

VICINITY MAP NO. B-17-Z

**LEGAL DESCRIPTION**

TRACT D-1E-1, SISTERS OF THE ORDER OF ST. DOMINIC, ELENA GALLEGOS GRANT, ALBUQUERQUE, NEW MEXICO, AS THE SAME AS SHOWN AND DESIGNATED ON THE PLAT OF SAID SUBDIVISION FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JULY 5, 1996.

**FREE CONSENT**

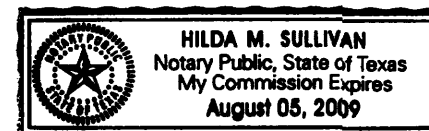
THE PLAT AS SHOWN HEREON, IS MADE WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND/OR PROPRIETORS THEREOF. SAID OWNERS/PROPRIETORS DOES HEREBY GRANT ANY AND ALL EASEMENTS AS MAY BE CREATED BY THIS PLAT. THOSE SIGNING AS OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

*Jerry Forester*  
 JERRY FORESTER SENIOR ASSET MANAGER  
 CITICORP CREDIT SERVICES INC

STATE OF TEXAS }  
 COUNTY OF } ss

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 18 DAY OF August, 2008, BY JERRY FORESTER

*Hilda Sullivan*  
 NOTARY PUBLIC  
 MY COMMISSION EXPIRES: 8/5/09



PLAT OF  
 TRACT D-1E-1-A & D-1E-1B  
 SISTERS OF THE ORDER  
 OF ST. DOMINIC

CITY OF ALBUQUERQUE,  
 BERNALILLO COUNTY,  
 NEW MEXICO  
 MAY 2008

PROJECT NUMBER: \_\_\_\_\_

APPLICATION NUMBER: \_\_\_\_\_

**UTILITY APPROVALS**

PNM ELECTRICAL SERVICES	DATE
PNM GAS SERVICES	DATE
QWEST COMMUNICATIONS	DATE
COMCAST	DATE

**CITY APPROVALS**

*[Signature]* 8-25-08  
 CITY SURVEYOR DATE

ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	DATE
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
UTILITY DEVELOPMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
AMAFCA	DATE
CITY ENGINEER	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

**PURPOSE OF PLAT:**

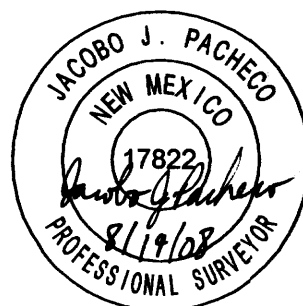
1. THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING TRACT INTO TWO NEW TRACTS AS SHOWN HEREON.

**GENERAL NOTES:**

1. PLAT OF SURVEY COMPLETED BY A. DWAIN WEAVER, N.M.P.L.S. NO. 6544. DATED JULY 5, 1996. ENTITLED "TRACTS D-1B-1, D-1B-2 & D-1E-1, SISTERS OF THE ORDER OF ST. DOMINIC, ALBUQUERQUE NEW MEXICO". FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO IN VOLUME 96C.
2. UNLESS NOTED NO. 5 REBAR WITH RED CAP STAMPED RPLS 17822 WERE SET AT ALL PROPERTY CORNERS.
3. THE PLAT SHOWS ALL EASEMENTS OF RECORD.
4. TOTAL AREA OF PROPERTY: 31.7178 ACRES.
5. BASIS OF BEARING IS THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 1983.
6. DISTANCES ARE GROUND BEARINGS ARE GRID.
7. RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESIS ARE TAKEN FROM PLAT IN NOT 1.
8. DATE FIELD WORK: APRIL 2008
9. CURRENT ZONING: SU-2.
10. TALOS LOG NO. 2008172319.
11. THE SUBJECT PROPERTY IS LOCATED ON A FORMER LANDFILL, DUE TO THE SUBJECT PROPERTIES BEING ON A FORMER LANDFILL, CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILLS AND LANDFILL GAS ISSUES (AS REQUIRED BY THE MOST CURRENT VERSION OF THE INTERIM GUIDELINES FOR DEVELOPMENT WITHIN CITY DESIGNATED LANDFILL BUFFER ZONES) SHALL BE CONSULTED PRIOR TO DEVELOPMENT OF THE SITE.

**SURVEYOR CERTIFICATE**

I, JACOBO J. PACHECO, NEW MEXICO PROFESSIONAL SURVEYOR NO. 17822, DO HEREBY CERTIFY THAT THIS PLAT AND THE ACTUAL SURVEY ON THE GROUND UPON WHICH IT IS BASED WERE PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION; THAT I AM RESPONSIBLE FOR THIS; THAT THIS MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO AND THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.



*Jacob J. Pacheco* 8/19/2008  
 JACOBO J. PACHECO  
 N.M.R.P.L.S. NO. 17822  
 LDC LAND DEVELOPMENT CONSULTANTS, LLC.  
 5620 B. SAN FRANCISCO DR. NE  
 ALBUQUERQUE N.M. 87109 PHONE: (505) 797-4120

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON  
 UPC#: 101706546230810220

PROPERTY OWNER OF RECORD: CITICORP CREDIT SERVICES INC  
 BERNALILLO CO. TREASURES OFFICE: \_\_\_\_\_

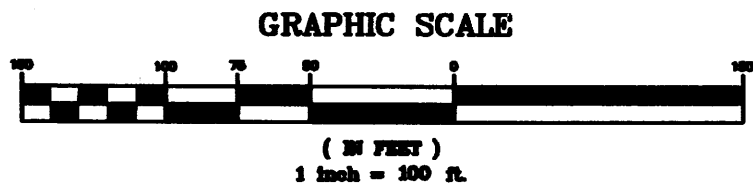
SHEET: 1 OF 3

**LDC** LAND DEVELOPMENT CONSULTANTS, LLC.  
 5620 B. SAN FRANCISCO DR. NE  
 ALBUQUERQUE, NEW MEXICO 87109  
 PH. 505-797-4120/FAX 505-821-0392

SCALE: 1" = 100'  
 DRAWN BY: GK  
 CHECKED BY: JJP  
 FIELD WORK: APRIL 20, 2008  
 LDC JOB NO.: BERN-08-0003

**INDEXING INFORMATION FOR COUNTY CLERK**

OWNERS: JAMES R. STOJAK,  
 CHAIRMAN AND CEO, CITICORP  
 CREDIT SERVICES, INC.  
 LOCATION: PROJECTED SECTION 11  
 T11N, R3E NMPM



Curve No.	Radius No.	Arc Length	Chord Bearing	Chord Distance	Chord DELTA
C1	30.00'	47.57'	S45°24'16"E	42.89'	91°14'50"
	(30.00')	(47.76')	(S45°22'11"E)	(42.87')	

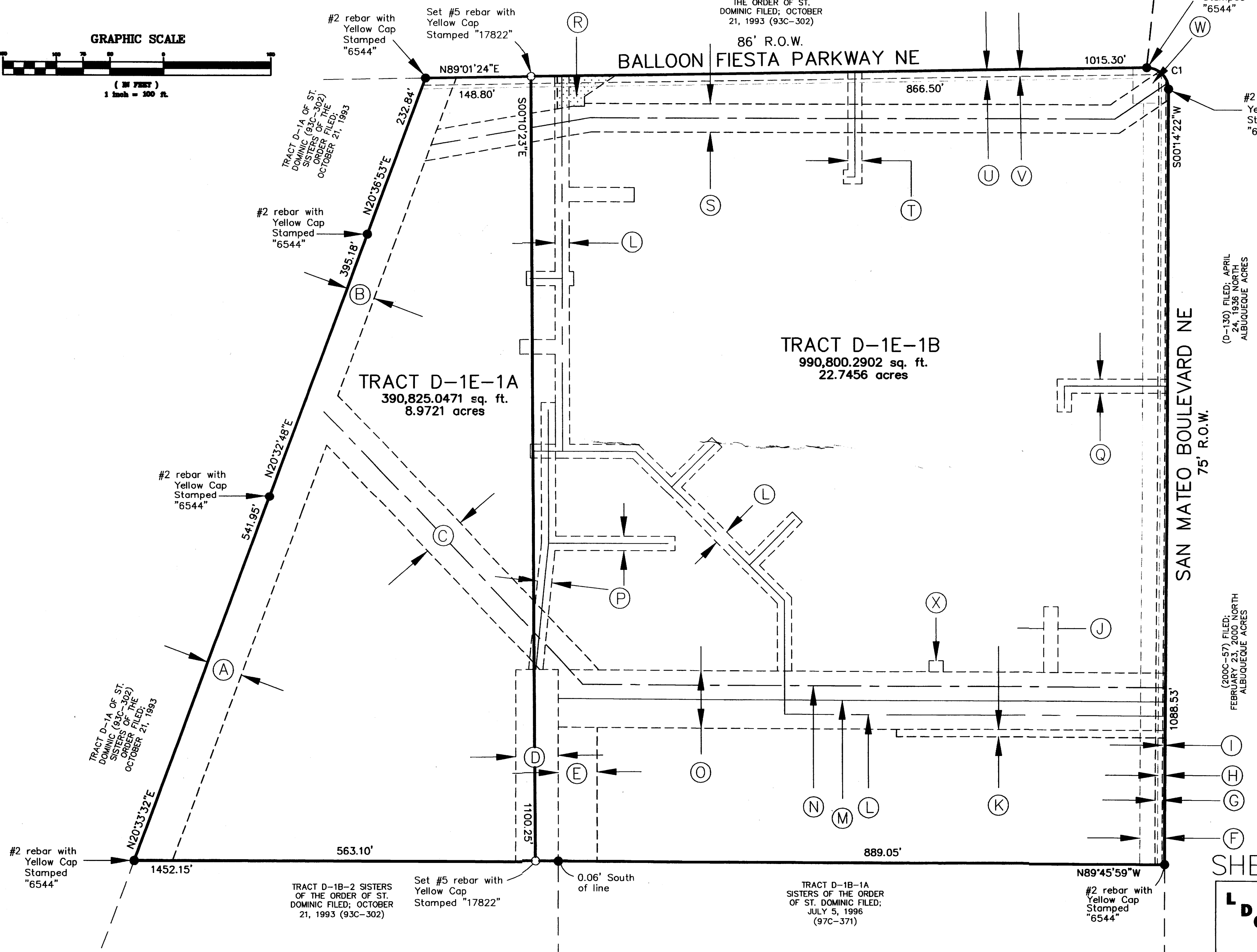
- LEGEND**
- CONTROL MONUMENT FOUND, USED & NOTED
  - PROPERTY CORNER FOUND, USED & NOTED
  - PROPERTY CORNER, #5 REBAR WITH RED PLASTIC CAP STAMPED "17822"

ALBUQUEQUE CONTROL STATION "NDC-7"  
 NM State Plane Coordinates;  
 (Central Zone NAD 1983)  
 X=1534340.591  
 Y=1522698.249  
 G/G Factor=0.999674466  
 Delta Alpha=-00°12'16.43"

ALBUQUEQUE CONTROL STATION  
 "CC\_EG\_11\_12\_11N\_3E"  
 NM State Plane Coordinates;  
 (Central Zone NAD 1983)  
 X=1539912.248  
 Y=1528564.019  
 G/G Factor=0.999669781  
 Delta Alpha=-00°11'38.16"  
 Elevation (NAVD 1988)= 5135.555

PLAT OF  
 TRACT D-1E-1A & D-1E-1B  
 SISTERS OF THE ORDER  
 OF ST. DOMINIC  
 CITY OF ALBUQUERQUE,  
 BERNALILLO COUNTY,  
 NEW MEXICO  
 MAY 2008

TRACT D-1G SISTERS OF  
 THE ORDER OF ST.  
 DOMINIC FILED; OCTOBER  
 21, 1993 (93C-302)



RECORD BEARINGS AND DISTANCES FOR EACH EASEMENT SHOWN  
 HEREON, CAN BE FOUND IN THE RECORDED DOCUMENTS AS NOTED  
 HEREON.

A	50' DRAINAGE EASEMENT FILED; OCTOBER 21, 1993 PLAT BOOK 93C PAGE 302
B	40' PUBLIC DRAINAGE EASEMENT FILED; JULY 5, 1996 PLAT BOOK 96C PAGE 297
C	60' PUBLIC DRAINAGE EASEMENT FILED; JULY 5, 1996 PLAT BOOK 96C PAGE 297
D	60' PUBLIC UTILITY EASEMENT FILED; MAY 7, 1996 BOOK 96-13 PAGES 892-895
E	54.71' PUBLIC DRAINAGE EASEMENT FILED; JULY 5, 1996 PLAT BOOK 96C PAGE 297
F	35' PUBLIC SIDEWALK EASEMENT FILED; JULY 5, 1996 PLAT BOOK 96C PAGE 297
G	10' PNM AND MST&T EASEMENT FILED; AUGUST 5, 1960 BOOK D555 PAGE 345, MODIFIED IN BOOK BCR91 PAGES 4187-4188
H	10' PNM AND US WEST EASEMENT FILED; OCTOBER 21, 1993 PLAT BOOK 93C PAGE 302
I	3.50' GAP, FROM PROPERTY LINE TO EASEMENT LINE
J	20' PUBLIC WATERLINE EASEMENT FILED; JULY 5, 1996 PLAT BOOK 96C PAGE 297
K	10' PNM GAS LINE EASEMENT FILED; JULY 5, 1996 PLAT BOOK 96C PAGE 297
L	20' PUBLIC WATERLINE EASEMENT FILED; JULY 5, 1996 PLAT BOOK 96C PAGE 297
M	CENTERLINE SEWERLINE EASEMENT FILED; JULY 5, 1996 PLAT BOOK 96C PAGE 297
N	CENTERLINE STORM DRAIN FILED; JULY 5, 1996 PLAT BOOK 96C PAGE 297
O	80' PUBLIC UTILITY & STORM DRAIN EASEMENT FILED; MAY 5, 1996 BOOK 96-13 PAGES 888-891
P	20' SANITARY SEWERLINE EASEMENT FILED; JULY 5, 1996 PLAT BOOK 96C PAGE 297
Q	20' PUBLIC WATERLINE EASEMENT FILED; JULY 5, 1996 PLAT BOOK 96C PAGE 297
R	PUBLIC DRAINAGE EASEMENT FILED; JULY 5, 1996 PLAT BOOK 96C PAGE 297
S	40' PUBLIC DRAINAGE EASEMENT FILED; JULY 5, 1996 PLAT BOOK 96C PAGE 297
T	20' PUBLIC WATERLINE EASEMENT FILED; JULY 5, 1996 PLAT BOOK 96C PAGE 297
U	15' PUBLIC SIDEWALK EASEMENT FILED; JULY 5, 1996 PLAT BOOK 96C PAGE 297
V	10' PNM AND US WEST EASEMENT FILED; OCTOBER 21, 1993 PLAT BOOK 93C PAGE 302
W	50' X 50' PUBLIC SIDEWALK EASEMENT FILED; JULY 5, 1996 PLAT BOOK 96C PAGE 297
X	15' X 20' PUBLIC UTILITY EASEMENT FILED; JULY 5, 1996 PLAT BOOK 96C PAGE 297

(D-130) FILED; APRIL  
 24, 1936 NORTH  
 ALBUQUEQUE ACRES

(200C-57) FILED;  
 FEBRUARY 23, 2000 NORTH  
 ALBUQUEQUE ACRES

SHEET: 2 OF 3

SCALE: 1" = 100'  
 DRAWN BY: GJK  
 CHECKED BY: JJP  
 FIELD WORK: APRIL 20, 2008  
 LDC JOB NO.: BERN-08-0003

**LDC**  
**LAND DEVELOPMENT**  
**CONSULTANTS, LLC.**  
 5620 B. SAN FRANCISCO DR. NE  
 ALBUQUERQUE, NEW MEXICO 87109  
 PH. 505-797-4120/FAX 505-821-0392

INDEXING INFORMATION FOR COUNTY CLERK  
 OWNERS: JAMES R. STOJAK,  
 CHAIRMAN AND CEO, CITICORP  
 CREDIT SERVICES, INC.  
 LOCATION: PROJECTED SECTION 11  
 T11N, R3E NMPM

**LEGEND**

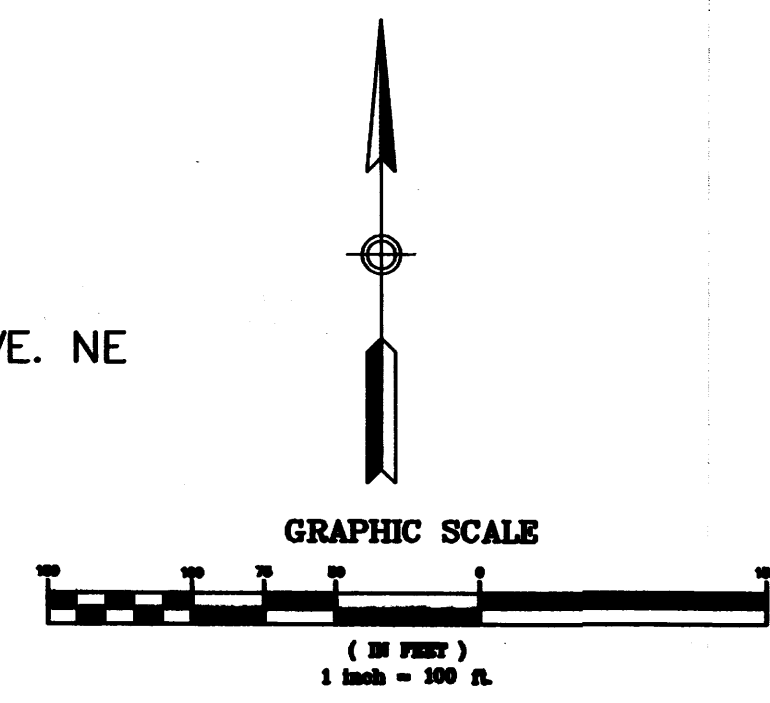
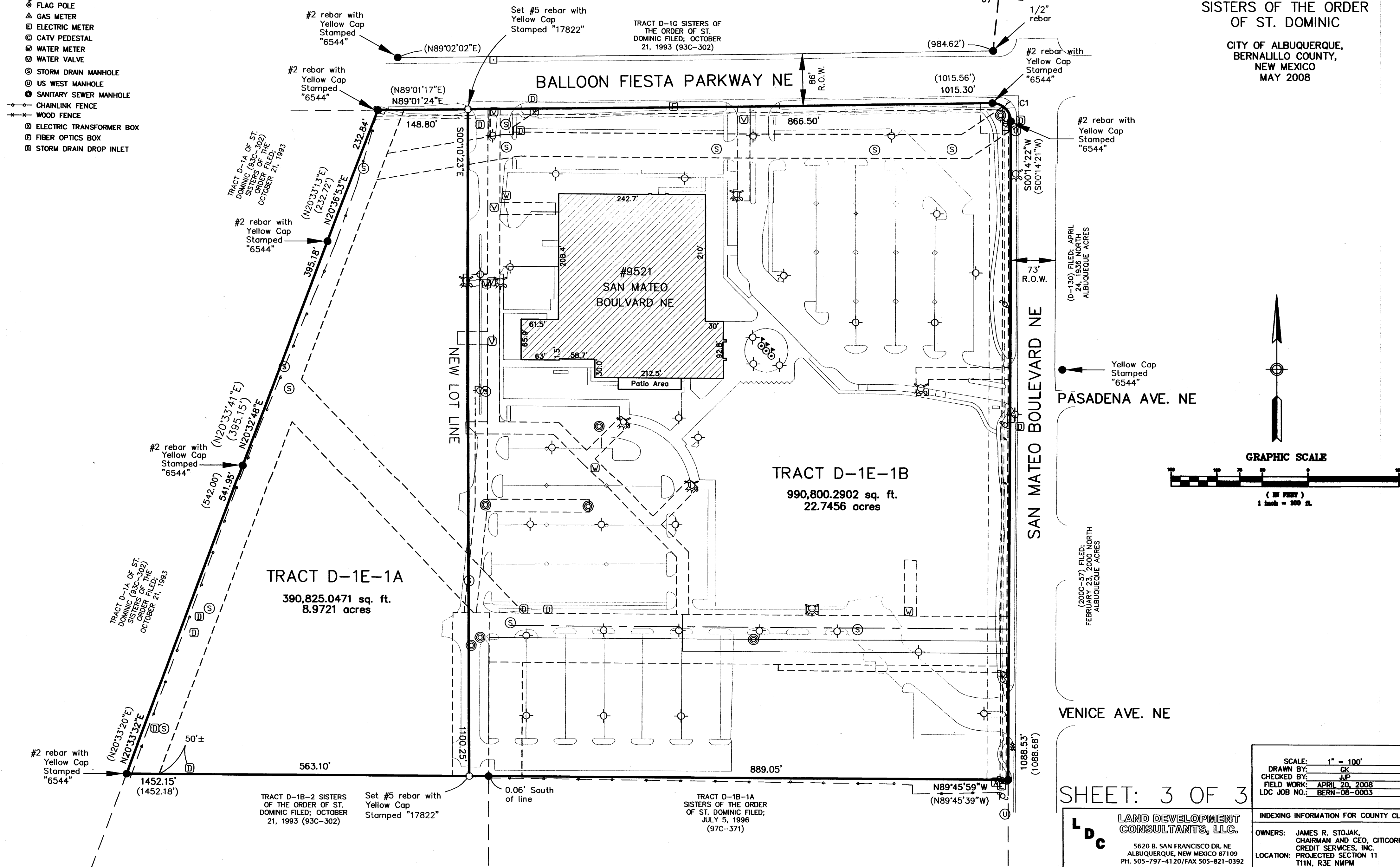
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- PROPERTY CORNER FOUND, USED & NOTED
- SET, #5 REBAR WITH RED PLASTIC CAP STAMPED "17822"
- ⊕ FIRE HYDRANT
- TELEPHONE PEDESTAL
- ⊕ POWER POLE
- ◇ LIGHT POLE
- ⊕ FLAG POLE
- △ GAS METER
- ⊕ ELECTRIC METER
- ⊕ CATV PEDESTAL
- ⊕ WATER METER
- ⊕ WATER VALVE
- ⊕ STORM DRAIN MANHOLE
- ⊕ US WEST MANHOLE
- ⊕ SANITARY SEWER MANHOLE
- CHAINLINK FENCE
- WOOD FENCE
- ⊕ ELECTRIC TRANSFORMER BOX
- ⊕ FIBER OPTICS BOX
- ⊕ STORM DRAIN DROP INLET

Curve No.	Radius No.	Arc Length	Chord Bearing	Chord Distance	Chord DELTA
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SHEET: 3 OF 3

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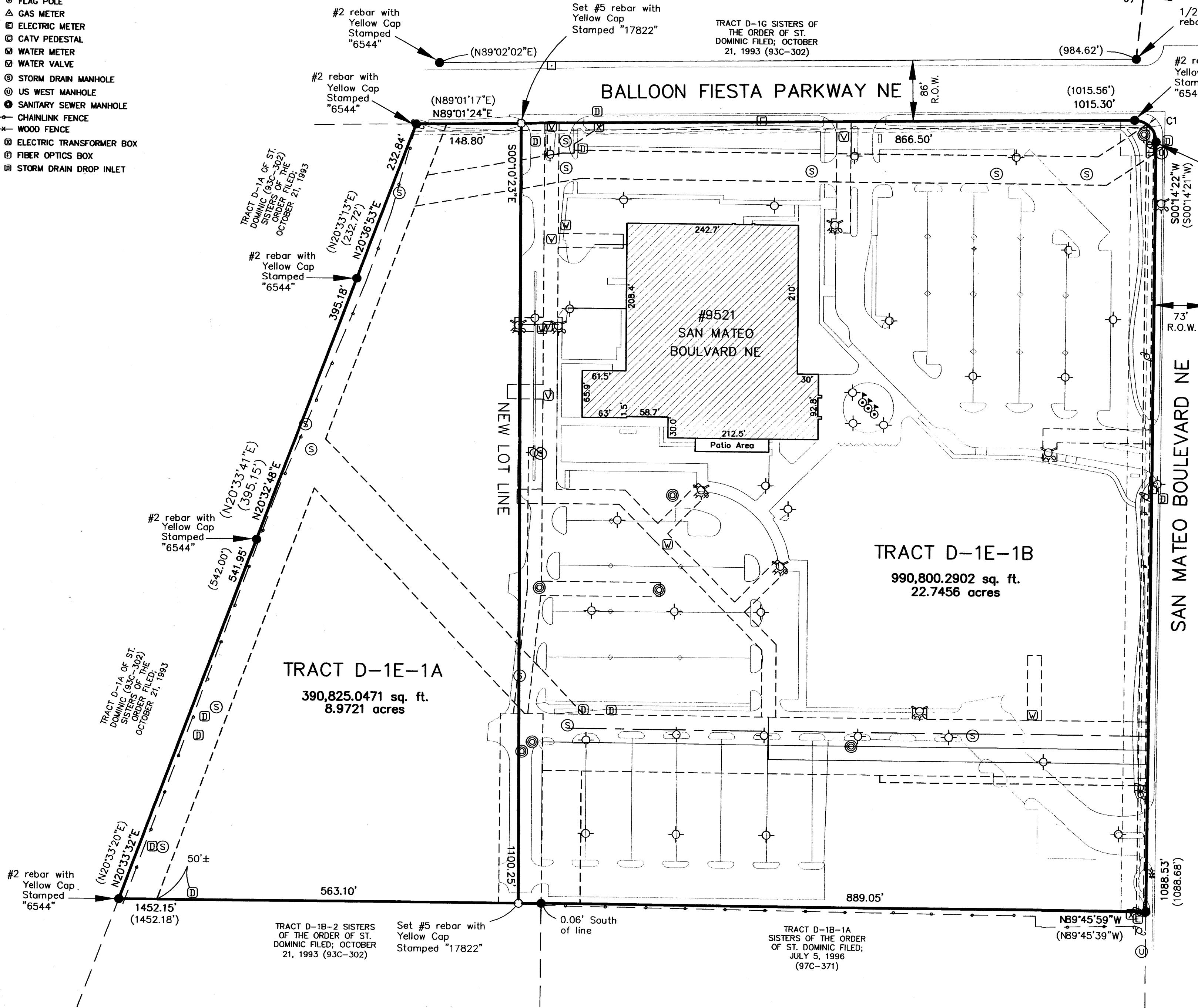
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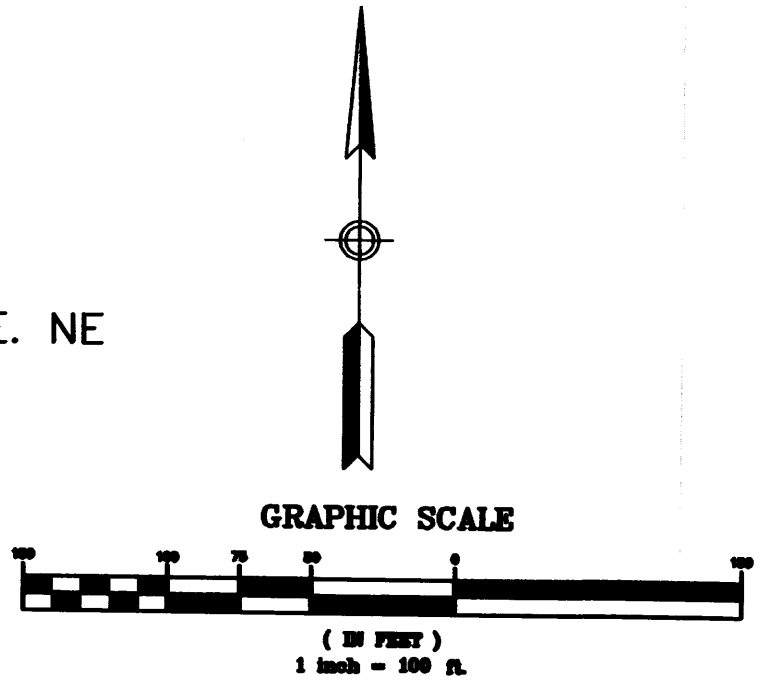
PLAT OF  
 TRACT D-1E-1A & D-1E-1B  
 SISTERS OF THE ORDER  
 OF ST. DOMINIC

CITY OF ALBUQUERQUE,  
 BERNALILLO COUNTY,  
 NEW MEXICO  
 MAY 2008



(0-130) FILED; APRIL 24, 1938 NORTH ALBUQUEQUE ACRES

(200C-57) FILED; FEBRUARY 23, 2003 NORTH ALBUQUEQUE ACRES



SHEET: 3 OF 3

SCALE: 1" = 100'
DRAWN BY: JJK
CHECKED BY: JJP
FIELD WORK: APRIL 20, 2008
LDC JOB NO.: BERN-08-0003

INDEXING INFORMATION FOR COUNTY CLERK

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 ALBUQUERQUE, NEW MEXICO 87109  
 PH. 505-797-4120/FAX 505-821-0392

TRACT D-1B-2 SISTERS OF THE ORDER OF ST. DOMINIC FILED; OCTOBER 21, 1993 (93C-302)  
 Set #5 rebar with Yellow Cap Stamped "17822"

TRACT D-1B-1A SISTERS OF THE ORDER OF ST. DOMINIC FILED; JULY 5, 1996 (97C-371)

TRACT D-1A OF ST. DOMINIC (93C-302) ORDER FILED; OCTOBER 21, 1993

TRACT D-1A OF ST. DOMINIC (93C-302) ORDER FILED; OCTOBER 21, 1993

TRACT D-1G SISTERS OF THE ORDER OF ST. DOMINIC FILED; OCTOBER 21, 1993 (93C-302)



DRB FILE

### PARKING INFORMATION

**PARKING REQUIRED:**  
 GROUND FLOOR - 200/148,601 SF = 744 SPACES  
 UPPER FLOORS - 300/177,189 SF = 591 SPACES  
 TOTAL REQUIRED: 1,335 SPACES

**PARKING PROVIDED:**  
 840 EXISTING PARKING SPACES  
 1,339 NEW PARKING SPACES  
 2,179 TOTAL PARKING SPACES

**ACCESSIBLE PARKING REQUIRED:**  
 (801-1000 SPACES; 20 + 1 FOR EVERY 100 THAT EXCEEDS 1000) = 24 SPACES (3 VAN ACCESSIBLE)

**ACCESSIBLE PARKING PROVIDED:**  
 30 EXISTING ACCESSIBLE PARKING SPACES  
 21 NEW ACCESSIBLE PARKING SPACES  
 51 TOTAL ACCESSIBLE PARKING SPACES (10 VAN ACCESSIBLE)

**MOTORCYCLE PARKING REQUIRED:**  
 (MORE THAN 1000; 8 + 1 FOR EACH ADDITIONAL 500 SPACES) = 9 SPACES

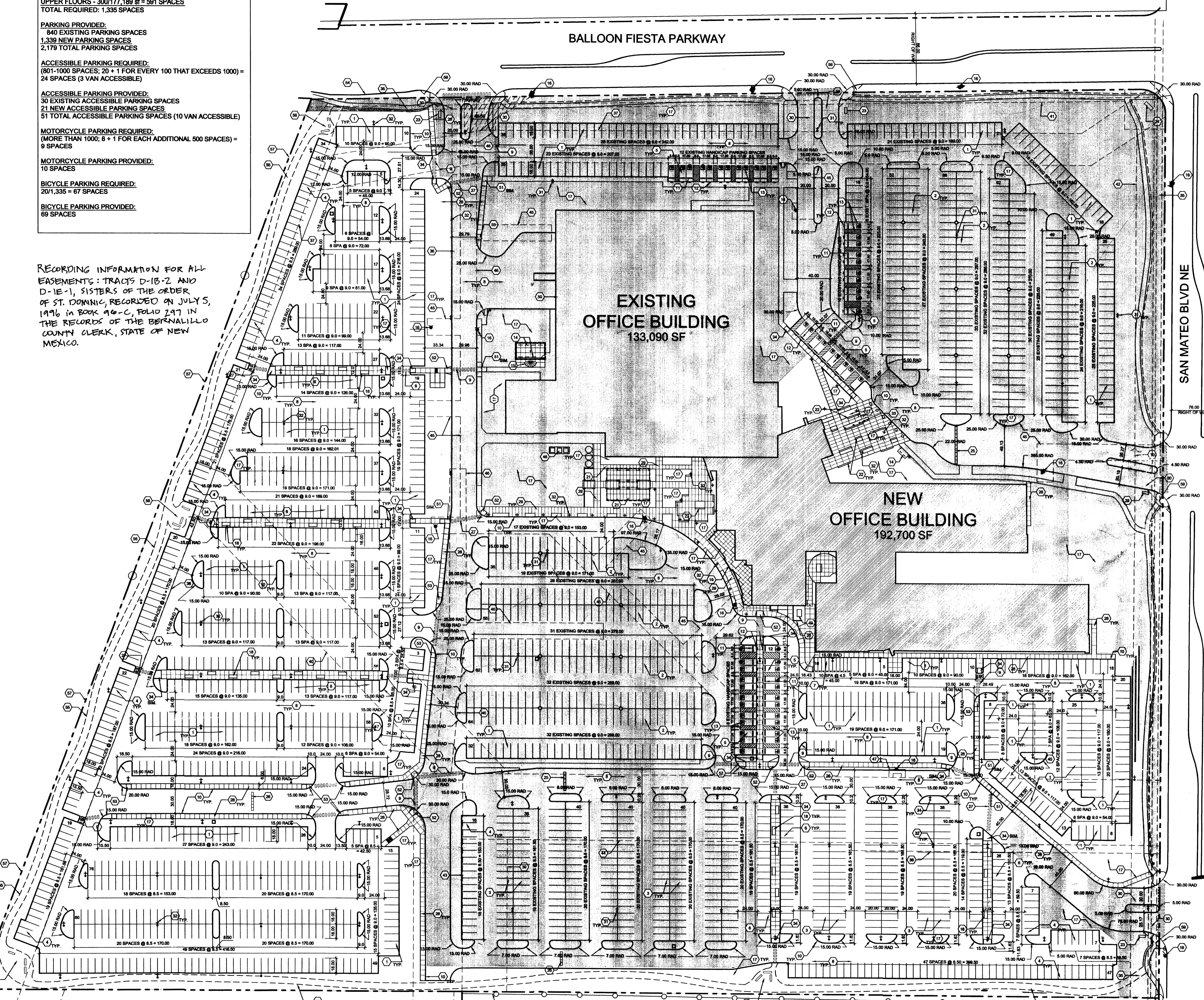
**MOTORCYCLE PARKING PROVIDED:**  
 10 SPACES

**BICYCLE PARKING REQUIRED:**  
 20/1,335 = 67 SPACES

**BICYCLE PARKING PROVIDED:**  
 69 SPACES

RECORDING INFORMATION FOR ALL EASEMENTS: TRACTS D-1B-2 AND D-1E-1, SISTERS OF THE ORDER OF ST. DOMINIC, RECORDED ON JULY 5, 1996 IN BOOK 96-C, FOLIO 297 IN THE RECORDS OF THE BERNALILLO COUNTY CLERK, STATE OF NEW MEXICO.

NOTE: SHADED AREA INDICATES EXISTING CONSTRUCTION TO REMAIN



### SITE DATA

**LEGAL DESCRIPTION:**  
 TRACT D-1E-1 SISTERS OF THE ORDER OF ST. DOMINIC, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

**ZONE:**  
 SU-2 IP/EP

**GROSS F.A.R. (GBA / SITE AREA):**  
 325,790 SF / 1,655,596 SF = 0.1968 ACRES

**SITE AREA:**  
 TRACT D-1E-1: 31.7211 ACRES (1,381,771 SF)

**GROSS BUILDING AREA (GBA):**  
 BUILDING 1 (EXISTING): 133,090 SF  
 BUILDING 2 (NEW): 192,700 SF  
 TOTAL GBA: 325,790 SF

### LEGEND

- PROPERTY LINE
- - - EASEMENT
- EXISTING POLE MOUNTED PARKING LIGHT; 40'-0" MAX. HEIGHT. RE: DETAIL 5/SHEET A1a
- NEW POLE MOUNTED PARKING LIGHT; 20'-0" MAX. HEIGHT. RE: DETAIL 5/SHEET A1a
- ⊕ NEW POLE MOUNTED PEDESTRIAN LIGHT; 14'-0" MAX. HEIGHT. RE: DETAIL 5/SHEET A1a
- LIGHT BOLLARD
- FIRE HYDRANT
- BIKE RACK
- ▽ BIKE LOCKER

### SHEET KEYED NOTES

1. TYPICAL PARKING SPACE: 9'-0" x 18'-0" UNLESS NOTED OTHERWISE (U.N.O.)
2. TYPICAL PARKING SPACE: 9'-0" x 20'-0" U.N.O.
3. TYPICAL PARKING SPACE: 8'-6" x 20'-0" U.N.O.
4. TYPICAL PARKING SPACE: 8'-6" x 18'-0" U.N.O.
5. TYPICAL ADA PARKING SPACE: 8'-0" x 20'-0" (MANAGE TO MEET)
6. PARKING SPACE: 9'-0" x 16'-0"; ALLOWS FOR VEHICLES TO OVERHANG 2'-0" ONTO SIDEWALK. CURB ACTS AS WHEEL STOP
7. TYPICAL MOTORCYCLE PARKING SPACE: 4'-6" x 18'-0", WITH POLE MOUNTED SIGNAGE TO MEET CODE
8. ASPHALT PAVING
9. 6'-0" WIDE PEDESTRIAN CROSSWALK. COLOR AND TEXTURE PATTERN TO DIFFERENTIATE FROM SURROUNDING ASPHALT PAVING
10. CONCRETE CURB
11. CONCRETE WHEEL STOP
12. POLE MOUNTED ADA SIGNAGE
13. PAINTED ADA PAVEMENT SIGNAGE
14. METAL BIKE RACK
15. RELOCATED EXISTING BIKE LOCKERS
16. EXISTING FIRE HYDRANT
17. LANDSCAPED AREA. REFER TO LANDSCAPE PLAN
18. 4'-0" x 10'-0" PLANTING AREAS FLUSH WITH SIDEWALK. REFER TO LANDSCAPE PLAN
19. 8' x 4'-0" HIGH CMU COURTYARD WALL; FINISHED WITH EIFS. COLOR: RUST
20. 8' x 7'-0" HIGH CMU SCREEN WALL; FINISHED WITH EIFS. COLOR: RUST
21. COVERED OUTDOOR EATING AREA
22. CONCRETE BENCHES; RE: DETAIL 2/SHEET A1a
23. DIRECTIONAL SIGN; RE: DETAIL 4/SHEET A1a
24. PROPOSED MONUMENT SIGN; RE: DETAIL 3/SHEET A1a
25. EXISTING SPEED BUMP
26. NEW 3'-0" WIDE SPEED BUMP
27. 6'-0" WIDE x 6" HIGH RAISED PEDESTRIAN CROSSWALK
28. 6'-0" WIDE CONCRETE SIDEWALK
29. 8'-0" WIDE CONCRETE SIDEWALK
30. EXISTING INGRESS / EGRESS
31. EXISTING LIGHT POLE TO REMAIN
32. NEW LIGHT POLE
33. LIGHT BOLLARD
34. ACCESSIBLE RAMP; RE: DETAIL 6/A1a
35. EXISTING 10' ELECTRICAL AND PHONE EASEMENT
36. EXISTING 10' GAS EASEMENT
37. EXISTING 40' PUBLIC DRAINAGE EASEMENT
38. EXISTING 50' PUBLIC DRAINAGE EASEMENT
39. EXISTING 54.71' PUBLIC DRAINAGE EASEMENT
40. EXISTING 60' PUBLIC DRAINAGE EASEMENT
41. EXISTING 15' PUBLIC SIDEWALK EASEMENT
42. EXISTING 35' PUBLIC SIDEWALK EASEMENT
43. EXISTING 60' PUBLIC UTILITY EASEMENT
44. EXISTING 80' PUBLIC UTILITY & STORM DRAIN EASEMENT
45. EXISTING 20' PUBLIC WATERLINE EASEMENT
46. EXISTING 20' SANITARY SEWER EASEMENT
47. EXISTING 15' x 20' PUBLIC UTILITY EASEMENT
48. EXISTING TRANSFORMER
49. NEW TRANSFORMER
50. LOCATION OF TRASH COMPACTOR
51. ACCESSIBLE RAMP; RE: DETAIL 7/A1a
52. ACCESSIBLE RAMP; RE: DETAIL 8/A1a
53. ACCESSIBLE RAMP; RE: DETAIL 8/A1a
54. 130 FT. NEW CONCRETE CURB
55. 8' WIDE CRUSHER FINE WALKING TRAIL, NON-ADA ACCESSIBLE
56. RESPITE AREA WITH STONE BENCH PER DETAIL 2/A1a
57. EXISTING FENCE TO BE REMOVED
58. EXISTING FENCE TO REMAIN
59. SITE DISTANCE SETBACK LINE, 30' FROM CURB FACE, TYPICAL

THE SUBJECT PROPERTY IS LOCATED NEAR A FORMER LANDFILL. DUE TO THE SUBJECT PROPERTY BEING NEAR A FORMER LANDFILL, CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATION BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILLS AND LANDFILL GAS ISSUES (AS REQUIRED BY THE CURRENT VERSION OF THE "INTERIM GUIDELINES FOR DEVELOPMENT WITHIN CITY DESIGNATED LANDFILL GAS BUFFER ZONES") SHALL BE CONSULTED PRIOR TO DEVELOPMENT OF THE SITE.

NORTH  
 A3 ENLARGED SITE PLAN  
 1" = 60'-0"

AFD PLANS CHECKING OFFICE  
 924-3611  
 APPROVED/DISAPPROVED  
 HYDRANT(S) ONLY  
 SIGNATURE & DATE

PROJECT NUMBER: 1007488

APPLICATION NUMBER:

DRB SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
<i>Allen Perich</i>	09/25/12
ARCWVA	DATE
<i>Carl S. Dumont</i>	7-25-12
PARKS AND RECREATION DEPARTMENT	DATE
<i>Antonio Che</i>	11-30-12
CITY ENGINEER	DATE
<i>Joe H. Hoke</i>	7-25-12
SOLID WASTE MANAGEMENT	DATE
<i>Paul Chai</i>	12-5-12
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

7601 Jefferson NE Suite 100  
 Albuquerque, NM 87109  
 505 761-9700  
 fax 761-4222  
 dps@dpsdesign.org

ARCHITECT

ENGINEER

PROJECT

Presbyterian Systems Office  
 DRB Submittal  
 9521 San Mateo NE  
 Albuquerque, New Mexico

ZONING ENFORCEMENT  
 City of Albuquerque  
 DR  
 7-17-12

REVISIONS

△	7/17/2012	DRB COMMENTS
△		
△		
△		

DRAWN BY

REVIEWED BY

DATE 6/12/2012

PROJECT NO. 11-0100

DRAWING NAME ENLARGED SITE PLAN

SHEET NO.

A1a  
 1 OF 10

architecture  
 interiors  
 landscape  
 planning  
 engineering

Dekker  
 Perich  
 Sabatini

1007488

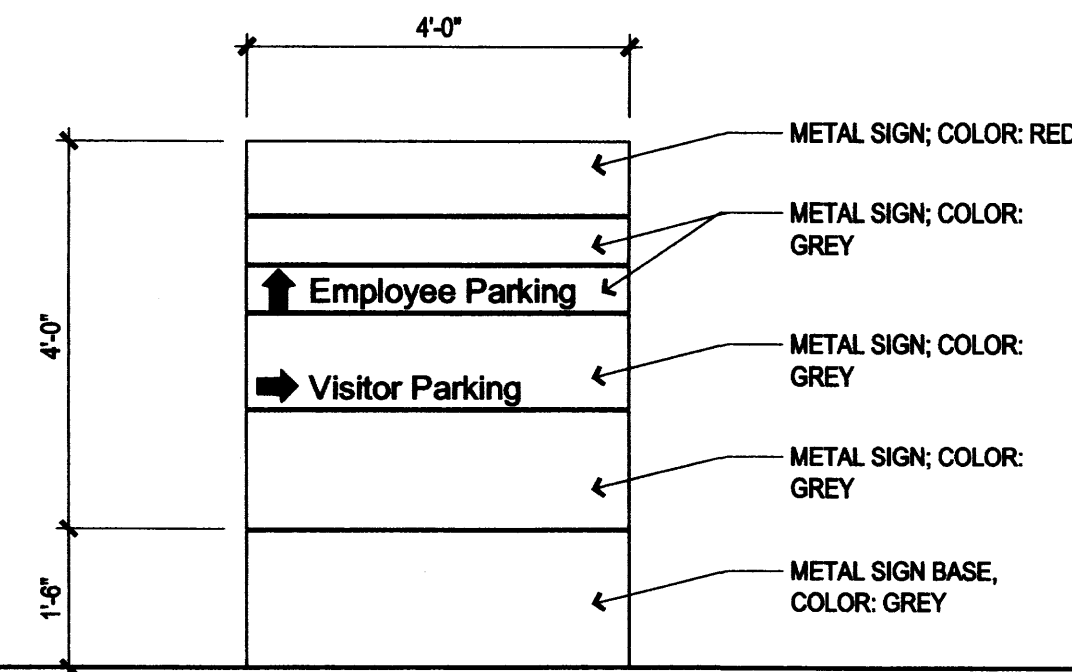


NO.	DATE	DESCRIPTION
1	7/17/2012	DRB COMMENTS
2		
3		
4		

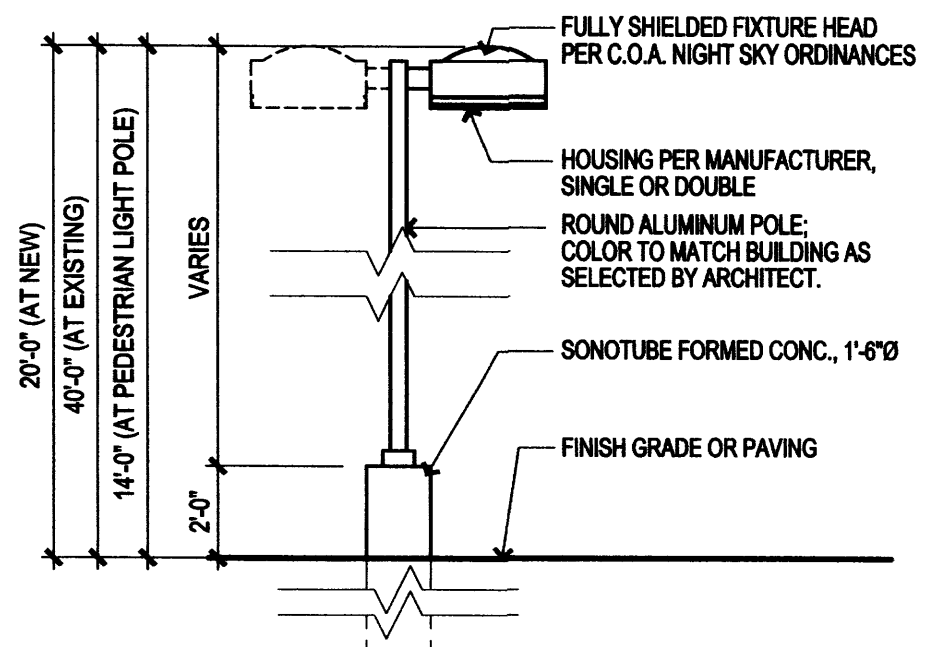
DRAWN BY	KK, TV
REVIEWED BY	CG
DATE	6/12/2012
PROJECT NO.	11-0100
DRAWING NAME	OVERALL SITE PLAN

**GENERAL NOTES**

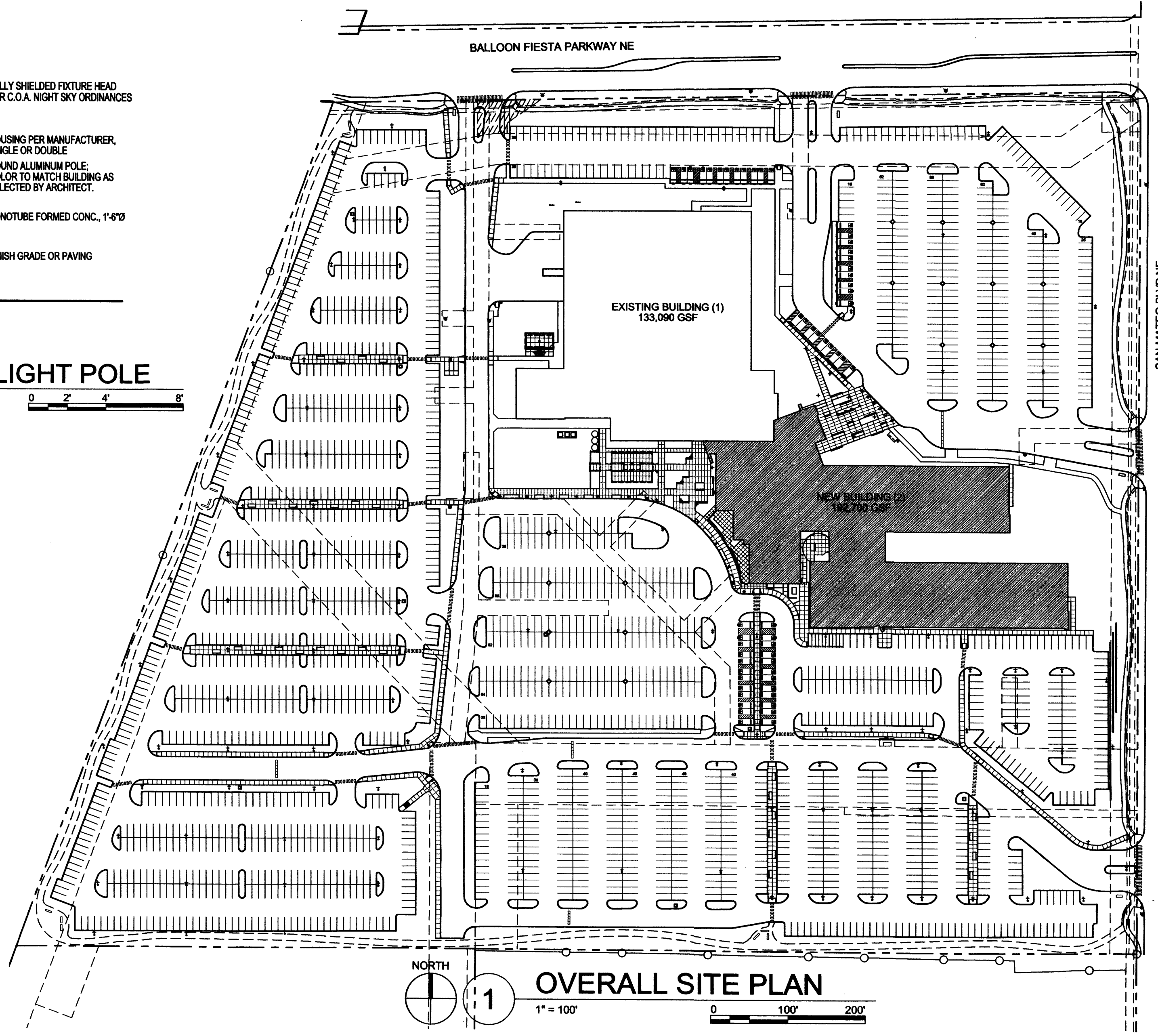
- REFER TO SHEET A1a FOR FURTHER INFORMATION.
- CONSTRUCTION FENCING SHALL BE PLACED AT THE PERIMETER OF THE SITE FOR THE DURATION OF CONSTRUCTION TO PREVENT WORKERS FROM EXCEEDING LIMITS OF CONSTRUCTION ONTO CITY PROPERTY.



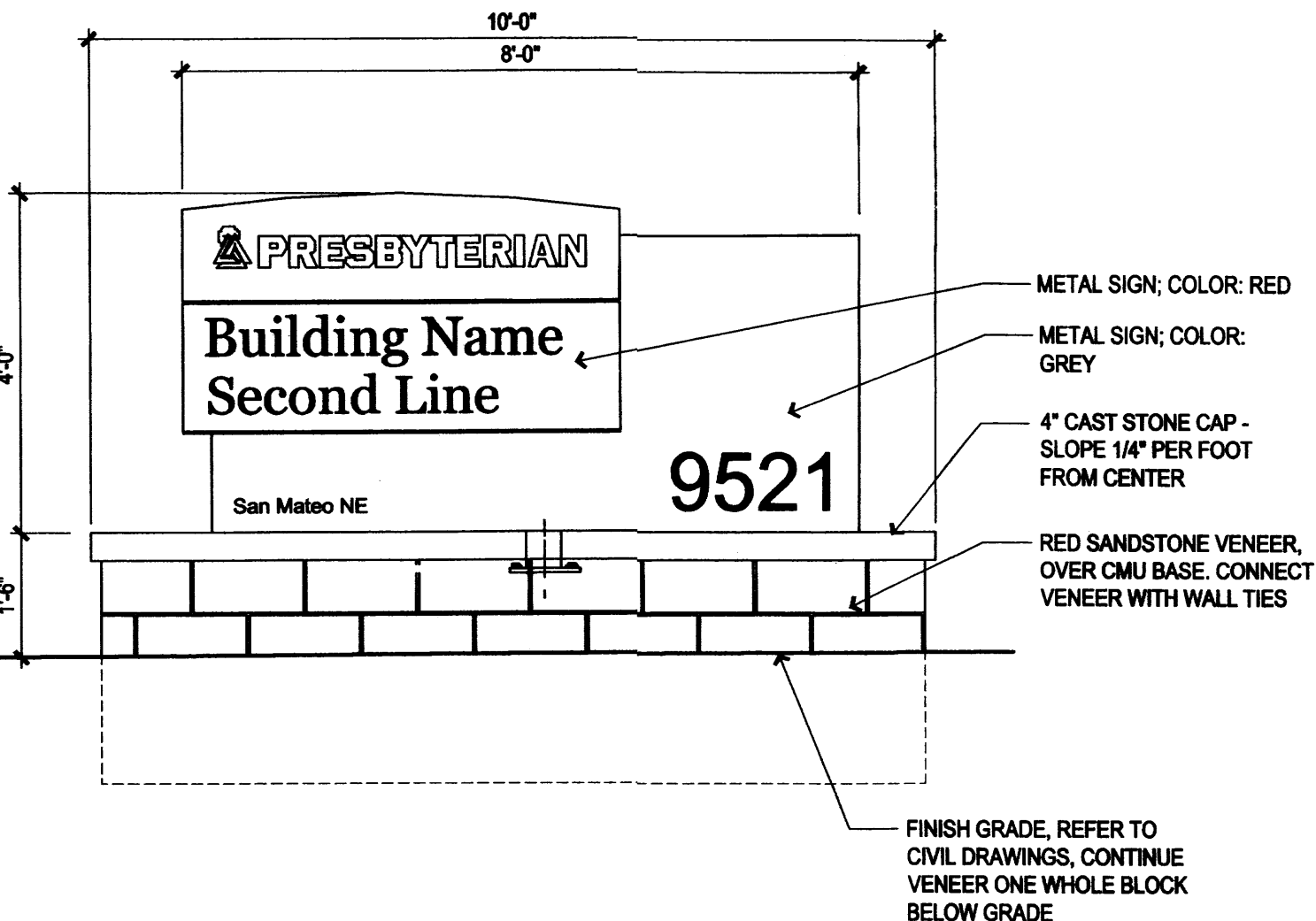
**4 DIRECTIONAL SIGN**  
1/2" = 1'-0"



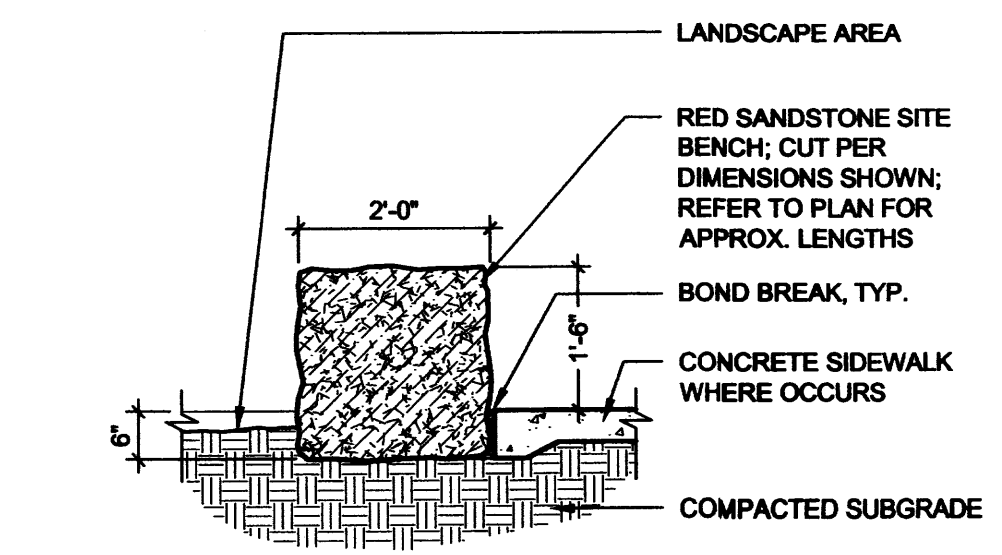
**5 PARKING LIGHT POLE**  
1/4" = 1'-0"



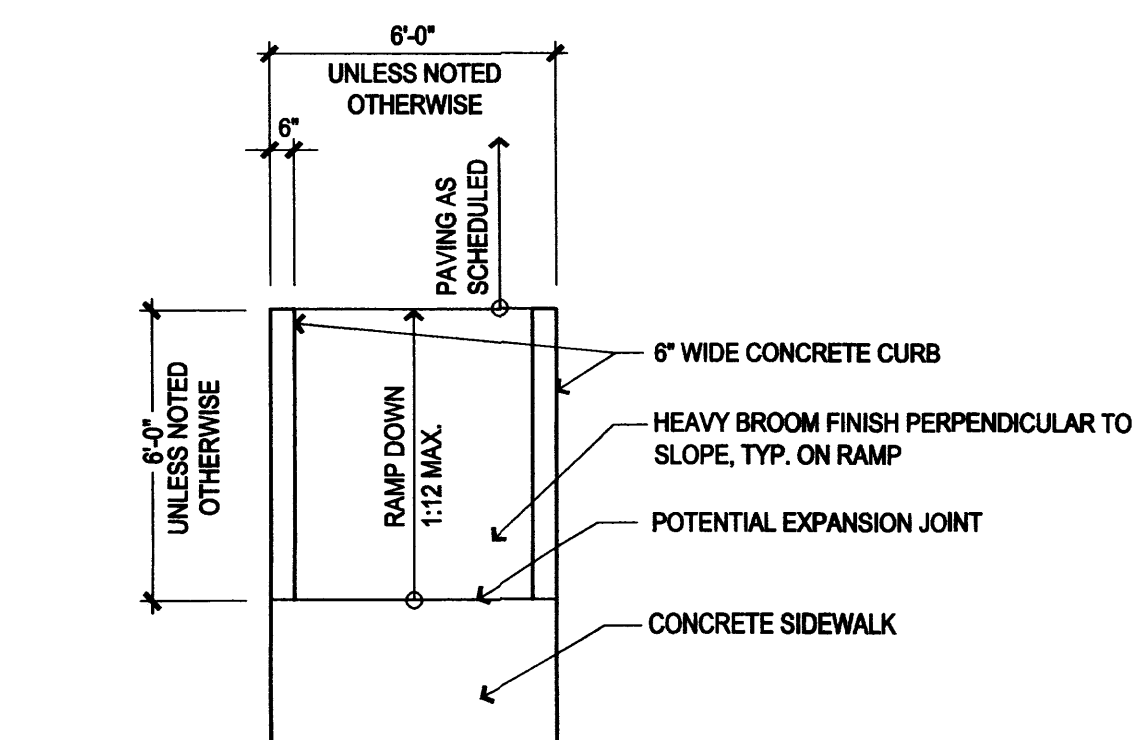
**1 OVERALL SITE PLAN**  
1" = 100'



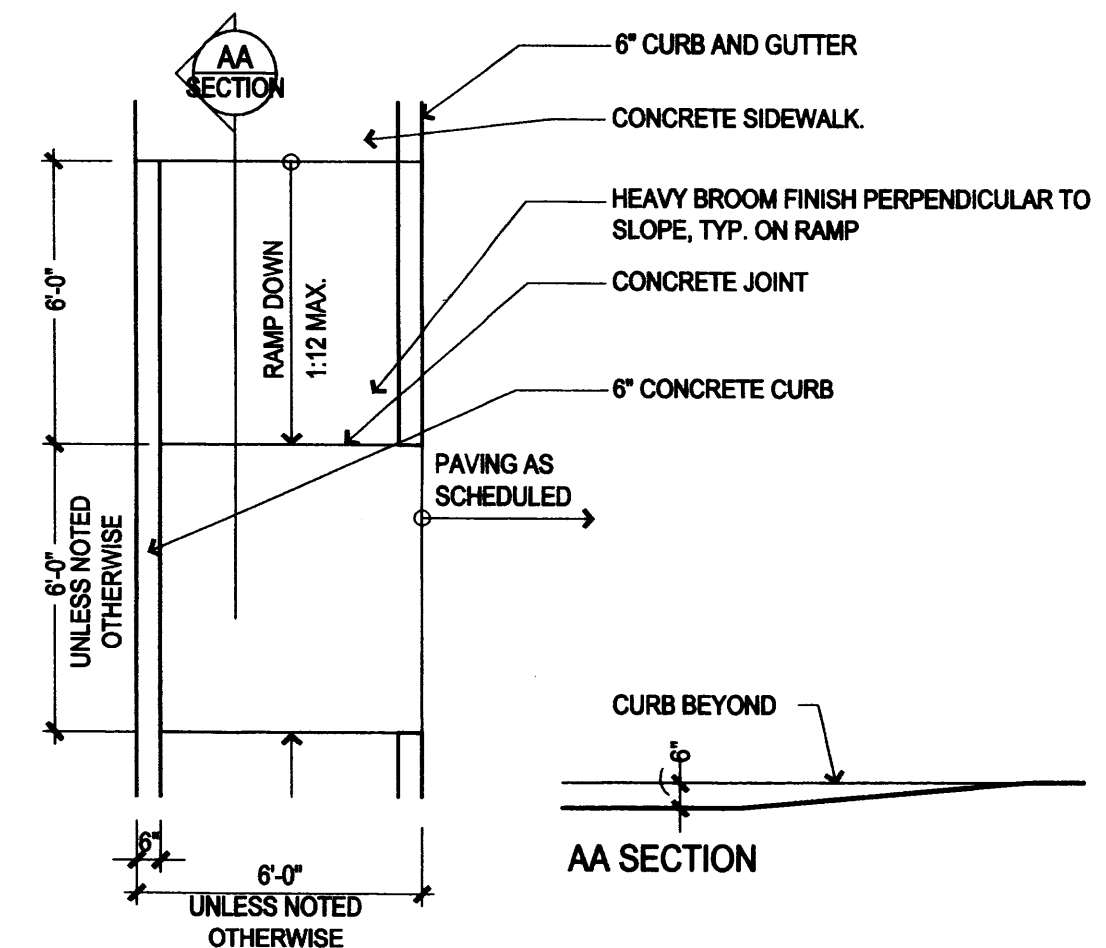
**3 MONUMENT SIGN**  
1/2" = 1'-0"



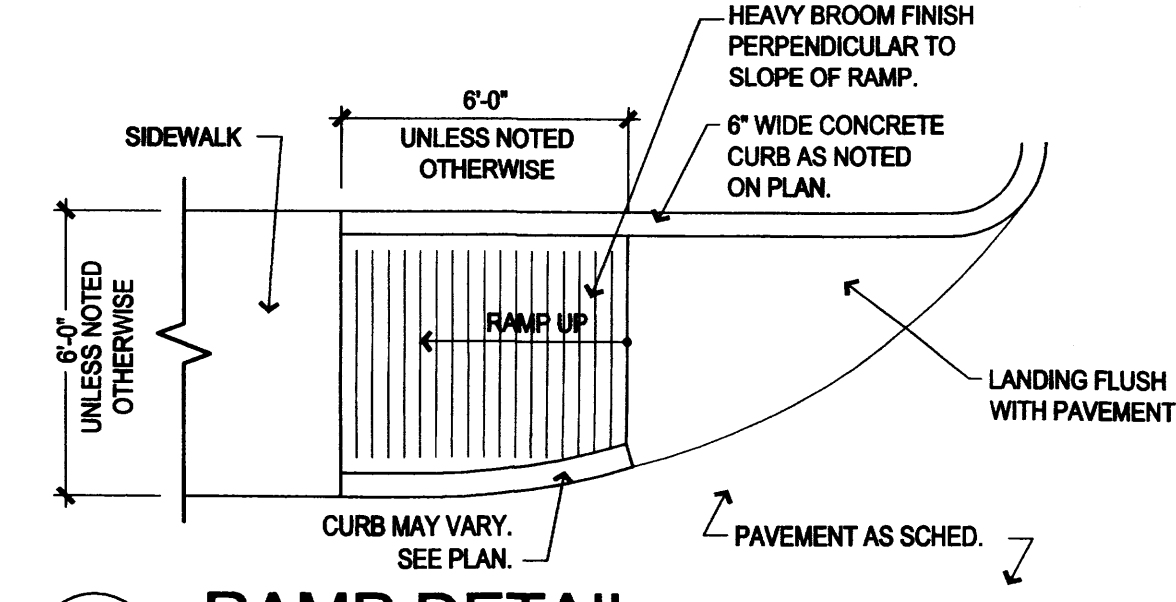
**2 STONE SEAT WALL**  
1/2" = 1'-0"



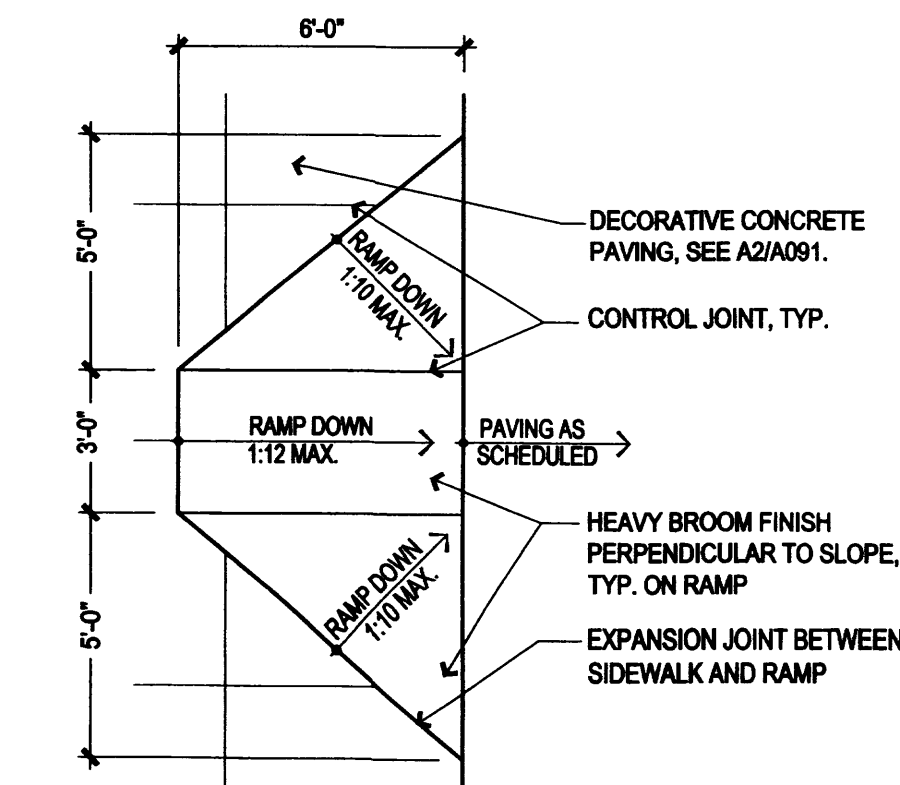
**6 RAMP DETAIL**  
1/4" = 1'-0"



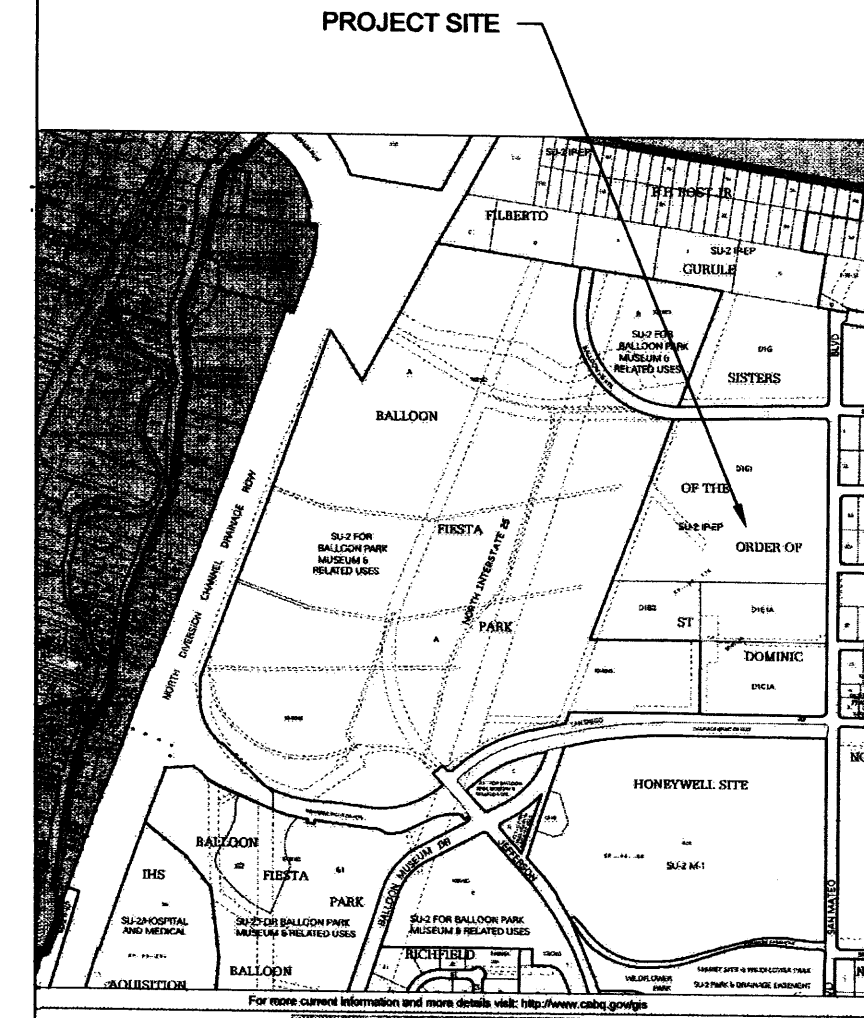
**7 RAMP DETAIL**  
1/4" = 1'-0"



**9 RAMP DETAIL**  
1/4" = 1'-0"



**8 RAMP DETAIL**  
1/4" = 1'-0"



**1 ZONE ATLAS PAGE VICINITY MAP**  
SCALE: AS SHOWN

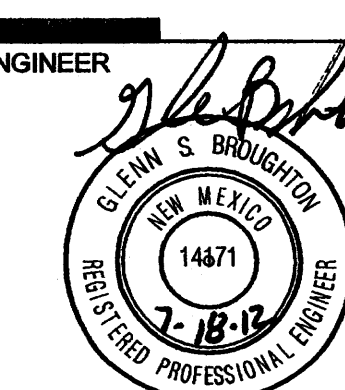


# Dekker Perich Sabatini

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dps@psdesign.org

ARCHITECT

ENGINEER



PROJECT

Presbyterian Systems Office  
DRB Submittal  
9521 San Mateo NE  
Albuquerque, New Mexico

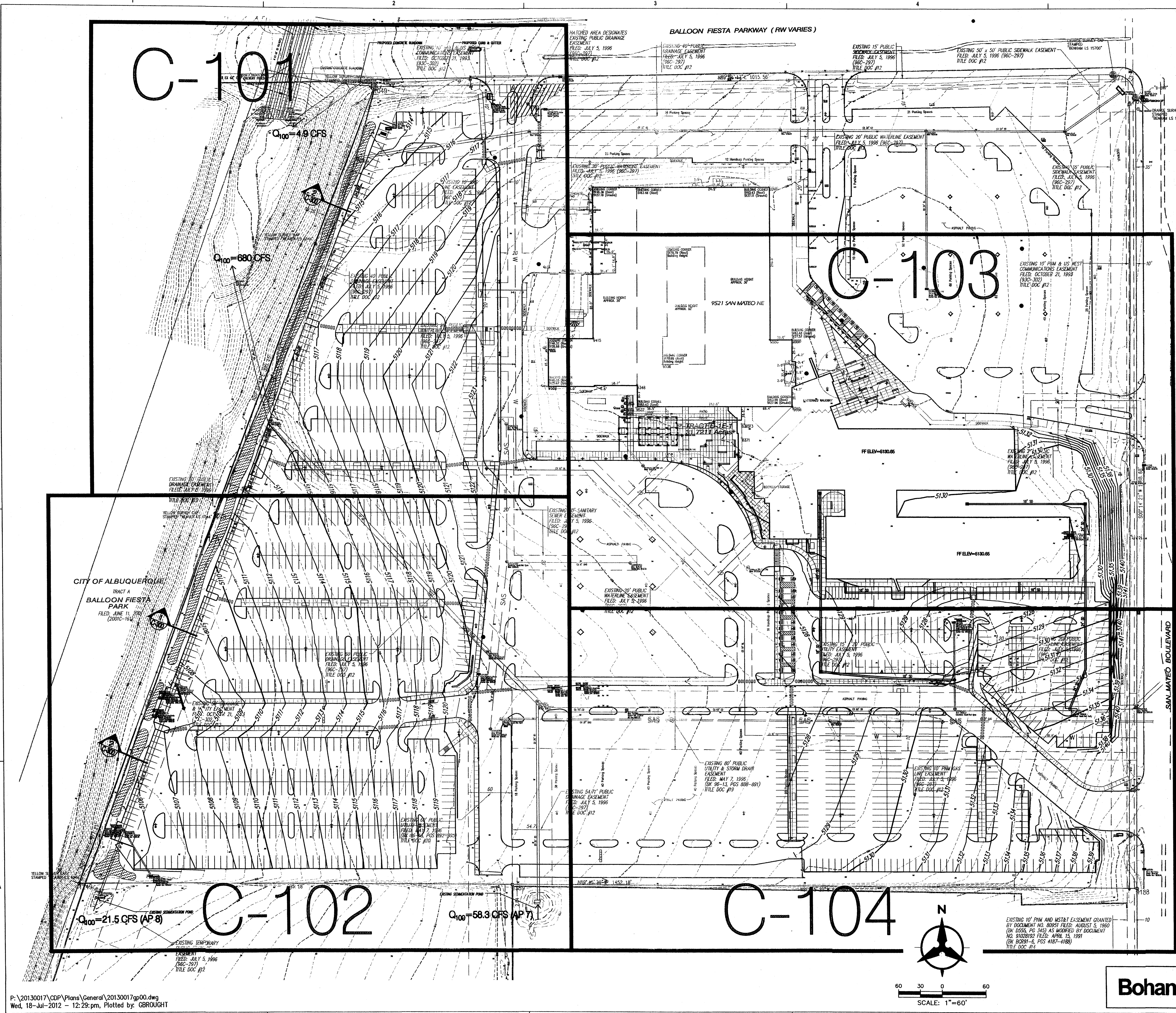
REVISIONS

- △
- △
- △
- △

DRAWN BY	BO
REVIEWED BY	GSB
DATE	7/16/2012
PROJECT NO.	11-0100
DRAWING NAME	GRADING & DRAINAGE PLAN

SHEET NO.

**C-100**  
3 of 16



MART-NAIR INVESTMENTS, I

TRACT A, UNIT P  
NORTH ALBUQUERQUE ACRES  
EX. 10% AREA OF MAP

MART-NAIR INVESTMENTS, LI

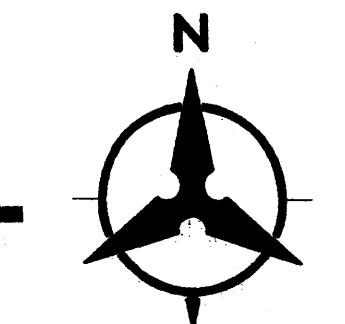
PASADENA AVENUE NE

TRACT A, UNIT 6  
9820 SAN MATEO NE, LLC  
NORTH ALBUQUERQUE ACRES  
FILED: FEBRUARY 23, 2002  
FILE NO. 20000-57

9800 SAN MATEO NE, LLC

VENICE AVENUE NE

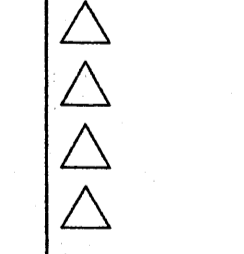
TRACT A, UNIT P  
CORONADO LAND, LLC



SCALE: 1"=60'

**Bohannon & Huston**





**GENERAL NOTES**

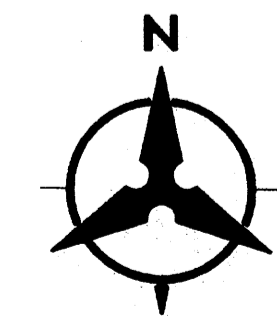
1. ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT, WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
2. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
4. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
5. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
6. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
7. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
8. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
9. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
10. ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
11. THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
12. ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
13. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADES AT THE END AND BEGINNING OF EACH DAY.
14. THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

**KEYED NOTES**

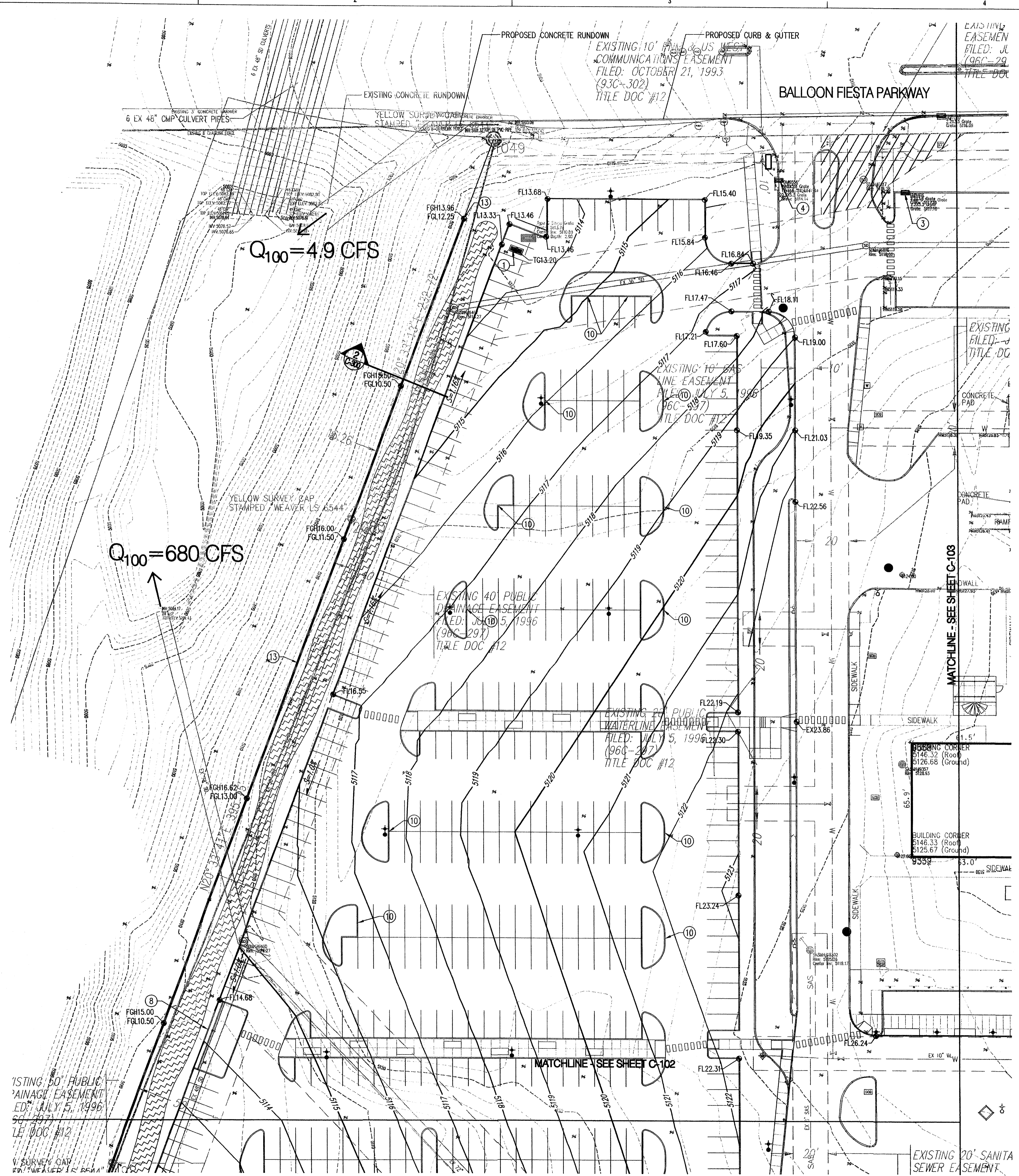
1. CONSTRUCT TYPE 'D' DOUBLE GRATE STORM DRAIN INLET PER COA STD DWG 2206.
2. CONSTRUCT TYPE 'D' SINGLE GRATE STORM DRAIN INLET PER COA STD DWG 2206.
3. EXISTING TYPE 'C' SINGLE GRATE STORM DRAIN INLET TO REMAIN.
4. EXISTING TYPE 'A' SINGLE GRATE STORM DRAIN INLET TO REMAIN.
5. EXISTING TYPE 'A' DOUBLE GRATE STORM DRAIN INLET TO REMAIN.
6. INSTALL STORM DRAIN PIPE. SEE PLAN FOR SIZE.
7. RETAINING WALL.
8. CONCRETE RIBBON CHANNEL.
9. EXISTING TYPE 'D' SINGLE GRATE INLET TO REMAIN.
10. CONSTRUCT 12" WIDE CURB OPENING FOR DRAINAGE/WATER HARVESTING.
11. CONSTRUCT STORM DRAIN MANHOLE TYPE "C" PER COA STD DWG 2101.
12. INSTALL STORM DRAIN CLEANOUT
13. INSTALL RETAINING WALL

**LEGEND**

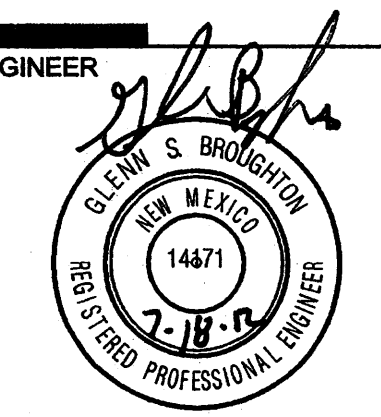
- PROPERTY LINE
- 5301 --- EXISTING CONTOURS
- 36.90 PROPOSED SPOT ELEVATION
- - - IC=TOP OF CURB, FL=FLOW LINE
- - - IS=TOP OF SIDEWALK, TA=TOP OF ASPHALT
- - - EX=EXISTING, FG=FINISHED GRADE
- - - FGH=FINISHED GRADE HIGH
- - - FGL=FINISHED GRADE LOW
- S=2.0% PROPOSED DIRECTION OF FLOW
- ~~~~~ WATER BLOCK
- PROPOSED RETAINING WALL
- 5305 --- PROPOSED INDEX CONTOURS
- PROPOSED INTER CONTOURS
- ~~~~~ PROPOSED WATER HARVESTING SWALE SEE 1/C-101



SCALE: 1"=30'







Presbyterian Systems Office  
DRB Submittal  
9521 San Mateo NE  
Albuquerque, New Mexico

REVISIONS

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- △
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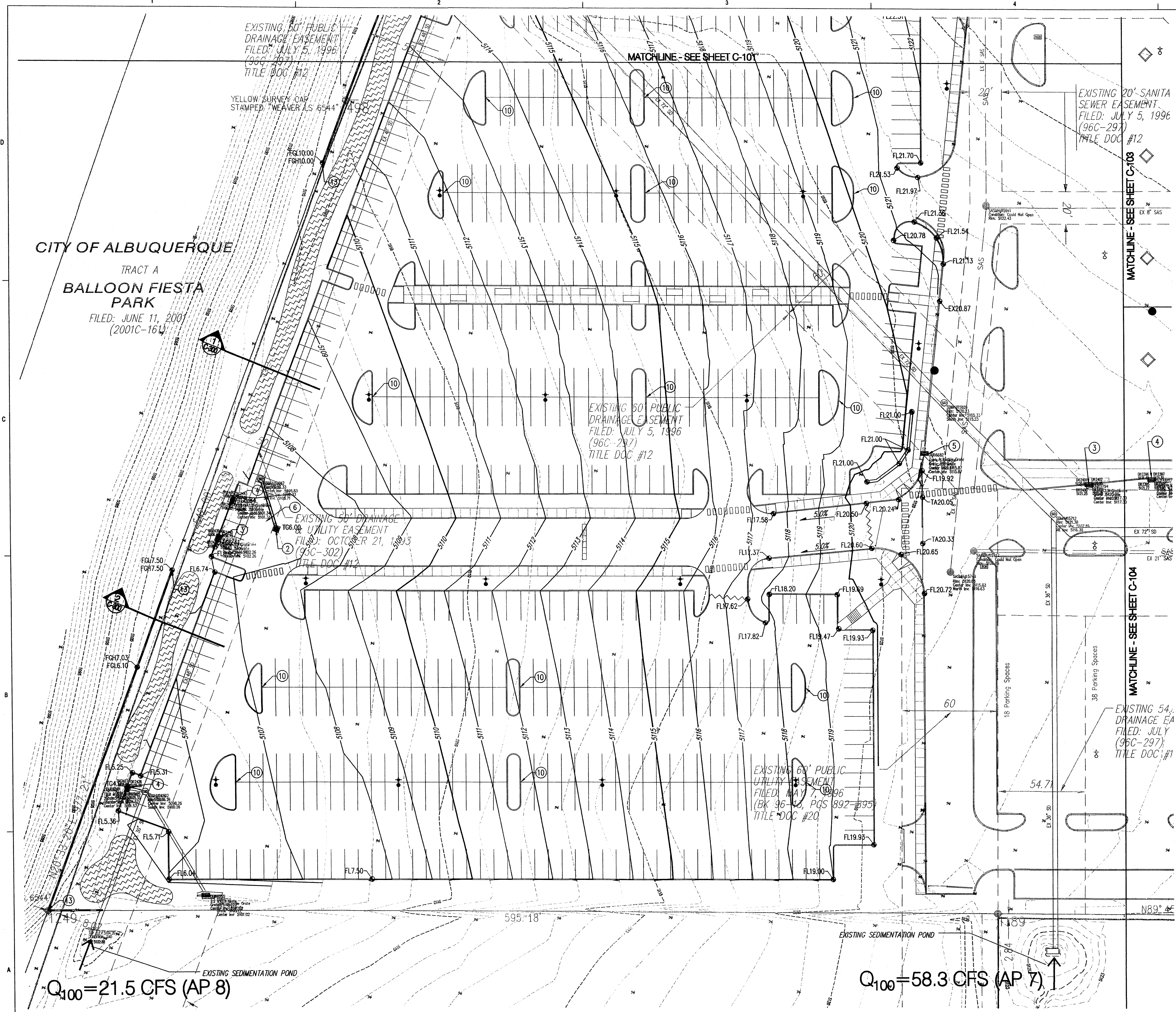
DRAWN BY	BO
REVIEWED BY	GSB
DATE	7/16/2012
PROJECT NO.	11-0100
DRAWING NAME	GRADING & DRAINAGE PLAN

**KEYED NOTES**

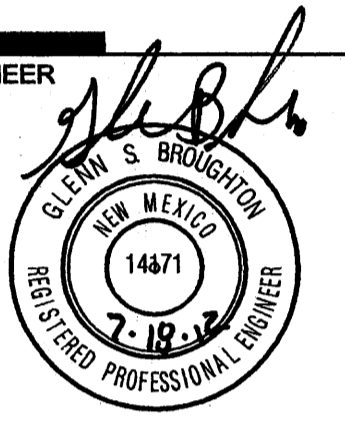
1. CONSTRUCT TYPE 'D' DOUBLE GRATE STORM DRAIN INLET PER COA STD DWG 2206.
2. CONSTRUCT TYPE 'D' SINGLE GRATE STORM DRAIN INLET PER COA STD DWG 2206.
3. EXISTING TYPE 'C' SINGLE GRATE STORM DRAIN INLET TO REMAIN.
4. EXISTING TYPE 'A' SINGLE GRATE STORM DRAIN INLET TO REMAIN.
5. EXISTING TYPE 'A' DOUBLE GRATE STORM DRAIN INLET TO REMAIN.
6. INSTALL STORM DRAIN PIPE. SEE PLAN FOR SIZE.
7. RETAINING WALL.
8. CONCRETE RIBBON CHANNEL.
9. EXISTING TYPE 'D' SINGLE GRATE INLET TO REMAIN.
10. CONSTRUCT 12" WIDE CURB OPENING FOR DRAINAGE/WATER HARVESTING.
11. CONSTRUCT STORM DRAIN MANHOLE TYPE "C" PER COA STD DWG 2101.
12. INSTALL STORM DRAIN CLEANOUT
13. INSTALL RETAINING WALL

**LEGEND**

- PROPERTY LINE
- - - 5.301 EXISTING CONTOURS
- 36.90 PROPOSED SPOT ELEVATION
- TC=TOP OF CURB, FL=FLOW LINE
- TS=TOP OF SIDEWALK, TA=TOP OF ASPHALT
- EX=EXISTING, FG=FINISHED GRADE
- FGH=FINISHED GRADE HIGH
- FL=FINISHED GRADE LOW
- S=2.0% PROPOSED DIRECTION OF FLOW
- Water Block
- Proposed Retaining Wall
- - - 5.305 PROPOSED INDEX CONTOURS
- Proposed Inter Contours
- Proposed Water Harvesting Swale SEE 1/C-101







Presbyterian Systems Office  
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9521 San Mateo NE  
Albuquerque, New Mexico

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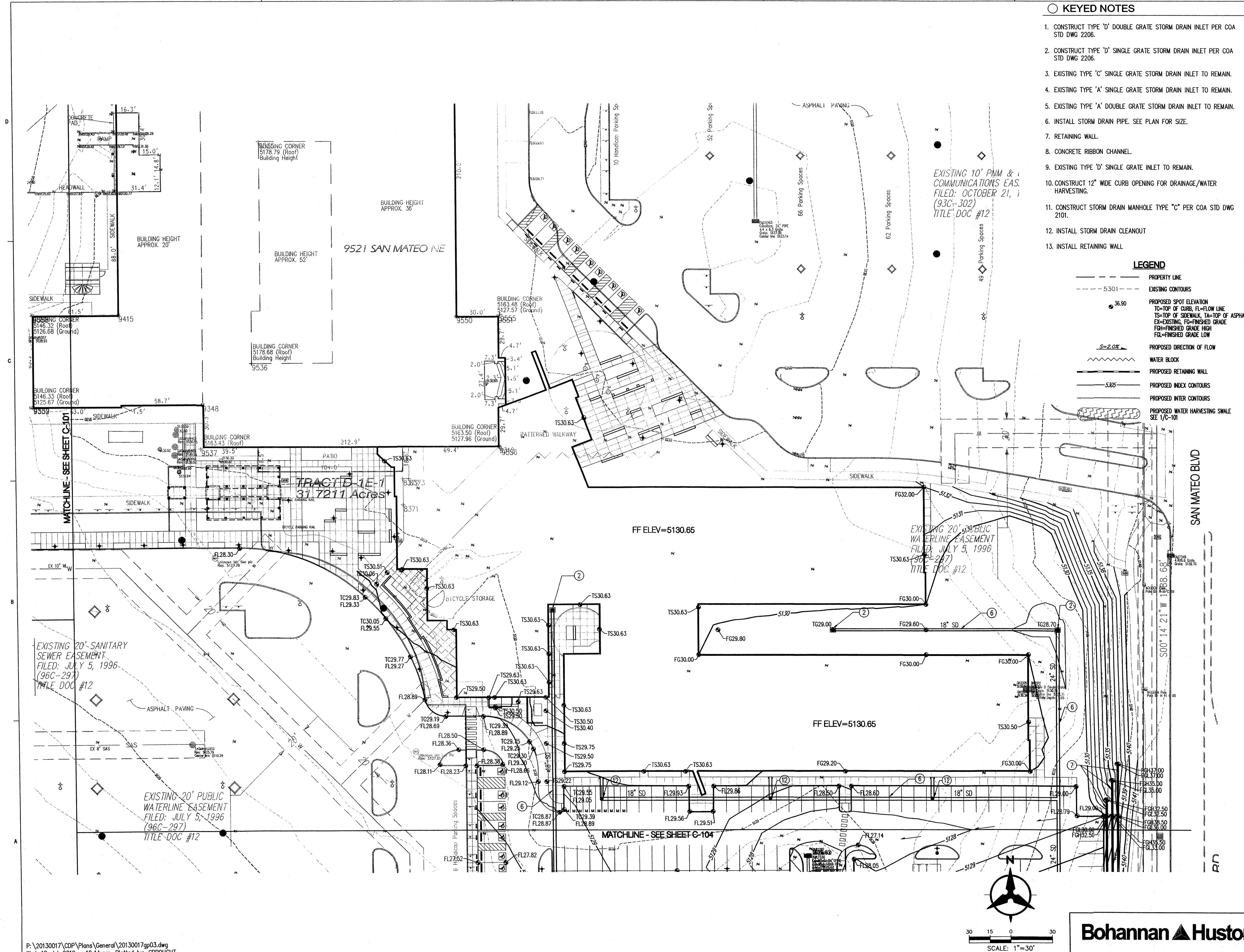
DRAWN BY	BO
REVIEWED BY	GSB
DATE	7/16/2012
PROJECT NO.	11-0100
DRAWING NAME	GRADING & DRAINAGE PLAN

**KEYED NOTES**

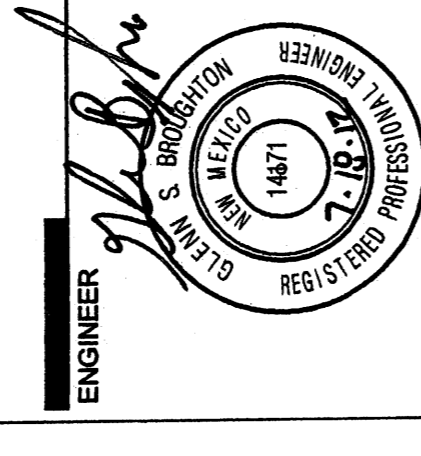
1. CONSTRUCT TYPE "D" DOUBLE GRATE STORM DRAIN INLET PER COA STD DWG 2206.
2. CONSTRUCT TYPE "D" SINGLE GRATE STORM DRAIN INLET PER COA STD DWG 2206.
3. EXISTING TYPE "C" SINGLE GRATE STORM DRAIN INLET TO REMAIN.
4. EXISTING TYPE "A" SINGLE GRATE STORM DRAIN INLET TO REMAIN.
5. EXISTING TYPE "A" DOUBLE GRATE STORM DRAIN INLET TO REMAIN.
6. INSTALL STORM DRAIN PIPE. SEE PLAN FOR SIZE.
7. RETAINING WALL.
8. CONCRETE RIBBON CHANNEL.
9. EXISTING TYPE "D" SINGLE GRATE INLET TO REMAIN.
10. CONSTRUCT 12" WIDE CURB OPENING FOR DRAINAGE/WATER HARVESTING.
11. CONSTRUCT STORM DRAIN MANHOLE TYPE "C" PER COA STD DWG 2101.
12. INSTALL STORM DRAIN CLEANOUT
13. INSTALL RETAINING WALL

**LEGEND**

- PROPERTY LINE
- - - 5301 - - - EXISTING CONTOURS
- 36.90 PROPOSED SPOT ELEVATION
- TO=TOP OF CURB, FL=FLOW LINE
- TS=TOP OF SIDEWALK, TA=TOP OF ASPHALT
- EG=EXISTING, FG=FINISHED GRADE
- FGH=FINISHED GRADE HIGH
- FGL=FINISHED GRADE LOW
- S=2.0% PROPOSED DIRECTION OF FLOW
- WATER BLOCK
- PROPOSED RETAINING WALL
- 5305 - - - PROPOSED INDEX CONTOURS
- PROPOSED INTER CONTOURS
- PROPOSED WATER HARVESTING SWALE SEE 1/C-101





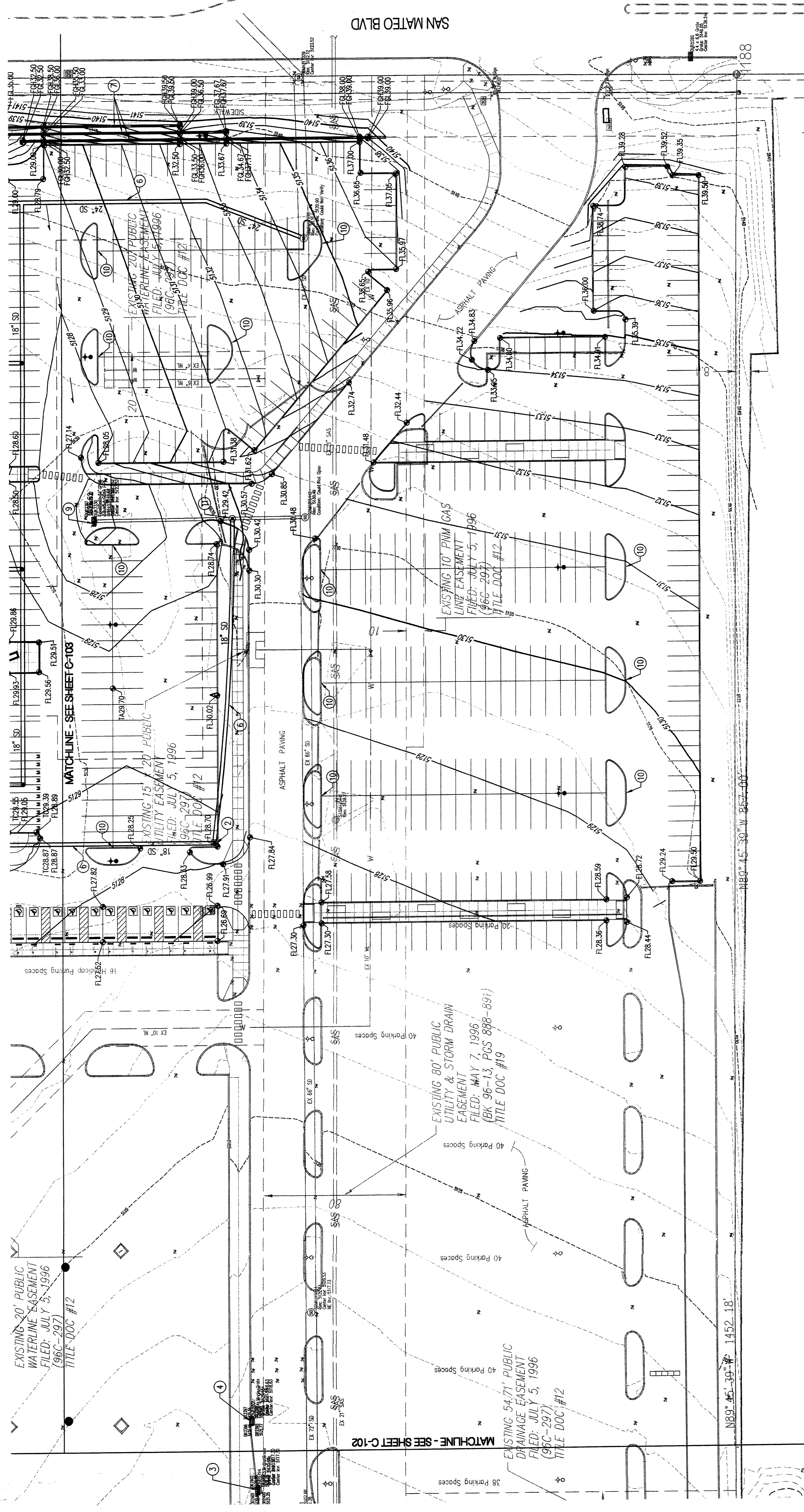


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DRAWN BY	BO
REVIEWED BY	GSB
DATE	7/16/2012
PROJECT NO.	11-0100
DRAWING NAME	GRADING & DRAINAGE PLAN



SCALE: 1"=30'



EXISTING 10' PNM AND M&T EASEMENT GRANTED BY DOCUMENT NO. 80951 FILED: AUGUST 5, 1960 (BK D555, PG 345) AS MODIFIED BY DOCUMENT NO. 91028192 FILED: APRIL 15, 1991 (BK BCF91-6, PGS 4187-4189) TITLE DOC #14

**LEGEND**

- 5.301 — PROPERTY LINE
- - - EXISTING CONTOURS
- 36.90 PROPOSED SPOT ELEVATION
- TO-TOP OF CURB, FLOW LINE
- STORM DRAIN PIPE, GRADE
- F8-FINISHED GRADE HIGH
- F4-FINISHED GRADE LOW
- PROPOSED DIRECTION OF FLOW
- WATER BLOCK
- PROPOSED RETAINING WALL
- PROPOSED INDEX CONTOURS
- PROPOSED INTER CONTOURS
- PROPOSED WATER HARVESTING SWALE SEE 10C-10I

**KEYED NOTES**

1. CONSTRUCT TYPE 'D' DOUBLE GRATE STORM DRAIN INLET PER COA STD DWG Z206.
2. CONSTRUCT TYPE 'D' SINGLE GRATE STORM DRAIN INLET PER COA STD DWG Z206.
3. EXISTING TYPE 'C' SINGLE GRATE STORM DRAIN INLET TO REMAIN.
4. EXISTING TYPE 'A' SINGLE GRATE STORM DRAIN INLET TO REMAIN.
5. EXISTING TYPE 'A' DOUBLE GRATE STORM DRAIN INLET TO REMAIN.
6. INSTALL STORM DRAIN PIPE. SEE PLAN FOR SIZE.
7. RETAINING WALL.
8. CONCRETE RIBBON CHANNEL.
9. EXISTING TYPE 'D' SINGLE GRATE INLET TO REMAIN.
10. CONSTRUCT 12" WIDE CURB OPENING FOR DRAINAGE/WATER HARVESTING.
11. CONSTRUCT STORM DRAIN MANHOLE TYPE 'C' PER COA STD DWG 2101.
12. INSTALL STORM DRAIN CLEANOUT
13. INSTALL RETAINING WALL

EXISTING 20' PUBLIC WATERLINE EASEMENT FILED: JULY 5, 1996 (96C-297) TITLE DOC #12

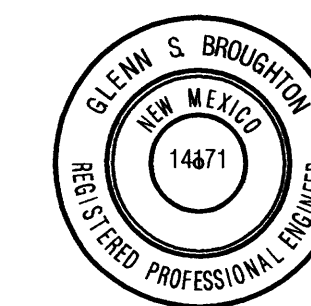
MATCHLINE - SEE SHEET C-103

EXISTING 15' x 20' PUBLIC UTILITY EASEMENT FILED: JULY 5, 1996 (96C-297) TITLE DOC #12

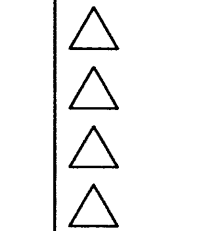
EXISTING 80' PUBLIC UTILITY & STORM DRAIN EASEMENT FILED: MAY 7, 1996 (BK 96-13, PGS 888-891) TITLE DOC #19

EXISTING 54.71' PUBLIC DRAINAGE EASEMENT FILED: JULY 5, 1996 (96C-297) TITLE DOC #12





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DRB Submittal  
9521 San Mateo NE  
Albuquerque, New Mexico



DRAWN BY	BO
REVIEWED BY	GSB
DATE	7/16/2012
PROJECT NO.	11-0100
DRAWING NAME	UTILITY PLAN

### GENERAL NOTES

- ALL EXISTING UTILITIES TO REMAIN AS PREVIOUSLY CONSTRUCTED.

### KEYED NOTES

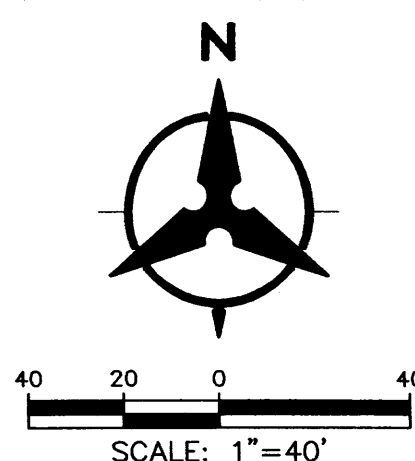
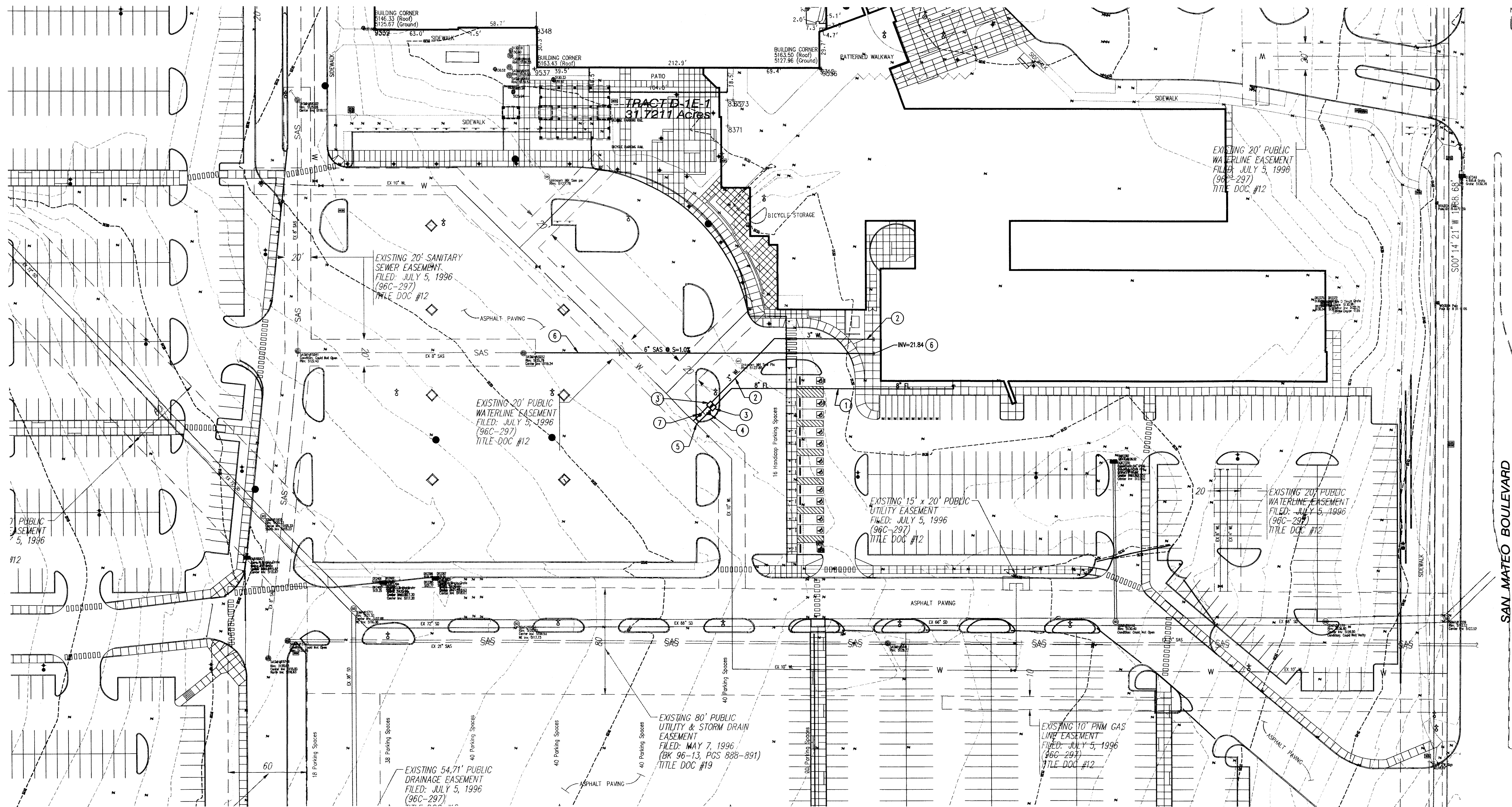
- 8" FIRE LINE.
- 3" DOMESTIC WATER LINE SERVICE.
- REDUCED PRESSURE BACKFLOW PREVENTER W/ HEATED ENCLOSURE.
- POST INDICATOR VALVE.
- 10"x10"x8" TAPPING SADDLE WITH GATE VALVE.
- 6" SANITARY SEWER SERVICE LINE.
- 2" WATER METER AND SERVICE LINE PER COA STD DWG 2363.

### UTILITY NOTES

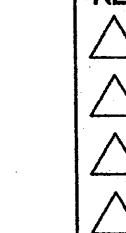
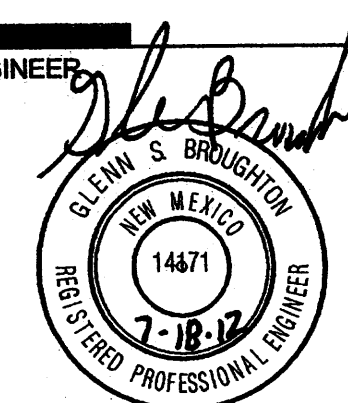
- THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO MECHANICAL UTILITIES AS SHOWN ON THIS PLAN INCLUDING: TRENCHING, BACKFILL, SUPPORTS, CLEANOUT PADS, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING, CLEANING, AND STERILIZING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.
- MINIMUM DEPTHS OF COVER SHALL BE: 36" FOR WATERLINES AND 48" FOR SEWER, EXCEPT AT BUILDING CONNECTION.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED OF HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE IAPMO UNIFORM PLUMBING CODE & NFPA 24, LATEST EDITION.
- UTILITY LINES SHALL BE INSTALLED PRIOR TO PAVEMENT, CURB AND GUTTER, AND/OR SIDEWALK, AS APPLICABLE.
- ROUGH GRADING OF SITE (+0.5') SHALL BE COMPLETED PRIOR TO INSTALLATION OF UTILITY LINES.
- CONTRACTOR WILL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING DRAIN LINES AND ALL NECESSARY FITTINGS.
- ALL VALVES SHALL BE ANCHORED PER COA STANDARD DWG. 2333.
- FIRE LINES SHALL USE PIPE MATERIALS UNDERWRITERS LABORATORIES LISTED AND APPROVED FOR FIRE SERVICE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WATER METER, FIRE LINE, AND SEWER HOOKUP FEES FOR INSTALLATIONS. OWNER SHALL BE RESPONSIBLE FOR UTILITY EXPANSION CHARGES, PRORATA AND OTHER SPECIAL ASSESSMENTS.
- CONTRACTOR SHALL VERIFY INVERTS AND LOCATIONS OF EXISTING WATER/SAS LINES PRIOR TO BEGINNING WORK. ALL CONFLICTS SHALL BE BROUGHT TO ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO BEGINNING WORK.
- CONTRACTOR SHALL NOTIFY THE AUTHORITY HAVING JURISDICTION PRIOR TO INSTALLATION OF FIRE SERVICE LINES, AND PRIOR TO TESTING OF ALL WATERLINES. CONTRACTOR SHALL COMPLETE, SIGN, AND SUBMIT THE "CONTRACTOR'S MATERIAL & TEST CERTIFICATE FOR UNDERGROUND PIPING" IN ACCORDANCE WITH NFPA 24.

### LEGEND

---	PROPERTY LINE
---	EXISTING EASEMENT
SAS	EXISTING SANITARY SEWER
W	EXISTING WATER LINE
⊕	EXISTING CAP
⊕	EXISTING VALVE
⊕	EXISTING FIRE HYDRANT
⊕	EXISTING SANITARY SEWER MANHOLE
⊕	EXISTING STORM DRAIN MANHOLE
⊕	EXISTING INLET
SAS	PROPOSED EASEMENT
---	PROPOSED SANITARY SEWER LINE
---	PROPOSED SANITARY SEWER MANHOLE
●	PROPOSED CLEANOUT
W	PROPOSED WATER LINE
⊕	PROPOSED VALVE
FL	PROPOSED FIRE LINE
⊕	PROPOSED HYDRANT
⊕	PROPOSED CAP







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PROJECT NO.	11-0100
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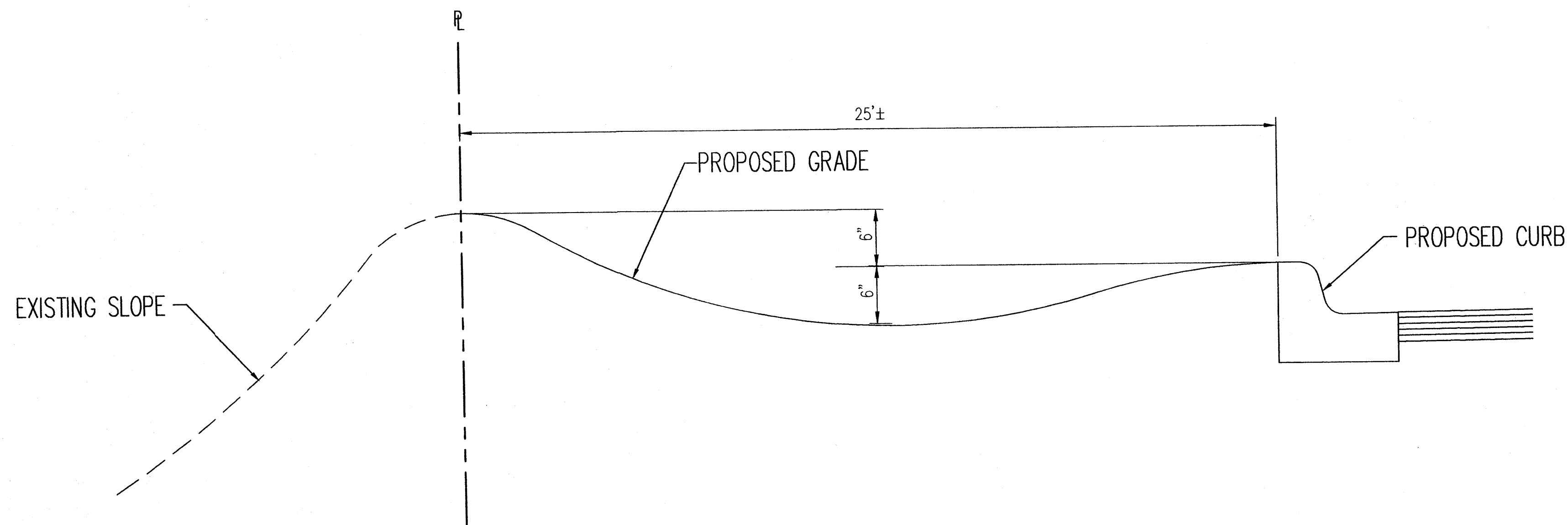
GENERAL NOTES  
AND DETAILS

**GENERAL NOTES**

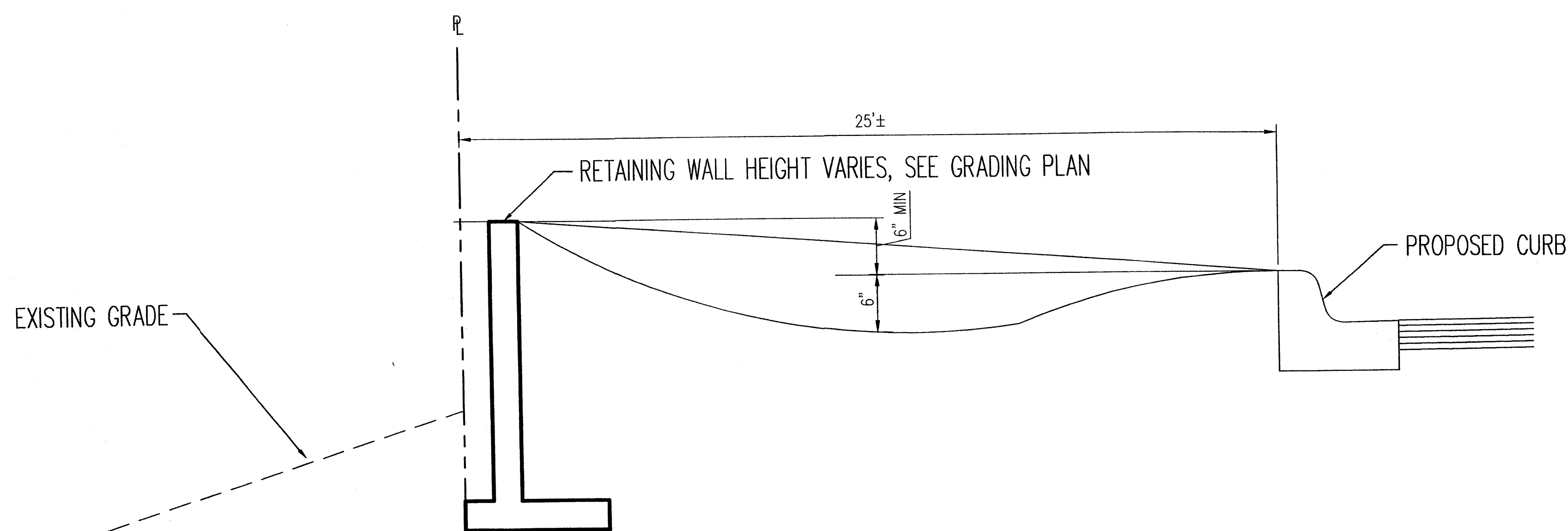
1. ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT, WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
2. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
4. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
5. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
6. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
7. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
8. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
9. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADES, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
10. ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
11. THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
12. ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
13. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADES AT THE END AND BEGINNING OF EACH DAY.
14. THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

**GRADING NOTES**

1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION". ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
4. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
5. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY.
7. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAIL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
8. PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
9. ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDANS AND ISLANDS.
10. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.



**1** TYPICAL SECTION AT PROPERTY LINE  
N.T.S.



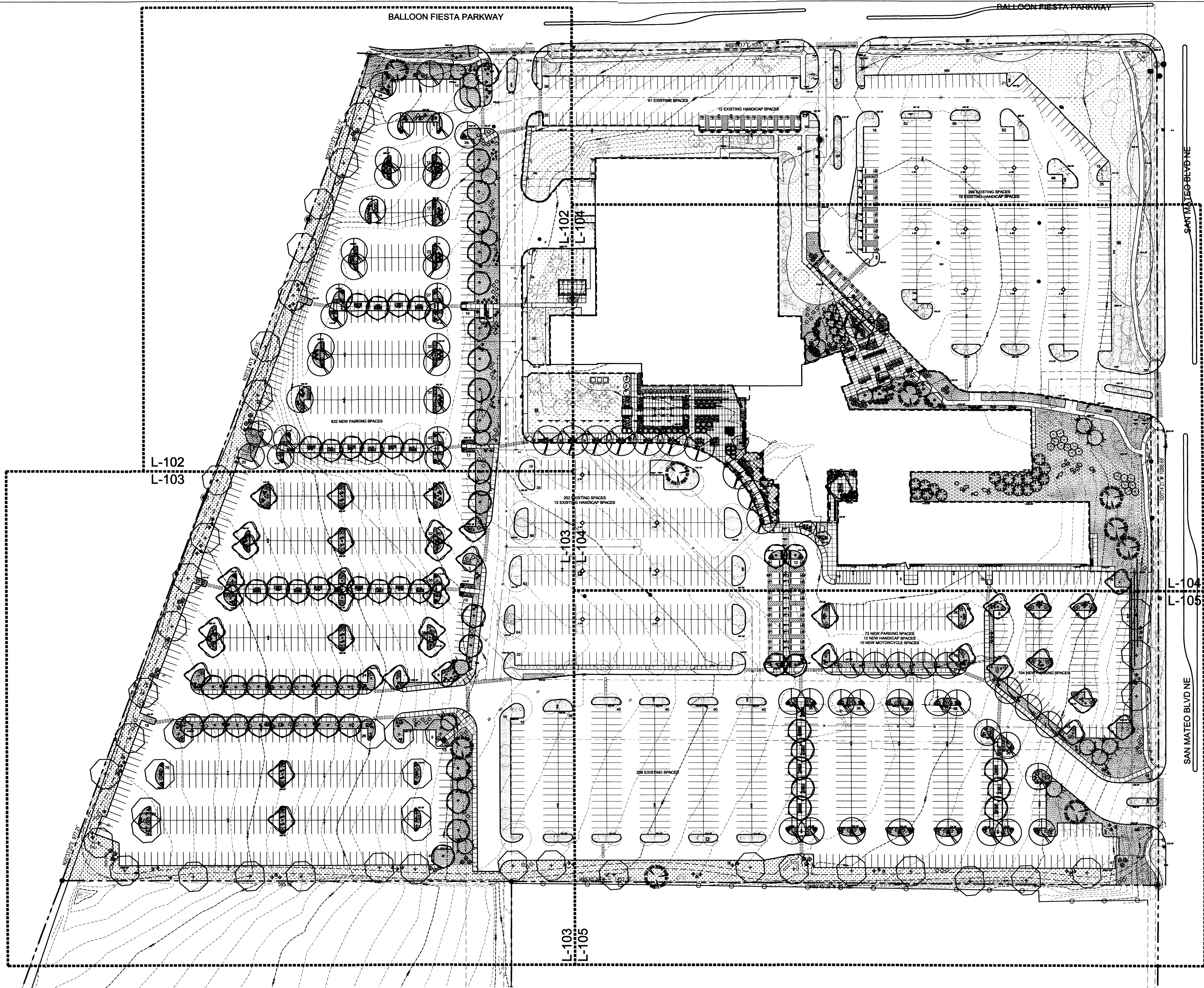
**2** TYPICAL SECTION AT PROPERTY LINE  
N.T.S.



REVISIONS	
△	7-17-2012 CHANGES MADE PER DRB COMMENT
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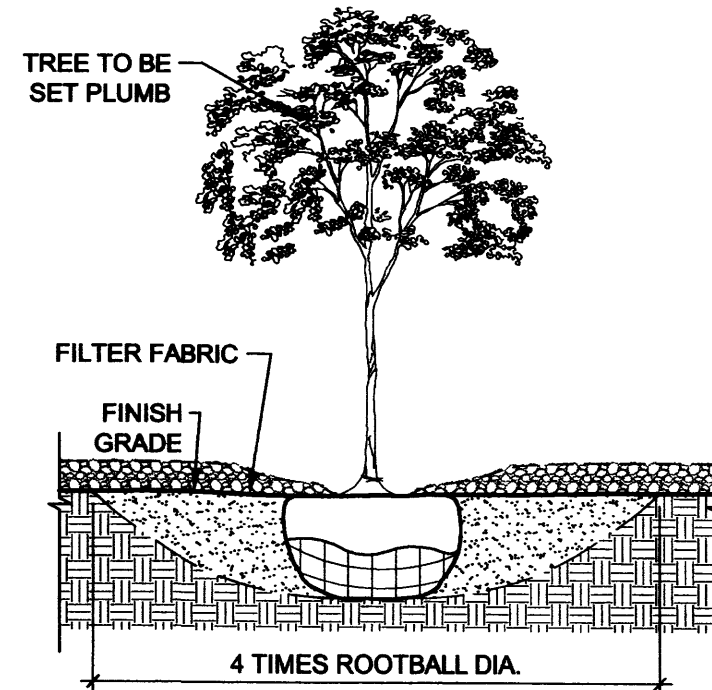
OVERALL LANDSCAPE  
PLAN



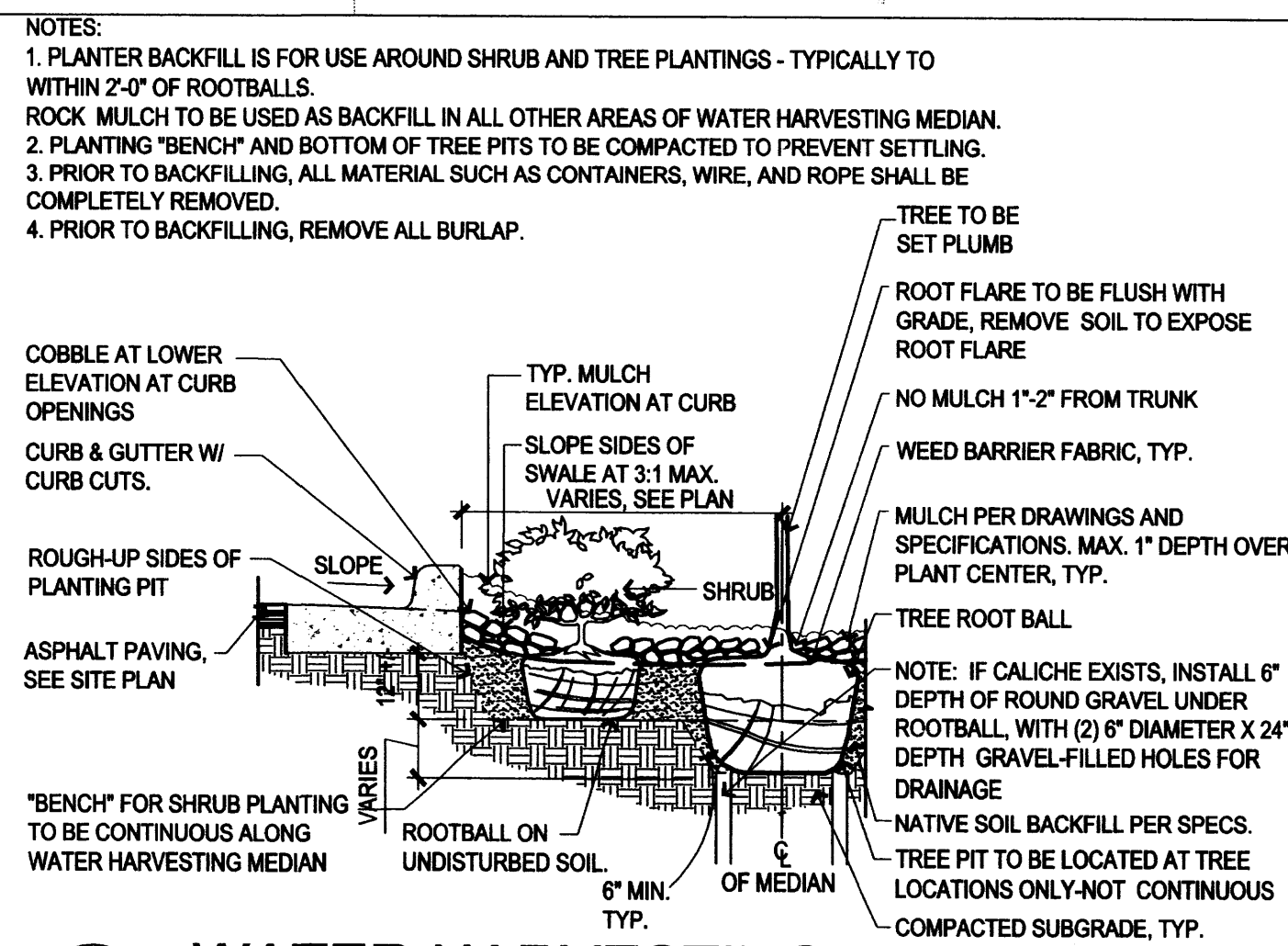
NORTH  
A1 OVERALL LANDSCAPE PLAN  
1" = 60'-0"  
0 60' 120'



- NOTES:
1. PRIOR TO BACKFILLING, ALL MATERIAL SUCH AS CONTAINERS, WIRE, BURLAP, AND ROPE SHALL BE REMOVED AS COMPLETELY AS POSSIBLE, WHILE STILL PROTECTING THE INTEGRITY OF THE ROOTBALL.
  2. BOTTOM OF TREE PITS TO BE COMPACTED TO PREVENT SETTLING.



**A1 TREE**  
3/4" = 1'-0"  
0 1' 2' 3'



**A2 WATER HARVESTING AREA**  
1/2" = 1'-0"  
0 1' 2' 4'

**PLANTING SCHEDULE**

TREES	SYMBOL	COMMON NAME	BOTANICAL NAME	INSTALLED SIZE
		BLOODGOOD JAPANESE MAPLE	<i>Acer palmatum 'Bloodgood'</i>	30" box Multi-trunk
		SERVICEBERRY	<i>Amelanchier alnifolia</i>	30" box Multi-trunk
		MODESTO ASH	<i>Fraxinus velutina 'Modesto'</i>	2"-Cal
		PINON PINE	<i>Pinus edulis</i>	6' height
		EXTRA BLUE LIMBER PINE	<i>Pinus flexilis 'Extra Blue'</i>	6' height
		AUSTRIAN PINE	<i>Pinus nigra</i>	6' height
		THUNDERHEAD BLACK PINE	<i>Pinus thunbergii</i>	6' height
		CHINESE PISTACHE	<i>Pistacia chinensis</i>	2"-Cal
		SHUMARD OAK	<i>Quercus shumardii</i>	2"-Cal
		MEXICAN ELDER	<i>Sambucus mexicana</i>	2"-Cal
		JAPANESE PAGODA TREE	<i>Sophora japonica</i>	2"-Cal
		ALLEE ELM	<i>Ulmus parviflora 'Allee'</i>	2"-Cal
		CHASTE TREE	<i>Vitex agnus-castus</i>	30" box Multi-trunk

SHRUBS / PERENNIALS	SYMBOL	COMMON NAME	BOTANICAL NAME	INSTALLED SIZE
		YARROW	<i>Achillea sp.</i>	1 Gal.
		SAGE	<i>Artemisia sp.</i>	1 Gal.
		THOMPSON BROOM	<i>Baccharis hybrid 'Starr'</i>	1 Gal.
		TRUMPET VINE	<i>Campsis radicans</i>	1 Gal.
		DARK KNIGHT BLUE MIST SPIRAEA	<i>Caryopteris clandonensis 'Dark Knight'</i>	1 Gal.
		FERNBUSH	<i>Chamaebatia millefolium</i>	1 Gal.
		TICKSEED	<i>Coreopsis sp.</i>	1 Gal.
		REDTWIG DOGWOOD	<i>Cornus sericea 'Bailey'</i>	1 Gal.
		APACHE PLUME	<i>Fallugia paradoxa</i>	1 Gal.
		BLANKETFLOWER	<i>Gaillardia aristata</i>	1 Gal.
		GAURA	<i>Gaura sp.</i>	1 Gal.
		IRIS	<i>Iris sp.</i>	1 Gal.
		JUNIPER	<i>Juniperus sp.</i>	1 Gal.
		LAVENDER	<i>Lavandula sp.</i>	1 Gal.
		CREEPING OREGON GRAPE	<i>Mahonia aquifolium 'Compacta'</i>	1 Gal.
		PHOTINIA	<i>Photinia sp.</i>	1 Gal.
		SHRUBBY CINQUEFOIL	<i>Potentilla fruticosa</i>	1 Gal.
		WESTERN SAND CHERRY	<i>Prunus besseyi</i>	1 Gal.
		PINK LADY INDIA HAWTHORN	<i>Raphiolepis indica 'Pink Lady'</i>	1 Gal.
		ROSEMARY	<i>Rosmarinus sp.</i>	1 Gal.
		CREEPING GERMANDER	<i>Teucrium chamaedrys 'Prostratum'</i>	1 Gal.
		PERIWINKLE	<i>Vinca major</i>	1 Gal.
		WISTERIA	<i>Wisteria chinensis</i>	1 Gal.

SUCCULENTS	SYMBOL	COMMON NAME	BOTANICAL NAME	INSTALLED SIZE
		PARRY'S AGAVE	<i>Agave parryi</i>	1 Gal.
		RED YUCCA	<i>Hesperaloe parviflora</i>	1 Gal.
		BEARGRASS	<i>Nolina microcarpa</i>	1 Gal.

GRASSES	SYMBOL	COMMON NAME	BOTANICAL NAME	INSTALLED SIZE
		FEATHER REED GRASS	<i>Calamagrostis acutiflora 'Karl Foerster'</i>	1 Gal.
		MAIDENHAIR GRASS	<i>Miscanthus sinensis 'Gracillimus'</i>	1 Gal.
		EL TORO MUHLY	<i>Muhlenbergia emersleyi 'El Toro'</i>	1 Gal.
		DEER GRASS	<i>Muhlenbergia rigens</i>	1 Gal.
		THREAD GRASS	<i>Nassella tenuissima</i>	1 Gal.

MULCHES	SYMBOL	DESCRIPTION
		EXISTING ROCK MULCH
		EXISTING TURF
		3/4" ROCK MULCH, 3" DEPTH OVER FILTER FABRIC, COLOR: SANTA FE BROWN
		CRUSHER FINES, 3" DEPTH OVER FILTER FABRIC, COLOR: CANYON GOLD
		NATIVE SEEDING, ALBUQUERQUE EASTSIDE MIX
		LANDSCAPE BOULDERS, 3' x 3' x 3' MIN.
		EXISTING PLANT MATERIAL TO REMAIN
		OPEN SPACE AREA

**GENERAL SHEET NOTES**

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- FOR ADDITIONAL INFORMATION ON SITE ELEMENTS, SEE SITE PLAN.

**PLANTING NOTES**

- THE LANDSCAPE DESIGN SHALL COMPLY WITH THE INTENT OF THE CITY OF ALBUQUERQUE WASTE WATER CONSERVATION, LANDSCAPING AND WATER WASTE ORDINANCE.
- LANDSCAPING SHALL BE INSTALLED ACCORDING TO THE APPROVED PLAN; INSTALLATION SHALL BE COMPLETE WITHIN 60 DAYS OF THE RELATED BUILDING'S OCCUPANCY.
- AFTER SUBSTANTIAL COMPLETION, THE INSTALLATION AND MAINTENANCE OF LANDSCAPING AND IRRIGATION SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- PLANTING SCHEDULE APPLIES TO NEW PLANT MATERIAL ONLY. FINAL SPECIES AND LOCATIONS MAY VARY FROM THIS PLAN.
- LANDSCAPING SHALL HAVE ADEQUATE MAINTENANCE. LANDSCAPING WHICH DIES SHALL BE REPLACED BY THE OWNER AS EXPEDITIOUSLY AS POSSIBLE, BUT IN NO CASE LONGER THAN 60 DAYS AFTER NOTIFICATION.
- THE EXISTING STREET TREE INSTALLATION IS COMPLIANT WITH THE CITY AND SECTOR PLAN REQUIREMENTS.
- THERE IS EXTENSIVE EXISTING LANDSCAPE THAT WILL BE PRESERVED.
- THERE IS EXISTING TURF IN THE LANDSCAPE, BUT NO ADDITIONAL TURF IS PROPOSED. SOME TURF WILL REQUIRE RENOVATION DUE TO CONSTRUCTION ACTIVITIES.
- LANDSCAPE AREAS SHALL BE COVERED WITH MULCH OR SOD. SEE PLANTING LEGEND.
- MINIMUM INSTALLATION SIZES FOR PLANT MATERIAL VARY BY SPECIES. SEE PLANT LEGEND.
- A MINIMUM OF 75% OF THE LANDSCAPE AREA SHALL BE COVERED WITH LIVE VEGETATIVE MATERIALS AT MATURITY.

**IRRIGATION NOTES**

- THE IRRIGATION SYSTEM DESIGN SHALL COMPLY WITH ALL CITY WATER CONSERVATION LANDSCAPE AND WASTE WATER ORDINANCES.
- A FULLY AUTOMATED IRRIGATION SYSTEM IS USED TO IRRIGATE TREES, SHRUBS, AND GROUND COVER PLANTING AREAS. NEW IRRIGATION FOR NEW PLANT MATERIALS WILL TIE INTO THE EXISTING AUTOMATED SYSTEM.
- THE IRRIGATION SYSTEM IS CONNECTED TO CITY WATER. THE POINT OF CONNECTION INCLUDES A WATER METER AND BACKFLOW PREVENTER.
- THE NEW IRRIGATION SYSTEM ZONES SHALL BE DESIGNED WITH SEPARATE ZONES ACCORDING TO PLANT WATER REQUIREMENTS.
- EACH NEW TREE SHALL RECEIVE THREE (3) - ONE (1) GPH EMITTERS. EACH SHRUB/PERENNIAL SHALL RECEIVE TWO (2) - TWO (2) GPH EMITTERS.
- THE MAINTENANCE OF THE IRRIGATION SYSTEM SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

**LANDSCAPE CALCULATIONS**

TOTAL SITE AREA: 1,381,771 SF = 31.7 AC  
 TOTAL BUILDING AREA: 325,790 SF  
 TOTAL R.O.W. AREA: 16,296 SF  
 NET LOT AREA: 1,039,683 SF = 23.9 AC

REQUIRED LANDSCAPE AREA: 15% OF NET LOT AREA = 155,952 SF  
 PROVIDED LANDSCAPE AREA (NOT INCL. R.O.W.): 311,041 SF = 30%

REQUIRED OPEN SPACE: 5% OF NET LOT AREA = 51,984 SF  
 PROVIDED OPEN SPACE: 122,320 SF = 11.8%

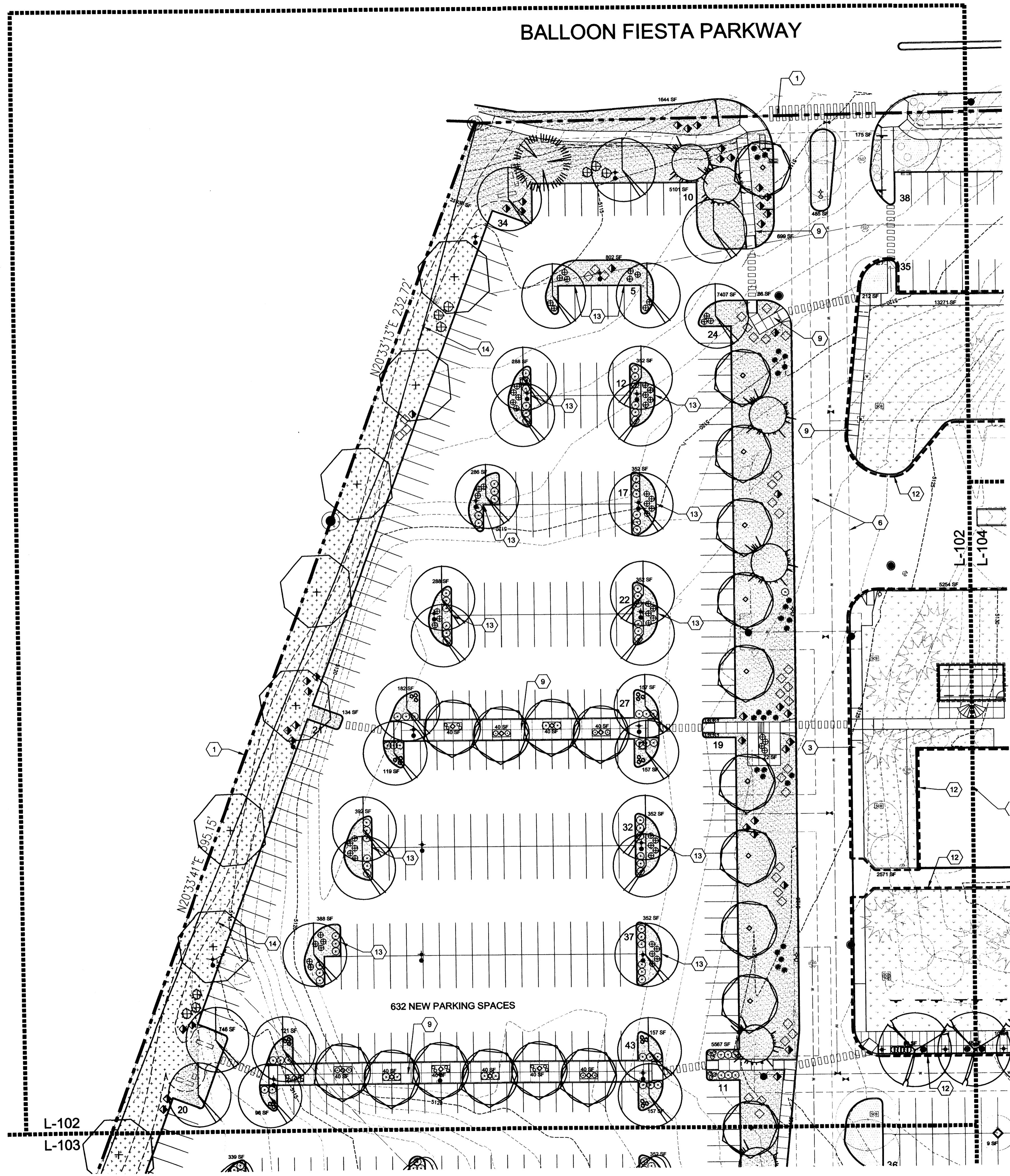
TREES/PARKING SPACES  
 REQUIRED: 1 TREE/10 PARKING SPACES = 2,179 PARKING SPACES/10 = 218 TREES  
 PROVIDED: 316 TREES

REVISIONS

	7-17-2012	CHANGES MADE PER DRB COMMENTS

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**LANDSCAPE NOTES  
AND DETAILS**



BALLOON FIESTA PARKWAY

632 NEW PARKING SPACES

L-102  
L-103

L-102  
L-104

NORTH  
A1 ENLARGED LANDSCAPE PLAN  
1" = 30'-0"

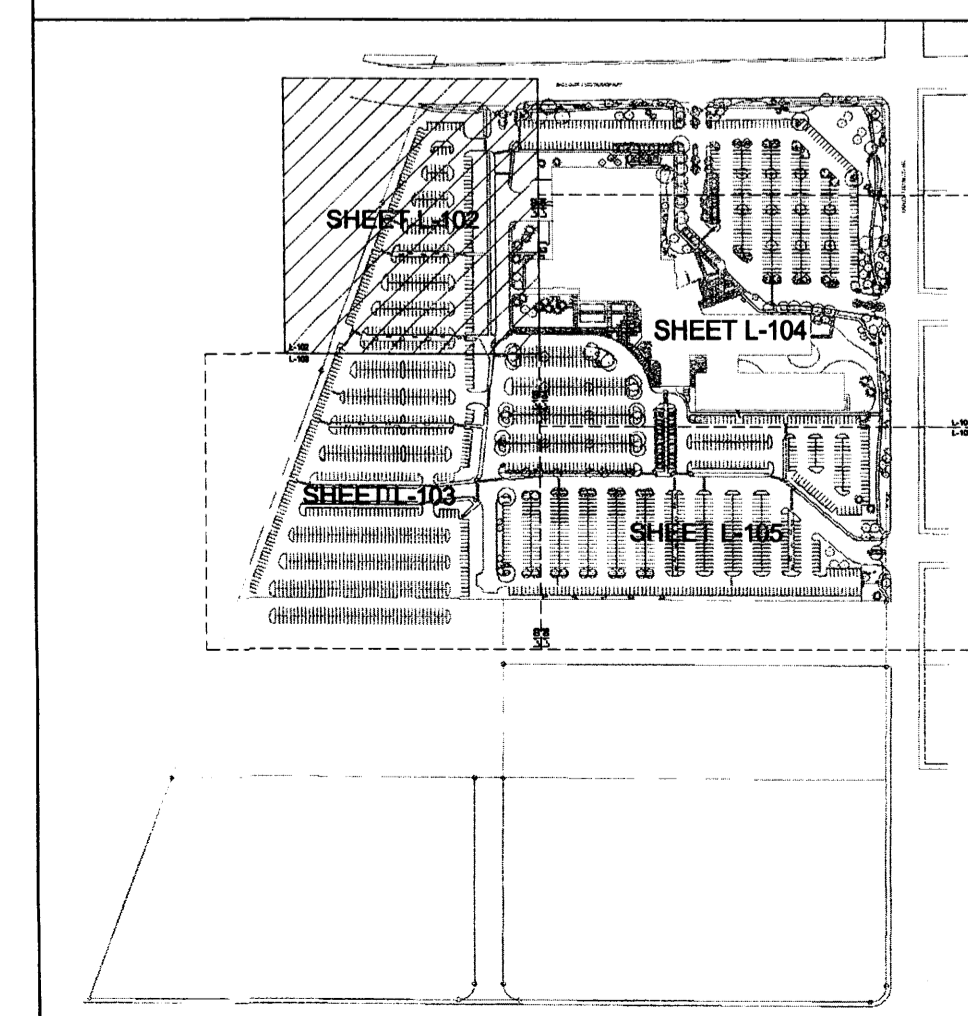
GENERAL SHEET NOTES

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SHEET KEYED NOTES

- 1. PROPERTY LINE
- 2. EXISTING BUILDING
- 3. EXISTING SIDEWALK
- 4. EXISTING PARKING LOT
- 5. EXISTING MONUMENT SIGN
- 6. EASEMENT, SEE ARCHITECTURAL
- 7. NEW BUILDING
- 8. SHADE STRUCTURE
- 9. SIDEWALK
- 10. SEATWALL
- 11. SITE WALL
- 12. OPEN SPACE AREA
- 13. WATER HARVESTING CURB OPENING, SEE A2/L-101 AND CIVIL
- 14. COMPACTED CRUSHER FINES TRAIL

KEYPLAN



architecture  
interiors  
landscape  
planning  
engineering

**Dekker  
Perich  
Sabatini**

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REVISIONS

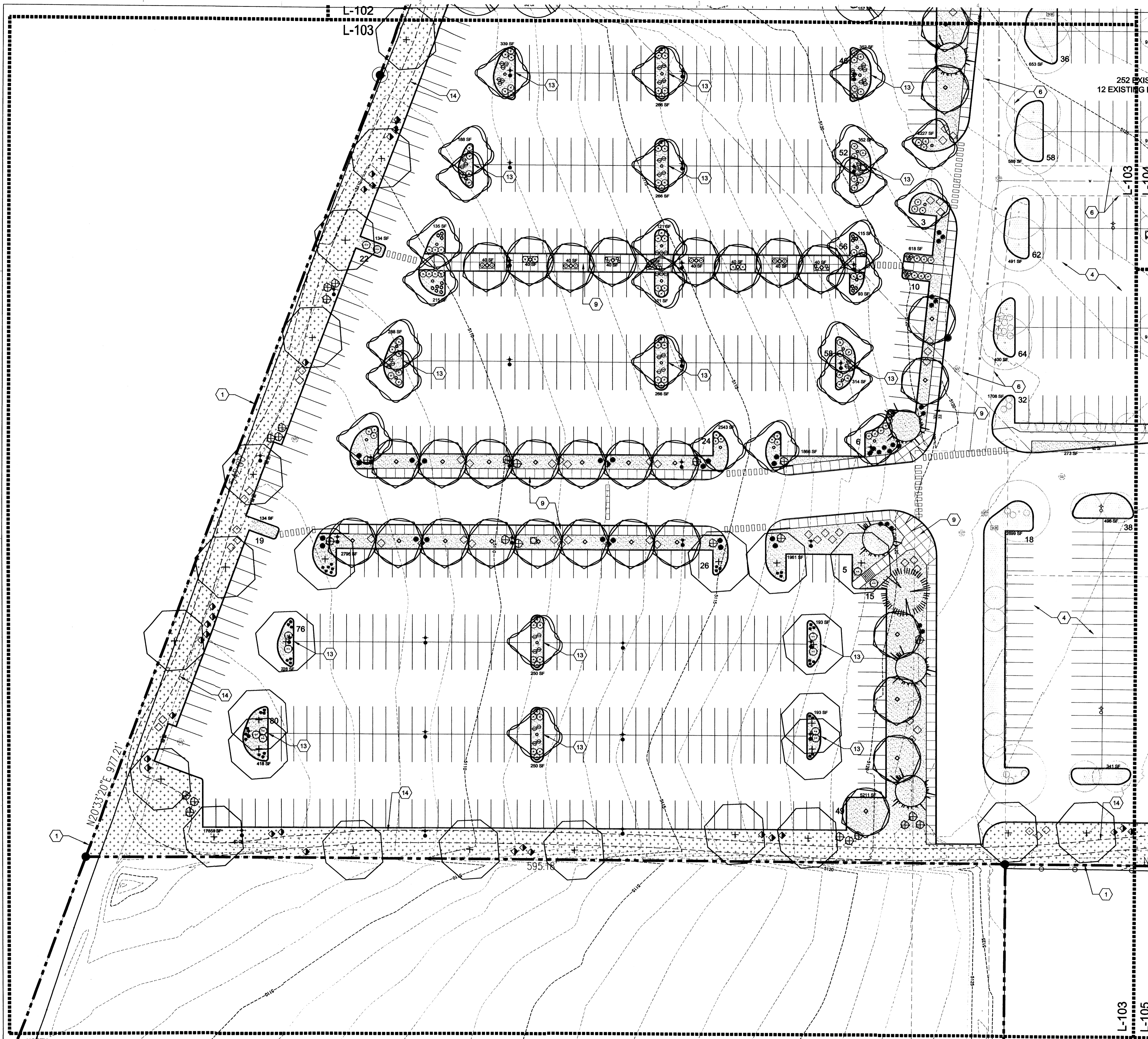
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ENLARGED LANDSCAPE PLAN

SHEET NO.  
**L-102**  
12 OF 18





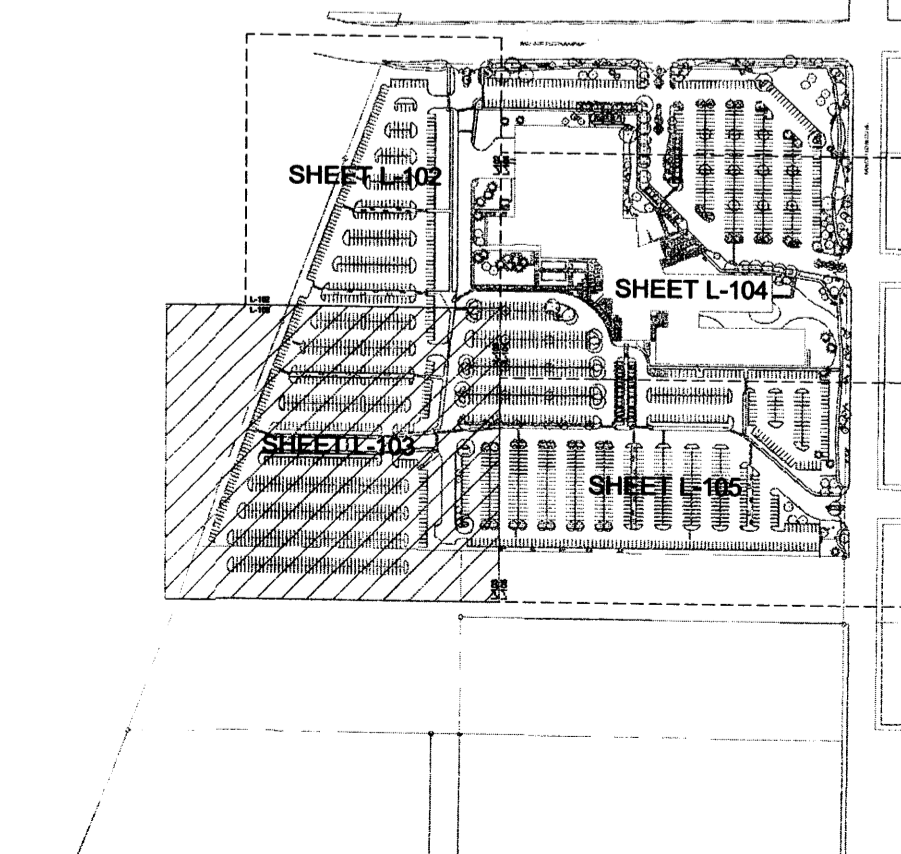
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**KEYPLAN**



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ARCHITECT  
 ENGINEER  
 PROJECT

Presbyterian Systems Office  
 DRB Submittal  
 9521 San Mateo NE  
 Albuquerque, New Mexico

REVISIONS

▲	7-17-2012	CHANGES MADE PER DRB COMMENTS
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ENLARGED LANDSCAPE PLAN

SHEET NO.  
**L-103**  
 13 OF 18

**ENLARGED LANDSCAPE PLAN**  
 1" = 30'-0"  
 NORTH



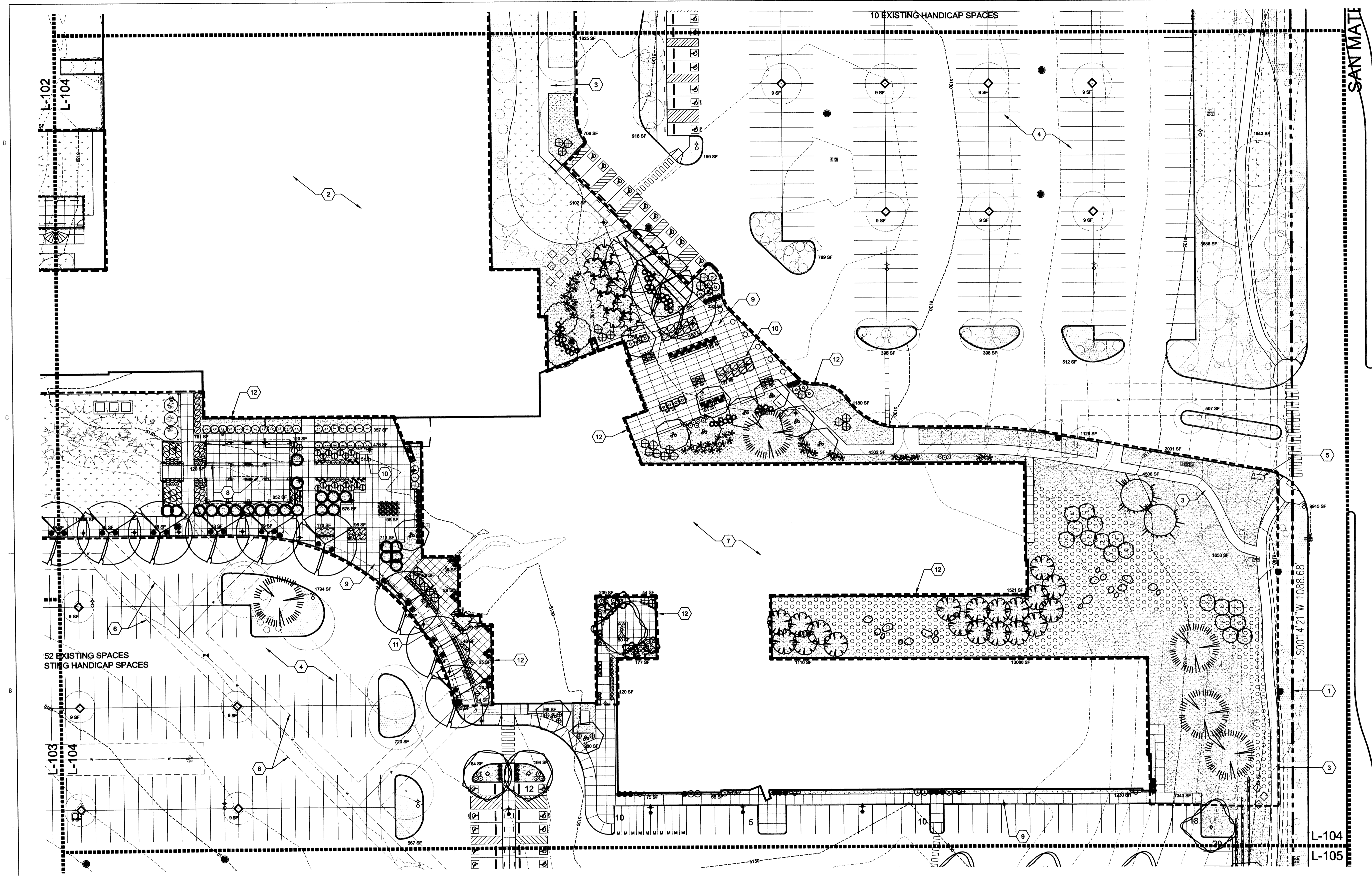
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**ENLARGED LANDSCAPE  
PLAN**

SHEET NO.

**L-104**  
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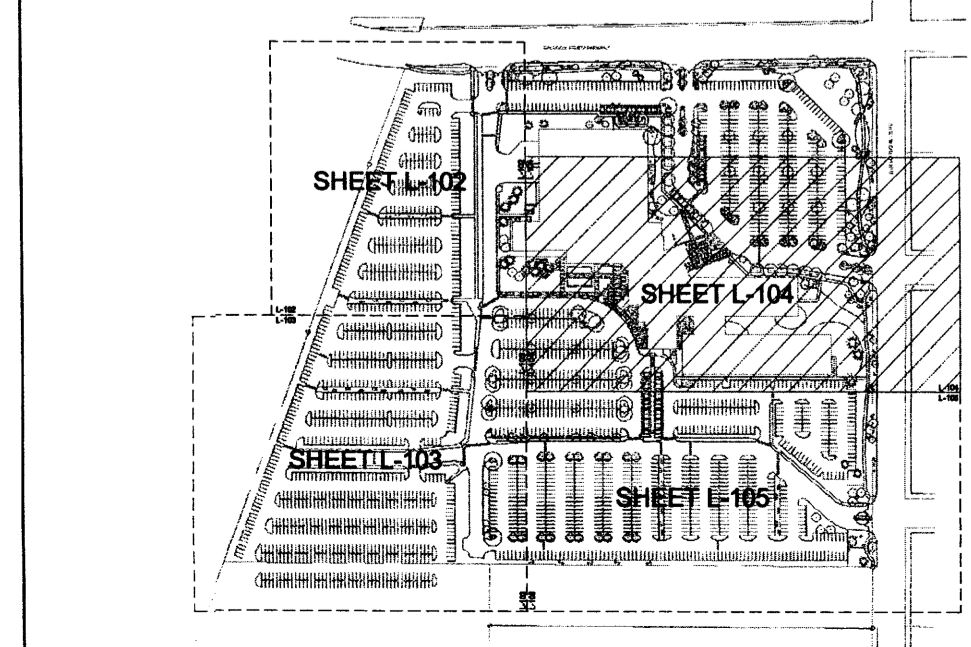
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**KEY SHEET KEYED NOTES**

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**KEYPLAN**

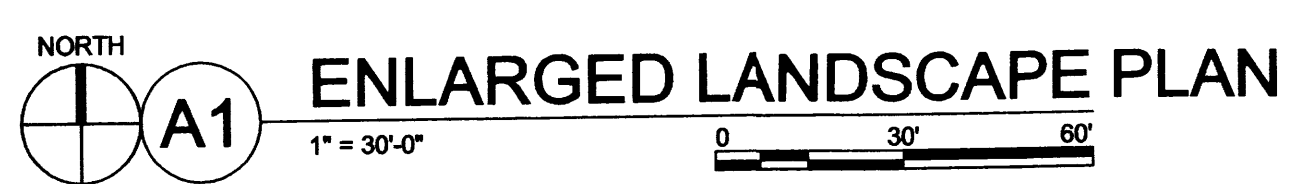
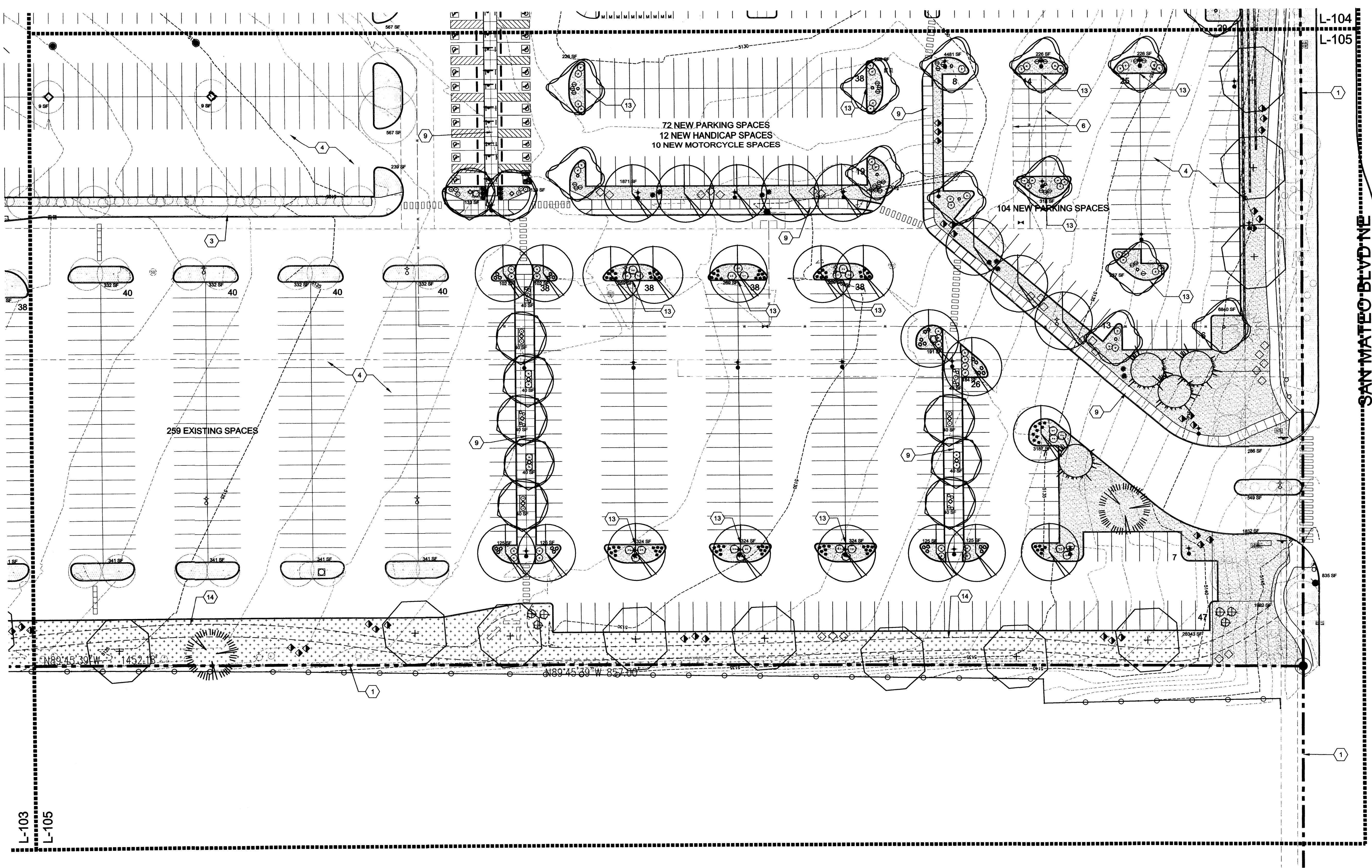




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**ENLARGED LANDSCAPE PLAN**



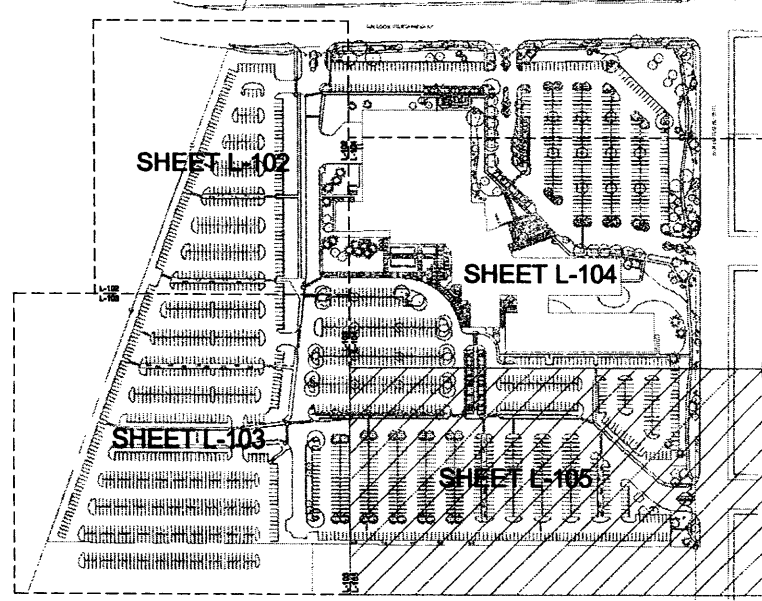
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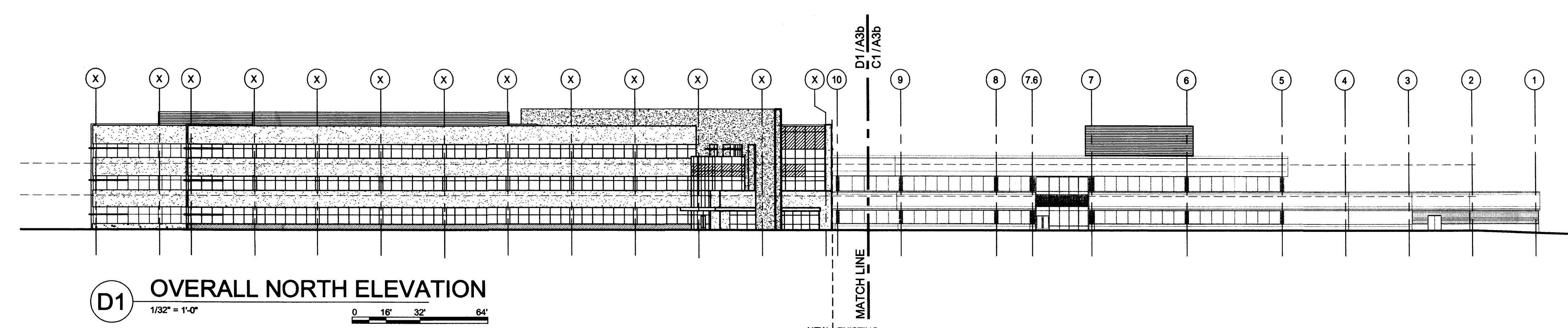
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- 13. WATER HARVESTING CURB OPENING, SEE A2/L-101 AND CIVIL
- 14. COMPACTED CRUSHER FINES TRAIL

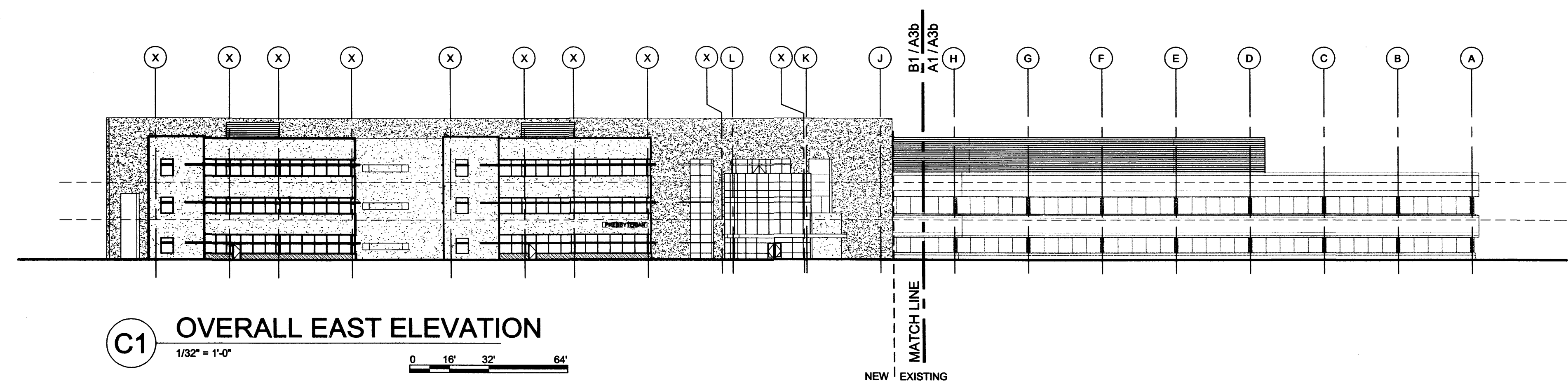
**KEYPLAN**



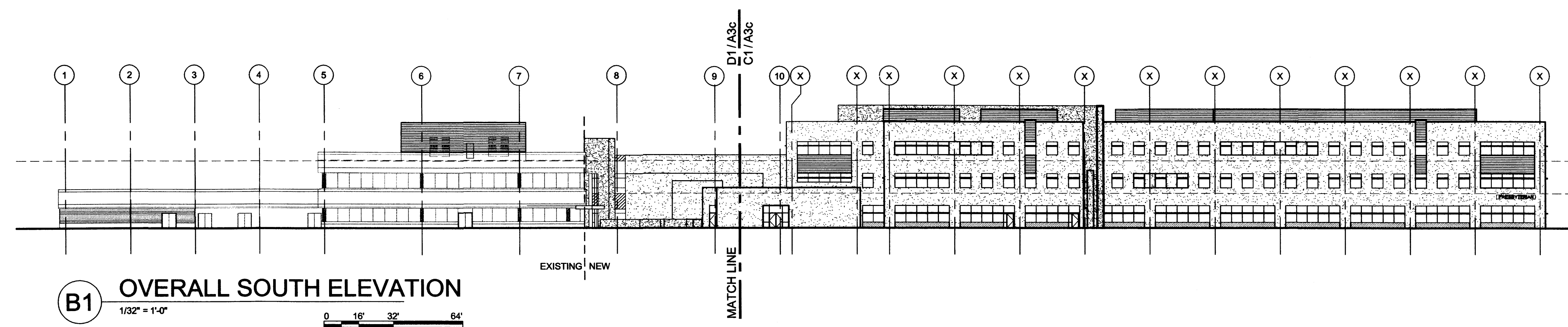




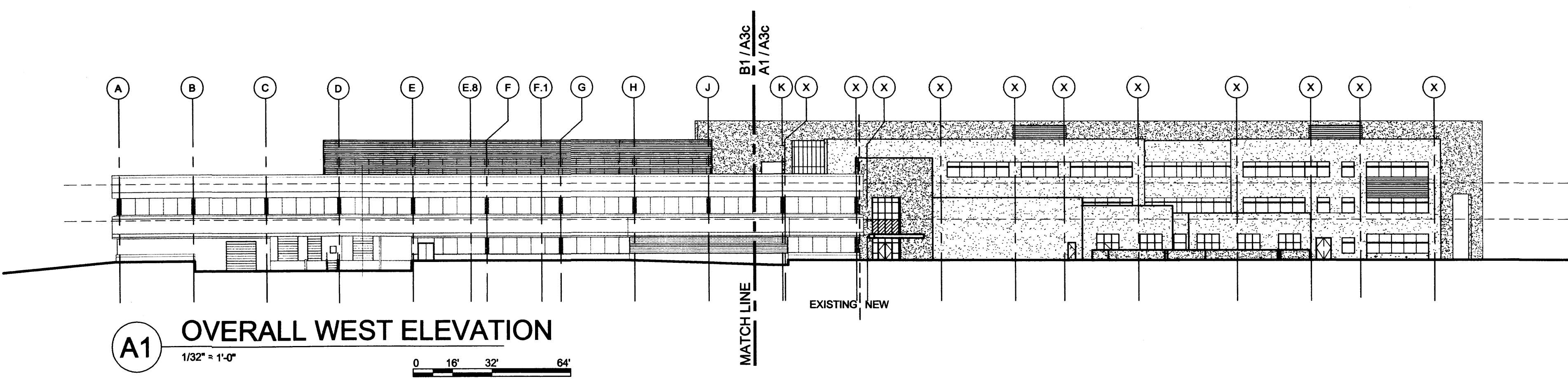
**D1** OVERALL NORTH ELEVATION  
1/32" = 1'-0"



**C1** OVERALL EAST ELEVATION  
1/32" = 1'-0"



**B1** OVERALL SOUTH ELEVATION  
1/32" = 1'-0"



**A1** OVERALL WEST ELEVATION  
1/32" = 1'-0"

**GENERAL NOTES**

A. REFER TO SHEETS A3b AND A3c FOR FURTHER INFORMATION

**LEGEND**

- EIFS, COLOR 1: CREAM
- EIFS, COLOR 2: RED/BROWN
- EIFS, COLOR 3: GRAY
- INSULATED METAL PANEL, COLOR: GRAY
- CONCRETE MASONRY UNIT VENEER, COLOR: RED/BROWN
- SPANDREL GLASS, COLOR: BLUE/GREEN

architecture  
interiors  
landscape  
planning  
engineering

**Dekker  
Perich  
Sabatini**

7601 Jefferson NE Suite 100  
Albuquerque, NM 87109  
505 761-8700  
fax 761-4222  
dps@dpsdesign.org

ARCHITECT

ENGINEER

PROJECT

Presbyterian Systems Office  
DRB Submittal  
9521 San Mateo NE  
Albuquerque, New Mexico

**REVISIONS**

- △
- △
- △
- △

DRAWN BY SMS  
REVIEWED BY TV  
DATE 6/12/2012  
PROJECT NO. 11-0100  
DRAWING NAME

OVERALL BUILDING  
ELEVATIONS

SHEET NO.

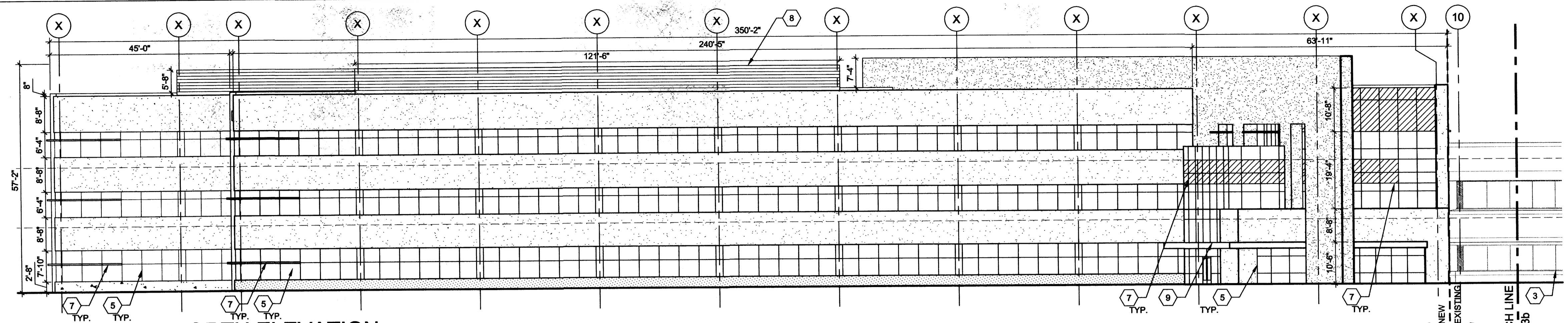


### SHEET KEYED NOTES

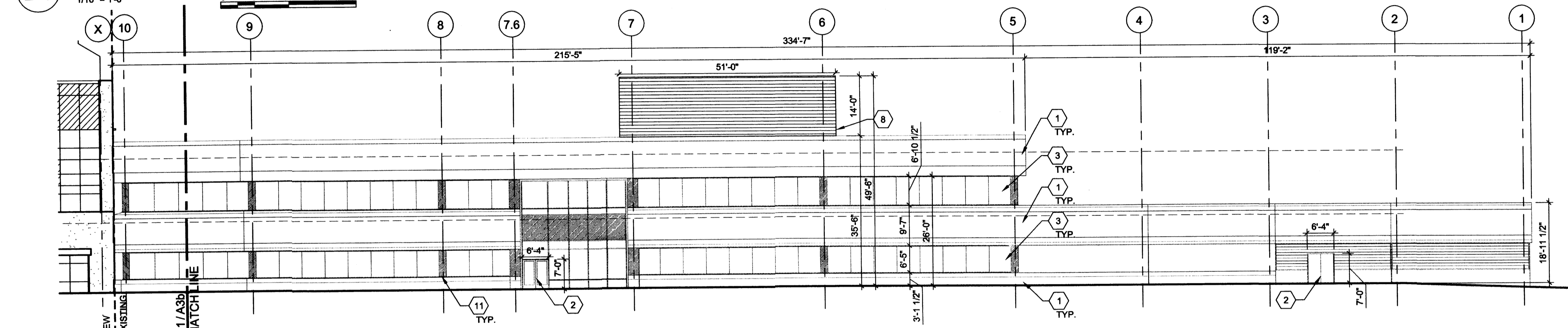
1. EXISTING PRECAST FASCIA PANEL TO BE PAINTED. COLOR: WHITE
2. EXISTING DOOR
3. EXISTING WINDOW
4. ANODIZED ALUMINUM DOOR FRAME WITH BLUE/GREEN WIDE STILE GLASS DOOR.
5. ANODIZED ALUMINUM WINDOW FRAME, WITH BLUE/GREEN GLAZING
6. ANODIZED ALUMINUM SUNSHADE
7. SPANDREL GLASS. COLOR. BLUE/GREEN
8. MECHANICAL SCREEN WALL, HORIZONTAL METAL PANEL. COLOR: GRAY
9. ENTRY CANOPY. COLOR: CREAM
10. LOCATION FOR BUILDING SIGNAGE. 2'-0" HIGH X 18'-0" WIDE AREA OF SIGN: 36 SF. BACK LIT, SURFACE MOUNTED ALUMINUM LETTERS - 18" TALL. COLOR: RED
- 11.11. EXISTING SPANDREL GLASS
12. OPENING
13. NOT USED

### LEGEND

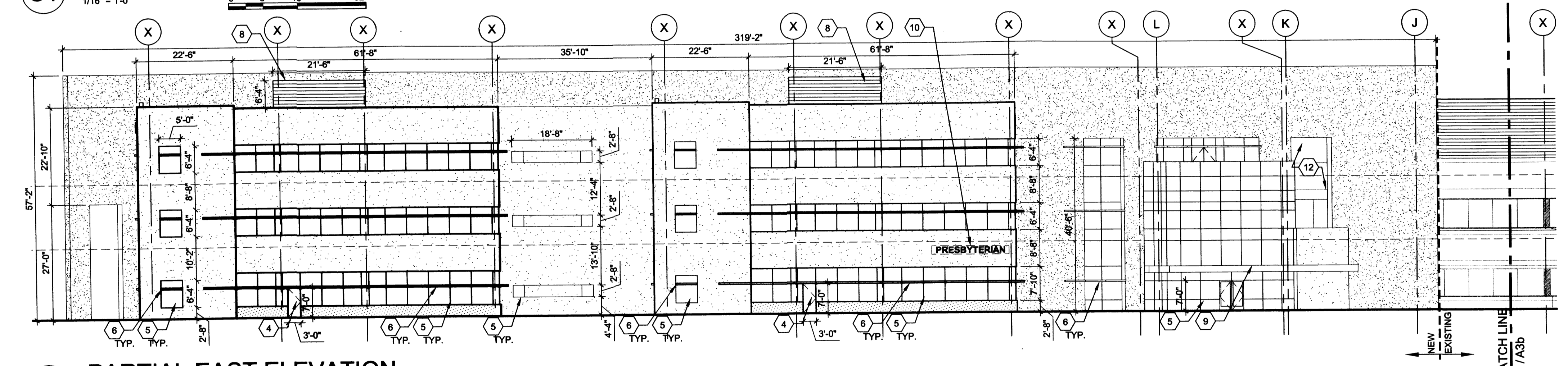
- EIFS, COLOR 1: CREAM
- EIFS, COLOR 2: RED/BROWN
- EIFS, COLOR 3: GRAY
- INSULATED METAL PANEL, COLOR: GRAY
- CONCRETE MASONRY UNIT VENEER. COLOR: RED/BROWN
- SPANDREL GLASS. COLOR: BLUE/GREEN



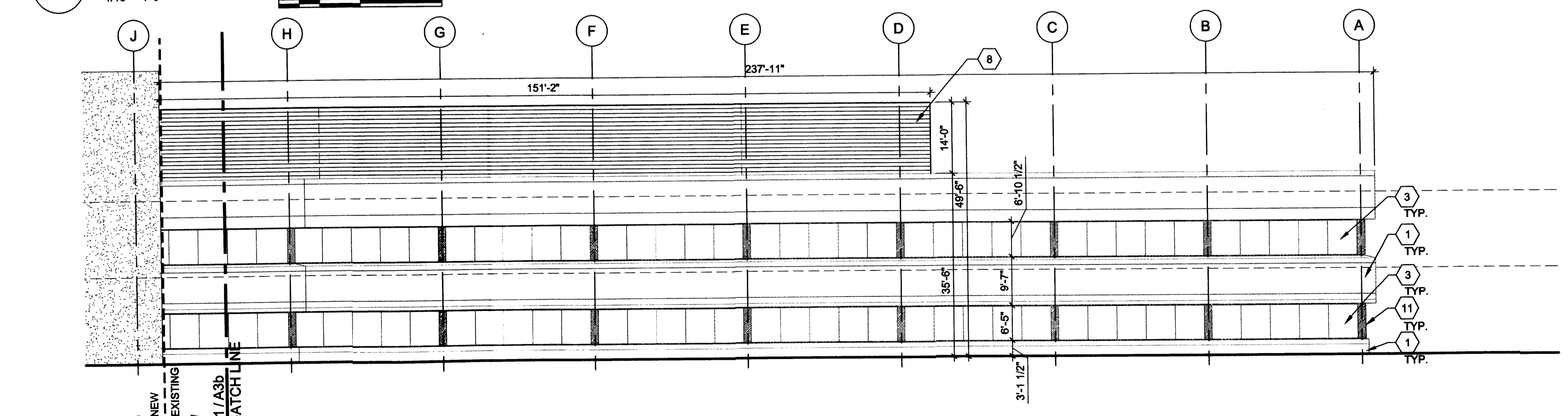
**D1 PARTIAL NORTH ELEVATION**  
1/16" = 1'-0"



**C1 PARTIAL NORTH ELEVATION**  
1/16" = 1'-0"



**B1 PARTIAL EAST ELEVATION**  
1/16" = 1'-0"



**A1 PARTIAL EAST ELEVATION**  
1/16" = 1'-0"

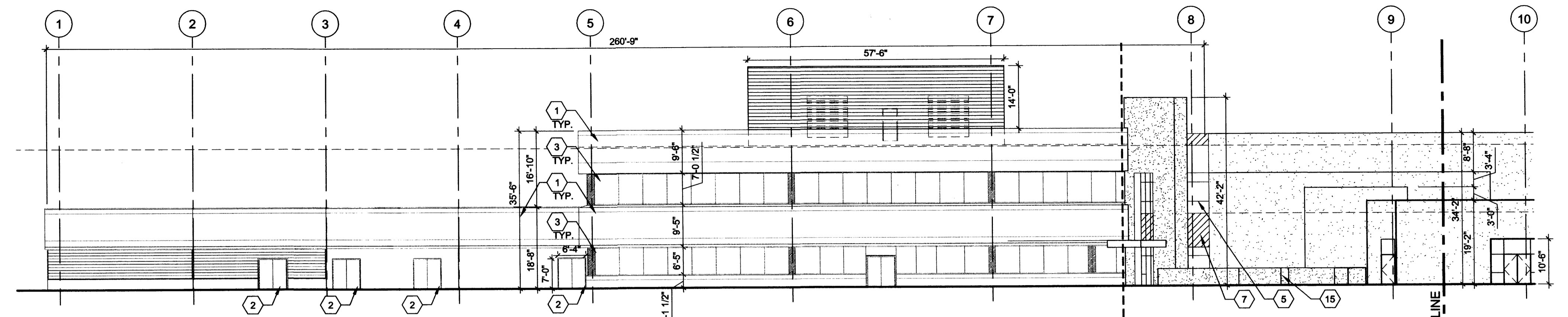


**SHEET KEYED NOTES**

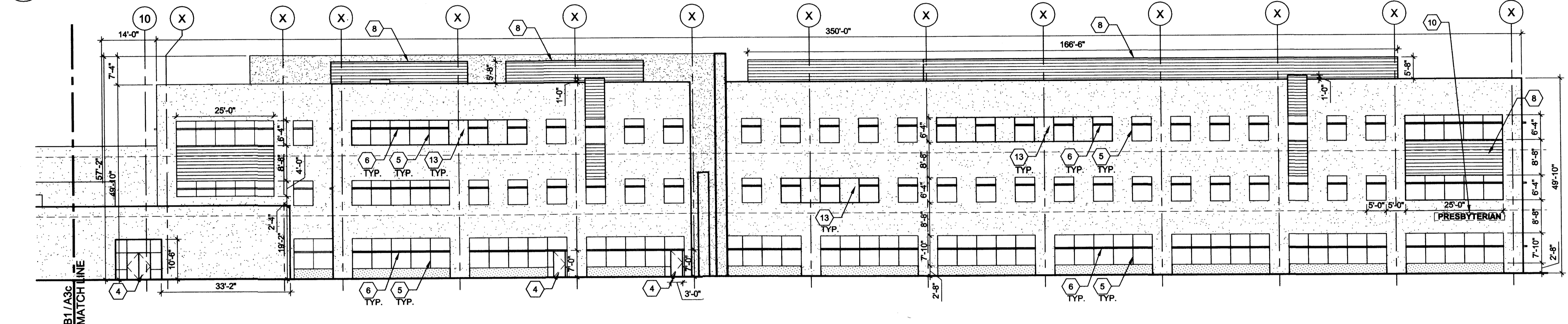
1. EXISTING PRECAST FASCIA PANEL TO BE PAINTED. COLOR: WHITE
2. EXISTING DOOR
3. EXISTING WINDOW
4. ANODIZED ALUMINUM DOOR FRAME WITH BLUE/GREEN WIDE STILE GLASS DOOR.
5. ANODIZED ALUMINUM WINDOW FRAME, WITH BLUE/GREEN GLAZING
6. ANODIZED ALUMINUM SUNSHADE
7. SPANDREL GLASS. COLOR: BLUE/GREEN
8. MECHANICAL SCREEN WALL, HORIZONTAL METAL PANEL, COLOR: GRAY
9. ENTRY CANOPY. COLOR: CREAM
10. LOCATION FOR BUILDING SIGNAGE, 2'-0" HIGH X 18'-0" WIDE AREA OF SIGN: 36 SF. BACK LIT, SURFACE MOUNTED ALUMINUM LETTERS - 18" TALL. COLOR: RED
11. EXISTING METAL ROLL UP DOOR
12. OPENING
13. RECESSED STUCCO WALL. COLOR: CREAM
14. HOLLOW METAL DOOR. COLOR TO MATCH ADJACENT EIFS COLOR
15. CURVED SITE WALL

**LEGEND**

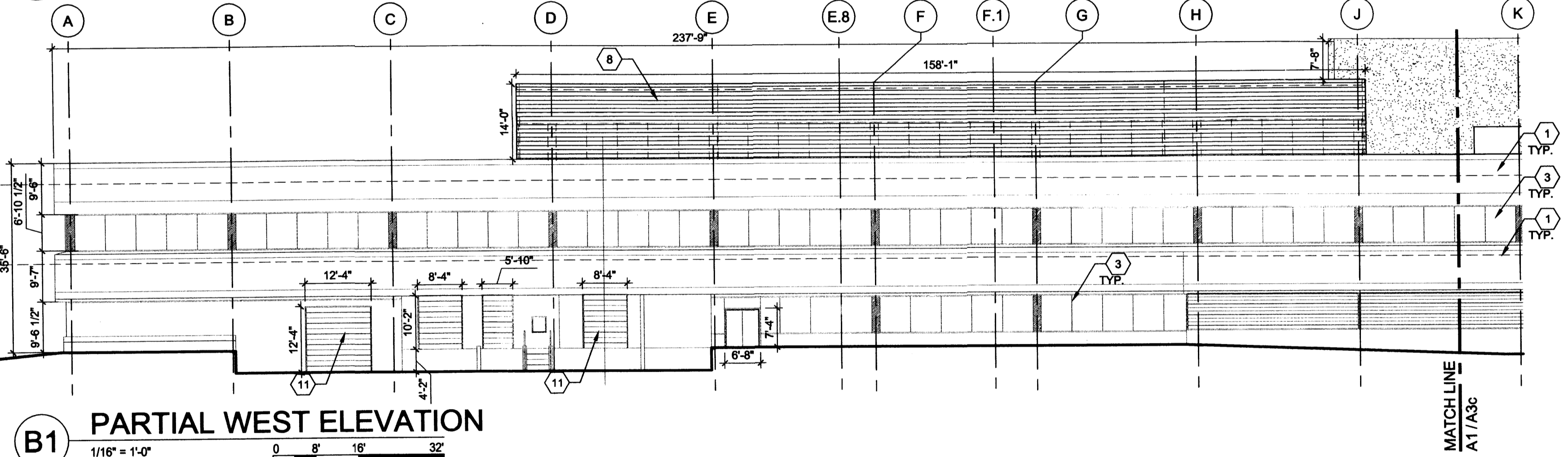
- EIFS, COLOR 1: CREAM
- EIFS, COLOR 2: RED/BROWN
- EIFS, COLOR 3: GRAY
- INSULATED METAL PANEL, COLOR: GRAY
- CONCRETE MASONRY UNIT VENEER. COLOR: RED/BROWN
- SPANDREL GLASS. COLOR: BLUE/GREEN



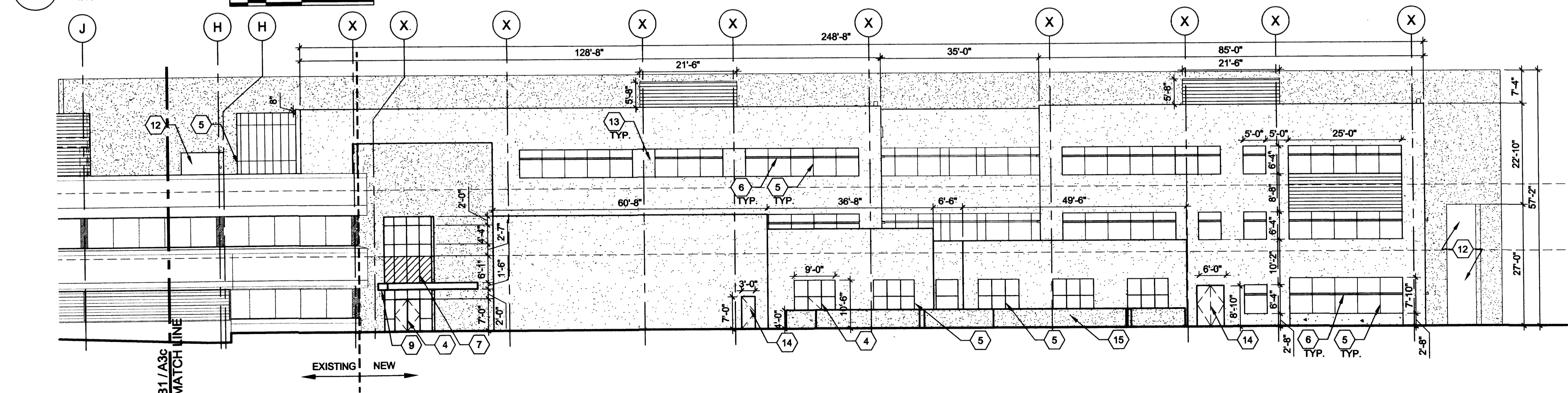
**D1 PARTIAL SOUTH ELEVATION**  
1/16" = 1'-0"



**C1 PARTIAL SOUTH ELEVATION**  
1/16" = 1'-0"



**B1 PARTIAL WEST ELEVATION**  
1/16" = 1'-0"



**A1 PARTIAL WEST ELEVATION**  
1/16" = 1'-0"



LEGEND

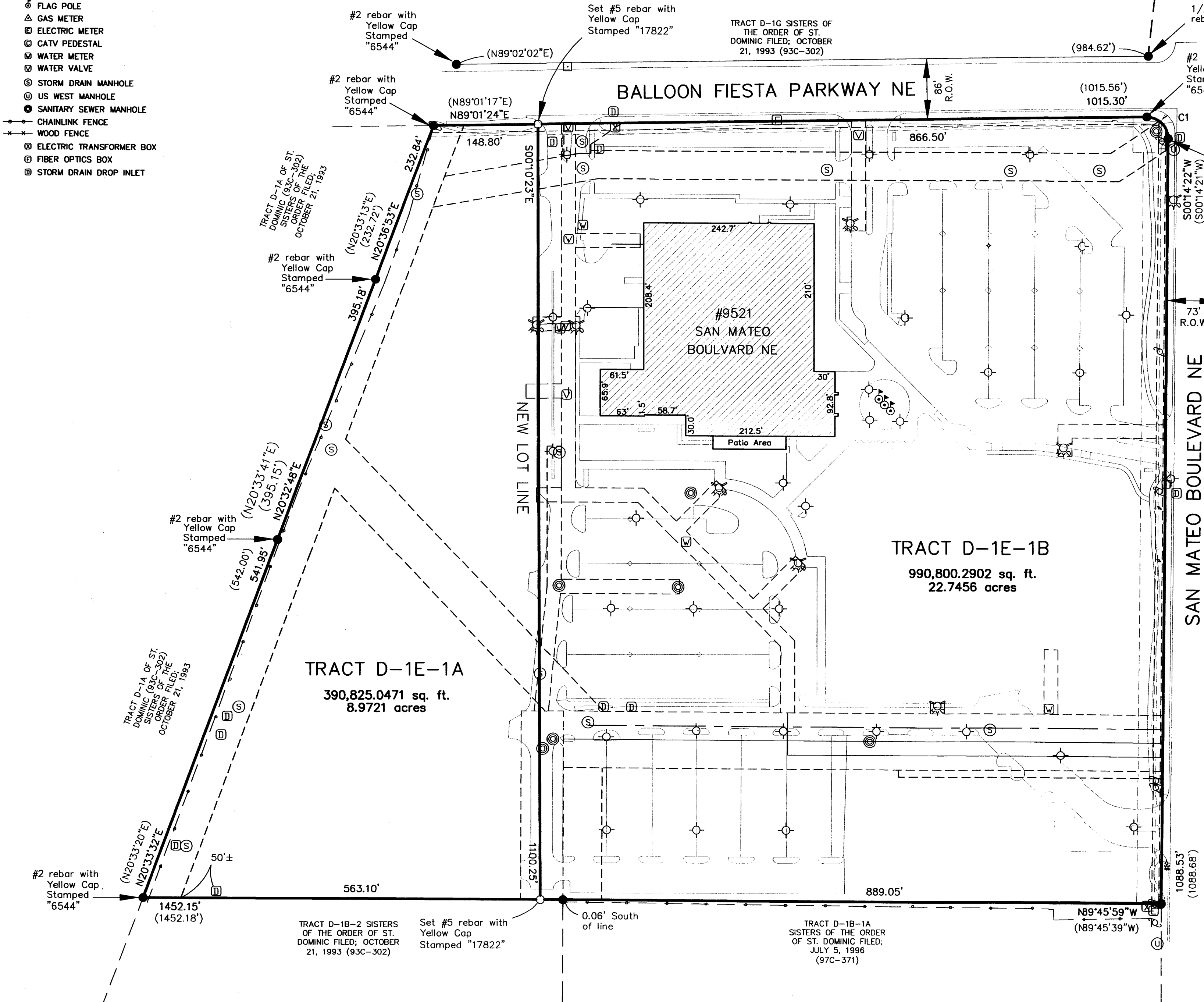
- CONTROL MONUMENT FOUND, USED & NOTED
- PROPERTY CORNER FOUND, USED & NOTED
- SET, #5 REBAR WITH RED PLASTIC CAP STAMPED "17822"
- ⊠ FIRE HYDRANT
- ⊠ TELEPHONE PEDESTAL
- ⊠ POWER POLE
- ⊠ LIGHT POLE
- ⊠ FLAG POLE
- ⊠ GAS METER
- ⊠ ELECTRIC METER
- ⊠ CATV PEDESTAL
- ⊠ WATER METER
- ⊠ WATER VALVE
- ⊠ STORM DRAIN MANHOLE
- ⊠ US WEST MANHOLE
- ⊠ SANITARY SEWER MANHOLE
- ⊠ CHAINLINK FENCE
- ⊠ WOOD FENCE
- ⊠ ELECTRIC TRANSFORMER BOX
- ⊠ FIBER OPTICS BOX
- ⊠ STORM DRAIN DROP INLET

Curve No.	Radius	Arc Length	Chord Bearing	Chord Distance	Chord DELTA
C1	30.00'	47.57'	S45°24'16"E	42.89'	91°14'50"
	(30.00')	(47.76')	(S45°22'11"E)	(42.87')	

ALBUQUEQUE CONTROL STATION "NDC-7"  
 NM State Plane Coordinates;  
 (Central Zone NAD 1983)  
 X=1534340.591  
 Y=1522698.249  
 G/G Factor=0.999674466  
 Delta Alpha= -00°12'16.43"

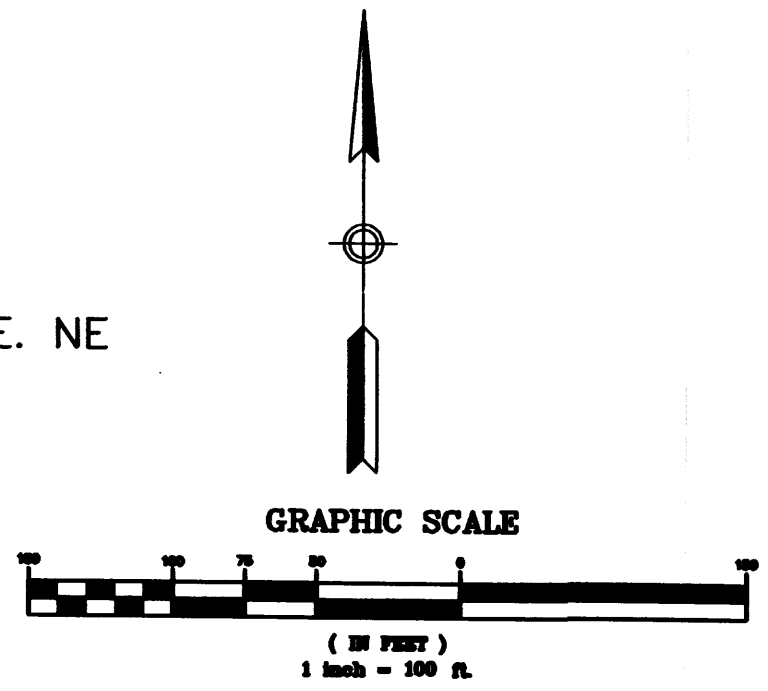
ALBUQUEQUE CONTROL STATION  
 "CC\_EG\_11\_12\_11N\_3E"  
 NM State Plane Coordinates;  
 (Central Zone NAD 1983)  
 X=1539912.248  
 Y=1528564.019  
 G/G Factor=0.999669781  
 Delta Alpha= -00°11'38.16"  
 Elevation (NAVD 1988)= 5135.555

PLAT OF  
 TRACT D-1E-1A & D-1E-1B  
 SISTERS OF THE ORDER  
 OF ST. DOMINIC  
 CITY OF ALBUQUERQUE,  
 BERNALILLO COUNTY,  
 NEW MEXICO  
 MAY 2008



(D-130) FILED: APRIL  
 24, 1936 NORTH  
 ALBUQUEQUE ACRES

(2000-57) FILED:  
 FEBRUARY 23, 2000 NORTH  
 ALBUQUEQUE ACRES



SCALE: 1" = 100'  
 DRAWN BY: GK  
 CHECKED BY: JJP  
 FIELD WORK: APRIL 20, 2008  
 LDC JOB NO.: BERN-08-0003

INDEXING INFORMATION FOR COUNTY CLERK  
 OWNERS: JAMES R. STOJAK,  
 CHAIRMAN AND CEO, CITICORP  
 CREDIT SERVICES, INC.  
 LOCATION: PROJECTED SECTION 11  
 T11N, R3E NMPM

SHEET: 3 OF 3

**LDC**  
**LAND DEVELOPMENT**  
**CONSULTANTS, LLC.**  
 5620 B. SAN FRANCISCO DR. NE  
 ALBUQUERQUE, NEW MEXICO 87109  
 PH. 505-797-4120/FAX 505-821-0392

TRACT D-1B-2 SISTERS OF THE ORDER OF ST. DOMINIC FILED; OCTOBER 21, 1993 (93C-302)

Set #5 rebar with Yellow Cap Stamped "17822"

TRACT D-1B-1A SISTERS OF THE ORDER OF ST. DOMINIC FILED; JULY 5, 1996 (97C-371)

TRACT D-1A OF ST. DOMINIC (93C-302) SISTERS OF THE ORDER FILED; OCTOBER 21, 1993

TRACT D-1A OF ST. DOMINIC (93C-302) SISTERS OF THE ORDER FILED; OCTOBER 21, 1993

TRACT D-1G SISTERS OF THE ORDER OF ST. DOMINIC FILED; OCTOBER 21, 1993 (93C-302)



**LEGEND**

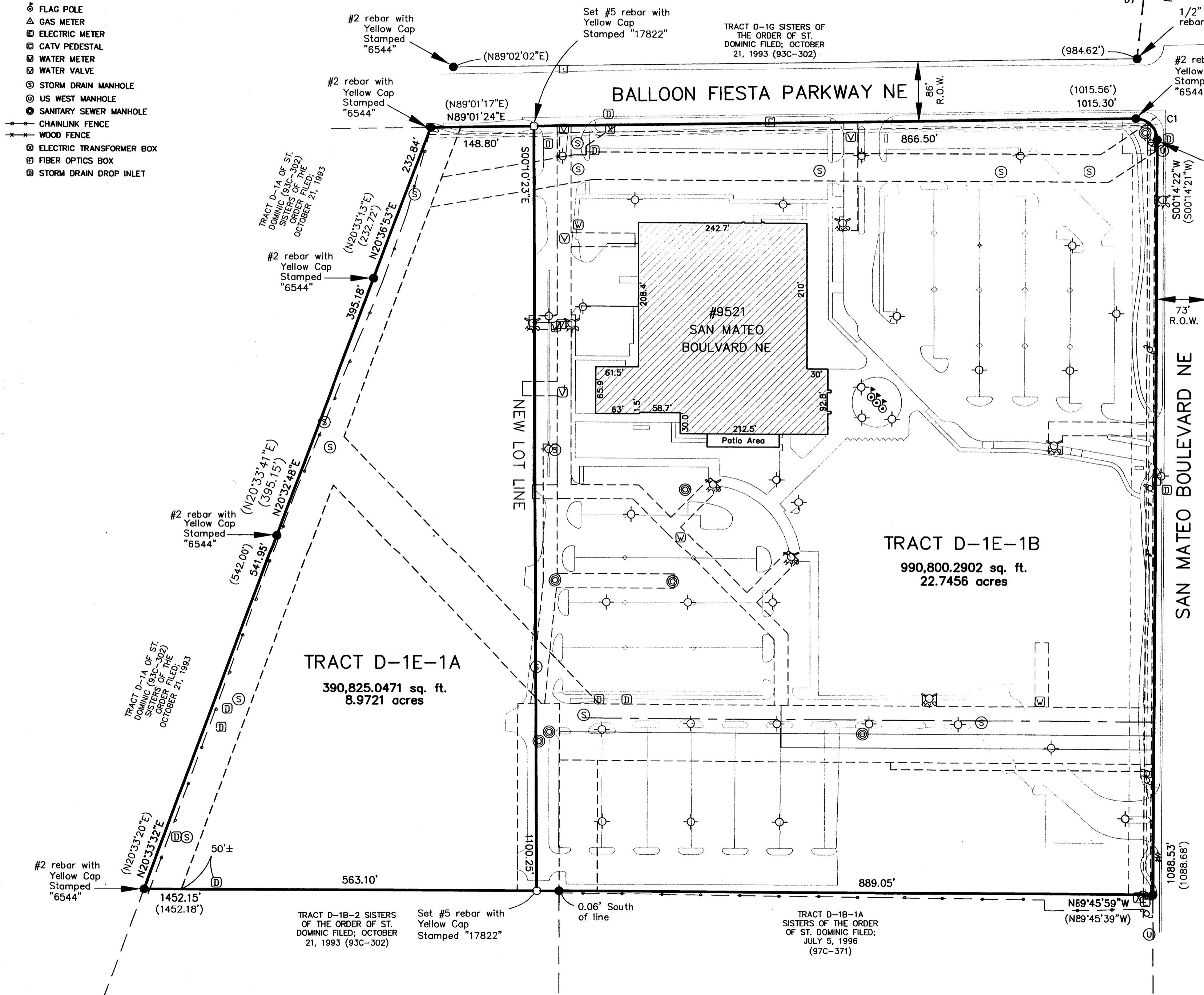
- CONTROL MONUMENT FOUND, USED & NOTED
- PROPERTY CORNER FOUND, USED & NOTED
- SET, #5 REBAR WITH RED PLASTIC CAP STAMPED "17822"
- ⊗ FIRE HYDRANT
- TELEPHONE PEDESTAL
- ⊕ POWER POLE
- ◇ LIGHT POLE
- ⊕ FLAG POLE
- △ GAS METER
- ⊕ ELECTRIC METER
- ⊕ CATV PEDESTAL
- ⊕ WATER METER
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- CHAINLINK FENCE
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- ⊕ ELECTRIC TRANSFORMER BOX
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Curve No.	Radius No.	Arc Length	Chord Bearing	Chord Distance	Chord DELTA
C1	30.00'	47.57'	S45°24'16"E	42.89'	91°14'50"
	(30.00')	(47.76')	(S45°22'11"E)	(42.87')	

ALBUQUEQUE CONTROL STATION "NDC-7"  
 NM State Plane Coordinates;  
 (Central Zone NAD 1983)  
 X=1534340.591  
 Y=1522698.249  
 G/G Factor=0.999674466  
 Delta Alpha=-00°12'16.43"

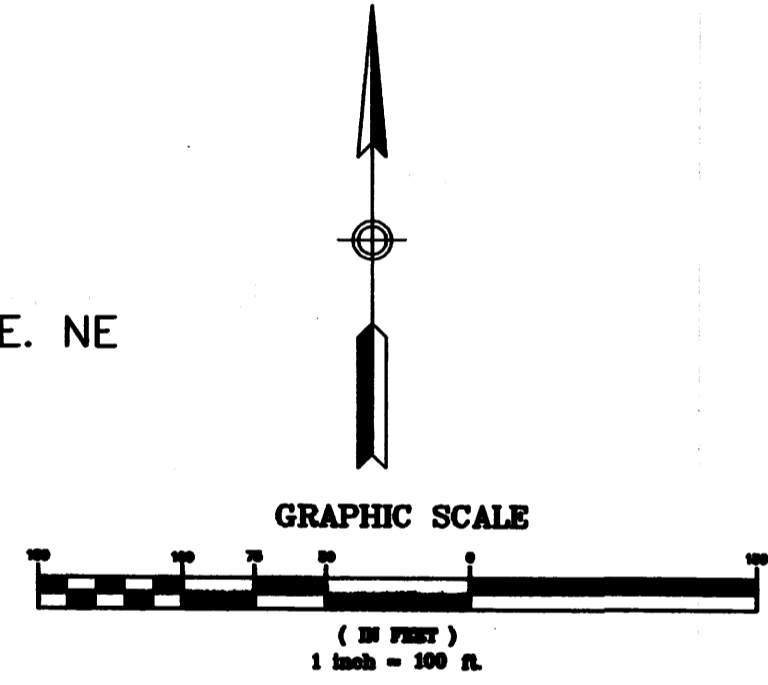
ALBUQUEQUE CONTROL STATION  
 "CC\_EG\_11\_12\_11N\_3E"  
 NM State Plane Coordinates;  
 (Central Zone NAD 1983)  
 X=1539912.248  
 Y=1528564.019  
 G/G Factor=0.999669781  
 Delta Alpha=-00°11'38.16"  
 Elevation (NAVD 1988)= 5135.555

PLAT OF  
 TRACT D-1E-1A & D-1E-1B  
 SISTERS OF THE ORDER  
 OF ST. DOMINIC  
 CITY OF ALBUQUERQUE,  
 BERNALILLO COUNTY,  
 NEW MEXICO  
 MAY 2008



(D-130) FILED: APRIL 24, 1936 NORTH ALBUQUEQUE ACRES

(2000-57) FILED: FEBRUARY 23, 2000 NORTH ALBUQUEQUE ACRES



TRACT D-1E-1A  
 390,825.0471 sq. ft.  
 8.9721 acres

TRACT D-1E-1B  
 990,800.2902 sq. ft.  
 22.7456 acres

TRACT D-1B-2 SISTERS OF THE ORDER OF ST. DOMINIC FILED; OCTOBER 21, 1993 (93C-302)

Set #5 rebar with Yellow Cap Stamped "17822"

TRACT D-1B-1A SISTERS OF THE ORDER OF ST. DOMINIC FILED; JULY 5, 1996 (97C-371)

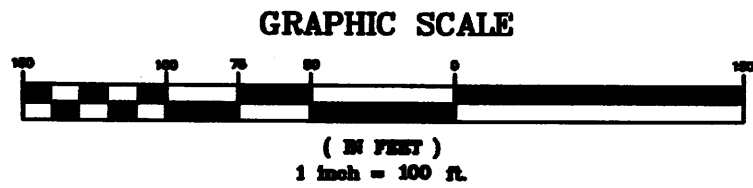
SHEET: 3 OF 3

**LDC** LAND DEVELOPMENT CONSULTANTS, LLC.  
 5620 B. SAN FRANCISCO DR. NE  
 ALBUQUERQUE, NEW MEXICO 87109  
 PH. 505-797-4120/FAX 505-821-0392

SCALE: 1" = 100'  
 DRAWN BY: JK  
 CHECKED BY: JJP  
 FIELD WORK: APRIL 20, 2008  
 LDC JOB NO.: BERN-08-0003

INDEXING INFORMATION FOR COUNTY CLERK  
 OWNERS: JAMES R. STOJAK, CHAIRMAN AND CEO, CITICORP CREDIT SERVICES, INC.  
 LOCATION: PROJECTED SECTION 11 T11N, R3E NMPM





Curve No.	Radius	Arc Length	Chord Bearing	Chord Distance	Chord DELTA
C1	30.00'	47.57'	S45°24'16"E	42.89'	91°14'50"
	(30.00')	(47.76')	(S45°22'11"E)	(42.87')	

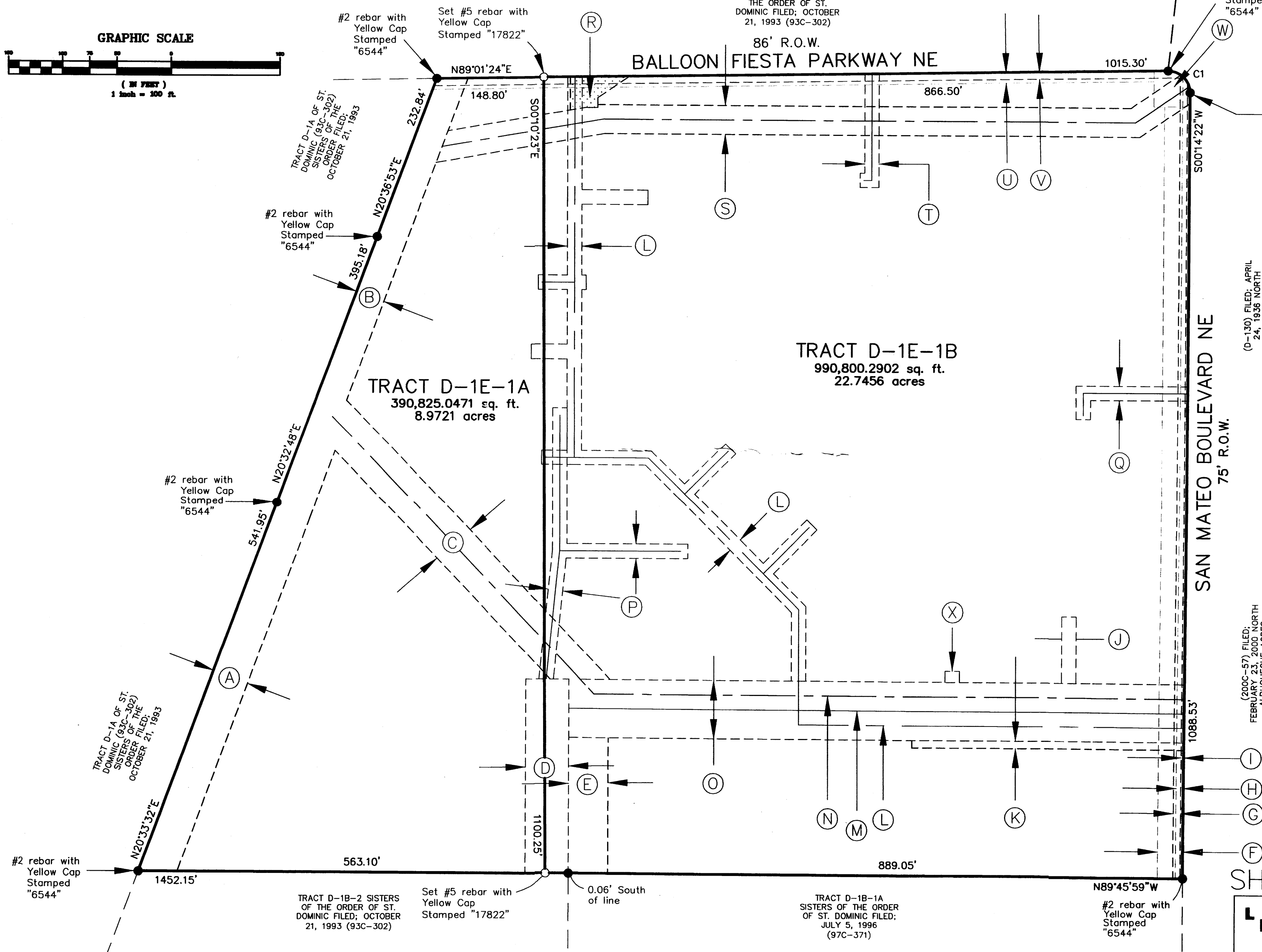
LEGEND

- CONTROL MONUMENT FOUND, USED & NOTED
- PROPERTY CORNER FOUND, USED & NOTED
- PROPERTY CORNER, #5 REBAR WITH RED PLASTIC CAP STAMPED "17822"

ALBUQUEQUE CONTROL STATION "NDC-7"  
 NM State Plane Coordinates:  
 (Central Zone NAD 1983)  
 X=1534340.591  
 Y=1522698.249  
 G/G Factor=0.999674466  
 Delta Alpha=-0°01'216.43"

ALBUQUEQUE CONTROL STATION  
 "CC\_EG\_11\_12\_11N\_3E"  
 NM State Plane Coordinates:  
 (Central Zone NAD 1983)  
 X=1539912.248  
 Y=1528564.019  
 G/G Factor=0.999669781  
 Delta Alpha=-0°01'38.16"  
 Elevation (NAVD 1988)= 5135.555

PLAT OF  
 TRACT D-1E-1A & D-1E-1B  
 SISTERS OF THE ORDER  
 OF ST. DOMINIC  
 CITY OF ALBUQUERQUE,  
 BERNALILLO COUNTY,  
 NEW MEXICO  
 MAY 2008



RECORD BEARINGS AND DISTANCES FOR EACH EASEMENT SHOWN HEREON, CAN BE FOUND IN THE RECORDED DOCUMENTS AS NOTED HEREON.

A	50' DRAINAGE EASEMENT FILED; OCTOBER 21, 1993 PLAT BOOK 93C PAGE 302
B	40' PUBLIC DRAINAGE EASEMENT FILED; JULY 5, 1996 PLAT BOOK 96C PAGE 297
C	60' PUBLIC DRAINAGE EASEMENT FILED; JULY 5, 1996 PLAT BOOK 96C PAGE 297
D	60' PUBLIC UTILITY EASEMENT FILED; MAY 7, 1996 BOOK 96-13 PAGES 892-895
E	54.71' PUBLIC DRAINAGE EASEMENT FILED; JULY 5, 1996 PLAT BOOK 96C PAGE 297
F	35' PUBLIC SIDEWALK EASEMENT FILED; JULY 5, 1996 PLAT BOOK 96C PAGE 297
G	10' PNM AND M&T&T EASEMENT FILED; AUGUST 5, 1960 BOOK D555 PAGE 345, MODIFIED IN BOOK BCR91 PAGES 4187-4188
H	10' PNM AND US WEST EASEMENT FILED; OCTOBER 21, 1993 PLAT BOOK 93C PAGE 302
I	3.50' GAP, FROM PROPERTY LINE TO EASEMENT LINE
J	20' PUBLIC WATERLINE EASEMENT FILED; JULY 5, 1996 PLAT BOOK 96C PAGE 297
K	10' PNM GAS LINE EASEMENT FILED; JULY 5, 1996 PLAT BOOK 96C PAGE 297
L	20' PUBLIC WATERLINE EASEMENT FILED; JULY 5, 1996 PLAT BOOK 96C PAGE 297
M	CENTERLINE SEWERLINE EASEMENT FILED; JULY 5, 1996 PLAT BOOK 96C PAGE 297
N	CENTERLINE STORM DRAIN FILED; JULY 5, 1996 PLAT BOOK 96C PAGE 297
O	80' PUBLIC UTILITY & STORM DRAIN EASEMENT FILED; MAY 5, 1996 BOOK 96-13 PAGES 888-891
P	20' SANITARY SEWERLINE EASEMENT FILED; JULY 5, 1996 PLAT BOOK 96C PAGE 297
Q	20' PUBLIC WATERLINE EASEMENT FILED; JULY 5, 1996 PLAT BOOK 96C PAGE 297
R	PUBLIC DRAINAGE EASEMENT FILED; JULY 5, 1996 PLAT BOOK 96C PAGE 297
S	40' PUBLIC DRAINAGE EASEMENT FILED; JULY 5, 1996 PLAT BOOK 96C PAGE 297
T	20' PUBLIC WATERLINE EASEMENT FILED; JULY 5, 1996 PLAT BOOK 96C PAGE 297
U	15' PUBLIC SIDEWALK EASEMENT FILED; JULY 5, 1996 PLAT BOOK 96C PAGE 297
V	10' PNM AND US WEST EASEMENT FILED; OCTOBER 21, 1993 PLAT BOOK 93C PAGE 302
W	50' X 50' PUBLIC SIDEWALK EASEMENT FILED; JULY 5, 1996 PLAT BOOK 96C PAGE 297
X	15' X 20' PUBLIC UTILITY EASEMENT FILED; JULY 5, 1996 PLAT BOOK 96C PAGE 297

(D-130) FILED; APRIL 24, 1938 NORTH ALBUQUEQUE ACRES

(D-57) FILED; FEBRUARY 23, 2008 NORTH ALBUQUEQUE ACRES

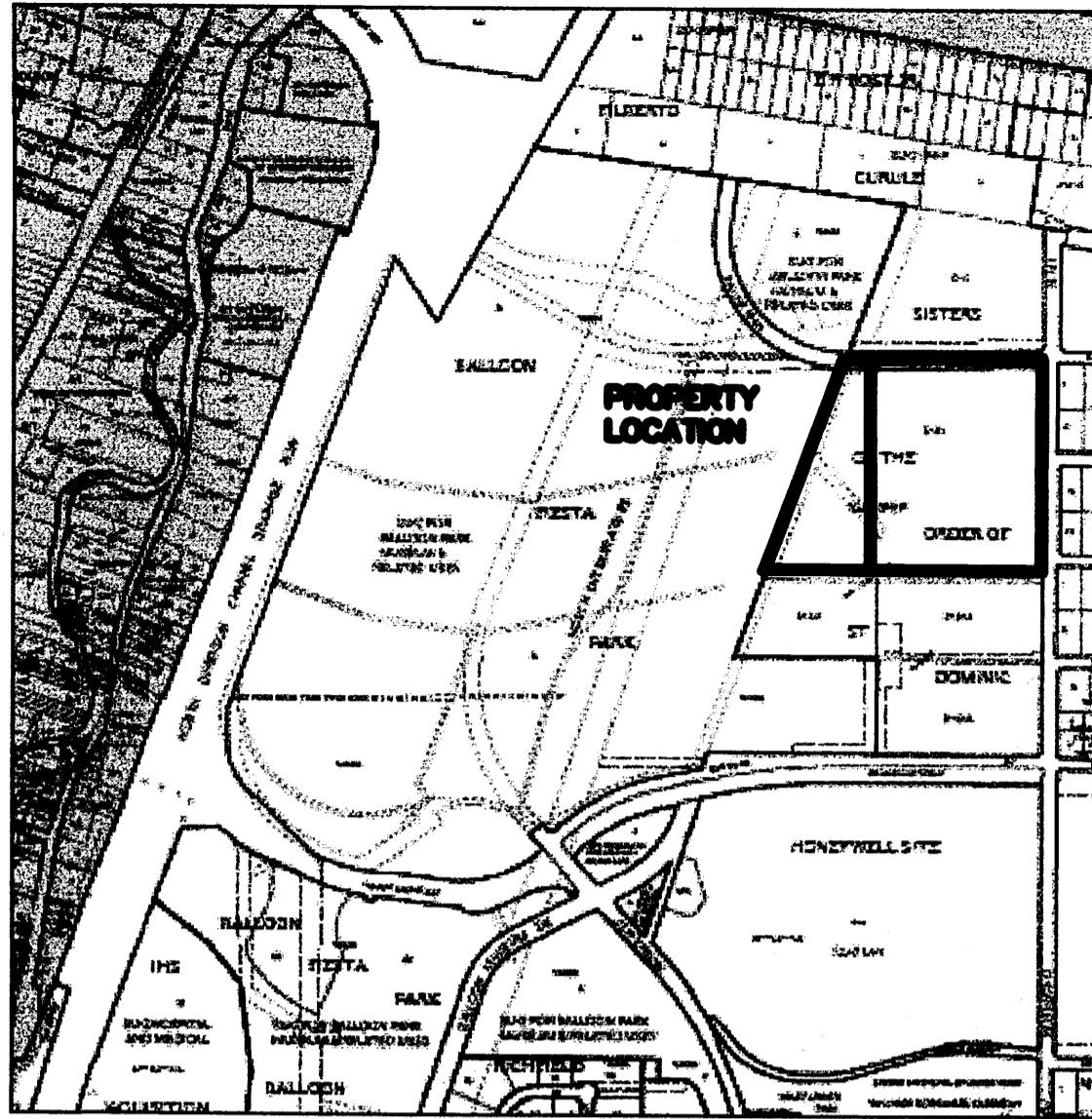
SHEET: 2 OF 3

SCALE: 1" = 100'  
 DRAWN BY: GK  
 CHECKED BY: JJP  
 FIELD WORK: APRIL 20, 2008  
 LDC JOB NO.: BERN-08-0003

**LDC** LAND DEVELOPMENT CONSULTANTS, LLC.  
 5620 B. SAN FRANCISCO DR. NE  
 ALBUQUERQUE, NEW MEXICO 87109  
 PH. 505-797-4120/FAX 505-821-0392

INDEXING INFORMATION FOR COUNTY CLERK  
 OWNERS: JAMES R. STOJAK, CHAIRMAN AND CEO, CITICORP CREDIT SERVICES, INC.  
 LOCATION: PROJECTED SECTION 11 T11N, R3E NMPM





VICINITY MAP NO. B-17-Z

**LEGAL DESCRIPTION**

TRACT D-1E-1, SISTERS OF THE ORDER OF ST. DOMINIC, ELENA GALLEGOS GRANT, ALBUQUERQUE, NEW MEXICO, AS THE SAME AS SHOWN AND DESIGNATED ON THE PLAT OF SAID SUBDIVISION FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JULY 5, 1996.

**FREE CONSENT**

THE PLAT AS SHOWN HEREON, IS MADE WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND/OR PROPRIETORS THEREOF. SAID OWNERS/PROPRIETORS DOES HEREBY GRANT ANY AND ALL EASEMENTS AS MAY BE CREATED BY THIS PLAT. THOSE SIGNING AS OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

*Jerry Forester*  
 JERRY FORESTER SENIOR ASSET MANAGER  
 CITICORP CREDIT SERVICES INC

STATE OF TEXAS }  
 COUNTY OF } SS

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 18 DAY OF August, 2008, BY JERRY FORESTER

*Hilda Sullivan*  
 NOTARY PUBLIC  
 MY COMMISSION EXPIRES: 8/5/09



PLAT OF  
 TRACT D-1E-1-A & D-1E-1B  
 SISTERS OF THE ORDER  
 OF ST. DOMINIC

CITY OF ALBUQUERQUE,  
 BERNALILLO COUNTY,  
 NEW MEXICO  
 MAY 2008

PROJECT NUMBER: \_\_\_\_\_

APPLICATION NUMBER: \_\_\_\_\_

**UTILITY APPROVALS**

PNM ELECTRICAL SERVICES	DATE
PNM GAS SERVICES	DATE
QWEST COMMUNICATIONS	DATE
COMCAST	DATE

**CITY APPROVALS**

<i>[Signature]</i>	<u>8-25-08</u>
CITY SURVEYOR	DATE
ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	DATE
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
UTILITY DEVELOPMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
AMAFCA	DATE
CITY ENGINEER	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

**PURPOSE OF PLAT:**

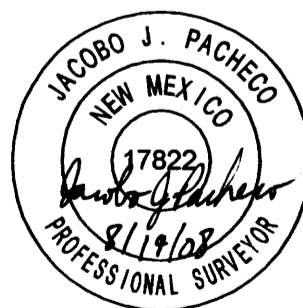
1. THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING TRACT INTO TWO NEW TRACTS AS SHOWN HEREON.

**GENERAL NOTES:**

1. PLAT OF SURVEY COMPLETED BY A. DWAIN WEAVER, N.M.P.L.S. NO. 6544. DATED JULY 5, 1956. ENTITLED "TRACTS D-1B-1, D-1B-2 & D-1E-1, SISTERS OF THE ORDER OF ST. DOMINIC, ALBUQUERQUE NEW MEXICO". FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO IN VOLUME 96C.
2. UNLESS NOTED NO. 5 REBAR WITH RED CAP STAMPED RPLS 17822 WERE SET AT ALL PROPERTY CORNERS.
3. THE PLAT SHOWS ALL EASEMENTS OF RECORD.
4. TOTAL AREA OF PROPERTY: 31.7178 ACRES.
5. BASIS OF BEARING IS THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 1983.
6. DISTANCES ARE GROUND BEARINGS ARE GRID.
7. RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESIS ARE TAKEN FROM PLAT IN NOT 1.
8. DATE FIELD WORK: APRIL 2008
9. CURRENT ZONING: SU-2.
10. TALOS LOG NO. 2008172319.
11. THE SUBJECT PROPERTY IS LOCATED ON A FORMER LANDFILL, DUE TO THE SUBJECT PROPERTIES BEING ON A FORMER LANDFILL, CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILLS AND LANDFILL GAS ISSUES (AS REQUIRED BY THE MOST CURRENT VERSION OF THE INTERIM GUIDELINES FOR DEVELOPMENT WITHIN CITY DESIGNATED LANDFILL BUFFER ZONES) SHALL BE CONSULTED PRIOR TO DEVELOPMENT OF THE SITE.

**SURVEYOR CERTIFICATE**

I, JACOBO J. PACHECO, NEW MEXICO PROFESSIONAL SURVEYOR NO. 17822, DO HEREBY CERTIFY THAT THIS PLAT AND THE ACTUAL SURVEY ON THE GROUND UPON WHICH IT IS BASED WERE PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION; THAT I AM RESPONSIBLE FOR THIS; THAT THIS MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO AND THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.



*Jacob J. Pacheco*  
 JACOBO J. PACHECO  
 N.M.P.L.S. NO. 17822  
 LDC LAND DEVELOPMENT CONSULTANTS, LLC.  
 5620 B. SAN FRANCISCO DR. NE  
 ALBUQUERQUE N.M. 87109 PHONE: (505) 797-4120

8/19/2008  
 DATE

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON  
 UPC#: 101706546230810220

PROPERTY OWNER OF RECORD: CITICORP CREDIT SERVICES INC  
 BERNALILLO CO. TREASURES OFFICE: \_\_\_\_\_

SHEET: 1 OF 3

**LDC**  
**LAND DEVELOPMENT CONSULTANTS, LLC.**  
 5620 B. SAN FRANCISCO DR. NE  
 ALBUQUERQUE, NEW MEXICO 87109  
 PH. 505-797-4120/FAX 505-821-0392

SCALE: 1" = 100'
DRAWN BY: GK
CHECKED BY: JJP
FIELD WORK: APRIL 20, 2008
LDC JOB NO.: BERN-08-0003
INDEXING INFORMATION FOR COUNTY CLERK
OWNERS: JAMES R. STOJAK, CHAIRMAN AND CEO, CITICORP CREDIT SERVICES, INC.
LOCATION: PROJECTED SECTION 11 T11N, R3E NMPM