

Scale: 1" = 40'

**Legend**

Existing Improvements	Existing Inlet Box
Proposed Improvements	Proposed Inlet Box
Property Line	Exist. Catch Basin
Proposed Asphalt	Catch Basin
Existing Asphalt	Proposed Manhole
ADA Route	Existing Manhole
Proposed Concrete	Fire Hydrant
Detail Number	Existing Fire Hydrant
Sheet Number	Existing Light Pole
	Proposed Light Pole
	Existing Street Light
	Proposed Street Light

**Tract B-1B**  
 Property Area = 98,557 s.f. 2.2626 acres  
 Approximate Building Area = 117 s.f.  
 Approximate Landscape Area = 47,962 s.f. (49%)

**Survey Note**  
 Surv Tek Consulting Surveyors, is the licensed Surveyor responsible for providing surveying services for this project. Great Basin Engineering has relied upon Surv Tek for professional services in preparing this drawing. Great Basin Engineering makes no claims to the accuracy of the information provided by Surv Tek.  
 Bearings are grid based on New Mexico State Plane Coordinate System, Central Zone (NAD 83). Distances are Gound.

**Record Descriptions**  
 Tract B-1-B of the plat of Hubbell Plaza, City of Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on November 24, 1987, in Plat Book C35, Page 47.

**PROJECT # 1007551**  
 EPC Application #: 08 EPC 40111  
 DRB Application #:  
 DRB Project #:  
 This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on December 18, 2008 and that the findings and conditions in the Official Notice; Notification of Decision have been complied with.

**SITE DEVELOPMENT PLAN**

<i>[Signature]</i> Traffic Engineer, Transportation Division	2-18-09 Date
<i>[Signature]</i> Parks and Recreation Department	2/18/09 Date
<i>[Signature]</i> Water Utilities Division	2-18-09 Date
<i>[Signature]</i> City Engineer, Engineering Division / AMARC	10/27/09 Date
<i>[Signature]</i> City Planner, Albuquerque Planning Division	10/27/09 Date
Solid Waste	Date
Fire Department	Date

- Conditions:**
- There shall be no sales of alcohol from the kiosk on the site.
  - Any inoperable, on-site Light Poles to be repaired or replaced.
  - Fuel Center will use exist. Smith's refuse compactor and facilities.
  - Site Plan shall comply with and be designed per DPM Standards

**PRIVATE ENGINEER'S NOTICE TO CONTRACTORS**  
 The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from the sole negligence of the owner or the engineer.

**Survey Control Note:**  
 The contractor or surveyor shall be responsible for following the National Society of Professional Surveyors (NSPS) model standards for any surveying or construction layout to be completed using Great Basin Engineering's ALTA Surveys or Great Basin Engineering's construction improvement plans. Prior to proceeding with construction staking, the surveyor shall be responsible for verifying horizontal control from the survey monuments and for verifying any additional control points shown on an ALTA survey, improvement plan, or on electronic data provided by Great Basin Engineering. The surveyor shall also use the benchmarks as shown on the plan, and verify them against no less than three existing hard improvement elevations included on these plans or on electronic data provided by Great Basin Engineering. If any discrepancies are encountered, the surveyor shall immediately notify the engineer and resolve the discrepancies before proceeding with any construction staking.

**LINE TABLE**

LINE	LENGTH	BEARING
L1	35.11	N00°37'50"E
L2	19.00	S74°58'33"W
L3	5.00	N15°01'27"W
L4	22.00	S74°58'33"W
L5	5.00	S15°01'27"E
L6	19.00	S74°58'33"W

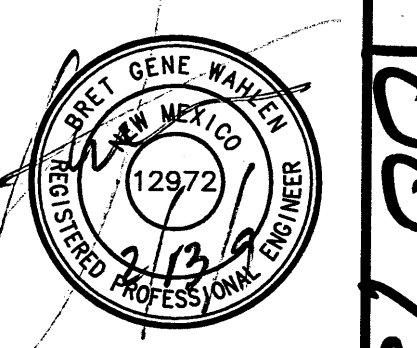
**CURVE TABLE**

CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	52.22'	150.00'	26.38'	51.96'	N84°57'00"E	19°56'54"
C2	17.41'	50.00'	8.79'	17.32'	S84°57'00"W	19°56'54"
C3	17.41'	50.00'	8.79'	17.32'	S65°00'06"W	19°56'54"
C4	52.22'	150.00'	26.38'	51.96'	N65°00'06"E	19°56'54"

- Easements**
- 10' Underground Easement granted to Public Service Company of New Mexico and The Mountain States Telephone and Telegraph Company granted by Document filed March 31, 1988 in Book Misc 604A, Page 573 as Document No. 8827866.
  - Right of Way and Easement granted to Gas Company of New Mexico by document filed March 17, 1988 in Book Misc 598A, Page 219
  - Water Line Easement granted by plot filed September 29, 1987 in Volume C34, Page 166 and shown on plot filed November 24, 1987 in Volume C35, Page 47.

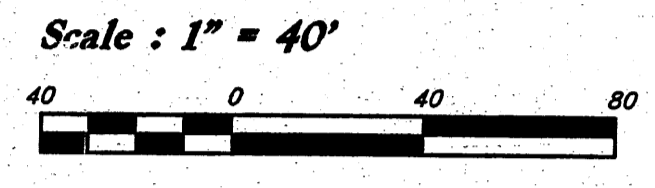
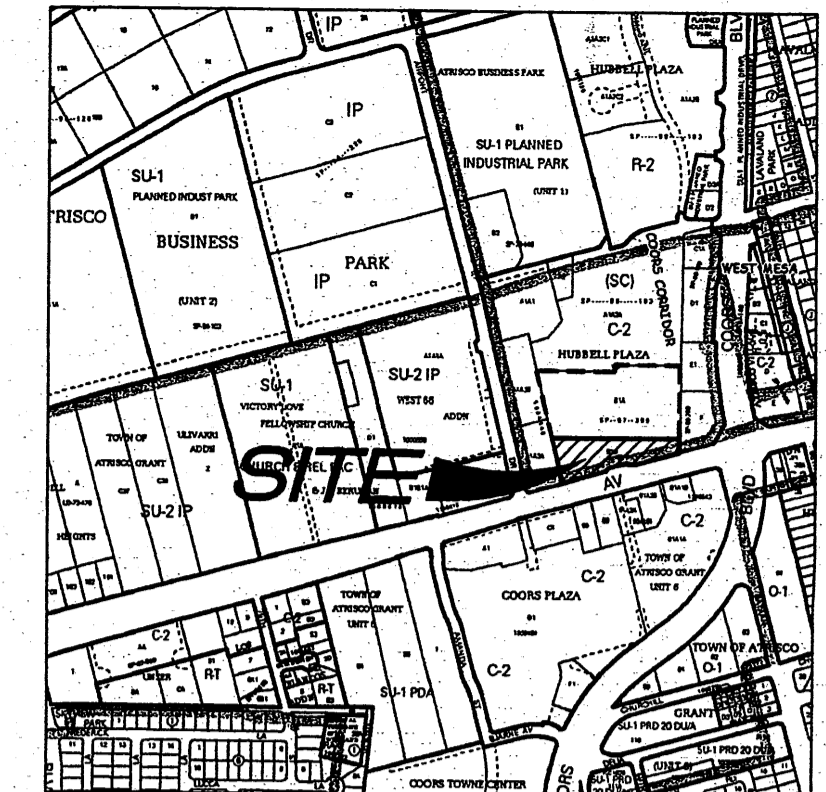
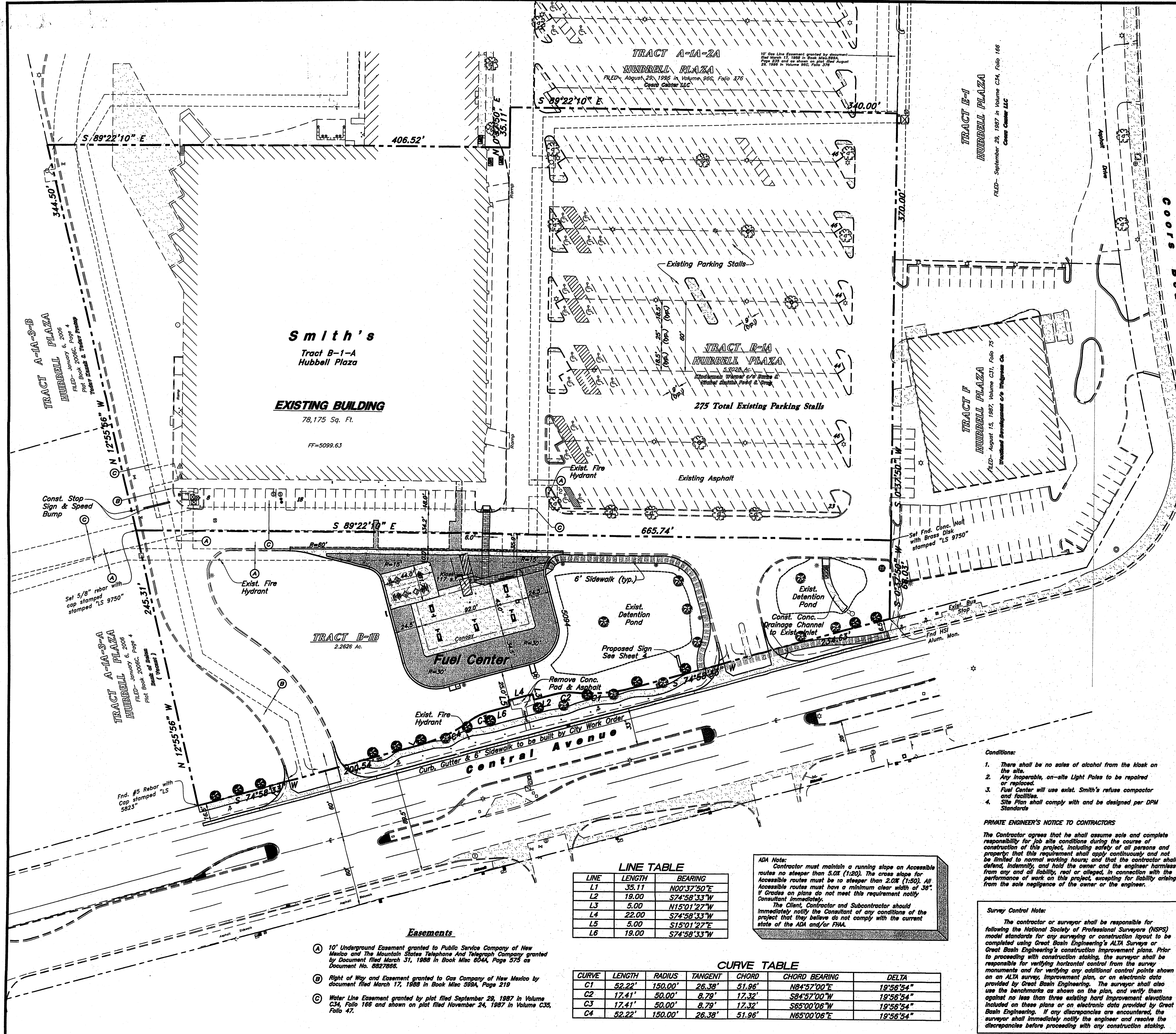
**GREAT BASIN ENGINEERING - SOUTH**  
 CONSULTING ENGINEERS and LAND SURVEYORS  
 2010 North Redwood Road, P.O. Box 16747  
 Salt Lake City, Utah 84116  
 Salt Lake City (801)321-8529 Open (801)394-2288 Fax (801)321-9551

**Site Development Plan for Building Permit**  
**Smith's Fuel Center #498**  
**Smith's Food and Drug Stores**  
 1150 South Redwood Road  
 Salt Lake City, Utah 84104  
 Telephone (801) 974-1400



12 Feb, 2009  
 SHEET NO. **1a**

PROJECT # 1007551



- Legend**
- Existing Improvements
  - Proposed Improvements
  - Property Line
  - Proposed Asphalt
  - Existing Asphalt
  - Proposed Concrete
  - Detail Number
  - Sheet Number
  - Existing Inlet Box
  - Proposed Inlet Box
  - Exist. Catch Basin
  - Catch Basin
  - Proposed Manhole
  - Existing Manhole
  - Fire Hydrant
  - Existing Fire Hydrant
  - Existing Light Pole
  - Proposed Light Pole
  - Existing Street Light
  - Proposed Street Light

**Tract B-1B**  
 Property Area = 98,557 s.f. 2.2626 acres  
 Approximate Building Area = 117 s.f.  
 Approximate Landscape Area = 47,962 s.f. (49%)

**Survey Note**  
 Surv Tek Consulting Surveyors, is the licensed Surveyor responsible for providing surveying services for this project. Great Basin Engineering has relied upon Surv Tek for professional services in preparing this drawing. Great Basin Engineering makes no claims to the accuracy of the information provided by Surv Tek.  
 Bearings are grid based on New Mexico State Plane Coordinate System, Central Zone (NAD 83). Distances are Ground.

**Record Descriptions**  
 Tract B-1-B of the plot of Hubbell Plaza, City of Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on November 24, 1987, in Plat Book C35, Page 47.

**PROJECT # 1007551**  
 EPC Application #: 08 EPC 40111  
 DRB Application #:  
 DRB Project #:  
 This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on December 18, 2008 and that the findings and conditions in the Official Notice; Notification of Decision have been complied with:

**SITE DEVELOPMENT PLAN**

Traffic Engineer, Transportation Division	Date
Parks and Recreation Department	Date
Public Works Water Utilities Division	Date
City Engineer, Engineering Division / AMARC	Date
APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.	
City Planner, Albuquerque Planning Division	Date
Solid Waste	Date
Fire Department	Date

**LINE TABLE**

LINE	LENGTH	BEARING
L1	35.11	N00°37'50"E
L2	19.00	S74°58'33"W
L3	5.00	N15°01'27"W
L4	22.00	S74°58'33"W
L5	5.00	S15°01'27"E
L6	19.00	S74°58'33"W

**CURVE TABLE**

CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	52.22'	150.00'	26.38'	51.96'	N84°57'00"E	19°56'54"
C2	17.41'	50.00'	8.79'	17.32'	S84°57'00"W	19°56'54"
C3	17.41'	50.00'	8.79'	17.32'	S85°00'06"W	19°56'54"
C4	52.22'	150.00'	26.38'	51.96'	N65°00'06"E	19°56'54"

**ADA Note:**  
 Contractor must maintain a running slope on Accessible routes no steeper than 5.0% (1:20). The cross slope for Accessible routes must be no steeper than 2.0% (1:50). All Accessible routes must have a minimum clear width of 36". If Grades on plans do not meet this requirement notify Consultant immediately.  
 The Client, Contractor and Subcontractor should immediately notify the Consultant of any conditions of the project that they believe do not comply with the current state of the ADA and/or FWA.

- Conditions:**
- There shall be no sales of alcohol from the kiosk on the site.
  - Any inoperable, on-site Light Poles to be repaired or replaced.
  - Fuel Center will use exist. Smith's refuse compactor and facilities.
  - Site Plan shall comply with and be designed per DPM Standards.

**PRIVATE ENGINEER'S NOTICE TO CONTRACTORS**  
 The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from the sole negligence of the owner or the engineer.

**Survey Control Note:**  
 The contractor or surveyor shall be responsible for following the National Society of Professional Surveyors (NSPS) model standards for any surveying or construction layout to be completed using Great Basin Engineering's ALTA Surveys or Great Basin Engineering's construction improvement plans. Prior to proceeding with construction staking, the surveyor shall be responsible for verifying horizontal control from the survey monuments and for verifying any additional control points shown on an ALTA survey, improvement plan, or on electronic data provided by Great Basin Engineering. The surveyor shall also use the benchmarks as shown on the plan, and verify them against no less than three existing hard improvement elevations included on these plans or on electronic data provided by Great Basin Engineering. If any discrepancies are encountered, the surveyor shall immediately notify the engineer and resolve the discrepancies before proceeding with any construction staking.

- Easements**
- 10' Underground Easement granted to Public Service Company of New Mexico and The Mountain States Telephone And Telegraph Company granted by Document filed March 31, 1988 in Book Misc 804A, Page 575 as Document No. 8827868.
  - Right of Way and Easement granted to Gas Company of New Mexico by document filed March 17, 1988 in Book Misc 999A, Page 219
  - Water Line Easement granted by plat filed September 29, 1987 in Volume C34, Folio 166 and shown on plat filed November 24, 1987 in Volume C35, Folio 47.

Designed by: JTF  
 Drafted by: JTF  
 Client Name:  
 Smith's Food and Drug Centers  
 498GAS-OSP\_PREP

**GREAT BASIN ENGINEERING - SOUTH**  
 CONSULTING ENGINEERS and LAND SURVEYORS  
 2010 North Redwood Road, P.O. Box 16747  
 Salt Lake City, Utah 84116  
 Open: (801)584-7288 Fax: (801)521-8551  
 Salt Lake City (801)521-8529

**Site Development Plan for Building Permit**  
**Smith's Fuel Center #498**  
**Smith's Food and Drug Stores**  
 1550 South Redwood Road  
 Salt Lake City, Utah 84104  
 Telephone (801) 974-1400

12 Feb, 2009  
 SHEET NO.  
**1a**



**Plant List (TREES)**

Quan.	Symbol	Botanical Name	Common Name	Size	Ht.	Spcl.
10	(Symbol)	Existing Tree	Ash Tree	Existing	40 Ft.	40 Ft.
5	(Symbol)	Fraxinus velutina	Arizona Ash	2" Caliper	40 Ft.	40 Ft.
1	(Symbol)	Pinus edulis	Afghan Pine	10' High	40 Ft.	10 Ft.
11	(Symbol)	Ulmus parvifolia	Lacebark Elm	2" Caliper	40 Ft.	40 Ft.

**Plant List (SHRUBS)**

Quan.	Symbol	Botanical Name	Common Name	Size	Ht.	Spcl.
4	(Symbol)	Caryopteris x clandonensis	Blue Mist Spirea	5 Gallon	3 Ft.	3 Ft.
1	(Symbol)	Chrysothamnus nauseosus	Rubber Rabbitbrush	5 Gallon	5 Ft.	5 Ft.
1	(Symbol)	Heperaloe parviflora	Red Flowering Yucca	5 Gallon	3 Ft.	4 Ft.
15	(Symbol)	Juniperus sabina 'Broadmoor'	Broadmoor Juniper	5 Gallon	3 Ft.	4 Ft.
5	(Symbol)	Photinia fraseri	Red Tip Photinia	5 Gallon	8 Ft.	8 Ft.
14	(Symbol)	Salvia dorrii	Desert Sage	5 Gallon	2 Ft.	3 Ft.

**Plant List (ORNAMENTAL GRASSES)**

Quan.	Symbol	Botanical Name	Common Name	Size	Ht.	Spcl.
9	(Symbol)	Erianthus ravensae	Ravens Grass	5 Gallon	12 Ft.	9 Ft.
10	(Symbol)	Helictotrichon sempervirens	Blue Avens Grass	5 Gallon	2 Ft.	1 Ft.
11	(Symbol)	Miscanthus gracillimus	Gracillimus Maiden Grass	5 Gallon	5 Ft.	5 Ft.

**Legend / Materials**

Symbol	Item	Description / Remarks
(Symbol)	Existing Lawn Areas To Remain Undisturbed	Protect During The Course Of New Construction. Provide All Temporary Watering Required To Keep Lawn Areas In A Healthy Condition, While Complying To Local Code.
(Symbol)	Decorative Stone Surfacing 1 1/2" Minus Size / Washed	Place To A Uniform Depth Of 3 Inches Over Approved Weed Barrier Fabric (Optional). The Sub-grade Shall Be Raked Smooth & Clear Of All Material Over 1" In Size.
(Symbol)	Decorative Stone Surfacing 1" Minus Size / Washed	Place To A Uniform Depth Of 3 Inches Over Approved Weed Barrier Fabric (Optional). The Sub-grade Shall Be Raked Smooth & Clear Of All Material Over 1" In Size.

**Planting Notes**

- All new planting and stone surfacing areas shall be sub-graded to a depth of 4 inches below the ultimate finish grade, allowing for the installation of a 4 inch layer of either bark mulch for plant water wells and/or the installation of each type of stone surfacing and weed barrier fabric.
- All plant material holes shall be dug a minimum 2 times the diameter of the rootball and (6) inches deeper. Excavated material shall be removed from the site, or used for other grading purposes on the site.
- Plant backfill mixture shall be composed of 4 parts (80%) topsoil to 1 part (20%) humus mulch additive, and shall be rotary mixed on-site prior to installation.
- Plant fertilizer shall be 'Agriform' brand 21 gram tablets used as per manufacturers recommendations.
- Upon completion of planting operations, all shrub and tree wells shall receive a (3) inch minimum depth of fine ground bark in the planting pit. The overall shrub areas (beyond the planting pit), shall receive a 3 inch depth of the type of stone surfacing or cobble rock as specified.
- All areas where different types of stone surfacing are adjacent, shall be neatly placed together, matching a uniform transition from one material type to the other. It is not the intent to any type of edger for this.
- The project shall be swept clean of dirt and debris prior to completion of the project.
- The contractor shall comply with all warranties and guarantees set forth by the Owner, and in no case shall that period be less than one year following the date of final completion and acceptance.

**General Notes**

- The contractor shall verify the exact location of all existing and proposed utilities, and all site conditions prior to beginning construction. The contractor shall coordinate his work with the project manager and all other contractors working on the site.
- The finish grade of all planting areas shall be smooth, even and consistent, free of any humps, depressions or other grading irregularities. The finish grade of all landscape areas shall be graded consistently 3/4" below the top of all surrounding walks, curbs, etc.
- The contractor shall stake the location of all plants for approval prior to planting. Trees shall be located equidistant from all surrounding plant material. Shrubs and ground covers shall be triangular and equally spaced.
- The plant materials list is provided as an indication of the specific requirements of the plants specified, wherever in conflict with the planting plan, the planting plan shall govern.
- The contractor shall provide all materials, labor and equipment required for the proper completion of all landscape work as specified and shown on the drawings.
- All plant materials shall be approved prior to planting. The Owner/Landscape Architect has the right to reject any and all plant material not conforming to the specifications. The Owner/Landscape Architect decision will be final.
- The contractor shall keep the premises, storage areas and paving areas neat and orderly at all times. Remove trash, sumps, clean, hoses, etc. daily.
- The contractor shall plant all plants per the planting details, stake/guy as shown. The top of root balls shall be planted flush with finish grade.
- The contractor shall not impede drainage in any way. The contractor shall always maintain positive drainage away from the building, walks, etc.
- The contractor shall maintain all work until all work is complete and accepted by the Owner. In addition, the contractor shall maintain and guarantee all work for a period of ONE YEAR from the date of final acceptance by the Owner. The contractor shall provide a bond for 20% of the landscape and irrigation work for the same ONE YEAR maintenance and guarantee period. Maintenance shall include mowing, weeding, fertilizing, cleaning, insecticides, herbicides, etc.
- It shall be the contractor's responsibility to ensure that any damaged or disturbed landscaping from the construction of this project is to be returned to as good or better condition.
- It shall be the responsibility of the property owner to maintain all landscaping and irrigation facilities after construction at the end of the contractor warranty period.

**Note Of Ordinance Compliance**

- All New Landscaping Shall Be In Compliance With The Water Conservation Landscaping And Water Waste Ordinance.

**Irrigation Notes**

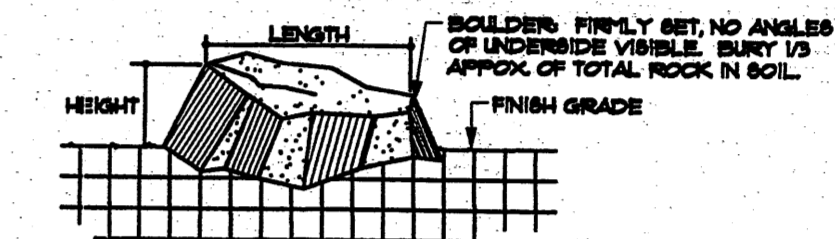
- Existing sprinklers to be modified as necessary to provide adequate irrigation to all landscaped areas. Cap and abandon irrigation in place as needed.
- All plant materials shown on the drawing shall be serviced by an automatic underground irrigation system. The contractor is to have a qualified irrigation system specialist prepare a design for an automatic underground irrigation system and submit drawings to the engineer for approval at least 30 days prior to the system installation. Underground irrigation system drawings shall be prepared on 24"x36" sheets, neatly drawn and very legible. Drawings are to include head spacing, types of heads, piping with sizes, valves, fittings and all other items required for proper installation of the system.
- The landscape contractor shall be responsible for the installation of all irrigation sleeves prior to placement of hard improvements. Coordinate with the general contractor.
- The utility contractor is to provide an irrigation system connection to either the culinary or secondary waterline, as applicable, within state and local jurisdictional codes.
- The irrigation contractor is responsible to coordinate this item with the utility contractor.
- The irrigation control box shall be located or relocated at the direction of the project manager.

**Sub-Grade Requirements**

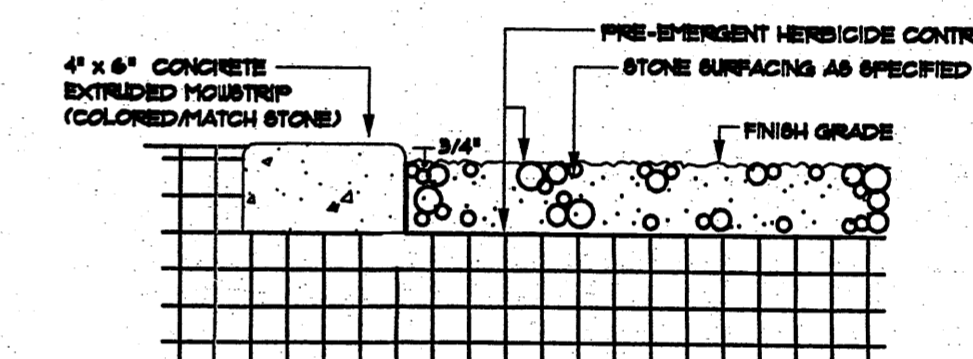
- LAWN AREAS :** Six (6) inches below finish grade. This will allow for the installation of a four inch depth of topsoil along with the sodding material, leaving it slightly below finish grade and concrete areas. This will only be required where existing lawn areas damaged during construction, are to be repaired.
- SHRUB/STONE AREAS :** Four (4) inches below finish grade. This will allow for the installation of the required depth of decorative stone surfacing, leaving the grade slightly below finish grade of concrete areas.

**Landscape Calculations**

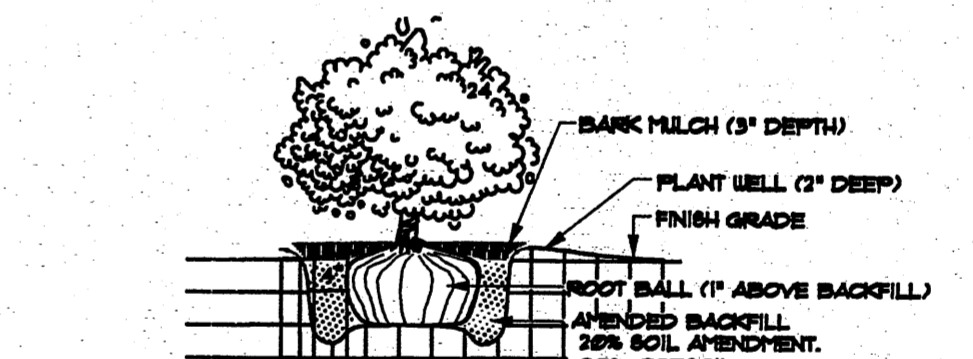
Total Landscape Provided	50,585 S.F.
Total Bed/Stone Provided	23,570 S.F.
Total Existing Lawn	27,015 S.F.



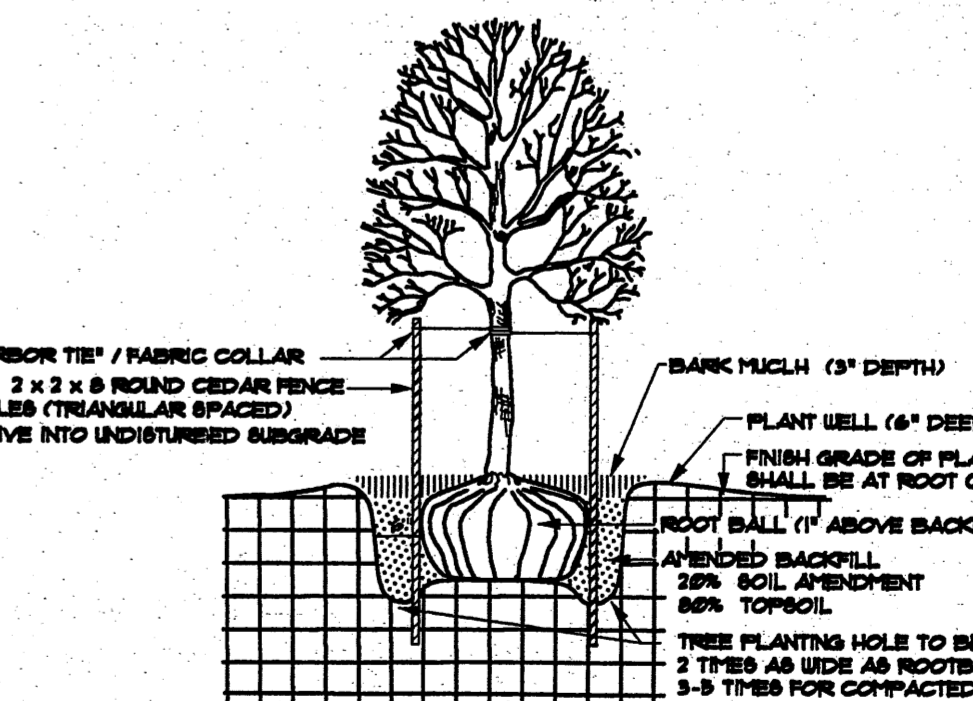
- Decorative Boulder
- N.T.S.



- Mowstrip - Stone Surfacing
- N.T.S.



- Shrub Planting
- N.T.S.



- Tree Planting
- N.T.S.

**Stone Surfacing**

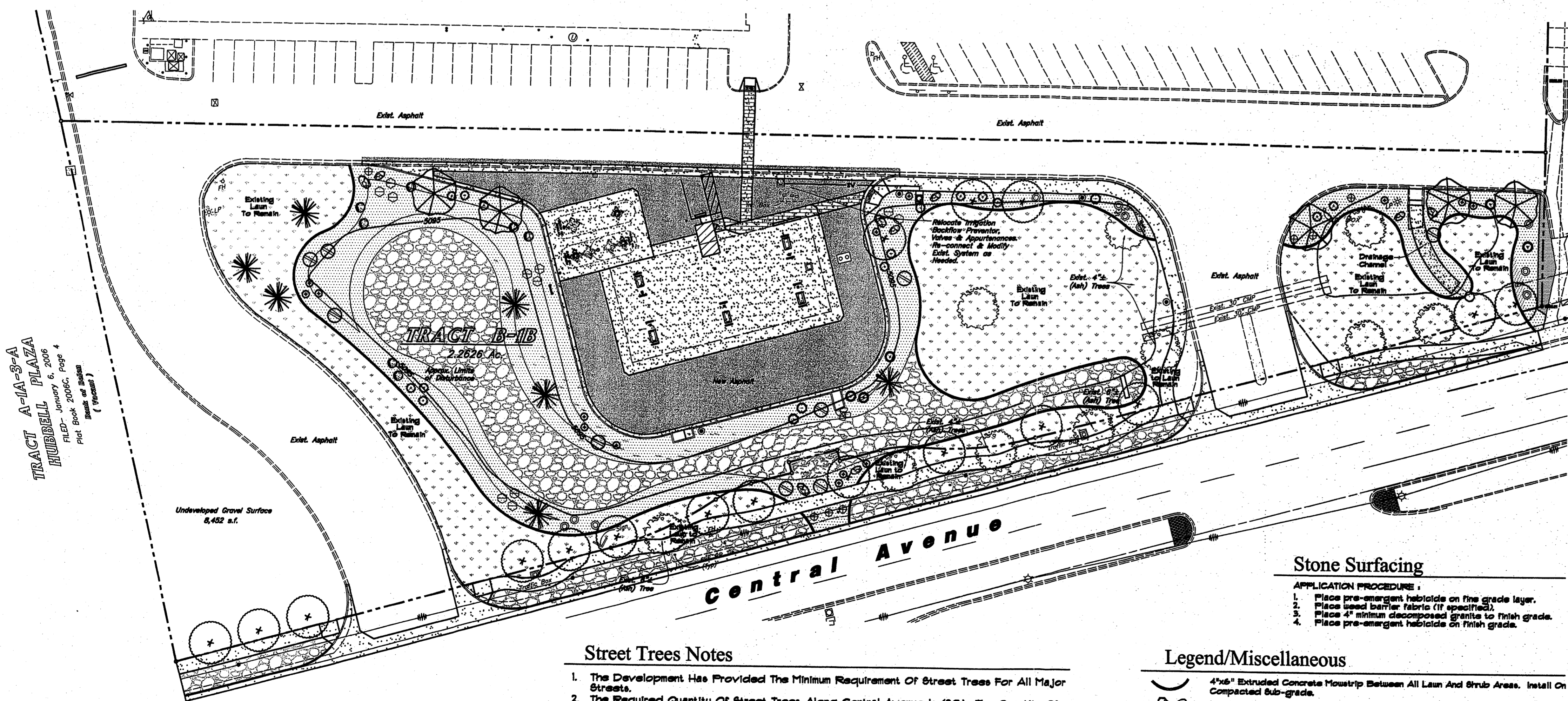
- APPLICATION PROCEDURE :
- Place pre-emergent herbicide on fine grade layer.
  - Place weed barrier fabric (if specified).
  - Place 4" minimum decomposed granite to finish grade.
  - Place pre-emergent herbicide on finish grade.

**Legend/Miscellaneous**

- 4"x6" Extruded Concrete Mowstrip Between All Lawn And Shrub Areas. Install On Compacted Sub-grade.
- Landscape Boulders (3'-3' Diameter) / To Be Of A Similar Stone Type And Color Of Stone Surfacing And/or Cobble.

**Street Trees Notes**

- The Development Has Provided The Minimum Requirement Of Street Trees For All Major Streets.
- The Required Quantity Of Street Trees Along Central Avenue Is (20). The Quantity Of Street Trees Provided Is (20), Consisting Of (6) Existing Ash Trees And (14) New Elm Trees, As Shown In The Plant List.



TRACT A-1A-3-A  
HUBBELL PLAZA  
FILED - January 6, 2006  
PLAT BOOK 2006, PAGE 4  
PLAT BOOK 2006, PAGE 4  
(WARRANT)

DESIGNER: ROL  
DRAFTED BY: ROL  
CLIENT NAME: Smith's Food & Drug Centers, Inc.  
488045-L1-PREF

**GREAT BASIN ENGINEERING - SOUTH**  
CONSULTING ENGINEERS AND LAND SURVEYORS  
2010 North Redwood Road, P.O. Box 16747  
Salt Lake City, Utah 84116  
Open: (801)581-2888 Fax: (801)581-9551  
Salt Lake City (801)581-8829

**Smith's Food and Drug Stores**  
1500 South Redwood Road  
Salt Lake City, Utah 84104  
Telephone (801) 974-1400

12 Feb, 2009  
SHEET NO. 2

TANK DEPTH OF BURY CALCULATION			
DESCRIPTION	FURTHEST ISLAND	LOWEST ISLAND	
1. Elevation at Top of Island	97.57	ft.	97.57
2. Min. Slope of Piping = $(L) \times 1/8"$ per foot	12	ft.	1.51
Where L1 = 170 ft., L2 = 145 ft.			
3. Dispenser Island	6"		
Concrete Drive Slab	6"		
Pipe Cover	8"		
Pipe Diameter	3"		
Tank Connection	10"		
Total	33"		
4. Grade Differential = (#2 + #3)	2.75	ft.	2.75
5. Top of Tanks = (#1 - #4)	4.52	ft.	4.26
6. Top of Tanks = Lowest Calculated Elevation	93.05	ft.	93.31
7. Lowest Elevation of Slab Above Tank			97.70
8. Depth of Bury = (#7 - #6)			4.65

NOTE: If #8 < 6 ft., Set Top of Tanks at (#7 - 6.0 ft.) = 97.70 - 6.0 = 91.70.  
If #8 > 7 ft., Contact Owner for Certification of Burial Depth with Tank Mfr.

**Curb and Gutter Construction Notes:**

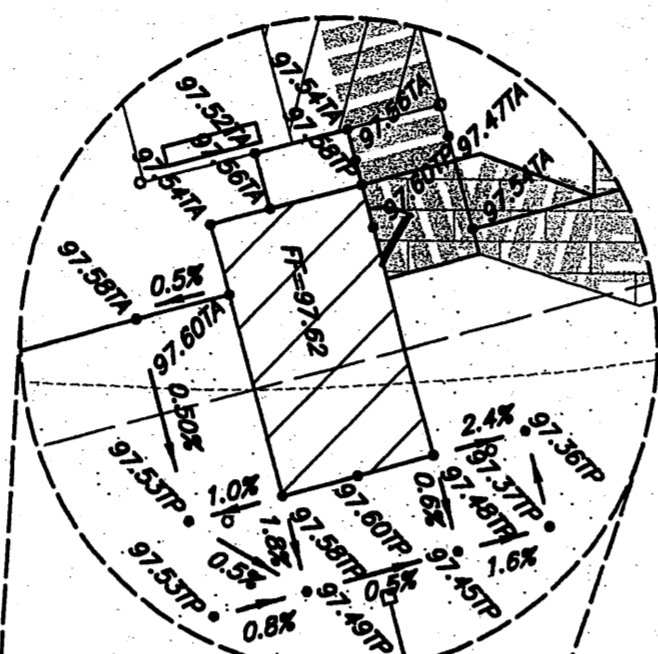
- Open face gutter shall be constructed where drainage is directed away from curb.
- Open face gutter locations are indicated by shading and notes on the grading plan.
- It is the responsibility of the surveyor to adjust top of asphalt grades to top of curb grades at the time of construction staking.
- Refer to the typical details for a standard and open face curb and gutter for dimensions.
- Transitions from open face to standard curb and gutter are to be smooth. Hand form these areas if necessary.

**Tank Installation Notes:**

- Contractor shall verify that a minimum of 1% slope is provided on all vapor recovery lines from the MPD to the tanks.
- Amoco CEF 4545 or equivalent filter fabric shall be installed in the tank hole.

**Narrative**

The existing site is an improved, undeveloped tract within a developed, commercial area. The terrain of the site slopes easterly to an existing detention pond.  
This site drains solely to Pond C as shown on the original Grading and Drainage Plan for Coors & Central Shopping Center dated May 1987. The required volume for Pond C on the original plan for a 100 year event is 33,510 cubic feet. Updated calculations using current criteria provided by the city of Albuquerque show the required volume of Pond C to be 40,250 cubic feet.  
Since the proposed fuel station encroaches into the original Pond C area, the Pond C area will be expanded and enlarged to contain 40,250 cubic feet as well as an additional volume totaling 56,674 cubic feet before the pond would overflow into the adjoining Walgreens Parcel and continue to the East through existing facilities.



**Detail 'A'**  
Scale: 1" = 10'

**Stormwater Calculations**

Original Required Pond C Volume = 33,510 cu.ft.  
Required Pond C Volume (per Updated City Calculations) = 40,250 cu.ft.  
Pond C Volume Provided at Elev. 5094.90 = 40,487 cu.ft.  
Pond C Volume Provided at Overflow Elev. 5095.20 = 56,674 cu.ft.

**Stormwater Note:**

Smith's Food and Drug Stores acknowledges receipt of minor historic offsite flows from the public right-of-way on to this tract B-1B and detention pond volumes will be adjusted to allow for flows.

**General Grading Notes:**

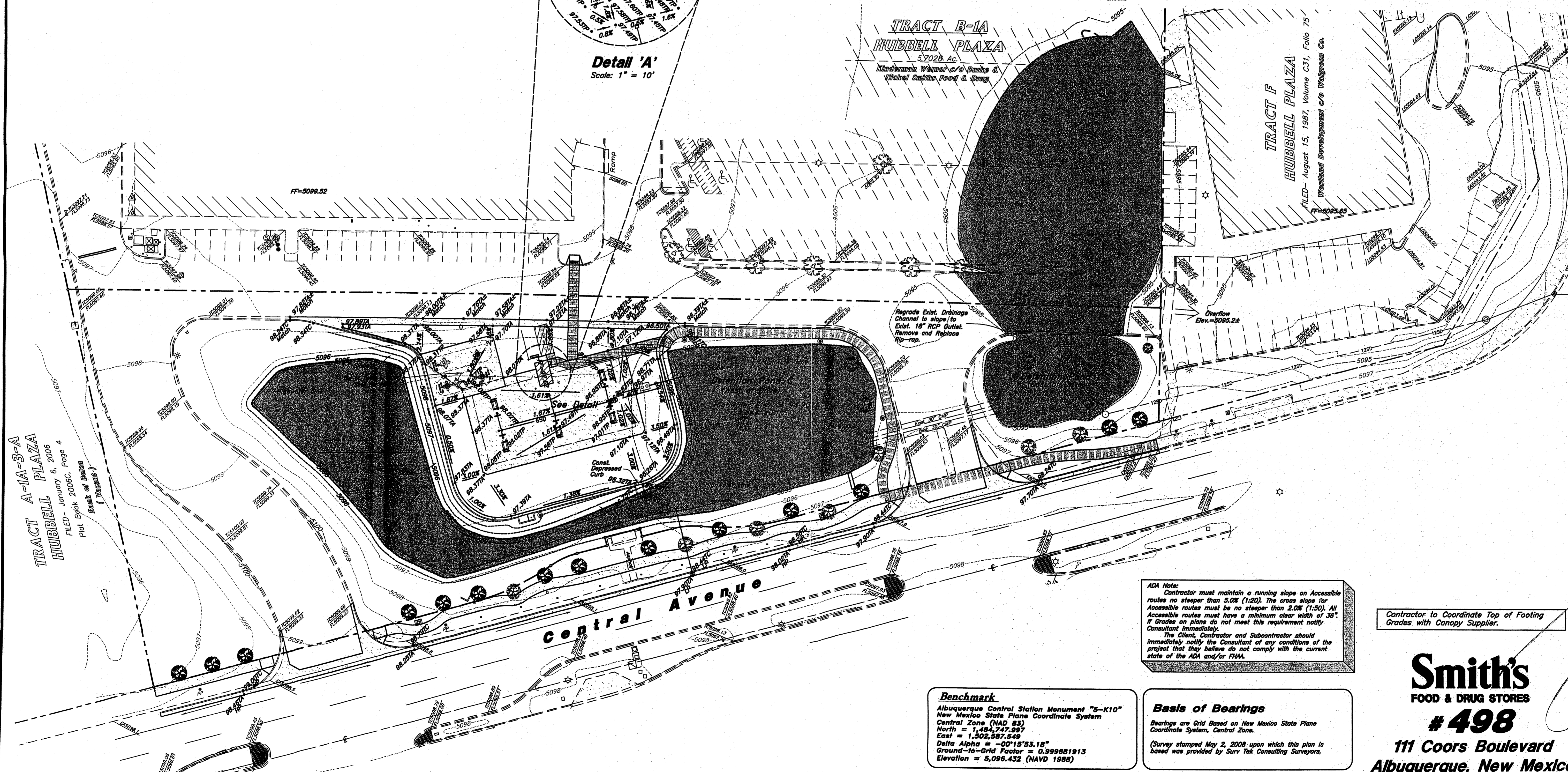
- All work shall be in accordance with the City Public Works Standard.
- Fills shall be compacted per the specifications prepared for the project.
- Areas to receive fill shall be properly prepared and approved by the City Inspector and Geotechnical Engineer prior to placing fill.
- Fills shall be benched into competent material as per specifications.
- Fills shall be benched into competent material as per specifications and geotechnical report.
- All trench backfill shall be tested and certified per the specifications.
- Dust shall be controlled by watering.
- The location and protection of all utilities is the responsibility of the permittee.
- Approved protective measures and temporary drainage provisions must be used to protect adjoining properties during the grading process.
- All public roadways and Smith's parking lot must be cleared daily of all dirt, mud and debris deposited on them as a result of the grading operation. Clearing is to be done to the satisfaction of the City Engineer and Smith's Project Manager.
- The contractor shall provide shoring in accordance with OSHA requirements for trench walls.
- Aggregate base shall be compacted per the geotechnical report prepared for the project.
- Elevations shown on this plan are finish grades. Rough grades are the subject of the improvements shown hereon.
- As part of the construction documents, owner has provided contractor with a topographic survey performed by manual or aerial means. Such survey was prepared for project design purposes and is provided to the contractor as a courtesy. It is expressly understood that such survey may not accurately reflect existing topographic conditions.
- Erosion Control: Protect all inlet boxes, catch basins, etc. with straw bales during construction to protect surrounding properties and streets from site runoff with sandbags and earth berms.
- Match proposed asphalt to sawcut line (typical) unless otherwise shown.

Scale: 1" = 30'



**Legend**

Direction of Drainage	TA
Top of Asphalt	TW
Top of Walk	EA
Edge of Asphalt	FL
Flowline	TC
Top of Curb	TG
Top of Pavement	TP
Ridge line	R
Ground	G
Std. Curb & Gutter	---
Open Face C & G	---
Finish Grade	TRW
Top of Retaining Wall	BRW
Bottom of Retaining Wall	BRW
Proposed Spot	• 78.007A
Exist. Spot	• 78.007A
Proposed Contour	-78-
Exist. Contour	-78-



ADA Note: Contractor must maintain a running slope on Accessible routes no steeper than 5.0% (1:20). The cross slope for Accessible routes must be no steeper than 2.0% (1:50). All Accessible routes must have a minimum clear width of 36". If Grades on plans do not meet this requirement notify Consultant immediately.  
The Client, Contractor and Subcontractor should immediately notify the Consultant of any conditions of the project that they believe do not comply with the current state of the ADA and/or FHWA.

**Benchmark**  
Albuquerque Central Station Monument "5-K10"  
New Mexico State Plane Coordinate System  
Central Zone (NAD 83)  
North = 1,484,747.997  
East = 1,502,507.549  
Delta Alpha = -0°15'53.18"  
Ground-to-Grid Factor = 0.999881913  
Elevation = 5,096.432 (NAVD 1988)

**Basis of Bearings**  
Bearings are Grid Based on New Mexico State Plane Coordinate System, Central Zone.  
(Survey stamped May 2, 2008 upon which this plan is based was provided by Surv Tak Consulting Surveyors.)

Contractor to Coordinate Top of Footing Grades with Canopy Supplier.

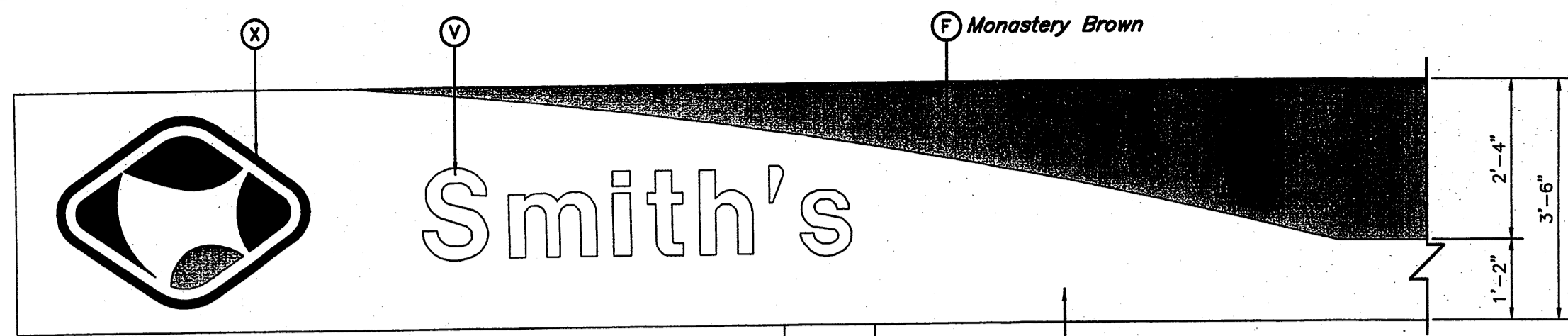
**Smith's**  
FOOD & DRUG STORES  
**#498**  
111 Coors Boulevard  
Albuquerque, New Mexico

**GREAT BASIN ENGINEERING - SOUTH**  
CONSULTING ENGINEERS and LAND SURVEYORS  
2010 North Redwood Road, P.O. Box 16747  
Salt Lake City, Utah 84116  
Telephone (801) 974-1400  
Fax (801) 974-1400

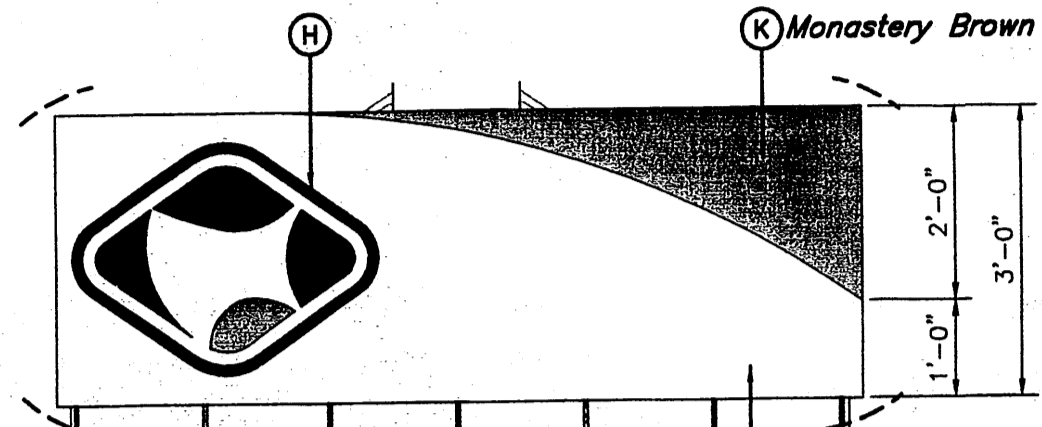
**Fuel Center**  
Preliminary Grading Plan  
**Smith's Food and Drug Stores**  
1550 South Redwood Road  
Salt Lake City, Utah 84104  
Telephone (801) 974-1400

**Smith's Food and Drug Stores**  
12 Feb, 2009  
SHEET NO. **3**

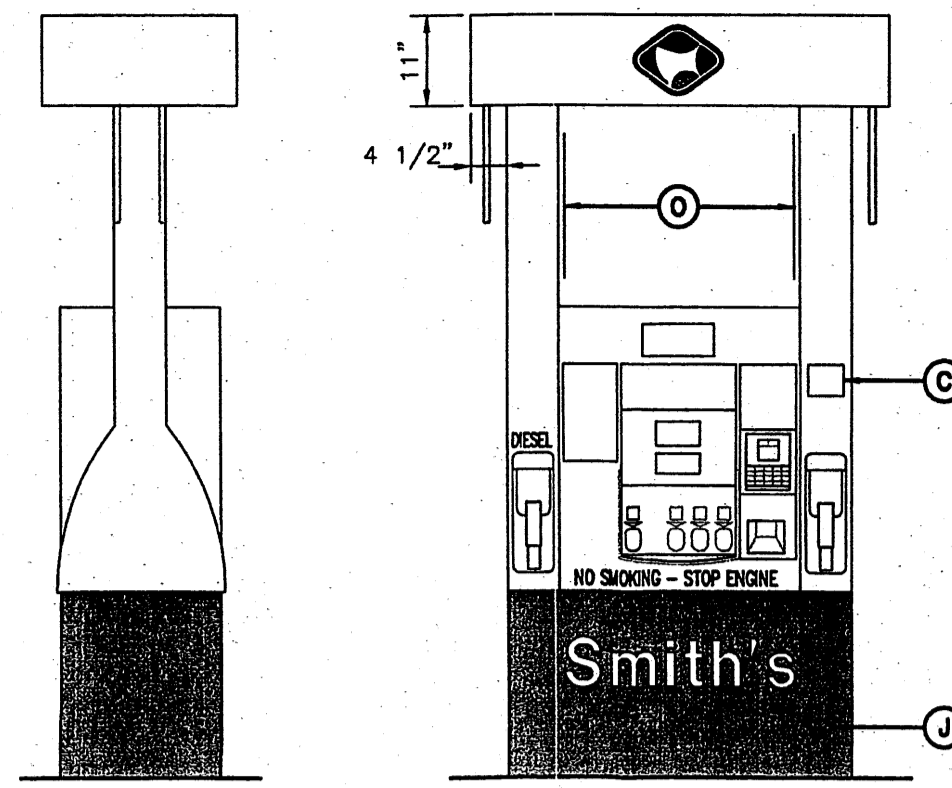
W:\smc498\dwg\498cgs-cr\_prep.dwg, 3, 2/12/2009 1:43:42 PM, 1:30, jf



1 CANOPY GRAPHICS



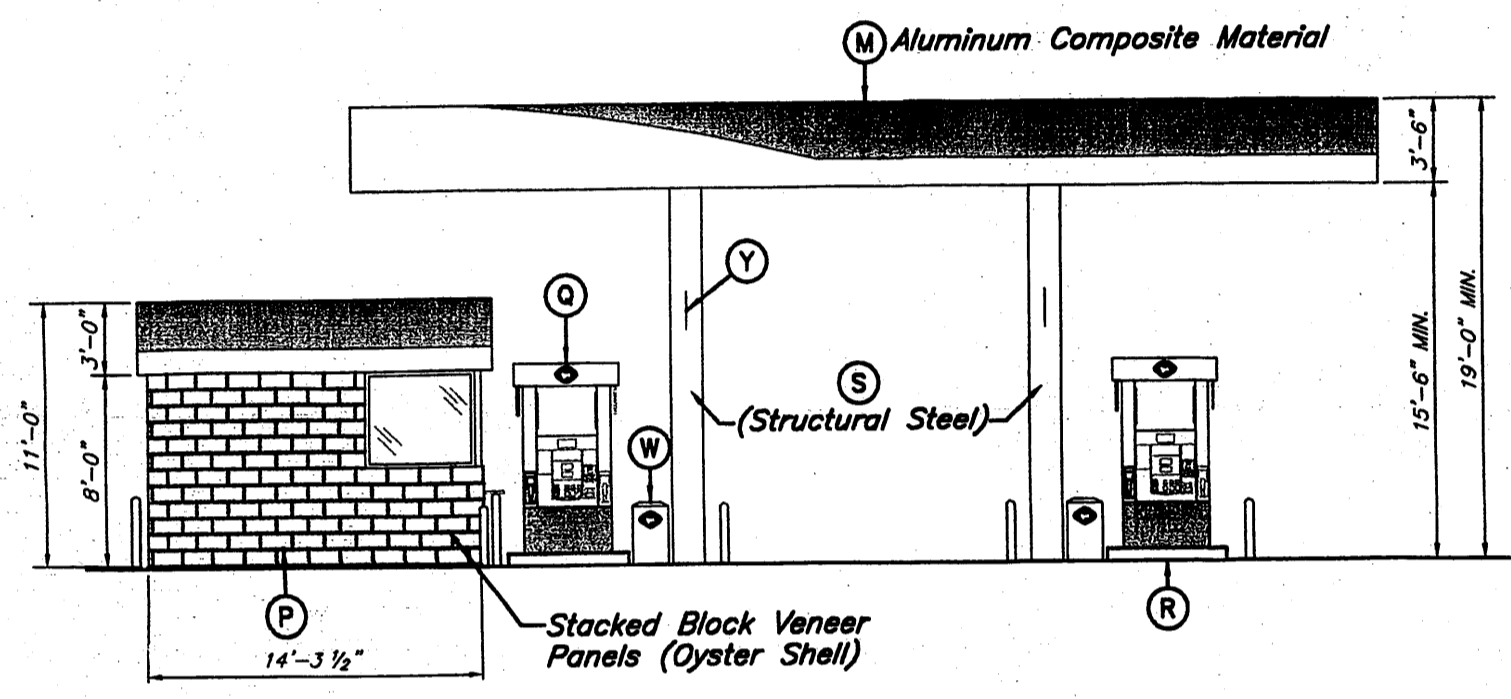
2 KIOSK GRAPHICS  
SCALE: 1/2"=1'-0"



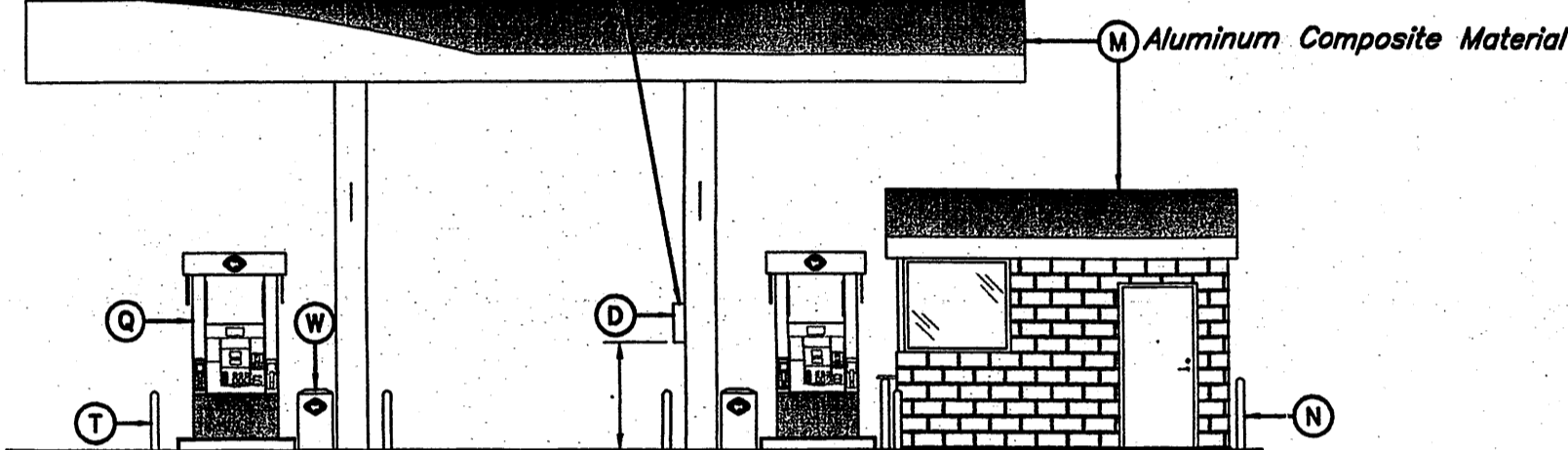
6 DISPENSER ELEVATION  
SCALE: 1/2"=1'-0"

ITEM	DESCRIPTION	COLOR	MANUFACTURER	MODEL	FURNISHED BY	INSTALLED BY
A	INTERNALLY ILLUMINATED IDENTIFICATION SIGN		DUALITE		OWNER	SIGN INSTALLER
B	INTERNALLY ILLUMINATED REMOTE CONTROL PRICE SIGN		SKYLINE PRODUCTS, INC.		OWNER	SIGN INSTALLER
C	STATIC WARNING DECAL		WAYNE		DISPENSER MANUFACTURER	DISPENSER MANUFACTURER
D	REMOTE PRICE SIGN CONTROL BOX		SKYLINE PRODUCTS, INC.		OWNER	SIGN INSTALLER
E	SIGN POLE - G.C. TO PAINT		DUALITE		OWNER	SIGN INSTALLER
F	CANOPY FASCIA	BLACK			CANOPY FABRICATOR	CANOPY FABRICATOR
G	CANOPY FASCIA	#361 Monastery Brown #456 Oyster Shell			CANOPY FABRICATOR	CANOPY FABRICATOR
H	LOGO - NON-ILLUMINATED		DUALITE		OWNER	GENERAL CONTRACTOR
I	PRE-CUT BLACK VINYL ADDRESS DECALS PER LOCAL AUTHORITY SPECIFICATIONS, IF REQUIRED				GENERAL CONTRACTOR	GENERAL CONTRACTOR
J	DISPENSER DOOR GRAPHICS	RED WITH WHITE LETTERS	WAYNE		DISPENSER MANUFACTURER	DISPENSER MANUFACTURER
K	KIOSK FASCIA	#361 Monastery Brown #456 Oyster Shell			KIOSK FABRICATOR	KIOSK FABRICATOR
L	KIOSK FASCIA	#456 Oyster Shell			KIOSK FABRICATOR	KIOSK FABRICATOR
M	CANOPY				CANOPY FABRICATOR	CANOPY FABRICATOR
N	6" DIAMETER BOLLARD - G.C. TO PAINT	SAFETY RED			GENERAL CONTRACTOR	GENERAL CONTRACTOR
O	HEALTH AND SAFETY DECALS		WAYNE		DISPENSER MANUFACTURER	GENERAL CONTRACTOR
P	KIOSK - PREFABRICATED	#456 Oyster Shell			KIOSK FABRICATOR	GENERAL CONTRACTOR
Q	DISPENSER		WAYNE		OWNER	GENERAL CONTRACTOR
R	ISLAND FORMS - G.C. TO PAINT	GRAPHITE SW4017	OPW		OWNER	GENERAL CONTRACTOR
S	CANOPY COLUMNS - G.C. TO PAINT	#456 Oyster Shell			CANOPY FABRICATOR	CANOPY FABRICATOR
T	U-SHAPED BOLLARD - G.C. TO PAINT	SAFETY RED	RIVERSIDE		OWNER	GENERAL CONTRACTOR
U	PRICE SIGN, SEE DETAIL B, THIS SHEET		SKYLINE PRODUCTS, INC.		OWNER	SIGN INSTALLER
V	ILLUMINATED CHANNEL LETTERS	RED	DUALITE		OWNER	SIGN INSTALLER
W	WASTE RECEPTACLE/WINDSHIELD SERVICE CENTER		DCI MARKETING		OWNER	GENERAL CONTRACTOR
X	ILLUMINATED LOGO SIGN		DUALITE		OWNER	SIGN INSTALLER
Y	PUMP NUMBER FLAG				CANOPY FABRICATOR	GENERAL CONTRACTOR

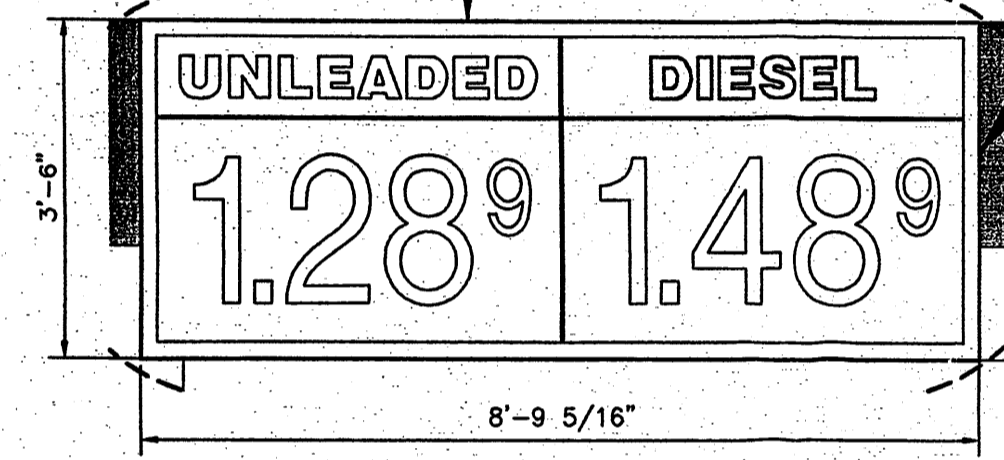
INSTALL REMOTE CANOPY PRICE SIGN CONTROL BOX ON COLUMN SHOWN ON SITE PLAN. INSTALL CONTROL CABLES (FURNISHED WITH SIGN) INSIDE COLUMN AND THROUGH (1) 2 1/2" PVC CONDUIT FROM COLUMN ABOVE DECKING TO CENTERLINE OF PRICE SIGN CABINET. PAINT CONTROL BOX TO MATCH CANOPY COLUMNS



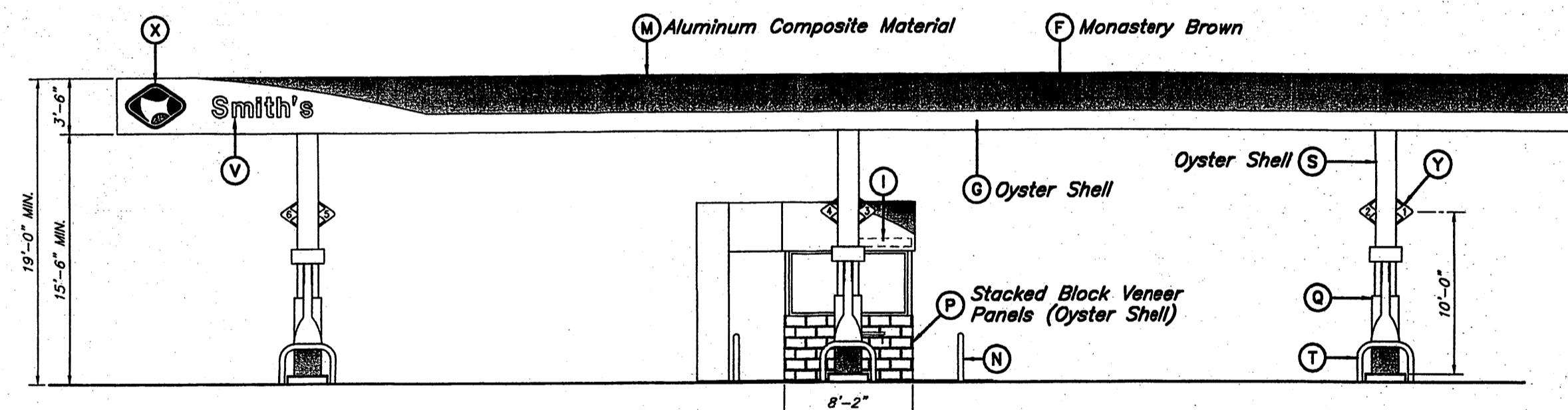
3 WEST ELEVATION  
SCALE: 1/8"=1'-0"



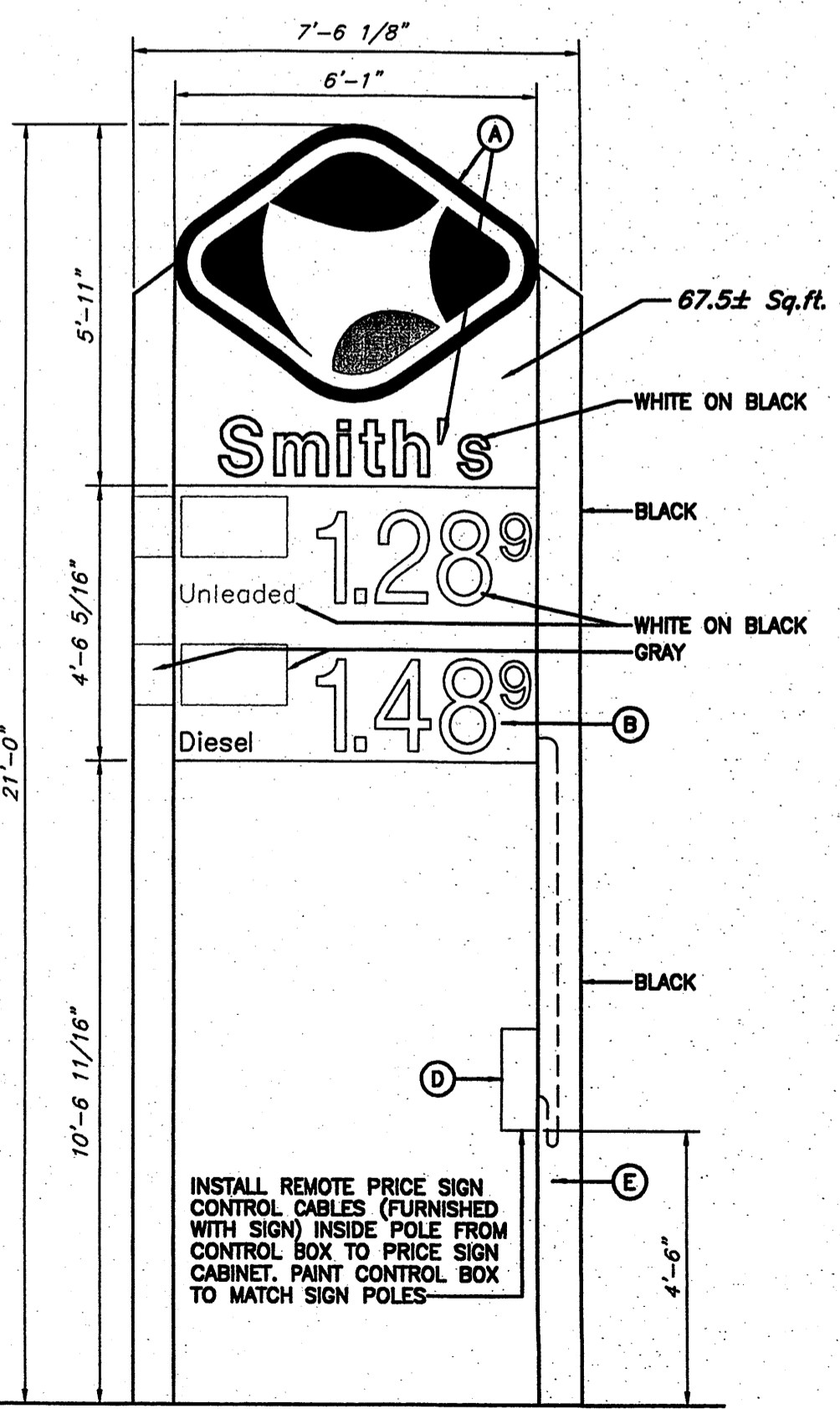
4 EAST ELEVATION  
SCALE: 1/8"=1'-0"



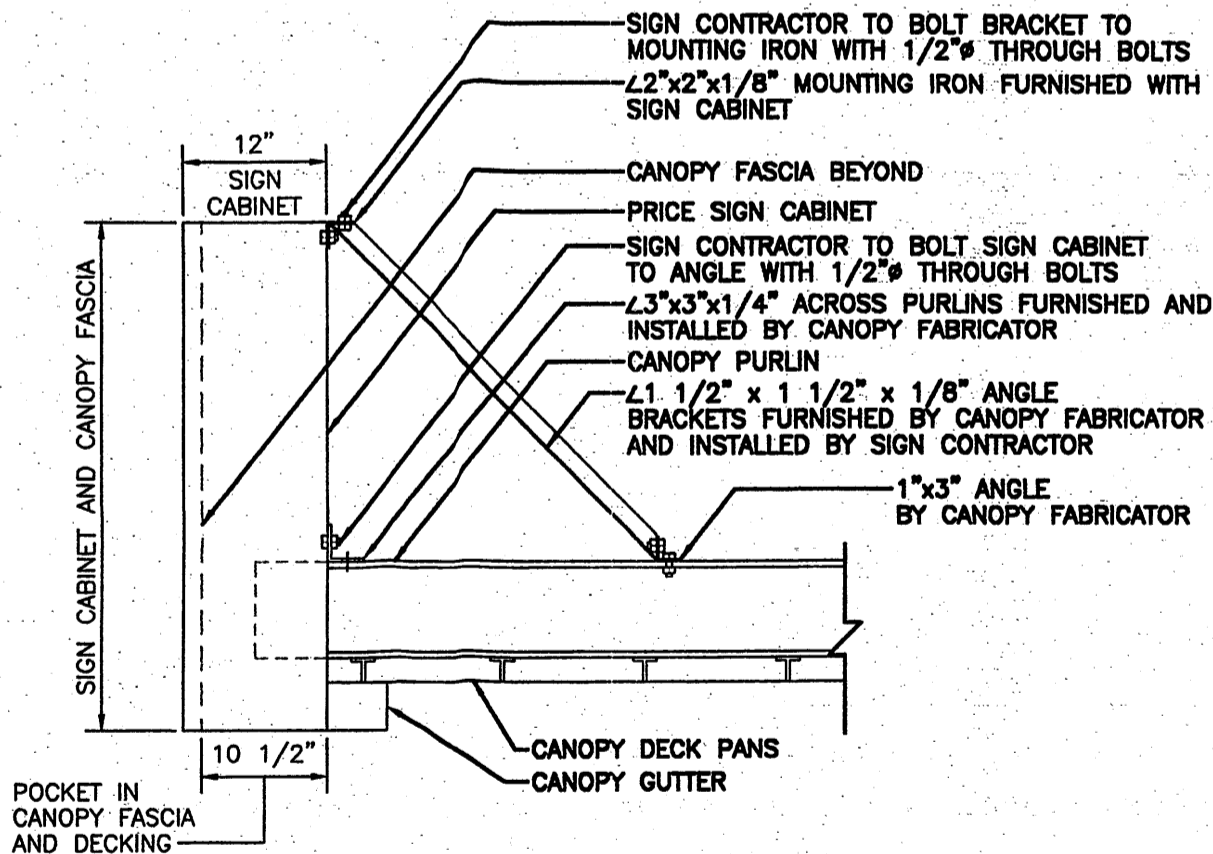
8 CANOPY PRICE SIGN GRAPHICS  
SCALE: 1/2"=1'-0"



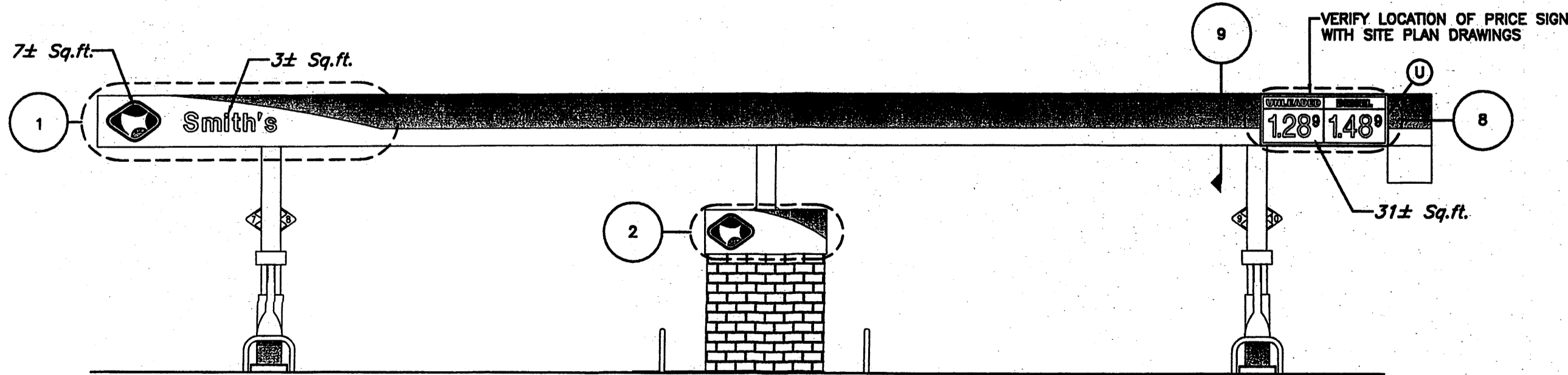
7 SOUTH ELEVATION  
SCALE: 1/8"=1'-0"



5 ID SIGN GRAPHICS  
SCALE: 3/8"=1'-0"



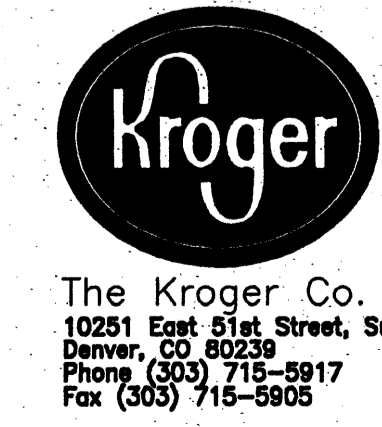
9 SECTION AT CANOPY SIGN  
NOT TO SCALE



10 NORTH ELEVATION  
SCALE: 1/8"=1'-0"

Item	s.f.
Fuel Sign	31
Logo	7
Smith's Sign	3
Total	41

Total s.f. Permitted 48  
(92'x3.5'=322'x0.15=48's.f.)



THIS DRAWING IS AND SHALL REMAIN THE PROPERTY OF THE KROGER COMPANY REPRODUCTION OR ALTERATION OF THIS DRAWING WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE KROGER COMPANY IS PROHIBITED. (NOT PUBLISHED: ALL RIGHTS RESERVED)

NOTE TO CONTRACTOR: THIS SET OF DRAWINGS AND DOCUMENTS IS INTENDED AS A SET OF GUIDELINES FOR THE PROJECT AND ARE INTENDED TO BE USED IN CONJUNCTION WITH A SET OF CONSTRUCTION SPECIFICATIONS TO BE SUPPLIED BY OWNER. THEY MUST BE READ TO INCORPORATE ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES INCLUDING FEDERAL A.D.A. REQUIREMENTS. THIS SET ASSUMES THAT THERE IS NO UNUSUAL SOIL CONDITIONS OR WIND LOADS. THE FAILURE OF THIS CONDITION MAY REQUIRE SIGNIFICANT CHANGES TO THESE DOCUMENTS. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CONFORM TO ALL APPLICABLE CODES AND TO INFORM THE OWNERS/ARCHITECTS OF ANY QUESTIONS OR CLARIFICATIONS WHICH ARE DESIRED. CONTRACTORS SHALL ALSO VISIT THE SITE BEFORE BIDDING. CONTRACTORS ARE REQUIRED TO KNOW ALL OBSERVABLE CONDITIONS AND APPLICABLE CODES.

Designed by: JTF  
 Drafted by: JTF  
 Client Name: Smith's Food and Drug Centers  
 49804S-BE-PREP

**GREAT BASIN ENGINEERING - SOUTH**  
 CONSULTING ENGINEERS and LAND SURVEYORS  
 2010 North Redwood Road, P.O. Box 16747  
 Salt Lake City, Utah 84116  
 Salt Lake City (801) 521-8629 Ogden (801) 394-7288 Fax (801) 521-9651

**Fuel Center Elevations**  
**Building and Structure Elevations**  
**Smith's Food and Drug Stores**  
 1550 South Redwood Road  
 Salt Lake City, Utah 84104  
 Telephone (801) 974-1400

12 Feb, 2009  
 SHEET NO. 4

W:\smc498\Draws\49804S-BE\_Prep.dwg, 4, 2/12/2009 11:26:31 AM, 1:1, jtf

**Key Notes**

- 1. Install (2) 2" conduits from kiosk to manager's office inside Smith's Grocery. One to be used for information systems (furnished & installed by others), and communication cables (furnished and installed by contractor) at customer service desk. One to be left empty for future use. Coordinate with Smith's project manager for exact location of entry point into Smith's, manager's office, and customer service desk. Installation of these conduits shall be accomplished by boring between kiosk and point of entry into Smith's. Alternate: Contractor to provide price for placement of conduit by open cut trenching.
- Contractor shall supply and install the following cables in one of the 2-inch conduits.
- Speaker Wire: General Cable Co. 18 AWG. Shielded (2) Conductor Twisted Type CM (UL), C(UL), CMH, or 300 Volt AWM
- Phone Cable: Belden Corp. 20 AWG (22-24 optional) 12 pair Direct Burial Cable Dual Band II Shielded YR 43722
- Security Video: (3) Cat 5
- Security Communications: 22 ga. AWG Phone Cable Cat 5
- Computer Communications: Fiber Optic Freedom One 6F Wafer Blocked for Fuel Centers. Manufacturer: Corning, Model # 373-COR6.25TBD-06
- 2. Install (1) 4" Conduit and pull wire for power from Smith's store. Tie into existing main panels. Coordinate with Smith's Project Manager for exact location of entry point into Smith's. Installation of Conduits shall be accomplished by boring between kiosk and point of entry into Smith's. Alternate: Contractor to provide price for placement of conduit by open cut trenching.

- 3. Install 3/4" conduit from kiosk to air compressor for AC circuit.
- 4. Install (2) 3/4" conduits from kiosk to monument sign. One conduit to be used for AC circuit for price sign lighting. The other conduit to be used for low voltage communication cable to sign controller (furnished with sign) mounted on sign pole. Control cable (furnished with sign) connecting the price sign to the sign controller to be installed inside sign pole.
- 5. Install (1) 1" Conduit for (1) Cat 5 Cable from Kiosk to Phone Pedestal. Coordinate with local phone company.
- 6. Install price sign mounted on canopy. See sheet A2 and detail (Coordinate with Smith's Project Manager)
- 7. Install (2) 3/4" Conduits to Vent Risers for Future Use
- 8. Install (1) 1" Conduit and (3) 3/4" Conduits from Each Dispenser to Kiosk
- 9. Const. 6" Gate Valve for Emergency Shut Off. Smith's to train Employees to Close in Case of Spill.
- 10. Const. Baffle Type Oil/Water Separator (500 Gal. Min) Rim=52.14 FL In=44.95 FL Out=44.62
- 11. 3" RD Typ 2K Min.
- 12. Const. 3/8" Cullinary Service Line
- 13. Const. 3/4" Albuquerque City Water Authority Standard Meter in Easement by Separate Tapping Permit.

**General Utility Notes:**

- 1. Coordinate all utility connections to building with plumbing plans and building contractor.
- 2. Verify depth and location of all existing utilities prior to constructing any new utility lines. Notify Civil Engineer of any discrepancies or conflicts prior to any connections being made.
- 3. All catch basin and inlet box grates are to be bicycle proof.
- 4. Refer to the site electrical plan for details and locations of electrical lines, transformers and light poles.
- 5. Gas lines, telephone lines, and cable TV lines are not a part of these plans.
- 6. Water meters are to be installed per city standards and specifications. It will be the contractor's responsibility to install all items required.
- 7. Water lines, valves, fire hydrants, fittings etc. are to be constructed as shown. Contractor is responsible, at no cost to the owner, to construct any vertical adjustments necessary to clear sewer, storm drain, or other utilities as necessary including valve boxes and hydrant spoils to proper grade.
- 8. Contractor shall install a 12" concrete collar around all manholes, valves, catch basins, cleanouts & any other structures located within the asphalt.

**Legend**

- Proposed Manhole
- Existing Manhole
- Exist. Telephone Box
- Exist. Inlet Box
- Proposed Inlet Box
- Exist. Catch Basin
- Proposed Catch Basin
- Proposed Fire Hydrant
- Proposed Cullinary Water
- Proposed Water Valve
- Proposed Storm Drain
- Proposed Storm Drain
- Exist. Storm Drain
- Exist. Gas
- Exist. Power
- Exist. Telephone
- Exist. Power pole w/guy
- Exist. Power line
- Reinforced Conc. Pipe
- Top of Grate
- Flowline
- Proposed Light Pole
- Exist. Light Pole
- Exist. Street Light
- Detail Number
- Sheet Number

Scale: 1" = 30'



**Utility Piping Materials:**

All piping to be installed per manufacturers recommendations. Refer to project specifications for more detailed information regarding materials, installation, etc.

Cullinary Service Laterals

- 1. 3/4" to 2" diameter pipe - copper tube ASTM B, Type K, Soft Temper

Alternate

- 1. 3/4" to 2" diameter pipe - HDPE, SDR-9 (200 PSI), PE 3408

Storm Drain Lines

- 1. 10" pipes or smaller - Polyvinyl Chloride (PVC) sewer pipe, ASTM D3034, Type PSM, SDR 35

Designed by: JTF  
 Drafted by: JTF  
 Client Name: Smith's Food and Drug Centers  
 488QAS-UT-PRP

**GREAT BASIN ENGINEERING - SOUTH SURVEYORS**  
 CONSULTING ENGINEERS and LAND SURVEYORS  
 2010 North Redwood Road, P.O. Box 16747  
 Salt Lake City, Utah 84116  
 Salt Lake City (801) 521-8529 Ogden (801) 394-7288 Fax (801) 521-8551

**Fuel Center Preliminary Utility Plan**  
**Smith's Food and Drug Stores**  
 1550 South Redwood Road  
 Salt Lake City, Utah 84104  
 Telephone (801) 974-1400

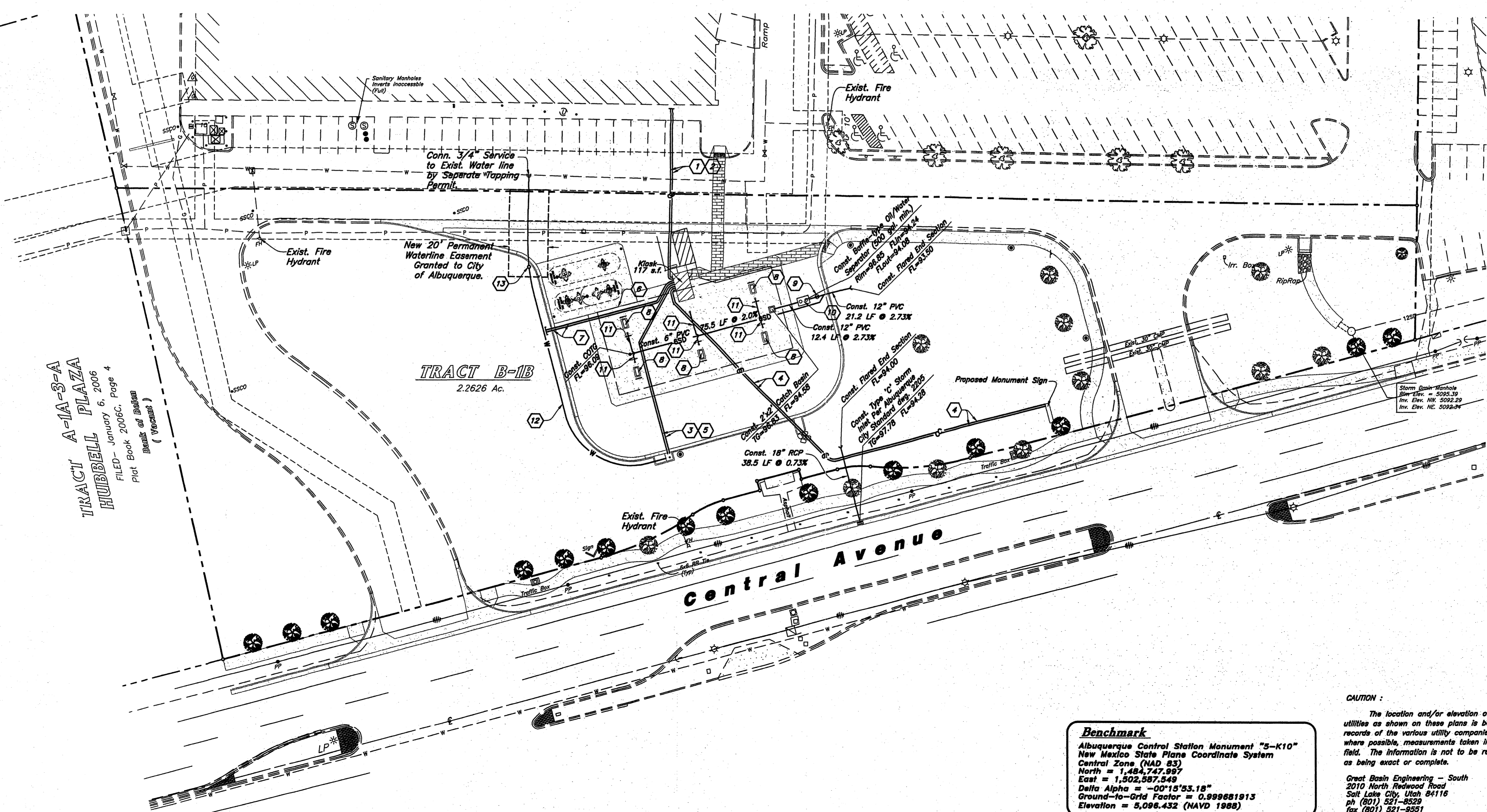


12 Feb, 2009

SHEET NO. **5**

TRACT A-1A-3-A  
 HUBBELL PLAZA  
 FILED - January 6, 2006  
 Plat Book of Indian  
 (Vocant)

TRACT B-1B  
 2.2626 Ac.



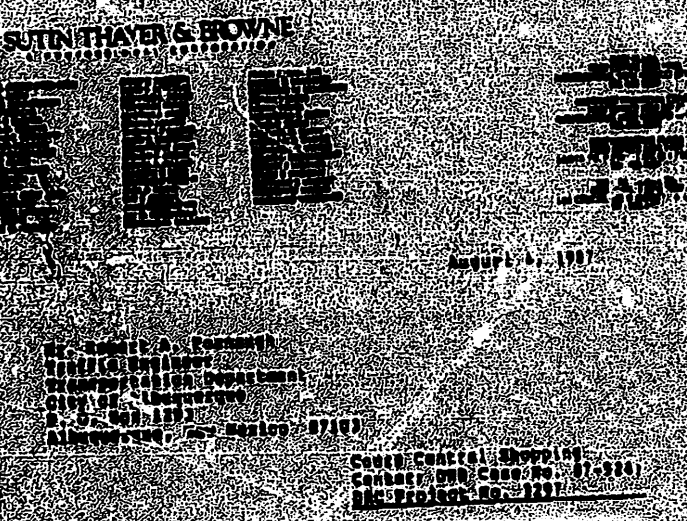
**Benchmark**  
 Albuquerque Central Station Monument "S-K10"  
 New Mexico State Plane Coordinate System  
 Central Zone (NAD 83)  
 North = 1,484,747.997  
 East = 1,502,507.549  
 Delta Alpha = -00°15'53.18"  
 Ground-to-Grid Factor = 0.999681913  
 Elevation = 5,098.432 (NAVD 1988)

**CAUTION:**  
 The location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete.

Great Basin Engineering - South  
 2010 North Redwood Road  
 Salt Lake City, Utah 84116  
 ph (801) 521-8529  
 fax (801) 521-8551  
 C/O Nicole Anderson

CALL BEFORE YOU DIG.  
 IT'S FREE &  
 IT'S THE LAW.  
**1-800-662-4111**  
**208-2100**  
 (SALT LAKE METRO)  
 205 WEST 700 SOUTH, SUITE 101  
 SALT LAKE CITY, UTAH 84105

**Smith's**  
 FOOD & DRUG STORES  
**#498**  
 111 Coors Boulevard  
 Albuquerque, New Mexico



Dear Mr. Foreman:

This letter will confirm the agreement between the City of Albuquerque and the owner of the Coors Central Shopping Center, and the City of Albuquerque with respect to the following described infrastructure requirements that are to be provided to the project:

Eight inch standard curb, six foot sidewalk, and twelve to fourteen foot arterial pavement along the North side of Coors Central Avenue from Airport Road to the West to the lot line between Tracts B and F, Hubbel Phase on the East.

The City has agreed that the above-described infrastructure will not be constructed at this time, and accordingly will not be on the infrastructure list for the Coors Central Shopping Center. The owner is prepared to proceed with the Coors Central Shopping Center as part of a special assessment in the district. Coors Central, Inc. will participate in the cost of such improvements to the same extent that such costs are assessable against the shopping center in accordance with standard special assessment district procedures.

Yours faithfully,  
 City of Albuquerque  
 Planning Department

Approved: *Alphonse A. Astorga* 7-15-87  
 Planning Director

FILE NO. 7-86-24-1  
 PRELIMINARY SUBMITTAL  
 REVISIONS 03-08-87

ALL NEW PUBLIC SIDEWALKS TO BE LOCATED AT NEW R.O.W. LINES

- CONDITIONS:
- USES A-E SHALL MAINTAIN A TOTAL SQUARE FRONTAGE OF 147,575 SQUARE FEET
  - SITE DEVELOPMENT PLANS MUST BE SUBMITTED TO THE ENVIRONMENTAL PLANNING COMMISSION FOR USES C-J
  - CONCERNS OF TRANSPORTATION DEVELOPMENT MUST BE MET PER THEIR COMMENTS ATTACHED TO THIS REPORT
  - PAD F MUST REDUCE THE NUMBER OF SMALL CAR SPACES FROM 25 TO 13 AND ASIDE WIDTHS MUST BE 24 FEET WIDE
  - ALL PAD BUILDINGS MUST MAINTAIN THE REQUIRED NUMBER OF PARKING SPACES FOR THE SQUARE FRONTAGE BUILT
  - THE LOCATION AND SIZE OF REFUSE CONTAINERS MUST BE APPROVED BY THE REFUSE DIVISION PRIOR TO FINAL PLAN SIGN-OFF
  - STREET TREES ON COORS MUST BE PLACED OUTSIDE THE RIGHT-OF-WAY. (SEE LANDSCAPE PLAN - SHEET 2)
  - A BARRIER CURB MUST BE PLACED AROUND THE DRAINAGE POND
  - THE TWO FREE-STANDING MONUMENT SIGNS AS SHOWN ARE ACCEPTABLE TO THE REFUSE DIVISION
  - SITE PLAN MODIFICATIONS REQUIRED FOR USES A-F BE DELIVERED TO STAFF
  - A REPEAT IS REQUIRED TO ACCOMPLISH VARIATIONS, GRANTS OF EASEMENTS, AND/OR LAND EXCHANGES NECESSARY
  - VINES MUST BE PLANTED ALONG THE BASE OF THE CHAINLINK FENCE TO VISUALLY BUFFER USE
  - THE 20'-FOOT DRAIN LINE EASEMENT MUST BE MODIFIED TO INCLUDE A WATERLINE EASEMENT, THE SEGMENT WEST OF THE NEW WELL SITE MUST BE SHIFTED NORTH OF THE STORAGE BUILDING AND IS TO BE 30'-FOOT ACCESS, DRAIN LINE AND WELL COLLECTOR LINE EASEMENT, THE SEGMENT EAST OF THE NEW WELL SITE WILL BE A 25'-FOOT DRAIN LINE AND WATERLINE EASEMENT.

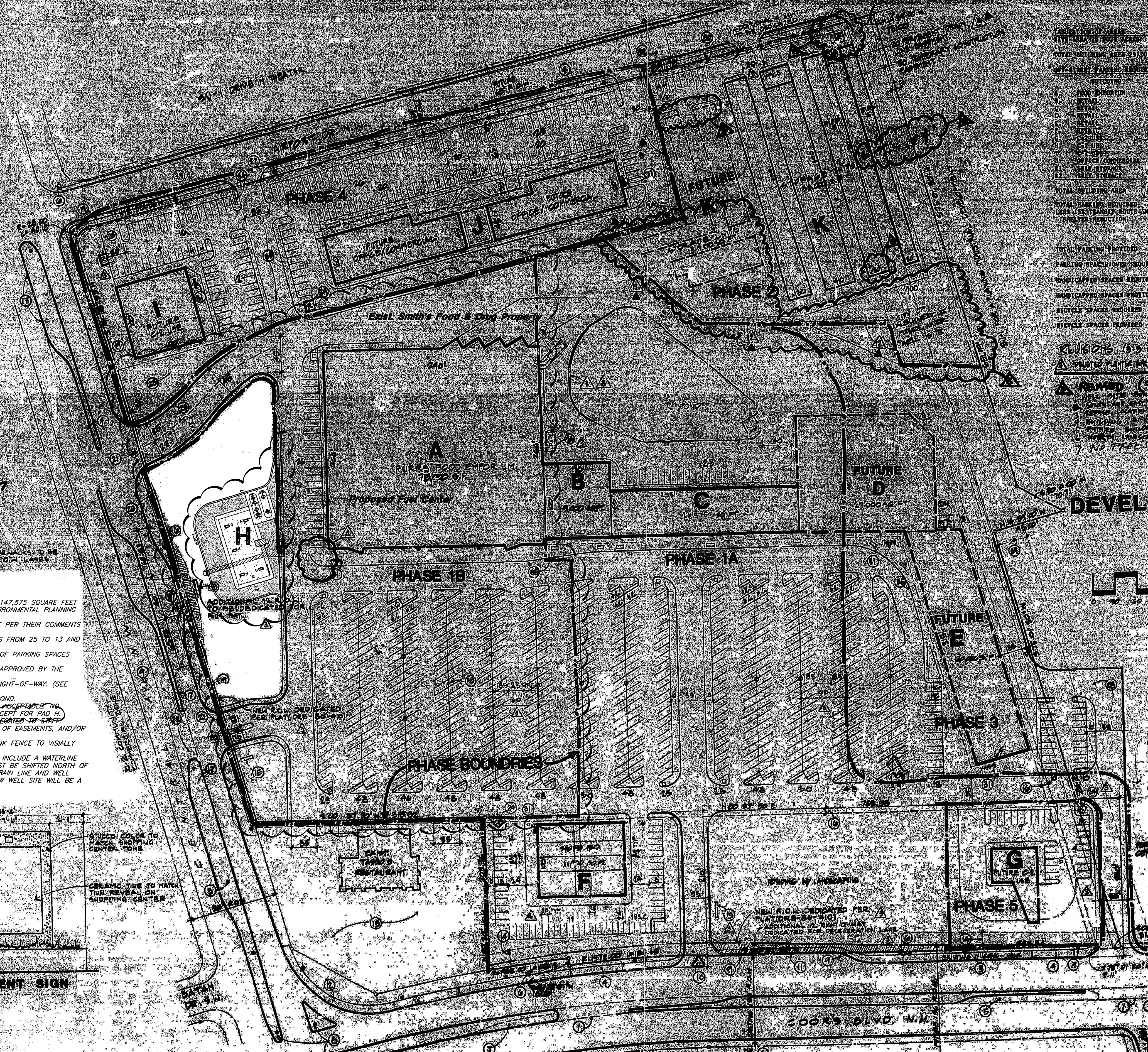
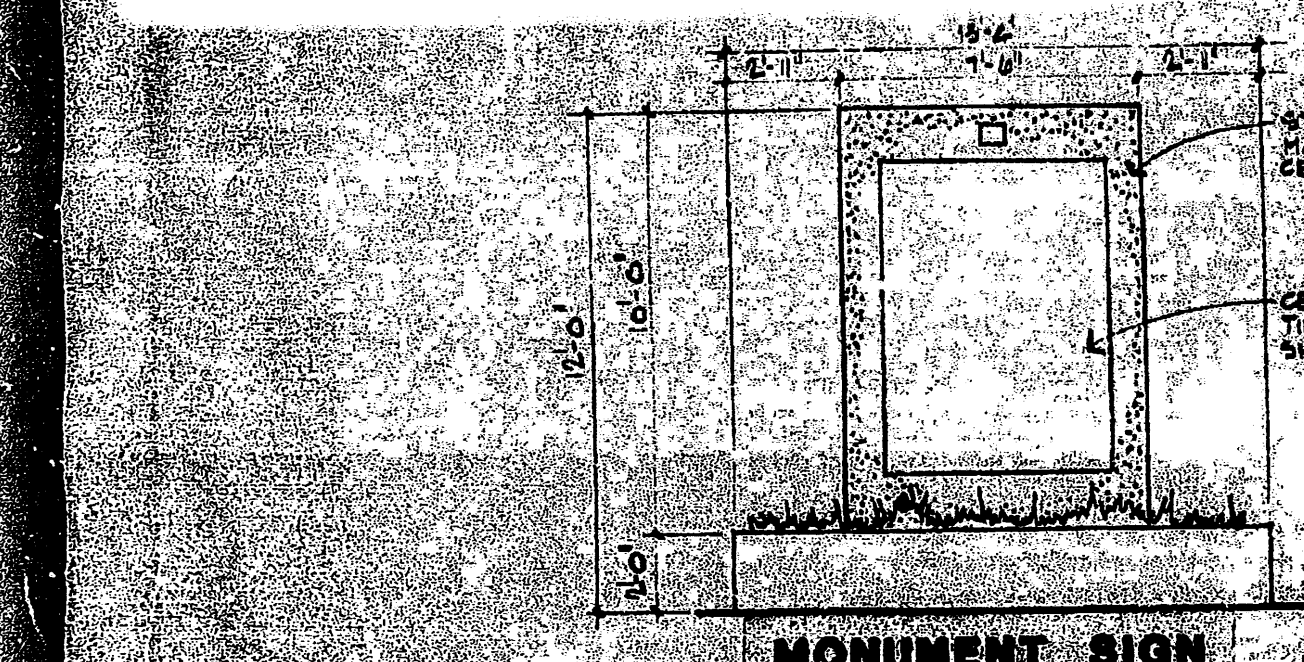


TABLE OF AREAS  
 WITH AREA IN SQUARE FEET

OFF-STREET PARKING REQUIREMENTS	REQUIREMENTS	PARKING SPACES
A. FINE SHOPPING	21,000 S.F.	175
B. RETAIL	4,572 S.F.	65
C. RETAIL	27,000 S.F.	155
D. RETAIL	60,000 S.F.	400
E. RETAIL	17,572 S.F.	100
F. CHURCH	2,000 S.F.	15
G. OFFICE	11,000 S.F.	1
H. OFFICE/COMMERCIAL	2,000 S.F.	100
I. SELF STORAGE	2,000 S.F.	FOR OFFICE/MANAGER
J. SELF STORAGE	18,700 S.F.	
TOTAL BUILDING AREA	221,242 S.F.	896
TOTAL PARKING PROVIDED		959
TOTAL PARKING REQUIRED		896
EXCESS PARKING SPACES AND SPILLER REDUCTION		143
TOTAL SPACES REQUIRED		847
TOTAL SPACES PROVIDED		959
PARKING SPACES OVER REQUIRED		112
HANDICAPPED SPACES REQUIRED		20
HANDICAPPED SPACES PROVIDED		27
BICYCLE SPACES REQUIRED		41
BICYCLE SPACES PROVIDED		48

REVISIONS (03-08-87)

1. PLANTING PLANS FOR PHASE 1A

2. REVISED (03-08-87) SITE A

3. REVISED (03-08-87) SITE B

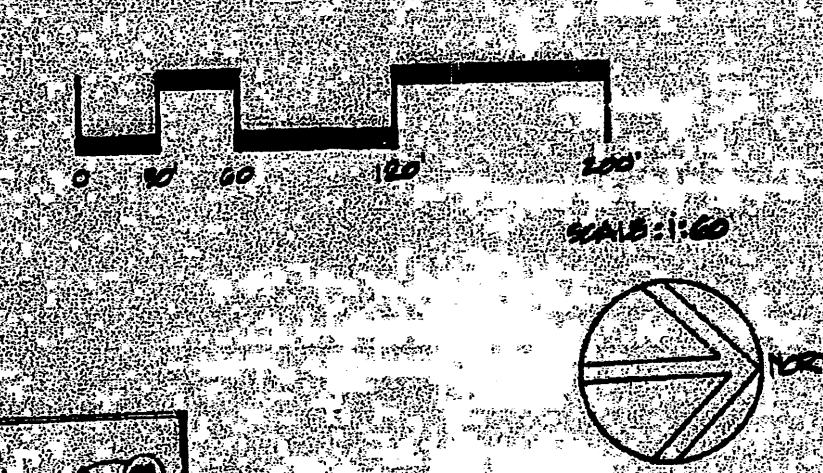
4. REVISED (03-08-87) SITE C

5. REVISED (03-08-87) SITE D

6. REVISED (03-08-87) SITE E

7. NO FREE-STANDING SIGN VINE

### SITE DEVELOPMENT PLAN



ADMINISTRATIVE  
 DEVELOPMENT PLAN AMENDMENT  
 FILE NO. 7-86-24-1  
 PREPARED BY: *A. Astorga*  
 CHECKED BY: *J. D. Miller*  
 DATE: 8-28-87

- GENERAL NOTES:
- REFUSE CONCRETE PAD AND ENCLOSURES AS PER CITY OF ALBUQUERQUE REFUSE ORDINANCE.
  - PRESENTLY CENTRAL AVENUE IS RURAL SECTION, FUTURE CURB AND GUTTER, BUS BAY, AND SIDEWALK TO BE COORDINATED WITH THE TRAFFIC ENGINEER ALONG CENTRAL AVENUE, AND CONSTRUCTION BY OWNER.
- KEYED NOTES:
- FUTURE MEDIANS.
  - ACCESS EASEMENT TO BLUE WATER ROAD THRU TRACT 401 WILL BE GRANTED WHEN MEDIAN OPENING IS CLOSED.
  - EXISTING LIGHT POLE.
  - EXISTING DRIVE CUT TO BE REMOVED BY OWNER.
  - PROVIDE TEMPORARY LEFT TURN LANE IN EXISTING MEDIAN BY DEVELOPER.
  - EXISTING FIRE HYDRANT.
  - CLOSE EXISTING LEFT TURN LANE BY DEVELOPER.
  - EXISTING TRAFFIC LIGHTS.
  - RELOCATE EXISTING LIGHT POLE.
  - NEW CONTROL ISLAND.
  - NEW ACCELERATION LANE OFF COORS BLVD., NW.
  - EXISTING TRAFFIC LIGHTS.
  - EXISTING ASPHALT PAVING.
  - 6" LANDSCAPE BUFFER.
  - MONUMENT SIGN LOCATION.
  - 7.5' UTILITY EASEMENT.
  - EXISTING MEDIAN.
  - BUS SHELTER.
  - 6' SIDEWALK.
  - CITY OF ALBUQUERQUE STANDARD RADIUS CURBS WITH VALLEY GUTTER TYPICAL AT ALL ENTRANCES.
  - RELOCATE EXISTING POWER POLE.
  - PROPOSED MEDIAN CUT.
  - DIVIDER LINE.
  - DUMPSTER.
  - LANDSCAPING.
  - ADDITIONAL 2 FEET OF R.O.W. GRANTED BY PLAT.
  - BUS BAY.



APPROVED AS SHOWN BY:

*John Clark* 12-2-87  
 CITY ENGINEER

*John Clark* 12-2-87  
 CITY ENGINEER

*John Clark* 12-2-87  
 CITY ENGINEER

*John Clark* 12-2-87  
 CITY ENGINEER

*John Clark* 12-2-87  
 CITY ENGINEER

PROJECT MANAGER: *GENE B. BATHARD* 8/24/87

DATE: 8/24/87

PROJECT: SITE DEVELOPMENT PLANS, PHASE 1, 2, 3, 4, 5

BY: *A. Astorga*

DATE: 8/28/87

delabonne-ramon & co  
 architects  
 1200 Woodward Center Tower Plaza, Suite 200  
 Albuquerque, NM 87102-5602

2-86-24-1