisting primarily of horizontally banded windows accentuated with punched openings on the south and west facades. Building entries are

- highlighted with human scale overhangs and red accent walls to help with wayfinding.
9. Policy CD9: Roof forms are flat parapets, with a variety of heights for visual interest.
 10. Policy CD10: Building facades are varied based on solar orientation, with accents near building entries, courtyards, and outdoor activity areas.
 11. Policy CD11: Building materials consist primarily of stucco planes in varied earth-tone colors, accentuated with horizontal ribbed metal panels, and a consistent aluminum storefront glazing system. Site materials include special paving at entry plazas, with natural stone benches and shade structure supports.
 12. Policy CD12: Mechanical equipment is screened with building integrated roof screens. Ground mounted electrical equipment is screened with landscaping, with clearances required by PNM.
 13. Policy CD13: Monument signs are designed to compliment building forms and materials.
 14. Policy CD14: Building mounted signs are scaled to work with the overall building mass, and located per the requirements of the Sector Plan design guidelines.
 15. Policy CD15: Public utilities easements are indicated on the Site Development Plan.
- iv. Paving/parking quantity: PHS will have in excess of 2,100 staff located at this facility on a daily basis. There is also a learning center component which will host meetings for staff from off-site, as well as outside groups. The capacity of the auditorium component of the learning center is 300 seats. In total, there could be as many as 2,400 people at the site on any given day. While PHS encourages the use of public transit and bicycles for commuting, the numbers which use these alternative transportation modes amounts to a small percentage of their population. Therefore, the number of parking spaces proposed for the facility totals 2,179, which is approximately ninety percent of the total demand.
 - e. Fourth Comment: Kristal Metro indicated at the 6/20/12 hearing that she did not have any comments on the parking lot layout. No action required.
 - f. Fifth Comment: The Landscape Plan legend has been updated as described in the Transportation comment responses above.
 - g. Sixth Comment: The landscape drawings have been revised to exclude the parking lot 'border' areas from the open space calculation, as requested.
 - h. Seventh Comment: Zoning Enforcement has been contacted and we are awaiting their reply. As of the writing of this letter we have not received their response, but will provide it prior to the scheduled hearing date of 7/25/2012.
 - i. Eighth Comment: Sector Plan requirements regarding lighting height, articulated entrance, number of building mounted signs, building sign letter size, building sign height, and building height overlay.
 - i. Lighting height: The Site Development Plan has been revised to indicate that all new site lighting will comply with the height limit of 20 feet. Existing parking lot lighting is comprised of 40 foot high fixtures, and these are proposed to remain for the remainder of their service life.
 - ii. Articulated entrance: the two main building entries on the northeast and southwest of the link between the existing and new buildings are articulated with red accent walls to announce their presence from afar, and articulated further with human scale (single story) projecting awnings and large glazed areas for views both into and out of the building lobbies. These elements meet the requirements of the Sector Plan's section 4.2 Design Regulations, Building Design Regulations paragraph b)1.
 - iii. Number of building mounted signs: the Site Development Plan has been revised to limit the number of building mounted signs to two, the limit for a single tenant building.
 - iv. Building sign letter size: the Site Development Plan elevations have been revised to limit the sign letter size to 18" per the Design Regulations.
 - v. Building sign height: the Site Development Plan elevations have been revised to locate the building mounted signs between the second floor level and the first floor ceiling, per the Design Regulations.

- vi. Building height overlay: as noted above, we are following the existing zoning compliance path, which allows the building height per the requirements of the Zone Code, per section 4.3 of the Sector Plan.

F. Hydrology, supplemental comments provided by Curtis Cherne in his letter dated June 22, 2012:

a. Drainage Management Plan

- i. First bullet: The existing sedimentation ponds and associated piping have been shown on sheets C-100 and C-102.
- ii. Second bullet: The outfall of the 72" SD has been shown on sheets C-100 and C-101.
- iii. Third bullet: The on-site storm drains have been shown on all civil sheets.
- iv. Fourth Bullet: The narrative has been updated to indicate that parking lot flows will be routed through the parking islands, and the drawings call out the curb openings to accomplish water harvesting.

b. Grading and Drainage Plan

- i. First bullet: Items listed under the Drainage Management Plan have been added to the Grading and Drainage Plan.
- ii. Second bullet: Curb and gutter and rundowns are shown conceptually on sheet C-101. Final design plans to be approved by DRC.
- iii. Third bullet: A detail has been added to a new sheet, C-300, showing a retaining wall at the west property line with a top elevation higher than the curb to the east.
- iv. Fourth Bullet: Existing grades have been added to slope west of the site on sheets C-100, C-101, and C-102.
- v. Fifth Bullet: Noted.

We respectfully request approval of the above request. If you have any questions or need clarification of anything contained herein, please contact Kevin Kofchur or myself.

Sincerely,

Dekker/Perich/Sabatini
Agent for Presbyterian Healthcare Services



Christopher R. Gunning, AIA, LEED AP
Principal

Attachments: DRB Comments from 6/20/2012 hearing
Email from Suzanne Busch regarding LFG dated 7/3/2012
Letter from Curtis Cherne dated 6/22/2012
Infrastructure List

Christopher R. Gunning

From: Busch, Suzanne M. [SBusch@cabq.gov]
Sent: Tuesday, July 03, 2012 9:34 AM
To: Christopher R. Gunning
Cc: Ken Hunter
Subject: RE: Presbyterian LFG Assessment Project # 1007488 12DRB-70172 Amended Site Development Plan for Building Permit for Presbyterian Healthcare Services

Thanks Chris. The site does not require remediation regarding landfill gas. Suzanne

From: Christopher R. Gunning [mailto:chrisg@dpsdesign.org]
Sent: Tuesday, July 03, 2012 8:44 AM
To: Busch, Suzanne M.
Subject: RE: Presbyterian LFG Assessment Project # 1007488 12DRB-70172 Amended Site Development Plan for Building Permit for Presbyterian Healthcare Services

Here you go Suzanne. Note that the lot impacted by the LFG buffer zone is not included in our amended site plan approval request. When Presbyterian is ready to develop that parcel, we will be required to go back for site plan review. Please let me know if you have any questions.

Chris

From: Busch, Suzanne M. [mailto:SBusch@cabq.gov]
Sent: Tuesday, July 03, 2012 8:24 AM
To: Christopher R. Gunning
Subject: RE: Presbyterian LFG Assessment Project # 1007488 12DRB-70172 Amended Site Development Plan for Building Permit for Presbyterian Healthcare Services

Hi Chris, would you mind sending me a pdf drawing of the site plan? It seems like no mitigation measures are required, but I would like a copy for my files. Thanks, Suzanne

From: Christopher R. Gunning [mailto:chrisg@dpsdesign.org]
Sent: Thursday, June 28, 2012 8:20 AM
To: Busch, Suzanne M.; Cloud, Jack W.
Cc: Kevin Kofchur
Subject: RE: Presbyterian LFG Assessment Project # 1007488 12DRB-70172 Amended Site Development Plan for Building Permit for Presbyterian Healthcare Services

Suzanne,

Vinyard and Associates has provided an update to their LFG report based on the proposed development described in our amended site plan application. A copy is attached. Please let us know if you have any questions or comments.

Thanks,
Chris

From: Busch, Suzanne M. [mailto:SBusch@cabq.gov]
Sent: Thursday, June 21, 2012 11:00 AM

To: Christopher R. Gunning; Cloud, Jack W.

Cc: Kevin Kofchur

Subject: RE: Presbyterian LFG Assessment Project # 1007488 12DRB-70172 Amended Site Development Plan for Building Permit for Presbyterian Healthcare Services

Chris, I have reviewed the Landfill Gas Survey dated August 30, 2011 you emailed me on Tuesday. The report requires that once the development is established, it would need to be updated for actual site conditions. If you would have the report updated, I can complete my review and provide comments for the project. Suzanne

From: Christopher R. Gunning [mailto:chrisg@dpsdesign.org]

Sent: Tuesday, June 19, 2012 2:07 PM

To: Busch, Suzanne M.

Cc: Kevin Kofchur

Subject: Presbyterian LFG Assessment Project # 1007488 12DRB-70172 Amended Site Development Plan for Building Permit for Presbyterian Healthcare Services

Suzanne,

I got your voice mail. We had an assessment done for the site last summer when Presbyterian was closing on the property. I assume this will suffice? Please let me know, and if you have any questions or want to discuss call me at 761-9700.

Thanks,
Chris

Christopher R. Gunning, AIA, LEED AP BD+C - Principal

Dekker/Perich/Sabatini

7601 Jefferson NE, Suite 100 | Albuquerque, NM 87109 | 505.761.9700

The revitalization of the Del Norte High School for Albuquerque Public Schools has reached a major milestone with the completion of the 156,283 square foot \$23.4 million dollar main classroom building.

CITY OF ALBUQUERQUE



FROM: Carol Dumont, Parks & Recreation Department

DATE: June 19, 2012

**Parks & Recreation Comments for Development Review Board meeting
of June 20, 2012**

**Project #1007488 12DRB-70172 Amended Site Development Plan for Building Permit –
Lot(s) D-1E-1, Sisters of the Order of St. Dominic zoned SU-2/IP-EP**

- 1. Height shown for new building is 57' 2" which exceeds the North I-25 Sector Development Plan 3 story height limit of 39' which is a concern for balloonists safety.**
- 2. Proposed new building appears to be located on landfill buffers for both Nazareth and Coronado landfills according to Figure 9 of the North I-25 Sector Development Plan Figure 9 "Closed Landfill Sites" exhibit which identifies the 1000 ft. required buffer area. Certain Environmental requirements must be met. Defer to Environmental Health for requirements for Site Development Plan approval.**
- 3. The proximity of the western parking area and water harvesting area to the property line is of concern to the Parks & Recreation Department as the property line is adjacent a steep eroding slope on the Balloon Fiesta Park property. Any additional runoff would be harmful to the Park property. Request that additional water harvesting areas be provided in parking lot landscaped areas.**
- 4. Request that temporary construction fencing be installed for the duration of the construction to prevent contractors from exceeding limits of construction onto the City property.**
- 5. Request deferral to allow time for Balloon Fiesta Commission to meet with Presbyterian Medical Services to discuss and come to agreement on issues relating to the proposed amended site development plan.**

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT**

**HYDROLOGY DEVELOPMENT SECTION
DEVELOPMENT REVIEW BOARD MEMO**

DRB PROJECT NO: 1007488

AGENDA ITEM NO: 11

SUBJECT:

Amended Site Plan for Building Permit

ENGINEERING COMMENTS:

An infrastructure list is required for curb and gutter on Balloon Fiesta Pkwy.

Remove the Overall Site plan and move the details on the sheet to a "Detail" sheet.

The grading plan should show existing storm drains the offsite sedimentation ponds that drain through this site.

This site seems well-suited to drain the parking lot through the parking islands. Could this concept be integrated into the design?

Hydrology will be issuing a comment letter on the Hydrology submittal today or tomorrow.

RESOLUTION/COMMENTS:

SIGNED:

Curtis Cherne
Hydrology Section
City Engineer Designee
AMAFCA Designee
924-3986

DATE: 6-20-12

PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
TRANSPORTATION SECTION

DEVELOPMENT REVIEW BOARD – SPEED MEMO

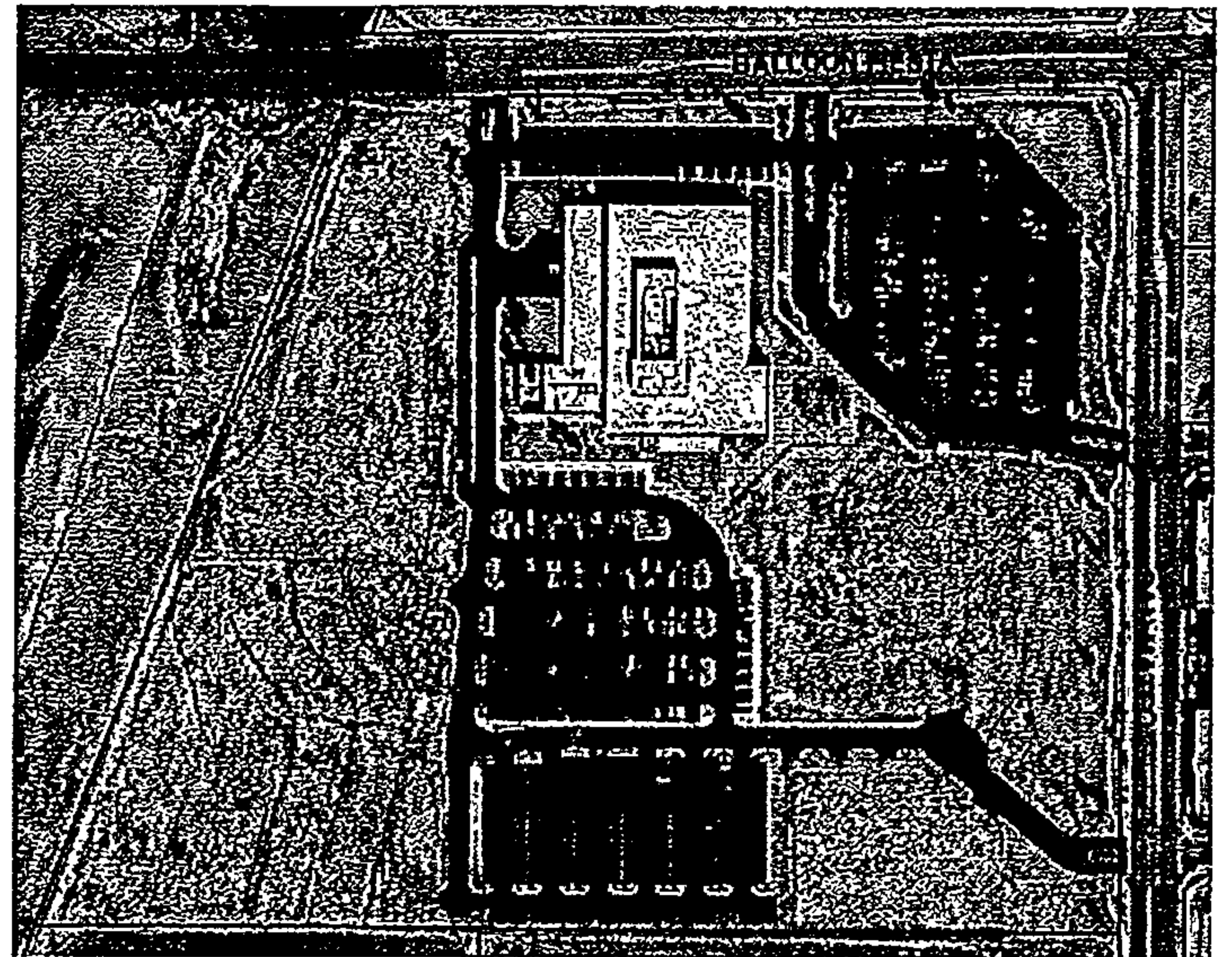
DRB CASE NO: 1007488

AGENDA ITEM NO: 11

SUBJECT:
SITE PLAN FOR BUILDING PERMIT – AMENDED

ENGINEERING COMMENTS:

Provide an exhibit showing the location of sidewalk and defining the distance from face of curb to the property line. Right of way dedication may be required.
The directional signs at the entrances appear to interfere with the sight distance at the entrances. Please provide a sight distance exhibit.
Provide as-built information for all Balloon Fiesta Parkway frontage. Is this a temporary or permanent pavement section?
All public sidewalk must be located within City right of way or a public sidewalk easement.
The proposed monument sign appears to interfere with the sight distance at the intersection of Balloon Fiesta Parkway and San Mateo Boulevard. Please provide a sight distance exhibit.
Show all medians on Balloon Fiesta Parkway and San Mateo Boulevard NE.
Landscape plan: symbols must be clearly defined on the legend.
Clearly show the ADA pedestrian pathway across the entrances.
Are the ADA parking stalls flush with the median?
Show all existing fencing on the site plan.
An infrastructure list is required.
Clearly show all existing conditions.
Keyed note 55 is not defined in the legend.



Disclaimer: The comments provided are based upon the information received from the applicant. If new or revised information is submitted, additional comments may be provided by Transportation Development.

RESOLUTION:

APPROVED ___; DENIED ___; DEFERRED ___; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED: Kristal D. Metro
Transportation Development 505-924-3991

DATE: JUNE 20, 2012

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
June 20, 2012
DRB Comments**

ITEM # 11

PROJECT # 1007488

APPLICATION # 12-70172

RE: Lot D-1E-1, Sisters of the Order of St. Dominic

Sheet A1b should be switched with A1a as the cover sheet with signature block. The site plan needs to be clear as to which zone category this development is proceeding under.

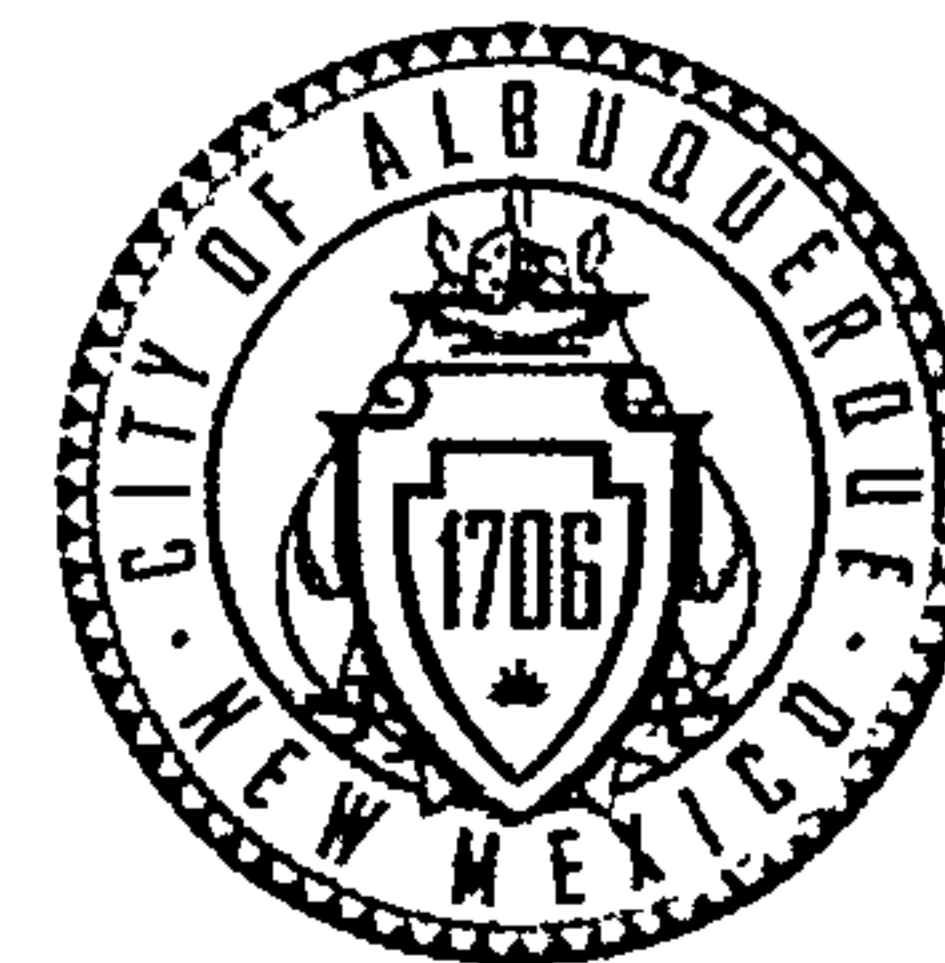
Conformance with the Community Context, Community Identified Issues, and Community Design Policies of the North I-25 Sector Plan needs to be demonstrated. Excessive paving/ parking in particular needs to be addressed. Refer to comments from Transportation Development regarding parking lot layout.

The Landscape Plan needs to provide more specificity in the legend. Parking Lot 'border' areas (that define the parking lot) are not appropriate to count as Usable Open Space.

Zoning Enforcement needs to confirm compliance with Zoning Code and North I-25 Sector Plan via memo or initials on site plan (see email of 5/31/2012). Please note sector plan requirements for lighting height, articulated entrance, number of building mounted signs, building sign letter size, building sign height, and building height overlay.

Jack Cloud, DRB Chairman
924-3880/ jcloud@cabq.gov

CITY OF ALBUQUERQUE



June 22, 2012

Glenn S. Broughton, P.E.
Bohannon Huston, Inc.
7500 Jefferson NE
Albuquerque, NM 87109

Re: Presbyterian Systems Office Drainage Management Plan and Grading and Drainage Plan

Engineer's Stamp dated 6-13-12 (B17/D003)

Dear Mr. Broughton,

Based upon the information provided in your submittal received 6-14-12, the above referenced plans cannot be approved for Site Development for Building Permit until the following comments are addressed:

Drainage Management Plan:

- Show the sedimentation ponds and associated storm drains south of this site. The narrative should also contain a discussion of offsite flows.
- Show the outfall of the 72" SD, downstream pond/channel and the storm drains under Balloon Fiesta Pkwy. Include the flow from the 72" SD, and the capacity of the six 48" CMPs.
- Show onsite storm drains.
- Please add to the narrative the concept that parking lot flows will be routed through parking islands.

Grading and Drainage Plan:

- Since the Grading and Drainage Plan is included in the Site Plan submittal to DRB, include the items listed under Drainage Management Plan.
- Show the proposed curb and gutter and drainage rundown with flows.
- Show that the west side of the water harvesting area is higher than top of curb in Detail 1. In case this area spills, it should spill to the east.
- Provide existing grades along the western property line that adequately depicts the slope.
- Comments provided on the grading and drainage plan were conceptual only. Additional comments may be provided when the plan is submitted for Building Permit approval

If you have any questions, you can contact me at 924-3986.

Sincerely,

Curtis Cheme, P.E.

Principal Engineer, Planning Dept.
Development and Building Services

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

Current DRC
Project Number: _____

FIGURE 12

Date Submitted: 7/18/12

Date Site Plan Approved: _____

INFRASTRUCTURE LIST

Date Preliminary Plat Approved: N/A

(Rev. 9-20-05)

Date Preliminary Plat Expires: N/A

EXHIBIT "A"

DRB Project No.: 1007488

TO SUBDIVISION IMPROVEMENTS AGREEMENT

DRB Application No.: 12 DRB-70172

DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Presbyterian Systems Office

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Tracts D-1B-2 & D-1E-1 Sisters of the Order of St. Dominic

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the Infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size 25' F-F	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
			ARTERAIL PAVING W/ PCC CURB & GUTTER/ MEDIAN CURB (SOUTH SIDE)	Balloon Fiesta Pkwy	West Site Entracne	West Property Line	/	/	/
			CONTRETE RUNDOWN	Balloon Fiesta Parkway	West Property Line	Existing Rundown	/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification			
							Private Inspector	P.E.	City Cnst Engineer	
<input type="text"/>	<input type="text"/>						/	/	/	
<input type="text"/>	<input type="text"/>						/	/	/	
Approval of Creditable Items:							Approval of Creditable Items:			
Impact Fee Administrator Signature							Date	City User Dept. Signature		Date

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

- 1 _____

- 2 _____

- 3 _____

AGENT / OWNER	DEVELOPMENT REVIEW BOARD MEMBER APPROVALS	
---------------	---	--

Glenn Broughton
NAME (print)

Bobannan Huston
FIRM

[Signature] 7/16/12
SIGNATURE - date

_____ DRB CHAIR - date	_____ PARKS & RECREATION - date
_____ TRANSPORTATION DEVELOPMENT - date	_____ AMAFCA - date
_____ UTILITY DEVELOPMENT - date	_____ - date
_____ CITY ENGINEER - date	_____ - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT**

**HYDROLOGY DEVELOPMENT SECTION
DEVELOPMENT REVIEW BOARD MEMO**

DRB PROJECT NO: 1007488

AGENDA ITEM NO: 8

SUBJECT:

Amended Site Plan for Building Permit

defered 7-25-12

ENGINEERING COMMENTS:

Hydrology has not received the updated grading and drainage plan.

An infrastructure list is required for curb and gutter (minimum) on Balloon Fiesta Pkwy.

Remove the Overall Site plan and move the details on the sheet to a "Detail" sheet.

The grading plan should show existing storm drains the offsite sedimentation ponds that drain through this site.

This site seems well-suited to drain the parking lot through the parking islands. Could this concept be integrated into the design?

RESOLUTION/COMMENTS:

SIGNED:

Curtis Cherne
Hydrology Section
City Engineer Designee
AMAFCA Designee
924-3986

DATE: 7-11-12

PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
TRANSPORTATION SECTION

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO: 1007488

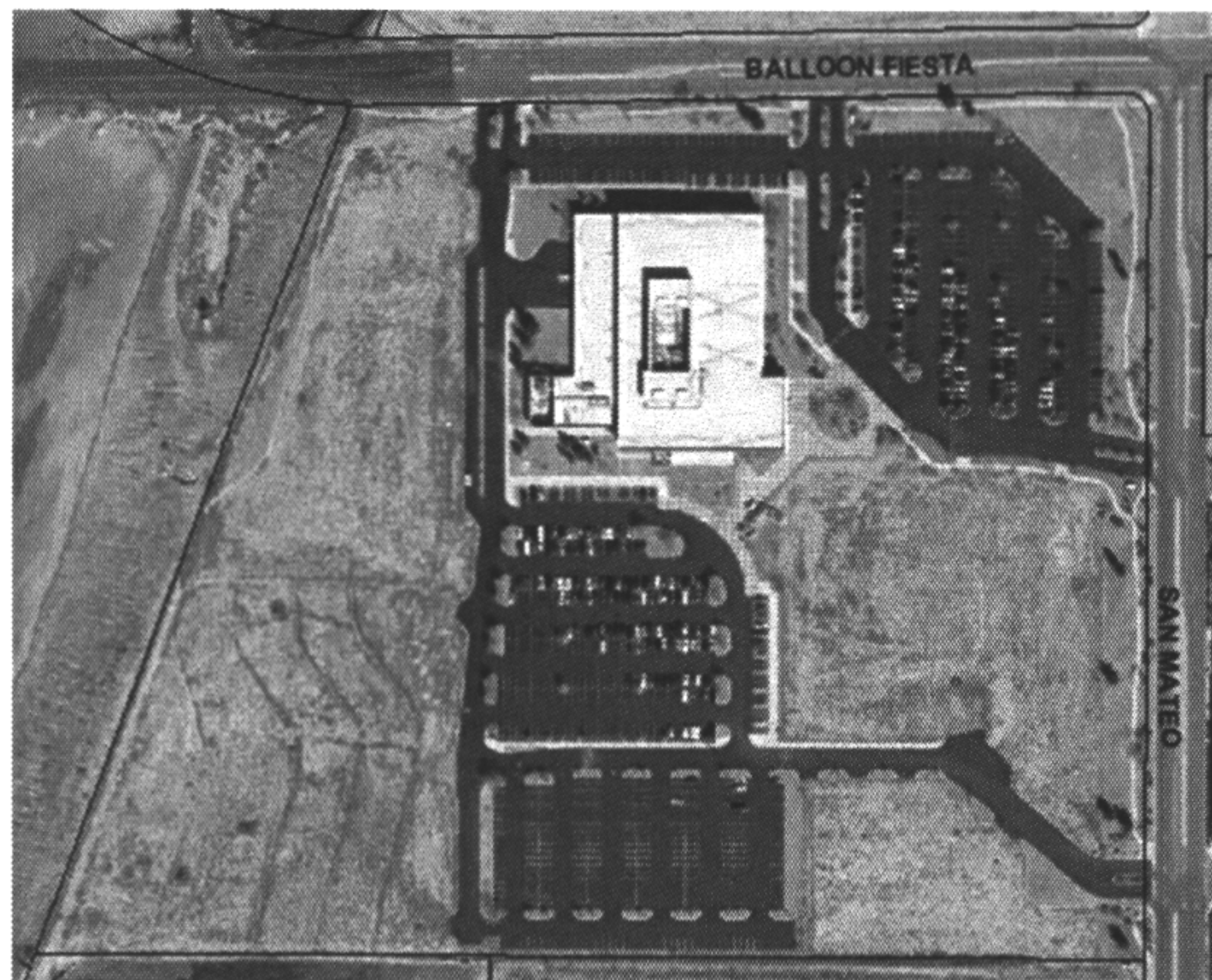
AGENDA ITEM NO: 8

SUBJECT:

SITE PLAN FOR BUILDING PERMIT – AMENDED

ENGINEERING COMMENTS:

- Provide an exhibit showing the location of sidewalk and defining the distance from face of curb to the property line. Right of way dedication may be required.
- The directional signs at the entrances appear to interfere with the sight distance at the entrances. Please provide a sight distance exhibit.
- All public sidewalk must be located within City right of way or a public sidewalk easement.
- The proposed monument sign appears to interfere with the sight distance at the intersection of Balloon Fiesta Parkway and San Mateo Boulevard. Please provide a sight distance exhibit.
- Show all medians on Balloon Fiesta Parkway and San Mateo Boulevard NE.
- An infrastructure list is needed for this site. Permanent curb and gutter, pavement, median curb, and sidewalk will be required. Landscape plan: symbols must be clearly defined on the legend.
- Clearly show the ADA pedestrian pathway across the entrances.
- Are the ADA parking stalls flush with the median?
- Show all existing fencing on the site plan.
- Clearly show all existing conditions.
- Keyed note 55 is not defined in the legend.



Disclaimer: The comments provided are based upon the information received from the applicant. If new or revised information is submitted, additional comments may be provided by Transportation Development.

RESOLUTION:

07-25-12

APPROVED ___; DENIED ___; DEFERRED X; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED:

Kristal D. Metro
Transportation Development

DATE: JULY 11, 2012

505-924-3991

Done 12-5-12

DRB CASE ACTION LOG - BLUE SHEET

- Preliminary/Final Plat [FP]
- Site Plan - Subdivision [SPS]
- Site Plan - Building Permit [SBP] (Amended)

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

Project #: 10074178 Application #: 12DRB-7072
 Project Name: Sisters of the Order of St. Dominic
 Agent: Dekker Porich Sabatine Phone #:

Your request was approved on 7-25-12 by the DRB with delegation of signature(s) to the following departments - outstanding comments to be addressed

TRANSPORTATION: _____

ABCWUA: _____

CITY ENGINEER / AMAFCA: 5/A

PARKS / CIP: _____

PLANNING (Last to sign): Add recording info for easements, clarify trail in Note and Legend

PLATS:

- Planning must record this plat. Please submit the following items:
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
 - County Treasurer's signature must be obtained prior to the recording of the plat with County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

ALL SITE PLANS:

- 3 copies of the approved site plan. Include all pages.



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
 - Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): DEKKER/PERICH/SABATINI PHONE: 761-9700
 ADDRESS: 7601 JEFFERSON ST. NE SUITE 100 FAX: 761-4222
 CITY: ALBUQUERQUE STATE NM ZIP 87109 E-MAIL: kevink@dpsdesign.org

APPLICANT: PRESBYTERIAN HEALTHCARE SERVICES PHONE: 841-1234
 ADDRESS: P.O. BOX 26666 FAX: _____
 CITY: ALBUQUERQUE STATE NM ZIP 87125 E-MAIL: _____
 Proprietary interest in site: _____ List all owners: _____

DESCRIPTION OF REQUEST: APPROVAL OF AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. D-1E-1 Block: _____ Unit: _____
 Subdiv/Addn/TBKA: SISTERS OF THE ORDER OF ST. DOMINIC
 Existing Zoning: SU-2/IP-EP Proposed zoning: NO CHANGE MRGCD Map No _____
 Zone Atlas page(s): B-17 UPC Code: 101706546230810220

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.): AA-96-57; V-96-53; DRB-96-234; DRB-94-378; DRB-93-324; CSU-71-96; Z-87-113, 1007488

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO (BUFFER ON SITE, NOT TOUCHING BUILDINGS)
 No. of existing lots: 1 No. of proposed lots: N/A Total site area (acres): 31.72
 LOCATION OF PROPERTY BY STREETS: On or Near: 9521 SAN MATEO BLVD. NE
 Between: SAN DIEGO AVE. NE and BALLOON FIESTA PARKWAY NE
 Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: 10/25/2011

SIGNATURE [Signature] DATE 6/12/2012
 (Print Name) KEVIN KOELHUR Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 4/2012

<input checked="" type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>12 DRB - 70172</u>	<u>ASBP</u>	_____	<u>\$ 50.00</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>CMF</u>	_____	<u>\$ 20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
				Total
				<u>\$ 70.00</u>

Hearing date June 20, 2012

[Signature]

6-12-2012
Staff signature & Date

Project # 1007488

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** **Maximum Size: 24" x 36"**
- ___ Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)** **Maximum Size: 24" x 36"**
- ___ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - ___ Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Copy of the document delegating approval authority to the DRB
 - ___ Completed Site Plan for Subdivision Checklist
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)** **Maximum Size: 24" x 36"**
- ___ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - ___ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
 - ___ Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
 - ___ Solid Waste Management Department signature on Site Plan
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Copy of the document delegating approval authority to the DRB
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Completed Site Plan for Building Permit Checklist
 - ___ Copy of Site Plan with Fire Marshal's stamp
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01)** **Maximum Size: 24" x 36"**
- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02)** **Maximum Size: 24" x 36"**
- ✓ Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
 - ✓ DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) 6 copies
 - ✓ Zone Atlas map with the entire property(ies) clearly outlined
 - ✓ Letter briefly describing, explaining, and justifying the request
 - ✓ Letter of authorization from the property owner if application is submitted by an agent
 - N/A Infrastructure List, if relevant to the site plan
 - ✓ Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - ✓ Fee (see schedule)
 - ✓ List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)**
- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)**
- ___ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - ___ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
 - ___ Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
 - ___ Solid Waste Management Department signature on Site Plan for Building Permit
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - ___ List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

KEVIN KOPFUR (AGENT)
Applicant name (print)

[Signature] 6/12/2012
Applicant signature / date

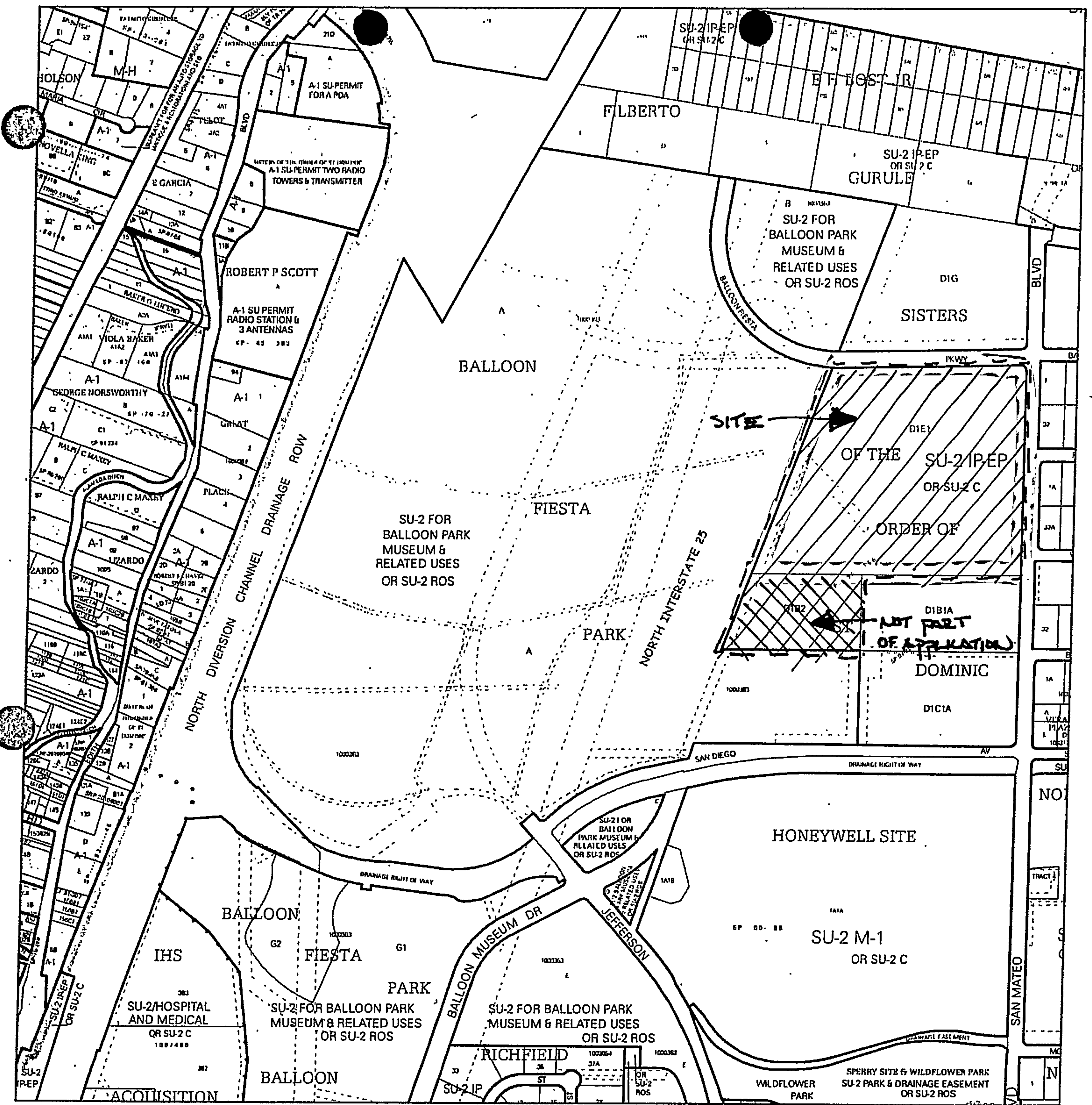


Form revised October 2007

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
12 - DRB - 70172

[Signature] 6-12-2012
Planner signature / date

Project # 1007488



For more current information and more details visit: <http://www.cabq.gov/gis>

AGIS
Albuquerque Geographic Information System

Map amended through: 1/24/2011

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
B-17-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet

June 12, 2012

Mr. Jack Cloud, AICP
Chair, Development Review Board
Plaza Del Sol Building
600 2nd St. NW
Albuquerque, NM 87102

RE: Proposed Presbyterian System Office – Project #1007488
9521 San Mateo NE
Albuquerque, NM 87113
Approx. 38 acres (Tract D-1E-1 of Sisters of the Order of St. Dominic)

To Whom It May Concern:

Dekker/Perich/Sabatini is acting on behalf of Presbyterian Systems Offices as their agent during the entitlement and permitting process of this project. We are submitting the attached application to the Development Review Board for an Amendment of the approved Site Development Plan for Building Permit, dated April 19, 1996 for your review and consideration. The project is zoned under the current IP designation and shall not seek zoning change.

We have attached the previously approved Administrative Amendment of the site dating back to April of '96. Our investigation of City records did not locate the approved original Site Development Plan or a copy of the original Notice of Decision. It is our belief that the AA from '96 is the only approved site plan on file with the City therefore the documentation that accompanies this application shall amend the approved plan of 1996.

The main specifics of the project are as follows:

- Renovation of the existing 2-story, 133,000 s.f. CitiCorp office building (interior and exterior).
- Build a new 3-story, 192,700 s.f. (verify new building area) office building addition adjacent to the existing building; connected with a common entry.
- Add additional parking areas to accommodate the staff of new office building addition.

Additional project specifics include the following:

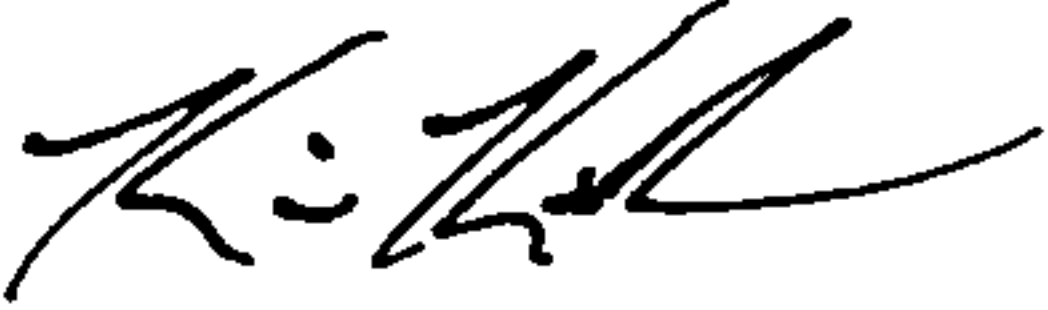
- New monument signs that compliment the new architecture of the building as dictated by Presbyterian standards.
- Additional landscaping for the newly developed parking and building areas.

Presbyterian Healthcare is relocating their administrative offices to the old CitiCorp site adjacent to Balloon Fiesta Park. The CitiCorp building has been vacant for the past year and having a new occupant for the building will help keep the maintenance up for the site and the building. The new construction shall adhere to the current City zone code and North I-25 Sector Plan, and compliment the existing building in scale, proportion, and architectural character. The amended Site Development Plan proposes changes to the total master planned building area that are less than ten percent over the approved building area, which meets the qualifications of an Administrative Amendment. The traffic flow produced by the Presbyterian workforce will not exceed what was previously calculated in the approved master plan for CitiCorp.

Thank you for your consideration of this application. If you have questions about this submittal, please feel free to call Tim Veltkamp or me at 761-9700.

Very truly yours,

Dekker/Perich/Sabatini Ltd.



Kevin Kofchur
Architect, LEED AP

Dekker
Perich
Sabatini
ARCHITECTS
1001 JEFFERSON ST. SUITE 100
ALBUQUERQUE, NM 87101
505.261.2222
505.261.2222
info@dekper.com

GENERAL NOTES

1. REFER TO SHEET A10 FOR FURTHER INFORMATION

PROJECT
Presbyterian Systems Office
DRB Submittal
9521 San Mateo NE
Albuquerque, New Mexico

DATE
6/12/2012

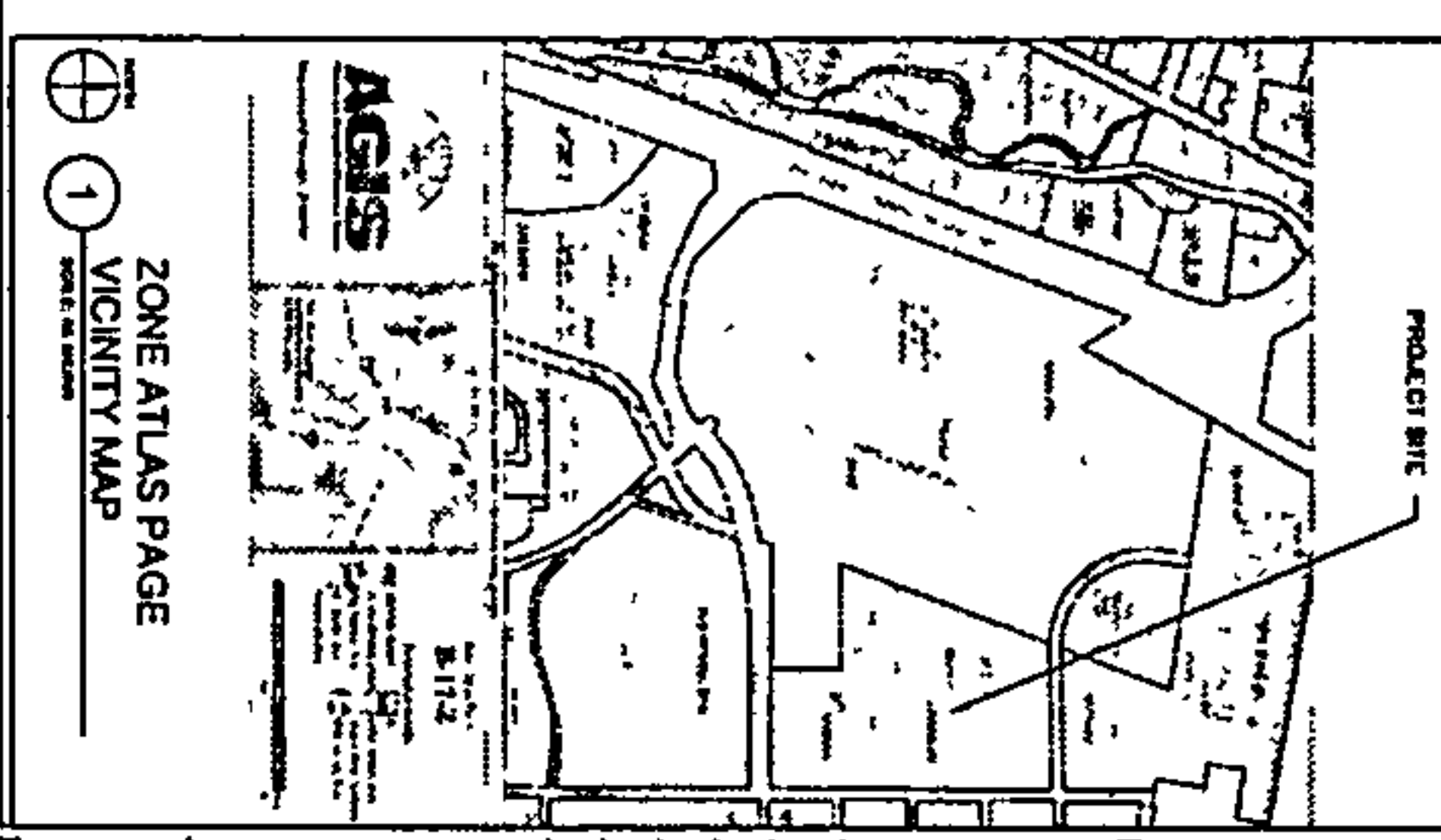
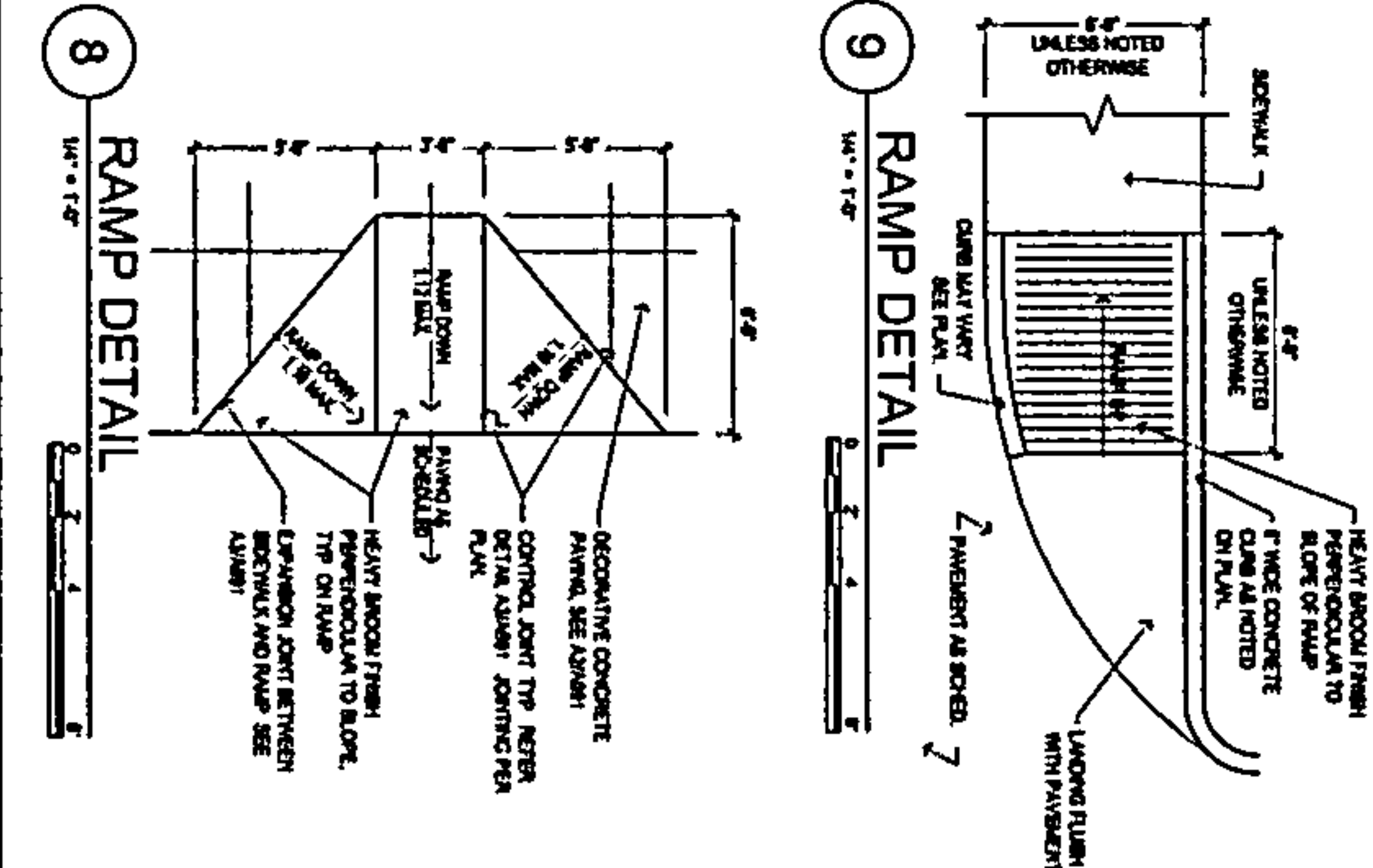
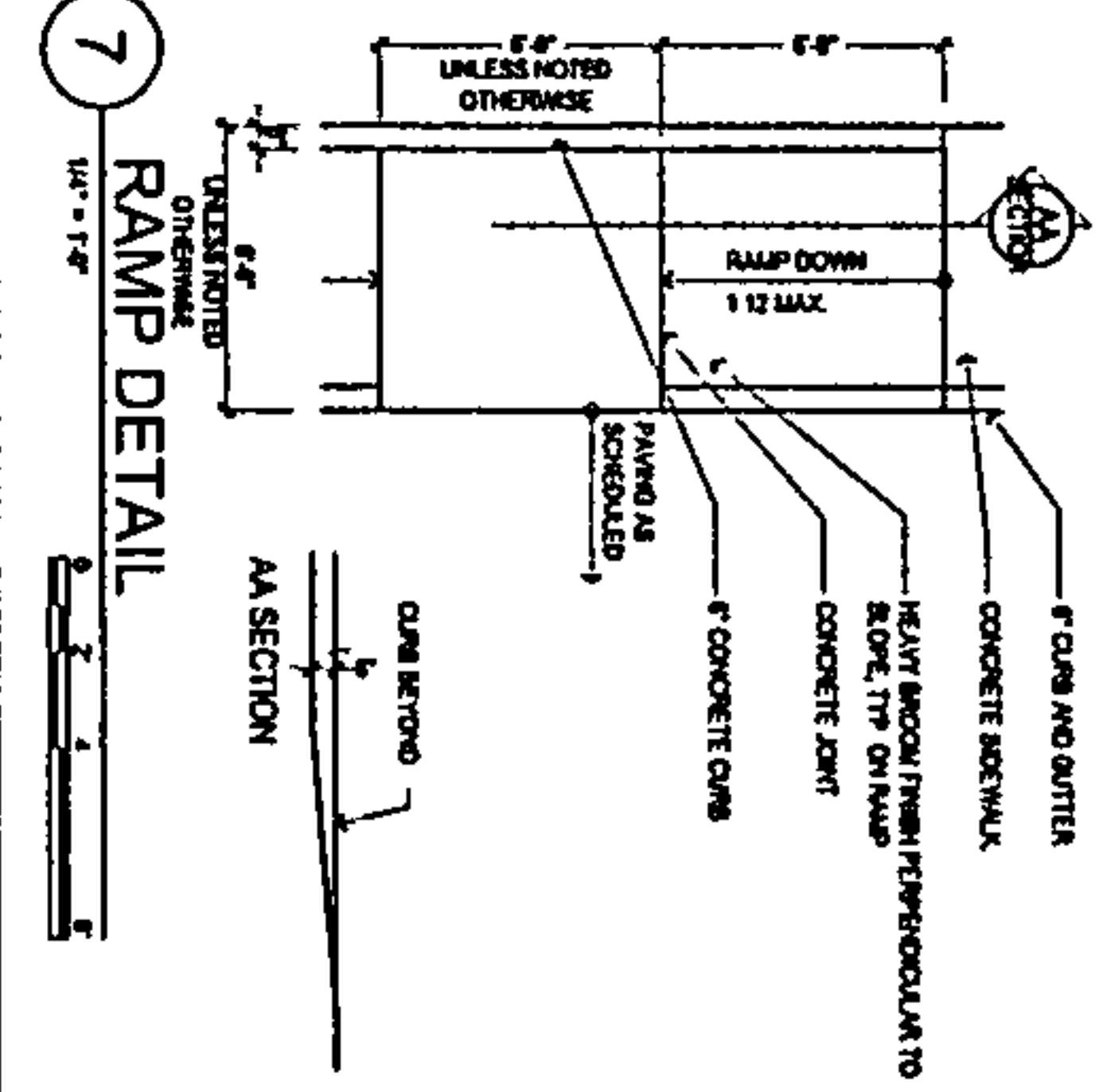
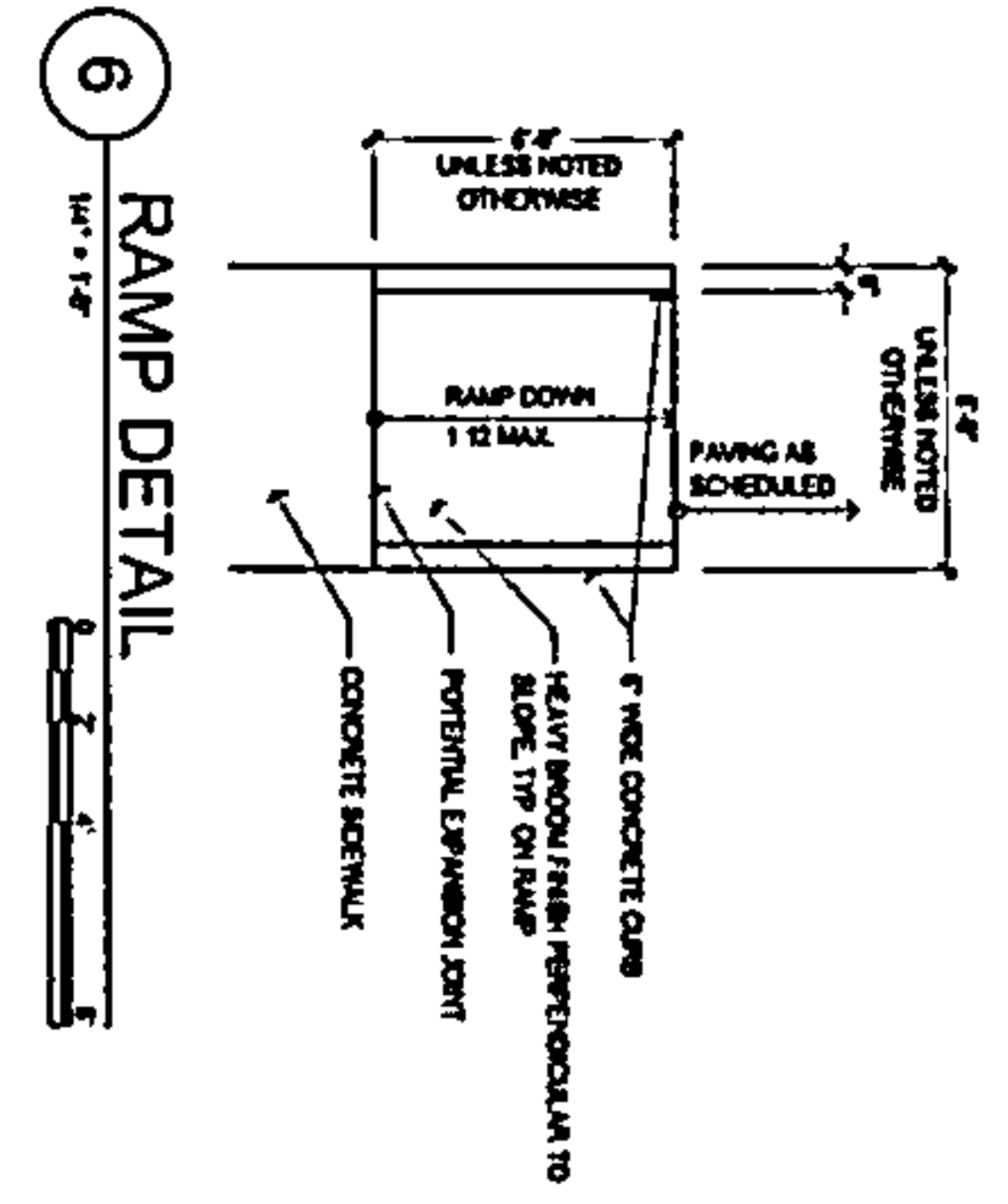
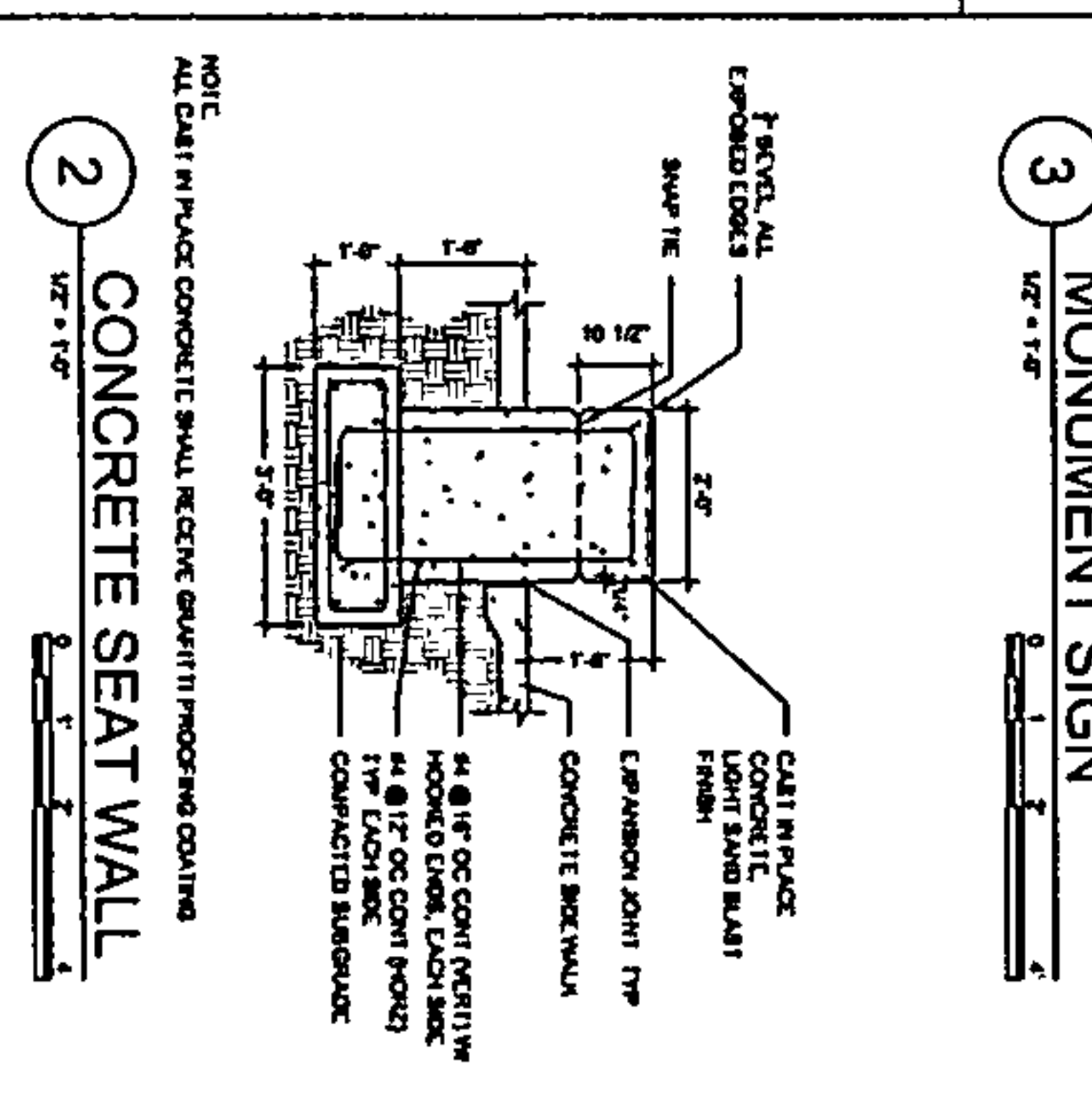
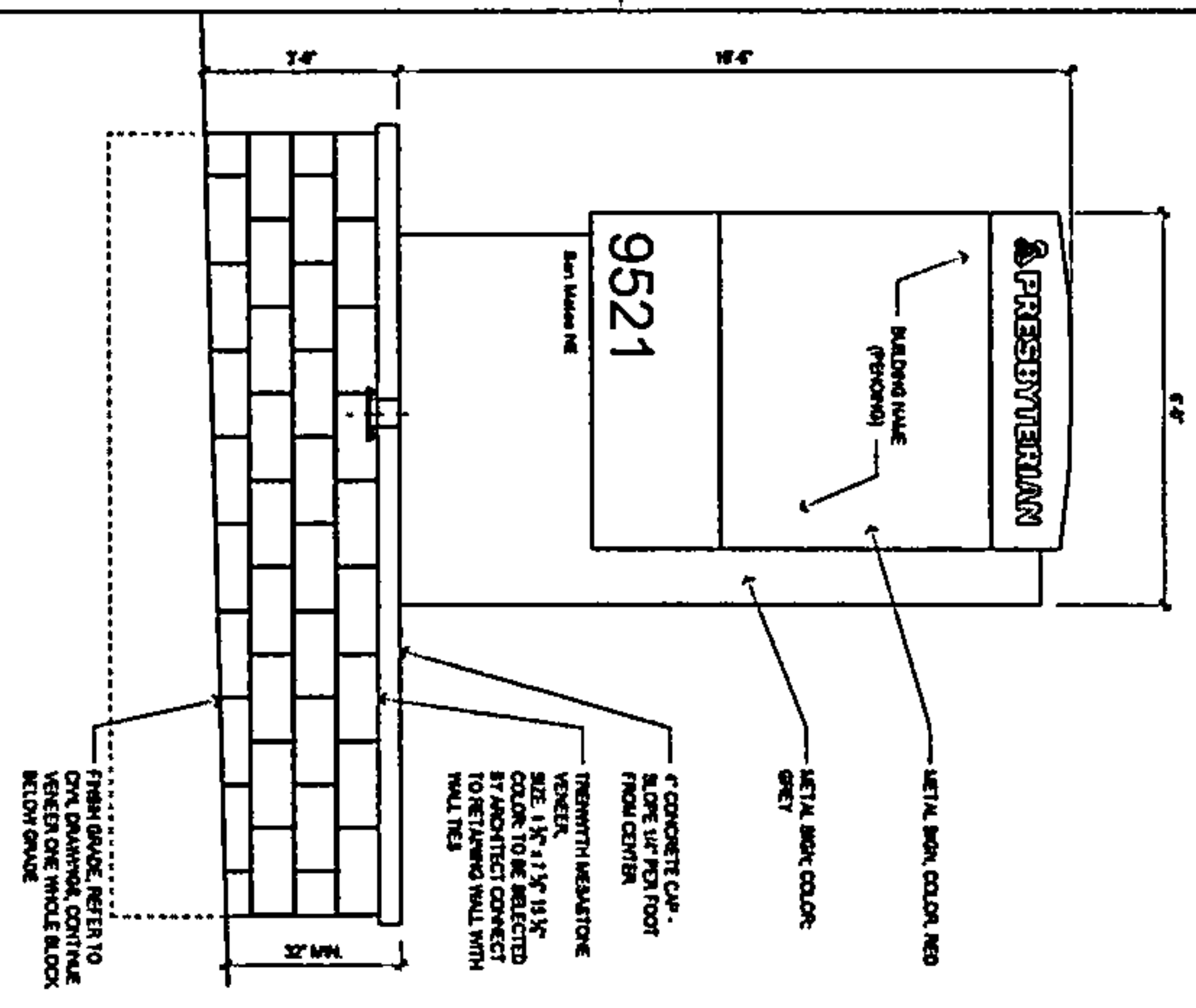
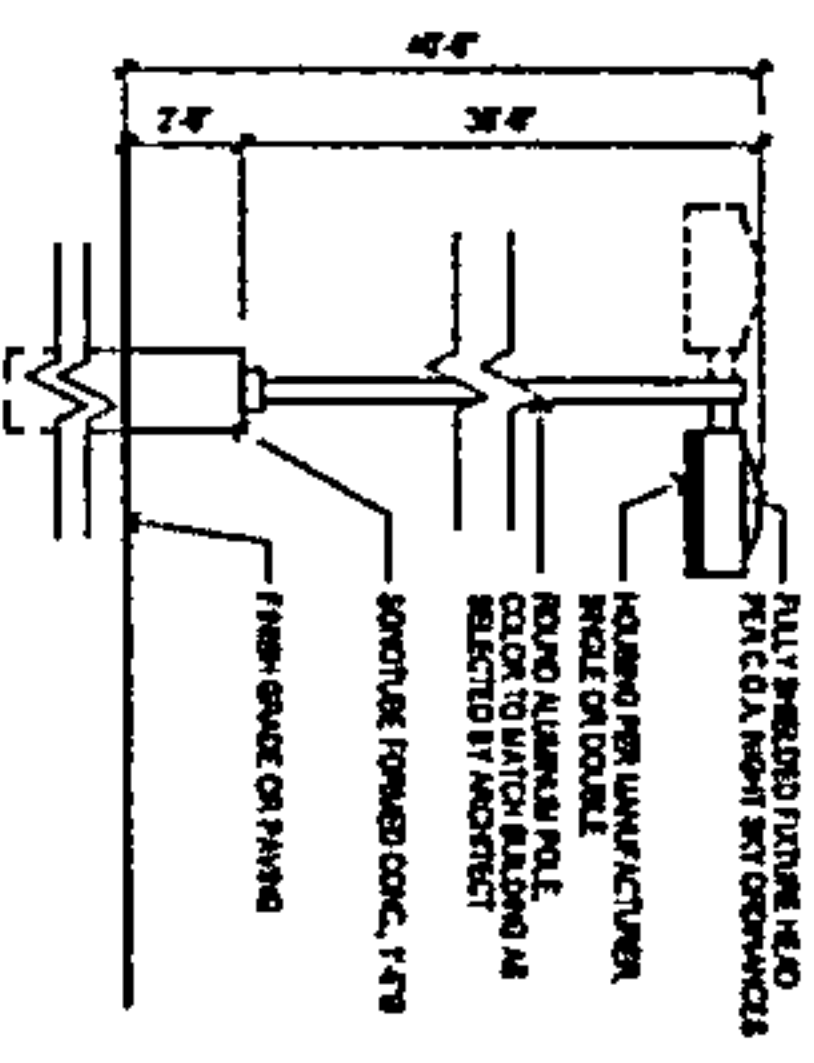
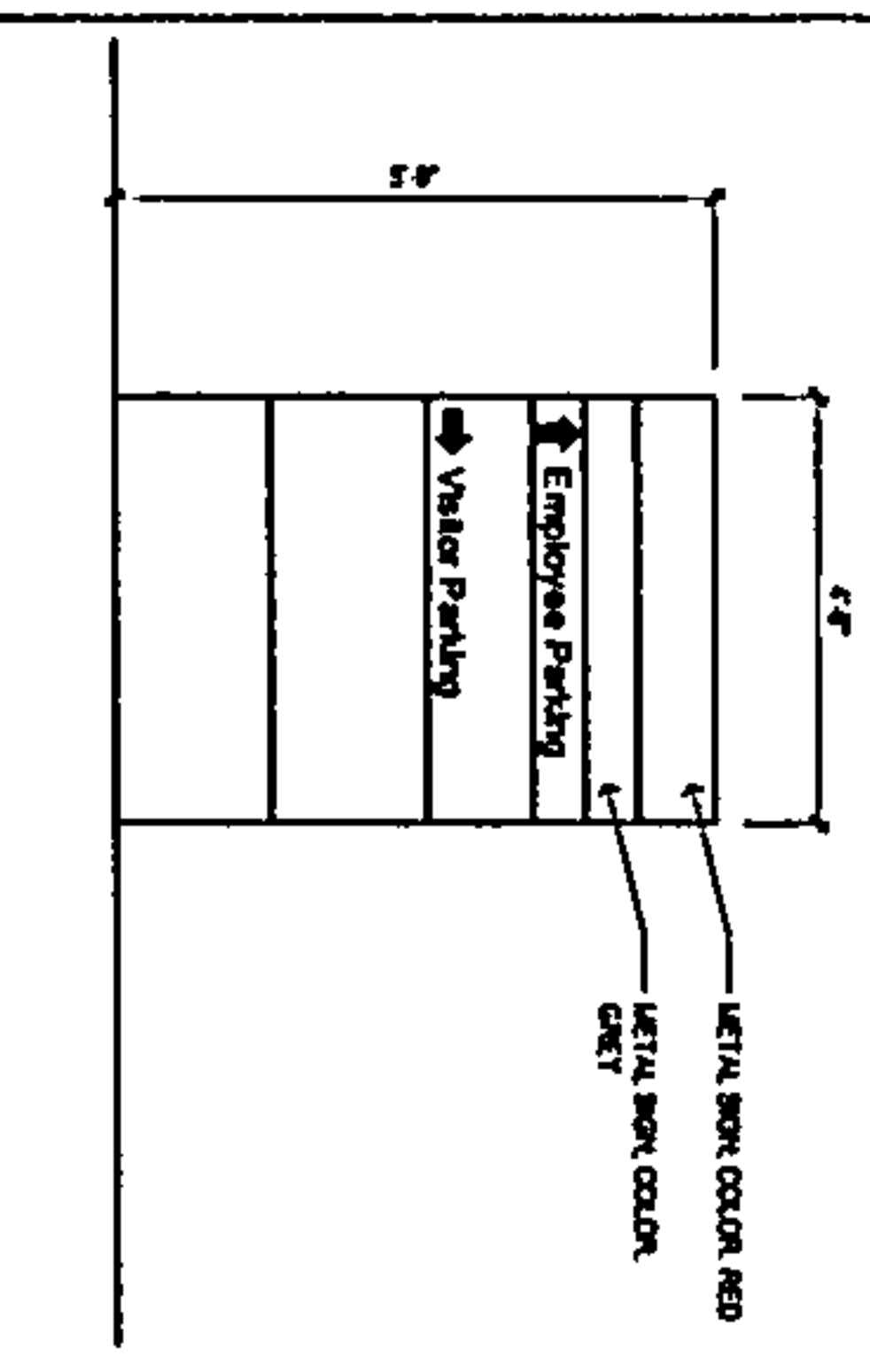
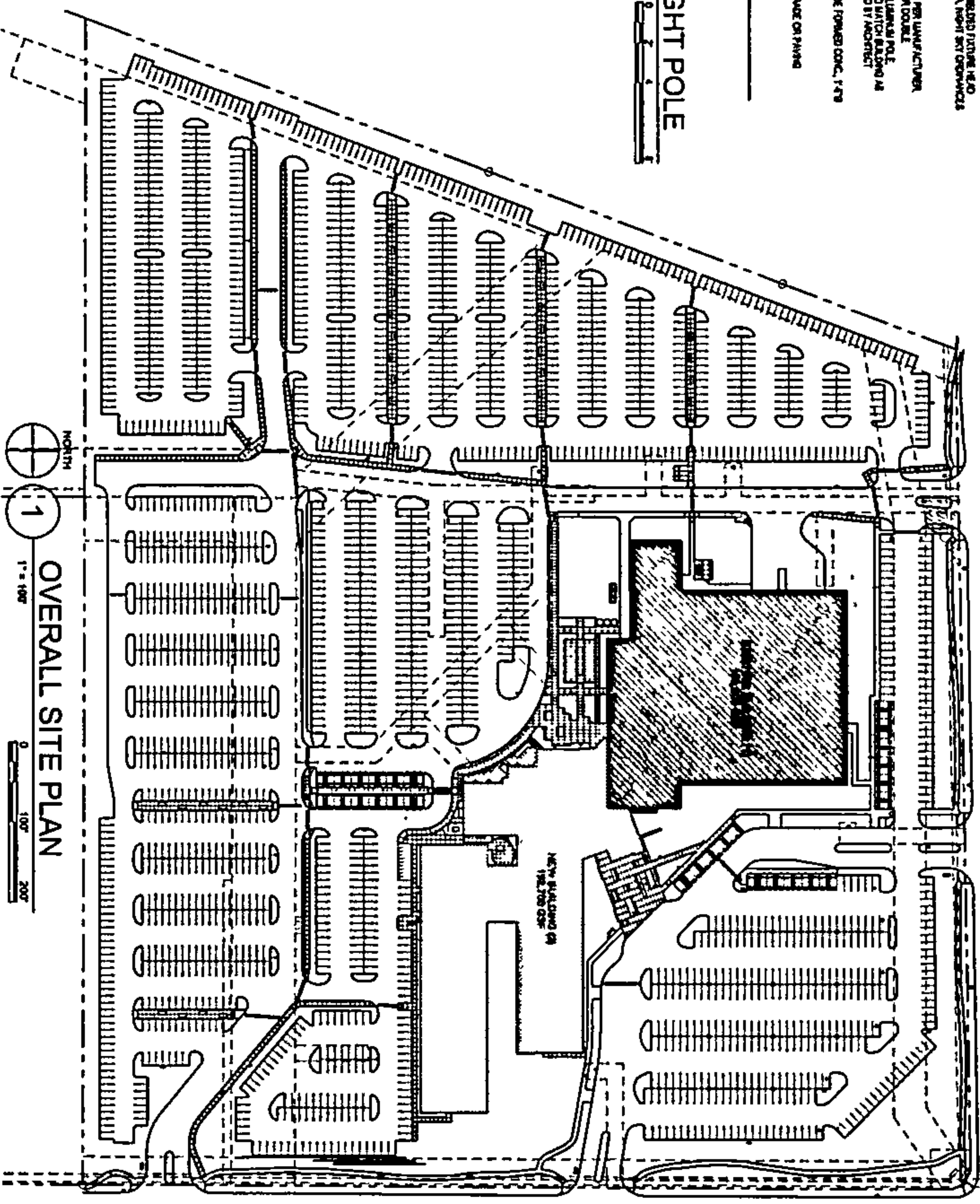
DRAWN BY
SAB CD

REVIEWED BY
TV

DATE
6/12/2012

PROJECT NO.
11-0100

DRAWING NAME
OVERALL SITE PLAN



REVISIONS

SHEET NO.
A1a

PARKING INFORMATION

PARKING REQUIRED:
 GROUND FLOOR - 200/148,801 SF = 744 SPACES
 UPPER FLOORS - 200/177,188 SF = 381 SPACES
 TOTAL REQUIRED: 1,335 SPACES

PARKING PROVIDED:
 840 EXISTING PARKING SPACES
 1,330 NEW PARKING SPACES
 2,170 TOTAL PARKING SPACES

ACCESSIBLE PARKING REQUIRED:
 (80/1,000 SPACES = 20 = 1 FOR EVERY 100 THAT EXCEEDS 1000) =
 24 SPACES (3 VAN ACCESSIBLE)

ACCESSIBLE PARKING PROVIDED:
 50 EXISTING ACCESSIBLE PARKING SPACES
 112 NEW ACCESSIBLE PARKING SPACES (10 VAN ACCESSIBLE)
 162 TOTAL ACCESSIBLE PARKING SPACES

MOTORCYCLE PARKING REQUIRED:
 (MORE THAN 100K SF = 1 FOR EACH ADDITIONAL 500 SPACES) =
 9 SPACES

MOTORCYCLE PARKING PROVIDED:
 10 SPACES

BICYCLE PARKING REQUIRED:
 20/1,335 = 67 SPACES

BICYCLE PARKING PROVIDED:
 69 SPACES

SITE DATA

LEGAL DESCRIPTION:
 TRACT 0-RL-1 SISTERS OF THE ORDER OF ST. DOMING,
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

USE:
 SU-2 MIXED USE

GROSS F.A.R. AREA / SITE AREA:
 223,790 SF / 77,333,343 SF = 0.289 ACRES

SITE AREA:
 TRACT 0-RL-1 31.7251 ACRES (1,361,771 SF)

GROSS BUILDING AREA (GBA):
 BUILDING 1 (EXISTING) 133,090 SF
 BUILDING 2 (NEW) 192,700 SF
 TOTAL GBA 325,790 SF

LEGEND

- PROPERTY LINE
- - - EASEMENT
- EXISTING POLE MOUNTED PARKING LIGHT 40' MAX HEIGHT RE. DETAIL SHEET A1a
- NEW POLE MOUNTED PARKING LIGHT 40' MAX HEIGHT RE. DETAIL SHEET A1a
- NEW POLE MOUNTED PARKING LIGHT 14' MAX HEIGHT RE. DETAIL SHEET X
- LIGHT BOLLARD
- FIRE HYDRANT
- BIKE RACK
- BIKE LOCKER

SHEET KEYED NOTES

- 1 TYPICAL PARKING SPACE 8'-6" x 18'-0" UNLESS NOTED OTHERWISE (U.N.O.)
- 2 TYPICAL PARKING SPACE 8'-6" x 20'-0" U.N.O.
- 3 TYPICAL PARKING SPACE 8'-4" x 20'-0" U.N.O.
- 4 TYPICAL PARKING SPACE 8'-4" x 18'-0" U.N.O.
- 5 TYPICAL ADA PARKING SPACE 8'-6" x 20'-0"
- 6 PARKING SPACE 9'-0" x 18'-0" ALLOWS FOR VEHICLES TO OVERHANG 2'-0" ONTO SIDEWALK. CURB ACTS AS WHEEL STOP
- 7 TYPICAL MOTORCYCLE PARKING SPACE 4'-4" x 18'-0" WITH POLE MOUNTED SIGNAGE
- 8 ASPHALT PAVING
- 9 6'-0" WIDE PEDESTRIAN CROSSWALK. COLOR AND TEXTURE PATTERNS TO DIFFERENTIATE FROM SURROUNDING ASPHALT PAVING
- 10 CONCRETE CURB
- 11 CONCRETE WHEEL STOP
- 12 POLE MOUNTED ADA SIGNAGE
- 13 PAINTED ADA PAVEMENT SIGNAGE
- 14 METAL BIKE RACK
- 15 RELOCATED EXISTING BIKE LOCKERS
- 16 EXISTING FIRE HYDRANT
- 17 LANDSCAPED AREA. REFER TO LANDSCAPE PLAN
- 18 4'-0" x 10'-0" PLANTING AREAS FLUSH WITH SIDEWALK, REFER TO LANDSCAPE PLAN
- 19 18" x 4" HIGH GRANITE COURTYARD WALL, FINISHED WITH EPS, COLOR, FLUSH
- 20 8" x 7'-0" HIGH CMU SCREEN WALL, FINISHED WITH EPS, COLOR, FLUSH
- 21 COVERED OUTDOOR EATING AREA
- 22 CONCRETE BENCHES, RE. DETAIL SHEET A1a
- 23 DIRECTIONAL SIGN, RE. DETAIL SHEET A1a
- 24 PROPOSED MONUMENT SIGN, RE. DETAIL SHEET A1a
- 25 EXISTING SPEED BUMP
- 26 NEW 3'-0" WIDE SPEED BUMP
- 27 6'-0" WIDE x 8" HIGH RAISED PEDESTRIAN CROSSWALK
- 28 6'-0" WIDE CONCRETE SIDEWALK
- 29 8'-0" WIDE CONCRETE SIDEWALK
- 30 EXISTING INGRESS / EGRESS
- 31 EXISTING LIGHT POLE TO REMAIN
- 32 NEW LIGHT POLE
- 33 LIGHT BOLLARD
- 34 ACCESSIBLE RAMP, RE. DETAIL, A1a
- 35 EXISTING 10" ELECTRICAL AND PHONE EASEMENT
- 36 EXISTING 10" GAS EASEMENT
- 37 EXISTING 40" PUBLIC DRAINAGE EASEMENT
- 38 EXISTING 50" PUBLIC DRAINAGE EASEMENT
- 39 EXISTING 54" PUBLIC DRAINAGE EASEMENT
- 40 EXISTING 60" PUBLIC DRAINAGE EASEMENT
- 41 EXISTING 15" PUBLIC SIDEWALK EASEMENT
- 42 EXISTING 36" PUBLIC SIDEWALK EASEMENT
- 43 EXISTING 60" PUBLIC UTILITY EASEMENT
- 44 EXISTING 60" PUBLIC UTILITY & STORM DRAIN EASEMENT
- 45 EXISTING 20" PUBLIC WATERLINE EASEMENT
- 46 EXISTING 20" SANITARY SEWER EASEMENT
- 47 EXISTING 15" x 20" PUBLIC UTILITY EASEMENT
- 48 EXISTING TRANSFORMER
- 49 NEW TRANSFORMER
- 50 LOCATION OF TRASH COMPACTOR
- 51 ACCESSIBLE RAMP, RE. DETAIL, A1a
- 52 ACCESSIBLE RAMP, RE. DETAIL, A1a
- 53 ACCESSIBLE RAMP, RE. DETAIL, A1a
- 54 130 FT NEW CONCRETE CURB

FORMER PROJECT NUMBER:
 PROJECT NUMBER: **1007488**
 APPLICATION NUMBER:
 As an Information User Requester (IUR) you may view a set of approved DRG plans. Public notices are required for any construction within Public Right-of-Way in the jurisdiction of the appropriate agency.

DRB SITE DEVELOPMENT PLAN APPROVAL

PLATY ENGINEER, TRANSMITTAL SIGNATURE	DATE
ARCHITECT	DATE
PAVES AND BULLETPATH DEPARTMENT	DATE
CITY ENGINEER	DATE
FIELD WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

Dekker Perich Sabatini
 7001 Jefferson NE Suite 100
 Albuquerque, NM 87109
 505 261-0700
 Fax 505 261-0222
 ds@psasab.com

ARCHITECT

ENGINEER

PROJECT

**Presbyterian Systems Office
 DRB Submittal
 9521 San Mateo NE
 Albuquerque, New Mexico**

REVISIONS

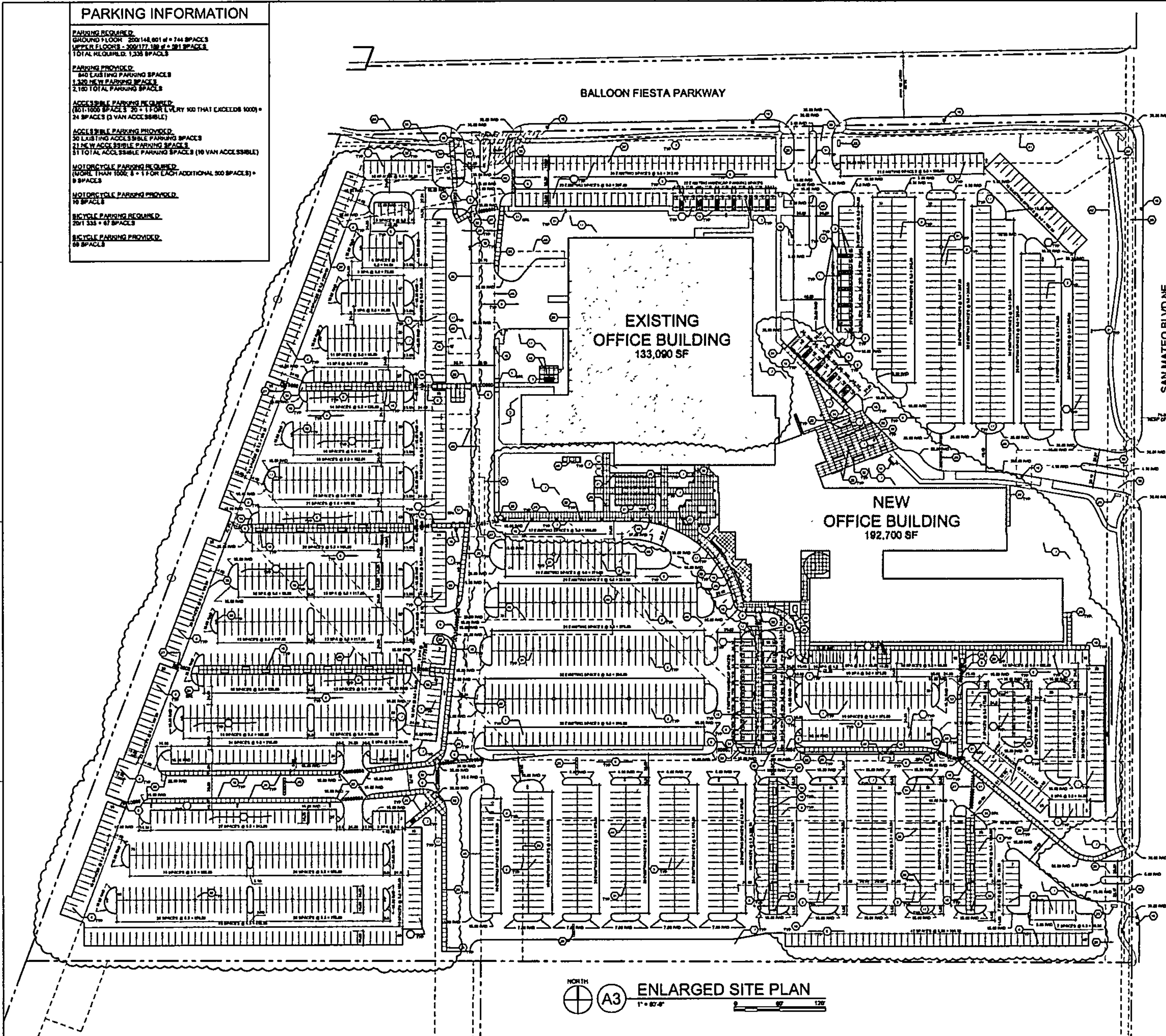
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DRAWN BY
REVIEWED BY
DATE 6/12/2012
PROJECT NO 11-0100
DRAWING NAME

ENLARGED SITE PLAN

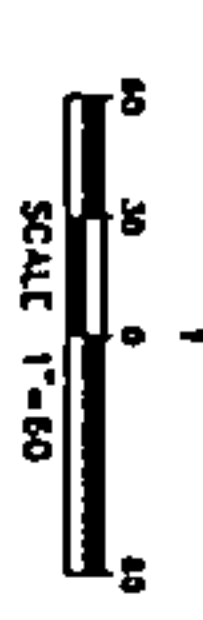
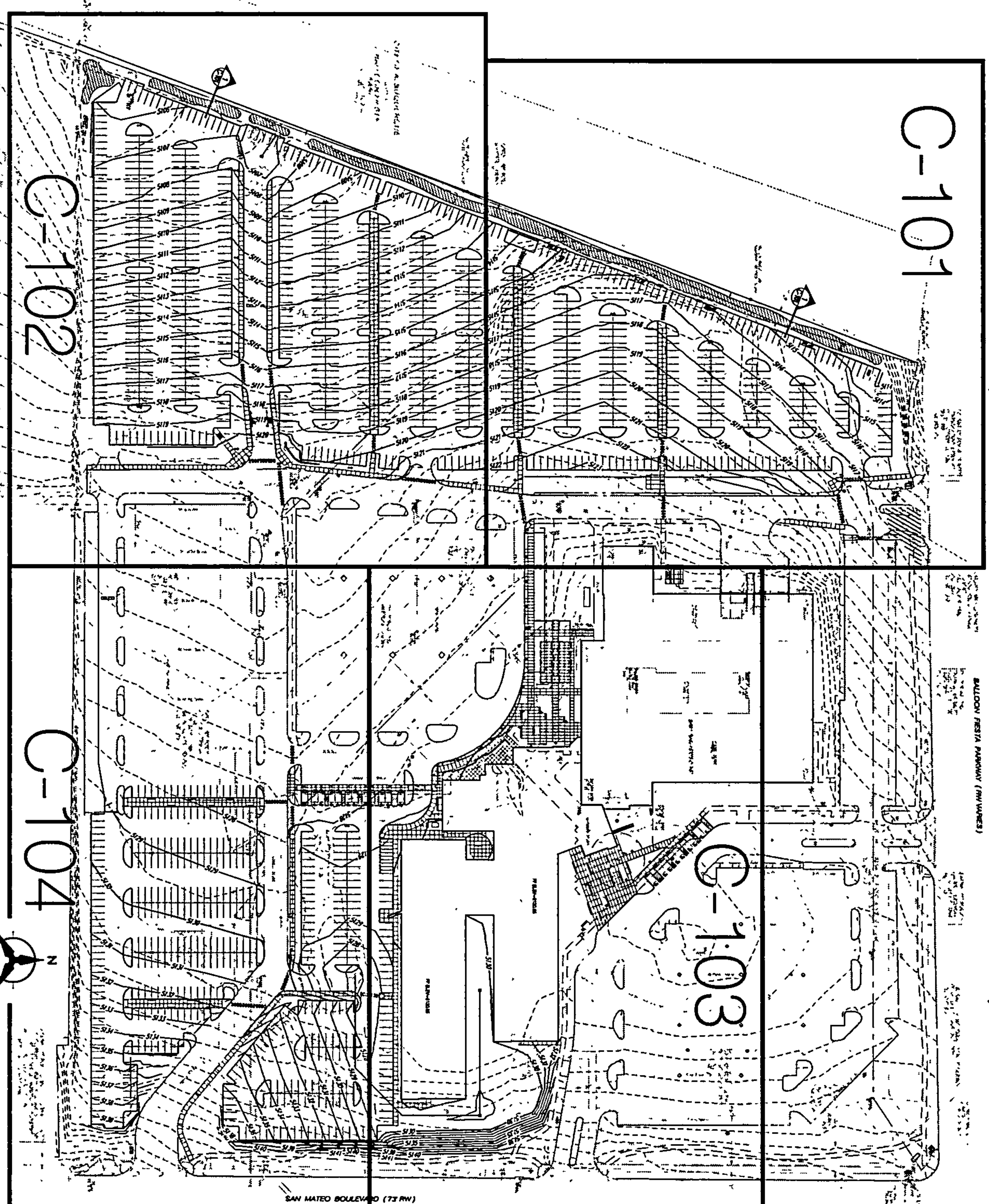
SHEET NO.

A1b
 OF



ENLARGED SITE PLAN
 NORTH
 A3
 1" = 87'-0"

ALL DIMENSIONS SHOWN ARE APPROXIMATE AND SUBJECT TO CHANGE WITHOUT NOTICE.



Bohannan & Huston

REVISIONS	NO
DATE	08/12/2012
PROJECT NO.	11-01100
DRAWING TITLE	GRADING & DRAINAGE PLAN
DRAWN BY	MS
REVIEWED BY	GSB
DATE	08/12/2012
PROJECT NO.	11-01100
DRAWING TITLE	GRADING & DRAINAGE PLAN

Presbyterian Systems Office
 DRB Submittal
 9521 San Mateo NE
 Albuquerque, New Mexico

Deker Perich Sabatini
 ARCHITECT
 2001 Jefferson St. Suite 100
 Albuquerque, NM 87105
 505.241.1110
 101 @ 311.0010.010

Deker Perich Sabatini
 ARCHITECT
 2001 Jefferson St. Suite 100
 Albuquerque, NM 87105
 505.241.1110
 101 @ 311.0010.010

C-101

C-102

C-103

C-104

SAN MATEO BOULEVARD (73' RW)

PASADENA AVENUE NE

VENENCE AVENUE NE

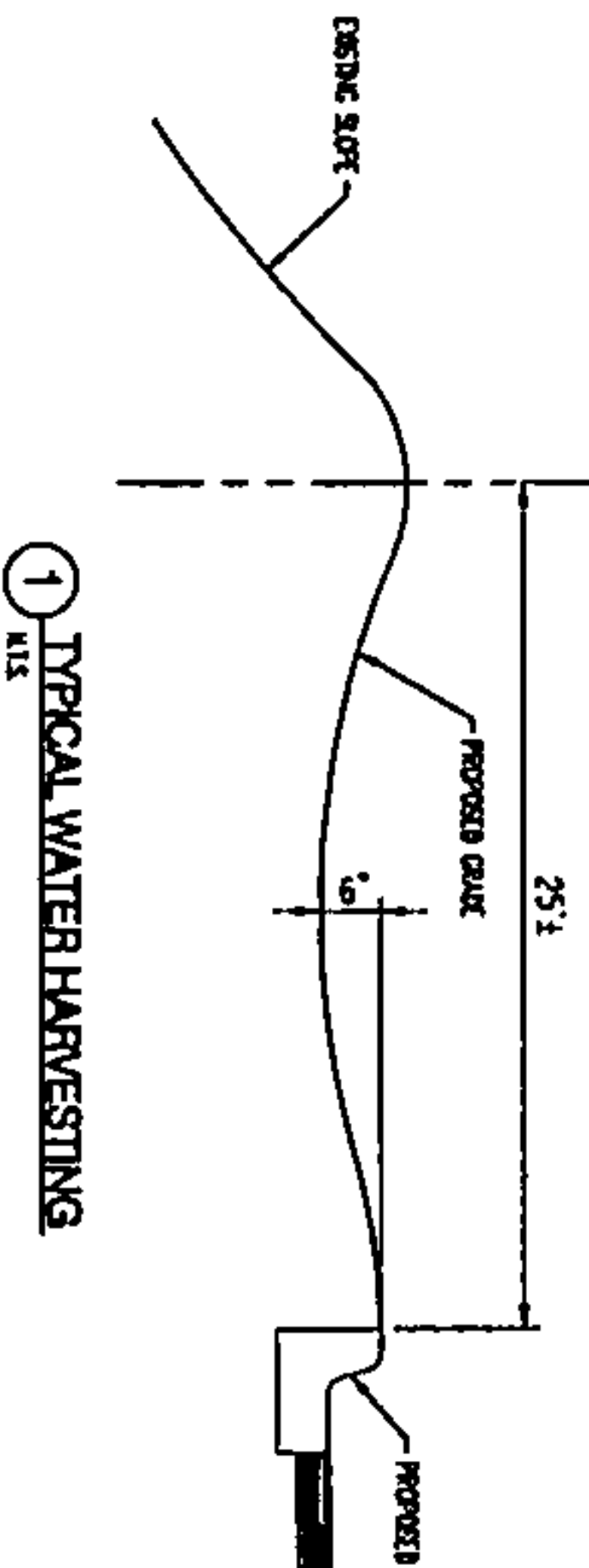
BALDWIN PESTIA PARKWAY (THRUWAY)

MARKET PLACE
 MARKET PLACE
 MARKET PLACE

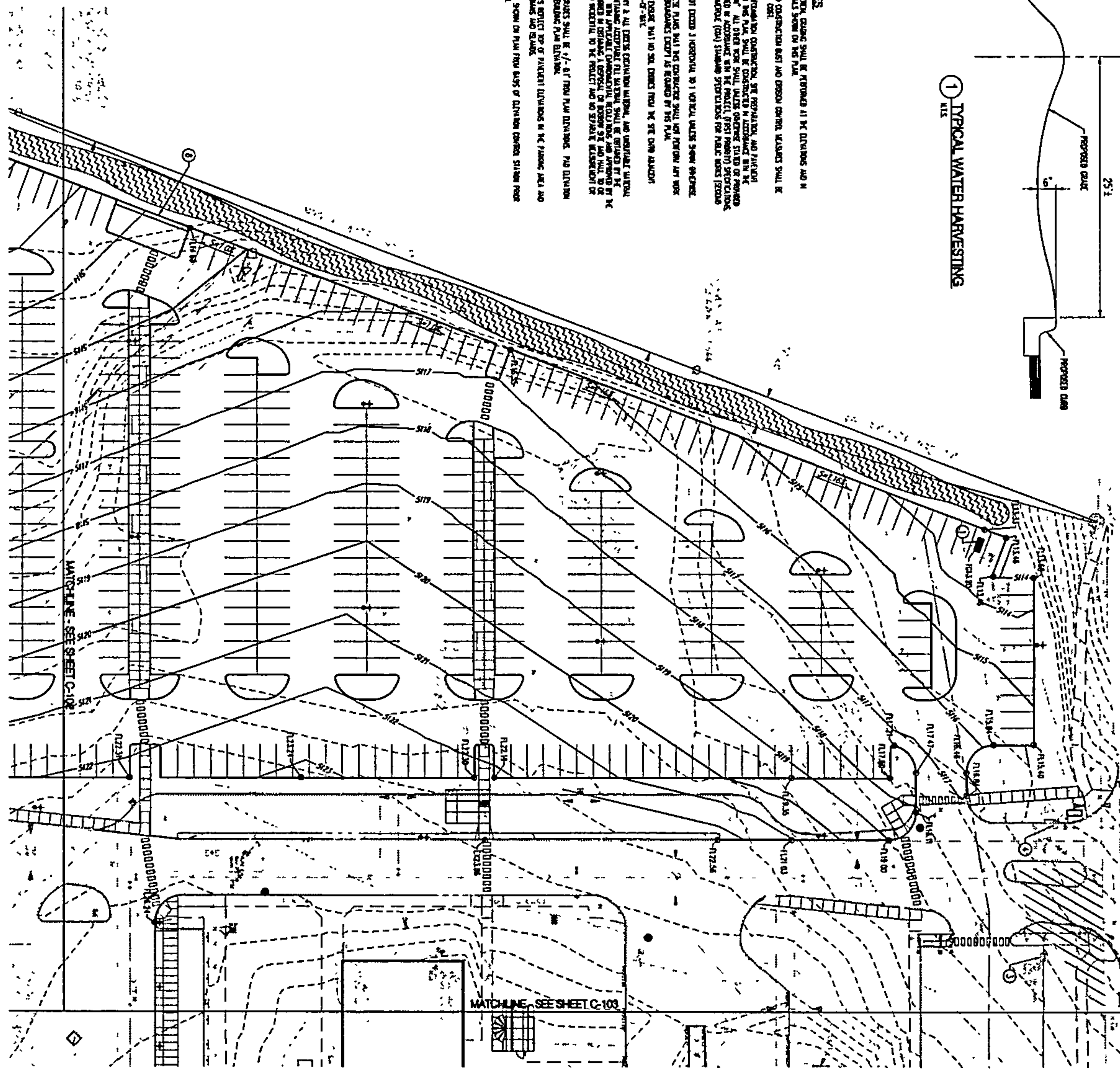
MARKET PLACE

Architect
 Interior
 Planning
 Engineering

25.1



- GRADING NOTES**
1. EXISTING GRADE SHALL BE MAINTAINED AT THE DIVISIONS AND IN LOCATIONS WHERE THE EXISTING GRADE IS NOT TO BE MAINTAINED.
 2. THE CONTRACTOR SHALL MAINTAIN EXISTING GRADE UNLESS OTHERWISE SPECIFIED.
 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE DIVISIONS AND THE GRADING PLAN. THE CONTRACTOR SHALL MAINTAIN EXISTING GRADE UNLESS OTHERWISE SPECIFIED.
 4. THE CONTRACTOR SHALL MAINTAIN EXISTING GRADE UNLESS OTHERWISE SPECIFIED.
 5. THE CONTRACTOR SHALL MAINTAIN EXISTING GRADE UNLESS OTHERWISE SPECIFIED.
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 8. THE CONTRACTOR SHALL MAINTAIN EXISTING GRADE UNLESS OTHERWISE SPECIFIED.
 9. THE CONTRACTOR SHALL MAINTAIN EXISTING GRADE UNLESS OTHERWISE SPECIFIED.
 10. THE CONTRACTOR SHALL MAINTAIN EXISTING GRADE UNLESS OTHERWISE SPECIFIED.



BALLOON FIESTA PARKWAY

MATCHLINE - SEE SHEET C-109

MATCHLINE - SEE SHEET C-108

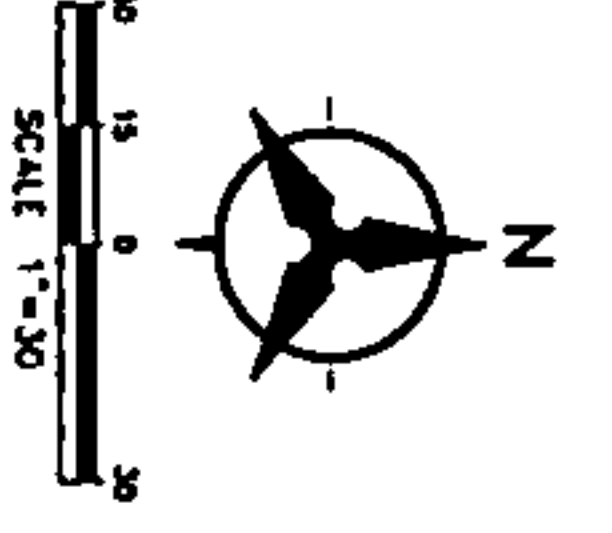
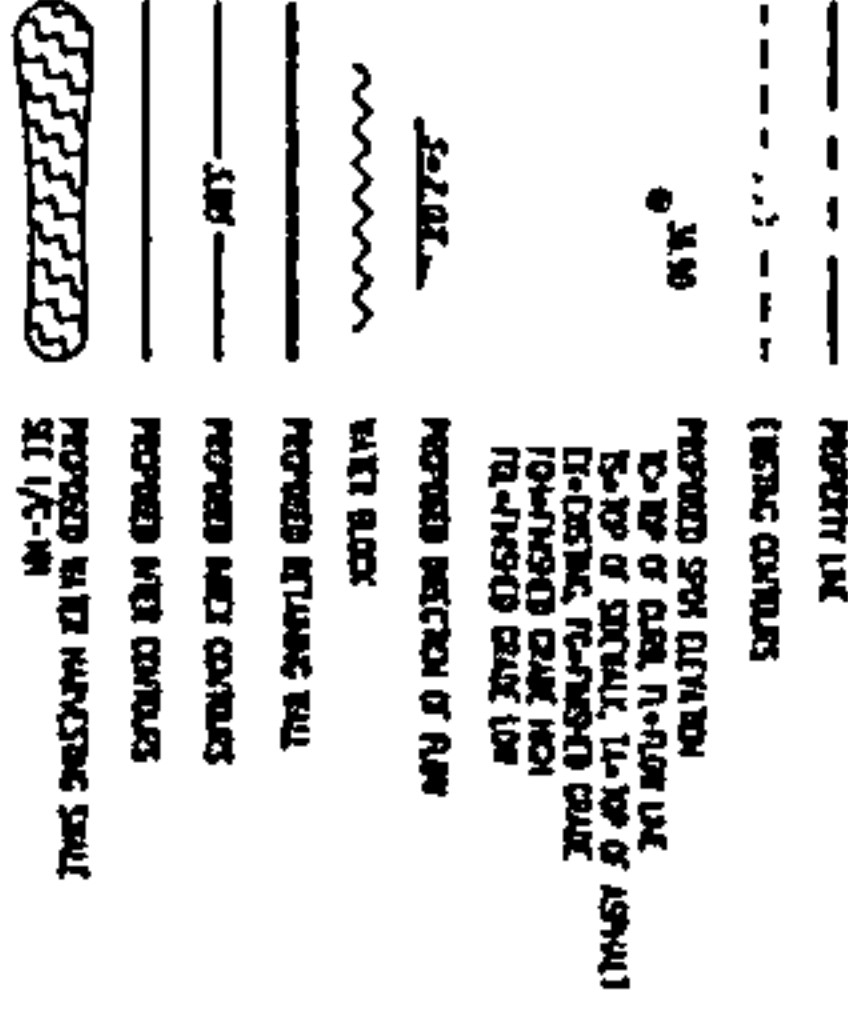
GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE DIVISIONS AND THE GRADING PLAN.
2. THE CONTRACTOR SHALL MAINTAIN EXISTING GRADE UNLESS OTHERWISE SPECIFIED.
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE DIVISIONS AND THE GRADING PLAN.
4. THE CONTRACTOR SHALL MAINTAIN EXISTING GRADE UNLESS OTHERWISE SPECIFIED.
5. THE CONTRACTOR SHALL MAINTAIN EXISTING GRADE UNLESS OTHERWISE SPECIFIED.
6. THE CONTRACTOR SHALL MAINTAIN EXISTING GRADE UNLESS OTHERWISE SPECIFIED.
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15. THE CONTRACTOR SHALL MAINTAIN EXISTING GRADE UNLESS OTHERWISE SPECIFIED.
16. THE CONTRACTOR SHALL MAINTAIN EXISTING GRADE UNLESS OTHERWISE SPECIFIED.
17. THE CONTRACTOR SHALL MAINTAIN EXISTING GRADE UNLESS OTHERWISE SPECIFIED.
18. THE CONTRACTOR SHALL MAINTAIN EXISTING GRADE UNLESS OTHERWISE SPECIFIED.
19. THE CONTRACTOR SHALL MAINTAIN EXISTING GRADE UNLESS OTHERWISE SPECIFIED.
20. THE CONTRACTOR SHALL MAINTAIN EXISTING GRADE UNLESS OTHERWISE SPECIFIED.

KEYED NOTES

1. CONSTRUCT TYPE 'V' DOUBLE GRADE STORM DRAIN WITH PER COA STD 24" DIA.
2. CONSTRUCT TYPE 'V' SINGLE GRADE STORM DRAIN WITH PER COA STD 24" DIA.
3. EXISTING TYPE 'C' SINGLE GRADE STORM DRAIN MAINT TO REMAIN.
4. EXISTING TYPE 'X' SINGLE GRADE STORM DRAIN MAINT TO REMAIN.
5. EXISTING TYPE 'X' DOUBLE GRADE STORM DRAIN MAINT TO REMAIN.
6. INSTALL STORM DRAIN PER.
7. RETAINING WALL.
8. CONDUIT RIBBON CHANNEL.
9. EXISTING TYPE 'V' SINGLE GRADE MAINT TO REMAIN.

LEGEND



Bohannon & Huston

Presbyterian Systems Office
DRB Submittal
9521 San Mateo NE
Albuquerque, New Mexico

Dekker
Perich
Sabatini

ARCHITECTS

1111 14TH AVENUE NE SUITE 100
ALBUQUERQUE, NM 87106
505.241.4222
505.241.4223
505.241.4224

PROJECT	DRB
DATE	6/11/2012
PROJECT NO.	11-4-100
DRAWING NAME	GRADING & DRAINAGE PLAN
DRAWN BY	GD
REVIEWED BY	GD
DATE	6/11/2012
PROJECT NO.	11-4-100
DRAWING NAME	GRADING & DRAINAGE PLAN

C-101

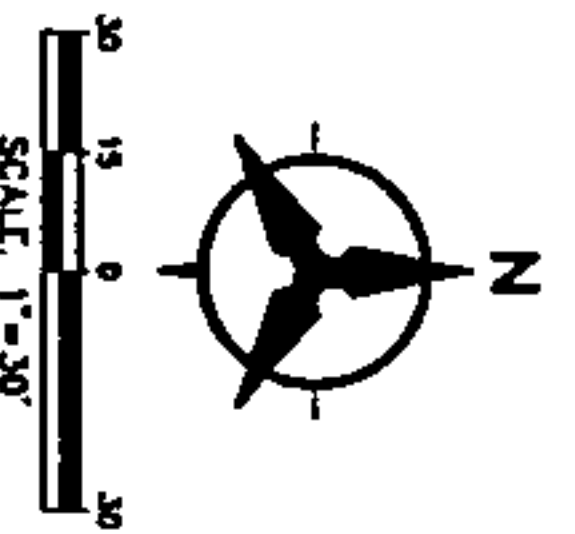
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Tue, 12-Jun-2012 9:10am, Printed by: BOBICA

Presbyterian Systems Office
 DRB Submittal
 9521 San Mateo NE
 Albuquerque, New Mexico

REVISIONS
△
△
△

DRAWN BY	BO
REVIEWED BY	OSB
DATE	6/12/2012
PROJECT NO.	11-4100
DRAWING TITLE	GRADING & DRAINAGE PLAN

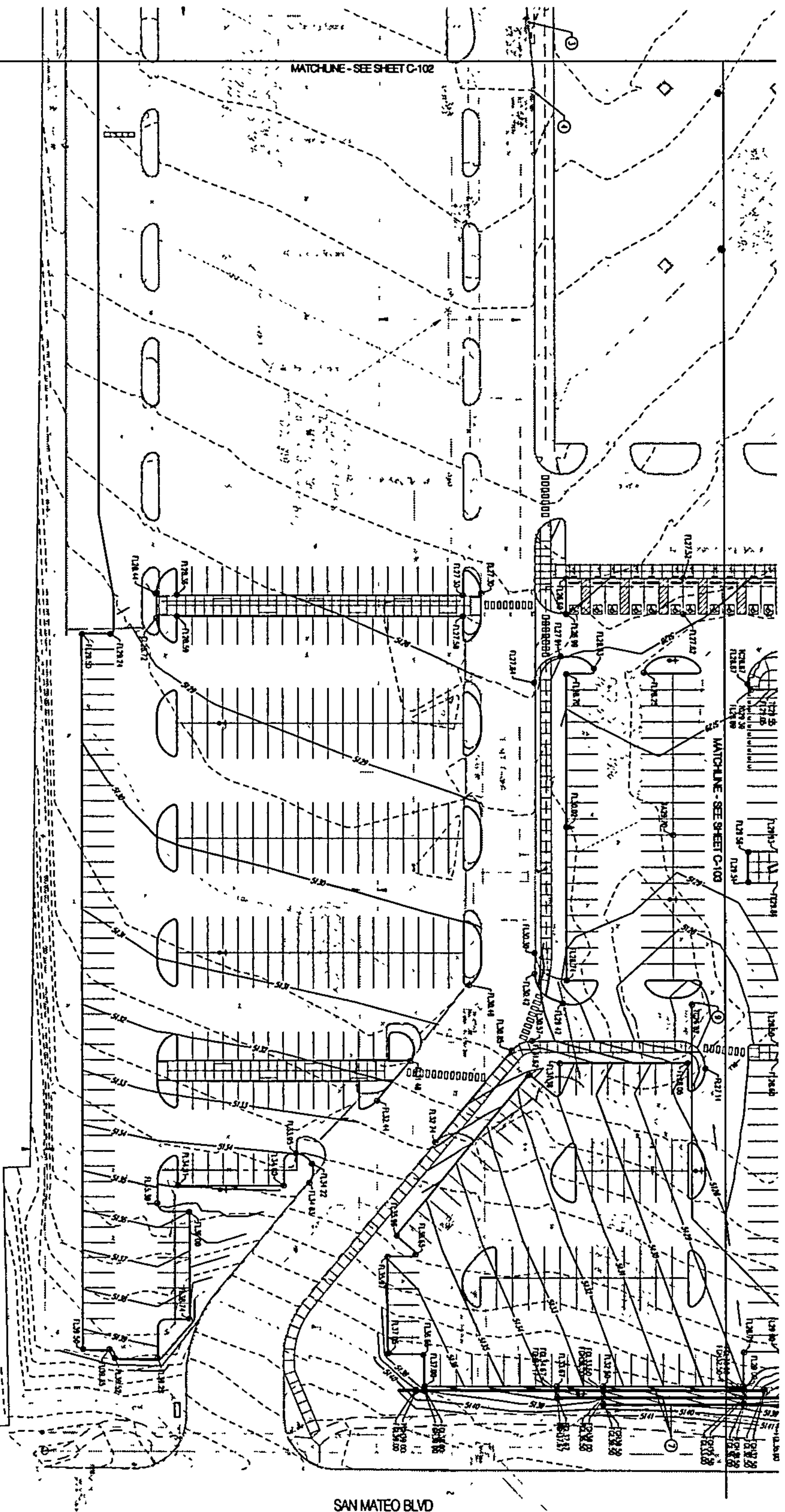
SHEET NO.
C-104
 OF



LEGEND

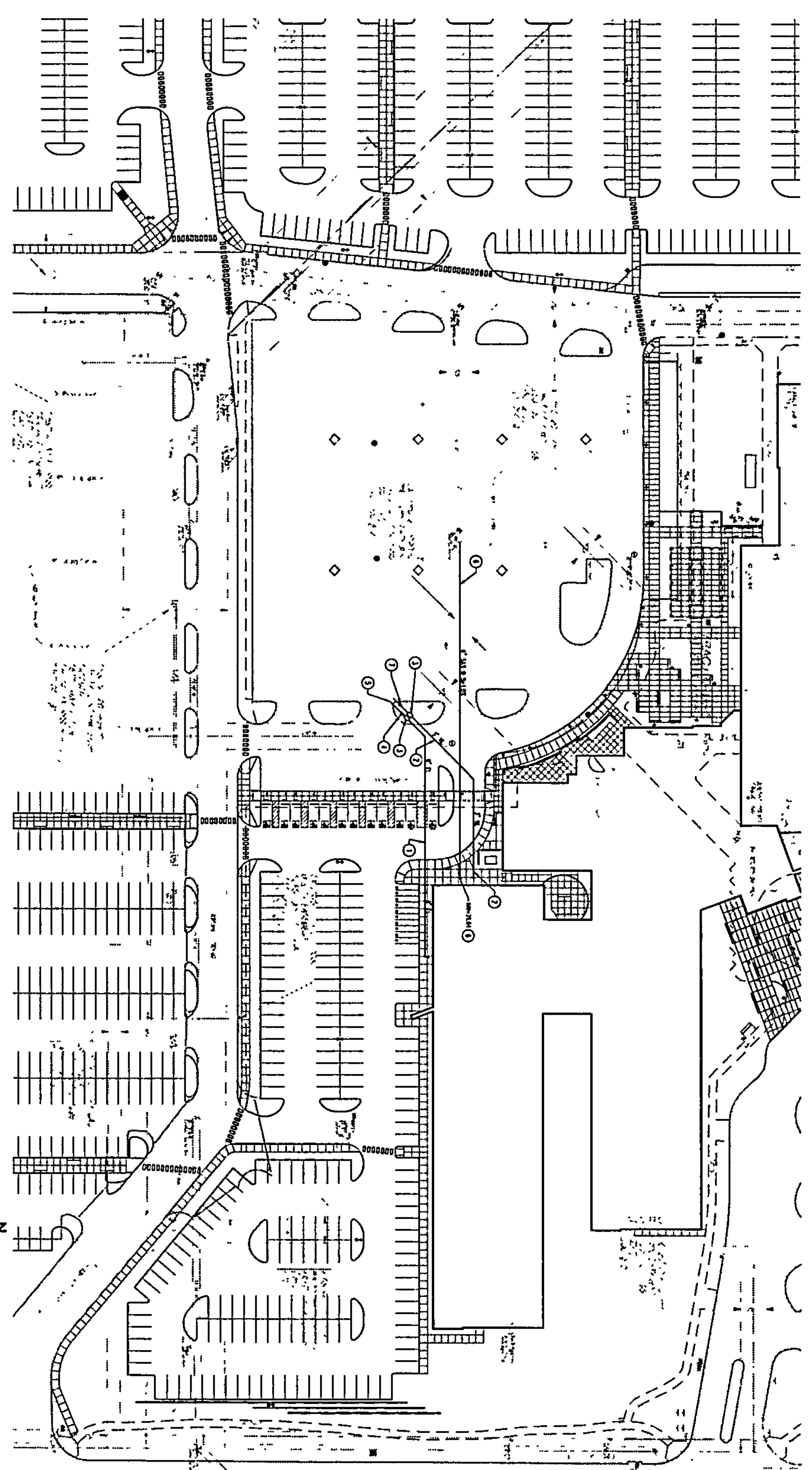
	PROPOSED LOT
	PROPOSED DRIVEWAY
	PROPOSED CURB
	PROPOSED SIDEWALK
	PROPOSED STREET
	PROPOSED UTILITY LINE
	PROPOSED RETAINING WALL
	PROPOSED CURB AND GUTTER
	PROPOSED CURB AND GUTTER WITH GUTTER
	PROPOSED CURB AND GUTTER WITH GUTTER AND SIDEWALK

- KEYED NOTES**
1. CONSTRUCT TYPE 'B' DOUBLE GATE STORM DRAIN MALET PER COA STD DWG 220K.
 2. CONSTRUCT TYPE 'C' SINGLE GATE STORM DRAIN MALET PER COA STD DWG 220K.
 3. EXISTING TYPE 'C' SINGLE GATE STORM DRAIN MALET TO REMAIN.
 4. EXISTING TYPE 'A' SINGLE GATE STORM DRAIN MALET TO REMAIN.
 5. EXISTING TYPE 'A' DOUBLE GATE STORM DRAIN MALET TO REMAIN.
 6. METALL STORM DRAIN PER
 7. RETAINING WALL.
 8. CONCRETE FINISH CHANNEL.
 9. EXISTING TYPE 'B' SINGLE GATE MALET TO REMAIN.



P:\2012001\12012001\General\2012001.dwg
 12-2-2012 9:21 am. Plotted by: gortica

P:\2011\2011\2011\Drawings\General\20110114.dwg
 Date: 12-Apr-2012 8:25am, Plotted by: BOHTEA

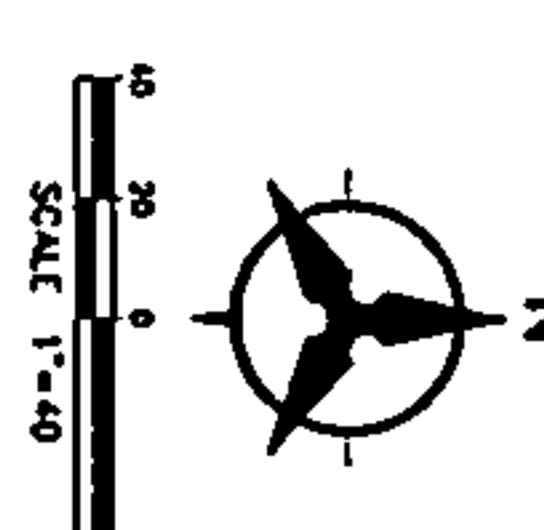


LEGEND

---	POTENTIAL LINE
---	EXISTING LOCATION
---	EXISTING SANITARY SEWER
---	EXISTING WATER LINE
---	EXISTING GAS
---	EXISTING WAVE
---	EXISTING FIRE HYDRANT
---	EXISTING SANITARY SEWER W/AVOID
---	EXISTING STORM SEWER W/AVOID
---	EXISTING METI
---	PROPOSED LOCATION
---	PROPOSED SANITARY SEWER LINE
---	PROPOSED SANITARY SEWER W/AVOID
---	PROPOSED GAS
---	PROPOSED WAVE
---	PROPOSED FIRE LINE
---	PROPOSED HYDRANT
---	PROPOSED GAS

- UTILITY NOTES**
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK SHOWN IN THIS PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
 2. ALL UTILITIES SHOWN ON THIS PLAN SHALL BE 30" FROM BUILDINGS AND 10' FROM DRIVEWAYS AT BUILDING CONNECTIONS.
 3. ALL NEW UTILITIES ON THIS PLAN SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE, NEW MEXICO, UTILITY CODES AND ORDINANCES.
 4. UTILITY LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE, NEW MEXICO, UTILITY CODES AND ORDINANCES.
 5. EXISTING UTILITIES SHALL BE PROTECTED AND NOT REMOVED UNLESS OTHERWISE NOTED.
 6. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
 7. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE, NEW MEXICO, UTILITY CODES AND ORDINANCES.
 8. THE LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE, NEW MEXICO, UTILITY CODES AND ORDINANCES.
 9. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
 10. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
 11. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.

- GENERAL NOTES**
1. ALL EXISTING UTILITIES TO REMAIN AS PERMITTED BY CONTRACTOR.
- KEYED NOTES**
1. FIRE LINE.
 2. 3" POLYETHYLENE GLYCOL (PE) SANITARY SEWER.
 3. EXISTING PRESSURE SANITARY SEWER V. WATER MAIN/SEWER.
 4. 10" POLYETHYLENE GLYCOL (PE) WATER MAIN.
 5. 10" POLYETHYLENE GLYCOL (PE) GAS LINE.
 6. 1" SANITARY SEWER SERVICE LINE.
 7. WATER MAIN AND SERVICE LINE PER GAS 520 PER 2011.



Bohannan & Huston

C-200

REVISIONS

△	NO
△	048
△	6/12/2012
△	11/1/100

UTILITY PLAN



DESIGNED BY	BO
REVIEWED BY	048
DATE	6/12/2012
PROJECT NO.	11-1/100
DRAWING TITLE	UTILITY PLAN

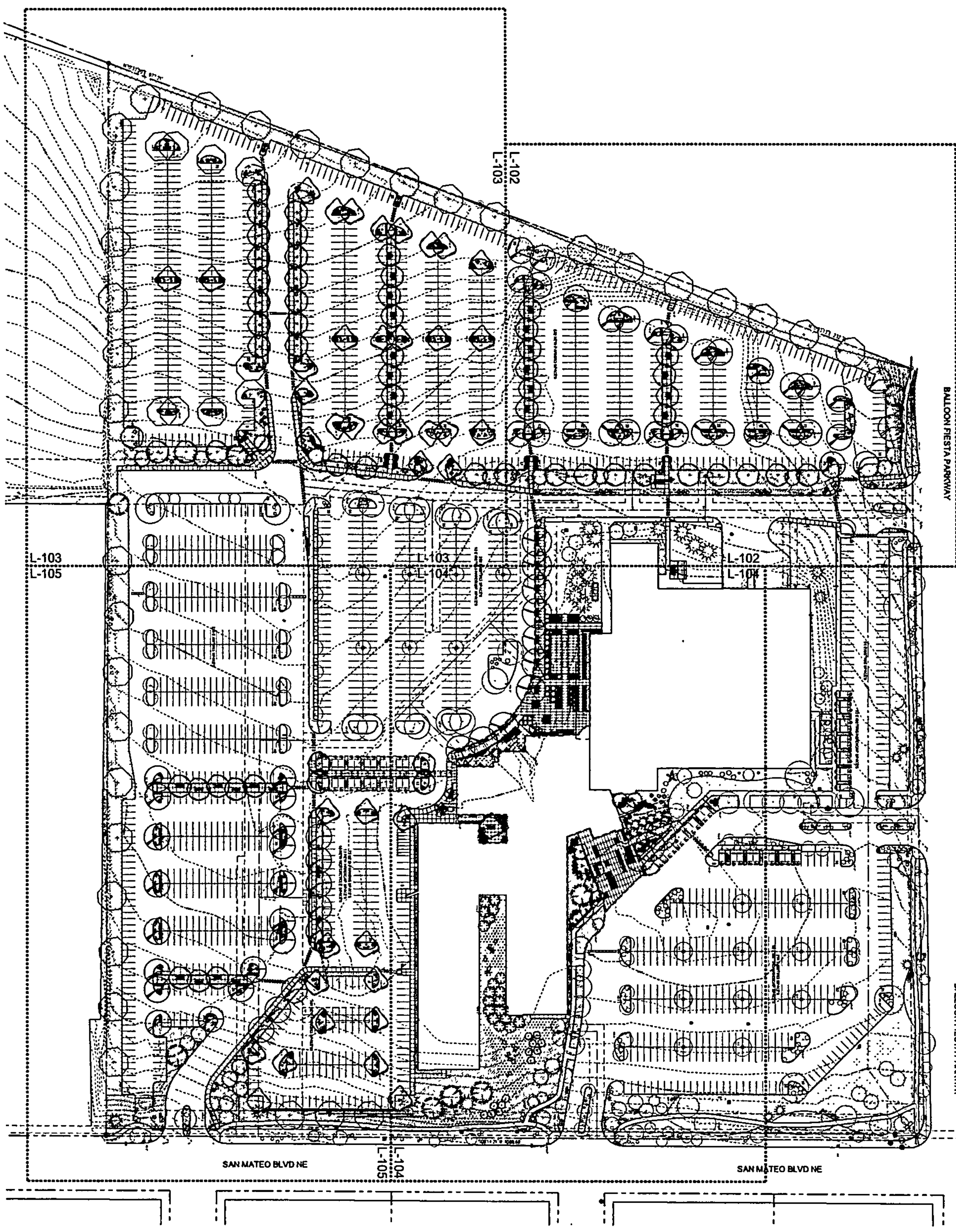
Presbyterian Systems Office
 DRB Submittal
 9521 San Mateo NE
 Albuquerque, New Mexico

ARCHITECT
Dekker Perich Sabatini
 1001 Jefferson St Suite 400
 Albuquerque, NM 87102
 505 261-2222
 505 261-2222
 www.dpsab.com

ENGINEER

PROJECT

 NORTH
 1" = 50'-0"
OVERALL LANDSCAPE PLAN



SHEET NO.
L-100

DRAWING NAME
OVERALL LANDSCAPE PLAN

PROJECT NO.
 11-0100

DATE
 6/12/2012

REVIEWED BY
 MB

DRAWN BY
 CM

Presbyterian Systems Office
DRB Submittal
 9521 San Mateo NE
 Albuquerque, New Mexico

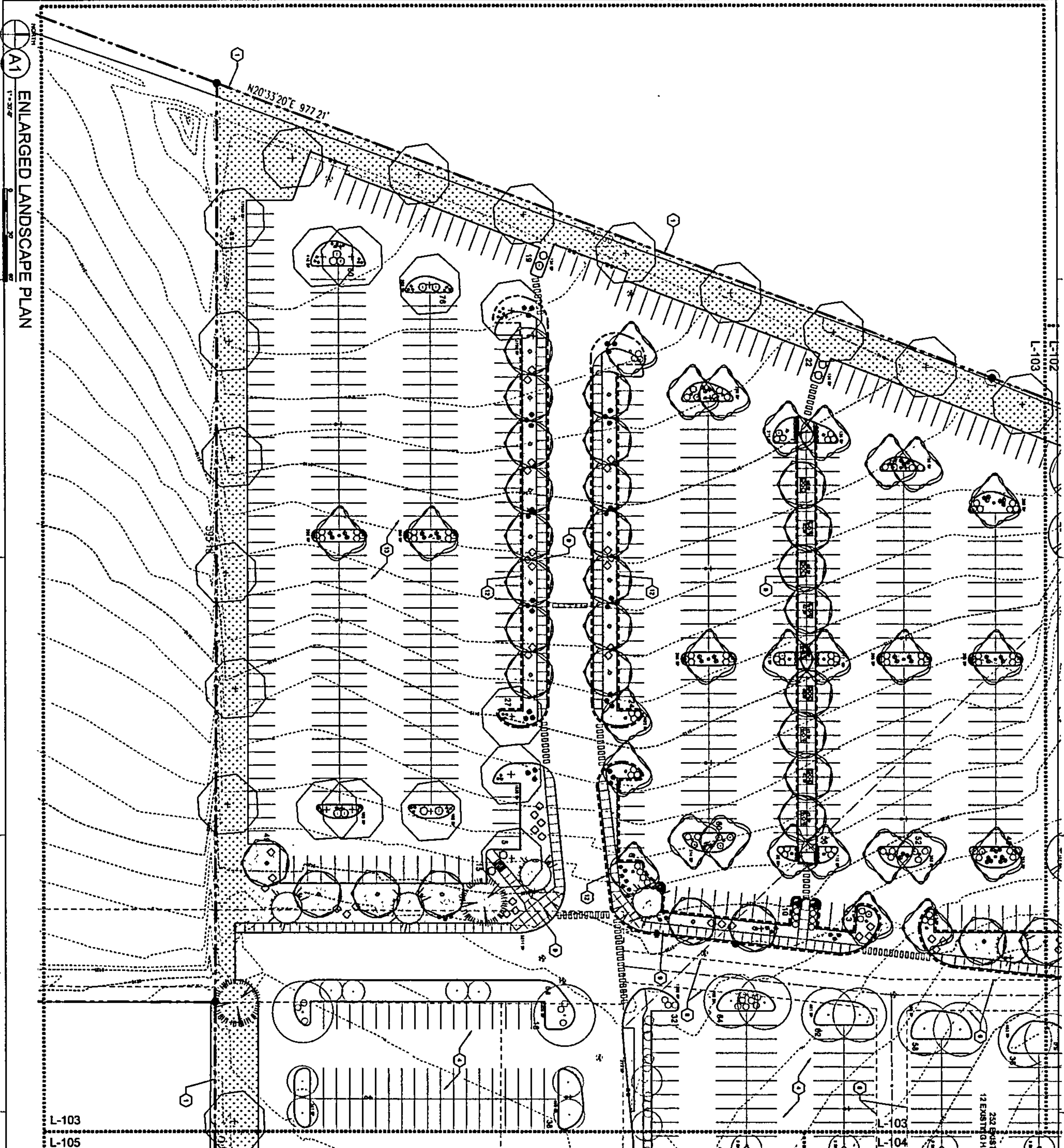
PROJECT

ENGINEER

ARCHITECT

Dekker Perich Sabatini
 7801 Jefferson NE Suite 100
 Albuquerque, NM 87109
 505.763.8288
 505.761-4222
 505.761-4222

ARCHITECT
 CONSULTING
 LANDSCAPE
 PLANNING
 REPORTING



ENLARGED LANDSCAPE PLAN
A1

L-102

L-103

L-104

L-105

L-103

L-105

L-103

L-105

L-103

L-105

L-103

L-105

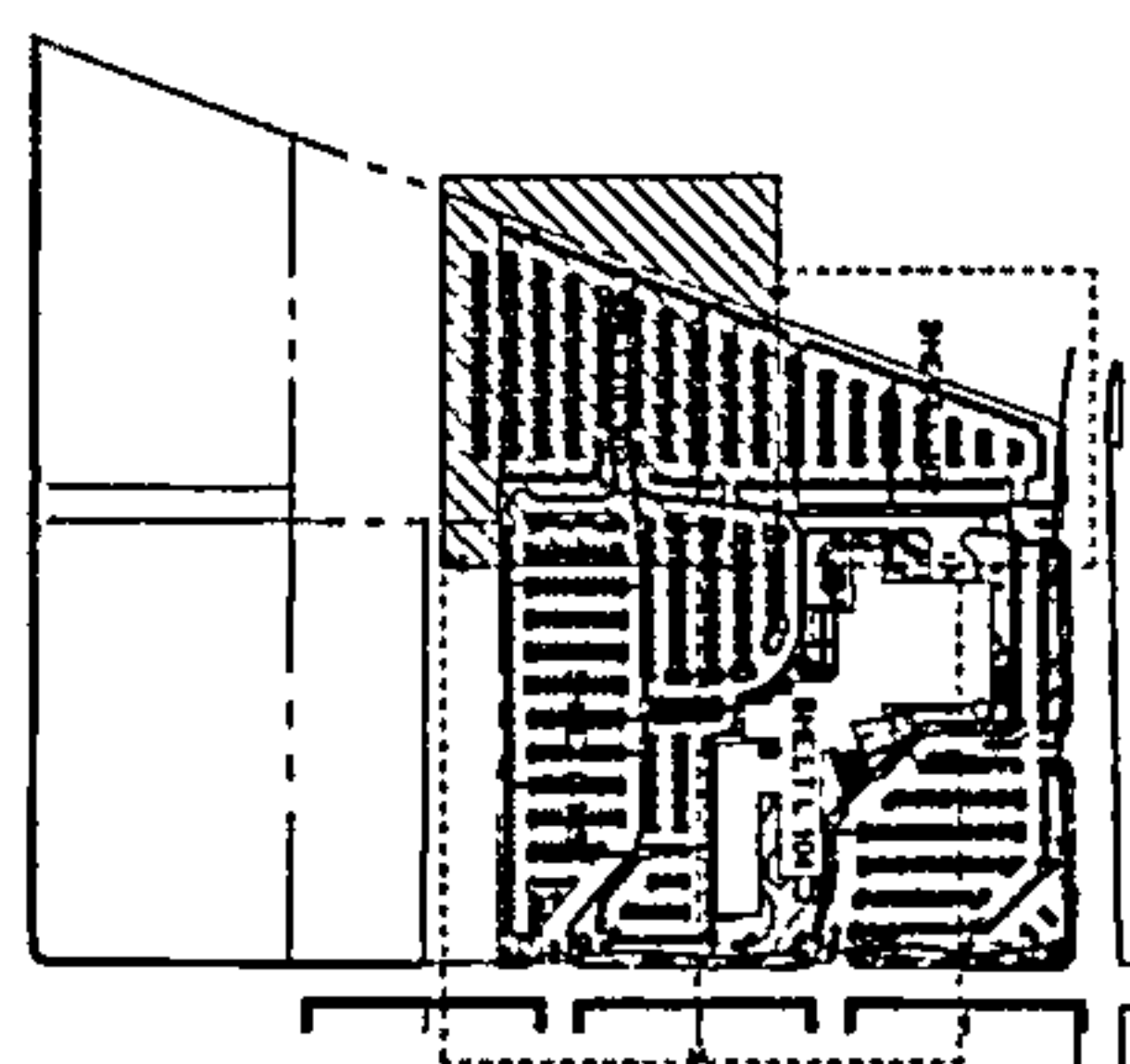
GENERAL SHEET NOTES

- A. SEE SHEET L-101 FOR GENERAL NOTES AND ADDITIONAL REQUIREMENTS.
- B. FOR GRADING AND DRAINAGE INFORMATION, SEE CIVIL DRAWINGS FOR GRADING AND DRAINAGE INFORMATION.
- C. FOR ADDITIONAL INFORMATION ON SITE ELEMENTS, SEE SITE PLAN.

SHEET KEYED NOTES

1. PROPOSED LANDSCAPE
2. EXISTING SITE WALL
3. EXISTING PAVING LOT
4. EXISTING ASPHALT DRIVE
5. EXISTING CONCRET DRIVE
6. NEW BUILDING
7. SHED STRUCTURE
8. SHED STRUCTURE
9. SHED STRUCTURE
10. SHED WALL
11. SITE WALL
12. DRIVE PAVING LOT, SEE SITE PLAN

KEY PLAN



Dekker Perich Sabatini
Architects
2000 Alameda NE Suite 100
Albuquerque, NM 87106
505.241.4333
www.dpsa.com

ENGINEER

PROJECT

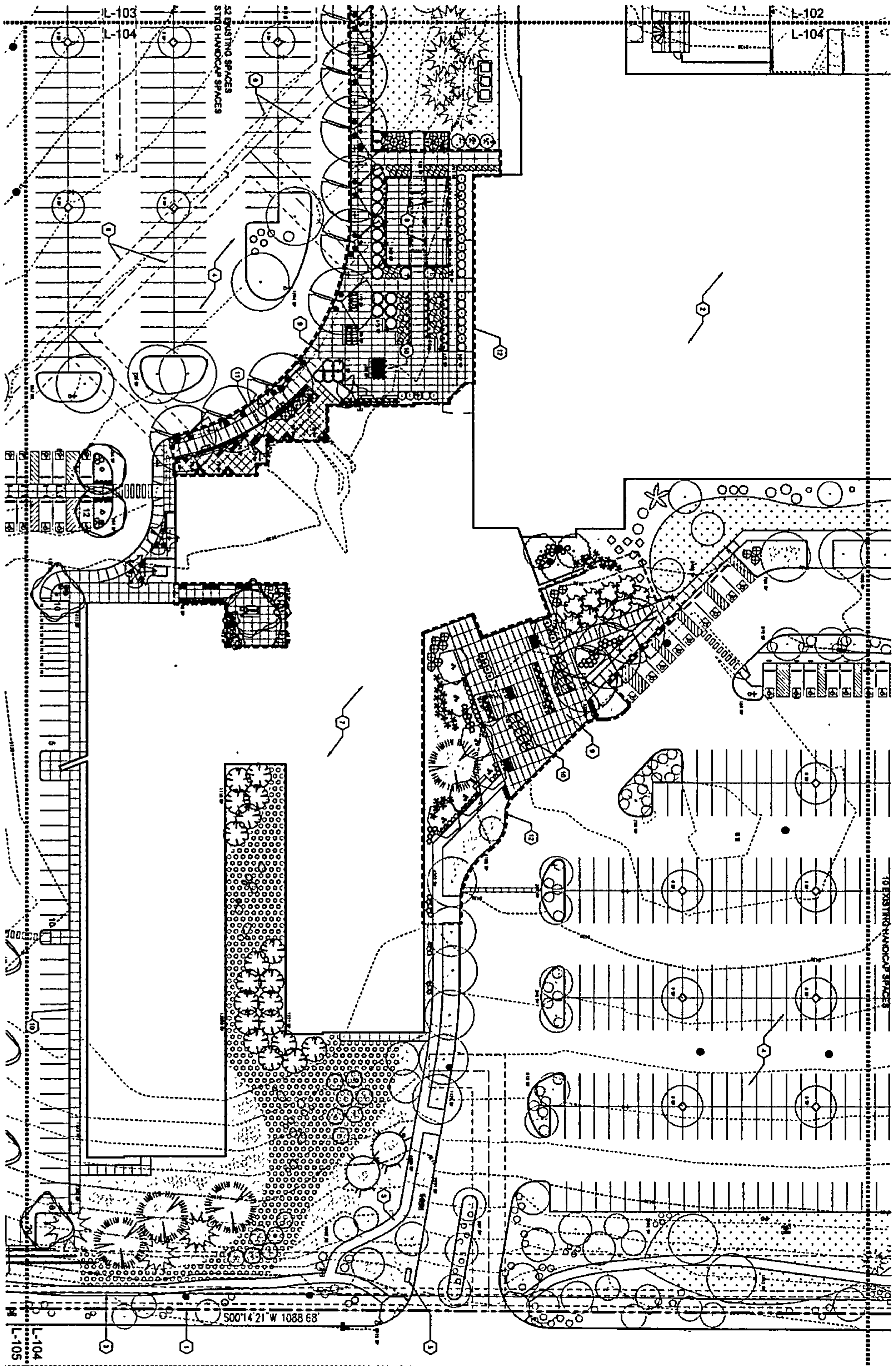
Presbyterian Systems Office
DRB Submittal
9521 San Mateo NE
Albuquerque, New Mexico

REVISIONS

NO.	DATE	DESCRIPTION
1	6/12/2012	ISSUED FOR PERMITS
2	11/01/10	ISSUED FOR PERMITS

DRAWN BY: CML
REVIEWED BY: MB
DATE: 6/12/2012
PROJECT NO: 11-0100
DRAWING NAME: ENLARGED LANDSCAPE PLAN

SHEET NO: L-103



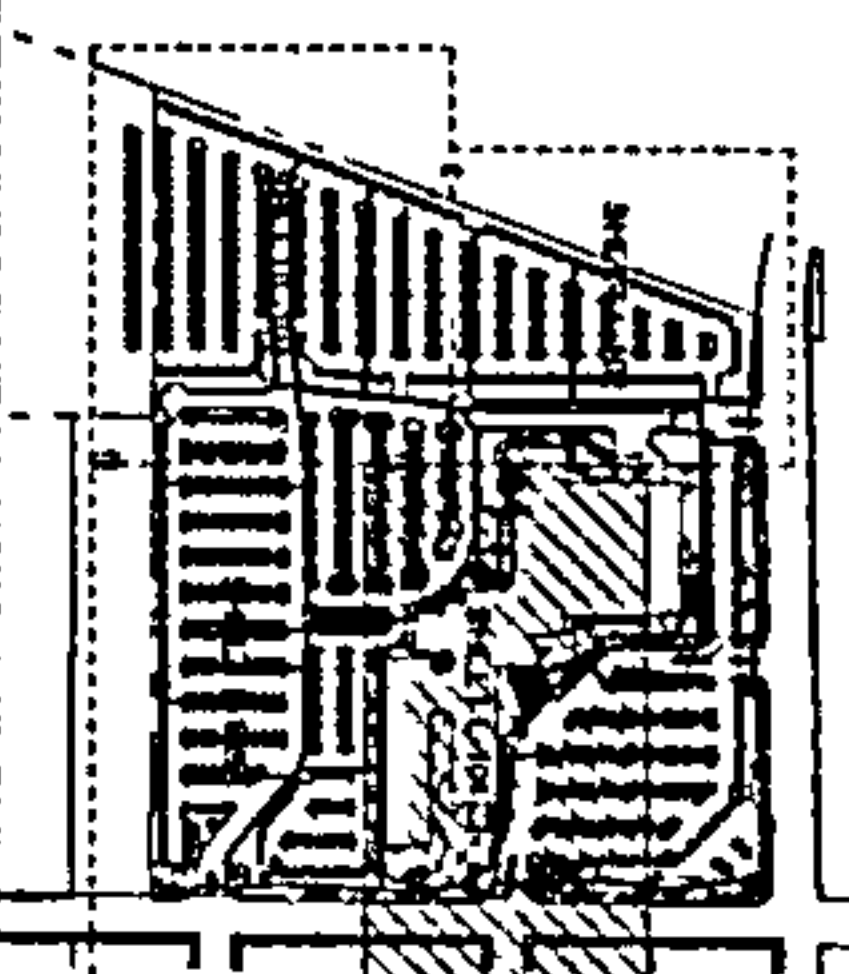
SAN MATEO

NORTH
 A1
 ENLARGED LANDSCAPE PLAN
 1"=20'

GENERAL SHEET NOTES

- A. SEE SHEET L-101 FOR GENERAL NOTES AND ADDITIONAL INFORMATION.
- B. FOR GRADING AND PLANTING INFORMATION, SEE CIVIL DRAWINGS.
- C. DO NOT RELY ON LANDSCAPE DRAWINGS FOR GRADING INFORMATION.
- D. FOR ADDITIONAL INFORMATION ON SITE ELEVATIONS, SEE SITE PLAN.

KEY PLAN



SHEET KEYED NOTES

- 1. PROPOSED LOT
- 2. EXISTING SIDEWALK
- 3. EXISTING DRIVEWAY
- 4. EXISTING DRIVEWAY LOT
- 5. EXISTING DRIVEWAY LOT
- 6. EXISTING DRIVEWAY LOT
- 7. NEW BUILDING ARCHITECTURAL
- 8. SHADE STRUCTURE
- 9. SIDEWALK
- 10. SIDEWALK
- 11. SIDEWALK
- 12. OPEN SPACE AREA



Dekker Perich Sabatini
 Architects, Inc.
 2001 Jefferson NE Suite 100
 Albuquerque, NM 87106
 (505) 261-3333
 (505) 261-4322
 www.dpsab.com

ARCHITECT

ENGINEER

PROJECT

Presbyterian Systems Office
 DRB Submittal
 9521 San Mateo NE
 Albuquerque, New Mexico

REVISIONS	DATE	BY	CHK

DRAWN BY	CM
REVIEWED BY	MB
DATE	8/12/2012
PROJECT NO.	11-0100
DRAWING NAME	ENLARGED LANDSCAPE PLAN
SHEET NO.	L-104

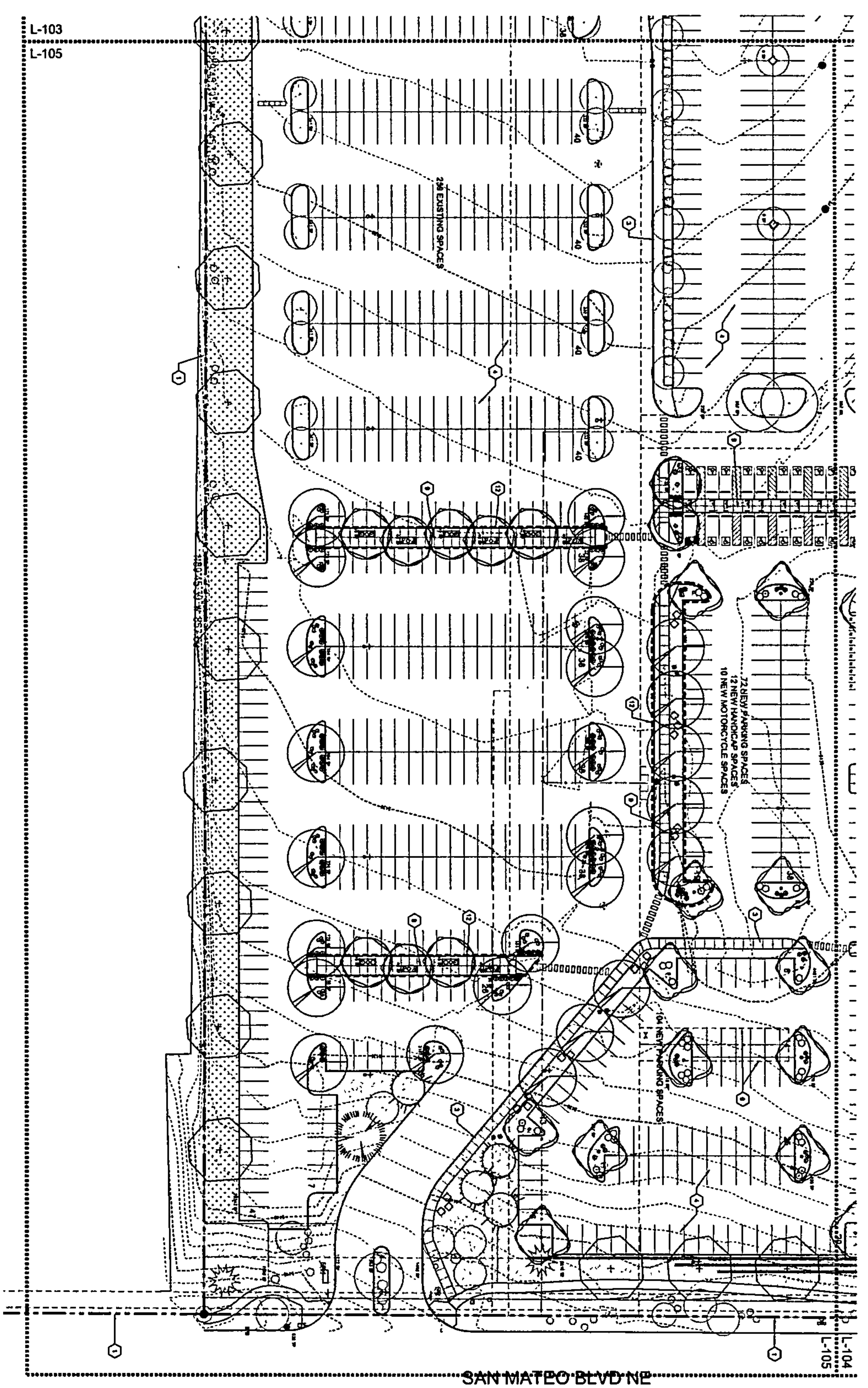
Presbyterian Systems Office
DRB Submittal
9521 San Mateo NE
Albuquerque, New Mexico

REVISIONS

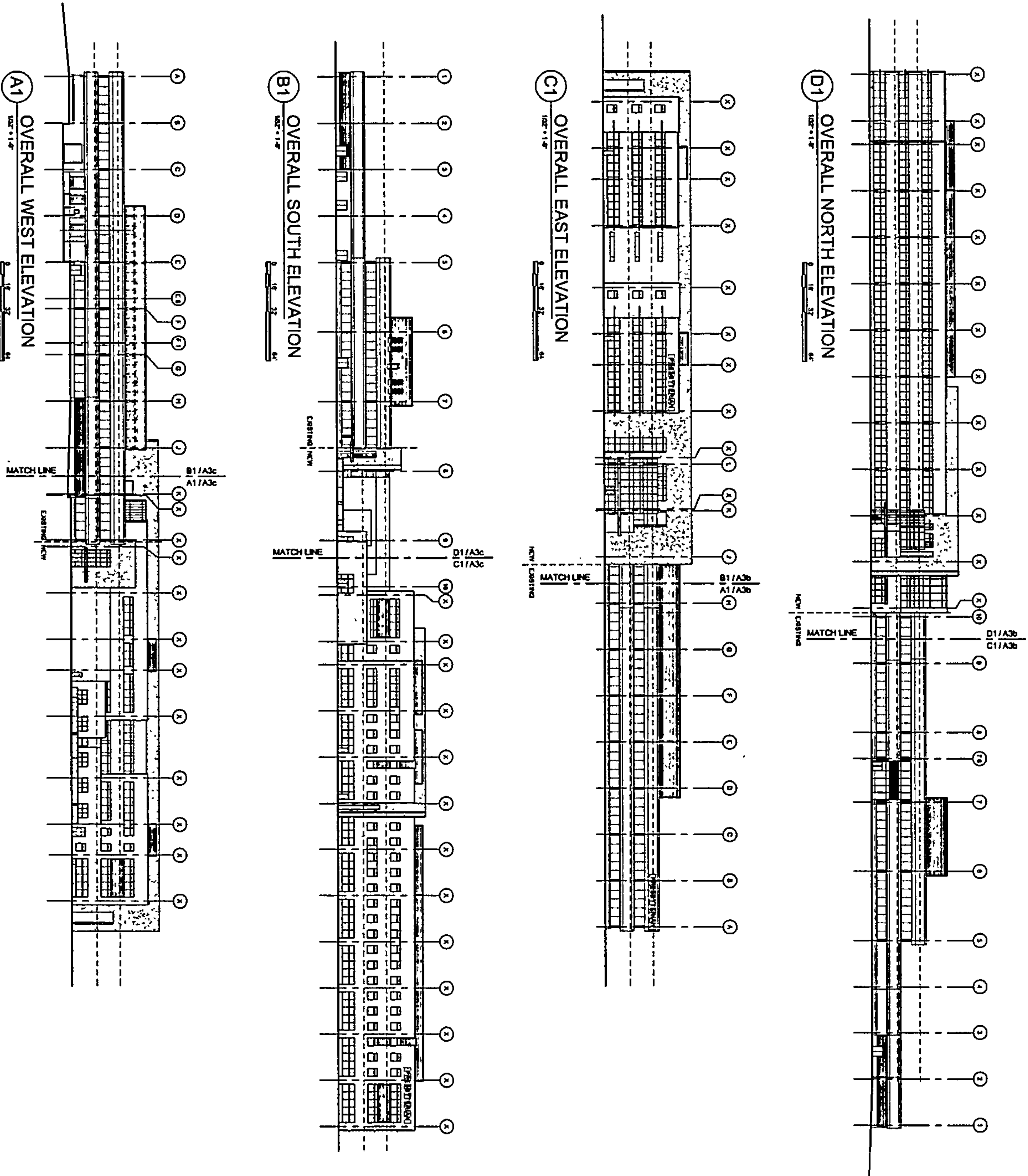
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DESIGNED BY	CM
REVIEWED BY	MB
DATE	6/12/2012
PROJECT NO.	11-0100
DRAWING NAME	ENLARGED LANDSCAPE PLAN

SHEET NO. **L-105**



GENERAL SHEET NOTES	SHEET KEYED NOTES	KEYPLAN
<p>A. SEE SHEET L-101 FOR GENERAL NOTES AND ABBREVIATIONS.</p> <p>B. FOR SHADING AND DRAINAGE INFORMATION, SEE CIVIL DRAWINGS.</p> <p>C. FOR ADDITIONAL INFORMATION ON SITE ELEMENTS, SEE SITE PLAN.</p>	<p>1. PROPOSED UTILITY</p> <p>2. EXISTING BUILDING</p> <p>3. EXISTING PAVEMENT</p> <p>4. EXISTING PARKING LOT</p> <p>5. EXISTING DRIVEWAY</p> <p>6. EXISTING DRIVEWAY</p> <p>7. NEW BUILDING</p> <p>8. SHADY STRUCTURE</p> <p>9. SHADY STRUCTURE</p> <p>10. SITE WALL</p> <p>11. SITE WALL</p> <p>12. OPEN SPACE AREA</p>	



GENERAL NOTES

A REFER TO SHEETS A3B AND A3C FOR FURTHER INFORMATION

LEGEND

- EPS. COLOR 1 CREAM
- EPS. COLOR 2 REDBROWN
- EPS. COLOR 3 GRAY
- INSULATED METAL PANEL, COLOR GRAY
- CONCRETE MASONRY UNIT, VENEER COLOR REDBROWN
- SPANDREL GLASS, COLOR BURGUNDY



**Dekker
Perich
Sabatini**

7101 Jefferson NE Suite 300
Albuquerque, NM 87110
505.261.5229
505.261.5222
info@psab.com

ARCHITECT

ENGINEER

PROJECT

Presbyterian Systems Office
DRB Submittal
9521 San Mateo NE
Albuquerque, New Mexico

REVISIONS
 ▲
 ▲
 ▲

DRAWN BY: SWS
 REVIEWED BY: TV
 DATE: 6/12/2012
 PROJECT NO: 11-0100
 DRAWING NAME: OVERALL BUILDING ELEVATIONS



Dekker Perich Sabatini
 ARCHITECTS
 1101 ALVARADO BL SW STE 100
 ALBUQUERQUE, NM 87102
 505.261.5228
 505.261.5229
 505.261.5230
 505.261.5231
 505.261.5232
 505.261.5233
 505.261.5234
 505.261.5235
 505.261.5236
 505.261.5237
 505.261.5238
 505.261.5239
 505.261.5240

ENGINEER
 PROJECT

Presbyterian Systems Office
 DRB Submittal
 9521 San Mateo NE
 Albuquerque, New Mexico

REVISIONS
 1
 2
 3
 4
 5
 6
 7
 8
 9
 10

DRAWN BY: SAMS
 CHECKED BY: TV
 DATE: 6/12/2012
 PROJECT NO.: 11-0108
 DRAWING NAME: BUILDING ELEVATIONS

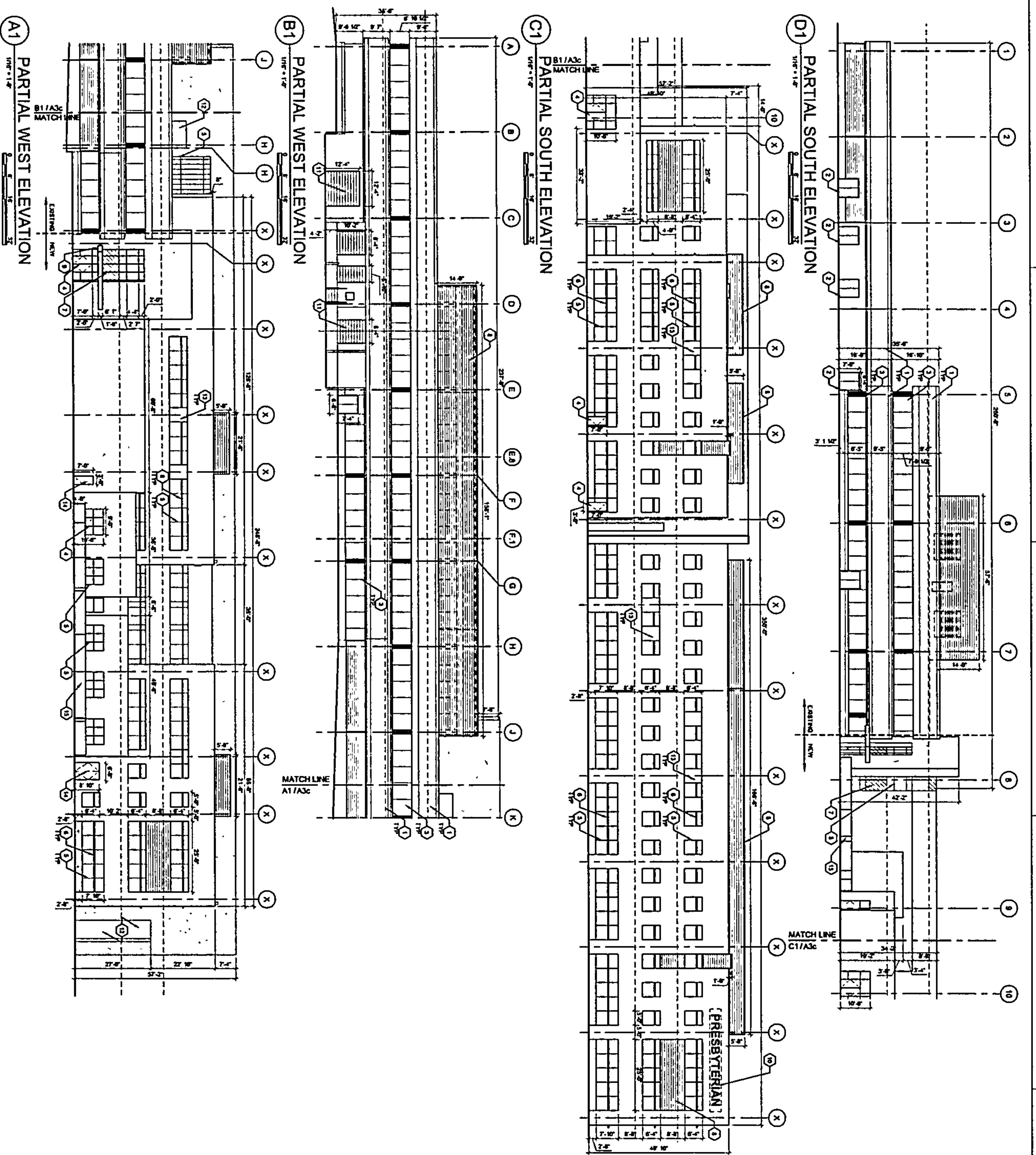
SHEET NO. **A3C**

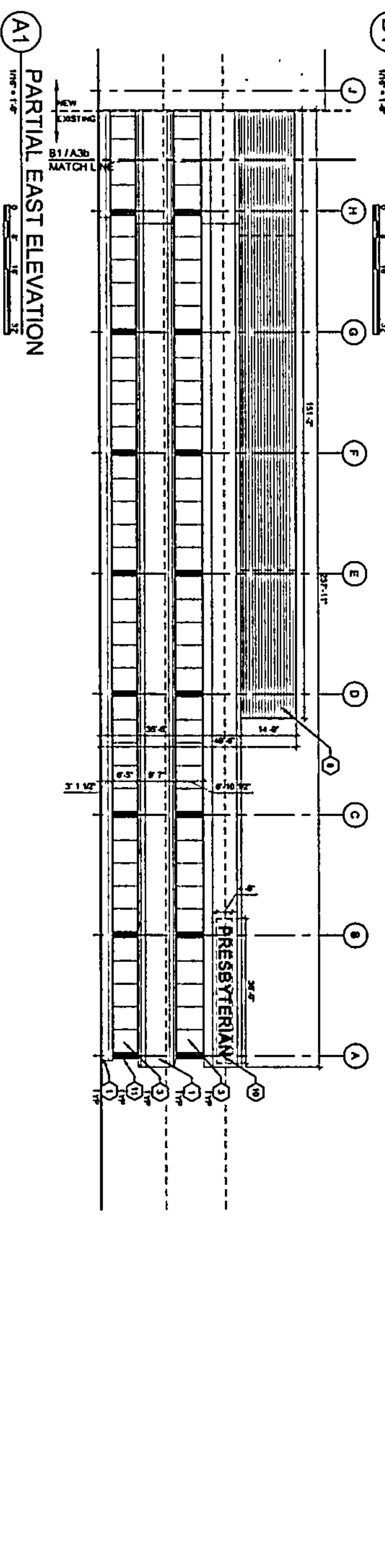
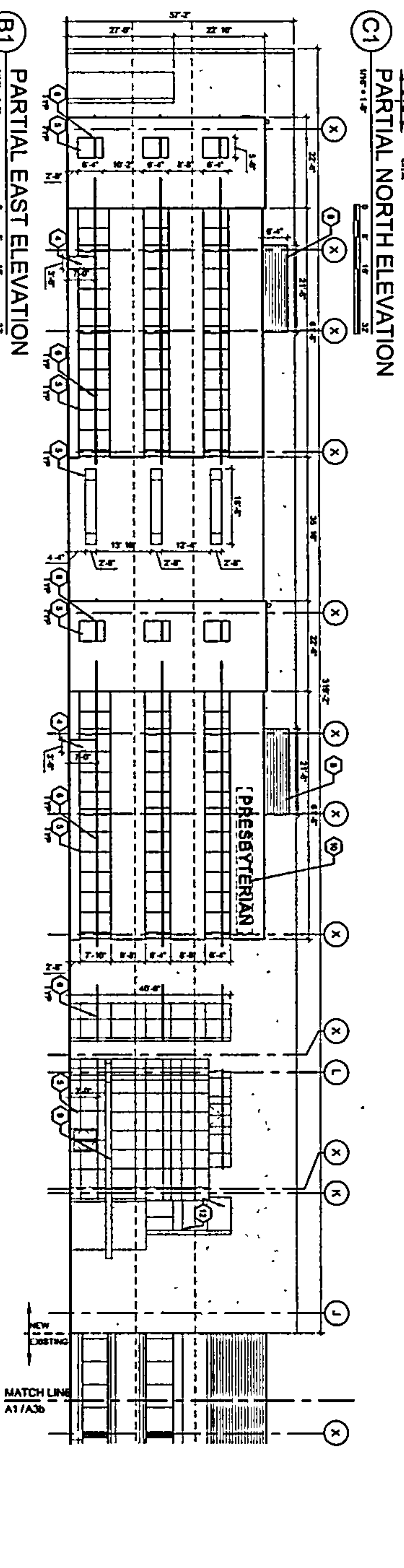
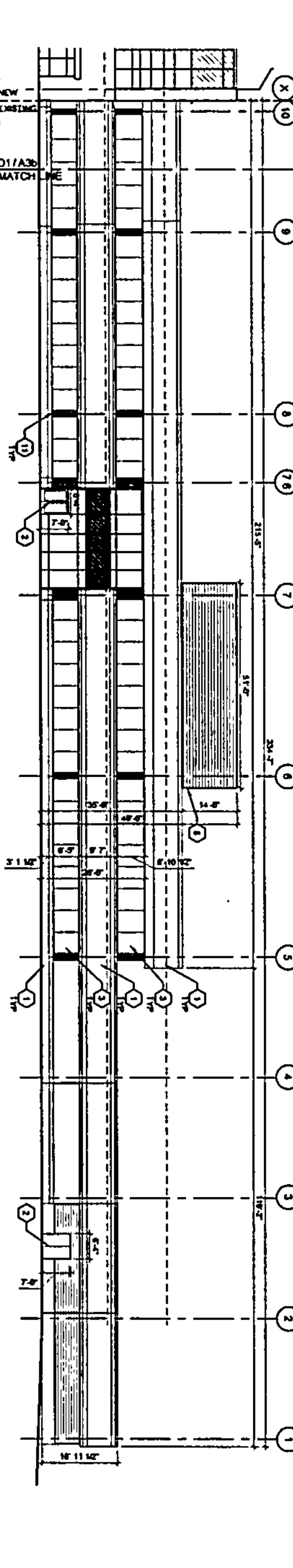
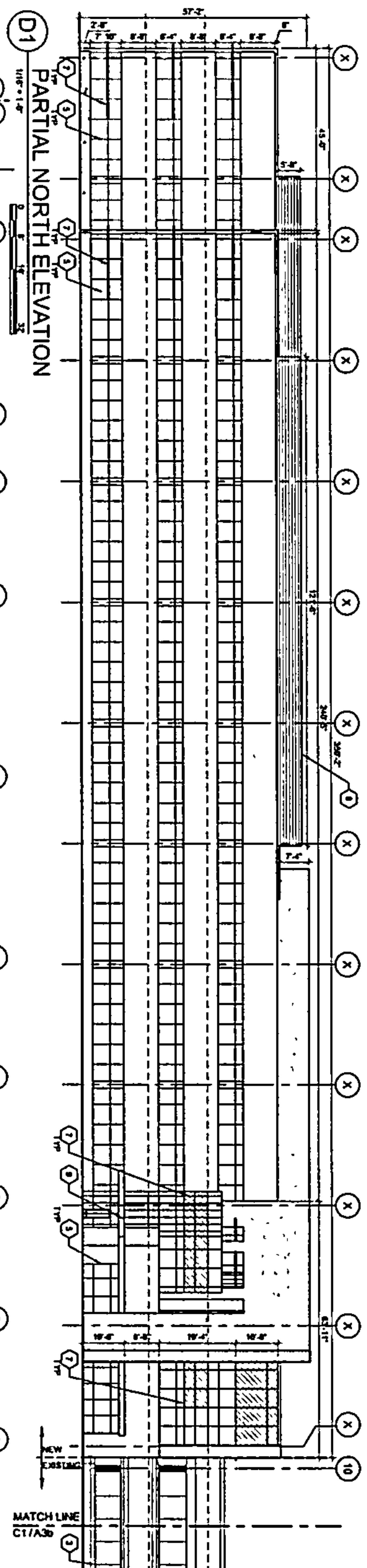
SHEET KEYED NOTES

- 1 EXISTING RECTANGULAR FLUOIA PANEL TO BE PAINTED COLOR WHITE
- 2 EXISTING WINDOW
- 3 EXISTING WINDOW
- 4 EXISTING WINDOW
- 5 EXISTING WINDOW
- 6 EXISTING WINDOW
- 7 EXISTING WINDOW
- 8 EXISTING WINDOW
- 9 EXISTING WINDOW
- 10 EXISTING WINDOW
- 11 EXISTING WINDOW
- 12 EXISTING WINDOW
- 13 EXISTING WINDOW
- 14 EXISTING WINDOW
- 15 EXISTING WINDOW
- 16 EXISTING WINDOW
- 17 EXISTING WINDOW
- 18 EXISTING WINDOW

LEGEND

- EPS COLOR 1 DREAM
- EPS COLOR 2 REDWOOD
- EPS COLOR 3 GRAY
- INSULATED METAL PANEL COLOR GRAY
- CONCRETE MASONRY UNIT VENEER CONDR. REDWOOD
- SPANREL GLASS COLOR BLUE/RED



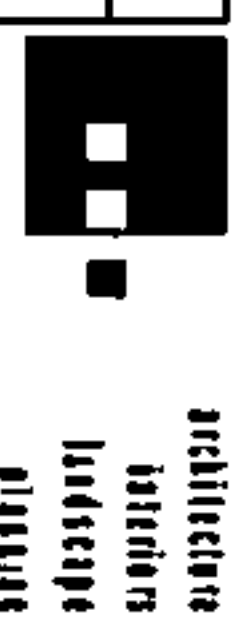


SHEET KEYED NOTES

1. EXISTING METAL CLAD FACIA PANEL TO BE PAINTED COLOR WHITE
2. EXISTING DOOR
3. EXISTING ALUMINUM WINDOW FRAME WITH SUBROCK
4. NEW STILE GLASS DOOR
5. ANODIZED ALUMINUM WINDOW FRAME WITH BLUE/GREEN
6. ANODIZED ALUMINUM SUBROCK
7. SPANNING GLASS COLOR BLUE/GREEN
8. ALUMINUM SCHEDULE WALL HORIZONTAL METAL PANEL
9. EXISTING CANOPY COLOR GREY
10. LOCATION FOR BUILDING SIGNAGE 42" HIGH X 36" WIDE AREA OF SIGN TO BE LOCATED SHOWN AS MOUNTED
11. EXISTING SPANNING GLASS
12. NOT USED

LEGEND

- CFS COLOR 1 GREY
- CFS COLOR 2 RED/BROWN
- CFS COLOR 3 GRAY
- INSULATED METAL PANEL COLOR GRAY
- CONCRETE MASONRY UNIT VENEER COLOR RED/BROWN
- SPANNING GLASS COLOR BLUE/GREEN



Dekker Perich Sabatini
Architects
1101 Jefferson NE Suite 100
Albuquerque, NM 87109
505.835.0300
505.835.0322
www.dpsab.com

ARCHITECT

ENGINEER

PROJECT

Presbyterian Systems Office
DRB Submittal
9521 San Mateo NE
Albuquerque, New Mexico

REVISIONS
 ▲
 ▲
 ▲

DRAWN BY S.M.S.
 REVIEWED BY T.V.
 DATE 6/12/2012
 PROJECT NO. 11-0100
 DRAWING NAME
 BUILDING ELEVATIONS

PRELIM
 A3b
 or




GENERAL SHEET NOTES

A. GENERAL SHEET NOTES

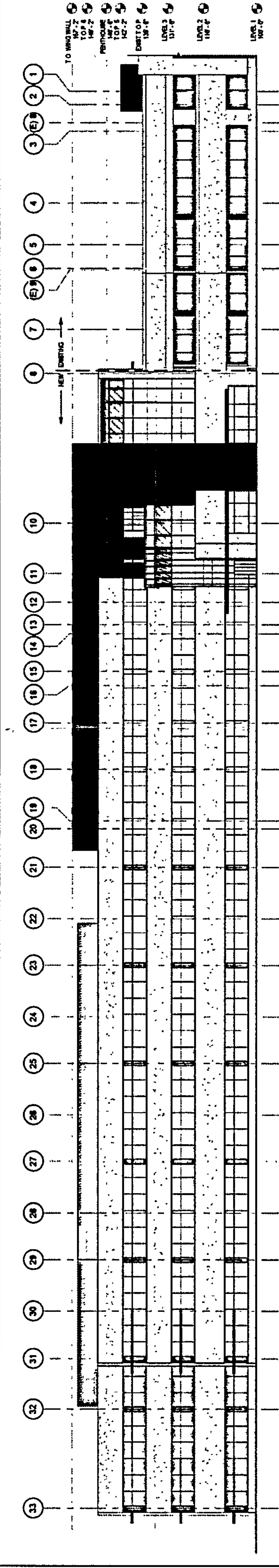
REFERENCE KEYNOTES

Key Value Keynote Text

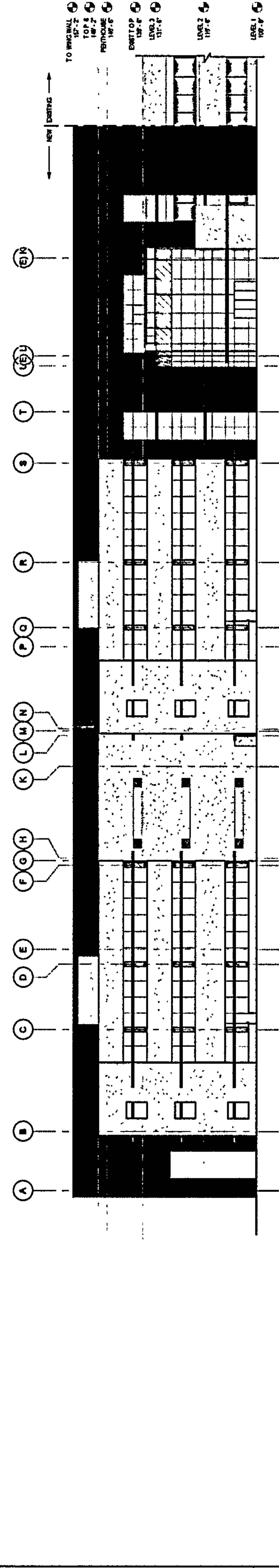
LEGEND

-  EPS - COLOR 1M
-  EPS - COLOR 1MFT
-  EPS - COLOR 1MVF

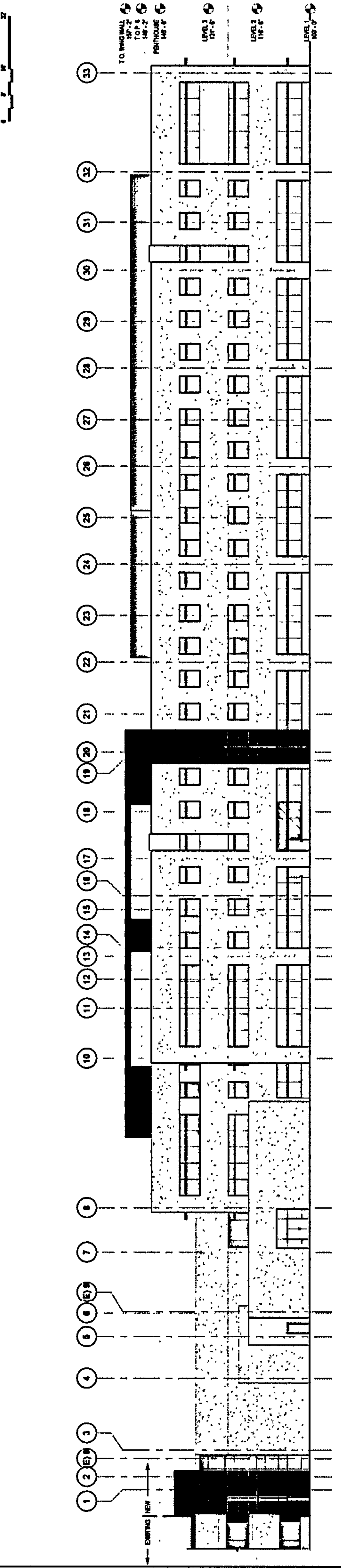
KEY PLAN



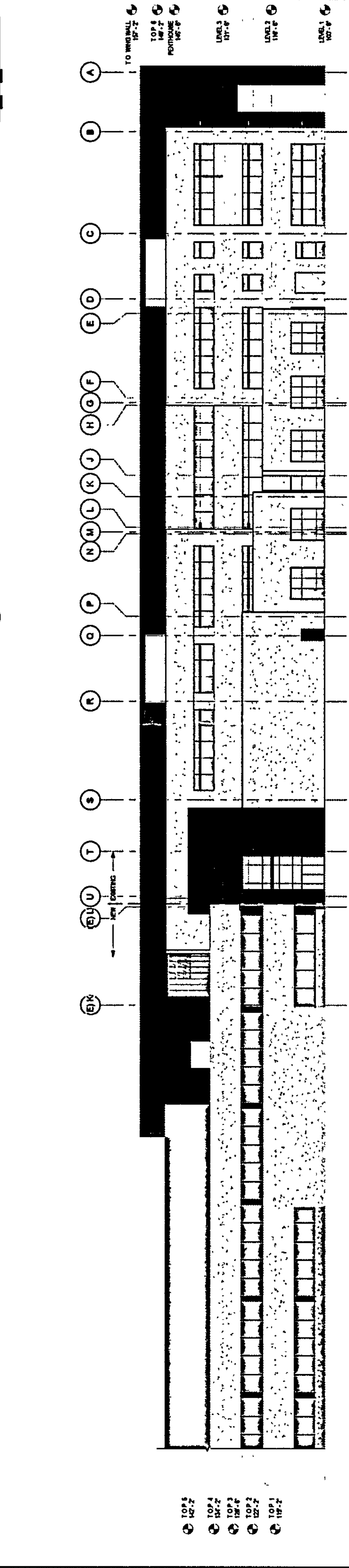
D5 NORTH ELEVATION - OVERALL



C5 EAST ELEVATION - OVERALL



B5 SOUTH ELEVATION - OVERALL



A5 WEST ELEVATION

CITICORP

ALBUQUERQUE, NEW MEXICO

ARCHITECT

D.C.S.W. INC. ARCHITECTS
105 4TH STREET S.W.
ALBUQUERQUE, NM 87102
TEL: 1-505-843-9639
CONTACT: MARO BOHFF

CIVIL ENGINEER

BOHANNAN HUSTON INC.
7600 JEFFERSON N.E.
ALBUQUERQUE, NM 87109
TEL: 1-505-829-1000
CONTACT: JAMES TOMILLER

STRUCTURAL ENGINEER

CHAVEZ/GRIEVES CONSULTING ENGINEERS
5839 JEFFERSON N.E.
ALBUQUERQUE, NM 87109
TEL: 1-505-344-4080
CONTACT: MIKE WALLA

ELECTRICAL ENGINEER

ALLIED ENGINEERING
8000 PENNSYLVANIA CIRCLE N.E.
ALBUQUERQUE, NM 87110
TEL: 1-505-262-1766
CONTACT: DENNIS SCARCELLI

LANDSCAPE ARCHITECT

BAKER MORROW ASLA
210 LA VETA DR. N.E.
ALBUQUERQUE, NM 87108
TEL: 1-505-266-2266
CONTACT: BAKER MORROW

SITE DESIGN REVIEW SET

DRAWING INDEX

T-1 COVER SHEET
A1a SITE PLAN
C001 CONCEPTUAL GRADING/DRAINAGE PLAN
C002 CONCEPTUAL SITE UTILITY PLAN
L1 LANDSCAPE PLAN
A4a BUILDING ELEVATIONS

Z-87-113 / AA 9X-57

CITICORP 

DCSW

revision
design
collaborative
northwest inc.
engineer 105 4th st. sw
albuquerque, nm.
87102
job no: 9801
date: 4/17/96 505-843-9639
sheet T-1

BALBOA RD.

SAN MATEO BLVD.

FUTURE DEVELOPMENT AREA

1 SITE PLAN

SITE INFORMATION

PROPERTY DESCRIPTION:
TRACT D-E TRACT 1000
AND TRACT D-C-1 BELTIERA
OF THE ORDER OF ST. DOMINGO
PROPERTY LOCATION:
SOUTHWEST CORNER OF BALBOA RD.
AND SAN MATEO BLVD. NE

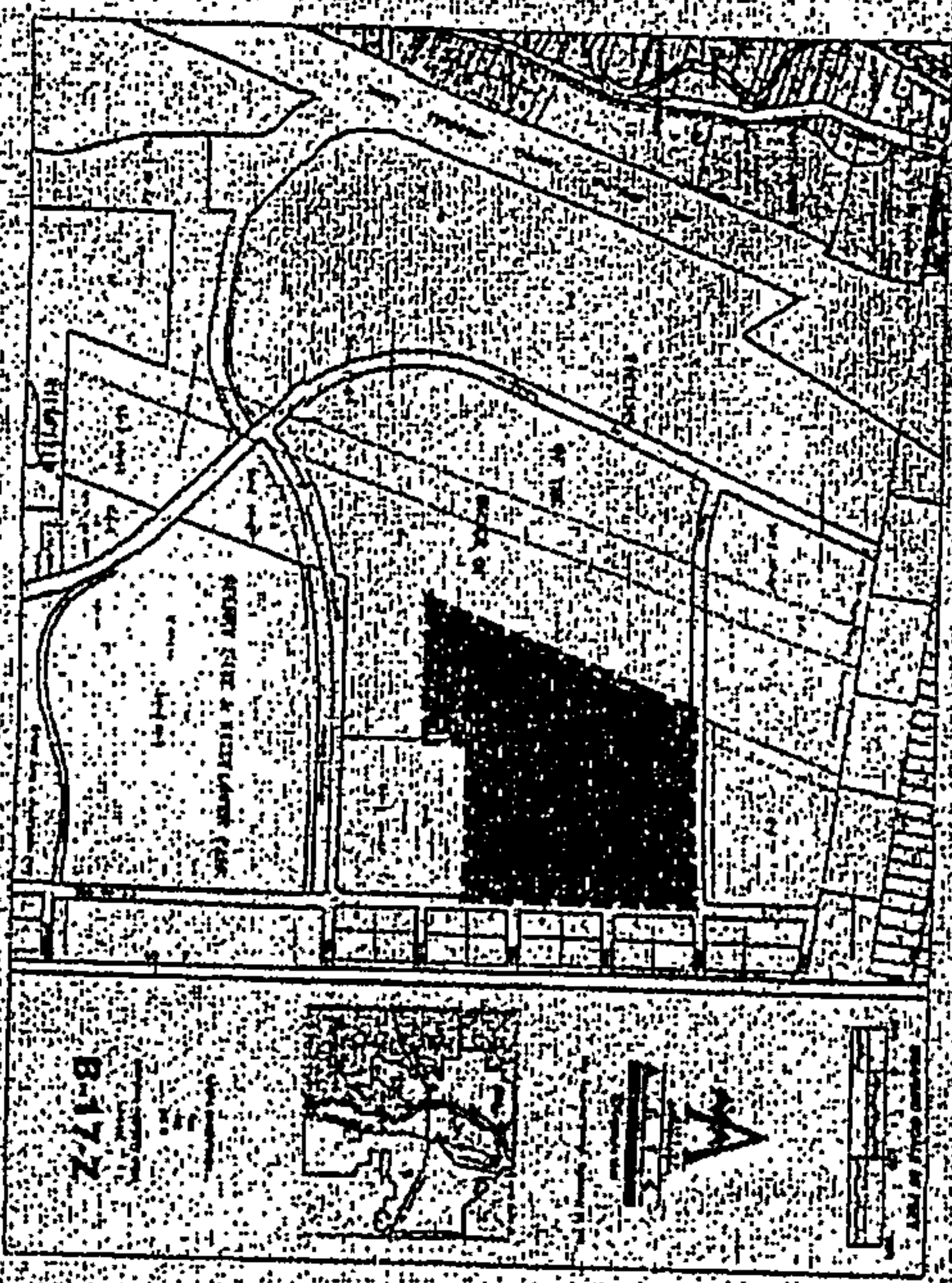
PROPERTY ZONE:
CURRENT ZONE: ALL-PURP
PROPOSED ZONE CHANGE: RM-2

DATE MAP OF RECORD:
PHASE I: 1981
PHASE II: 1981

PHASE I: 133,090 S.F.
PHASE II: 133,090 S.F.
PHASE III: 30,000 S.F.

PHASE I: 133,090 S.F.
PHASE II: 133,090 S.F.
PHASE III: 30,000 S.F.

SITE PLAN APPROVAL



CITICORP

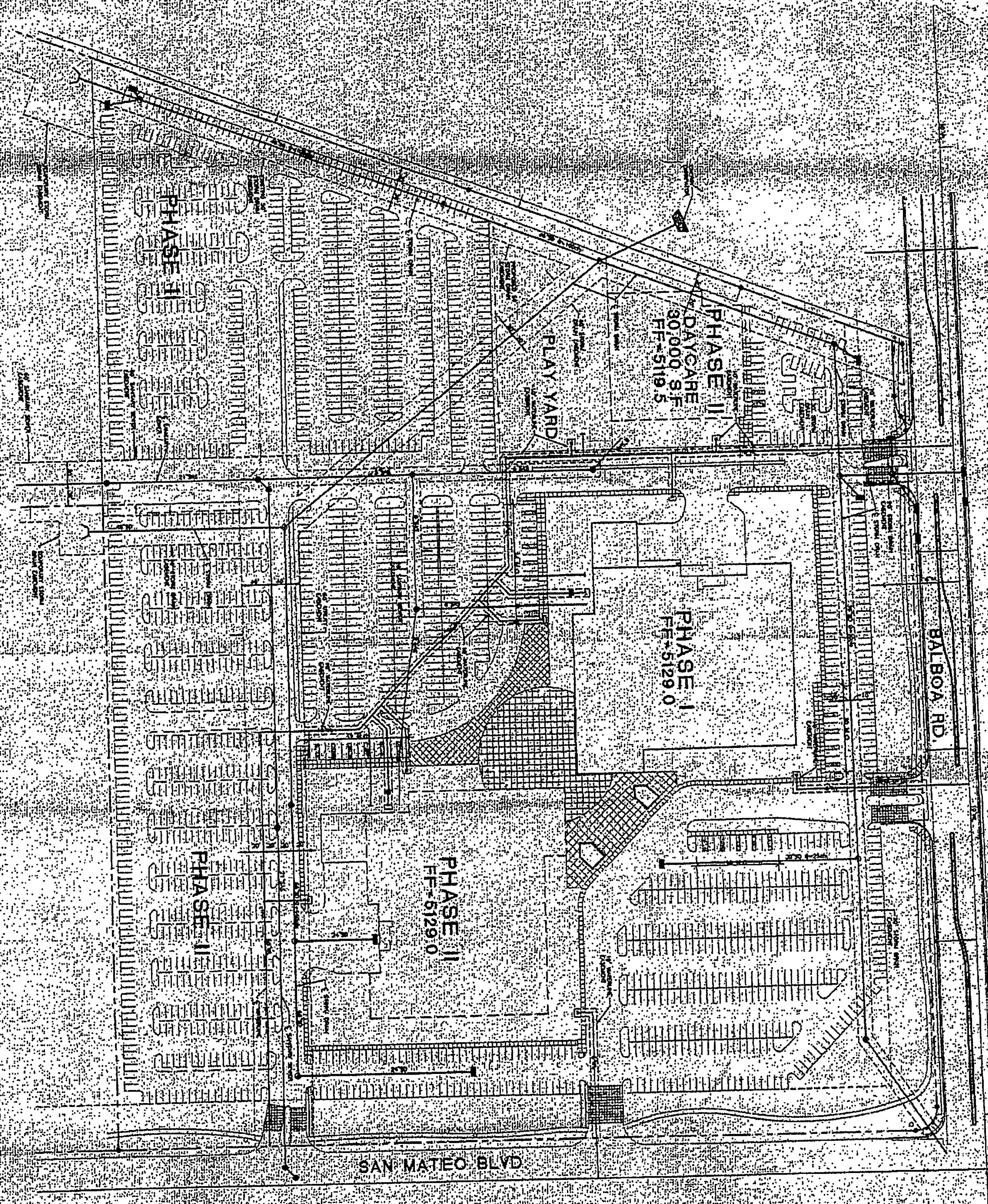
DCSW

THE NO. 244 1/2 52
LAW OFFICES
OF
AND
ASSOCIATES
P.C.

engineer
105 4th St. SE
Atlanta, GA 30316
47102
9601
4/17/98
A1a

LEGEND

- 1. Proposed Building Footprint
- 2. Proposed Parking
- 3. Proposed Driveway
- 4. Proposed Sidewalk
- 5. Proposed Street Light
- 6. Proposed Stormwater Management
- 7. Proposed Utility
- 8. Proposed Fencing
- 9. Proposed Landscaping
- 10. Proposed Signage
- 11. Proposed Access Point
- 12. Proposed Easement
- 13. Proposed Right-of-Way
- 14. Proposed Survey
- 15. Proposed Boundary
- 16. Proposed Elevation
- 17. Proposed Slope
- 18. Proposed Contour
- 19. Proposed Spot Elevation
- 20. Proposed Utility Pole
- 21. Proposed Utility Line
- 22. Proposed Utility Valve
- 23. Proposed Utility Manhole
- 24. Proposed Utility Meter
- 25. Proposed Utility Transformer
- 26. Proposed Utility Enclosure
- 27. Proposed Utility Vault
- 28. Proposed Utility Chamber
- 29. Proposed Utility Tunnel
- 30. Proposed Utility Pipe
- 31. Proposed Utility Conduit
- 32. Proposed Utility Cable
- 33. Proposed Utility Duct
- 34. Proposed Utility Manhole Cover
- 35. Proposed Utility Valve Cover
- 36. Proposed Utility Transformer Pad
- 37. Proposed Utility Enclosure Pad
- 38. Proposed Utility Vault Pad
- 39. Proposed Utility Chamber Pad
- 40. Proposed Utility Tunnel Pad
- 41. Proposed Utility Pipe Pad
- 42. Proposed Utility Conduit Pad
- 43. Proposed Utility Cable Pad
- 44. Proposed Utility Duct Pad
- 45. Proposed Utility Manhole Cover Pad
- 46. Proposed Utility Valve Cover Pad
- 47. Proposed Utility Transformer Pad Pad
- 48. Proposed Utility Enclosure Pad Pad
- 49. Proposed Utility Vault Pad Pad
- 50. Proposed Utility Chamber Pad Pad
- 51. Proposed Utility Tunnel Pad Pad
- 52. Proposed Utility Pipe Pad Pad
- 53. Proposed Utility Conduit Pad Pad
- 54. Proposed Utility Cable Pad Pad
- 55. Proposed Utility Duct Pad Pad
- 56. Proposed Utility Manhole Cover Pad Pad
- 57. Proposed Utility Valve Cover Pad Pad
- 58. Proposed Utility Transformer Pad Pad Pad
- 59. Proposed Utility Enclosure Pad Pad Pad
- 60. Proposed Utility Vault Pad Pad Pad
- 61. Proposed Utility Chamber Pad Pad Pad
- 62. Proposed Utility Tunnel Pad Pad Pad
- 63. Proposed Utility Pipe Pad Pad Pad
- 64. Proposed Utility Conduit Pad Pad Pad
- 65. Proposed Utility Cable Pad Pad Pad
- 66. Proposed Utility Duct Pad Pad Pad
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- 84. Proposed Utility Tunnel Pad Pad Pad Pad Pad
- 85. Proposed Utility Pipe Pad Pad Pad Pad Pad
- 86. Proposed Utility Conduit Pad Pad Pad Pad Pad
- 87. Proposed Utility Cable Pad Pad Pad Pad Pad
- 88. Proposed Utility Duct Pad Pad Pad Pad Pad
- 89. Proposed Utility Manhole Cover Pad Pad Pad Pad Pad
- 90. Proposed Utility Valve Cover Pad Pad Pad Pad Pad



BOHANNAN-HUSTON INC.
 ENGINEERS ARCHITECTS PLANNERS LANDSCAPE ARCHITECTS
 10000 BOHANNAN BLVD. HOUSTON, TEXAS 77036
 TEL: 281-416-1000 FAX: 281-416-1001

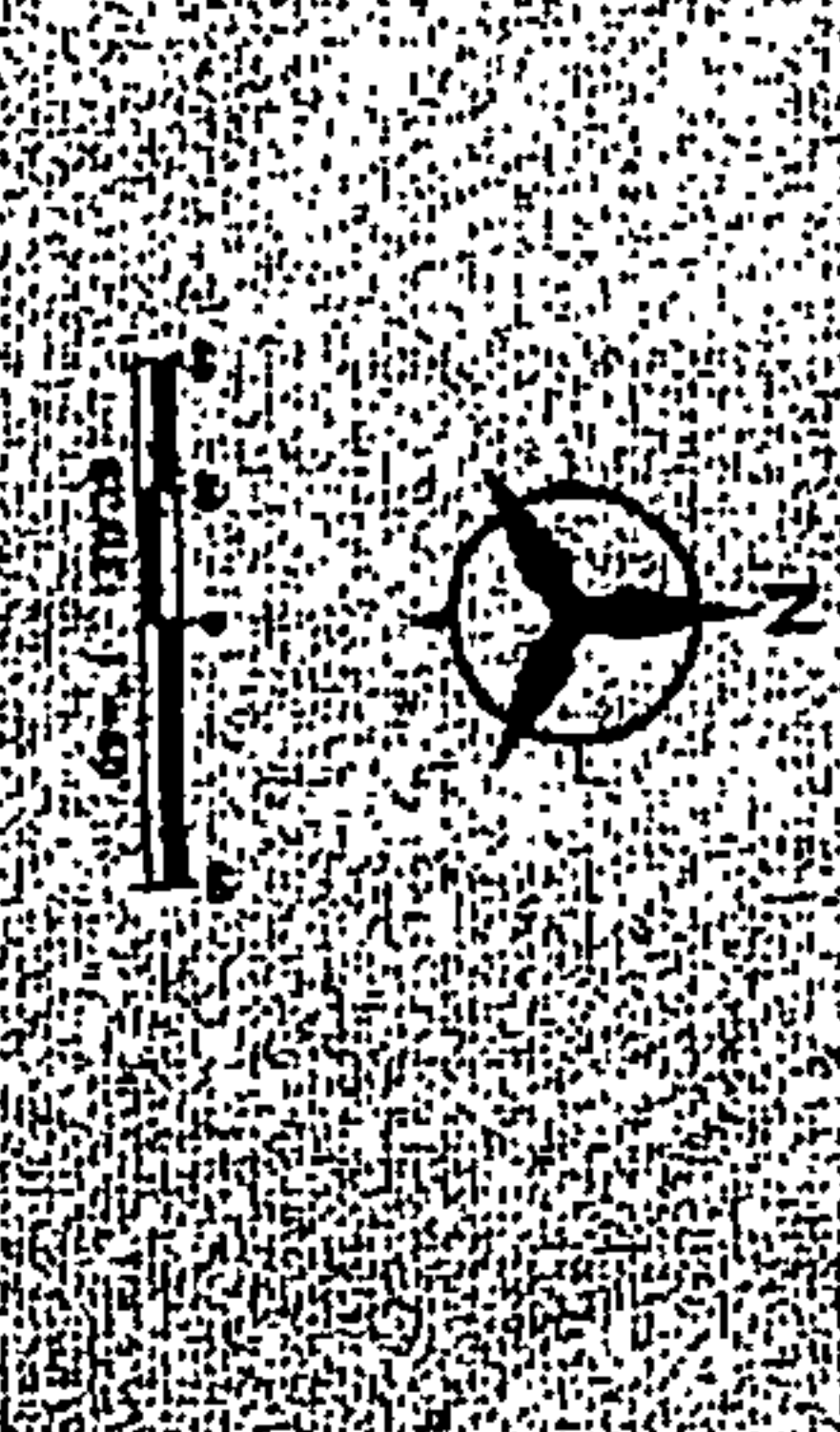
DATE: 02/03
 SHEET: 02 OF 04
 PROJECT: 02-03-001
 CLIENT: CMC
 505-835-8338

105 4th St. S.W.
 Atlanta, GA 30334
 404-525-1100
 404-525-1101

CGI CORP.
 CONCEPTUAL
 UTILITY PLAN



105 4th St. S.W.
 Atlanta, GA 30334
 404-525-1100
 404-525-1101

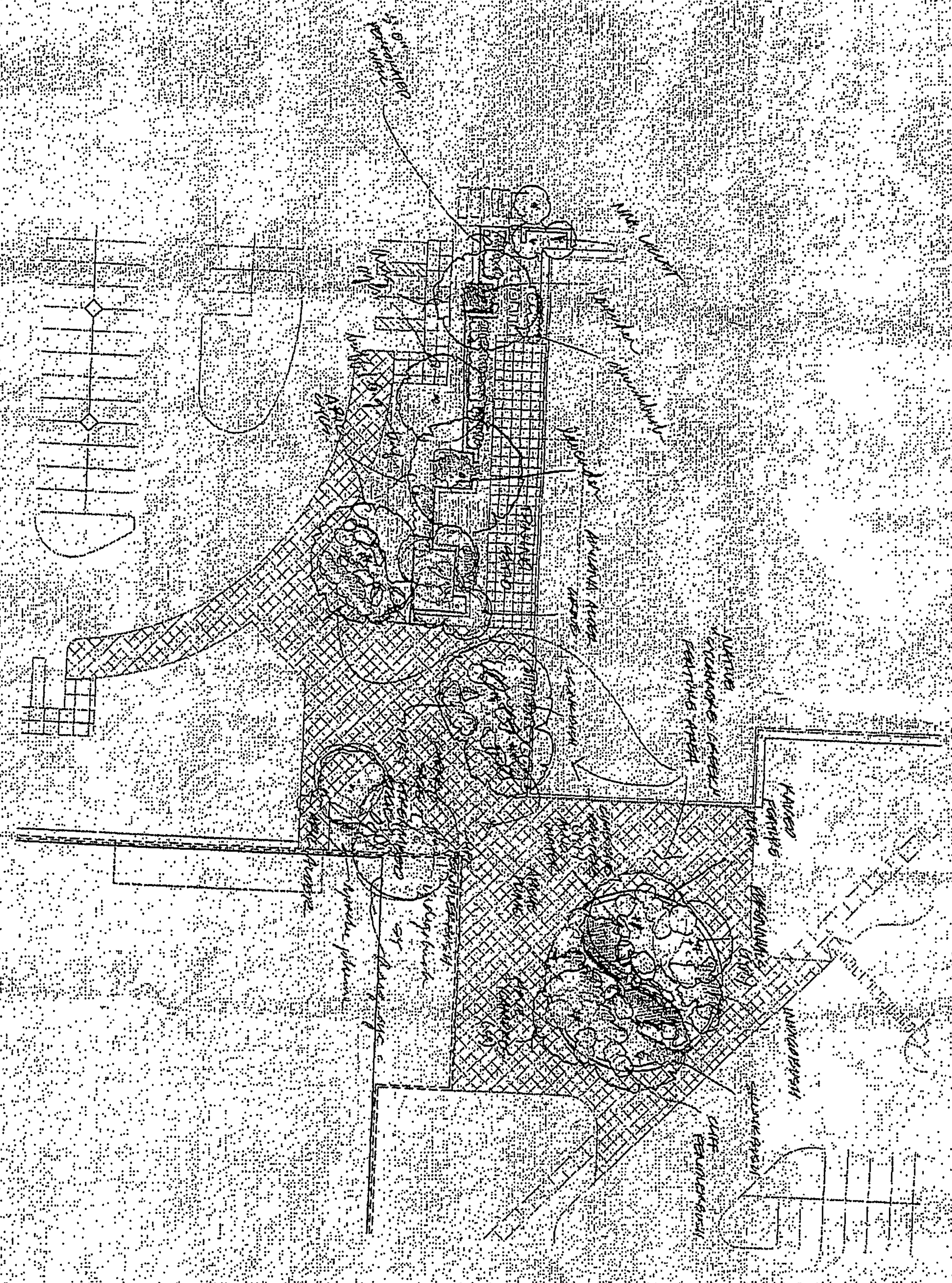


⊕ ENLARGED COURTYARD

CITICORP APPROVA I.I.M.A.
PART
CONCEPTUAL
DESIGN
PLAN

POSSIBLE ARCHITECTS
MORROW & CO ARCHITECTS
COURTESY

P.B. VIEW
POINT



REVISIONS

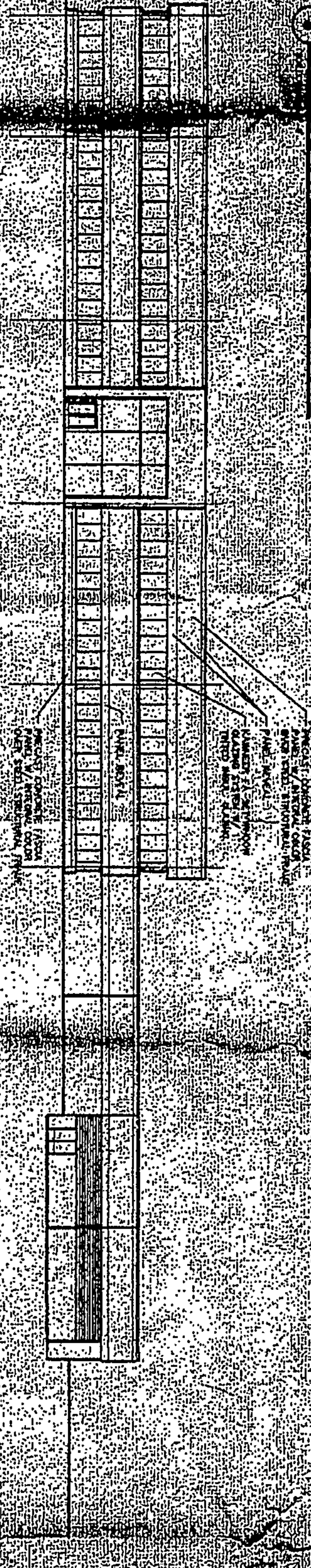
NO.	DATE	DESCRIPTION
1	4/19/98	ISSUED FOR PERMIT
2		
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DCSW

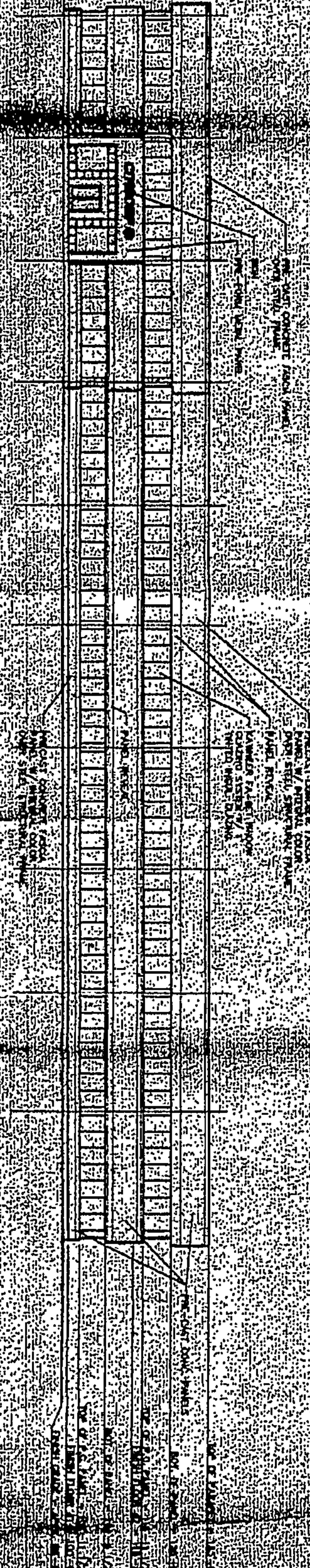
CITICORP

PROJECT NO. 960
DATE: 4/19/98
DRAWN BY: [Name]
CHECKED BY: [Name]

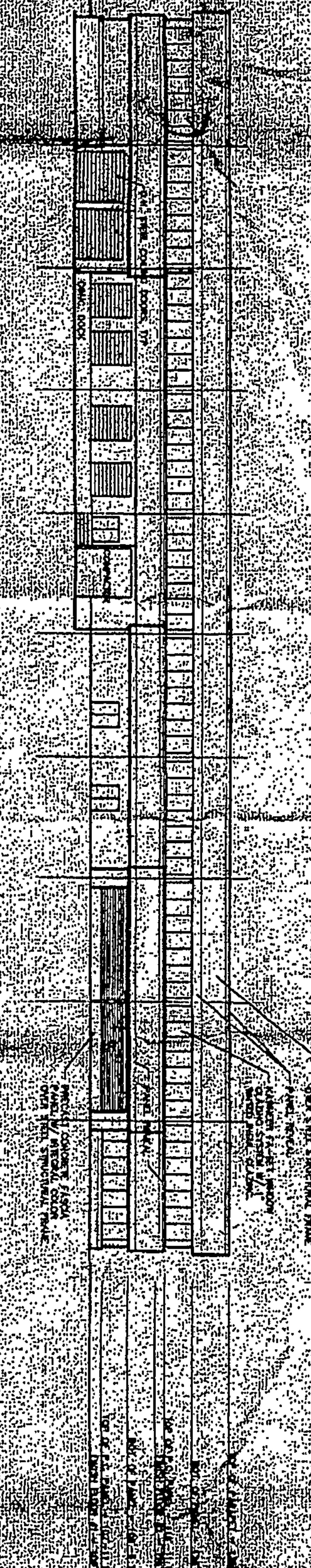
1 BUILDING 1 - NORTH ELEVATION



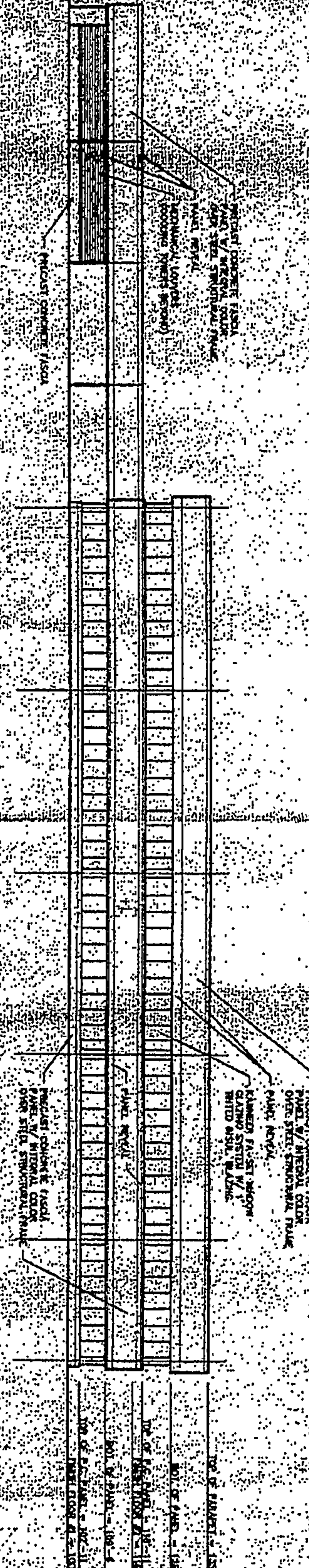
2 BUILDING 1 - EAST ELEVATION



3 BUILDING 1 - WEST ELEVATION



4 BUILDING 1 - SOUTH ELEVATION



0901
 4/17/08
 A3A

BUILDING ELEVATIONS
DCSIV

CTICORP

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

<p>SUBDIVISION</p> <p><input checked="" type="checkbox"/> Major Subdivision action</p> <p><input checked="" type="checkbox"/> Minor Subdivision action</p> <p><input type="checkbox"/> Vacation</p> <p><input type="checkbox"/> Variance (Non-Zoning)</p> <p>SITE DEVELOPMENT PLAN</p> <p><input type="checkbox"/> for Subdivision</p> <p><input type="checkbox"/> for Building Permit</p> <p><input type="checkbox"/> Administrative Amendment (AA)</p> <p><input type="checkbox"/> IP Master Development Plan</p> <p><input type="checkbox"/> Cert. of Appropriateness (LUCC)</p> <p>STORM DRAINAGE (Form D)</p> <p><input type="checkbox"/> Storm Drainage Cost Allocation Plan</p>	<p>S Z ZONING & PLANNING</p> <p><input type="checkbox"/> Annexation</p> <p><input type="checkbox"/> County Submittal</p> <p><input type="checkbox"/> EPC Submittal</p> <p><input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)</p> <p><input type="checkbox"/> Sector Plan (Phase I, II, III)</p> <p><input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan</p> <p><input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)</p> <p><input type="checkbox"/> Street Name Change (Local & Collector)</p> <p>L A APPEAL / PROTEST of...</p> <p><input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals</p>
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PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Land Development Consultants PHONE: 797-4120
 ADDRESS: 5620 B San Francisco Dr. NE FAX: 821-0392
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: ldc-llc@msn.com

APPLICANT: Citicorp Credit Services PHONE: 210-677-6630
 ADDRESS: 100 Citibank Drive FAX: _____
 CITY: San Antonio STATE TX ZIP 78245 E-MAIL: _____

Proprietary interest in site: 9521 San Mateo List all owners: Jerry Forester

DESCRIPTION OF REQUEST: To replat existing tract into 2 new tracts.

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. D-1E-1 Block N/A Unit N/A
 Subdiv/Addr/TBKA: Sisters of the Order of St. Dominic
 Existing Zoning: SL-2 (IP-EP) Proposed zoning: SL-2 MRGCD Map No N/A
 Zone Atlas page(s): B-17 UPC Code: 101706546230810220

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB, AX, Z, V, S, etc):
DRB-96-234, DRB-94-378, DRB-93-324, AA, 96-57

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? Yes
 No. of existing lots: 1 No. of proposed lots: 2 Total area of site (acres): 31.7178

LOCATION OF PROPERTY BY STREETS: On or Near San Mateo Blvd. NE
 Between: Balloon Fiesta Pkwy and San Diego Drive

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE B. Martinez DATE 9-11-08
 (Print) Bernadette Martinez Applicant: Agent:

FOR OFFICIAL USE ONLY

Form revised 4/07

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>08DRB 70406</u>	<u>P&F</u>	<u>5(3)</u>	<u>\$ 215.00</u>
	<u>CME</u>		<u>\$ 20.00</u>
			\$ _____
			\$ _____
			\$ _____
			\$ _____
Hearing date <u>09/24/08</u>			Total <u>\$ 235.00</u>

Sunday Handley
 Planner signature / date

Project # 1007488

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** Your attendance is required.
 - Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - List any original and/or related file numbers on the cover application

- EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08)** Your attendance is required.
 - Preliminary Plat reduced to 8.5" x 11"
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Copy of DRB approved infrastructure list
 - Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
 - List any original and/or related file numbers on the cover application

Extension of preliminary plat approval expires after one year.

- MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12)** Your attendance is required.
 - Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
 - Design elevations & cross sections of perimeter walls - 3 copies
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - Copy of recorded SIA
 - Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
 - List any original and/or related file numbers on the cover application
 - DXF file and hard copy of final plat data for AGIS is required.

- MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16)** Your attendance is required.
 - 5 Acres or more: Certificate of No Effect or Approval
 - Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings ensure property owner's and City Surveyor's signatures are on the plat prior to submittal
 - N/A* Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
 - N/A* Design elevations and cross sections of perimeter walls (11" by 17" maximum) 3 copies
 - Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
 - N/A* Infrastructure list if required (verify with DRB Engineer)
 - DXF file and hard copy of final plat data for AGIS is required.

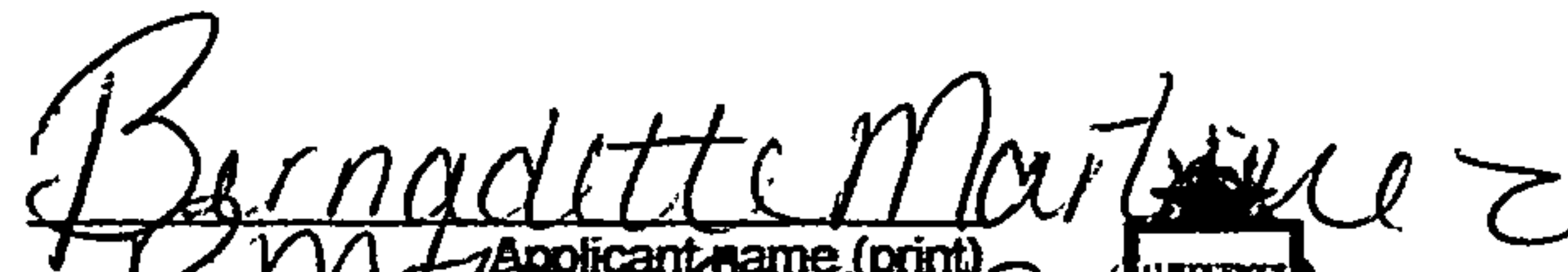

- AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03)** Your attendance is required.

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

 - Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - List any original and/or related file numbers on the cover application

Amended preliminary plat approval expires after one year

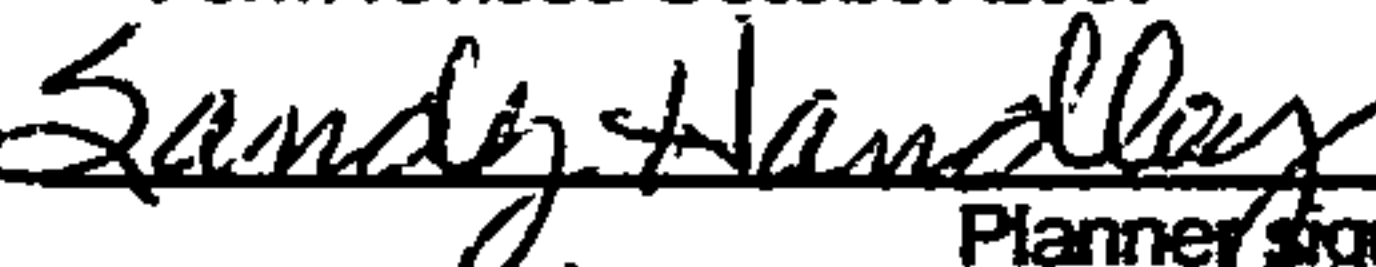
I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

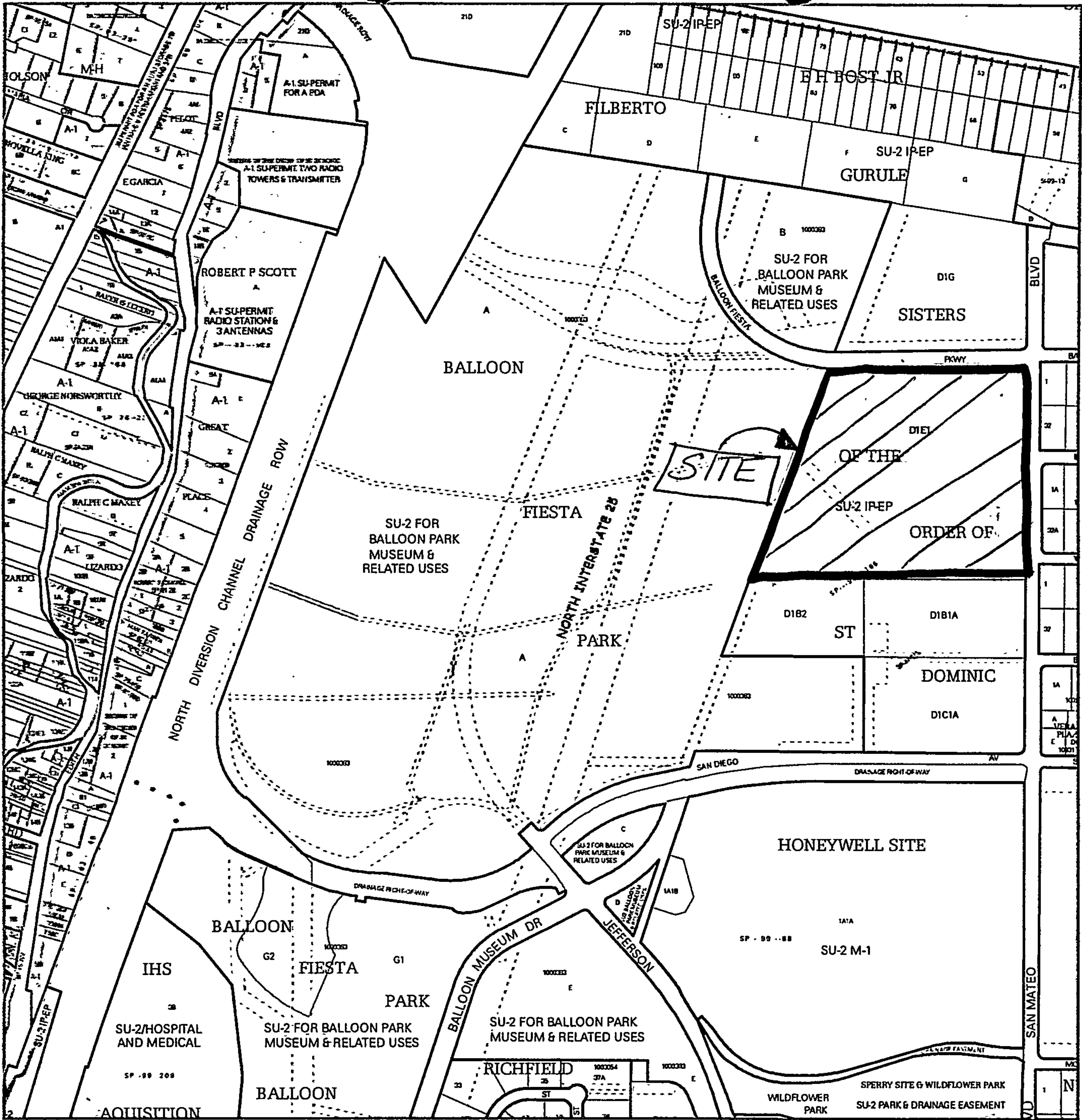

 Applicant name (print) Bernadette Martine
 Applicant signature / date BMT 9-10-08


- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

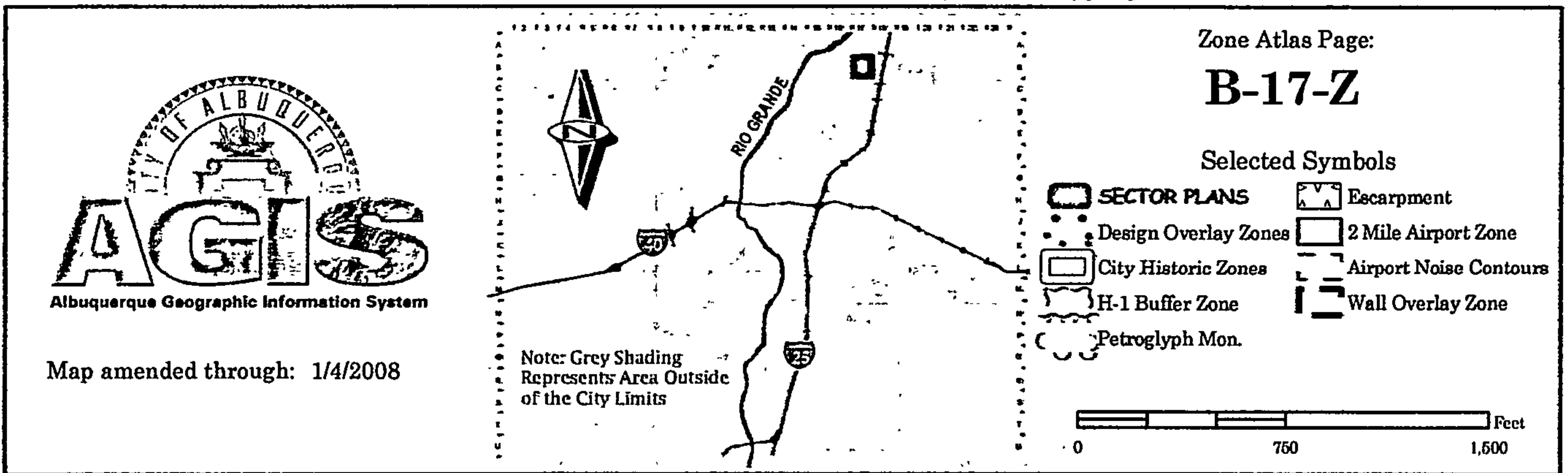
Application case numbers
08DRB - 70406

Form revised October 2007


 Planner signature / date
 Project # 1007488



For more current information and more details visit: <http://www.cabq.gov/gis>





LAND DEVELOPMENT CONSULTANTS, LLC
Engineers ♦ Architects ♦ Surveyors ♦ Constructors

5620-B San Francisco Drive NE ♦ Albuquerque, New Mexico 87109
Phone: (505) 797-4120 ♦ Fax: (505) 821-0392 ♦ Email: ldc_llc@msn.com

September 11, 2008

Ms. Sheran Matson, AICP
Chair, Development Review Board
Planning/Development Services Division
600 2nd Street NW
Albuquerque, NM 87102

**RE: REQUEST FOR MINOR SUBDIVISION FOR TRACT "D-1E-1" OF SISTERS OF THE
ORDER OF ST. DOMINIC, LOCATED ON SAN MATEO BLVD NE,
ZONE ATLAS PAGE B-17.**

Dear ~~Ms. Matson~~, *Mr. Cloud*

On behalf of our client, CitiCorp Credit Services, we are submitting an application for minor subdivision to re-plat the existing one (1) tract into two (2) new tracts.

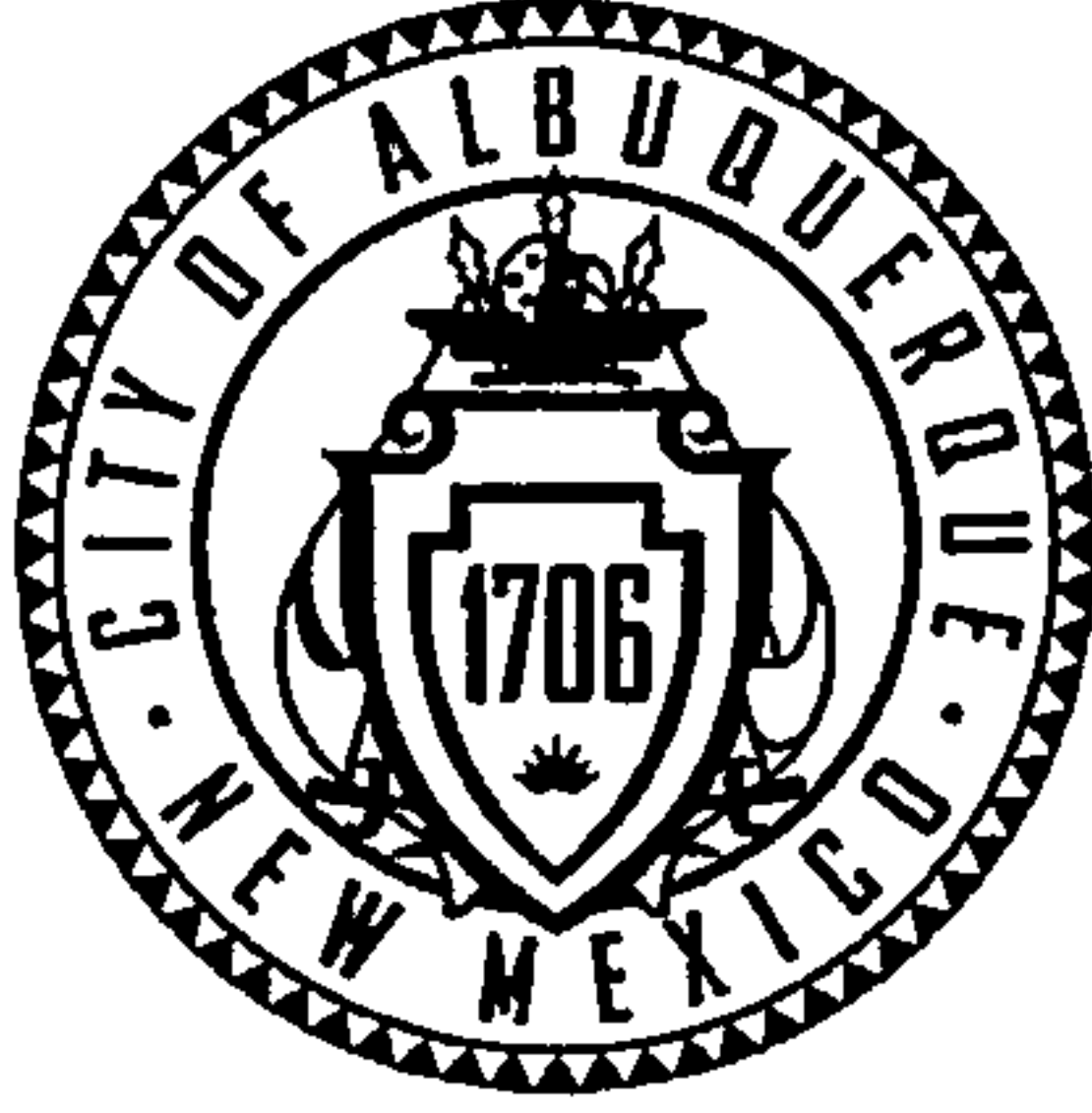
Enclosed are the required submittals.

If you have any questions or need additional information, please do not hesitate to contact me at 797-4120.

Sincerely,

A handwritten signature in black ink, appearing to read 'BM13'.

Bernadette Martinez
Public Liaison



City of Albuquerque
P.O. Box 1293 Albuquerque, New Mexico 87103

Planning Department

Martin J. Chavez, Mayor

Richard Dineen, Director

Interoffice Memorandum

September 12, 2008

Subject: Albuquerque Archaeological Ordinance—Compliance Documentation

Project Number(s):

Case Number(s):

Agent: Land Development Consultants, LLC

Applicant: City Bank

Legal Description: Tract D-1E-1A and undeveloped portions of Tract D-1E-1B

Acreage: 14.5 acres +/-

Zone Atlas Page: B-17

PROVISIONAL CERTIFICATE OF NO EFFECT: Yes No

SUPPORTING DOCUMENTATION: AGIS 2006 aerial photos; submitted preliminary plats

SITE VISIT: n/a

RECOMMENDATION(S):

- ***PROVISIONAL CERTIFICATE OF NO EFFECT is issued to allow Agent to continue with submittal process.***

ARCHAEOLOGICAL SURVEY REQUIRED FOR ALL UNDEVELOPED AREAS IN PROPOSED REPLAT

SUBMITTED:

Matthew Schmader, PhD

Superintendent, Open Space Division

Acting City Archaeologist

CITICORP

ALBUQUERQUE, NEW MEXICO

ARCHITECT

D.C.S.W. INC. ARCHITECTS
105 4TH STREET S.W.
ALBUQUERQUE, NM 87102
TEL. 1-505-843-9839
CONTACT: MARO BOHEFF

CIVIL ENGINEER

BOHANNAN HUSTON INC.
7500 JEFFERSON N.E.
ALBUQUERQUE, NM 87109
TEL. 1-505-823-1000
CONTACT: JAMES TOPMILLER

STRUCTURAL ENGINEER

CHAVEZ/GRIEVES CONSULTING ENGINEERS
6839 JEFFERSON N.E.
ALBUQUERQUE, NM 87109
TEL. 1-505-344-4080
CONTACT: MIKE WALLA

ELECTRICAL ENGINEER

ALLIED ENGINEERING
8000 PENNSYLVANIA CIRCLE N.E.
ALBUQUERQUE, NM 87110
TEL. 1-505-262-1766
CONTACT: DENNIS SCARCELLI

LANDSCAPE ARCHITECT

BAKER MORROW, ASLA
210 LA VETA DR. N.E.
ALBUQUERQUE, NM 87108
TEL. 1-505-268-2266
CONTACT: BAKER MORROW

SITE DESIGN REVIEW SET

DRAWING INDEX

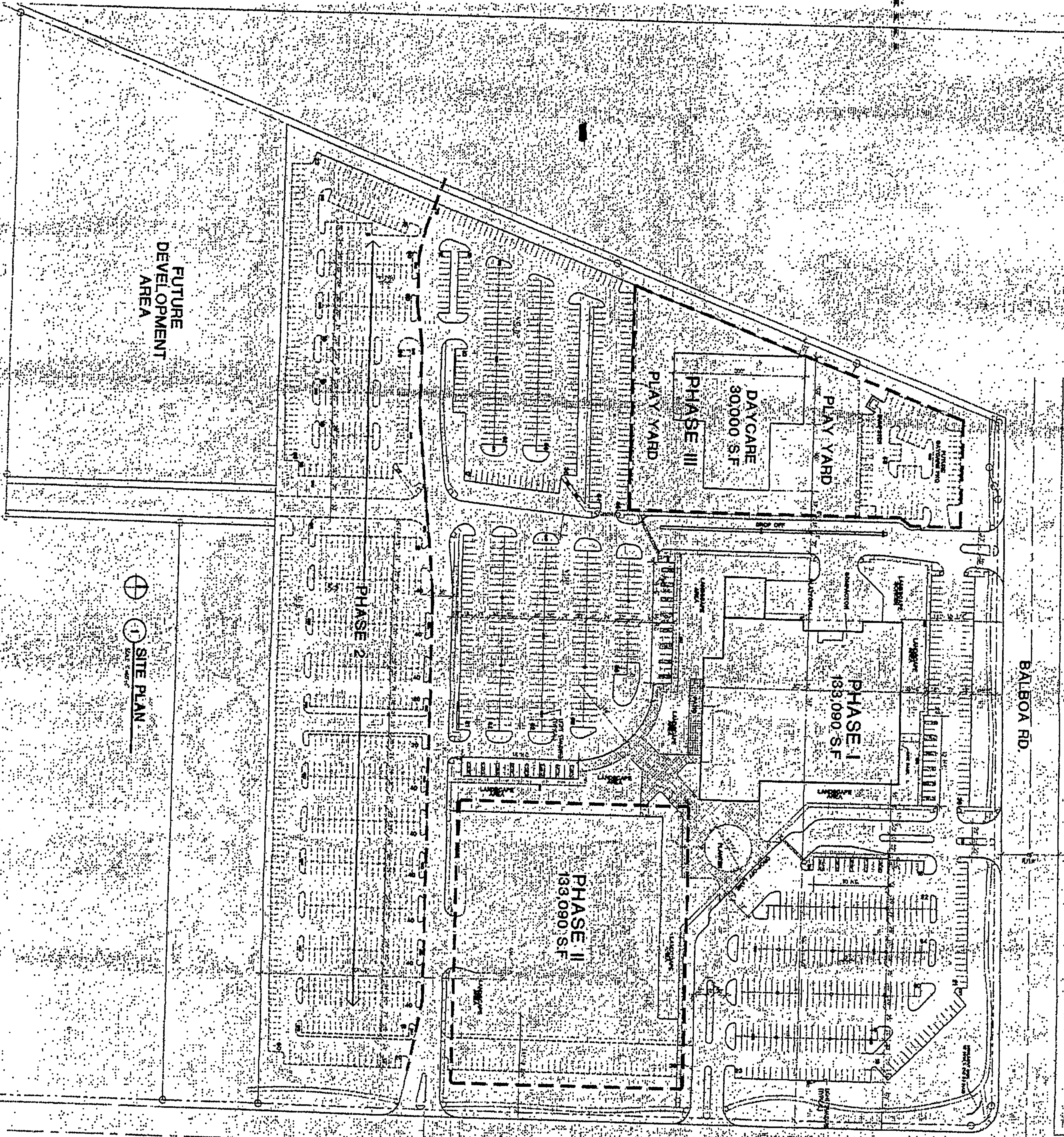
T-1 COVER SHEET
A18 SITE PLAN
C001 CONCEPTUAL GRADING/DRAINAGE PLAN
C002 CONCEPTUAL SITE UTILITY PLAN
L1 LANDSCAPE PLAN
A4a BUILDING ELEVATIONS

no records under this cell.
Z-87-113 / AA 96-57

CITICORP 

DCSW

revisions: _____
design: _____
architect: _____
collaborators: _____
southwest inc.: _____
engineer: 105 4th st. sw.
albuquerque, nm
87102
job no: 9601
date: 4/17/96
sheet: 505-843-9839
T-1



BALBOA RD.

SAN MATEO BLVD.

FUTURE DEVELOPMENT AREA

1 SITE PLAN

SITE INFORMATION

Property Description:
 TRACT D-E, TRACT D-F, AND TRACT D-G-1, PARTS OF THE ORDER OF ST. DOMINGO, SOUTHWEST CORNER OF BALBOA RD. AND SAN MATEO BLVD. NE.

PROPERTY ZONE: All-Residential
 CURRENT ZONE: All-Residential
 PROPOSED ZONE CHANGE: NONE

DATE OF SUBMITTAL: 10/15/96

DATE OF APPROVAL: 10/15/96

DATE OF REVISION: 10/15/96

DATE OF REVISION: 10/15/96

DATE OF REVISION: 10/15/96

DATE OF REVISION: 10/15/96

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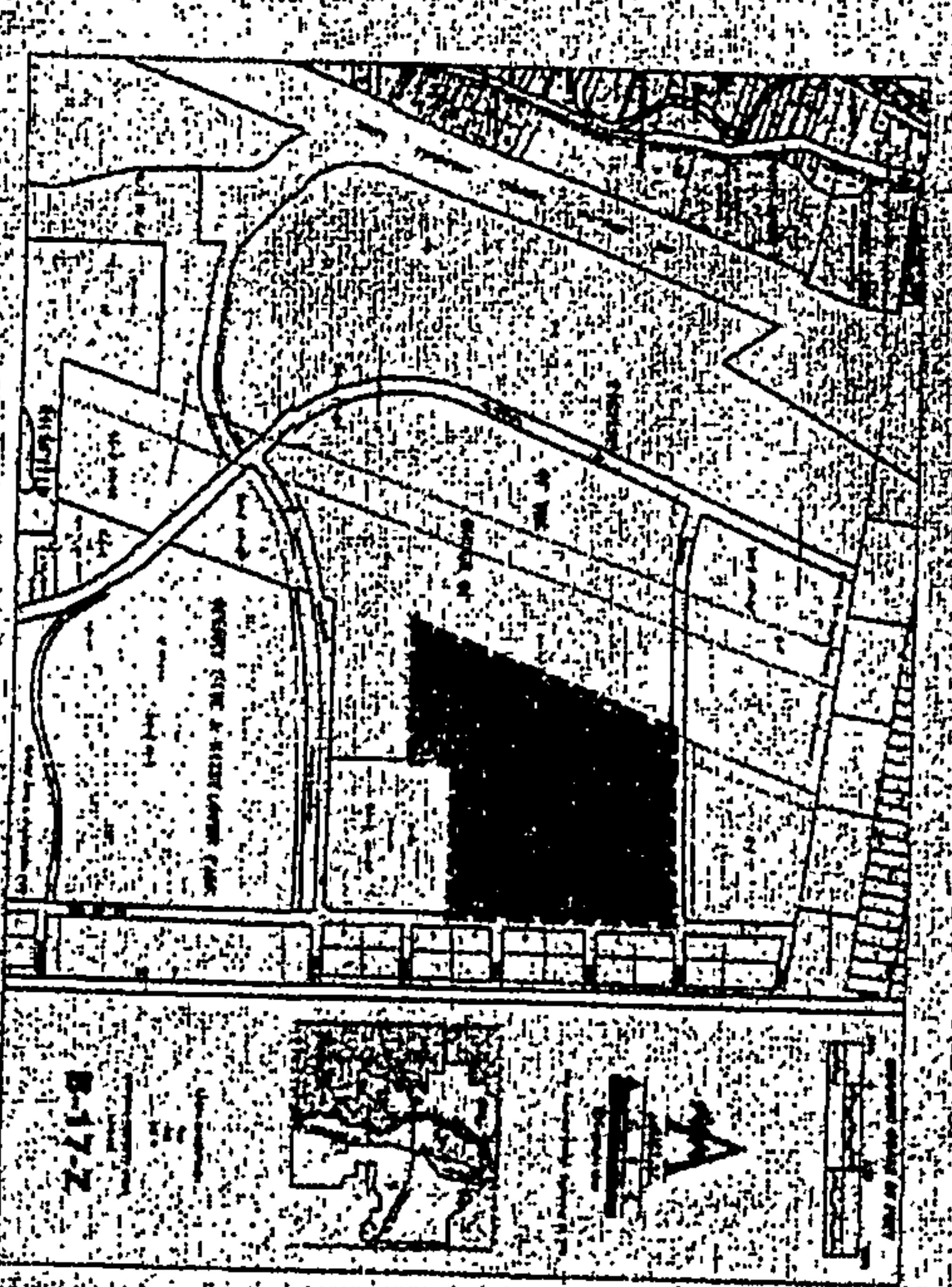
DATE OF REVISION: 10/15/96

DATE OF REVISION: 10/15/96

DATE OF REVISION: 10/15/96

SITE PLAN APPROVAL

PHASE	AREA (S.F.)	AREA (S.F.)	AREA (S.F.)	AREA (S.F.)
PHASE I	133,090	133,090	133,090	133,090
PHASE II	133,090	133,090	133,090	133,090
PHASE III	30,000	30,000	30,000	30,000
TOTAL	296,180	296,180	296,180	296,180



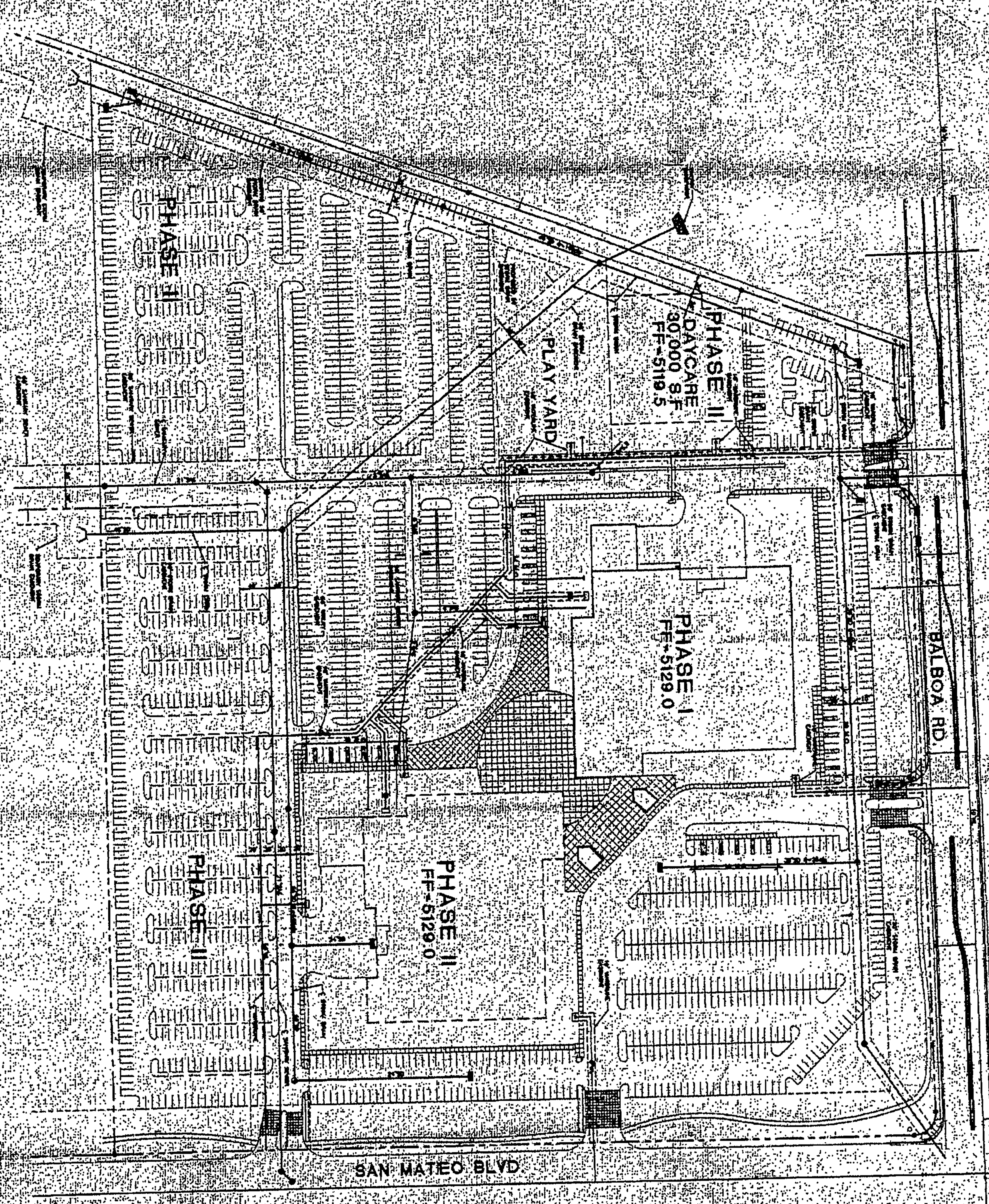
FILE NO. 2289-36-02
 10/15/96
 10/15/96
 10/15/96
 10/15/96

engineer: 105 4th St. #2
 architect: 105 4th St. #2
 collaborator: 105 4th St. #2
 consultant: 105 4th St. #2



job no: 9601
 date: 4/17/96
 sheet: A1a

- LEGEND**
- 1. Proposed Building Footprint
 - 2. Proposed Building Footprint
 - 3. Proposed Building Footprint
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 - 100. Proposed Building Footprint



BOHANNAN-HUSTON INC.
 ARCHITECTS
 1000 WEST 17TH AVENUE, SUITE 1000
 DENVER, CO 80202
 TEL: 303-733-1111
 FAX: 303-733-1112
 WWW.BHINC.COM

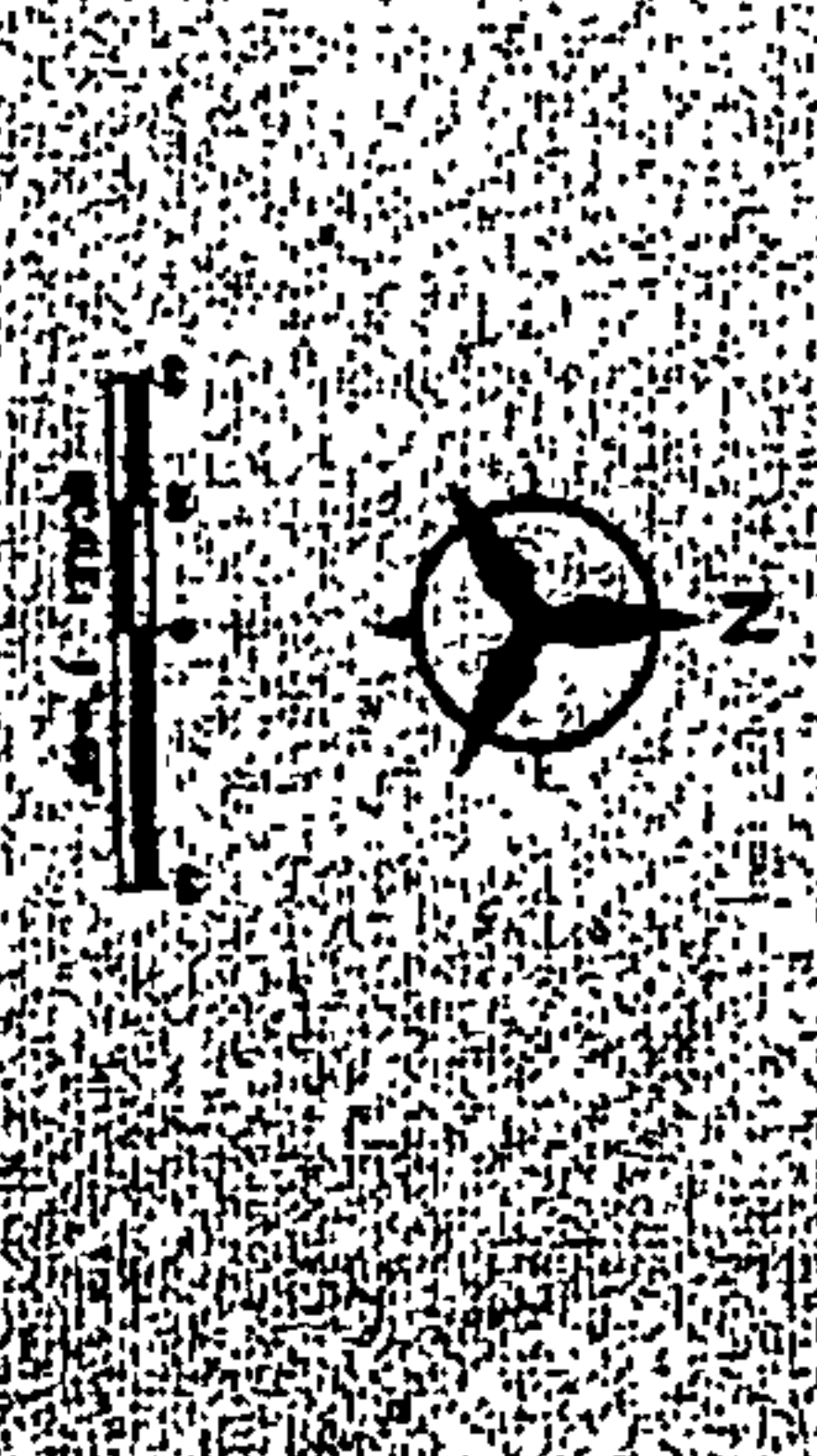
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CITY: _____
STATE: _____
ZIP: _____
PHONE: _____
FAX: _____
EMAIL: _____
WEBSITE: _____

DATE: _____
SCALE: _____
PROJECT: _____
CLIENT: _____
DESIGNER: _____
APPROVER: _____

CHICORP
 CONCEPTUAL
 UTILITY PLAN

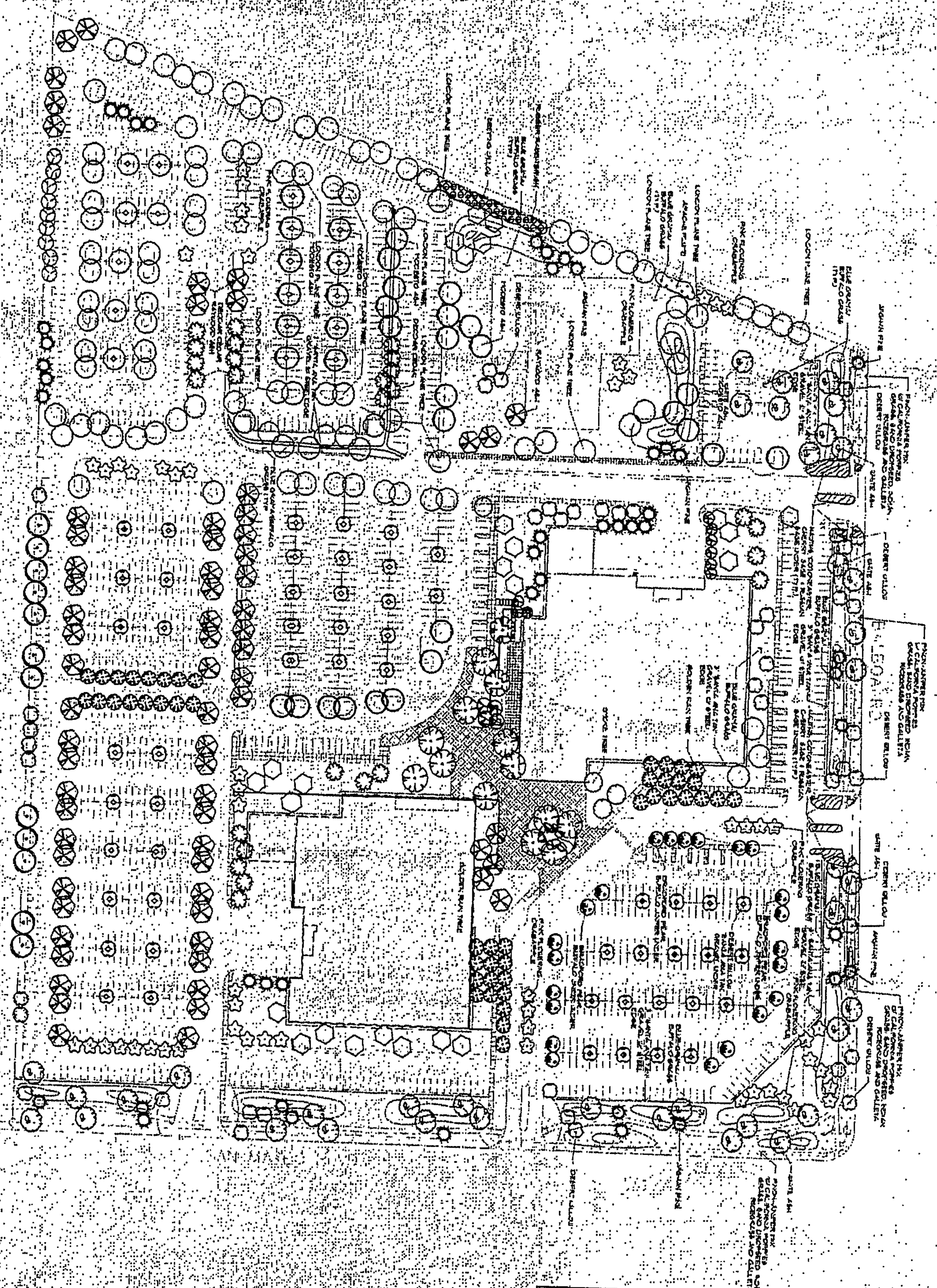


DCSW
 DESIGN CONSULTANTS
 1000 WEST 17TH AVENUE, SUITE 1000
 DENVER, CO 80202
 TEL: 303-733-1111
 FAX: 303-733-1112
 WWW.DCSW.COM



LANDSCAPE NOTES:

1. LANDSCAPE DESIGN SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO LANDSCAPE DESIGN ORDINANCE - 2004.
2. LANDSCAPE DESIGN SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO LANDSCAPE DESIGN ORDINANCE - 2004.
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9. LANDSCAPE DESIGN SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO LANDSCAPE DESIGN ORDINANCE - 2004.
10. LANDSCAPE DESIGN SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO LANDSCAPE DESIGN ORDINANCE - 2004.



CONCEPTUAL LANDSCAPE PLAN

PHASE I LANDSCAPE PLAN

CONCEPTUAL LANDSCAPE PROGRESS PRINT FOR REVIEW AND COMMENT

Approval of this plan does not constitute a warranty of any assumption from site data or location of the utility lines. The landscape design and utility data are the responsibility of the site manager. The site manager is the sole responsibility of the property owner.

DATE: 4/19/96

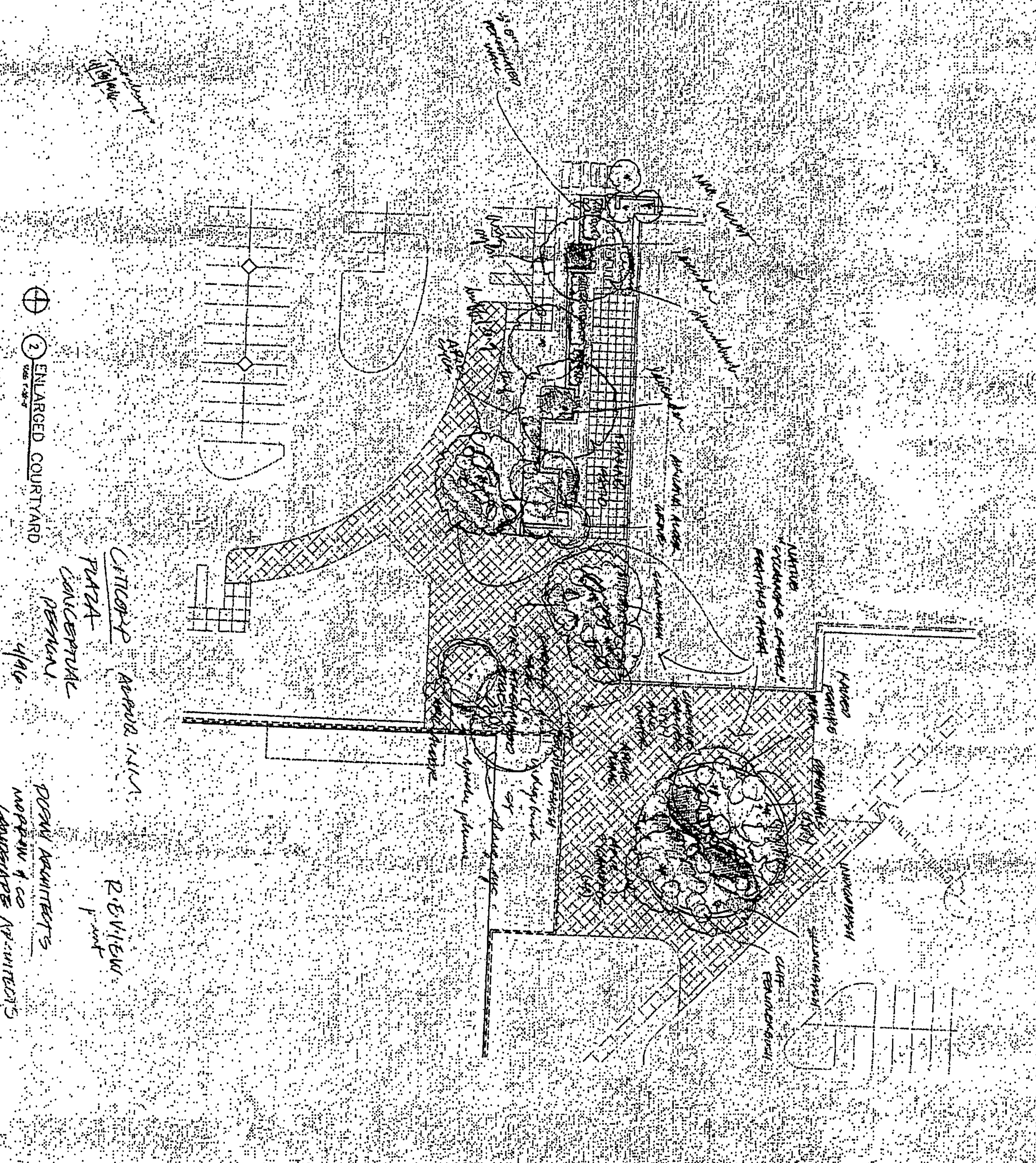
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102	PLANTING
103	PLANTING
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119	PLANTING
120	PLANTING



REVISIONS

NO.	DATE	DESCRIPTION
1	4/19/96	...

job no: 9601
 date: 4/19/96
 sheet: 11



⊕ 2 ENLARGED COURTYARD

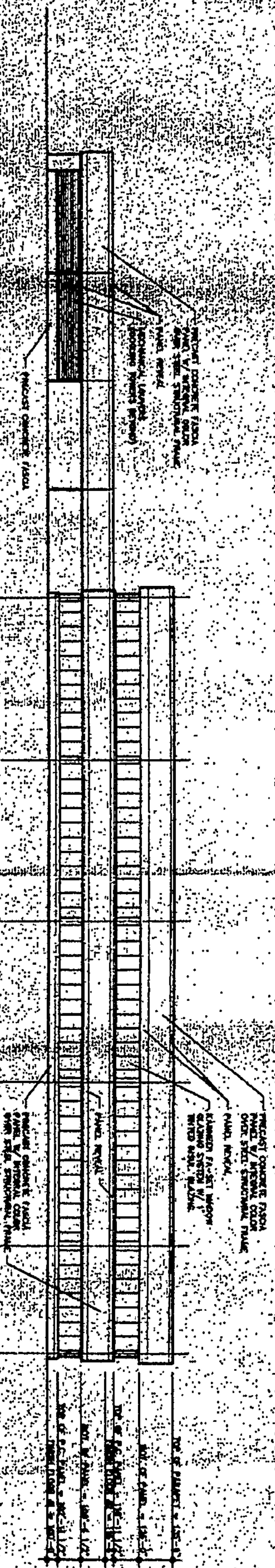
CITICORP AVENUE (N.W.)
 PARTIAL CONCEPTUAL
 PLAN

P.B. VIEW
 part
 DODD ARCHITECTS
 MORRIS & CO ARCHITECTS
 LANDSCAPE ARCHITECTS

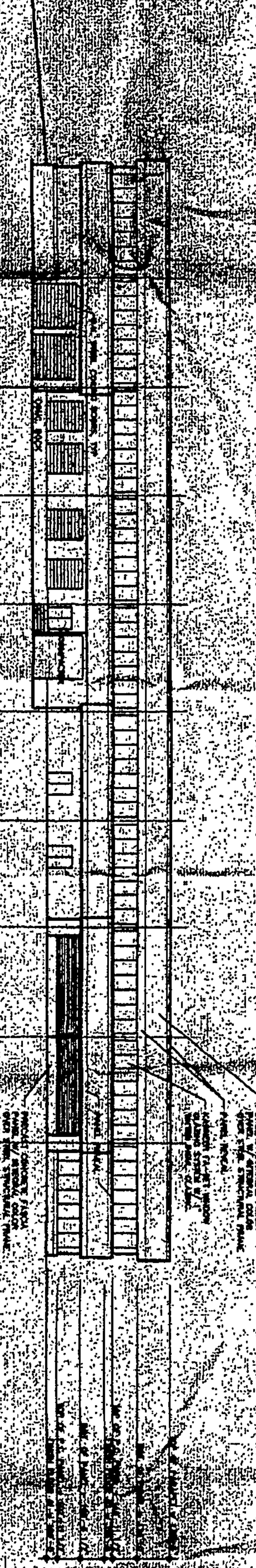
PROJECT NO. 9601
 DATE: 4/19/96
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 APPROVED BY: [Name]

DCSW
 DESIGN CONSULTANTS & ARCHITECTS
 1000 ...
 ...

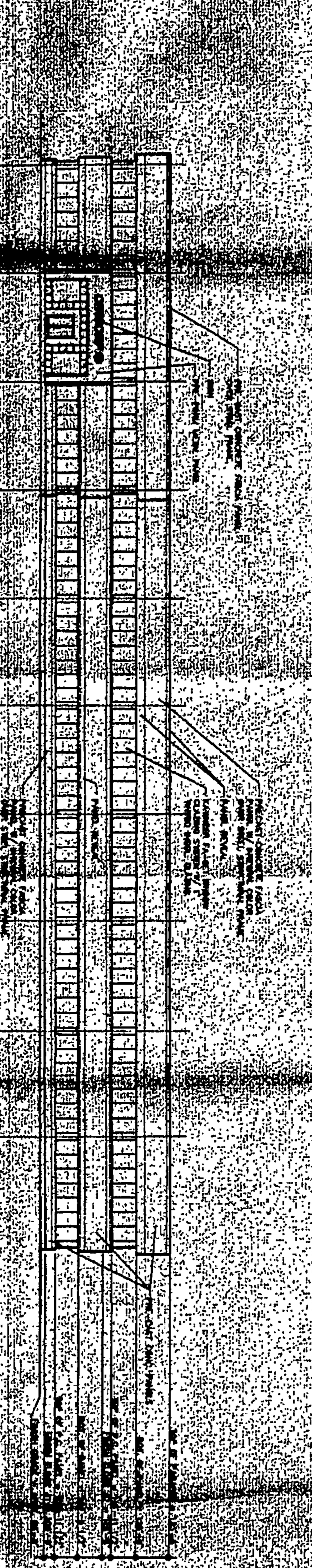
CITICORP
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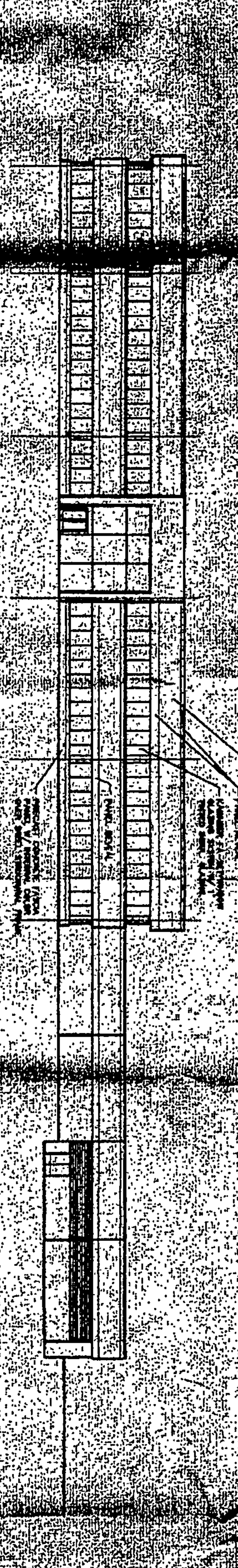
1 BUILDING 1 - SOUTH ELEVATION



2 BUILDING 1 - WEST ELEVATION



3 BUILDING 1 - EAST ELEVATION



4 BUILDING 1 - NORTH ELEVATION

0001
 4/8/00
 A34
 CTTICORP
 DCSV