

1/5/2016	ADD STORM EVENT NOTE
1/20/2016	DRB COMMENTS

SITE DATA

LEGAL DESCRIPTION:
TRACT D-1E-1 SISTERS OF THE ORDER OF ST. DOMINIC,
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
ZONE: SU-2 IP/EP
GROSS F.A.R. (G.B.A / SITE AREA):
498,290 SF / 1,655,598 SF = 0.3009 ACRES
SITE AREA:
TRACT D-1E-1 (AREA A): 31.7211 ACRES (1,381,771 SF)
TRACT D-1B-2 (AREA B): 06.2858 ACRES (273,827 SF)
SITE AREA TOTAL: 38.0069 ACRES (1,655,598 SF)
GROSS BUILDING AREA (G.B.A.):
BUILDING 1 (EXISTING): 133,090 SF
BUILDING 2 (EXISTING): 195,700 SF
BUILDING 3 (NEW): 87,000 SF
FUTURE BUILDINGS:
TOTAL G.B.A.: 498,290 SF

LEGEND

- PROPERTY LINE
- EASEMENT
- POLE MOUNTED PARKING LIGHT: 40'-0" MAX. HEIGHT. RE: DETAIL 5/SHEET B1b
- POLE MOUNTED PARKING LIGHT: 20'-0" MAX. HEIGHT. RE: DETAIL 5/SHEET B1b
- POLE MOUNTED PEDESTRIAN LIGHT: 14'-0" MAX. HEIGHT. RE: DETAIL 5/SHEET B1b
- LIGHT BOLLARD
- FIRE HYDRANT
- BIKE RACK
- BIKE LOCKER

SHEET KEYED NOTES

1. TYPICAL PARKING SPACE: 9'-0" x 18'-0" UNLESS NOTED OTHERWISE (U.N.O.)
2. TYPICAL PARKING SPACE: 9'-0" x 20'-0" U.N.O.
3. TYPICAL PARKING SPACE: 8'-6" x 20'-0" U.N.O.
4. TYPICAL PARKING SPACE: 8'-6" x 18'-0" U.N.O.
5. TYPICAL ADA PARKING SPACE: 8'-6" x 20'-0"
6. PARKING SPACE: 9'-0" x 16'-0". ALLOWS FOR VEHICLES TO OVERHANG 2'-0" ONTO SIDEWALK. CURB ACTS AS WHEEL STOP
7. TYPICAL MOTORCYCLE PARKING SPACE: 4'-6" x 18'-0", WITH POLE MOUNTED SIGNAGE
8. ASPHALT PAVING
9. 6'-0" WIDE PEDESTRIAN CROSSWALK
10. CONCRETE CURB
11. CONCRETE WHEEL STOP
12. POLE MOUNTED ADA SIGNAGE. SEE GENERAL NOTE B.
13. PAINTED ADA PAVEMENT SIGNAGE. SEE GENERAL NOTE C.
14. BIKE RACK
15. BIKE LOCKERS
16. FIRE HYDRANT
17. LANDSCAPED AREA; REFER TO LANDSCAPE PLAN
18. 4'-0" x 10'-0" PLANTING AREA FLUSH WITH SIDEWALK
19. 8" x 4'-0" HIGH EIFS COURTYARD WALL; COLOR: RUST
20. 8" x 7'-0" HIGH EIFS SCREEN WALL; COLOR: CREAM
21. SHADE STRUCTURE AT OUTDOOR PATIO
22. BENCH
23. DIRECTIONAL SIGN; RE: DETAIL D1/SHEET A1b
24. MONUMENT SIGN; RE: DETAIL C1/SHEET A1b
25. SPEED BUMP
26. 3'-0" WIDE SPEED BUMP
27. FLAGPOLE
28. 6'-0" WIDE CONCRETE SIDEWALK
29. 8'-0" WIDE CONCRETE SIDEWALK
30. INGRESS / EGRESS
31. LIGHT POLE TO REMAIN
32. NEW LIGHT POLE; RE: DETAIL B1/A1b
33. LIGHT BOLLARD
34. ACCESSIBLE RAMP; RE: DETAIL A2/A1b
35. EXISTING 10' ELECTRICAL AND PHONE EASEMENT
36. EXISTING 10' GAS EASEMENT
37. EXISTING 40' PUBLIC DRAINAGE EASEMENT
38. EXISTING 50' PUBLIC DRAINAGE EASEMENT
39. EXISTING 54.71' PUBLIC DRAINAGE EASEMENT
40. EXISTING 60' PUBLIC DRAINAGE EASEMENT
41. EXISTING 15' PUBLIC SIDEWALK EASEMENT
42. EXISTING 35' PUBLIC SIDEWALK EASEMENT
43. EXISTING 50' PUBLIC UTILITY EASEMENT
44. EXISTING 80' PUBLIC UTILITY & STORM DRAIN EASEMENT
45. EXISTING 20' PUBLIC WATERLINE EASEMENT
46. EXISTING 20' SANITARY SEWER EASEMENT
47. EXISTING 15' x 20' PUBLIC UTILITY EASEMENT
48. ELECTRICAL TRANSFORMER
49. RETAINING WALL - ANCHOR WALL. COLOR: GREY
50. TRASH COMPACTOR
51. ACCESSIBLE RAMP; RE: DETAIL A3/A1b
52. ACCESSIBLE RAMP; RE: DETAIL A4/A1b
53. ACCESSIBLE RAMP; RE: DETAIL A1/A1b
54. PROPERTY LINE
55. 8' WIDE CRUSHER FINE WALKING TRAIL, NON-ADA ACCESSIBLE
56. RESPIRE AREA WITH STONE BENCH
57. CONCRETE BOLLARD
58. FENCE TO REMAIN
59. SITE DISTANCE SETBACK LINE, 30' FROM CURB FACE, TYPICAL
60. EMERGENCY PHONE
61. RAMP AND STAIRS
62. 12'-0" WIDE CONCRETE SIDEWALK

FORMER PROJECT NUMBER: **1007488**

PROJECT NUMBER:

APPLICATION NUMBER:

Is an Infrastructure List Required? (X) Yes () No. If yes, then a set of approved DRC plans with a walk order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
ABCWVA	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

PARKING INFORMATION

PARKING REQUIRED:
GROUND FLOOR (EXISTING): 149,228sf/200 = 747 SPACES
GROUND FLOOR (PHASE 3): 29,000sf/200 = 145 SPACES
GROUND FLOOR (FUTURE): 27,500sf/300 = 138 SPACES
UPPER FLOORS (EXISTING): 179,562sf/300 = 599 SPACES
UPPER FLOORS (PHASE 3): 58,000sf/300 = 194 SPACES
UPPER FLOORS (FUTURE): 55,000sf/300 = 184 SPACES
TOTAL REQUIRED = 2,007 SPACES

PARKING PROVIDED:
TOTAL PROVIDED = 2,503 (NO COMPACT SPACES)

ACCESSIBLE PARKING REQUIRED:
(801-1000 SPACES; 20 + 1 FOR EVERY 100 THAT EXCEEDS 1000) =
TOTAL REQUIRED: 31 ACCESSIBLE SPACES (4 VAN ACCESSIBLE)
ACCESSIBLE PARKING PROVIDED:
TOTAL PROVIDED: 55 ACCESSIBLE SPACES (10 VAN ACCESS.)

MOTORCYCLE PARKING REQUIRED:
(MORE THAN 1000; 8 + 1 FOR EACH ADDITIONAL 500 SPACES)
TOTAL REQUIRED: 11 SPACES
MOTORCYCLE PARKING PROVIDED:
TOTAL PROVIDED: 12 SPACES

BICYCLE PARKING REQUIRED:
TOTAL REQUIRED: 2,007/20 = 101 SPACES
BICYCLE PARKING PROVIDED:
TOTAL PROVIDED: 101 SPACES

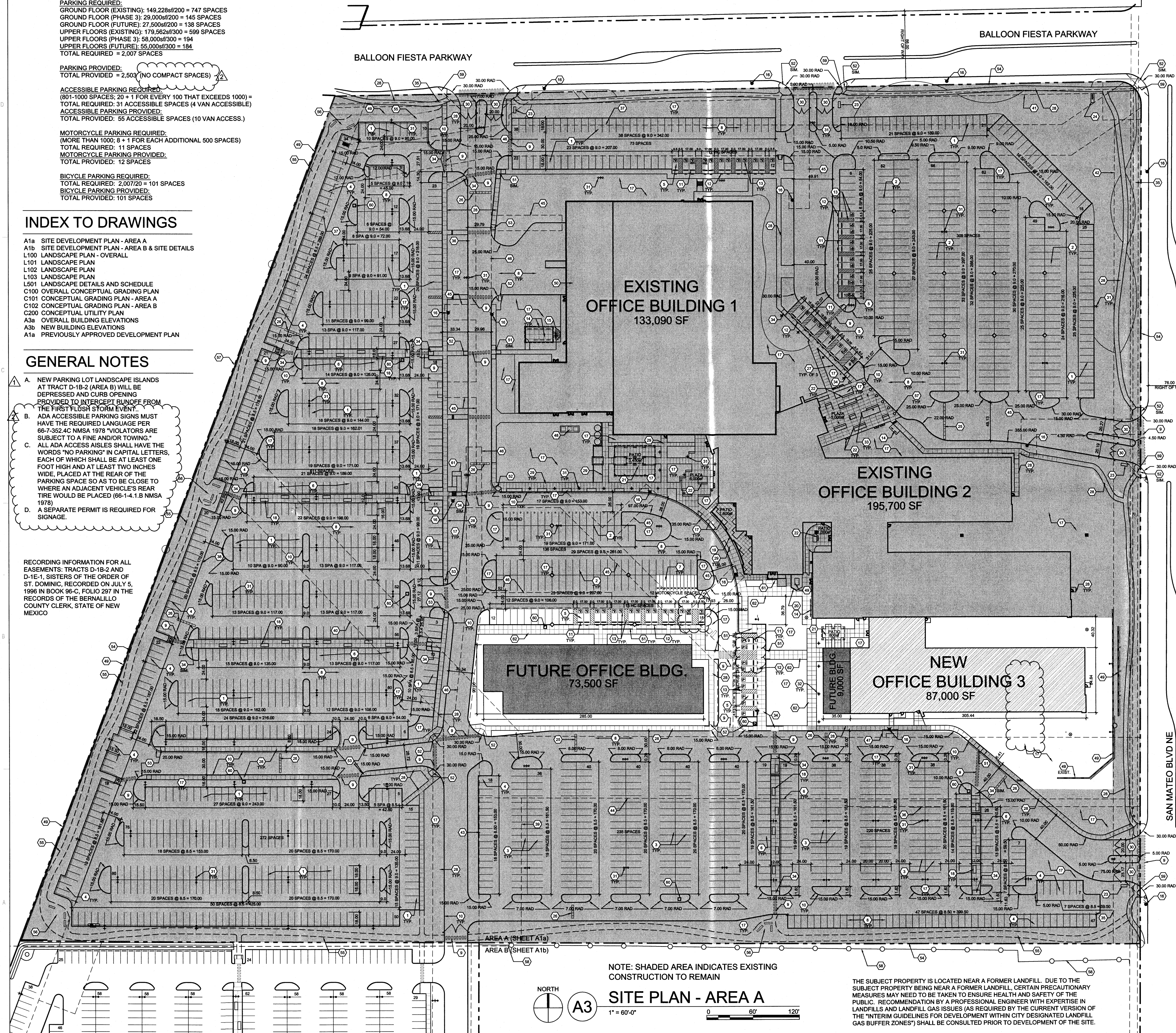
INDEX TO DRAWINGS

- A1a SITE DEVELOPMENT PLAN - AREA A
- A1b SITE DEVELOPMENT PLAN - AREA B & SITE DETAILS
- L100 LANDSCAPE PLAN - OVERALL
- L101 LANDSCAPE PLAN
- L102 LANDSCAPE PLAN
- L103 LANDSCAPE PLAN
- L501 LANDSCAPE DETAILS AND SCHEDULE
- C100 OVERALL CONCEPTUAL GRADING PLAN
- C101 CONCEPTUAL GRADING PLAN - AREA A
- C102 CONCEPTUAL GRADING PLAN - AREA B
- C200 CONCEPTUAL UTILITY PLAN
- A3a OVERALL BUILDING ELEVATIONS
- A3b NEW BUILDING ELEVATIONS
- A1a PREVIOUSLY APPROVED DEVELOPMENT PLAN

GENERAL NOTES

- A. NEW PARKING LOT LANDSCAPE ISLANDS AT TRACT D-1B-2 (AREA B) WILL BE DEPRESSED AND CURB OPENING PROVIDED TO INTERCEPT RUNOFF FROM THE FIRST FLUSH STORM EVENT.
- B. ADA ACCESSIBLE PARKING SIGNS MUST HAVE THE REQUIRED LANGUAGE PER 66-7-352.4C NMSA 1978 "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING."
- C. ALL ADA ACCESS AISLES SHALL HAVE THE WORDS "NO PARKING" IN CAPITAL LETTERS, EACH OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST TWO INCHES WIDE, PLACED AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S REAR TIRE WOULD BE PLACED (66-1-4.1.B NMSA 1978)
- D. A SEPARATE PERMIT IS REQUIRED FOR SIGNAGE.

RECORDING INFORMATION FOR ALL EASEMENTS: TRACTS D-1B-2 AND D-1E-1, SISTERS OF THE ORDER OF ST. DOMINIC, RECORDED ON JULY 5, 1996 IN BOOK 96-C, FOLIO 297 IN THE RECORDS OF THE BERNALILLO COUNTY CLERK, STATE OF NEW MEXICO



NOTE: SHADED AREA INDICATES EXISTING CONSTRUCTION TO REMAIN

SITE PLAN - AREA A

1" = 60'-0" 0 60' 120'

THE SUBJECT PROPERTY IS LOCATED NEAR A FORMER LANDFILL. DUE TO THE SUBJECT PROPERTY BEING NEAR A FORMER LANDFILL, CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATION BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILLS AND LANDFILL GAS ISSUES (AS REQUIRED BY THE CURRENT VERSION OF THE "INTERIM GUIDELINES FOR DEVELOPMENT WITHIN CITY DESIGNATED LANDFILL GAS BUFFER ZONES") SHALL BE CONSULTED PRIOR TO DEVELOPMENT OF THE SITE.

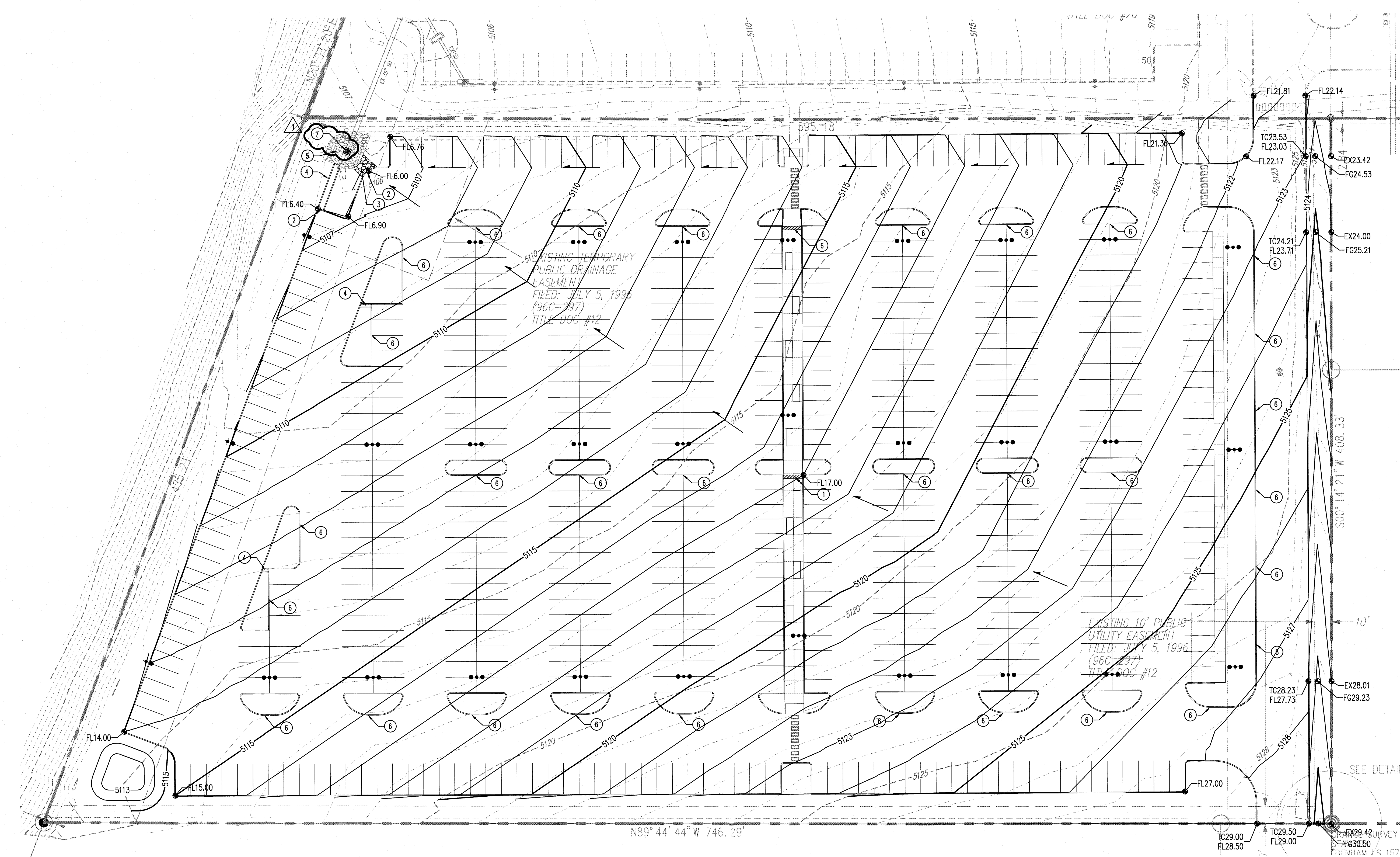
NO.	DATE	REVISIONS
1	01/22/2016	DRB COMMENTS

DRAWN BY	BO
REVIEWED BY	GSB
DATE	01/22/2016
PROJECT NO	15-0129

DRAWING NAME
GRADING PLAN

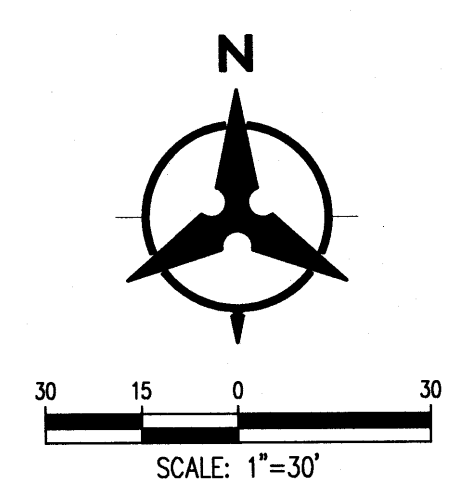
SHEET NO

C102



KEYED NOTES

1. SIDEWALK CULVERT.
2. CURB OPENING.
3. RIP-RAP RUNDOWN.
4. CONCRETE RIBBON CHANNEL.
5. EXISTING GROUDED RIP-RAP TO REMAIN.
6. 12" WIDE CURB OPENING & DEPRESSED LANDSCAPE AREA.
7. WATER QUALITY INLET.



DEKKER
PERICH
SABATINI

7601 JEFFERSON NE, SUITE 100
ALBUQUERQUE, NM 87109
505.761.9700 / DPSDESIGN.ORG

SEAL

PROJECT

Presbyterian Rev. Hugh Cooper
Administrative Center - DRB SUBMITTAL
9521 San Mateo NE
Albuquerque, New Mexico

REVISIONS

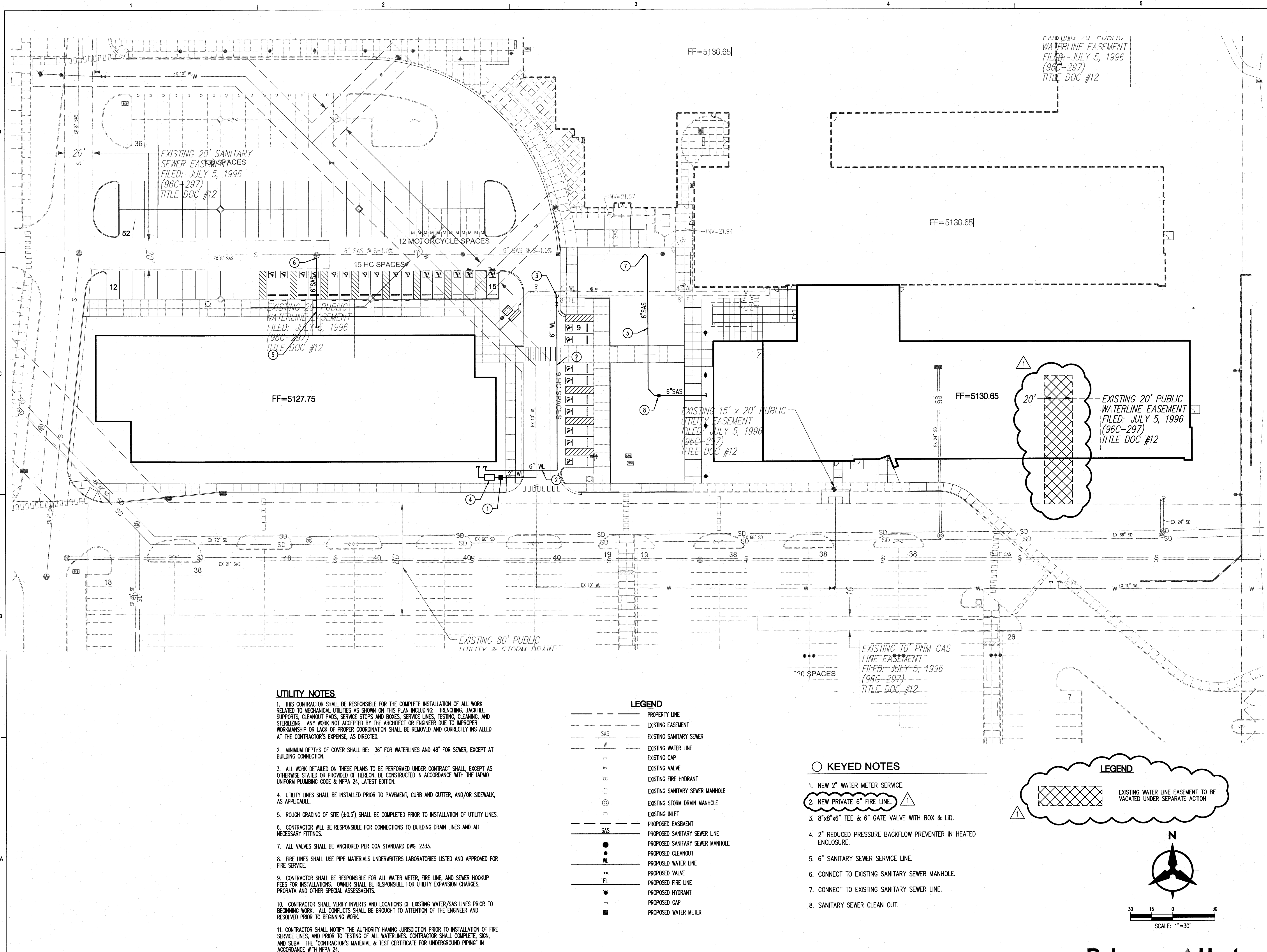
- △ 01/22/2016 DRB COMMENTS
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DRAWN BY BO
 REVIEWED BY GSB
 DATE 01/22/2016
 PROJECT NO 15-0129

DRAWING NAME
UTILITY PLAN

SHEET NO

C200

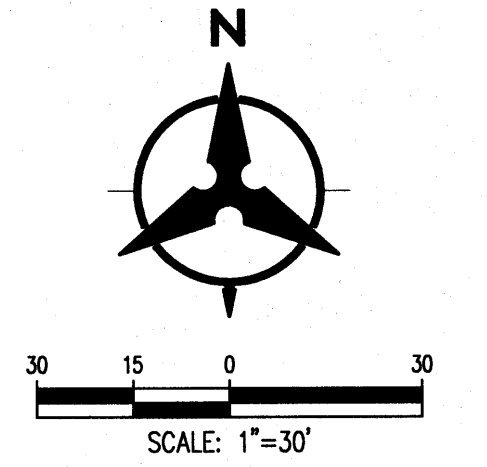


- UTILITY NOTES**
1. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO MECHANICAL UTILITIES AS SHOWN ON THIS PLAN INCLUDING: TRENCHING, BACKFILL, SUPPORTS, CLEANOUT PADS, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING, CLEANING, AND STERILIZING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.
 2. MINIMUM DEPTHS OF COVER SHALL BE: 36" FOR WATERLINES AND 48" FOR SEWER, EXCEPT AT BUILDING CONNECTION.
 3. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED OF HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE IAPMO UNIFORM PLUMBING CODE & NFPA 24, LATEST EDITION.
 4. UTILITY LINES SHALL BE INSTALLED PRIOR TO PAVEMENT, CURB AND GUTTER, AND/OR SIDEWALK, AS APPLICABLE.
 5. ROUGH GRADING OF SITE (±0.5') SHALL BE COMPLETED PRIOR TO INSTALLATION OF UTILITY LINES.
 6. CONTRACTOR WILL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING DRAIN LINES AND ALL NECESSARY FITTINGS.
 7. ALL VALVES SHALL BE ANCHORED PER COA STANDARD DWG. 2333.
 8. FIRE LINES SHALL USE PIPE MATERIALS UNDERWRITERS LABORATORIES LISTED AND APPROVED FOR FIRE SERVICE.
 9. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WATER METER, FIRE LINE, AND SEWER HOOKUP FEES FOR INSTALLATIONS. OWNER SHALL BE RESPONSIBLE FOR UTILITY EXPANSION CHARGES, PRORATA AND OTHER SPECIAL ASSESSMENTS.
 10. CONTRACTOR SHALL VERIFY INVERTS AND LOCATIONS OF EXISTING WATER/SAS LINES PRIOR TO BEGINNING WORK. ALL CONFLICTS SHALL BE BROUGHT TO ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO BEGINNING WORK.
 11. CONTRACTOR SHALL NOTIFY THE AUTHORITY HAVING JURISDICTION PRIOR TO INSTALLATION OF FIRE SERVICE LINES, AND PRIOR TO TESTING OF ALL WATERLINES. CONTRACTOR SHALL COMPLETE, SIGN, AND SUBMIT THE "CONTRACTOR'S MATERIAL & TEST CERTIFICATE FOR UNDERGROUND PIPING" IN ACCORDANCE WITH NFPA 24.

- LEGEND**
- PROPERTY LINE
 - - - - - EXISTING EASEMENT
 - - - - - EXISTING SANITARY SEWER
 - - - - - EXISTING WATER LINE
 - EXISTING CAP
 - EXISTING VALVE
 - EXISTING FIRE HYDRANT
 - EXISTING SANITARY SEWER MANHOLE
 - EXISTING STORM DRAIN MANHOLE
 - EXISTING INLET
 - - - - - PROPOSED EASEMENT
 - PROPOSED SANITARY SEWER LINE
 - PROPOSED SANITARY SEWER MANHOLE
 - PROPOSED CLEANOUT
 - PROPOSED WATER LINE
 - PROPOSED VALVE
 - PROPOSED FIRE LINE
 - PROPOSED HYDRANT
 - PROPOSED CAP
 - PROPOSED WATER METER

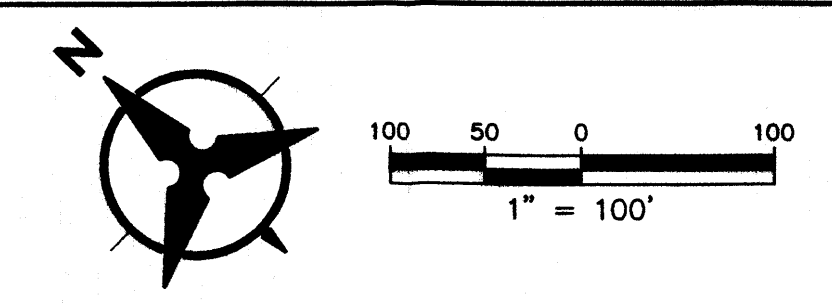
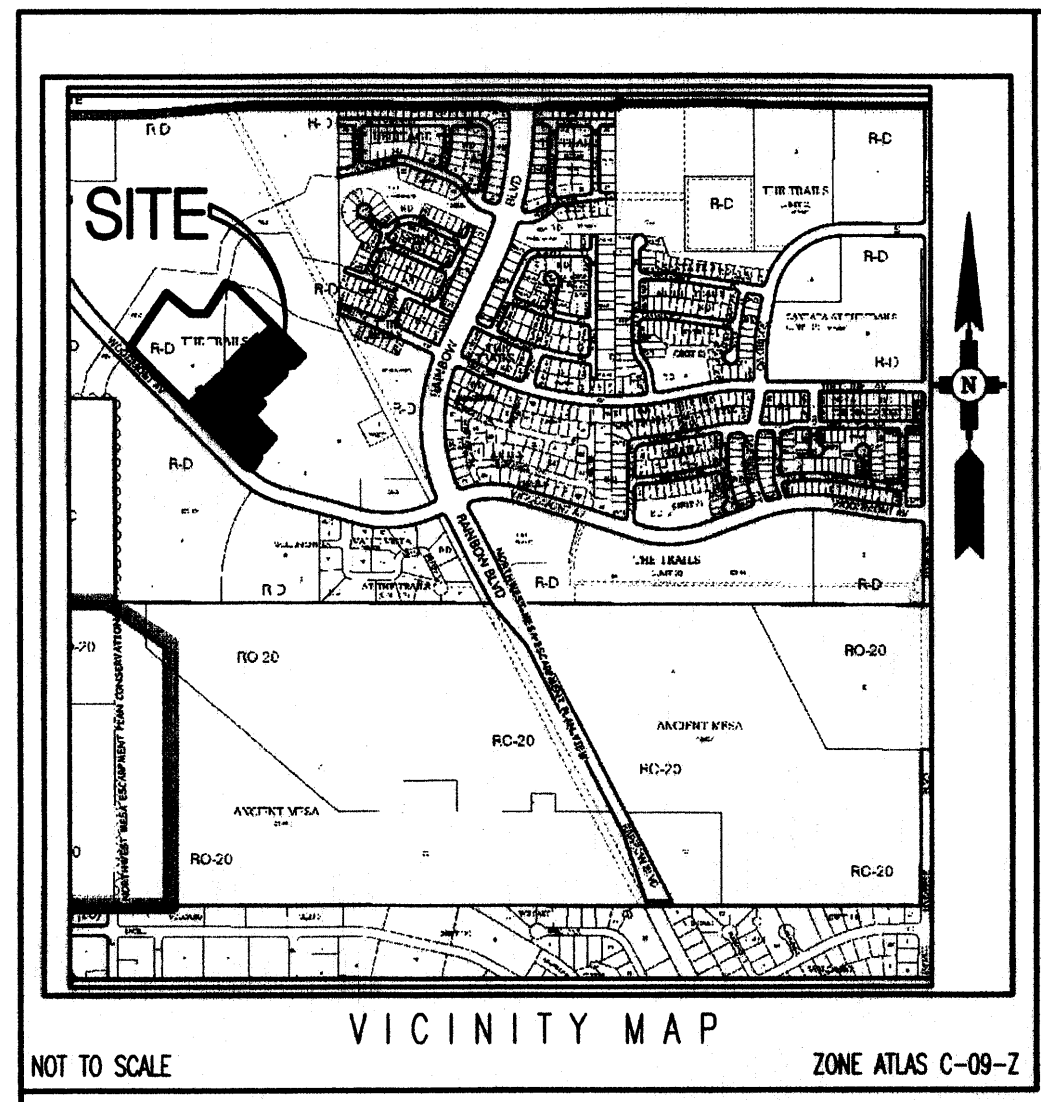
- KEYED NOTES**
1. NEW 2" WATER METER SERVICE.
 2. NEW PRIVATE 6" FIRE LINE.
 3. 8"x8"x6" TEE & 6" GATE VALVE WITH BOX & LID.
 4. 2" REDUCED PRESSURE BACKFLOW PREVENTER IN HEATED ENCLOSURE.
 5. 6" SANITARY SEWER SERVICE LINE.
 6. CONNECT TO EXISTING SANITARY SEWER MANHOLE.
 7. CONNECT TO EXISTING SANITARY SEWER LINE.
 8. SANITARY SEWER CLEAN OUT.

- LEGEND**
- △ EXISTING WATER LINE EASEMENT TO BE VACATED UNDER SEPARATE ACTION



PROJECT: 1007488
 DATE: 2-3-16
 APP 16-70003
 REQUEST: VPE

PRELIMINARY PLAT FOR
 VALLE PRADO UNIT 4
 BEING A REPLAT OF
 TRACT 6, THE TRAILS
 UNIT 3A AND TRACT C,
 VALLE PRADO UNIT 3
 JANUARY 2016



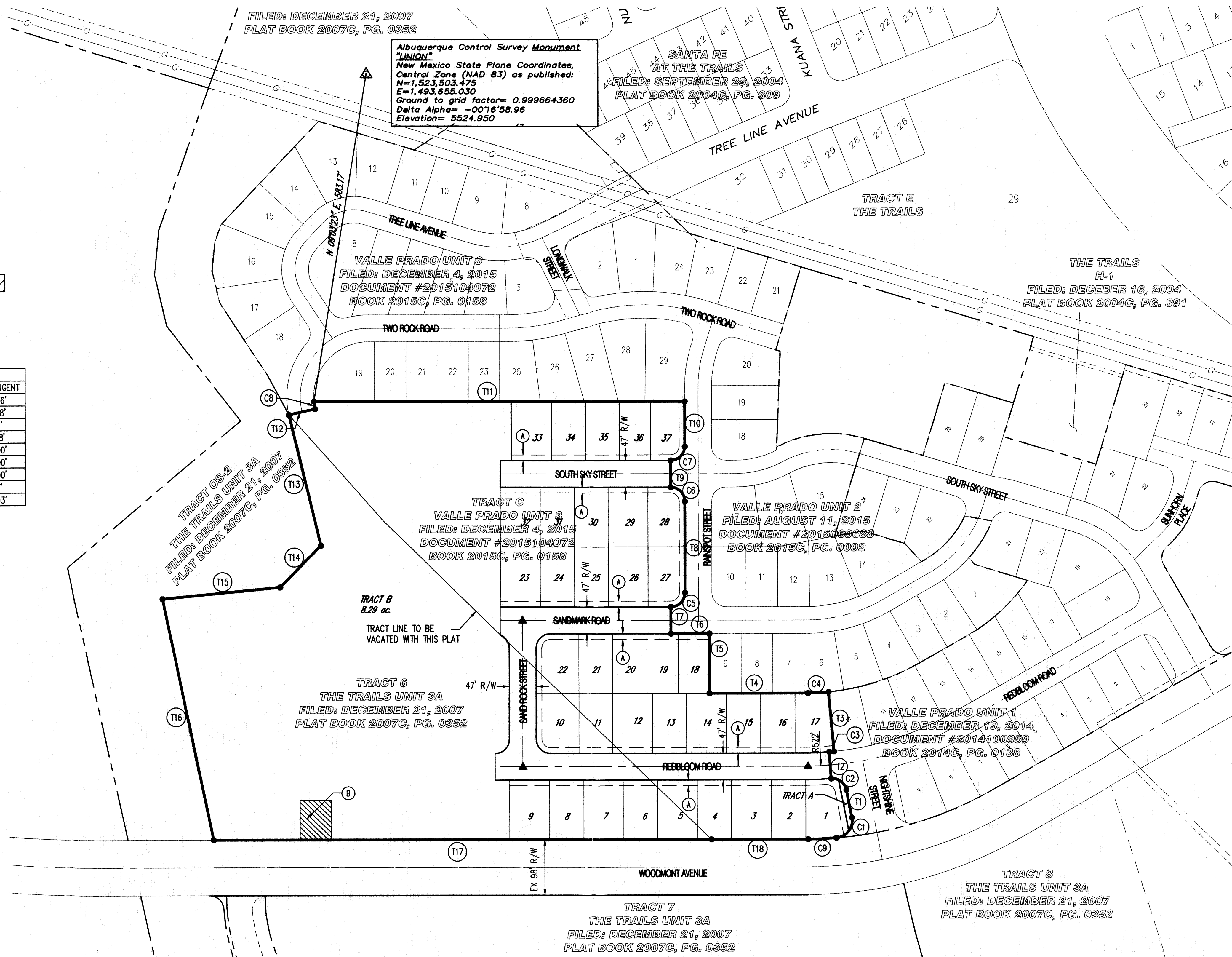
KEYED NOTES

- (A) 10' PUBLIC UTILITY EASEMENT, GRANTED BY THIS PLAT.
- (B) EXISTING TEMPORARY PUBLIC DRAINAGE EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE PER PLAT FILED DECEMBER 21, 2007 IN PLAT BOOK 2007C, PAGE 352. (TO BE VACATED)

ID	BEARING	LENGTH
T1	N34°40'53"E	49.76'
T2	N41°31'15"E	47.00'
T3	N40°32'09"E	105.00'
T4	N44°10'54"W	172.00'
T5	N45°49'06"E	105.00'
T6	N44°10'54"W	67.71'
T7	N45°49'06"E	47.00'
T8	N45°49'06"E	160.00'
T9	N45°49'06"E	47.00'
T10	N45°49'06"E	80.00'
T11	N44°10'54"W	651.89'
T12	N57°08'22"W	47.01'
T13	S32°12'03"W	237.43'
T14	N89°33'10"W	102.11'
T15	N49°49'12"W	207.93'
T16	S33°57'57"W	432.69'
T17	S44°10'54"E	875.20'
T18	S44°10'54"E	169.01'

ID	ARC	RADIUS	DELTA	TANGENT
C1	50.66'	30.00'	96°45'03"	33.76'
C2	36.29'	25.00'	83°09'38"	22.18'
C3	8.58'	499.00'	00°59'06"	4.29'
C4	36.33'	394.00'	05°16'57"	18.18'
C5	39.27'	25.00'	90°00'00"	25.00'
C6	39.27'	25.00'	90°00'00"	25.00'
C7	39.27'	25.00'	90°00'00"	25.00'
C8	13.31'	96.50'	07°54'15"	6.67'
C9	49.83'	651.00'	04°23'10"	24.93'

LEGEND	
	SUBDIVISION BOUNDARY LINE
	TRACT BOUNDARY
	NEW LOT LINE
	ADJOINING PROPERTY LINE
	CENTERLINE MONUMENT TO BE INSTALLED
	CITY OF ALBUQUERQUE SURVEY CONTROL MONUMENT



LEGAL DESCRIPTION

Tract 6, The Trails Unit 3A Subdivision, City of Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the plat entitled "BULK LAND PLAT OF THE TRAILS UNIT 3A WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTIONS 16 AND 17, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico, on December 21, 2007, in Plat Book 2007C, Page 352, as Document No. 2007171107, and Tract C, Valle Prado Unit 3 City of Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the plat entitled "PLAT OF VALLE PRADO UNIT 3, WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 16, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico, on December 4, 2015, in Plat Book 2015C, Page 0158, as Document No. 2015104072.

GENERAL NOTES

- EXISTING ZONING: SU-2, VTSL, VOLCANO TRAILS/SUBURBAN RESIDENTIAL SMALL LOT. PROPOSED ZONING: SU-2, VTSL, VOLCANO TRAILS/SUBURBAN RESIDENTIAL SMALL LOT.
- PROPOSED TOTAL ACREAGE: 15.52 AC
 UNIT 4 ACREAGE: 7.23 AC
 NUMBER OF LOTS: 37
 PROPOSED DENSITY: 5.12 DU/AC
- MIN. LOT DIMENSIONS: 55' X 105'
 MINIMUM LOT AREA: 5,775 SQFT
- SEWER AND WATER ARE PUBLIC TO BE OWNED AND MAINTAINED BY THE ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY. STREET AND STORM DRAIN IMPROVEMENTS ARE PUBLIC TO BE OWNED AND MAINTAINED BY THE CITY OF ALBUQUERQUE.
- LOT SETBACKS SHALL CONFORM TO THE VOLCANO TRAILS SECTOR DEVELOPMENT PLAN.
- NO INDIVIDUAL LOTS SHALL BE ALLOWED DIRECT ACCESS TO WOODMONT AVENUE.
- TRACT A TO BE OWNED AND MAINTAINED BY THE TRAILS COMMUNITY ASSOCIATION, INC.
- TRACT B TO BE SUBDIVIDED AS PART OF VALLE PRADO UNIT 5.
- 1/2" AC PATH ALONG WOODMONT AVENUE TO BE MAINTAINED BY THE TRAILS COMMUNITY ASSOCIATION, INC.

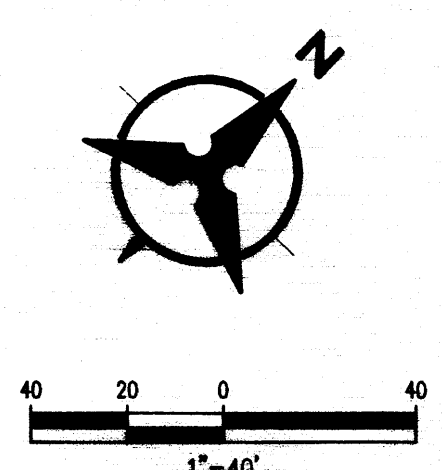
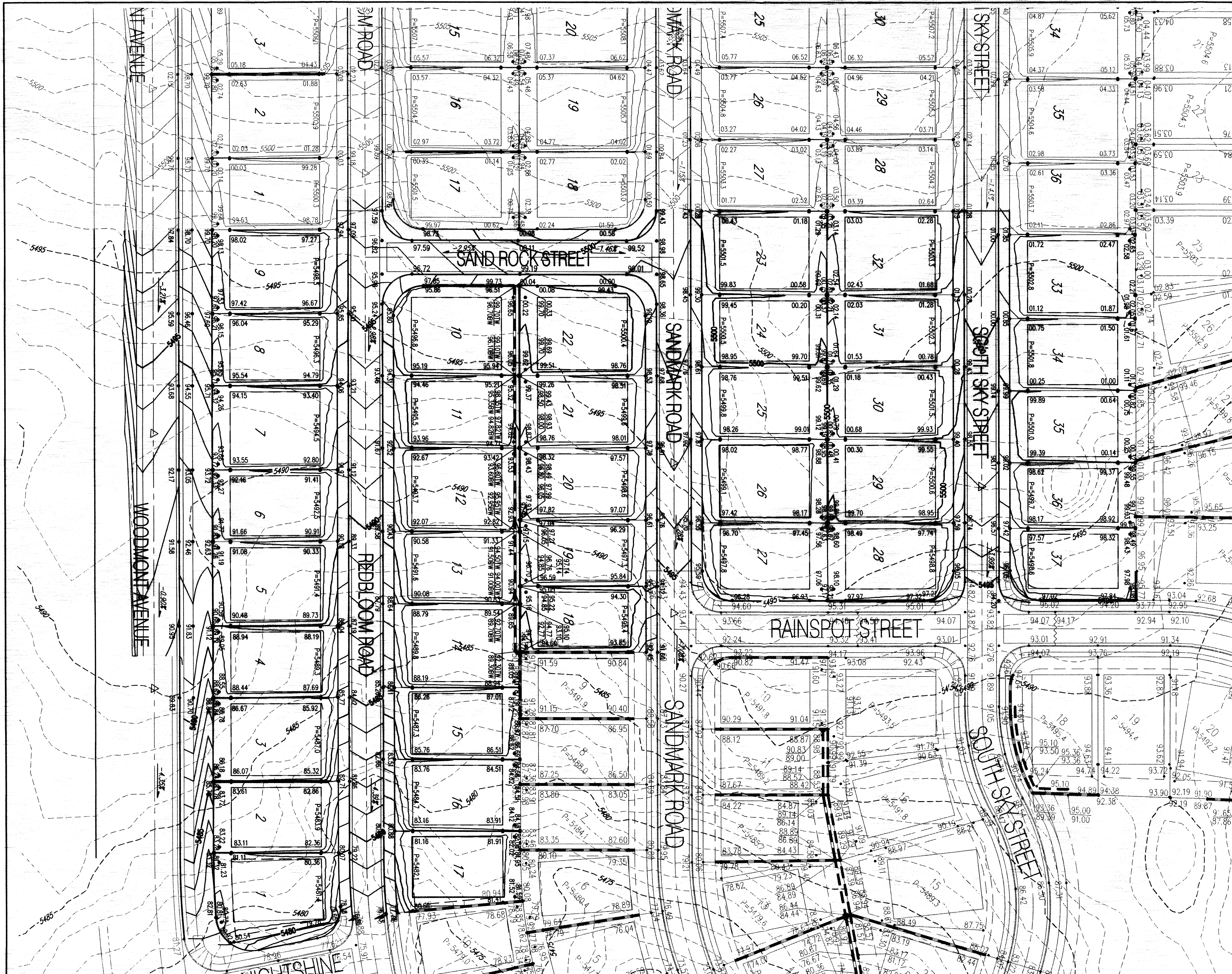
SITE DATA

ZONE ATLAS NO.	C-09-Z
ZONING	SU-2, VTSL
MILES OF FULL WIDTH STREETS CREATED	0.45 MILES
NO. OF EXISTING TRACTS	2
NO. OF LOTS CREATED	37
NO. OF HOA TRACTS CREATED	1
NO. OF REMINDER TRACTS CREATED	1

SURVEY NOTES:

- ALL BOUNDARY CORNERS SHOWN (●) ARE FOUND REBAR W/CAP.
- ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE P.C.'S, P.TS, ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THUS (▲) AND WILL BE MARKED BY (4") ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION MARKED, DO NOT DISTURB PLS #282".
- THE SUBDIVISION BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
- BASIS OF BEARINGS WILL BE NEW MEXICO STATE PLANE BEARINGS.
- DISTANCES SHALL BE GROUND DISTANCES.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, TANGENCY STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.

APPROVED
 Susan R. Reinhardt P.S. 1/6/16
 CITY SURVEYOR DATE
 Kelly Capoun 1/6/16
 MANAGER, WOODMONT-PASEO, LLC DATE



GENERAL NOTES

1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATION AS NOTED IN THE SOILS REPORT.
3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES & REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AS PER DETAIL, SHEET 3B, AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
5. ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
6. BOULDERS GREATER THAN 3 FEET IN DIAMETER EXCAVATED DURING GRADING ACTIVITIES SHALL BE STOCKPILED AND DISPOSED OF AT THE DISCRETION OF THE OWNER.
7. ALL WALLS SHOWN ARE TO BE PLACED ALONG PROPERTY LINE. WALLS ARE SHOWN OFFSET FOR VISUAL PURPOSE ONLY.

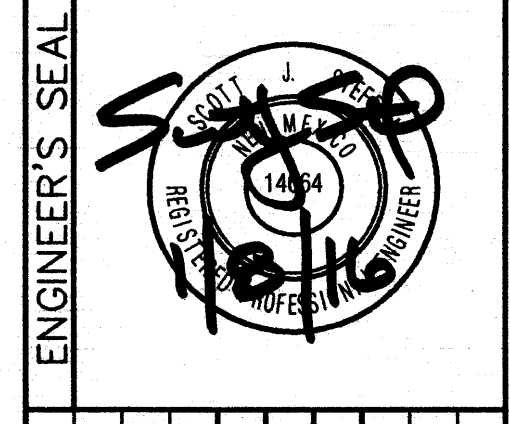
LEGEND

- 91.62 PROPOSED SPOT ELEVATION
- × 92.46 EXISTING SPOT ELEVATION (GRND & TC)
- — — — — EXISTING CURB & GUTTER
- — — — — PROPOSED MOUNTABLE CURB & GUTTER
- — — — — PROPOSED STANDARD CURB & GUTTER
- - - - - 5470 EXISTING CONTOUR W/ INDEX ELEVATION
- FLOW ARROW
- — — — — PROPOSED RETAINING WALL
- — — — — PROPOSED GARDEN WALL
- — — — — PROPOSED SLOPE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLET
- WALL DRAIN

AS-BUILT INFORMATION	
CONTRACTOR	DATE
DESIGNED BY	DATE
APPROVED BY	DATE
FIELD MARKS BY	DATE
CONVERTED BY	DATE
MICROFILM INFORMATION	
RECORDED BY	DATE
NO.	

BENCH MARKS	

SURVEY INFORMATION	
FIELD NOTES	DATE
NO.	BY



PROJECT: 1007488
 DATE: 2-3-16
 APP: 16-70003
 READER: VPC

By	Date	REVISIONS
		DESIGN

Bohannon & Huston
 www.bhinc.com 800.877.5332

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

VALLE PRADO
UNIT 4
GRADING PLAN

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.

City Project No.	Zone Map No.	Sheet	Of
XXXXXX	C-09-Z	1	3

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PARKING INFORMATION

PARKING REQUIRED:
GROUND FLOOR (EXISTING): 149,228sf/200 = 747 SPACES
GROUND FLOOR (PHASE 3): 29,000sf/200 = 145 SPACES
GROUND FLOOR (FUTURE): 27,500sf/200 = 138 SPACES
UPPER FLOORS (EXISTING): 179,562sf/300 = 599 SPACES
UPPER FLOORS (PHASE 3): 58,000sf/300 = 194 SPACES
UPPER FLOORS (FUTURE): 55,000sf/300 = 184 SPACES
TOTAL REQUIRED = 2,007 SPACES

PARKING PROVIDED:
TOTAL PROVIDED = 2,503 (NO COMPACT SPACES)

ACCESSIBLE PARKING REQUIRED:
(901-1000 SPACES; 20 + 1 FOR EVERY 100 THAT EXCEEDS 1000) =
TOTAL REQUIRED: 31 ACCESSIBLE SPACES (4 VAN ACCESSIBLE)
ACCESSIBLE PARKING PROVIDED:
TOTAL PROVIDED: 55 ACCESSIBLE SPACES (10 VAN ACCESS.)

MOTORCYCLE PARKING REQUIRED:
(MORE THAN 1000; 8 + 1 FOR EACH ADDITIONAL 500 SPACES)
TOTAL REQUIRED: 11 SPACES
MOTORCYCLE PARKING PROVIDED:
TOTAL PROVIDED: 12 SPACES

BICYCLE PARKING REQUIRED:
TOTAL REQUIRED: 2,007/20 = 101 SPACES
BICYCLE PARKING PROVIDED:
TOTAL PROVIDED: 101 SPACES

INDEX TO DRAWINGS

- A1a SITE DEVELOPMENT PLAN - AREA A
- A1b SITE DEVELOPMENT PLAN - AREA B & SITE DETAILS
- L100 LANDSCAPE PLAN - OVERALL
- L101 LANDSCAPE PLAN
- L102 LANDSCAPE PLAN
- L103 LANDSCAPE PLAN
- L501 LANDSCAPE DETAILS AND SCHEDULE
- C100 OVERALL CONCEPTUAL GRADING PLAN
- C101 CONCEPTUAL GRADING PLAN - AREA A
- C102 CONCEPTUAL GRADING PLAN - AREA B
- C200 CONCEPTUAL UTILITY PLAN
- A3a OVERALL BUILDING ELEVATIONS
- A3b NEW BUILDING ELEVATIONS
- A1a PREVIOUSLY APPROVED DEVELOPMENT PLAN

GENERAL NOTES

- A. NEW PARKING LOT LANDSCAPE ISLANDS AT TRACT D-1B-2 (AREA B) WILL BE DEPRESSED AND CURB OPENING PROVIDED TO INTERCEPT RUNOFF FROM THE FIRST FLUSH STORM EVENT.
- B. ADA ACCESSIBLE PARKING SIGNS MUST HAVE THE REQUIRED LANGUAGE PER 66-7-352.4C NMSA 1978 "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING."
- C. ALL ADA ACCESS AISLES SHALL HAVE THE WORDS "NO PARKING" IN CAPITAL LETTERS, EACH OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST TWO INCHES WIDE, PLACED AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S REAR TIRE WOULD BE PLACED (66-1-4.1.B NMSA 1978)
- D. A SEPARATE PERMIT IS REQUIRED FOR SIGNAGE.

RECORDING INFORMATION FOR ALL EASEMENTS: TRACTS D-1B-2 AND D-1E-1, SISTERS OF THE ORDER OF ST. DOMINIC, RECORDED ON JULY 5, 1995 IN BOOK 96-C, FOLIO 297 IN THE RECORDS OF THE BERNALILLO COUNTY CLERK, STATE OF NEW MEXICO

SITE DATA

LEGAL DESCRIPTION:
TRACT D-1E-1 SISTERS OF THE ORDER OF ST. DOMINIC, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
ZONE: SU-2 I/IEP
GROSS F.A.R. (GBA / SITE AREA):
498,290 SF / 1,655,598 SF = 0.3009 ACRES
SITE AREA:
TRACT D-1E-1 (AREA A): 31.7211 ACRES (1,381,771 SF)
TRACT D-1B-2 (AREA B): 06.2858 ACRES (273,827 SF)
SITE AREA TOTAL: 38.0069 ACRES (1,655,598 SF)

GROSS BUILDING AREA (GBA):
BUILDING 1 (EXISTING): 133,090 SF
BUILDING 2 (EXISTING): 195,700 SF
BUILDING 3 (NEW): 87,000 SF
FUTURE BUILDINGS:
TOTAL GBA: 498,290 SF

LEGEND

- PROPERTY LINE
- EASEMENT
- POLE MOUNTED PARKING LIGHT; 40'-0" MAX. HEIGHT. RE: DETAIL 5/SHEET B1b
- POLE MOUNTED PARKING LIGHT; 20'-0" MAX. HEIGHT. RE: DETAIL 5/SHEET B1b
- POLE MOUNTED PEDESTRIAN LIGHT; 14'-0" MAX. HEIGHT. RE: DETAIL 5/SHEET B1b
- LIGHT BOLLARD
- FIRE HYDRANT
- BIKE RACK
- BIKE LOCKER

SHEET KEYED NOTES

- 1. TYPICAL PARKING SPACE; 9'-0" x 18'-0" UNLESS NOTED OTHERWISE (U.N.O.)
- 2. TYPICAL PARKING SPACE; 9'-0" x 20'-0" U.N.O.
- 3. TYPICAL PARKING SPACE; 8'-6" x 20'-0" U.N.O.
- 4. TYPICAL PARKING SPACE; 8'-6" x 18'-0" U.N.O.
- 5. TYPICAL ADA PARKING SPACE; 8'-6" x 20'-0"
- 6. PARKING SPACE; 9'-0" x 16'-0"; ALLOWS FOR VEHICLES TO OVERHANG 2'-0" ONTO SIDEWALK. CURB ACTS AS WHEEL STOP
- 7. TYPICAL MOTORCYCLE PARKING SPACE; 4'-6" x 18'-0", WITH POLE MOUNTED SIGNAGE
- 8. ASPHALT PAVING
- 9. 6'-0" WIDE PEDESTRIAN CROSSWALK.
- 10. CONCRETE CURB
- 11. CONCRETE WHEEL STOP
- 12. POLE MOUNTED ADA SIGNAGE. SEE GENERAL NOTE B.
- 13. PAINTED ADA PAVEMENT SIGNAGE. SEE GENERAL NOTE C.
- 14. BIKE RACK
- 15. BIKE LOCKERS
- 16. FIRE HYDRANT
- 17. LANDSCAPED AREA: REFER TO LANDSCAPE PLAN
- 18. 4'-0" x 10'-0" PLANTING AREA FLUSH WITH SIDEWALK
- 19. 8" x 4'-0" HIGH EIFS COURTYARD WALL; COLOR: RUST
- 20. 8" x 7'-0" HIGH EIFS SCREEN WALL; COLOR: CREAM
- 21. SHADE STRUCTURE AT OUTDOOR PATIO
- 22. BENCH
- 23. DIRECTIONAL SIGN; RE: DETAIL D1/SHEET A1b
- 24. MONUMENT SIGN; RE: DETAIL C1/SHEET A1b
- 25. SPEED BUMP
- 26. 3'-0" WIDE SPEED BUMP
- 27. FLAGPOLE
- 28. 6'-0" WIDE CONCRETE SIDEWALK
- 29. 8'-0" WIDE CONCRETE SIDEWALK
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- 32. NEW LIGHT POLE; RE: DETAIL B1/A1b
- 33. LIGHT BOLLARD
- 34. ACCESSIBLE RAMP; RE: DETAIL A2/A1b
- 35. EXISTING 10' ELECTRICAL AND PHONE EASEMENT
- 36. EXISTING 10' GAS EASEMENT
- 37. EXISTING 40' PUBLIC DRAINAGE EASEMENT
- 38. EXISTING 50' PUBLIC DRAINAGE EASEMENT
- 39. EXISTING 54.7' PUBLIC DRAINAGE EASEMENT
- 40. EXISTING 60' PUBLIC DRAINAGE EASEMENT
- 41. EXISTING 15' PUBLIC SIDEWALK EASEMENT
- 42. EXISTING 35' PUBLIC SIDEWALK EASEMENT
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- 44. EXISTING 80' PUBLIC UTILITY & STORM DRAIN EASEMENT
- 45. EXISTING 20' PUBLIC WATERLINE EASEMENT
- 46. EXISTING 20' SANITARY SEWER EASEMENT
- 47. EXISTING 15' X 20' PUBLIC UTILITY EASEMENT
- 48. ELECTRICAL TRANSFORMER
- 49. RETAINING WALL - ANCHOR WALL, COLOR: GREY
- 50. TRASH COMPACTOR
- 51. ACCESSIBLE RAMP; RE: DETAIL A3/A1b
- 52. ACCESSIBLE RAMP; RE: DETAIL A4/A1b
- 53. ACCESSIBLE RAMP; RE: DETAIL A1/A1b
- 54. PROPERTY LINE
- 55. 8' WIDE CRUSHER FINE WALKING TRAIL, NON-ADA ACCESSIBLE
- 56. RESPITE AREA WITH STONE BENCH
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- 58. FENCE TO REMAIN
- 59. SITE DISTANCE SETBACK LINE, 30' FROM CURB FACE, TYPICAL
- 60. EMERGENCY PHONE
- 61. RAMP AND STAIRS
- 62. 12'-0" WIDE CONCRETE SIDEWALK

FORMER PROJECT NUMBER: 1007488
PROJECT NUMBER:
APPLICATION NUMBER:

Is an Infrastructure List Required? (X) Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
ARCVUA	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

REVISIONS

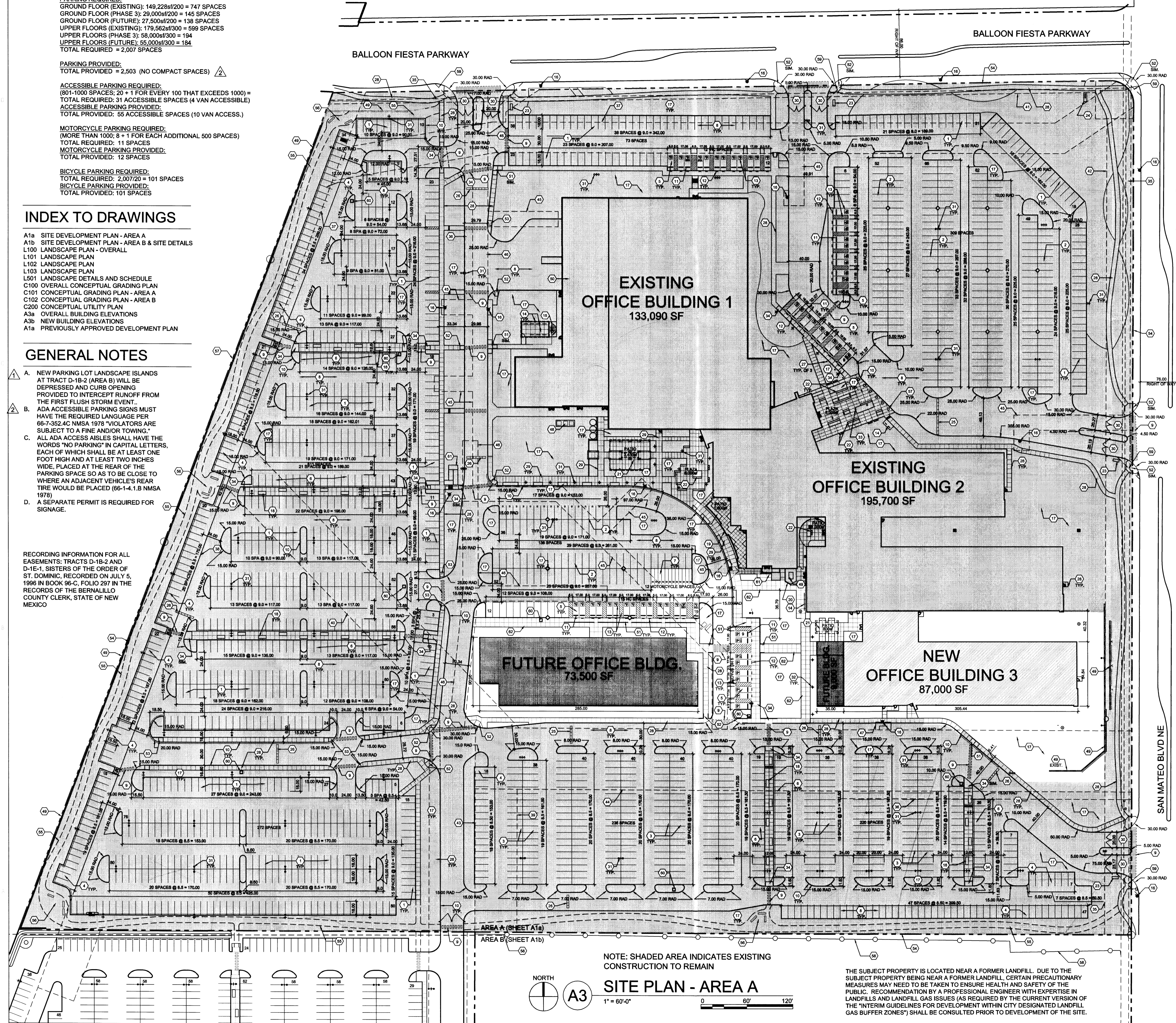
- 1/5/2016 ADD STORM EVENT NOTE
- 1/20/2016 DRB COMMENTS

DRAWN BY: _____
REVIEWED BY: _____

DATE: 12/03/2015
PROJECT NO: 15-0129

DRAWING NAME: SITE DEVELOPMENT PLAN - AREA A

SHEET NO: A1a



EXISTING OFFICE BUILDING 1
133,090 SF

EXISTING OFFICE BUILDING 2
195,700 SF

FUTURE OFFICE BLDG.
73,500 SF

NEW OFFICE BUILDING 3
87,000 SF

NOTE: SHADED AREA INDICATES EXISTING CONSTRUCTION TO REMAIN

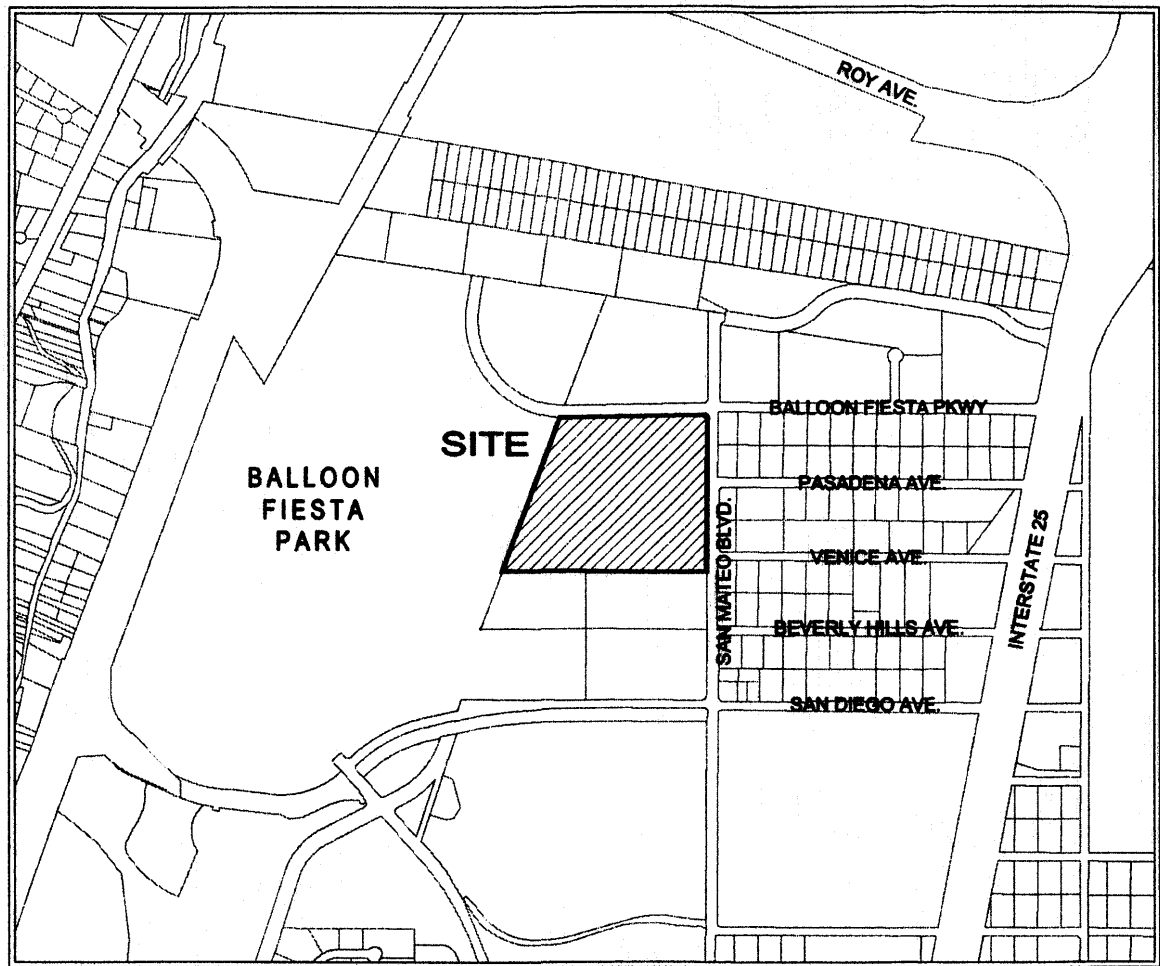
SITE PLAN - AREA A

1" = 60'-0"

THE SUBJECT PROPERTY IS LOCATED NEAR A FORMER LANDFILL. DUE TO THE SUBJECT PROPERTY BEING NEAR A FORMER LANDFILL, CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATION BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILLS AND LANDFILL GAS ISSUES (AS REQUIRED BY THE CURRENT VERSION OF THE "INTERIM GUIDELINES FOR DEVELOPMENT WITHIN CITY DESIGNATED LANDFILL GAS BUFFER ZONES") SHALL BE CONSULTED PRIOR TO DEVELOPMENT OF THE SITE.

PROJECT: 1007488
 DATE: 2-3-16
 APP: 16-16035 (P:1)

PLAT OF
 TRACT D-1E-1-A
 SISTERS OF THE ORDER
 OF ST. DOMINIC
 (A REPLAT OF TRACT D-1E-1)
 ELENA GALLEGOS GRANT
 PROJECTED SECTION 11, T11N, R3E, N.M.P.M.
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 JANUARY, 2016



LOCATION MAP
 NOT TO SCALE

FREE CONSENT

The plat shown hereon is made with the owner(s) free consent and in accordance of the desires of the undersigned owner(s), the execution of this plat is their free act and deed. Those signing as owner(s) warrant that they hold among them, complete indefeasible title in fee simple to the land shown on this plat. Owner(s) hereby affirm that the described property shown on this plat lies within the platting and subdivision jurisdiction of Albuquerque, New Mexico. Said owner(s) hereby grant all Easements as shown on this plat.

Diane Fisher
 Diane Fisher, Senior Vice President, Presbyterian Healthcare Services

State of New Mexico)
) SS
 County of Bernalillo)

This instrument was acknowledged before me on 25th day of January, 2016, by
 Diane Fisher, Senior Vice President, Presbyterian Healthcare Services

By: *Linda J. Vanauker* My Commission Expires: 2/1/19
 Notary Public



NOTES

- Bearings are New Mexico State Plane Grid Bearings (Central Zone) NAD 1983.
- Basis of Bearings established from COA Monument "CC_EG_11_12_11N_3E" to COA Monument "NMSHC I-25-11" being S45°40'08"E.
- Distances are ground distances.
- Project combined factor = 0.999656857 scaled about X=500,000M, Y=0.
- Bearings and distances are from existing Plat of Tract D-1E-1 Sisters of the Order of St. Dominic, filed July 5, 1996 in Book 96C, Page 297.
- Pursuant to section 14-14-4-7 of the City of Albuquerque Code of Ordinances, "No property within the area of this Plat shall at anytime be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirements shall be a condition to approval of this plat."
- City of Albuquerque zoning and development regulations and procedures shall apply to lands within this plat if the land is sold to any private parties.
- This plat and easements as shown hereon was based on the Title Commitment issued by Fidelity National Title, File No. FT000076945-Title, effective date: June 20, 2011 and the Title Search and Report prepared by Fidelity National Title, File No. FT000194268-NM01 effective January 12, 2016.
- Tract is designated as "Zone X" on FEMA FIRM Panel 129 of 825, Map 35001C0129H, Revised August 16, 2012.

DESCRIPTION

Tract D-1E-1, of the Plat of Tracts D-1B-1, D-1B-2, & D-1E-1 Sisters Of The Order Of St. Dominic, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico on July 5, 1996, in Plat Book 96-C, Folio 297. Tract contains 31.7211 acres, more or less.

SUBDIVISION DATA

- DRB No. 1007488.
- Zone Atlas Index Number: B-17.
- Zoning: IP
- Gross Subdivision Acreage: 31.7211 Acres.
- Total number of Lots/Tracts Created: 1
- Easement vacated by Vacation Action
- Date of Survey: January 14, 2016.
- Plat is located within the Elena Gallegos Grant, Projected Section 11, Township 11 North, Range 3 East, New Mexico Principal Meridian, Bernalillo County, City of Albuquerque, New Mexico.

PURPOSE OF PLAT

The purpose of this Plat is to Vacate an existing waterline easement.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- Qwest Corporation d/b/a CenturyLink QC for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

Disclaimer

In approving this plat, Public Service Company of New Mexico (PNM), New Mexico Gas Company (NMGC) and Qwest Corporation D/B/A CenturyLink (QWEST) did not conduct a Title Search of the properties shown hereon. Consequently, PNM, NMGC and QWEST do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

PROJECT NUMBER _____

APPLICATION NUMBER _____

UTILITY APPROVALS:

QWEST CORPORATION d/b/a CENTURYLINK QC _____ DATE _____

COMCAST CABLE _____ DATE _____

PNM ELECTRIC SERVICES _____ DATE _____

NEW MEXICO GAS COMPANY _____ DATE _____

CITY APPROVALS:
Loren M. Risenhoover P.S. 1/25/16
 CITY SURVEYOR _____ DATE _____

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION _____ DATE _____

ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY _____ DATE _____

PARKS & RECREATION DEPARTMENT _____ DATE _____

A.M.A.F.C.A. _____ DATE _____

CITY ENGINEER _____ DATE _____

DRB CHAIRPERSON, PLANNING DEPARTMENT _____ DATE _____

REAL PROPERTY DIVISION _____ DATE _____

TAX CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC # _____

PROPERTY OWNER OF RECORD: _____

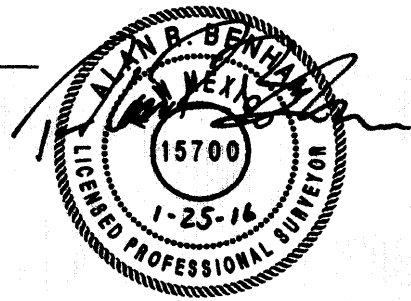
BERNALILLO COUNTY TREASURER'S OFFICE _____ DATE _____

SURVEYOR'S CERTIFICATION

I, Alan R. Benham, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all existing easements as shown on the plats of record, or made known to me by the owner, utility companies, or other interested parties and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

Alan R. Benham
 Alan R. Benham
 New Mexico Professional Surveyor 15700

Date: JAN 25, 2016



Bohannon & Huston

Courtyard I 7500 Jefferson St. NE
 Albuquerque, NM 87109 (505) 823-1000

PARKING INFORMATION

PARKING REQUIRED:
 GROUND FLOOR (EXISTING): 149,228sf/200 = 747 SPACES
 GROUND FLOOR (PHASE 3): 29,000sf/200 = 145 SPACES
 GROUND FLOOR (FUTURE): 27,500sf/200 = 138 SPACES
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 TOTAL REQUIRED = 2,007 SPACES

PARKING PROVIDED:
 TOTAL PROVIDED = 2,503

ACCESSIBLE PARKING REQUIRED:
 (801-1000 SPACES; 20 + 1 FOR EVERY 100 THAT EXCEEDS 1000) =
 TOTAL REQUIRED: 31 ACCESSIBLE SPACES (4 VAN ACCESSIBLE)

ACCESSIBLE PARKING PROVIDED:
 TOTAL PROVIDED: 55 ACCESSIBLE SPACES (10 VAN ACCESS.)

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 TOTAL REQUIRED: 11 SPACES

MOTORCYCLE PARKING PROVIDED:
 TOTAL PROVIDED: 12 SPACES

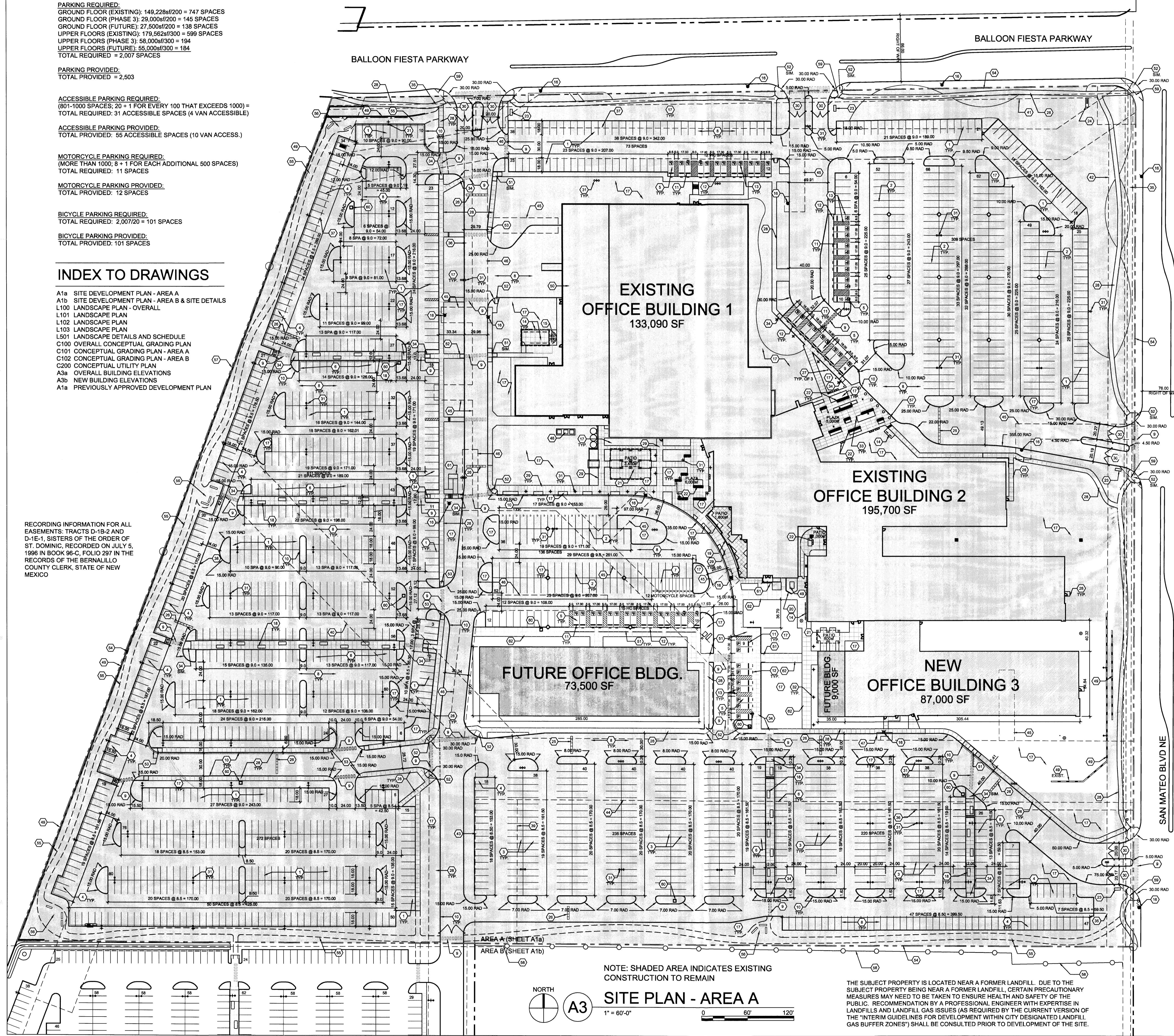
BICYCLE PARKING REQUIRED:
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NOTE: SHADED AREA INDICATES EXISTING CONSTRUCTION TO REMAIN



SITE PLAN - AREA A
 1" = 60'-0"

THE SUBJECT PROPERTY IS LOCATED NEAR A FORMER LANDFILL. DUE TO THE SUBJECT PROPERTY BEING NEAR A FORMER LANDFILL, CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATION BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILLS AND LANDFILL GAS ISSUES (AS REQUIRED BY THE CURRENT VERSION OF THE "INTERIM GUIDELINES FOR DEVELOPMENT WITHIN CITY DESIGNATED LANDFILL GAS BUFFER ZONES") SHALL BE CONSULTED PRIOR TO DEVELOPMENT OF THE SITE.

SITE DATA

LEGAL DESCRIPTION:
 TRACT D-1E-1 SISTERS OF THE ORDER OF ST. DOMINIC, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

ZONE: SU-2 I/PEP
GROSS F.A.R. (GBA / SITE AREA):
 498.290 SF / 1,655,598 SF = 0.3009 ACRES

SITE AREA:
 TRACT D-1E-1 (AREA A): 31.7211 ACRES (1,381,771 SF)
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 SITE AREA TOTAL: 38.0069 ACRES (1,655,598 SF)

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 BUILDING 1 (EXISTING): 133,090 SF
 BUILDING 2 (EXISTING): 195,700 SF
 BUILDING 3 (NEW): 87,000 SF
 FUTURE BLDG: 73,500 SF
 TOTAL G: 489,290 SF

PROJECT: 1007488
DATE: 1-6-15
APP: 15-70415 (ASBP)

- POLE MOUNTED PARKING LIGHT: 20'-0" MAX. HEIGHT; RE: DETAIL 5/SHEET B1b
- POLE MOUNTED PEDESTRIAN LIGHT: 14'-0" MAX. HEIGHT; RE: DETAIL 5/SHEET B1b
- LIGHT BOLLARD
- FIRE HYDRANT
- BIKE RACK
- BIKE LOCKER

SHEET KEYED NOTES

1. TYPICAL PARKING SPACE: 9'-0" x 18'-0" UNLESS NOTED OTHERWISE (U.N.C.)
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FORMER PROJECT NUMBER: 1007488

PROJECT NUMBER:

APPLICATION NUMBER:

Is an Infrastructure List Required? (X) Yes () No. If yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
AB/CW/IA	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE



7601 JEFFERSON NE, SUITE 100
 ALBUQUERQUE, NM 87109
 505.761.9700 / DPSDESIGN.ORG

PROJECT SEAL

PROJECT
 Presbyterian Rev. Hugh Cooper
 Administrative Center - DRB SUBMITTAL
 9521 San Mateo NE
 Albuquerque, New Mexico

REVISIONS

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DRAWN BY
 REVIEWED BY
 DATE 12/03/2015
 PROJECT NO 15-0129

DRAWING NAME
SITE DEVELOPMENT PLAN - AREA A

SHEET NO
A1a

SEAL

PROJECT

**Presbyterian Rev. Hugh Cooper
Administrative Center - DRB SUBMITTAL**
9521 San Mateo NE
Albuquerque, New Mexico

REVISIONS

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DRAWN BY

REVIEWED BY

DATE 12/03/2015

PROJECT NO 15-0129

DRAWING NAME

SITE PLAN - AREA B

SITE DETAILS

SHEET NO

A1b

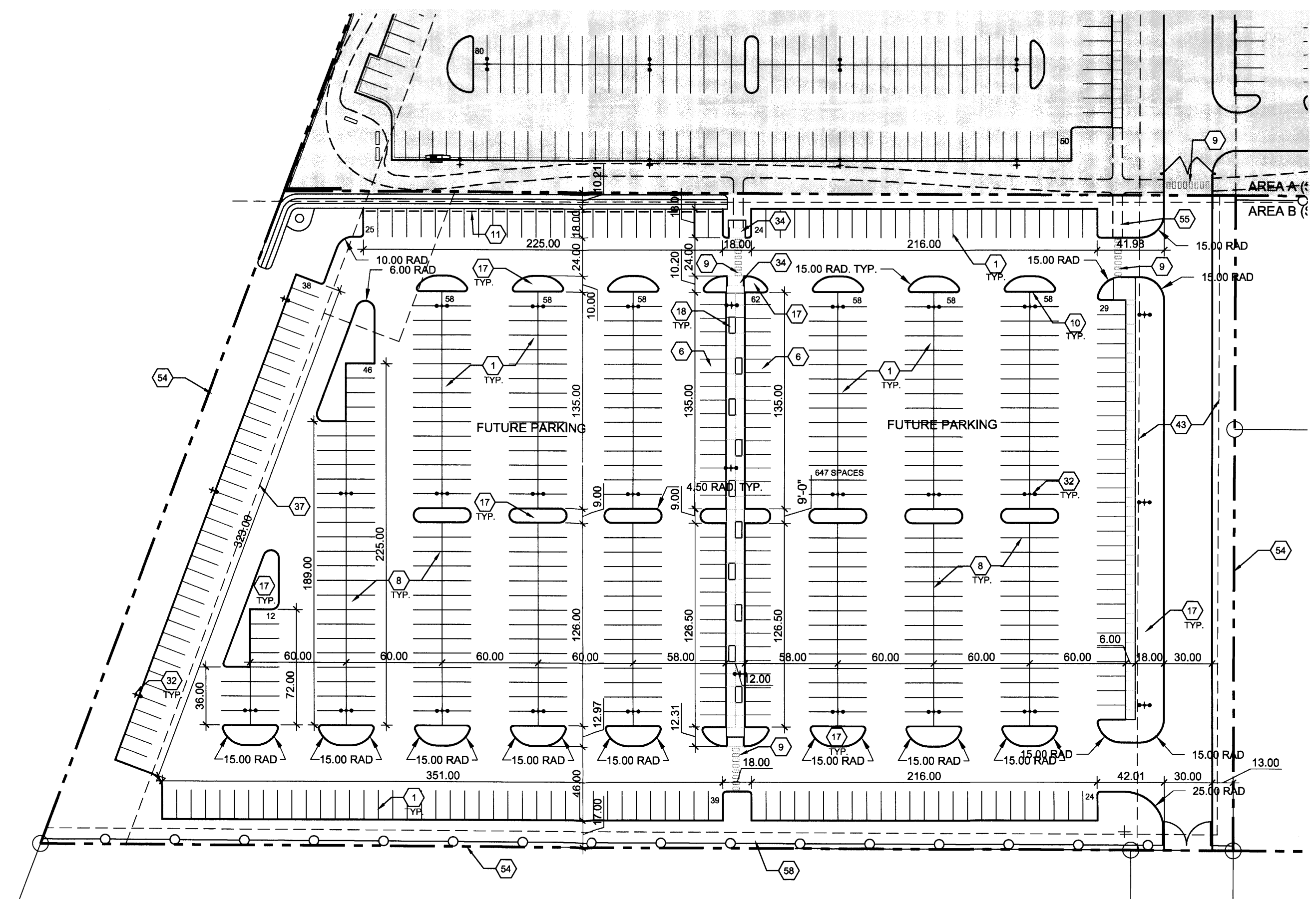
GENERAL NOTES

1. REFER TO SHEET A1a FOR FURTHER INFORMATION ON SITE AREA A.

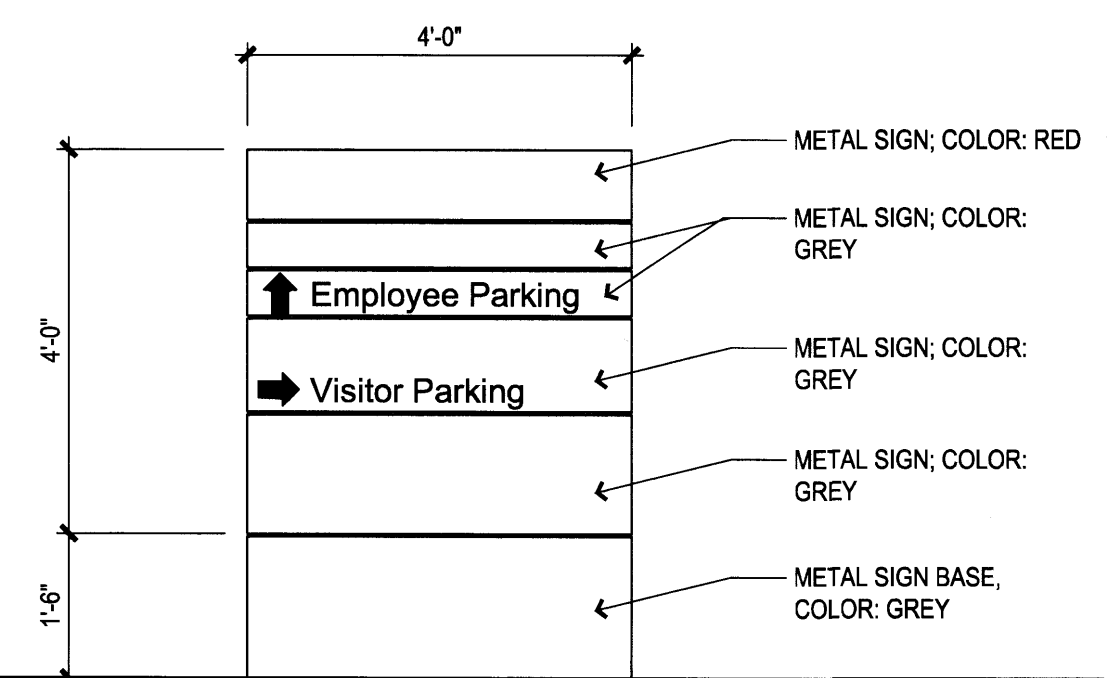
SHEET KEYED NOTES

ALL NOTES ARE NOT NECESSARILY REFERENCED ON THIS SHEET

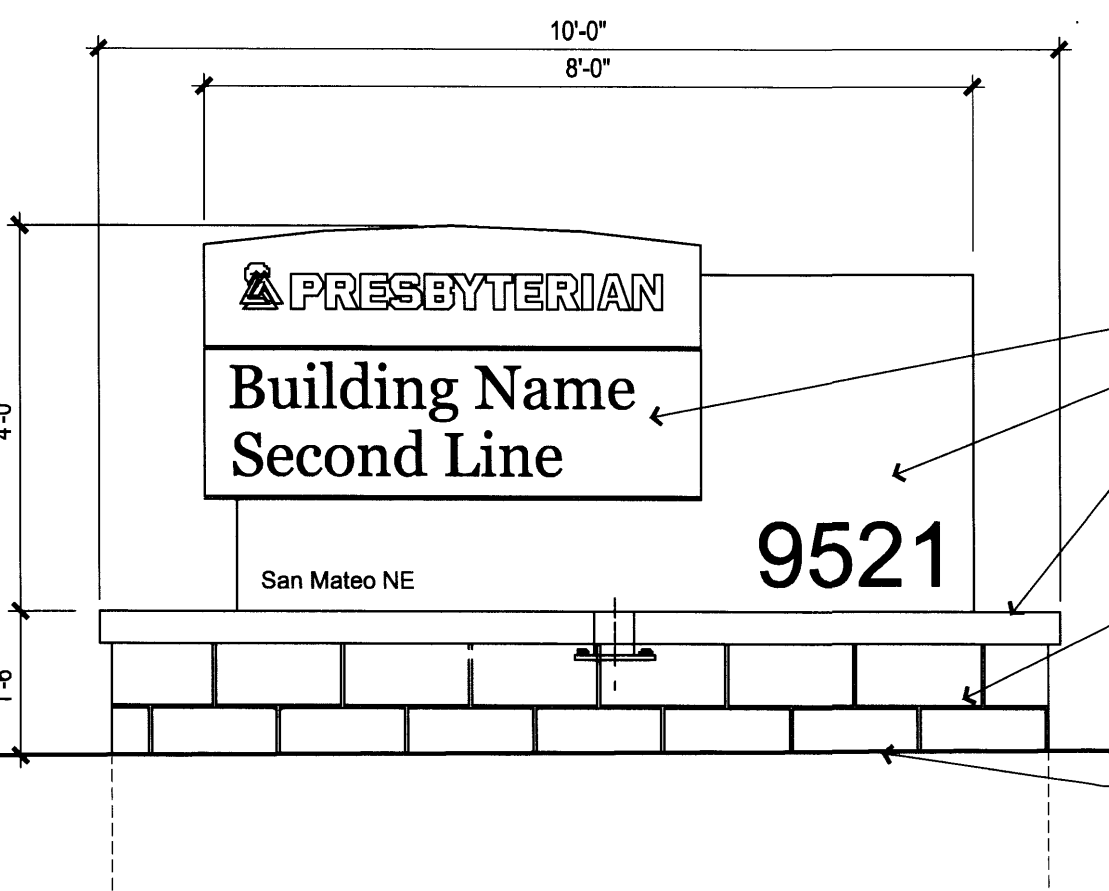
1. TYPICAL PARKING SPACE: 9'-0" x 18'-0" UNLESS NOTED OTHERWISE (U.N.O.)
2. TYPICAL PARKING SPACE: 9'-0" x 20'-0" U.N.O.
3. TYPICAL PARKING SPACE: 8'-6" x 20'-0" U.N.O.
4. TYPICAL PARKING SPACE: 8'-6" x 18'-0" U.N.O.
5. TYPICAL ADA PARKING SPACE: 8'-6" x 20'-0"
6. PARKING SPACE: 9'-0" x 18'-0", ALLOWS FOR VEHICLES TO OVERHANG 2'-0" ONTO SIDEWALK. CURB ACTS AS WHEEL STOP
7. TYPICAL MOTORCYCLE PARKING SPACE: 4'-6" x 18'-0", WITH POLE MOUNTED SIGNAGE
8. ASPHALT PAVING
9. 6'-0" WIDE PEDESTRIAN CROSSWALK.
10. CONCRETE CURB
11. CONCRETE WHEEL STOP
12. POLE MOUNTED ADA SIGNAGE
13. PAINTED ADA PAVEMENT SIGNAGE
14. METAL BIKE RACK
15. BIKE LOCKERS
16. FIRE HYDRANT
17. LANDSCAPED AREA. REFER TO LANDSCAPE PLAN
18. 4'-0" x 10'-0" PLANTING AREA FLUSH WITH SIDEWALK
19. 8" x 4'-0" HIGH EIFS COURTYARD WALL. COLOR: RUST
20. 8" x 7'-0" HIGH EIFS SCREEN WALL. COLOR: CREAM
21. SHADE STRUCTURE AT OUTDOOR EATING AREA
22. BENCH
23. DIRECTIONAL SIGN; RE: DETAIL D1/SHEET A1b
24. MONUMENT SIGN; RE: DETAIL C1/SHEET A1b
25. SPEED BUMP
26. 3'-0" WIDE SPEED BUMP
27. FLAGPOLE
28. 6'-0" WIDE CONCRETE SIDEWALK
29. 8'-0" WIDE CONCRETE SIDEWALK
30. INGRESS / EGRESS
31. LIGHT POLE TO REMAIN
32. NEW LIGHT POLE, RE: DETAIL B1/A1b
33. LIGHT BOLLARD
34. ACCESSIBLE RAMP; RE: DETAIL A2/A1b
35. EXISTING 10' ELECTRICAL AND PHONE EASEMENT
36. EXISTING 10' GAS EASEMENT
37. EXISTING 40' PUBLIC DRAINAGE EASEMENT
38. EXISTING 50' PUBLIC DRAINAGE EASEMENT
39. EXISTING 54.71' PUBLIC DRAINAGE EASEMENT
40. EXISTING 60' PUBLIC DRAINAGE EASEMENT
41. EXISTING 15' PUBLIC SIDEWALK EASEMENT
42. EXISTING 35' PUBLIC SIDEWALK EASEMENT
43. EXISTING 60' PUBLIC UTILITY EASEMENT
44. EXISTING 80' PUBLIC UTILITY & STORM DRAIN EASEMENT
45. EXISTING 20' PUBLIC WATERLINE EASEMENT
46. EXISTING 20' SANITARY SEWER EASEMENT
47. EXISTING 15' x 20' PUBLIC UTILITY EASEMENT
48. ELECTRICAL TRANSFORMER
49. RETAINING WALL - ANCHOR WALL, COLOR: GREY
50. TRASH COMPACTOR
51. ACCESSIBLE RAMP; RE: DETAIL A3/A1b
52. ACCESSIBLE RAMP; RE: DETAIL A4/A1b
53. ACCESSIBLE RAMP; RE: DETAIL A1/A1b
54. PROPERTY LINE
55. 8' WIDE CRUSHER FINE WALKING TRAIL, NON-ADA ACCESSIBLE
56. RESPITE AREA WITH STONE BENCH
57. CONCRETE BOLLARD
58. FENCE TO REMAIN
59. SITE DISTANCE SETBACK LINE, 30' FROM CURB FACE, TYPICAL
60. EMERGENCY PHONE
61. RAMP AND STAIRS
62. 12'-0" WIDE CONCRETE SIDEWALK



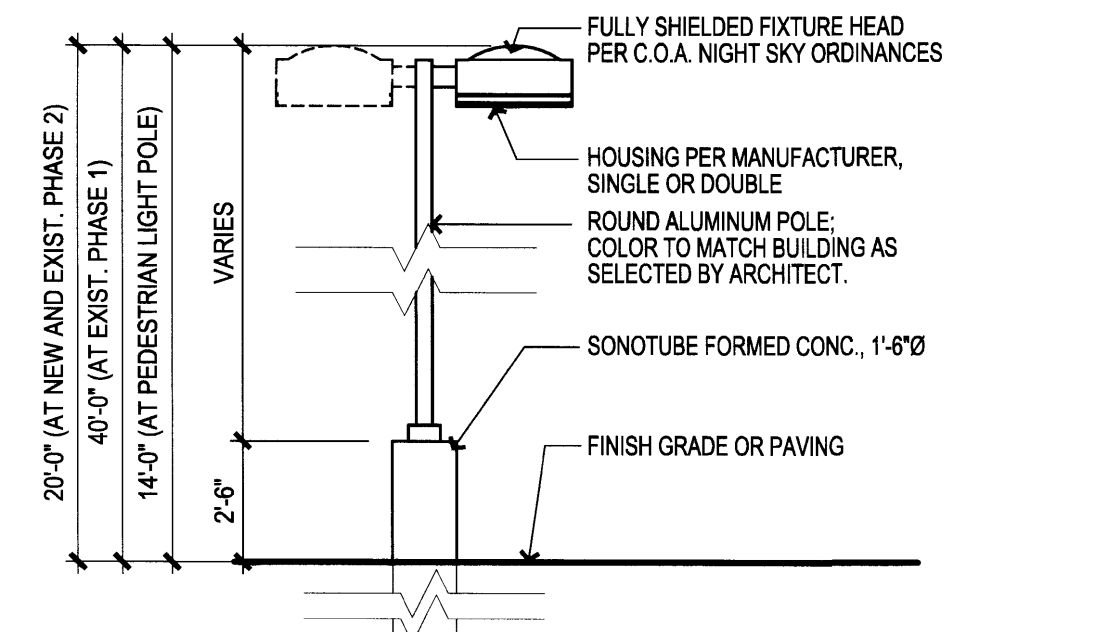
THE SUBJECT PROPERTY IS LOCATED NEAR A FORMER LANDFILL. DUE TO THE SUBJECT PROPERTY BEING NEAR A FORMER LANDFILL, CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATION BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILLS AND LANDFILL GAS ISSUES (AS REQUIRED BY THE CURRENT VERSION OF THE "INTERIM GUIDELINES FOR DEVELOPMENT WITHIN CITY DESIGNATED LANDFILL GAS BUFFER ZONES") SHALL BE CONSULTED PRIOR TO DEVELOPMENT OF THE SITE.



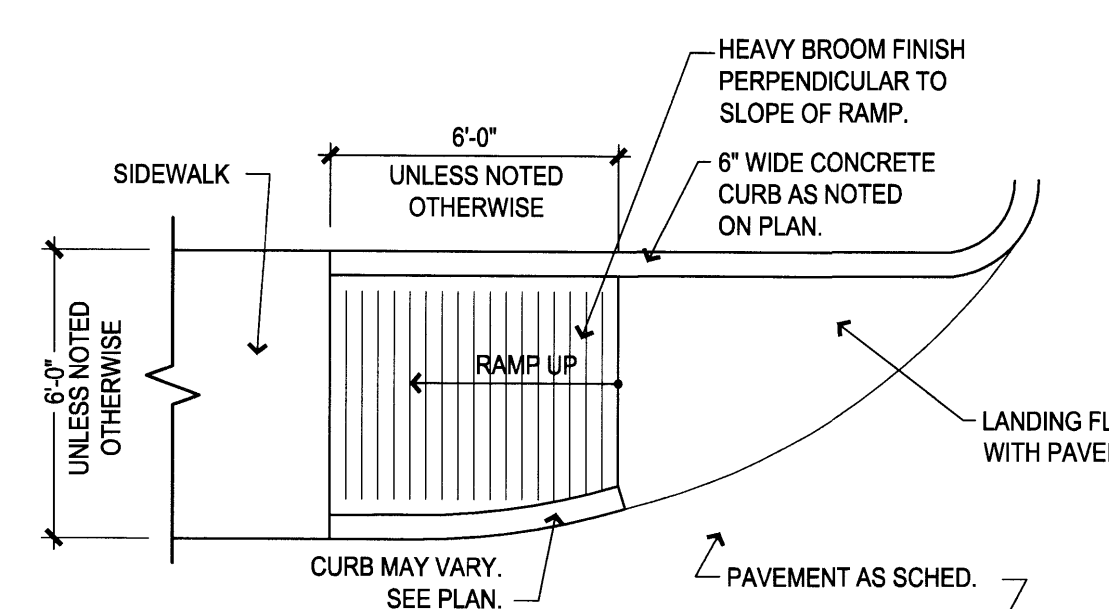
D1 EXISTING TO REMAIN
DIRECTIONAL SIGN, TYP
1/2" = 1'-0"



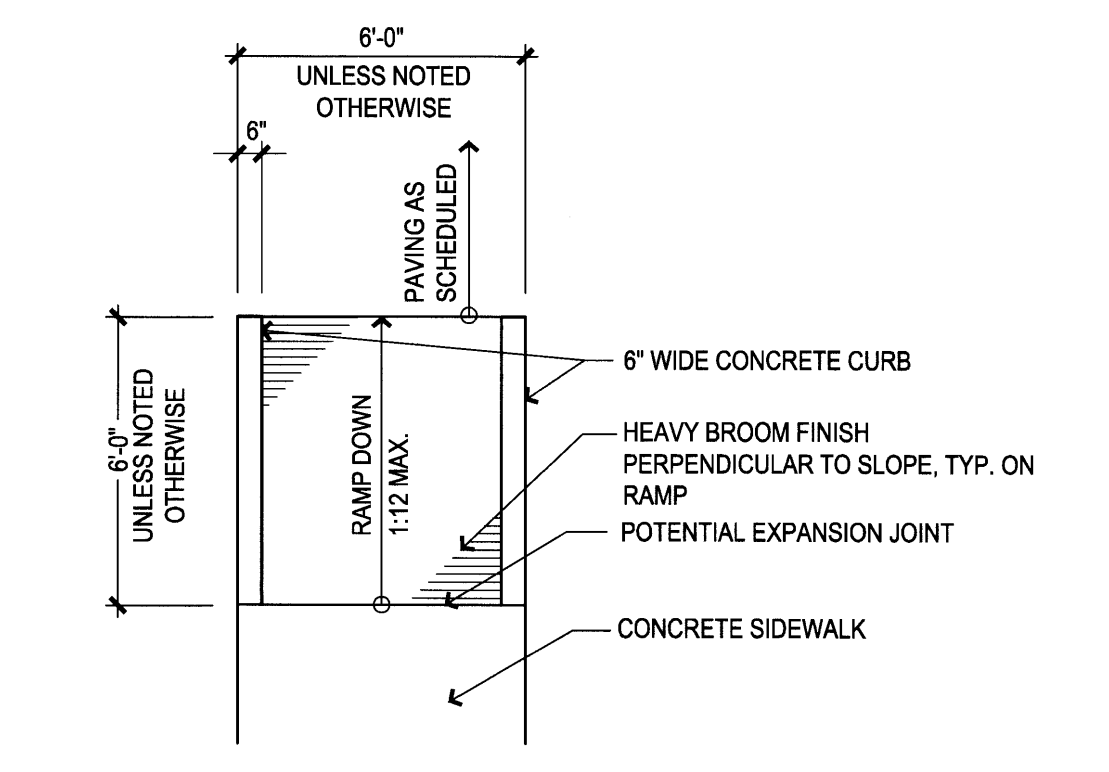
C1 EXISTING TO REMAIN
MONUMENT SIGN, TYP.
1/2" = 1'-0"



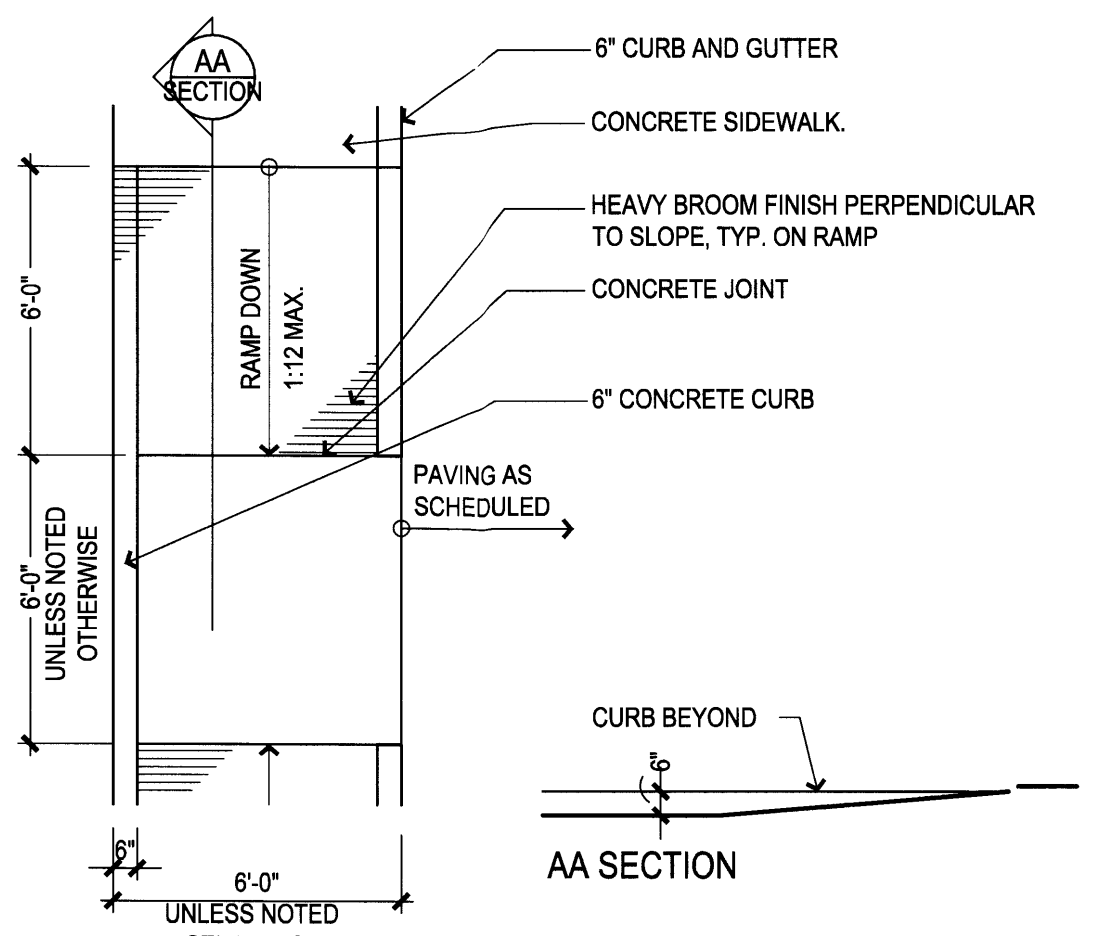
B1 PARKING LIGHT POLE
1/4" = 1'-0"



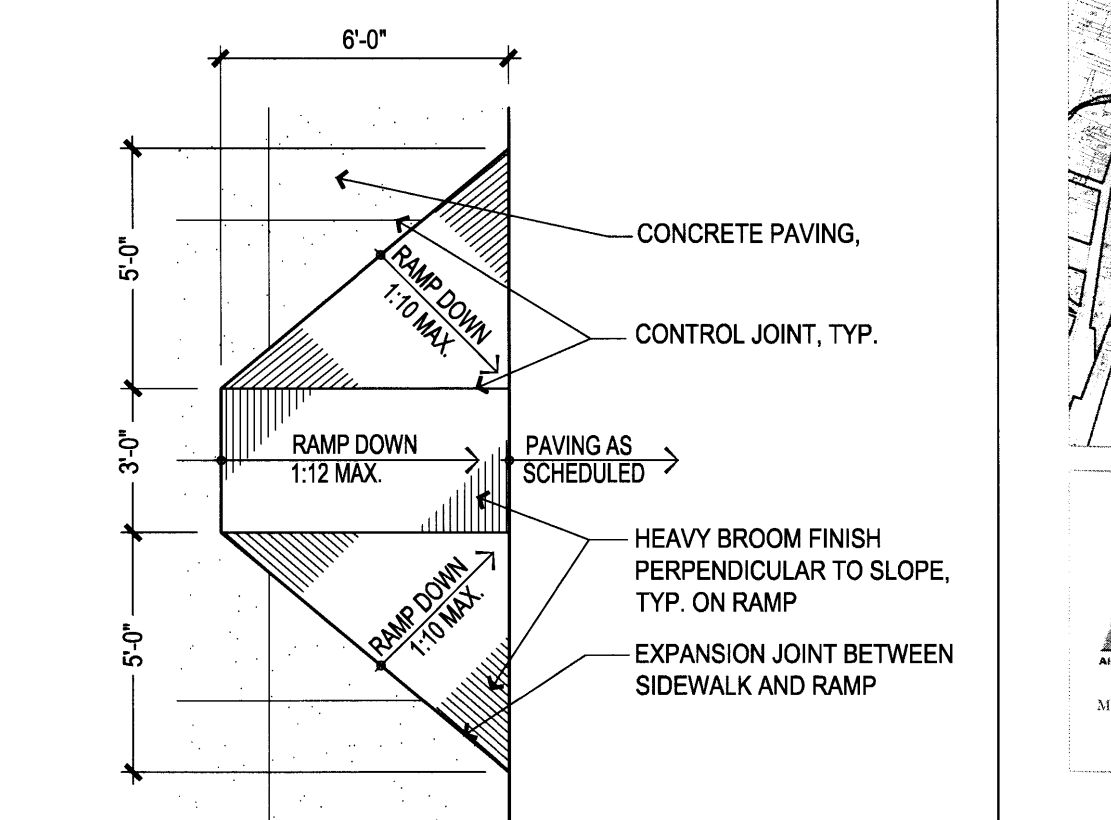
A1 RAMP DETAIL
1/4" = 1'-0"



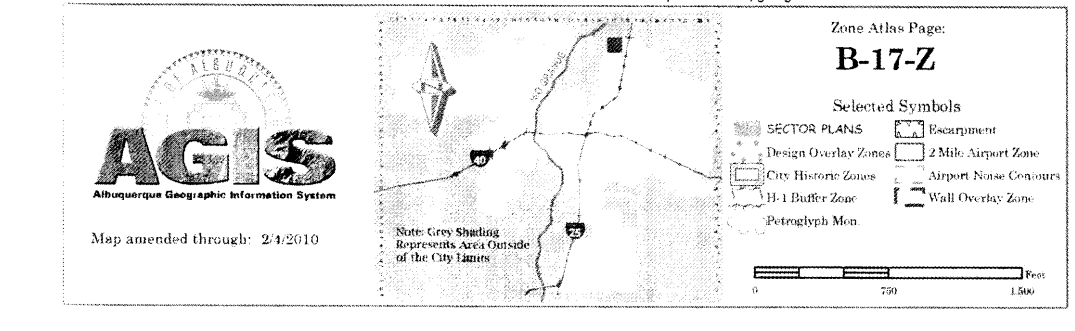
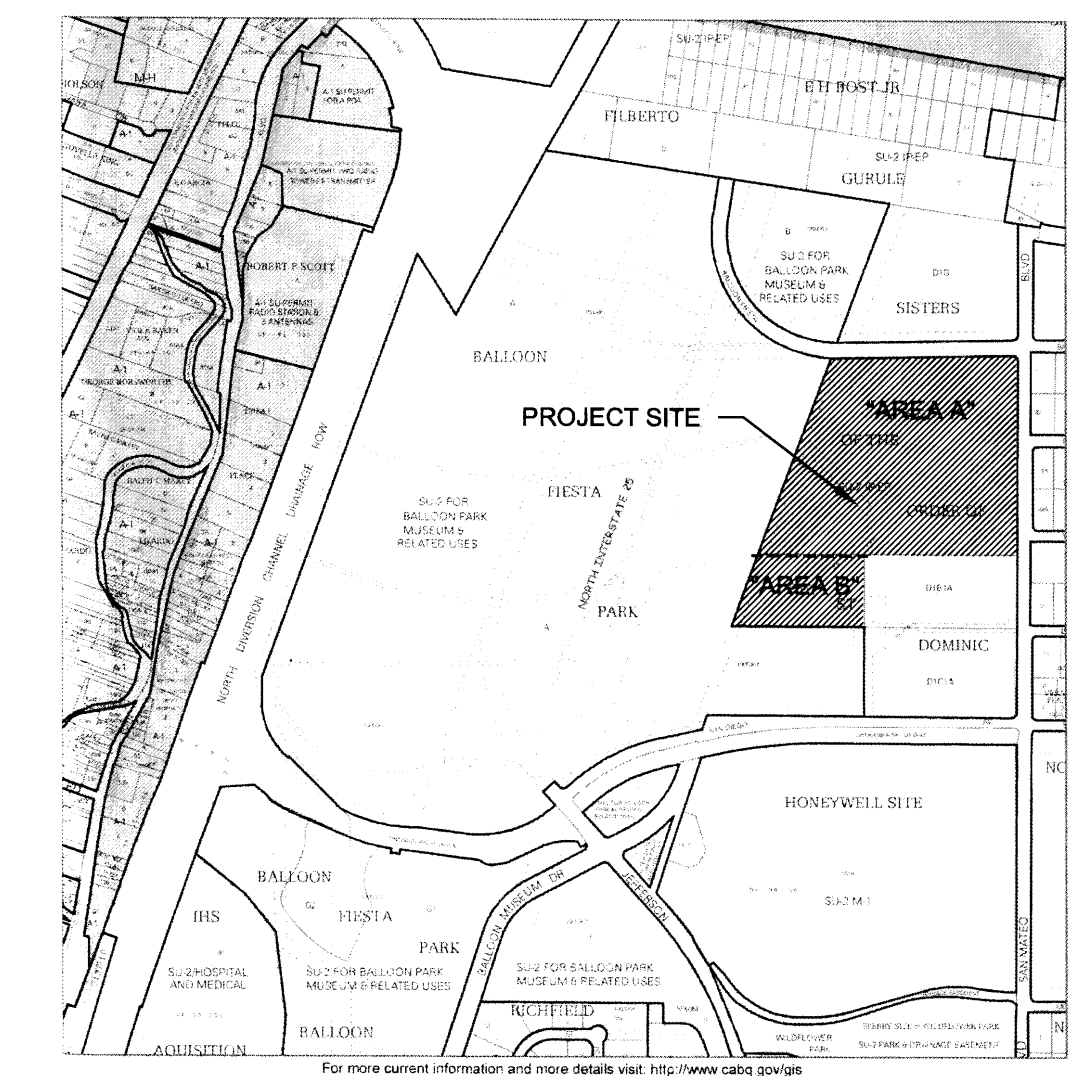
A2 RAMP DETAIL
1/4" = 1'-0"



A3 RAMP DETAIL
1/4" = 1'-0"



A4 RAMP DETAIL
1/4" = 1'-0"



**ZONE ATLAS PAGE
VICINITY MAP**
SCALE: AS SHOWN

GENERAL SHEET NOTES

- A. FOR GRADING AND DRAINAGE INFORMATION, SEE CIVIL DRAWINGS. DO NOT RELY ON LANDSCAPE DRAWINGS FOR GRADING INFORMATION.
- B. FOR ADDITIONAL INFORMATION ON SITE ELEMENTS, SEE SITE PLAN.

PLANTING NOTES

1. THE LANDSCAPE DESIGN SHALL COMPLY WITH THE INTENT OF THE CITY OF ALBUQUERQUE WASTE WATER CONSERVATION, LANDSCAPING AND WATER WASTE ORDINANCE.
2. LANDSCAPING SHALL BE INSTALLED ACCORDING TO THE APPROVED PLAN; INSTALLATION SHALL BE COMPLETE WITHIN 60 DAYS OF THE RELATED BUILDING'S OCCUPANCY.
3. AFTER SUBSTANTIAL COMPLETION, THE INSTALLATION AND MAINTENANCE OF LANDSCAPING AND IRRIGATION SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
4. PLANTING SCHEDULE APPLIES TO NEW PLANT MATERIAL ONLY. FINAL SPECIES AND LOCATIONS MAY VARY FROM THIS PLAN.
5. LANDSCAPING SHALL HAVE ADEQUATE MAINTENANCE. LANDSCAPING WHICH DIES SHALL BE REPLACED BY THE OWNER AS EXPEDITIOUSLY AS POSSIBLE, BUT IN NO CASE LONGER THAN 60 DAYS AFTER NOTIFICATION.
6. THE EXISTING STREET TREE INSTALLATION IS COMPLIANT WITH THE CITY AND SECTOR PLAN REQUIREMENTS.
7. THERE IS EXTENSIVE EXISTING LANDSCAPE THAT WILL BE PRESERVED.
8. THERE IS EXISTING HIGH WATER USE TURF IN THE LANDSCAPE, BUT NO ADDITIONAL HIGH WATER USE TURF IS PROPOSED. SOME TURF WILL REQUIRE RENOVATION DUE TO CONSTRUCTION ACTIVITIES.
9. LANDSCAPE AREAS SHALL BE COVERED WITH MULCH OR SEED. SEE PLANTING LEGEND.
10. MINIMUM INSTALLATION SIZES FOR PLANT MATERIAL VARY BY SPECIES. SEE PLANT LEGEND.
11. A MINIMUM OF 75% OF THE LANDSCAPE AREA SHALL BE COVERED WITH LIVE VEGETATIVE MATERIALS AT MATURITY.

IRRIGATION NOTES

1. THE IRRIGATION SYSTEM DESIGN SHALL COMPLY WITH ALL CITY WATER CONSERVATION LANDSCAPE AND WASTE WATER ORDINANCES.
2. A FULLY AUTOMATED IRRIGATION SYSTEM IS USED TO IRRIGATE TREES, SHRUBS, AND GROUNDCOVER PLANTING AREAS. NEW IRRIGATION FOR NEW PLANT MATERIALS WILL TIE INTO THE EXISTING AUTOMATED SYSTEM.
3. THE IRRIGATION SYSTEM IS CONNECTED TO CITY WATER. THE POINT OF CONNECTION INCLUDES A WATER METER AND BACKFLOW PREVENTER.
4. THE NEW IRRIGATION SYSTEM ZONES SHALL BE DESIGNED WITH SEPARATE ZONES ACCORDING TO PLANT WATER REQUIREMENTS.
5. EACH NEW TREE SHALL RECEIVE THREE (3) - ONE (1) GPH EMITTERS. EACH SHRUB/PERENNIAL SHALL RECEIVE TWO (2) - ONE (1) GPH EMITTERS.
6. THE MAINTENANCE OF THE IRRIGATION SYSTEM SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

LANDSCAPE CALCULATIONS

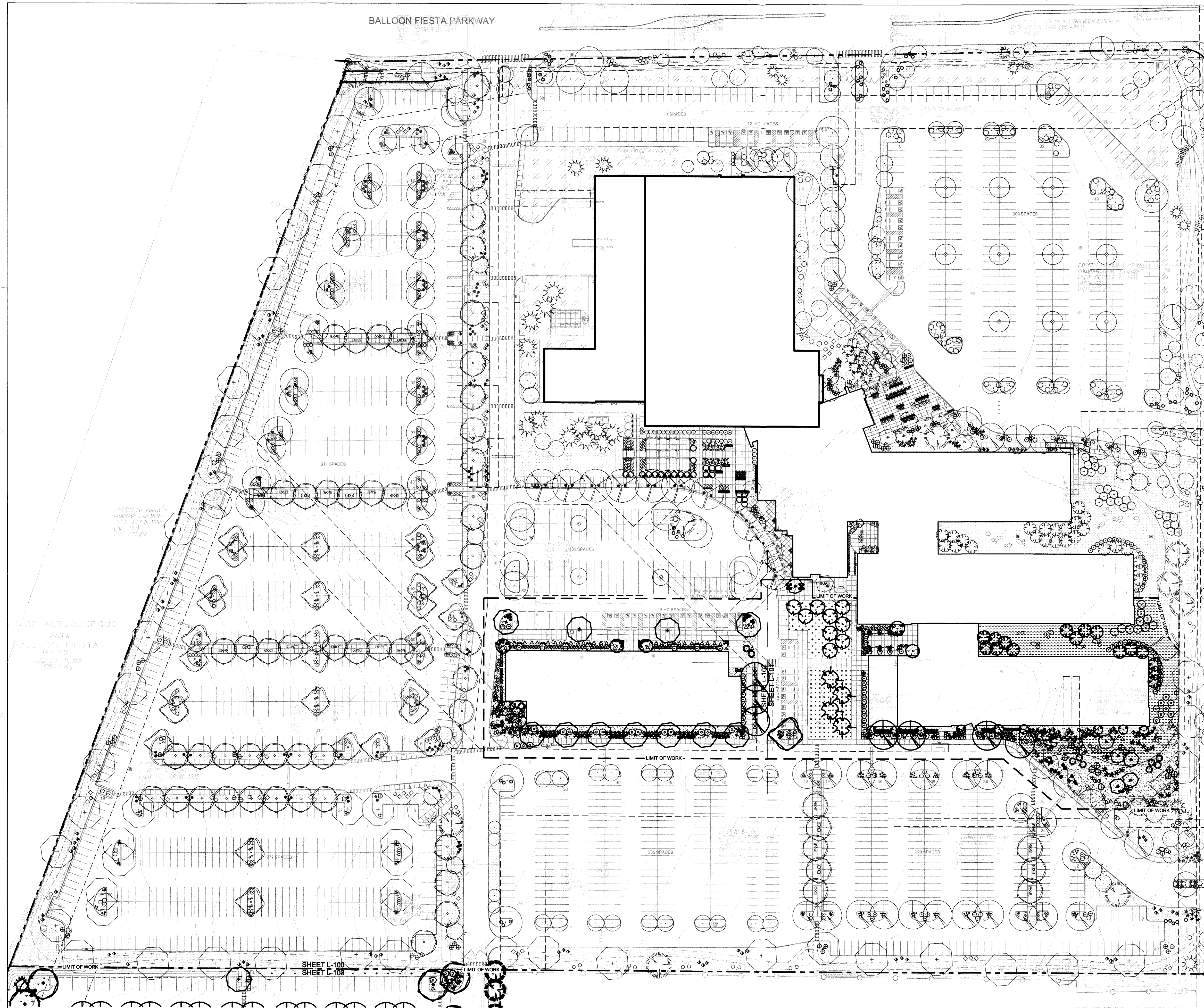
TOTAL SITE AREA: 1,655,598 SF = 38.0 AC
 TOTAL BUILDING AREA: 498,290 SF
 TOTAL R.O.W. AREA: 16,296 SF
 NET LOT AREA: 1,141,010 SF = 26.19 AC

REQUIRED LANDSCAPE AREA: 15% OF NET LOT AREA = 171,152 SF
 PROVIDED LANDSCAPE AREA (NOT INCL. R.O.W.): 413,778 SF = 30%

REQUIRED OPEN SPACE: 5% OF NET LOT AREA = 57,050 SF
 EXISTING OPEN SPACE: 122,320 SF = 10.7%

NEW GRAVEL BED PROVIDED: 63,694 SF
 REQUIRED NEW LIVE GROUNDCOVER: 75% OF NEW GRAVEL BED = 47,770 SF
 PROVIDED NEW LIVE GROUNDCOVER: 47,893 SF

TREES/PARKING SPACES
 REQUIRED: 1 TREE/10 PARKING SPACES = 2,503 PARKING SPACES/10 = 251 TREES
 PROVIDED: 357 TREES (274 EXISTING/83 NEW)



A1 OVERALL LANDSCAPE PLAN
 1" = 60'-0"
 0 30 60 120
 NORTH

PLANTING LEGEND
SEE SHEET L-501 FOR FULL PLANTING SCHEDULE

TREES	
SYMBOL	COMMON NAME
	BLOODGOOD JAPANESE MAPLE
	DESERT WILLOW
	NEW MEXICO OLIVE
	MODESTO ASH
	AFGAN PINE
	EXTRA BLUE LIMBER PINE
	CHINESE PISTACHE
	TEXAS RED OAK
	MEXICAN ELDER
	ALLEE ELM
	CHASTE TREE

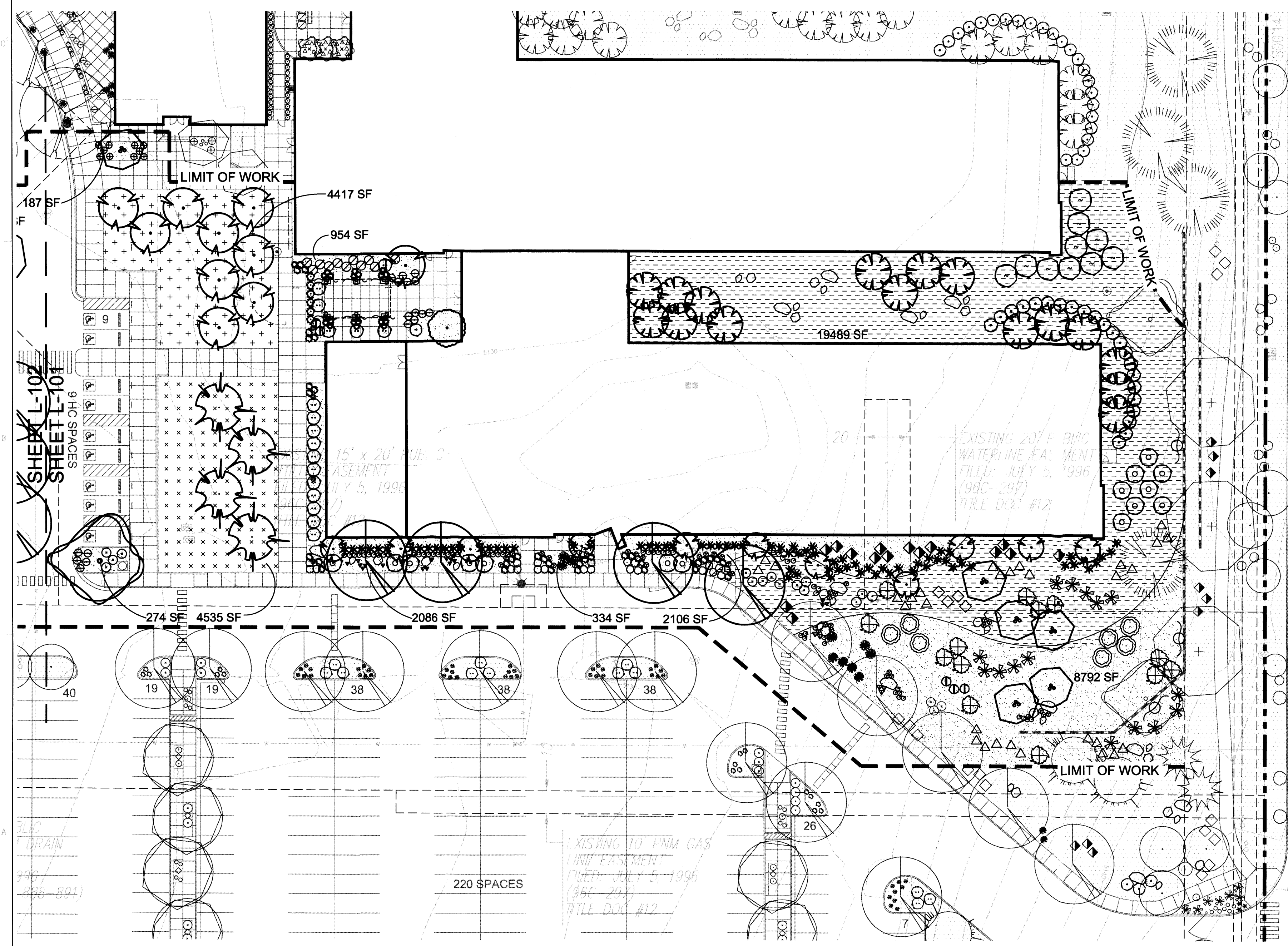
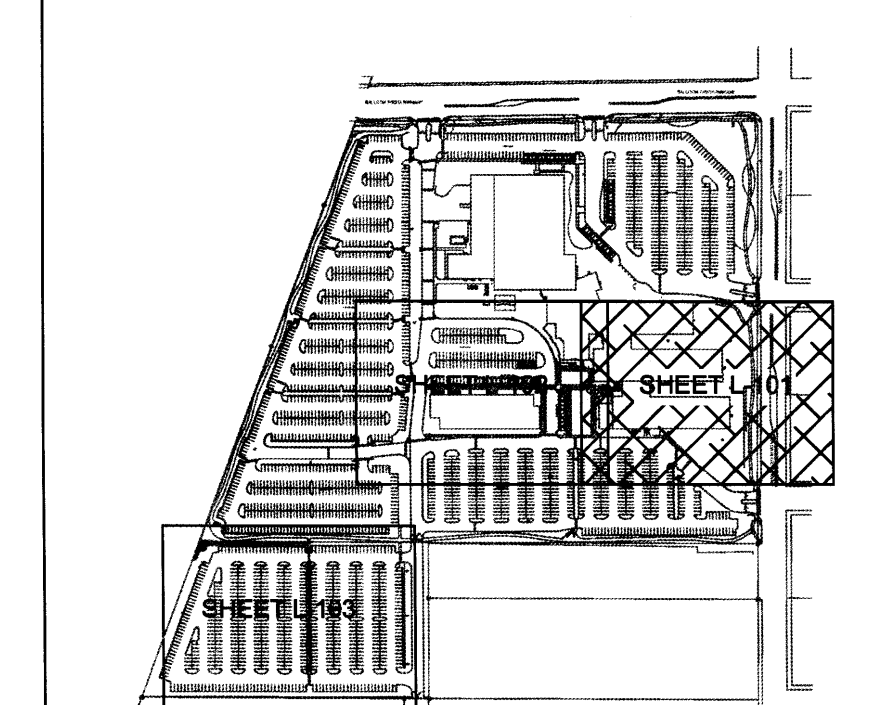
SHRUBS / PERENNIALS	
SYMBOL	COMMON NAME
	THOMPSON BROOM
	TRUMPET VINE
	DARK KNIGHT BLUE MIST SPIREA
	FERNBUSH
	BAILEY'S REDTWIG DOGWOOD
	CORAL BEAUTY COTONEASTER
	CONFLOWER
	APACHE PLUME
	BLANKETFLOWER
	PINK WHIRLING BUTTERFLIES
	BLUE CHIP JUNIPER
	DEEP BLUE LAVENDER
	CREEPING OREGON GRAPE
	SHRUBBY CINQUEFOIL
	WESTERN SAND CHERRY
	PINK LADY INDIA HAWTHORN
	ARP ROSEMARY
	CREEPING GERMANDER
	PERIWINKLE
	WISTERIA

SUCCULENTS	
SYMBOL	COMMON NAME
	PARRY'S AGAVE
	RED MOUNTAIN ICEPLANT
	RED YUCCA
	BEARGRASS
	GREY DESERT SPOON

GRASSES	
SYMBOL	COMMON NAME
	FEATHER REED GRASS
	BLUE FESCUE
	MAIDENHAIR GRASS
	EL TORO MUHLY
	DEER GRASS
	THREAD GRASS

MULCHES	
SYMBOL	DESCRIPTION
	3/4" ROCK MULCH, COLOR: SANTA ANA TAN
	CRUSHER FINES, COLOR: AMARETTO BROWN
	SEEDING - NATIVE GRASS MIX, IRRIGATED
	SEEDING - WILDFLOWER/GRASS MIX
	SEEDING - ALBUQUERQUE EASTSIDE MIX
	LANDSCAPE BOULDERS- 3'X3'3' MIN.
	EXISTING PLANT MATERIAL TO REMAIN

KEYPLAN



A1 LANDSCAPE PLAN
1" = 30'-0"
0 15' 30' 60'
NORTH

PLANTING LEGEND
SEE SHEET L-501 FOR FULL PLANTING SCHEDULE

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	ALLEE ELM
	CHASTE TREE

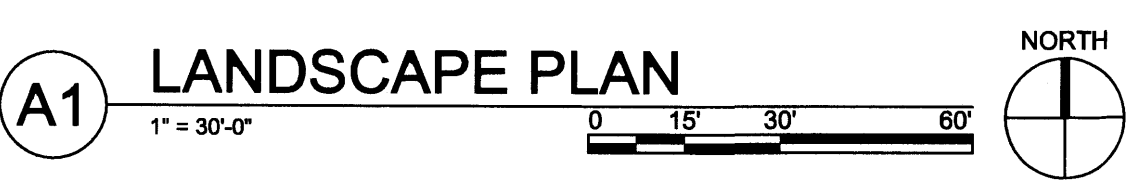
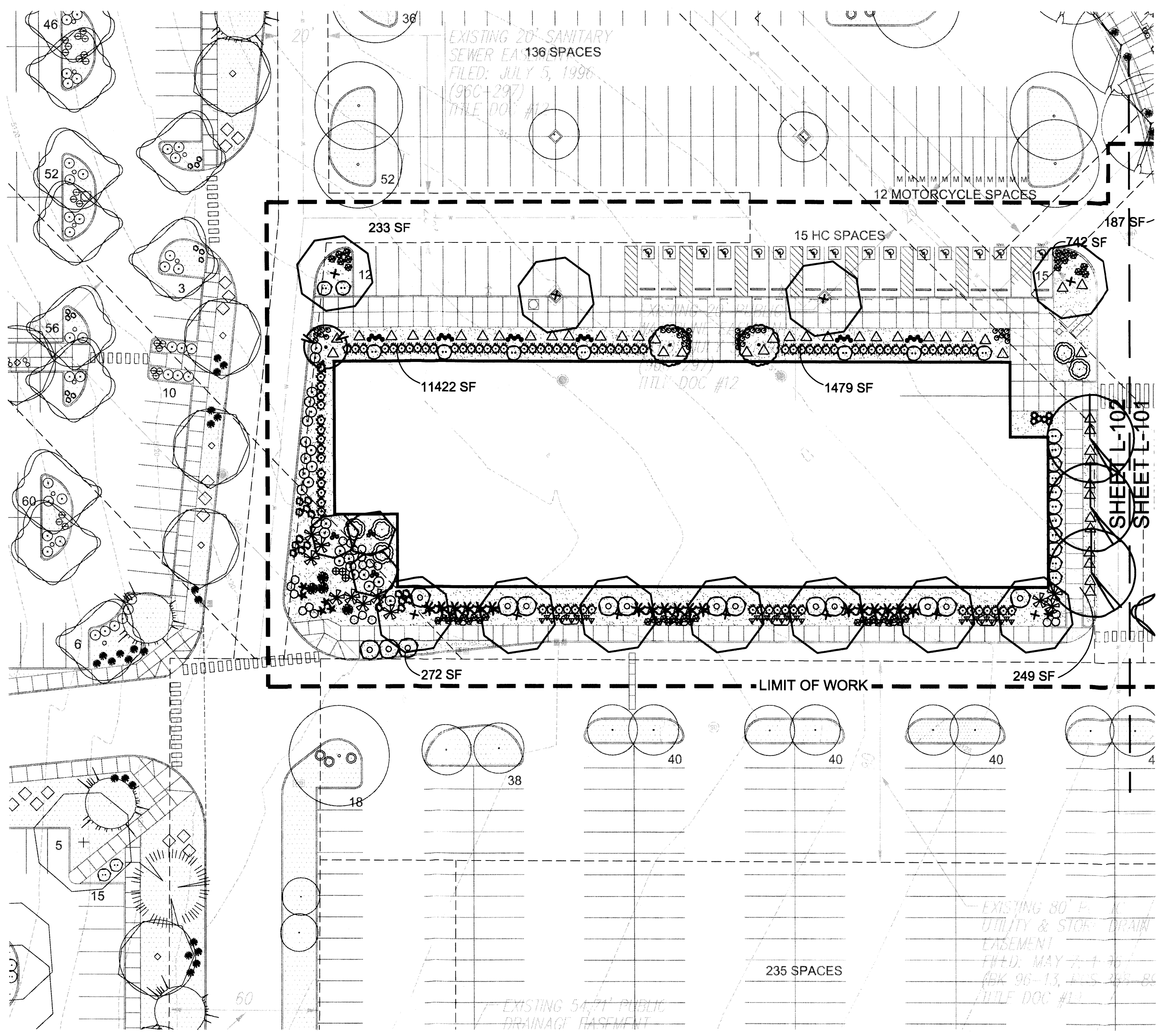
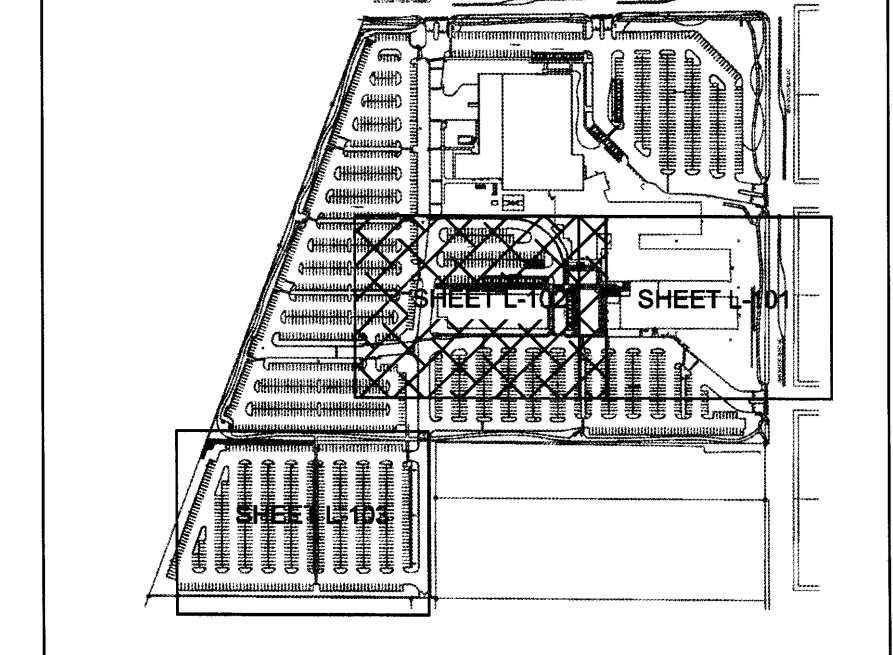
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	EXISTING PLANT MATERIAL TO REMAIN

KEYPLAN



A1 LANDSCAPE PLAN

SEAL

PROJECT

**Presbyterian Rev. Hugh Cooper
Administrative Center - DRB SUBMITTAL**
9521 San Mateo NE
Albuquerque, New Mexico

REVISIONS

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DRAWN BY	CC
REVIEWED BY	MB
DATE	12/03/2015
PROJECT NO	15-0129

DRAWING NAME
LANDSCAPE PLAN

SHEET NO
L-103

PLANTING LEGEND
SEE SHEET L-501 FOR FULL PLANTING SCHEDULE

TREES	
SYMBOL	COMMON NAME
	BLOODGOOD JAPANESE MAPLE
	DESERT WILLOW
	NEW MEXICO OLIVE
	MODESTO ASH
	AFGAN PINE
	EXTRA BLUE LIMBER PINE
	CHINESE PISTACHE
	TEXAS RED OAK
	MEXICAN ELDER
	ALLEE ELM
	CHASTE TREE

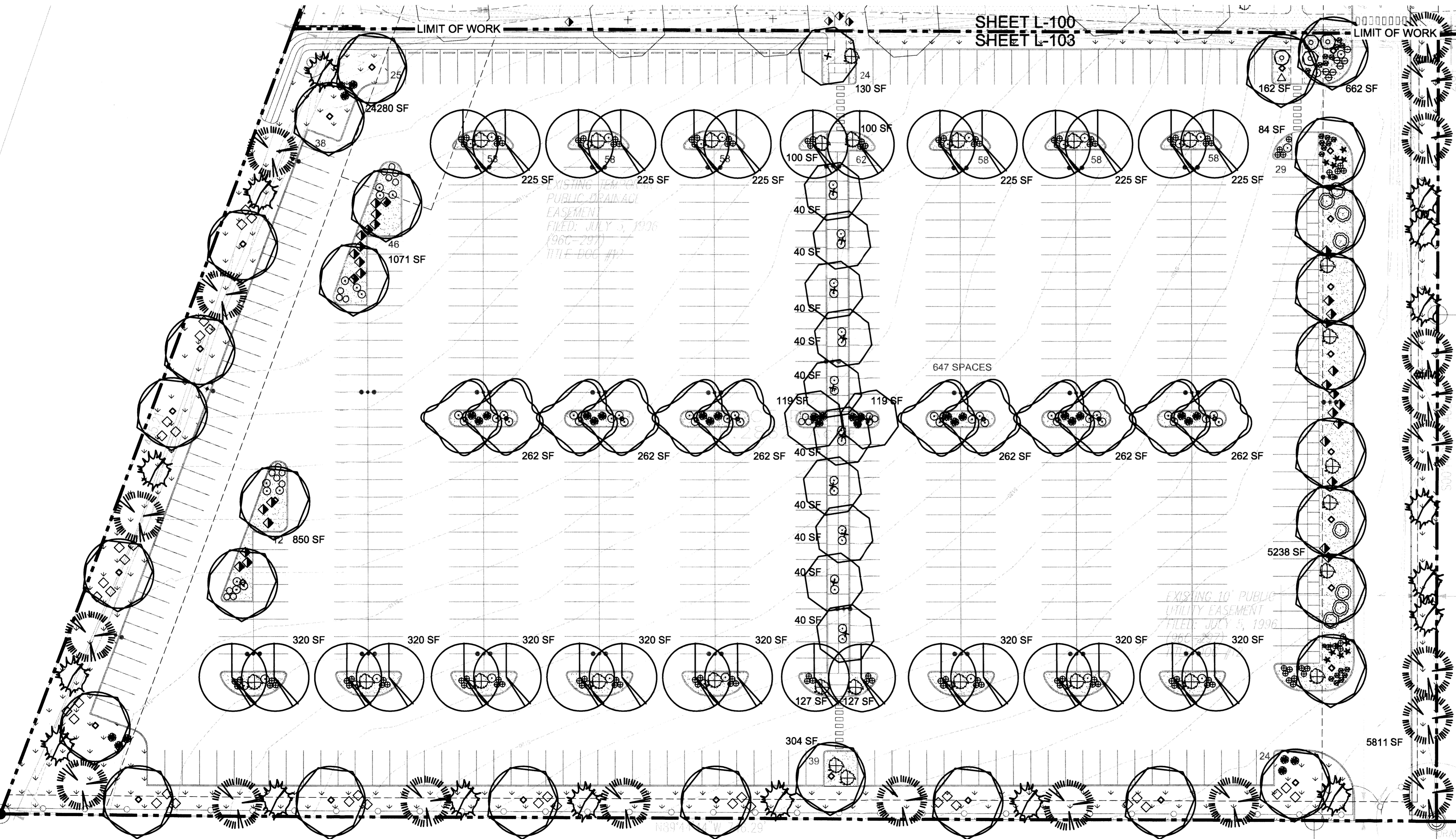
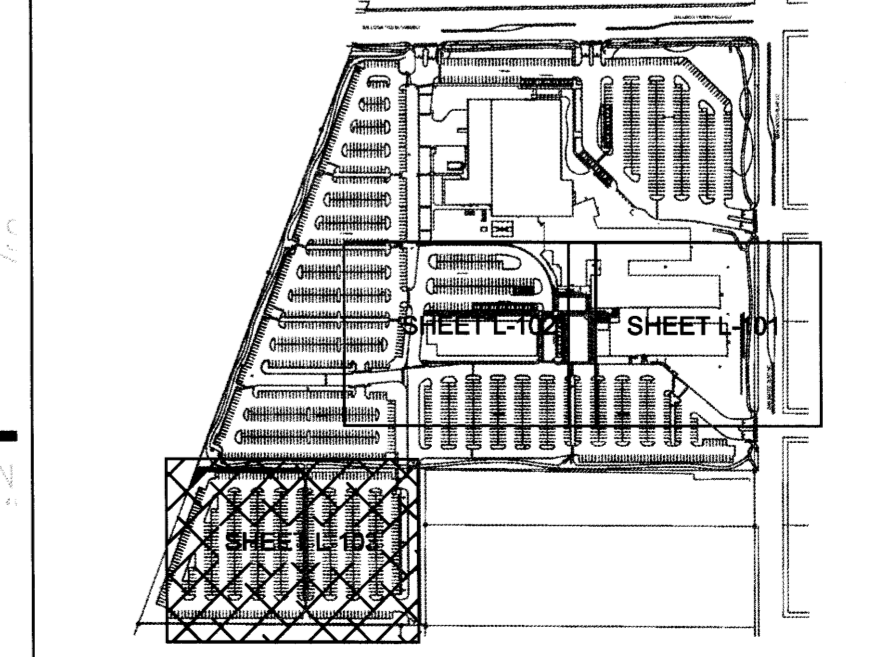
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	SEEDING - ALBUQUERQUE EASTSIDE MIX
	LANDSCAPE BOULDERS- 3'X3'X3' MIN.
	EXISTING PLANT MATERIAL TO REMAIN

KEYPLAN



A1 LANDSCAPE PLAN
1" = 30'-0"
0 15' 30' 60'
NORTH

SHEET L-100
SHEET L-103

**DEKKER
PERICH
SABATINI**

7601 JEFFERSON NE, SUITE 100
ALBUQUERQUE, NM 87109
505.761.9700 / DPSDESIGN.ORG

SEAL

PROJECT

Presbyterian Rev. Hugh Cooper
Administrative Center - DRB SUBMITTAL
9521 San Mateo NE
Albuquerque, New Mexico

REVISIONS

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DRAWN BY BO
REVIEWED BY GSB
DATE 12/03/2015
PROJECT NO 15-0129

DRAWING NAME
**OVERALL
GRADING PLAN**

SHEET NO
C100

GENERAL NOTES

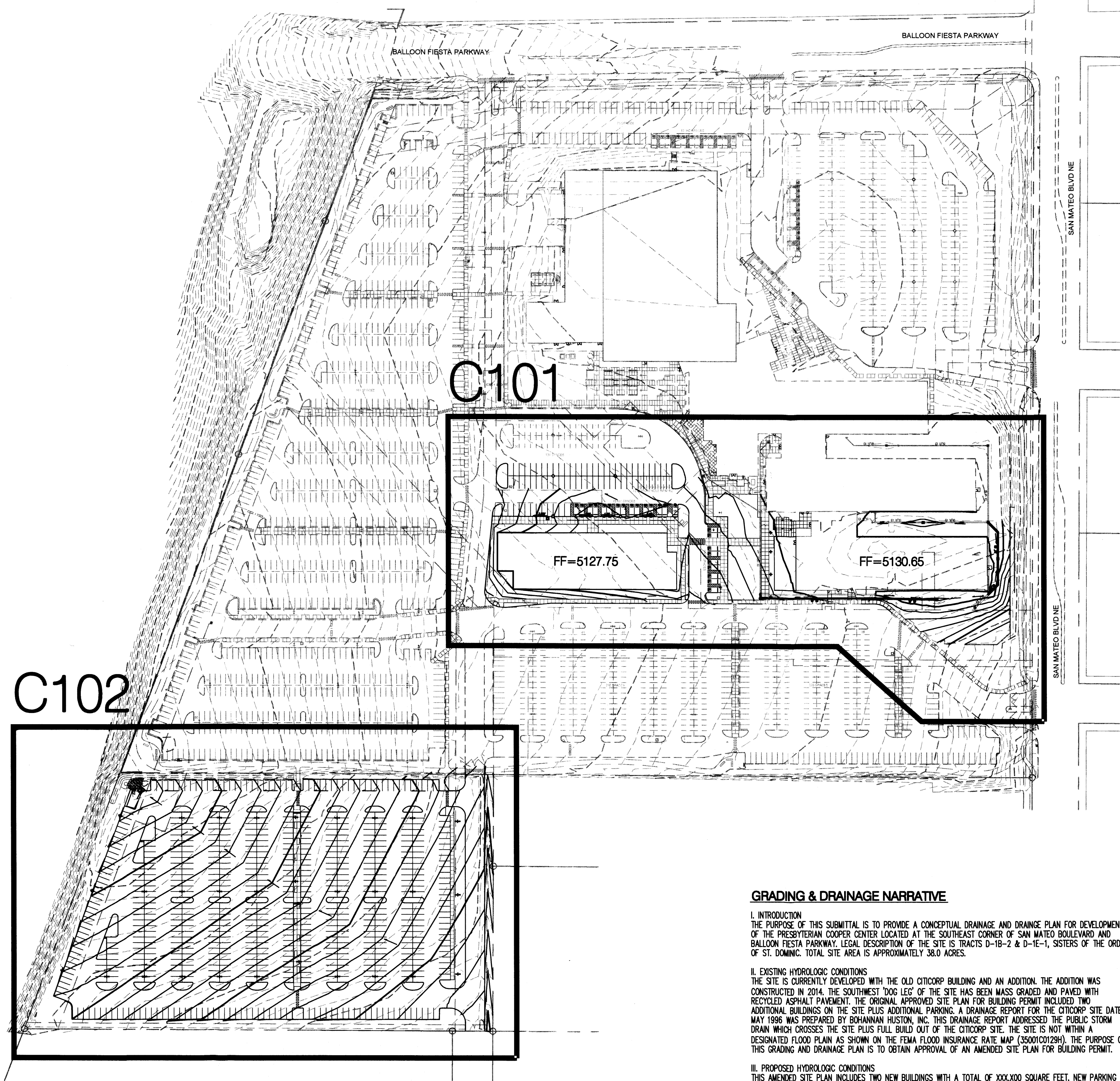
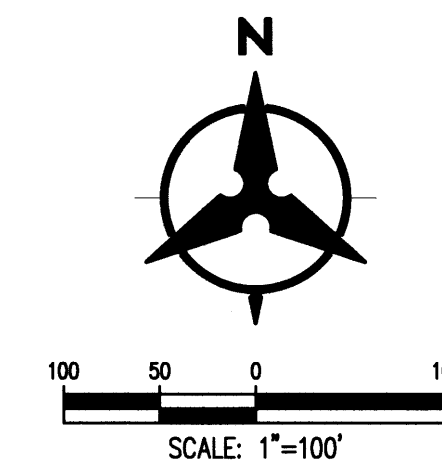
1. ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT. WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
2. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
4. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
5. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
6. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
7. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
8. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
9. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
10. ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
11. THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
12. ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
13. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADES AT THE END AND BEGINNING OF EACH DAY.
14. THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

GRADING NOTES

1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION". ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
4. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
5. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY.
7. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
8. PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
9. ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDIANS AND ISLANDS.
10. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.

LEGEND

- PROPERTY LINE
- - - 5301 - - - EXISTING CONTOURS
- X 5301.15 EXISTING GROUND SPOT ELEVATION
- 65.23 PROPOSED SPOT ELEVATION
- TO-TOP OF CURB, FL-FLOW LINE
- TS-TOP OF SIDEWALK, TA-TOP OF ASPHALT
- EX=EXISTING, FG-FINISHED GRADE
- TG-TOP OF GRATE, INV=INVERT
- FGH-FINISHED GRADE HIGH
- FGL-FINISHED GRADE LOW
- S=2.0% PROPOSED DIRECTION OF FLOW
- ~~~~~ WATER BLOCK / RIDGE OR HIGH POINT
- PROPOSED RETAINING WALL
- - - 5305 - - - PROPOSED INDEX CONTOURS
- PROPOSED INTER CONTOURS
- PROPOSED CURB & GUTTER
- EASEMENT
- SD PROPOSED STORM DRAIN LINE
- ⊙ PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLET



GRADING & DRAINAGE NARRATIVE

I. INTRODUCTION
THE PURPOSE OF THIS SUBMITTAL IS TO PROVIDE A CONCEPTUAL DRAINAGE AND DRAINAGE PLAN FOR DEVELOPMENT OF THE PRESBYTERIAN COOPER CENTER LOCATED AT THE SOUTHEAST CORNER OF SAN MATEO BOULEVARD AND BALLOON FIESTA PARKWAY. LEGAL DESCRIPTION OF THE SITE IS TRACTS D-1B-2 & D-1E-1, SISTERS OF THE ORDER OF ST. DOMING. TOTAL SITE AREA IS APPROXIMATELY 38.0 ACRES.

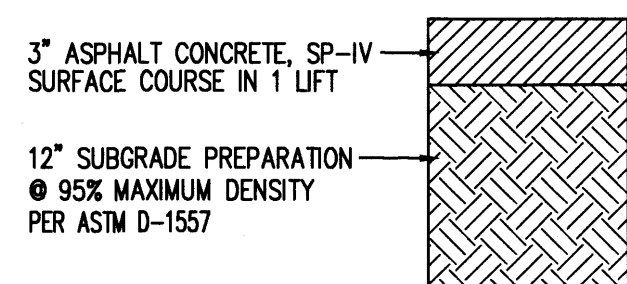
II. EXISTING HYDROLOGIC CONDITIONS
THE SITE IS CURRENTLY DEVELOPED WITH THE OLD CITICORP BUILDING AND AN ADDITION. THE ADDITION WAS CONSTRUCTED IN 2014. THE SOUTHWEST "DOG LEG" OF THE SITE HAS BEEN MASS GRADED AND PAVED WITH RECYCLED ASPHALT PAVEMENT. THE ORIGINAL APPROVED SITE PLAN FOR BUILDING PERMIT INCLUDED TWO ADDITIONAL BUILDINGS ON THE SITE PLUS ADDITIONAL PARKING. A DRAINAGE REPORT FOR THE CITICORP SITE DATED MAY 1996 WAS PREPARED BY BOHANNAN HUSTON, INC. THIS DRAINAGE REPORT ADDRESSED THE PUBLIC STORM DRAIN WHICH CROSSES THE SITE PLUS FULL BUILD OUT OF THE CITICORP SITE. THE SITE IS NOT WITHIN A DESIGNATED FLOOD PLAIN AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP (5500100125H). THE PURPOSE OF THIS GRADING AND DRAINAGE PLAN IS TO OBTAIN APPROVAL OF AN AMENDED SITE PLAN FOR BUILDING PERMIT.

III. PROPOSED HYDROLOGIC CONDITIONS
THIS AMENDED SITE PLAN INCLUDES TWO NEW BUILDINGS WITH A TOTAL OF XXX,XXX SQUARE FEET, NEW PARKING AND LANDSCAPING. THE EXISTING AND PROPOSED IMPROVEMENTS ARE SHOWN ON THE GRADING PLAN. THE HYDROLOGIC ANALYSIS FOR THIS SITE WILL BE BASED ON THE 100-YR, 6-HR STORM EVENT IN ACCORDANCE WITH CHAPTER 22.2 OF THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL.

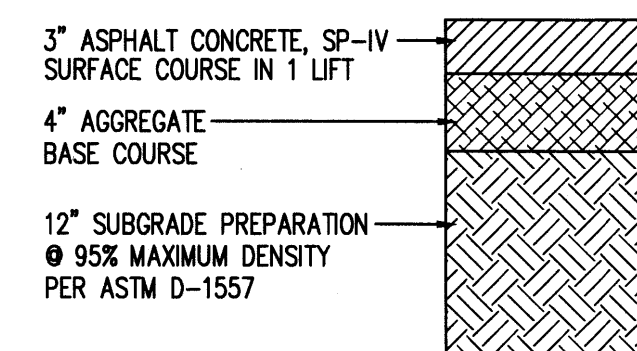
THE APPROVED DRAINAGE REPORT FOR THE CITICORP SITE DELINEATED THE ONSITE DRAINAGE BASINS AND LAND TREATMENTS. THESE DRAINAGE BASINS AND LAND TREATMENTS WERE UPDATED WITH THE MOST RECENT BUILDING ADDITION PROJECT WHICH WAS BASED ON THE APPROVED SITE PLAN.

V. STORM WATER QUALITY
THE EXISTING SITE IS FULLY DEVELOPED. AS NOTED ABOVE, THE PROPOSED PARKING AREA IS CURRENTLY PAVED WITH RECYCLED ASPHALT. WITH THE PARKING LOT IMPROVEMENT, LANDSCAPE ISLANDS WILL BE DEPRESSED AND CURB OPENINGS PROVIDED TO INTERCEPT RUNOFF FROM THE FIRST FLUSH STORM EVENT. THE DESIGN WILL MEETING THE REQUIREMENT TO TREAT THE FIRST FLUSH STORM RUNOFF TO THE EXTENT TECHNICALLY FEASIBLE.

VI. CONCLUSION
THIS PLAN PROVIDES FOR GRADING AND DRAINAGE ELEMENTS WHICH ARE CAPABLE OF SAFELY PASSING THE 100 YEAR STORM IN ACCORDANCE WITH CITY REQUIREMENTS AND ARE IN CONFORMANCE WITH THE PREVIOUSLY APPROVED DRAINAGE REPORT FOR THE CITICORP SITE. WITH THIS SUBMITTAL WE ARE REQUESTING CONCEPTUAL GRADING AND DRAINAGE PLAN APPROVAL FOR SITE PLAN FOR BUILDING PERMIT.



LIGHT DUTY PAVEMENT SECTION
NOT TO SCALE



HEAVY DUTY PAVEMENT SECTION
NOT TO SCALE

**DEKKER
PERICH
SABATINI**

7601 JEFFERSON NE, SUITE 100
ALBUQUERQUE, NM 87109

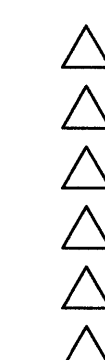
505.761.9700 / DPDESIGN.ORG

SEAL

PROJECT

**Presbyterian Rev. Hugh Cooper
Administrative Center - DRB SUBMITTAL**
9521 San Mateo NE
Albuquerque, New Mexico

REVISIONS

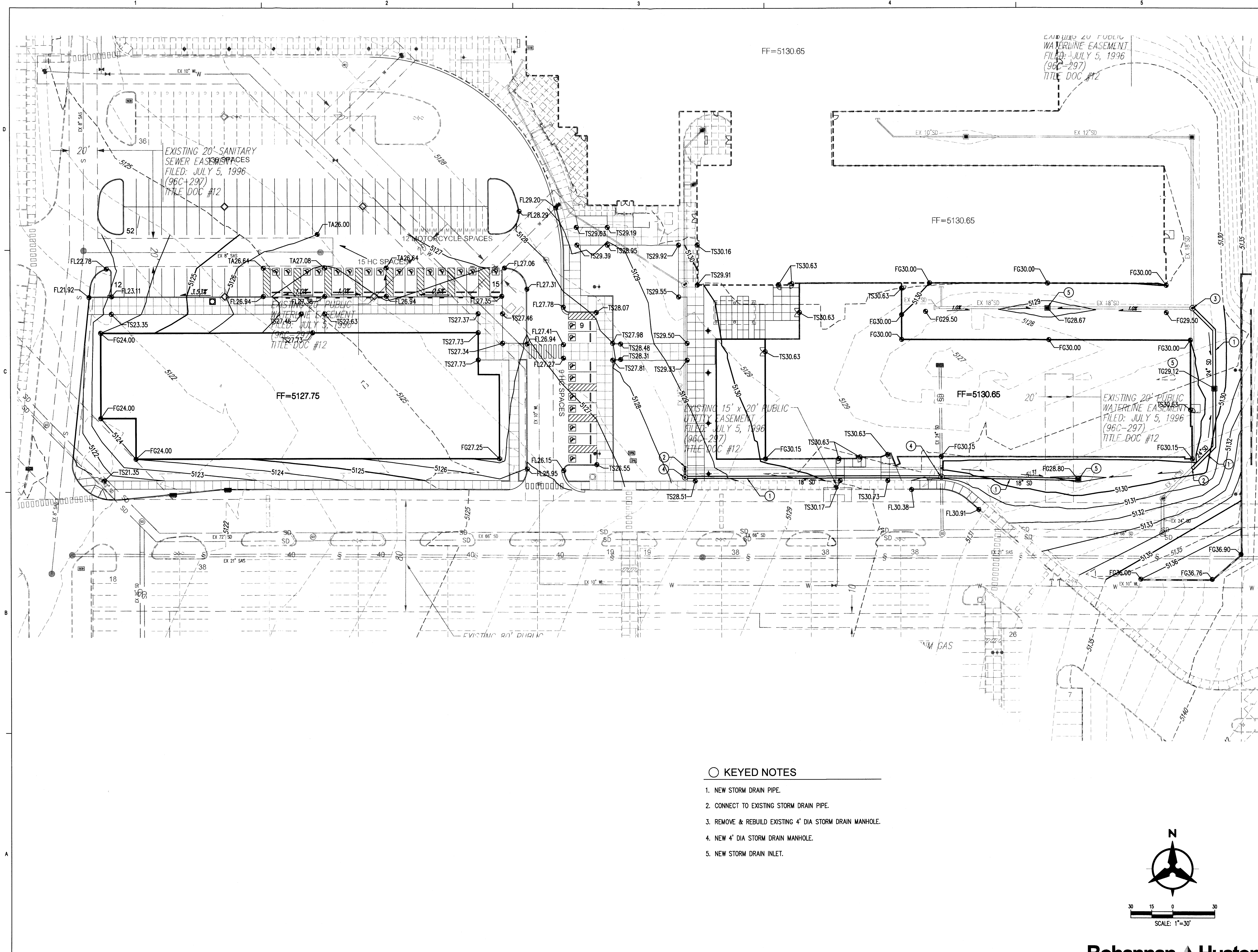


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REVIEWED BY GSB
DATE 12/03/2015
PROJECT NO 15-0129

DRAWING NAME
GRADING PLAN

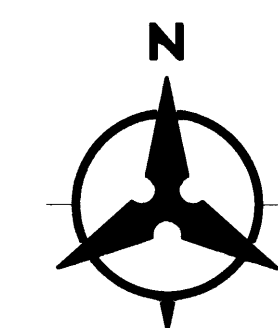
SHEET NO

C101



KEYED NOTES

- 1. NEW STORM DRAIN PIPE.
- 2. CONNECT TO EXISTING STORM DRAIN PIPE.
- 3. REMOVE & REBUILD EXISTING 4' DIA STORM DRAIN MANHOLE.
- 4. NEW 4' DIA STORM DRAIN MANHOLE.
- 5. NEW STORM DRAIN INLET.



SCALE: 1"=30'

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SABATINI**

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Administrative Center - DRB SUBMITTAL**
9521 San Mateo NE
Albuquerque, New Mexico

REVISIONS

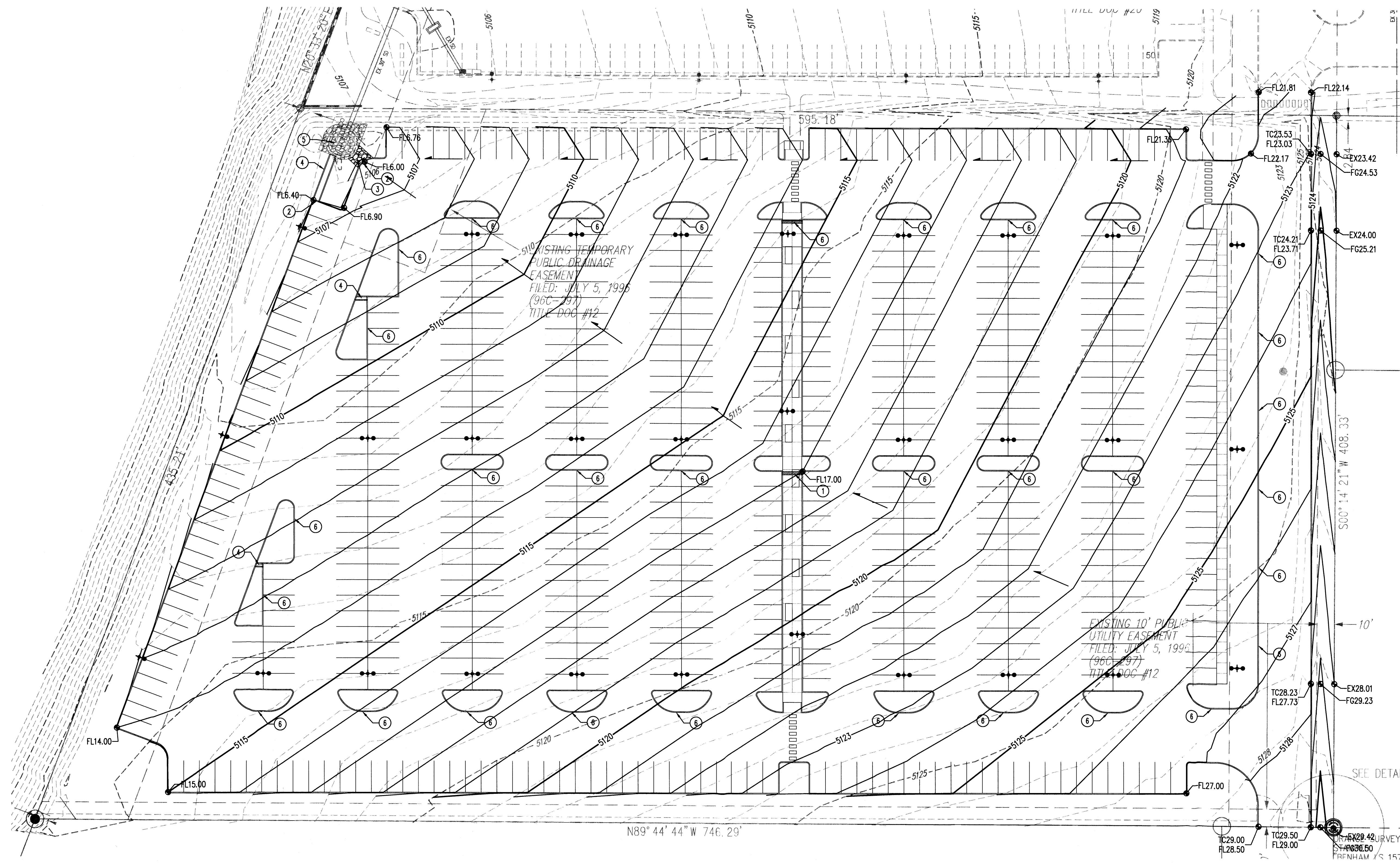
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REVIEWED BY	GSB
DATE	12/03/2015
PROJECT NO	15-0129

DRAWING NAME
GRADING PLAN

SHEET NO

C102



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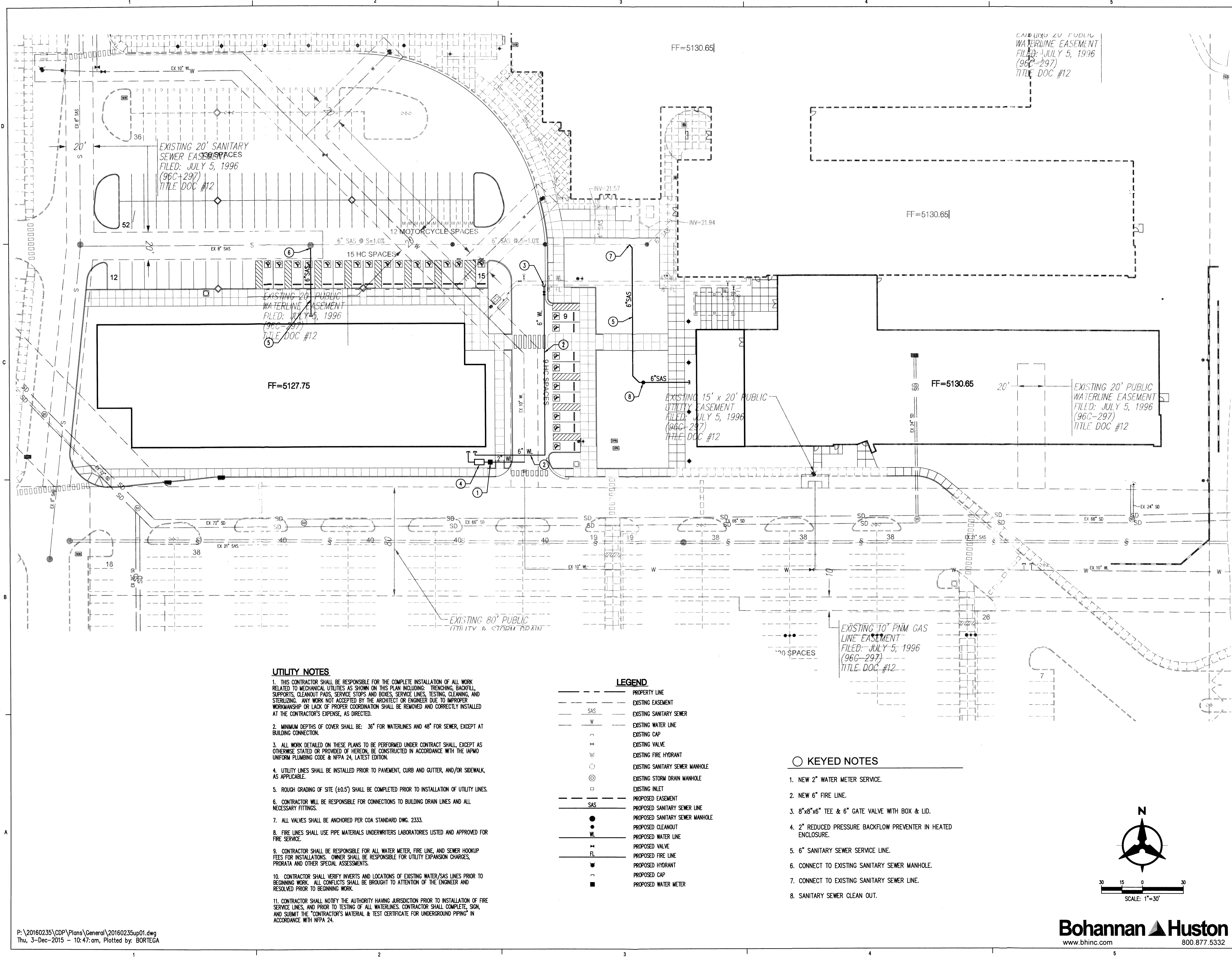
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REVIEWED BY	GSB
DATE	12/03/2015
PROJECT NO	15-0129

DRAWING NAME
UTILITY PLAN

SHEET NO

C200

Bohannon & Huston
www.bhinc.com 800.877.5332



UTILITY NOTES

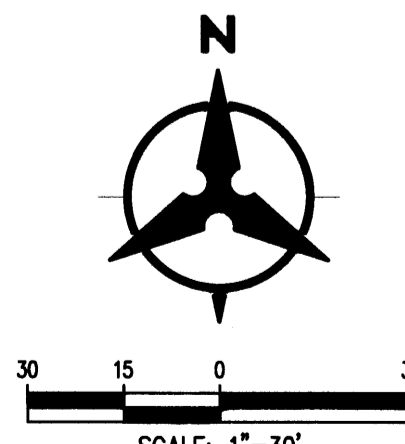
- THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO MECHANICAL UTILITIES AS SHOWN ON THIS PLAN INCLUDING: TRENCHING, BACKFILL, SUPPORTS, CLEANOUT PADS, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING, CLEANING, AND STERILIZING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.
- MINIMUM DEPTHS OF COVER SHALL BE: 36" FOR WATERLINES AND 48" FOR SEWER, EXCEPT AT BUILDING CONNECTION.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED OF HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE IAPMO UNIFORM PLUMBING CODE & NFPA 24, LATEST EDITION.
- UTILITY LINES SHALL BE INSTALLED PRIOR TO PAVEMENT, CURB AND GUTTER, AND/OR SIDEWALK, AS APPLICABLE.
- ROUGH GRADING OF SITE (±0.5') SHALL BE COMPLETED PRIOR TO INSTALLATION OF UTILITY LINES.
- CONTRACTOR WILL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING DRAIN LINES AND ALL NECESSARY FITTINGS.
- ALL VALVES SHALL BE ANCHORED PER COA STANDARD DWG. 2333.
- FIRE LINES SHALL USE PIPE MATERIALS UNDERWRITERS LABORATORIES LISTED AND APPROVED FOR FIRE SERVICE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WATER METER, FIRE LINE, AND SEWER HOOKUP FEES FOR INSTALLATIONS. OWNER SHALL BE RESPONSIBLE FOR UTILITY EXPANSION CHARGES, PRORATA AND OTHER SPECIAL ASSESSMENTS.
- CONTRACTOR SHALL VERIFY INVERTS AND LOCATIONS OF EXISTING WATER/SAS LINES PRIOR TO BEGINNING WORK. ALL CONFLICTS SHALL BE BROUGHT TO ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO BEGINNING WORK.
- CONTRACTOR SHALL NOTIFY THE AUTHORITY HAVING JURISDICTION PRIOR TO INSTALLATION OF FIRE SERVICE LINES, AND PRIOR TO TESTING OF ALL WATERLINES. CONTRACTOR SHALL COMPLETE, SIGN, AND SUBMIT THE "CONTRACTOR'S MATERIAL & TEST CERTIFICATE FOR UNDERGROUND PIPING" IN ACCORDANCE WITH NFPA 24.

LEGEND

- PROPERTY LINE
- - - EXISTING EASEMENT
- SAS --- EXISTING SANITARY SEWER
- W --- EXISTING WATER LINE
- EXISTING CAP
- ⊕ --- EXISTING VALVE
- ⊕ --- EXISTING FIRE HYDRANT
- --- EXISTING SANITARY SEWER MANHOLE
- ⊕ --- EXISTING STORM DRAIN MANHOLE
- --- EXISTING INLET
- SAS --- PROPOSED EASEMENT
- SAS --- PROPOSED SANITARY SEWER LINE
- --- PROPOSED SANITARY SEWER MANHOLE
- --- PROPOSED CLEANOUT
- W --- PROPOSED WATER LINE
- PROPOSED VALVE
- FL --- PROPOSED FIRE LINE
- ⊕ --- PROPOSED HYDRANT
- PROPOSED CAP
- --- PROPOSED WATER METER

KEYED NOTES

- NEW 2" WATER METER SERVICE.
- NEW 6" FIRE LINE.
- 8"x8"x6" TEE & 6" GATE VALVE WITH BOX & LID.
- 2" REDUCED PRESSURE BACKFLOW PREVENTER IN HEATED ENCLOSURE.
- 6" SANITARY SEWER SERVICE LINE.
- CONNECT TO EXISTING SANITARY SEWER MANHOLE.
- CONNECT TO EXISTING SANITARY SEWER LINE.
- SANITARY SEWER CLEAN OUT.



GENERAL NOTES

A. REFER TO SHEET A3b FOR FURTHER INFORMATION

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LEGEND

- EIFS, COLOR 1: CREAM
- EIFS, COLOR 2: RED/BROWN
- EIFS, COLOR 3: GRAY
- INSULATED METAL PANEL, COLOR: GRAY
- SPANDREL GLASS, COLOR: BLUE/GREEN

SEAL

PROJECT

Presbyterian Rev. Hugh Cooper
Administrative Center - DRB SUBMITTAL
9521 San Mateo NE
Albuquerque, New Mexico

REVISIONS

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REVIEWED BY

DATE 12/03/2015

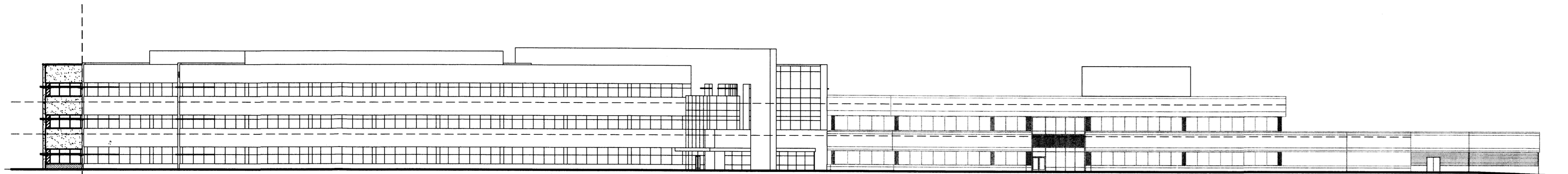
PROJECT NO 15-0129

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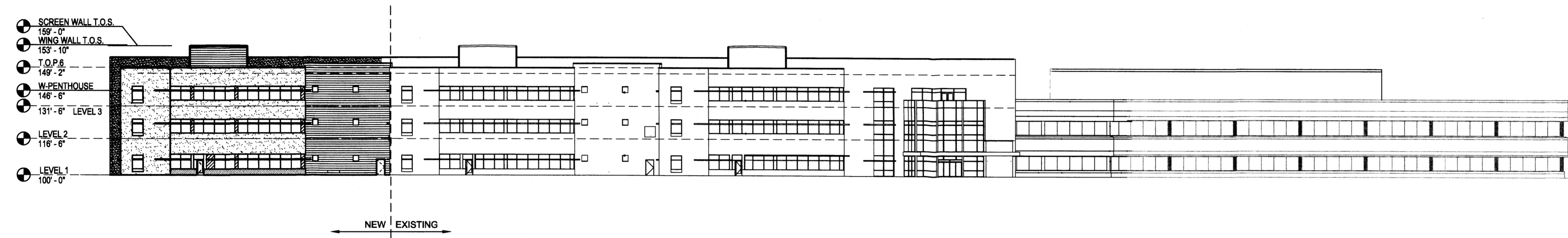
OVERALL BUILDING
ELEVATIONS

SHEET NO

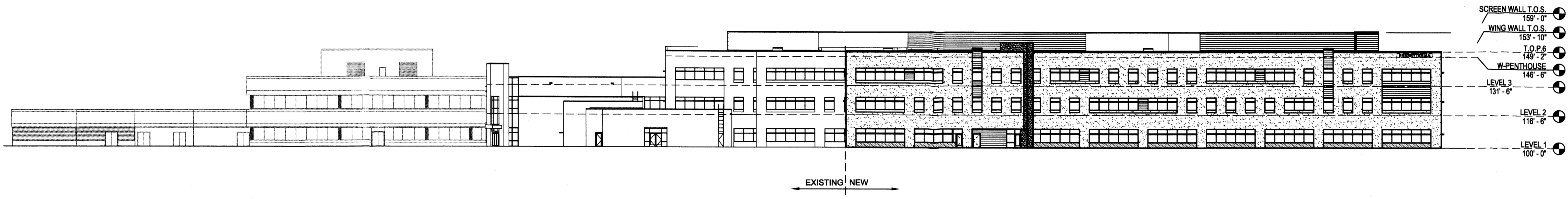
A3a



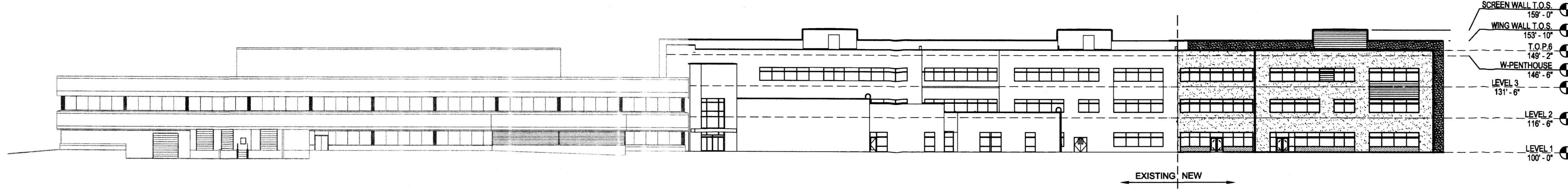
D1 OVERALL NORTH ELEVATION
1/32" = 1'-0"



C1 OVERALL EAST ELEVATION
1/32" = 1'-0"



B1 OVERALL SOUTH ELEVATION
1/32" = 1'-0"



A1 OVERALL WEST ELEVATION
1/32" = 1'-0"

- SCREEN WALL T.O.S. 159'-0"
- WING WALL T.O.S. 153'-10"
- T.O.P.6 149'-2"
- W.PENTHOUSE 146'-6"
- LEVEL 3 131'-6"
- LEVEL 2 116'-6"
- LEVEL 1 100'-0"

- SCREEN WALL T.O.S. 159'-0"
- WING WALL T.O.S. 153'-10"
- T.O.P.6 149'-2"
- W.PENTHOUSE 146'-6"
- LEVEL 3 131'-6"
- LEVEL 2 116'-6"
- LEVEL 1 100'-0"

PARKING INFORMATION

PARKING REQUIRED:
 GROUND FLOOR - 200/148,801 sf = 744 SPACES
 UPPER FLOORS - 300/177,189 sf = 591 SPACES
 TOTAL REQUIRED: 1,335 SPACES

PARKING PROVIDED:
 840 EXISTING PARKING SPACES
 1,339 NEW PARKING SPACES
 2,179 TOTAL PARKING SPACES

ACCESSIBLE PARKING REQUIRED:
 (801-1000 SPACES; 20 + 1 FOR EVERY 100 THAT EXCEEDS 1000) = 24 SPACES (3 VAN ACCESSIBLE)

ACCESSIBLE PARKING PROVIDED:
 30 EXISTING ACCESSIBLE PARKING SPACES
 21 NEW ACCESSIBLE PARKING SPACES
 51 TOTAL ACCESSIBLE PARKING SPACES (10 VAN ACCESSIBLE)

MOTORCYCLE PARKING REQUIRED:
 (MORE THAN 1000; 8 + 1 FOR EACH ADDITIONAL 500 SPACES) = 9 SPACES

MOTORCYCLE PARKING PROVIDED:
 10 SPACES

BICYCLE PARKING REQUIRED:
 20/1,335 = 67 SPACES

BICYCLE PARKING PROVIDED:
 69 SPACES

RECORDING INFORMATION FOR ALL EASEMENTS: TRACTS D-1B-2 AND D-1E-1, SISTERS OF THE ORDER OF ST. DOMINIC, RECORDED ON JULY 5, 1996 IN BOOK 90-C, FOLIO 297 IN THE RECORDS OF THE BERNALILLO COUNTY CLERK, STATE OF NEW MEXICO.

NOTE: SHADED AREA INDICATES EXISTING CONSTRUCTION TO REMAIN

SITE DATA

LEGAL DESCRIPTION:
 TRACT D-1E-1 SISTERS OF THE ORDER OF ST. DOMINIC, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

ZONE:
 SU-2 I/EP

GROSS F.A.R. (GBA / SITE AREA):
 325,790 SF / 1,655,598 SF = 0.1968 ACRES

SITE AREA:
 TRACT D-1E-1: 31.7211 ACRES (1,381,771 SF)

GROSS BUILDING AREA (GBA):
 BUILDING 1 (EXISTING): 133,090 SF
 BUILDING 2 (NEW): 192,700 SF
 TOTAL GBA: 325,790 SF

LEGEND

- PROPERTY LINE
- EASEMENT
- EXISTING POLE MOUNTED PARKING LIGHT; 40'-0" MAX. HEIGHT. RE: DETAIL 5/SHEET A1a
- NEW POLE MOUNTED PARKING LIGHT; 20'-0" MAX. HEIGHT. RE: DETAIL 5/SHEET A1a
- NEW POLE MOUNTED PEDESTRIAN LIGHT; 14'-0" MAX. HEIGHT. RE: DETAIL 5/SHEET A1a
- LIGHT BOLLARD
- FIRE HYDRANT
- BIKE RACK
- BIKE LOCKER

SHEET KEYED NOTES

1. TYPICAL PARKING SPACE; 9'-0" x 18'-0" UNLESS NOTED OTHERWISE (U.N.O.)
2. TYPICAL PARKING SPACE; 9'-0" x 20'-0" U.N.O.
3. TYPICAL PARKING SPACE; 8'-5" x 20'-0" U.N.O.
4. TYPICAL PARKING SPACE; 8'-5" x 18'-0" U.N.O.
5. TYPICAL ADA PARKING SPACE; 8'-0" x 20'-0" UNLESS NOTED OTHERWISE
6. PARKING SPACE; 9'-0" x 16'-0"; ALLOWS FOR VEHICLES TO OVERHANG 2'-0" ONTO SIDEWALK. CURB ACTS AS WHEEL STOP
7. TYPICAL MOTORCYCLE PARKING SPACE; 4'-5" x 18'-0", WITH POLE MOUNTED SIGNAGE TO NEXT CURB
8. ASPHALT PAVING
9. 6'-0" WIDE PEDESTRIAN CROSSWALK. COLOR AND TEXTURE PATTERN TO DIFFERENTIATE FROM SURROUNDING ASPHALT PAVING
10. CONCRETE CURB
11. CONCRETE WHEEL STOP
12. POLE MOUNTED ADA SIGNAGE
13. PAINTED ADA PAVEMENT SIGNAGE
14. METAL BIKE RACK
15. RELOCATED EXISTING BIKE LOCKERS
16. EXISTING FIRE HYDRANT
17. LANDSCAPED AREA: REFER TO LANDSCAPE PLAN
18. 4'-0" x 10'-0" PLANTING AREAS FLUSH WITH SIDEWALK. REFER TO LANDSCAPE PLAN
19. 8' x 4'-0" HIGH CMU COURTYARD WALL; FINISHED WITH EIFS, COLOR: RUST
20. 8' x 7'-0" HIGH CMU SCREEN WALL; FINISHED WITH EIFS, COLOR: RUST
21. COVERED OUTDOOR EATING AREA
22. CONCRETE BENCHES; RE: DETAIL 2/SHEET A1a
23. DIRECTIONAL SIGN; RE: DETAIL 4/SHEET A1a
24. PROPOSED MONUMENT SIGN; RE: DETAIL 3/SHEET A1a
25. EXISTING SPEED BUMP
26. NEW 3'-0" WIDE SPEED BUMP
27. 6'-0" WIDE x 6" HIGH RAISED PEDESTRIAN CROSSWALK
28. 6'-0" WIDE CONCRETE SIDEWALK
29. 8'-0" WIDE CONCRETE SIDEWALK
30. EXISTING INGRESS / EGRESS
31. EXISTING LIGHT POLE TO REMAIN
32. NEW LIGHT POLE
33. LIGHT BOLLARD
34. ACCESSIBLE RAMP; RE: DETAIL 6/A1a
35. EXISTING 10' ELECTRICAL AND PHONE EASEMENT
36. EXISTING 10' GAS EASEMENT
37. EXISTING 40' PUBLIC DRAINAGE EASEMENT
38. EXISTING 50' PUBLIC DRAINAGE EASEMENT
39. EXISTING 54.71' PUBLIC DRAINAGE EASEMENT
40. EXISTING 60' PUBLIC DRAINAGE EASEMENT
41. EXISTING 15' PUBLIC SIDEWALK EASEMENT
42. EXISTING 35' PUBLIC SIDEWALK EASEMENT
43. EXISTING 60' PUBLIC UTILITY EASEMENT
44. EXISTING 80' PUBLIC UTILITY & STORM DRAIN EASEMENT
45. EXISTING 20' PUBLIC WATERLINE EASEMENT
46. EXISTING 20' SANITARY SEWER EASEMENT
47. EXISTING 15' x 20' PUBLIC UTILITY EASEMENT
48. EXISTING TRANSFORMER
49. NEW TRANSFORMER
50. LOCATION OF TRASH COMPACTOR
51. ACCESSIBLE RAMP; RE: DETAIL 7/A1a
52. ACCESSIBLE RAMP; RE: DETAIL 8/A1a
53. ACCESSIBLE RAMP; RE: DETAIL 9/A1a
54. 130 FT. NEW CONCRETE CURB
55. 8' WIDE CRUSHER FINE WALKING TRAIL, NON-ADA ACCESSIBLE
56. RESPITE AREA WITH STONE BENCH PER DETAIL 2/A1a
57. EXISTING FENCE TO BE REMOVED
58. EXISTING FENCE TO REMAIN
59. SITE DISTANCE SETBACK LINE, 30' FROM CURB FACE, TYPICAL

FORMER PROJECT NUMBER: 1007488

PROJECT NUMBER: 1007488

APPLICATION NUMBER:

Is an Infrastructure List Required? (X) Yes () No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEER, TRANSPORTATION DIVISION
 Allen Porter 07-25-12 DATE

ABCHWIA
 Capule D. Dumont 07-25-12 DATE

PARKS AND RECREATION DEPARTMENT
 Antonio C. 11-30-12 DATE

CITY ENGINEER
 [Signature] 7-19-12 DATE

SOLID WASTE MANAGEMENT
 [Signature] 12-5-12 DATE

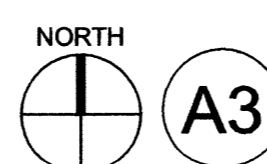
DRB CHAIRPERSON, PLANNING DEPARTMENT

BALLOON FIESTA PARKWAY

SAN MATEO BLVD NE

EXISTING OFFICE BUILDING
 133,090 SF

NEW OFFICE BUILDING
 192,700 SF



ENLARGED SITE PLAN
 1" = 60'-0"

AFD PLANS CHECKING OFFICE
 924-3611
 APPROVED/DISAPPROVED
 HYDRANT(S) ONLY
 [Signature] 11/19/12
 SIGNATURE & DATE

THE SUBJECT PROPERTY IS LOCATED NEAR A FORMER LANDFILL. DUE TO THE SUBJECT PROPERTY BEING NEAR A FORMER LANDFILL, CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATION BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILLS AND LANDFILL GAS ISSUES (AS REQUIRED BY THE CURRENT VERSION OF THE "INTERIM GUIDELINES FOR DEVELOPMENT WITHIN CITY DESIGNATED LANDFILL GAS BUFFER ZONES") SHALL BE CONSULTED PRIOR TO DEVELOPMENT OF THE SITE.

architecture
 interiors
 landscape
 planning
 engineering

Dekker Perich Sabatini

7601 Jefferson NE Suite 100
 Albuquerque, NM 87109
 505 761-9700
 fax 761-4222
 dps@dpsdesign.org

ARCHITECT

ENGINEER

PROJECT

Presbyterian Systems Office
 DRB Submittal
 9521 San Mateo NE
 Albuquerque, New Mexico

ZONING ENFORCEMENT
 City of Albuquerque
 [Signature]

REVISIONS

7/17/2012	DRB COMMENTS
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 REVIEWED BY
 DATE 6/12/2012
 PROJECT NO. 11-0100
 DRAWING NAME

ENLARGED SITE PLAN

SHEET NO.
A1a
 1 of 10