

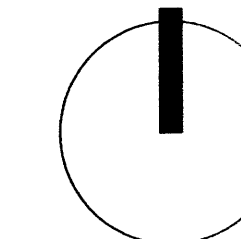
Date: 6/22/2011

Revisions:

▲ 7/8/11

Drawn by: JC
Reviewed by: EP

Valle Norte Tract 3B.2
Fiesta Park Care Center
Albuquerque, New Mexico



NORTH

Scale: 1" = 30'



Sheet Title:
Landscape Plan

Sheet Number:

LS-01

PLANT LEGEND

Qty.	Symbol	Scientific Name Common Name	Installed Size	Mature Height/Spread	Landscape Coverage	Water Use	Drip Emitters Per Plant (see note)
22		Fraxinus velutina 'Modesto' Modesto Ash	2" B&B	40'/40'		Medium+	6-2 gph
Shrubs/Groundcovers							
38		Forestiera neomexicana New Mexico Olive	5 Gal	15'/15'	30 sf=1140 sf	Medium	6-2 gph
26		Vitex Chaste Tree	5 Gal	20'/20'	35 sf=910 sf	Medium	6-2 gph
139		Chamaebatiaria Fernbush	1-Gal	5'/6'	30 sf=4170 sf	Medium	2-2 gph
33		Caryopteris Blue Mist	1-Gal	3'/3'	15 sf=495 sf	Low+	2-2 gph
85		Vauquelinia Rosewood	1-Gal	10'/10'	40 sf=3400 sf	Low+	2-1 gph
126		Prunus besseyi Sand Cherry	1-Gal	3'/3'	25 sf=3150 sf	Medium	2-2 gph
10		Yucca Spanish Dagger	1-Gal	6'/3'	25 sf=250 sf	Low	2-1 gph
164		Hesperaloe parviflora Red Yucca	1-Gal	3'/4'	20 sf=3280 sf	Low+	2-1 gph
63		Rhus trilobata Three Leaf Sumac	1-Gal	6'/6'	30 sf=1890 sf	Medium	2-2 gph
249		Ericameria Turpentine Bush	1-Gal	3'/4'	25 sf=6225 sf	Low	2-1 gph
208		Rhus trilobata Autumn Amber Sumac	1-Gal	2'/6'	35 sf=7280 sf	Medium	2-2 gph
69		Ilex Wilson Holly	1-Gal	10'/10'	25 sf=1725 sf	Medium+	2-2 gph
Ornamental Grasses							
113		Nolina Bear Grass	1-Gal	5'/6'	35 sf=3955 sf	Low	2-2 gph
75		Muhlenbergia Deer Grass	1-Gal	4'/4'	20 sf=1500 sf	Low	2-2 gph

Total landscape coverage=39,370 sf

SITE DATA

GROSS LOT AREA	204,193 SF
LESS BUILDING(S)	61,000 SF
NET LOT AREA	143,193 SF

REQUIRED LANDSCAPE 15% OF NET LOT AREA	21,478 SF
PROPOSED LANDSCAPE	77,000 SF
PERCENT OF NET LOT AREA	54 %

REQUIRED STREET TREES PROVIDED AT 30' O.C. SPACING ALONG STREET	NA
REQUIRED PARKING LOT TREES PROVIDED AT 1 PER 10 SPACES (49 SPACES/10)	5

REQUIRED LANDSCAPE COVERAGE 75% LIVE VEGETATIVE MATERIAL (77,000 SF PROPOSED LANDSCAPE X 75%)	57,750 SF MIN.
NATIVE SEED COVERAGE	18,400 SF
PLANTING AREA COVERAGE/75%	39,370 SF
PROPOSED LANDSCAPE COVERAGE	57,770 SF
PERCENT LANDSCAPE COVERAGE	70%

PLANTING RESTRICTIONS APPROACH

A MINIMUM OF 80% OF THE PLANTINGS TO BE LOW OR MEDIUM WATER USE PLANTS

A MAXIMUM OF 20% OF THE LANDSCAPE AREA TO BE HIGH WATER USE TURF

NOTE

MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER

PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER PER CITY OF ALBUQUERQUE

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER

THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE
PLANTING RESTRICTIONS APPROACH

IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUND COVER OF LANDSCAPE AREAS AT MATURITY

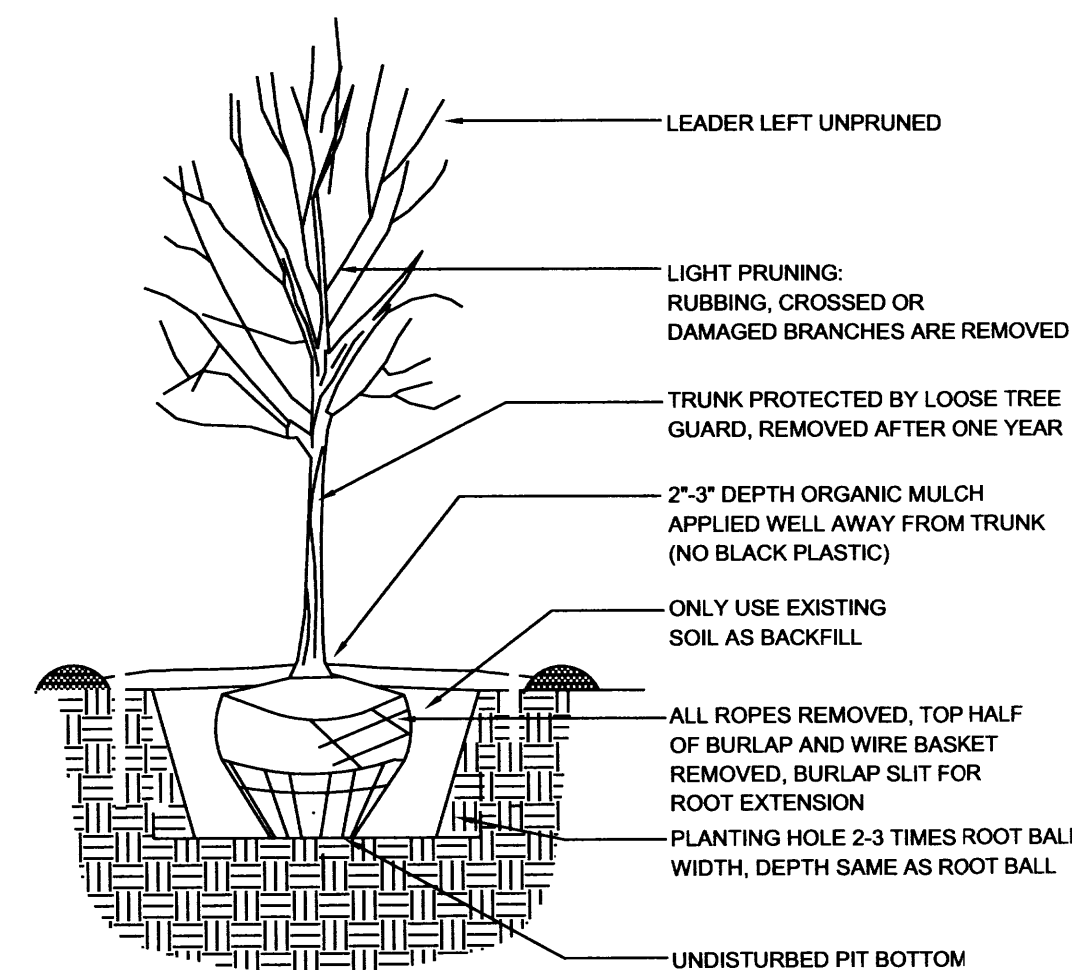
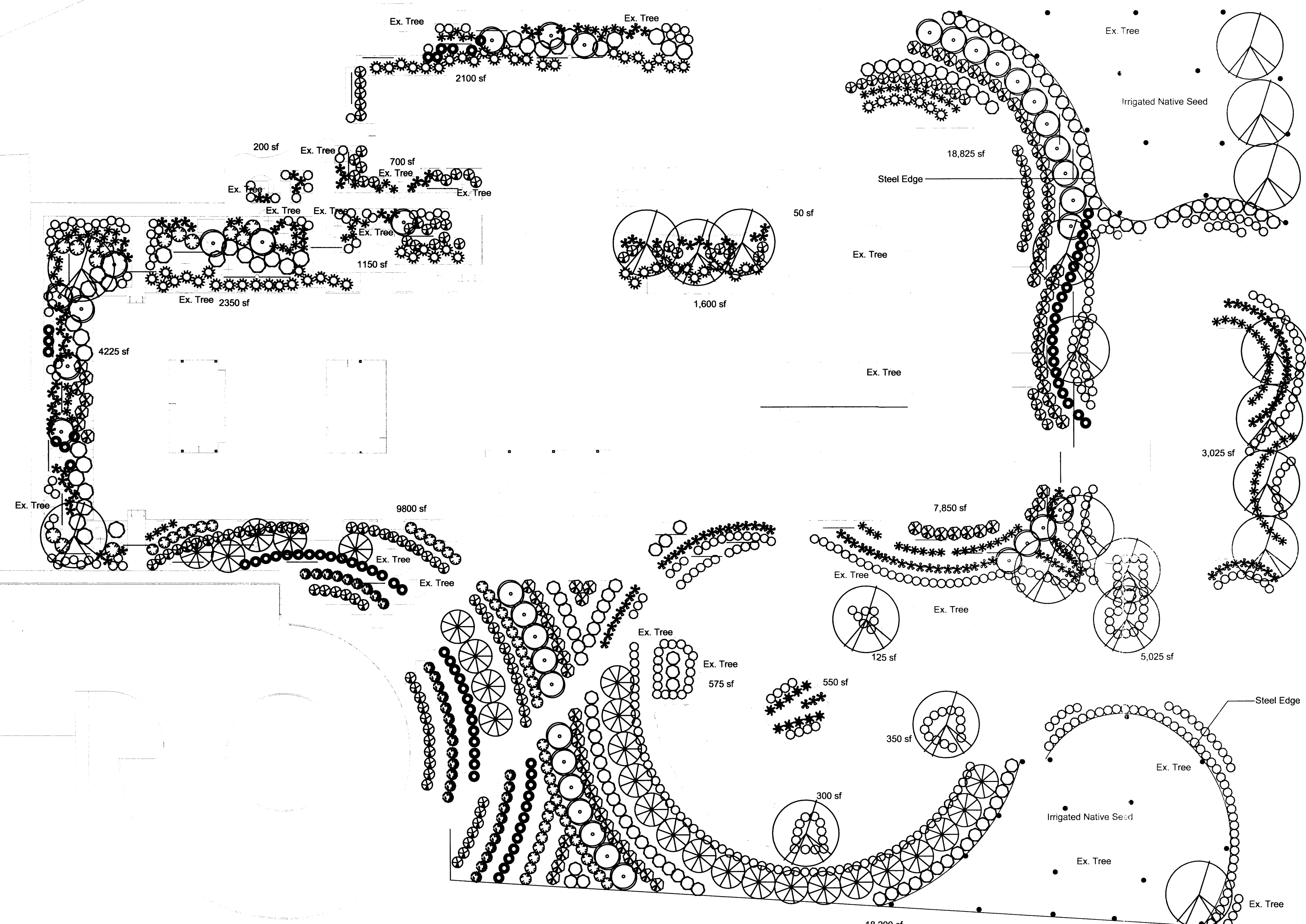
LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL MULCH AT 2"-3" DEPTH OVER FILTER FABRIC

APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A LANDSCAPE AND WATER WASTE ORDINANCE

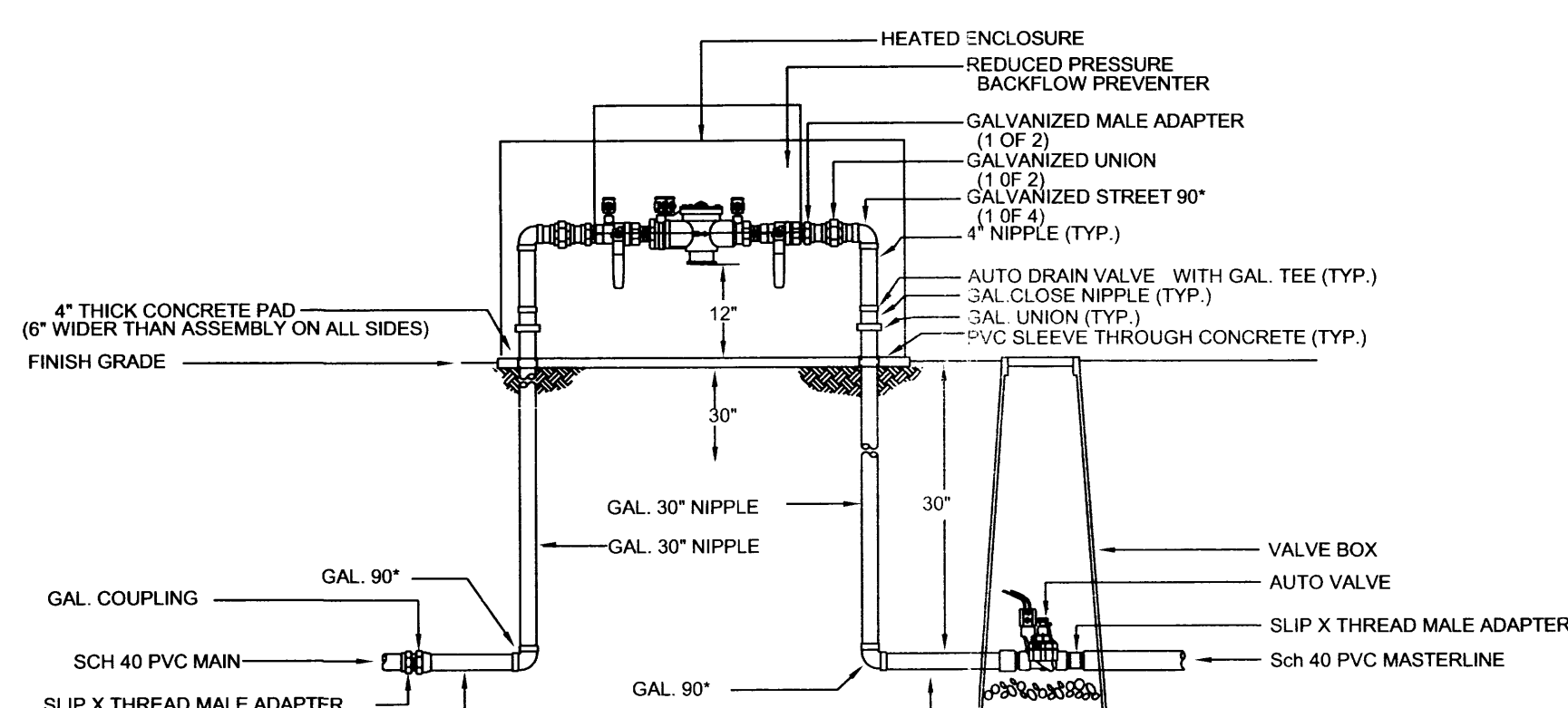
TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS

NO PARKING SPACE SHALL BE MORE THEN 100' FROM A TREE.

ALL LIVE EXISTING LANDSCAPING NOT REMOVED AS PART OF NEW SITE WORK SHALL REMAIN AND BE AUGMENTED WITH NATIVE SEED

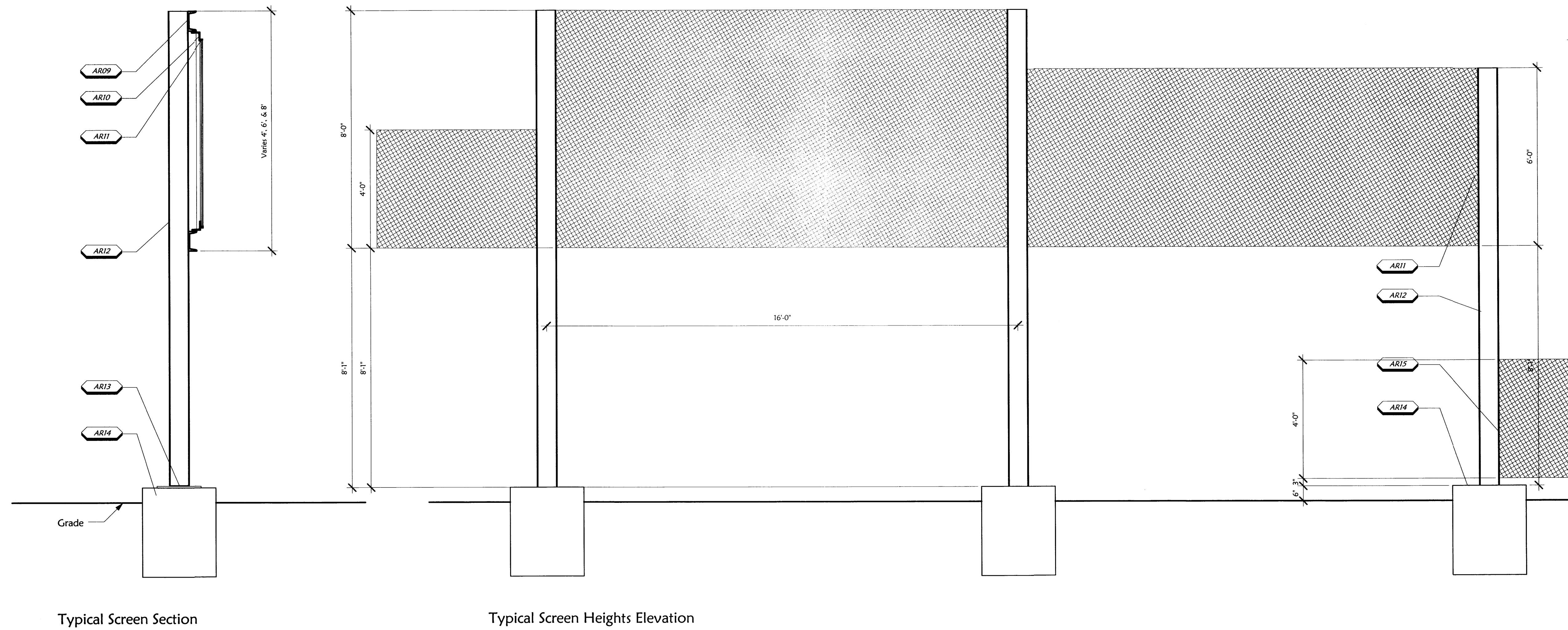


TREE PLANTING DETAIL



NOTE:
1. INSTALL BACKFLOW PREVENTER AS REQUIRED BY LOCAL CODES AND HEALTH DEPARTMENT. VERIFY LOCAL REQUIREMENTS PRIOR TO INSTALLATION.

RP BACKFLOW/MAS MASTER VALVE DETAIL



Keynote Legend	
Key Number	Keynote Text
AR09	Continuous Steel Angle Screen Frame; see Structural Drawings
AR10	Continuous Steel Angle Screen Panel Frame; see Structural Drawings
AR11	Expanded Metal Screen
AR12	Screen Steel Structural Column; see Structural Drawings
AR13	Screen Column Base Plate; see Structural Drawings
AR14	Screen Column Spot Footing; Top of Footing matches Finished Floor; see Structural Drawings
AR15	Expanded Metal Screen used as Courtyard Wall

Typical Screen Section

Typical Screen Heights Elevation

1 Screen Wall Detail
Scale: 1/2" = 1'-0"

Issued 7.18.2011 75% Complete Set

CAUWELS & STUVE
Construction & Design

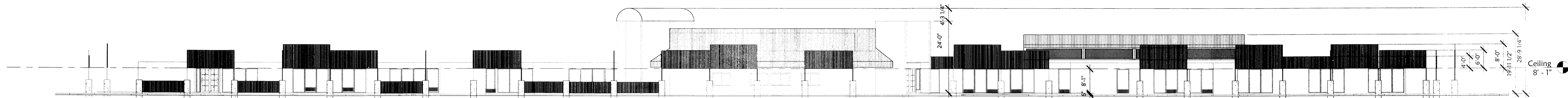
8814 Horizon Boulevard NE
Suite 400
Albuquerque, New Mexico 87113
Voice: 505.266.5711
Fax: 505.255.9922
www.cauwelsstuve.com

PROJECT:
Valle Norte Tract 3B.2.A
Fiesta Park Care Center
Albuquerque, New Mexico

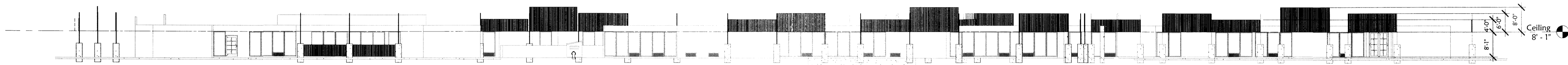
PROJECT #:

Site Details **A 1.5**

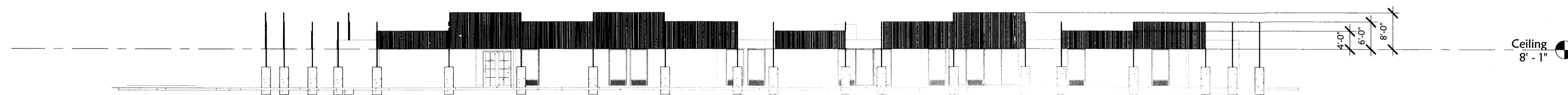
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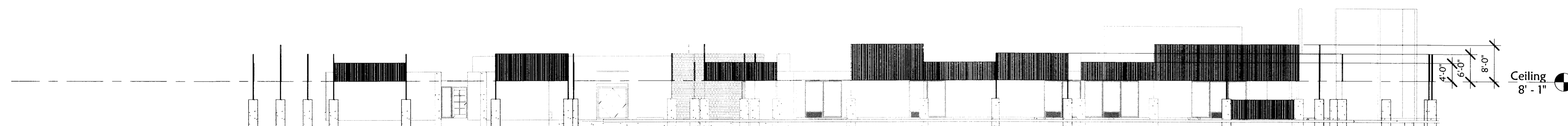
1 South Elevation
Scale: 1/16" = 1'-0"



2 North Elevation
Scale: 1/16" = 1'-0"



3 East Elevation
Scale: 1/16" = 1'-0"



4 West Elevation
Scale: 1/16" = 1'-0"

Issued 7.18.2011 75% Complete Set

CAUWELS & STUVE
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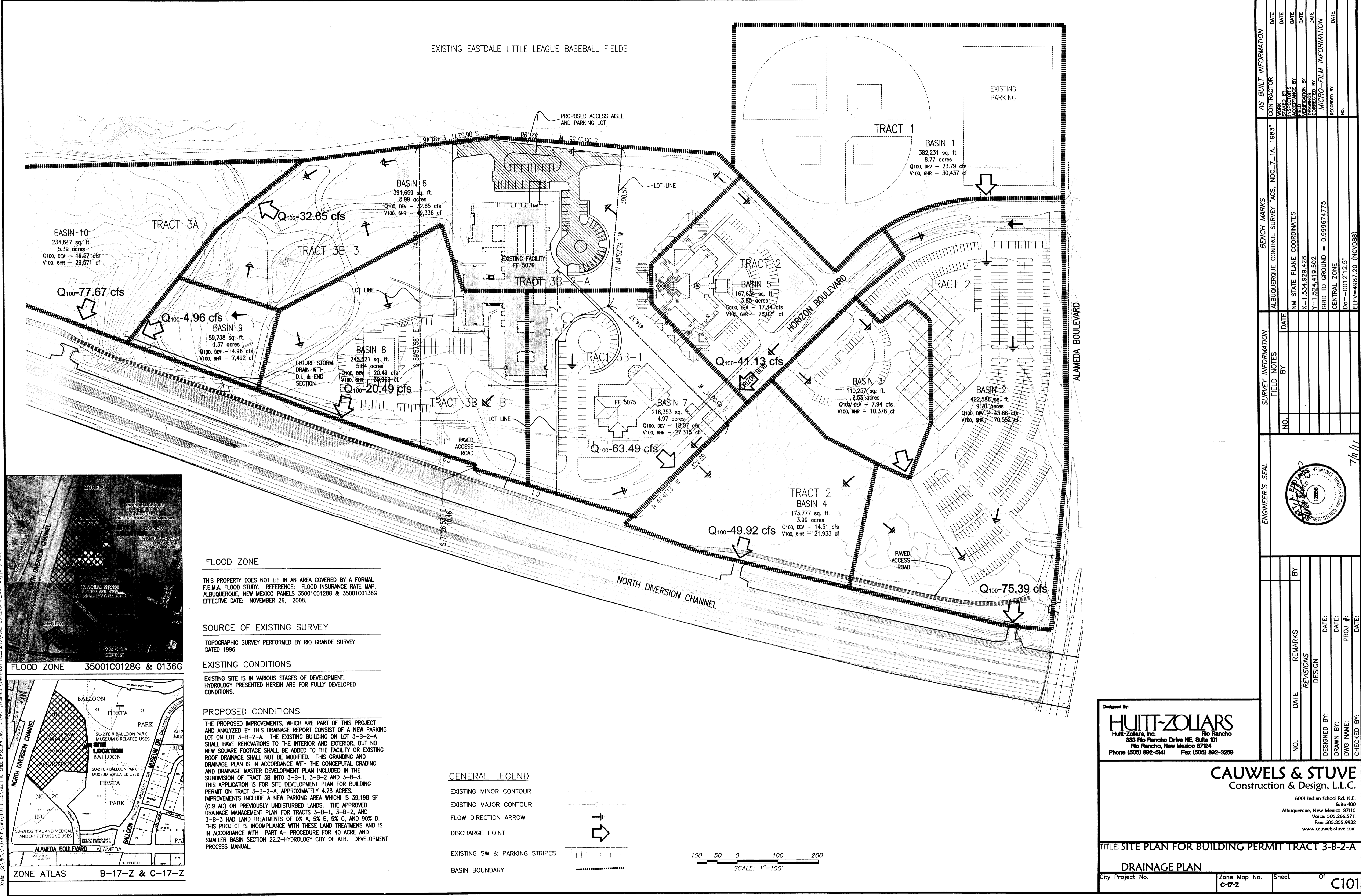
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PROJECT:
Valle Norte Tract 3B.2.A
Fiesta Park Care Center
Albuquerque, New
Mexico

PROJECT #:

Overall Elevations **A 3.0**

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EXISTING EASTDALE LITTLE LEAGUE BASEBALL FIELDS

EXISTING PARKING

TRACT 1

BASIN 1
382,231 sq. ft.
8.77 acres
Q100, DEV - 23.79 cfs
V100, 6HR - 30,437 cf

TRACT 3A

BASIN 10
234,647 sq. ft.
5.39 acres
Q100, DEV - 19.57 cfs
V100, 6HR - 29,571 cf

TRACT 3B-3

BASIN 6
391,659 sq. ft.
8.99 acres
Q100, DEV - 32.65 cfs
V100, 6HR - 49,336 cf

TRACT 2

BASIN 5
167,634 sq. ft.
3.82 acres
Q100, DEV - 17.34 cfs
V100, 6HR - 28,021 cf

TRACT 2

BASIN 3
110,257 sq. ft.
2.53 acres
Q100, DEV - 7.94 cfs
V100, 6HR - 10,378 cf

BASIN 2
422,586 sq. ft.
9.70 acres
Q100, DEV - 43.66 cfs
V100, 6HR - 70,552 cf

TRACT 3B-1

BASIN 9
58,738 sq. ft.
1.37 acres
Q100, DEV - 4.96 cfs
V100, 6HR - 7,492 cf

BASIN 8
245,821 sq. ft.
5.64 acres
Q100, DEV - 20.49 cfs
V100, 6HR - 30,869 cf

TRACT 3B-1

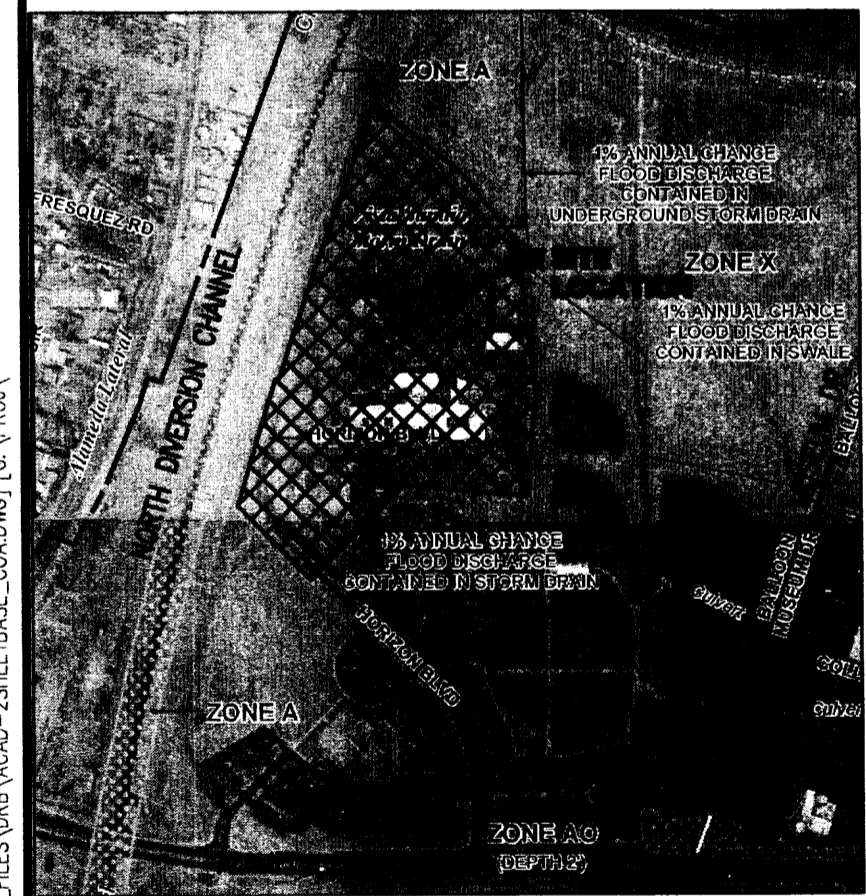
BASIN 7
216,353 sq. ft.
4.97 acres
Q100, DEV - 18.07 cfs
V100, 6HR - 27,315 cf

TRACT 2

BASIN 4
173,777 sq. ft.
3.99 acres
Q100, DEV - 14.51 cfs
V100, 6HR - 21,933 cf

BASIN 2

BASIN 2
422,586 sq. ft.
9.70 acres
Q100, DEV - 43.66 cfs
V100, 6HR - 70,552 cf



FLOOD ZONE

THIS PROPERTY DOES NOT LIE IN AN AREA COVERED BY A FORMAL F.E.M.A. FLOOD STUDY. REFERENCE: FLOOD INSURANCE RATE MAP, ALBUQUERQUE, NEW MEXICO PANELS 35001C0128G & 35001C0136G EFFECTIVE DATE: NOVEMBER 26, 2008.

SOURCE OF EXISTING SURVEY

TOPOGRAPHIC SURVEY PERFORMED BY RIO GRANDE SURVEY DATED 1996

EXISTING CONDITIONS

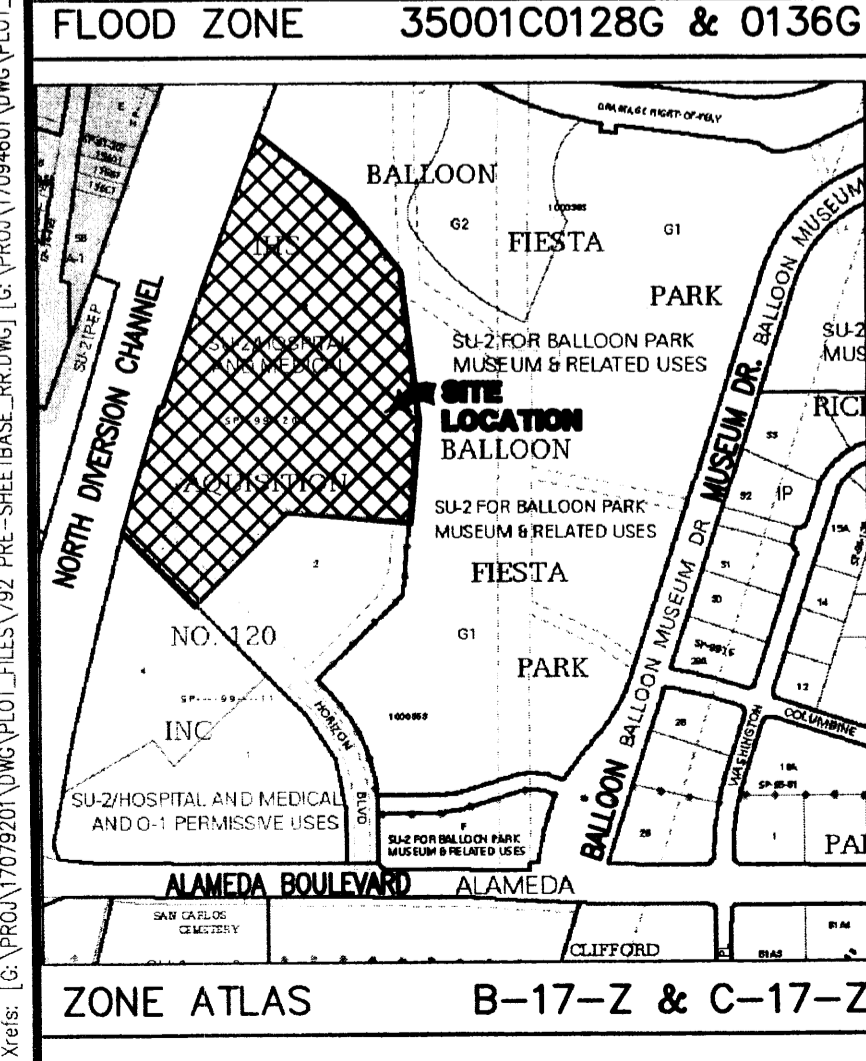
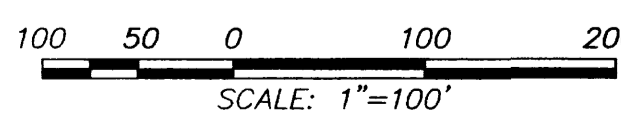
EXISTING SITE IS IN VARIOUS STAGES OF DEVELOPMENT. HYDROLOGY PRESENTED HEREIN ARE FOR FULLY DEVELOPED CONDITIONS.

PROPOSED CONDITIONS

THE PROPOSED IMPROVEMENTS, WHICH ARE PART OF THIS PROJECT AND ANALYZED BY THIS DRAINAGE REPORT CONSIST OF A NEW PARKING LOT ON LOT 3-B-2-A. THE EXISTING BUILDING ON LOT 3-B-2-A SHALL HAVE RENOVATIONS TO THE INTERIOR AND EXTERIOR, BUT NO NEW SQUARE FOOTAGE SHALL BE ADDED TO THE FACILITY OR EXISTING ROOF DRAINAGE SHALL NOT BE MODIFIED. THIS GRADING AND DRAINAGE PLAN IS IN ACCORDANCE WITH THE CONCEPTUAL GRADING AND DRAINAGE MASTER DEVELOPMENT PLAN INCLUDED IN THE SUBDIVISION OF TRACT 3B INTO 3-B-1, 3-B-2 AND 3-B-3. THIS APPLICATION IS FOR SITE DEVELOPMENT PLAN FOR BUILDING PERMIT ON TRACT 3-B-2-A, APPROXIMATELY 4.28 ACRES. IMPROVEMENTS INCLUDE A NEW PARKING AREA WHICH IS 39,198 SF (0.9 AC) ON PREVIOUSLY UNDISTURBED LANDS. THE APPROVED DRAINAGE MANAGEMENT PLAN FOR TRACTS 3-B-1, 3-B-2, AND 3-B-3 HAD LAND TREATMENTS OF 0% A, 5% B, 5% C, AND 90% D. THIS PROJECT IS IN COMPLIANCE WITH THESE LAND TREATMENTS AND IS IN ACCORDANCE WITH PART A- PROCEDURE FOR 40 ACRE AND SMALLER BASIN SECTION 22.2-HYDROLOGY CITY OF ALB. DEVELOPMENT PROCESS MANUAL.

GENERAL LEGEND

- EXISTING MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- FLOW DIRECTION ARROW
- DISCHARGE POINT
- EXISTING SW & PARKING STRIPES
- BASIN BOUNDARY

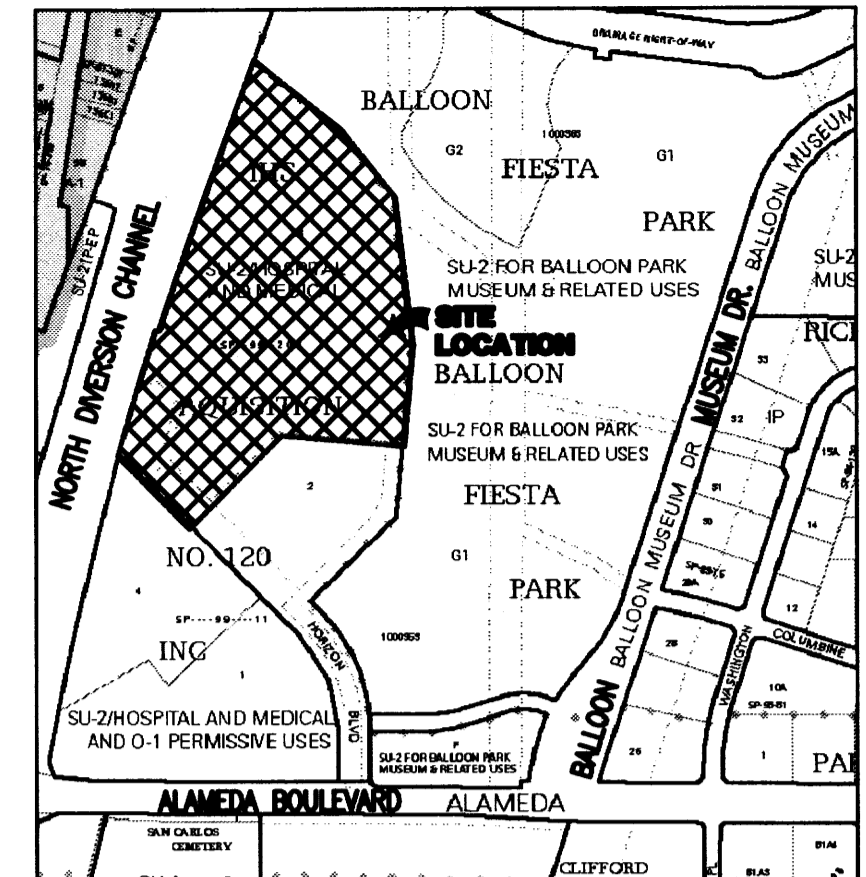


AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	ALBUQUERQUE CONTROL SURVEY	ACS, NDC, 7-1A, 1983	FIELD NOTES	DATE		<p>7/11/11</p>
WORK PERFORMED BY	DATE	NM STATE PLANE COORDINATES	X=1,534,929.428 Y=1,524,419.502	BY	DATE		
INSPECTOR'S ACCEPTANCE BY	DATE	GRID TO GRID	= 0.999874775	REVISIONS	DATE	DESIGNED BY:	DATE:
VERIFICATION BY	DATE	CENTRAL ZONE	Da=-0012'12.5"	DESIGN	DATE:	DRAWN BY:	DATE:
DRAWING DATE	DATE	ELEVATION	ELEV=4987.20 (NGVD88)	CHECKED BY:	DATE:	DWG NAME:	DATE:
MICRO-FILM INFORMATION	DATE						

Designed By
HUITT-ZOLIARS
Huitt-Zoliars, Inc. Rio Rancho
333 Rio Rancho Drive NE, Suite 101
Rio Rancho, New Mexico 87124
Phone (505) 892-5141 Fax (505) 892-3259

CAUWELS & STUVE
Construction & Design, L.L.C.
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www.cauwels-stuve.com

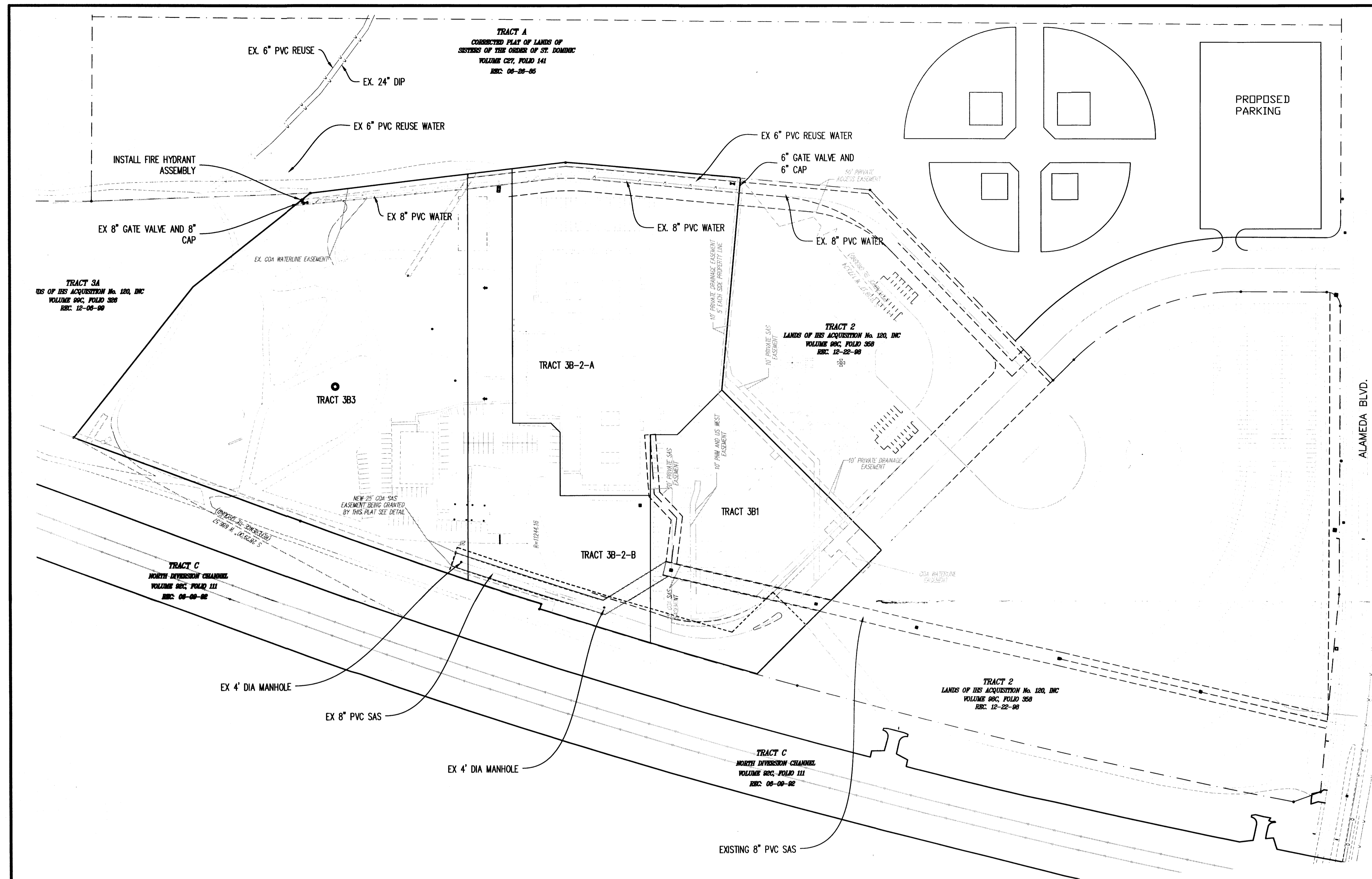
TITLE: SITE PLAN FOR BUILDING PERMIT TRACT 3-B-2-A
DRAINAGE PLAN
City Project No. _____ Zone Map No. C-17-2 Sheet _____ Of _____ **C101**



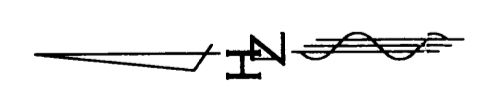
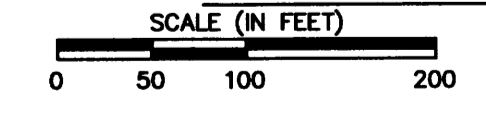
ZONE ATLAS B-17-Z & C-17-Z


LEGEND

- EX. RIGHT-OF-WAY
- EX. CURB & GUTTER
- EX. STREET LIGHT
- EX. GAS VALVE
- EX. SIGN
- EX. SIGN
- EX. TREE STUMP
- EX. TREE
- EX. BUILDING
- EX. GAS VAULT
- EX. ELECTRIC
- EX. FENCE
- EX. GAS
- EX. POLE
- EX. TELEPHONE PEDESTAL
- EX. GAS LINE
- EX. WATER
- EX. SEWER LINE
- NEW SEWER LINE
- NEW WATER LINE

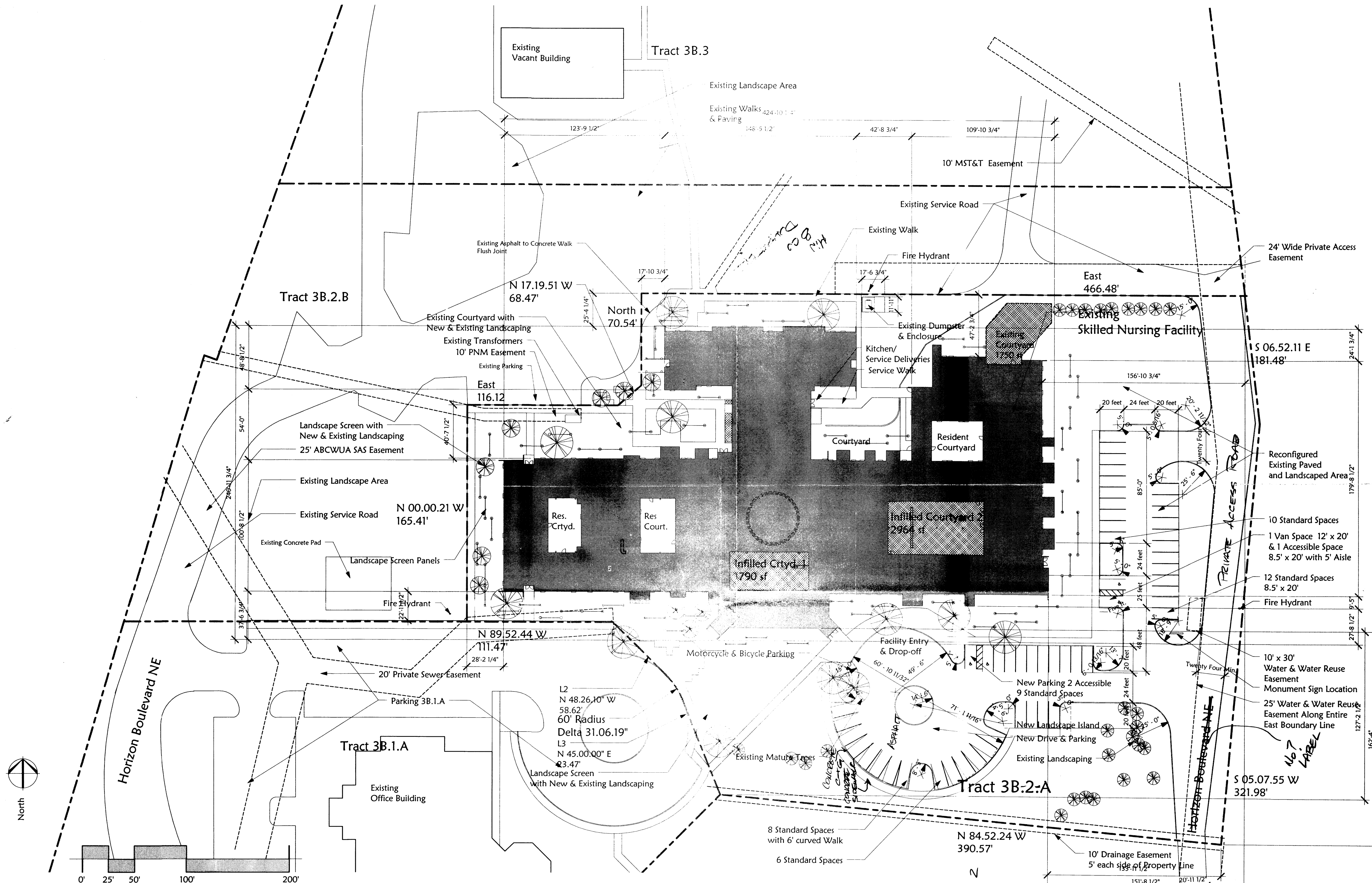


MASTER UTILITY PLAN



Designed By HUITT-ZOLLARS Huitt-Zollars, Inc. Rio Rancho 333 Rio Rancho Drive NE, Suite 101 Rio Rancho, New Mexico 87124 Phone (505) 892-5941 Fax (505) 892-3259		Designed For  Canwell & Stuve <small>PLANNING ENGINEERS ARCHITECTS</small>					
DRB No. 1007490							
REV.	SHEETS	CITY ENGINEER	DATE	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE
ENGINEERS STAMP & SIGNATURE PRELIMINARY NOT FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSES. FOR REVIEW ONLY. SCOTT A. EDDINGS 12856 Date: _____ HUITT-ZOLLARS, INC. Consulting Engineers		APPROVALS DRC Chairman Transportation Water/Wastewater Hydrology C.I.P. Constr. Mngmt. Constr. Coord. AEHD		ENGINEER DATE City Engineer Date		APPROVED FOR CONSTRUCTION City Engineer Date	
City Project No. 7997.81		Sheet U1		Of			

May 13, 2011, 10:46:55am - User: addings
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 Xref: C:\PROJ\17079201\DWG\DRG\PRELIMINARY_FLAT.DWG [C:\PROJ\17079201\DWG\DRG\USHEETBASE_COA.DWG]



Site Development Plan for Building Permit
 Plan Submission Date:
 Tuesday 12 July 2011

Project Summary
 The Proposed Project is a vacant 118 Resident Skilled Nursing Facility which will be remodeled and refurbished to accommodate approximately 106 Skilled Nursing Residents. All Elements of the Site Plan and Building Elevations will comply with the North 1.25 Sector Development Plan.

Project Data
 Legal Description:
 Tract 3B.2.A
 A Subdivision of Tract 3B Land of IHS Acquisition No. 120 Inc.
 Within Projected Sections 11 and 14, T. 11 N., R. 3., N. M. P. M.
 City of Albuquerque
 Elena Gallegos Land Grant
 Bernalillo County, New Mexico

Project Address:
 8820 Horizon Boulevard NE
 Albuquerque, New Mexico 87113

Zoning Atlas Page:
 C.17.Z

Zoning:
 SU.2 Hospital, Medical, & Related Uses

Approximate Area:
 Site: 4.6876 Acres/204,193 square feet
 Building: Approximately 61,000 square feet
 Added Square Footage: Infilling Courtyards
 Courtyard No. 1 = 1,790 sf
 Courtyard No. 2 = 2,964 sf
 Total Addition = 4,754 sf

Total Building = 65,754 sf

Building Heights, Setbacks, Maximum Floor Area Ratio:
 Building Heights: Existing Building Complies with the Sector Development Requirements of the agreement of the Privately Owned Properties to the South of the Esplanade Park

Setbacks: All Setbacks exceed the minimum Sector Plan requirements

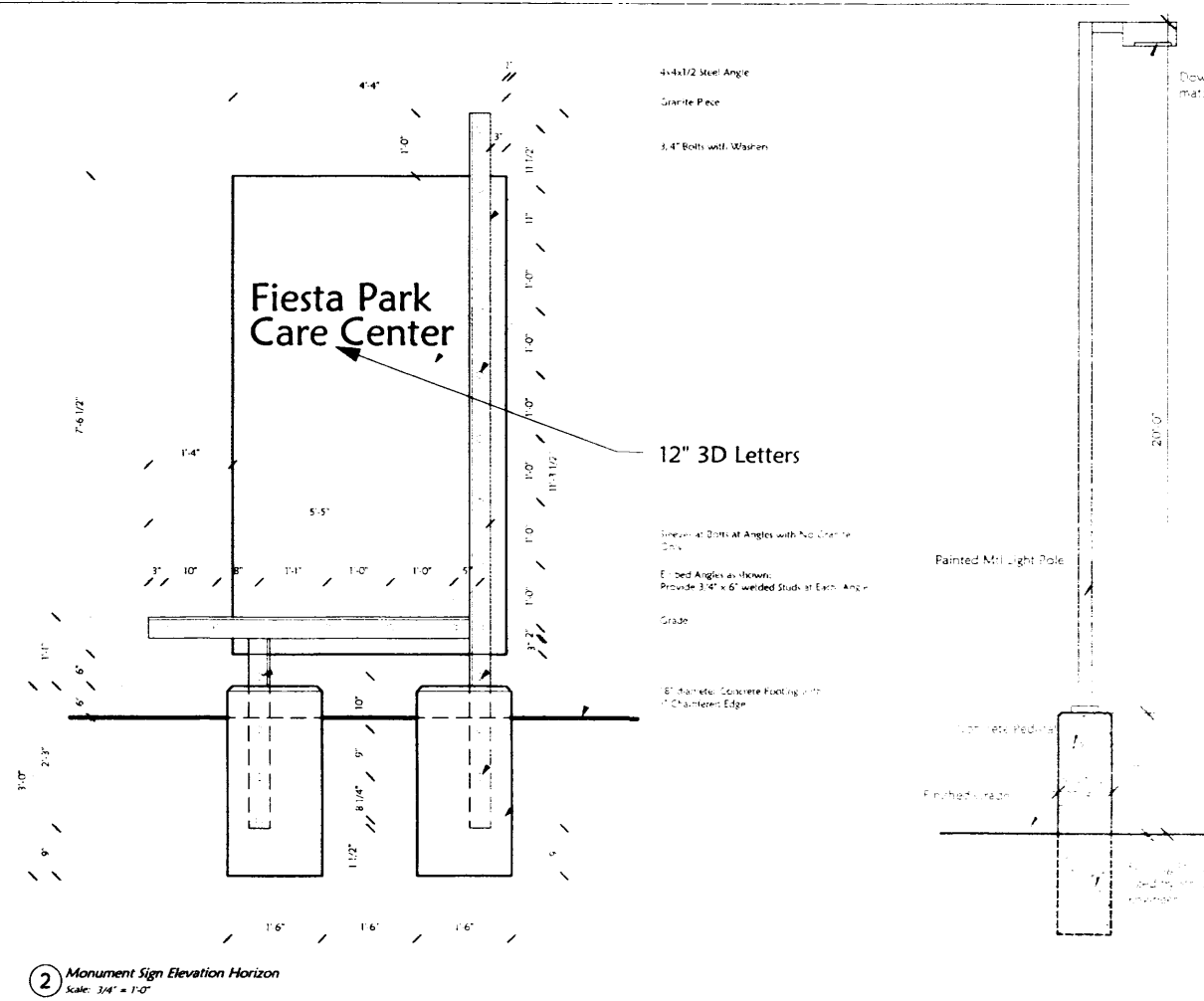
Floor Area Ratio: 65,754/204,193 = .322

Bicycle & Trail Access
 Trail Access is served by existing Horizon Boulevard to Alameda Boulevard continuing on to existing Trail along Drainage Easement west of Property

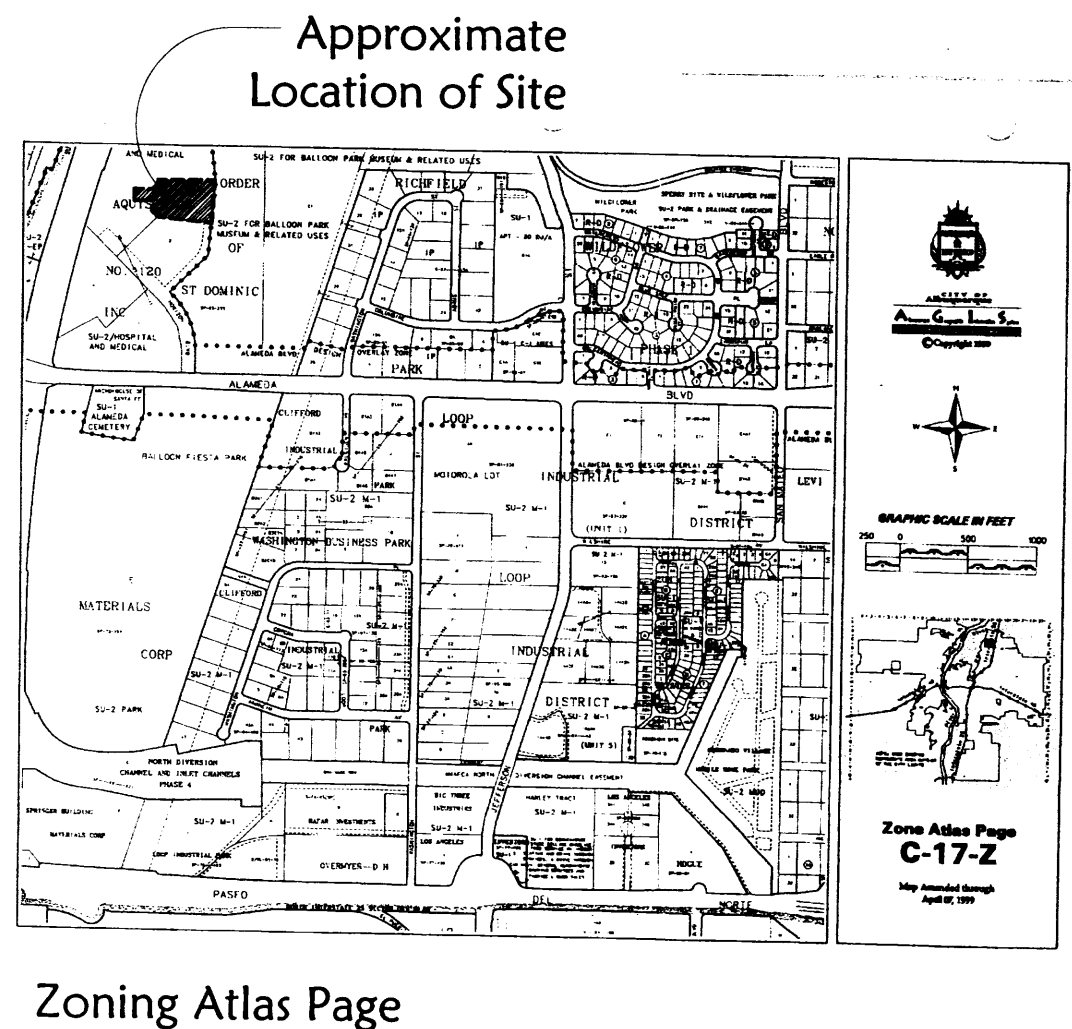
Transit
 Except during Balloon Festival and other City/County/State sponsored events, there is no current Mass Transit service to the Site or related Properties.

Parking
 Parking Layout, Dimensions, Landscaping will comply with the Sector Plan and the City of Albuquerque Transportation Standards
 Parking is Provided at the following Ratio:
 Required: 1 space per 2 Residents
 106 Residents = 53 Total Spaces
 Accessible Spaces Required 2/ Provided = 3
 Van Spaces Required and Provided = 1
 Standard Spaces Required and Provided = 49
 Bicycle Parking Required and Provided @ 1/20 Parking Spaces = 3
 Motorcycle Parking Required and Provided = 2

1 Site Development Plan for Building Permit
 Scale: 1" = 40'-0"



Project No.:	_____	_____
Application No.:	_____	_____
DRB Approval:	_____	_____
Traffic Engineering Transportation Division	_____	date
ABCWUA	_____	date
Parks and Recreation Department	_____	date
City Engineer	_____	date
Environmental Health Department	_____	date
Solid Waste Management Department	<i>Joe White 681 7766</i>	<i>7-12-11</i>
Fire Marshal	_____	date
DRB Chairperson Planning Department	_____	date



Zoning Atlas Page

Issued 12 July 2011 Site Plan for Building Permit

CAUWELS & STUVE
 Construction & Design
 8814 Horizon Boulevard NE
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 Voice: 505.266.5711
 Fax: 505.255.9922
 www.cauwels-stuve.com

PROJECT:
Valle Norte Tract 3B-2A
Fiesta Park Care Center
 Albuquerque, New Mexico

PROJECT #:
 Site Development Plan for Building Permit **SD 1.1**

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Easements of Record

- A - Easements of Recorded Plat. Recorded on 12.22.98 in Book 98C. Folio 358 Records of Bernalillo County, New Mexico
- B - Easements of Recorded Plat. Recorded on 12.06.99 in Book 99C. Folio 326 Records of Bernalillo County, New Mexico
- C - Easements granted to Mountain States Telephone and Telegraph Company, a Colorado Corporation. Recorded on 06.20.83 in Book Misc. 24-A. Pages 237-239. Doc. No. 83.40062 Records of Bernalillo County, New Mexico
- H - Easements of Recorded Plat. Recorded on 04.15.10 in Book 2010C. Folio 0046 M Records of Bernalillo County, New Mexico

Site Development Plan for Building Permit
Tuesday 12 July 2011

Project Summary
The Proposed Project is a vacant 119 Resident Skilled Nursing Facility which will be demolished and rebuilt to accommodate approximately 105 skilled nursing residents. All elements of the Site Plan and Building Elevation will comply with the North 125 Sector Development Plan.

Project Data
Legal Description:
Tract 3B.2.A
Subdivision of Tract 38 Land of the Acquisition No. 120 Inc. With Reservations 11 and 14, T. 11 N., R. 3, N. M. P. 14.
City of Albuquerque
Elms Gallegos Land Grant
Bernalillo County, New Mexico
Project Address:
8820 Horizon Boulevard NE
Albuquerque, New Mexico 87113
Zoning Atlas Page:
C.17.Z

Zoning:
S.U. Hospital, Medical, & Related Uses
Approximate Area:
Site: 4.6876 Acres/204,193 square feet
Total Addition: 65,754 sq. ft.
Total Addition: 65,754 sq. ft.

Building Height, Setbacks, Maximum Floor Area Ratio, and Other City/County/State Sponsored Events, there is no current Mass Transit service to the Site or related Properties.
Bicycle & Trail Access:
Floor Area Ratio: 65.754/204.193 = .322
Setbacks: All setbacks exceed the minimum Sector Plan requirements

Transit:
Except during Balloon Festival and other City/County/State sponsored events, there is no current Mass Transit service to the Site or related Properties.

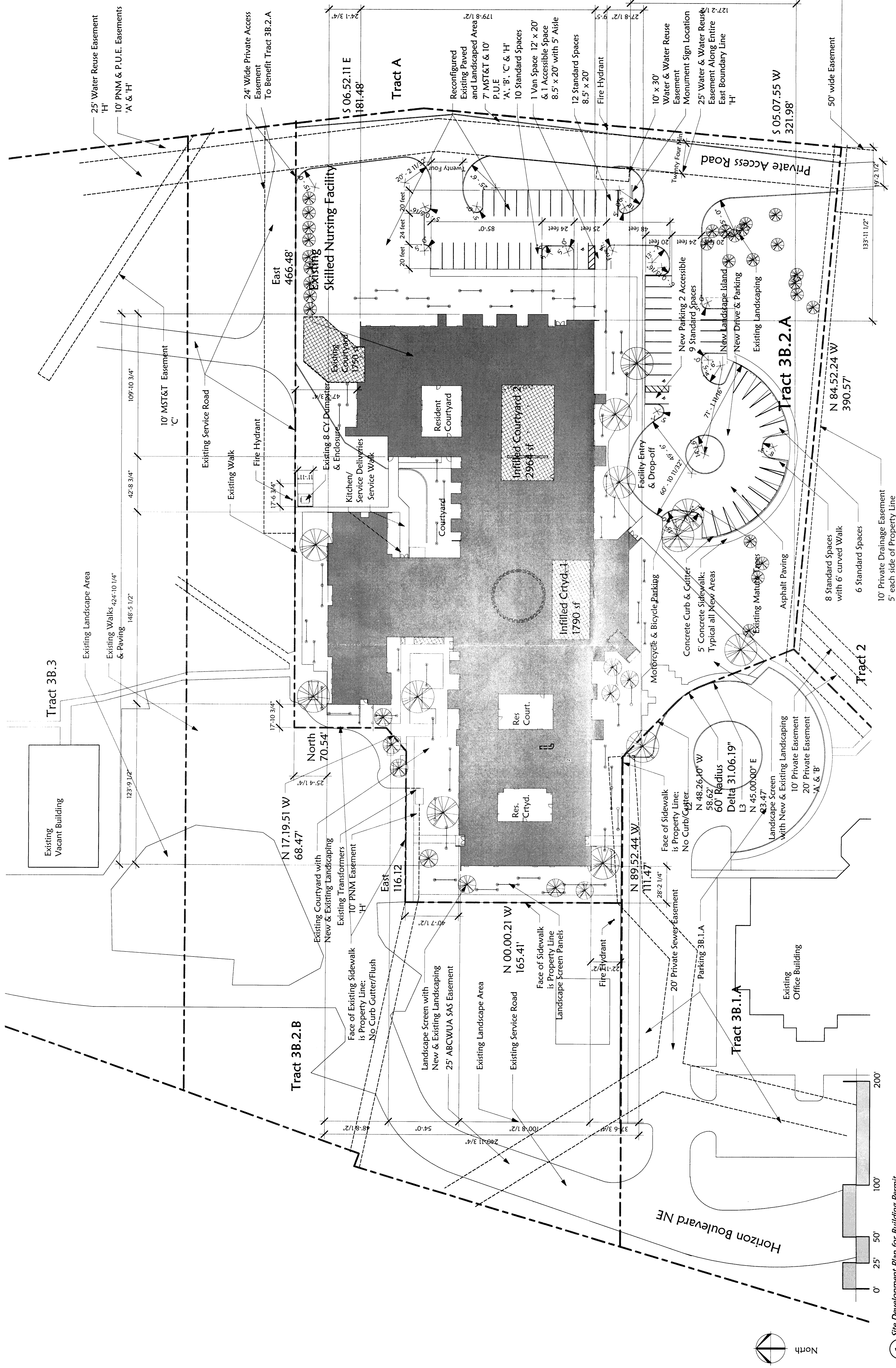
Parking:
Albuquerque Transportation Standards
Parking is provided at the following Ratio:
Required: 1 space per 2 Residents
Provided: 100 Spaces
Accessible Spaces Required: 3
Van Spaces Required and Provided: 1
Standard Spaces Required and Provided: 49
Bicycle Parking Required and Provided: 1/20 Parking Spaces = 3
Motorcycle Parking Required and Provided = 2

Issued 7.19.2011 Site Plan for Building Permit

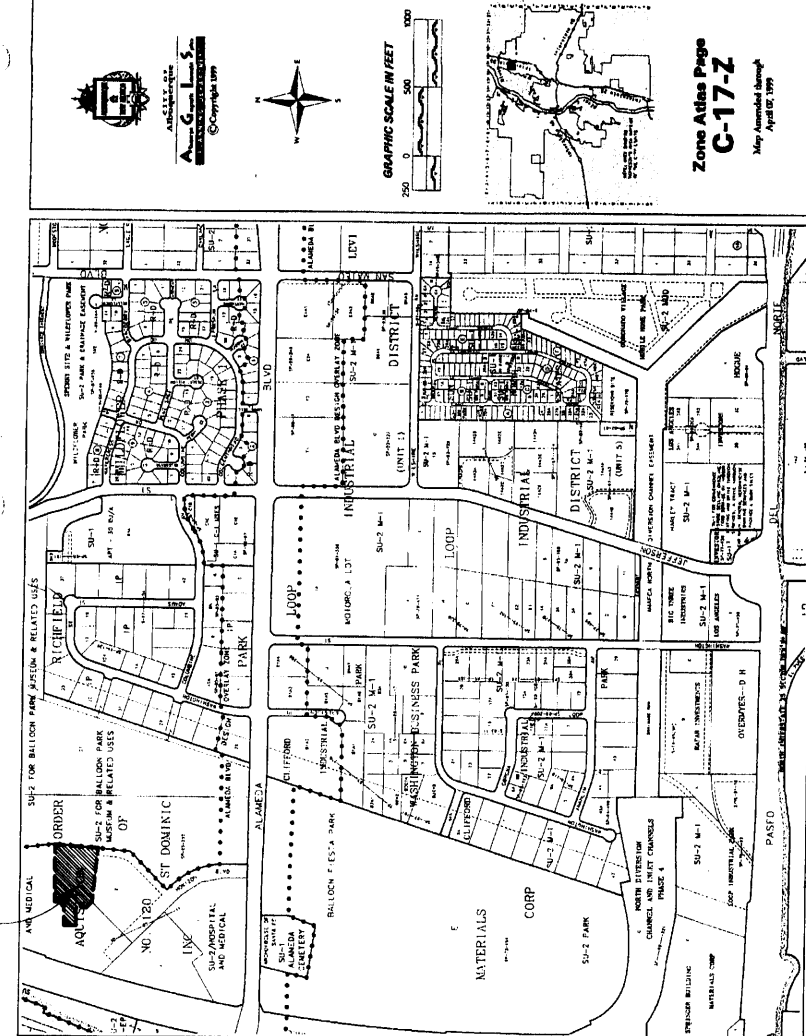
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Fiesta Park Care Center
Albuquerque, New Mexico

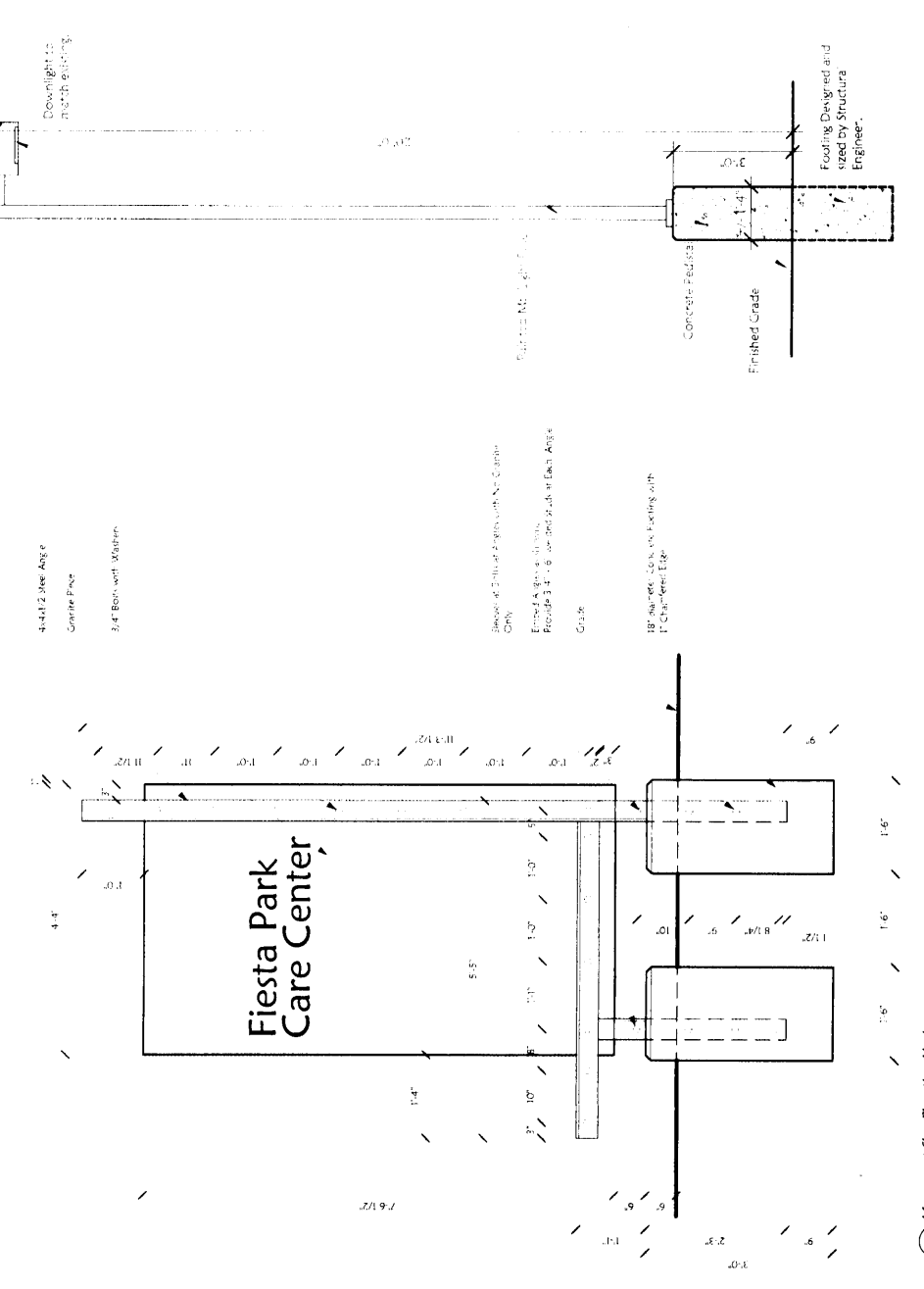
PROJECT #:
Site Development Plan for Building Permit
B-Permit 1.1



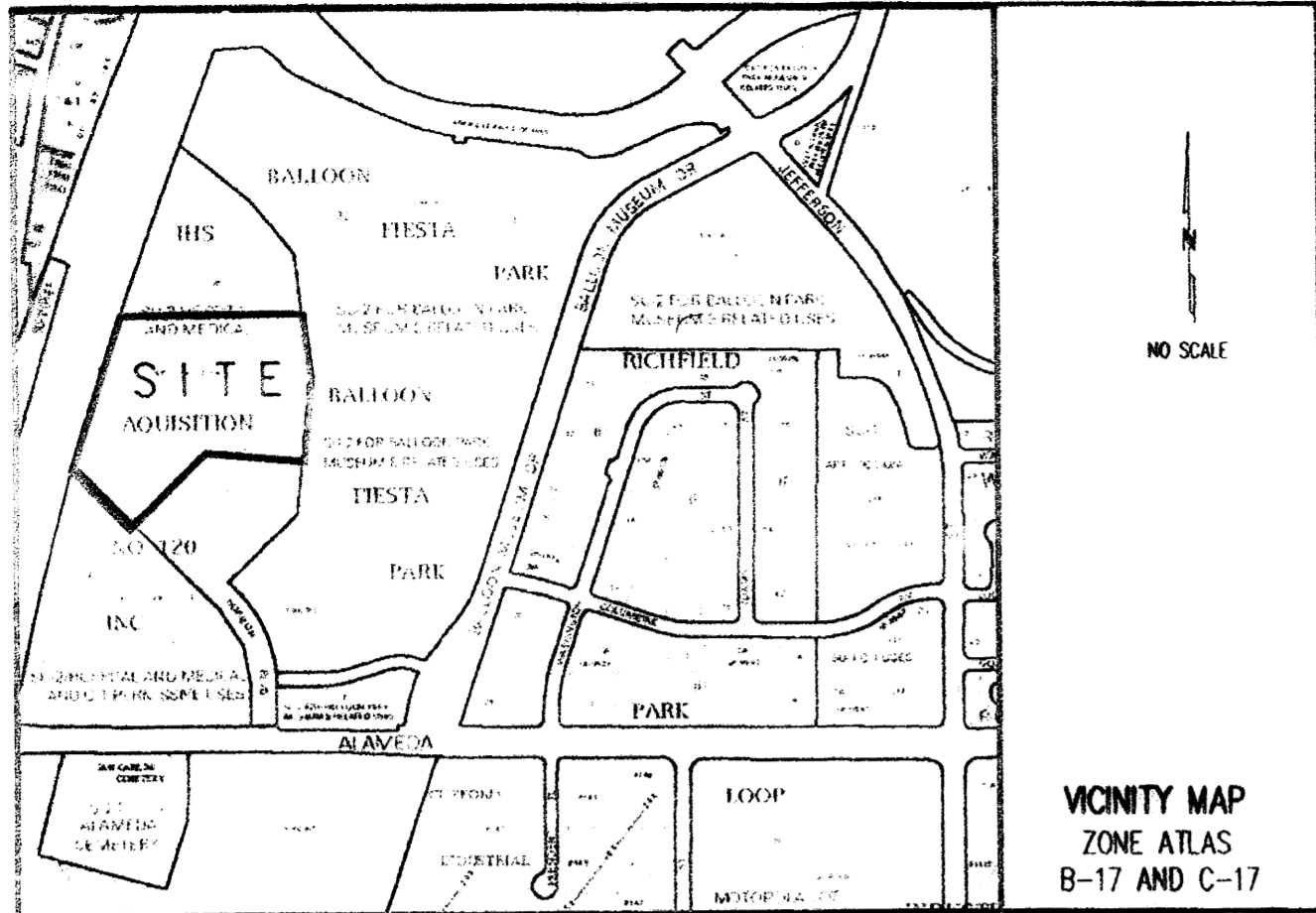
Approximate Location of Site



Project No.:	date
Application No.:	date
DBB Approval:	date
Traffic Engineering/Transportation Division:	date
ABCWUA:	date
Parks and Recreation Department:	date
City Engineer:	date
Environmental Health Department:	date
Solid Waste Management Department:	date
Fire Marshal:	date
DBB Chairperson/Planning Department:	date



1 Site Development Plan for Building Permit
Scale: 1" = 40'-0"



DESCRIPTION

(See Sheet 2 of 2)

DOCH 2012086378
 08/23/2012 01:39 PM Page 1 of 2
 PLAT R 425 00 B 2012C P 0097 R Toulous Olivere Bernalillo Cou

AMENDED PLAT OF TRACTS 3B-1-A, 3B-2-A AND 3B-2-B LAND OF IHS ACQUISITION NO. 120, INC.
 AMENDED PLAT OF TRACTS 3B-1 AND 3B-2
 WITHIN PROJECTED SECTIONS 11 AND 14,
 T. 11 N., R. 3 E., N. M. P. M.
 CITY OF ALBUQUERQUE
 ELENA GALLEGOS LAND GRANT
 BERNALILLO COUNTY, NEW MEXICO
 AUGUST, 2012

PROJECT NO. 1007490

APPLICATION NO. _____

PLAT APPROVALS

UTILITY APPROVALS

Fernando Vigil
 PNM ELECTRIC SERVICES
 DATE 8-16-12

Rockelle Cofe
 NEW MEXICO GAS COMPANY
 DATE 8/15/2012

Pete B...
 QUEST CORPORATION d/b/a CentryLink QC
 DATE 08-16-12

Pete B...
 COMCAST
 DATE 08-16-12

CITY APPROVALS

John B. Hunt
 CITY SURVEYOR
 DATE 8/6/12

Carol S. Dumont
 REAL PROPERTY DIVISION - Parks & Recreation
 DATE 8-15-12

Alan Pater
 ENVIRONMENTAL HEALTH DEPARTMENT
 DATE 08-15-12

Alan Pater
 TRAFFIC ENGINEERING, TRANSPORTATION DIVISION
 DATE 08/15/12

Alan Pater
 WATER UTILITY DEVELOPMENT
 DATE 08/15/12

Alan Pater
 DEPARTMENT OF MUNICIPAL DEVELOPMENT
 DATE 8-15-12

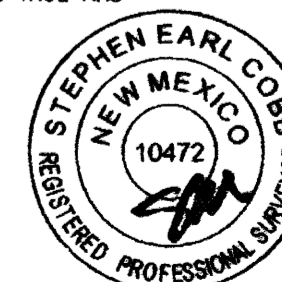
Alan Pater
 CITY ENGINEER
 DATE 8-15-12

Alan Pater
 DRB CHAIRPERSON, PLANNING DEPARTMENT
 DATE 8-23-12

SURVEYOR'S CERTIFICATION

I, STEPHEN EARL COBB, NEW MEXICO REGISTERED PROFESSIONAL LAND SURVEYOR NO. 10472, DO HEREBY CERTIFY THAT THE PLAT SHOWN HEREON WAS PREPARED UNDER MY DIRECT SUPERVISION, SHOWS ALL EASEMENTS MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, UTILITY COMPANIES AND OTHER PARTIES EXPRESSING AN INTEREST. THIS PLAT MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND THE MINIMUM STANDARDS FOR LAND SURVEYS AS ESTABLISHED BY THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Stephen Earl Cobb
 SEPTEMBER EARL COBB, P.S. NO. 10472
 DATE 8/3/12



HUITT-ZOLLARS
 333 RIO RANCHO DR. N.E., STE. 101
 RIO RANCHO, N.M. 87124
 (505) 892-5141

DEDICATION AND FREE CONSENT

THE PROPERTY SHOWN HEREON IS REPLATED WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF AND SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY GRANT TO THE CITY OF ALBUQUERQUE: ALL PUBLIC ACCESS AND PUBLIC UTILITY EASEMENTS SHOWN HEREON INCLUDING THE RIGHT TO CONSTRUCT, OPERATE, INSPECT, AND MAINTAIN FACILITIES HEREIN AND ALL PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL, POWER AND COMMUNICATION SERVICES FOR BURIED DISTRIBUTION LINES, COWARDS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. THE OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY ACKNOWLEDGE SAID INSTRUMENT TO BE THEIR FREE ACT AND DEED. THOSE SIGNING WARRANT THAT THEY HOLD INDEFEASIBLE TITLE IN FEE SIMPLE TO PROPERTY BEING REPLATED HEREON.

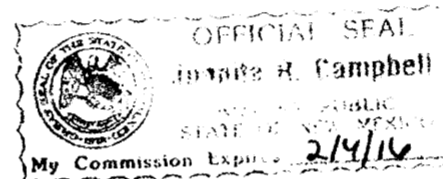
C&S EQUITIES, LLC
 OWNER TRACTS 3B

Jeff D. Stuve
 CSRDA, INC. MANAGING MEMBER
 JEFF D. STUVE, MANAGER

(STATE OF New Mexico) SS
 (COUNTY OF Bernalillo)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON August 6, 2012
 BY JEFF D. STUVE, MANAGER OF CSRDA, INC. MANAGING MEMBER OF C&S EQUITIES, LLC AND SIGNED ON BEHALF OF SAID COMPANY.

BY: *Quanta R. Campbell*
 NOTARY PUBLIC



MY COMMISSION EXPIRES: 2/4/16

TREASURER'S CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC #:

UPC # 101706404148320223 (TRACT 3B-1-A)
 UPC # 101706407051320222 (TRACT 3B-2-A)
 UPC # _____ (TRACT 3B-2-A)

BERNALILLO COUNTY TREASURERS OFFICE:

BY: *John P. ...* DATE: Aug 23, 2012

SOLAR NOTE

NO PROPERTY WITHIN THE AREA OF THIS PLAT SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE TRACTS WITHIN THE AREA OF THIS PLAT. THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT OR SITE DEVELOPMENT PLAN FOR THIS PLAT.

PLAT DATA

DRB NO. _____ PLAT ACRES 10.9861
 NO. OF TRACTS 3 TRACT ACRES 10.9861

ZONE DESIGNATION

TRACT 3B-1 AND 3B-2 SU-2

DISCLOSURE STATEMENT

1. THE PURPOSE OF THIS AMENDED PLAT IS TO REMOVE THE NOTE TITLED "PER CITY OF ALBUQUERQUE DEVELOPMENT BOARD" INDICATING THE CITY OF ALBUQUERQUE'S INTENT TO REMOVE THE TRAFFIC SIGNALS AT HORIZON BOULEVARD AND ALAMEDA BOULEVARD NE.

NOTES

- ALL BEARINGS SHOWN HEREON ARE GRID BEARINGS BASED ON THE NEW MEXICO STATE PLANE COORDINATE SYSTEM NAD 1983, CENTRAL ZONE, MAPPING ANGLE IS -00°12'12.5". BASIS OF BEARINGS IS THE LINE BETWEEN SURVEY CONTROL MONUMENTS NDC_7_1A AND NDC_7 BEING S.18.53°09'W. BASIS OF COORDINATES IS NDC_7_1A WITH COORDINATES AS SHOWN. DISTANCES ARE HORIZONTAL GROUND DISTANCES IN FEET.
- ALL BEARINGS AND DISTANCES PER FIELD SURVEY. RECORD INFORMATION WHERE DIFFERENT FROM ACTUAL FIELD SURVEY IS SHOWN IN PARENTHESIS ().
- BENCHMARK FOR THIS PLAT IS CONTROL POINT NDC_7_1A LOCATED APPROXIMATELY 138' TO THE NORTHWEST OF THE NORTHWEST CORNER OF TRACT 3B-2.
- ALL PROPERTY CORNERS ARE SET WITH A 5/8" X 24" REBAR WITH RED OR YELLOW PLASTIC CAP STAMPED LS 9243 SET FLUSH WITH THE GROUND, UNLESS OTHERWISE NOTED.
- OWNER COVENANTS AND AGREES TO PROVIDE THE REQUIRED AMOUNT OF PARKING FOR THE PROPOSED USE ON EACH TRACT SUBDIVIDED AT THE TIME OF BUILDING PERMIT APPLICATION. THIS COVENANT SHALL BE DEEMED A CONDITION TO THIS SUBDIVISION PLAT APPROVAL.

EASEMENTS

- PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:
- PUBLIC SERVICE COMPANY OF NEW MEXICO ("PNM"), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.
 - NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.
 - QUEST CORPORATION d/b/a CentryLink QC FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.
 - CABLE TV FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.
- INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANTOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT.
- EASEMENTS FOR ELECTRIC TRANSFORMER/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE (5) FEET ON EACH SIDE.

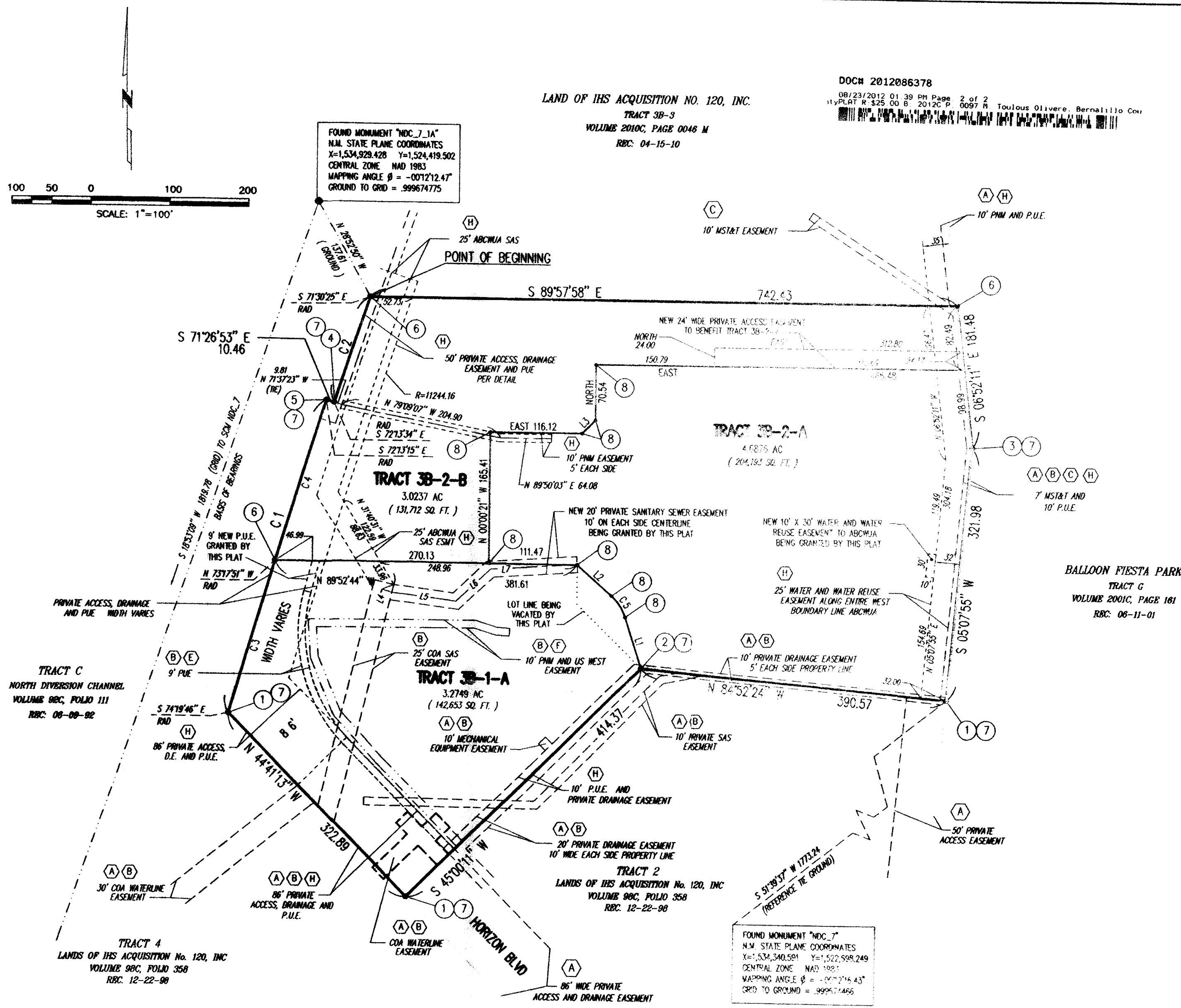
DISCLAIMER

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM) AND NEW MEXICO GAS COMPANY (NMGC) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM AND NMGC DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER RECORDED DOCUMENT AND WHICH ARE NOT SHOWN OR NOTED ON THIS PLAT.

**AMENDED PLAT OF
TRACTS 3B-1-A, 3B-2-A AND 3B-2-B
LAND OF IHS ACQUISITION NO. 120, INC.**
AMENDED PLAT OF TRACTS 3B-1 AND 3B-2
WITHIN PROJECTED SECTIONS 11 AND 14,
T. 11 N., R. 3 E., N. M. P. M.
CITY OF ALBUQUERQUE
ELENA GALLEGOS LAND GRANT
BERNALILLO COUNTY, NEW MEXICO
AUGUST, 2012

DOC# 2012086378
08/23/2012 01:39 PM Page 2 of 2
11:19 PLAT R 325 00 B 2012C P 0097 M Toulouse Olivere, Bernalillo Co.

LAND OF IHS ACQUISITION NO. 120, INC.
TRACT 3B-3
VOLUME 2010C, PAGE 0046 M
RBC: 04-15-10



EASEMENTS OF RECORD (SEE PLAT)

- (A) EASEMENTS PER RECORDED PLAT, RECORDED ON 12-22-98 IN BOOK 98C, FOLIO 358 RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
- (B) EASEMENTS PER RECORDED PLAT, RECORDED ON 12-06-99 IN BOOK 99C, FOLIO 326 RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
- (C) EASEMENT GRANTED TO MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY, A COLORADO CORPORATION, RECORDED ON 06-20-83 IN BOOK MISC. 24-A, PAGES 237-239, DOC. NO. 83-40062, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
- (D) A WATERLINE EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE, NEW MEXICO RECORDED IN BOOK 92-28, PAGES 3168-3170, DOC. NO. 92119336, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
- (E) A PERMANENT EASEMENT RECORDED ON DECEMBER 2, 1996 IN BOOK 96-31, PAGES 8823-8825, AS DOC. NO. 96129436, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
- (F) AN UNDERGROUND EASEMENT RECORDED ON JUNE 27, 1997 IN BOOK 97-17, PAGES 4176-4178, AS DOC. NO. 97065184, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
- (G) PROPERTY SUBJECT TO ACCESS AND DRAINAGE EASEMENT PER RECIPROCAL EASEMENT OF OPERATING AGREEMENT RECORDED IN BOOK 9820, PAGE 7260, AS DOC. NO. 1998169125, RECORDS OF BERNALILLO COUNTY, NEW MEXICO. NOT ABLE TO PLOT ON MAP.
- (H) EASEMENTS PER RECORDED PLAT, RECORDED ON 04-15-10 IN BOOK 2010C, FOLIO 0046 M RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
- (I) THERE IS A CROSS-LOT DRAINAGE EASEMENT BENEFITING ALL TRACTS AND MAINTAINED BY EACH UNDERLYING PROPERTY OWNER BY PLAT REFERENCED IN ITEM H ABOVE.

DESCRIPTION

A PARCEL OF LAND BEING ALL OF TRACTS 3B-1 AND 3B-2, LAND OF IHS ACQUISITION NO. 120, INC., WITHIN PROJECTED SECTIONS 11 AND 14, T. 11 N., R. 3 E., N.M.P.M. RECORDED ON APRIL 15, 2010 IN BOOK 2010C, FOLIO 0046 M, DOC. NO. 2010031804, WITHIN THE ELENA GALLEGOS GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF SAID TRACT 3B-2, FROM WHICH THE BRASS CAP MONUMENT NDC_7_1A BEARS N 28°52'50" W 137.61 FEET, THENCE S 89°57'58" E 742.43 FEET ON THE NORTH BOUNDARY LINE OF SAID TRACT; THENCE S 06°52'11" E 181.48 FEET ON THE EAST BOUNDARY LINE OF SAID TRACT; THENCE S 05°07'55" W 321.98 FEET ON THE EAST BOUNDARY LINE OF SAID TRACT; THENCE N 84°52'24" W 390.57 FEET ON THE SOUTHEAST BOUNDARY LINE OF SAID TRACT; THENCE N 44°41'13" W 322.89 FEET ON THE SOUTHWEST BOUNDARY LINE OF SAID TRACT TO A POINT ON A NON-TANGENT CURVE FROM WHICH A RADIAL LINE BEARS S 74°19'46" E; THENCE 416.02 FEET TO THE NORTHEAST ON THE WEST BOUNDARY LINE OF SAID TRACT ON THE ARC OF SAID NON-TANGENT CURVE TO RIGHT HAVING A CENTRAL ANGLE OF 2°06'31", A RADIUS OF 11,304.16 FEET AND A CHORD OF 415.99 FEET, A RADIAL LINE AT THE END OF SAID CURVE BEARS S 72°13'15" E; THENCE S 71°26'53" E 10.46 FEET ON THE WEST BOUNDARY LINE OF SAID TRACT TO A POINT ON A NON-TANGENT CURVE FROM WHICH A RADIAL LINE BEARS S 72°13'34" E; THENCE 141.80 FEET TO THE NORTHEAST ON THE WEST BOUNDARY LINE OF SAID TRACT ON THE ARC OF SAID NON-TANGENT CURVE TO RIGHT HAVING A CENTRAL ANGLE OF 00°43'09", A RADIUS OF 11,294.16 FEET AND A CHORD OF 141.80 FEET, A RADIAL LINE AT THE END OF SAID CURVE BEARS S 71°30'09" E, TO THE POINT OF BEGINNING.

PARCEL CONTAINS 10.9861 ACRES, MORE OR LESS AND (3) TRACTS.

BOUNDARY EVIDENCE: UNLESS OTHERWISE INDICATED

- (1) FOUND NO. 5 REBAR W/ PLASTIC CAP STAMPED PS 10466
- (2) FOUND 40D NAIL W/ BRASS WASHER STAMPED PS 11463 IN TREE BASE
- (3) FOUND NO. 5 REBAR W/ PLASTIC CAP STAMPED WEAVER
- (4) FOUND AMAFCA NDC R/W MONUMENT
- (5) FOUND PK W/ WASHER STAMPED PS 10466
- (6) FOUND NO. 5 REBAR W/ PLASTIC CAMP STAMPED LS 9243
- (7) FOUND BRASS TAG STAMPED LS 9243
- (8) FOUND MAG NAIL W/ WASHER STAMPED LS 9243

ABBREVIATIONS

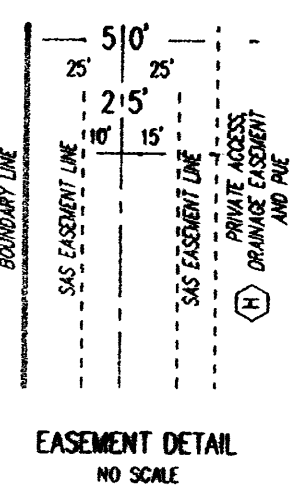
- ABCWJA - ALBUQUERQUE BERNALILLO WATER UTILITY AUTHORITY
- COA - CITY OF ALBUQUERQUE
- MST&T - MOUNTAIN STATES TELEPHONE AND TELEGRAPH
- PNM - PUBLIC SERVICE COMPANY OF NEW MEXICO
- PUE - PUBLIC UTILITY EASEMENT
- SAS - SANITARY SEWER

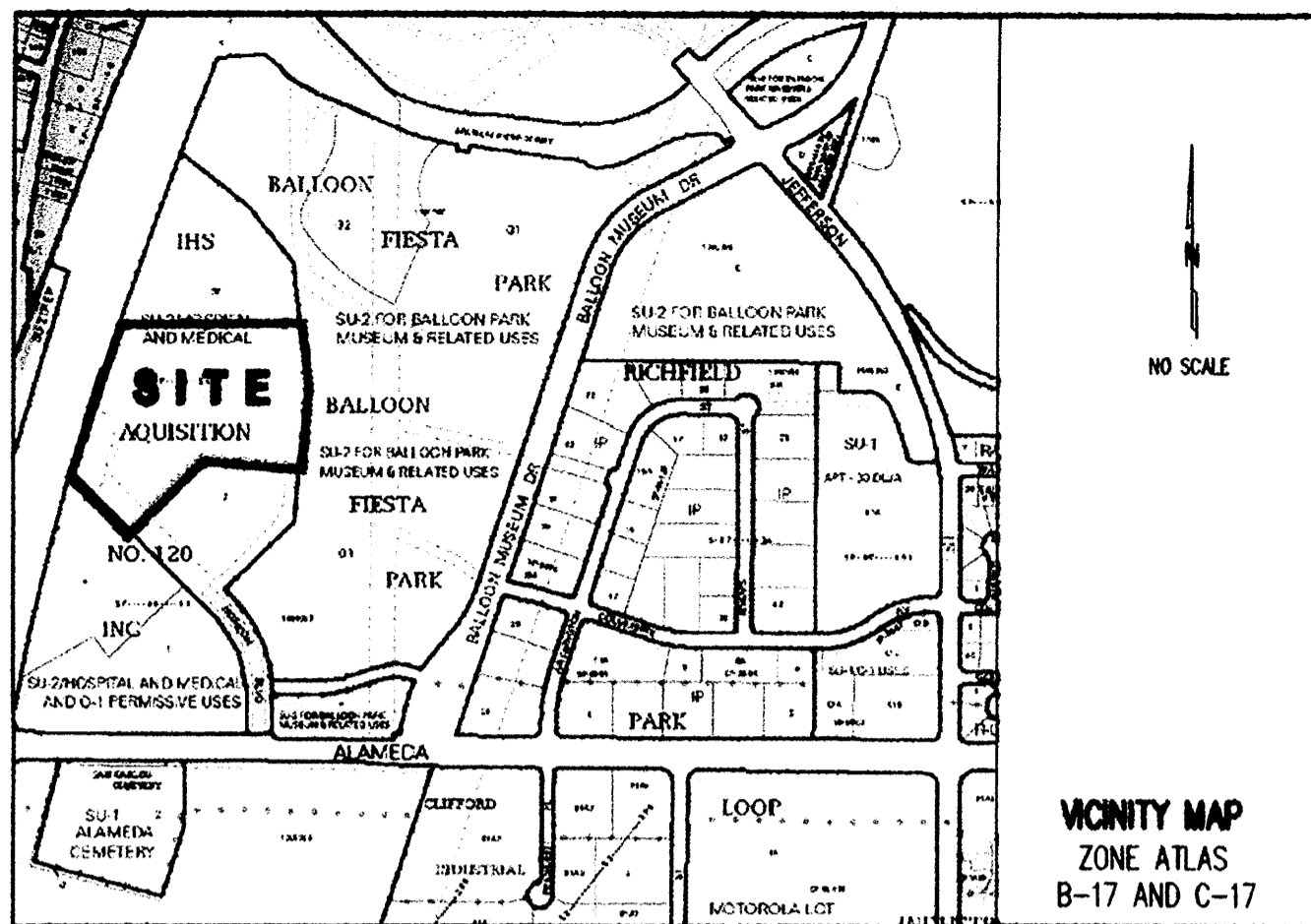
LINE TABLE

NO	DIRECTION	DISTANCE
L1	N 17°19'51" W	322.89
L2	N 42°26'10" W	390.57
L3	N 45°00'00" E	414.37
L4	N 17°19'29" E	322.89
L5	N 82°56'26" W	742.43
L6	N 46°20'56" E	181.48
L7	N 86°04'49" E	181.48

CURVE TABLE

NO	DELTA	RADIUS	ARC LENGTH	TANGENT	CHORD	CHORD BEARING
1	02°06'31"	11304.16	416.02	208.03	415.99	N 15°43'30" E
2	00°43'09"	11294.16	141.80	70.90	141.80	N 18°08'01" E
3	01°21'55"	11294.16	203.58	101.79	203.58	N 16°11'11" E
4	01°04'36"	11294.16	212.43	106.22	212.43	N 17°14'27" E
5	31°06'19"	60.00	32.57	16.70	32.17	N 32°53'01" W





DESCRIPTION

A PARCEL OF LAND BEING ALL OF TRACTS 3B-1 AND 3B-2, LAND OF IHS ACQUISITION NO. 120, INC., WITHIN PROJECTED SECTIONS 11 AND 14, T. 11 N., R. 3 E., N.M.P.M. RECORDED ON APRIL 15, 2010 IN BOOK 2010C, FOLIO 0046 M, DOC. NO. 2010031804, WITHIN THE ELENA GALLEGOS GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

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PARCEL CONTAINS 10.9861 ACRES, MORE OR LESS AND (3) TRACTS.

**TRACTS 3B-1-A, 3B-2-A AND 3B-2-B
LAND OF IHS ACQUISITION NO. 120, INC.
A REPLAT OF TRACTS 3B-1 AND 3B-2
WITHIN PROJECTED SECTIONS 11 AND 14,
T. 11 N., R. 3 E., N. M. P. M.
CITY OF ALBUQUERQUE
ELENA GALLEGOS LAND GRANT
BERNALILLO COUNTY, NEW MEXICO
MAY, 2011**

PROJECT NO. 1007490

APPLICATION NO. _____

PLAT APPROVALS

UTILITY APPROVALS

Fernando Vigil
PNM ELECTRIC SERVICES
DATE 5-17-11

[Signature]
NEW MEXICO GAS COMPANY
DATE 5-17-2011

[Signature]
QWEST TELECOMMUNICATIONS
DATE 05-17-11

[Signature]
COMCAST
DATE 05-18-11

CITY APPROVALS

[Signature]
CITY SURVEYOR
DATE 5/6/11

REAL PROPERTY DIVISION
DATE _____

ENVIRONMENTAL HEALTH DEPARTMENT
DATE 06-10-11

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION
DATE 06/08/11

WATER UTILITY DEVELOPMENT
DATE 6/8/11

DEPARTMENT OF MUNICIPAL DEVELOPMENT Parks & Rec
DATE 6-8-11

AMAFCA
DATE _____

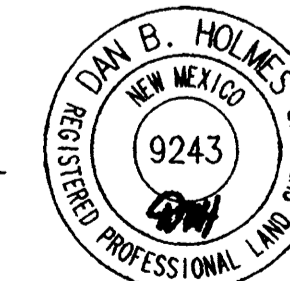
[Signature]
CITY ENGINEER
DATE 6-8-11

[Signature]
DBB CHAIRPERSON, PLANNING DEPARTMENT
DATE 6-10-11

SURVEYOR'S CERTIFICATION

I, DAN B. HOLMES, NEW MEXICO REGISTERED PROFESSIONAL LAND SURVEYOR NO. 9243, DO HEREBY CERTIFY THAT THE PLAT SHOWN HEREON WAS PREPARED UNDER MY DIRECT SUPERVISION, SHOWS ALL EASEMENTS MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, UTILITY COMPANIES AND OTHER PARTIES EXPRESSING AN INTEREST. THIS PLAT MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND THE "MINIMUM STANDARDS FOR LAND SURVEYS" AS ESTABLISHED BY THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

[Signature]
DAN B. HOLMES, P.S. NO. 9243
MAY 04, 2011
DATE



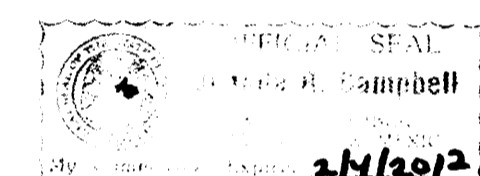
HUITT-ZOLLARS
333 RIO RANCHO DR. N.E., STE. 101
RIO RANCHO, N.M., 87124
(505) 892-5141

DEDICATION AND FREE CONSENT

THE PROPERTY SHOWN HEREON IS REPLATTED WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF AND SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY GRANT TO THE CITY OF ALBUQUERQUE: ALL PUBLIC ACCESS AND PUBLIC UTILITY EASEMENTS SHOWN HEREON INCLUDING THE RIGHT TO CONSTRUCT, OPERATE, INSPECT, AND MAINTAIN FACILITIES THEREIN; AND ALL PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. THE OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY ACKNOWLEDGE SAID INSTRUMENT TO BE THEIR FREE ACT AND DEED. THOSE SIGNING WARRANT THAT THEY HOLD INDEFEASIBLE TITLE IN FEE SIMPLE TO PROPERTY BEING REPLATTED HEREON.

C&S EQUITIES, LLC
OWNER TRACT 3B-2
[Signature]

CSRDA, INC. MANAGING MEMBER
JEFF D. STUVE, MANAGER
[Signature]



(STATE OF New Mexico) SS
(COUNTY OF Bernalillo)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON May 6th, 2011
BY JEFF D. STUVE, MANAGER OF CSRDA, INC. MANAGING MEMBER OF C&S EQUITIES, LLC AND SIGNED ON BEHALF OF SAID COMPANY.

BY: *[Signature]*
NOTARY PUBLIC

MY COMMISSION EXPIRES: 2/4/2012

NOTE PER CITY OF ALBUQUERQUE DEVELOPMENT REVIEW BOARD

FUTURE OWNERS OF THE PROPERTY SUBDIVIDED BY THIS PLAT ARE HEREBY ADVISED THAT IT IS THE INTENT OF THE CITY OF ALBUQUERQUE TO REMOVE THE TRAFFIC SIGNALS AT HORIZON BOULEVARD AND ALAMEDA BOULEVARD NE. THIS ACTION, IF UNDERTAKEN BY THE CITY, WOULD RESULT IN CLOSURE OF THE MEDIAN CUT IN ALAMEDA BOULEVARD AND WOULD ELIMINATE LEFT TURN ACCESS FOR HORIZON BOULEVARD TO TURN FROM ALAMEDA BOULEVARD. C&S EQUITIES, LLC HAS NOT CONSENTED WITH THE REMOVAL OF THE SIGNALIZATION AND ELIMINATION OF LEFT TURN ACCESS.

[Signature]
DATE 5/6/2011

CSRDA, INC. MANAGING MEMBER
JEFF D. STUVE, MANAGER
[Signature]

TREASURER'S CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC #:

UPC # 101706404148320223 (TRACT 3B-1) DOC# 2011053986
UPC # 101706407051320222 (TRACT 3B-2) 06/10/2011 10:50 AM Page: 1 of 2
PLAT R \$12.00 B 2011C P. 0059 R. Toulouse Olivere, Bernalillo Cou

BERNALILLO COUNTY TREASURERS OFFICE:
BY: *[Signature]* DATE: 6/10/11

SOLAR NOTE

NO PROPERTY WITHIN THE AREA OF THIS PLAT SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERRECTED ON THE TRACTS WITHIN THE AREA OF THIS PLAT. THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT OR SITE DEVELOPMENT PLAN FOR THIS PLAT.

PLAT DATA

DRB NO. _____ PLAT ACRES 10.9861
NO. OF TRACTS 3 TRACT ACRES 10.9861

ZONE DESIGNATION

TRACT 3B-1 AND 3B-2 SU-2

DISCLOSURE STATEMENT

1. THE PURPOSE OF THIS PLAT IS TO REPLAT TRACTS 3B-1 AND 3B-2 INTO (3) TRACTS DESIGNATED AS TRACTS 3B-1-A, 3B-2-A AND 3B-2-B. NEW EASEMENTS BEING GRANTED BY THIS PLAT ARE AS INDICATED.

NOTES

- ALL BEARINGS SHOWN HEREON ARE GRID BEARINGS BASED ON THE NEW MEXICO STATE PLANE COORDINATE SYSTEM NAD 1983, CENTRAL ZONE, MAPPING ANGLE IS -00°12'12.5". BASIS OF BEARINGS IS THE LINE BETWEEN SURVEY CONTROL MONUMENTS NDC_7_1A AND NDC_7_1B BEING S.18°53'09"W. BASIS OF COORDINATES IS NDC_7_1A WITH COORDINATES AS SHOWN. DISTANCES ARE HORIZONTAL GROUND DISTANCES IN FEET.
- ALL BEARINGS AND DISTANCES PER FIELD SURVEY. RECORD INFORMATION WHERE DIFFERENT FROM ACTUAL FIELD SURVEY IS SHOWN IN PARENTHESIS ().
- BENCHMARK FOR THIS PLAT IS CONTROL POINT NDC_7_1A LOCATED APPROXIMATELY 138' TO THE NORTHWEST OF THE NORTHWEST CORNER OF TRACT 3B-2.
- ALL PROPERTY CORNERS ARE SET WITH A 5/8" X 24" REBAR WITH RED OR YELLOW PLASTIC CAP STAMPED LS 9243 SET FLUSH WITH THE GROUND, UNLESS OTHERWISE NOTED.
- OWNER COVENANTS AND AGREES TO PROVIDE THE REQUIRED AMOUNT OF PARKING FOR THE PROPOSED USE ON EACH TRACT SUBDIVIDED AT THE TIME OF BUILDING PERMIT APPLICATION. THIS COVENANT SHALL BE DEEMED A CONDITION TO THIS SUBDIVISION PLAT APPROVAL.

EASEMENTS

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- PUBLIC SERVICE COMPANY OF NEW MEXICO ("PNM"), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.
- NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.
- QWEST FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.
- CABLE TV FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANITOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMER/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE (5) FEET ON EACH SIDE.

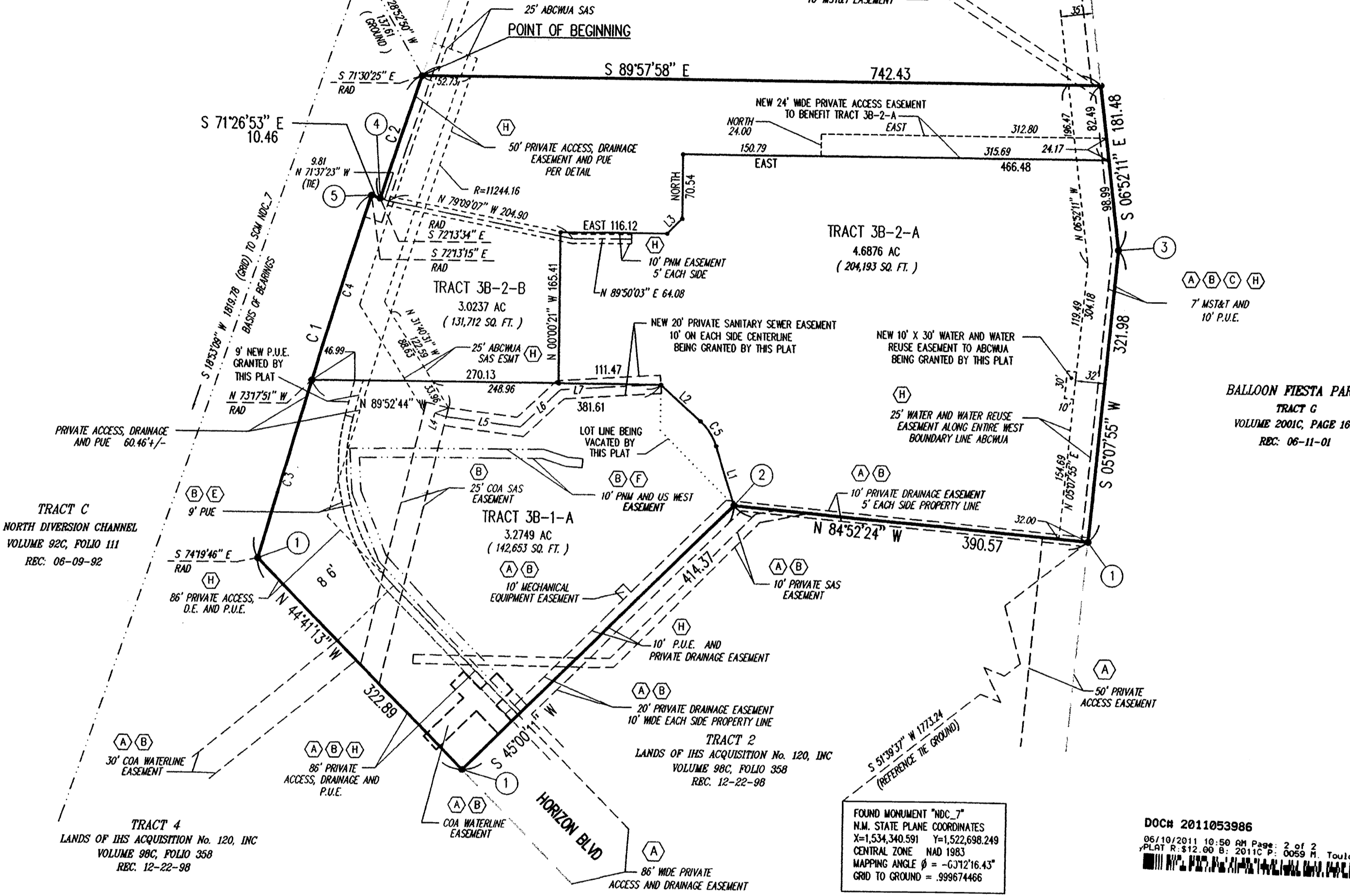
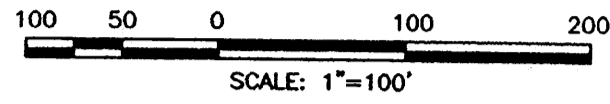
DISCLAIMER

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM) AND NEW MEXICO GAS COMPANY (NMGC) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM AND NMGC DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER RECORDED DOCUMENT AND WHICH ARE NOT SHOWN OR NOTED ON THIS PLAT.

TRACTS 3B-1A, 3B-2A AND 3B-2B
LAND OF IHS ACQUISITION NO. 120, INC.
 A REPLAT OF TRACTS 3B-1 AND 3B-2
 WITHIN PROJECTED SECTIONS 11 AND 14,
 T. 11 N., R. 3 E., N. M. P. M.
 CITY OF ALBUQUERQUE
 ELENA GALLEGOS LAND GRANT
 BERNALILLO COUNTY, NEW MEXICO
 MAY, 2011

LAND OF IHS ACQUISITION NO. 120, INC.
 TRACT 3B-3
 VOLUME 2010C, PAGE 0046 M
 REC. 04-15-10

FOUND MONUMENT "NDC_7_1A"
 N.M. STATE PLANE COORDINATES
 X=1,534,929.428 Y=1,524,419.502
 CENTRAL ZONE NAD 1983
 MAPPING ANGLE $\theta = -0012'12.47"$
 GROUND TO GRID = .999674775



EASEMENTS OF RECORD (SEE PLAT)

- (A) EASEMENTS PER RECORDED PLAT, RECORDED ON 12-22-98 IN BOOK 98C, FOLIO 358 RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
- (B) EASEMENTS PER RECORDED PLAT, RECORDED ON 12-06-99 IN BOOK 99C, FOLIO 326 RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
- (C) EASEMENT GRANTED TO MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY, A COLORADO CORPORATION, RECORDED ON 06-20-83 IN BOOK MISC. 24-A, PAGES 237-239, DOC. NO. 83-40062, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
- (D) A WATERLINE EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE, NEW MEXICO RECORDED IN BOOK 92-28, PAGES 3168-3170, DOC. NO. 92119336, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
- (E) A PERMANENT EASEMENT RECORDED ON DECEMBER 2, 1996 IN BOOK 96-31, PAGES 8823-8825, AS DOC. NO. 96129436, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
- (F) AN UNDERGROUND EASEMENT RECORDED ON JUNE 27, 1997 IN BOOK 97-17, PAGES 4176-4178, AS DOC. NO. 97065184, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
- (G) PROPERTY SUBJECT TO ACCESS AND DRAINAGE EASEMENT PER RECIPROCAL EASEMENT OF OPERATING AGREEMENT RECORDED IN BOOK 9820, PAGE 7260, AS DOC. NO. 1998169125, RECORDS OF BERNALILLO COUNTY, NEW MEXICO. NOT ABLE TO PLOT ON MAP.
- (H) EASEMENTS PER RECORDED PLAT, RECORDED ON 04-15-10 IN BOOK 2010C, FOLIO 0046 M RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
- (I) THERE IS A CROSS-LOT DRAINAGE EASEMENT BENEFITING ALL TRACTS AND MAINTAINED BY EACH UNDERLYING PROPERTY OWNER BY PLAT REFERENCED IN ITEM H ABOVE.

CURVE TABLE

NO	DELTA	RADIUS	ARC LENGTH	TANGENT	CHORD	CHORD BEARING
C1	02°06'31"	11304.16	416.02	208.03	415.99	N 16°43'30" E
C2	00°43'09"	11294.16	141.80	70.90	141.80	N 18°08'01" E
C3	01°01'55"	11304.16	203.58	101.79	203.58	N 16°11'11" E
C4	01°04'36"	11304.16	212.43	106.22	212.43	N 17°14'27" E
C5	31°06'19"	60.00	32.57	16.70	32.17	N 32°53'01" W

LINE TABLE

NO	DIRECTION	DISTANCE
L1	N 17°19'51" W	68.47
L2	N 48°26'10" W	58.62
L3	N 45°00'00" E	23.47
L4	N 13°19'29" E	10.06
L5	N 82°56'26" W	81.46
L6	N 46°20'56" E	59.64
L7	N 86°04'49" E	109.70

FOUND MONUMENT "NDC_7"
 N.M. STATE PLANE COORDINATES
 X=1,534,340.591 Y=1,522,698.249
 CENTRAL ZONE NAD 1983
 MAPPING ANGLE $\theta = -0312'16.43"$
 GRID TO GROUND = .999674466

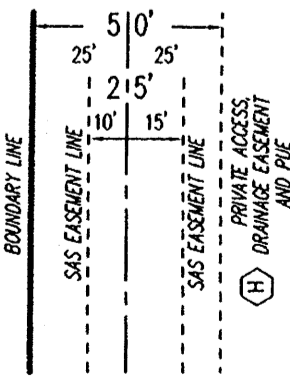
DOC# 2011053986
 06/10/2011 10:50 AM Page: 2 of 2
 PLAT R: \$12.00 B: 201105 P: 0059 H: Toulous Olivero, Bernalillo Cour

BOUNDARY EVIDENCE: UNLESS OTHERWISE INDICATED

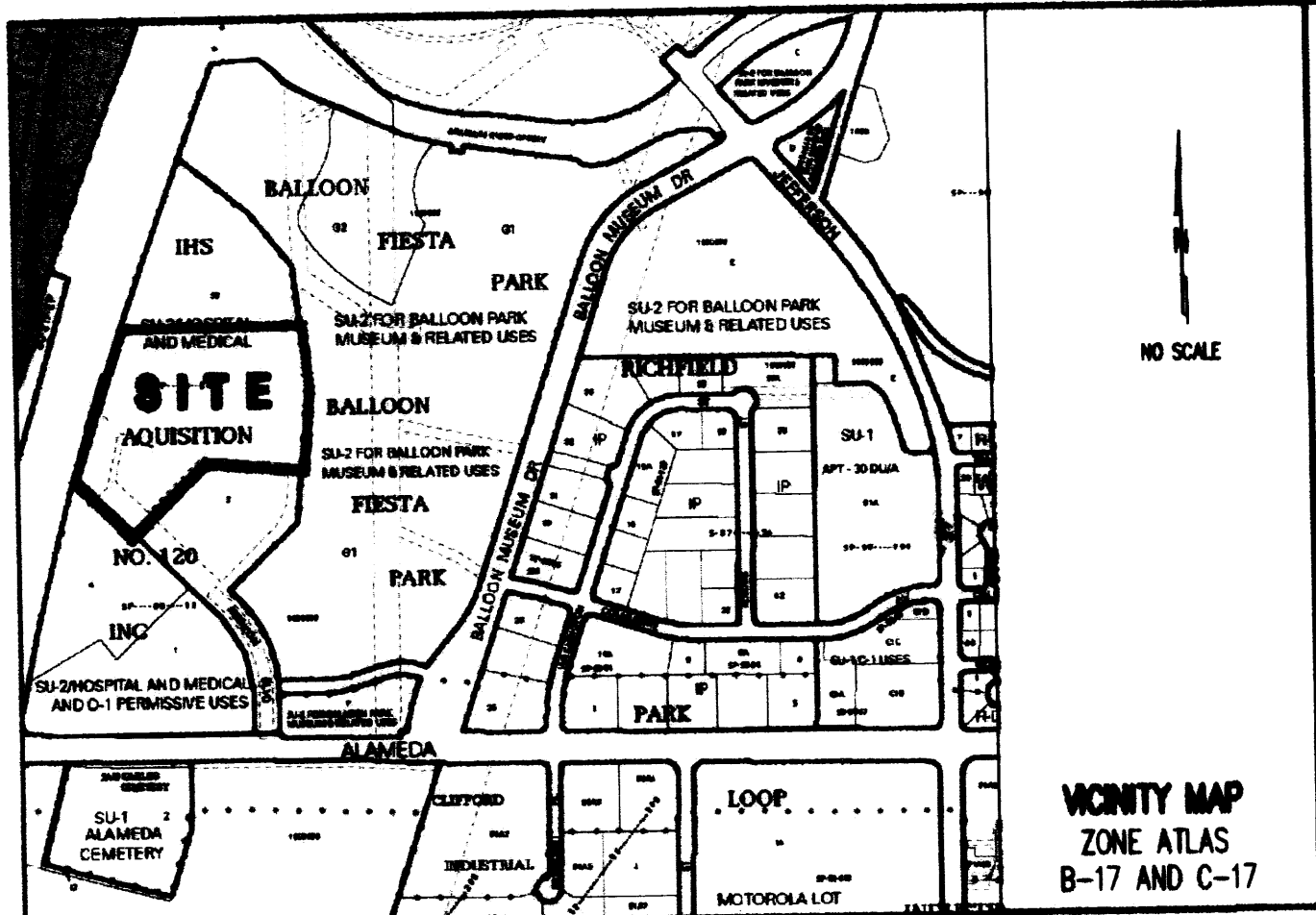
- ALL BOUNDARY CORNERS ARE SET WITH A NO. 5 REBAR WITH PLASTIC CAP STAMPED LS 9243
- (1) FOUND NO. 5 REBAR W/ PLASTIC CAP STAMPED PS 10466
 - (2) FOUND 40D NAIL W/ BRASS WASHER STAMPED PS 11463 IN TREE BASE
 - (3) FOUND NO. 5 REBAR W/ PLASTIC CAP STAMPED WEAVER
 - (4) FOUND AMAFCA NDC R/W MONUMENT
 - (5) FOUND PK W/ WASHER STAMPED PS 10466
- ATTACHED A BRASS TAG STAMPED LS 9243 WITH TIE WIRE TO ACCEPTED POINTS IN ITEMS ABOVE

ABBREVIATIONS

- ABCWUA - ALBUQUERQUE BERNALILLO WATER UTILITY AUTHORITY
- COA - CITY OF ALBUQUERQUE
- MST&T - MOUNTAIN STATES TELEPHONE AND TELEGRAPH
- PNM - PUBLIC SERVICE COMPANY OF NEW MEXICO
- PUE - PUBLIC UTILITY EASEMENT
- SAS - SANITARY SEWER



EASEMENT DETAIL
 NO SCALE



DESCRIPTION

A PARCEL OF LAND BEING ALL OF TRACTS 3B-1 AND 3B-2, LAND OF IHS ACQUISITION NO. 120, INC., WITHIN PROJECTED SECTIONS 11 AND 14, T. 11 N., R. 3 E., N.M.P.M. RECORDED ON APRIL 15, 2010 IN BOOK 2010C, FOLIO 0046 M, DOC. NO. 2010031804, WITHIN THE ELENA GALLEGOS GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF SAID TRACT 3B-2, FROM WHICH THE BRASS CAP MONUMENT NDC_7_1A BEARS N 28°52'50" W 137.61 FEET, THENCE S 89°57'58" E 742.43 FEET ON THE NORTH BOUNDARY LINE OF SAID TRACT; THENCE S 06°52'11" E 181.48 FEET ON THE EAST BOUNDARY LINE OF SAID TRACT; THENCE S 05°07'55" W 321.98 FEET ON THE EAST BOUNDARY LINE OF SAID TRACT; THENCE N 84°52'24" W 390.57 FEET ON THE SOUTHEAST BOUNDARY LINE OF SAID TRACT; THENCE S 45°00'11" W 414.37 FEET ON THE SOUTHEAST BOUNDARY LINE OF SAID TRACT; THENCE N 44°41'13" W 322.89 FEET ON THE SOUTHWEST BOUNDARY LINE OF SAID TRACT TO A POINT ON A NON-TANGENT CURVE FROM WHICH A RADIAL LINE BEARS S 74°19'46" E; THENCE 416.02 FEET TO THE NORTHEAST ON THE WEST BOUNDARY LINE OF SAID TRACT ON THE ARC OF SAID NON-TANGENT CURVE TO RIGHT HAVING A CENTRAL ANGLE OF 2°06'31", A RADIUS OF 11,304.16 FEET AND A CHORD OF 415.99 FEET, A RADIAL LINE AT THE END OF SAID CURVE BEARS S 72°13'15" E; THENCE S 71°26'53" E 10.46 FEET ON THE WEST BOUNDARY LINE OF SAID TRACT TO A POINT ON A NON-TANGENT CURVE FROM WHICH A RADIAL LINE BEARS S 72°13'34" E; THENCE 141.80 FEET TO THE NORTHEAST ON THE WEST BOUNDARY LINE OF SAID TRACT ON THE ARC OF SAID NON-TANGENT CURVE TO RIGHT HAVING A CENTRAL ANGLE OF 0°43'09", A RADIUS OF 11,294.16 FEET AND A CHORD OF 141.80 FEET, A RADIAL LINE AT THE END OF SAID CURVE BEARS S 71°30'09" E, TO THE POINT OF BEGINNING.

PARCEL CONTAINS 10.9853 ACRES, MORE OR LESS AND (3) TRACTS.

**TRACTS 3B-1-A, 3B-2-A AND 3B-2-B
LAND OF IHS ACQUISITION NO. 120, INC.
A REPLAT OF TRACTS 3B-1 AND 3B-2
WITHIN PROJECTED SECTIONS 11 AND 14,
T. 11 N., R. 3 E., N. M. P. M.
CITY OF ALBUQUERQUE
ELENA GALLEGOS LAND GRANT
BERNALILLO COUNTY, NEW MEXICO
MAY, 2011**

PROJECT NO. _____

APPLICATION NO. _____

PLAT APPROVALS

UTILITY APPROVALS

PNM ELECTRIC SERVICES	_____	DATE	_____
PNM GAS SERVICES	_____	DATE	_____
QWEST TELECOMMUNICATIONS	_____	DATE	_____
COMCAST	_____	DATE	_____

PLAT DATA

DRB NO. _____ PLAT ACRES 10.9853
NO. OF TRACTS 3 TRACT ACRES 10.9853

ZONE DESIGNATION

TRACT 3B-1 AND 3B-2 SU-2

DISCLOSURE STATEMENT

1. THE PURPOSE OF THIS PLAT IS TO REPLAT TRACTS 3B-1 AND 3B-2 INTO (3) TRACTS DESIGNATED AS TRACTS 3B-1-A, 3B-2-A AND 3B-2-B. NEW EASEMENTS BEING GRANTED BY THIS PLAT ARE AS INDICATED.

NOTES

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- ALL BEARINGS AND DISTANCES PER FIELD SURVEY. RECORD INFORMATION WHERE DIFFERENT FROM ACTUAL FIELD SURVEY IS SHOWN IN PARENTHESIS ().
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EASEMENTS

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- PUBLIC SERVICE COMPANY OF NEW MEXICO ("PNM"), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.
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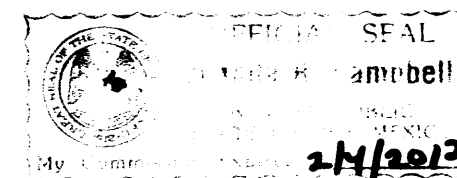
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DEDICATION AND FREE CONSENT

THE PROPERTY SHOWN HEREON IS REPLATTED WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF AND SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY GRANT TO THE CITY OF ALBUQUERQUE: ALL PUBLIC ACCESS AND PUBLIC UTILITY EASEMENTS SHOWN HEREON INCLUDING THE RIGHT TO CONSTRUCT, OPERATE, INSPECT, AND MAINTAIN FACILITIES THEREIN; AND ALL PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. THE OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY ACKNOWLEDGE SAID INSTRUMENT TO BE THEIR FREE ACT AND DEED. THOSE SIGNING WARRANT THAT THEY HOLD INDEFEASIBLE TITLE IN FEE SIMPLE TO PROPERTY BEING REPLATTED HEREON.

C&S EQUITIES, LLC
OWNER TRACT 3B-1
[Signature]
CSRDA, INC. MANAGING MEMBER
JEFF D. STUVE, MANAGER



(STATE OF New Mexico) SS
(COUNTY OF Bernalillo)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON May 6th, 2011 BY JEFF D. STUVE, MANAGER OF CSRDA, INC. MANAGING MEMBER OF C&S EQUITIES, LLC AND SIGNED ON BEHALF OF SAID COMPANY.

BY: *[Signature]*
NOTARY PUBLIC

MY COMMISSION EXPIRES: 2/1/2012

NOTE PER CITY OF ALBUQUERQUE DEVELOPMENT REVIEW BOARD

FUTURE OWNERS OF THE PROPERTY SUBDIVIDED BY THIS PLAT ARE HEREBY ADVISED THAT IT IS THE INTENT OF THE CITY OF ALBUQUERQUE TO REMOVE THE TRAFFIC SIGNALS AT HORIZON BOULEVARD AND ALAMEDA BOULEVARD NE. THIS ACTION, IF UNDERTAKEN BY THE CITY, WOULD RESULT IN CLOSURE OF THE MEDIAN CUT IN ALAMEDA BOULEVARD AND WOULD ELIMINATE LEFT TURN ACCESS FOR HORIZON BOULEVARD TO AND FROM ALAMEDA BOULEVARD. C&S EQUITIES, LLC HAS NOT CONQUIRED WITH THE REMOVAL OF THE SIGNALIZATION AND ELIMINATION OF LEFT TURN ACCESS.

[Signature] DATE 5/6/2011
CSRDA, INC. MANAGING MEMBER
JEFF D. STUVE, MANAGER

TREASURER'S CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC #:

UPC # 101706404148320223 (TRACT 3B-1)
UPC # 101706407051320222 (TRACT 3B-2)

BERNALILLO COUNTY TREASURERS OFFICE:

BY: _____ DATE: _____

SOLAR NOTE

NO PROPERTY WITHIN THE AREA OF THIS PLAT SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERRECTED ON THE TRACTS WITHIN THE AREA OF THIS PLAT. THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT OR SITE DEVELOPMENT PLAN FOR THIS PLAT.

CITY APPROVALS

<i>[Signature]</i> CITY SURVEYOR	_____	DATE	<u>5/6/11</u>
REAL PROPERTY DIVISION	_____	DATE	_____
ENVIRONMENTAL HEALTH DEPARTMENT	_____	DATE	_____
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	_____	DATE	_____
WATER UTILITY DEVELOPMENT	_____	DATE	_____
DEPARTMENT OF MUNICIPAL DEVELOPMENT	_____	DATE	_____
AMAFCA	_____	DATE	_____
CITY ENGINEER	_____	DATE	_____
DRB CHAIRPERSON, PLANNING DEPARTMENT	_____	DATE	_____

SURVEYOR'S CERTIFICATION

I, DAN B. HOLMES, NEW MEXICO REGISTERED PROFESSIONAL LAND SURVEYOR NO. 9243, DO HEREBY CERTIFY THAT THE PLAT SHOWN HEREON WAS PREPARED UNDER MY DIRECT SUPERVISION, SHOWS ALL EASEMENTS MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, UTILITY COMPANIES AND OTHER PARTIES EXPRESSING AN INTEREST. THIS PLAT MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND THE "MINIMUM STANDARDS FOR LAND SURVEYS" AS ESTABLISHED BY THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

[Signature]
DAN B. HOLMES, P.S. NO. 9243

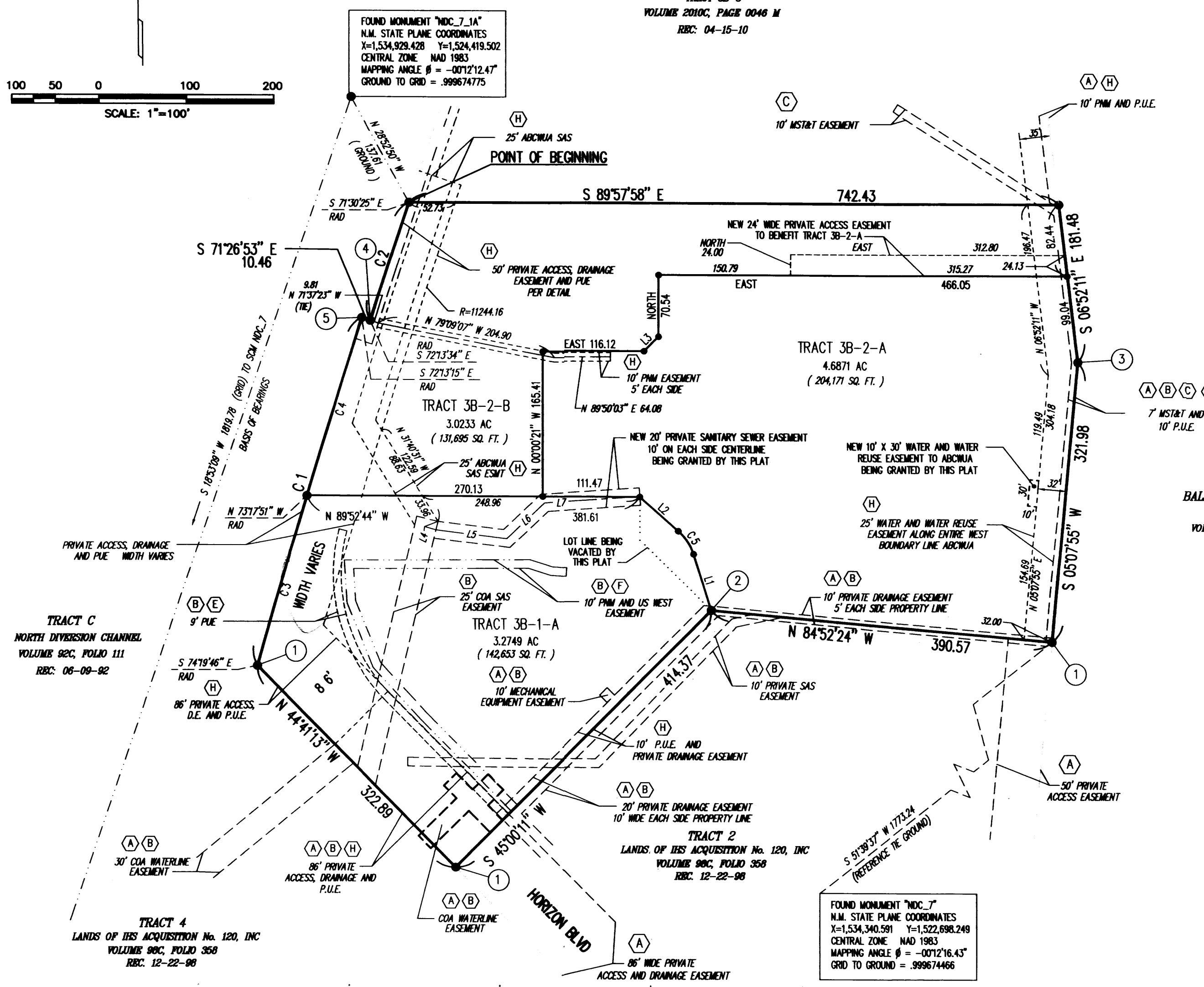
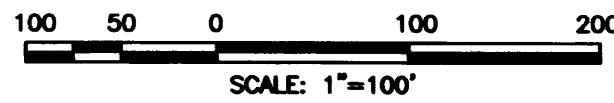
MAY 04, 2011
DATE



HUITT-ZOLLARS
333 RIO RANCHO DR. N.E., STE. 101
RIO RANCHO, N.M., 87124
(505) 892-5141

TRACTS 3B-1A, 3B-2A AND 3B-2B
LAND OF IHS ACQUISITION NO. 120, INC.
 A REPLAT OF TRACTS 3B-1 AND 3B-2
 WITHIN PROJECTED SECTIONS 11 AND 14,
 T. 11 N., R. 3 E., N. M. P. M.
 CITY OF ALBUQUERQUE
 ELENA GALLEGOS LAND GRANT
 BERNALILLO COUNTY, NEW MEXICO
 MAY, 2011

LAND OF IHS ACQUISITION NO. 120, INC.
 TRACT 3B-3
 VOLUME 2010C, PAGE 0046 M
 RBC: 04-15-10



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- (B) EASEMENTS PER RECORDED PLAT, RECORDED ON 12-06-99 IN BOOK 99C, FOLIO 326 RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
- (C) EASEMENT GRANTED TO MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY, A COLORADO CORPORATION, RECORDED ON 06-20-83 IN BOOK MISC. 24-A, PAGES 237-239, DOC. NO. 83-40062, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
- (D) A WATERLINE EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE, NEW MEXICO RECORDED IN BOOK 92-28, PAGES 3168-3170, DOC. NO. 92119336, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
- (E) A PERMANENT EASEMENT RECORDED ON DECEMBER 2, 1996 IN BOOK 96-31, PAGES 8823-8825, AS DOC. NO. 96129436, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
- (F) AN UNDERGROUND EASEMENT RECORDED ON JUNE 27, 1997 IN BOOK 97-17, PAGES 4176-4178, AS DOC. NO. 97065184, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
- (G) PROPERTY SUBJECT TO ACCESS AND DRAINAGE EASEMENT PER RECIPROCAL EASEMENT OF OPERATING AGREEMENT RECORDED IN BOOK 9820, PAGE 7260, AS DOC. NO. 1998169125, RECORDS OF BERNALILLO COUNTY, NEW MEXICO. NOT ABLE TO PLOT ON MAP.
- (H) EASEMENTS PER RECORDED PLAT, RECORDED ON 04-15-10 IN BOOK 2010C, FOLIO 0046 M RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
- (I) THERE IS A CROSS-LOT DRAINAGE EASEMENT BENEFITING ALL TRACTS AND MAINTAINED BY EACH UNDERLYING PROPERTY OWNER BY PLAT REFERENCED IN ITEM H ABOVE.

CURVE TABLE

NO	DELTA	RADIUS	ARC LENGTH	TANGENT	CHORD	CHORD BEARING
C1	02°06'31"	11304.16	416.02	208.03	415.99	N 16°43'30" E
C2	00°43'09"	11294.16	141.80	70.90	141.80	N 18°08'01" E
C3	01°01'55"	11304.16	203.58	101.79	203.58	N 16°11'11" E
C4	01°04'36"	11304.16	212.43	106.22	212.43	N 17°14'27" E
C5	31°06'19"	60.00	32.57	16.70	32.17	N 32°53'01" W

LINE TABLE

NO	DIRECTION	DISTANCE
L1	N 17°19'51" W	68.47
L2	N 48°26'10" W	58.62
L3	N 45°00'00" E	23.47
L4	N 13°19'29" E	10.06
L5	N 82°56'26" W	81.46
L6	N 46°20'56" E	59.64
L7	N 86°04'49" E	109.70

BOUNDARY EVIDENCE: UNLESS OTHERWISE INDICATED

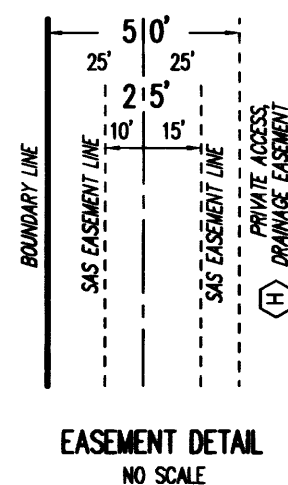
ALL BOUNDARY CORNERS ARE SET WITH A NO. 5 REBAR WITH PLASTIC CAP STAMPED LS 9243

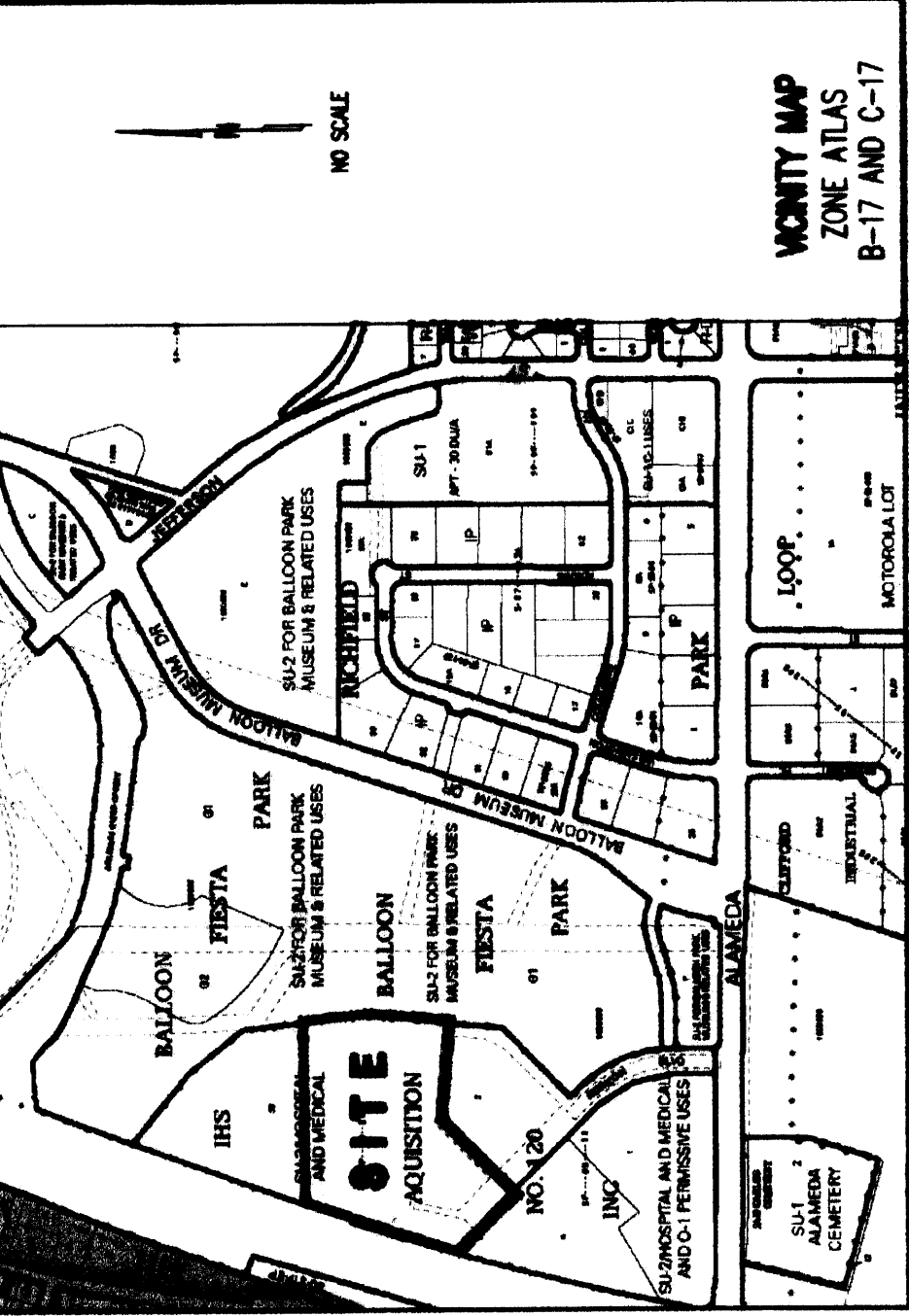
- (1) FOUND NO. 5 REBAR W/ PLASTIC CAP STAMPED PS 10466
- (2) FOUND 40D NAIL W/ BRASS WASHER STAMPED PS 11463 IN TREE BASE
- (3) FOUND NO. 5 REBAR W/ PLASTIC CAP STAMPED WEAVER
- (4) FOUND AMAFCA NDC R/W MONUMENT
- (5) FOUND PK W/ WASHER STAMPED PS 10466

ATTACHED A BRASS TAG STAMPED LS 9243 WITH TIE WIRE TO ACCEPTED POINTS IN ITEMS ABOVE

ABBREVIATIONS

- ABCWUA - ALBUQUERQUE BERNALILLO WATER UTILITY AUTHORITY
- COA - CITY OF ALBUQUERQUE
- MST&T - MOUNTAIN STATES TELEPHONE AND TELEGRAPH
- PNM - PUBLIC SERVICE COMPANY OF NEW MEXICO
- PUE - PUBLIC UTILITY EASEMENT
- SAS - SANITARY-SEWER





PLAT DATA

DRB NO.	10.9853
NO. OF TRACTS	3
PLAT ACRES	10.9853
TRACT ACRES	10.9853

ZONE DESIGNATION
TRACT 3B-1 AND 3B-2 SU-2

DISCLOSURE STATEMENT
1. THE PURPOSE OF THIS PLAT IS TO REPLAT TRACTS 3B-1 AND 3B-2 INTO (3) TRACTS DESIGNATED AS TRACTS 3B-1-A, 3B-2-A AND 3B-2-B. NEW EASEMENTS BEING GRANTED BY THIS PLAT ARE AS INDICATED.

- NOTES**
- ALL BEARINGS SHOWN HEREON ARE GRID BEARINGS BASED ON THE NEW MEXICO STATE PLANE COORDINATE SYSTEM NAD 1983. CENTRAL ZONE MAPPING ANGLE IS -0072'12.5". BASIS OF BEARINGS IS THE LINE BETWEEN SURVEY CONTROL MONUMENTS NDC.7.1A AND NDC.7 BEING S 18°37'09" W. BASIS OF COORDINATES IS NDC.7.1A WITH COORDINATES AS SHOWN. DISTANCES ARE HORIZONTAL GROUND DISTANCES IN FEET.
 - ALL BEARINGS AND DISTANCES PER FIELD SURVEY. RECORD INFORMATION WHERE DIFFERENT FROM ACTUAL FIELD SURVEY IS SHOWN IN PARENTHESES ().
 - BENCHMARK FOR THIS PLAT IS CONTROL POINT NDC.7.1A LOCATED APPROXIMATELY 138' TO THE NORTHWEST OF THE NORTHWEST CORNER OF TRACT 3B-2.
 - ALL PROPERTY CORNERS ARE SET WITH A 5/8" X 24" REBAR WITH RED OR YELLOW PLASTIC CAP STAMPED LS 9243 SET FLUSH WITH THE GROUND, UNLESS OTHERWISE NOTED.
 - OWNER COVENANTS AND AGREES TO PROVIDE THE REQUIRED AMOUNT OF PARKING FOR THE PROPOSED USE ON EACH TRACT SUBDIVIDED AT THE TIME OF BUILDING PERMIT APPLICATION. THIS COVENANT SHALL BE DEEMED A CONDITION TO THIS SUBDIVISION PLAT APPROVAL.

- EASEMENTS**
- PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:
- PUBLIC SERVICE COMPANY OF NEW MEXICO ("PSC"), A NEW MEXICO CORPORATION, (PSC ELECTRIC) FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.
 - NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.
 - QUEST FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.
 - CABLE TV FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES. INCLUDED IS THE RIGHT TO BUILD, REBUILD, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, REPLACE, MODIFY, REPAIR, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANTOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT.
- EASEMENTS FOR ELECTRIC TRANSFORMER/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE (5) FEET ON EACH SIDE.
- DISCLAIMER**
IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PSC) AND NEW MEXICO GAS COMPANY (NMGCO) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PSC AND NMGCO DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER RECORDED DOCUMENT AND WHICH ARE NOT SHOWN OR NOTED ON THIS PLAT.

**TRACTS 3B-1-A, 3B-2-A AND 3B-2-B
LAND OF IHS ACQUISITION NO. 120, INC.
A REPLAT OF TRACTS 3B-1 AND 3B-2
WITHIN PROJECTED SECTIONS 11 AND 14,
T. 11 N., R. 3 E., N. M. P. M.
CITY OF ALBUQUERQUE
ELENA GALLEGOS LAND GRANT
BERNALILLO COUNTY, NEW MEXICO
MAY, 2011**

PROJECT NO. _____
APPLICATION NO. _____
PLAT APPROVALS
UTILITY APPROVALS

PNM ELECTRIC SERVICES _____ DATE _____
PNM GAS SERVICES _____ DATE _____
QUEST TELECOMMUNICATIONS _____ DATE _____
COMCAST _____ DATE _____

CITY APPROVALS
CITY SURVEYOR _____ DATE 5/6/11
REAL PROPERTY DIVISION _____ DATE _____
ENVIRONMENTAL HEALTH DEPARTMENT _____ DATE _____
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION _____ DATE _____
WATER UTILITY DEVELOPMENT _____ DATE _____
DEPARTMENT OF MUNICIPAL DEVELOPMENT _____ DATE _____
AMAFA _____ DATE _____
CITY ENGINEER _____ DATE _____
DRB CHAIRPERSON, PLANNING DEPARTMENT _____ DATE _____

SURVEYOR'S CERTIFICATION
I, DAN B. HOLMES, NEW MEXICO REGISTERED PROFESSIONAL LAND SURVEYOR NO. 9243, DO HEREBY CERTIFY THAT THE PLAT SHOWN HEREON WAS PREPARED UNDER MY DIRECT SUPERVISION, SHOWS ALL EASEMENTS MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, UTILITY COMPANIES AND OTHER PARTIES EXPRESSING AN INTEREST. THIS PLAT MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND THE "MINIMUM STANDARDS FOR LAND SURVEYS" AS ESTABLISHED BY THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

DAN B. HOLMES, P.S. NO. 9243 _____ DATE MAY 04, 2011



HUETT-ZOLLARS
333 RIO RANCHO DR. N.E., STE. 101
RIO RANCHO, N.M., 87124
(505) 892-5141
SHEET 1 OF 2

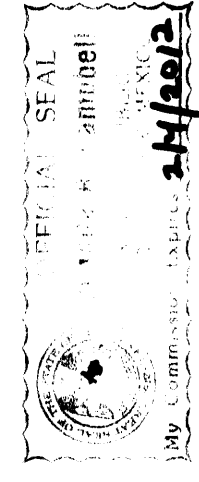
DESCRIPTION
A PARCEL OF LAND BEING ALL OF TRACTS 3B-1 AND 3B-2, LAND OF IHS ACQUISITION NO. 120, INC., WITHIN PROJECTED SECTIONS 11 AND 14, T. 11 N., R. 3 E., N.M.P.M., RECORDED ON APRIL 15, 2010 IN BOOK 2010C, FOLIO 0046 W, DOC. NO. 2010031804, WITHIN THE ELENA GALLEGOS GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF SAID TRACT 3B-2, FROM WHICH THE BRASS CAP MONUMENT NDC.7.1A BEARS N 28°52'50" W 137.61 FEET;
THENCE S 89°57'58" E 742.43 FEET ON THE NORTH BOUNDARY LINE OF SAID TRACT;
THENCE S 08°52'11" E 181.48 FEET ON THE EAST BOUNDARY LINE OF SAID TRACT;
THENCE S 08°07'58" W 321.98 FEET ON THE EAST BOUNDARY LINE OF SAID TRACT;
THENCE S 48°52'24" W 380.57 FEET ON THE SOUTHEAST BOUNDARY LINE OF SAID TRACT;
THENCE N 44°41'13" W 322.89 FEET ON THE SOUTHWEST BOUNDARY LINE OF SAID TRACT TO A POINT ON A NON-TANGENT CURVE FROM WHICH A RADIAL LINE BEARS S 74°19'46" E 574.92 FEET TO THE NORTHEAST ON THE WEST BOUNDARY LINE OF SAID TRACT ON THE ARC OF SAID NON-TANGENT CURVE TO RIGHT HAVING A CENTRAL ANGLE OF 206°31', A RADIUS OF 11,304.16 FEET AND A CHORD OF 415.99 FEET, A RADIAL LINE AT THE END OF SAID CURVE BEARS S 72°13'15" E;
THENCE S 71°28'53" E 10.48 FEET ON THE WEST BOUNDARY LINE OF SAID TRACT TO A POINT ON A NON-TANGENT CURVE FROM WHICH A RADIAL LINE BEARS S 72°13'34" E;
THENCE 141.60 FEET ON THE NORTHEAST ON THE WEST BOUNDARY LINE OF SAID TRACT ON THE ARC OF SAID NON-TANGENT CURVE TO RIGHT HAVING A CENTRAL ANGLE OF 00°43'09", A RADIUS OF 11,284.16 FEET AND A CHORD OF 141.80 FEET, A RADIAL LINE AT THE END OF SAID CURVE BEARS S 71°30'09" E, TO THE POINT OF BEGINNING.

PARCEL CONTAINS 10.9853 ACRES, MORE OR LESS AND (3) TRACTS.

DEDICATION AND FREE CONSENT
THE PROPERTY SHOWN HEREON IS REPLATED WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS(S) AND/OR PROPRIETOR(S) THEREOF AND SAID OWNERS(S) AND/OR PROPRIETOR(S) DO HEREBY GRANT TO THE CITY OF ALBUQUERQUE: ALL PUBLIC ACCESS AND PUBLIC UTILITY EASEMENTS SHOWN HEREON INCLUDING THE RIGHT TO CONSTRUCT, OPERATE, INSPECT, AND MAINTAIN FACILITIES THEREIN; AND ALL PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR BURIED DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. THE OWNERS(S) AND/OR PROPRIETOR(S) DO HEREBY ACKNOWLEDGE SAID INSTRUMENT TO BE THEIR FREE ACT AND DEED. THOSE SIGNING WARRANT THAT THEY HOLD INDEFEASIBLE TITLE IN FEE SIMPLE TO PROPERTY BEING REPLATED HEREON.

CAS EQUITIES, LLC
OWNER TRACT 3B-2
JEFF D. STUVE, MANAGER
STATE OF New Mexico } SS
(COUNTY OF BERNALILLO)
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON May 6th 2011
BY JEFF D. STUVE, MANAGER OF CAS EQUITIES, LLC AND SIGNED
ON BEHALF OF SAID COMPANY.



NOTE PER CITY OF ALBUQUERQUE DEVELOPMENT REVIEW BOARD
FUTURE OWNERS OF THE PROPERTY SUBDIVIDED BY THIS PLAT ARE HEREBY ADVISED THAT IT IS THE INTENT OF THE CITY OF ALBUQUERQUE TO REMOVE THE TRAFFIC SIGNALS AT HORIZON BOULEVARD AND ALAMEDA BOULEVARD NE. THIS ACTION, IF UNDERTAKEN BY THE CITY, WOULD RESULT IN CLOSURE OF THE MEDIAN CUTS ALAMEDA BOULEVARD AND WOULD ELIMINATE LEFT TURN ACCESS FOR HORIZON BOULEVARD TO FROM ALAMEDA BOULEVARD. CAS EQUITIES, LLC HAS NOT COMPLETED WITH THE REMOVAL OF SIGNALS AND THE ESTABLISHMENT OF LEFT TURN ACCESS.

TREASURER'S CERTIFICATION
THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC #
UPC # 101708404148320223 (TRACT 3B-1)
UPC # 101708407051320222 (TRACT 3B-2)
BERNALILLO COUNTY TREASURERS OFFICE:
BY: _____ DATE: _____

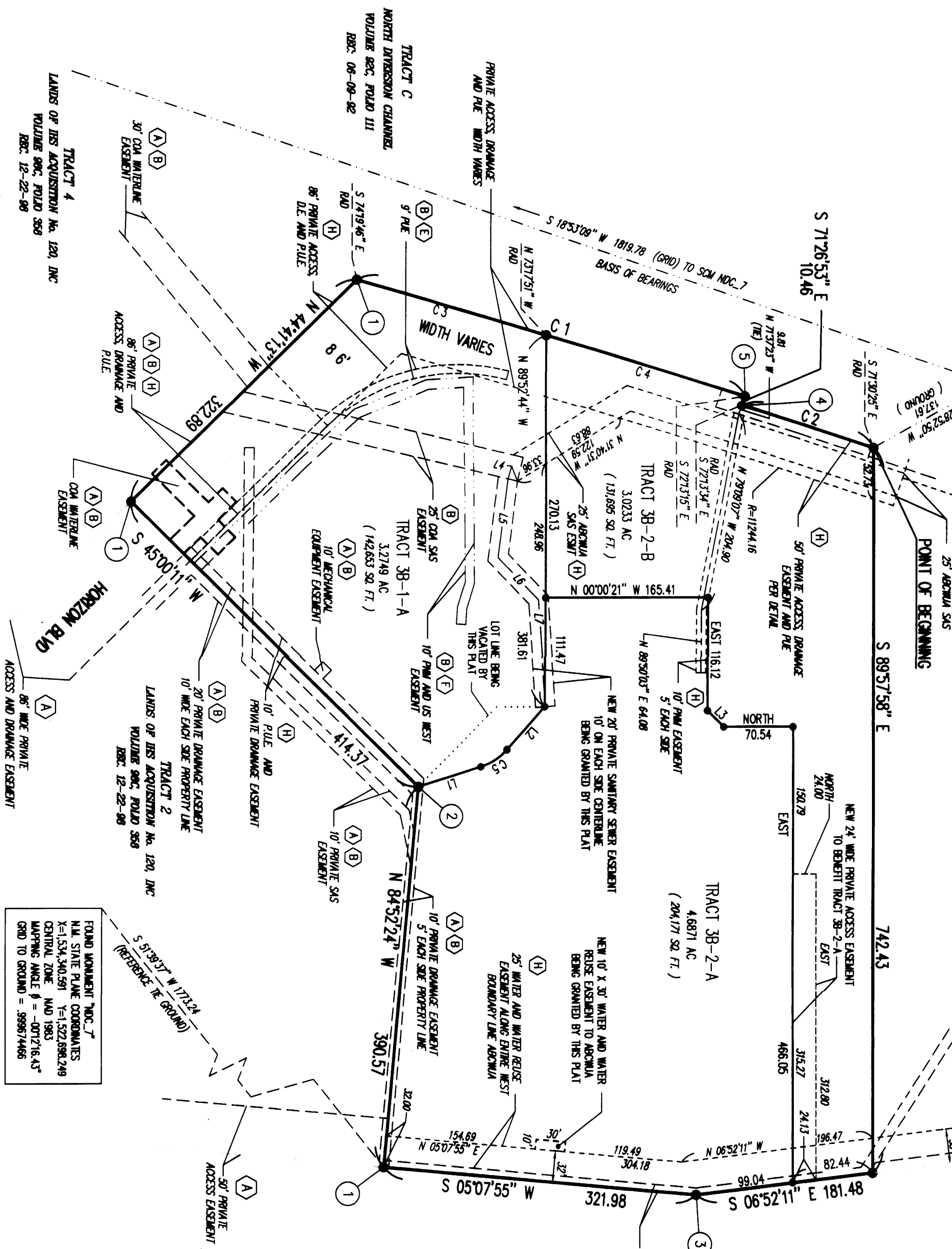
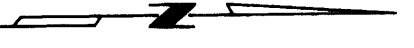
SOLAR NOTE
NO PROPERTY WITHIN THE AREA OF THIS PLAT SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERRECTED ON THE TRACTS WITHIN THE AREA OF THIS PLAT. THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT OR SITE DEVELOPMENT PLAN FOR THIS PLAT.

TRACTS 3B-1A, 3B-2A AND 3B-2B
LAND OF IHS ACQUISITION NO. 120, INC.

A REPLAT OF TRACTS 3B-1 AND 3B-2
 WITHIN PROJECTED SECTIONS 11 AND 14,
 T. 11 N., R. 3 E., N. M. P. M.
 CITY OF ALBUQUERQUE
 ELENA GALLEGOS LAND GRANT
 BERNALILLO COUNTY, NEW MEXICO
 MAY, 2011

LAND OF IHS ACQUISITION NO. 120, INC.
 TRACT 3B-3
 VOLUME 2800C, PAGE 0046 M
 REC. 04-15-10

FOUND MONUMENT "MOC. 7.1"
 N.M. STATE PLANE COORDINATES
 X=1534,928.428 Y=1524,419.502
 CENTRAL ZONE NAD 1983
 MAPPING ANGLE $\theta = -00712'17"$
 GRID TO GROUND = 998674/75



FOUND MONUMENT "MOC. 7"
 N.M. STATE PLANE COORDINATES
 X=1534,940.991 Y=1522,898.249
 CENTRAL ZONE NAD 1983
 MAPPING ANGLE $\theta = -00712'16.43"$
 GRID TO GROUND = 998674/66

BOUNDARY EVIDENCE, UNLESS OTHERWISE INDICATED

ALL BOUNDARY CORNERS ARE SET WITH A NO. 5 REBAR WITH PLASTIC CAP
 STAMPED LS 9243

- ① FOUND NO. 5 REBAR W/ PLASTIC CAP STAMPED PS 10466
 - ② FOUND 400 NAIL W/ BRASS WASHER STAMPED PS 11463 IN TREE BASE
 - ③ FOUND NO. 5 REBAR W/ PLASTIC CAP STAMPED WEAVER
 - ④ FOUND ANAFCA NDC R/W MONUMENT
 - ⑤ FOUND PK W/ WASHER STAMPED PS 10466
- ATTACHED A BRASS TAG STAMPED LS 9243 WITH THE WIRE TO ACCEPTED POINTS
 IN ITEMS ABOVE

EASEMENTS OF RECORD (SEE PLAT)

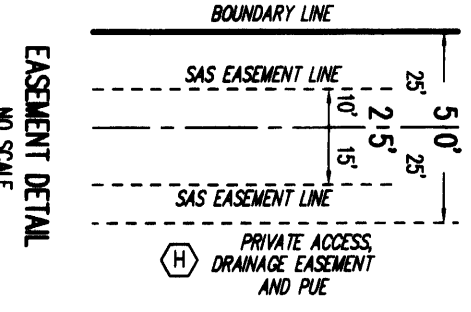
- A EASEMENTS PER RECORDED PLAT, RECORDED ON 12-22-98 IN BOOK 98C, FOLIO 358 RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
 - B EASEMENTS PER RECORDED PLAT, RECORDED ON 12-06-99 IN BOOK 99C, FOLIO 326 RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
 - C EASEMENT GRANTED TO MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY, A COLORADO CORPORATION, RECORDED ON 06-20-83 IN BOOK MISC. 24-A, PAGES 237-239, DOC. NO. 83-40062, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
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 - F AN UNDERGROUND EASEMENT RECORDED ON JUNE 27, 1997 IN BOOK 97-17, PAGES 4178-4178, AS DOC. NO. 97065184, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
 - G PROPERTY SUBJECT TO ACCESS AND DRAINAGE EASEMENT PER RECIPROCAL EASEMENT OF OPERATING AGREEMENT RECORDED IN BOOK 9820, PAGE 7260, AS DOC. NO. 1998169125, RECORDS OF BERNALILLO COUNTY, NEW MEXICO. NOT ABLE TO PLOT ON MAP.
 - H EASEMENTS PER RECORDED PLAT, RECORDED ON 04-15-10 IN BOOK 2010C, FOLIO 0046 M RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
- THERE IS A CROSS-LOT DRAINAGE EASEMENT BENEFITING ALL TRACTS AND MAINTAINED BY EACH UNDERLYING PROPERTY OWNER BY PLAT REFERENCED IN ITEM H ABOVE.

CURVE TABLE

NO	DELTA	RADIUS	ARC LENGTH	TANGENT CHORD	CHORD BEARING
C1	02°06'31"	11304.16	416.02	208.03	N 16°43'30" E
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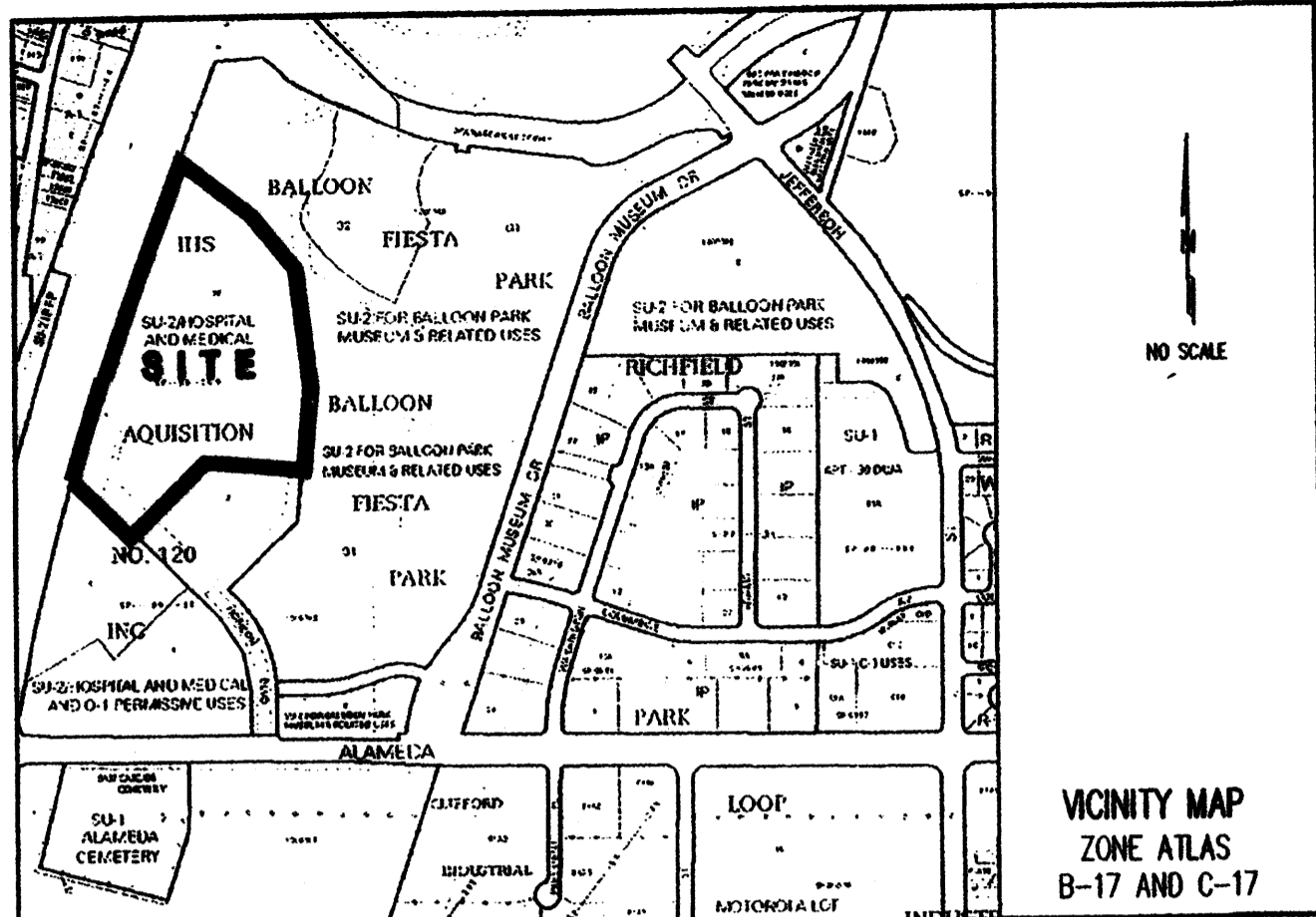
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NO	DIRECTION	DISTANCE
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L3	N 45°00'00" E	23.47
L4	N 13°19'29" E	10.06
L5	N 82°56'26" W	81.46
L6	N 46°20'56" E	59.64
L7	N 86°04'49" E	109.70



ABBREVIATIONS

- ABQWMA - ALBUQUERQUE BERNALILLO WATER UTILITY AUTHORITY
- COA - CITY OF ALBUQUERQUE
- MSTAT - MOUNTAIN STATES TELEPHONE AND TELEGRAPH
- PNM - PUBLIC SERVICE COMPANY OF NEW MEXICO
- PUE - PUBLIC UTILITY EASEMENT
- SAS - SANITARY SEWER



PLAT DATA

DRB NO.	08DRB-70421	PLAT ACRES	18.7466
NO. OF TRACTS	3	TRACT ACRES	18.7466

ZONE DESIGNATION
TRACT 3B SU-2

DISCLOSURE STATEMENT
1. THE PURPOSE OF THIS PLAT IS TO DIVIDE TRACT 3B INTO (3) TRACTS DESIGNATED AS TRACTS 3B-1, 3B-2 AND 3B-3. EASEMENTS AS SHOWN ARE RECORD. NEW EASEMENTS BEING GRANTED BY THIS PLAT ARE AS INDICATED.

- NOTES**
- ALL BEARINGS SHOWN HEREON ARE GRID BEARINGS BASED ON THE NEW MEXICO STATE PLANE COORDINATE SYSTEM 1983, CENTRAL ZONE, MAPPING ANGLE IS -007'12.5". BASIS OF BEARINGS IS THE LINE BETWEEN SURVEY CONTROL MONUMENTS NDC_7_1A AND NDC_7 BEING S.18°53'09"W. BASIS OF COORDINATES IS NDC_7_1A WITH COORDINATES AS SHOWN. DISTANCES ARE HORIZONTAL GROUND DISTANCES IN FEET.
 - ALL BEARINGS AND DISTANCES PER FIELD SURVEY. RECORD INFORMATION WHERE DIFFERENT FROM ACTUAL FIELD SURVEY IS SHOWN IN PARENTHESIS ().
 - BENCHMARK FOR THIS PLAT IS CONTROL POINT NDC_7_1A LOCATED APPROXIMATELY 687' TO THE SOUTHWEST OF THE NORTHERN MOST CORNER OF TRACT 3B.
 - ALL PROPERTY CORNERS ARE SET WITH A 5/8" X 24" REBAR WITH RED OR YELLOW PLASTIC CAP STAMPED LS 9243 SET FLUSH WITH THE GROUND, UNLESS OTHERWISE NOTED.
 - CITY OF ALBUQUERQUE WATER AND SEWER SERVICE TO THESE TRACTS MUST BE VERIFIED AND COORDINATED WITH THE PUBLIC WORKS DEPARTMENT, CITY OF ALBUQUERQUE.
 - S.P. TALOS LOG NO. 2008362721

- EASEMENTS**
- PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:
- PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.
 - NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.
 - QWEST FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.
 - CABLE TV FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.
- INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERCTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT.
- EASEMENTS FOR ELECTRIC TRANSFORMER/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE (5) FEET ON EACH SIDE.

DISCLAIMER
IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM) AND NEW MEXICO GAS COMPANY (NMGCO) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM AND NMGCO DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER RECORDED DOCUMENT AND WHICH ARE NOT SHOWN OR NOTED ON THIS PLAT.

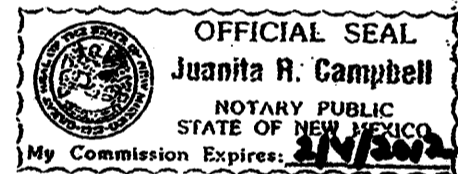
DESCRIPTION
A PARCEL OF LAND BEING ALL OF TRACT 3B OF THE PLAT FOR TRACTS 3A AND 3B LAND OF IHS ACQUISITION NO. 120, INC., WITHIN PROJECTED SECTIONS 11 AND 14, T. 11 N., R. 3 E., N.M.P.M., RECORDED ON DECEMBER 6, 1999 IN BOOK 99C, FOLIO 326, DOC. NO. 1999150020, WITHIN THE ELENA GALLEGOS GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHERN MOST CORNER OF SAID TRACT 3B, FROM WHICH THE BRASS CAP MONUMENT NDC_7_1A BEARS S 28°29'00" W 686.57 FEET,
 THENCE S 51°26'53" E 351.96 FEET ON THE NORTHEAST BOUNDARY LINE OF SAID TRACT;
 THENCE S 38°25'06" E 275.84 FEET ON THE NORTHEAST BOUNDARY LINE OF SAID TRACT;
 THENCE S 08°52'11" E 472.50 FEET ON THE EAST BOUNDARY LINE OF SAID TRACT;
 THENCE S 05°07'55" W 321.98 FEET ON THE EAST BOUNDARY LINE OF SAID TRACT;
 THENCE N 84°52'24" W 390.57 FEET ON THE SOUTHEAST BOUNDARY LINE OF SAID TRACT;
 THENCE S 45°00'11" W 414.37 FEET ON THE SOUTHEAST BOUNDARY LINE OF SAID TRACT;
 THENCE N 44°41'13" W 322.89 FEET ON THE SOUTHWEST BOUNDARY LINE OF SAID TRACT TO A POINT ON A NON-TANGENT CURVE FROM WHICH A RADIAL LINE BEARS S 74°19'46" E;
 THENCE 416.02 FEET TO THE NORTHEAST ON THE WEST BOUNDARY LINE OF SAID TRACT ON THE ARC OF SAID NON-TANGENT CURVE TO RIGHT HAVING A CENTRAL ANGLE OF 2°06'31", A RADIUS OF 11,304.16 FEET AND A CHORD OF 415.99 FEET, A RADIAL LINE AT THE END OF SAID CURVE BEARS S 72°13'15" E;
 THENCE S 71°26'53" E 10.46 FEET ON THE WEST BOUNDARY LINE OF SAID TRACT TO A POINT ON A NON-TANGENT CURVE FROM WHICH A RADIAL LINE BEARS S 72°13'34" E;
 THENCE 467.61 FEET TO THE NORTHEAST ON THE WEST BOUNDARY LINE OF SAID TRACT ON THE ARC OF SAID NON-TANGENT CURVE TO RIGHT HAVING A CENTRAL ANGLE OF 2°22'20", A RADIUS OF 11,294.16 FEET AND A CHORD OF 467.60 FEET, A RADIAL LINE AT THE END OF SAID CURVE BEARS S 69°51'14" E;
 THENCE N 20°11'32" E 443.76 FEET ON THE EAST BOUNDARY LINE OF SAID TRACT TO THE POINT OF BEGINNING.

PARCEL CONTAINS 18.7466 ACRES, MORE OR LESS AND (3) TRACTS.

DEDICATION AND FREE CONSENT
THE PROPERTY SHOWN HEREON IS REPLATTED WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF AND SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY GRANT TO THE CITY OF ALBUQUERQUE: ALL PUBLIC ACCESS AND PUBLIC UTILITY EASEMENTS SHOWN HEREON INCLUDING THE RIGHT TO CONSTRUCT, OPERATE, INSPECT, AND MAINTAIN FACILITIES THEREIN; AND ALL PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. THE OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY ACKNOWLEDGE SAID INSTRUMENT TO BE THEIR FREE ACT AND DEED. THOSE SIGNING WARRANT THAT THEY HOLD INDEFEASIBLE TITLE IN FEE SIMPLE TO PROPERTY BEING REPLATTED HEREON.

C&S EQUITIES, LLC
OWNER TRACT 3B
Jeff D. Stuve
CSRDA, INC. MANAGING MEMBER
JEFF D. STUVE, MANAGER



(STATE OF New Mexico) SS
(COUNTY OF Bernalillo)
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON March 2, 2010
BY JEFF D. STUVE, MANAGER OF CSRDA, INC. MANAGING MEMBER OF C&S EQUITIES, LLC AND SIGNED ON BEHALF OF SAID COMPANY.

BY: Juanita R. Campbell
NOTARY PUBLIC
MY COMMISSION EXPIRES: 2/14/2012

NOTE PER CITY OF ALBUQUERQUE DEVELOPMENT REVIEW BOARD
FUTURE OWNERS OF THE PROPERTY SUBDIVIDED BY THIS PLAT ARE HEREBY ADVISED THAT IT IS THE INTENT OF THE CITY OF ALBUQUERQUE TO REMOVE THE TRAFFIC SIGNALS AT HORIZON BOULEVARD AND ALAMEDA BOULEVARD NE. THIS ACTION, IF UNDERTAKEN BY THE CITY, WOULD RESULT IN CLOSURE OF THE MEDIUM CUT IN ALAMEDA BOULEVARD AND WOULD ELIMINATE LEFT TURN ACCESS FOR HORIZON BOULEVARD TO OR FROM ALAMEDA BOULEVARD. C&S EQUITIES, LLC HAS NOT CONCURRED WITH THE REMOVAL OF THE SIGNALIZATION AND ELIMINATION OF LEFT TURN ACCESS.
Jeff D. Stuve
CSRDA, INC. MANAGING MEMBER
JEFF D. STUVE, MANAGER
DATE: 3/2/2010

TREASURER'S CERTIFICATION
THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC #:
UPC # 101706507804330707
BERNALILLO COUNTY TREASURER
BY: M. D. DATE: 04-15-10

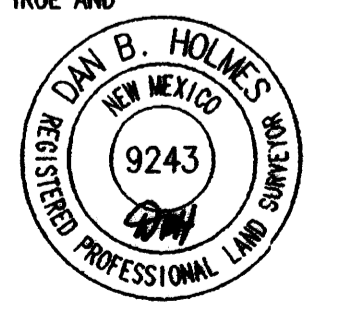
TRACTS 3B-1, 3B-2 AND 3B-3
A SUBDIVISION OF TRACT 3B
LAND OF IHS ACQUISITION NO. 120, INC.
WITHIN PROJECTED SECTIONS 11 AND 14,
T. 11 N., R. 3 E., N. M. P. M.
CITY OF ALBUQUERQUE
ELENA GALLEGOS LAND GRANT
BERNALILLO COUNTY, NEW MEXICO
MARCH, 2010

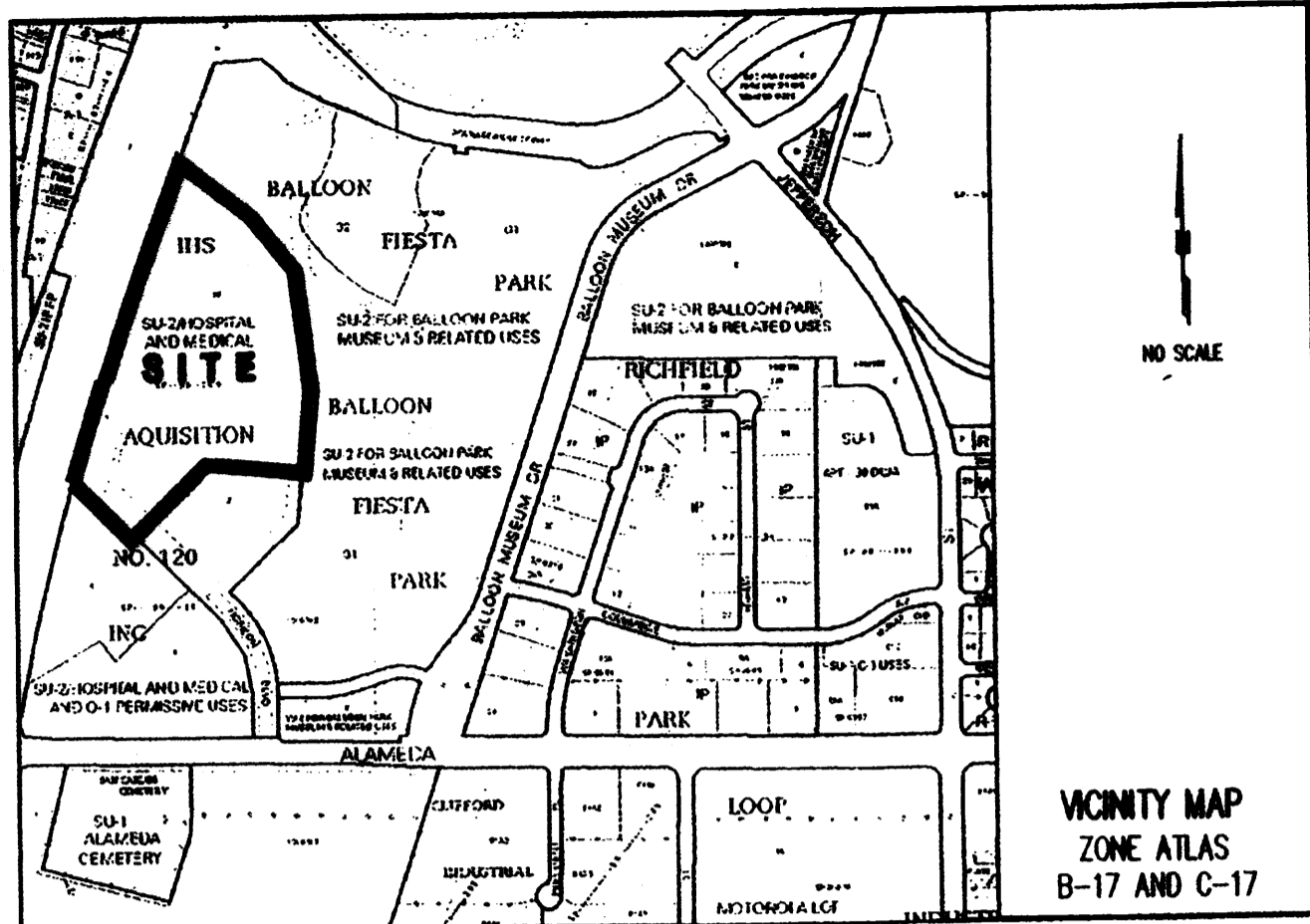
PROJECT NO. 1007490
APPLICATION NO. 100RB-70064

PLAT APPROVALS
UTILITY APPROVALS
Fernando Viquez
PNM ELECTRIC SERVICES
DATE: 3-2-10
Roberto Ramirez
NEW MEXICO GAS COMPANY
DATE: 3/2/2010
Roberto Martinez
QWEST TELECOMMUNICATIONS
DATE: 03/02/10
COMCAST
DATE: 3-2-10

CITY APPROVALS
W. B. Jant
CITY SURVEYOR
DATE: 3-2-10
REAL PROPERTY DIVISION
DATE: N/A
ENVIRONMENTAL HEALTH DEPARTMENT
DATE: N/A
TRAFFIC ENGINEERING TRANSPORTATION DIVISION
DATE: 03-03-10
WATER UTILITY DEVELOPMENT
DATE: 03/03/10
DEPARTMENT OF MUNICIPAL DEVELOPMENT
DATE: 3-3-10
AMAFCA
DATE: 3-2-10
Bradley J. Bingham
CITY ENGINEER
DATE: 3/3/10
DATE: 4/15/10
DRB CHAIRPERSON, PLANNING DEPARTMENT

SURVEYOR'S CERTIFICATION
I, DAN B. HOLMES, NEW MEXICO REGISTERED PROFESSIONAL LAND SURVEYOR NO. 9243, DO HEREBY CERTIFY THAT THE PLAT SHOWN HEREON WAS PREPARED UNDER MY DIRECT SUPERVISION, SHOWS ALL EASEMENTS MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, UTILITY COMPANIES AND OTHER PARTIES EXPRESSING AN INTEREST. THIS PLAT MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND THE "MINIMUM STANDARDS FOR LAND SURVEYS" AS ESTABLISHED BY THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.
Dan B. Holmes
DAN B. HOLMES, P.S. NO. 9243
DATE: 03-01-10





TRACTS 3B-1, 3B-2 AND 3B-3
 A SUBDIVISION OF TRACT 3B
LAND OF IHS ACQUISITION NO. 120, INC.
 WITHIN PROJECTED SECTIONS 11 AND 14,
 T. 11 N., R. 3 E., N. M. P. M.
 CITY OF ALBUQUERQUE
 ELENA GALLEGOS LAND GRANT
 BERNALILLO COUNTY, NEW MEXICO
 MARCH, 2010

DESCRIPTION

A PARCEL OF LAND BEING ALL OF TRACT 3B OF THE PLAT FOR TRACTS 3A AND 3B LAND OF IHS ACQUISITION NO. 120, INC., WITHIN PROJECTED SECTIONS 11 AND 14, T. 11 N., R. 3 E., N.M.P.M., RECORDED ON DECEMBER 6, 1999 IN BOOK 99C, FOLIO 326, DOC. NO. 1999150020, WITHIN THE ELENA GALLEGOS GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

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 THENCE N 20°11'32" E 443.76 FEET ON THE EAST BOUNDARY LINE OF SAID TRACT TO THE POINT OF BEGINNING.

PARCEL CONTAINS 18.7466 ACRES, MORE OR LESS AND (3) TRACTS.

PROJECT NO. 1007490
 APPLICATION NO. 100RB-70064

PLAT APPROVALS

UTILITY APPROVALS
 PNM ELECTRIC SERVICES
 NEW MEXICO GAS COMPANY
 QWEST TELECOMMUNICATIONS
 COMCAST

3-2-10
 DATE
 3/2/2010
 DATE
 03/02/10
 DATE
 3-2-10
 DATE

PLAT DATA

DRB NO. 08DRB-70421 PLAT ACRES 18.7466
 NO. OF TRACTS 3 TRACT ACRES 18.7466

ZONE DESIGNATION

TRACT 3B SU-2

DISCLOSURE STATEMENT

1. THE PURPOSE OF THIS PLAT IS TO DIVIDE TRACT 3B INTO (3) TRACTS DESIGNATED AS TRACTS 3B-1, 3B-2 AND 3B-3. EASEMENTS AS SHOWN ARE RECORD. NEW EASEMENTS BEING GRANTED BY THIS PLAT ARE AS INDICATED.

NOTES

- ALL BEARINGS SHOWN HEREON ARE GRID BEARINGS BASED ON THE NEW MEXICO STATE PLANE COORDINATE SYSTEM 1983, CENTRAL ZONE, MAPPING ANGLE IS -007°2'12.5". BASIS OF BEARINGS IS THE LINE BETWEEN SURVEY CONTROL MONUMENTS NDC_7.1A AND NDC_7 BEING S.18°53'09"W. BASIS OF COORDINATES IS NDC_7.1A WITH COORDINATES AS SHOWN. DISTANCES ARE HORIZONTAL GROUND DISTANCES IN FEET.
- ALL BEARINGS AND DISTANCES PER FIELD SURVEY. RECORD INFORMATION WHERE DIFFERENT FROM ACTUAL FIELD SURVEY IS SHOWN IN PARENTHESIS ().
- BENCHMARK FOR THIS PLAT IS CONTROL POINT NDC_7.1A LOCATED APPROXIMATELY 687' TO THE SOUTHWEST OF THE NORTHERN MOST CORNER OF TRACT 3B.
- ALL PROPERTY CORNERS ARE SET WITH A 5/8" X 24" REBAR WITH RED OR YELLOW PLASTIC CAP STAMPED LS 9243 SET FLUSH WITH THE GROUND, UNLESS OTHERWISE NOTED.
- CITY OF ALBUQUERQUE WATER AND SEWER SERVICE TO THESE TRACTS MUST BE VERIFIED AND COORDINATED WITH THE PUBLIC WORKS DEPARTMENT, CITY OF ALBUQUERQUE.
- S.P. TALOS LOG NO. 2008362721

EASEMENTS

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- PUBLIC SERVICE COMPANY OF NEW MEXICO ("PNM"), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.
- NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.
- QWEST FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.
- CABLE TV FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANTOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMER/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE (5) FEET ON EACH SIDE.

DISCLAIMER

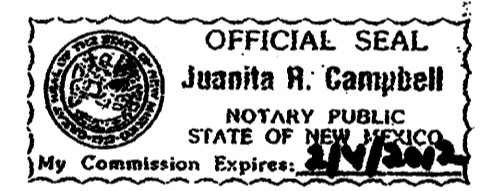
IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM) AND NEW MEXICO GAS COMPANY (NMGC) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM AND NMGC DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER RECORDED DOCUMENT AND WHICH ARE NOT SHOWN OR NOTED ON THIS PLAT.

DEDICATION AND FREE CONSENT

THE PROPERTY SHOWN HEREON IS REPLATTED WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF AND SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY GRANT TO THE CITY OF ALBUQUERQUE: ALL PUBLIC ACCESS AND PUBLIC UTILITY EASEMENTS SHOWN HEREON INCLUDING THE RIGHT TO CONSTRUCT, OPERATE, INSPECT, AND MAINTAIN FACILITIES THEREIN; AND ALL PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. THE OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY ACKNOWLEDGE SAID INSTRUMENT TO BE THEIR FREE ACT AND DEED. THOSE SIGNING WARRANT THAT THEY HOLD INDEFEASIBLE TITLE IN FEE SIMPLE TO PROPERTY BEING REPLATTED HEREON.

C&S EQUITIES, LLC
 OWNER TRACT 3B

JEFF D. STUVE
 CSRDA, INC. MANAGING MEMBER
 JEFF D. STUVE, MANAGER



(STATE OF New Mexico) SS
 (COUNTY OF Bernalillo)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON March 2, 2010, BY JEFF D. STUVE, MANAGER OF CSRDA, INC. MANAGING MEMBER OF C&S EQUITIES, LLC AND SIGNED ON BEHALF OF SAID COMPANY.

BY: Jeff D. Stuve
 NOTARY PUBLIC
 MY COMMISSION EXPIRES: 2/1/2011

NOTE PER CITY OF ALBUQUERQUE DEVELOPMENT REVIEW BOARD

FUTURE OWNERS OF THE PROPERTIES SUBDIVIDED BY THIS PLAT ARE HEREBY ADVISED THAT IT IS THE INTENT OF THE CITY OF ALBUQUERQUE TO REMOVE THE TRAFFIC SIGNALS AT HORIZON BOULEVARD AND ALAMEDA BOULEVARD NE. THIS ACTION, IF UNDERTAKEN BY THE CITY, WOULD RESULT IN CLOSURE OF THE MEDIUM CUT IN ALAMEDA BOULEVARD AND WOULD ELIMINATE LEFT TURN ACCESS FOR HORIZON BOULEVARD TO OR FROM ALAMEDA BOULEVARD. C&S EQUITIES, LLC HAS NOT CONCURRED WITH THE REMOVAL OF THE SIGNALIZATION AND ELIMINATION OF LEFT TURN ACCESS.

JEFF D. STUVE
 CSRDA, INC. MANAGING MEMBER
 JEFF D. STUVE, MANAGER
 DATE 3/2/2010

TREASURER'S CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC #:

UPC # 101706507804330707

BERNALILLO COUNTY TREASURER OFFICE
 BY: [Signature] 04-15-10 DATE: _____

CITY APPROVALS

MB Jant
 CITY SURVEYOR
 N/A
 REAL PROPERTY DIVISION
 N/A
 ENVIRONMENTAL HEALTH DEPARTMENT
 TRAFFIC ENGINEERING TRANSPORTATION DIVISION
 WATER UTILITY DEVELOPMENT
 DEPARTMENT OF MUNICIPAL DEVELOPMENT
 AMAFCA
 CITY ENGINEER
 DRB CHAIRPERSON, PLANNING DEPARTMENT

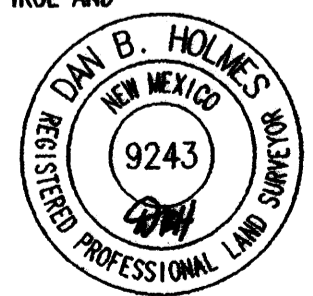
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 3-2-10
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 3/3/10
 DATE
 4/15/10
 DATE

SURVEYOR'S CERTIFICATION

I, DAN B. HOLMES, NEW MEXICO REGISTERED PROFESSIONAL LAND SURVEYOR NO. 9243, DO HEREBY CERTIFY THAT THE PLAT SHOWN HEREON WAS PREPARED UNDER MY DIRECT SUPERVISION, SHOWS ALL EASEMENTS MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, UTILITY COMPANIES AND OTHER PARTIES EXPRESSING AN INTEREST. THIS PLAT MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND THE "MINIMUM STANDARDS FOR LAND SURVEYS" AS ESTABLISHED BY THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Dan B. Holmes
 DAN B. HOLMES, P.S. NO. 9243

03-01-10
 DATE



TRACTS 3B-1, 3B-2 AND 3B-3
A SUBDIVISION OF TRACT 3B
LAND OF IHS ACQUISITION NO. 120, INC.
 WITHIN PROJECTED SECTIONS 11 AND 14,
 T. 11 N., R. 3 E., N. M. P. M.

CITY OF ALBUQUERQUE
 ELENA GALLEGOS LAND GRANT
 BERNALILLO COUNTY, NEW MEXICO
 MARCH, 2010

- BOUNDARY EVIDENCE: UNLESS OTHERWISE INDICATED**
 ALL BOUNDARY CORNERS ARE SET WITH A NO. 5 REBAR WITH PLASTIC CAP STAMPED LS 9243
- 1 FOUND NO. 5 REBAR W/ PLASTIC CAP STAMPED PS 10466
 - 2 FOUND 400 NAIL W/ BRASS WASHER STAMPED PS 11463 IN TREE BASE
 - 3 FOUND NO. 5 REBAR W/ PLASTIC CAP STAMPED WEAVER
 - 4 FOUND NO. 5 REBAR W/ PLASTIC CAP STAMPED PS 11463
 - 5 FOUND AMAFCA NDC R/W MONUMENT
 - 6 FOUND PK W/ WASHER STAMPED PS 10466

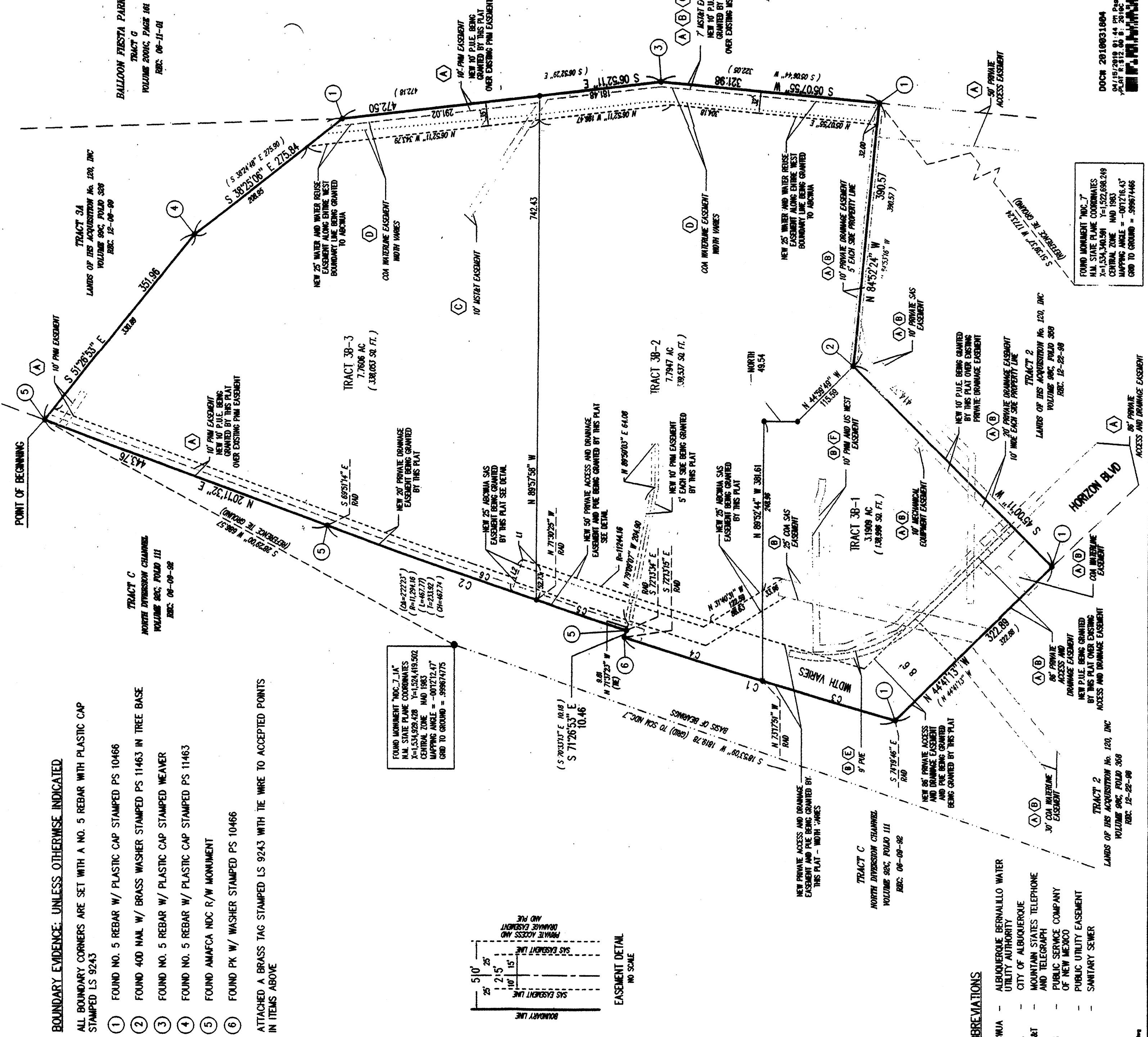
ATTACHED A BRASS TAG STAMPED LS 9243 WITH THE WIRE TO ACCEPTED POINTS IN ITEMS ABOVE

EASEMENTS OF RECORD (SEE PLAT)

- (A) EASEMENTS PER RECORDED PLAT, RECORDED ON 12-22-98 IN BOOK 98C, FOLIO 358 RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
- (B) EASEMENTS PER RECORDED PLAT, RECORDED ON 12-06-99 IN BOOK 99C, FOLIO 326 RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
- (C) EASEMENT GRANTED TO MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY, A COLORADO CORPORATION, RECORDED ON 06-20-85 IN BOOK MISC. 24-A, PAGES 237-239, DOC. NO. 83-40062, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
- (D) A WATERLINE EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE, NEW MEXICO RECORDED IN BOOK 92-28, PAGES 3168-3170, DOC. NO. 9219336, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
- (E) A PERMANENT EASEMENT RECORDED ON DECEMBER 2, 1996 IN BOOK 96-31, PAGES 8823-8825, AS DOC. NO. 96129436, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
- (F) AN UNDERGROUND EASEMENT RECORDED ON JUNE 27, 1997 IN BOOK 97-17, PAGES 4176-4178, AS DOC. NO. 97065184, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
- (G) PROPERTY SUBJECT TO ACCESS AND DRAINAGE EASEMENT PER RECIPROCAL EASEMENT OF OPERATING AGREEMENT RECORDED IN BOOK 9820, PAGE 7260, AS DOC. NO. 1998169125, RECORDS OF BERNALILLO COUNTY, NEW MEXICO. NOT ABLE TO PLOT ON MAP.

NOTES CONTINUED FROM SHEET 1

- 7. OWNER COVENANTS AND AGREES TO PROVIDE THE REQUIRED AMOUNT OF PARKING FOR THE PROPOSED USE ON EACH TRACT SUBDIVIDED AT THE TIME OF BUILDING PERMIT APPLICATION. THIS COVENANT SHALL BE DEEMED A CONDITION TO THIS SUBDIVISION PLAT APPROVAL.
- 8. THERE IS A CROSS-LOT DRAINAGE EASEMENT BENEFITTING ALL LOTS AND MAINTAINED BY EACH UNDERLYING PROPERTY OWNER.
- 9. THE PRIVATE ACCESS AND DRAINAGE EASEMENT SHALL BENEFIT LOTS 3B-1, 3B-2, 3B-3, AND TRACT 2 LANDS OF IHS ACQUISITION NO. 120, INC. MAINTENANCE OF THE PRIVATE ACCESS AND DRAINAGE EASEMENT SHALL BE THE RESPONSIBILITY OF EACH UNDERLYING PROPERTY OWNER.



CURVE TABLE

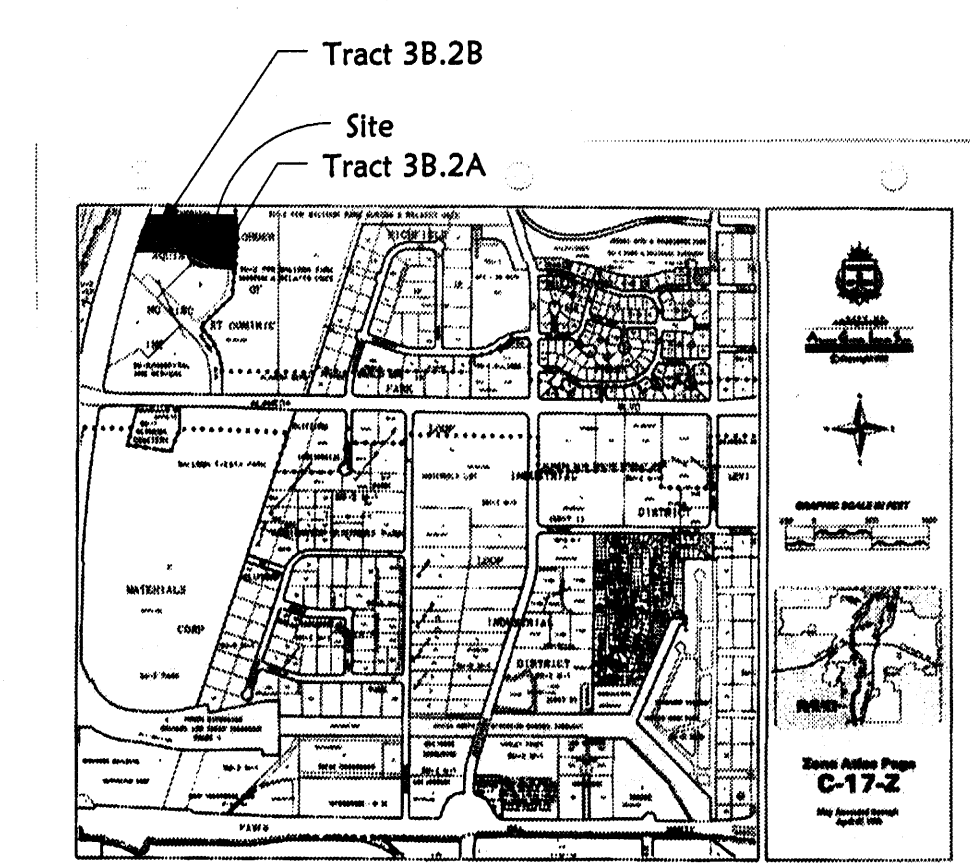
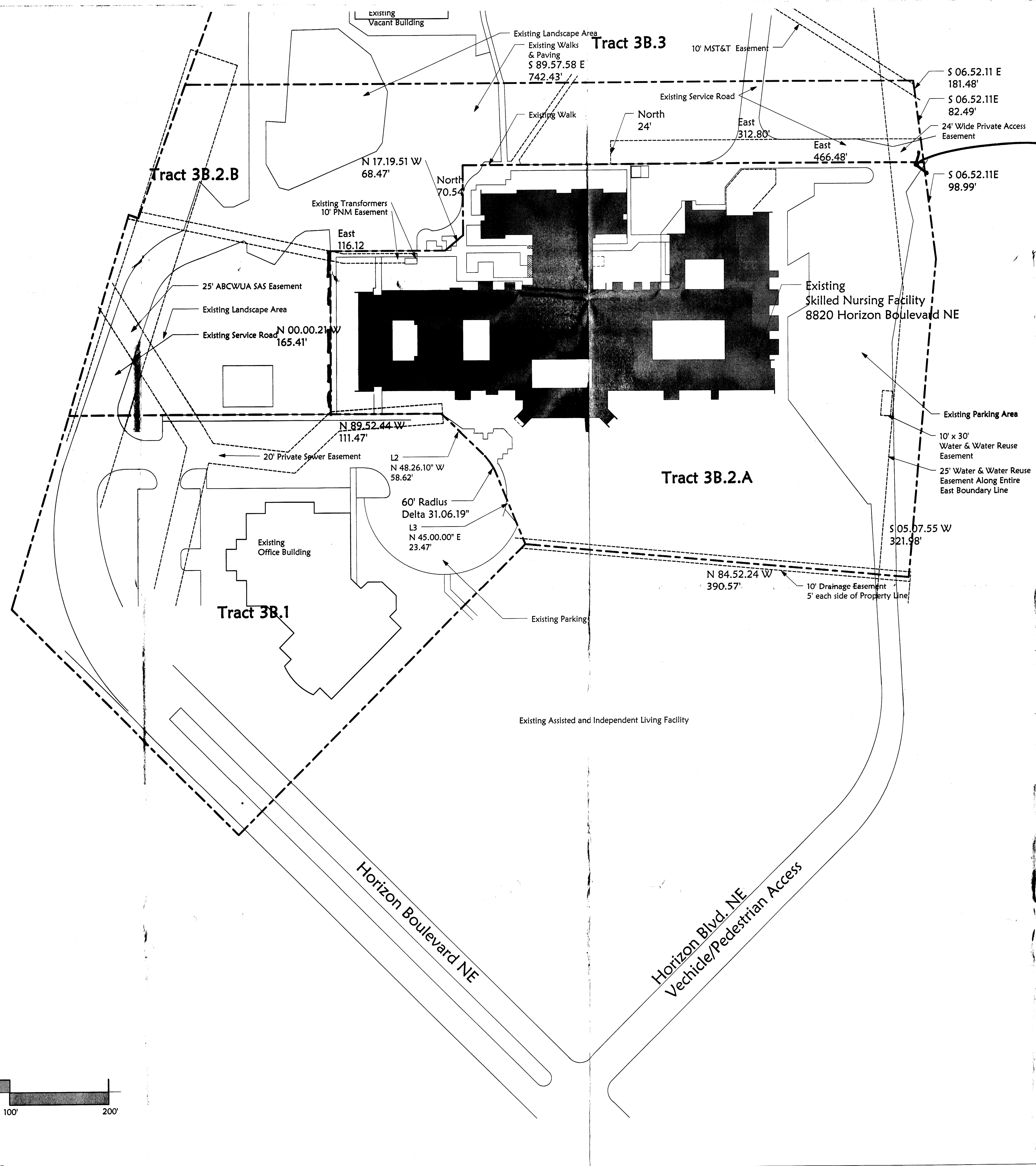
NO	DELTA	RADIUS	ARC LENGTH	TANGENT	CHORD
C1	02°06'31"	11304.16	416.02	208.03	415.99
C2	02°22'20"	11294.16	467.61	233.84	467.60
C3	07°01'55"	11304.16	203.60	101.80	203.58
C4	07°04'36"	11304.16	212.42	106.21	212.43
C5	00°43'09"	11294.16	141.76	70.88	141.80
C6	01°39'11"	11294.16	325.85	162.94	325.82

LINE TABLE

NO	DIRECTION	DISTANCE
L1	N 183°35' E	21.10
L2	N 71°18'51" W	50.00

FOUND MONUMENT "NO. 7"
 N.M. STATE PLANE COORDINATES
 X=1534.54591 Y=1522.68249
 CENTRAL ANGLE = 140.1803
 SWEEPING ANGLE = -007°16'43"
 GRID TO GROUND = .99871466

- ABBREVIATIONS**
- ABQWA - ALBUQUERQUE, BERNALILLO WATER UTILITY AUTHORITY
 - COA - CITY OF ALBUQUERQUE
 - MST&T - MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY
 - PNM - PUBLIC SERVICE COMPANY OF NEW MEXICO
 - PUE - PUBLIC UTILITY EASEMENT
 - SAS - SANITARY SEWER



City of Albuquerque
Zone Atlas Page: C.17.Z

Site Development Plan for Subdivision
Plan Submission Date: Friday 13 May 2011
Sheets Submitted: 1
Sheet SD.1 VNSB.2 Fiesta Park Care Center Site Development Plan for Subdivision

Project Summary
The Proposed Project is a vacant 118 Resident Skilled Nursing Facility which will be renovated and refurbished to accommodate 88 Skilled Nursing Residents. All Elements of the Site Plan and Building Elevations will comply with the North L35 Sector Development Plan.

Project Data
Legal Description:
Tract 3B.2.A
A Subdivision of Tract 3B Land of IHS Acquisition No. 120 Inc. Within Projected Sections 11 and 14, T. 11 N., R. 3., N. M. P. M. City of Albuquerque
Fiesta Callegos Land Grant
Bernalillo County, New Mexico

Project Address:
8820 Horizon Boulevard NE
Albuquerque, New Mexico 87113

Zoning Atlas Page:
C.17.Z
Zoning:
SU.2 Hospital, Medical, & Related Uses

Approximate Area:
Site: 4.6876 Acres/204,193 square feet
Building: Approximately 61,000 square feet

Building Heights, Setbacks, Maximum Floor Area Ratio:
Building Heights: Existing Building Complies with the Sector Development Requirements of the agreement of the Privately Owned Properties to the South of the Balloon Park

Setbacks: All Setbacks exceed the minimum Sector Plan requirements
Floor Area Ratio: 61,000/204,193 = .294

Bicycle & Trail Access
Trail Access is served by existing Horizon Boulevard continuing on to existing Trail along Drainage Easement west of Property

Transit
Except during Balloon Festival and other City/County/State sponsored events, there is no current Mass Transit service to the Site or related Properties.

ADMINISTRATIVE AMENDMENT	
FILE # 11-10088 PROJECT # 100-7490	
subdivide Tract 3-B-2	
APPROVED BY	DATE
<i>M. M. M.</i>	6-7-11

Issued 27 May 2011
Site Development Plan for Administrative Amendment

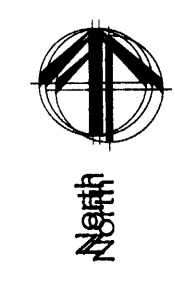
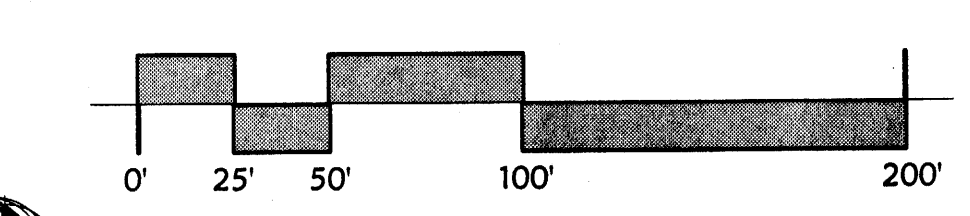
CAUWELI-STUVE
Design

8820 Horizon Boulevard NE
Albuquerque, New Mexico 87113
Phone: 505.266.5711
Fax: 505.255.9922
cauweli-stuve.com

PROJECT:
Valle Norte Tract 3B.2
Fiesta Park Care Center
Albuquerque, New Mexico

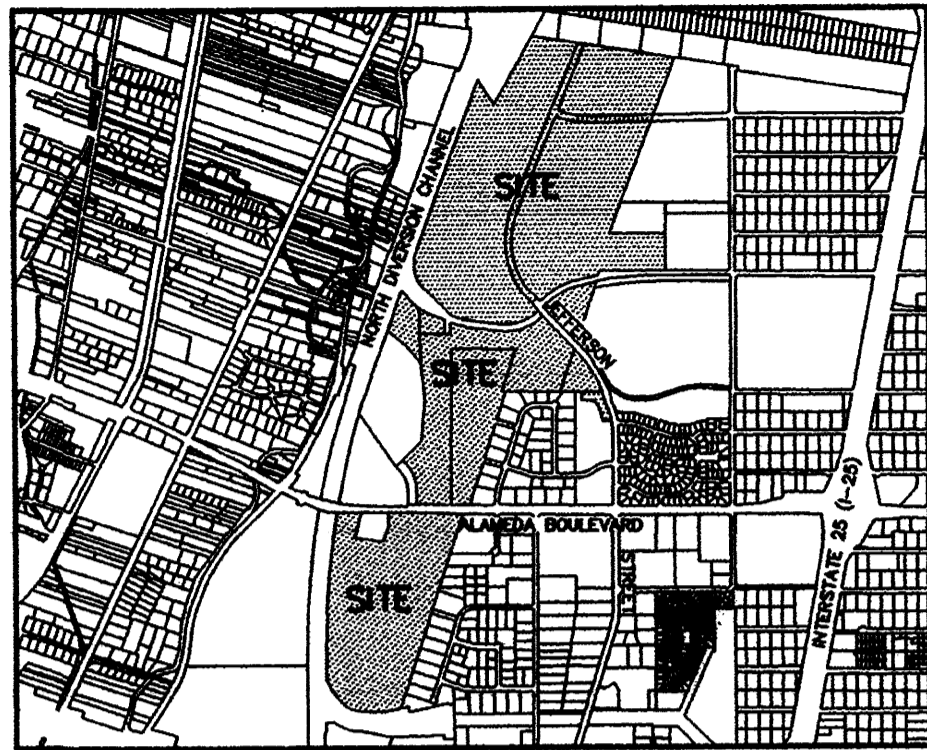
PROJECT #:
Site Plan for Subdivision

©COPYRIGHT NOTICE: ALL RIGHTS RESERVED
These drawings and specifications shall remain the property of the ARCHITECT and shall not be used for any other projects without the



1 Site Plan for Subdivision
Scale: 1" = 50'-0"

SP 990225090165



LOCATION MAP

ZONE ATLAS INDEX MAP No. B-17-Z, C-16-Z & C-17-Z NOT TO SCALE

SUBDIVISION DATA

- 1. DRB No. 1000363
2. Zone Atlas Index No. B-17-Z, C-16-Z, & C-17-Z.
3. Gross subdivision acreage: 370.1064 Acres.
4. Total number of tracts created: Nine (9) tracts
5. Total mileage of full width Streets created: 0.9965 mile.
6. Tracts are within the Elena Gallegos Grant, in projected Sections 11, 14, and 15, Township 11 North, Range 3 East, New Mexico Principal Meridian.
7. Date of Survey: April, 2000

NOTES

- 1. Bearings are New Mexico State Plane Grid Bearings (Central Zone, NAD 1927).
2. Distances are ground distances.
3. All easements of record are shown.
4. Record bearings and distances are shown in parenthesis ().
5. Record bearings and distances of AMAFCA Right-of-way are shown in brackets [].
6. Centerline (IN LIEU OF R/W) Monumentation to be installed at all centerline PC's, PT's, angle points and street intersections prior to acceptance of subdivision improvements and will consist of a four-inch (4") aluminum alloy cap stamped "City of Albuquerque", "Centerline Monument", "Do Not Disturb", "P.L.S.#6544".
7. Construction within AMAFCA Rights-of-Way is subject to prior written approval by AMAFCA.

DISCLOSURE STATEMENT

The purpose of this plat is to subdivide Tracts D-1A, D-1D, and D-1F and portions of Jefferson Street and Balloon Parkway (Formally Balboa Avenue) of the PLAT OF TRACTS D-1A, D-1B, D-1C, D-1D, D-1E, D-1F AND D-1G, SISTERS OF THE ORDER OF ST. DOMINIC, Albuquerque, New Mexico, recorded October 21, 1993 in Volume 93C, folio 302 as Document No. 93117686, together with the PARK SITE, of the WILDFLOWER SUBDIVISION, Albuquerque, New Mexico, recorded May 30, 1985 in Volume C27, folio 71 as Document No. 85-42301, together with TRACT Z of the SPERRY SITE, Albuquerque, New Mexico, recorded June 18, 1985 in Volume C27, folio 110 as Document No. 85-48464, together with TRACT A and TRACT C of the CORRECTED PLAT OF LANDS OF SISTERS OF ST. DOMINIC, Albuquerque, New Mexico, recorded June 26, 1985 in Volume C27, folio 141 as Document No. 85-51048, together with TRACT D-1 of the PLAT FOR RICHFIELD PARK SUBDIVISION, Albuquerque, New Mexico, recorded March 10, 1988 in Volume C36, folio 12 as Document No. 8820728, together with TRACT B-1-B, PARK SITE of the plat of TRACTS B-1-A AND B-1-B, RICHFIELD PARK SUBDIVISION, Albuquerque, New Mexico, recorded October 2, 1998 in Volume 98C, Page 292 as Document No. 1998127112, together with a portion of TRACT E of the PLAT SHOWING TRACTS "A" THRU "F", INCLUSIVE OF LANDS OF SPRINGER CORPORATION SITUATE WITHIN SECTIONS 14, 15, & 22, T11N, R3E, N.M.P.M., BERNALILLO COUNTY, NEW MEXICO, recorded July 11, 1975 in Volume D6, folio 163, together with Tract 3A of the PLAT FOR TRACT 3A & 3B, LAND OF IHS ACQUISITION NO. 120, INC. recorded December 6, 1999 in Book 99C, Page 326 as Document No. 1999150020, together with Parcel N-6-1A(2), as described in Quitclaim Deed recorded July 28, 1989 in Book D365A, Pages 683-692 as Document No. 8965711, into Nine (9) Tracts, to vacate Public Street right-of-way together with utility easements, to grant easements and to dedicate additional drainage rights-of-way to AMAFCA.

DESCRIPTION

A certain tract of land situate within the Elena Gallegos Grant, in projected Section 11, Township 11 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, being and comprising all of Tracts D-1A, D-1D, and D-1F and portions of Jefferson Street and Balloon Fiesta Parkway (Formally Balboa Avenue) of the PLAT OF TRACTS D-1A, D-1B, D-1C, D-1D, D-1E, D-1F AND D-1G, SISTERS OF THE ORDER OF ST. DOMINIC, Albuquerque, New Mexico as the same are shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on October 21, 1993 in Volume 93C, folio 302, as Document No. 93117686, and being more particularly described by New Mexico State Plane Grid Bearings (Central Zone NAD 1927) and ground distances as follows:

BEGINNING at the northeast corner of said Tract D-1F, a point on the Northerly Boundary Line of the Elena Gallegos Grant, whence the Closing Corner of Sections 11 and 12, Township 11 North, Range 3 East, New Mexico Principal Meridian and the Northerly Boundary Line of the Elena Gallegos Grant, a standard USGLOS brass tablet having New Mexico State Plane Coordinates, Central Zone (NAD 1927) of X=399,666.45 and Y=1,528,501.63 bears S81°19'52"E, a distance of 776.84 feet and from said point of beginning running thence along the easterly boundary line of said Tract D-1F, crossing said Balloon Fiesta Parkway (Formally Balboa Avenue), and also running along the easterly boundary line of said Tract D-1A, S20°33'13"W a distance of 1156.53 feet to a point; thence, S20°33'41"W a distance of 395.15 feet to a point; thence, S20°33'20"W a distance of 977.21 feet to a point; thence, S89°44'44"E a distance of 746.29 feet to a point; thence, S00°14'21"W a distance of 500.00 feet to the southeast corner of said Tract D-1A, a point on the northerly right-of-way line of San Diego Avenue N.E., thence along the southerly boundary line of said Tract D-1A and also said right-of-way line, N89°44'44"W a distance of 880.74 feet to a point; thence, S18°18'39"W a distance of 84.79 feet to a point; thence, S78°03'12"W a distance of 229.95 feet to a point of curvature; thence, 581.68 feet along the arc of a curve to the left having a radius of 1111.51 feet and a chord which bears S63°03'40"W a distance of 575.06 feet to a point of tangency; thence, S48°04'06"W a distance of 34.25 feet to a point of curvature; thence, 39.27 feet along the arc of a curve to the right having a radius of 25.00 feet and a chord which bears N86°55'50"W, a distance of 35.36 feet to a point of tangency on the westerly boundary line of said Tract D-1A and also being a point on the easterly right-of-way line of Jefferson Street, thence running along the westerly boundary line of said Tract D-1A and also along said right-of-way line, N41°55'46"W, a distance of 44.96 feet to a point, thence leaving said westerly boundary line and crossing said Jefferson Street, S48°04'14"W, a distance of 86.00 feet to a point on the easterly boundary line of said Tract D-1D, and also being a point on the westerly right-of-way line of said Jefferson Street; thence running along the easterly boundary line of said Tract D-1D and also along said right-of-way line, S41°55'46"E a distance of 136.34 feet to the southeast corner of said Tract D-1D, a point on the northerly right-of-way line of an A.M.A.F.C.A. Drainage Right-of-Way; thence running along the southerly boundary line of said Tract D-1D and also along said northerly right-of-way line, S48°04'14"W a distance of 15.45 feet to a point of curvature; thence, 563.70 feet along the arc of a curve to the right having a radius of 855.00 feet and a chord which bears S72°43'31"W a distance of 546.46 feet to a point of tangency; thence, N82°37'12"W a distance of 382.11 feet to a point of curvature; thence, 271.51 feet along the arc of a curve to the right having a radius of 955.00 feet and a chord which bears N74°28'31"W a distance of 270.60 feet to a point (non-tangent); thence, N44°54'12"W a distance of 480.47 feet to a point; thence, N48°57'57"W a distance of 9.46 feet to a point; thence, S39°28'46"W a distance of 5.61 feet to a point on curve (non-tangent); thence, 349.84 feet along the arc of a curve to the right having a radius of 400.87 feet and a chord which bears N24°50'47"W a distance of 338.85 feet to a point (non-tangent); thence, N00°13'57"E a distance of 141.84 feet to a point on the easterly right-of-way line of the North Diversion Channel and the westerly boundary line of said Tract D-1D; thence along said right-of-way line and said boundary line, N20°11'46"E a distance of 2523.47 feet to a point; thence, S32°50'50"E a distance of 400.14 feet to a point; thence, N28°41'40"E a distance of 1052.27 feet to the northwest corner of said Tract D-1D, a point on the northerly boundary line of the Elena Gallegos Grant, thence running along the northerly boundary line of said Tracts D-1D, and D-1F and also along said Grant line, S81°19'52"E a distance of 1945.88 feet to the point and piece of beginning.

Tract contains 203.7686 acres, more or less.



FREE CONSENT AND DEDICATION

The foregoing plat of those certain tracts of land situate within the Elena Gallegos Grant, in projected Sections 11, 14, and 15, Township 11 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, being and comprising all of Tracts D-1A, D-1D, and D-1F of the PLAT OF TRACTS D-1A, D-1B, D-1C, D-1D, D-1E, D-1F AND D-1G, SISTERS OF THE ORDER OF ST. DOMINIC, Albuquerque, New Mexico as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on October 21, 1993 in Volume 93C, folio 302, as Document No. 93117686, together with PARK SITE of the WILDFLOWER SUBDIVISION, Albuquerque, New Mexico as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on May 30, 1985 in Volume C27, folio 71 as Document No. 85-42301, together with Tract Z of the SPERRY SITE, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on June 18, 1985 in Volume C27, folio 101, as Document No. 85-42301, together with Tracts A and C of the CORRECTED PLAT OF LANDS OF THE ORDER OF ST. DOMINIC, Albuquerque, New Mexico as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on March 10, 1988 in Volume C36, folio 12, as Document No. 8820728, together with TRACT "B-1-B" PARK SITE, of the PLAT OF TRACTS B-1-A AND B-1-B, RICHFIELD PARK SUBDIVISION, Albuquerque, New Mexico as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on October 2, 1998 in Volume 98C, page 292, as Document No. 1998127112, together with a portion of TRACT E of the PLAT SHOWING TRACTS "A" THRU "F" INCLUSIVE OF LANDS OF SPRINGER CORPORATION, SITUATE WITHIN SECTIONS 14, 15, & 22, T11N, R3E, N.M.P.M., Bernalillo County, New Mexico as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on July 11, 1975 in Volume D6, folio 163, together with Tract 3A of the PLAT OF TRACT 3A & 3B LAND OF IHS ACQUISITION NO. 120, INC. as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on December 6, 1999 in Book 99C, Page 326, as Document No. 1999150020, together with Parcel N-6-1A(2) as described in Quitclaim Deed filed for record in the office of the County Clerk of Bernalillo County, New Mexico on July 28, 1989 in Book D365A, Pages 683-692 as Document No. 8965711, is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate all streets and public rights-of-way shown hereon to the City of Albuquerque in Fee Simple with Warranty Covenants, and do hereby dedicate drainage rights-of-way shown hereon to AMAFCA in Fee Simple and do hereby grant: All access, Utility and Drainage Easements hereon including the right to construct, operate, inspect, and maintain facilities therein; and all Public Utility easements shown hereon for the common and joint use of Gas, Electrical Power and Communication Services for buried distribution lines, conduits, pipes for underground Utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. In the event Grantor, its successors and assigns, constructs any improvements other than curb and gutter (Encroachments) within any easement area granted to or for the benefit of the City, the City shall have the right to access and to enter upon any easement area at any time and perform such inspections, installations, maintenance and repair, including removal of the Encroachments (Work) without liability to the City. The City shall not be financially responsible for rebuilding or repair of the Encroachments, nor shall the City be financially responsible if the Work affects any of the Encroachments. The City shall also have the right if reasonably necessary, to enter Grantor's property to access the easement areas for the purposes of performing the Work. Grantor does hereby consent to all of the foregoing and does hereby certify that this subdivision is made with its free act and deed.

BY: LAWRENCE RAEI, CHIEF ADMINISTRATION OFFICER, CITY OF ALBUQUERQUE

State of New Mexico)
) SS
County of Bernalillo)

This instrument was acknowledged before me on 17 day of October 2000 by Lawrence Rael, Chief Administration Officer, City of Albuquerque. MARY L. SNYDER Notary Public My Commission Expires 4-12-07

PNM STAMP
In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

Any improvements encroaching upon the PNM transmission easements and right-of-way must comply with the National Electrical Safety Code (NESC), and shall not interfere or inhibit PNM's ability to operate and maintain its facilities. The City of Albuquerque and/or owner-developer shall pay for all PNM utility relocations or modifications caused by such easement encroachments which violate the NESC.

PLAT OF BALLOON FIESTA PARK ALBUQUERQUE, NEW MEXICO MAY, 2000

Table of Approvals including Planning Director, City Engineer, Traffic Engineer, City Surveyor, Property Management, Utility Development Department, Planning & Policy Section, Comcast Cable, PNM Electric Services, and PNM Gas Services, with dates and signatures.

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPCH. See Attached. PROPERTY OWNER OF RECORD: City of Albany. BERNALILLO COUNTY TREASURER'S OFFICE

SURVEYOR'S CERTIFICATION
I, A. Dwan Weaver, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements of record, and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors in February 1994 and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

A. DWAN WEAVER NEW MEXICO REGISTERED PROFESSIONAL SURVEYOR 6544. A. Dwan Weaver New Mexico Professional Surveyor 6544 Date: July 20, 2000

Bohannon Huston Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109 ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

Any improvements encroaching into existing PNM transmission easements and rights of way must comply with the National Electrical Safety Code (NESC), and shall not interfere or inhibit PNM's ability to operate and maintain its facilities. The City of Albuquerque and its water developer shall pay for all PNM utility relocations or modifications caused by such easement encroachments which violate the NESC.

PLAT OF
BALLOON FIESTA PARK
 ALBUQUERQUE, NEW MEXICO
 MAY, 2000

DESCRIPTION

A certain tract of land situate within the Elena Gallegos Grant, in projected Section 11 and Section 14, Township 11 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico. Said tract being and comprising all of the PARK SITE as the same is shown and designated on the plat of WILDFLOWER SUBDIVISION filed for record in the office of the County Clerk of Bernalillo County, New Mexico on May 30, 1985 in Volume C27, folio 71, Doc. No. 85-42301, together with TRACT Z as the same is shown and designated on the plat of SPERRY SITE filed for record in the office of the County Clerk of Bernalillo County, New Mexico on June 18, 1985 in Volume C27, folio 110, Doc. No. 85-48464, together with TRACT A as the same is shown and designated on the plat of the CORRECTED PLAT OF LANDS OF SISTERS OF THE ORDER OF ST. DOMINIC filed for record in the office of the County Clerk of Bernalillo County, New Mexico on June 26, 1985 in Volume C27, folio 141, Doc. No. 85-51048, together with TRACT D-1 as the same is shown and designated on the PLAT FOR RICHFIELD PARK SUBDIVISION filed for record in the office of the County Clerk of Bernalillo County, New Mexico on March 10, 1988 in Volume C36, folio 12 as Doc. No. 8820728, together with TRACT "B-1-B" PARK SITE as the same is shown and designated on the plat of TRACTS B-1-A AND B-1-B, RICHFIELD PARK SUBDIVISION filed for record in the office of the County Clerk of Bernalillo County, New Mexico on October 2, 1988 in Volume 98C, page 292, as Doc. No. 1988127112, together with Tract 3A as the same is shown and designated on the PLAT FOR TRACT 3A & TRACT 3B LAND OF IHS ACQUISITION NO. 120, INC. filed for record in the office of the County Clerk of Bernalillo County, New Mexico on December 6, 1989, Doc. No. 8965711, and being more particularly described by New Mexico State Plane Grid Bearings (Central Zone NAD 1927) and ground distances as follows:

BEGINNING at the northeast corner of said Park Site, also being the southeast corner of said Tract Z, a point on the easterly right-of-way line of Jefferson Street NE, whence the Closing Corner of Sections 11 and 12, Township 11 North, Range 3 East, New Mexico Principal Meridian and the Northerly Boundary Line of the Elena Gallegos Grant, a standard USGLOS Brass tablet having New Mexico State Plane Coordinates, Central Zone (NAD 1927) of X=399,686.45 and Y=1,528,501.63 bears N22°02'02"E, a distance of 471.56 feet and from said point of beginning running thence along the easterly boundary line of said Park Site and also along said right-of-way line, 318.31 feet along the arc of a curve to the right having a radius of 1957.00 feet and a chord which bears S19°51'32"E a distance of 317.96 feet to a point of compound curvature; thence, 63.63 feet along the arc of a curve to the right having a radius of 957.00 feet and a chord which bears S13°17'41"E, a distance of 63.62 feet to a point of compound curvature, thence leaving said right-of-way line and running thence along the southerly boundary line of said PARK SITE, 44.40 feet along the arc of a curve to the right having a radius of 25.00 feet and a chord which bears S39°29'30"W a distance of 38.79 feet to a point of tangency; thence, N89°37'37"W a distance of 71.83 feet to a point of curvature; thence, 33.71 feet along the arc of a curve to the right having a radius of 25.00 feet and a chord which bears N50°59'37"W a distance of 31.22 feet to a point of reverse curvature; thence, 206.46 feet along the arc of a curve to the left having a radius of 837.00 feet and a chord which bears N19°25'37"W a distance of 205.94 feet to a point of compound curvature; thence, 124.20 feet along the arc of a curve to the left having a radius of 112.50 feet and a chord which bears N58°07'12"W a distance of 117.98 feet to a point of tangency; thence, N89°44'47"W a distance of 191.52 feet to the southwest corner of said TRACT "B-1-B"; thence running along the westerly boundary line of said TRACT "B-1-B", N00°22'23"E a distance of 115.00 feet to the northwest corner of said TRACT "B-1-B" and a point on the southerly boundary line of said TRACT Z; thence running along the said southerly boundary line of TRACT Z and the southerly boundary line of TRACT A, N89°44'47"W a distance of 886.11 feet to a point; thence, N89°33'35"W a distance of 52.72 feet to a point on the easterly boundary line of said TRACT D-1; thence running along said easterly boundary line, S18°16'26"W a distance of 386.87 to a point of curvature (non-tangent); thence, 245.37 feet along the arc of a curve to the right having a radius of 2577.15 feet and a chord which bears S74°27'13"E, a distance of 245.27 feet to a point of non-tangency on the westerly right-of-way line of Washington Street, thence running along the easterly boundary line of said Tract D-1 and also along said right-of-way line, S18°16'26"W, a distance of 60.00 feet to a point of curvature (non-tangent), thence leaving said right-of-way line and running thence along the easterly boundary line of said Tract D-1, 245.39 feet along the arc of a curve to the left having a radius of 2517.15 feet and a chord which bears N74°31'08"W, a distance of 245.29 feet to a point of non-tangency; thence, S18°16'26"W, a distance of 478.24 feet to a point of curvature (non-tangent); thence, 245.78 feet along the arc of a curve to the right having a radius of 1778.01

feet and a chord which bears S75°41'11"E, a distance of 245.58 feet to a point of non-tangency on the westerly right-of-way line of Washington Street, thence running along the easterly boundary line of said Tract D-1 and also along said right-of-way line, S18°16'26"W, a distance of 60.00 feet to a point of curvature (non-tangent), thence leaving said right-of-way line and running thence along the easterly boundary line of said Tract D-1, 245.83 feet along the arc of a curve to the left having a radius of 1718.01 feet and a chord which bears N75°49'32"W, a distance of 245.63 feet to a point of non-tangency; thence, S18°16'26"W, a distance of 587.60 feet to a point on the northerly right-of-way line of Alameda Boulevard N.E.; thence along said northerly right-of-way line, N89°37'37"W a distance of 247.51 feet to a point on the easterly boundary line of said TRACT A; thence along said easterly boundary line and said northerly right-of-way line, S00°15'04"W a distance of 18.77 feet to a point; thence along the southerly boundary line of said TRACT A and the said northerly right-of-way line, N89°43'44"W a distance of 461.19 feet to a point of curvature; thence along a transition curve, 39.29 feet along the arc of a curve to the right having a radius of 25.00 feet and a chord which bears N44°42'22"W a distance of 35.37 feet to a point of tangency; thence running along the westerly boundary line of said TRACT A, N00°18'59"E a distance of 157.49 feet to a point of curvature; thence, 418.50 feet along the arc of a curve to the left having a radius of 532.85 feet and a chord which bears N22°11'02"W a distance of 407.83 feet to a point of tangency; thence, N44°41'02"W a distance of 52.30 feet to a point; thence, N46°00'18"E a distance of 383.97 feet to a point; thence, N05°07'08"E a distance of 560.97 feet to a point; thence, N06°51'50"W a distance of 472.31 feet to the southeast corner of said Tract 3A, thence running along the southwesterly boundary line of said Tract 3A, N38°24'39"W, a distance of 275.86 feet to a point; thence, N51°26'50"W, a distance of 351.93 feet to the southwest corner of said Tract 3A, a point on the easterly right-of-way line of Tract C as the same is shown and designated on the plat of the North Diversion Channel Drainage Right-of-Way Tracts A-C, filed for record in the office of the County Clerk of Bernalillo County, New Mexico on June 9, 1992 in Volume 92C, Folio 111 as Doc. No. 9254847, thence running along the westerly boundary line of said Tract 3A and also along said easterly right-of-way line, N20°12'19"E, a distance of 550.19 feet to a point of curvature (non-tangent); thence, 44.79 feet along the arc of a curve to the right having a radius of 20.00 feet and a chord which bears N84°11'34"E, a distance of 36.00 feet to a point of reverse curvature on the northeasterly boundary line of said Tract 3A, thence running along the northeasterly boundary line of said Tract 3A and also along said easterly right-of-way line, 205.53 feet along the arc of a curve to the left having a radius of 640.88 feet and a chord which bears S40°41'38"E, a distance of 204.65 feet to a point of non-tangency; thence, S49°21'47"E, a distance of 30.54 feet to a point of curvature (non-tangent), being the northwest corner of said Parcel N-6-1A (2) thence running along the northerly boundary of said Parcel N-6-1A (2), 184.62 feet along the arc of a curve to the left having a radius of 631.03 feet and a chord which bears S57°56'53"E, a distance of 183.96 feet to a point of non-tangency; thence, S66°19'46"E, a distance of 246.27 feet to the northeast corner of said Parcel N-6-1A (2), thence running along the easterly boundary line of said Parcel N-6-1A (2), S00°05'37"W, a distance of 182.93 feet to the southeast corner of said Parcel N-6-1A (2), a point on the northerly boundary line of said Tract A, S89°46'17"E, a distance of 100.00 feet to a point; thence, N00°05'37"E, a distance of 140.37 to a point on a curve on the southerly right-of-way line of an A.M.A.F.C.A. Drainage Channel, thence running along the northerly boundary line of said Tract A and also along said southerly right-of-way line, 257.71 feet along the arc of a curve to the left having a radius of 1048.00 feet and a chord which bears S75°34'31"E a distance of 257.06 feet to a point of tangency; thence, S82°37'12"E a distance of 382.11 feet to a point of curvature; thence, 437.88 feet along the arc of a curve to the left having a radius of 748.00 feet and a chord which bears N80°37'01"E a distance of 431.47 feet to a point of reverse curvature; thence, 181.68 feet along the arc of a curve to the right having a radius of 340.84 feet and a chord which bears N79°06'47"E a distance of 179.53 feet to a point of compound curvature; thence, 108.27 feet along the arc of a curve to the right having a radius of 468.00 feet and a chord which bears S78°58'49"E a distance of 108.02 feet to a point on the said westerly right-of-way line of Jefferson Street N.E.; thence along said westerly right-of-way line, S41°55'46"E a distance of 546.12 feet to a point of curvature; thence, 594.68 feet along the arc of a curve to the right having a radius of 1957.00 feet and a chord which bears S33°13'26"E a distance of 592.40 feet to the point and place of beginning.

Tract contains 84.3610 acres, more or less.

DESCRIPTION

A certain tract of land situate within the Elena Gallegos Grant, in projected Sections 11 and 14, Township 11 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, being and comprising all of Tract C of the CORRECTED PLAT OF LANDS OF SISTERS OF THE ORDER OF ST. DOMINIC, Albuquerque, New Mexico as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on June 26, 1985 in Volume C27, Folio 141, and being more particularly described by New Mexico State Plane Grid bearings (Central Zone NAD 1927) and ground distances as follows:

BEGINNING at the northeasterly corner of said Tract C, a point on the southerly right-of-way line of an A.M.A.F.C.A. Drainage Channel, whence the Closing Corner of Sections 11 and 12, Township 11 North, Range 3 East, New Mexico Principal Meridian and the Northerly Boundary Line of The Elena Gallegos Grant, a standard USGLOS brass tablet having New Mexico State Plane Coordinates, Central Zone (NAD 1927) of X=399,686.45 and Y=1,528,501.63 bears N32°00'07"E, a distance of 3538.22 feet and from said point of beginning leaving said right-of-way line and running along the easterly boundary line of said Tract C, S18°18'39"W a distance of 758.71 feet to the most southerly corner of said Tract C, a point on the northeasterly right-of-way line of Jefferson Street N.E., thence running along the southwesterly boundary line of said Tract C and also along said northeasterly right-of-way line, N41°55'46"W a distance of 574.54 feet to the most westerly corner of said Tract C, a point on the southerly right-of-way line of an A.M.A.F.C.A. Drainage Channel, thence running along the northerly boundary line of said Tract C and also along said right-of-way line, N48°04'06"E a distance of 59.25 feet to a point of curvature; thence, 325.85 feet along the arc of a curve to the right having a radius of 957.01 feet and a chord which bears N57°49'24"E, a distance of 324.28 feet to a point of non-tangency; thence, S22°25'21"E a distance of 12.00 feet to a point of curvature; (non-tangent) thence, 137.03 feet along the arc of a curve to the right having a radius of 945.01 feet and a chord which bears N71°43'53"E, a distance of 136.91 feet to a point of non-tangency; thence, N14°06'52"W a distance of 12.00 feet to a point of curvature; (non-tangent) thence, 36.21 feet along the arc of a curve to the right having a radius of 957.01 feet and a chord which bears N76°58'10"E, a distance of 36.21 feet to a point of tangency; thence, N78°03'12"E a distance of 139.82 feet to the point and place of beginning.

Tract contains 4.8936 acres, more or less.



PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are ten (10) feet wide and are for the common joint use of:

- A. PNM Electric Services for the installation, maintenance, and service of underground electrical lines, transformers, and other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
- B. PNM Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- C. QWest for the installation, maintenance and service of all buried communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
- D. Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

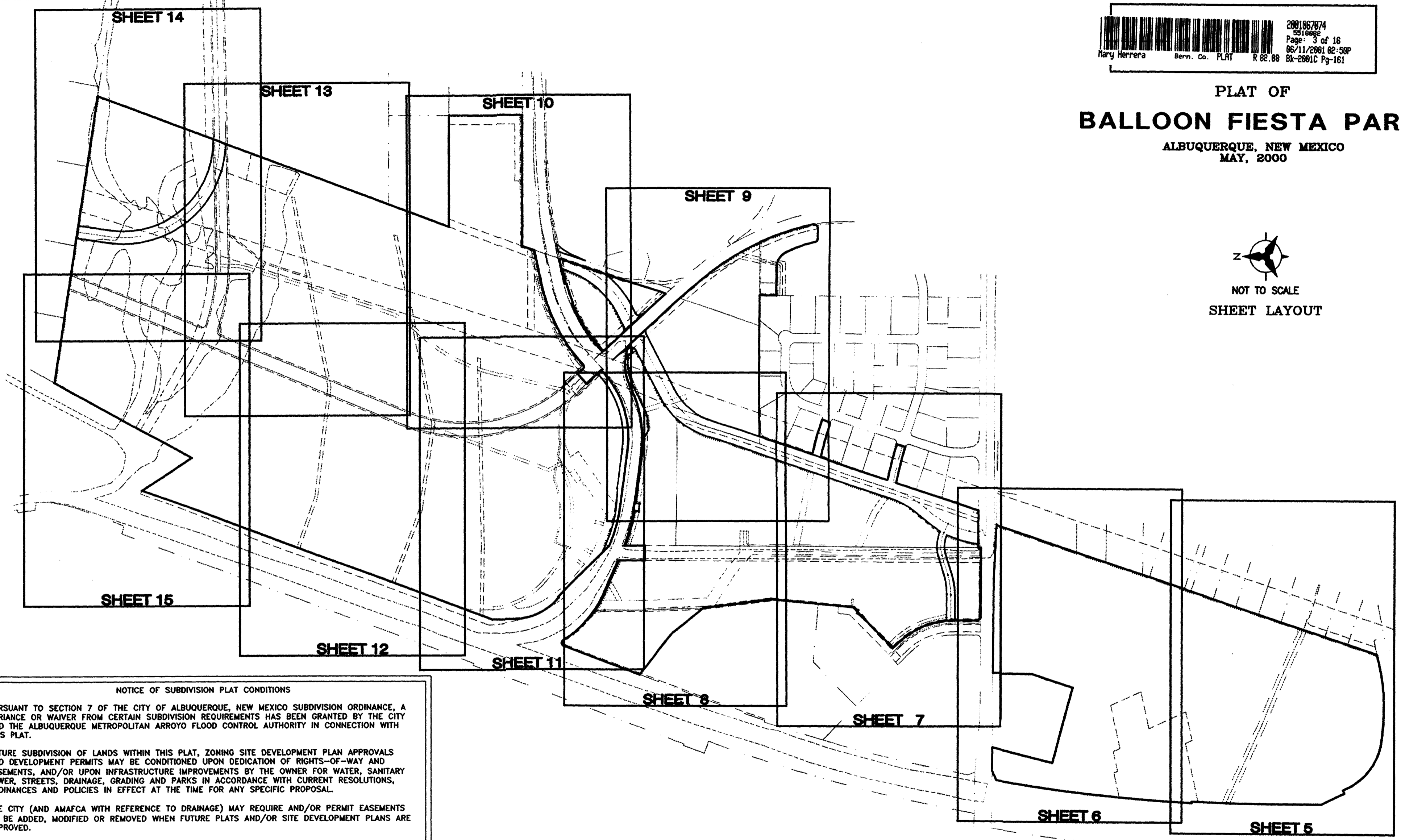
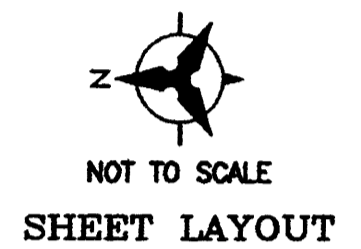
Easements for Electric Transformers/Switchgears, as installed, shall extend Ten Feet (10') in front of Transformer/Switchgear Doors and Five Feet (5') on each side.

Bohannon Huston
 Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109
 ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

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PLAT OF
BALLOON FIESTA PARK
 ALBUQUERQUE, NEW MEXICO
 MAY, 2000



NOTICE OF SUBDIVISION PLAT CONDITIONS

PURSUANT TO SECTION 7 OF THE CITY OF ALBUQUERQUE, NEW MEXICO SUBDIVISION ORDINANCE, A VARIANCE OR WAIVER FROM CERTAIN SUBDIVISION REQUIREMENTS HAS BEEN GRANTED BY THE CITY AND THE ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY IN CONNECTION WITH THIS PLAT.

FUTURE SUBDIVISION OF LANDS WITHIN THIS PLAT, ZONING SITE DEVELOPMENT PLAN APPROVALS AND DEVELOPMENT PERMITS MAY BE CONDITIONED UPON DEDICATION OF RIGHTS-OF-WAY AND EASEMENTS, AND/OR UPON INFRASTRUCTURE IMPROVEMENTS BY THE OWNER FOR WATER, SANITARY SEWER, STREETS, DRAINAGE, GRADING AND PARKS IN ACCORDANCE WITH CURRENT RESOLUTIONS, ORDINANCES AND POLICIES IN EFFECT AT THE TIME FOR ANY SPECIFIC PROPOSAL.

THE CITY (AND AMAFCA WITH REFERENCE TO DRAINAGE) MAY REQUIRE AND/OR PERMIT EASEMENTS TO BE ADDED, MODIFIED OR REMOVED WHEN FUTURE PLATS AND/OR SITE DEVELOPMENT PLANS ARE APPROVED.

BY ITS APPROVAL OF THIS SUBDIVISION THE CITY MAKES NO REPRESENTATION OR WARRANTIES AS TO AVAILABILITY OF UTILITIES, OR FINAL APPROVAL OF ALL REQUIREMENTS INCLUDING (BUT NOT LIMITED TO) THE FOLLOWING ITEMS:

- WATER AND SANITARY SEWER AVAILABILITY,
- FUTURE STREET DEDICATIONS AND/OR IMPROVEMENTS,
- PARK AND OPEN SPACE REQUIREMENTS,
- DRAINAGE REQUIREMENTS AND/OR IMPROVEMENTS,
- EXCAVATION, FILLING OR GRADING REQUIREMENTS.

ANY PERSON INTENDING DEVELOPMENT OF LANDS WITHIN SUBJECT SUBDIVISION IS CAUTIONED TO INVESTIGATE THE STATUS OF THESE ITEMS.

AT SUCH TIME AS ALL SUCH CONDITIONS HAVE BEEN SATISFACTORILY MET, THE CITY ENGINEER SHALL APPROVE A RECORDABLE DOCUMENT, REMOVING SUCH CONDITIONS FROM ALL OR FROM A PORTION OF THE AREA WITHIN THE SUBJECT SUBDIVISION.

Bohannon Huston

Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109

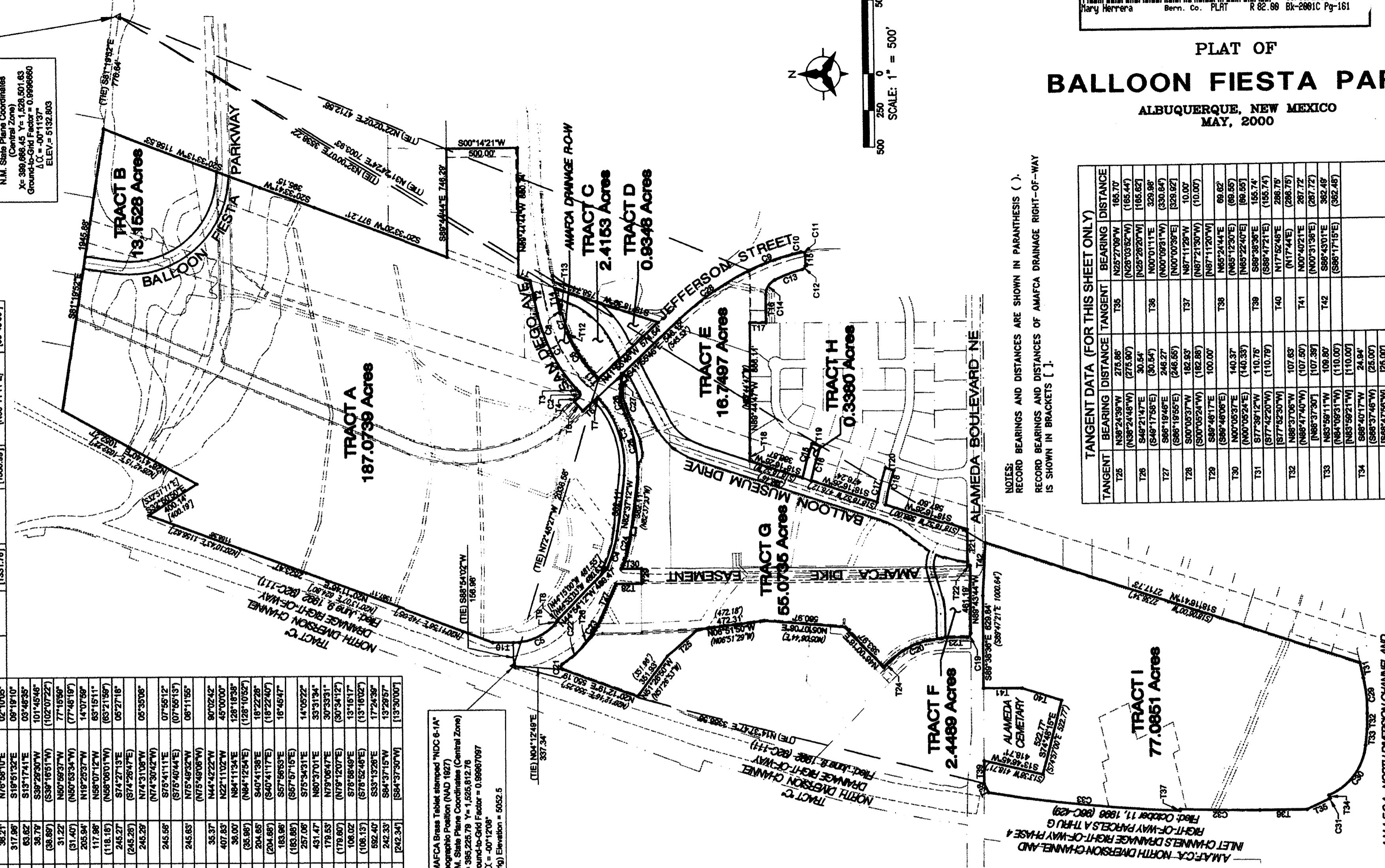
ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

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PLAT OF
BALLOON FIESTA PARK
ALBUQUERQUE, NEW MEXICO
MAY, 2000

CURVE DATA (FOR THIS SHEET ONLY)

CURVE	RADIUS	LENGTH	TANGENT	CHORD	CHORD BEARING	DELTA	CURVE RADIUS	LENGTH	TANGENT	CHORD	CHORD BEARING	DELTA
C1	1111.51'	691.66'	297.66'	576.06'	S63°03'40"W	90°00'00"	300.00'	447.07'	245.96'	425.03'	N62°35'32"W	62°47'17"
C2	25.00'	26.00'	36.27'	35.36'	N85°55'00"W	90°00'00"	300.00'	447.07'	245.96'	425.03'	N62°35'32"W	62°47'17"
C3	665.00'	663.70'	300.64'	548.48'	S72°43'31"W	49°16'30"	432.96'	9.17'	4.59'	(8.16)	(N20°45'53"W)	01°12'49"
C4	985.00'	271.51'	136.86'	270.62'	N74°28'31"W	16°17'25"	432.96'	9.17'	4.59'	(8.16)	(N20°45'53"W)	01°12'49"
C5	400.87'	349.84'	186.94'	338.85'	N24°50'47"W	90°00'00"	432.96'	9.17'	4.59'	(8.16)	(N20°45'53"W)	01°12'49"
C6	957.01'	323.66'	164.62'	324.26'	N26°20'14"W	51°02'12"	432.96'	9.17'	4.59'	(8.16)	(N20°45'53"W)	01°12'49"
C7	945.01'	137.05'	68.53'	136.91'	N57°49'24"E	18°30'31"	432.96'	9.17'	4.59'	(8.16)	(N20°45'53"W)	01°12'49"
C8	957.01'	36.21'	18.11'	36.21'	N71°43'53"E	08°16'28"	432.96'	9.17'	4.59'	(8.16)	(N20°45'53"W)	01°12'49"
C9	957.01'	318.31'	159.51'	317.99'	N76°58'10"E	02°10'05"	432.96'	9.17'	4.59'	(8.16)	(N20°45'53"W)	01°12'49"
C10	957.01'	318.31'	159.51'	317.99'	S19°51'32"E	09°19'10"	432.96'	9.17'	4.59'	(8.16)	(N20°45'53"W)	01°12'49"
C11	25.00'	44.40'	30.74'	38.79'	S39°17'14"E	05°46'35"	432.96'	9.17'	4.59'	(8.16)	(N20°45'53"W)	01°12'49"
C12	25.00'	44.40'	30.74'	38.79'	S39°17'14"E	102°07'22"	432.96'	9.17'	4.59'	(8.16)	(N20°45'53"W)	01°12'49"
C13	837.00'	204.46'	103.76'	205.94'	N60°53'34"W	(77°48'19")	432.96'	9.17'	4.59'	(8.16)	(N20°45'53"W)	01°12'49"
C14	112.50'	124.20'	69.28'	117.99'	N58°07'12"W	65°16'11"	432.96'	9.17'	4.59'	(8.16)	(N20°45'53"W)	01°12'49"
C15	2577.15'	245.37'	122.76'	245.27'	N68°09'01"W	03°21'59"	432.96'	9.17'	4.59'	(8.16)	(N20°45'53"W)	01°12'49"
C16	2577.15'	245.37'	122.76'	245.27'	S74°27'19"E	05°27'16"	432.96'	9.17'	4.59'	(8.16)	(N20°45'53"W)	01°12'49"
C17	1778.01'	245.75'	122.09'	245.56'	N74°31'08"W	05°35'06"	432.96'	9.17'	4.59'	(8.16)	(N20°45'53"W)	01°12'49"
C18	1778.01'	245.75'	122.09'	245.56'	S75°41'11"E	07°55'12"	432.96'	9.17'	4.59'	(8.16)	(N20°45'53"W)	01°12'49"
C19	1778.01'	245.75'	122.09'	245.56'	S75°40'44"E	07°55'13"	432.96'	9.17'	4.59'	(8.16)	(N20°45'53"W)	01°12'49"
C20	25.00'	26.00'	36.27'	35.36'	N75°49'05"W	06°11'56"	432.96'	9.17'	4.59'	(8.16)	(N20°45'53"W)	01°12'49"
C21	25.00'	44.40'	30.74'	38.79'	N44°42'22"W	90°02'42"	432.96'	9.17'	4.59'	(8.16)	(N20°45'53"W)	01°12'49"
C22	840.86'	205.53'	103.65'	204.65'	N22°11'02"W	40°00'00"	432.96'	9.17'	4.59'	(8.16)	(N20°45'53"W)	01°12'49"
C23	631.03'	184.62'	92.97'	183.96'	N84°11'34"E	128°16'38"	432.96'	9.17'	4.59'	(8.16)	(N20°45'53"W)	01°12'49"
C24	1048.00'	257.71'	128.51'	257.08'	N64°12'54"E	(128°10'52")	432.96'	9.17'	4.59'	(8.16)	(N20°45'53"W)	01°12'49"
C25	748.00'	437.68'	225.31'	431.47'	S40°41'17"E	19°22'40"	432.96'	9.17'	4.59'	(8.16)	(N20°45'53"W)	01°12'49"
C26	340.64'	181.68'	83.06'	179.53'	S75°56'33"E	16°46'47"	432.96'	9.17'	4.59'	(8.16)	(N20°45'53"W)	01°12'49"
C27	468.00'	105.27'	54.38'	108.02'	N79°12'07"E	(30°54'12")	432.96'	9.17'	4.59'	(8.16)	(N20°45'53"W)	01°12'49"
C28	1967.00'	564.68'	299.65'	562.40'	S75°58'49"E	13°16'17"	432.96'	9.17'	4.59'	(8.16)	(N20°45'53"W)	01°12'49"
C29	1020.92'	242.89'	122.01'	242.33'	S78°52'48"E	(13°16'02")	432.96'	9.17'	4.59'	(8.16)	(N20°45'53"W)	01°12'49"
C30	242.90'	[242.90]	[242.90]	[242.90]	S84°37'30"W	[13°30'00"]	432.96'	9.17'	4.59'	(8.16)	(N20°45'53"W)	01°12'49"



AMAFCA Brass Tablet stamped "NDC 6-1A"
Geographic Position (NAD 1927)
N.M. State Plane Coordinates (Central Zone)
X= 395,225.79 Y= 1,625,812.78
Ground-to-Grid Factor = 0.99987097
 $\Delta CC = -40''1206''$
(Tig) Elevation = 6052.5

(FOR THIS SHEET ONLY)

TANGENT	BEARING	DISTANCE
T1	S18°16'39"W	84.73'
T2	S78°04'21"W	229.85'
T3	S48°04'08"W	34.28'
T4	N41°55'45"W	44.88'
T5	S48°04'14"W	68.00'
T6	S41°56'46"E	136.34'
T7	S48°04'07"W	15.45'
T8	N48°57'57"W	9.46'
T9	S39°29'48"W	5.61'
T10	S39°09'40"W	[6.85]
T11	N00°13'57"E	[141.84]
T12	N46°04'06"E	59.25'
T13	S22°29'21"E	12.00'
T14	N14°09'52"W	12.00'
T15	N79°03'12"E	136.82'
T16	N89°37'37"W	71.63'
T17	N89°37'33"W	(71.67)
T18	N89°44'47"W	191.52'
T19	N89°45'05"W	(191.44)
T20	N00°22'23"E	115.00'
T21	N89°33'38"W	62.72'
T22	N89°45'28"W	(62.65)
T23	S18°16'39"W	60.00'
T24	S18°16'39"W	60.00'
T25	N89°37'37"W	247.51'
T26	S00°15'04"W	16.77'
T27	N00°16'59"E	167.49'
T28	N44°11'02"W	62.30'

TANGENT DATA (FOR THIS SHEET ONLY)

TANGENT	BEARING	DISTANCE	TANGENT	BEARING	DISTANCE
T25	N89°24'38"W	275.86'	T35	N25°27'09"W	185.70'
T26	N89°24'38"W	(275.90)	T36	N00°01'11"E	329.98'
T27	S48°21'41"E	(30.64)	T37	N00°00'38"E	(330.64)
T28	S48°19'46"E	248.27'	T38	N67°11'29"W	10.00'
T29	S86°19'55"E	(246.65)	T39	N67°21'30"W	(10.00)
T30	S00°05'37"W	182.83'	T40	N68°24'41"E	69.62'
T31	S00°05'24"W	(182.88)	T41	N68°24'41"E	(69.65)
T32	S89°48'17"E	100.00'	T42	N68°22'40"E	(69.55)
T33	N00°05'37"E	140.37'	T43	S68°39'36"E	(155.74)
T34	N00°05'24"E	(140.33)	T44	S68°47'21"E	(155.74)
T35	S77°42'20"W	(110.76)	T45	N17°52'48"E	208.75'
T36	S77°42'20"W	(110.78)	T46	N17°52'48"E	(208.75)
T37	N89°37'06"W	107.65'	T47	N00°40'21"E	267.72'
T38	N89°37'06"W	(107.60)	T48	N00°40'21"E	(267.72)
T39	N89°37'30"	[107.38]	T49	N89°43'01"E	362.49'
T40	N89°37'30"	[107.38]	T50	S88°17'15"E	(362.45)
T41	N89°37'30"	[107.38]	T51	S88°17'15"E	(362.45)
T42	N89°37'30"	[107.38]	T52	S88°17'15"E	(362.45)
T43	N89°37'30"	[107.38]	T53	S88°17'15"E	(362.45)
T44	N89°37'30"	[107.38]	T54	S88°17'15"E	(362.45)
T45	N89°37'30"	[107.38]	T55	S88°17'15"E	(362.45)

NOTES:
RECORD BEARINGS AND DISTANCES ARE SHOWN IN PARENTHESIS ().
RECORD BEARINGS AND DISTANCES OF AMAFCA DRAINAGE RIGHT-OF-WAY IS SHOWN IN BRACKETS [].

Bohannon Huston
Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109
ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS
JOB NO. 9935426 01

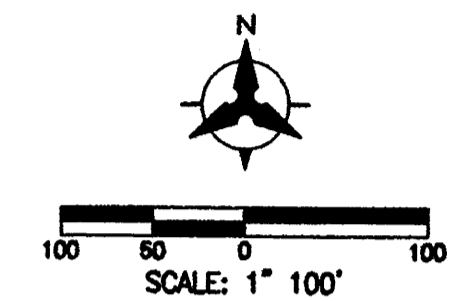
Parcel N-9-1-A, Existing Flowage Easement
 Conveyed to AMAFCA by Judgment.
 Filed: February 12, 1988 Bk. Misc. 94, Pg. 141-153
 QUITCLAIMED TO THE CITY OF ALBUQUERQUE
 FROM AMAFCA BY DOC. NO. 2001054861
 RECORDED MAY 14, 2001 IN BK. A19, PG. 3380.

Existing 10' PNM & MST&T Co.
 Underground Easement
 Filed: November 14, 1988
 Bk. Misc. 418A, Page 820
 Document No. 86111984
 10' PUBLIC UTILITY EASEMENT
 GRANTED WITH THE FILING
 OF THIS PLAT.

2881867874
 5318682
 Page: 5 of 16
 06/11/2001 02:58P
 Bk-2881C Pg-161

Hary Herrera Bern. Co. PLRT R 82.00

PLAT OF
BALLOON FIESTA PARK
 ALBUQUERQUE, NEW MEXICO
 MAY, 2000



TRACT I
 77.0851 Acres
 TRACT E

TRACT G
 AMAFCA NORTH DIVERSION CHANNEL
 (ROW VARIES)
 Filed: October 11, 1996 (96C-429)

N00°01'11"E 329.88'
 (N00°09'31"W 330.64')
 (N00°00'39"E 329.92')

N4-14-1
 N4-14-2
 N4-14-3
 N4-14-4
 N4-14-5R
 C31
 C32

License Agreement from AMAFCA to
 The City of Albuquerque for Balloon Fiesta 2000.
 Filed: May 18, 2000 Bk. AG, Page 8221
 Document No. 2000048414

TRACT G
 AMAFCA NORTH DIVERSION CHANNEL
 (ROW VARIES)
 Filed: October 11, 1996 (96C-429)

10' PUBLIC UTILITY EASEMENT
 GRANTED WITH THE FILING
 OF THIS PLAT.

50' DRAINAGE EASEMENT GRANTED TO
 THE CITY OF ALBUQUERQUE WITH THE
 FILING OF THIS PLAT.

Existing 200' PNM Easement
 Granted June 8, 1997
 Vol. D-580, Page 99
 Doc. No. 32635

Existing 45' Drainage Easement
 Filed: April 21, 1983
 (C21-44)

CLIFFORD INDUSTRIAL PARK
 FILED: APRIL 21, 1983
 (C21-44)

LEGEND	
	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	ADJOINING PROPERTY LINE
	MONUMENT TIE LINE
	EXISTING EASEMENT LINE
	NEW EASEMENT LINE
	ORIGINAL LOT LINES ELIMINATED WITH FILING OF THIS PLAT.
	CENTERLINE MONUMENT TO BE INSTALLED
	CITY OF ALBUQUERQUE SURVEY CONTROL MONUMENT
	SET 5/8" REBAR W/ 1-1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 8644"
	SET 3" DIA. AMAFCA BRASS CAP IN CONCRETE STAMPED "LS 8644"
	SET NAIL W/ 1" DIA. BRASS WASHER STAMPED "P.S. 8644"
	SET CHISELED MARK IN CONCRETE AS NOTED
	FOUND 5/8" REBAR NO CAP
	FOUND REBAR AS NOTED
	FOUND 3" DIA. AMAFCA BRASS CAP
	FOUND PINNAIL W/SURVEY WASHER
	FOUND 5/8" REBAR W/ 1-1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 8644"

Bohannon Huston

Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109

ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS



SCALE: 1" = 100'

TRACT 4
LAND OF IHS
ACQUISITION NO. 120, INC.
FILED: DECEMBER 22, 1998
(BK. 98C, PG. 358)

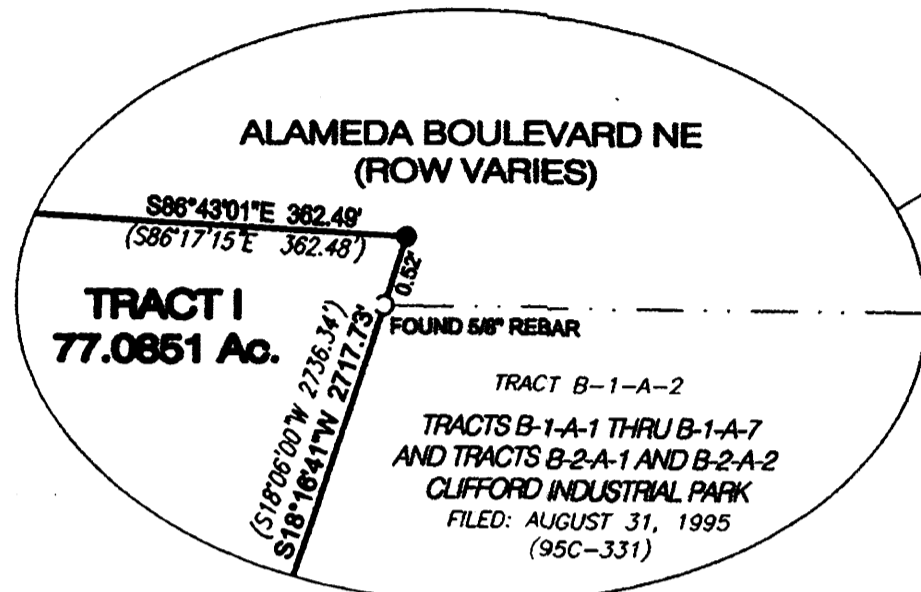
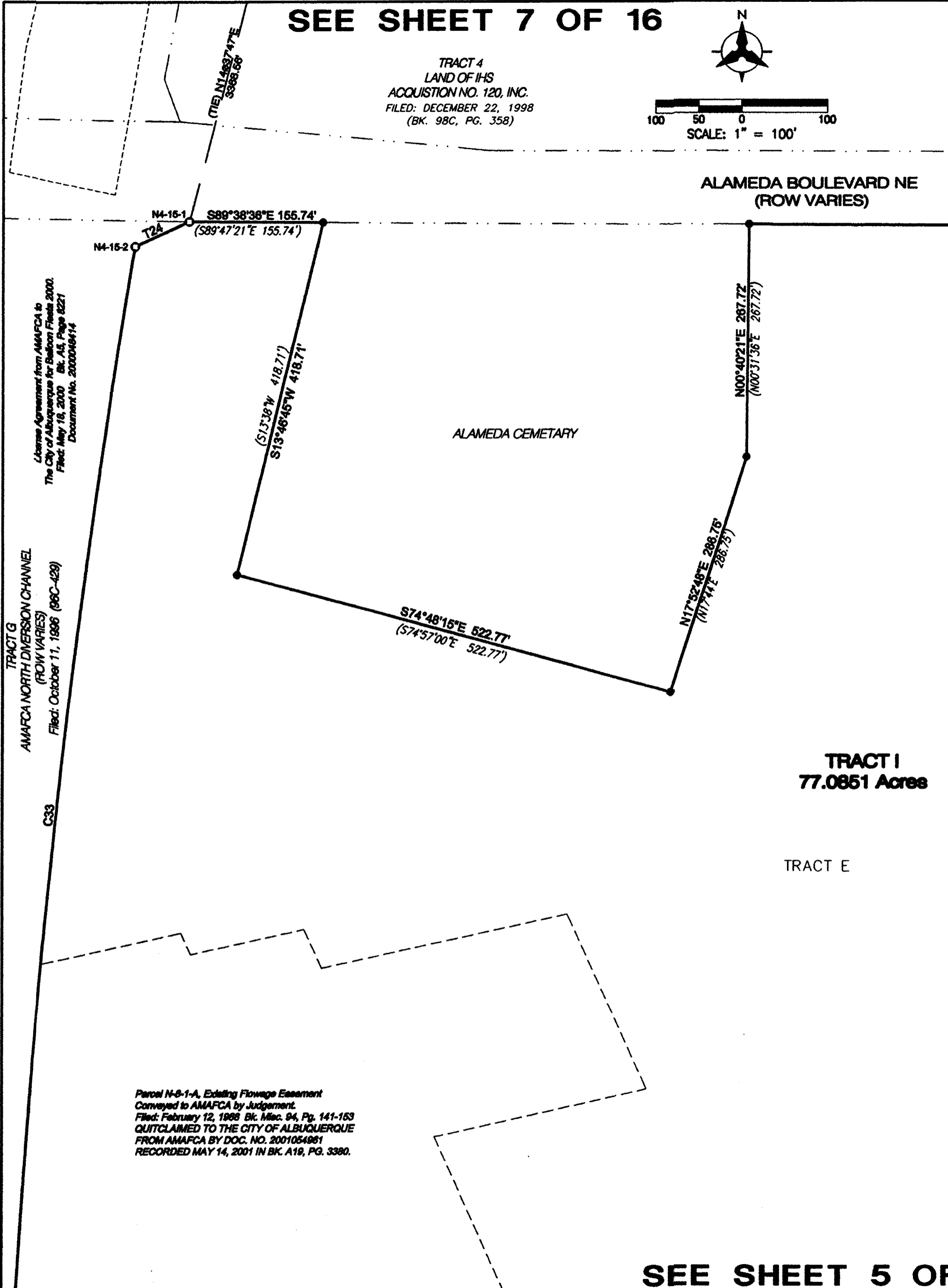
TRACT F
2.4489 Acres

Existing 10' U.S. West
Communication Easement
Filed: April 28, 1987
Bk. 97-11, Pgs. 6017-6020
Document No. 97042830
10' PUBLIC UTILITY EASEMENT
GRANTED WITH THE FILING
OF THIS PLAT.

Barcode with text: 2881867874, 5518882, Page: 6 of 16, 06/11/2000 02:58P, BK-2881C Pg-161, Mary Herrera, Bern. Co. PLRT, R 82.08

PLAT OF
BALLOON FIESTA PARK
ALBUQUERQUE, NEW MEXICO
MAY, 2000

100-Year Flood Plain as shown on Flood
Insurance Rate Map Number 38001C0128 D,
Panel 128 of 825, Revised September 28,
1989 and Map Number 38001C0136 D, Panel
136 of 825, Revised September 28, 1989.



LEGEND

—	SUBDIVISION BOUNDARY LINE
—	NEW LOT LINE
—	ADJOINING PROPERTY LINE
—	MONUMENT TIE LINE
- - -	EXISTING EASEMENT LINE
- - -	NEW EASEMENT LINE
ORIGINAL LOT LINES ELIMINATED WITH FILING OF THIS PLAT.	
▲	CENTERLINE MONUMENT TO BE INSTALLED
▲	CITY OF ALBUQUERQUE SURVEY CONTROL MONUMENT
●	SET 5/8\"/>
○	SET 3\"/>
⊙	SET NAIL W/ 1\"/>
⊗	SET CHISELED MARK IN CONCRETE AS NOTED
○	FOUND 5/8\"/>
○	FOUND REBAR AS NOTED
○	FOUND 3\"/>
○	FOUND PINNAIL W/SURVEY WASHER
○	FOUND 5/8\"/>

Bohannon Huston

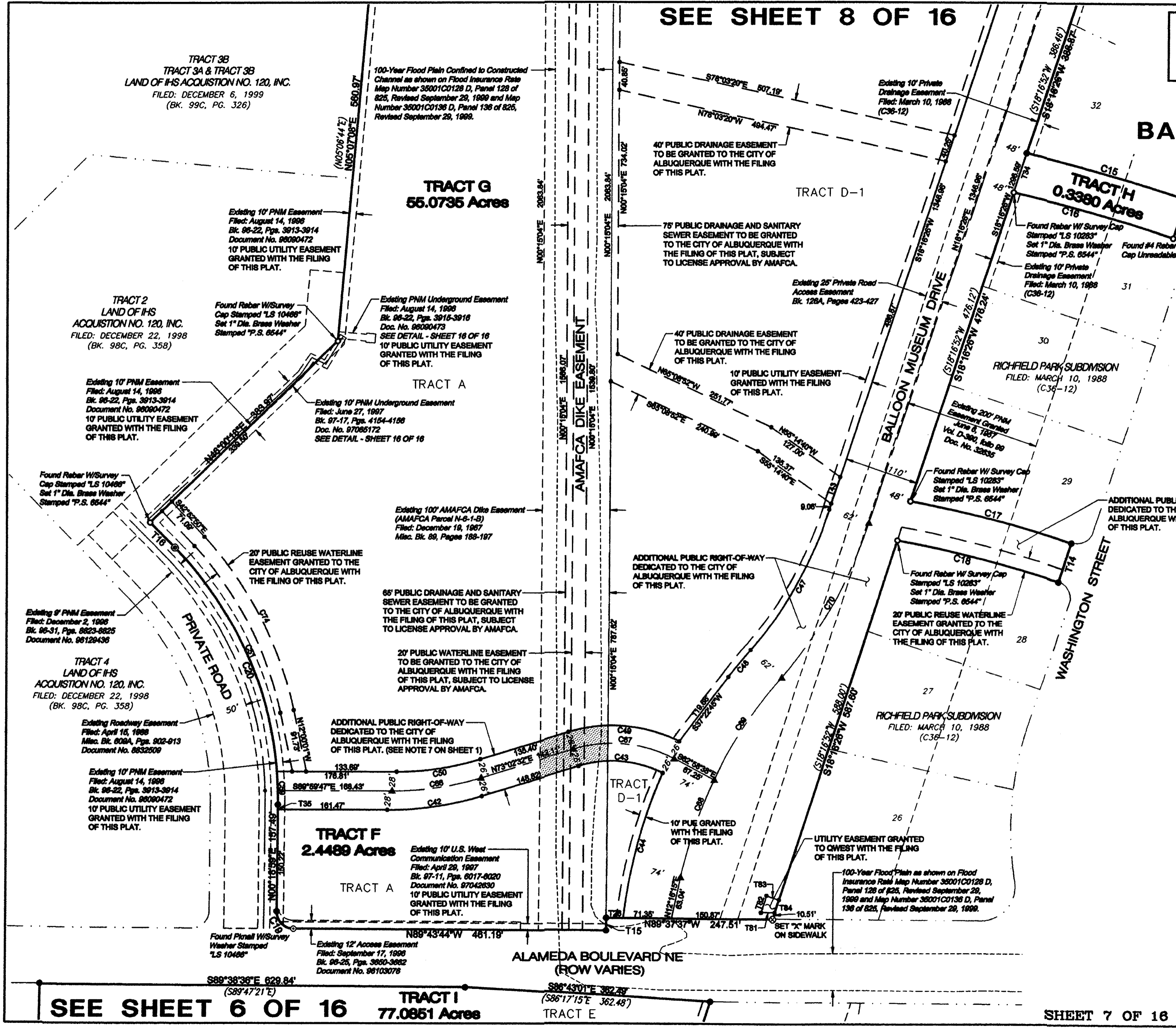
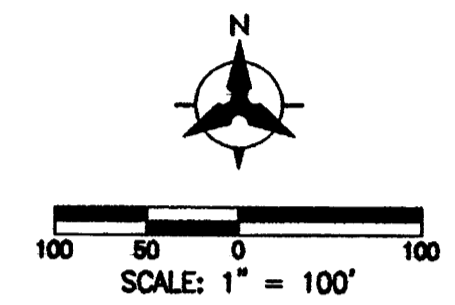
Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109

ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

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Mary Herrera Bern. Co. PLRT R 82.99

PLAT OF
BALLOON FIESTA PARK
ALBUQUERQUE, NEW MEXICO
MAY, 2000



LEGEND	
	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	ADJOINING PROPERTY LINE
	MONUMENT TIE LINE
	EXISTING EASEMENT LINE
	NEW EASEMENT LINE
	ORIGINAL LOT LINES ELIMINATED WITH FILING OF THIS PLAT.
	CENTERLINE MONUMENT TO BE INSTALLED
	CITY OF ALBUQUERQUE SURVEY CONTROL MONUMENT
	SET 5/8" REBAR W/ 1-1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 8644"
	SET 3" DIA. AMAFCA BRASS CAP IN CONCRETE STAMPED "LS 8644"
	SET NAIL W/ 1" DIA. BRASS WASHER STAMPED "P.S. 8644"
	SET CHISELED MARK IN CONCRETE AS NOTED
	FOUND 5/8" REBAR NO CAP
	FOUND REBAR AS NOTED
	FOUND 3" DIA. AMAFCA BRASS CAP
	FOUND PINNAIL W/SURVEY WASHER
	FOUND 5/8" REBAR W/ 1-1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 8644"

Bohannon Huston
 Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109
 ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

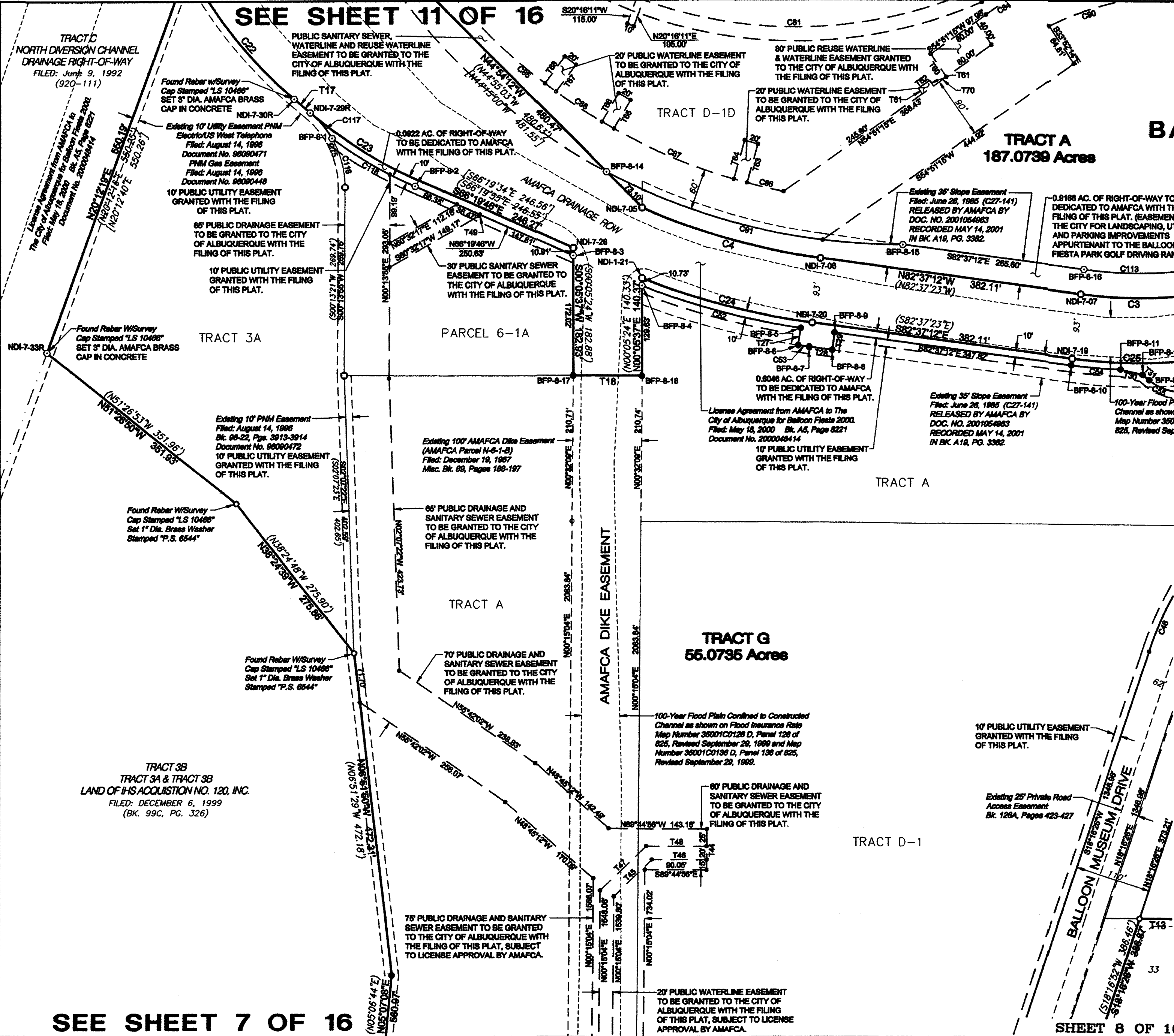
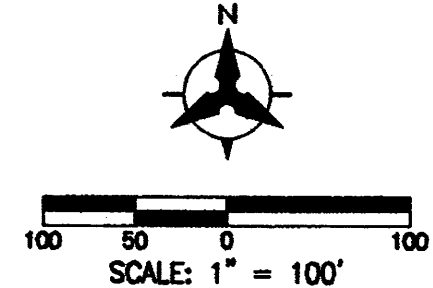
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Mary Herrera Born. Co. PLRT R 82.00 Bk-2881C Pg-161

**PLAT OF
BALLOON FIESTA PARK**

ALBUQUERQUE, NEW MEXICO
MAY, 2000



SEE SHEET 9 OF 16

LEGEND	
	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	ADJOINING PROPERTY LINE
	MONUMENT TIE LINE
	EXISTING EASEMENT LINE
	NEW EASEMENT LINE
ORIGINAL LOT LINES ELIMINATED WITH FILING OF THIS PLAT.	
	CENTERLINE MONUMENT TO BE INSTALLED
	CITY OF ALBUQUERQUE SURVEY CONTROL MONUMENT
	SET 6# REBAR W/ 1-1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 8544"
	SET 3" DIA. AMAFCA BRASS CAP IN CONCRETE STAMPED "LS 8544"
	SET NAIL W/ 1" DIA. BRASS WASHER STAMPED "P.S. 8544"
	SET CHISELED MARK IN CONCRETE AS NOTED
	FOUND 6# REBAR NO CAP
	FOUND REBAR AS NOTED
	FOUND 3" DIA. AMAFCA BRASS CAP
	FOUND PRONAL W/SURVEY WASHER
	FOUND 6# REBAR W/ 1-1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 8544"

Bohannon Huston

County Road One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109

ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

SEE SHEET 7 OF 16

SHEET 8 OF 16

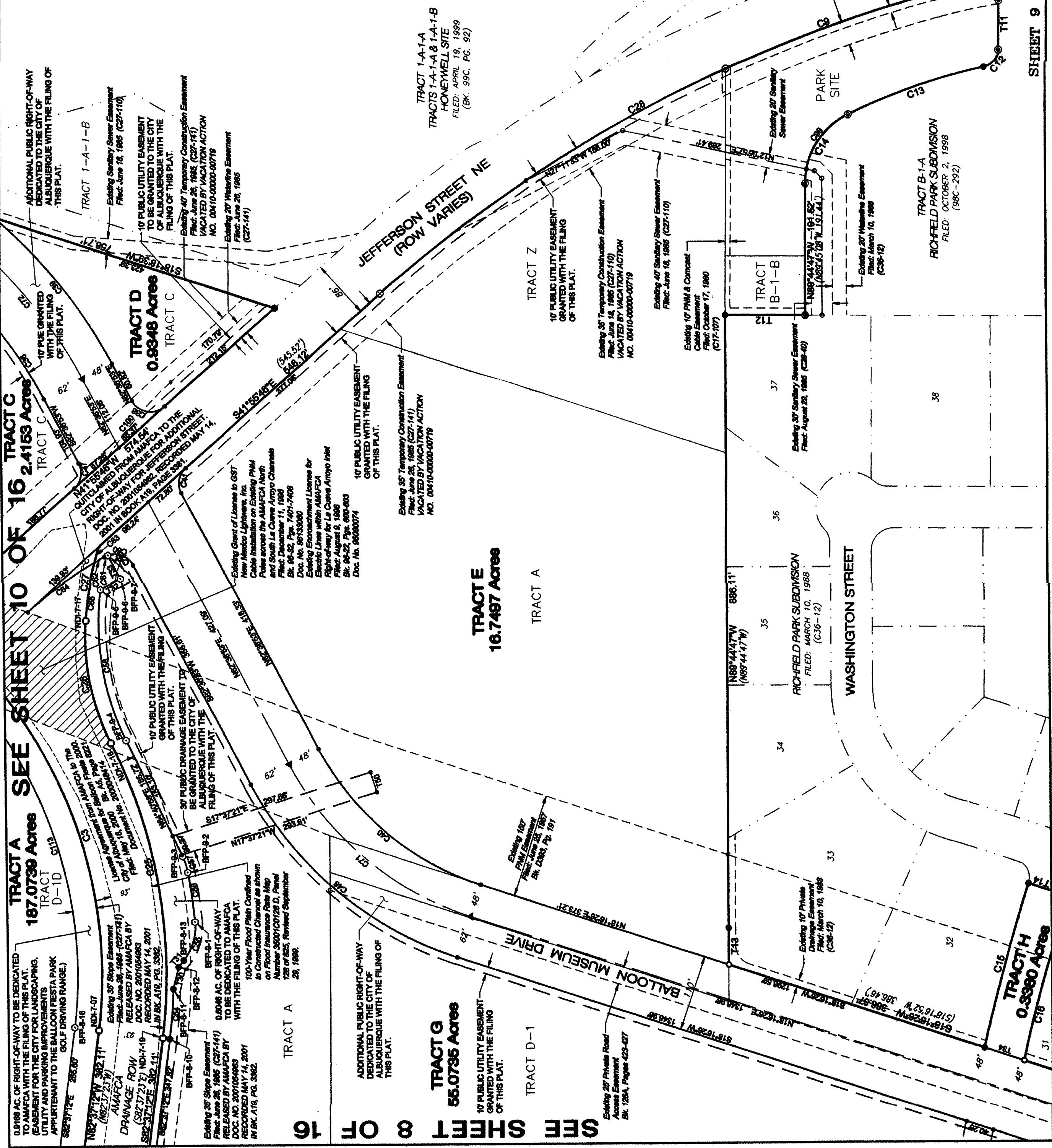
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 Mary Herrera
 Bern. Co. PLT
 R. 82. 00 Bk-28810 Pg-181

PLAT OF BALLOON FIESTA PARK

ALBUQUERQUE, NEW MEXICO
 MAY, 2000



LEGEND	
---	SUBDIVISION BOUNDARY LINE
---	NEW LOT LINE
---	ADJOINING PROPERTY LINE
---	MONUMENT TIE LINE
---	EXISTING EASEMENT LINE
---	NEW EASEMENT LINE
▲	ORIGINAL LOT LINES ELIMINATED WITH FILING OF THIS PLAT.
△	CENTERLINE MONUMENT TO BE INSTALLED
●	CITY OF ALBUQUERQUE SURVEY CONTROL MONUMENT
○	SET 60\"/>



Bolhaman Huston

County One 7500 JEFFERSON NE ALBUQUERQUE NEW MEXICO 87109

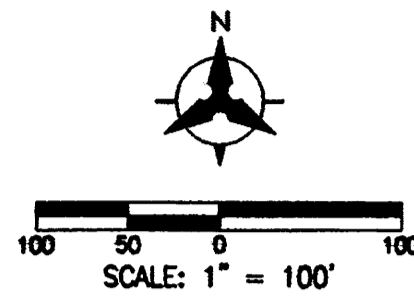
ENGINEERS PLANNERS PHOTOGRAMMETS SURVEYORS SOFTWARE DEVELOPERS

825 PULVER BLVD. SUITE 200 ALBUQUERQUE, NM 87102
 TEL: 505-263-1111 FAX: 505-263-1112
 WWW.BOLHAMANHUSTON.COM

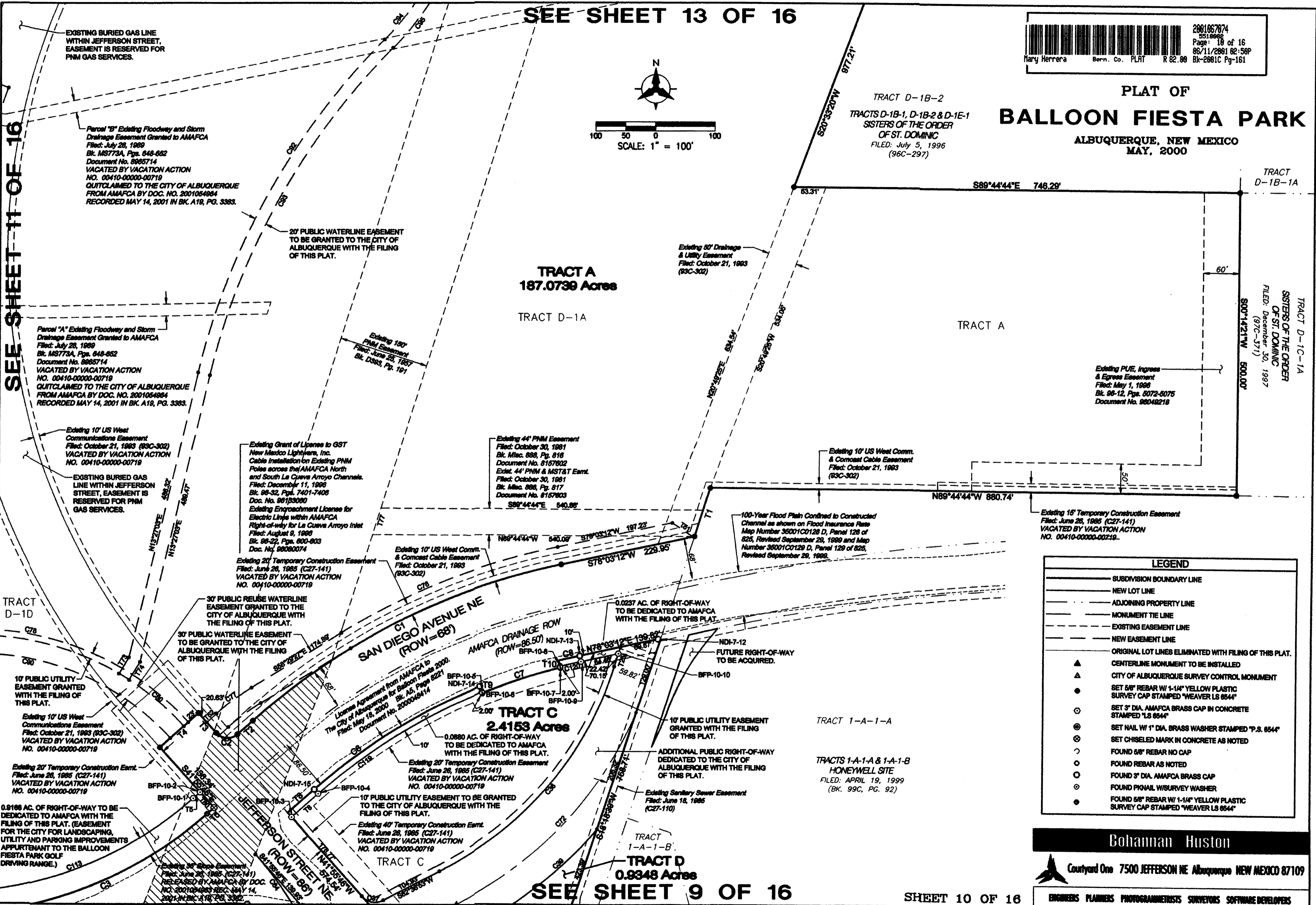
SEE SHEET 13 OF 16

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 Mary Herrera Bern. Co. PLRT R 82.88 BK-2881C Pg-161

PLAT OF
BALLOON FIESTA PARK
 ALBUQUERQUE, NEW MEXICO
 MAY, 2000



SEE SHEET 11 OF 16



LEGEND	
	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	ADJOINING PROPERTY LINE
	MONUMENT TIE LINE
	EXISTING EASEMENT LINE
	NEW EASEMENT LINE
	ORIGINAL LOT LINES ELIMINATED WITH FILING OF THIS PLAT.
	CENTERLINE MONUMENT TO BE INSTALLED
	CITY OF ALBUQUERQUE SURVEY CONTROL MONUMENT
	SET 5/8" REBAR W/ 1-1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 654"
	SET 3" DIA. AMAFCA BRASS CAP IN CONCRETE STAMPED "LS 654"
	SET NAIL W/ 1" DIA. BRASS WASHER STAMPED "P.S. 654"
	SET CHISEL MARK IN CONCRETE AS NOTED
	FOUND 5/8" REBAR NO CAP
	FOUND REBAR AS NOTED
	FOUND 3" DIA. AMAFCA BRASS CAP
	FOUND P/NAIL W/SURVEY WASHER
	FOUND 5/8" REBAR W/ 1-1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 654"

Bohannon Huston
 Courtyard One 7500 JEFFERSON NE ALBUQUERQUE NEW MEXICO 87109
 ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

SHEET 10 OF 16

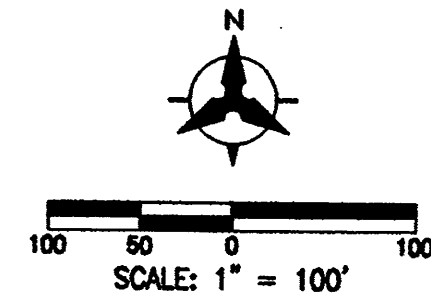
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Page 11 of 16
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Bk-2891C Pg-161

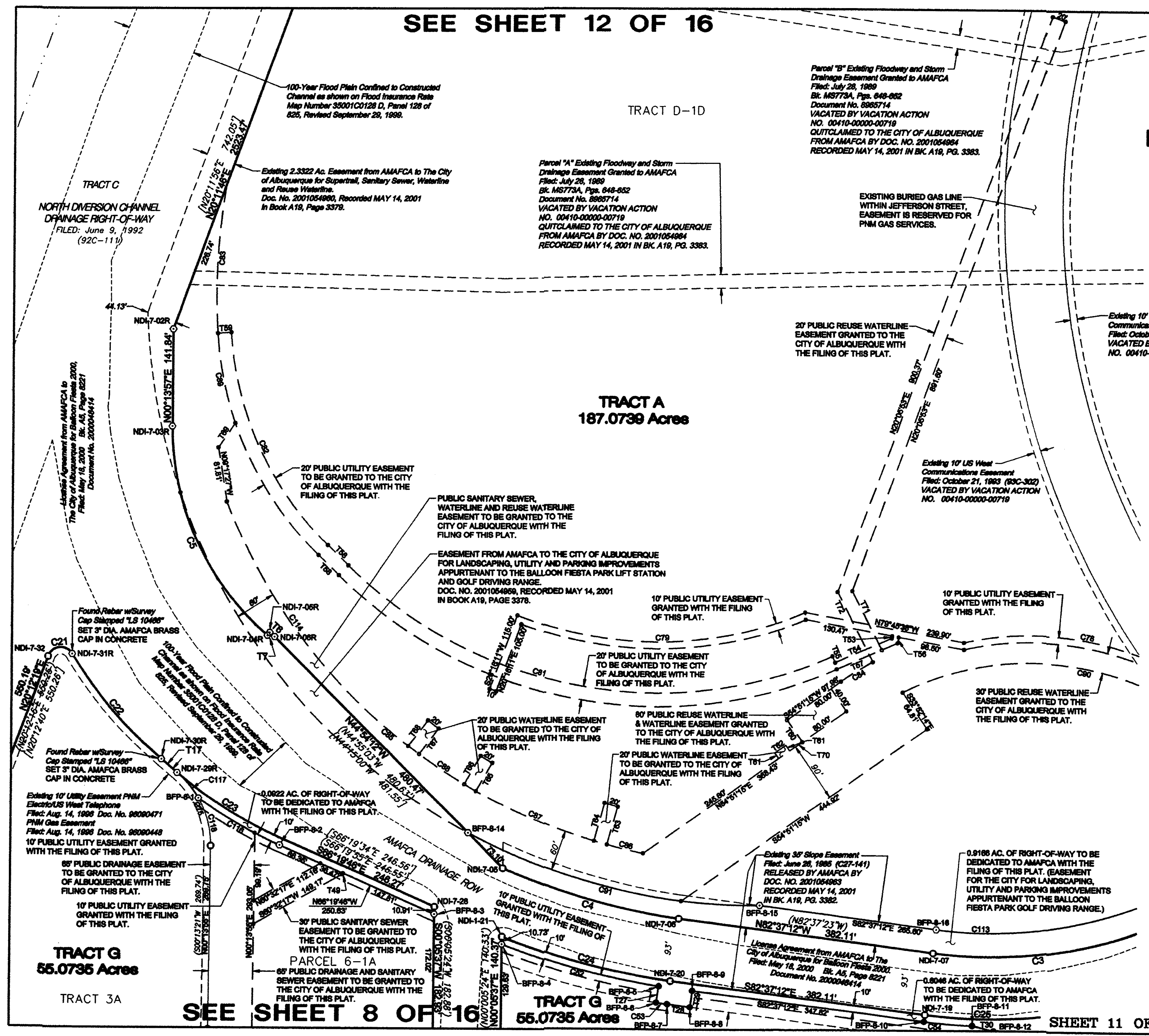
Mary Herrera Bern. Co. PLRT R 82.00

PLAT OF
BALLOON FIESTA PARK

ALBUQUERQUE, NEW MEXICO
MAY, 2000



SEE SHEET 10 OF 16



LEGEND

- SUBDIVISION BOUNDARY LINE
- NEW LOT LINE
- ADJOINING PROPERTY LINE
- MONUMENT TIE LINE
- - - EXISTING EASEMENT LINE
- NEW EASEMENT LINE
- ORIGINAL LOT LINES ELIMINATED WITH FILING OF THIS PLAT.
- ▲ CENTERLINE MONUMENT TO BE INSTALLED
- △ CITY OF ALBUQUERQUE SURVEY CONTROL MONUMENT
- SET 5/8" REBAR W/ 1-1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 8544"
- SET 3" DIA. AMAFCA BRASS CAP IN CONCRETE STAMPED "LS 8544"
- ⊙ SET NAIL W/ 1" DIA. BRASS WASHER STAMPED "P.S. 8544"
- ⊗ SET CHISELED MARK IN CONCRETE AS NOTED
- FOUND 5/8" REBAR NO CAP
- FOUND REBAR AS NOTED
- FOUND 3" DIA. AMAFCA BRASS CAP
- FOUND PNOAIL W/SURVEY WASHER
- FOUND 5/8" REBAR W/ 1-1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 8544"

Bohannon Huston

Courtyard One 7500 JEFFERSON NE ALBUQUERQUE NEW MEXICO 87109

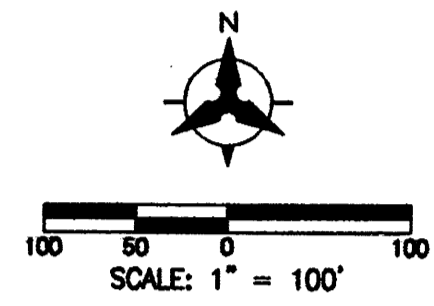
ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

SEE SHEET 15 OF 16

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Page 12 of 16
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Hary Herrera Bern. Co. PLRT R 02.00

PLAT OF
BALLOON FIESTA PARK
ALBUQUERQUE, NEW MEXICO
MAY, 2000



SEE SHEET 13 OF 16

TRACT C
NORTH DIVERSION CHANNEL
DRAINAGE RIGHT-OF-WAY
FILED: June 9, 1992
(92C-177)

Existing 2.3322 Ac. Easement from AMAFCA to The City of Albuquerque for Supertrail, Sanitary Sewer, Waterline and Reuse Waterline.
Doc. No. 2001054880, Recorded MAY 14, 2001
in Book A18, Page 337B.

100-Year Flood Plain Confined to Constructed Channel as shown on Flood Insurance Rate Map Number 35001C0128 D, Panel 128 of 625, Revised September 29, 1998.
DRAINAGE EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT.

License Agreement from AMAFCA to The City of Albuquerque for Balloon Fiesta 2000
Filed: May 18, 2000 Bk. 215 Page 8221
Document No. 2000080814

Parcel "C" Existing Floodway and Storm Drainage Easement Granted to AMAFCA
Filed: July 28, 1989
Bk. MS773A, Pgs. 648-652
Document No. 8985714
VACATED BY VACATION ACTION NO. 00410-00000-00719
QUITCLAIMED TO THE CITY OF ALBUQUERQUE FROM AMAFCA BY DOC. NO. 2001054884
RECORDED MAY 14, 2001 IN BK. A18, PG. 3383.

Existing 10' US West Communications Easement
Filed: October 21, 1993 (93C-302)
VACATED BY VACATION ACTION NO. 00410-00000-00719

100-Year Flood Plain Confined to Constructed Channel as shown on Flood Insurance Rate Map Number 35001C0128 D, Panel 128 of 625, Revised September 29, 1998.

TRACT A
187.0739 Acres

EXISTING BURIED GAS LINE WITHIN JEFFERSON STREET. EASEMENT IS RESERVED FOR PNM GAS SERVICES.

JEFFERSON STREET NE
(ROW TO BE VACATED BY VACATION ACTION NO. 00410-00000-00717)

TRACT D-1A

TRACT D-1D

Parcel "B" Existing Floodway and Storm Drainage Easement Granted to AMAFCA
Filed: July 28, 1989
Bk. MS773A, Pgs. 648-652
Document No. 8985714
VACATED BY VACATION ACTION NO. 00410-00000-00719
QUITCLAIMED TO THE CITY OF ALBUQUERQUE FROM AMAFCA BY DOC. NO. 2001054884
RECORDED MAY 14, 2001 IN BK. A18, PG. 3383.

Existing 10' US West Communications Easement
Filed: October 21, 1993 (93C-302)
VACATED BY VACATION ACTION NO. 00410-00000-00719

20' PUBLIC REUSE WATERLINE EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT.

LEGEND	
	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	ADJOINING PROPERTY LINE
	MONUMENT TIE LINE
	EXISTING EASEMENT LINE
	NEW EASEMENT LINE
ORIGINAL LOT LINES ELIMINATED WITH FILING OF THIS PLAT.	
	CENTERLINE MONUMENT TO BE INSTALLED
	CITY OF ALBUQUERQUE SURVEY CONTROL MONUMENT
	SET 6/8" REBAR W/ 1-1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"
	SET 3" DIA. AMAFCA BRASS CAP IN CONCRETE STAMPED "LS 6544"
	SET NAIL W/ 1" DIA. BRASS WASHER STAMPED "P.S. 6544"
	SET CHISELED MARK IN CONCRETE AS NOTED
	FOUND 6/8" REBAR NO CAP
	FOUND REBAR AS NOTED
	FOUND 3" DIA. AMAFCA BRASS CAP
	FOUND P/NAIL W/SURVEY WASHER
	FOUND 6/8" REBAR W/ 1-1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"

SEE SHEET 11 OF 16

SHEET 12 OF 16

Bohannon Huston
 Courtyard One 7500 JEFFERSON NE ALBUQUERQUE NEW MEXICO 87109
 ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

SEE SHEET
14 OF 16

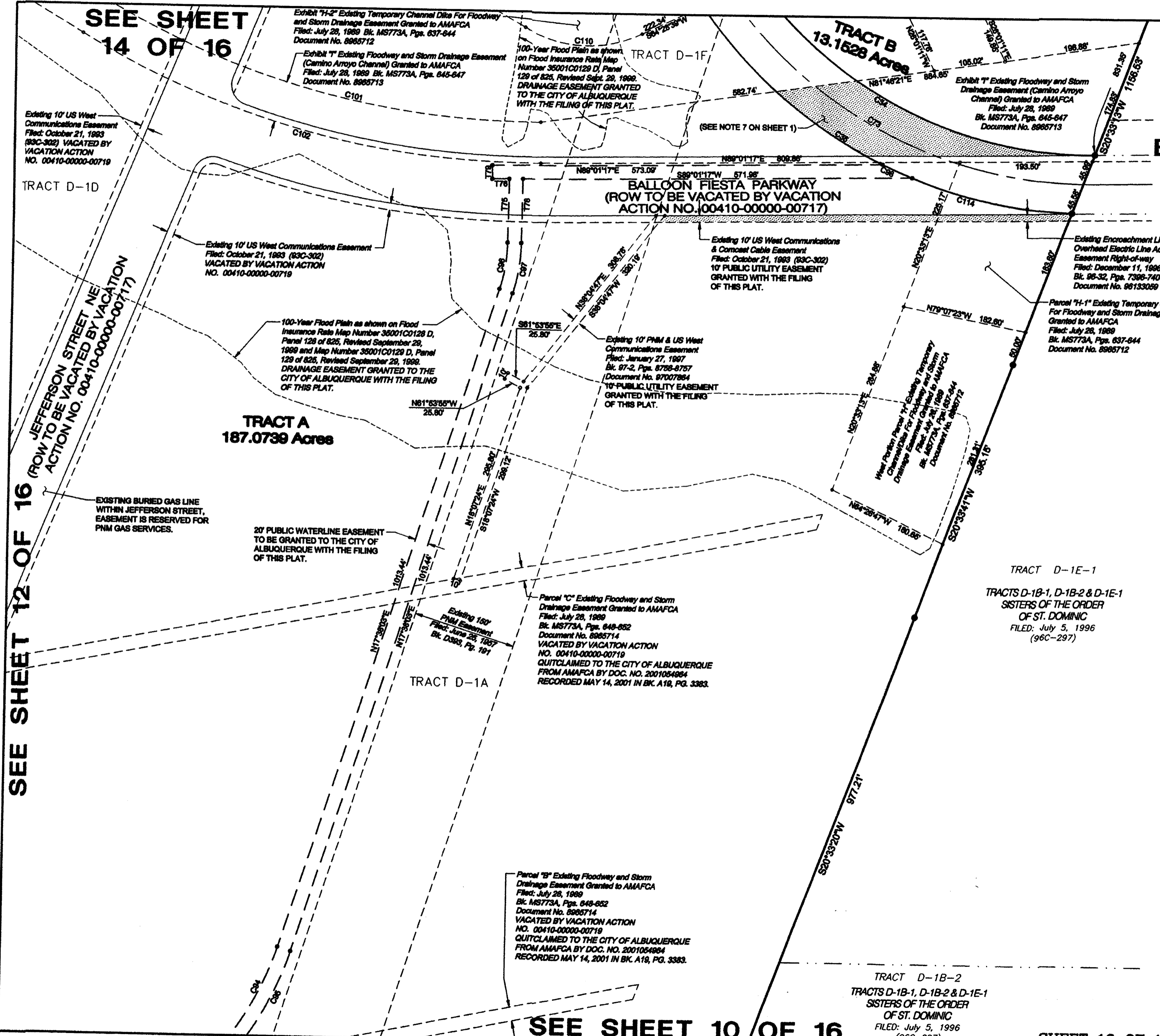
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Document No. 8965713

PLAT OF
BALLOON FIESTA PARK

ALBUQUERQUE, NEW MEXICO
MAY, 2000



SCALE: 1" = 100'



SEE SHEET 12 OF 16
JEFFERSON STREET NE
(ROW TO BE VACATED BY VACATION
ACTION NO. 00410-00000-00717)

TRACT A
187.0739 Acres

TRACT B
13.1528 Acres

SEE SHEET 10 OF 16

SHEET 13 OF 16

LEGEND	
	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	ADJOINING PROPERTY LINE
	MONUMENT LINE
	EXISTING EASEMENT LINE
	NEW EASEMENT LINE
ORIGINAL LOT LINES ELIMINATED WITH FILING OF THIS PLAT.	
	CENTERLINE MONUMENT TO BE INSTALLED
	CITY OF ALBUQUERQUE SURVEY CONTROL MONUMENT
	SET 5/8" REBAR W/ 1-1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 8644"
	SET 3" DIA. AMAFCA BRASS CAP IN CONCRETE STAMPED "LS 8644"
	SET NAIL W/ 1" DIA. BRASS WASHER STAMPED "P.S. 8644"
	SET CHISELED MARK IN CONCRETE AS NOTED
	FOUND 5/8" REBAR NO CAP
	FOUND REBAR AS NOTED
	FOUND 3" DIA. AMAFCA BRASS CAP
	FOUND P/NAIL W/SURVEY WASHER
	FOUND 5/8" REBAR W/ 1-1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 8644"

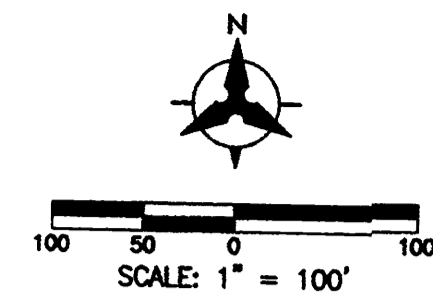
Behrman Huston
Court yard One 7500 JEFFERSON NE ALBUQUERQUE NEW MEXICO 87109

ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

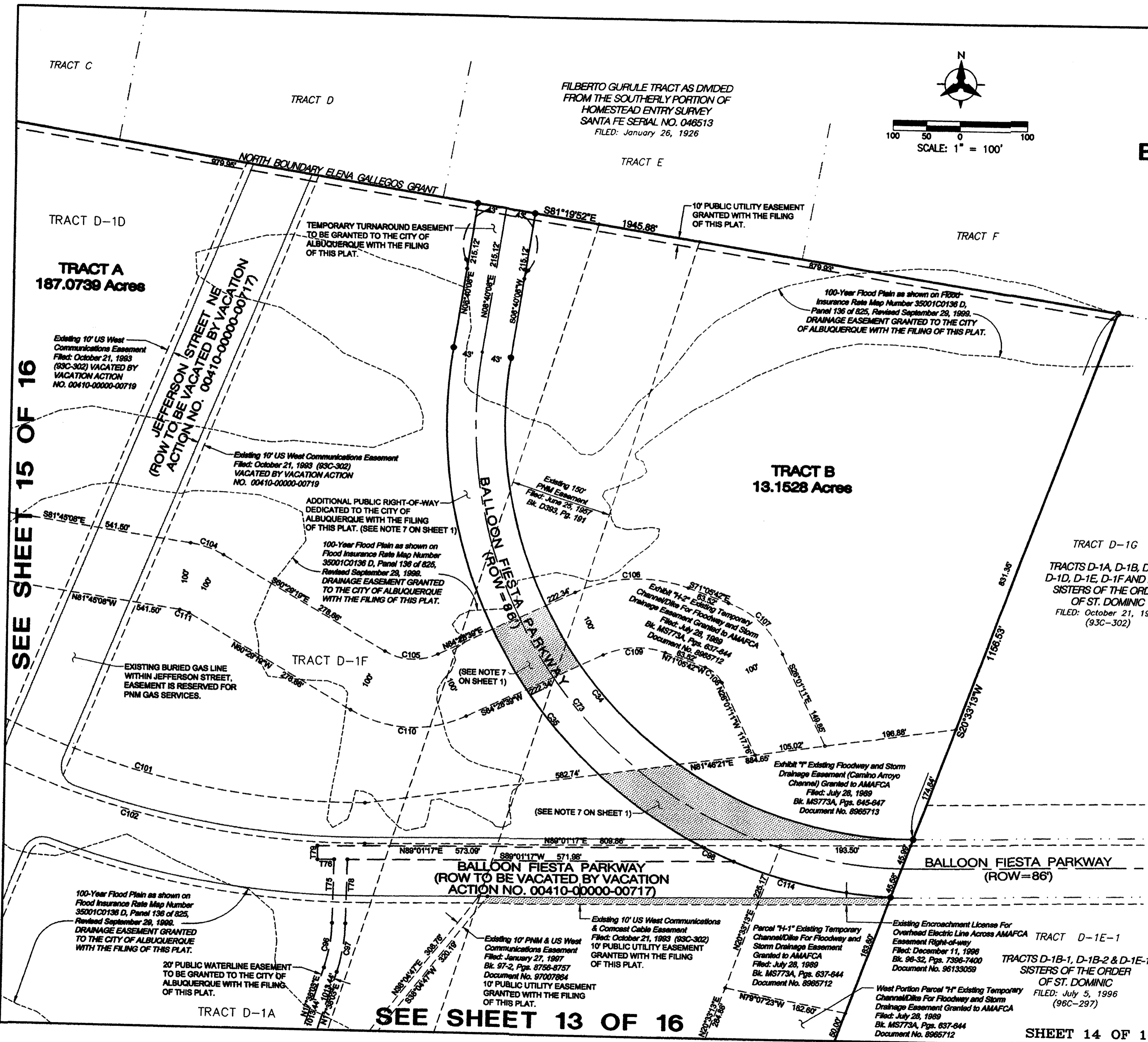
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PLAT OF BALLOON FIESTA PARK

ALBUQUERQUE, NEW MEXICO
MAY, 2000



FILBERTO GURULE TRACT AS DIVIDED
FROM THE SOUTHERLY PORTION OF
HOMESTEAD ENTRY SURVEY
SANTA FE SERIAL NO. 046513
FILED: January 26, 1926



LEGEND	
	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	ADJOINING PROPERTY LINE
	MONUMENT TIE LINE
	EXISTING EASEMENT LINE
	NEW EASEMENT LINE
	ORIGINAL LOT LINES ELIMINATED WITH FILING OF THIS PLAT.
	CENTERLINE MONUMENT TO BE INSTALLED
	CITY OF ALBUQUERQUE SURVEY CONTROL MONUMENT
	SET 5/8" REBAR W/ 1-1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"
	SET 3" DIA. AMAFCA BRASS CAP IN CONCRETE STAMPED "LS 6544"
	SET NAIL W/ 1" DIA. BRASS WASHER STAMPED "P.S. 6544"
	SET CHISELED MARK IN CONCRETE AS NOTED
	FOUND 5/8" REBAR NO CAP
	FOUND REBAR AS NOTED
	FOUND 3" DIA. AMAFCA BRASS CAP
	FOUND PKNAIL W/SURVEY WASHER
	FOUND 5/8" REBAR W/ 1-1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"

USGLOS CAP
CLOSING CORNER

1921
T11N R3E
S11 S12
C/C
ELENA
GALLEGOS
GRANT

Geographic Position (NAD 1927)
N.M. State Plane Coordinates
(Central Zone)
X= 399,886.45 Y= 1,528,501.63
Ground-to-Grid Factor = 0.9999860
ΔCC = -0°11'37"
ELEV. = 5132.803

SEE SHEET 15 OF 16

SEE SHEET 13 OF 16

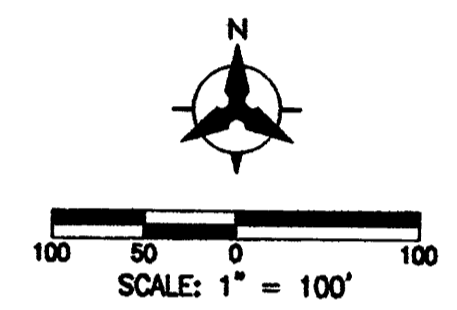
SHEET 14 OF 16

Bohannon Huston
Court yard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109
ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

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Page: 15 of 16
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PLAT OF
BALLOON FIESTA PARK
ALBUQUERQUE, NEW MEXICO
MAY, 2000



SEE SHEET 14 OF 16

LEGEND	
	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	ADJOINING PROPERTY LINE
	MONUMENT TIE LINE
	EXISTING EASEMENT LINE
	NEW EASEMENT LINE
	ORIGINAL LOT LINES ELIMINATED WITH FILING OF THIS PLAT.
	CENTERLINE MONUMENT TO BE INSTALLED
	CITY OF ALBUQUERQUE SURVEY CONTROL MONUMENT
	SET 5/8" REBAR W/ 1-1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6644"
	SET 3" DIA. AMAFCA BRASS CAP IN CONCRETE STAMPED "LS 6644"
	SET NAIL W/ 1" DIA. BRASS WASHER STAMPED "P.S. 6644"
	SET CHISELED MARK IN CONCRETE AS NOTED
	FOUND 5/8" REBAR NO CAP
	FOUND REBAR AS NOTED
	FOUND 3" DIA. AMAFCA BRASS CAP
	FOUND PKNAIL W/SURVEY WASHER
	FOUND 5/8" REBAR W/ 1-1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6644"

Bohannon Huston
 Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109
 ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

License Agreement from AMAFCA to
The City of Albuquerque for Balloon Fiesta 2000.
Filed: May 18, 2000 Bk. A5, Page 8221
Document No. 2000048414

TRACT C
NORTH DIVERSION CHANNEL
DRAINAGE RIGHT-OF-WAY
FILED: June 9, 1992
(92C-111)

FILBERTO GURULE TRACT AS DIVIDED
FROM THE SOUTHERLY PORTION OF
HOMESTEAD ENTRY SURVEY
SANTA FE SERIAL NO. 046513
FILED: January 26, 1926

TRACT A
187.0739 Acres

100-Year Flood Plain as shown on
Flood Insurance Rate Map Number
35001C0129 D, Panel 129 of 825,
Revised September 28, 1989.
DRAINAGE EASEMENT GRANTED
TO THE CITY OF ALBUQUERQUE
WITH THE FILING OF THIS PLAT.

100-Year Flood Plain Confined to Constructed
Channel as shown on Flood Insurance Rate
Map Number 35001C0129 D, Panel 129 of
825, Revised September 28, 1989.
DRAINAGE EASEMENT GRANTED TO THE
CITY OF ALBUQUERQUE WITH THE
FILING OF THIS PLAT.

100-Year Flood Plain as shown on Flood
Insurance Rate Map Number 35001C0129 D,
Panel 129 of 825, Revised September 28,
1989 and Map Number 35001C0129 D, Panel
129 of 825, Revised September 28, 1989.
DRAINAGE EASEMENT GRANTED TO THE
CITY OF ALBUQUERQUE WITH THE FILING
OF THIS PLAT.

Existing 10' US West Communications Easement
Filed: October 21, 1983 (93C-302)
VACATED BY VACATION ACTION
NO. 00410-00000-00719

Exhibit "A" Existing Temporary Channel/Dike
For Floodway and Storm Drainage
Easement Granted to AMAFCA
Filed: July 29, 1989
Bk. MS773A, Pgs. 637-644
Document No. 8965712

Existing 10' US West
Communications Easement
Filed: October 21, 1983
(93C-302) VACATED BY
VACATION ACTION
NO. 00410-00000-00719

100-Year Flood Plain as shown on Flood
Insurance Rate Map Number 35001C0129 D,
Panel 129 of 825, Revised September 28,
1989 and Map Number 35001C0129 D, Panel
129 of 825, Revised September 28, 1989.
DRAINAGE EASEMENT GRANTED TO THE
CITY OF ALBUQUERQUE WITH THE FILING
OF THIS PLAT.

Exhibit "T" Existing Floodway and Storm
Drainage Easement (Camino Arroyo
Channel) Granted to AMAFCA
Filed: July 28, 1989
Bk. MS773A, Pgs. 645-647
Document No. 8965713

Existing 2.3322 Ac. Easement from AMAFCA to The City
of Albuquerque for Supertrail, Sanitary Sewer, Waterline
and Reuse Waterline.
Doc. No. 2001054980, Recorded May 14, 2001
in Book A18, Page 3372.

BALLOON FIESTA PARKWAY
(ROW TO BE VACATED BY VACATION
ACTION NO. 00410-00000-00717)

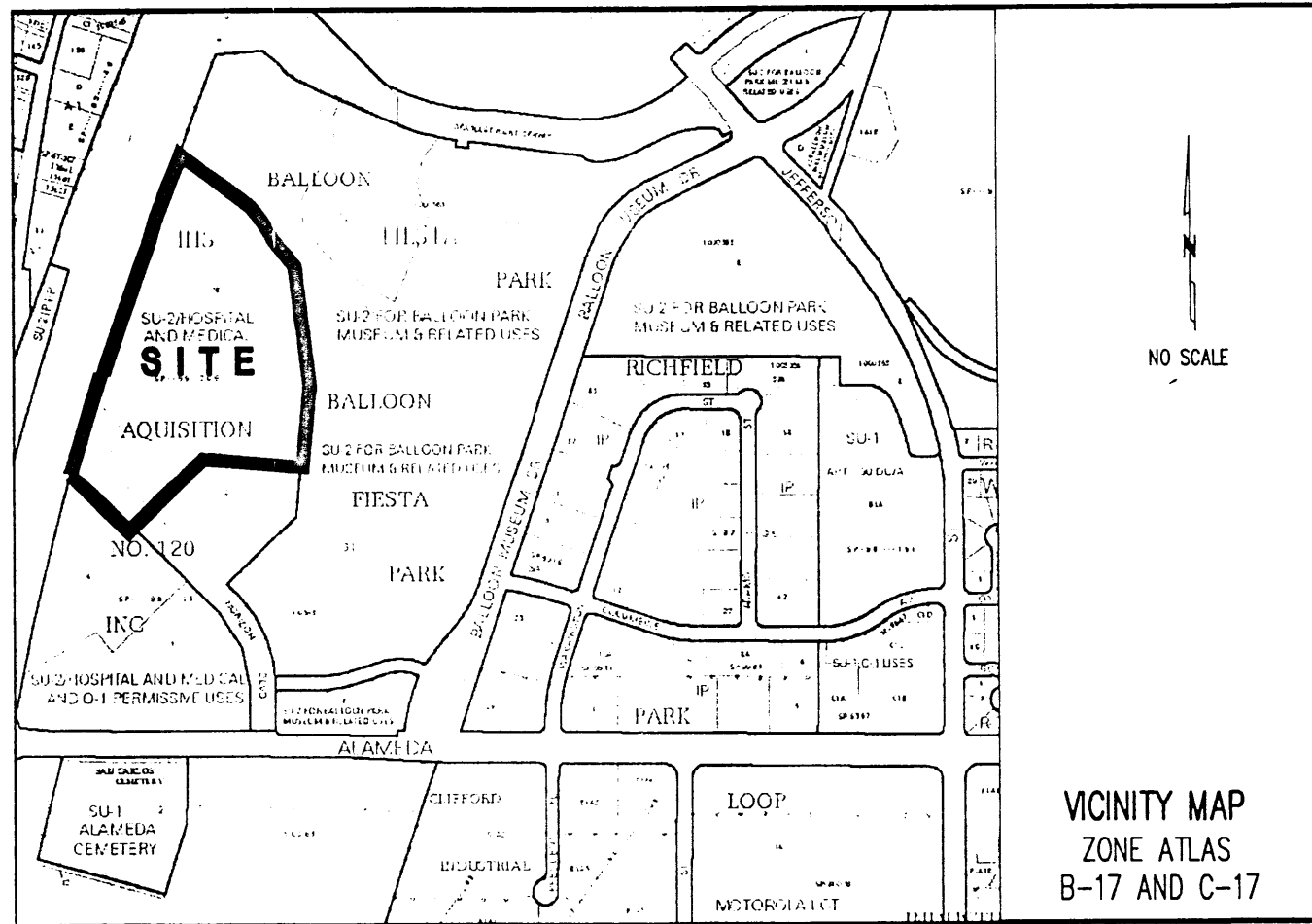
Existing 10' US West Communications Easement
Filed: October 21, 1983 (93C-302)
VACATED BY VACATION ACTION
NO. 00410-00000-00719

EXISTING BURIED GAS LINE
WITHIN JEFFERSON STREET,
EASEMENT IS RESERVED FOR
PNM GAS SERVICES.

SEE SHEET 12 OF 16

SHEET 15 OF 16

CURVE DATA													TANGENT DATA			
CURVE	ARC	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA	CURVE	ARC	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA	TANGENT	BEARING	DISTANCE
C1	581.88'	1111.51'	297.88'	575.06'	S63°03'40"W	29°59'04"	C46	396.23'	512.00'	208.63'	386.42'	S40°26'40"W	44°20'27"	T1	S18°18'39"W	84.79'
C2	39.27'	25.00'	25.00'	35.38'	N86°55'50"W	90°00'08"	C47	238.79'	588.00'	121.06'	237.15'	S29°54'28"W	23°18'04"	T2	S48°04'06"W	34.25'
C3	563.70'	655.00'	300.64'	546.46'	S72°43'31"W	49°18'34"	C48	51.73'	712.00'	25.87'	51.71'	S39°27'38"W	04°09'45"	T3	N41°55'46"W	44.98'
	(563.69')		(300.63')	(546.45')	(S72°43'22"W)	(49°18'30")	C49	168.63'	226.00'	88.46'	164.74'	S85°34'57"E	42°45'01"	T4	S48°04'14"W	86.00'
C4	271.51'	955.00'	136.88'	270.60'	N74°28'31"W	16°17'23"	C50	125.22'	423.00'	63.07'	124.78'	N81°31'22"E	16°57'41"	T5	S48°04'14"W	15.45'
	(271.54')		(136.89')	(270.62')	(N74°28'39"W)	(16°17'28")	C51	369.71'	532.85'	192.64'	362.34'	N24°48'25"W	39°45'13"			(15.29')
C5	349.84'	400.87'	186.94'	338.85'	N24°50'47"W	50°00'10"	C52	240.47'	1058.00'	120.78'	239.95'	S75°15'14"E	13°01'21"	T6	N48°57'57"W	9.48'
	[357.08']		[191.36']	[345.39']	[N28°20'14"W]	[51°02'12"]	C53	16.16'	1083.00'	8.08'	16.16'	S82°11'33"E	00°51'18"	T7	S39°28'46"W	5.61'
C6	325.85'	957.01'	164.52'	324.28'	N57°49'24"E	19°30'31"	C54	72.15'	758.00'	36.10'	72.13'	S85°20'49"E	05°27'14"	T8	N48°04'06"E	59.25'
C7	137.03'	945.00'	68.63'	136.91'	N71°43'53"E	08°18'28"	C55	59.45'	77.50'	31.27'	58.00'	S73°10'58"E	43°56'57"	T9	S22°25'21"E	12.00'
C8	36.21'	957.01'	18.11'	36.21'	N76°58'10"E	02°10'05"	C56	72.09'	793.00'	36.07'	72.06'	N82°14'18"E	05°12'30"	T10	N14°06'52"W	12.00'
C9	318.31'	1957.00'	159.51'	317.96'	S18°51'32"E	08°19'10"	C57	24.14'	92.50'	12.14'	24.07'	N72°09'30"E	14°57'05"	T11	N89°37'37"W	71.63'
C10	63.63'	957.00'	31.83'	63.62'	S13°17'41"E	03°48'35"	C58	222.82'	390.00'	114.55'	219.81'	N81°03'02"E	32°44'09"		(N89°37'33"W)	(71.57')
C11	44.40'	25.00'	30.74'	38.78'	S39°29'30"W	101°45'46"	C59	48.79'	532.85'	24.41'	48.78'	N02°18'25"W	05°14'48"	T12	N00°22'23"E	115.00'
	(44.58')		(30.94')	(38.89')	(S39°16'51"W)	(102°07'22")	C60	47.88'	30.00'	30.75'	42.94'	N16°54'37"E	91°24'33"		(N00°22'26"E)	(114.96')
C12	33.71'	25.00'	19.98'	31.22'	N50°58'37"W	77°15'58"	C61	5.78'	30.00'	2.89'	5.75'	S23°17'34"E	11°00'11"	T13	N89°33'35"W	52.72'
	(33.95')		(20.17')	(31.40')	(N50°53'34"W)	(77°48'18")	C62	16.57'	607.98'	8.29'	16.57'	N29°34'31"W	01°33'43"		(N89°45'28"W)	(52.68')
C13	208.48'	837.00'	103.76'	205.94'	N19°25'37"W	14°07'59"	C63	23.41'	468.00'	11.71'	23.41'	S73°47'09"E	02°51'57"	T14	S18°18'26"W	60.00'
					(N19°25'24"W)		C64	119.88'	607.98'	60.14'	119.89'	N36°00'18"W	11°17'51"		(S18°16'52"W)	
C14	124.20'	112.50'	69.28'	117.98'	N58°07'12"W	63°15'11"	C65	84.86'	468.00'	42.55'	84.74'	S80°24'48"E	10°23'20"	T15	S00°15'04"W	18.77'
	(124.42')		(69.44')	(118.18')	(N58°06'01"W)	(63°21'59")	C66	133.21'	460.00'	67.10'	132.73'	N81°31'22"E	16°57'41"	T16	N44°41'02"W	52.30'
C15	245.37'	2577.15'	122.78'	245.27'	S74°27'13"E	05°27'18"	C67	153.52'	200.00'	80.77'	149.78'	S84°58'03"E	43°58'49"	T17	S49°21'47"E	30.54'
			(245.28')	(S74°26'47"E)			C68	151.67'	650.00'	76.18'	151.33'	N18°57'20"E	13°22'09"		[S49°48'21"E]	[31.32']
C16	245.39'	2517.15'	122.78'	245.28'	N74°31'08"W	05°35'08"	C69	180.40'	650.00'	90.78'	179.82'	N33°35'28"E	15°54'06"	T18	S89°48'17"E	100.00'
					(N74°30'42"W)		C70	263.96'	650.00'	133.63'	262.15'	N29°54'28"E	23°16'04"		(S89°46'06"E)	
C17	245.78'	1778.01'	123.09'	245.58'	S75°41'11"E	07°55'12"	C71	348.25'	450.00'	183.37'	339.63'	N40°26'40"E	44°20'27"	T19	S77°39'12"W	110.75'
					(S75°40'44"E)	(07°55'13")	C72	448.91'	650.00'	233.82'	440.04'	N42°49'47"E	39°34'12"		(S77°42'20"W)	(110.79')
C18	245.83'	1718.01'	123.13'	245.63'	N75°49'32"W	08°11'55"	C73	1113.58'	650.00'	749.84'	982.31'	N40°24'39"W	98°09'33"		[S77°52'30"W]	[107.39']
	(245.84')				(N75°49'08"W)		C74	291.04'	540.00'	149.15'	287.53'	N27°28'25"W	30°52'49"	T20	N88°37'06"W	107.63'
C19	39.28'	25.00'	25.02'	35.37'	N44°42'22"W	90°02'42"	C75	123.41'	140.51'	66.00'	119.48'	N24°55'00"W	50°19'17"		(N88°47'40"W)	(107.50')
C20	418.50'	532.85'	220.71'	407.83'	N22°11'02"W	45°00'00"	C76	389.34'	1141.51'	198.58'	387.48'	S68°16'56"W	19°32'33"		[N88°37'30"W]	[107.39']
C21	44.78'	20.00'	41.29'	36.00'	N84°11'34"E	128°18'38"	C77	72.78'	400.00'	36.48'	72.86'	S53°18'46"W	10°25'21"	T21	N83°58'11"W	109.80'
	(44.74')		(35.98')	(N84°12'54"E)	(128°10'52")		C78	491.03'	470.00'	270.59'	469.00'	N72°20'32"W	59°51'33"		(N84°09'31"W)	(110.00')
	[44.65']		[40.91']	[35.94']	[N84°38'06"E]	[127°52'41"]	C79	437.81'	580.00'	229.81'	427.31'	N89°06'55"E	43°13'49"		[N83°59'21"W]	[110.00']
C22	205.53'	640.88'	103.85'	204.65'	S40°41'38"E	18°22'28"	C80	120.30'	480.00'	60.50'	119.98'	N49°54'56"W	14°59'05"	T22	S88°40'17"W	24.94'
	(205.56')		(204.88')	(S40°41'17"E)	(18°22'40")		C81	774.32'	655.00'	439.59'	730.01'	S79°49'14"E	67°43'59"		(S68°37'46"W)	(25.00')
	[204.69']		[203.82']	[S40°51'10"E]	[18°18'00"]		C82	352.56'	476.75'	184.78'	344.58'	S24°46'08"E	42°22'13"		[S68°47'56"W]	[25.00']
C23	184.62'	631.03'	92.97'	183.96'	S57°56'53"E	16°45'47"	C83	219.60'	919.39'	110.32'	219.08'	S03°15'32"W	13°41'07"	T23	N87°11'29"W	10.00'
	(184.54')		(92.73')	(183.88')	(S57°57'15"E)		C84	55.28'	490.00'	27.86'	55.23'	S58°05'06"W	06°27'42"		(N87°21'30"W)	(10.00')
	[184.14']		[92.73']	[183.49']	[S57°38'25"E]	[16°43'11"]	C85	838.81'	839.50'	458.05'	804.18'	S50°13'03"E	57°14'09"		[N87°11'20"W]	
C24	257.71'	1048.00'	128.51'	257.06'	S75°34'31"E	14°09'22"	C86	54.80'	839.50'	27.41'	54.79'	S76°57'57"E	03°44'24"	T24	N65°24'44"E	69.62'
C25	437.68'	748.00'	225.31'	431.47'	N80°37'01"E	33°31'34"	C87	189.75'	839.50'	95.28'	189.35'	S67°15'19"E	12°57'02"		(N65°12'30"E)	(66.55')
					(N80°36'50"E)		C88	80.08'	839.50'	40.07'	80.05'	S56°40'56"E	05°27'55"		[N65°22'40"E]	[69.55']
C26	181.68'	340.64'	93.06'	179.53'	N79°06'47"E	30°33'31"	C89	134.21'	496.75'	67.52'	133.81'	S11°19'27"E	15°28'50"	T25	S17°41'40"W	33.92'
	(181.75')		(93.09')	(179.80')	(N79°12'07"E)	(30°34'12")	C90	553.82'	430.00'	322.66'	516.16'	N79°20'28"W	73°46'01"	T26	N89°37'37"W	25.28'
C27	108.27'	468.00'	54.38'	108.02'	S78°58'49"E	13°15'17"	C91	449.47'	899.50'	229.53'	444.81'	S76°25'04"E	28°37'49"	T27	S08°14'06"W	25.00'
	(108.37')		(54.43')	(108.13')	(S78°52'46"E)	(13°16'02")	C92	642.06'	1170.00'	329.33'	634.03'	S29°10'18"W	31°28'31"	T28	S82°37'12"E	34.29'
C28	594.68'	1957.00'	299.65'	592.40'	S33°13'28"E	17°24'39"	C93	631.08'	1150.00'	323.70'	623.19'	S29°10'18"W	31°28'31"	T29	N07°22'48"E	25.00'
C29	242.89'	1030.92'	122.01'	242.33'	S84°37'15"W	13°29'56"	C94	204.57'	430.00'	104.26'	202.65'	N31°15'48"E	27°15'30"	T30	S76°13'10"E	32.66'
	[242.90']		[242.34']	[S84°37'30"W]			C95	214.09'	450.00'	109.11'	212.07'	N31°15'48"E	27°15'30"	T31	S51°10'54"E	12.21'
C30	447.07'	407.96'	248.96'	425.03'	N52°35'32"W	62°47'17"	C96	67.62'	230.00'	34.06'	67.38'	N09°12'42"E	16°50'42"	T32	S27°23'07"E	33.60'
					(N52°35'43"W)		C97	73.50'	250.00'	37.02'	73.24'	N09°12'42"E	16°50'42"	T33	N62°36'53"E	38.14'
C31	9.17'	432.96'	4.59'	9.17'	N20°32'09"W	01°12'49"	C98	47.97'	693.00'	24.00'	47.96'	S66°20'04"E	03°57'59"	T34	N18°16'26"E	60.28'
	(9.16')		(9.16')	(9.16')	(N20°45'53"W)		C99	103.24'	112.50'	55.57'	99.85'	N52°46'57"W	52°34'41"	T35	N00°16'59"E	7.26'
	[9.16']		[9.16']	[N20°35'43"W]	[01°12'44"]		C100	143.30'	510.00'	72.12'	142.83'	N49°58'44"W	16°05'56"	T36	N00°05'38"E	5.37'
C32	551.92'	11294.16'	276.01'	551.86'	N01°24'43"E	02°48'00"	C101	670.74'	1221.69'	344.06'	662.35'	S75°15'00"E	31°27'26"	T37	N34°48'55"E	27.80'
	(551.69')		(551.63')	(N01°00'00"E)			C102	703.69'	1281.69'	380.98'	694.88'	S75°15'00"E	31°27'26"	T38	(N34°33'42"E)	(27.80')
	[552.01']		[551.96']	[N01°24'40"E]	[02°48'01"]		C103	131.71'	361.16'	66.60'	130.98'	S71°18'17"E	20°53'43"	T39	S64°58'26"E	9.31'
C33	1331.70'	11304.16'	686.62'	1330.93'	N06°11'13"E	06°44'59"	C104	52.21'	140.69'	26.41'	51.91'	S71°07'14"E	21°15'49"	T40	S64°58'26"E	13.48'
	(1331.74')		(1330.97')	(N06°01'00"E)			C105	81.81'	85.17'	44.37'	78.70'	S88°00'20"E	55°02'02"	T41	S64°58'26"E	13.48'
	[1331.76']		[1330.99']	[N06°11'11"E]	[06°45'00"]		C106	172.14'	222.00'	90.66'	167.86'	N86°41'28"E	44°25'39"	T42	(S65°13'38"E)	



PLAT DATA

DRB NO. 08DRB-70421 PLAT ACRES 18.7466
 NO. OF TRACTS 3 TRACT ACRES 18.7466

ZONE DESIGNATION

TRACT 3B SU-2

DISCLOSURE STATEMENT

- THE PURPOSE OF THIS PLAT IS TO DIVIDE TRACT 3B INTO (3) TRACTS DESIGNATED AS TRACTS 3B-1, 3B-2 AND 3B-3. EASEMENTS AS SHOWN ARE RECORD. NEW EASEMENTS BEING GRANTED BY THIS PLAT ARE AS INDICATED.

NOTES

- ALL BEARINGS SHOWN HEREON ARE GRID BEARINGS BASED ON THE NEW MEXICO STATE PLANE COORDINATE SYSTEM 1983, CENTRAL ZONE, MAPPING ANGLE IS -0012'12.5". BASIS OF BEARINGS IS THE LINE BETWEEN SURVEY CONTROL MONUMENTS NDC_7_1A AND NDC_7 BEING S.18°53'09"W. BASIS OF COORDINATES IS NDC_7_1A WITH COORDINATES AS SHOWN. DISTANCES ARE HORIZONTAL GROUND DISTANCES IN FEET.
- ALL BEARINGS AND DISTANCES PER FIELD SURVEY. RECORD INFORMATION WHERE DIFFERENT FROM ACTUAL FIELD SURVEY IS SHOWN IN PARENTHESIS ().
- BENCHMARK FOR THIS PLAT IS CONTROL POINT NDC_7_1A LOCATED APPROXIMATELY 687' TO THE SOUTHWEST OF THE NORTHERN MOST CORNER OF TRACT 3B.
- ALL PROPERTY CORNERS ARE SET WITH A 5/8" X 24" REBAR WITH RED OR YELLOW PLASTIC CAP STAMPED LS 9243 SET FLUSH WITH THE GROUND, UNLESS OTHERWISE NOTED.
- CITY OF ALBUQUERQUE WATER AND SEWER SERVICE TO THESE TRACTS MUST BE VERIFIED AND COORDINATED WITH THE PUBLIC WORKS DEPARTMENT, CITY OF ALBUQUERQUE.
- S.P. TALOS LOG NO. 2008362721

EASEMENTS

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.
- NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.
- QUEST FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.
- CABLE TV FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANTOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMER/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE (5) FEET ON EACH SIDE.

DISCLAIMER

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM) AND NEW MEXICO GAS COMPANY (NMGC) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM AND NMGC DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER RECORDED DOCUMENT AND WHICH ARE NOT SHOWN OR NOTED ON THIS PLAT.

DESCRIPTION

A PARCEL OF LAND BEING ALL OF TRACT 3B OF THE PLAT FOR TRACTS 3A AND 3B LAND OF IHS ACQUISITION NO. 120, INC., WITHIN PROJECTED SECTIONS 11 AND 14, T. 11 N., R. 3 E., N.M.P.M., RECORDED ON DECEMBER 6, 1999 IN BOOK 99C, FOLIO 326, DOC. NO. 1999150020, WITHIN THE ELENA GALLEGOS GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHERN MOST CORNER OF SAID TRACT 3B, FROM WHICH THE BRASS CAP MONUMENT NDC_7_1A BEARS S 28°29'00" W 686.57 FEET,
 THENCE S 51°26'53" E 351.96 FEET ON THE NORTHEAST BOUNDARY LINE OF SAID TRACT;
 THENCE S 38°25'06" E 275.84 FEET ON THE NORTHEAST BOUNDARY LINE OF SAID TRACT;
 THENCE S 06°52'11" E 472.50 FEET ON THE EAST BOUNDARY LINE OF SAID TRACT;
 THENCE S 05°07'55" W 321.98 FEET ON THE EAST BOUNDARY LINE OF SAID TRACT;
 THENCE N 84°52'24" W 390.57 FEET ON THE SOUTHEAST BOUNDARY LINE OF SAID TRACT;
 THENCE S 45°00'11" W 414.37 FEET ON THE SOUTHEAST BOUNDARY LINE OF SAID TRACT;
 THENCE N 44°41'13" W 322.89 FEET ON THE SOUTHWEST BOUNDARY LINE OF SAID TRACT TO A POINT ON A NON-TANGENT CURVE FROM WHICH A RADIAL LINE BEARS S 74°19'46" E;
 THENCE 416.02 FEET TO THE NORTHEAST ON THE WEST BOUNDARY LINE OF SAID TRACT ON THE ARC OF SAID NON-TANGENT CURVE TO RIGHT HAVING A CENTRAL ANGLE OF 2°06'31", A RADIUS OF 11,304.16 FEET AND A CHORD OF 415.99 FEET, A RADIAL LINE AT THE END OF SAID CURVE BEARS S 72°13'15" E;
 THENCE S 71°26'53" E 10.46 FEET ON THE WEST BOUNDARY LINE OF SAID TRACT TO A POINT ON A NON-TANGENT CURVE FROM WHICH A RADIAL LINE BEARS S 72°13'34" E;
 THENCE 467.61 FEET TO THE NORTHEAST ON THE WEST BOUNDARY LINE OF SAID TRACT ON THE ARC OF SAID NON-TANGENT CURVE TO RIGHT HAVING A CENTRAL ANGLE OF 2°22'20", A RADIUS OF 11,294.16 FEET AND A CHORD OF 467.60 FEET, A RADIAL LINE AT THE END OF SAID CURVE BEARS S 69°51'14" E;
 THENCE N 20°11'32" E 443.76 FEET ON THE EAST BOUNDARY LINE OF SAID TRACT TO THE POINT OF BEGINNING.

PARCEL CONTAINS 18.7466 ACRES, MORE OR LESS AND (3) TRACTS.

DEDICATION AND FREE CONSENT

THE PROPERTY SHOWN HEREON IS REPLATTED WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF AND SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY GRANT TO THE CITY OF ALBUQUERQUE: ALL PUBLIC ACCESS AND PUBLIC UTILITY EASEMENTS SHOWN HEREON INCLUDING THE RIGHT TO CONSTRUCT, OPERATE, INSPECT, AND MAINTAIN FACILITIES THEREIN; AND ALL PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. THE OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY ACKNOWLEDGE SAID INSTRUMENT TO BE THEIR FREE ACT AND DEED. THOSE SIGNING WARRANT THAT THEY HOLD INDEFEASIBLE TITLE IN FEE SIMPLE TO PROPERTY BEING REPLATTED HEREON.

C&S EQUITIES, LLC
 OWNER TRACT 3B

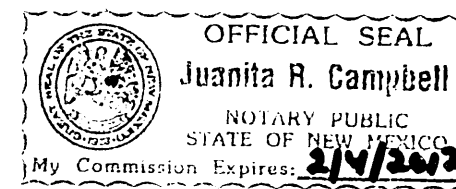
CSRDA, INC. MANAGING MEMBER
 JEFF D. STUVE, MANAGER

(STATE OF New Mexico) SS
 (COUNTY OF Bernalillo)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON March 2, 2010
 BY JEFF D. STUVE, MANAGER OF CSRDA, INC. MANAGING MEMBER OF C&S EQUITIES, LLC AND SIGNED ON BEHALF OF SAID COMPANY

BY: Juanita R. Campbell
 NOTARY PUBLIC

MY COMMISSION EXPIRES: 2/4/2012



NOTE PER CITY OF ALBUQUERQUE DEVELOPMENT REVIEW BOARD

FUTURE OWNERS OF THE PROPERTY SUBDIVIDED BY THIS PLAT ARE HEREBY ADVISED THAT IT IS THE INTENT OF THE CITY OF ALBUQUERQUE TO REMOVE THE TRAFFIC SIGNALS AT HORIZON BOULEVARD AND ALAMEDA BOULEVARD NE. THIS ACTION, IF UNDERTAKEN BY THE CITY, WOULD RESULT IN CLOSURE OF THE MEDIAN CUT IN ALAMEDA BOULEVARD AND WOULD ELIMINATE LEFT TURN ACCESS FOR HORIZON BOULEVARD TO OR FROM ALAMEDA BOULEVARD. C&S EQUITIES, LLC HAS NOT CONCURRED WITH THE REMOVAL OF THE SIGNALIZATION AND ELIMINATION OF LEFT TURN ACCESS.

CSRDA, INC. MANAGING MEMBER
 JEFF D. STUVE, MANAGER

TREASURER'S CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC #:

UPC # 101706507804330707

BERNALILLO COUNTY TREASURER OFFICE

BY: [Signature] DATE: 04-15-10

TRACTS 3B-1, 3B-2 AND 3B-3
 A SUBDIVISION OF TRACT 3B
LAND OF IHS ACQUISITION NO. 120, INC.
 WITHIN PROJECTED SECTIONS 11 AND 14,
 T. 11 N., R. 3 E., N. M. P. M.
 CITY OF ALBUQUERQUE
 ELENA GALLEGOS LAND GRANT
 BERNALILLO COUNTY, NEW MEXICO
 MARCH, 2010

PROJECT NO. 1007490

APPLICATION NO. 04/15/10 70064

PLAT APPROVALS

UTILITY APPROVALS

[Signature]
 PNM ELECTRIC SERVICES
[Signature]
 NEW MEXICO GAS COMPANY
[Signature]
 QUEST TELECOMMUNICATIONS
[Signature]
 COMCAST

3-2-10
 DATE
3/2/2010
 DATE
03/02/10
 DATE
3-2-10
 DATE

CITY APPROVALS

[Signature]
 CITY SURVEYOR
N/A
 REAL PROPERTY DIVISION
N/A
 ENVIRONMENTAL HEALTH DEPARTMENT
[Signature]
 TRAFFIC ENGINEERING TRANSPORTATION DIVISION
[Signature]
 WATER UTILITY DEVELOPMENT
[Signature]
 DEPARTMENT OF MUNICIPAL DEVELOPMENT
[Signature]
 AMAFCA
[Signature]
 CITY ENGINEER
[Signature]
 DRB CHAIRPERSON, PLANNING DEPARTMENT

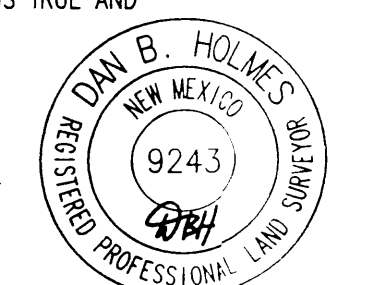
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3/3/10
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SURVEYOR'S CERTIFICATION

I, DAN B. HOLMES, NEW MEXICO REGISTERED PROFESSIONAL LAND SURVEYOR NO. 9243, DO HEREBY CERTIFY THAT THE PLAT SHOWN HEREON WAS PREPARED UNDER MY DIRECT SUPERVISION, SHOWS ALL EASEMENTS MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, UTILITY COMPANIES AND OTHER PARTIES EXPRESSING AN INTEREST. THIS PLAT MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND THE "MINIMUM STANDARDS FOR LAND SURVEYS" AS ESTABLISHED BY THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

[Signature]
 DAN B. HOLMES, P.S. NO. 9243

03-01-10
 DATE



HUITT-ZOLLARS

333 RIO RANCHO DRIVE SUITE 100
 RIO RANCHO, N.M. 87124
 (505) 892-5141

DOCH 2010031804

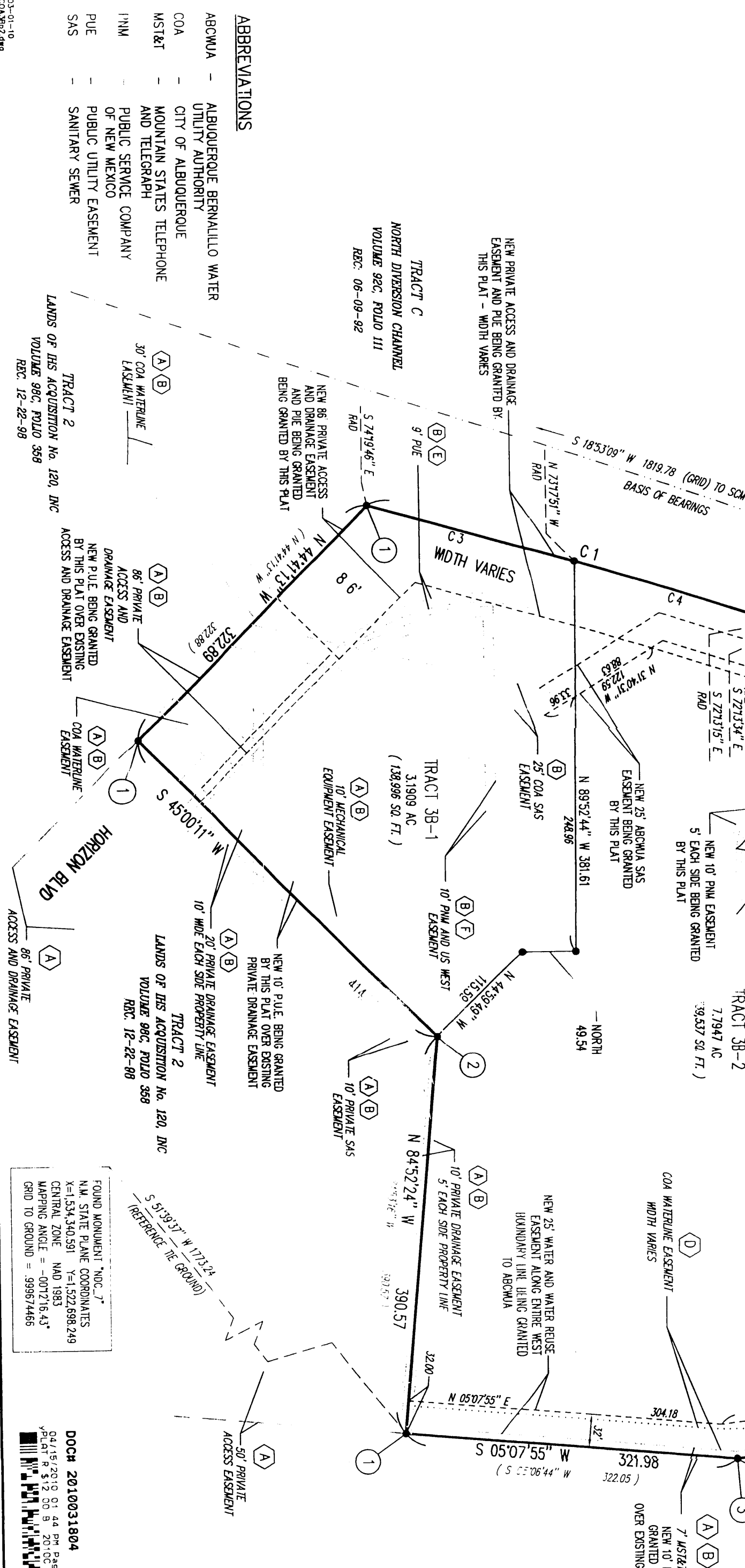
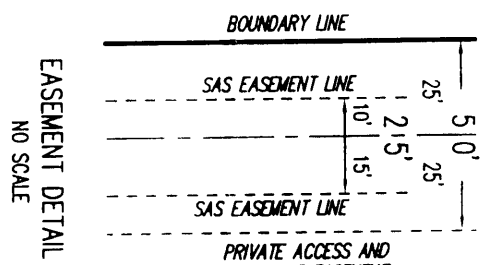
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 PLAT R \$12.00 B 2010C P 0026 * Toujours Ouvre Bernalillo Cour

TRACTS 3B-1, 3B-2 AND 3B-3

**A SUBDIVISION OF TRACT 3B
LAND OF IHS ACQUISITION NO. 120, INC.**

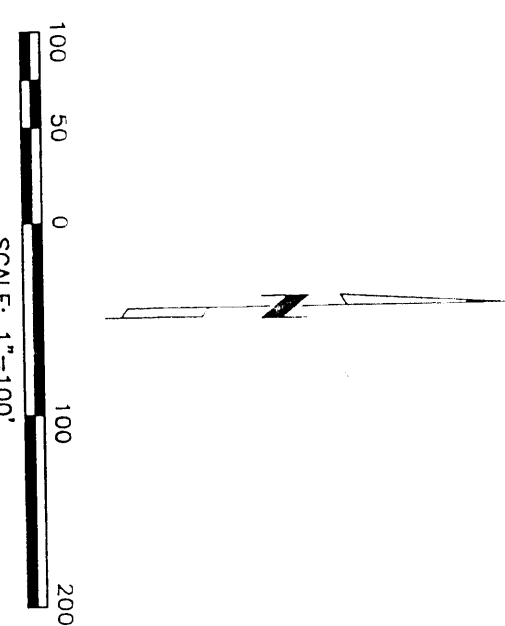
WITHIN PROJECTED SECTIONS 11 AND 14,
T. 11 N., R. 3 E., N. M. P. M.
CITY OF ALBUQUERQUE
ELENA GALLEGOS LAND GRANT
BERNALILLO COUNTY, NEW MEXICO
MARCH, 2010

- BOUNDARY EVIDENCE: UNLESS OTHERWISE INDICATED**
- ALL BOUNDARY CORNERS ARE SET WITH A NO. 5 REBAR WITH PLASTIC CAP STAMPED LS 9243
- 1 FOUND NO. 5 REBAR W/ PLASTIC CAP STAMPED PS 10466
 - 2 FOUND 40D NAIL W/ BRASS WASHER STAMPED PS 11463 IN TREE BASE
 - 3 FOUND NO. 5 REBAR W/ PLASTIC CAP STAMPED WEABR
 - 4 FOUND NO. 5 REBAR W/ PLASTIC CAP STAMPED PS 11463
 - 5 FOUND AMARCA NOC R/W MONUMENT
 - 6 FOUND PK W/ WASHER STAMPED PS 10466
- ATTACHED A BRASS TAG STAMPED LS 9243 WITH THE WIRE TO ACCEPTED POINTS IN ITEMS ABOVE



- EASEMENTS OF RECORD (SEE PLAT)**
- (A) EASEMENTS PER RECORDED PLAT, RECORDED ON 12-22-98 IN BOOK 98C, FOLIO 358 RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
 - (B) EASEMENTS PER RECORDED PLAT, RECORDED ON 12-06-99 IN BOOK 99C, FOLIO 326 RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
 - (C) EASEMENT GRANTED TO MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY, A COLORADO CORPORATION, RECORDED ON 06-20-83 IN BOOK MSC, 24-A, PAGES 237-239, DOC. NO. 83-40062, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
 - (D) A WATERLINE EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE, NEW MEXICO, RECORDED IN BOOK 92-28, PAGES 3168-3170, DOC. NO. 9219356, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
 - (E) A PERMANENT EASEMENT RECORDED ON DECEMBER 2, 1996 IN BOOK 96-31, PAGES 8823-8825, AS DOC. NO. 96129456, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
 - (F) AN UNDERGROUND EASEMENT RECORDED ON JUNE 27, 1997 IN BOOK 97-17, PAGES 4176-4178, AS DOC. NO. 97065184, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
 - (G) PROPERTY SUBJECT TO ACCESS AND DRAINAGE EASEMENT PER RECIPROCAL EASEMENT OF OPERATING AGREEMENT RECORDED IN BOOK 9820, PAGE 7260, AS DOC. NO. 1998169125, RECORDS OF BERNALILLO COUNTY, NEW MEXICO, NOT ABLE TO PLOT ON MAP.

- NOTES CONTINUED FROM SHEET 1**
- OWNER CONVEYANTS AND AGREES TO PROVIDE THE REQUIRED AMOUNT OF PARKING FOR THE PROPOSED USE ON EACH TRACT SUBDIVIDED AT THE TIME OF BUILDING PERMIT APPLICATION. THIS COVENANT SHALL BE DEEMED A CONDITION TO THIS SUBDIVISION PLAT APPROVAL.
 - THERE IS A CROSS-LOT DRAINAGE EASEMENT BENEFITING ALL LOTS AND MAINTAINED BY EACH UNDERLYING PROPERTY OWNER.
 - THE PRIVATE ACCESS AND DRAINAGE EASEMENT SHALL BENEFIT LOTS 3B-1, 3B-2, 3B-3, AND TRACT 2 LANDS OF IHS ACQUISITION NO. 120, INC. MAINTENANCE OF THE PRIVATE ACCESS AND DRAINAGE EASEMENT SHALL BE THE RESPONSIBILITY OF EACH UNDERLYING PROPERTY OWNER.



CURVE TABLE

NO	DELTA	RADIUS	ARC LENGTH	TANGENT	CHORD
C1	02°06'31"	11304.16	416.02	208.03	415.99
C2	02°22'20"	11294.16	467.61	233.84	467.60
C3	01°07'55"	11304.16	203.60	101.80	203.58
C4	01°04'36"	11304.16	212.42	106.21	212.43
C5	00°43'09"	11294.16	141.76	70.88	141.80
C6	01°39'11"	11294.16	375.85	162.94	375.82

LINE TABLE

NO	DIRECTION	DISTANCE
L1	N 18°37'55" E	21.10
L2	N 71°18'51" W	50.00

- ABBREVIATIONS**
- ABQWA - ALBUQUERQUE BERNALILLO WATER UTILITY AUTHORITY
 - COA - CITY OF ALBUQUERQUE
 - MST&T - MOUNTAIN STATES TELEPHONE AND TELEGRAPH
 - IHM - PUBLIC SERVICE COMPANY OF NEW MEXICO
 - PUE - PUBLIC UTILITY EASEMENT
 - SAS - SANITARY SEWER

FOUND MONUMENT "NO. 7", N.M. STATE PLANE COORDINATES: X=153,340.581 Y=152,688.249 CENTRAL ZONE NAD 1983 MAPPING ANGLE = -007°16'43" GRID TO GROUND = 999574466

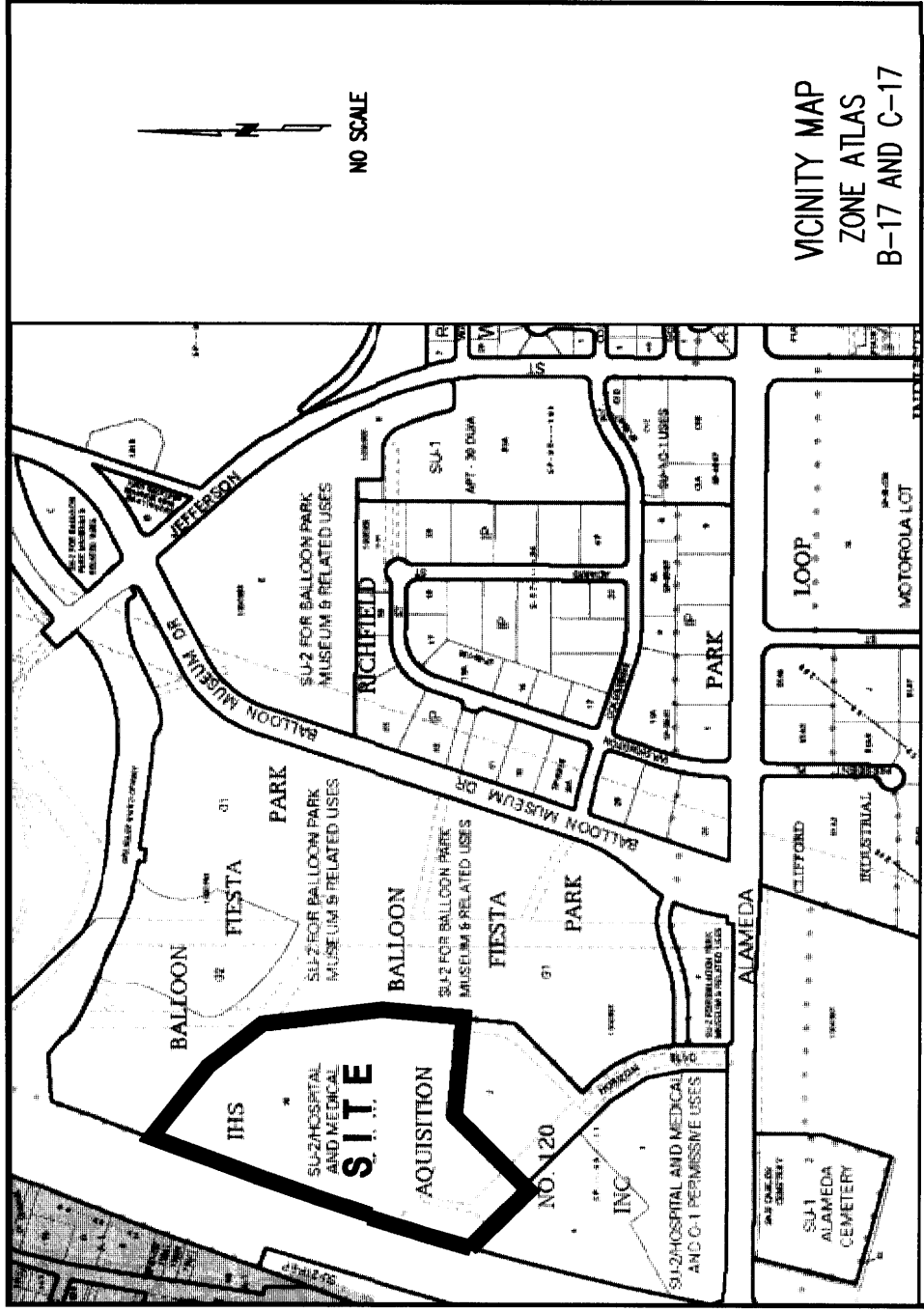
DOCH 2010031804

04/16/2010 12:44 PM Page 2 of 2

333 RIO RANCHO DR., N.E., SUITE 101
RIO RANCHO, N.M., 87124
(505) 892-5141

HUITT-ZOLLARS

SHEET 2 OF 2



PLAT DATA
 DRB NO. 080RB-70421 PLAT ACRES 18.7466
 NO. OF TRACTS 3 TRACT ACRES 18.7466

ZONE DESIGNATION
 TRACT 3B SU-2

DISCLOSURE STATEMENT
 1. THE PURPOSE OF THIS PLAT IS TO DIVIDE TRACT 3B INTO (3) TRACTS DESIGNATED AS TRACTS 3B-1, 3B-2 AND 3B-3. EASEMENTS AS SHOWN ARE RECORDED. NEW EASEMENTS BEING GRANTED BY THIS PLAT ARE AS INDICATED.

- NOTES**
- ALL BEARINGS SHOWN HEREON ARE GRID BEARINGS BASED ON THE NEW MEXICO STATE PLANE COORDINATE SYSTEM 1983. CENTRAL ZONE. MAPPING ANGLE IS -007212.5". BASIS OF BEARINGS IS THE LINE BETWEEN SURVEY CONTROL MONUMENTS NDC.7-1A AND NDC.7 BEING S.1953.09"W. BASIS OF COORDINATES IS NDC.7-1A WITH COORDINATES AS SHOWN. DISTANCES ARE HORIZONTAL GROUND DISTANCES IN FEET.
 - ALL BEARINGS AND DISTANCES PER FIELD SURVEY. RECORD INFORMATION WHERE DIFFERENT FROM ACTUAL FIELD SURVEY IS SHOWN IN PARENTHESIS ().
 - BENCHMARK FOR THIS PLAT IS CONTROL POINT NDC.7-1A LOCATED APPROXIMATELY 687' TO THE SOUTHWEST OF THE NORTHERN MOST CORNER OF TRACT 3B.
 - ALL PROPERTY CORNERS ARE SET WITH A 5/8" X 24" REBAR WITH RED OR YELLOW PLASTIC CAP STAMPED LS 9243 SET FLUSH WITH THE GROUND, UNLESS OTHERWISE NOTED.
 - CITY OF ALBUQUERQUE WATER AND SEWER SERVICE TO THESE TRACTS MUST BE VERIFIED AND COORDINATED WITH THE PUBLIC WORKS DEPARTMENT, CITY OF ALBUQUERQUE.
 - S.P. TALOS LOG NO. 2008362721

EASEMENTS
 PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- PUBLIC SERVICE COMPANY OF NEW MEXICO ("PSC"), A NEW MEXICO CORPORATION, (PJM ELECTRIC SERVICES) FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
 - NEW MEXICO GAS COMPANY, INC. ("NMGCO") FOR INSTALLATION, MAINTENANCE AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
 - QUEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO, ABOVE GROUND PEDESTALS AND CLOSURES.
 - COMCAST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.
- INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSE DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN, NO BUILDING, SIGN, POOL, (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.
- EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE (5) FEET ON EACH SIDE.

DISCLAIMER
 IN APPROVING THIS PLAT, PNM AND NMGCO DO NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM AND NMGCO DOES NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER RECORD DOCUMENT AND WHICH ARE NOT SPECIFICALLY DESCRIBED AND SHOWN OR NOTED ON THIS PLAT.

DESCRIPTION

A PARCEL OF LAND BEING ALL OF TRACT 3B OF THE PLAT FOR TRACTS 3A AND 3B LAND OF IHS ACQUISITION NO. 120, INC. WITHIN PROJECTED SECTIONS 11 AND 14, T. 11 N., R. 3 E., N.M.P.M., RECORDED ON DECEMBER 6, 1999 IN BOOK 98C, FOLD 328, DOC. NO. 199910020, WITHIN THE ELENA GALLEGOS GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHERN MOST CORNER OF SAID TRACT 3B, FROM WHICH THE BRASS CAP MONUMENT NDC.7-1A BEARS S 28°29'00" W 686.57 FEET.
 THENCE S 51°28'53" E 351.96 FEET ON THE NORTHEAST BOUNDARY LINE OF SAID TRACT;
 THENCE S 38°25'06" E 275.84 FEET ON THE NORTHEAST BOUNDARY LINE OF SAID TRACT;
 THENCE S 06°52'11" E 472.50 FEET ON THE EAST BOUNDARY LINE OF SAID TRACT;
 THENCE S 05°07'55" W 321.98 FEET ON THE EAST BOUNDARY LINE OF SAID TRACT;
 THENCE N 84°52'24" W 390.57 FEET ON THE SOUTHEAST BOUNDARY LINE OF SAID TRACT;
 THENCE S 45°00'11" W 414.57 FEET ON THE SOUTHEAST BOUNDARY LINE OF SAID TRACT;
 THENCE N 44°41'13" W 322.89 FEET ON THE SOUTHWEST BOUNDARY LINE OF SAID TRACT TO A POINT ON A NON-TANGENT CURVE FROM WHICH A RADIAL LINE BEARS S 74°19'46" E;
 THENCE 416.02 FEET TO THE NORTHEAST ON THE WEST BOUNDARY LINE OF SAID TRACT ON THE ARC OF SAID NON-TANGENT CURVE TO RIGHT HAVING A CENTRAL ANGLE OF 2°06'31". A RADIUS OF 11,304.16 FEET AND A CHORD OF 415.99 FEET, A RADIAL LINE AT THE END OF SAID CURVE BEARS S 72°13'15" E;
 THENCE S 71°28'53" E 10.46 FEET ON THE WEST BOUNDARY LINE OF SAID TRACT TO A POINT ON A NON-TANGENT CURVE FROM WHICH A RADIAL LINE BEARS S 72°13'34" E;
 THENCE 467.61 FEET TO THE NORTHEAST ON THE WEST BOUNDARY LINE OF SAID TRACT ON THE ARC OF SAID NON-TANGENT CURVE TO RIGHT HAVING A CENTRAL ANGLE OF 2°22'20". A RADIUS OF 11,294.16 FEET AND A CHORD OF 467.60 FEET, A RADIAL LINE AT THE END OF SAID CURVE BEARS S 69°51'14" E;
 THENCE N 20°11'32" E 443.76 FEET ON THE EAST BOUNDARY LINE OF SAID TRACT TO THE POINT OF BEGINNING.

PARCEL CONTAINS 18.7466 ACRES, MORE OR LESS AND (3) TRACTS.

DEDICATION AND FREE CONSENT

THE PROPERTY SHOWN HEREON IS REPLET WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF AND SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY GRANT TO THE CITY OF ALBUQUERQUE: ALL PUBLIC ACCESS AND PUBLIC UTILITY EASEMENTS SHOWN HEREON INCLUDING THE RIGHT TO CONSTRUCT, OPERATE, INSPECT, AND MAINTAIN FACILITIES THEREIN; AND ALL PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. THE OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY ACKNOWLEDGE SAID INSTRUMENT TO BE THEIR FREE ACT AND DEED. THOSE SIGNING WARRANT THAT THEY HOLD INDEFEASIBLE TITLE IN FEE SIMPLE TO PROPERTY BEING REPLATED HEREON.

CAS EQUITIES, LLC
 OWNER TRACT 3B

CSROA, INC. MANAGING MEMBER
 JEFF D. STUVE, MANAGER

(STATE OF _____) SS
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON _____, 20____ BY JEFF D. STUVE, MANAGER OF CSROA INC. MANAGING MEMBER OF CAS EQUITIES, LLC AND SIGNED ON BEHALF OF SAID COMPANY.

BY: _____
 NOTARY PUBLIC
 MY COMMISSION EXPIRES: _____

NOTE PER CITY OF ALBUQUERQUE DEVELOPMENT REVIEW BOARD

FUTURE OWNERS OF THE PROPERTY SUBDIVIDED BY THIS PLAT ARE HEREBY ADVISED THAT IT IS THE INTENT OF THE CITY OF ALBUQUERQUE TO REMOVE THE TRAFFIC SIGNALS AT HORIZON BOULEVARD AND ALAMEDA BOULEVARD NE. THIS ACTION, IF UNDERTAKEN BY THE CITY, WOULD RESULT IN CLOSURE OF THE MEDIAN CUT IN ALAMEDA BOULEVARD AND WOULD ELIMINATE LEFT TURN ACCESS FOR HORIZON BOULEVARD TO OR FROM ALAMEDA BOULEVARD. CAS EQUITIES, LLC HAS NOT CONCURRED WITH THE REMOVAL OF THE SIGNALIZATION AND ELIMINATION OF LEFT TURN ACCESS.

CSROA, INC. MANAGING MEMBER
 JEFF D. STUVE, MANAGER

TREASURER'S CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPFC # _____

UPFC # 101706507804.330707

BERNALILLO COUNTY TREASURERS OFFICE:

BY: _____ DATE: _____

TRACTS 3B-1, 3B-2 AND 3B-3
 A SUBDIVISION OF TRACT 3B
LAND OF IHS ACQUISITION NO. 120, INC.
 WITHIN PROJECTED SECTIONS 11 AND 14,
 T. 11 N., R. 3 E., N. M. P. M.
 CITY OF ALBUQUERQUE
 ELENA GALLEGOS LAND GRANT
 BERNALILLO COUNTY, NEW MEXICO
 FEBRUARY, 2010

PROJECT NO. 1007490

APPLICATION NO. _____

PLAT APPROVALS

UTILITY APPROVALS

PNM ELECTRIC SERVICES

NEW MEXICO GAS COMPANY

QUEST TELECOMMUNICATIONS

COMCAST

CITY APPROVALS

CITY SURVEYOR

REAL PROPERTY DIVISION

ENVIRONMENTAL HEALTH DEPARTMENT

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION

WATER UTILITY DEVELOPMENT

DEPARTMENT OF MUNICIPAL DEVELOPMENT

AMAFCA

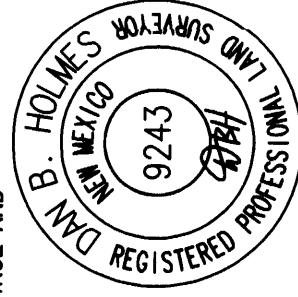
CITY ENGINEER

DRB CHAIRPERSON, PLANNING DEPARTMENT

SURVEYOR'S CERTIFICATION

I, DAN B. HOLMES, NEW MEXICO REGISTERED PROFESSIONAL LAND SURVEYOR NO. 9243, DO HEREBY CERTIFY THAT THE PLAT SHOWN HEREON WAS PREPARED UNDER MY DIRECT SUPERVISION, SHOWS ALL EASEMENTS MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, UTILITY COMPANIES AND OTHER PARTIES EXPRESSING AN INTEREST. THIS PLAT MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND THE "MINIMUM STANDARDS FOR LAND SURVEYS" AS ESTABLISHED BY THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Dan B. Holmes
 DAN B. HOLMES, P.S. NO. 9243
 02-23-10 DATE



HUETT-ZOLLARS

333 RIO RANCHO DR. N.E., STE. 101
 RIO RANCHO, N.M., 87124
 (505) 892-5141

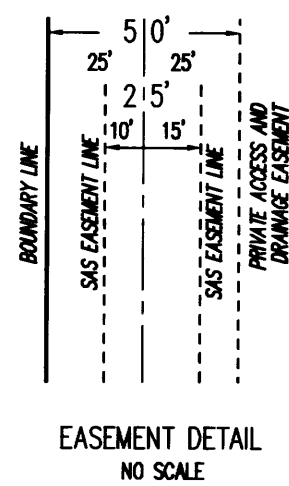
TRACTS 3B-1, 3B-2 AND 3B-3
 A SUBDIVISION OF TRACT 3B
 LAND OF IHS ACQUISITION NO. 120, INC.
 WITHIN PROJECTED SECTIONS 11 AND 14,
 T. 11 N., R. 3 E., N. M. P. M.
 CITY OF ALBUQUERQUE
 ELENA GALLEGOS LAND GRANT
 BERNALILLO COUNTY, NEW MEXICO
 FEBRUARY, 2010

BOUNDARY EVIDENCE: UNLESS OTHERWISE INDICATED

ALL BOUNDARY CORNERS ARE SET WITH A NO. 5 REBAR WITH PLASTIC CAP STAMPED LS 9243

- ① FOUND NO. 5 REBAR W/ PLASTIC CAP STAMPED PS 10466
- ② FOUND 40D NAIL W/ BRASS WASHER STAMPED PS 11463 IN TREE BASE
- ③ FOUND NO. 5 REBAR W/ PLASTIC CAP STAMPED WEAVER
- ④ FOUND NO. 5 REBAR W/ PLASTIC CAP STAMPED PS 11463
- ⑤ FOUND AMAFCA NDC R/W MONUMENT
- ⑥ FOUND PK W/ WASHER STAMPED PS 10466

ATTACHED A BRASS TAG STAMPED LS 9243 WITH TIE WIRE TO ACCEPTED POINTS IN ITEMS ABOVE



FOUND MONUMENT "NDC_7_1A"
 N.M. STATE PLANE COORDINATES
 X=1,534,929.428 Y=1,524,419.502
 CENTRAL ZONE NAD 1983
 MAPPING ANGLE = -0012'12.47"
 GRID TO GROUND = .999674775

TRACT 3A
 LANDS OF IHS ACQUISITION No. 120, INC.
 VOLUME 99C, FOLIO 326
 RBC: 12-08-99

BALLOON FIESTA PARK
 TRACT G
 VOLUME 2001C, PAGE 161
 RBC: 06-11-01

TRACT 3B-3
 7.7606 AC
 (338,053 SQ. FT.)

TRACT 3B-2
 7.7947 AC
 (339,537 SQ. FT.)

TRACT 3B-1
 3.1909 AC
 (138,996 SQ. FT.)

TRACT 2
 LANDS OF IHS ACQUISITION No. 120, INC.
 VOLUME 99C, FOLIO 368
 RBC: 12-12-98

TRACT C
 NORTH DIVERSION CHANNEL
 VOLUME 92C, FOLIO 111
 RBC: 06-09-92

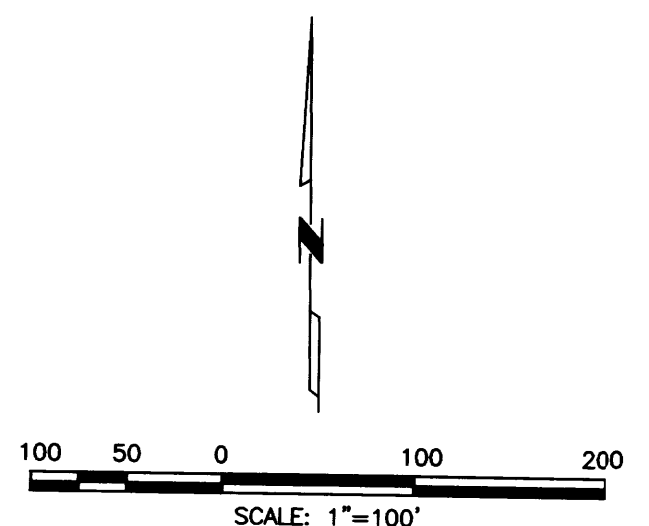
BALLOON FIESTA PARK
 TRACT G
 VOLUME 2001C, PAGE 161
 RBC: 06-11-01

EASEMENTS OF RECORD (SEE PLAT)

- (A) EASEMENTS PER RECORDED PLAT, RECORDED ON 12-22-98 IN BOOK 98C, FOLIO 358 RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
- (B) EASEMENTS PER RECORDED PLAT, RECORDED ON 12-06-99 IN BOOK 99C, FOLIO 326 RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
- (C) EASEMENT GRANTED TO MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY, A COLORADO CORPORATION, RECORDED ON 06-20-83 IN BOOK MISC. 24-A, PAGES 237-239, DOC. NO. 83-40062, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
- (D) A WATERLINE EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE, NEW MEXICO RECORDED IN BOOK 92-28, PAGES 3168-3170, DOC. NO. 92119336, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
- (E) A PERMANENT EASEMENT RECORDED ON DECEMBER 2, 1996 IN BOOK 96-31, PAGES 8823-8825, AS DOC. NO. 96129436, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
- (F) AN UNDERGROUND EASEMENT RECORDED ON JUNE 27, 1997 IN BOOK 97-17, PAGES 4176-4178, AS DOC. NO. 97065184, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
- (G) PROPERTY SUBJECT TO ACCESS AND DRAINAGE EASEMENT PER RECIPROCAL EASEMENT OF OPERATING AGREEMENT RECORDED IN BOOK 9820, PAGE 7260, AS DOC. NO. 1998169125, RECORDS OF BERNALILLO COUNTY, NEW MEXICO. NOT ABLE TO PLOT ON MAP.

NOTES CONTINUED FROM SHEET 1

- 7. OWNER COVENANTS AND AGREES TO PROVIDE THE REQUIRED AMOUNT OF PARKING FOR THE PROPOSED USE ON EACH TRACT SUBDIVIDED AT THE TIME OF BUILDING PERMIT APPLICATION. THIS COVENANT SHALL BE DEEMED A CONDITION TO THIS SUBDIVISION PLAT APPROVAL.
- 8. THERE IS A CROSS-LOT DRAINAGE EASEMENT BENEFITING ALL LOTS AND MAINTAINED BY EACH UNDERLYING PROPERTY OWNER.
- 9. THE PRIVATE ACCESS AND DRAINAGE EASEMENT SHALL BENEFIT LOTS 3B-1, 3B-2, 3B-3, AND TRACT 2 LANDS OF IHS ACQUISITION NO. 120, INC. MAINTENANCE OF THE PRIVATE ACCESS AND DRAINAGE EASEMENT SHALL BE THE RESPONSIBILITY OF EACH UNDERLYING PROPERTY OWNER.



CURVE TABLE

NO	DELTA	RADIUS	ARC LENGTH	TANGENT	CHORD
C1	02°06'31"	11304.16	416.02	208.03	415.99
C2	02°22'20"	11294.16	467.61	233.84	467.60
C3	01°01'55"	11304.16	203.60	101.80	203.58
C4	01°04'36"	11304.16	212.42	106.21	212.43
C5	00°43'09"	11294.16	141.76	70.88	141.80
C6	01°39'11"	11294.16	325.85	162.94	325.82

LINE TABLE

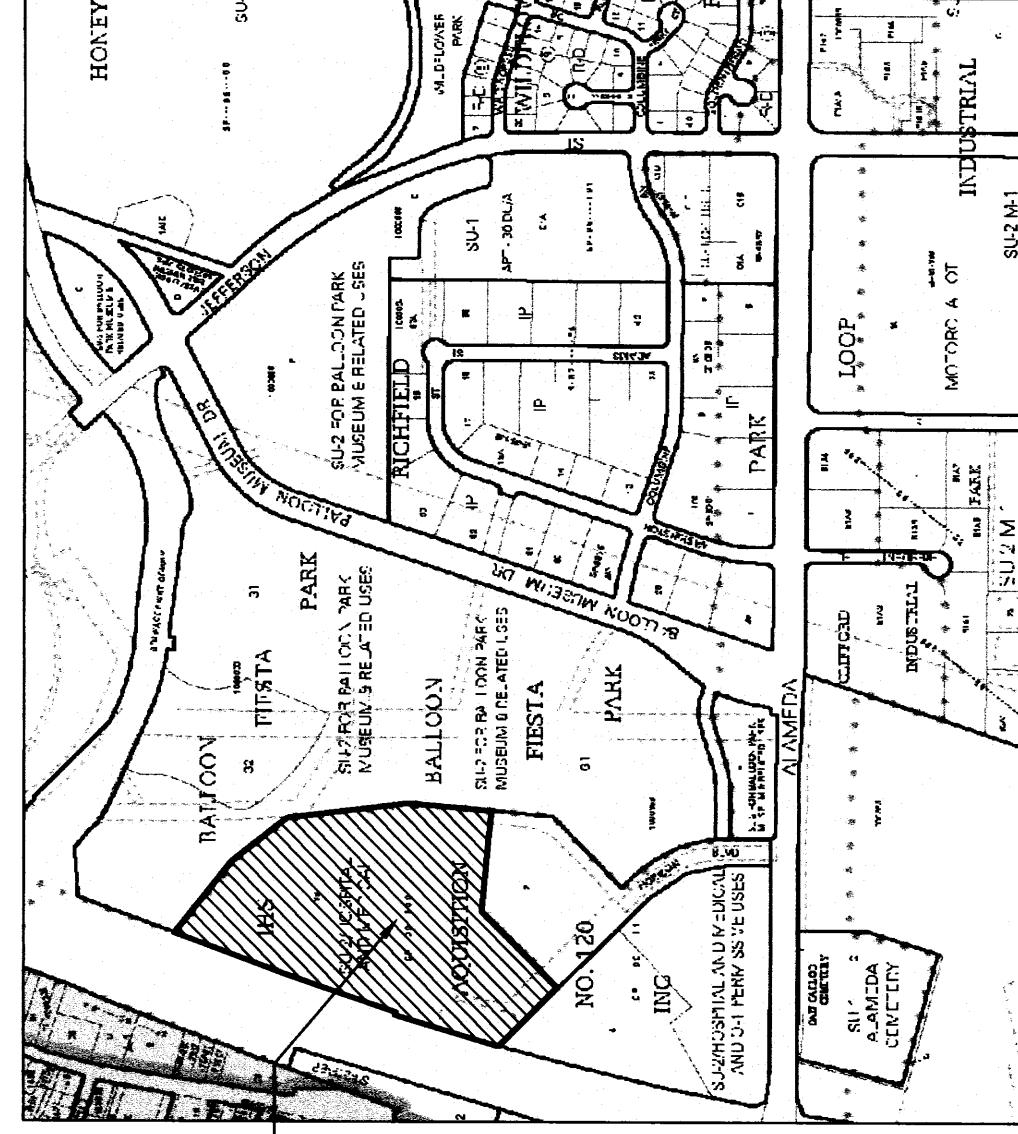
NO	DIRECTION	DISTANCE
L1	N 18°37'55" E	21.10
L2	N 71°18'51" W	50.00

HUITT-ZOLLARS

333 RIO RANCHO DR. N.E., STE. 101
 RIO RANCHO, N.M., 87124
 (505) 892-5141

02-23-10
 COA 3/29/2.dwg

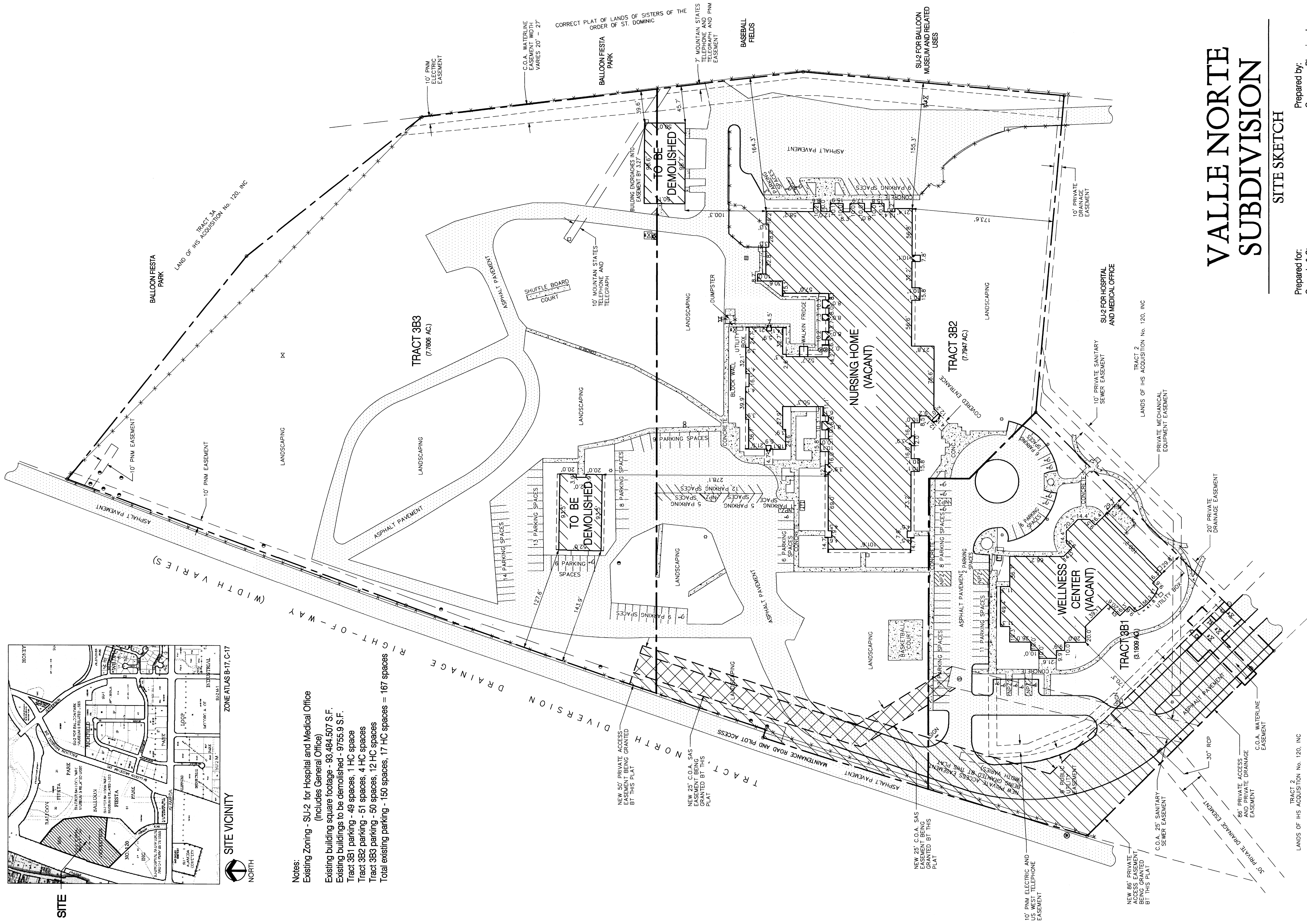
SITE



SITE VICINITY



- Notes:
- Existing Zoning - SU-2 for Hospital and Medical Office (Includes General Office)
 - Existing building square footage - 93,484,507 S.F.
 - Existing buildings to be demolished - 9755.9 S.F.
 - Tract 3B1 parking - 49 spaces, 1 HC space
 - Tract 3B2 parking - 51 spaces, 4 HC spaces
 - Tract 3B3 parking - 50 spaces, 12 HC spaces
 - Total existing parking - 150 spaces, 17 HC spaces = 167 spaces

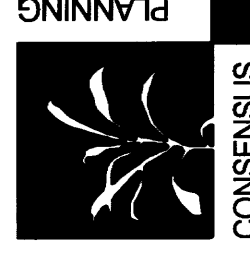


VALLE NORTE SUBDIVISION

SITE SKETCH

Prepared for:
Cauwels & Stuve
6001 Indian School Rd NE - Suite 400
Albuquerque, NM 87110

Prepared by:
Consensus Planning, Inc.
302 Eighth Street NW
Albuquerque, NM 87102



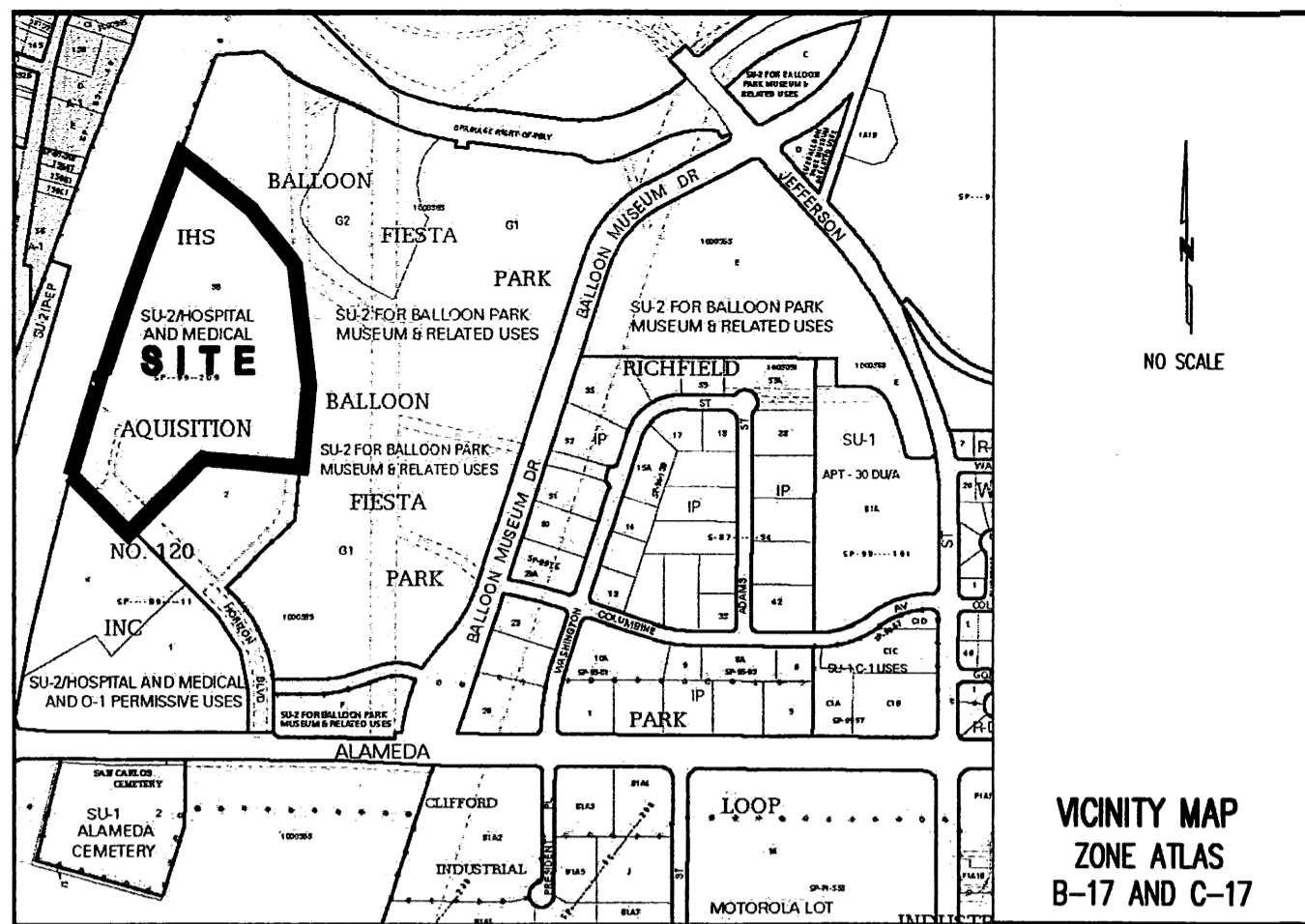
CONSENSUS

October 28, 2008

Scale: 1" = 50'



north



VICINITY MAP
ZONE ATLAS
B-17 AND C-17

PLAT DATA

DRB NO. 08DRB-70421 PLAT ACRES 18.7466
NO. OF TRACTS 3 TRACT ACRES 18.7466

ZONE DESIGNATION

TRACT 3B SU-2

DISCLOSURE STATEMENT

- THE PURPOSE OF THIS PLAT IS TO DIVIDE TRACT 3B INTO (3) TRACTS DESIGNATED AS TRACTS 3B-1, 3B-2 AND 3B-3. EASEMENTS AS SHOWN ARE RECORD. NEW EASEMENTS BEING GRANTED BY THIS PLAT ARE AS INDICATED.

NOTES

- ALL BEARINGS SHOWN HEREON ARE GRID BEARINGS BASED ON THE NEW MEXICO STATE PLANE COORDINATE SYSTEM 1983, CENTRAL ZONE, MAPPING ANGLE IS -00°12'12.5". BASIS OF BEARINGS IS THE LINE BETWEEN SURVEY CONTROL MONUMENTS NDC_7_1A AND NDC_7 BEING S.18°53'09"W. BASIS OF COORDINATES IS NDC_7_1A WITH COORDINATES AS SHOWN. DISTANCES ARE HORIZONTAL GROUND DISTANCES IN FEET.
- ALL BEARINGS AND DISTANCES PER FIELD SURVEY. RECORD INFORMATION WHERE DIFFERENT FROM ACTUAL FIELD SURVEY IS SHOWN IN PARENTHESIS ().
- BENCHMARK FOR THIS PLAT IS CONTROL POINT NDC_7_1A LOCATED APPROXIMATELY 687' TO THE SOUTHWEST OF THE NORTHERN MOST CORNER OF TRACT 3B.
- ALL PROPERTY CORNERS ARE SET WITH A 5/8" X 24" REBAR WITH RED OR YELLOW PLASTIC CAP STAMPED LS 9243 SET FLUSH WITH THE GROUND, UNLESS OTHERWISE NOTED.
- CITY OF ALBUQUERQUE WATER AND SEWER SERVICE TO THESE TRACTS MUST BE VERIFIED AND COORDINATED WITH THE PUBLIC WORKS DEPARTMENT, CITY OF ALBUQUERQUE.
- S.P. TALOS LOG NO. 2008362721

EASEMENTS

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- PUBLIC SERVICE COMPANY OF NEW MEXICO ("PNM"), A NEW MEXICO CORPORATION, (PNM ELECTRIC SERVICES) FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLE NECESSARY TO PROVIDE ELECTRICAL SERVICE.
- PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLE NECESSARY TO PROVIDE NATURAL GAS.
- QWEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLE NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO, ABOVE GROUND PEDESTALS AND CLOSURES.
- COMCAST FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLE NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSE DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS. WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN, NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE (5) FEET ON EACH SIDE.

DISCLAIMER

IN APPROVING THIS PLAT, PNM DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER RECORD DOCUMENT AND WHICH ARE NOT SPECIFICALLY DESCRIBED AND SHOWN ON THIS PLAT.

DESCRIPTION

A PARCEL OF LAND BEING ALL OF TRACT 3B OF THE PLAT FOR TRACTS 3A AND 3B LAND OF IHS ACQUISITION NO. 120, INC., WITHIN PROJECTED SECTIONS 11 AND 14, T. 11 N., R. 3 E., N.M.P.M., RECORDED ON DECEMBER 6, 1999 IN BOOK 99C, FOLIO 326, DOC. NO. 1999150020, WITHIN THE ELENA GALLEGOS GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHERN MOST CORNER OF SAID TRACT 3B, FROM WHICH THE BRASS CAP MONUMENT NDC_7_1A BEARS S 28°29'00" W 686.57 FEET,
THENCE S 51°26'53" E 351.96 FEET ON THE NORTHEAST BOUNDARY LINE OF SAID TRACT;
THENCE S 38°25'06" E 275.84 FEET ON THE NORTHEAST BOUNDARY LINE OF SAID TRACT;
THENCE S 06°52'11" E 472.50 FEET ON THE EAST BOUNDARY LINE OF SAID TRACT;
THENCE S 05°07'55" W 321.98 FEET ON THE EAST BOUNDARY LINE OF SAID TRACT;
THENCE N 84°52'24" W 390.57 FEET ON THE SOUTHEAST BOUNDARY LINE OF SAID TRACT;
THENCE S 45°00'11" W 414.37 FEET ON THE SOUTHEAST BOUNDARY LINE OF SAID TRACT;
THENCE N 44°41'13" W 322.89 FEET ON THE SOUTHWEST BOUNDARY LINE OF SAID TRACT TO A POINT ON A NON-TANGENT CURVE FROM WHICH A RADIAL LINE BEARS S 74°19'46" E;
THENCE 416.02 FEET TO THE NORTHEAST ON THE WEST BOUNDARY LINE OF SAID TRACT ON THE ARC OF SAID NON-TANGENT CURVE TO RIGHT HAVING A CENTRAL ANGLE OF 2°06'31", A RADIUS OF 11,304.15 FEET AND A CHORD OF 415.99 FEET, A RADIAL LINE AT THE END OF SAID CURVE BEARS S 72°13'15" E;
THENCE S 71°26'53" E 10.46 FEET ON THE WEST BOUNDARY LINE OF SAID TRACT TO A POINT ON A NON-TANGENT CURVE FROM WHICH A RADIAL LINE BEARS S 72°13'34" E;
THENCE 467.61 FEET TO THE NORTHEAST ON THE WEST BOUNDARY LINE OF SAID TRACT ON THE ARC OF SAID NON-TANGENT CURVE TO RIGHT HAVING A CENTRAL ANGLE OF 2°22'20", A RADIUS OF 11,294.6 FEET AND A CHORD OF 467.60 FEET, A RADIAL LINE AT THE END OF SAID CURVE BEARS S 69°51'14" E;
THENCE N 20°11'32" E 443.76 FEET ON THE EAST BOUNDARY LINE OF SAID TRACT TO THE POINT OF BEGINNING.

PARCEL CONTAINS 18.7466 ACRES, MORE OR LESS AND (3) TRACTS.

DEDICATION AND FREE CONSENT

THE PROPERTY SHOWN HEREON IS REPLATTED WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF AND SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY GRANT TO THE CITY OF ALBUQUERQUE: ALL PUBLIC ACCESS AND PUBLIC UTILITY EASEMENTS SHOWN HEREON INCLUDING THE RIGHT TO CONSTRUCT, OPERATE, INSPECT, AND MAINTAIN FACILITIES THEREIN; AND ALL PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. THE OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY ACKNOWLEDGE SAID INSTRUMENT TO BE THEIR FREE ACT AND DEED. THOSE SIGNING WARRANT THAT THEY HOLD INDEFEASIBLE TITLE IN FEE SIMPLE TO PROPERTY BEING REPLATTED HEREON.

C&S EQUITIES, LLC
OWNER TRACT 3B

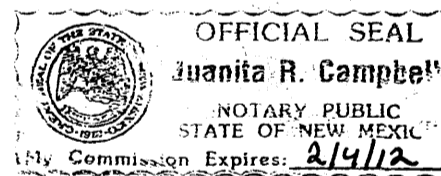
CSRDA, INC. MANAGING MEMBER
JEFF D. STUVE, MANAGER

(STATE OF New Mexico) ss
(COUNTY OF Bernalillo)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON October 27, 2008
BY JEFF D. STUVE, MANAGER OF CSRDA, INC. MANAGING MEMBER OF C&S EQUITIES, LLC AND SIGNED ON BEHALF OF SAID COMPANY.

BY: Juanita R. Campbell
NOTARY PUBLIC

MY COMMISSION EXPIRES: 2/4/12



TREASURER'S CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC #:

UPC # 101706507804330707

BERNALILLO COUNTY TREASURERS OFFICE:

BY: _____ DATE: _____

TRACTS 3B-1, 3B-2 AND 3B-3
A SUBDIVISION OF TRACT 3B
LAND OF IHS ACQUISITION NO. 120, INC.
WITHIN PROJECTED SECTIONS 11 AND 14,
T. 11 N., R. 3 E., N. M. P. M.
CITY OF ALBUQUERQUE
ELENA GALLEGOS LAND GRANT
BERNALILLO COUNTY, NEW MEXICO
OCTOBER, 2008

PROJECT NO. 1007490

APPLICATION NO. _____

PLAT APPROVALS

UTILITY APPROVALS

PNM ELECTRIC SERVICES _____ DATE _____

PNM GAS SERVICES _____ DATE _____

QWEST TELECOMMUNICATIONS _____ DATE _____

COMCAST _____ DATE _____

CITY APPROVALS

J.B. Holms 10-28-08
CITY SURVEYOR DATE

REAL PROPERTY DIVISION _____ DATE _____

ENVIRONMENTAL HEALTH DEPARTMENT _____ DATE _____

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION _____ DATE _____

WATER UTILITY DEVELOPMENT _____ DATE _____

DEPARTMENT OF MUNICIPAL DEVELOPMENT _____ DATE _____

AMAFCA _____ DATE _____

CITY ENGINEER _____ DATE _____

DRB CHAIRPERSON, PLANNING DEPARTMENT _____ DATE _____

SURVEYOR'S CERTIFICATION

I, DAN B. HOLMES, NEW MEXICO REGISTERED PROFESSIONAL LAND SURVEYOR NO. 9243, DO HEREBY CERTIFY THAT THE PLAT SHOWN HEREON WAS PREPARED UNDER MY DIRECT SUPERVISION, SHOWS ALL EASEMENTS MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, UTILITY COMPANIES AND OTHER PARTIES EXPRESSING AN INTEREST. THIS PLAT MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND THE "MINIMUM STANDARDS FOR LAND SURVEYS" AS ESTABLISHED BY THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

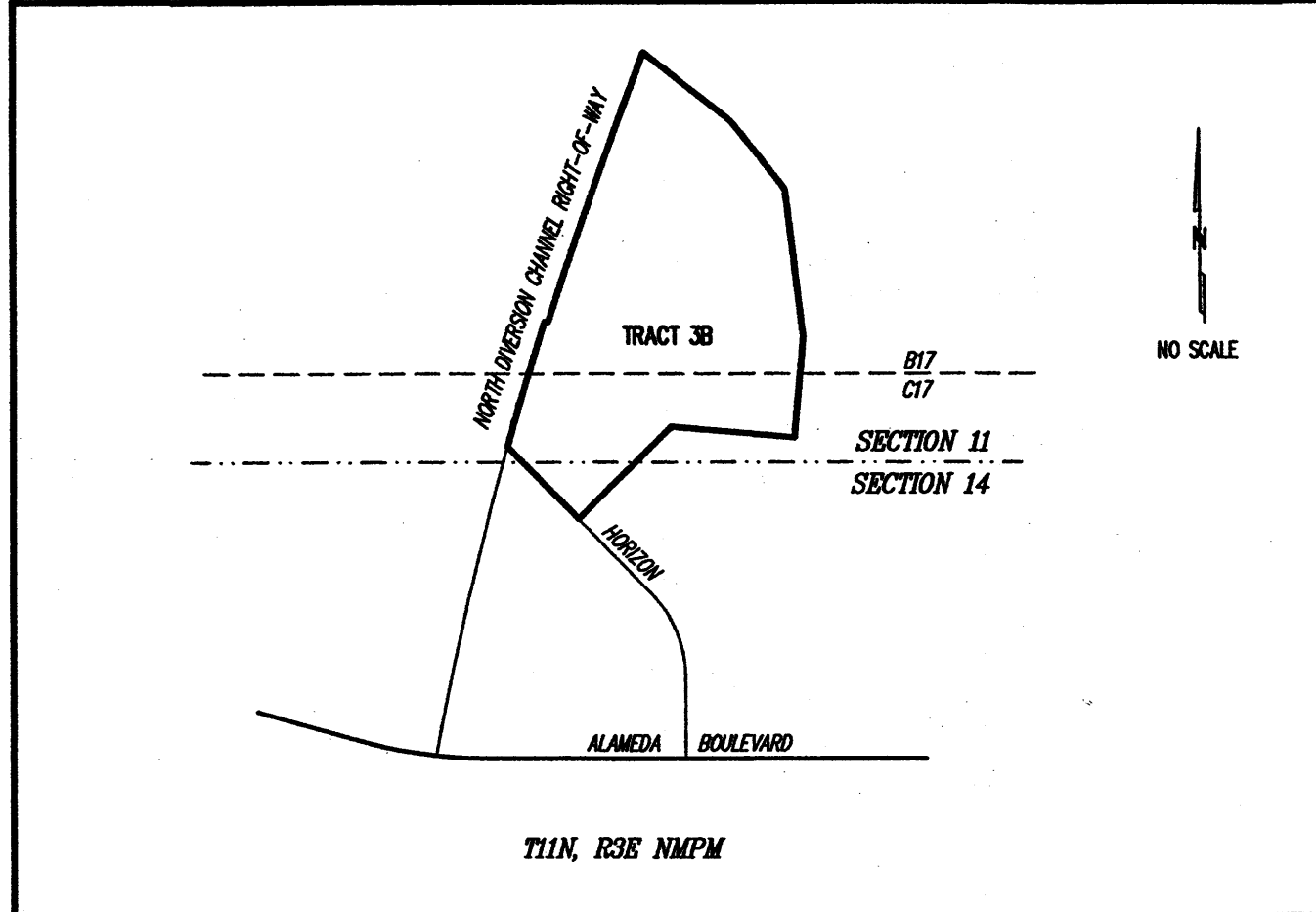
Dan B. Holmes
DAN B. HOLMES, P.S. NO. 9243

10-27-08
DATE



HUITT-ZOLLARS
333 RIO RANCHO DR. N.E., STE. 101
RIO RANCHO, N.M., 87124
(505) 892-5141

TRACTS 3B1, 3B2 AND 3B3
 A SUBDIVISION OF TRACT 3B
LAND OF IHS ACQUISITION NO. 120, INC.
 WITHIN SECTIONS 11 AND 14,
 T. 11 N., R. 3 E., N. M. P. M.
 CITY OF ALBUQUERQUE
 ELENA GALLEGOS LAND GRANT
 BERNALILLO COUNTY, NEW MEXICO
 SEPTEMBER, 2008



VICINITY MAP
 ZONE ATLAS B-17 AND C-17

PLAT DATA

DRB NO. _____	PLAT ACRES	<u>18.7466</u>
NO. OF TRACTS <u>3</u>	TRACT ACRES	<u>18.7466</u>

ZONE DESIGNATION

TRACT 3B SU-2

DISCLOSURE STATEMENT

- THE PURPOSE OF THIS PLAT IS TO DIVIDE TRACT 3B INTO (3) TRACTS DESIGNATED AS TRACTS 3B1, 3B2 AND 3B3. EASEMENTS AS SHOWN ARE RECORD. NEW EASEMENTS BEING GRANTED BY THIS PLAT ARE INDICATED BY CROSS-HATCHING.

NOTES

- ALL BEARINGS SHOWN HEREON ARE GRID BEARINGS BASED ON THE NEW MEXICO STATE PLANE COORDINATE SYSTEM 1983, CENTRAL ZONE, MAPPING ANGLE IS -00°12'12.5". BASIS OF BEARINGS IS THE LINE BETWEEN SURVEY CONTROL MONUMENTS NDC_7_1A AND NDC_7 BEING S18°53'09"W. BASIS OF COORDINATES IS NDC_7_1A WITH COORDINATES AS SHOWN. DISTANCES ARE HORIZONTAL GROUND DISTANCES IN FEET.
- ALL BEARINGS AND DISTANCES PER FIELD SURVEY. RECORD INFORMATION WHERE DIFFERENT FROM ACTUAL FIELD SURVEY IS SHOWN IN PARENTHESIS ().
- BENCHMARK FOR THIS PLAT IS CONTROL POINT NDC_7_1A ELEVATION = 4987.20 (NGVD88) LOCATED APPROXIMATELY 687' TO THE SOUTHWEST OF THE NORTHERN MOST CORNER OF TRACT 3B.
- ALL PROPERTY CORNERS ARE SET WITH A 5/8" X 24" REBAR WITH RED OR YELLOW PLASTIC CAP STAMPED LS 9243 SET FLUSH WITH THE GROUND, UNLESS OTHERWISE NOTED.
- CITY OF ALBUQUERQUE WATER AND SEWER SERVICE TO THESE TRACTS MUST BE VERIFIED AND COORDINATED WITH THE PUBLIC WORKS DEPARTMENT, CITY OF ALBUQUERQUE.
- S.P. TALOS LOG NO. 2008362721

EASEMENTS

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- PNM ELECTRIC SERVICES FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLE NECESSARY TO PROVIDE ELECTRICAL SERVICE.
- PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLE NECESSARY TO PROVIDE NATURAL GAS.
- QWEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLE NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO, ABOVE GROUND PEDESTALS AND CLOSURES.
- COMCAST FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLE NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSE DESCRIBED ABOVE. TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS. WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN, NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON, PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

PNM AND QWEST COMMUNICATIONS DO NOT RELEASE ANY PREVIOUS EASEMENT RIGHT WHICH WAS GRANTED BY PRIOR PLATTING OR RECORD DOCUMENT UNLESS SPECIFICALLY NOTED HEREON.

DESCRIPTION

A PARCEL OF LAND BEING ALL OF TRACT 3B OF THE PLAT FOR TRACTS 3A AND 3B LAND OF IHS ACQUISITION NO. 120, INC., WITHIN PROJECTED SECTIONS 11 AND 14, T. 11 N., R. 3 E., N.M.P.M., RECORDED ON DECEMBER 6, 1999 IN BOOK 99C, FOLIO 326, DOC. NO. 1999150020, WITHIN THE ELENA GALLEGOS GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHERN MOST CORNER OF SAID TRACT 3B, FROM WHICH THE BRASS CAP MONUMENT NDC_7_1A BEARS S 28°29'00" W 686.57 FEET,
 THENCE S 51°26'53"E 351.96 FEET ON THE NORTHEAST BOUNDARY LINE OF SAID TRACT;
 THENCE S 38°25'06"E 275.84 FEET ON THE NORTHEAST BOUNDARY LINE OF SAID TRACT;
 THENCE S 06°52'11"E 472.50 FEET ON THE EAST BOUNDARY LINE OF SAID TRACT;
 THENCE S 05°07'55"W 321.98 FEET ON THE EAST BOUNDARY LINE OF SAID TRACT;
 THENCE N 84°52'24"W 390.57 FEET ON THE SOUTHEAST BOUNDARY LINE OF SAID TRACT;
 THENCE S 45°00'11"E 414.37 FEET ON THE SOUTHEAST BOUNDARY LINE OF SAID TRACT;
 THENCE N 44°41'13"E 322.89 FEET ON THE SOUTHWEST BOUNDARY LINE OF SAID TRACT TO A POINT ON A NON-TANGENT CURVE FROM WHICH A RADIAL LINE BEARS S 74°19'46" E;
 THENCE 416.02 FEET TO THE NORTHEAST ON THE WEST BOUNDARY LINE OF SAID TRACT ON THE ARC OF SAID NON-TANGENT CURVE TO RIGHT HAVING A CENTRAL ANGLE OF 2°06'31", A RADIUS OF 11,304.16 FEET AND A CHORD OF 415.99 FEET, A RADIAL LINE AT THE END OF SAID CURVE BEARS S 72°13'15" E;
 THENCE S 71°26'53" E 10.46 FEET ON THE WEST BOUNDARY LINE OF SAID TRACT TO A POINT ON A NON-TANGENT CURVE FROM WHICH A RADIAL LINE BEARS S 72°13'34" E;
 THENCE 467.38 FEET TO THE NORTHEAST ON THE WEST BOUNDARY LINE OF SAID TRACT ON THE ARC OF SAID NON-TANGENT CURVE TO RIGHT HAVING A CENTRAL ANGLE OF 2°22'20", A RADIUS OF 11,294.16 FEET AND A CHORD OF 467.60 FEET, A RADIAL LINE AT THE END OF SAID CURVE BEARS S 69°51'14" E;
 THENCE N 20°11'32"E 443.76 FEET ON THE EAST BOUNDARY LINE OF SAID TRACT TO THE POINT OF BEGINNING.

PARCEL CONTAINS 18.7466 ACRES, MORE OR LESS AND (3) TRACTS.

DEDICATION AND FREE CONSENT

THE PROPERTY SHOWN HEREON IS REPLATTED WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF AND SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY GRANT TO THE CITY OF ALBUQUERQUE: ALL PUBLIC ACCESS AND PUBLIC UTILITY EASEMENTS SHOWN HEREON INCLUDING THE RIGHT TO CONSTRUCT, OPERATE, INSPECT, AND MAINTAIN FACILITIES THEREIN; AND ALL PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. THE OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY ACKNOWLEDGE SAID INSTRUMENT TO BE THEIR FREE ACT AND DEED. THOSE SIGNING WARRANT THAT THEY HOLD LEGAL TITLE TO PROPERTY BEING REPLATTED HEREON.

C&S EQUITIES, LLC
 OWNER TRACT 3B

CSRDA, INC. MANAGING MEMBER
 JEFF D. STUVE, MANAGER

(STATE OF _____) SS
 (COUNTY OF _____)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON _____, 20____
 BY JEFF D. STUVE, MANAGER OF CSRDA, INC. MANAGING MEMBER OF C&S EQUITIES, LLC AND SIGNED ON BEHALF OF SAID COMPANY.

BY: _____
 NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

TREASURER'S CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC #:

UPC # 101706507804330707

BERNALILLO COUNTY TREASURERS OFFICE

BY: _____ DATE: _____

PROJECT NO. _____

APPLICATION NO. _____

PLAT APPROVALS

UTILITY APPROVALS

PNM ELECTRIC SERVICES	DATE _____
PNM GAS SERVICES	DATE _____
QWEST TELECOMMUNICATIONS	DATE _____
COMCAST	DATE _____
NEW MEXICO UTILITIES	DATE _____

CITY APPROVALS

CITY SURVEYOR	DATE _____
REAL PROPERTY DIVISION	DATE _____
ENVIRONMENTAL HEALTH DEPARTMENT	DATE _____
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE _____
WATER UTILITY DEVELOPMENT	DATE _____
DEPARTMENT OF MUNICIPAL DEVELOPMENT	DATE _____
AMAFCA	DATE _____
CITY ENGINEER	DATE _____
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE _____

SURVEYOR'S CERTIFICATION

I, DAN B. HOLMES, NEW MEXICO REGISTERED PROFESSIONAL LAND SURVEYOR NO. 9243, DO HEREBY CERTIFY THAT THE PLAT SHOWN HEREON WAS PREPARED UNDER MY DIRECT SUPERVISION, SHOWS ALL EASEMENTS MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, UTILITY COMPANIES AND OTHER PARTIES EXPRESSING AN INTEREST. THIS PLAT MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND THE "MINIMUM STANDARDS FOR LAND SURVEYS" AS ESTABLISHED BY THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

DAN B. HOLMES, P.S. NO. 9243 DATE _____

HUITT-ZOLLARS
 333 RIO RANCHO DR. N.E., STE. 101
 RIO RANCHO, N.M., 87124
 (505) 892-5141

09-18-08
 COA3B.dwg

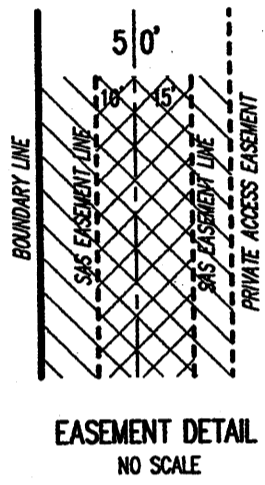
TRACTS 3B1, 3B2 AND 3B3
 A SUBDIVISION OF TRACT 3B
 LAND OF IHS ACQUISITION NO. 120, INC.
 WITHIN SECTIONS 11 AND 14,
 T. 11 N., R. 3 E., N. M. P. M.
 CITY OF ALBUQUERQUE
 ELENA GALLEGOS LAND GRANT
 BERNALILLO COUNTY, NEW MEXICO
 SEPTEMBER, 2008

BOUNDARY EVIDENCE

ALL BOUNDARY CORNERS ARE SET WITH A NO. 5 REBAR WITH PLASTIC CAP STAMPED LS 9243

- ① FOUND NO. 5 REBAR W/ PLASTIC CAP STAMPED PS 10466
- ② FOUND 40D NAIL W/ BRASS WASHER STAMPED PS 11463 IN TREE BASE
- ③ FOUND NO. 5 REBAR W/ PLASTIC CAP STAMPED WEAVER
- ④ FOUND NO. 5 REBAR W/ PLASTIC CAP STAMPED PS 10463
- ⑤ FOUND AMAFCA NDC R/W MONUMENT
- ⑥ FOUND PK W/ WASHER STAMPED PS 10466
- ⑦ FOUND NO. 5 REBAR W/ PLASTIC CAP STAMPED PS 11463

ATTACHED A BRASS TAG STAMPED LS 9243 WITH TIE WIRE TO ACCEPTED POINTS IN ITEMS ABOVE

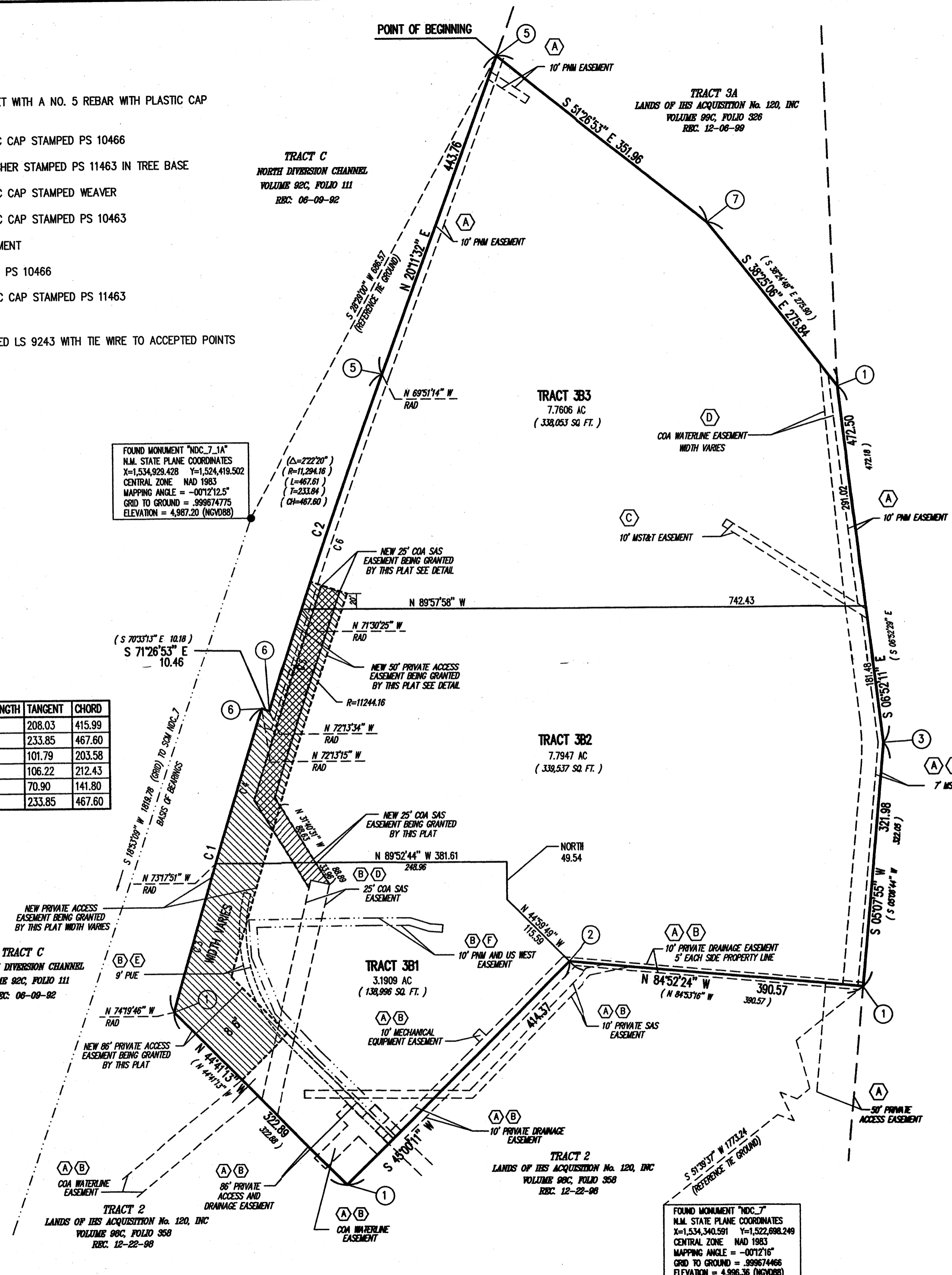


CURVE TABLE

NO	DELTA	RADIUS	ARC LENGTH	TANGENT	CHORD
C1	02°06'31"	11304.16	416.02	208.03	415.99
C2	02°22'20"	11294.16	467.63	233.85	467.60
C3	01°01'55"	11304.16	203.58	101.79	203.58
C4	01°04'36"	11304.16	212.43	106.22	212.43
C5	00°43'10"	11294.16	141.80	70.90	141.80
C6	02°22'20"	11294.16	467.63	233.85	467.60

FOUND MONUMENT "NDC_7_1A"
 N.M. STATE PLANE COORDINATES
 X=1,534,929.428 Y=1,524,419.502
 CENTRAL ZONE NAD 1983
 MAPPING ANGLE = -0°12'12.5"
 GRID TO GROUND = .999674775
 ELEVATION = 4,987.20 (NGVD88)

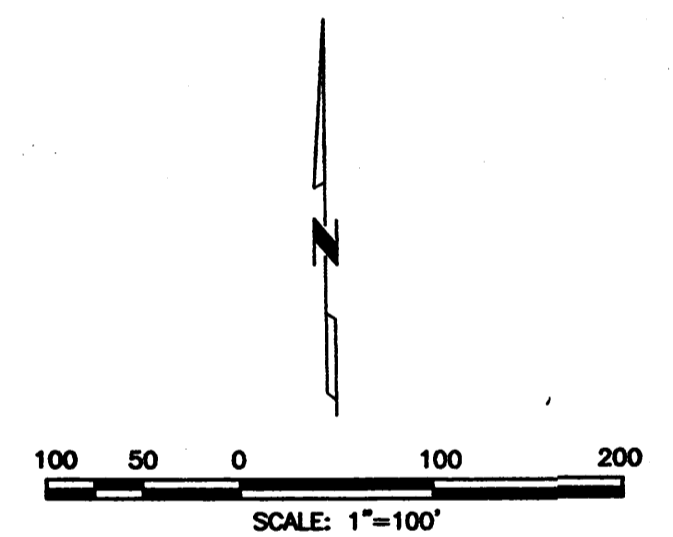
FOUND MONUMENT "NDC_7"
 N.M. STATE PLANE COORDINATES
 X=1,534,340.591 Y=1,522,698.249
 CENTRAL ZONE NAD 1983
 MAPPING ANGLE = -0°12'16"
 GRID TO GROUND = .999674466
 ELEVATION = 4,996.36 (NGVD88)



EASEMENTS OF RECORD

- A EASEMENTS PER RECORDED PLAT, RECORDED ON 12-22-98 IN BOOK 98C, FOLIO 358 RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
- B EASEMENTS PER RECORDED PLAT, RECORDED ON 12-06-99 IN BOOK 99C, FOLIO 326 RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
- C EASEMENT GRANTED TO MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY, A COLORADO CORPORATION, RECORDED ON 06-20-83 IN BOOK MISC. 24A, PAGE 237, DOC. NO. 83-40062, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
- D A PERMANENT EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE, NEW MEXICO RECORDED IN BOOK 92-28, PAGE 3168, DOC. NO. 92119336, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
- E A PERMANENT EASEMENT RECORDED IN BOOK 96-31, PAGE 8823, AS DOCUMENT NO. 9765184, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
- F AN UNDERGROUND EASEMENT RECORDED IN BOOK 97-17, PAGE 4176, AS DOCUMENT NO. 9765184, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
- G A RECIPROCAL EASEMENT AND OPERATING AGREEMENT RECORDED IN BOOK 9820, PAGE 7260, AS DOCUMENT NO. 1998169125 RECORDS OF BERNALILLO COUNTY, NEW MEXICO, UNABLE TO BE PLOTTED.
- H PROPERTY SUBJECT TO ACCESS AND DRAINAGE EASEMENT PER RECIPROCAL EASEMENT OF OPERATING AGREEMENT RECORDED IN BOOK 9820, PAGE 7260, AS DOCUMENT NO. 1998169125, RECORDS OF BERNALILLO COUNTY, NEW MEXICO. NOT ABLE TO PLOT ON MAP.

TRACT A
 CORRECTED PLAT OF LANDS OF
 SISTERS OF THE ORDER OF ST. DOMINIC
 VOLUME C27, FOLIO 141
 REC. 06-26-85



SURVEYOR'S CERTIFICATION

I, DAN B. HOLMES, NEW MEXICO REGISTERED PROFESSIONAL LAND SURVEYOR NO. 9243, DO HEREBY CERTIFY THAT THE PLAT SHOWN HEREON WAS PREPARED UNDER MY DIRECT SUPERVISION, SHOWS ALL EASEMENTS MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, UTILITY COMPANIES AND OTHER PARTIES EXPRESSING AN INTEREST. THIS PLAT MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND THE "MINIMUM STANDARDS FOR LAND SURVEYS" AS ESTABLISHED BY THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

DAN B. HOLMES, P.S. NO. 9243
 09-16-08
 DATE

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