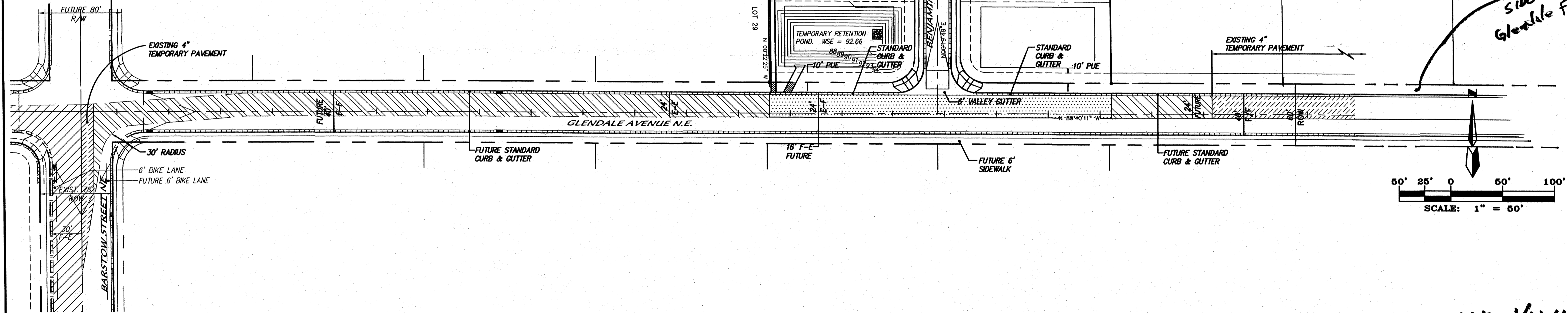
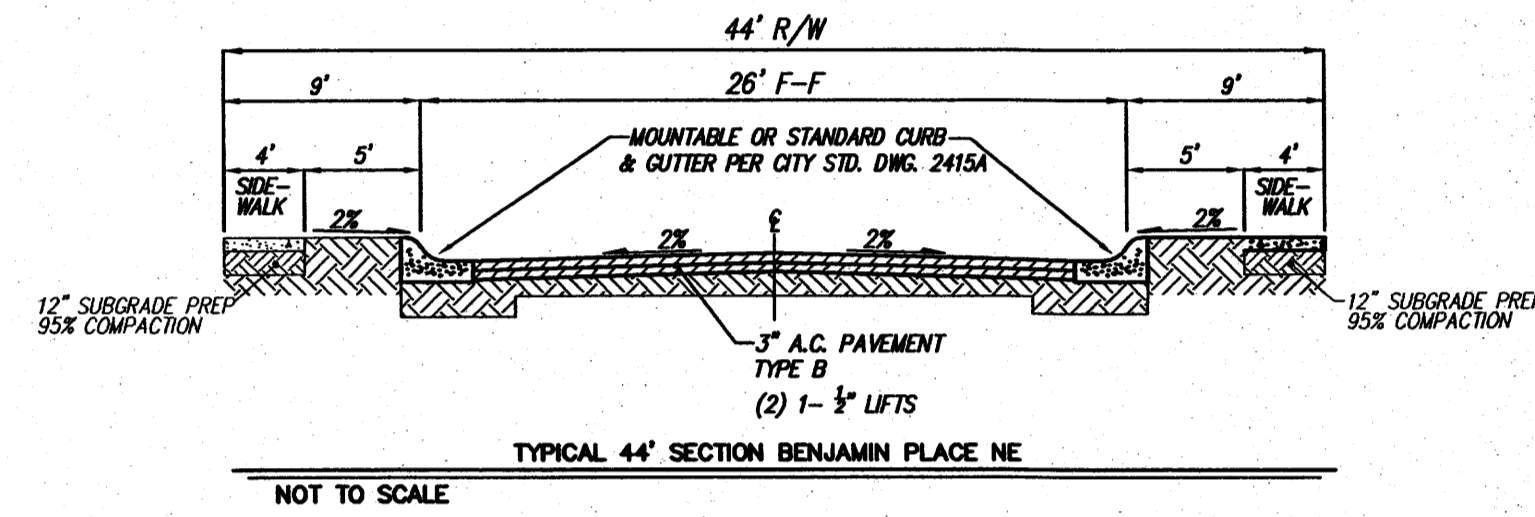
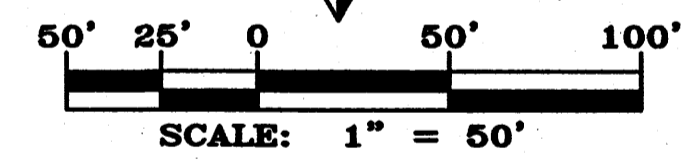


NOTE:
NO SIDEWALK ON NORTH SIDE
OF GLENDALE

THIS PROJECT
DRB 1007566



REQUEST NO
SIDEWALK on
Glendale Footage



SIDEWALK VARIANCE

EXHIBIT B

LEGEND

	EXISTING CHAIN LINK/WIRE FENCE		NEW SIDEWALK
	EXISTING OVERHEAD ELECTRIC LINE		NEW RIGHT-OF-WAY
	EXISTING POWER POLE		NEW CENTERLINE
	EXISTING GUY WIRE		NEW LOT LINES
	EXISTING TELEPHONE MANHOLE		NEW EASEMENTS
	EXISTING TELEPHONE PEDESTAL		NEW RETAINING WALL
	NEW MOUNTABLE CURB & GUTTER		NEW PAVEMENT THIS PROJECT PER COA PROJECT #729781 (QUIVERA ESTATES)
	NEW STANDARD CURB & GUTTER		
	NEW STREET LIGHT		EXISTING PERMANENT PAVEMENT

CONSTRUCTION NOTES

- ALL SIDEWALKS PER CITY OF ALBUQUERQUE STANDARD DRAWING 2430.
- ALL 6' VALLEY GUTTERS PER CITY OF ALBUQUERQUE STANDARD DRAWING 2420.
- ALL HANDICAP RAMPS ARE PER COA DETAIL 2441. CASE II WITH TRUNCATED DOMES.
- TRANSITION FROM MOUNTABLE CURB TO STANDARD CURB SHALL BE 10 FEET.
- TRANSITION SECTION FROM FULL CROWN TO NO CROWN TO BE A MINIMUM OF 50 FEET PER C.O.A. STD DETAIL #2401.
- ALL 10' VALLEY GUTTERS PER CITY OF ALBUQUERQUE STANDARD DRAWING 2422.
- TRANSITION FROM MOUNTABLE CURB TO STANDARD CURB AT INTERSECTIONS SHALL OCCUR THROUGH THE HC RAMP PER C.O.A. STANDARD DRAWING 2418.
- SOIL NOT HAVING THE MINIMUM R-VALUE OF 50 SHALL BE REMOVED TO A DEPTH OF 2 FEET AND REPLACED, BY THE CONTRACTOR, WITH SUITABLE MATERIAL, OR A PAVEMENT SECTION SHALL BE DESIGNED BY THE CONSULTANT ACCOMMODATING THE EXISTING R-VALUE PER C.O.A. STANDARD SPECIFICATIONS.
- ALL MEDIAN NOSES TO BE PAINTED REFLECTORIZED YELLOW

MARK GOODWIN & ASSOCIATES, P.A. CONSULTING ENGINEERS P.O. BOX 90606 ALBUQUERQUE, NEW MEXICO 87199 (505) 828-2200, FAX (505) 797-9539	
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT	
TITLE: BENJAMIN PLACE SUBDIVISION MASTER PAVING PLAN	
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL
LAST DESIGN UPDATE	MO./DAY/YR.
CITY PROJECT NO.	ZONE MAP NO. B-20
	SHEET 4 OF 9

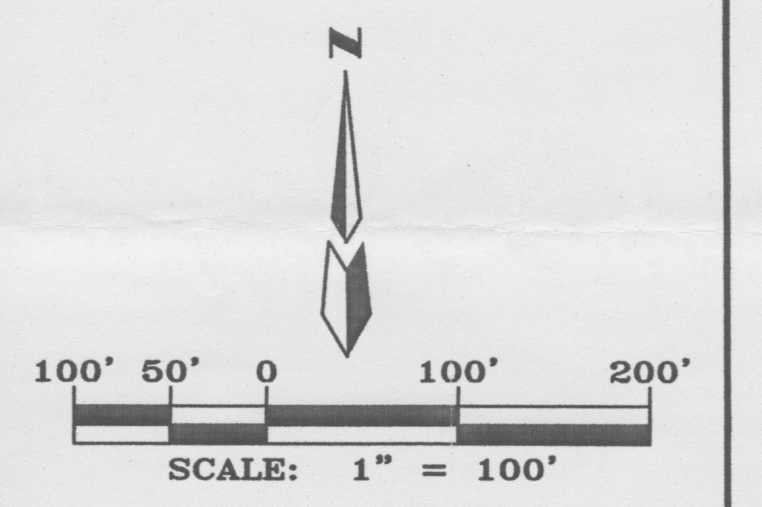
AS BUILT INFORMATION		
CONTRACTOR	DATE	
BENCH MARKS		
NO.	DATE	
SURVEY INFORMATION		
FIELD NOTES	DATE	
ENGINEER'S SEAL		
NO.	DATE	
REVISIONS		
NO.	DATE	BY



NOTE:
THERE ARE
NO SIDEWALKS

SIDEWALK VARIANCE

EXHIBIT A



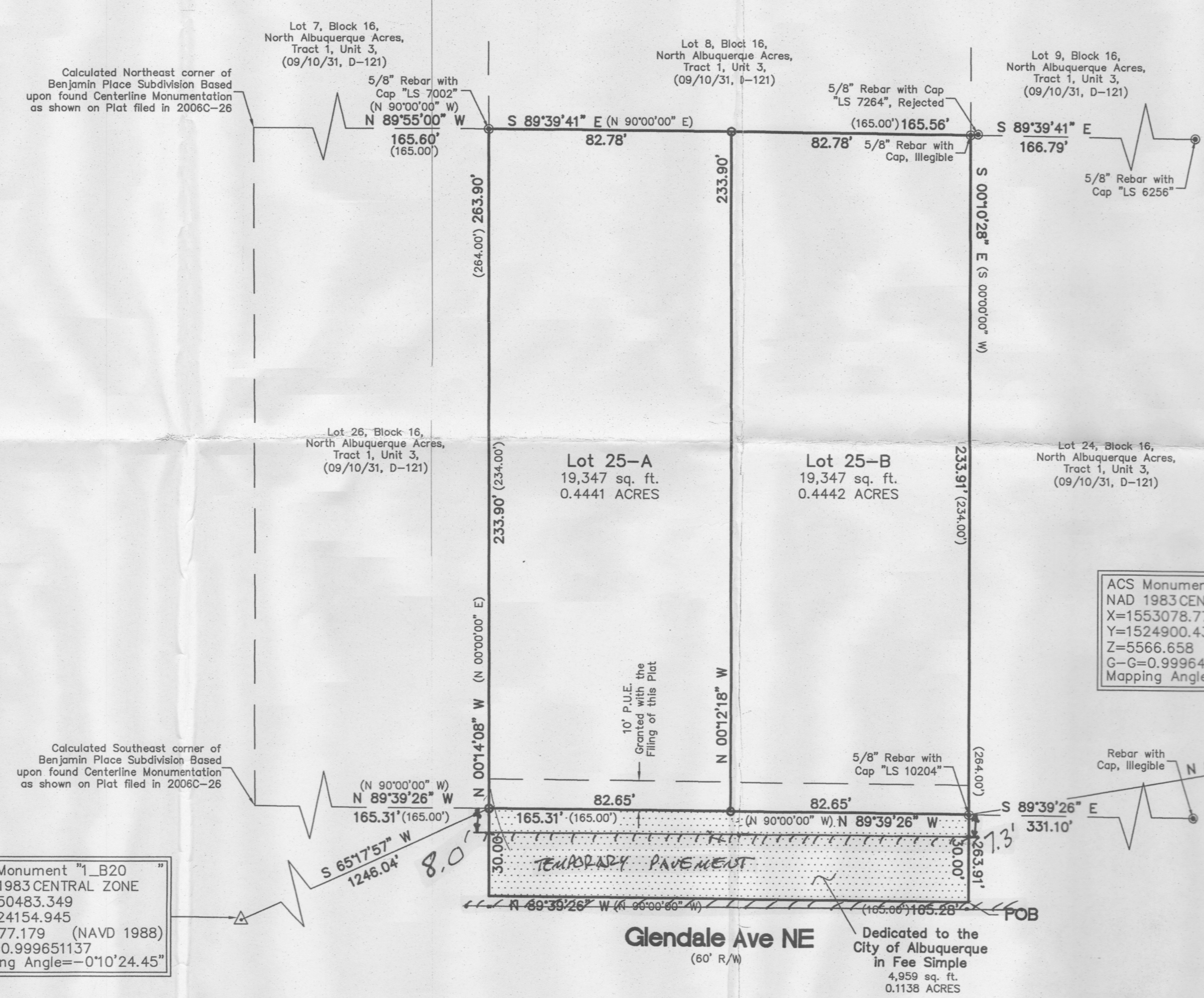
dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: GK	Drawn: SPS	Checked: DMG	Sheet 1 of 1
Scale: 1" = 100'	Date: 12/15/2008	Job:	

Legend

(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES PER PLAT OF RECORD
N 90°00'00" E	MEASURED BEARING AND DISTANCES
⊙	FOUND AS INDICATED
○	SET BATHY MARKER WITH CAP "LS 14271"
	EXISTING 30' ROADWAY EASEMENT (9/10/31, D-121)

Plat of
Lots 25-A and 25-B, Block 16
North Albuquerque Acres
Tract 1, Unit 3
 comprised of
Lot 25, Block 16, North Albuquerque Acres,
Tract 1, Unit 3
 City of Albuquerque
 Bernalillo County, New Mexico
 November 2008

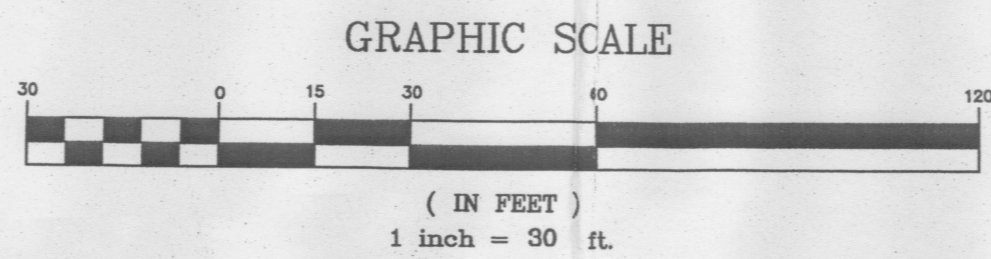


ACS Monument "7_B20
 NAD 1983 CENTRAL ZONE
 X=1553078.775
 Y=1524900.435
 Z=5566.658 (NAVD 1988)
 G-G=0.999646331
 Mapping Angle=-0°10'06.48"

ACS Monument "1_B20"
 NAD 1983 CENTRAL ZONE
 X=1550483.349
 Y=1524154.945
 Z=5477.179 (NAVD 1988)
 G-G=0.999651137
 Mapping Angle=-0°10'24.45"

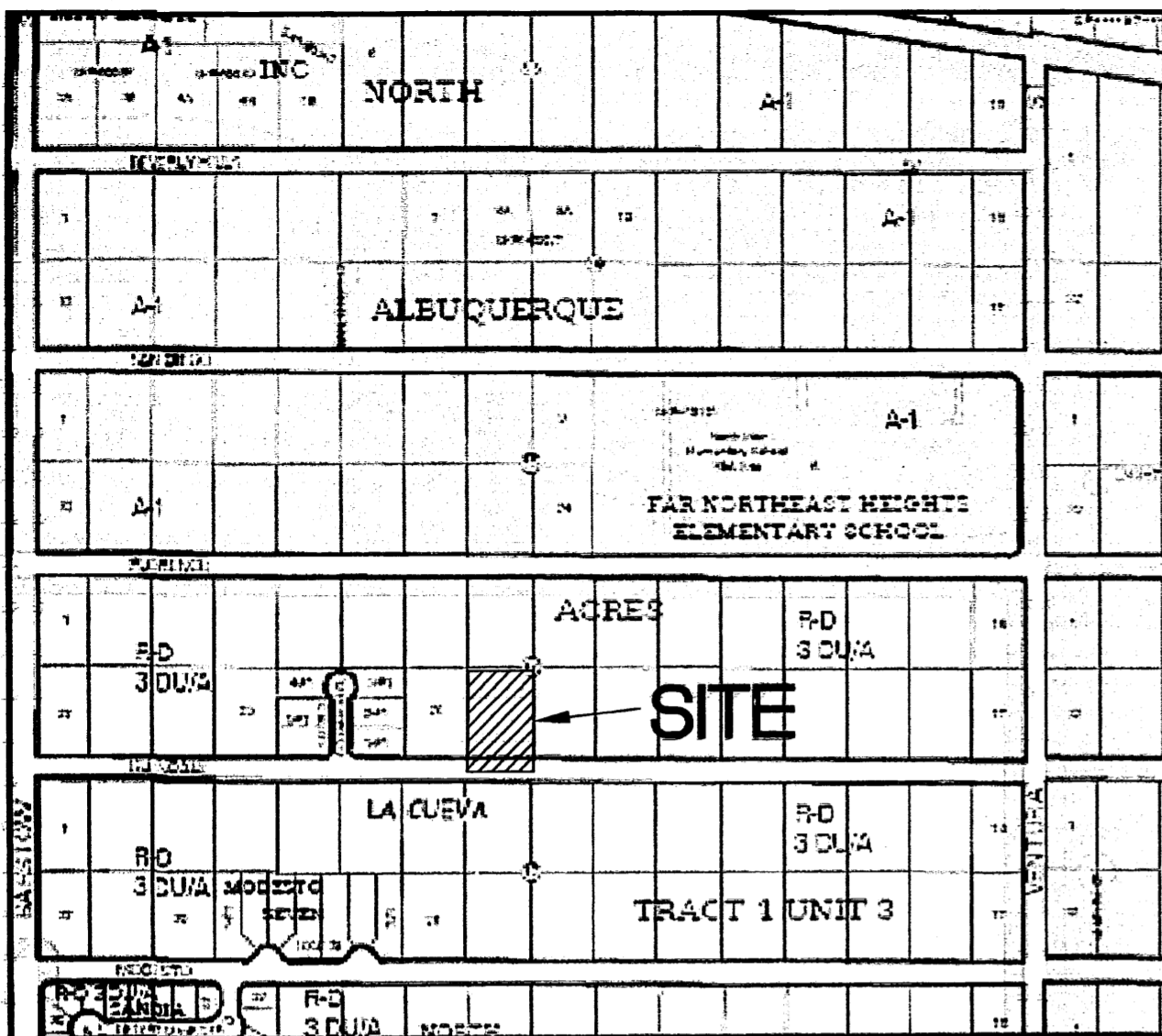
1007566

**EXISTING
 TEMPORARY
 PAVING
 EXHIBIT**



CARTESIAN SURVEYS INC.
 P.O. BOX 44414 RIO RANCHO, N.M. 87174
 Phone (505) 896-3050 Fax (505) 891-0244

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Vicinity Map Zone Atlas B-20-Z n.t.s.

Purpose of Plat

1. CREATE TWO LOTS AS SHOWN HEREON.
2. GRANT EASEMENTS AS SHOWN HEREON.
3. DEDICATE RIGHT-OF-WAY AS SHOWN HEREON.

Notes

1. FIELD SURVEY PERFORMED IN NOVEMBER 2008.
2. ALL DISTANCES ARE GROUND DISTANCES; U.S. SURVEY FOOT.
3. BENCHMARK-REFERENCES ACS MONUMENT "1_B20" HAVING AN ELEVATION OF 5477.179 (NAVD 1988).
4. THE BASIS OF BEARINGS IS NEW MEXICO STATE PLANE GRID COORDINATES (GRID-NAD 83) AND REFERENCES THE ACS MONUMENTS AS SHOWN HEREON.
5. THE SUBJECT PROPERTY IS LOCATED WITHIN PROJECTED SECTION 8, TOWNSHIP 11 NORTH, RANGE 4 EAST, ELENA GALLEGOS GRANT.
6. THE PROPERTY ON THIS PLAT IS SUBJECT TO A PRE-DEVELOPMENT FACILITIES FEE AGREEMENT WITH THE ALBUQUERQUE PUBLIC SCHOOLS.

Free Consent

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF AND HEREBY DEDICATE IN FEE SIMPLE, TO THE CITY OF ALBUQUERQUE, THE NORTHERLY 30 FEET OF GLENDALE AVE., NE AS SHOWN HEREON AND GRANT ALL ACCESS, UTILITY AND DRAINAGE EASEMENTS SHOWN HEREON INCLUDING THE RIGHT TO CONSTRUCT, OPERATE, INSPECT, MAINTAIN FACILITIES THEREIN; AND ALL PUBLIC UTILITIES EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICE FOR BURIED DISTRIBUTION LINES, CONDUITS AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DO HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNER(S) WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

Scott B. Clark
 Scott Clark, Double Eagle Real Estate

November 14, 2008
 Date

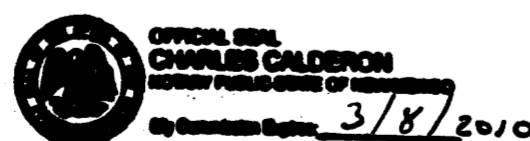
Acknowledgment

STATE OF NEW MEXICO }
 COUNTY OF BERNALILLO } SS

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON 11/14/08 BY
 Scott Clark, Double Eagle Real Estate, Owner

Charles Calderon
 NOTARY PUBLIC

3/8/2010
 MY COMMISSION EXPIRES



Public Utility Easements

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- A. PUBLIC SERVICE COMPANY OF NEW MEXICO ("PNM"), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.
- B. PNM GAS FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.
- C. [TELEPHONE COMPANY] FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.
- D. [CABLE COMPANY] OR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SING. POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMER SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE (5) FEET ON EACH SIDE.

DISCLAIMER
 IN APPROVING THIS PLAT, PNM DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SPECIFICALLY DESCRIBED AND SHOWN ON THIS PLAT.

Solar Collection Note

PER SECTION 14-14-4-7 OF THE SUBDIVISION ORDINANCE:

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BUILDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERRECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT, THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT.

Legal

LOT NUMBERED TWENTY-FIVE (25), OF BLOCK NUMBERED SIXTEEN (16), IN TRACT NUMBERED ONE (1), IN UNIT NUMBERED THREE (3), OF NORTH ALBUQUERQUE ACRES, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE MAP OF SAID SUBDIVISION FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON SEPTEMBER 10, 1931 ALSO BEING DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF HEREIN DESCRIBED PARCEL, REFERENCED BY A 5/8" REBAR WITH CAP STAMPED "LS 10204", BEARS N 00°10'28" W, A DISTANCE OF 30.00 FEET, WHENCE A TIE FROM SAID MONUMENT TO ACS MONUMENT "7_B20" N 80°07'43" E, A DISTANCE OF 1318.52 FEET;

THENCE, FROM SAID POINT OF BEGINNING, N 89°39'26" W, A DISTANCE OF 165.28 FEET TO THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED TRACT, REFERENCED BY A BATHEY MARKER WITH CAP STAMPED "LS 14271" BEARS N 00°14'08" W, A DISTANCE OF 30.00 FEET;

THENCE, FROM THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED TRACT, N 00°14'08" W, A DISTANCE OF 263.90 FEET TO THE NORTHWEST CORNER OF HEREIN DESCRIBED TRACT MARKED WITH A 5/8" REBAR WITH CAP "LS 7002";

THENCE, S 89°39'41" E, A DISTANCE OF 165.56 FEET TO THE NORTHEAST CORNER OF HEREIN DESCRIBED PARCEL, MARKED WITH A 5/8" REBAR WITH CAP ILLEGIBLE;

THENCE, S 00°10'28" E, A DISTANCE OF 263.91 FEET TO THE POINT OF BEGINNING, CONTAINING 1.0021 ACRES (43,653 SQ. FT) MORE OR LESS.

Subdivision Data

GROSS ACREAGE _____ 1.0021 ACRES
 ZONE ATLAS PAGE NO. _____ B-20-Z
 NUMBER OF EXISTING TRACTS _____ 1
 NUMBER OF TRACTS CREATED _____ 2
 NUMBER OF TRACTS ELIMINATED _____ 0
 MILES OF FULL WIDTH STREETS _____ 0.00
 MILES OF HALF WIDTH STREETS _____ 0.00
 STREET DEDICATED TO THE CITY OF ALBUQUERQUE _____ 0
 DATE OF SURVEY _____ NOVEMBER 2008
 UTILITY CONTROL LOCATION SYSTEM LOG NUMBER _____ 2008460280
 ZONING _____ R-D 3 DU/A

Plat of
Lots 25-A and 25-B, Block 16
North Albuquerque Acres
Tract 1, Unit 3
 comprised of
Lot 25, Block 16, North Albuquerque Acres,
Tract 1, Unit 3
City of Albuquerque
Bernalillo County, New Mexico
 November 2008

Approved and Accepted by:

APPROVAL AND CONDITIONAL ACCEPTANCE AS SPECIFIED BY THE ALBUQUERQUE SUBDIVISION ORDINANCE, CHAPTER 14 ARTICLE 14 OF THE REVISED ORDINANCES OF ALBUQUERQUE, NEW MEXICO, 1994.

Project Number _____

Application Number _____

Plat approvals:

PNM Electric Services _____ Date _____

PNM Gas Services _____ Date _____

QWest _____ Date _____

Comcast _____ Date _____

City approvals:
Will Plotner _____ 11-14-08
 City Surveyor _____ Date _____

Traffic Engineer _____ Date _____

ABCWUA _____ Date _____

Parks and Recreation Department _____ Date _____

AMAFCU _____ Date _____

City Engineer _____ Date _____

DRB Chairperson, Planning Department _____ Date _____

Surveyor's Certificate

"I, WILL PLOTNER JR., A DULY QUALIFIED REGISTERED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT AND DESCRIPTION WERE PREPARED BY ME OR UNDER MY SUPERVISION, SHOWS ALL EASEMENTS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, UTILITY COMPANIES AND OTHER PARTIES EXPRESSING AN INTEREST AND MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND FURTHER MEETS THE MINIMUM STANDARDS FOR LAND SURVEYING IN THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF."

Will Plotner _____ 11/13/08
 WILL PLOTNER JR. _____ DATE _____
 N.M.P.S. No. 14271

CARTESIAN SURVEYS INC.

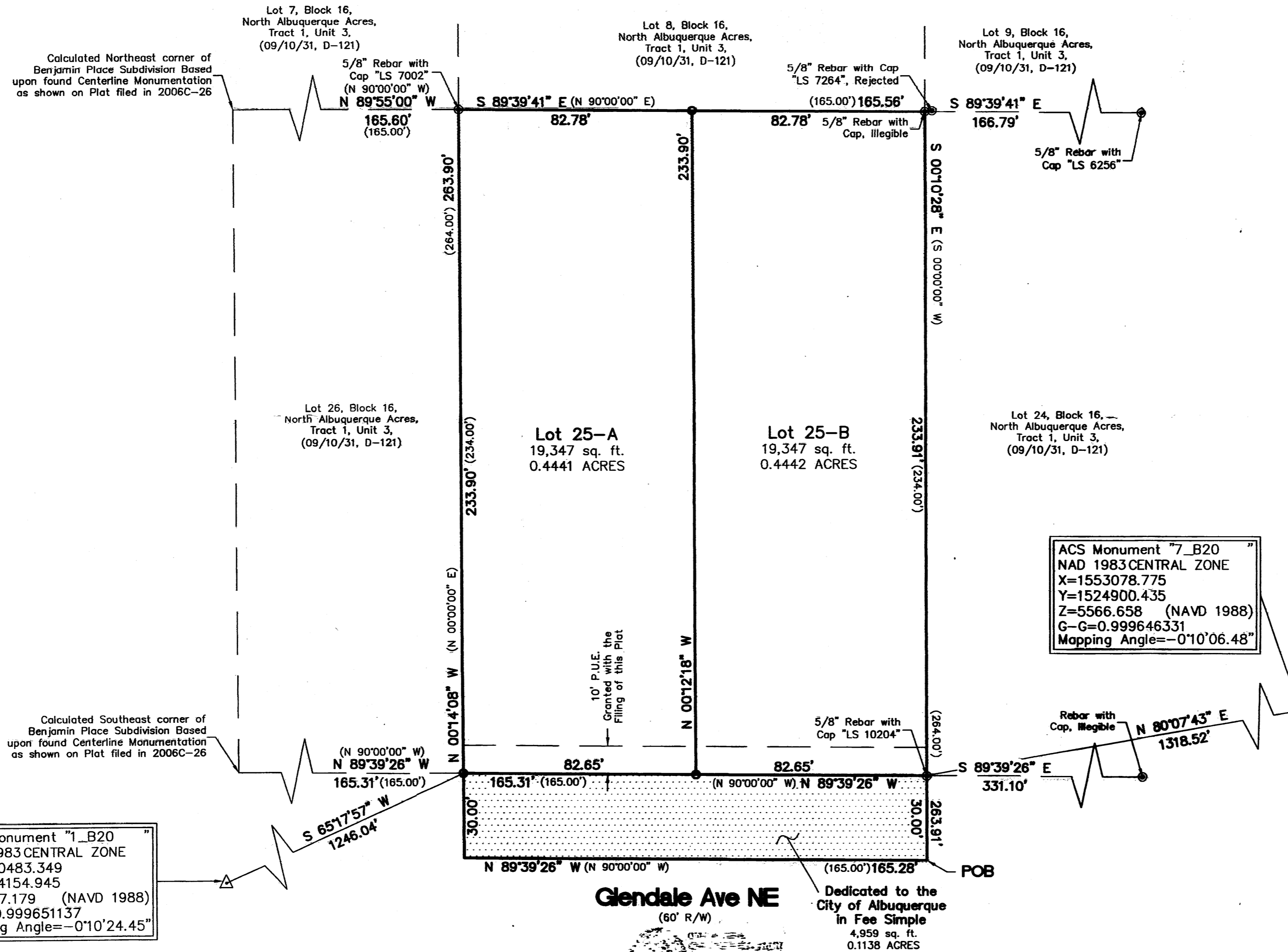
P.O. BOX 44414 RIO RANCHO, N.M. 87174
 Phone (505) 896-3050 Fax (505) 891-0244



Legend

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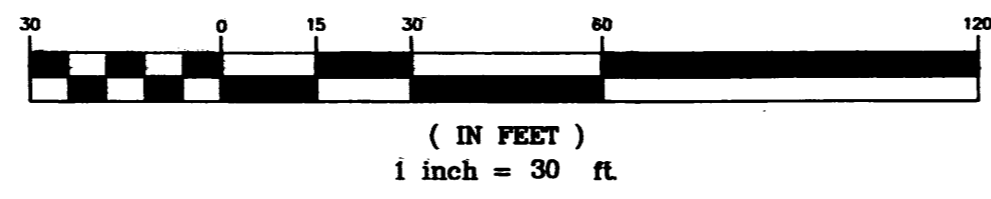
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Y=1524900.435
Z=5566.658 (NAVD 1988)
G-G=0.999646331
Mapping Angle=-0°10'06.48"

GRAPHIC SCALE



CARTESIAN SURVEYS INC.

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