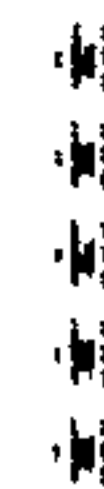




Albuquerque Bernalillo County  
Water Utility Authority



***DEVELOPMENT REVIEW BOARD***

***Standard Comment Sheet***

**DRB-1007566      Item No. 13      Zone Atlas B-20**

**DATE ON AGENDA 12/03/08**

**INFRASTRUCTURE REQUIRED YES ( )NO**

**CROSS REFERENCE: N/A**

**TYPE OF APPROVAL REQUESTED: ( ) ANNEXATION**

**( ) SKETCH PLAT ( X ) PRELIMINARY PLAT ( ) FINAL PLAT**

**( ) SITE PLAN FOR SUBDIVISION ( ) SITE PLAN FOR BUILDING PERMIT**

**Comments:**

1. Must request a Water/Sewer Availability statement.
2. Lot is within 200' of existing water/sewer lines and extension of lines will be required by Water Authority Ordinances.

**If you have any questions or comments please call Roger Green at 924-3989.**



**City of Albuquerque**  
**Parks and Recreation Department**  
 PO Box 1293, Albuquerque, New Mexico 87103  
 Inter-Office Correspondence

Development Review Board Comments

**Project Number:** 1007566  
**Application Number:** 08DRB-70488

**DRB Date:** 12/3/2008  
**Item Number:** 13

**Subdivision:**

Lot 25, Block 16, North Albuquerque Acres Unit 3

**Zoning:** RD

**Zone Page:** B-20

**New Lots (or units) :** 1

**Request for:**

- Sketch Plat Review & Comment
- Bulk Land Variance
- Site Development Plan for Subdivision
- Site Development Plan for Building Permit
- Preliminary Plat
- Final Plat
- Vacation of Public RoW
- Vacation of Public Easement
- Vacation of Private Easement
- Temp. Deferral of Sidewalk Construction
- Sidewalk Variance
- SIA Extension
- Other


**Parks and Recreation Comments:**

The R-D zone requires 2,400 square feet of open space for each dwelling unit. With submittal of the Preliminary Plat/Site Development Plan, provide an Open Space Calculation Table showing the lot number, lot size, building & driveway area, provided open space, remaining open space requirement (this table can be separate from the plat itself). Provide a dimensioned Typical Lot Plan, which shows a typical lot with the building footprint and driveway (this should be on the Site Development Plan rather than the plat). Include one of the following notes on the Preliminary and Final Plats indicating how the total remaining open space requirement will be met:

All open space requirements are met on the lot with the dwelling per the provisions of Section 14-16-3-8 (A) (1).

Total remaining open space requirements are met via a cash payment to the City of Albuquerque per the provisions of Section 14-16-3-8 (A) (2).

Total remaining open space requirements are met via the provision of detached open space per the provisions of Section 14-16-3-8 (A) (3). \*Note: This option is only applicable to land covered by a Sector Development Plan.

**Signed:**   
 \_\_\_\_\_  
 Christina Sandoval, (DMD)

Phone: 768-3808



**City of Albuquerque**  
**Parks and Recreation Department**  
 PO Box 1293, Albuquerque, New Mexico 87103  
 Inter-Office Correspondence

Development Review Board Comments

**Project Number:** 1007566  
**Application Number:** 08DRB-70488

**DRB Date:** 12/3/2008  
**Item Number:** 13

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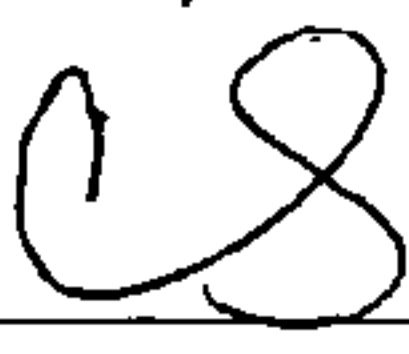
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The R-D zone requires 2,400 square feet of open space for each dwelling unit. With submittal of the Preliminary Plat/Site Development Plan, provide an Open Space Calculation Table showing the lot number, lot size, building & driveway area, provided open space, remaining open space requirement (this table can be separate from the plat itself). Provide a dimensioned Typical Lot Plan, which shows a typical lot with the building footprint and driveway (this should be on the Site Development Plan rather than the plat). Include one of the following notes on the Preliminary and Final Plats indicating how the total remaining open space requirement will be met:

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**Signed:** 

Christina Sandoval, (DMD)

Phone: 768-3808

3. **Project# 1007610**  
08DRB-70523 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL  
SURV-TEK INC agent(s) for ANN STEINMETZ AND BRUCE CAMPBELL request(s) the above action(s) for all or a portion of Lot(s) 11, 12 & 13, **MAJOR ACRES (TO BE KNOWN AS LOTS 12-A & 13-A)** zoned R-1, located on MAJOR AVE NW BETWEEN 10TH ST NW AND FITZGERALD RD NW containing approximately 1.1419 acre(s). (G-14) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR COPIES OF 1971 WARRANTY DEEDS.**
  
4. **Project# 1006003**  
08DRB-70527 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL  
BOHANNAN HUSTON INC agent(s) for MESA DEL SOL LLC request(s) the above action(s) for all or a portion of Tract(s) 23, **MESA DEL SOL INNOVATION PARK (TO BE KNOWN AS TRACTS 23-A & 23-B)** zoned PC, located on STYKER RD SE BETWEEN UNIVERSITY BLVD EASR AND UNIVERSITY BLVD WEST containing approximately 3.2628 acre(s). (R-16)**DEFERRED TO 1/7/09 AT THE AGENT'S REQUEST.**
  
5. **Project# 1003095**  
08DRB-70526 SIDEWALK VARIANCE  
DAC ENTERPRISES, INC agent(s) for JAMES SELIGMAN request(s) the above action(s) for all or a portion of Lot(s) 2A1, **LA MIRADA ADDITION** zoned O-1, located on LA MIRIADA PL NE BETWEEN WYOMING BLVD NE AND PENNSYLVANIA ST NE containing approximately 1.1443 acre(s). (G-19) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**
  
6. **Project# 1007489**  
08DRB-70529 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL  
CITY OF ALBUQUERQUE REDEVELOPMENT AGENCY request(s) the above action(s) for all or a portion of Lot(s) 106-108, Tract(s) C-42, **HUBBELL HEIGHTS/TOWN OF ATRISCO** zoned SU-2 FOR IP, located on CENTRAL AVE NW BETWEEN UNSER NW AND BLUEWATER NW containing approximately 9.95 acre(s). (H-10) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION FOR VERIFICATION OF ADEQUATE EASEMENT AND TO PLANNING FOR VERIFICATION OF ZONING USE.**
  
7. ~~**Project# 1007566**~~  
08DRB-70520 SIDEWALK VARIANCE  
MARK GOODWIN & ASSOCIATES, PA agent(s) for SCOTT CLARK request(s) the above action(s) for all or a portion of Lot(s) 25, Block(s) 16, **NORTH ALBUQUERQUE ACRES Unit(s) 3**, zoned R-D, 3 DU/A, located on GLENDALE NE BETWEEN BENJAMIN PLACE NE AND VENTURA NE containing approximately .8769 acre(s). (B-20) **A MATERIALS VARIANCE FOR VARAINCE TO SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT IN THE PLANNING FILE. THE INFRASTRUCTURE LIST WAS AMENDED AT THIS 12/31/08 HEARING WITH RESPECT TO THE VARIANCE.**

12. **Project# 1007472**  
08DRB-70493 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL  
HIGH MESA CONSULTING GROUP agent(s) for ALBUQUERQUE PUBLIC SCHOOLS request(s) the above action(s) for all or a portion of Tract(s) A, **HIGHLAND HIGH SCHOOL** zoned O-1, located on COAL AVE SE BETWEEN JEFFERSON ST SE AND JACKSON ST SE containing approximately 23.47 acre(s). (K-17) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**
13. ~~**Project# 1007566**~~  
08DRB-70488 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL  
CARTESIAN SURVEYS INC agent(s) for SCOTT CLARK request(s) the above action(s) for all or a portion of Lot(s) 25, Block(s) 16, **NORTH ALBUQUERQUE ACRES Unit(s) 3**, zoned R-D, 3 DU/A, located on GLENDALE AVE NE BETWEEN BENJAMIN PL NE AND VENTURA ST NE containing approximately .8769 acre(s). (B-20) **DEFERRED TO 12/17/08 AT THE AGENT'S REQUEST.**
14. **Project# 1007569**  
08DRB-70497 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL  
WAYJOHN SURVEYING INC agent(s) for SHARON GORMAN request(s) the above action(s) for all or a portion of Tract(s) A & C, **(TO BE KNOWN AS LANDS OF GORMAN)** located on I-40 FRONTAGE RD BETWEEN 2ND ST NW AND 4TH ST NW containing approximately .7159 acre(s). (H-14) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR A COPY OF THE RECORDED PLAT.**

**NO ACTION IS TAKEN ON THESE CASES:**  
**APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING**

15. **Project# 1007568**  
08DRB-70494 SKETCH PLAT REVIEW  
AND COMMENT  
RICHARD FLORES agent(s) for RICHARD FLORES request(s) the above action(s) for all or a portion of Lot(s) 4, **GLENDALE ADDITION** zoned C-3, located on SANDIA RD NW BETWEEN 2ND ST NW AND BN & SF RR (F-15) **THE ABOVE ITEM WAS REVIEWED AND COMMENTS WERE GIVEN.**
16. Other Matters: None

ADJOURNED: 10:30



# DRB CASE ACTION LOG (PREL/FINAL)

REVISED 10/08/07

**This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.**

DRB Application No.: 08DRB-70488

Project # 1007566

Project Name: NORTH ALBUQUERQUE ACRES UNIT 3

Agent: CARTESIAN SURVEYS INC

Phone No.: 896-3050

Your request was approved on \_\_\_\_\_ by the DRB with delegation of signature(s) to the following departments.

### OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

UTILITIES: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

CITY ENGINEER / AMAFCA: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

PARKS / CIP: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

PLANNING (Last to sign): \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

- Planning must record this plat. Please submit the following items:**
  - The original plat and a mylar copy for the County Clerk.
  - Tax certificate from the County Treasurer.
  - Recording fee (checks payable to the County Clerk). **RECORDED DATE:** \_\_\_\_\_
  - Tax printout from the County Assessor.
    - 3 copies of the approved site plan. Include all pages.**
    - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
    - Property Management's signature must be obtained prior to Planning Department's signature.**
    - AGIS DXF File approval required.**
    - Copy of recorded plat for Planning.**

**City of Albuquerque Planning Department**  
**One Stop Shop – Development and Building Services**

12/15/2008 Issued By: E08375

**Permit Number: 2008 070 520** **Category Code 910**

Application Number: 08DRB-70520, Sidewalk Variance

Address:

Location Description: GLENDALE NE BETWEEN BENJAMIN PLACE NE AND VENTURA NE

Project Number: 1007566

**Applicant**  
Scott Clark

**Agent / Contact**

5600 Eubank Ne  
Albuquerque NM 87111  
883-1414

**Application Fees**

441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	\$20.00
441006/4993000	DRB Actions	
<b>TOTAL:</b>		<b>\$20.00</b>

City of Albuquerque  
Treasury Division

12/15/2008 2:29PM LOC: ANHX  
US# 007 TRANS# 0034  
RECEIPT# 00107942-00107942  
PERMIT# 2008070520 TRBL#0  
Trans Amt \$20.00  
Conflict Manag. Fee \$20.00  
CR \$20.00  
CHANGE \$0.00

Thank You

**City of Albuquerque Planning Department**  
**One Stop Shop – Development and Building Services**

11/18/2008 Issued By: PLNSDH

\*\*\*  
\*\*\*  
\*\*\*

**Permit Number:** 2008 070 488 **Category Code 910**

**Application Number:** 08DRB-70488, Minor - Preliminary/ Final Plat Approval

**Address:**

**Location Description:** GLENDALE AVE NE BETWEEN BENJAMIN PL NE AND VENTURA ST NE

**Project Number:** 1007566

**Applicant**  
Scott Clark

5600 Eubank Blvd Ne  
Albuquerque NM 87111  
883-1414

**Agent / Contact**

Cartesian Surveys Inc  
Jada Plotner  
P.O. Box 44414  
Albuquerque NM 87124

wplotnerjr@aol.com

**Application Fees**

441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	\$20.00
441006/4983000	DRB Actions	\$285.00
<b>TOTAL:</b>		<b>\$305.00</b>

City Of Albuquerque  
Treasury Division

11/18/2008 9:44AM LOC: ANNX  
 WSH 006 TRANS# 0014  
 RECEIPT# 00100343-00100343  
 PERMIT# 2008070488 TRSCCS  
 Trans Amt \$305.00  
 Conflict Manag. Fee \$20.00  
 DRB Actions \$285.00  
 CK \$305.00  
 CHANGE \$0.00

Thank You





Supplemental form

**SUBDIVISION**

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

**STORM DRAINAGE (Form D)**

- Storm Drainage Cost Allocation Plan

**S Z ZONING & PLANNING**

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICATION INFORMATION:**

Professional/Agent (if any): Mark Goodwin & Associates, PA PHONE: 828-2200  
 ADDRESS: P.O. Box 90606 FAX: \_\_\_\_\_  
 CITY: Albuquerque STATE NM ZIP 87199 E-MAIL: greg@goodwinengineers.com  
 APPLICANT: Scott Clark PHONE: 883-1414  
 ADDRESS: 5600 Eubank NE FAX: \_\_\_\_\_  
 CITY: Albuquerque STATE NM ZIP 87111 E-MAIL: \_\_\_\_\_  
 Proprietary interest in site: Owner List all owners: \_\_\_\_\_

DESCRIPTION OF REQUEST: Sidewalk variance to DPM standards (Glendale, Lot 25, Block 16)

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. 25 Block: 16 Unit: 3  
 Subdiv/Addn/TBKA: North Albuquerque Acres, Tract 1, Unit 3  
 Existing Zoning: R-D, 3 DU 1A Proposed zoning: same MRGCD Map No \_\_\_\_\_  
 Zone Atlas page(s): B-20 UPC Code: 102006512406930208

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX\_Z\_, V\_, S\_, etc.): 1007566

**CASE INFORMATION:**

Within city limits?  Yes Within 1000FT of a landfill? no  
 No. of existing lots: 1 No. of proposed lots: 2 Total area of site (acres): 0.8769  
 LOCATION OF PROPERTY BY STREETS: On or Near: Glendale NE  
 Between: Benjamin Place NE and Ventura NE

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: \_\_\_\_\_

SIGNATURE [Signature] DATE 12.15.08  
 (Print) Gregory J. Krenik, PE Applicant:  Agent:

**FOR OFFICIAL USE ONLY**

Form revised 4/07

<input checked="" type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>08DRB - 70520</u>	<u>SV</u>	_____	\$ _____
<input checked="" type="checkbox"/> All fees have been collected	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	Total
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____

Hearing date Dec. 31, 2008

[Signature] 12.15.08  
 Planner signature / date

Project # 1007566

**FORM V: SUBDIVISION VARIANCES & VACATIONS**

- BULK LAND VARIANCE (DRB04)** **(PUBLIC HEARING CASE)**
  - \_\_\_ Application for Minor Plat on FORM S-3, including those submittal requirements. **24 copies**
  - \_\_\_ Letter briefly describing and explaining: the request, compliance with the Development Process Manual, and all improvements to be waived.
  - \_\_\_ Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
  - \_\_\_ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - \_\_\_ Sign Posting Agreement
  - \_\_\_ Fee (see schedule)
  - \_\_\_ List any original and/or related file numbers on the cover application

**DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

- VACATION OF PUBLIC EASEMENT (DRB27)**
- VACATION OF PUBLIC RIGHT-OF-WAY (DRB28)**
  - \_\_\_ The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) **24 copies.**  
(Not required for City owned public right-of-way.)
  - \_\_\_ Drawing showing the easement or right-of-way to be vacated, etc. (not to exceed 8.5" by 11") **24 copies**
  - \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
  - \_\_\_ Letter briefly describing, explaining, and justifying the request
  - \_\_\_ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - \_\_\_ Sign Posting Agreement
  - \_\_\_ Fee (see schedule)
  - \_\_\_ List any original and/or related file numbers on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.  
**DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

- SIDEWALK VARIANCE (DRB20)**
- SIDEWALK WAIVER (DRB21)**
  - Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") **6 copies**
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the variance or waiver
  - List any original and/or related file numbers on the cover application

**DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

- SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM STANDARDS (DRB25)**
  - \_\_\_ Scale drawing showing the location of the proposed variance or waiver (not to exceed 8.5" by 14") **24 copies**
  - \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
  - \_\_\_ Letter briefly describing, explaining, and justifying the variance
  - \_\_\_ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - \_\_\_ Sign Posting Agreement
  - \_\_\_ Fee (see schedule)
  - \_\_\_ List any original and/or related file numbers on the cover application

**DRB meetings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

- TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB19)**
- EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB07)**
  - \_\_\_ Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") **6 copies**
  - \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
  - \_\_\_ Letter briefly describing, explaining, and justifying the deferral or extension
  - \_\_\_ List any original and/or related file numbers on the cover application

**DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

- VACATION OF PRIVATE EASEMENT (DRB26)**
- VACATION OF RECORDED PLAT (DRB29)**
  - \_\_\_ The complete document which created the private easement/recorded plat (not to exceed 8.5" by 14") **6 copies**
  - \_\_\_ Scale drawing showing the easement to be vacated (8.5" by 11") **6 copies**
  - \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
  - \_\_\_ Letter/documents briefly describing, explaining, and justifying the vacation **6 copies**
  - \_\_\_ Letter of authorization from the grantors and the beneficiaries (private easement only)
  - \_\_\_ Fee (see schedule)
  - \_\_\_ List any original and/or related file numbers on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.  
**DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Gregory J. Krenik, PE  
Applicant name (print)  
12-15-08  
Applicant signature / date



- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
06DRB-70520

Form revised 4/07  
Valy 12-15-08  
Planner signature / date  
Project # 1007566



D. Mark Goodwin & Associates, P.A.  
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199  
(505) 828-2200 FAX 797-9539

*~ 2008 ACEC/NM Award Winner for Engineering Excellence, Small Firm ~*

December 12, 2008

Mr. Jack Cloud, Chair  
Design Review Board  
City of Albuquerque  
PO Box 1293  
Albuquerque, NM 87103

**Re: Lot 25, Block 16, North Albuquerque Acres (1007566)**

Dear Mr. Cloud:

The owner wishes to eliminate the sidewalk along Glendale Avenue at the request of the adjacent homeowners. In place would be a gravel walkway which would meander through the landscaping. This is a request for a sidewalk variance.

This same request was made in 2004 for the adjacent property, Benjamin Place Subdivision (DRB #1003520), and was granted by the DRB.

Please call me if you have any questions concerning this issue.

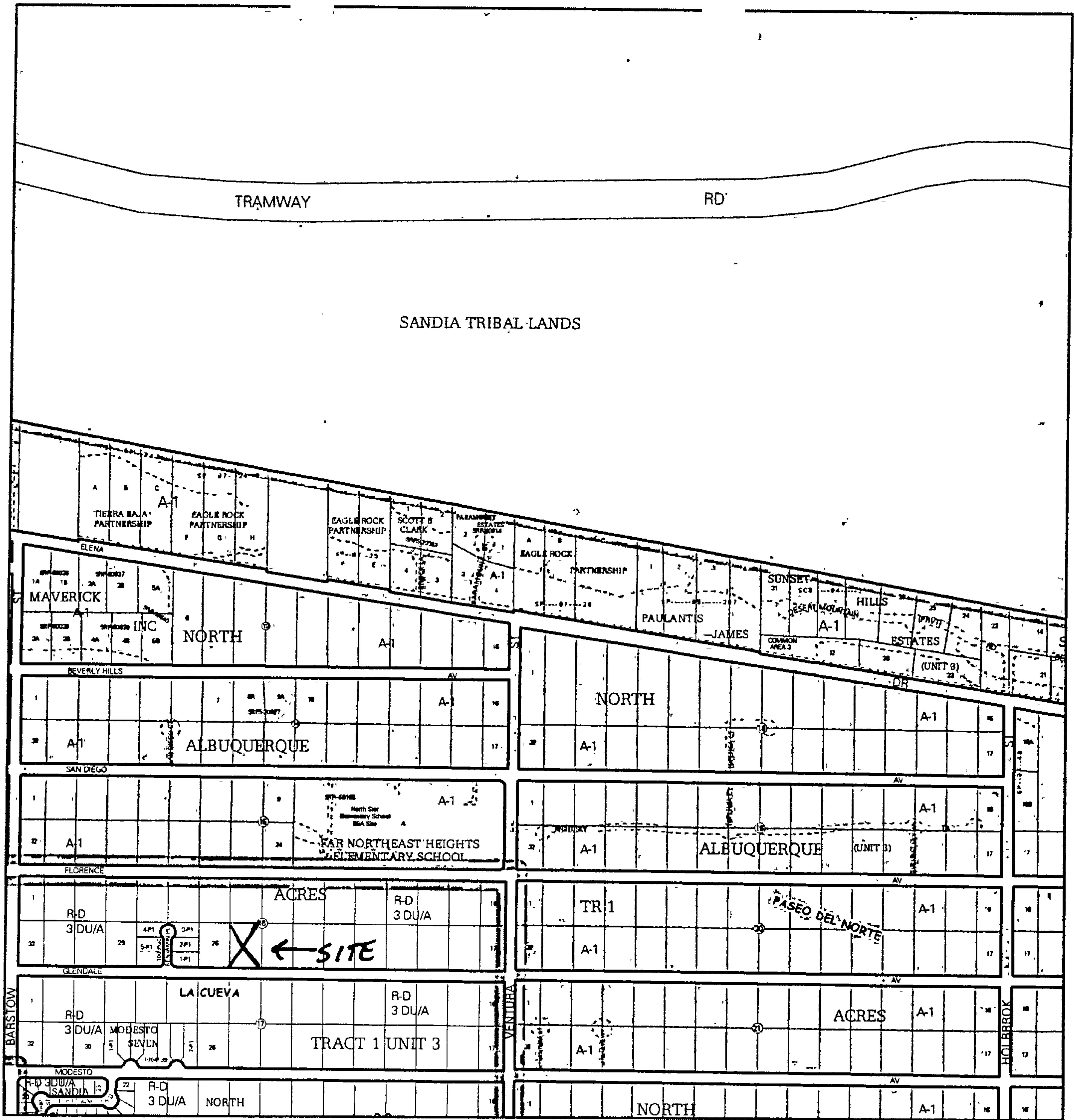
Sincerely,

MARK GOODWIN & ASSOCIATES, PA



Gregory J. Krenik, P.E.  
Vice President

DMG/sr





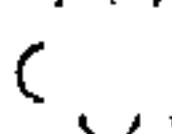


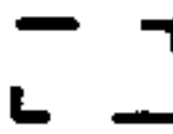



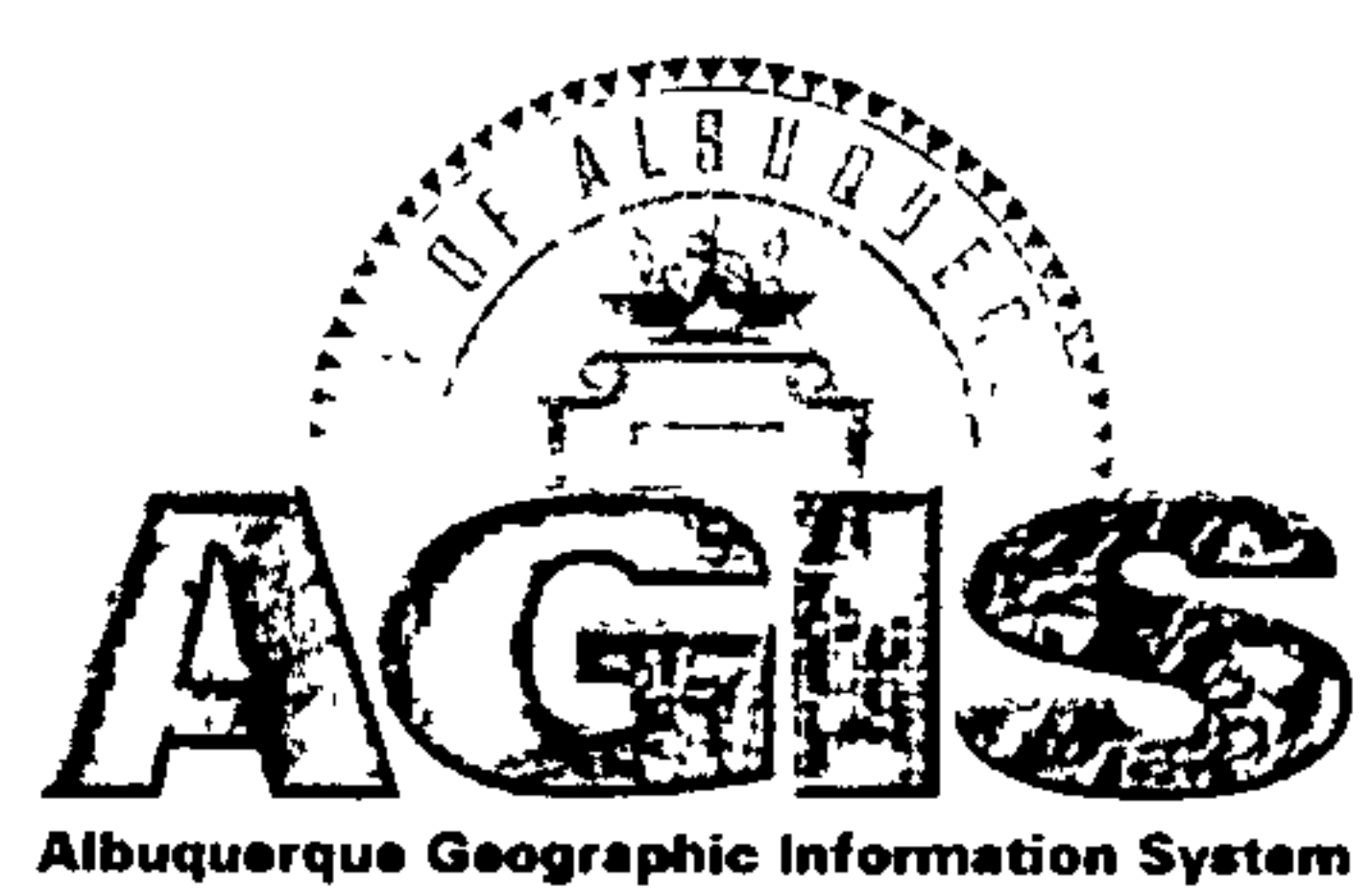
For more current information and more details visit: <http://www.cabq.gov/gis>

Zone Atlas Page:

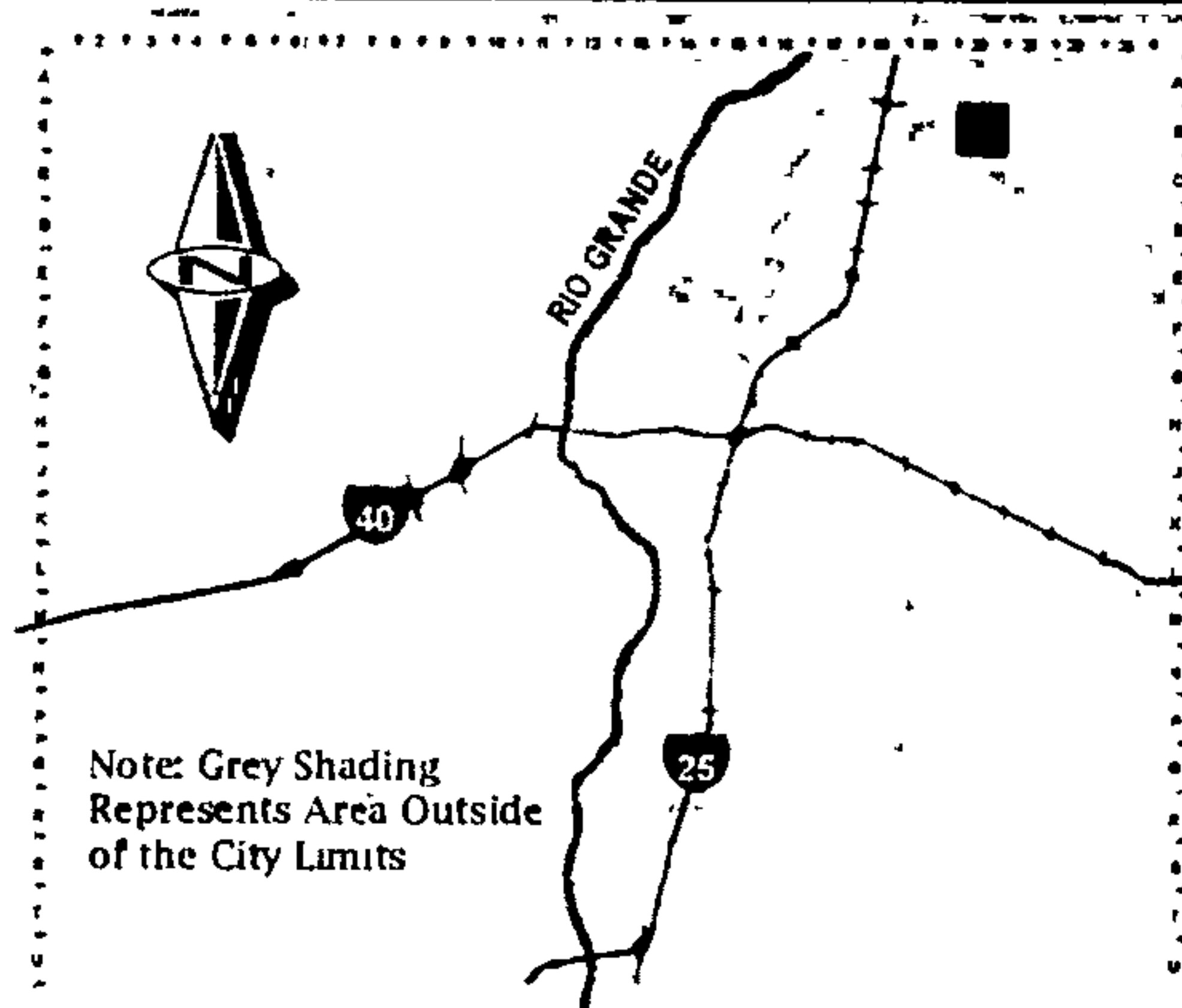
**B-20-Z**

Selected Symbols

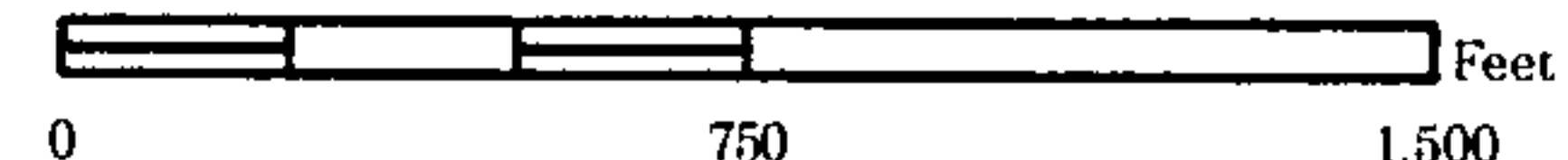
-  SECTOR PLANS
-  Design Overlay Zones
-  City Historic Zones
-  H-1 Buffer Zone
-  Petroglyph Mon.
-  Escarpment
-  2 Mile Airport Zone
-  Airport Noise Contours
-  Wall Overlay Zone



Map amended through: 6/13/2008



Note: Grey Shading Represents Area Outside of the City Limits





Supplemental form

**SUBDIVISION**

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

**STORM DRAINAGE (Form D)**

- Storm Drainage Cost Allocation Plan

**S Z ZONING & PLANNING**

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICATION INFORMATION:**

Professional/Agent (if any): Cartesian Surveys Inc PHONE: 896-3050  
 ADDRESS: PO Box 44414 FAX: 891-0244  
 CITY: Rio Rancho STATE NM ZIP 87174 E-MAIL: wplotnerjr@aol.com

APPLICANT: Scott Clark PHONE: 883-1414  
 ADDRESS: 5600 Eubank Blvd NE FAX: \_\_\_\_\_  
 CITY: Albuquerque STATE NM ZIP 87111 E-MAIL: \_\_\_\_\_

Proprietary interest in site: \_\_\_\_\_ List all owners: \_\_\_\_\_

DESCRIPTION OF REQUEST: To divide one lot into two new lots, and dedicate right of way.

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. 25 Block: 16 Unit: 3  
 Subdiv/Addn/TBKA: North Albuquerque Acres, Tract 1, Unit 3  
 Existing Zoning: R-D, 3 DU/A Proposed zoning: R-D, 3 DU/A MRGCD Map No \_\_\_\_\_  
 Zone Atlas page(s): B-20 UPC Code: 102006512406930208

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX\_Z\_, V\_, S\_, etc.): \_\_\_\_\_

**CASE INFORMATION:**

Within city limits?  Yes Within 1000FT of a landfill? No  
 No. of existing lots: 1 No. of proposed lots: 2 Total area of site (acres): 0.8769  
 LOCATION OF PROPERTY BY STREETS: On or Near: Glendale Ave NE  
 Between: Benjamin Place NE and Ventura St NE

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: \_\_\_\_\_

SIGNATURE Charles Calderon DATE 11/18/08  
 (Print) Charles Calderon Applicant:  Agent:

**FOR OFFICIAL USE ONLY**

Form revised 4/07

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>08DRB 70488</u>	<u>P&amp;E</u>	<u>5(3)</u>	<u>\$ 285.00</u>
	<u>CME</u>		<u>\$ 20.00</u>
			\$ _____
			\$ _____
			\$ _____
			\$ _____
			Total
			<u>\$ 305.00</u>

Hearing date 12/03/08  
Sandy Handley 11/18/08 Project # 1007564  
 Planner signature / date

**FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING**

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

**SKETCH PLAT REVIEW AND COMMENT (DRB22)** Your attendance is required.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

**EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08)** Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Copy of DRB approved infrastructure list
  - Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
  - List any original and/or related file numbers on the cover application
- Extension of preliminary plat approval expires after one year.**

**MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12)** Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Signed & recorded Final Pre-Development Facilities Fee Agreement for **Residential** development only
- Design elevations & cross sections of perimeter walls **3 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- List any original and/or related file numbers on the cover application
- DXF file and hard copy of final plat data for AGIS is required.

**MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16)** Your attendance is required.

- ~~NA~~ 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings ensure property owner's and City Surveyor's signatures are on the plat prior to submittal
- Signed & recorded Final Pre-Development Facilities Fee Agreement for **Residential** development only
- Design elevations and cross sections of perimeter walls (11" by 17" maximum) **3 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- Fee (see schedule)
- List any original and/or related file numbers on the cover application
- Infrastructure list if required (**verify with DRB Engineer**)
- DXF file and hard copy of final plat data for AGIS is required.

**AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03)** Your attendance is required.

- PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.
- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
  - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
  - List any original and/or related file numbers on the cover application
- Amended preliminary plat approval expires after one year**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Charles Calderon  
Applicant name (print)  
Chas Calderon 11/18/08  
Applicant signature / date

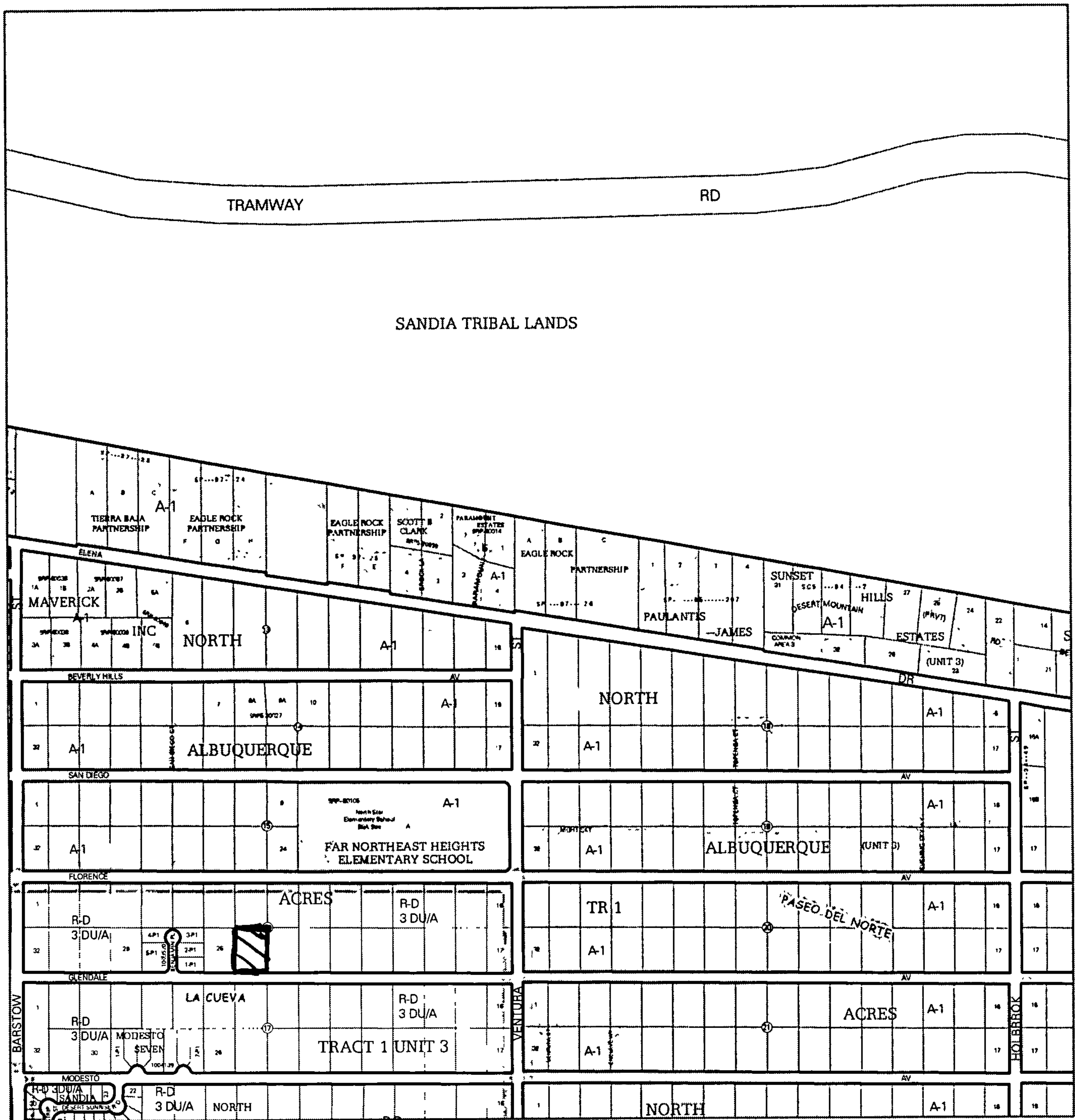


Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
08DRB - 70488

Sandy Handley 11/18/08  
Planner signature / date  
Project # 1007546



For more current information and more details visit: <http://www.cabq.gov/gis>

Map amended through: 6/13/2008

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:  
**B-20-Z**

Selected Symbols

	SECTOR PLANS		Escarpment
	Design Overlay Zones		2 Mile Airport Zone
	City Historic Zones		Airport Noise Contours
	H-1 Buffer Zone		Wall Overlay Zone
	Petroglyph Mon.		

0 750 1,500 Feet

**Cartesian Surveys Inc.**  
PO Box 44414, Rio Rancho, NM 87174  
896-3050 Fax 891-0244

November 10, 2008

Development Review Board  
City of Albuquerque

Re: Lot 25, Block 16, North Albuquerque Acres, Tract 1, Unit 3

Members of the Board:

Cartesian Surveys is acting as an agent for the owner and requests a hearing for a subdivision platting action. Whereas the existing parcel be platted into two lots, and dedicate right of way.

Thank you for your time and consideration.

Will Plotner Jr., NMLS 14271



Will Plotner Jr.





**Pre-Development Facilities Fee (PDFF)  
 Cover Sheet**

**PDFF agreements received by 5PM Thursday will be ready for pick up by 8AM on the following Tuesday.**

Please drop off and pick up all Pre-Development Facilities Fee agreements at APS' Capital Master Plan office. The office is located in Suite 9, 2nd floor, of the Lincoln Building at 915 Locust St SE. A map to our offices is located at: <http://construction.voteaps.com/LincolnMap.html>

**Project #** (if already assigned by DRB/EPC) \_\_\_\_\_

**Please check one:**

Preliminary PDFF  
 (Preliminary PDFF are required for preliminary plat submittals.)

Final PDFF  
 (Final PDFF are required for final plat submittals and **must be recorded** prior to DRB hearing)

Waiver/Deferral  
 (Must provide reason for waiver/deferral)

**Project Information**

Subdivision Name North Albuquerque Acres, Tract 1, Unit 3

Location of Project (address or major cross streets) 8621 Glendale Ave. NE

Proposed Number of Units: 2 Single-Family \_\_\_\_\_ Multi-Family

Note: A single-family unit is a single-family, detached dwelling unit.

**Waiver Information**

Property Owner Scott Clark Legal Description Lot 25, Block 16 Zoning R-D, 3 DU/A

Reason for Waiver/Deferral \_\_\_\_\_

**Contact Information**

Name Scott Clark

Company Double Eagle Real Estate

Phone 883-1414

E-mail \_\_\_\_\_

**Please include with your submittal:**

- Zone Atlas map with the entire property(ies) precisely and clearly outlined
- Copy of a plat or plan for the proposed project
- List of legal description (e.g. lot, block) and street address for each lot (**for final plat only**)
- Please include project number on the top right corner of all documents
- Please paper clip all submitted documents (for ease of making copies)

FOR OFFICE USE ONLY  
 APS Cluster La Cueva

Date Submitted 11/14/08

Date Completed 11/17/08

EXHIBIT B

FINAL  
PRE-DEVELOPMENT FACILITIES FEE AGREEMENT

THIS AGREEMENT is made by and between the Albuquerque Municipal School District No. 12, Bernalillo and Sandoval Counties, New Mexico ("Albuquerque Public Schools" or "APS"), a public school district organized and existing pursuant to the laws of New Mexico, and

Scott Clark of Double Eagle Real Estate ("Developer") effective as of this 14 day of November, 2008 and pertains to the subdivision commonly known as North Albuquerque Acres Tract 1, Unit 3, and more particularly described as \_\_\_\_\_

*[use new legal description of subdivision]*

Lots 25-A and 25-B, Block 16, North Albuquerque Acres Tract 1, Unit 3

(the "Subdivision".) The following individual lots comprise the subdivision:

*[List lots by street address and new legal description; Lots which will be used for multi-family residences should be marked "multifamily- \_\_ units" with the number of units filled in.]*

WHEREAS, the City of Albuquerque requires that APS approve the plat(s) for any new subdivision; and

WHEREAS, Developer is proposing the development of a new subdivision, and requires APS approval of the plat for said subdivision; and

WHEREAS, Developer is the owner of the real estate being subdivided and platted; and

WHEREAS, Developer is required by the Albuquerque Subdivision Ordinance to provide appropriate infrastructure and improvements as a condition of developing a subdivision; and

WHEREAS, as a condition of approving such plat APS requires the provision of appropriate infrastructure and facilities or the payment of a facilities fee for each new residence to be constructed to help defray the cost of school construction, expansion, or maintenance;

DRB Project # \_\_\_\_\_

APS Cluster La Cueva

THEREFORE, in consideration of the mutual promises contained herein, APS and Developer agree as follows:

1. Developer agrees to pay to APS a facilities fee for each dwelling unit to be constructed in the Subdivision.
2. The amount of the fee shall be:
  - If the building permit is issued on or after January 1, 2007, the fee shall be \$1875 per dwelling unit.
  - If the building permit is issued on or after July 1, 2008, the fee shall be \$2425 per dwelling unit.
  - If the permit is issued on or after January 1, 2010, the fee shall be \$2975 per dwelling unit.

The fee for each dwelling unit in multi-family residential structures shall be sixty percent (60 %) of the fee for a single family home. "Multi-family residential structure" means any type of residential property other than single-family houses (one single family, detached dwelling unit per lot).

3. Developer agrees that the fee shall be paid to APS at or before the issuance of any building permit for any lot or other parcel of property subject to this agreement.
4. Developer may satisfy all or part of its obligations under this contract by transferring improved or unimproved property to APS, provided that APS must agree to the transfer and to the value placed on the transferred property. APS, upon accepting such transfer, shall credit Developer with an amount equal to the agreed value, and the developer may designate the lot(s) to which such amount(s) shall be applied in satisfaction of its obligations hereunder.
5. This contract shall be recorded in the office of the County Clerk of Bernalillo and/or Sandoval County, and shall serve as notice of the Developer's obligation to pay facilities fees. Developer shall include on the plat of the Subdivision a statement that "The property on this plat is subject to a Pre-Development Facilities Fee Agreement with the Albuquerque Public Schools, recorded at [recording data]."
6. APS, through its Facilities Fee Administrator, will provide a Payment Acknowledgement in the form attached hereto to the Developer reflecting receipt of the facilities fee (or equivalent compensation as described in paragraph 4 above), which form may be given to the City to show satisfaction of the fee obligation and satisfy that condition for receiving building permits. Developer may record that Payment Acknowledgment in the real estate records of Bernalillo or Sandoval County, but APS shall not be responsible for paying any recording fees nor shall APS be responsible for recording any such documents with the office of the County Clerk or any other office.

DRB Project # \_\_\_\_\_

APS Cluster La Cueva


Scott B. Clark  
Signature

Scott B. Clark  
Name (typed or printed) and title

Scott B. Clark  
Developer

STATE OF NEW MEXICO  
COUNTY OF BERNALILLO

This instrument was acknowledged before me on 11/14/08, by Scott B Clark as Scott B Clark of Scott B Clark, a corporation.

(Seal)  OFFICIAL SEAL  
CHARLES CALDERON  
NOTARY PUBLIC-STATE OF NEW MEXICO  
My Commission Expires 3/8/2010

Charles Calderon  
Notary Public  
My commission expires: 3/8/2010

ALBUQUERQUE PUBLIC SCHOOLS

By: [Signature]  
Signature

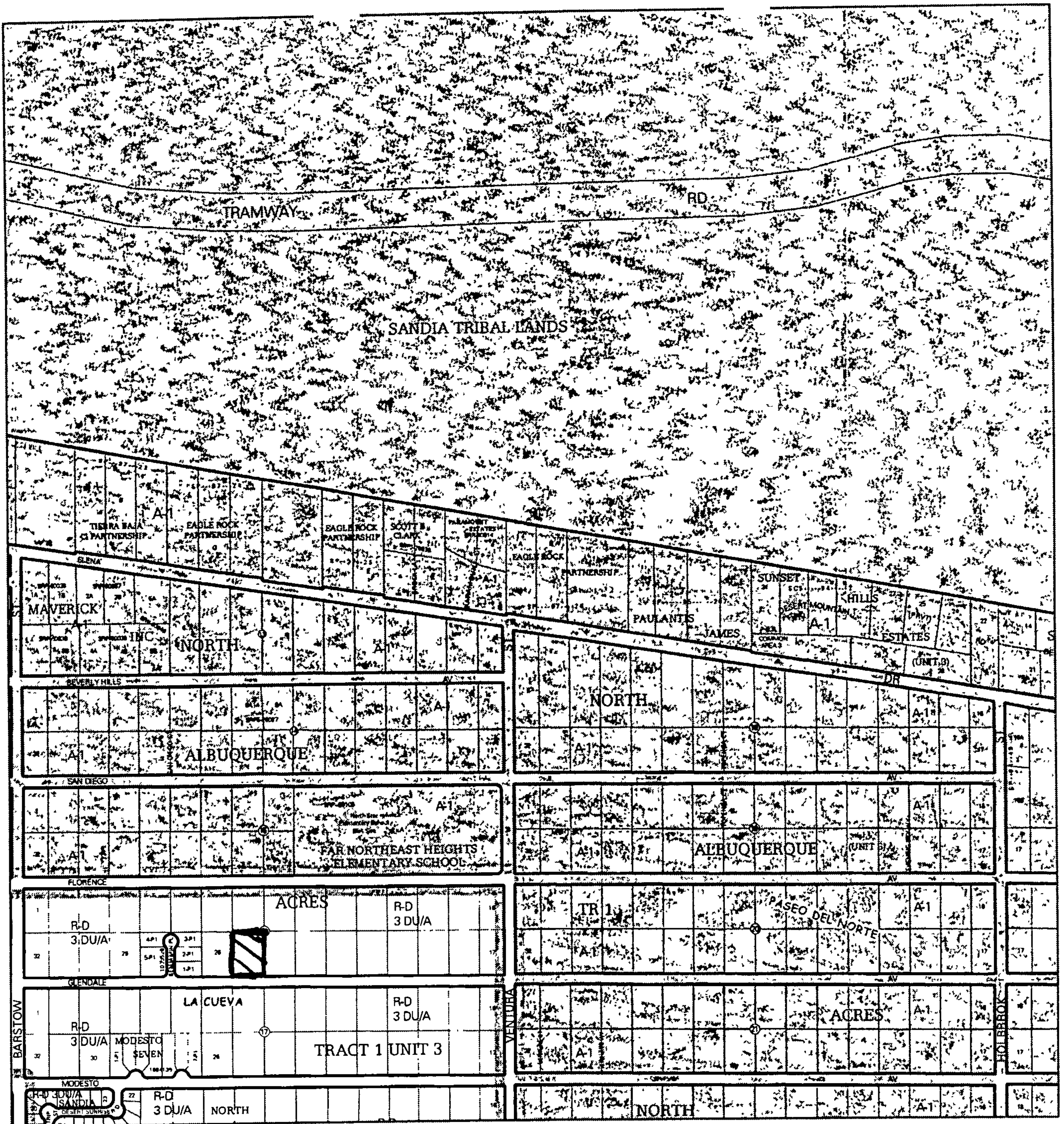
Kizito Wijenje, Director, Capital Master Plan  
Name (typed or printed) and title

STATE OF NEW MEXICO  
COUNTY OF BERNALILLO

This instrument was acknowledged before me on Nov. 17, 2008, by Kizito Wijenje as Director, Capital Master Plan of the Albuquerque Municipal School District No. 12, Bernalillo and Sandoval Counties, a school district organized and existing under the laws of the State of New Mexico.

(Seal)

April L. Whittus  
Notary Public  
My commission expires: May 18, 2011



For more current information and more details visit: <http://www.cabq.gov/gis>

Map amended through: 6/13/2008

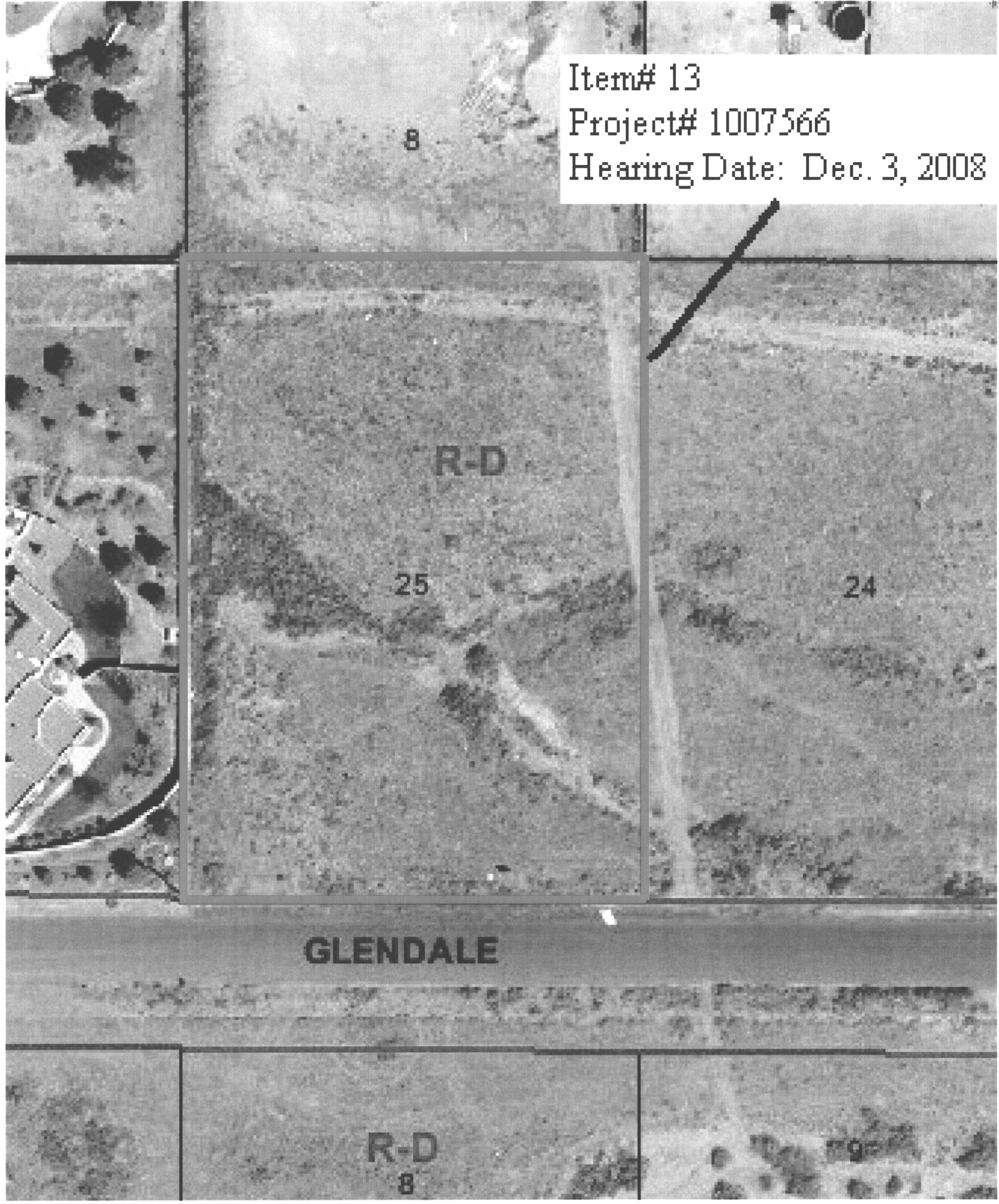
Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:  
**B-20-Z**

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone

Item# 13  
Project# 1007566  
Hearing Date: Dec. 3, 2008



8

R-D

25

24

GLENDALE

R-D

8

8

**ORIGINAL**

INFRASTRUCTURE LIST

EXHIBIT "A"  
TO SUBDIVISION IMPROVEMENTS AGREEMENT  
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Benjamin Place Subdivision  
PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Lots 27 & 28, Blk 16, Tract 1, Unit 3, North Albuquerque Acres  
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Date Submitted: 12/21/2004  
Date Site Plan Approved: \_\_\_\_\_  
Date Preliminary Plat Approved: 1/12/05  
Date Preliminary Plat Expires: 1/12/05  
DRB Project No.: 1003520  
DRB Application No.: 04-01567

11-21-05

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
<b>PAVING</b>									
		26' FF	Res Pvmt	Benjamin Place	Glendale Avenue	End of Cul de Sac	/	/	/
		4'	C & G (Both sides) Sidewalk (Both Sides) (1)						
		24' FF	Perm Pvmt	Glendale Avenue	West Prop Line	East Prop Line	/	/	/
		6'	C & G (North Side) <del>Gravel Path (North Side)</del> <b>SIDEWALK (North Side) WAIVED</b>						
			Pvmt Transition	Glendale Avenue	East & West PL	Existing Pavement	/	/	/
			Design Elevation of Road	Glendale Avenue	Barstow Street	Ventura Street	/	/	/
			Street Lights per DPM				/	/	/
<b>WATER</b>									
		4"	Waterline	Benjamin Place	End of Cul de Sac	Glendale Avenue	/	/	/
		8"	Waterline	Glendale Avenue	East Prop Line	Barstow Street	/	/	/
		12"	Waterline	Barstow Street	Glendale Avenue	Modesto Avenue	/	/	/
<b>SAS</b>									
		8"	SAS	Benjamin Place	End of Cul de Sac	Glendale Avenue	/	/	/
		8"	SAS (6)	Glendale Avenue	Wyoming Boulevard	Barstow Street	/	/	/
		8"	SAS	Glendale Avenue	Barstow Street	East Prop Line	/	/	/

ORIGINAL

Project name: Benjamin Place Subdivision

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
			STORM						
		8'	Concrete Channel	9' Private Drainage Esmt	Entire Length		/	/	/
		4'	Concrete Channel	6.5' Private Drain Esmt	NE Corner Lot 3-P1	Glendale Avenue	/	/	/
		24"	RCP	Benjamin Place	Lot 5-P1	Glendale Avenue	/	/	/
		24"	Temporary RCP	Lot 5-P1	Benjamin Place	Retention Pond	/	/	/
			Temporary Retention Pond & Spillway W/A & C	Lot 5-P1			/	/	/
		72"	Storm Drain (2)	Glendale Avenue	west East Prop Line	Benjamin Place West Prop Line	/	/	/

- 1 Sidewalk to be deferred
- 2 Storm Drain to be deferred
- 3 Grading & Drainage Certification per DPM, including retaining walls as shown on the Grading & Drainage Plan for Release of SIA and Financial Guaranty
- 4 Water Infrastructure to include valves, valve boxes, and fire hydrants and design of future PRV on Barstow Street
- 5 SAS to include manholes and service connections
- 6 Financially Guaranteed with COA 729781 (Quivera Estates)

AGENT / OWNER

Gregory J. Krenik, P.E.  
NAME (print)

MARK GOODWIN & ASSOCIATES  
FIRM

*[Signature]*  
SIGNATURE - date  
12-21-04

MAXIMUM TIME ALLOWED TO CONSTRUCT  
THE IMPROVEMENTS WITHOUT A DRB  
EXTENSION: N/A

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

*[Signature]* 1/12/05 DRB CHAIR - date  
*[Signature]* 1/12/05 PARKS & GENERAL SERVICES - date

*[Signature]* 1-12-05 TRANSPORTATION DEVELOPMENT - date  
*[Signature]* 1/12/05 UTILITY DEVELOPMENT - date  
*[Signature]* 1-12-05 CITY ENGINEER - date

AMAFCA - date  
- date  
- date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER
1	11-21-05	<i>[Signature]</i>	<i>[Signature]</i>	<i>[Signature]</i>