

VICINITY MAP
NOT TO SCALE

GENERAL NOTES

- Bearings are New Mexico State Plane Grid Bearings (Central Zone - NAD 83) originated at the Albuquerque Control Survey Monument "TRANS".
- Distances are ground.
- Distances along curved lines are arc lengths.
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- All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- U.C.L.S. Log Number 2009082317
- City of Albuquerque Zone Atlas Page: M-09-Z

SUBDIVISION DATA

Total number of existing Tracts: 1
Total number of new Tracts created: 1
Gross Subdivision acreage: 1.7696 acres

SHEET INDEX

- SHEET 1 - General Notes, Approvals, Surveyor Certification
- SHEET 2 - Legal Description, Acknowledgement
- SHEET 3 - Existing Tract and Easements
- SHEET 4 - Sidewalk Easement

TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following:

1009077-10077-124
BINDER 2009

[Signature]
Bernalillo County Treasurer

4-21-09

Date

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- Public Service Company of New Mexico for installation, maintenance, and service of underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical service.
- New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
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Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

DISCLAIMER

In approving this plat, Public Service Company of New Mexico and New Mexico Gas Company did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive nor release any easement or easement rights to which it may be entitled.

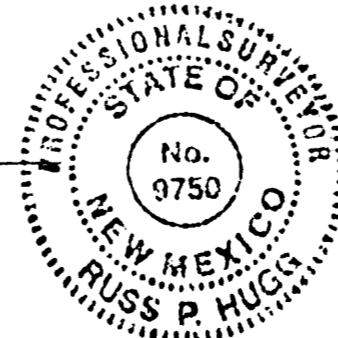
PURPOSE OF PLAT:

The purpose of this plat is to show the Public Blanket Drainage Easement within Tract E-4-A, which was VACATED BY 09DRB-70094.

SURVEYOR'S CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my direct supervision; that it meets the Standards for Land Surveys in the State of New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

[Signature]
Russ P. Hugg
NMPS No. 9750
February 24, 2009



PLAT OF
TRACT E-4-A-1
ALBUQUERQUE SOUTH
UNIT THREE

(BEING A REPLAT OF TRACT E-4-A, ALBUQUERQUE SOUTH, UNIT THREE)

SITUATE WITHIN
THE TOWN OF ATRISCO GRANT
IN

PROJECTED SECTION 4, TOWNSHIP 9 NORTH, RANGE 2 EAST
AND

PROJECTED SECTION 33, TOWNSHIP 10 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN

CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

FEBRUARY, 2009

PROJECT NUMBER: 1007504

Application Number: 09DRB-70094 VPE
09DRB-70095 P&F

PLAT APPROVAL

Utility Approvals:

<i>[Signature]</i> Public Service Company of New Mexico	3/13/09 Date
<i>[Signature]</i> New Mexico Gas Company	3/17/2009 Date
<i>[Signature]</i> QWest Corporation	3/4/09 Date
<i>[Signature]</i> Comcast	3-27-09 Date

City Approvals:

<i>[Signature]</i> City Surveyor Department of Municipal Development	3-4-09 Date
N/A Real Property Division	Date
N/A Environmental Health Department	Date
<i>[Signature]</i> Traffic Engineering, Transportation Division	04-01-09 Date
<i>[Signature]</i> ABCWUA	4-1-09 Date
<i>[Signature]</i> Parks and Recreation Department	4/1/09 Date
<i>[Signature]</i> AMAFCA	4/1/09 Date
<i>[Signature]</i> City Engineer	4-1-09 Date
<i>[Signature]</i> DRB Chairperson, Planning Department	4-17-09 Date

DOC# 2009043261
3/24/09 4:23:28 PM Page: 1 of 4
Toulaus Oliveira, Bernalillo County

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(BEING A REPLAT OF TRACT E-4-A, ALBUQUERQUE SOUTH, UNIT THREE)

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NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

FEBRUARY, 2009

LEGAL DESCRIPTION

That certain parcel of land situate within the Town of Alameda Grant in projected Section 4, Township 9 North, Range 2 East and projected Section 33, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being and comprising all of Tract E-4-A, Albuquerque South Unit Three as the same is shown and designated on the plat entitled "BULK LAND PLAT TRACTS E-4-A AND E-4-B, ALBUQUERQUE SOUTH UNIT THREE (BEING A REPLAT OF TRACT E-4, ALBUQUERQUE SOUTH UNIT THREE) SITUATE WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 4, TOWNSHIP 9 NORTH, RANGE 2 EAST AND PROJECTED SECTION 33, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico on February 24, 2009 in Plat Book 2009C, page 30.

Said Tract contains 1.7696 acres, more or less

FREE CONSENT

SURVEYED and REPLATTED and now comprising, PLAT OF TRACT E-4-A-1, ALBUQUERQUE SOUTH UNIT THREE (BEING A REPLAT OF TRACT E-4-A, ALBUQUERQUE SOUTH UNIT THREE) SITUATE WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 4, TOWNSHIP 9 NORTH, RANGE 2 EAST AND PROJECTED SECTION 33, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby warrant that they hold among them, complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

OWNER

Bencor/Gibson Limited Partnership, a New Mexico limited partnership

Bruce Walkowski

By: Bruce Walkowski, Manager

SOLAR NOTE:

No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat.

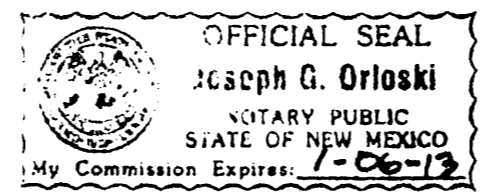
ACKNOWLEDGMENT

STATE OF NEW MEXICO
COUNTY OF BERNALILLO SS

This instrument was acknowledged before me on this 2nd day of March, 2009, by Bruce Walkowski.

[Signature]
Notary Public

01-06-13
My commission expires



DOCH 2009043261
24/2/2009 03:57 PM Page: 2 of 4
PLOT R 522 00 B 2009C P: 0061 M Toulouse Olivere, Bernalillo Cou



SURVOTEK, INC.
Consulting Surveyors
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114 Phone: 505-897-3366
Fax: 505-897-3977

EASEMENT LEGEND

- ⓑ Existing 10' Public Utility Easement granted by plat filed February 24, 2009 in Plat Book 2009C, page 30.
- ⓒ Existing 10' Private Drainage Easement granted by plat filed February 24, 2009 in Plat Book 2009C, Page 30.
- ⓓ Existing 20' Public Sanitary Sewer Easement granted to the Albuquerque Bernalillo County Water Utility Authority by plat filed February 24, 2009 in Plat Book 2009C, Page 30.
- ⓔ Existing 15' Waterline Easement granted to the Albuquerque Bernalillo County Water Utility Authority by plat filed February 24, 2009 in Plat Book 2009C, Page 30.

VACATION OF EXISTING BLANKET DRAINAGE EASEMENT

There is an existing Blanket Drainage Easement over Tract E-4-A which was granted by plat filed November 28, 1994 in Volume 94C, Folio 393 and referenced on plat filed June 5, 2002 in Plat Book 2002C, Folio 197. Said Easement is VACATED BY 09DRB-10094.

CROSS LOT ACCESS AND DRAINAGE EASEMENT

Said Tract E-4-A is subject to existing Cross-Lot Drainage and Access Easements granted by plat filed February 24, 2009 in Plat Book 2009C, Page 30.

NOTICE OF SUBDIVISION PLAT CONDITIONS

Said Tract E-4-A is subject to NOTICE OF SUBDIVISION PLAT CONDITIONS for Tracts E-4-A and E-4-B, Albuquerque South, Unit 3 as noted on plat filed February 24, 2009, in Plat Book 2009C, Page 30.

**PLAT OF
TRACT E-4-A-1
ALBUQUERQUE SOUTH
UNIT THREE**

(BEING A REPLAT OF TRACT E-4-A, ALBUQUERQUE SOUTH, UNIT THREE)

SITUATE WITHIN
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IN

PROJECTED SECTION 4, TOWNSHIP 9 NORTH, RANGE 2 EAST
AND

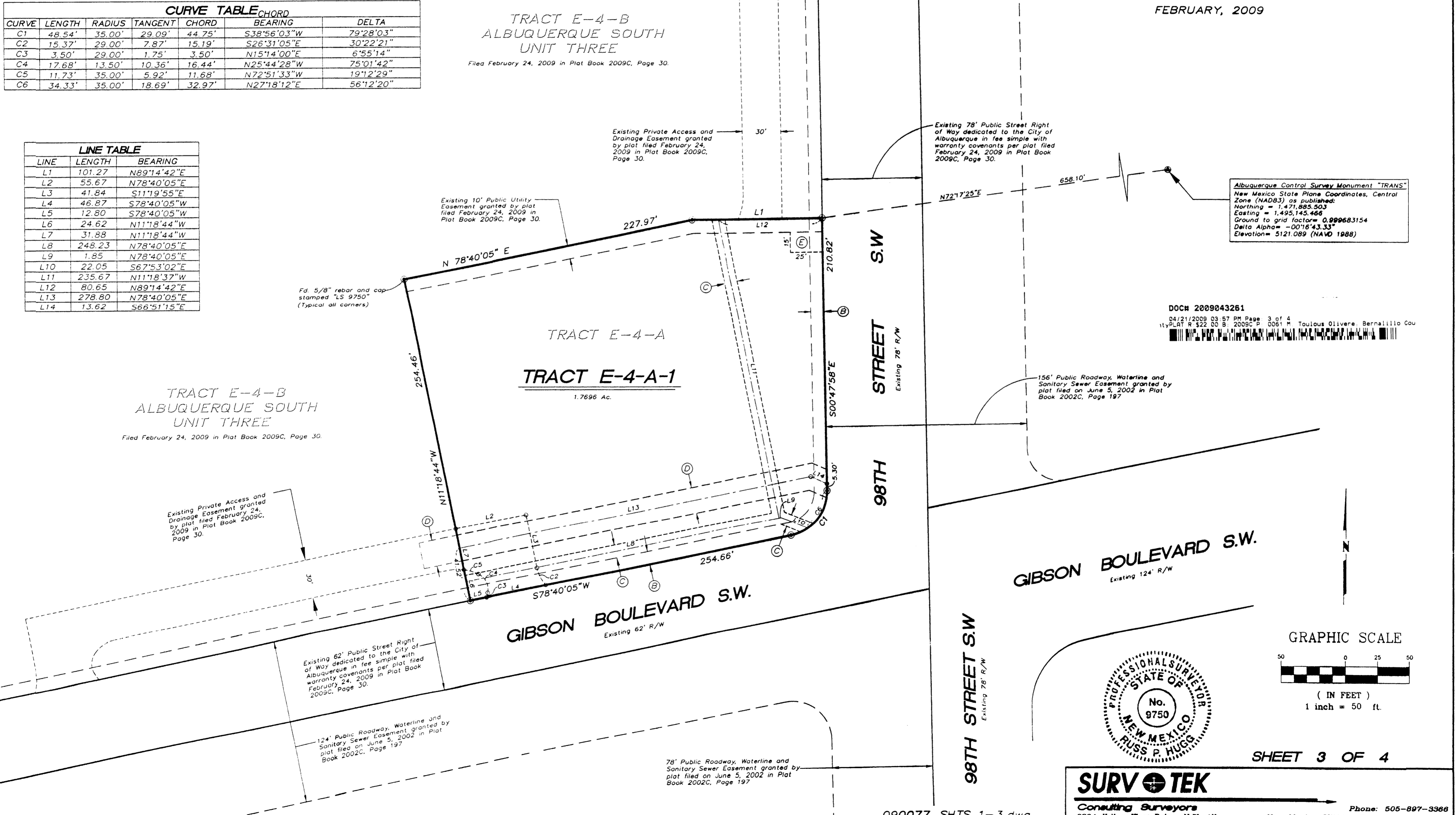
PROJECTED SECTION 33, TOWNSHIP 10 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN

CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

FEBRUARY, 2009

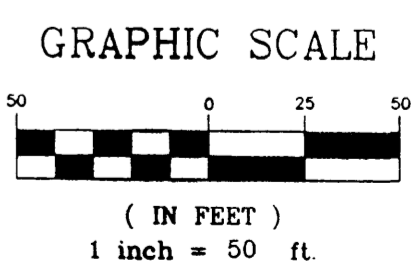
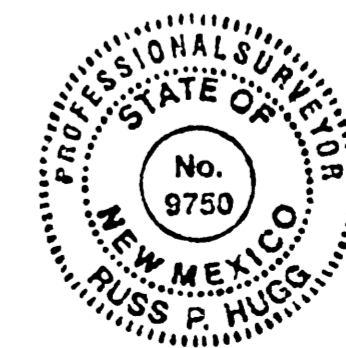
CURVE TABLE CHORD						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	BEARING	DELTA
C1	48.54'	35.00'	29.09'	44.75'	S38°56'03"W	79°28'03"
C2	15.37'	29.00'	7.87'	15.19'	S26°31'05"E	30°22'21"
C3	3.50'	29.00'	1.75'	3.50'	N15°14'00"E	6°55'14"
C4	17.68'	13.50'	10.36'	16.44'	N25°44'28"W	75°01'42"
C5	11.73'	35.00'	5.92'	11.68'	N72°51'33"W	19°12'29"
C6	34.33'	35.00'	18.69'	32.97'	N27°18'12"E	56°12'20"

LINE TABLE		
LINE	LENGTH	BEARING
L1	101.27	N89°14'42"E
L2	55.67	N78°40'05"E
L3	41.84	S11°19'55"E
L4	46.87	S78°40'05"W
L5	12.80	S78°40'05"W
L6	24.62	N11°18'44"W
L7	31.88	N11°18'44"W
L8	248.23	N78°40'05"E
L9	1.85	N78°40'05"E
L10	22.05	S67°53'02"E
L11	235.67	N11°18'37"W
L12	80.65	N89°14'42"E
L13	278.80	N78°40'05"E
L14	13.62	S66°51'15"E



Albuquerque Control Survey Monument "TRANS"
New Mexico State Plane Coordinates, Central Zone (NAD83) as published:
Northing = 1,471,885.503
Easting = 1,495,145.466
Ground to grid factor = 0.999683154
Delta Alpha = -00°16'43.33"
Elevation = 5121.089 (NAVD 1988)

DOCH 2009043261
04/21/2009 03:57 PM Page 3 of 4
City PLAT R \$22.00 B. 2009C P 3061 M. Toulous Oliveira, Bernalillo Cou



SHEET 3 OF 4

SURV+TEK
Consulting Surveyors
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3368 Fax: 505-897-3377

090077_SHTS 1-3.dwg

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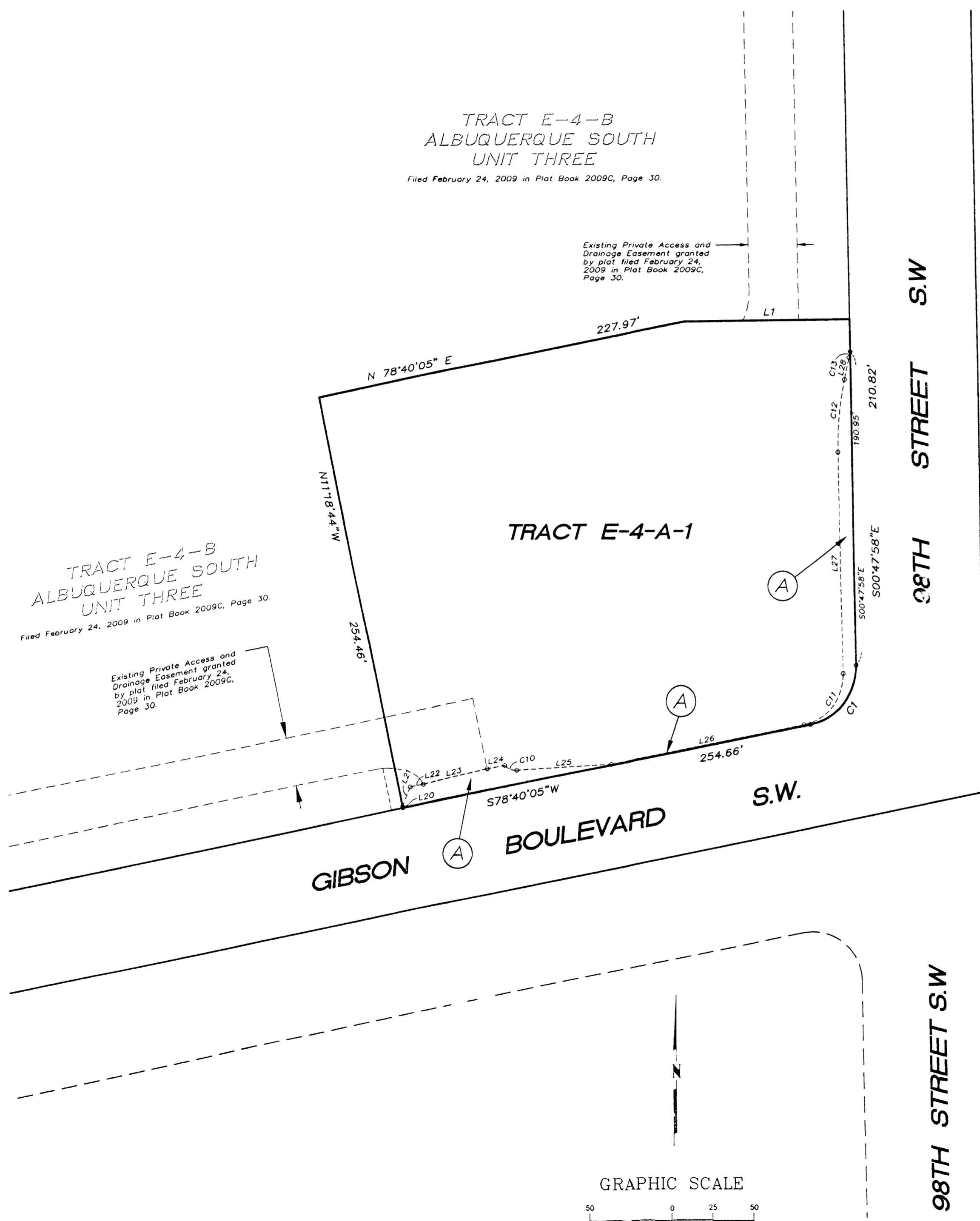
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TRACT E-4-B
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Filed February 24, 2009 in Plat Book 2009C, Page 30.

TRACT E-4-B
ALBUQUERQUE SOUTH
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Existing Private Access and
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Existing Private Access and
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(A) Existing Public Sidewalk Easement
granted to the City of Albuquerque
by plat filed February 24, 2009 in
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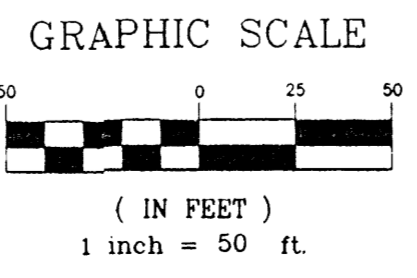
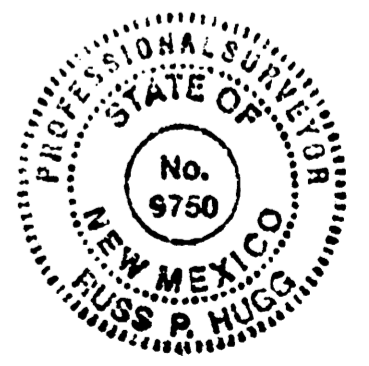
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CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C10	8.33'	9.00'	4.49'	8.04'	S67°05'35"E	53°02'45"
C11	41.73'	30.00'	25.04'	38.45'	N38°48'55"E	79°42'19"
C12	43.28'	190.00'	21.74'	43.19'	S05°29'20"W	13°03'08"
C13	3.74'	170.00'	1.87'	3.74'	N11°23'07"E	1°15'33"

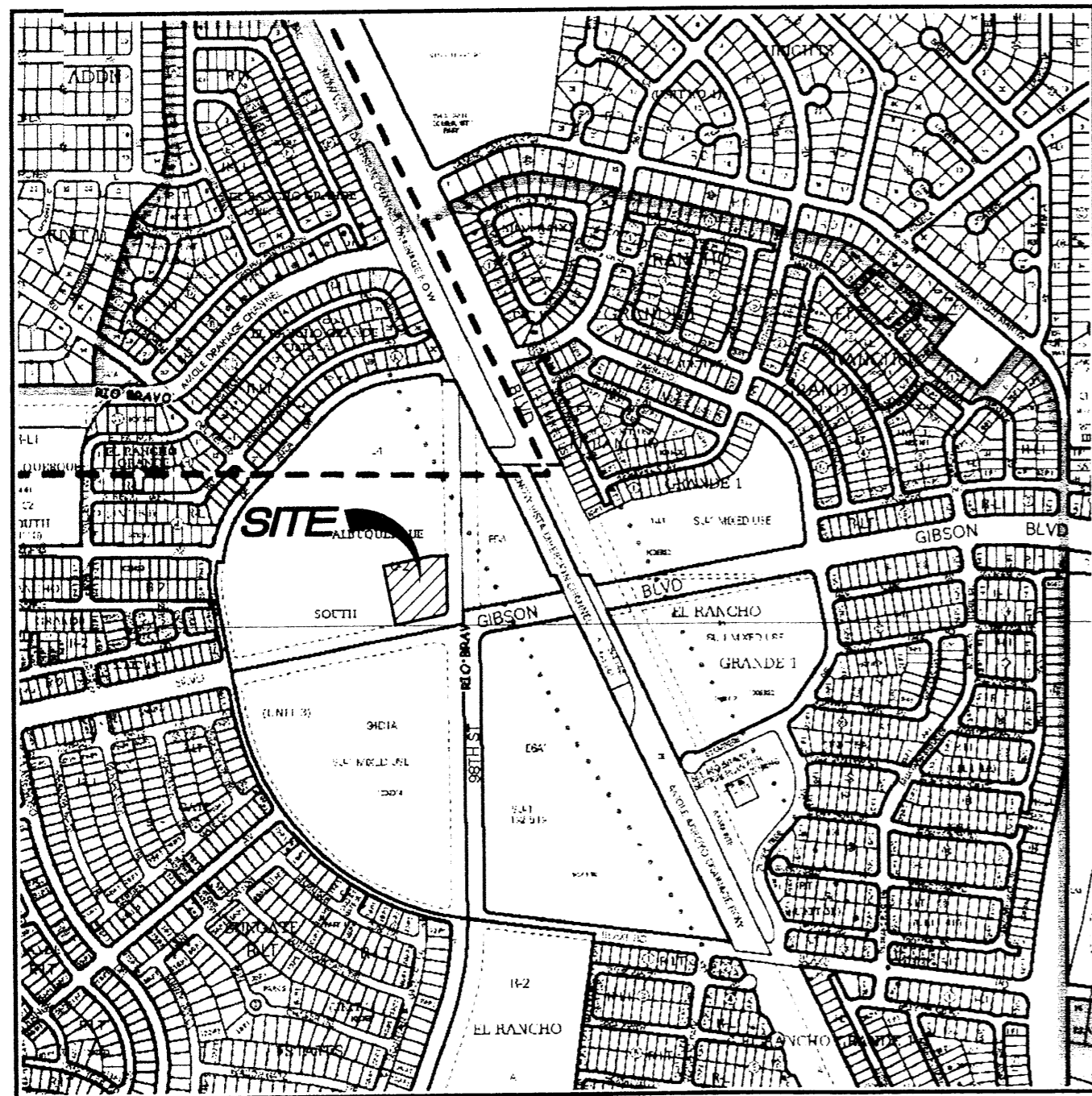
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L21	12.67	N21°51'03"E
L22	8.20	N78°40'05"E
L23	40.64	N76°26'52"E
L24	10.89	N78°41'16"E
L25	57.96	N86°23'03"E
L26	120.09	N78°40'05"E
L27	135.96	N01°02'14"W
L28	13.67	N12°00'54"E

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City: PLAT R 22 00 B 2009C P 0061 M. Tulous Olivere, Bernalillo Cou



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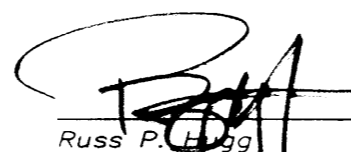
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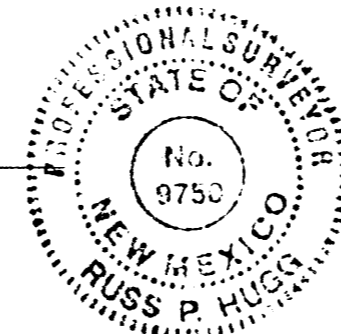
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FEBRUARY, 2009

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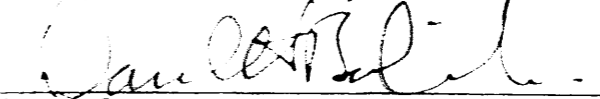
Application Number: _____

PLAT APPROVAL

Utility Approvals:

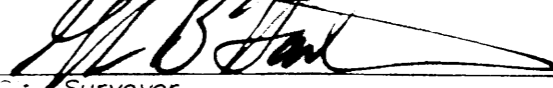
Public Service Company of New Mexico _____ Date _____

New Mexico Gas Company _____ Date _____

 _____ 3/4/09
 QWest Corporation _____ Date _____

Comcast _____ Date _____

City Approvals:

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 Department of Municipal Development

Real Property Division _____ Date _____

Environmental Health Department _____ Date _____

Traffic Engineering, Transportation Division _____ Date _____

RECREA _____ Date _____

Parks and Recreation Department _____ Date _____

PLANNING _____ Date _____

City Engineer _____ Date _____

Public Works, Planning Department _____ Date _____

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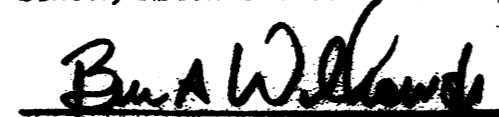
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OWNER

Bencor/Gibson Limited Partnership, a New Mexico limited partnership



By: Bruce Walkowski, Manager

SOLAR NOTE:

No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat.

ACKNOWLEDGMENT

STATE OF NEW MEXICO
COUNTY OF BERNALILLO SS

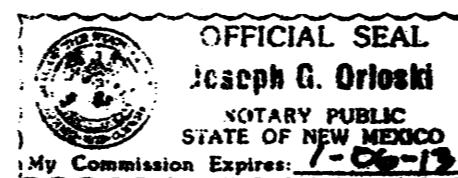
This instrument was acknowledged before me on this 2nd day
of March, 2009, by Bruce Walkowski.



Notary Public

01-06-13

My commission expires



SHEET 2 OF 4

SURVOTEK, INC.

Consulting Surveyors
9384 Valley View Drive, N.E. Albuquerque, New Mexico 87114
Phone: 505-897-3366
Fax: 505-897-3377

090077_SHTS 1-3.dwg

EASEMENT LEGEND

- (B) Existing 10' Public Utility Easement granted by plat filed February 24, 2009 in Plat Book 2009C, page 30.
- (C) Existing 10' Private Drainage Easement granted by plat filed February 24, 2009 in Plat Book 2009C, Page 30.
- (D) Existing 20' Public Sanitary Sewer Easement granted to the Albuquerque Bernalillo County Water Utility Authority by plat filed February 24, 2009 in Plat Book 2009C, Page 30.
- (E) Existing 15' Waterline Easement granted to the Albuquerque Bernalillo County Water Utility Authority by plat filed February 24, 2009 in Plat Book 2009C, Page 30.

VACATION OF EXISTING BLANKET DRAINAGE EASEMENT

There is an existing Blanket Drainage Easement over Tract E-4-A which was granted by plat filed November 28, 1994 in Volume 94C, Folio 393 and referenced on plat filed June 5, 2002 in Plat Book 2002C, Folio 197. Said Easement is VACATED BY 09DRB-

CROSS LOT ACCESS AND DRAINAGE EASEMENT

Said Tract E-4-A is subject to existing Cross-Lot Drainage and Access Easements granted by plat filed February 24, 2009 in Plat Book 2009C, Page 30.

NOTICE OF SUBDIVISION PLAT CONDITIONS

Said Tract E-4-A is subject to NOTICE OF SUBDIVISION PLAT CONDITIONS for Tracts E-4-A and E-4-B, Albuquerque South, Unit 3 as noted on plat filed February 24, 2009, in Plat Book 2009C, Page 30.

PLAT OF
TRACT E-4-A-1
ALBUQUERQUE SOUTH
UNIT THREE

(BEING A REPLAT OF TRACT E-4-A, ALBUQUERQUE SOUTH, UNIT THREE)

SITUATE WITHIN
THE TOWN OF ATRISCO GRANT
IN

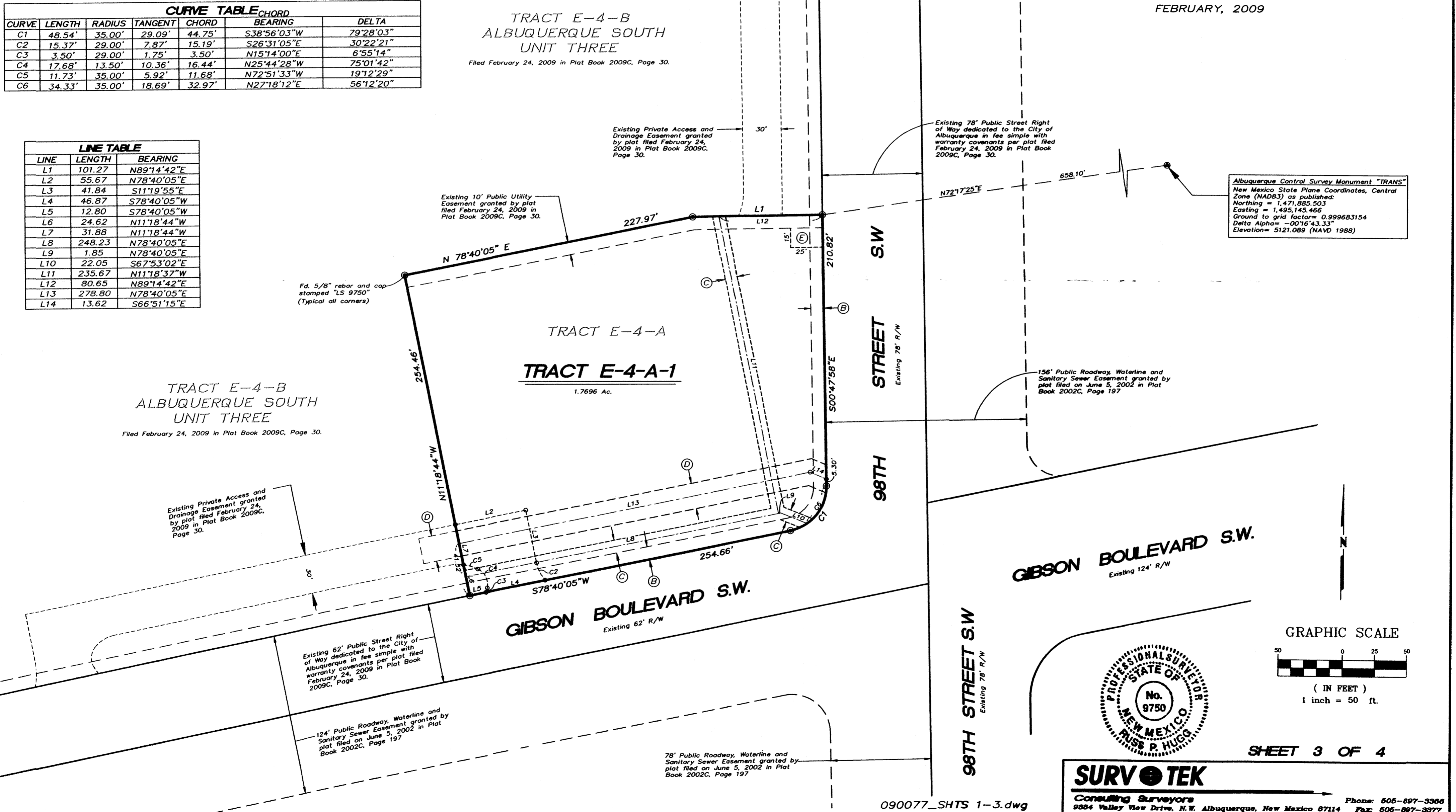
PROJECTED SECTION 4, TOWNSHIP 9 NORTH, RANGE 2 EAST
AND
PROJECTED SECTION 33, TOWNSHIP 10 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN

CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

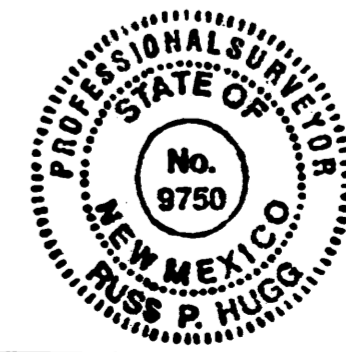
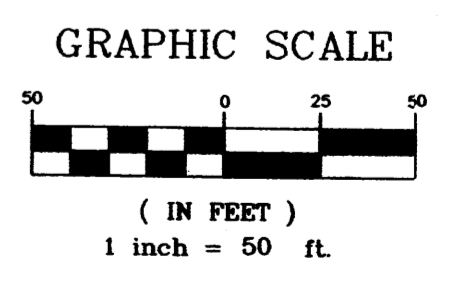
FEBRUARY, 2009

CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD	
					BEARING	DELTA
C1	48.54'	35.00'	29.09'	44.75'	S38°56'03"W	79°28'03"
C2	15.37'	29.00'	7.87'	15.19'	S26°31'05"E	30°22'21"
C3	3.50'	29.00'	1.75'	3.50'	N15°14'00"E	6°55'14"
C4	17.68'	13.50'	10.36'	16.44'	N25°44'28"W	75°01'42"
C5	11.73'	35.00'	5.92'	11.68'	N72°51'33"W	19°12'29"
C6	34.33'	35.00'	18.69'	32.97'	N27°18'12"E	56°12'20"

LINE TABLE		
LINE	LENGTH	BEARING
L1	101.27	N89°14'42"E
L2	55.67	N78°40'05"E
L3	41.84	S11°19'55"E
L4	46.87	S78°40'05"W
L5	12.80	S78°40'05"W
L6	24.62	N11°18'44"W
L7	31.88	N11°18'44"W
L8	248.23	N78°40'05"E
L9	1.85	N78°40'05"E
L10	22.05	S67°53'02"E
L11	235.67	N11°18'37"W
L12	80.65	N89°14'42"E
L13	278.80	N78°40'05"E
L14	13.62	S66°51'15"E



Albuquerque Control Survey Monument "TRANS"
New Mexico State Plane Coordinates, Central Zone (NAD83) as published:
Northing = 1,471,825.503
Easting = 1,495,145.466
Ground to grid factor = 0.999683154
Delta Alpha = -00'16"43.33"
Elevation = 5121.089 (NAVD 1988)



SURVOTEK
Consulting Surveyors
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3366 Fax: 505-897-3377

PLAT OF
TRACT E-4-A-1
ALBUQUERQUE SOUTH
UNIT THREE

(BEING A REPLAT OF TRACT E-4-A, ALBUQUERQUE SOUTH, UNIT THREE)

SITUATE WITHIN

THE TOWN OF ATRISCO GRANT
IN

PROJECTED SECTION 4, TOWNSHIP 9 NORTH, RANGE 2 EAST
AND

PROJECTED SECTION 33, TOWNSHIP 10 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN

CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

FEBRUARY, 2009

TRACT E-4-B
ALBUQUERQUE SOUTH
UNIT THREE

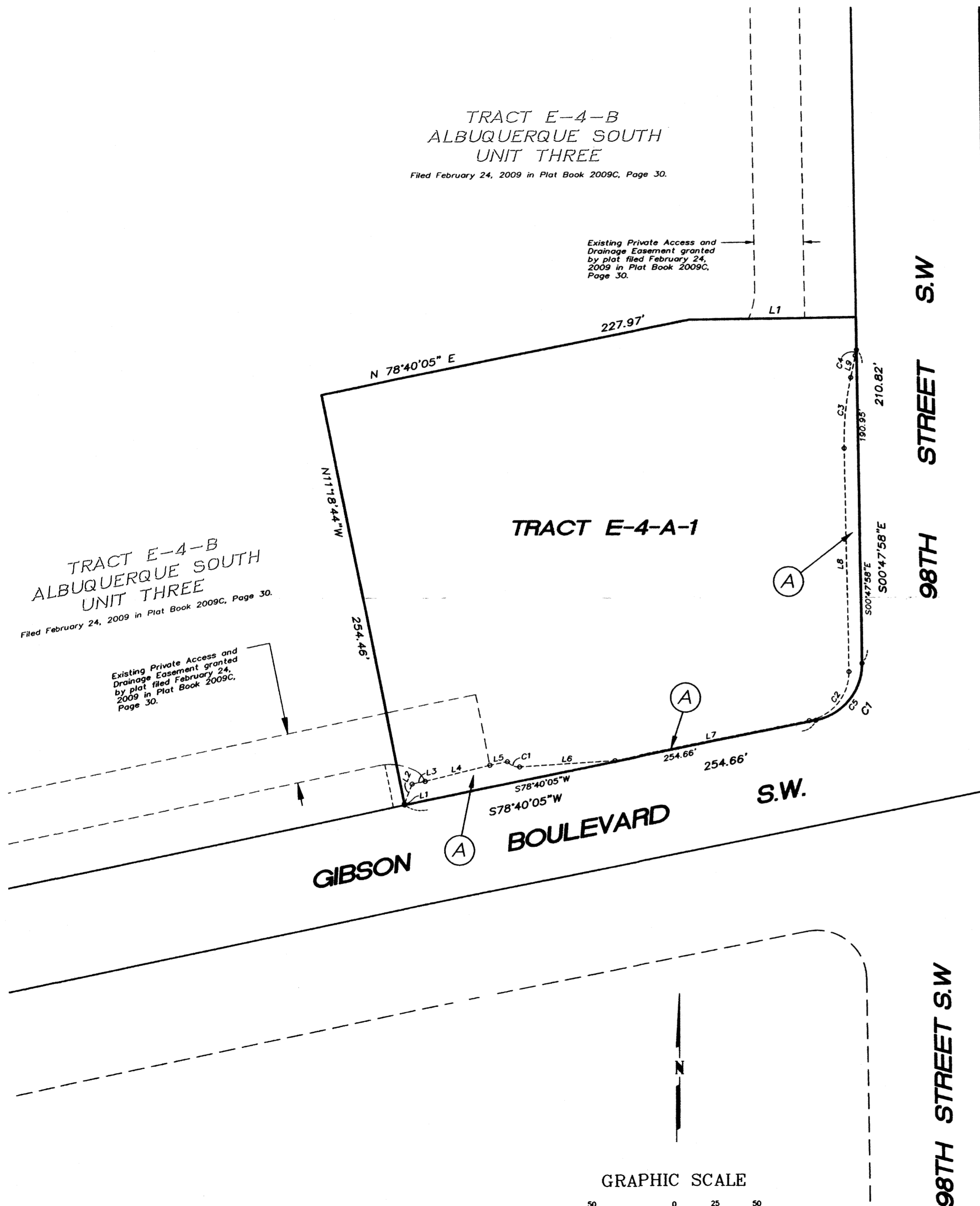
Filed February 24, 2009 in Plat Book 2009C, Page 30.

Existing Private Access and
Drainage Easement granted
by plat filed February 24,
2009 in Plat Book 2009C,
Page 30.

TRACT E-4-B
ALBUQUERQUE SOUTH
UNIT THREE

Filed February 24, 2009 in Plat Book 2009C, Page 30.

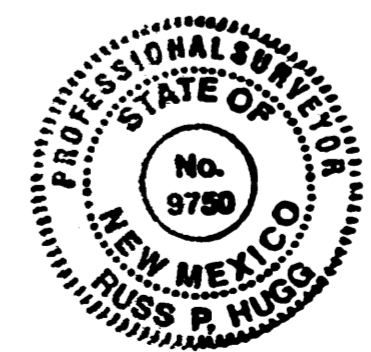
Existing Private Access and
Drainage Easement granted
by plat filed February 24,
2009 in Plat Book 2009C,
Page 30.

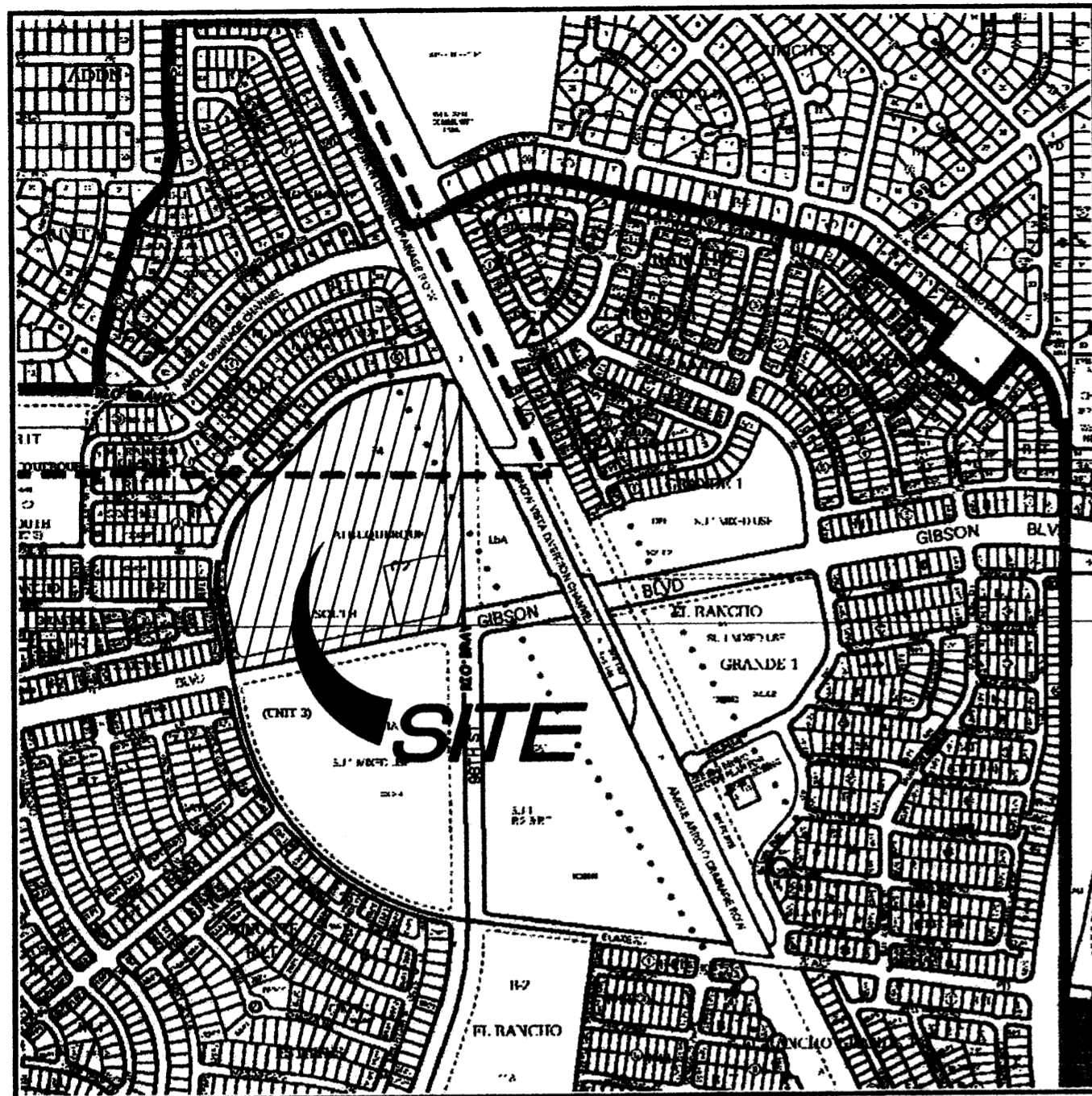


(A) Existing Public Sidewalk Easement
granted to the City of Albuquerque
by plat filed February 24, 2009 in
Plat Book 2009C, Page 30.

EASEMENT CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	8.33'	9.00'	4.49'	8.04'	S67°05'35"E	53°02'45"
C2	41.73'	30.00'	25.04'	38.45'	N38°48'55"E	79°42'19"
C3	43.28'	190.00'	21.74'	43.19'	S05°29'20"W	13°03'08"
C4	3.74'	170.00'	1.87'	3.74'	N11°23'07"E	1°15'33"
C5	48.54'	35.00'	29.09'	44.75'	N38°56'03"E	79°28'03"

EASEMENT LINE TABLE		
LINE	LENGTH	BEARING
L1	0.73	N11°18'44"W
L2	12.67	N21°51'03"E
L3	8.20	N78°40'05"E
L4	40.64	N76°26'52"E
L5	10.89	N78°41'16"E
L6	57.96	N86°23'03"E
L7	120.09	N78°40'05"E
L8	135.96	N01°02'14"W
L9	13.67	N12°00'54"E





VICINITY MAP
NOT TO SCALE

GENERAL NOTES

- Bearings are New Mexico State Plane Grid Bearings (Central Zone - NAD 83) originated at the Albuquerque Control Survey Monument "TRANS".
- Distances are ground.
- Distances along curved lines are arc lengths.
- Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ().
- All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- U.C.L.S. Log Number 2008401975
- City of Albuquerque Zone Atlas Page: M-09-Z

SUBDIVISION DATA

Total number of existing Tracts: 1
 Total number of new Tracts created: 2
 Gross Subdivision acreage: 27.8174 acres
 Total Mileage of public half-width streets created: 0.53 Mile

SHEET INDEX

- SHEET 1 - General Notes, Approvals, Surveyor Certification
- SHEET 2 - Legal Description, Acknowledgement
- SHEET 3 - Existing Tract, New Tracts, Easements
- SHEET 4 - Additional Easement (Private Access)
- SHEET 5 - Additional Easement (Sidewalk)

TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following:

Bernalillo County Treasurer

Date

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- PNM Electric Services for installation, maintenance, and service of underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical service.
- PNM Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- QWest Corporation for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to ground pedestals and closures.
- Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

DISCLAIMER

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.


PURPOSE OF PLAT:

The Purpose of this plat is to:

- Create 2 New Tracts of land from existing Tract E-4, Albuquerque South, Unit 3
- Grant the Public and Private Easements as shown hereon.
- Dedicate the additional public street Right of Way, as shown hereon, to the City of Albuquerque in fee simple with warranty covenants.

SURVEYOR'S CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my direct supervision; that it meets the Standards for Land Surveys in the State of New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.


 Russ P. Hugg
 NMPS No. 9750
 January 12, 2009



**BULK LAND PLAT
 TRACTS E-4-A AND E-4-B
 ALBUQUERQUE SOUTH
 UNIT THREE**

(BEING A REPLAT OF TRACT E-4, ALBUQUERQUE SOUTH, UNIT THREE)

SITUATE WITHIN
 THE TOWN OF ATRISCO GRANT
 IN
 PROJECTED SECTION 4, TOWNSHIP 9 NORTH, RANGE 2 EAST
 AND
 PROJECTED SECTION 33, TOWNSHIP 10 NORTH, RANGE 2 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO

JANUARY, 2009

PROJECT NUMBER: 1007504

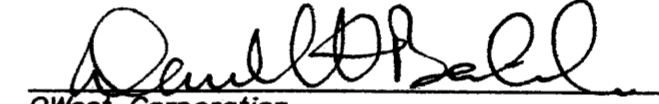
Application Number: 09 DRB-70016
 09 DRB-70017

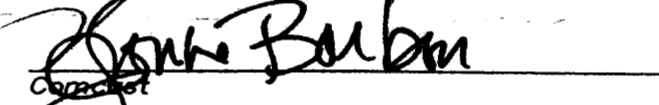
PLAT APPROVAL

Utility Approvals:

PNM Electric Services _____ Date _____

PNM Gas Services _____ Date _____

 _____ Date 1/22/09
 QWest Corporation _____ Date _____

 _____ Date 1-22-09
 Comcast _____ Date _____

City Approvals
 _____ Date 1-15-09
 City Surveyor
 Department of Municipal Development _____ Date _____

Real Property Division _____ Date _____

Environmental Health Department _____ Date _____

Traffic Engineering, Transportation Division _____ Date _____

ABCWUA _____ Date _____

Parks and Recreation Department _____ Date _____

AMAFCA _____ Date _____

City Engineer _____ Date _____

DRB Chairperson, Planning Department _____ Date _____



**BULK LAND PLAT
TRACTS E-4-A AND E-4-B
ALBUQUERQUE SOUTH
UNIT THREE**

(BEING A REPLAT OF TRACT E-4, ALBUQUERQUE SOUTH, UNIT THREE)

SITUATE WITHIN
THE TOWN OF ATRISCO GRANT
IN
PROJECTED SECTION 4, TOWNSHIP 9 NORTH, RANGE 2 EAST
AND
PROJECTED SECTION 33, TOWNSHIP 10 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JANUARY, 2009

LEGAL DESCRIPTION

That certain parcel of land situate within the Town of Atrisco Grant in Projected Section 4, Township 9 North, Range 2 East and Projected Section 33, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, comprising Tract E-4, Albuquerque South, Unit Three, as the same is shown and designated on the plat entitled "BULK LAND PLAT FOR ALBUQUERQUE SOUTH, UNIT THREE, TRACTS E-1 THRU E-6, WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTION 4, TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM AND PROJECTED SECTION 33, TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, APRIL, 2002", filed in the office of the County Clerk of Bernalillo County, New Mexico, on June 5, 2002 in Plat Book 2002C, Page 197.

Said Tract contains 27.8174 acres, more or less.

FREE CONSENT AND DEDICATION

SURVEYED AND REPLATTED and now comprising "BULK LAND PLAT TRACTS E-4-A AND E-4-B, ALBUQUERQUE SOUTH, UNIT THREE (BEING A REPLAT OF TRACT E-4, ALBUQUERQUE SOUTH, UNIT THREE) SITUATE WITHIN THE TOWN OF ATRISCO GRANT IN PROJECTED SECTION 4, TOWNSHIP 9 NORTH, RANGE 2 EAST AND PROJECTED SECTION 33, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", is with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s). Said owner(s) and proprietor(s) do hereby warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby grant the public and private easements as shown hereon. Said owner(s) and proprietor(s) do hereby dedicate the additional public street right of way, as shown hereon, to the City of Albuquerque in fee simple with warranty covenants. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby certify that they are so authorized to act.

OWNER

The Rupinder and Gurpreet Bindra Family Trust under Trust Agreement dated February 23, 2007

By: RS Bindra
Rupinder S. Bindra, Trustee

By: Gurpreet K Bindra
Gurpreet K. Bindra, Trustee

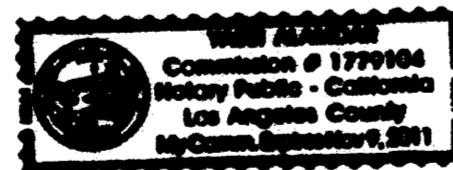
ACKNOWLEDGMENT

STATE OF CALIFORNIA
COUNTY OF LOS ANGELES SS

The foregoing instrument was acknowledged before me this 13 day of JANUARY, 2009, by Rupinder S. Bindra, Trustee

Yam Alameddine My commission expires 11/09/2011
Notary Public

By: Gurpreet K. Bindra
Gurpreet K. Bindra, Trustee

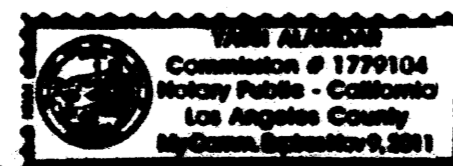


ACKNOWLEDGMENT

STATE OF CALIFORNIA
COUNTY OF LOS ANGELES SS

The foregoing instrument was acknowledged before me this 13 day of JANUARY, 2009, by Gurpreet K. Bindra, Trustee

Yam Alameddine My commission expires 11/09/2011
Notary Public



NOTICE OF SUBDIVISION PLAT CONDITIONS

TRACTS E-4-A AND E-4-B
ALBUQUERQUE SOUTH UNIT THREE

The plat of TRACTS E-4-A AND E-4-B, ALBUQUERQUE SOUTH UNIT 3 has been granted a variance or waiver from certain subdivision requirements pursuant to Section 7 of the City of Albuquerque Subdivision Ordinance.

Future subdivision of lands within this plat, zoning Site Development Plan approvals, and development permits may be conditioned upon dedication of right-of-way and easements, and/or upon infrastructure improvements by the owner for water, sanitary sewer, streets, drainage, grading, and parks in accordance with current resolutions, ordinances, and policies in effect at the time for any specific proposal.

The City and AMAFCA (with reference to drainage) may require and/or permit easements to be added, modified, or removed when future plats and/or Site Development Plans are approved.

By its approval of this subdivision, the City makes no representation or warranties as to availability of utilities, or final approval of all requirements including (but not limited to) the following items: water and sanitary sewer availability; future street dedications and/or improvements; park and open space requirements; drainage requirements and/or improvements; and excavation, filling, or grading requirements. Any person intending development of lands within this subdivision is cautioned to investigate the status of these items.

At such time as all such conditions have been satisfactorily met, the City Engineer shall approve a recordable document, removing such conditions from all of from a portion of the area within the subject subdivision.

Note: There is a Notice of subdivision plat conditions for Tracts E-4-A and E-4-B, Albuquerque South Unit 3, filed in the office of the County Clerk of Bernalillo County, New Mexico on _____, 2009 in Book _____, page _____.

SOLAR NOTE:

No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat.

CURVE TABLE

CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	106.57'	500.00'	53.49'	106.37'	N04°52'56"W	12°12'44"
C2	343.86'	520.00'	178.48'	337.63'	N23°47'07"E	37°53'17"
C3	378.04'	570.00'	196.27'	371.15'	N61°43'46"E	38°00'01"
C4	52.36'	30.00'	35.75'	45.96'	S49°16'28"E	100°00'00"
C5	48.54'	35.00'	29.09'	44.75'	N38°56'03"E	79°28'03"
C6	47.30'	30.00'	30.18'	42.55'	S56°09'37"E	90°20'37"
C7	98.64'	470.00'	49.50'	98.46'	S04°58'34"E	12°01'28"

LINE TABLE

LINE	LENGTH	BEARING
L1	72.18	N07°11'51"E
L2	30.16	S79°07'15"E
L3	62.66	S89°16'14"E
L4	37.10	S25°16'00"E
L5	68.66	N07°11'51"E
L6	30.06	S79°07'15"E
L7	0.10	S79°07'15"E
L8	62.65	N89°16'14"W
L9	0.01	N89°16'14"W
L10	101.27	N89°14'42"E



EASEMENT LEGEND

- (B) 10' Public Utility Easement granted by this plat.
- (C) 10' Private Drainage Easement granted for the benefit and use of Tracts E-4-A and E-4-B. Said easement to be maintained by the respective owners of said tracts.
- (D) 20' Public Sanitary Sewer Easement granted to the Albuquerque Bernalillo County Water Utility Authority by this plat.
- (E) 15' Waterline Easement granted to the Albuquerque Bernalillo County Water Utility Authority by this plat.

SEE EASEMENT LINE AND CURVE TABLES ON SHEET 4

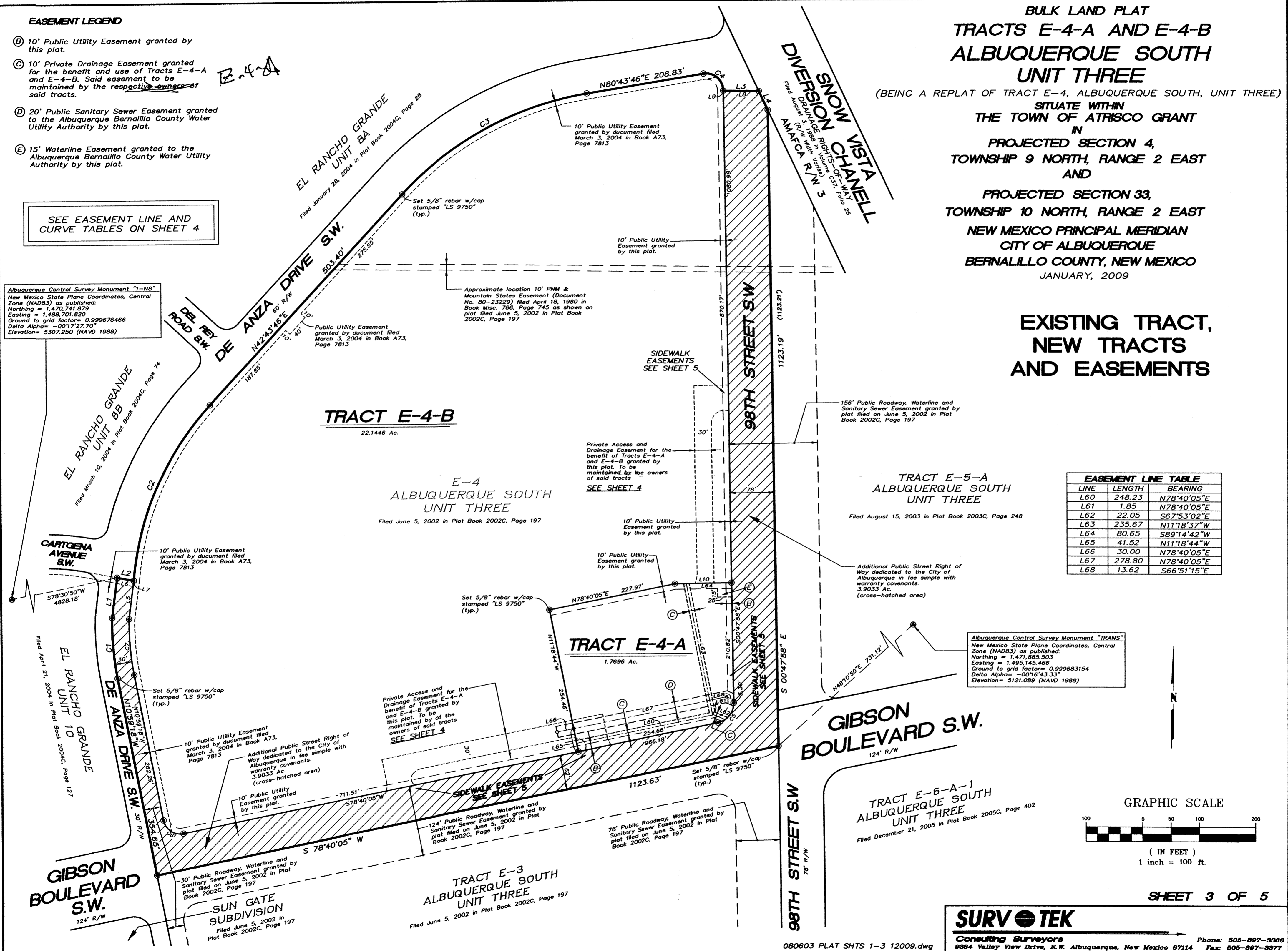
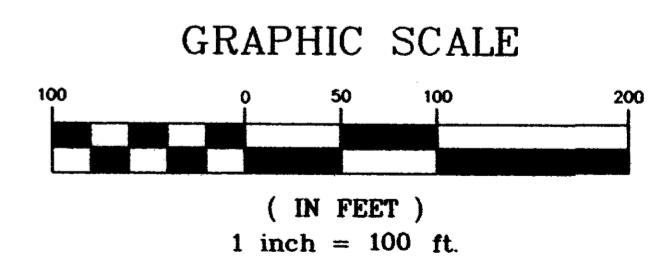
Albuquerque Control Survey Monument "1-18"
New Mexico State Plane Coordinates, Central Zone (NAD83) as published:
Northing = 1,470,741.879
Easting = 1,488,701.820
Ground to grid factor = 0.999676466
Delta Alpha = -00'17"27.70"
Elevation = 5307.250 (NAVD 1988)

BULK LAND PLAT
TRACTS E-4-A AND E-4-B
ALBUQUERQUE SOUTH
UNIT THREE
(BEING A REPLAT OF TRACT E-4, ALBUQUERQUE SOUTH, UNIT THREE)
SITUATE WITHIN
THE TOWN OF ATRISCO GRANT
IN
PROJECTED SECTION 4,
TOWNSHIP 9 NORTH, RANGE 2 EAST
AND
PROJECTED SECTION 33,
TOWNSHIP 10 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JANUARY, 2009

EXISTING TRACT,
NEW TRACTS
AND EASEMENTS

LINE	LENGTH	BEARING
L60	248.23	N78°40'05"E
L61	1.85	N78°40'05"E
L62	22.05	S67°53'02"E
L63	235.67	N11°18'37"W
L64	80.65	S89°14'42"W
L65	41.52	N11°18'44"W
L66	30.00	N78°40'05"E
L67	278.80	N78°40'05"E
L68	13.62	S66°51'15"E

Albuquerque Control Survey Monument "TRANS"
New Mexico State Plane Coordinates, Central Zone (NAD83) as published:
Northing = 1,471,885.503
Easting = 1,495,145.466
Ground to grid factor = 0.999683154
Delta Alpha = -00'16"43.33"
Elevation = 5121.089 (NAVD 1988)



CROSS LOT ACCESS AND DRAINAGE EASEMENT

A Cross-Lot Drainage Easement is granted by this plat for the mutual benefit of the owners of Tracts E-4-A and E-4-B, Albuquerque South, Unit 3. The maintenance of said easement will be the responsibility of the owners of the tracts in which the drainage facility is located.

A Cross-Lot Access Easement is granted by this plat for the mutual benefit of the owners of Tracts E-4-A and E-4-B, Albuquerque South, Unit 3.

TRACT E-4-B

Private Access and Drainage Easement for the benefit of Tracts E-4-A and E-4-B granted by this plat. To be maintained by of the owners of said tracts

TRACT E-4-A

Private Access and Drainage Easement for the benefit of Tracts E-4-A and E-4-B granted by this plat. To be maintained by of the owners of said tracts

**BULK LAND PLAT
TRACTS E-4-A AND E-4-B
ALBUQUERQUE SOUTH
UNIT THREE**

(BEING A REPLAT OF TRACT E-4, ALBUQUERQUE SOUTH, UNIT THREE)

**SITUATE WITHIN
THE TOWN OF ATRISCO GRANT
IN
PROJECTED SECTION 4,
TOWNSHIP 9 NORTH, RANGE 2 EAST
AND
PROJECTED SECTION 33,
TOWNSHIP 10 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO**

JANUARY, 2009

**ADDITIONAL
NEW EASEMENTS**

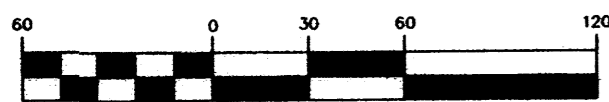
EASEMENT CURVE TABLE

CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C30	19.01'	43.50'	9.66'	18.86'	N11°43'24"E	25°02'44"
C31	44.64'	23.50'	32.85'	38.23'	N53°37'15"E	108°50'25"
C32	DELETED					
C33	15.27'	29.00'	7.82'	15.10'	N03°45'18"E	30°10'27"
C34	15.37'	29.00'	7.87'	15.19'	S26°31'05"E	30°22'21"
C35	3.50'	29.00'	1.75'	3.50'	N15°14'00"E	6°55'14"
C36	17.68'	13.50'	10.36'	16.44'	N25°44'28"W	75°01'42"
C37	11.73'	35.00'	5.92'	11.68'	N72°51'33"W	19°12'29"
C38	DELETED					
C39	DELETED					
C40	6.81'	29.00'	3.42'	6.79'	S34°44'48"E	13°27'11"
C41	7.20'	35.00'	3.61'	7.18'	N88°21'11"W	11°46'46"
C42	13.61'	29.00'	6.93'	13.49'	S28°15'30"E	26°51'04"
C43	41.73'	30.00'	25.04'	38.45'	N38°48'55"E	79°42'19"
C44	43.28'	190.00'	21.74'	43.19'	N05°29'20"E	13°03'08"
C45	3.74'	170.00'	1.87'	3.74'	N11°23'07"E	1°15'33"
C46	DELETED					
C47	8.33'	9.00'	4.49'	8.04'	S67°05'35"E	53°02'45"
C48	15.35'	13.50'	8.62'	14.53'	S04°33'00"W	65°08'25"
C49	6.81'	29.00'	3.42'	6.79'	S34°44'48"E	13°27'11"
C50	11.53'	35.00'	5.82'	11.47'	S88°06'09"W	18°52'07"

EASEMENT LINE TABLE

LINE	LENGTH	BEARING
L30	61.09	N89°12'02"E
L31	10.10	S89°12'02"W
L32	31.09	S89°14'42"W
L33	34.09	S89°14'42"W
L34	36.09	S89°14'42"W
L35	41.92	N11°19'55"W
L36	55.67	N78°40'05"E
L37	41.84	S11°19'55"E
L38	3.18	S78°40'05"W
L39	0.68	N11°19'55"W
L40	17.94	N39°45'57"E
L41	9.56	N78°41'16"E
L42	8.43	N78°41'16"E
L43	17.61	S62°00'00"E
L44	0.66	S11°18'44"E
L45	26.24	N11°18'44"W
L46	23.90	S11°18'44"E
L47	8.20	N78°40'05"E
L48	12.67	N21°51'03"E
L49	10.53	N78°40'05"E
L50	10.89	N78°41'16"E
L51	57.96	N86°23'03"E
L52	120.09	N78°40'05"E
L53	135.96	N01°02'14"W
L54	13.67	N12°00'54"E
L55	40.64	N76°26'52"E
L56	8.98	N00°47'58"W
L57	43.02	N00°26'06"W
L58	8.99	N00°47'58"W
L59	9.79	N82°08'21"E
L60	43.88	N78°49'13"E

GRAPHIC SCALE



(IN FEET)
1 inch = 60 ft.

**BULK LAND PLAT
TRACTS E-4-A AND E-4-B
ALBUQUERQUE SOUTH
UNIT THREE**

(BEING A REPLAT OF TRACT E-4, ALBUQUERQUE SOUTH, UNIT THREE)

SITUATE WITHIN
THE TOWN OF ATRISCO GRANT
IN
PROJECTED SECTION 4,
TOWNSHIP 9 NORTH, RANGE 2 EAST
AND

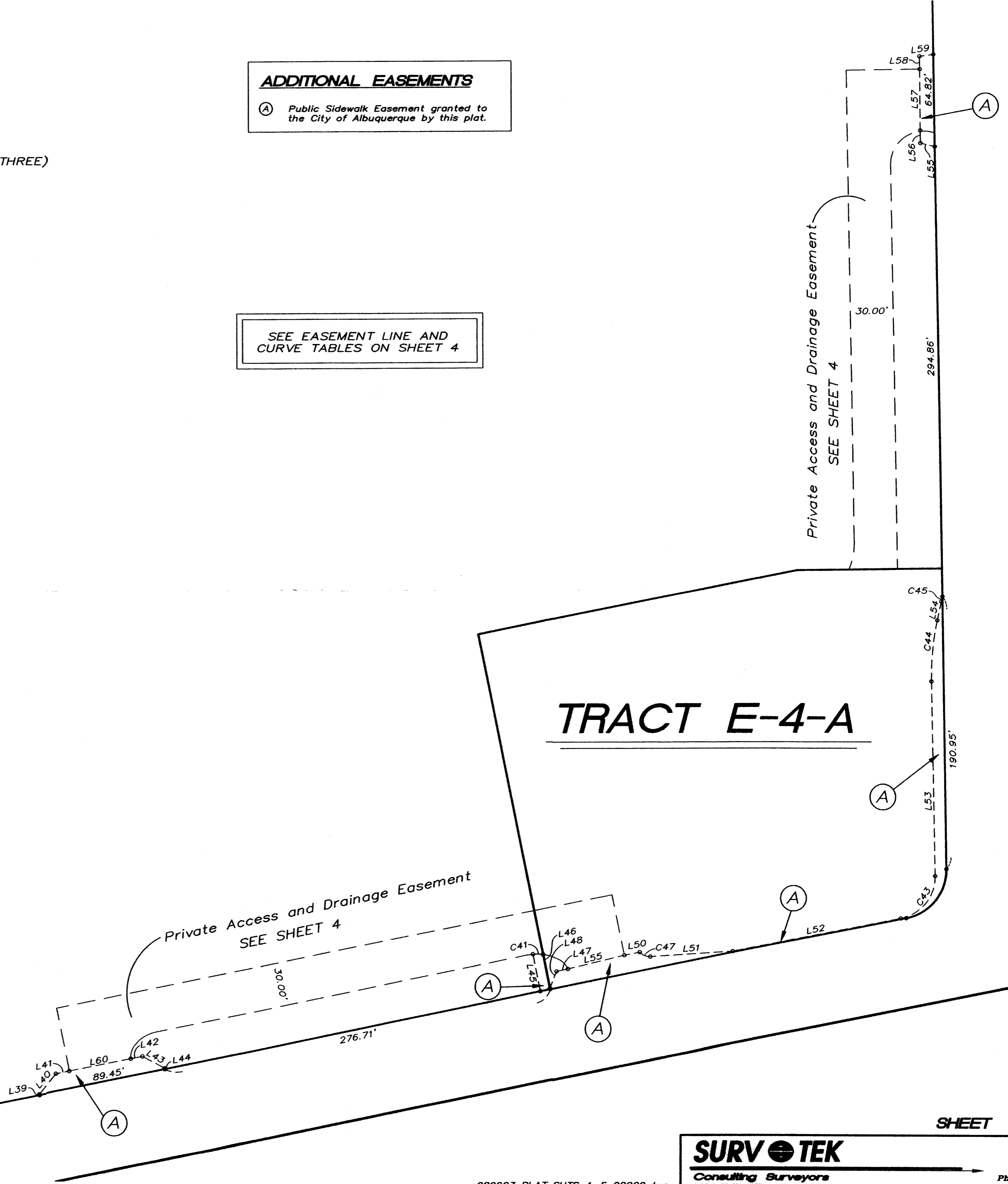
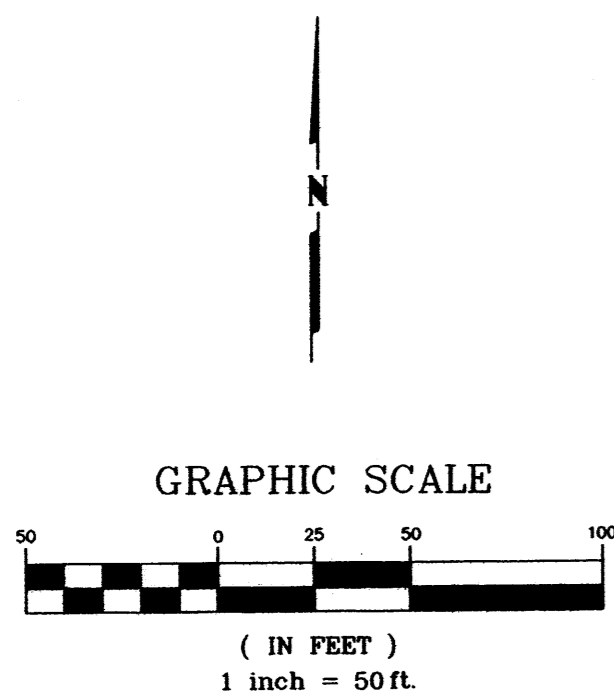
PROJECTED SECTION 33,
TOWNSHIP 10 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JANUARY, 2009

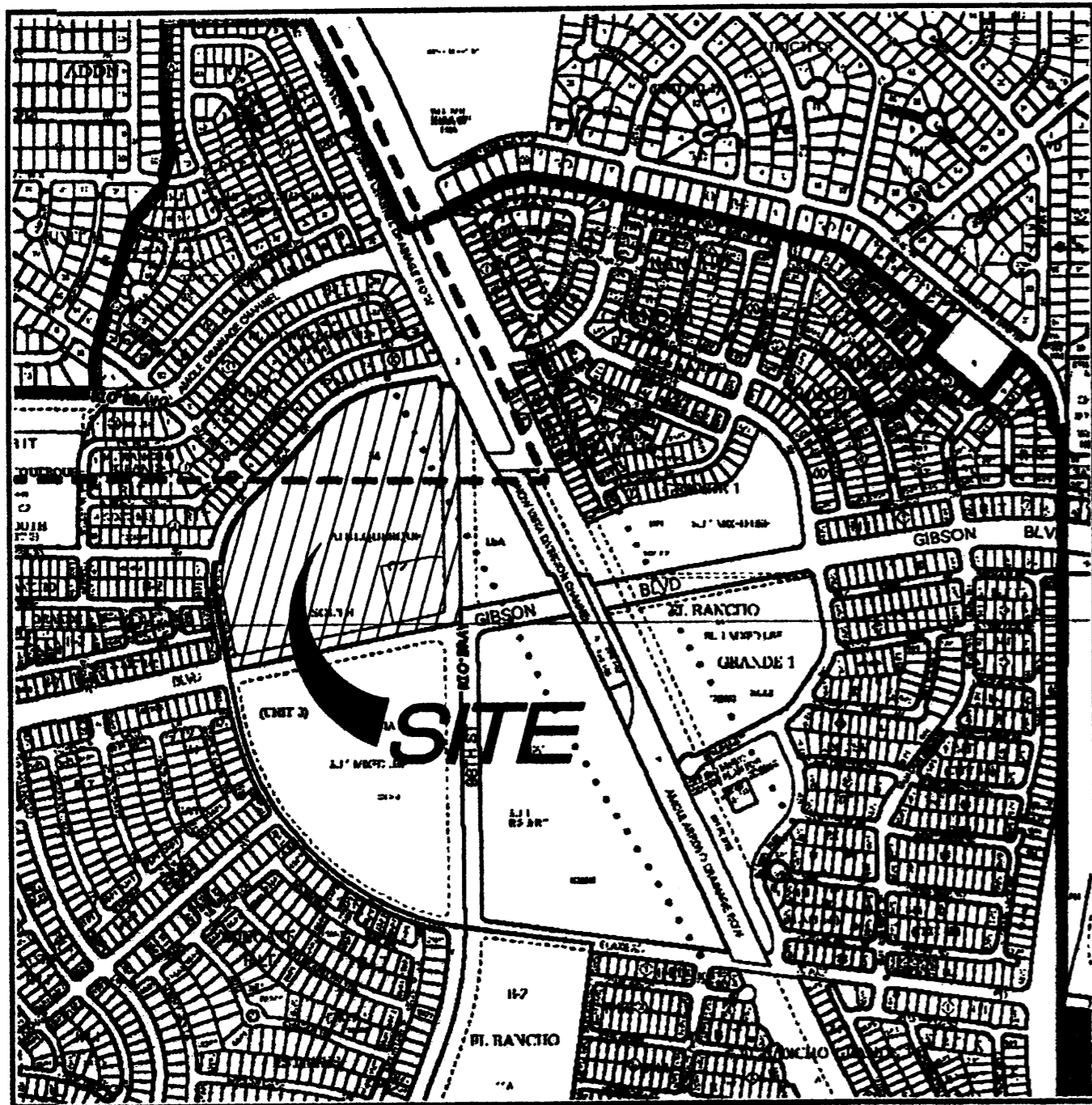
**ADDITIONAL
NEW EASEMENTS**

ADDITIONAL EASEMENTS

(A) Public Sidewalk Easement granted to the City of Albuquerque by this plat.

SEE EASEMENT LINE AND CURVE TABLES ON SHEET 4





VICINITY MAP
NOT TO SCALE

GENERAL NOTES

- Bearings are New Mexico State Plane Grid Bearings (Central Zone - NAD 83) originated at the Albuquerque Control Survey Monument "TRANS".
- Distances are ground.
- Distances along curved lines are arc lengths.
- Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ().
- All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- U.C.L.S. Log Number 2008401975
- City of Albuquerque Zone Atlas Page: M-09-Z

SUBDIVISION DATA

Total number of existing Tracts: 1
 Total number of new Tracts created: 2
 Gross Subdivision acreage: 27.8174 acres
 Total Mileage of public half-width streets created: 0.53 Mile

SHEET INDEX

- SHEET 1 - General Notes, Approvals, Surveyor Certification
- SHEET 2 - Legal Description, Acknowledgement
- SHEET 3 - Existing Tract, New Tracts, Easements
- SHEET 4 - Additional Easement (Private Access)
- SHEET 5 - Additional Easement (Sidewalk)

TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following:

100905521002532124
 Binda Ruppinder S
 Gurpreet K
 M Chaudhri 2-24-09
 Bernalillo County Treasurer Date

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- PNM Electric Services for installation, maintenance, and service of underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical service.
- New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- QWest Corporation for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to ground pedestals and closures.
- Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

DISCLAIMER

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

PURPOSE OF PLAT:

The Purpose of this plat is to:

- Create 2 New Tracts of land from existing Tract E-4, Albuquerque South, Unit 3
- Grant the Public and Private Easements as shown hereon.
- Dedicate the additional public street Right of Way, as shown hereon, to the City of Albuquerque in fee simple with warranty covenants.

SEE SHEET 2 FOR "NOTICE OF SUBDIVISION PLAT CONDITIONS"

SURVEYOR'S CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my direct supervision; that it meets the Standards for Land Surveys in the State of New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

Russ P. Hugg
 NMPS No. 9750
 January 12, 2009



**BULK LAND PLAT
 TRACTS E-4-A AND E-4-B
 ALBUQUERQUE SOUTH
 UNIT THREE**

(BEING A REPLAT OF TRACT E-4, ALBUQUERQUE SOUTH, UNIT THREE)

SITUATE WITHIN
 THE TOWN OF ATRISCO GRANT
 IN
 PROJECTED SECTION 4, TOWNSHIP 9 NORTH, RANGE 2 EAST
 AND
 PROJECTED SECTION 33, TOWNSHIP 10 NORTH, RANGE 2 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JANUARY, 2009

PROJECT NUMBER: 1007504
 Application Number: 09 DRB-70016
 09 DRB-70017

PLAT APPROVAL

Utility Approvals:

<i>Fernando Vigil</i> PNM Electric Services	2-6-09 Date
<i>John A. P...</i> New Mexico Gas Company	2/3/2009 Date
<i>David A. Bal...</i> QWest Corporation	1/22/09 Date
<i>John R. Barber</i> Comcast	1-22-09 Date
<i>[Signature]</i> City Approver	1-15-09 Date
<i>[Signature]</i> City Surveyor Department of Municipal Development	Date
N/A Real Property Division	Date
N/A Environmental Health Department	Date
<i>[Signature]</i> Traffic Engineering, Transportation Division	02-04-09 Date
<i>[Signature]</i> ABCWA	2-4-09 Date
<i>Christina Dandora</i> Parks and Recreation Department	2/4/09 Date
<i>Bradley D. B...</i> AMA/CA	2/4/09 Date
<i>Gene C. Ch...</i> City Engineer	2-4-09 Date
<i>[Signature]</i> Chairperson, Planning Department	2-24-09 Date

DPC# 2009019120
 01/24/2009 03:14 PM Page: 1 of 5
 PLOT R: 327.00 B: 2009C P: 0030 R. Toulous Olivere, Bernalillo Cour



Consulting Surveyors
 6384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
 Phone: 505-897-3368 Fax: 505-897-3377

**BULK LAND PLAT
TRACTS E-4-A AND E-4-B
ALBUQUERQUE SOUTH
UNIT THREE**

(BEING A REPLAT OF TRACT E-4, ALBUQUERQUE SOUTH, UNIT THREE)

SITUATE WITHIN
THE TOWN OF ATRISCO GRANT
IN
PROJECTED SECTION 4, TOWNSHIP 9 NORTH, RANGE 2 EAST
AND
PROJECTED SECTION 33, TOWNSHIP 10 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JANUARY, 2009

LEGAL DESCRIPTION

That certain parcel of land situate within the Town of Atrisco Grant in Projected Section 4, Township 9 North, Range 2 East and Projected Section 33, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, comprising Tract E-4, Albuquerque South, Unit Three, as the same is shown and designated on the plat entitled "BULK LAND PLAT FOR ALBUQUERQUE SOUTH, UNIT THREE, TRACTS E-1 THRU E-6, WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTION 4, TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM AND PROJECTED SECTION 33, TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, APRIL, 2002", filed in the office of the County Clerk of Bernalillo County, New Mexico, on June 5, 2002 in Plat Book 2002C, Page 197.

Said Tract contains 27.8174 acres, more or less.

FREE CONSENT AND DEDICATION

SURVEYED AND REPLATTED and now comprising "BULK LAND PLAT TRACTS E-4-A AND E-4-B, ALBUQUERQUE SOUTH, UNIT THREE (BEING A REPLAT OF TRACT E-4, ALBUQUERQUE SOUTH, UNIT THREE) SITUATE WITHIN THE TOWN OF ATRISCO GRANT IN PROJECTED SECTION 4, TOWNSHIP 9 NORTH, RANGE 2 EAST AND PROJECTED SECTION 33, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", is with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietors(s). Said owner(s) and proprietor(s) do hereby warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby grant the public and private easements as shown hereon. Said owner(s) and proprietor(s) do hereby dedicate the additional public street right of way, as shown hereon, to the City of Albuquerque in fee simple with warranty covenants. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby certify that they are so authorized to act.

OWNER

The Rupinder and Gurpreet Bindra Family Trust
under Trust Agreement dated February 23, 2007

By: RS Bindra
Rupinder S. Bindra, Trustee

By: Gurpreet K Bindra
Gurpreet K. Bindra, Trustee

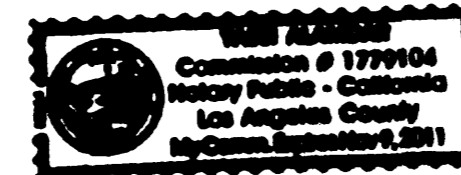
ACKNOWLEDGMENT

STATE OF CALIFORNIA
COUNTY OF LOS ANGELES SS

The foregoing instrument was acknowledged before me this 13
day of JANUARY, 2009, by Rupinder S. Bindra, Trustee

Yass Alam My commission expires 11/09/2011
Notary Public

By: Gurpreet K. Bindra
Gurpreet K. Bindra, Trustee

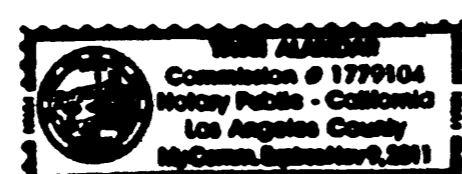


ACKNOWLEDGMENT

STATE OF CALIFORNIA
COUNTY OF LOS ANGELES SS

The foregoing instrument was acknowledged before me this 13
day of JANUARY, 2009, by Gurpreet K. Bindra, Trustee

Yass Alam My commission expires 11/09/2011
Notary Public



NOTICE OF SUBMISSION PLAT CONDITIONS

TRACTS E-4-A AND E-4-B
ALBUQUERQUE SOUTH UNIT THREE

The plat of TRACTS E-4-A AND E-4-B, ALBUQUERQUE SOUTH UNIT 3 has been granted a variance or waiver from certain subdivision requirements pursuant to Section 7 of the City of Albuquerque Subdivision Ordinance.

Future subdivision of lands within this plat, zoning Site Development Plan approvals, and development permits may be conditioned upon dedication of right-of-way and easements, and/or upon infrastructure improvements by the owner for water, sanitary sewer, streets, drainage, grading, and parks in accordance with current resolutions, ordinances, and policies in effect at the time for any specific proposal.

The City and AMAFCA (with reference to drainage) may require and/or permit easements to be added, modified, or removed when future plats and/or Site Development Plans are approved.

By its approval of this subdivision, the City makes no representation or warranties as to availability of utilities, or final approval of all requirements including (but not limited to) the following items: water and sanitary sewer availability; future street dedications and/or improvements; park and open space requirements; drainage requirements and/or improvements; and excavation, filling, or grading requirements. Any person intending development of lands within this subdivision is cautioned to investigate the status of these items.

At such time as all such conditions have been satisfactorily met, the City Engineer shall approve a recordable document, removing such conditions from all of from a portion of the area within the subject subdivision.

Note: There is a Notice of subdivision plat conditions for Tracts E-4-A and E-4-B, Albuquerque South Unit 3, filed in the office of the County Clerk of Bernalillo County, New Mexico on FEB 7 2009 in Book N/A page N/A
DOC# 2009019119

SOLAR NOTE:

No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat.

CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	106.57'	500.00'	53.49'	106.37'	N04°52'56"W	12°12'44"
C2	343.86'	520.00'	178.48'	337.63'	N23°47'07"E	37°53'17"
C3	378.04'	570.00'	196.27'	371.15'	N61°43'46"E	38°00'01"
C4	52.36'	30.00'	35.75'	45.96'	S49°16'28"E	100°00'00"
C5	48.54'	35.00'	29.09'	44.75'	N38°56'03"E	79°28'03"
C6	47.30'	30.00'	30.18'	42.55'	S56°09'37"E	90°20'37"
C7	98.64'	470.00'	49.50'	98.46'	S04°58'34"E	12°01'28"

LINE TABLE		
LINE	LENGTH	BEARING
L1	72.18	N07°11'51"E
L2	30.16	S79°07'15"E
L3	62.66	S89°16'14"E
L4	37.10	S25°16'00"E
L5	68.66	N07°11'51"E
L6	30.06	S79°07'15"E
L7	0.10	S79°07'15"E
L8	62.65	N89°16'14"W
L9	0.01	N89°16'14"W
L10	101.27	N89°14'42"E



DOC# 2009019128
02/24/2009 03:14 PM Page: 2 of 5
PLAT R: 327.00 B: 2009C P: 0030 N. Toulous Olivere, Bernalillo Cour

SURVOTEK
Consulting Surveyors
6384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3368 Fax: 505-897-3377

EASEMENT LEGEND

- (B) 10' Public Utility Easement granted by this plat.
- (C) 10' Private Drainage Easement granted for the benefit and use of Tract E-4-B. Said easement to be maintained by the owners of Tracts E-4-A and E-4-B.
- (D) 20' Public Sanitary Sewer Easement granted to the Albuquerque Bernalillo County Water Utility Authority by this plat.
- (E) 15' Waterline Easement granted to the Albuquerque Bernalillo County Water Utility Authority by this plat.

SEE EASEMENT LINE AND CURVE TABLES ON SHEET 4

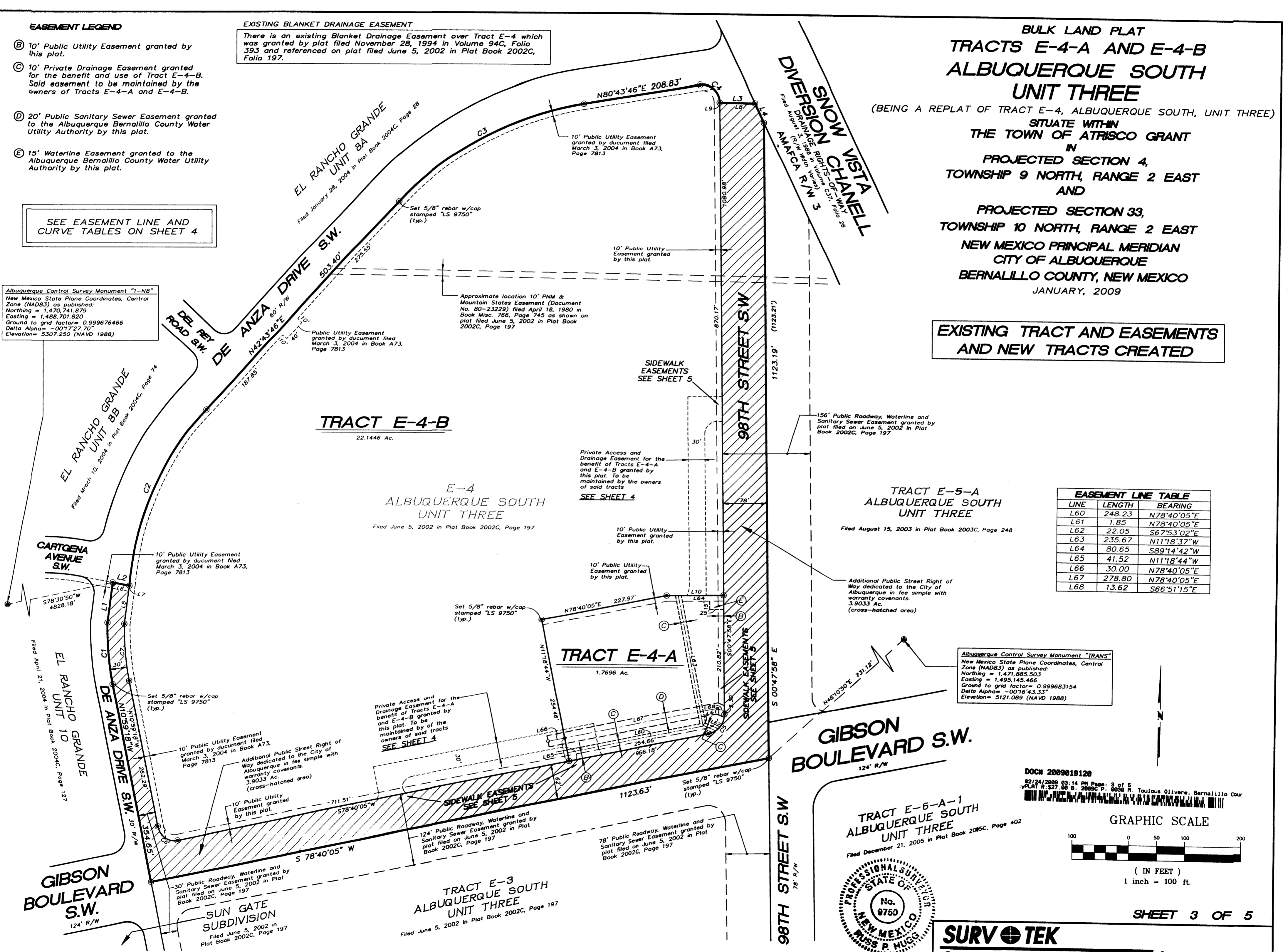
EXISTING BLANKET DRAINAGE EASEMENT

There is an existing Blanket Drainage Easement over Tract E-4 which was granted by plat filed November 28, 1994 in Volume 94C, Folio 393 and referenced on plat filed June 5, 2002 in Plat Book 2002C, Folio 197.

Albuquerque Control Survey Monument "1-NB"
New Mexico State Plane Coordinates, Central Zone (NAD83) as published:
Northing = 1,470,741.879
Easting = 1,488,701.820
Ground to grid factor = 0.999676466
Delta Alpha = -00'17"27.70"
Elevation = 5307.250 (NAVD 1988)

**BULK LAND PLAT
TRACTS E-4-A AND E-4-B
ALBUQUERQUE SOUTH
UNIT THREE**
(BEING A REPLAT OF TRACT E-4, ALBUQUERQUE SOUTH, UNIT THREE)
**SITUATE WITHIN
THE TOWN OF ATRISCO GRANT
IN
PROJECTED SECTION 4,
TOWNSHIP 9 NORTH, RANGE 2 EAST
AND
PROJECTED SECTION 33,
TOWNSHIP 10 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JANUARY, 2009**

**EXISTING TRACT AND EASEMENTS
AND NEW TRACTS CREATED**

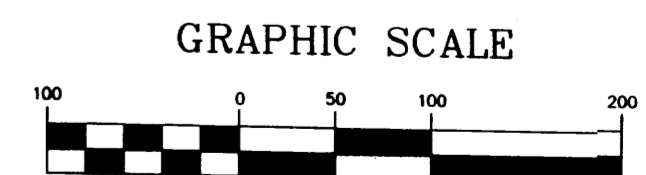


EASEMENT LINE TABLE

LINE	LENGTH	BEARING
L60	248.23	N78°40'05"E
L61	1.85	N78°40'05"E
L62	22.05	S67°53'02"E
L63	235.67	N11°18'37"W
L64	80.65	S89°14'42"W
L65	41.52	N11°18'44"W
L66	30.00	N78°40'05"E
L67	278.80	N78°40'05"E
L68	13.62	S66°51'15"E

Albuquerque Control Survey Monument "TRANS"
New Mexico State Plane Coordinates, Central Zone (NAD83) as published:
Northing = 1,471,885.503
Easting = 1,495,145.466
Ground to grid factor = 0.999683154
Delta Alpha = -00'16"43.33"
Elevation = 5121.089 (NAVD 1988)

DOCN 2009019120
02/24/2009 03:14 PM Page: 3 of 5
PLAT R: \$27.00 B: 2000 P: 0039 R: Toulous Olivera, Bernalillo Cour



CROSS LOT ACCESS AND DRAINAGE EASEMENT

A Cross-Lot Drainage Easement is granted by this plat for the mutual benefit of the owners of Tracts E-4-A and E-4-B, Albuquerque South, Unit 3. The maintenance of said easement will be the responsibility of the owners of the tracts in which the drainage facility is located.

A Cross-Lot Access Easement is granted by this plat for the mutual benefit of the owners of Tracts E-4-A and E-4-B, Albuquerque South, Unit 3.

DOC# 2009019120

02/24/2009 03:14 PM Page: 4 of 5
 PLAT R: 227.00 B: 2009C P: 0030 H: Toulouse Olivera, Bernalillo Cour

**BULK LAND PLAT
 TRACTS E-4-A AND E-4-B
 ALBUQUERQUE SOUTH
 UNIT THREE**

(BEING A REPLAT OF TRACT E-4, ALBUQUERQUE SOUTH, UNIT THREE)

**SITUATE WITHIN
 THE TOWN OF ATRISCO GRANT
 IN
 PROJECTED SECTION 4,
 TOWNSHIP 9 NORTH, RANGE 2 EAST
 AND
 PROJECTED SECTION 33,
 TOWNSHIP 10 NORTH, RANGE 2 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO**

JANUARY, 2009

**ADDITIONAL
 NEW EASEMENTS**

TRACT E-4-B

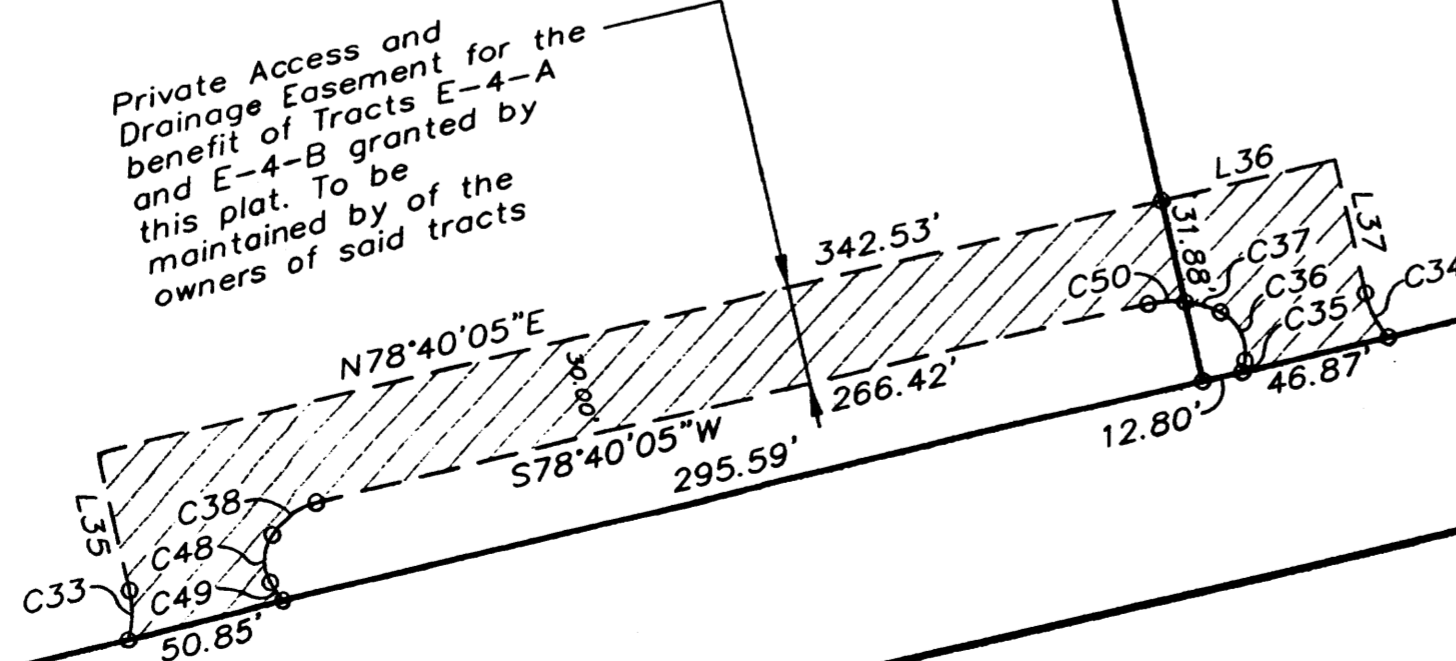
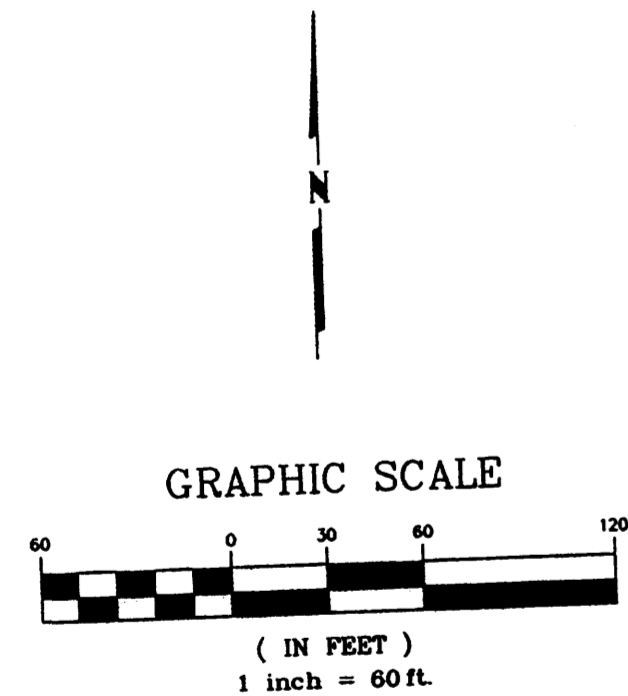
Private Access and Drainage Easement for the benefit of Tracts E-4-A and E-4-B granted by this plat. To be maintained by of the owners of said tracts

EASEMENT CURVE TABLE

CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C30	19.01'	43.50'	9.66'	18.86'	N11°43'24"E	25°02'44"
C31	44.64'	23.50'	32.85'	38.23'	N53°37'15"E	108°50'25"
C32	DELETED					
C33	15.27'	29.00'	7.82'	15.10'	N03°45'18"E	30°10'27"
C34	15.37'	29.00'	7.87'	15.19'	S26°31'05"E	30°22'21"
C35	3.50'	29.00'	1.75'	3.50'	N15°14'00"E	6°55'14"
C36	17.68'	13.50'	10.36'	16.44'	N25°44'28"W	75°01'42"
C37	11.73'	35.00'	5.92'	11.68'	N72°51'33"W	19°12'29"
C38	DELETED					
C39	DELETED					
C40	6.81'	29.00'	3.42'	6.79'	S34°44'48"E	13°27'11"
C41	7.20'	35.00'	3.61'	7.18'	N88°21'11"W	11°46'46"
C42	13.61'	29.00'	6.93'	13.49'	S28°15'30"E	26°51'04"
C43	41.73'	30.00'	25.04'	38.45'	N38°48'55"E	79°42'19"
C44	43.28'	190.00'	21.74'	43.19'	N05°29'20"E	13°03'08"
C45	3.74'	170.00'	1.87'	3.74'	N11°23'07"E	1°15'33"
C46	DELETED					
C47	8.33'	9.00'	4.49'	8.04'	S67°05'35"E	53°02'45"
C48	15.35'	13.50'	8.62'	14.53'	S04°33'00"W	65°08'25"
C49	6.81'	29.00'	3.42'	6.79'	S34°44'48"E	13°27'11"
C50	11.53'	35.00'	5.82'	11.47'	S88°06'09"W	18°52'07"

EASEMENT LINE TABLE

LINE	LENGTH	BEARING
L30	61.09	N89°12'02"E
L32	34.09	S89°14'42"W
L33	31.09	S89°14'42"W
L33	34.09	S89°14'42"W
L34	36.09	S89°14'42"W
L35	41.92	N11°19'55"W
L36	55.67	N78°40'05"E
L37	41.84	S11°19'55"E
L38	3.18	S78°40'05"W
L39	0.68	N11°19'55"W
L40	17.94	N39°45'57"E
L41	9.56	N78°41'16"E
L42	8.43	N78°41'16"E
L43	17.61	S62°00'00"E
L44	0.66	S11°18'44"E
L45	26.24	N11°18'44"W
L46	23.90	S11°18'44"E
L47	8.20	N78°40'05"E
L48	12.67	N21°51'03"E
L49	10.53	N78°40'05"E
L50	10.89	N78°41'16"E
L51	57.96	N86°23'03"E
L52	120.09	N78°40'05"E
L53	135.96	N01°02'14"W
L54	13.67	N12°00'54"E
L55	40.64	N76°26'52"E
L56	8.98	N00°47'58"W
L57	43.02	N00°26'06"W
L58	8.99	N00°47'58"W
L59	9.79	N82°08'21"E
L60	43.88	N78°49'13"E
L61	10.33	N76°04'11"W



TRACT E-4-A

**BULK LAND PLAT
TRACTS E-4-A AND E-4-B
ALBUQUERQUE SOUTH
UNIT THREE**

(BEING A REPLAT OF TRACT E-4, ALBUQUERQUE SOUTH, UNIT THREE)

SITUATE WITHIN
THE TOWN OF ATRISCO GRANT
IN
PROJECTED SECTION 4,
TOWNSHIP 9 NORTH, RANGE 2 EAST
AND

PROJECTED SECTION 33,
TOWNSHIP 10 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JANUARY, 2009

**ADDITIONAL
NEW EASEMENTS**

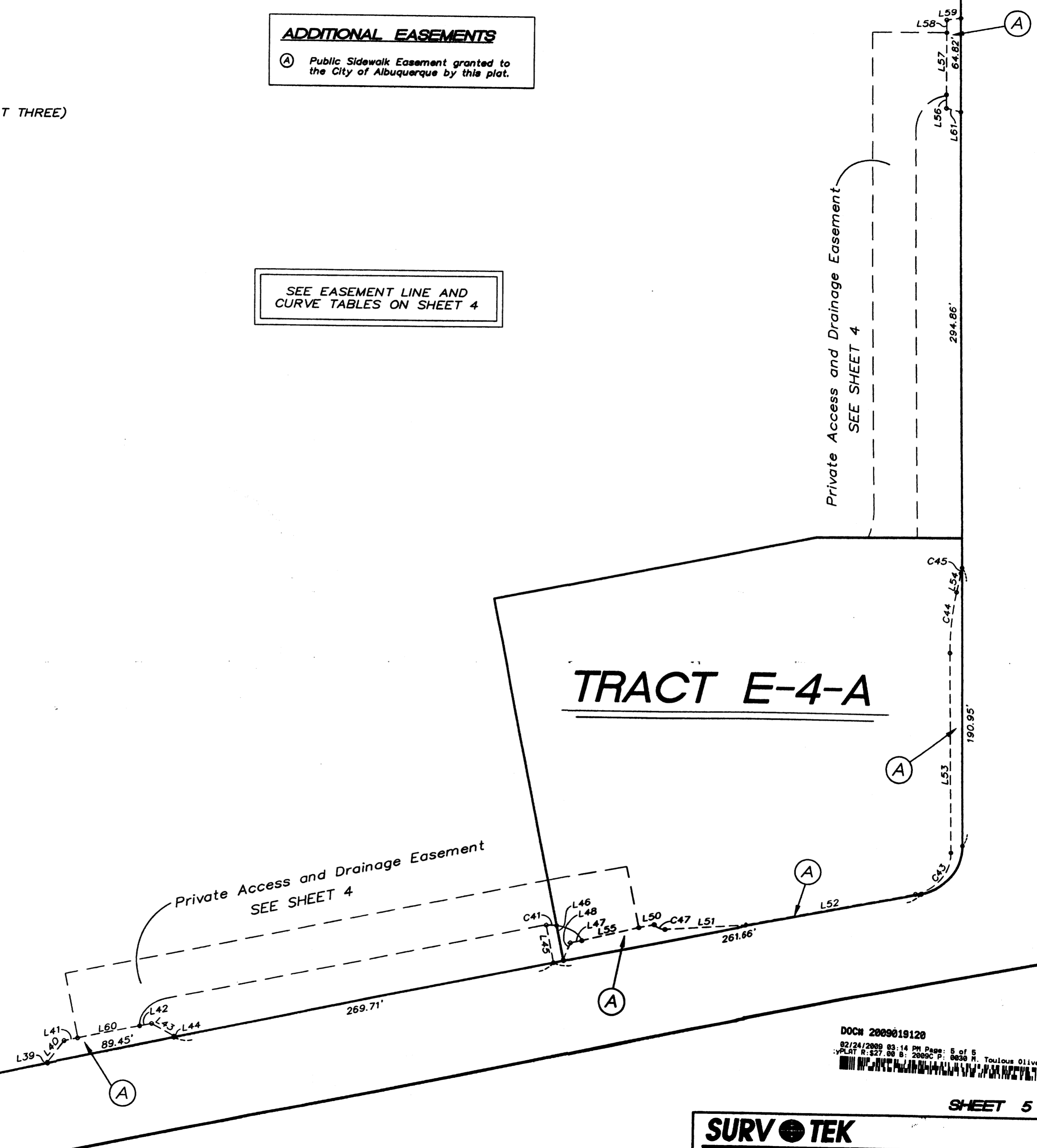
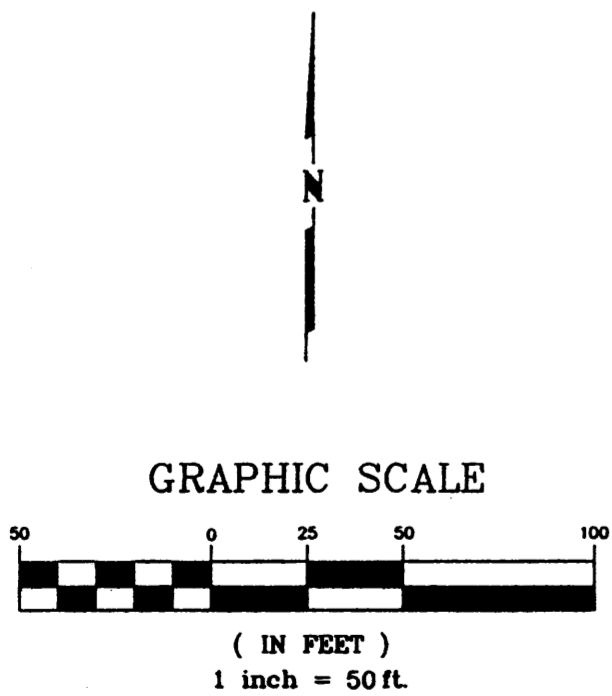
ADDITIONAL EASEMENTS

(A) Public Sidewalk Easement granted to the City of Albuquerque by this plat.

SEE EASEMENT LINE AND CURVE TABLES ON SHEET 4

Private Access and Drainage Easement
SEE SHEET 4

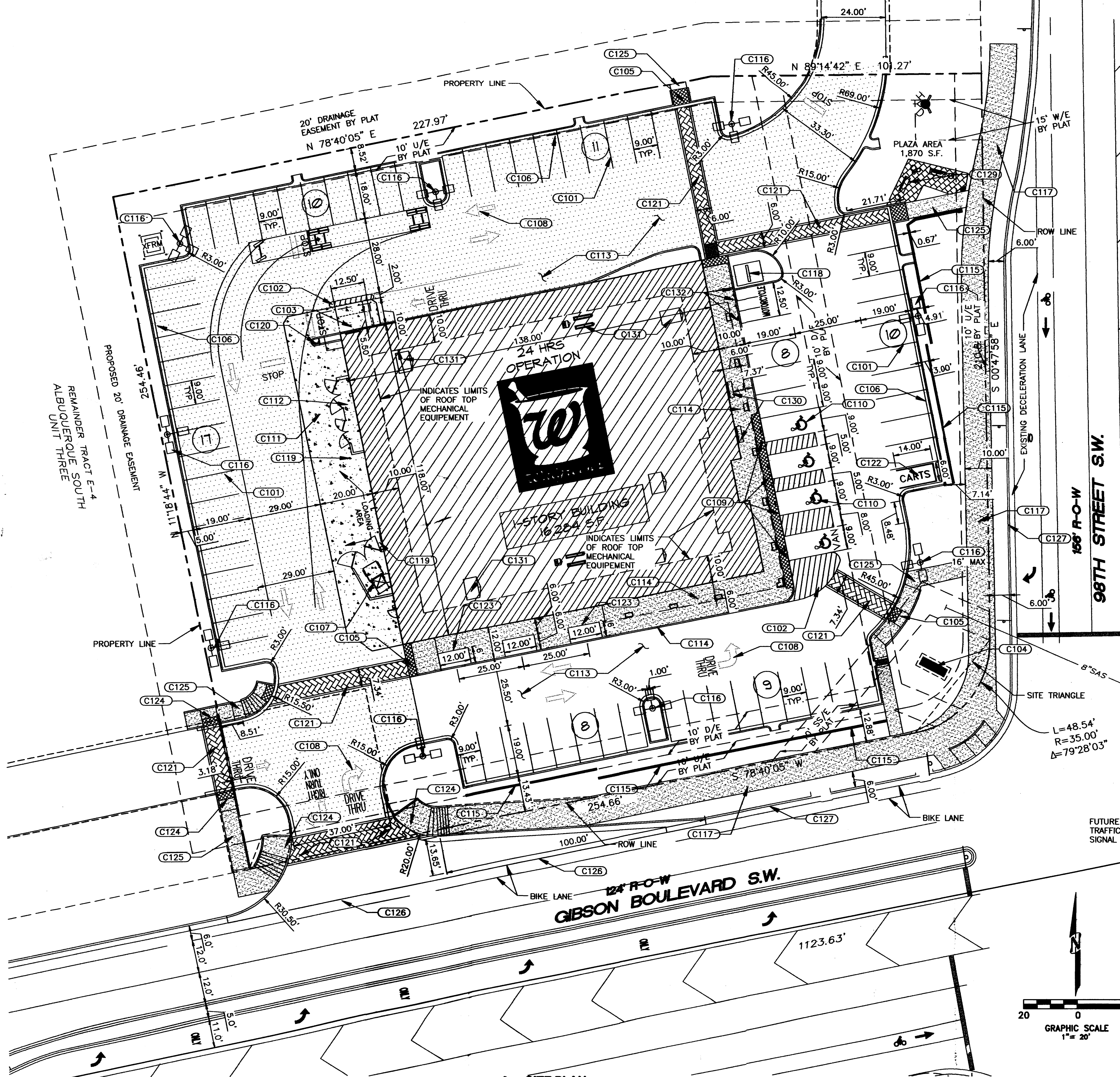
TRACT E-4-A



DOCN 2009019120
02/24/2009 03:14 PM Page: 5 of 5
PLAT R:327.00 B: 2009C 0809 H. Toulous Olivere, Bernalillo Cour

SURV-TEK
Consulting Surveyors
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3368
Fax: 505-897-3377

REMAINDER TRACT E-4
ALBUQUERQUE SOUTH
UNIT THREE



1 SITE PLAN
SCALE: 1"=20'

2 SITE DATA
RE: THIS SHEET

PARKING SPACES		
	REQUIRED	PROVIDED
REGULAR PARKING	81	73
ACCESSIBLE PARKING (INCLUDED ABOVE)	4	4
BICYCLE PARKING	4	7
MOTORCYCLE PARKING	3	3

LAND USE	ZONING	
	C-2	COMMUNITY COMMERCIAL
GENERAL RETAIL		

SITE AREA			
	SQ. FT.	ACRES	% OF TOTAL AREA
PRE-DEVELOPMENT			
PAVING- IMPERVIOUS SURFACE			
PERVIOUS SURFACE	77,085	1.77	100%
TOTAL SITE AREA	77,085	1.77	100%
POST-DEVELOPMENT			
BUILDING	16,284	0.37	21.1%
PAVING- IMPERVIOUS SURFACE	47,936	1.10	62.2%
PERVIOUS SURFACE	12,865	0.30	16.7%
TOTAL SITE AREA	77,085	1.77	100%
PROPOSED BUILDING HEIGHT	(SEE ARCHITECTURAL PLANS)		

3 KEYED NOTES
ALL ITEMS ARE NEW CONSTRUCTION UNLESS NOTED OTHERWISE

- C101 PARKING STRIPES PAINTED WITH (2) COATS TRAFFIC YELLOW IN SINGLE 4" WIDE STRIPES, UNLESS NOTED OTHERWISE.
- C102 4" WIDE PAINT STRIPE 45° AT 2" O/C. USE 2 COAT YELLOW TRAFFIC PAINT.
- C103 PHARMACY DRIVE THRU.
- C104 NEW WALGREENS MONUMENT SIGN.
- C105 CONCRETE RAMP.
- C106 COMBINED CURB & GUTTER.
- C107 SHREDDER AND COMPACTOR ON CONCRETE PAVING.
- C108 PAVEMENT MARKINGS.
- C109 ACCESSIBLE PARKING SIGN ON POST.
- C110 PAINTED ACCESSIBLE SYMBOL.
- C111 CONCRETE PAVING.
- C112 TOTE ENCLOSURE.
- C113 ASPHALT PAVEMENT.
- C114 BUILDING PERIMETER SIDEWALK.
- C115 2.5' HIGH SCREENING WALL.
- C116 PARKING LOT LIGHTING (20.0' POLES, EXCEPT WHERE ADJACENT TO PEDESTRIAN WALKWAYS AND ENTRY PLAZAS THE MAXIMUM HEIGHT SHALL BE 16 FEET.). POLE A MINIMUM OF 30" BEHIND CURB UNLESS NOTED OTHERWISE.
- C117 10' WIDE ASPHALT WALKING TRAIL PER CITY STANDARDS.
- C118 BICYCLE PARKING.
- C119 PIPE BOLLARD.
- C120 "STOP" SIGN ON STEEL POST.
- C121 COLORED TEXTURED PAVING.
- C122 SHOPPING CART CORRAL. OWNER TO PROVIDE AND INSTALL.
- C123 PLANTERS. REFER TO LANDSCAPE PLANS FOR DETAILS.
- C124 CONCRETE HANDICAP RAMP WITH TRUNCATED DOMES (STD. HWG. 2440). CONSTRUCTED TO CITY OF ALBUQUERQUE STANDARDS.
- C125 6' SIDEWALK.
- C126 REMOVE EXISTING CITY CURB AND GUTTER FOR NEW CURB CUT.
- C127 EXISTING CITY CURB AND GUTTER TO REMAIN.
- C128 EXISTING CITY RAMP TO REMAIN.
- C129 APPROXIMATE LOCATION OF 6' BENCHES AND PATIO AREA. REFER TO LANDSCAPE PLAN FOR DETAILS.
- C130 APPROXIMATE LOCATION OF 6' BENCHES. REFER TO LANDSCAPE PLAN FOR DETAILS.
- C131 ROOF TOP EQUIPMENT WILL BE NO CLOSER THAN 10' FROM EDGE OF BUILDING. 42" PARAPET TO SCREEN ROOF TOP EQUIPMENT.
- C132 12"x18" MOTORCYCLE PARKING SIGN MOUNTED NO HIGHER THAN 4' ABOVE GRADE.

4 GENERAL NOTES
RE: THIS SHEET

- 1. ALL DIMENSIONS ARE TO THE CENTERLINE OF PAINT STRIPES AND/OR TO THE BACK OF CURB, AND ALL BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF WALL, UNLESS OTHERWISE NOTED.
- 2. ALL NEW DRIVEWAY CONSTRUCTION SHALL BE TO CITY OF ALBUQUERQUE STANDARDS AND REQUIREMENTS.
- 3. REPLAT MUST BE A CONCURRENT DRB ACTION.
- 4. REPLAT SHALL INCLUDE CROSS LOT ACCESS, UTILITY AND DRAINAGE AGREEMENT.

PROJECT NUMBER: 1007504
Application Number: 08 EPC-40116

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated December 18, 2008 and the Findings and Conditions in the Official Notification of Decision are satisfied.

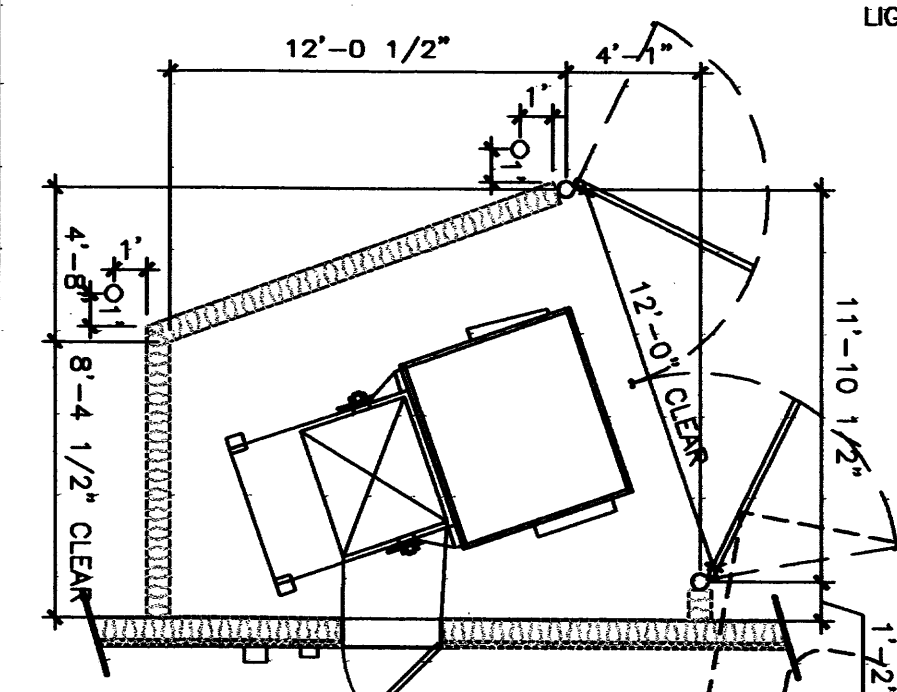
Is an Infrastructure List required? () Yes () No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

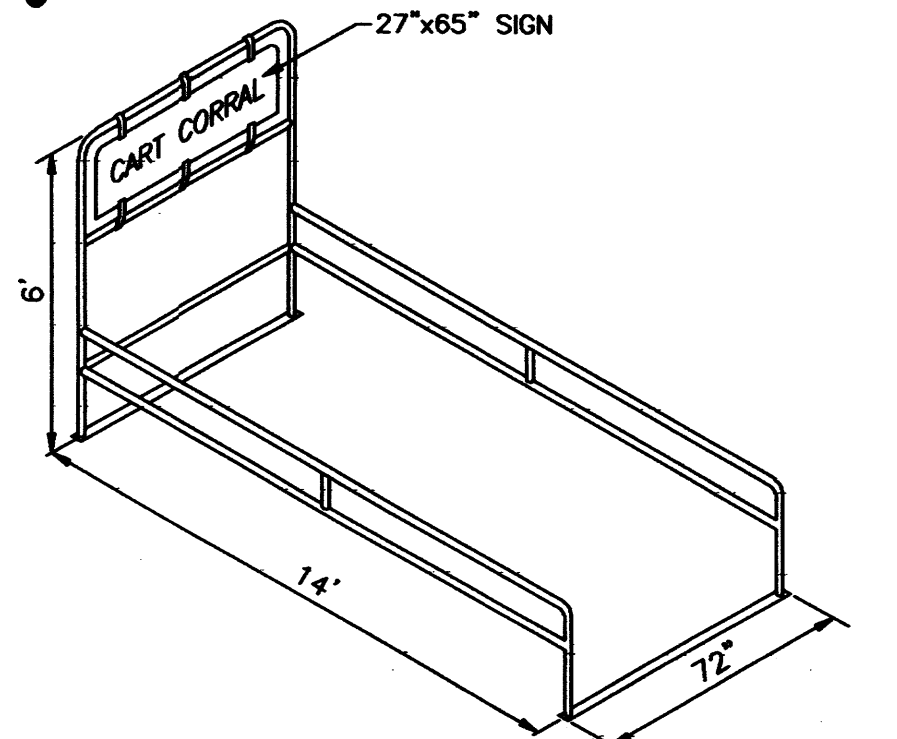
Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

5 SITE LIGHTING NOTES
RE: THIS SHEET

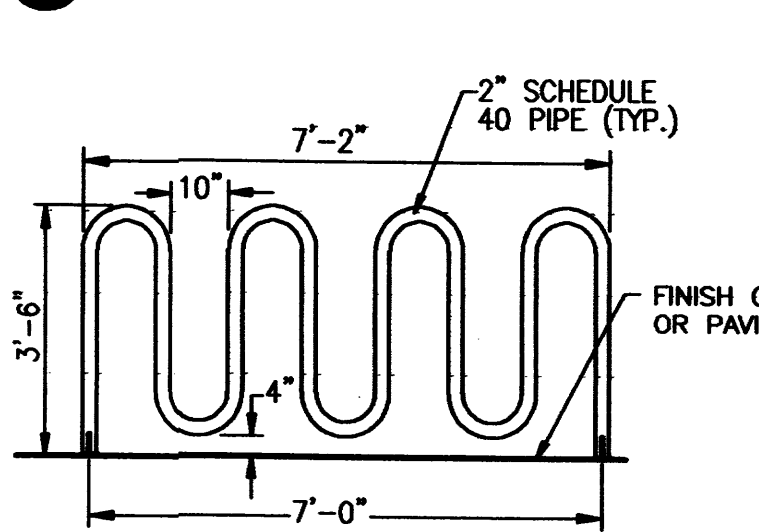
- 1. THE LOCATION OF THE LIGHTING FIXTURES TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY OR ADJACENT RESIDENTIAL PROPERTY.
- 2. THE MAXIMUM HEIGHT OF A LIGHT POLE AS MEASURED FROM THE FINISH GRADE TO THE TOP OF THE POLE SHALL BE 20 FEET, EXCEPT WHERE ADJACENT TO PEDESTRIAN WALKWAYS AND ENTRY PLAZAS THE MAXIMUM HEIGHT SHALL BE 16 FEET.
- 3. LIGHTING TO BE PROVIDED ON BUILDING FACADES SHALL BE MOUNTED AT 12 FEET MAXIMUM.



7 REFUSE ENCLOSURE DETAIL
NOT TO SCALE



8 CART CORRAL DETAIL
NOT TO SCALE



9 BIKE RACK DETAIL
NOT TO SCALE

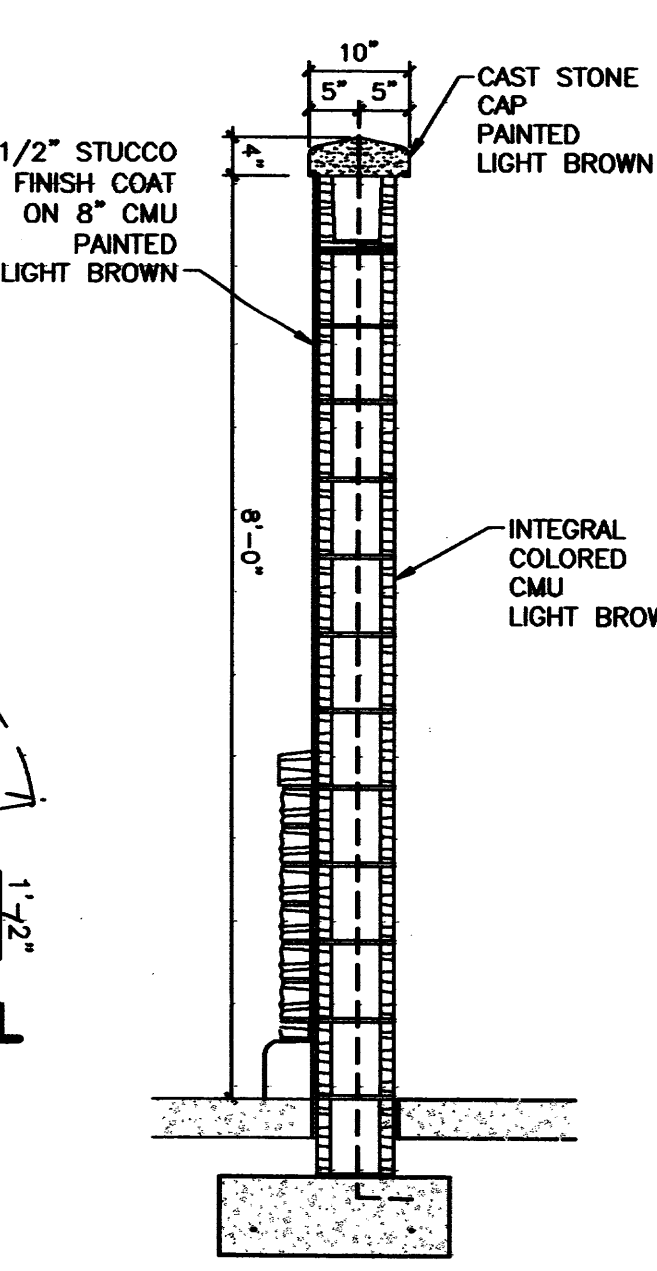


10 LIGHT POLE DETAIL
NOT TO SCALE



6 AMENITIES NOTES
RE: THIS SHEET

- 1. PLAZA SPACE IS PROVIDED AT THE NORTHEAST CORNER OF THE SITE ALONG A PEDESTRIAN PATHWAY. DECIDUOUS TREES WILL BE PROVIDED, ALONG WITH BENCHES, TABLES AND OTHER ORNAMENTAL PLANTINGS.



**SITE PLAN FOR BUILDING PERMIT
SILVERTREE COMMONS**

Prepared for:
Bencor, Inc.
90 S. Cascade Avenue, Suite 330
Colorado Springs, CO 80903

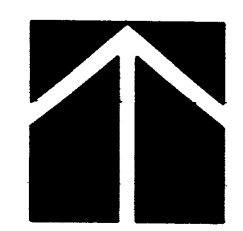
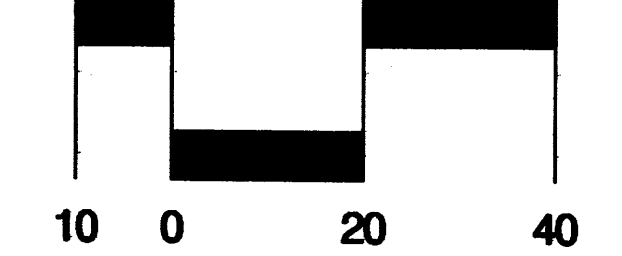
Prepared by:
Khoury Engineering, Inc.
1435 E. 41st Street
Tulsa, OK 74105

Consensus Planning, Inc.
302 Eighth Street NW
Albuquerque, NM 87102

Timothy M. Gallup,
Architect of Record
15 East Fifth Street, Suite 2900
Tulsa, OK 74103

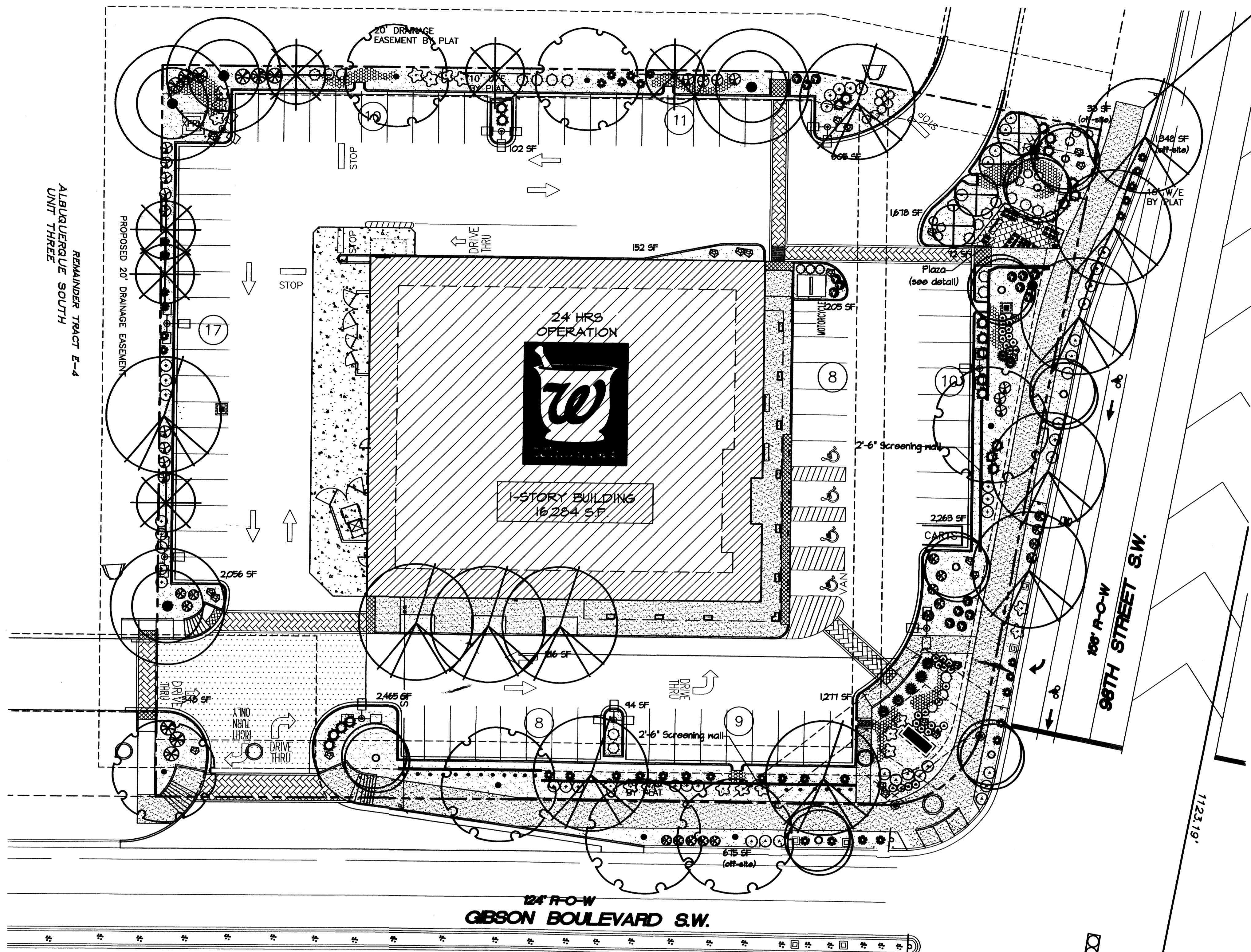


Scale: 1" = 20'



January 23, 2009

Sheet 1 of 5



GENERAL NOTES

MULCHES
All tree & shrub planting areas shall be top dressed with gravel & cobble mulch over DeWitt Pro-5 weed control fabric, unless noted otherwise.

IRRIGATION SYSTEM
Irrigation system standards outlined in the Water Conservation Landscaping and Water Waste Ordinance shall be strictly adhered to. A fully automated drip irrigation system will be used to irrigate trees, shrub, and groundcover planting areas. Irrigation system design shall consider the ability to easily provide additional emitters for the expanding root zone. Trees shall receive (5) 1.0 gph emitters and shrubs shall receive (2) 1.0 gph emitters. Trees shall be zoned separately from shrubs, perennials, and grasses. Plant beds shall achieve 75% live ground cover at maturity.

MAINTENANCE RESPONSIBILITY
Maintenance of the landscaping and irrigation system, including those areas within the public R.O.W., shall be the responsibility of the Owner.

STATEMENT OF WATER WASTE
For the Water Conservation Landscaping and Water Waste Ordinance, the landscape plan for the Malgreen's Center has provided the minimum turf over a maximum of 20 percent of the required landscape area. We are not providing any high water use turf on the Malgreen's landscape. All landscaping shall be in compliance with the Water Conservation Landscaping and Water Waste Ordinance.

STREET TREES
Per the City of Albuquerque Street Tree Ordinance, Section 6-6-02, the landscape plan for the Malgreen's Center has provided the minimum requirements of street trees for major streets. The number of trees is determined by the size of the tree canopy at maturity. Random placement of trees shall be based upon the number of trees that would be required if they were evenly spaced.

98th Street Frontage: 242'. Based on 40' tree canopies, the number of trees shall be 7.

Gibson Street Frontage: 208'. Based on 40' tree canopies, the number of trees shall be 6.

LANDSCAPE COVERAGE
All landscape areas, including buffer strips adjacent to major streets, shall contain live vegetative material covering at least 75% of the area.

WATER HARVESTING
Storm discharge will be harvested on-site to reduce runoff. Curb cuts and depressed cobble swales with direct water flow will be provided, minimizing potential for flooding and erosion while reducing water needs. Plant materials amenable to water harvesting are provided in these areas.

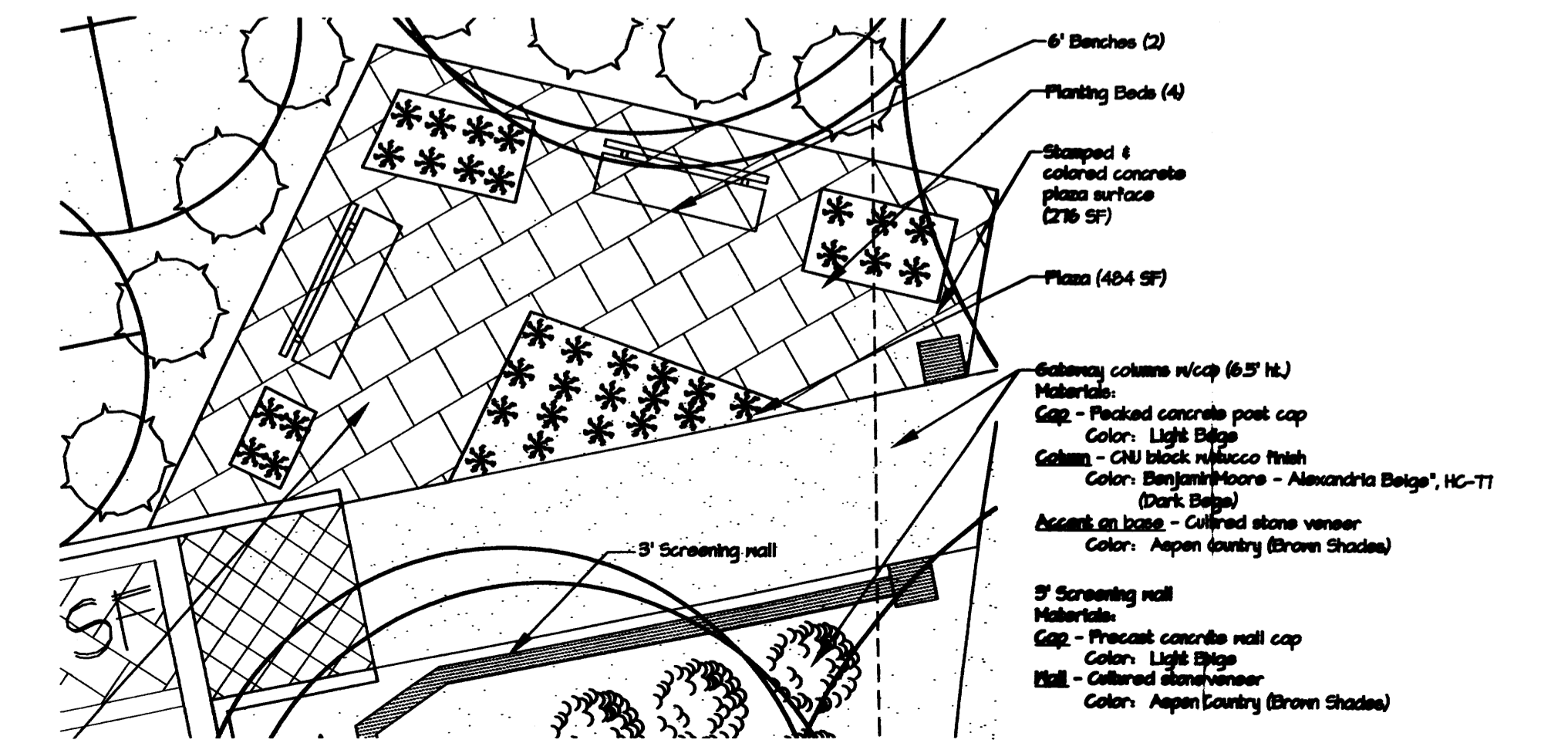
PLANT LEGEND

Qty.	Symbol	Scientific Name Common Name	Size	Installed Size Mature Size	Water Use
4	⊕	Forestiera neomexicana New Mexico Olive	15-Gal.	10' ht. x 6' spr. 15' ht. x 15' spr.	Medium
12	⊕	Gleditsia triacanthos 'Shademaster' Honey Locust	2" B4B	16' ht. x 6' spr. 60' ht. x 60' spr.	Medium +
8	⊕	Koeleruteria paniculata Goldenrain Tree	2" B4B	10'-12' ht. x 4' spr. 25' ht. x 25' spr.	Medium
6	⊕	Pinus nigra Austrian Pine	B4B	10'-12' min ht. 35' ht. x 25' spr.	Medium
7	⊕	Platanus chinensis Chinese Platane	2" B4B	16' ht. x 6' spr. 60' ht. x 50' spr.	Medium +
4	⊕	Symlocos dioica Kentucky Coffee Tree	2" B4B	10'-12' ht. x 4' spr. 50' ht. x 40' spr.	Medium
Shrubs/Groundcovers					
20	⊕	Baccharis 'Stam Thompson' Dwarf Coyotebush	5-Gal.	4' o.c. 2' ht. x 4' spr.	Low +
24	⊕	Artemisia tridentata Big Sage	5-Gal.	5' o.c. 4' ht. x 4' spr.	Low +
18	⊕	Buddleia davidii 'Nanhoensis' Butterfly Bush	5-Gal.	5' o.c. 5' ht. x 5' spr.	Medium
17	⊕	Caryopteris clandonensis Blue Mist	1-Gal.	3' o.c. 3' ht. x 3' spr.	Medium
17	⊕	Ceratoides lanata Winterfat	1-Gal.	3' o.c. 3' ht. x 3' spr.	Low
14	⊕	Achillea filipendulina 'Moonshine' Moonshine Yarrow	1-Gal.	4' o.c. 3' ht. x 3' spr.	Low
9	⊕	Cytisus scoparius Scotch Broom	5-Gal.	4' o.c. 4' ht. x 4' spr.	Low +
7	⊕	Dasylirion wheeleri Sotol	5-Gal.	4' o.c. 4' ht. x 4' spr.	Low +
16	⊕	Fallugia paradoxa Apache Plume	1-Gal.	5' o.c. 4' ht. x 4' spr.	Low
31	⊕	Penstemon sp. Penstemon	1-Gal.	4' o.c. 1' ht. x 2' spr.	Low +
22	⊕	Rosmarinus officinalis Rosemary	5-Gal.	3' o.c. 3' ht. x 3' spr.	Low +
Ornamental Grasses					
53	⊕	Helictotrichon sempervirens Blue Avena Grass	1-Gal.	2' o.c. 2' ht. x 1' spr.	Medium
22	⊕	Miscanthus sinensis Maiden Hair Grass	5-Gal.	4' o.c. 5' ht. x 4' spr.	Medium
37	⊕	Nassella tenuissima Threadgrass	1-Gal.	3' o.c. 3' ht. x 3' spr.	Low
22	⊕	Moss Rock Boulders, 3'x3' (min.)			

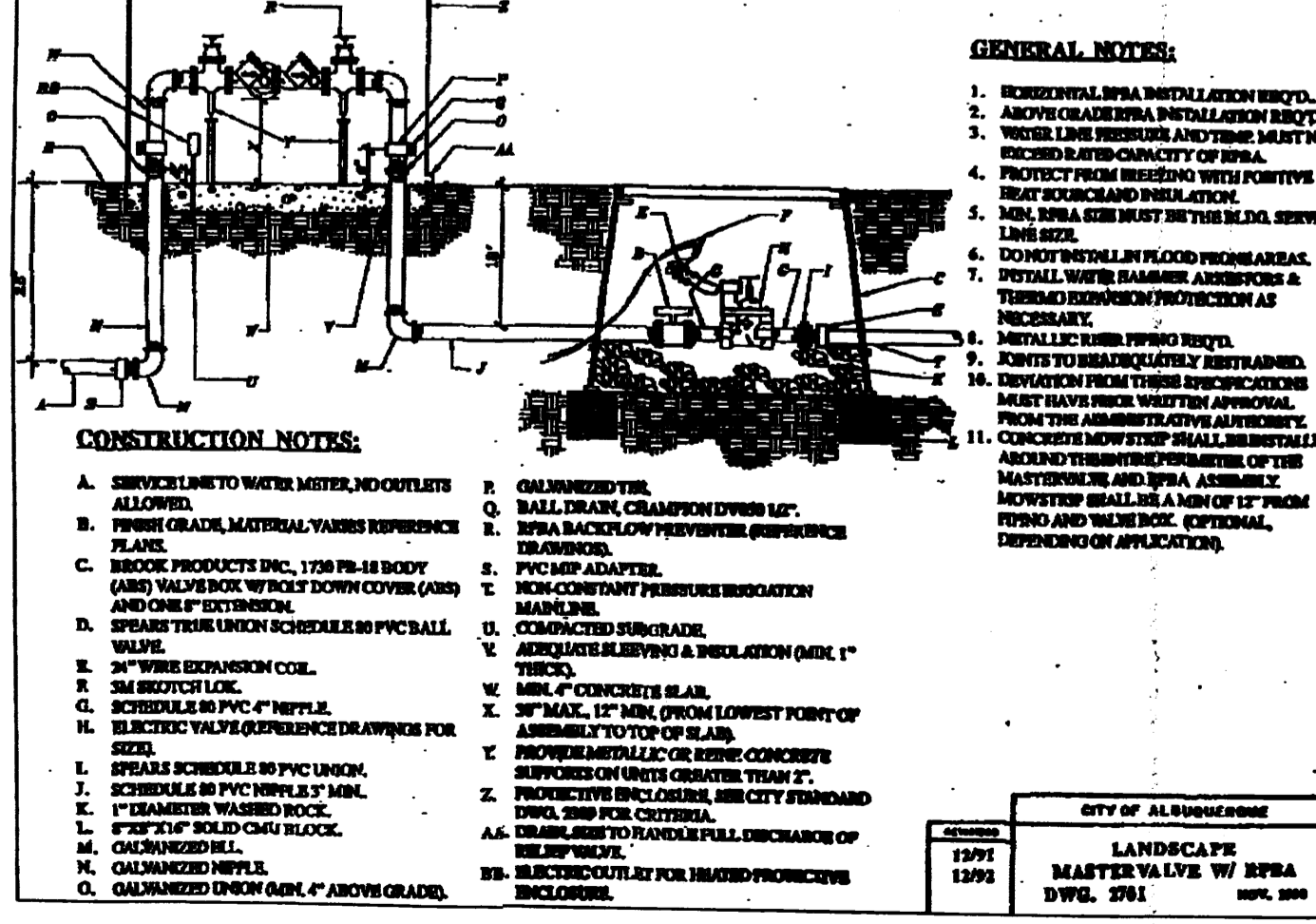
LANDSCAPE CALCULATIONS

Site Area: (1.7 AC.)	77,088 SF.
Building Area:	-16,284 SF.
Total	60,804 SF.
Required Landscape: (15%)	9,120 SF.
Provided Landscape:	
On-site	12,178 SF. (20%)
Off-Site	+2,056 SF.
Total Provided:	14,234 SF.
Parking Spaces: 73	

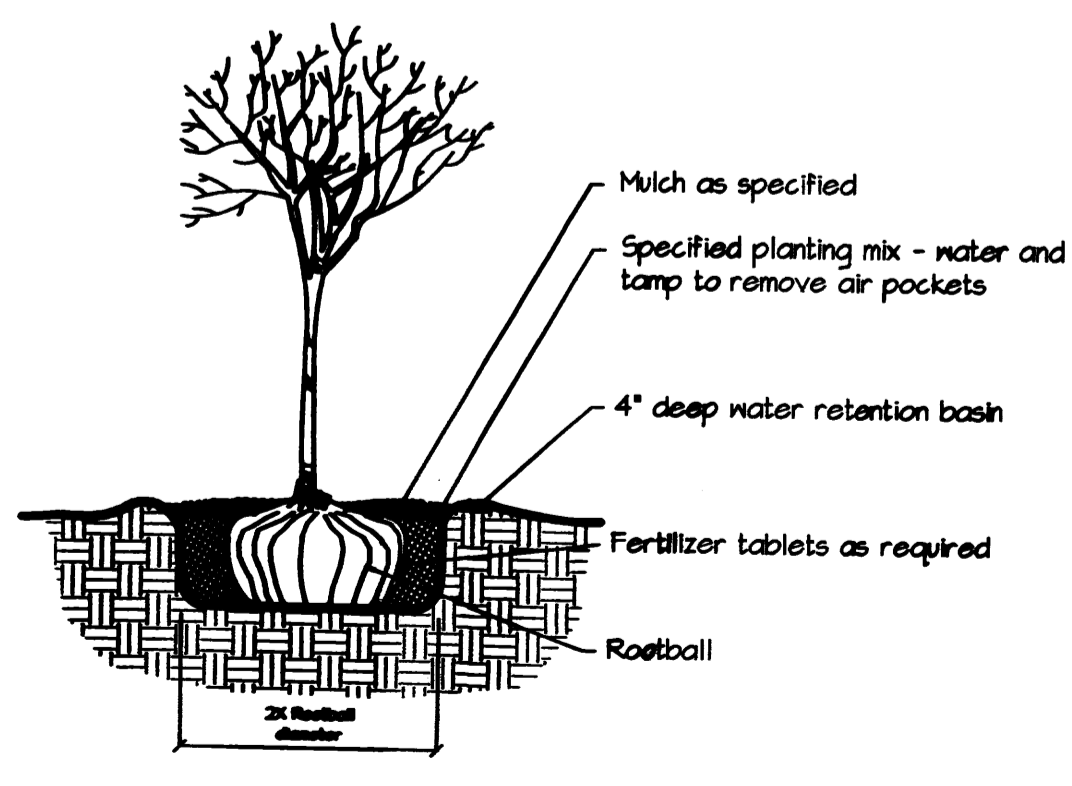
- 13,465 SF 1" Gravel Mulch (3" depth) - Buildology, Inc. Canyon Gold (Light Tan)
- 764 SF 2" - 4" Cobble Mulch - Buildology, Inc. Santa Fe Brown (Brown Shades)



PLAZA DETAIL (NTS)



BACKFLOW PREVENTION DETAIL (NTS)



TREE PLANTING DETAIL (NTS)

**LANDSCAPE PLAN
SILVERTREE COMMONS**

Prepared for:
Bencor, Inc.
90 S. Cascade Avenue, Suite 330
Colorado Springs, CO 80903

Prepared by:
Koury Engineering, Inc.
1435 E. 41st Street
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Consensus Planning, Inc.
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Albuquerque, NM 87102

Timothy M. Gallup,
Architect of Record
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Tulsa, OK 74103

January 23, 2009

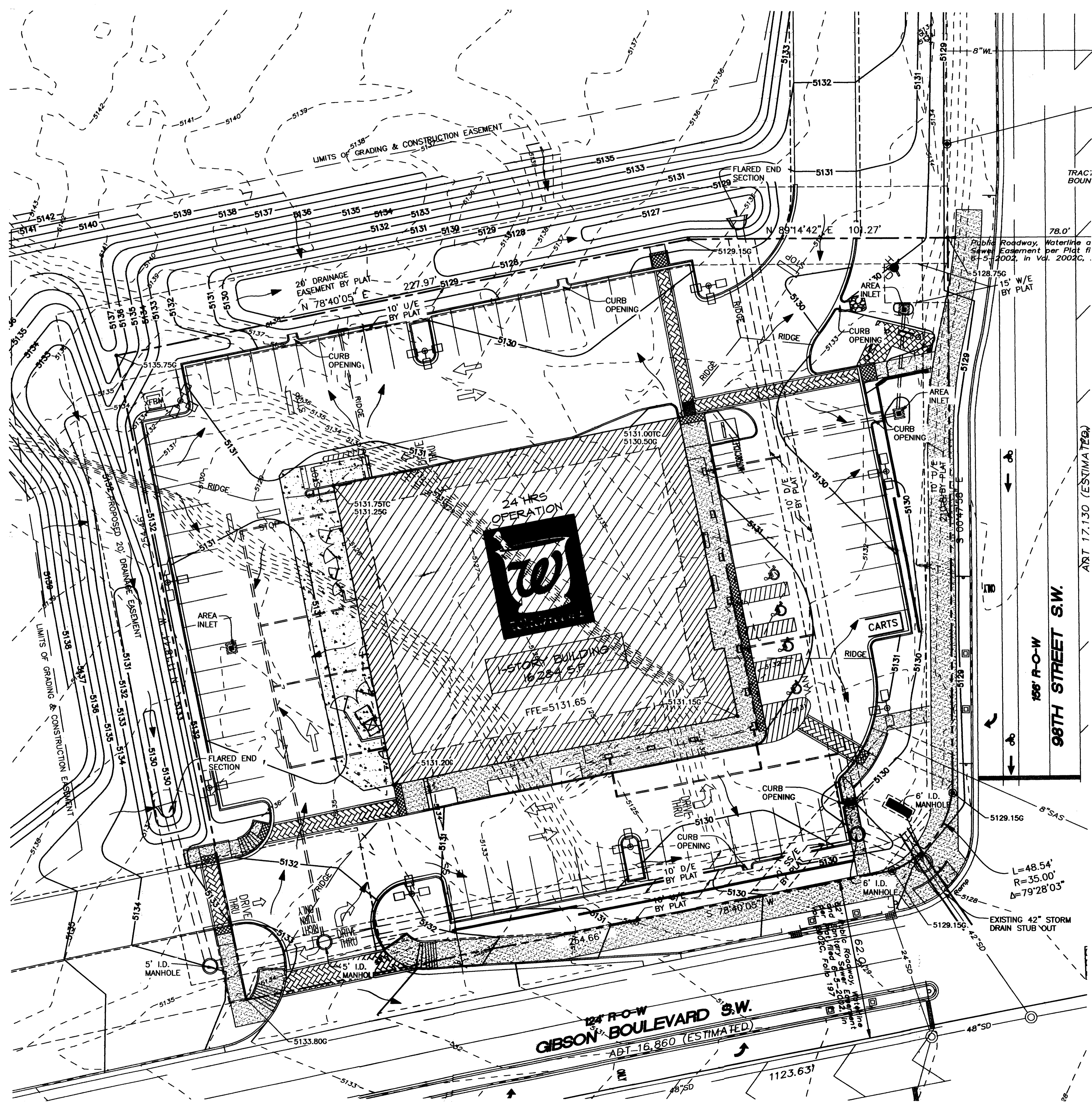
Scale: 1" = 20'

10 0 20 40

NORTH

CONSENSUS PLANNING

Sheet 2 of 5



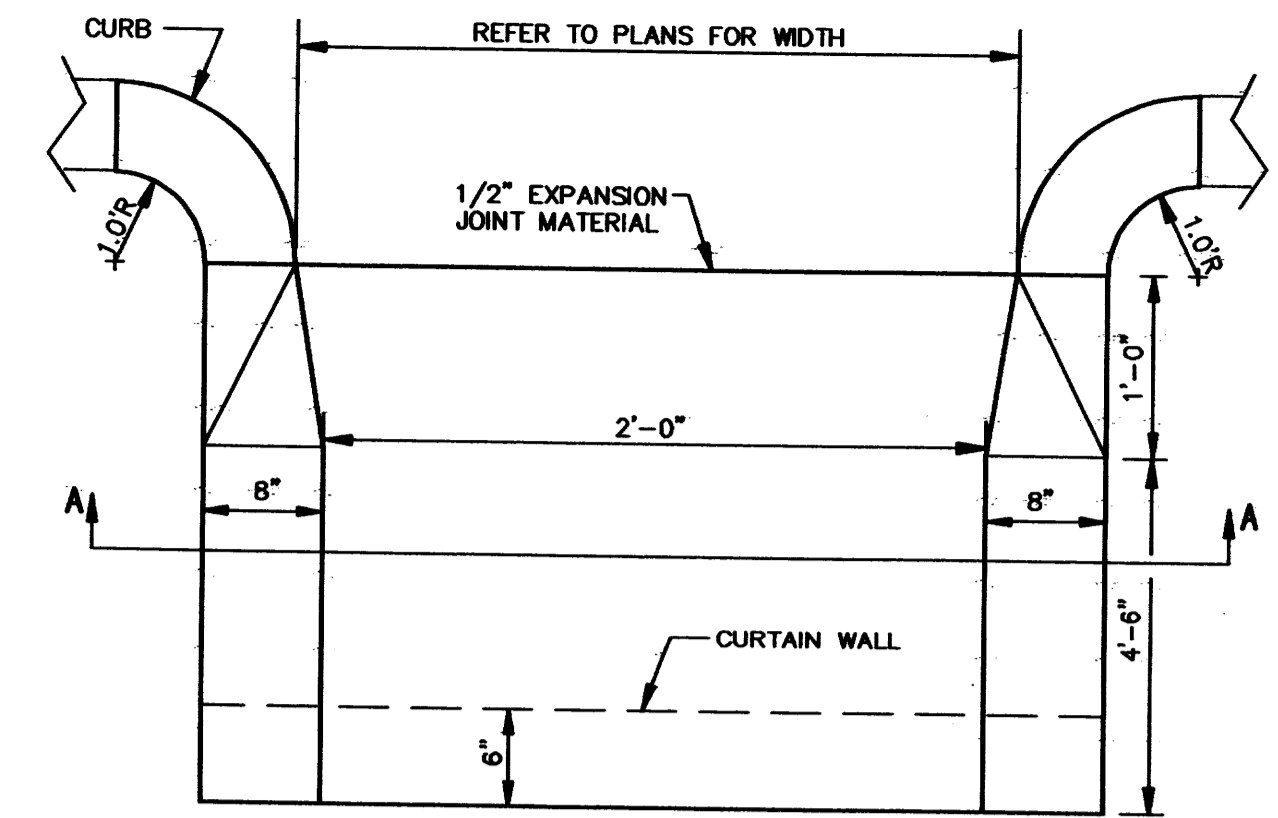
1 SITE GRADING PLAN
SCALE: 1"=20'

2 GRADING NOTES
THIS SHEET

1. PAVEMENT GRADES IN MARKED HANDICAPPED AREA SHALL NOT EXCEED 2% IN ALL DIRECTIONS.

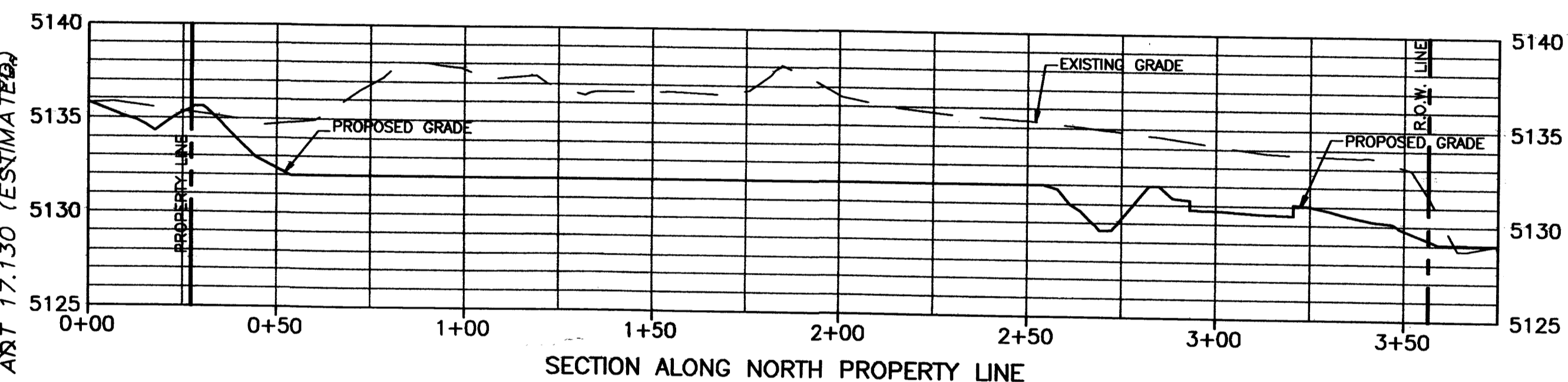
LEGEND - SYMBOLS
SCALE: NTS

- 5130 --- EXISTING GRADES
- 5130 — PROPOSED ON-SITE GRADES
- - - - - RIDGE

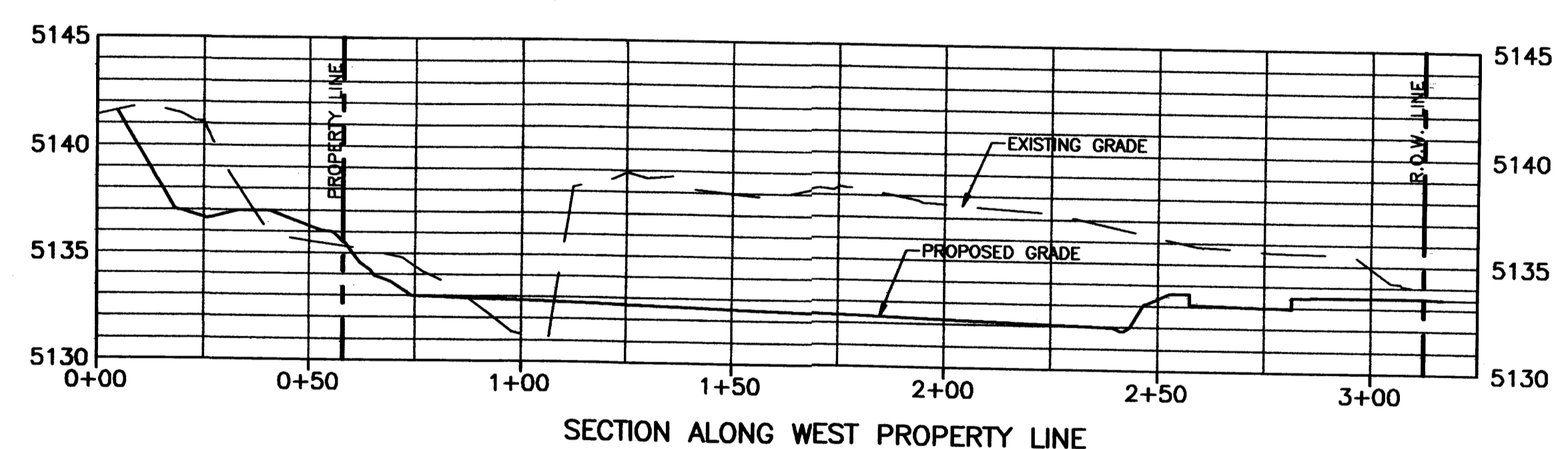


4 CURB OPENING WITH FLUME
NOT TO SCALE

3 PROPERTY LINE CROSS SECTIONS



SECTION ALONG NORTH PROPERTY LINE



SECTION ALONG WEST PROPERTY LINE

5 NARRATIVE

THE SITE CONSISTS OF APPROXIMATELY 1.8 ACRES AT THE CORNER OF 98TH STREET AND GIBSON AVENUE. TO THE NORTH AND WEST THE SITE IS BOUND BY UNDEVELOPED LAND. THE TERRAIN IS COVERED BY NATIVE VEGETATION AND SLOPES THAT VARY FROM 2 TO 50 PERCENT. THERE IS APPROXIMATELY 8' OF GRADE DIFFERENCE FROM THE NORTH PROPERTY LINE TO THE SOUTH AND 9' OF GRADE DIFFERENCE FROM THE WEST PROPERTY LINE TO THE EAST. THE MOLE ARROYO, WHICH HAS BEEN ABANDONED, CUTS ACROSS THE SITE FROM THE NORTHWEST CORNER TO THE CENTER OF THE SOUTH PROPERTY LINE. THE FLOOD PLAN HAS BEEN REVISED PER FEMA FIRM #35001C03366. A 42" PUBLIC STORM DRAIN IS STUBBED OUT AT THE SOUTHEAST PROPERTY CORNER. UNDER THE PROPOSED GRADING PLAN, THE ABANDONED MOLE ARROYO WILL BE FILLED. RUNOFF FROM THE PROPERTY TO THE NORTH AND WEST WILL BE CONVEYED THROUGH TWO SEPARATE CHANNELS, COLLECTED INTO AN ON-SITE STORM DRAIN SYSTEM AND RELEASED INTO THE 42" PUBLIC STORM DRAIN AT THE SOUTHEAST CORNER OF THE PROPERTY. ONSITE WATER, WITH EXCEPTION TO THE WATER COLLECTED ON THE WEST SIDE OF THE PROPOSED WALKGREENS, WILL BE RELEASED INTO THE LANDSCAPE AREA AND COLLECTED EITHER THROUGH WATER HARVESTING OR BY AREA INLETS. THE STORM WATER THAT DOES NOT INFILTRATE INTO THE SOIL WILL BE CONVEYED THROUGH THE ONSITE STORM WATER SYSTEM INTO THE PUBLIC STUBOUT AT THE SOUTHEAST CORNER OF THE SITE.

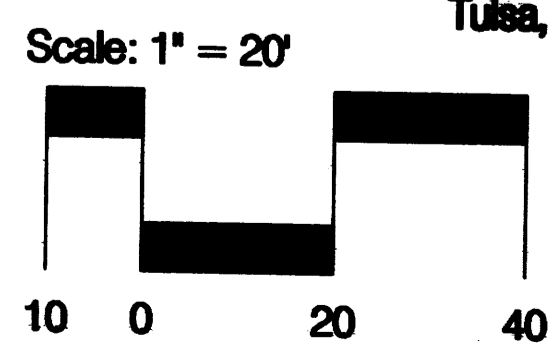
**GRADING & DRAINAGE PLAN
SILVERTREE COMMONS**

Prepared for:
Bencor, Inc.
90 S. Cascade Avenue, Suite 330
Colorado Springs, CO 80903

Prepared by:
Khouy Engineering, Inc.
1435 E. 41st Street
Tulsa, OK 74105

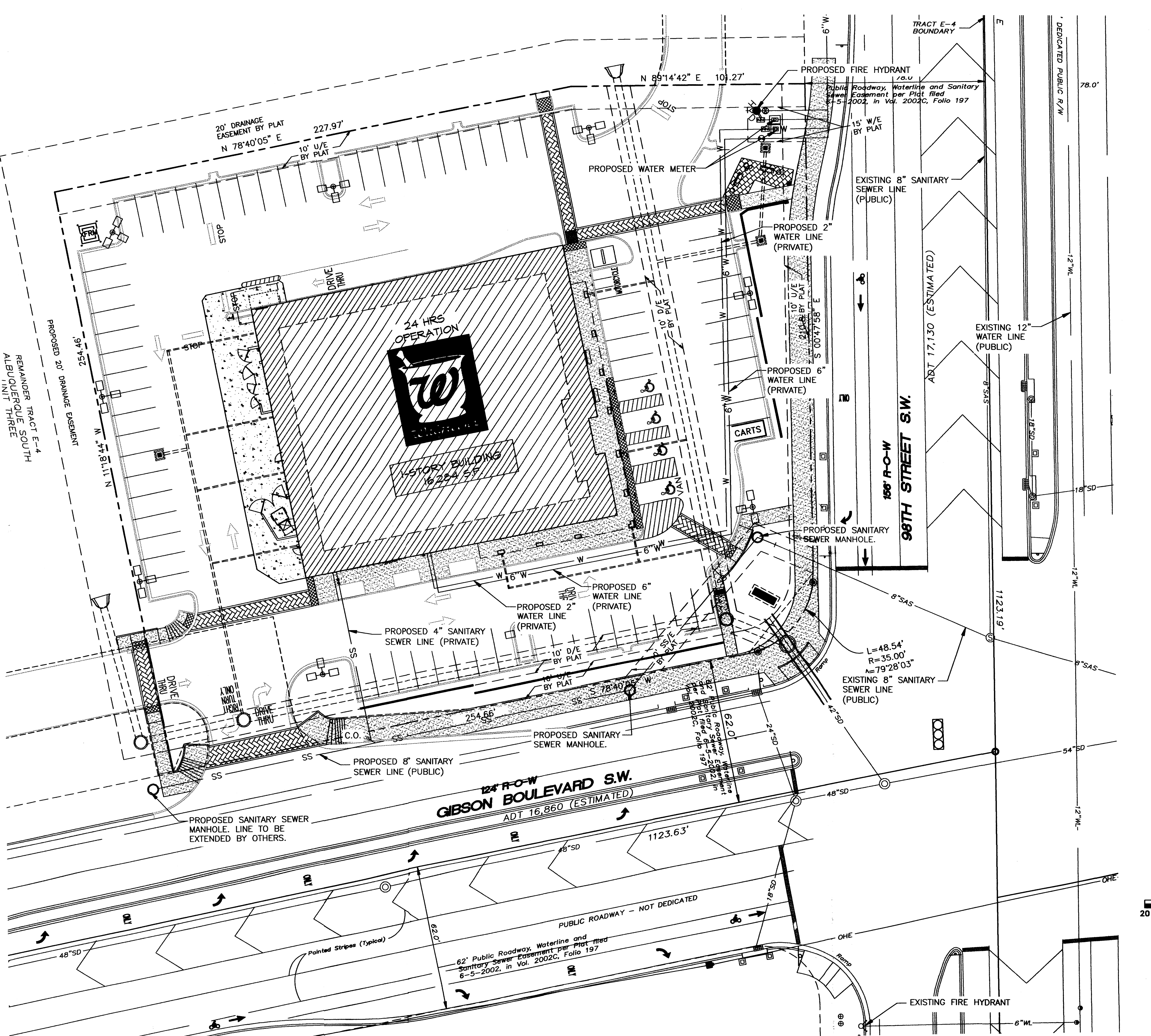
Consensus Planning, Inc.
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Albuquerque, NM 87102

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15 East Fifth Street, Suite 2900
Tulsa, OK 74103



January 23, 2009

Sheet 3 of 5



LEGEND

8" SAS	= EXISTING SANITARY SEWER
8" WL	= EXISTING SAS MANHOLE
8" WL	= EXISTING WATER LINE
42" SD	= EXISTING STORM DRAIN
8" SD	= EXISTING STORM DRAIN INLET
8" SD	= EXISTING STORM DRAIN MANHOLE
6" W	= PROPOSED FIRE LINE
6" W	= PROPOSED WATER LINE
W	= PROPOSED SANITARY SEWER
SS	= PROPOSED SAS MANHOLE
C.O.	= PROPOSED SANITARY SEWER CLEANOUT
W.M.	= PROPOSED WATER METER
F.H.	= PROPOSED FIRE HYDRANT
S.D.I.	= PROPOSED STORM DRAIN INLET
S.D.M.	= PROPOSED STORM DRAIN MANHOLE
S.D.L.	= PROPOSED STORM DRAIN LINE
L.P.	= PROPOSED PARKING LOT LIGHT POLE

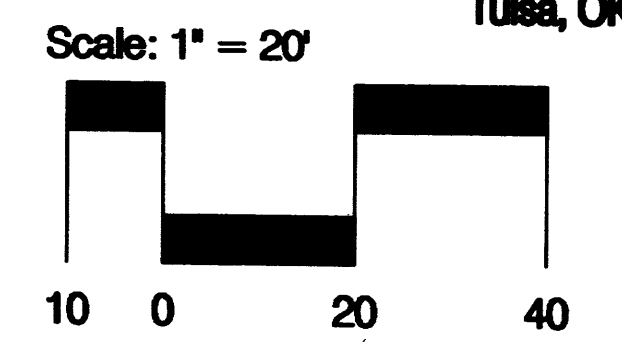
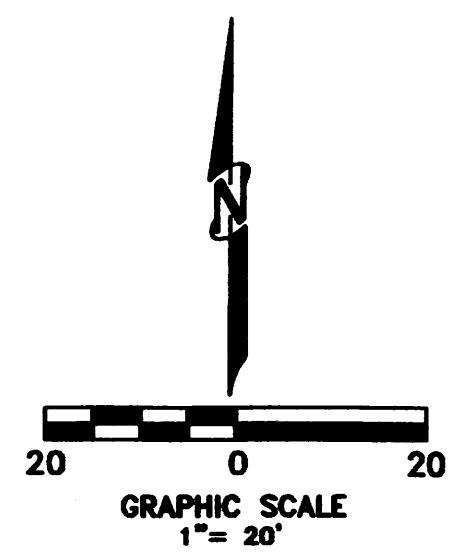
UTILITY PLAN SILVERTREE COMMONS

Prepared for:
Bencor, Inc.
90 S. Cascade Avenue, Suite 330
Colorado Springs, CO 80903

Prepared by:
Khoury Engineering, Inc.
1435 E. 41st Street
Tulsa, OK 74105

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302 Eighth Street NW
Albuquerque, NM 87102

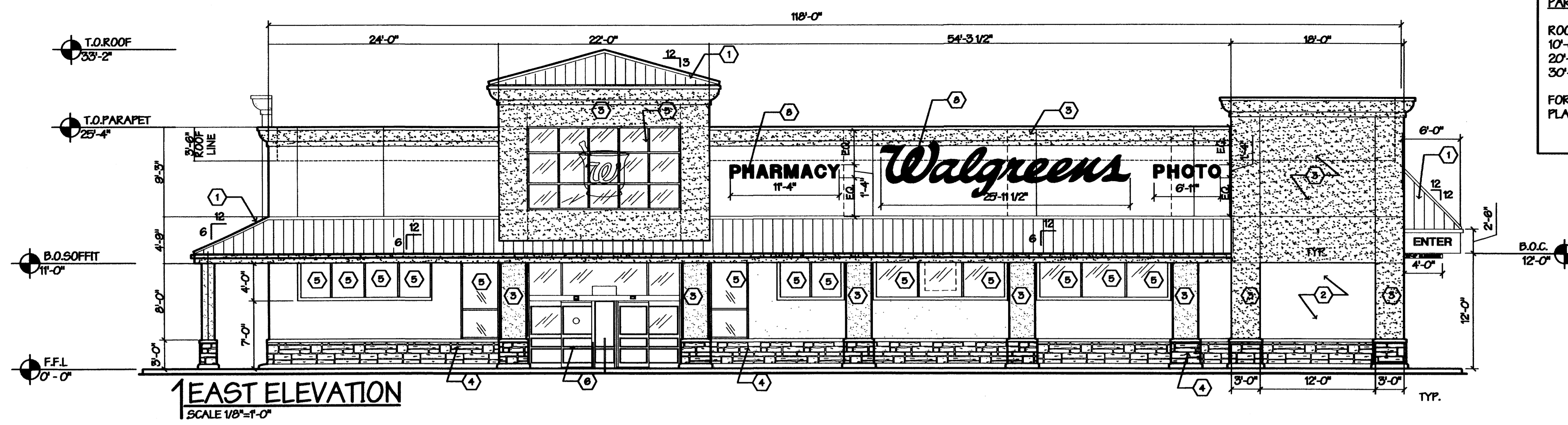
Timothy M. Gallup,
Architect of Record
15 East Fifth Street, Suite 2900
Tulsa, OK 74103



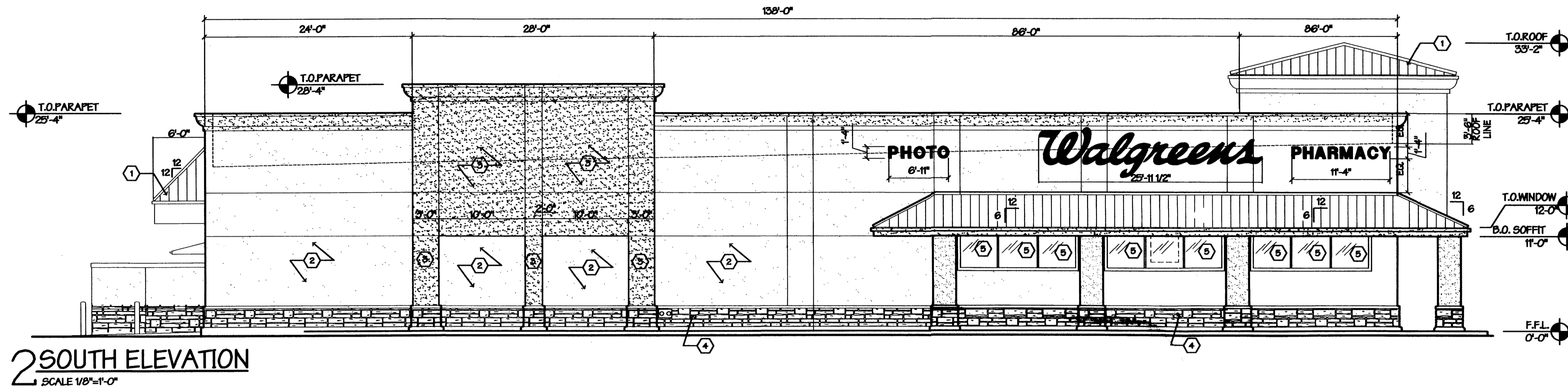
1 UTILITY PLAN
SCALE: 1"=20'

January 23, 2009

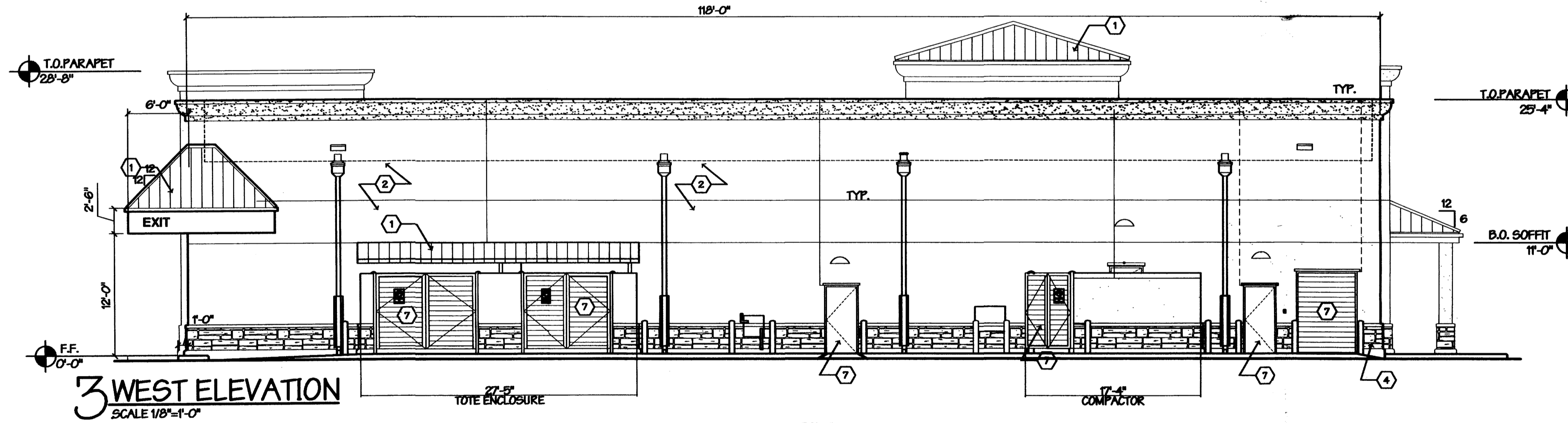
Sheet 4 of 5



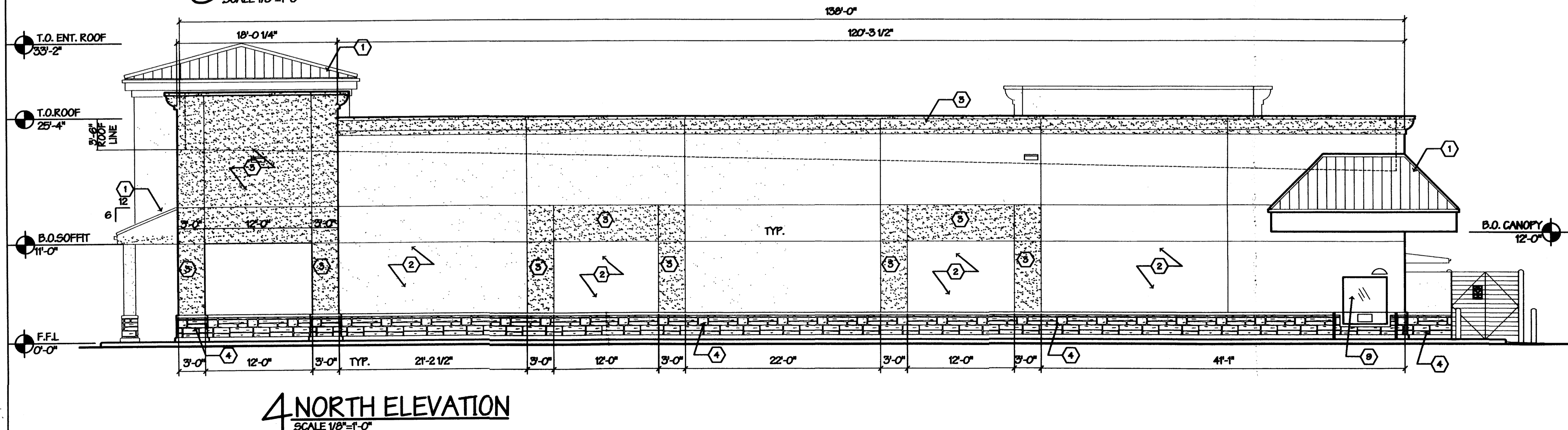
1 EAST ELEVATION
SCALE 1/8"=1'-0"



2 SOUTH ELEVATION
SCALE 1/8"=1'-0"



3 WEST ELEVATION
SCALE 1/8"=1'-0"



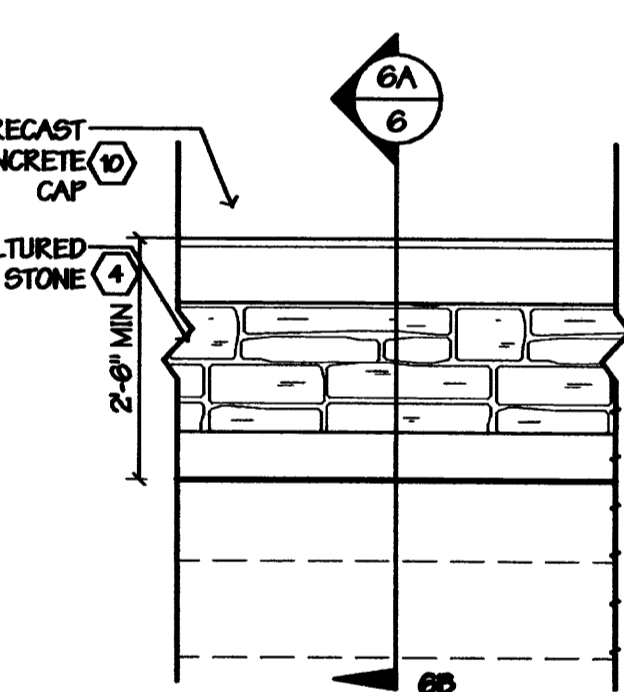
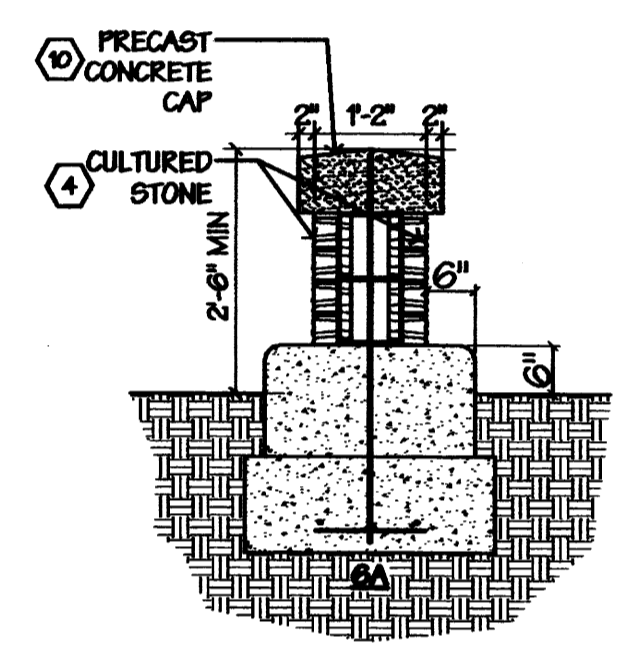
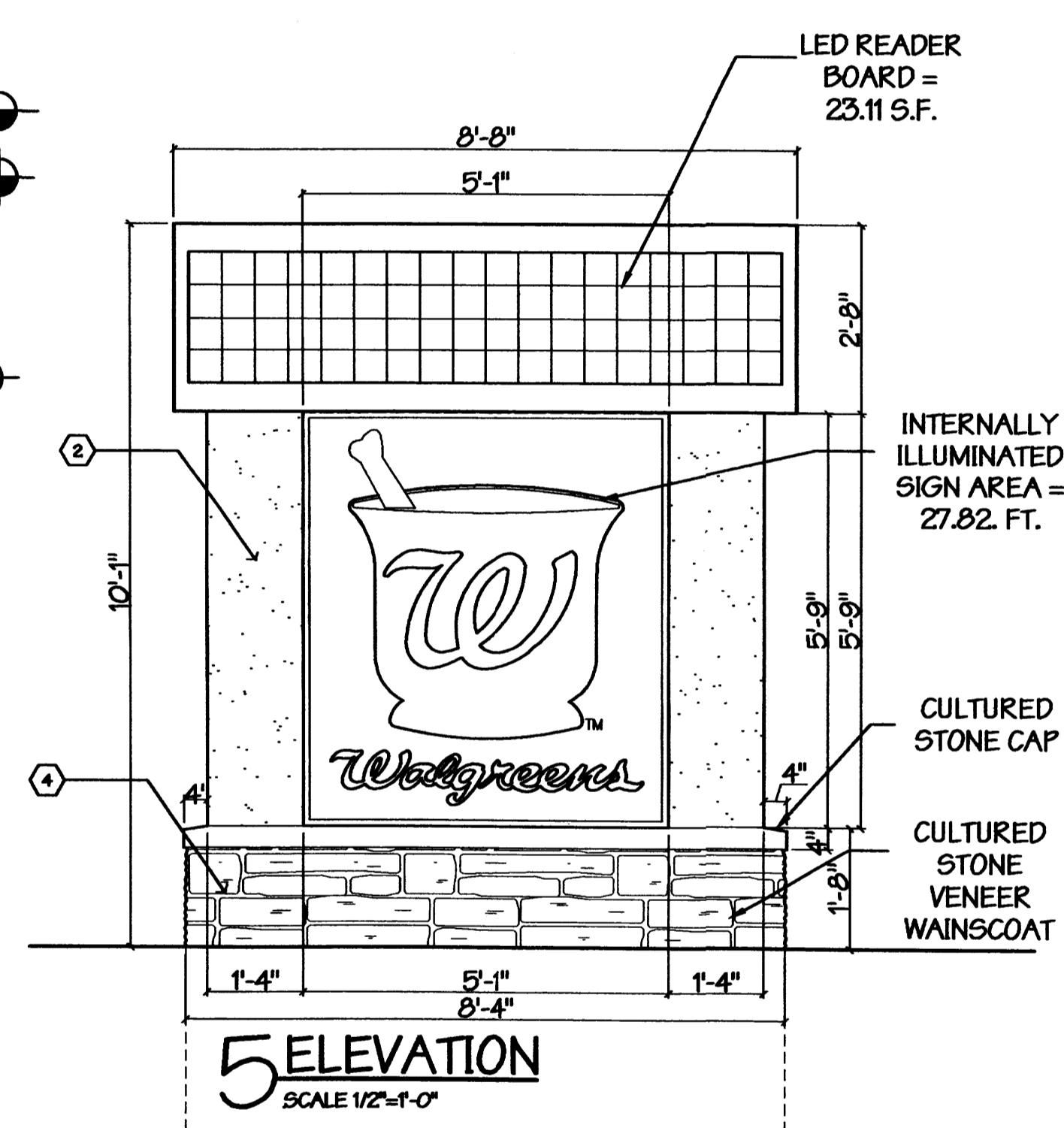
4 NORTH ELEVATION
SCALE 1/8"=1'-0"

PARAPET HEIGHT:
ROOF TOP EQUIPMENT SETBACK:
10'-0" = 3'-6" PARAPET
20'-0" = 2'-6" PARAPET
30'-0" = 1'-6" PARAPET
FOR ROOF TOP EQUIPMENT REF: SITE PLAN SHEET 1 OF 5

MATERIALS	
1	STANDING SEAM METAL ROOF: GREEN (BERRIDGE MANUFACTURING COMPANY, ACCENTCOLORS, PATINA GREEN)
2	WALLS: FACADE COLOR: DARK BEIGE (INTEGRALLY COLORED FINISH COAT ON PORTLAND CEMENT STUCCO BASE, (COLOR BENJAMIN MOORE MOCCASIN # 1059) OVER 8" CMU.) ACCENT COLOR: LIGHT BEIGE (INTEGRALLY COLORED FINISH COAT ON PORTLAND CEMENT STUCCO BASE, (COLOR BENJAMIN MOORE ALEXANDRIA BEIGE HC-77.) OVER 8" CMU.) CULTURED STONE VENEER: BROWN SHADES (OWENS CORNING, COUNTRY LEDGESTONE - ASPEN)
3	ALUMINUM STOREFRONT WINDOWS: SIDE WALL WINDOWS: CLEAR ANODIZED ALUMINUM WITH BLUE GREEN (PLKINGTON "EVERGREEN" TINTED GLASS). TOWER WINDOW: CLEAR ANODIZED ALUMINUM WITH CLEAR GLASS.
4	AUTOMATIC ENTRANCE DOORS: CLEAR ANODIZED ALUMINUM WITH CLEAR GLASS DOORS AND TINTED GLASS AT TRANSOMS.
5	METAL DOORS AND FRAMES: PAINTED COLOR TO MATCH FACADE
6	BUILDING SIGNS: SCRIPT SIGNS "WALGREENS", "PHARMACY" AND "PHOTO": RED PLEXIGLASS IN BRONZE METAL HOUSING, INTERNALLY ILLUMINATED. DIRECTIONAL SIGNS "DRIVE THRU" AND DRIVE THRU "EXIT": RED PLEXIGLASS IN BRONZE METAL HOUSING, INTERNALLY ILLUMINATED. DRIVE THRU "CLEARANCE" SIGN: ALUMINUM PANEL YELLOW REFLECTIVE FINISH AND BLACK LETTERS. HANDICAPPED PARKING: 7'-0" HIGH STEEL TUBE PAINTED "WHITE" STANDARD HANDICAPPED SIGN.
7	DRIVE-THRU WINDOW: FACTORY FINISHED "GREY" STEEL FRAME AND TRANSACTION DRAWER WITH CLEAR GLASS.
8	LIGHT BEIGE, INTERGALLY COLORED CONCRETE

SIGN AREA SUMMARY	
EAST ELEVATION:	
25'-11 1/2" LONG "WALGREENS" SIGN	80.71 SF
16" HEIGHT "PHARMACY" SIGN	15.10 SF
16" HEIGHT "PHOTO" SIGN	9.20 SF
WALGREENS LOGO SIGN	36.4 SF
	141.41 SF
SOUTH ELEVATION:	
25'-11 1/2" LONG "WALGREENS" SIGN	80.71 SF
16" HEIGHT "PHARMACY" SIGN	15.10 SF
16" HEIGHT "PHOTO" SIGN	9.20 SF
	105.01 SF
TOTAL BUILDING SIGNAGE	
	246.42 SF
EAST FACADE ALLOWABLE = 195.6 SF 6% OF THE FACADE AREA (3,260 SF) = 195.6	
SOUTH FACADE ALLOWABLE = 238.4 SF 6% OF THE FACADE AREA (3,973 SF) = 238.4	

MONUMENT SIGN SUMMARY	
EAST ELEVATION:	
PRIMARY PANEL	27.82 SF
LED READERBOARD	23.11 SF
	50.93 SF



5 ELEVATION
SCALE 1/2"=1'-0"

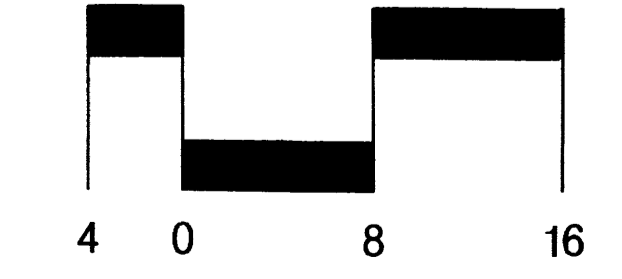
6 @ PARKING
SCALE 1/2"=1'-0"

BUILDING ELEVATIONS SILVERTREE COMMONS

Prepared for:
Bencor, Inc.
90 S. Cascade Avenue, Suite 330
Colorado Springs, CO 80903

Prepared by:
Khoury Engineering, Inc.
1435 E. 41st Street
Tulsa, OK 74103

Scale: 1/8" = 1'



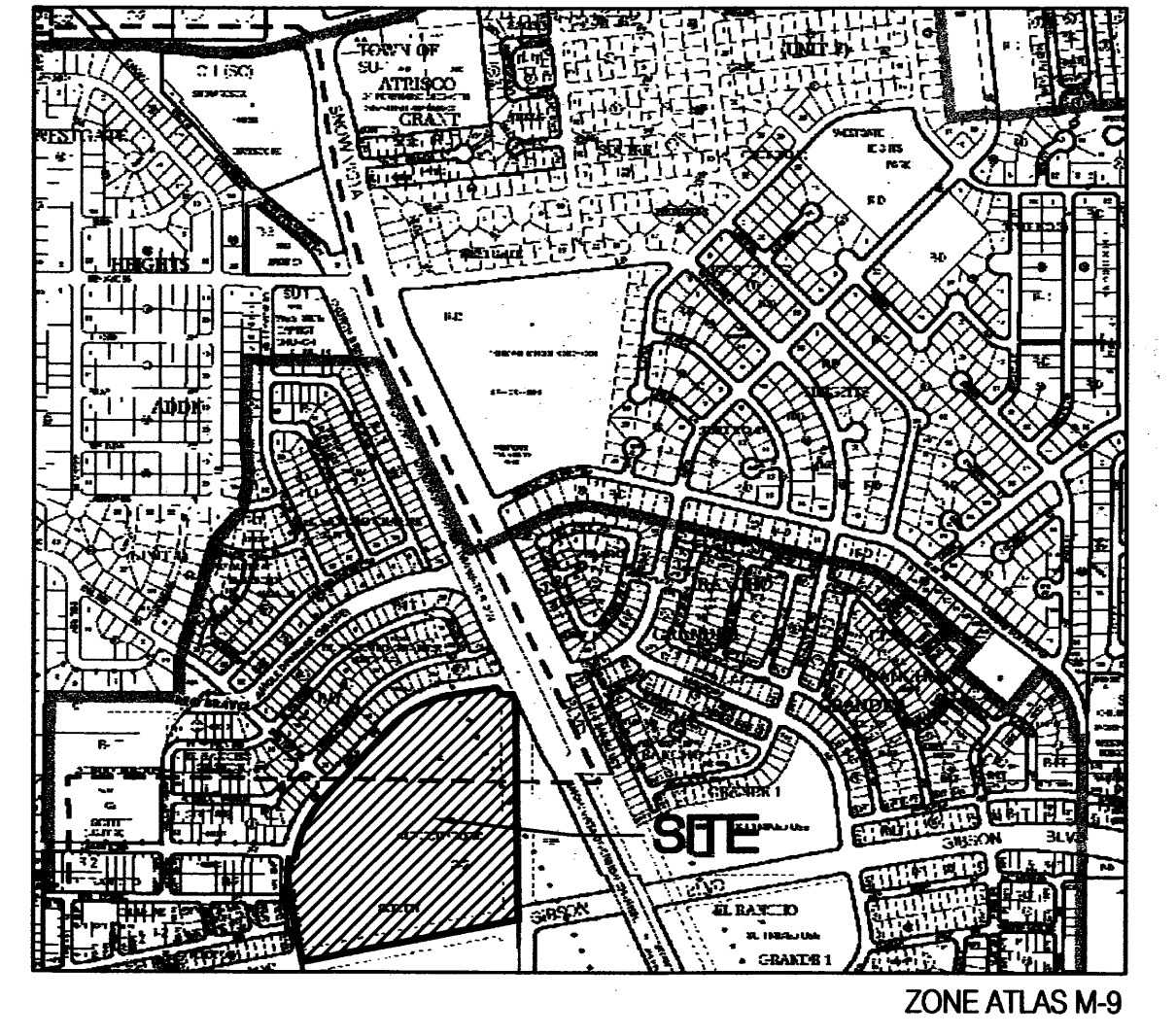
Consensus Planning, Inc.
302 Eighth Street NW
Albuquerque, NM 87102

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January 23, 2009

Sheet 5 of 5

SITE VICINITY

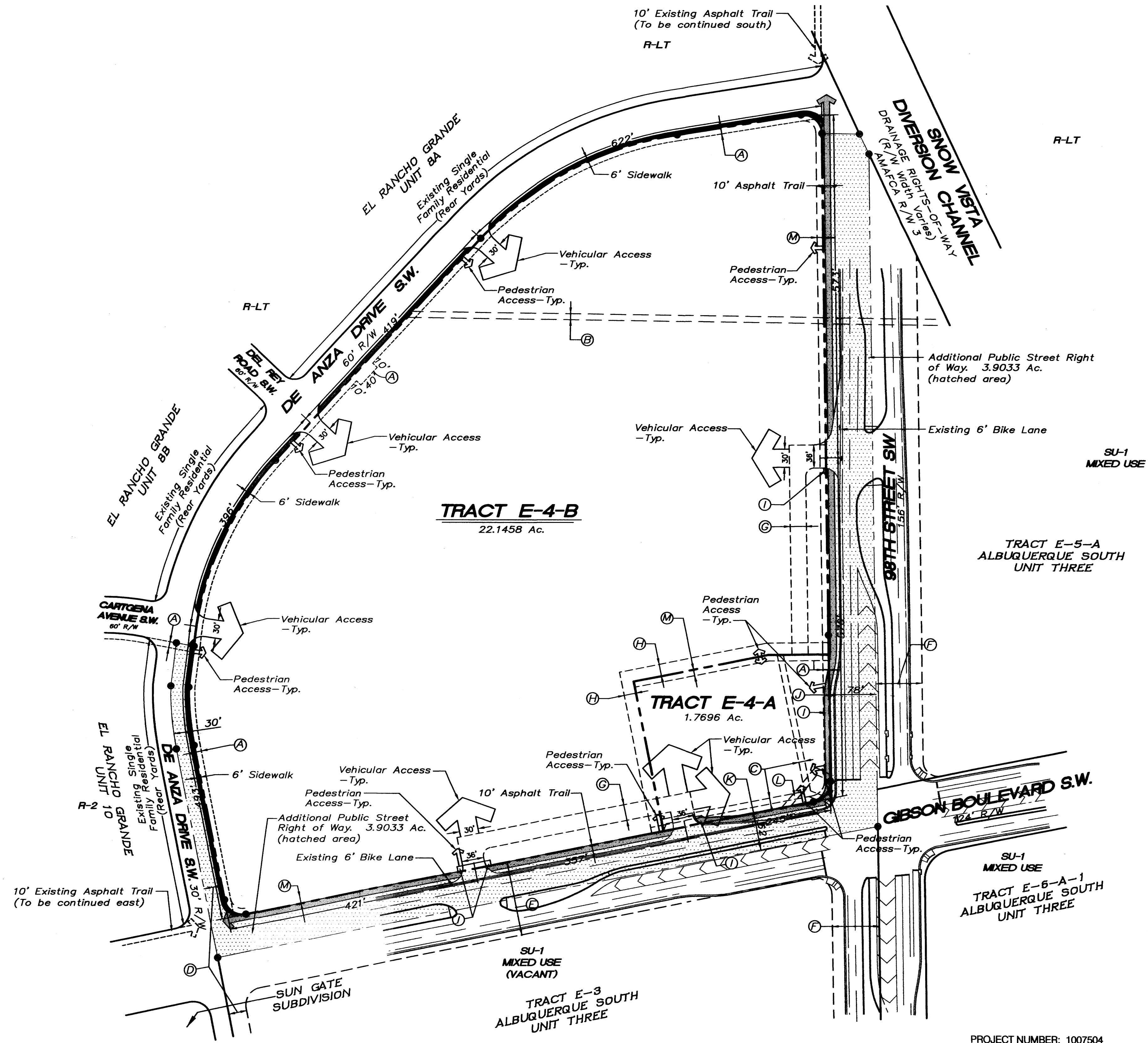


EXISTING AND PROPOSED EASEMENTS

- A Existing 10' Public Utility Easement
- B Existing 10' PNM & Mountain States Easement
- C Proposed 10' Public Drainage Easement
- D Existing 30' Public Roadway, Waterline & Sanitary Sewer Easement
- E Existing 124' Public Roadway, Waterline & Sanitary Sewer Easement
- F Existing 78' Public Roadway, Waterline & Sanitary Sewer Easement
- G Proposed 27' Private Access Easement
- H Proposed 20' Public Drainage Easement
- I Proposed Public Sidewalk Easement
- J Proposed 78' Additional R-O-W
- K Proposed 62' Additional R-O-W
- L Proposed 10' Sanitary Sewer Easement
- M Proposed 10' Public Utility Easement

GENERAL NOTES

1. Future development on the sites adjacent to Tract E-4-A shall be designed to provide direct connections, to the pedestrian walkways as shown on Site Development Plan for Building Permit, 08EPC-40116.
2. The total number of drive-up uses shall be limited to four. All drive-up uses shall be designed so traffic and cueing shall cause no deleterious effects on the pedestrian qualities of the center.
3. Semi-truck access (ingress/egress) shall be limited to Gibson Boulevard and 98th Street. Semi-truck access to De Anza Drive is prohibited.



PROJECT NUMBER: 1007504
Application Number: 08EPC-40116

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), December 18, 2008 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

_____ Traffic Engineering, Transportation Division	_____ Date
_____ Water Utility Department	_____ Date
_____ Parks and Recreation Department	_____ Date
_____ City Engineer	_____ Date
_____ DRB Chairperson, Planning Department	_____ Date

SITE PLAN FOR SUBDIVISION-REQUIRED INFORMATION

The Site:
The site consists of one tract, 27.8173 acres in size, located at the northeast corner of Gibson Boulevard and 98th Street SW. The site is located within the 98th and Gibson Community Activity Center. Two tracts are proposed including Tracts E-4-A (1.7696 acres) and E-4-B (22.1458 acres). Legal description is Tract E-4, Albuquerque South, Unit Three.

Land Use Zoning:
Existing zoning is C-2 Community Commercial. Land use proposed for the Silvertree Commons Shopping Center is commercial.

Pedestrian and Vehicular Ingress and Egress:
Trails: There is an existing 10 foot asphalt trail along the north side of Gibson, west of this site. There is also an existing 10 foot asphalt trail along the west side of 98th Street, north of this site. Both trails will be continued along the site frontage.

Vehicular Access and Circulation:
Vehicular access is from 98th Street, Gibson Boulevard, and De Anza Drive. Existing median cuts provide access from 98th Street and Gibson Boulevard.

Pedestrian Access and Circulation:
Pedestrian access is provided from 98th Street and Gibson Boulevard in several locations via 6 foot pedestrian crossings. Sidewalks within the site will be a minimum of 6 feet in width. There are existing 6 foot bike lanes in both 98th Street and Gibson Boulevard.

Transit Access:
There are no existing routes along Gibson Boulevard or 98th Street. The closet transit route is Route 54 along 98th Street, which goes east-west along Benavidez.

Building Heights and Setbacks:
Maximum building height is per the C-2 zone. Buildings shall not exceed 26 feet in height within 85 feet of a lot specifically zoned for houses. Building setbacks are per the C-2 zone, except for Large Retail Facilities.

Maximum FAR:
The maximum floor area ratio is .30.

Landscape Plan:
A Landscape Plan shall be submitted with Site Plans for Building Permit. Landscape plans shall be consistent with the City's Water Conservation Landscaping and Water Waste Ordinance and the Pollen Control Ordinance.

**SITE PLAN FOR SUBDIVISION
SILVERTREE COMMONS**

Prepared for:
Rupinder S. Bindra
550 South Hill St., Suite 1649
Los Angeles, CA 90013

Prepared by:
Consensus Planning, Inc.
302 Eighth Street NW
Albuquerque, NM 87102

Scale: 1" = 100'

CONSENSUS PLANNING

January 16, 2009

Sheet 1 of 3

DESIGN STANDARDS

The purpose of these Design Standards is to provide a framework to assist developers and designers in understanding the development goals and objectives for Silvertree Commons. These standards address landscape, setbacks, pedestrian amenities, screening, lighting, signage, and architecture that will create the visual image desired for this property. They are designed to be consistent with the West Side Strategic Plan, the Rio Bravo Sector Development Plan, the City of Albuquerque Large Retail Facilities Ordinance, and Zoning Code. The Large Retail Facilities Ordinance only applies when there are structures of 75,000 square feet or greater. Where there is a conflict between City Codes or Ordinances and the Design Standards, the more restrictive requirements shall apply. Future Site Development Plans shall return to the Environmental Planning Commission (EPC) for review unless approval authority is delegated.

Definitions per the Large Retail Facility Ordinance

Large Retail Facility: A single tenant structure with at least 75,000 square feet of net leasable area for the purpose of retailing. A Shopping Center Site with a Main Structure of 75,000 square feet or more is a Large Retail Facility.

Main Structure: A building used for the purpose of retailing that is at least 75,000 square feet of retail uses. A collection of smaller buildings, each less than 75,000 square feet and linked by common walls, is not considered a main structure.

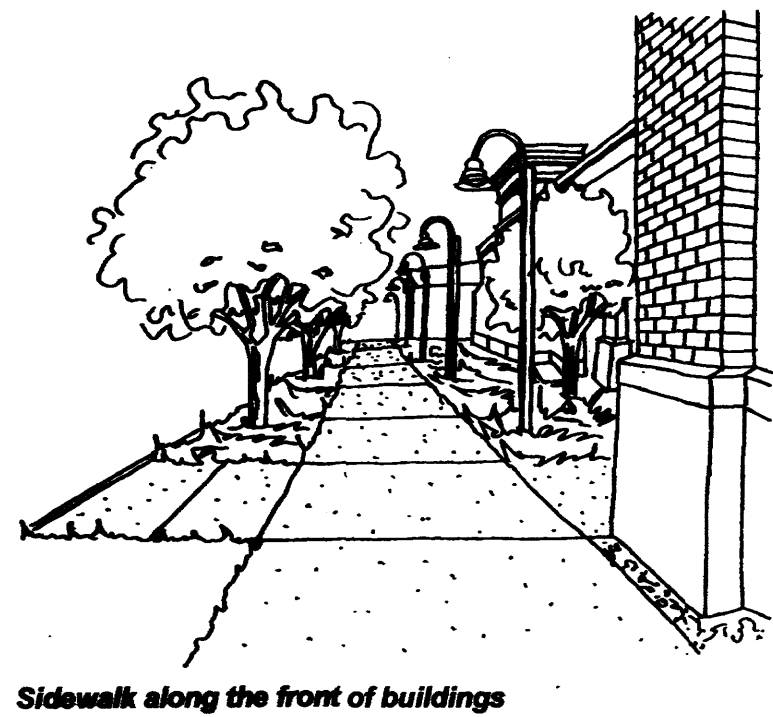
Retail Suite Liner: A retail suite connected to and extending from the front or side of a Main Structure for the purpose of screening.

1. SITE DESIGN

The following standards were created to encourage the use of pedestrian, bicycle, and transit modes and the opportunity for reduced automobile use:

General

- The total number of drive-up uses shall be limited to four. All drive-up uses shall be designed so traffic and queuing shall cause no deleterious effects on the pedestrian qualities of the center.
- If applicable, the developer shall comply with Policy 19 of The Amole Arroyo Corridor Plan and Design Overlay Zone in order to preserve topsoil and existing vegetation within the existing rights-of-way, easements and other portions of the arroyo.
- Building access and entries shall be visible from the street.
- Entry ways shall be clearly defined, by either a canopy or inset (minimum 4 feet), and linked to the pedestrian pathways.
- Parking located adjacent to 98th Street and Gibson Boulevard shall be screened by buildings or a combination of landscaping, walls, and earthen berms to a minimum height of 2.5 feet. Screen walls shall be compatible with the building architecture relative to materials and color.
- All loading docks shall be screened and architecturally integrated with the building architecture.
- Any exterior storage and sales areas shall be architecturally integrated to the main building by use of walls, roofs, and fencing.
- Plazas, courtyards, and other outdoor activity will be incorporated into each site and building design.
- A sidewalk with a minimum width of 8 feet shall be provided along the entire length of major facades containing primary entrances for buildings that are less than or equal to 10,000 square feet; 10 feet in width for buildings that are 10,000 to 30,000 square feet; and for buildings greater than 30,000 square feet, the width of the sidewalk shall increase at the rate of 1 foot in width per 10,000 square feet of building size to a maximum required width of 15 feet. A 6 foot wide clear path shall be maintained along the sidewalk.
- For the purpose of general site planning for Large Retail Facilities, site design shall create walkable block sizes in compliance with Section 14-16-3-2(D)(3) Site Division of the City Comprehensive Zoning Code.



Sidewalk along the front of buildings

Public Space

- Sites that include a building less than 60,000 square feet shall provide one outdoor plaza, patio, or courtyard, a minimum of 250 square feet per 20,000 square feet pro rata with seating and shade covering a minimum of 25% of the area.
- Sites that include a building 60,000 square feet or greater (including a collection of smaller buildings linked by common walls shall be considered one building) shall provide one public space area, a minimum of 400 square feet, shall be provided for every 30,000 square feet of building space. The public space area shall include an outdoor plaza, patio, or courtyard with seating and shade covering a minimum of 25% of the area and at least one of the following:
 - pocket park with seating and shade covering a minimum of 25% of the area
 - sculpture or other artwork
 - fountain or some other water feature
 - playground or other recreation amenity
 - any other amenity that meets the intent of this section and that meets the approval of the Planning Director or his designee.
- Sites that include an aggregate of buildings 125,000 square feet or greater shall provide a pedestrian plaza space in the amount of 400 square feet for every 20,000 square feet of building space. A minimum of 50% of the required public space shall be provided in the form of aggregate space that encourages its use and serves as the focal point for the development. The aggregate space required shall:
 - be linked to the main entrance of the principal structure and the public sidewalk (minimum width of 8 feet and constructed of materials other than asphalt) or internal driveway
 - include adequate seating areas. Benches, steps, and planter ledges can be counted for seating space

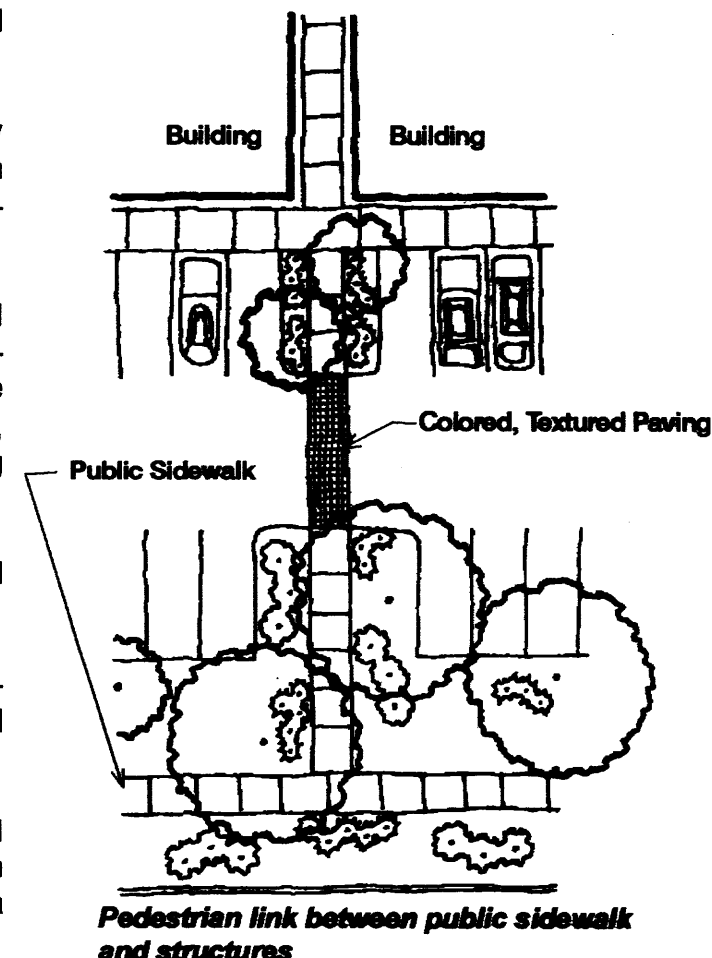
- have a portion (generally at least 40%) of the square footage of the plaza area landscaped with plant materials, including trees
- be designed for security and be visible from the public right-of-way as much as possible
- have pedestrian scale lighting and pedestrian amenities such as trash receptacles, kiosks, etc.

Accessibility & Safety

- Sites shall be designed for accessibility at all facilities and outdoor public areas.
- Sites shall be designed in accordance with the Americans with Disabilities Act, the American National Standards for Accessible and Usable Buildings and Facilities, and the New Mexico Building Codes for accessibility criteria for places of public use.
- Close attention shall be paid to ramps and to how the entire site may be traversed. Private pedestrian linkages shall align with public paths to connect and integrate all building sites. The maximum gradient of any ramp shall not exceed 8.33 percent.
- Entrances and exits to buildings shall be flush.
- A constant elevation shall be maintained at all curb cuts and junctions between driveways and pedestrian sidewalks for compliance with ADA standards.

Circulation

- Pedestrian access shall be separated from vehicular access.
- The interior of the center shall be very accommodating to the pedestrian, even within the predominantly off-street parking areas.
- Pedestrian walkways within a site shall be a minimum of 6 feet in width, unobstructed, and clearly demarcated by use of techniques such as special paving, grade separation, or pavement marking of a permanent nature.
- Pedestrian connections shall be provided to future transit stops.
- Pedestrian crosswalks shall be a minimum of 6 feet in width and constructed of colored textured paving.
- Semi-truck access (ingress/egress) shall be limited to Gibson Boulevard and 98th Street. Semi-truck access to DeAnza Drive is prohibited.
- For Large Retail Facilities:
 - Pedestrian walkways within a site shall be a minimum of 8-foot wide clear path from each building to the internal circulation system and to adjacent roadways. Shade trees shall be provided along the pedestrian connection at an interval of 25 feet in planters that have a minimum interior dimension of 6-foot by 6-foot.
 - Pedestrian walkways along internal driveways or streets shall be lined with shade trees (planted 25 feet on center) and pedestrian scale lighting.
 - Sidewalks adjacent to buildings may be shaded by shade trees, awnings, portals or other shade structures.



Pedestrian link between public sidewalk and structures

Parking

- The maximum number of vehicular parking spaces shall be per Section 14-16-3-1 Off-street Parking Regulations contained in the City Comprehensive Zoning Code, plus 10 percent.
- Bicycle parking shall be provided at a rate of one bicycle rack space per 20 parking spaces. Bicycle racks shall be conveniently located near building entrances, but not within pedestrian pathways or landscape areas.
- Motorcycle, mopeds, and motor scooter parking spaces shall be provided per Section 14-16-3-1 (C)(1) Off-street Parking Regulations contained in the City Comprehensive Zoning Code.
- Parking areas shall be visually segmented into smaller subareas separated by landscaping and/or pedestrian walkways. No single subarea shall exceed 150 parking spaces.
- Parking shall be placed on at least two sides of a building.
- Every third double row of parking shall have a minimum 10-foot wide continuous walkway dividing that row. The walkway shall be either patterned or color material other than asphalt and may be at-grade. The walkway shall be shaded by means of trees, a trellis or similar structure, or a combination thereof. Tree wells, planters or supports for shading devices may encroach on the walkway up to 3-feet. In no case shall the walkway be diminished to less than 5-foot width at any point.
- Parking areas shall be designed to include a pedestrian link to the public sidewalk network and pedestrian access shall be provided to link structures to the public sidewalk.

Setbacks

The use of building and parking area setbacks is required to provide space for the creation of visually attractive streetscapes. Required within these setbacks will be pedestrian walkways and screening materials, including landscaping, earthen berms, or walls, or a combination.

- Buildings shall have minimum setbacks as follow:
 - 5 feet from the front or corner side.
 - 11 feet from the junction of a driveway or alley and public R.O.W.
- Main Structures shall have the following additional setbacks:
 - Main Structures shall be screened from the adjacent street with smaller buildings or 20 foot wide landscape buffers with a double row of trees.
 - Main Structures abutting residentially zoned land shall be setback from the property at least 60 feet.

- when the front facade of a Retail Suite Liner is adjacent to a street, the maximum front setback shall be 10 feet for private drives and 25 feet for public roadways.
- Parking areas shall have a minimum setback of 10 feet from adjacent public rights-of-way.

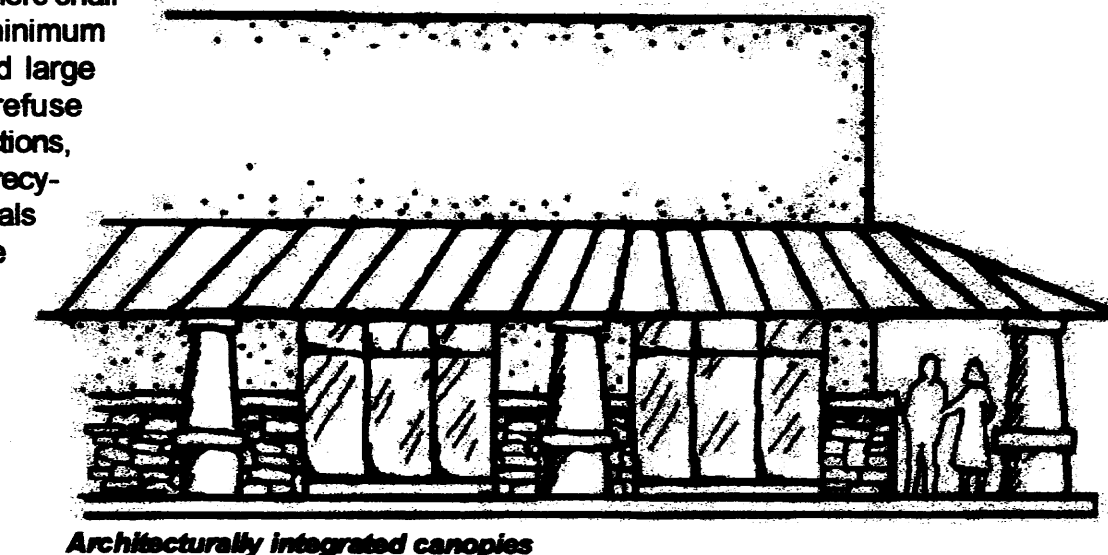
2. SUSTAINABILITY

- Energy efficient techniques shall be utilized to reduce energy and water consumption, where possible.
- Water harvesting techniques such as curb cuts for drainage to landscaped areas, permeable paving, bioswales to slow and treat storm water runoff, or cisterns for the collection and reuse of storm water and gray water shall be provided.
- Buildings shall be oriented to take advantage of heat gain in the winter where possible while coordinating with shading strategies to inhibit solar gain in the summer.
- Grasses and other ground vegetation should be near edges to help filter and slow runoff as it enters the site.
- Where possible, transport runoff to basins by using channels with landscaped pervious surfaces. Landscaped strips may be converted into vegetative storm-water canals but must be shallow to avoid defensive fencing.
- Convenient recyclable collection facilities shall be provided by all tenants of Silvertree Commons.
- Businesses that have more than 50 employees shall provide lockers, showers, and bike racks.
- Businesses with more than 50 employees shall provide bulletin board space in their employee break-room as an "information center" where material, particularly relevant City Transit information, policies, and plans can be posted.
- Safe and convenient pedestrian connections to future transit routes along 98th Street and Gibson shall be provided to facilitate multi-modal transportation.
- A Transportation Demand Management Plan shall be developed with the Transit Department once a threshold of 100 employees is reached, and once City Transit provides new bus routes along 98th Street and/or Gibson Boulevard.

3. SCREENING WALLS & FENCES

The effective use of screening devices for parking lots, loading areas, refuse collection, delivery/storage areas, and drive-up service windows is essential to limit their adverse visual impact on surrounding developments. The intent is to keep walls and fences as low as possible while performing their screening and security functions.

- The Amole Arroyo Corridor Plan/Design Overlay Zone generally discourages wall adjacent to the arroyos right-of-way; however, where walls or fencing are required for privacy or security reasons, the regulations found in the Amole Arroyo Corridor Plan/Design Overlay Zone, Policy 20 would apply.
- Loading areas which face a public street or residentially-zoned property and which are not separated from the public street or a residentially-zoned property by intervening buildings, landscaping or by a distance of at least 100 feet, shall be screened with solid walls which are a minimum of six feet in height when measured from the finished grade exterior to the loading area. The distance of the screening wall from the loading area shall not exceed 100 feet.
- For Large Retail Facilities:
 - Truck bays adjacent to residential lots must be separated from the adjacent lot by a minimum of 40-feet. A minimum 15-foot wide landscape buffer and a 6-foot high solid masonry wall shall be provided along the property line. The landscape buffer shall contain evergreen trees or trellises with climbing vines to provide year round screening and buffering from noise. Dock and truck well facilities shall be screened with a masonry wall that extends vertically 8-feet above the finished floor level and horizontally 100 feet from the face of the dock. Screen walls shall be designed to blend with the architecture of the building. Trucks may not be moved or left idling between the hours of 10 p.m. and 6:30 a.m. if the truck bays are located within 300 feet of a residential structure unless negotiated with adjacent property owners and approved by the EPC.
 - Truck bays not adjacent to residential lots must be screened with a masonry wall extending 8-feet above the finish floor level and horizontally 100 feet from the face of the docks to screen the truck. Screen walls shall be designed to blend with the architecture of the building.
- Drive-up service windows shall be oriented away from pedestrian areas, residentially-zoned areas, and public streets, where possible. In cases where drive-up service windows face these areas, screening shall be provided. Screening shall be a minimum of 3 feet in height and may consist of walls, berms, or evergreen landscaping, or a combination thereof. Where walls are provided, a minimum 3-foot wide planting strip with landscaping shall also be provided on the pedestrian, residential, or public street side.
- Roof-mounted mechanical equipment shall be screened from the public right-of-way by parapet walls or structural features. Screening shall be compatible with materials and design of the building. The minimum height of the parapet walls or structural features shall be 42" if the roof top equipment is within 10 feet of the building wall; 30" if the roof top equipment is within 20 feet of the building wall; or 18" if the roof top equipment is beyond 20 feet of the building wall.
- All outdoor refuse containers shall be screened within a minimum 6-foot tall enclosure and large enough to contain all refuse generated between collections, and provide an area for recycling. Design and materials of enclosures shall be compatible with the building architecture.
- No engineered wood panels; or cyclone, chain-link, razor-wire, and vinyl plastic fencing shall be permitted.



Architecturally integrated canopy

4. ARCHITECTURAL DESIGN

Specific architectural style shall not be dictated. The design shall, however, demonstrate a high quality aesthetic character throughout the property. Architectural design should respond to climate, views, solar access, and aesthetic considerations, with the architectural design being in harmony with adjoining projects.

- Building heights may be greater than 26 feet provided that the height falls within the 45 degree building height angle plane at the northern boundary and within 60 degree angle in any other direction drawn from the horizontal at the mean grade along each internal boundary of the premises and each adjacent public right-of-way centerline as permitted by the O-1 zone. Buildings shall not exceed 26 feet in height within 85 feet of a lot zoned specifically for houses.

- Buildings shall employ a variety of structural forms to create visual character and interest. Columns, arcades, corner articulation, overhangs, awnings, marquees, gutters and scuppers, breezeways, vertical fins, wall recesses, soffits, and deciduous tree canopies should be carefully dimensioned and detailed to provide a human-scale, visual interest, and a means of shading building facades while lending color and formal articulation to the buildings.

Roofs

- If metal roofs are proposed, the color of the metal shall be patina green.
- Roofs shall drain water to areas which are landscaped appropriately for such run-off.

Building Facades

- The scale, proportion, and composition of fenestration of facades shall be designed to give visual interest from the exterior, to provide variation in quality of light on the interior, and to coordinate with the lighting requirements for each activity area.
- All canopies, roof structures, and design elements of related buildings shall be architecturally integrated to the main building design.
- No plastic or vinyl building panels or awnings shall be permitted.
- Buildings shall have windows on the front elevations. The windows may be a combination of shop windows or viewing windows on average of 30 feet on center maximum.
- Drive-up windows shall be located on or adjacent to the side or rear walls of service or retail structures and the window shall not face a public right-of-way.
- Facades SHALL:
 - vary in height, depth and articulation to create a pedestrian-scaled environment
 - be articulated with a variety of architectural elements, colors and materials
 - have all accessory buildings and enclosures, whether attached or detached from the main building, treated with similar compatible design and materials as the main structure or structures
 - be treated with a consistent level of detail at all sides of all buildings and structures

- For major facades greater than 100 feet in length, the building shall incorporate outdoor seating adjacent to at least one of the facades, a minimum of one seat per 25 linear feet of building facade. Each seat shall be a minimum of 24 inches in width and 15 inches in height. Benches, raised planters, ledges or similar seating features may be counted as seating space. If the outdoor seating is located on the south or west side of the building, at least 25% of the seating area shall be shaded.

For Main Structures, the following additional articulation is required:

- Facades that contain a primary customer entrance and facades adjacent to a public street or plaza or an internal driveway shall contain Retail Suite Liners, display windows, or a recessed patio at a minimum depth of 20 feet, or a combination of all three, along 50% of the length of the facade. Where patios are provided, at least one of the recessed walls shall contain a window for ease of surveillance and the patio shall contain shading and seating. Where Retail Suite Liners are provided, they shall be accessible to the public from the outside.
- Every 30,000 gross square feet of structure shall be designed to appear as a minimum of one distinct building mass with different expressions. The varied building masses shall have a change in visible roof plane or parapet height. Massing and articulation are required to be developed so that no more than 100 feet of a wall may occur without an offset vertically of at least 24 inches.
- For Retail Suite Liners, the vertical offset shall be a visible change (min. 6 inches), a change in material may be used for articulation at the same interval and the visible change in roof plane or parapet height shall be a minimum of 18 inches.
- Facades adjacent to a public right-of-way or internal driveway and facades that contain a primary customer entrance shall contain features that provide shade along at least 40% of the length of the facade for the benefit of pedestrians.

Building Materials & Colors

- Materials prohibited as the main architectural feature include the following:
 - exposed, untreated precision block or wood walls within public view
 - highly reflective surfaces
 - chain link fence or barbed wire
 - metal paneling
 - materials with high maintenance requirements
- The use of contrasting colors between roofs and walls shall be used to further differentiate the planes of building masses.
- Colors shall be the natural tone of materials (earthtones such as sands, creams, tans, etc.) rather than applied color (painted), except where used as an accent color.

SITE PLAN FOR SUBDIVISION SILVERTREE COMMONS

Prepared For:
Rupinder S. Bindra
550 South Hill St., Suite 1649
Los Angeles, CA 90013

Prepared By:
Consensus Planning, Inc.
302 Eighth Street NW
Albuquerque, NM 87102

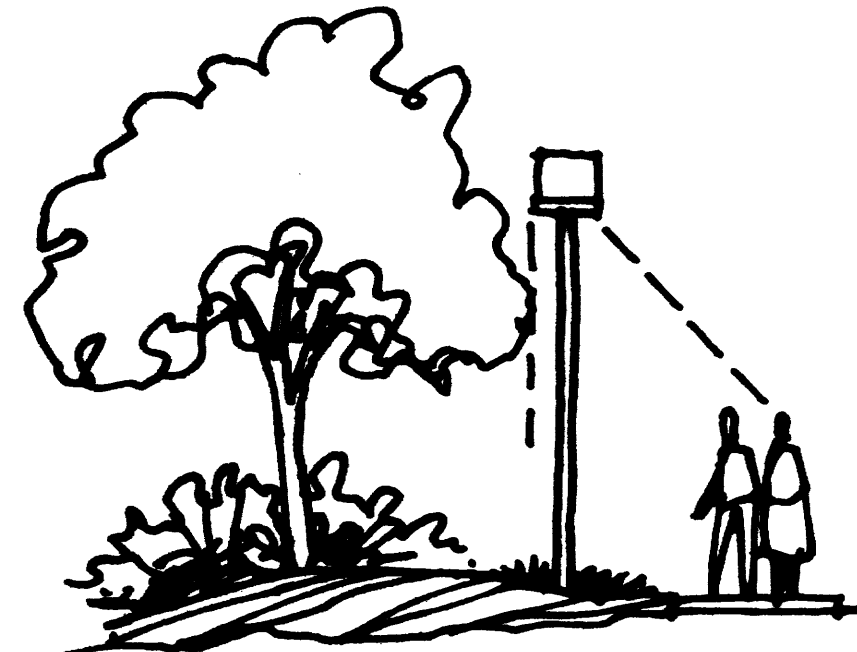
January 16, 2009

- For Main Structures, a minimum of three of the following options shall be included in the design of external walls and the principal entrance:
 - multiple finishes
 - projecting cornices and brackets
 - projecting and exposed lintels
 - pitched roof forms
 - planters or wing-walls that incorporate landscaped areas and can be used for sitting
 - state or tile work and molding integrated into the building
 - transoms
 - trellises
 - wall accenting (shading, engraved patterns, etc.)
 - any other treatment that meets the approval of EPC.

5. LIGHTING

In order to enhance the safety, security, and visual aesthetics of the property, careful consideration must be given to selection of outdoor furniture, lighting design, site materials and other features. It is important to consider the daytime appearance of all materials.

- Placement of fixtures and standards shall conform to State and local safety and illumination requirements.
- A design objective of the site lighting system shall be to maximize public safety while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection. All lights, including stand alone fixtures and building mounted, shall be shielded source to prevent spillage onto adjoining properties or light pollution of the existing "Dark Sky".
- Individual site lighting standards shall blend with the architectural character of the building and other site fixtures.
- Individual platted lots that are less than 5 acres in size shall have a maximum lighting fixture height of 20 feet to the top of the fixture. Individual platted lots that are larger than 5 acres in size shall have a maximum lighting fixture height of 25 feet to the top of the fixture, except for Large Retail Facilities where the maximum height for lighting fixtures shall be 20 feet. Any lights within 100 feet of residential shall be restricted to a maximum of 16 feet.
- Lighting for pedestrian walkways and entry plazas shall have a maximum height of 16 feet.
- Sodium lighting is prohibited.



Lighting for pedestrian walkways

6. LANDSCAPE

The development of an overall landscape concept will establish a framework that unifies the entire property. To achieve a cohesive development, all areas of design need to be coordinated and responsive to existing environmental conditions and local building policies. These standards shall be used as a supplement to the City requirements in the Water Conservation Landscaping and Water Waste Ordinance, the Pollen Ordinance, and other landscape regulations included in the City Comprehensive Zoning Code.

- Street trees shall be provided along the perimeter of the site at a rate of one tree per 30 linear feet. They may be placed in clusters or evenly spaced.
- A minimum of 15 percent of the site area (minus the building square footage) shall be devoted to landscape materials with an emphasis placed on areas with streetside exposure.
- One shade tree is required per 10 parking spaces with no parking space being more than 100 feet from a tree, except for Large Retail Facilities, one shade tree per 8 spaces is required. Shaded trees may be located at the center of a group of 4-8 parking spaces, clustered in parking row end caps, or located along internal pedestrian ways. Shade trees lining a pedestrian way internal to a parking area may count as parking space trees.
- Low water use turf may be provided at a maximum of 40% of the landscaped area. High water use of turf is not allowed.
- All required landscape areas 36 square feet in size or larger shall be covered with living, vegetative materials over a minimum of 75 percent of the required landscape area. Coverage is calculated based on the mature spread of the plants.
- Seventy-five percent of the required parking lot trees shall be deciduous and shall have a mature height and canopy of at least 25 feet.
- A landscape strip of no less than 10 feet shall be maintained between a parking area and the street right-of-way within all zones.
- An automatic underground irrigation system shall be provided to support all landscaping. The system shall be designed to avoid overspraying of walks, buildings, fences, etc. Backflow preventers shall be provided in accordance with City of Albuquerque Codes.
- All plant material, including trees, shrubs, groundcovers, turf, wildflowers, etc. shall be maintained by the Owner in a living, attractive condition. All areas shall be maintained free of weeds through the use of pervious filter material. Each individual lot owner will be responsible for the installation and maintenance of the landscape on their property and within the adjacent public right-of-way.
- Landscaped areas, including tree planters, shall be a minimum of 36 square feet and a minimum width of 6 feet.
- Minimum plant sizes at time of installation shall be as follows:
 - Canopy Trees 2 inch caliper, or 10 to 12 feet in height
 - Evergreen Trees 10-12 foot minimum height
 - Shrubs & Groundcovers 1 gallon
 - Turf Grasses provide complete ground coverage within 1 growing season after installation
- The following street trees shall be used: Honeylocust, Goldenrain Tree, and Chinese Pistache.
- Main Structures shall have the following additional requirements:

- The buffer for the main structure across the street from residentially-zoned land shall be at least 23 feet wide and include two rows of street trees. The trees shall be located pursuant to the guidelines set forth in Crime Prevention Through Environmental Design Recommendations. The landscaping of the berm shall provide year-round screening.
- The public sidewalk adjacent to the main structure may be located within the berm and between the rows of trees. The sidewalk must be a minimum of 7 feet behind the curb.
- Landscaped traffic circles are encouraged at the intersection of interior driveways or platted streets.
- Where possible, transport runoff to basins by using channels with landscaped pervious surfaces. Landscaped strips may be converted into vegetative storm-water canals but must be shallow to avoid defensive fencing.

7. SIGNAGE

The following signage standards were developed to regulate the size, location, type, and quality of sign elements within this property. A properly implemented signage program will serve four very important functions: to direct and inform employees and visitors; to provide circulation requirements and restrictions; to provide for public safety, and to complement the visual character of the development.

- Specific free-standing sign programming (locations, heights, design and dimensions) shall be noted as an amendment to this Site Development Plan for Subdivision, as part of any future Site Development Plan for Building Permit.
- The developer shall provide entry signs for the project to create a sense of arrival and to contribute to the unique identity of the project. These signs shall be on private property and shall be maintained by the property owner.
- All freestanding signs shall be monument signs only.
- Silvertree Commons project sign shall be limited to 150 square feet of sign area per sign face and shall not exceed 26 feet in height. One sign per 300 feet of street frontage on 98th Street and Gibson Boulevard is allowed. In the case of Large Retail Facilities, the Silvertree Commons project sign shall be limited to 100 square feet of sign area per sign face and shall not exceed 15 feet in height.
- Individual businesses are allowed one monument sign. The monument sign height shall not exceed 10 feet in height and shall have a maximum sign area of 75 square feet.
- Building-mounted signs shall not exceed 6 percent of the facade area. Building-mounted signs that face residential development shall not be illuminated. Illuminated plastic panel signs are prohibited.
- Signs perpendicular to an elevation shall only occur under an awning or canopy/portal and shall not be more than 8 square feet. These signs may not project past the overhang.
- Off-premise signs are prohibited.

Freestanding monument signs SHALL:

- be designed to be consistent with and complement the materials, color, and architectural style of the building or site location;
- be illuminated in accordance with the General Sign Regulations as provided in Section 14-16-3-5 of the City Comprehensive Zoning Code;
- identify only the name and business of the occupant or of those offering the premises for sale or lease; and
- have a minimum contrast of 70% between the background and the text.

Freestanding monument signs SHALL NOT:

- use moving parts, make audible sounds, or have blinking or flashing lights, except reader boards are permitted;
- overhang into the public right-of-way, property line, or extend above the building roof line;
- require any external bracing, angle-iron supports, guy wires or similar devices;
- intrude upon any architectural features, including windows, columns, moldings or any decorative features; and
- include illuminated plastic panels or backlit plastic/vinyl signs, except logo designs are permitted.

8. UTILITIES

- All electric distribution lines shall be placed underground.
- Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or vegetation when viewed from the public right-of-way. Screening of transformers, electric boxes and other utility structures shall not impede access to the equipment and shall provide for safe maintenance and repair by utility workers.
- When an above-ground backflow prevention device is required by the City of Albuquerque, the heated enclosure shall be constructed of materials compatible with the architectural materials used as the main elements of the building. If pre-fabricated fiberglass enclosures are used they shall be appropriately screened from view by walls and/or landscaping.
- Any wireless communication facilities shall be concealed and architecturally integrated.

9. MAINTENANCE - LARGE RETAIL FACILITIES

- To maintain a quality built environment, Large Retail Facilities shall be maintained during periods of abandonment or vacancies at the same standard as when occupied. The property owner shall sign a maintenance agreement with the City of Albuquerque that the site will be maintained when vacant to the following minimal standards, among others as deemed appropriate by the Planning Director.
- The landscaping shall be watered, pruned, and weeded.
- The parking areas shall be cleaned of dirt and litter.
- The building facades shall be kept in good repair, cracked windows shall be replaced and graffiti removed.

- Outdoor security lighting shall be maintained and operated.
- Hydrology systems shall be kept in good working order.

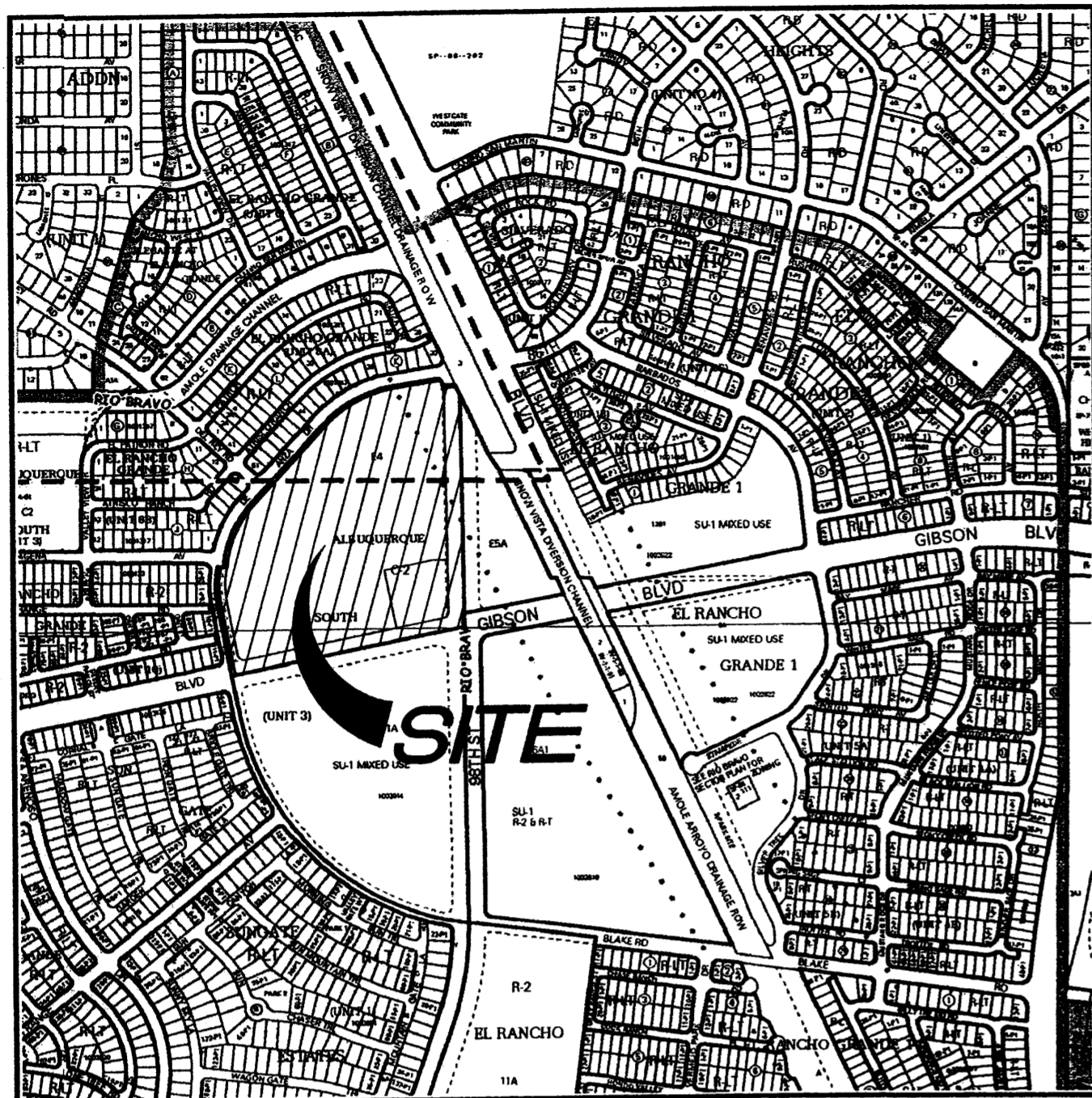
SITE PLAN FOR SUBDIVISION SILVERTREE COMMONS

Prepared For:
Rupinder S. Bindra
550 South Hill St., Suite 1649
Los Angeles, CA 90013

Prepared By:
Consensus Planning, Inc.
302 Eighth Street NW
Albuquerque, NM 87102

January 16, 2009

Sheet 3 of 3



GENERAL NOTES

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone - NAD 83) originated at the Albuquerque Control Survey Monument "TRANS".
2. Distances are ground.
3. Distances along curved lines are arc lengths.
4. Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ().
5. All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
6. All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
7. U.C.L.S. Log Number 2008401975
8. City of Albuquerque Zone Atlas Page: M-09-Z

SUBDIVISION DATA

Total number of existing Tracts: 1
 Total number of new Tracts created: 2
 Gross Subdivision acreage: 27.8174 acres
 Total Mileage of public half-width streets created: 0.53 Mile

TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following:

 _____ Date

Bernalillo County Treasurer

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- A. PNM Electric Services for installation, maintenance, and service of underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical service.
- B. PNM Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- C. QWest Corporation for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to ground pedestals and closures.
- D. Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

DISCLAIMER

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

PURPOSE OF PLAT:

The Purpose of this plat is to:

- a. Create 2 New Tracts of land from existing Tract E-4, Albuquerque South, Unit 3
- b. Grant the Public and Private Easements as shown hereon.
- c. Dedicate the additional public street Right of Way, as shown hereon, to the City of Albuquerque in fee simple with warranty covenants.

SURVEYOR'S CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my direct supervision; that it meets the Standards for Land Surveys in the State of New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

[Signature]
 Russ P. Hugg
 NMPS No. 9750
 October 1, 2008



**SKETCH PLAT OF
 TRACTS E-4-A AND E-4-B
 ALBUQUERQUE SOUTH
 UNIT THREE**

(BEING A REPLAT OF TRACT E-4, ALBUQUERQUE SOUTH, UNIT THREE)

SITUATE WITHIN
 THE TOWN OF ATRISCO GRANT
 IN
 PROJECTED SECTION 4, TOWNSHIP 9 NORTH, RANGE 2 EAST
 AND
 PROJECTED SECTION 33, TOWNSHIP 10 NORTH, RANGE 2 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO

OCTOBER, 2008

PROJECT NUMBER: _____

Application Number: _____

FLAT APPROVAL

Utility Approvals:

PNM Electric Services	_____	Date	_____
PNM Gas Services	_____	Date	_____
QWest Corporation	_____	Date	_____
Comcast	_____	Date	_____

City Approvals:

City Surveyor Department of Municipal Development	_____	Date	_____
Real Property Division	_____	Date	_____
Environmental Health Department	_____	Date	_____
Traffic Engineering, Transportation Division	_____	Date	_____
ABCWUA	_____	Date	_____
Parks and Recreation Department	_____	Date	_____
AMAFC	_____	Date	_____
City Engineer	_____	Date	_____
DRB Chairperson, Planning Department	_____	Date	_____



Consulting Surveyors
 6384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
 Phone: 505-897-3366 Fax: 505-897-3377

**SKETCH PLAT OF
TRACTS E-4-A AND E-4-B
ALBUQUERQUE SOUTH
UNIT THREE**

(BEING A REPLAT OF TRACT E-4, ALBUQUERQUE SOUTH, UNIT THREE)

SITUATE WITHIN
THE TOWN OF ATRISCO GRANT
IN

PROJECTED SECTION 4, TOWNSHIP 9 NORTH, RANGE 2 EAST
AND
PROJECTED SECTION 33, TOWNSHIP 10 NORTH, RANGE 2 EAST

NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE

BERNALILLO COUNTY, NEW MEXICO

OCTOBER, 2008

LEGAL DESCRIPTION

That certain parcel of land situate within the Town of Atrisco Grant in Projected Section 4, Township 9 North, Range 2 East and Projected Section 33, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, comprising Tract E-4, Albuquerque South, Unit Three, as the same is shown and designated on the plat entitled "BULK LAND PLAT FOR ALBUQUERQUE SOUTH, UNIT THREE, TRACTS E-1 THRU E-6, WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTION 4, TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM AND PROJECTED SECTION 33, TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, APRIL, 2002", filed in the office of the County Clerk of Bernalillo County, New Mexico, on June 5, 2002 in Plat Book 2002C, Page 197.

Said Tract contains 27.8174 acres, more or less.

FREE CONSENT AND DEDICATION

SURVEYED AND REPLATTED and now comprising "PLAT OF TRACTS E-4-A AND E-4-B, ALBUQUERQUE SOUTH, UNIT THREE (BEING A REPLAT OF TRACT E-4, ALBUQUERQUE SOUTH, UNIT THREE) SITUATE WITHIN THE TOWN OF ATRISCO GRANT IN PROJECTED SECTION 4, TOWNSHIP 9 NORTH, RANGE 2 EAST AND PROJECTED SECTION 33, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", is with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s). Said owner(s) and proprietor(s) do hereby warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby grant to the use of the public forever, the public utility easements as shown hereon. Said owner(s) and proprietor(s) do hereby dedicate the additional public street right of way, as shown hereon, to the City of Albuquerque in fee simple with warranty covenants. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby certify that they are so authorized to act.

OWNER

The Rupinder and Gurpreet Bindra Family Trust
under Trust Agreement dated February 23, 2007

By: _____
Rupinder S. Bindra, Trustee

By: _____
Gurpreet K. Bindra, Trustee

ACKNOWLEDGMENT

STATE OF NEW MEXICO
COUNTY OF BERNALILLO SS

The foregoing instrument was acknowledged before me this _____
day of _____, 2008, by Rupinder S. Bindra, Trustee

Notary Public My commission expires _____

ACKNOWLEDGMENT

STATE OF NEW MEXICO
COUNTY OF BERNALILLO SS

The foregoing instrument was acknowledged before me this _____
day of _____, 2008, by Gurpreet K. Bindra, Trustee

Notary Public My commission expires _____

CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	106.57'	500.00'	53.49'	106.37'	N04°52'56"W	12°12'44"
C2	343.86'	520.00'	178.48'	337.63'	N23°47'07"E	37°53'17"
C3	378.04'	570.00'	196.27'	371.15'	N61°43'46"E	38°00'01"
C4	52.36'	30.00'	35.75'	45.96'	S49°16'28"E	100°00'00"
C5	41.61'	30.00'	24.94'	38.35'	N38°56'03"E	79°28'03"
C6	47.30'	30.00'	30.18'	42.55'	S56°09'37"E	90°20'37"
C7	98.64'	470.00'	49.50'	98.46'	S04°58'34"E	12°01'28"

LINE TABLE		
LINE	LENGTH	BEARING
L1	72.18	N07°11'51"E
L2	30.16	S79°07'15"E
L3	62.66	S89°16'14"E
L4	37.10	S25°16'00"E
L5	68.66	N07°11'51"E
L6	30.06	S79°07'15"E
L7	0.10	S79°07'15"E
L8	62.65	N89°16'14"W
L9	0.01	N89°16'14"W
L10	75.33	N89°12'02"E

SOLAR NOTE:

No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat.

CORNER LEGEND

⊙ = Set 5/8" rebar with cap stamped "LS 7950"

**SKETCH PLAT OF
TRACTS E-4-A AND E-4-B
ALBUQUERQUE SOUTH
UNIT THREE**

(BEING A REPLAT OF TRACT E-4, ALBUQUERQUE SOUTH, UNIT THREE)

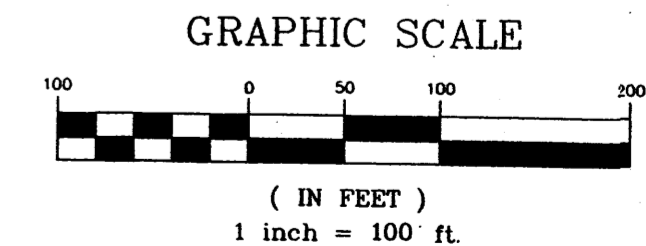
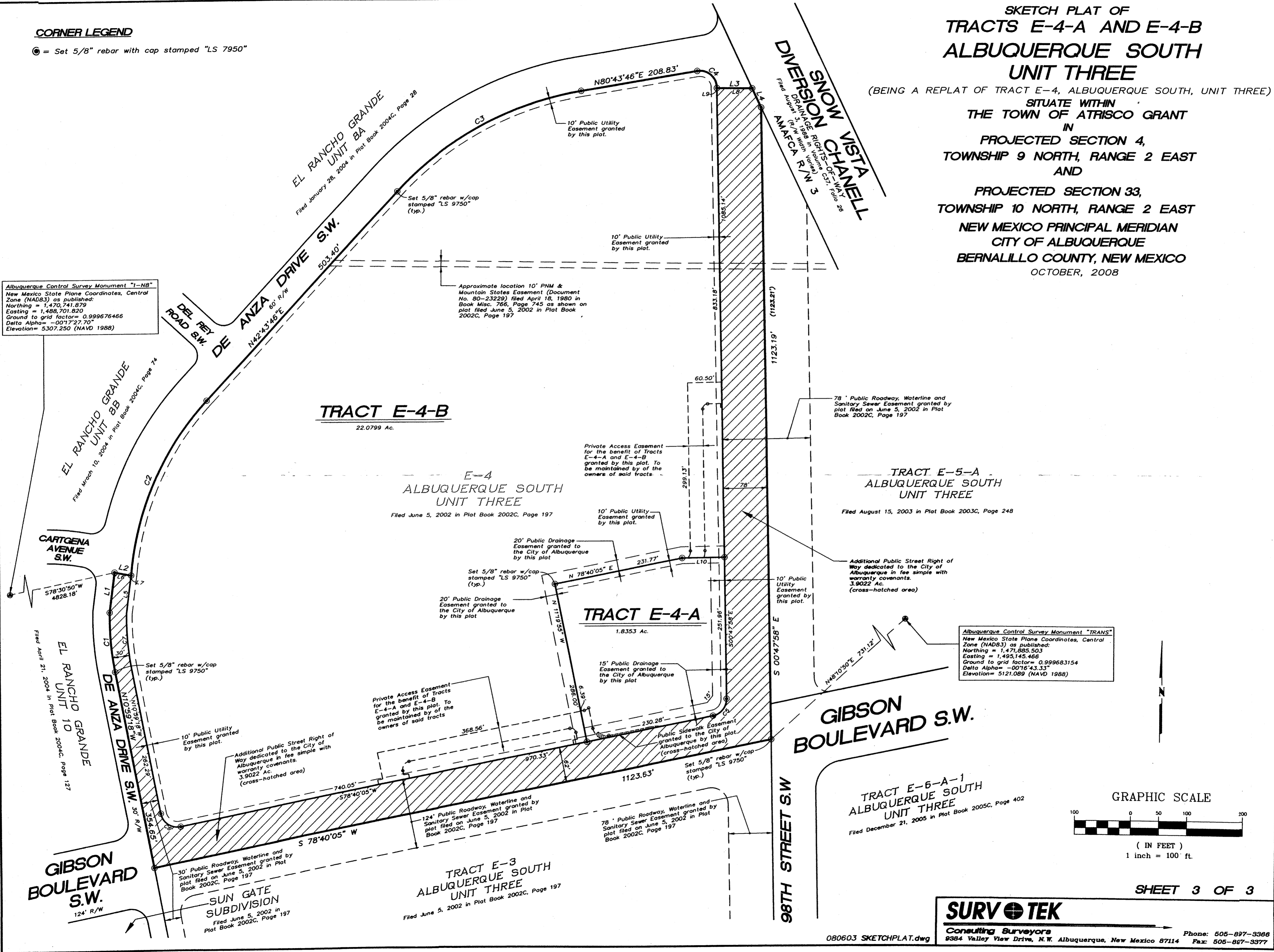
SITUATE WITHIN
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NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

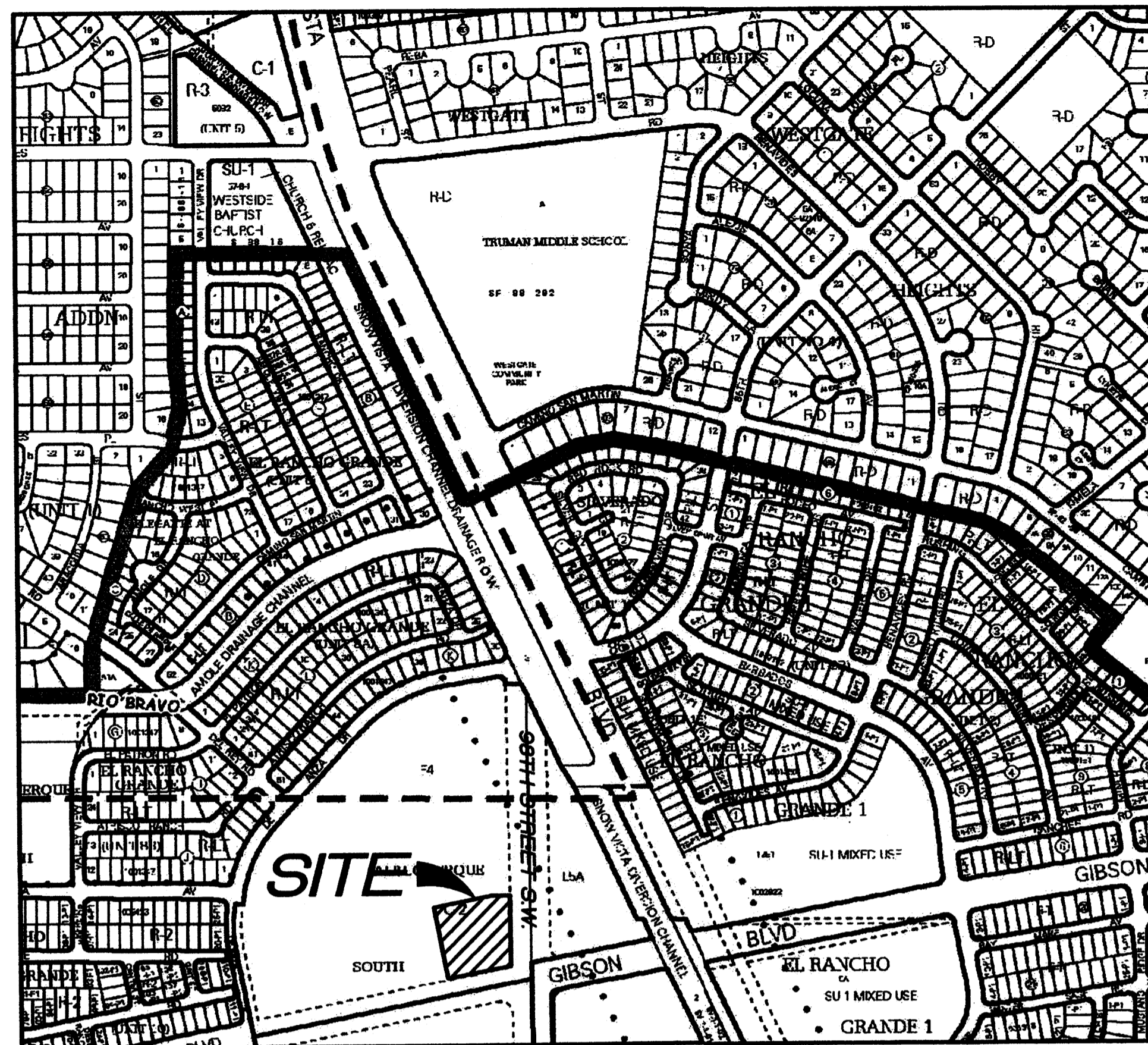
OCTOBER, 2008

Albuquerque Control Survey Monument "1-NB"
New Mexico State Plane Coordinates, Central
Zone (NAD83) as published:
Northing = 1,470,741.879
Easting = 1,488,701.820
Ground to grid factor = 0.999676466
Delta Alpha = -00'17"27.70"
Elevation = 5307.250 (NAVD 1988)

Albuquerque Control Survey Monument "TRANS"
New Mexico State Plane Coordinates, Central
Zone (NAD83) as published:
Northing = 1,471,885.503
Easting = 1,495,145.466
Ground to grid factor = 0.999683154
Delta Alpha = -00'18"43.33"
Elevation = 5121.089 (NAVD 1988)



SURV TEK
Consulting Surveyors
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3388
Fax: 505-887-3377



VICINITY MAP
NOT TO SCALE

GENERAL NOTES

- Bearings are New Mexico State Plane Grid Bearings (Central Zone - NAD83) originated at the Albuquerque Control Survey "TRANS".
- Distances are ground.
- Distances along curved lines are arc lengths.
- Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parentheses ().
- All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" or "HUGG L.S. 11808" unless otherwise indicated hereon.
- All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or "HUGG L.S. 11808" or a concrete nail with brass disk stamped "HUGG L.S. 9750" or "HUGG L.S. 11808" unless otherwise indicated hereon.
- Vertical Datum is based upon the Albuquerque Control Survey Benchmark "TRANS", Elevation = 5121.09 (NAVD88)
- Contour interval is one foot.
- Field surveys were performed during the month of August, 2008.
- Documents used in the preparation of this survey are as follows:
 - Plat entitled "BULK LAND PLAT FOR ALBUQUERQUE SOUTH, UNIT THREE, TRACTS E-1 THRU E-6, WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTION 4, TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM AND PROJECTED SECTION 33, TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed June 5, 2002, in Volume 2002C, Folio 197, records of Bernalillo County, New Mexico.
 - Plat entitled "BULK LAND PLAT FOR ALBUQUERQUE SOUTH, UNIT THREE, TRACTS E-1 THRU E-6, WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTION 4, TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM AND PROJECTED SECTION 33, TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed August 15, 2003, in Volume 2003C, Folio 248, records of Bernalillo County, New Mexico.
 - Plat entitled "CORRECTION PLAT FOR ALBUQUERQUE SOUTH, UNIT THREE, TRACTS E-6-A-1, WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTION 4, TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed February 1, 2008, in Volume 2008C, Folio 18, records of Bernalillo County, New Mexico.
 - Title Report prepared for this property by LandAmerica Albuquerque Title, Commitment for Title Insurance No. 6218003426, dated June 16, 2008.
- This property is subject to all exceptions pertaining to this property as listed in SCHEDULE B - SECTION II of the Title Report prepared for this property by LandAmerica Albuquerque Title, Commitment for Title Insurance No. 6218003426, dated June 16, 2008.
- The above described Title Commitment was used in defining easements as shown hereon. Circled numbers by the easement description correspond to the Title Commitment's SCHEDULE B - SECTION II item number. Where possible, said easements have been plotted.
- This property as shown hereon is composed of multiple parcels that are contiguous without hiatuses or overlaps. Said property is also contiguous without hiatuses or overlaps with the adjoining properties and streets.
- Existing utility line locations are shown in an approximate manner only, and such lines may or may not exist where shown or not shown. Sur-Tek, Inc. was unable to utilize current utility line spotting in the preparation of this survey due to lack of diligence on the part of line spotting service providers after repeated inquiries and requests. The location of any such existing lines shown on this survey is based on prior outdated utility line spots, prior outdated surveys, visual surface indications, and the information may be incomplete or may be obsolete by the time this survey is completed. All utilities should be field verified and located by the contractor(s) prior to commencement of any construction.
- City of Albuquerque Zone Atlas: Page M-09-Z
- This property is currently zoned "C-2" per the City of Albuquerque Zone Atlas, dated June 13, 2008.

C-2 Zone
Zone C-2 is defined as "Community Commercial Zone". Permitted uses for this zone includes, but is not limited to, a category listed as offices, services, commercial activities and institutional uses. No bulk restrictions are listed. No lot size requirements are listed. Maximum structure height allowance is 26 feet. Setback requirements are:

 - There shall be a front and a corner side yard setback of not less than five feet and a setback of 11 feet from the junction of a driveway or alley and a public sidewalk or planned public sidewalk location.
 - Near residential zones, the following greater setback requirements shall apply:
 - There shall be a front or corner side setback of not less than ten feet where the lot is across the street from the front lot line of a facing lot in a residential zone.
 - There shall be a side or rear setback of not less than five feet where the site abuts the side of a lot in a residential zone.
 - There shall be a side or rear setback of not less than 15 feet where the site abuts the rear of a lot in a residential zone.
- There does not appear to be changes in the existing street right of way lines either completed or proposed as of the date of this survey.
- There is no observable evidence of recent street or sidewalk construction or repairs as of the date of this survey.

FLOOD ZONE DETERMINATION

A portion of the property, designated as the Amole Arroyo, appears to lie within Zone "AO"-Depth 3 Feet (Special Flood Hazard Areas subject to inundation by the 1% annual chance flood), "Flood depths of 1 to 3 feet (usually sheet flow on sloping terrain); average depths determined. For areas of alluvial fan flooding, velocities also determined."; the larger remaining portion of the property appears to lie within Flood Zone "X" (Areas determined to be outside the 0.2% annual chance floodplain) in accordance with the National Flood Insurance Program Rate Map No. 35001C0335 E, Effective Date 11-19-03.

ALTA/A.C.S.M. LAND TITLE SURVEY OF
UNPLATTED PORTION OF TRACT E-4
ALBUQUERQUE SOUTH
UNIT THREE
WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTION 4 TOWNSHIP 9 NORTH, RANGE 2 EAST
AND
PROJECTED SECTION 33 TOWNSHIP 10 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
AUGUST, 2008

LEGAL DESCRIPTION

That certain parcel of land situate within the Town of Atrisco Grant in projected Section 4, Township 9 North, Range 2 East, New Mexico Principal Meridian and Section 33, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, comprising an unplatted portion of Tract E-4, ALBUQUERQUE SOUTH, UNIT THREE, as the same is shown and designated on the plat entitled, "BULK LAND PLAT FOR ALBUQUERQUE SOUTH, UNIT THREE, TRACTS E-1 THRU E-6, WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTION 4, TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM AND PROJECTED SECTION 33, TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed June 5, 2002, in Volume 2002C, Folio 197, records of Bernalillo County, New Mexico, and being more particularly described by survey performed by Russ P. Hugg, New Mexico Professional Surveyor Number 9750, using New Mexico State Plane grid bearings, Central Zone (NAD83) and ground distances as follows:

Beginning at the Northeast corner of the parcel herein described, a point on the Westerly line of a Public Roadway, Waterline and Sanitary Sewer Easement granted by said plat of ALBUQUERQUE SOUTH, UNIT THREE, whence the Albuquerque Control Survey Monument "TRANS" bears N 75°25'20" E, 648.27 feet distant; Thence,
 S 00°47'58" E, 251.96 feet along said Westerly line of a Public Roadway, Waterline and Sanitary Sewer Easement to a point of curvature; Thence,
 Southwesterly, 41.61 feet on the arc of a curve to the right (said curve having a radius of 30.00 feet, a central angle of 79°28'03" and a chord which bears S 38°56'04" W, 38.35 feet) to a point of tangency, a point of the Southerly line of a Public Roadway, Waterline and Sanitary Sewer Easement granted by said plat of ALBUQUERQUE SOUTH, UNIT THREE; Thence,
 S 78°40'05" W, 230.28 feet along said Southerly line of a Public Roadway, Waterline and Sanitary Sewer Easement, to the Southwest corner of the parcel herein described; Thence,
 N 11°19'55" W, 288.00 feet to the Northwest corner of the parcel herein described; Thence,
 N 78°40'05" E, 231.77 feet to a point; Thence,
 N 89°12'02" E, 75.33 feet to point of beginning of the parcel herein described.

Said parcel contains 1.8353 acres (79,946 square feet), more or less.

NOTE:

This parcel constitutes an unplatted portion of existing Tract E-4 and does not create a legal platted parcel under the current Albuquerque Ordinance. A preliminary and final plat will require approval of the Albuquerque Design Review Board.

EXCEPTIONS

As listed within the Title Report prepared for this property by LandAmerica Albuquerque Title, Commitment for Title Insurance No. 6218003426, dated June 16, 2008.

- Reservations contained in Patent from United States of America, recorded in Book 35, page 91, records of Bernalillo County, New Mexico. (Affects Property - No Plottable Items Listed)
- Restrictions recorded in Book D 544, page 383, records of Bernalillo County, New Mexico, but omitting any restriction based on race, color, religion or national origin to the extent such covenants, conditions or restrictions violate 42 USC 3604. (Affects Property - No Plottable Items Listed)
- Easements, restrictions, notes and other matters as shown and/or provided for on the recorded plat, filed in the office of the County Clerk of Bernalillo County, New Mexico, on June 5, 2002, in Plat Book 2002C, page 197. (Affects Property - Plottable Items Plotted Hereon)
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- Declaration of Public Utility Easement, filed March 3, 2004 in Book A73, page 7813, as Document No. 2004027886, records of Bernalillo County, New Mexico. (Does Not Affect Property - Offsite)
- Permanent Easement granted to the City of Albuquerque, filed August 25, 2006 in Book A122, page 9176, as Document No. 2006129523, records of Bernalillo County, New Mexico. (Does Not Affect Property - Offsite)
- Notice of Subdivision Plat Variance, filed November 28, 1994 in Book 94-32, page 4829, as Document No. 94139439, records of Bernalillo County, New Mexico. (Affects Property - No Plottable Items Listed)
- Notice of Subdivision Plat Conditions, filed June 5, 2002 in Book A37, page 2220, as Document No. 2002072422, records of Bernalillo County, New Mexico. (Affects Property - No Plottable Items Listed)
- Special Agreement No. 72-2 with the City of Albuquerque, filed April 26, 1972 in Book Misc. 257, page 708, records of Bernalillo County, New Mexico. (Affects Property - No Plottable Items Listed)
- Reservations as set forth in Warranty Deed, filed September 28, 1959 in Book D 504, page 417, records of Bernalillo County, New Mexico. (Affects Property - No Plottable Items Listed)

SURVEYORS CERTIFICATION

To: Bencor, Inc., a Colorado corporation, Rupinder S. Bindra and Gurpreet K. Bindra as Trustees of The Rupinder and Gurpreet Bindra Family Trust under Trust Agreement dated February 23, 2007, Commonwealth Land Title Insurance Company and LandAmerica Albuquerque Title.

This is to certify that this map or plat and the survey on which it is based were made in accordance with "Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys," jointly established and adopted by ALTA and NSPS in 2005, and includes Items 1, 2, 3, 4, 5, 6, 7(a), 8, 10, 11(b), 13, 15 and 17 of Table A specifically defined therein. Pursuant to the Accuracy Standards as adopted by ALTA and NSPS and in effect on the date of this certification, the undersigned further certifies that in my professional opinion, as a Professional Land Surveyor registered in the State of New Mexico, the Relative Positional Accuracy of this survey does not exceed that which is specified therein.

Russ P. Hugg
New Mexico
Date: August 28, 2008

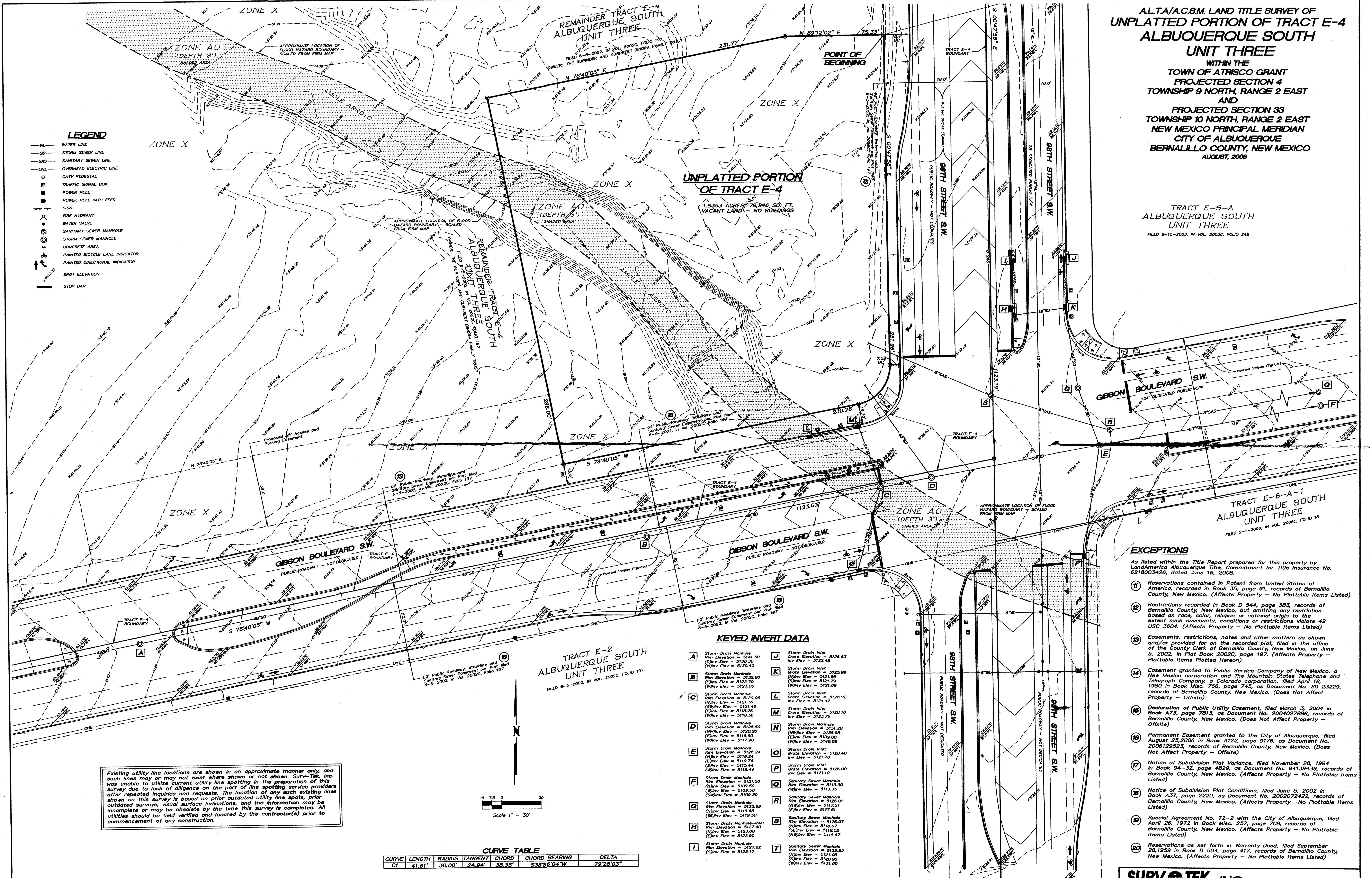
ALTA/A.C.S.M. LAND TITLE SURVEY OF
UNPLATTED PORTION OF TRACT E-4
ALBUQUERQUE SOUTH
UNIT THREE

WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTION 4
TOWNSHIP 9 NORTH, RANGE 2 EAST
AND
PROJECTED SECTION 33
TOWNSHIP 10 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
AUGUST, 2008

TRACT E-5-A
ALBUQUERQUE SOUTH
UNIT THREE
FILED 8-15-2003, IN VOL. 2003C, FOLIO 248

TRACT E-6-A-1
ALBUQUERQUE SOUTH
UNIT THREE
FILED 2-1-2008, IN VOL. 2008C, FOLIO 18

- LEGEND**
- W — WATER LINE
 - SD — STORM SEWER LINE
 - SAS — SANITARY SEWER LINE
 - OHE — OVERHEAD ELECTRIC LINE
 - CATY PEDESTAL
 - TRAFFIC SIGNAL BOX
 - POWER POLE
 - POWER POLE WITH FEED
 - ▲ SIGN
 - FIRE HYDRANT
 - WATER VALVE
 - SANITARY SEWER MANHOLE
 - STORM SEWER MANHOLE
 - CONCRETE AREA
 - PBI — PAINTED BICYCLE LANE INDICATOR
 - PDI — PAINTED DIRECTIONAL INDICATOR
 - SPOT ELEVATION
 - STOP BAR



UNPLATTED PORTION
OF TRACT E-4
1.8353 ACRES 79,946 SQ. FT.
VACANT LAND - NO BUILDINGS

TRACT E-2
ALBUQUERQUE SOUTH
UNIT THREE
FILED 6-5-2002, IN VOL. 2002C, FOLIO 197

KEYED INVERT DATA

- | | |
|---|---|
| A Storm Drain Manhole
Rim Elevation = 5141.50
(N)Inv Elev = 5130.30
(E)Inv Elev = 5130.40 | J Storm Drain Inlet
Grate Elevation = 5126.63
Inv Elev = 5122.48 |
| B Storm Drain Manhole
Rim Elevation = 5132.80
(E)Inv Elev = 5122.70
(N)Inv Elev = 5121.69 | K Storm Drain Inlet
Grate Elevation = 5125.99
(N)Inv Elev = 5121.99
(E)Inv Elev = 5121.79
(W)Inv Elev = 5121.69 |
| C Storm Drain Manhole
Rim Elevation = 5129.06
(N)Inv Elev = 5121.35
(S)Inv Elev = 5121.46
(E)Inv Elev = 5118.28
(W)Inv Elev = 5116.56 | L Storm Drain Inlet
Grate Elevation = 5128.92
Inv Elev = 5121.35
(S)Inv Elev = 5114.42 |
| D Storm Drain Manhole
Rim Elevation = 5128.50
(N)Inv Elev = 5122.40
(E)Inv Elev = 5116.50
(W)Inv Elev = 5117.90 | M Storm Drain Inlet
Grate Elevation = 5128.16
Inv Elev = 5116.56 |
| E Storm Drain Manhole
Rim Elevation = 5126.24
(N)Inv Elev = 5118.24
(E)Inv Elev = 5118.74
(S)Inv Elev = 5115.44
(W)Inv Elev = 5116.44 | N Storm Drain Manhole
Rim Elevation = 5151.28
(N)Inv Elev = 5138.98
(E)Inv Elev = 5139.08
(W)Inv Elev = 5145.58 |
| F Storm Drain Manhole
Rim Elevation = 5121.50
(N)Inv Elev = 5106.50
(W)Inv Elev = 5109.50
(S)Inv Elev = 5109.30 | O Storm Drain Inlet
Grate Elevation = 5128.40
Inv Elev = 5114.42 |
| G Storm Drain Manhole
Rim Elevation = 5125.68
(N)Inv Elev = 5119.68
(E)Inv Elev = 5119.58 | P Storm Drain Inlet
Grate Elevation = 5126.00
Inv Elev = 5121.10 |
| H Storm Drain Manhole - Inlet
Rim Elevation = 5123.40
(N)Inv Elev = 5119.52
(E)Inv Elev = 5122.90 | Q Sanitary Sewer Manhole
Rim Elevation = 5119.30
(N)Inv Elev = 5113.35 |
| I Storm Drain Manhole
Rim Elevation = 5127.82
(S)Inv Elev = 5123.17 | R Sanitary Sewer Manhole
Rim Elevation = 5126.01
(N)Inv Elev = 5117.51 |
| | S Sanitary Sewer Manhole
Rim Elevation = 5128.97
(N)Inv Elev = 5118.67
(S)Inv Elev = 5118.52
(W)Inv Elev = 5118.67 |
| | T Sanitary Sewer Manhole
Rim Elevation = 5120.85
(N)Inv Elev = 5121.05
(S)Inv Elev = 5120.95
(W)Inv Elev = 5121.00 |

Existing utility line locations are shown in an approximate manner only, and such lines may or may not exist where shown or not shown. Surv-Tek, Inc. was unable to utilize current utility line spotting in the preparation of this survey due to lack of diligence on the part of line spotting service providers after repeated inquiries and requests. The location of any such existing lines shown on this survey is based on prior outdated utility line spots, prior outdated surveys, visual surface indications, and the information may be incomplete or may be obsolete by the time this survey is completed. All utilities should be field verified and located by the contractor(s) prior to commencement of any construction.

CURVE TABLE

CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	41.61'	30.00'	24.94'	38.35'	S38°56'04"W	79°28'03"

EXCEPTIONS

- As listed within the Title Report prepared for this property by LandAmerica Albuquerque Title, commitment for Title Insurance No. 5218003426, dated June 16, 2008.
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 - 15 Declaration of Public Utility Easement, filed March 3, 2004 in Book A73, page 7813, as Document No. 2004027886, records of Bernalillo County, New Mexico. (Does Not Affect Property - Offsite)
 - 16 Permanent Easement granted to the City of Albuquerque, filed August 25, 2008 in Book A122, page 9176, as Document No. 2008120523, records of Bernalillo County, New Mexico. (Does Not Affect Property - Offsite)
 - 17 Notice of Subdivision Plat Variance, filed November 28, 1994 in Book 94-32, page 4829, as Document No. 94139439, records of Bernalillo County, New Mexico. (Affects Property - No Plottable Items Listed)
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SURV-TEK, INC.
Consulting Surveyors
9084 Valley View Drive N.E. Albuquerque, New Mexico 87114
Phone: 505-897-3368
Fax: 505-897-5377

ALTA/A.C.S.M. LAND TITLE SURVEY OF
 UNPLATTED PORTION OF TRACT E-4
 ALBUQUERQUE SOUTH
 UNIT THREE
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 4
 TOWNSHIP 9 NORTH, RANGE 2 EAST
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 PROJECTED SECTION 33
 TOWNSHIP 10 NORTH, RANGE 2 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNILLO COUNTY, NEW MEXICO
 AUGUST, 2008

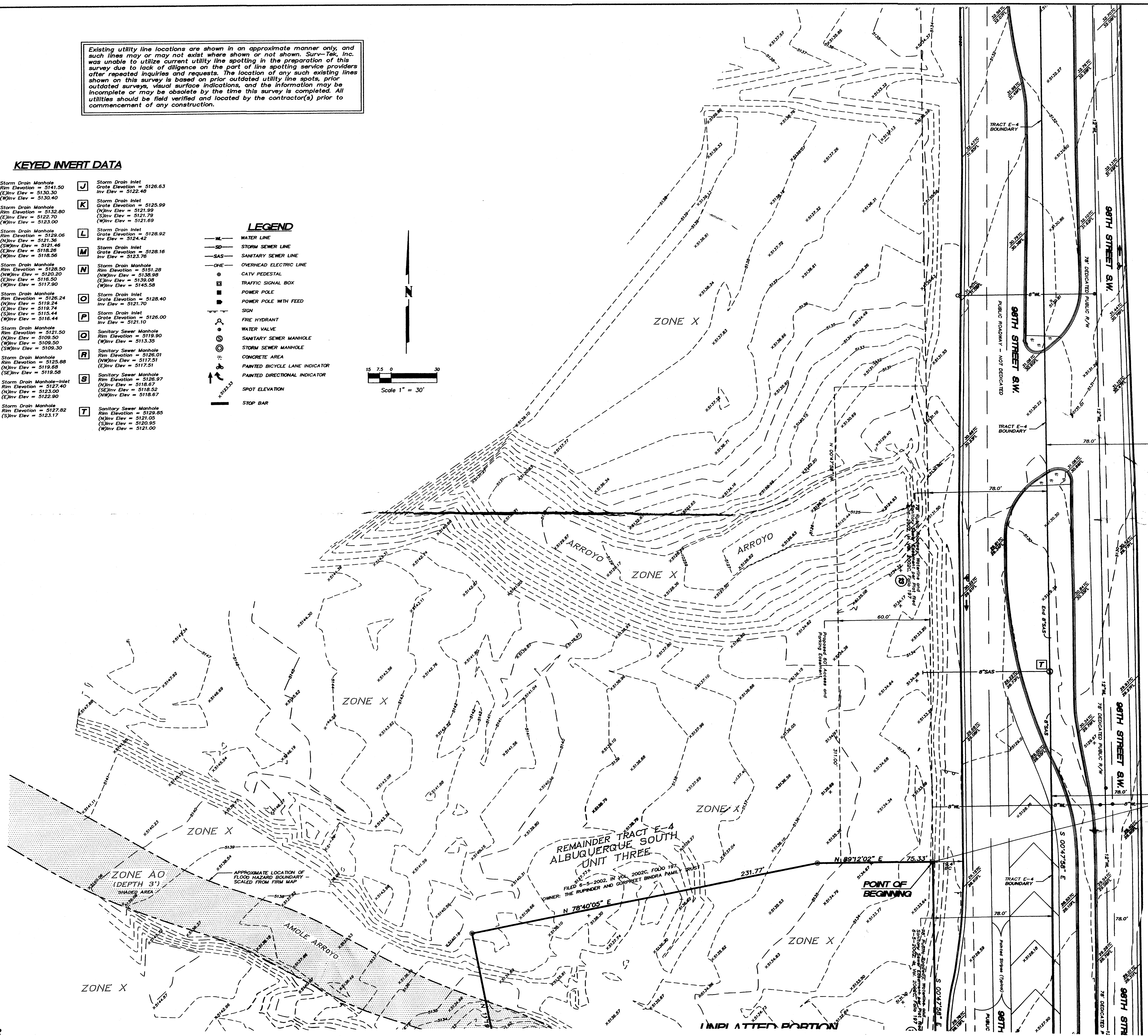
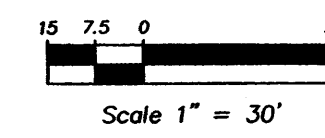
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A Storm Drain Manhole Rim Elevation = 5141.50 (E)Inv Elev = 5130.30 (W)Inv Elev = 5130.40	J Storm Drain Inlet Grote Elevation = 5126.63 Inv Elev = 5122.48
B Storm Drain Manhole Rim Elevation = 5132.80 (E)Inv Elev = 5122.70 (W)Inv Elev = 5123.00	K Storm Drain Inlet Grote Elevation = 5125.99 (N)Inv Elev = 5121.99 (S)Inv Elev = 5121.79 (W)Inv Elev = 5121.69
C Storm Drain Manhole Rim Elevation = 5129.06 (N)Inv Elev = 5121.36 (S)Inv Elev = 5121.46 (E)Inv Elev = 5118.26 (W)Inv Elev = 5118.56	L Storm Drain Inlet Grote Elevation = 5128.92 Inv Elev = 5124.42
D Storm Drain Manhole Rim Elevation = 5128.50 (N)Inv Elev = 5120.20 (E)Inv Elev = 5116.50 (W)Inv Elev = 5117.90	M Storm Drain Inlet Grote Elevation = 5128.16 Inv Elev = 5123.76
E Storm Drain Manhole Rim Elevation = 5120.24 (N)Inv Elev = 5118.24 (E)Inv Elev = 5118.74 (S)Inv Elev = 5115.44 (W)Inv Elev = 5116.44	N Storm Drain Manhole Rim Elevation = 5151.28 (N)Inv Elev = 5138.98 (E)Inv Elev = 5139.08 (W)Inv Elev = 5145.58
F Storm Drain Manhole Rim Elevation = 5121.50 (N)Inv Elev = 5109.50 (S)Inv Elev = 5109.50 (W)Inv Elev = 5109.30	O Storm Drain Inlet Grote Elevation = 5128.40 Inv Elev = 5121.70
G Storm Drain Manhole Rim Elevation = 5125.68 (N)Inv Elev = 5119.68 (S)Inv Elev = 5119.58	P Storm Drain Inlet Grote Elevation = 5126.00 Inv Elev = 5121.10
H Storm Drain Manhole-Inlet Rim Elevation = 5127.40 (N)Inv Elev = 5123.00 (E)Inv Elev = 5122.90	Q Sanitary Sewer Manhole Rim Elevation = 5119.90 (N)Inv Elev = 5109.50 (S)Inv Elev = 5109.50 (W)Inv Elev = 5109.30
I Storm Drain Manhole Rim Elevation = 5127.82 (S)Inv Elev = 5123.17	R Sanitary Sewer Manhole Rim Elevation = 5126.01 (N)Inv Elev = 5117.91 (E)Inv Elev = 5117.51 (S)Inv Elev = 5118.67 (W)Inv Elev = 5118.67
	S Sanitary Sewer Manhole Rim Elevation = 5128.65 (N)Inv Elev = 5121.05 (S)Inv Elev = 5120.35 (W)Inv Elev = 5121.00

LEGEND

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- SD — STORM SEWER LINE
- SAS — SANITARY SEWER LINE
- OHE — OVERHEAD ELECTRIC LINE
- CATV PEDESTAL
- TRAFFIC SIGNAL BOX
- POWER POLE
- POWER POLE WITH FEED
- SIGN
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- WATER VALVE
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- PAINTED BICYCLE LANE INDICATOR
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TRACT E-5
 ALBUQUERQUE SOUTH
 UNIT THREE
 FILED 6-5-2002, IN VOL. 2002C, FOLIO 197

Albuquerque Control Survey Monument "TRANS"
 New Mexico State Plane Coordinates, Central
 Zone (NAD83) as published:
 Northing = 1,471,865.503
 Easting = 1,495,145.466
 Ground to grid factor: 0.999683154
 Delta Alpha = -00'16.43"
 Elevation = 5121.089 (NAVD83)