

INTRODUCTION

THE PURPOSE OF THIS SITE DEVELOPMENT PLAN FOR BUILDING PERMIT IS TO ENSURE THAT THE SOUTHEAST CORNER OF BROADWAY AND INDIAN SCHOOL N.E. IS COMPREHENSIVELY DEVELOPED WITH RESPECT TO SITE LAYOUT FOR BUILDINGS, PARKING, INGRESS/EGRESS POINTS, PEDESTRIAN CIRCULATION, AND LINKAGES TO ADJACENT USES AS WELL AS ARCHITECTURAL AND NEIGHBORHOOD DESIGN.

THE PROPOSED USE OF THE SITE IS TO DEVELOP 68 UNITS OF MULTI-FAMILY HOUSING AND ASSOCIATED COMMUNITY SUPPORT FUNCTIONS, INCLUDING A LEASING OFFICE, COMMUNITY SUPPORT BUILDING, AND PARK FACILITY ACCESSIBLE TO THE PUBLIC.

BUILDING MASSING IS ARRANGED RECTILINEARLY TO MELD THE DEVELOPMENT WITH THE EXISTING FABRIC OF SURROUNDING CITY BLOCKS. BUILDINGS ARE PLACED WITH THEIR FRONT FACADES FACING STREETS AND ADJACENT TO SIDEWALKS, WITH FRONT SETBACKS VARYING FROM A MAXIMUM OF 22' FROM THE PROPERTY LINE ALONG INDIAN SCHOOL, HEIGHTS RANGE FROM ONE TO THREE STORIES, WITH A MAXIMUM HEIGHT OF 48' AT THE THREE STORY UNITS. THE MAXIMUM FLOOR AREA RATIO FOR THE DEVELOPMENT IS 3.

OFF-STREET PARKING IS LOCATED AT THE CENTER OF EACH RESIDENTIAL BLOCK, WITH CONTROLLED VEHICULAR INGRESS AND EGRESS TO THE OFF-STREET PARKING AREAS FROM INDIAN SCHOOL, I.E. A PROPOSED STREET BISSECTS THE CENTER OF THE SITE IN A NORTH/SOUTH DIRECTION, AND IS MASTER PLANNED TO CONNECT TO A POSSIBLE EAST/WEST STREET TO THE SOUTH OF THIS DEVELOPMENT IN A FUTURE PHASE. NEW ON-STREET PARKING IS PROPOSED TO BE CONSTRUCTED AS A PART OF THIS DEVELOPMENT, 100% OF WHICH SERVES THE REQUIREMENTS OF THE DEVELOPMENT.

PEDESTRIAN INGRESS AND EGRESS IS THROUGH AN EXTENSION OF THE EXISTING NEIGHBORHOOD'S SIDEWALK SYSTEM ALONG BROADWAY AND INDIAN SCHOOL. CONTROLLED GATED PEDESTRIAN ACCESS POINTS CONNECT THE PERIMETER SIDEWALK SYSTEM TO THE INTERNAL CIRCULATION SYSTEM OF SIDEWALKS WITHIN THE PERIMETER SECURITY WALLS.

LANDSCAPING EMPLOYS A LARGE NUMBER OF TREES FOR SHADING AND TO TIE THE PROPOSED PARK AREA VISUALLY TO THE PROPOSED OFF-STREET PARKING AREAS. PERMEABLE PAVING IS USED IN THE OFF-STREET PARKING AREAS TO ENCOURAGE THEIR USE AS MULTI-FUNCTIONING SPACES.

LEGEND:

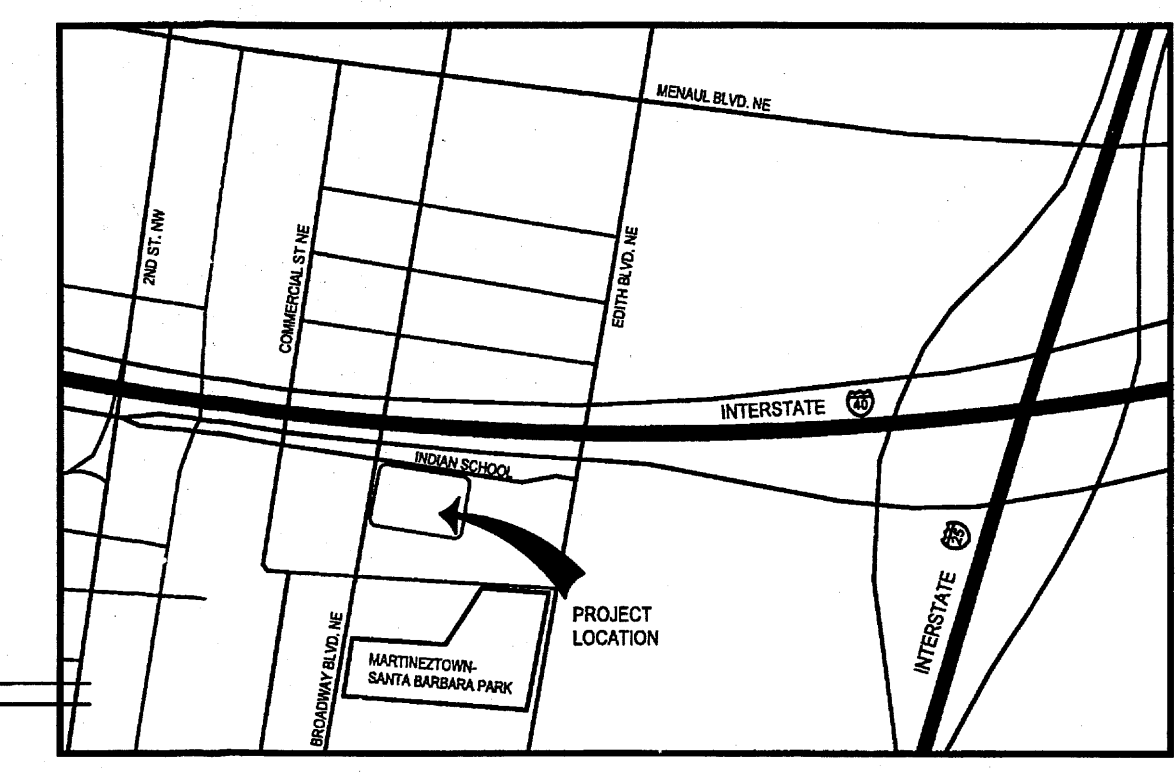
- PEDESTRIAN ACCESS (CONCRETE SIDEWALK)
- PERMEABLE PAVEMENT (6" THICK 3/4" GRAVEL OVER 95% COMPACTED NATIVE SUBGRADE)
- PATTERNED CONCRETE CROSSWALK
- 5'-4" HIGH SECURITY WALL - GRAY-BROWN CONCRETE BLOCK, 8X16 STACKED BOND, WITH DECORATIVE METAL GATES WHERE SHOWN.
- 6'-0" HIGH SECURITY WALL - DECORATIVE METAL WITH DECORATIVE METAL GATES WHERE SHOWN.
- LOW RETAINING WALL - GRAY-BROWN CONCRETE BLOCK, 8X16 STACKED BOND, 2'-0" APPROXIMATE HEIGHT.

- 6'-0" HIGH SECURITY WALL - DECORATIVE METAL "COYOTE FENCE"
- SITE LIGHTING, METAL HALIDE, 15' ALUM. POLE
- SITE LIGHTING, METAL HALIDE, 15' ALUM. POLE, DOUBLE LAMP
- SITE LIGHTING, METAL HALIDE, 12' ALUM. POLE
- PICNIC TABLE
- TRASH CAN
- BENCH
- BOULDERS
- BIKE RACKS

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- 5.4.....BUILDING AND STRUCTURE ELEVATIONS, BLDG E
- 5.5.....BUILDING AND STRUCTURE ELEVATIONS, BLDG F

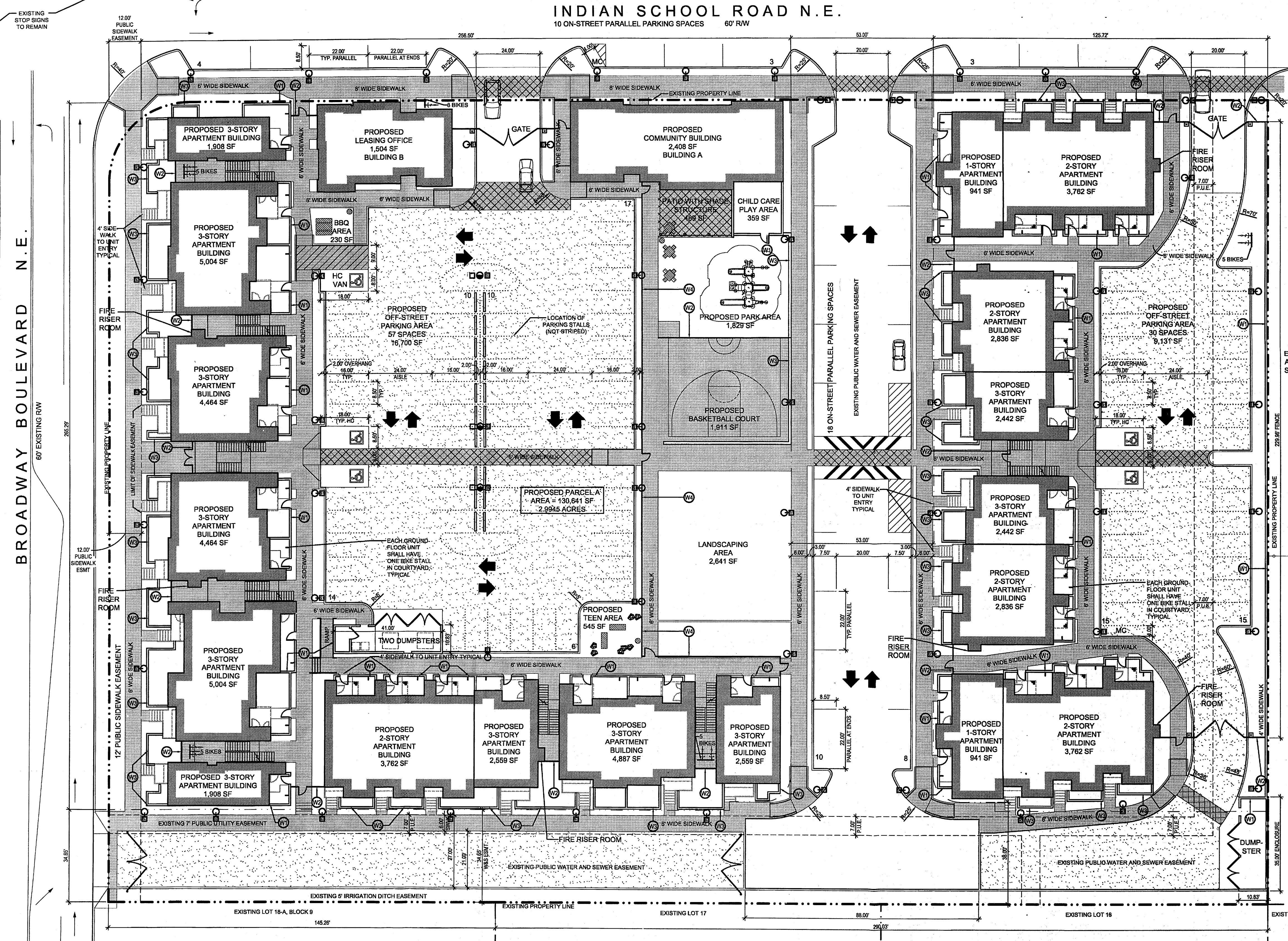
NOTE: PARK AREA IS PRIVATELY OWNED AND PRIVATELY MAINTAINED BY OWNER.



120 VASSAR DRIVE SE SUITE 100
ALBUQUERQUE, NEW MEXICO 87106
PHONE : 505.242.6880 FAX : 505.242.6881

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INDIAN SCHOOL ROAD N.E.
10 ON-STREET PARALLEL PARKING SPACES 60' R/W



E5 VICINITY MAP
SCALE: 1" = 1000'

PROJECT LOCATION: SOUTHEAST CORNER OF INDIAN SCHOOL AND BROADWAY NE
LEGAL DESCRIPTION: LOTS 1 THROUGH 3, BLOCK 9, FRANCISCAN ACRES
ZONE ATLAS PAGE: H-14
TOTAL ACREAGE: 2.9945 ACRES
PROPOSED SUBDIVISION PARCELS: PARCEL A..... 2.9945 ACRES
EXISTING ZONING: SU-2/SU-1 FOR PRD
PROPOSED USES: RESIDENTIAL DWELLINGS
LIST OF APPLICABLE PLANS:
RANK 1 PLANS: ALBUQUERQUE/BERNALILLO COUNTY COMPREHENSIVE PLAN
RANK 2 PLANS: NONE
RANK 3 PLANS: MARTINEZTOWN / SANTA BARBARA SECTOR DEVELOPMENT PLAN
MAXIMUM BUILDING HEIGHT: 48 FEET
MINIMUM BUILDING SETBACK: ZERO (INDIAN SCHOOL ONLY)
MAXIMUM TOTAL DWELLING UNITS:
68 DWELLING UNITS
NET: 28.64 DUS/ACRE
GROSS: 22.67 DUS/ACRE
PROPOSED TOTAL AREA FOR RESIDENTIAL UNITS:
56,481 SF (LEASING OFFICE AND COMMUNITY BUILDING NOT INCL.)
FAR SUMMARY:
MAXIMUM FAR FOR NONRESIDENTIAL UNITS.....0.3
PROVIDED FAR FOR NONRESIDENTIAL UNITS.....0.05
PROVIDED FAR FOR ALL DEVELOPMENT (RES AND NON-RES).....0.53
REQUIRED PARKING:
PER DRB APPROVED SDP FOR SUBDIVISION 8-8-12,
TOTAL REQUIRED PARKING.....115 SPACES
PROPOSED PARKING:
OFF-STREET PARKING.....87 SPACES
ON-STREET PARKING.....28 SPACES
TOTAL PROPOSED PARKING.....115 SPACES
HANDICAPPED, MOTORCYCLE, AND BICYCLE PARKING IS PROVIDED TO MEET THE REQUIREMENTS OF THE APPROVED SITE DEVELOPMENT PLAN FOR SUBDIVISION DATED 8-8-2012.

SIGNATURE BLOCK
PROJECT NUMBER 1007649
APPLICATION NUMBER 12 DRB 70255
Is an infrastructure list required? ()yes ()no If yes, then a set of approved DRB plans with a work order is required for any construction within public right-of-way or for construction of public improvements.
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE: 09-12-12
ALBUQUERQUE DATE: 09/12/12
UTILITIES DEVELOPMENT DATE: 09/12/12
PARKS AND RECREATION DATE: 1-31-13
CITY ENGINEER DATE:
ENVIRONMENTAL HEALTH DEPT. (if required) DATE:
SOLID WASTE MANAGEMENT DATE: 1-31-12
DRB CHAIRPERSON, PLANNING DEPARTMENT DATE:

STAMP

PROJECT NAME
GREATER ALBUQUERQUE HOUSING PARTNERSHIP

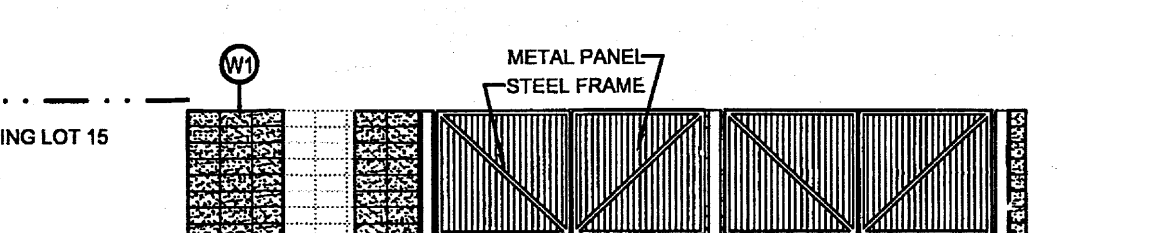
FRANCISCAN ACRES SUBDIVISION
INDIAN SCHOOL AND BROADWAY
ALBUQUERQUE, NM 87102

REVISIONS:

No.	DATE	DESCRIPTION
1	7/17/2012	PLAT REVISIONS
2	7/24/2012	DRB COMMENTS
3	8/5/2012	DRB COMMENTS
4	9/8/2012	DRB COMMENTS

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Checked by MW
Date 8/10/2012
Project number 2439
Cad file name

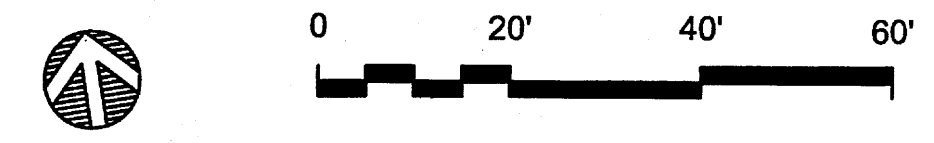
B5 BIKE RACKS
SCALE: 1/8" = 1'-0"



A5 DUMPSTER ENCLOSURE
SCALE: 1/8" = 1'-0"



A1 SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
SCALE: 1" = 20'-0"



NOTE: PLAT COMBINING THREE LOTS INTO SINGLE LOT AND CREATING EASEMENTS WAS RECORDED ON 8-30-2012 IN PLAT BOOK 2012C, PAGE 101



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 PHONE: 505.242.6880 FAX: 505.242.6881

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STAMP

PROJECT NAME
**GREATER ALBUQUERQUE
 HOUSING PARTNERSHIP**

FRANCISCAN ACRES SUBDIVISION
 INDIAN SCHOOL AND BROADWAY
 ALBUQUERQUE, NM 87102

REVISIONS:

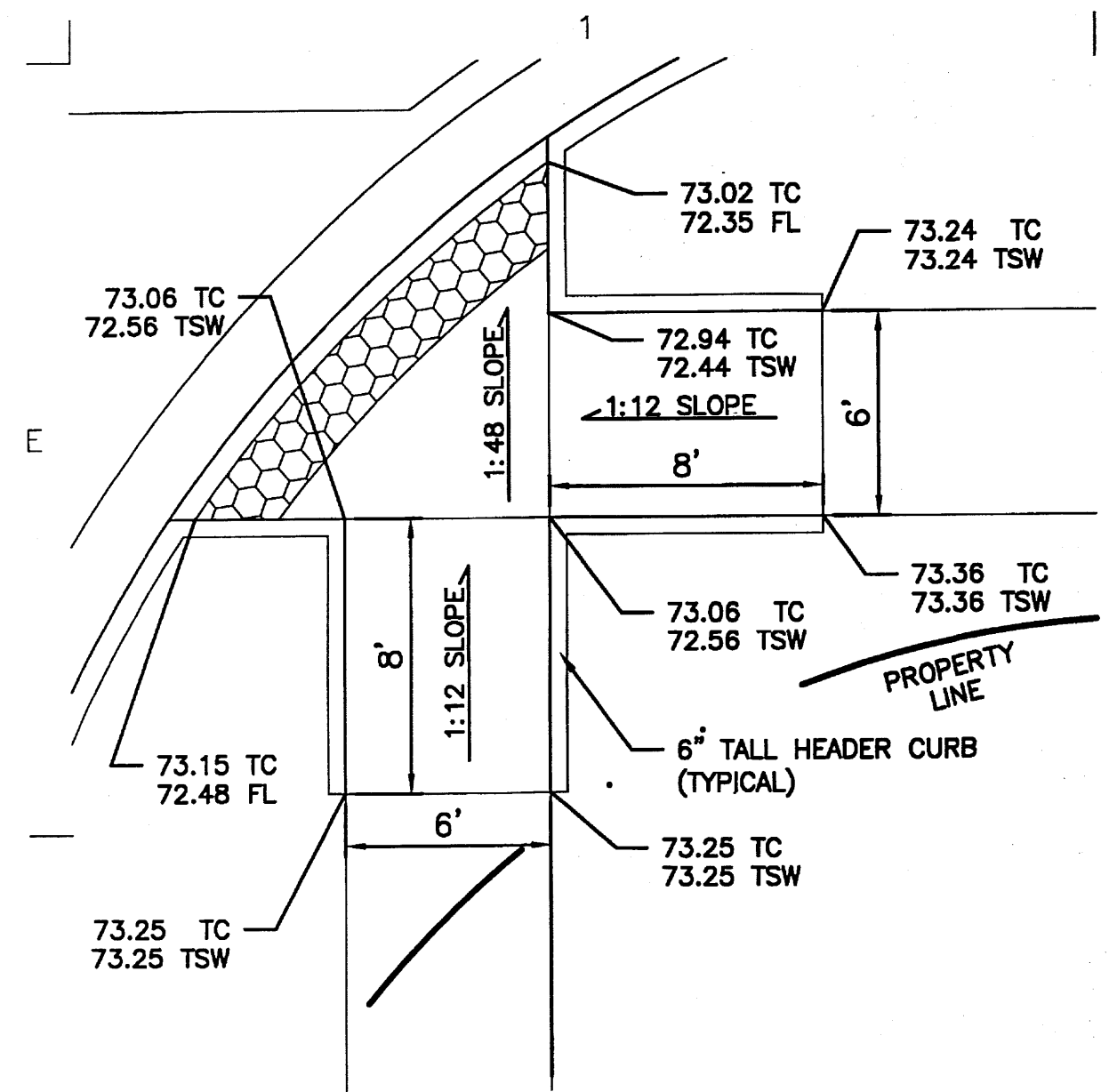
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2	7/24/2012	DRB COMMENTS
3	8/5/2012	DRB COMMENTS
4	9/6/2012	DRB COMMENTS

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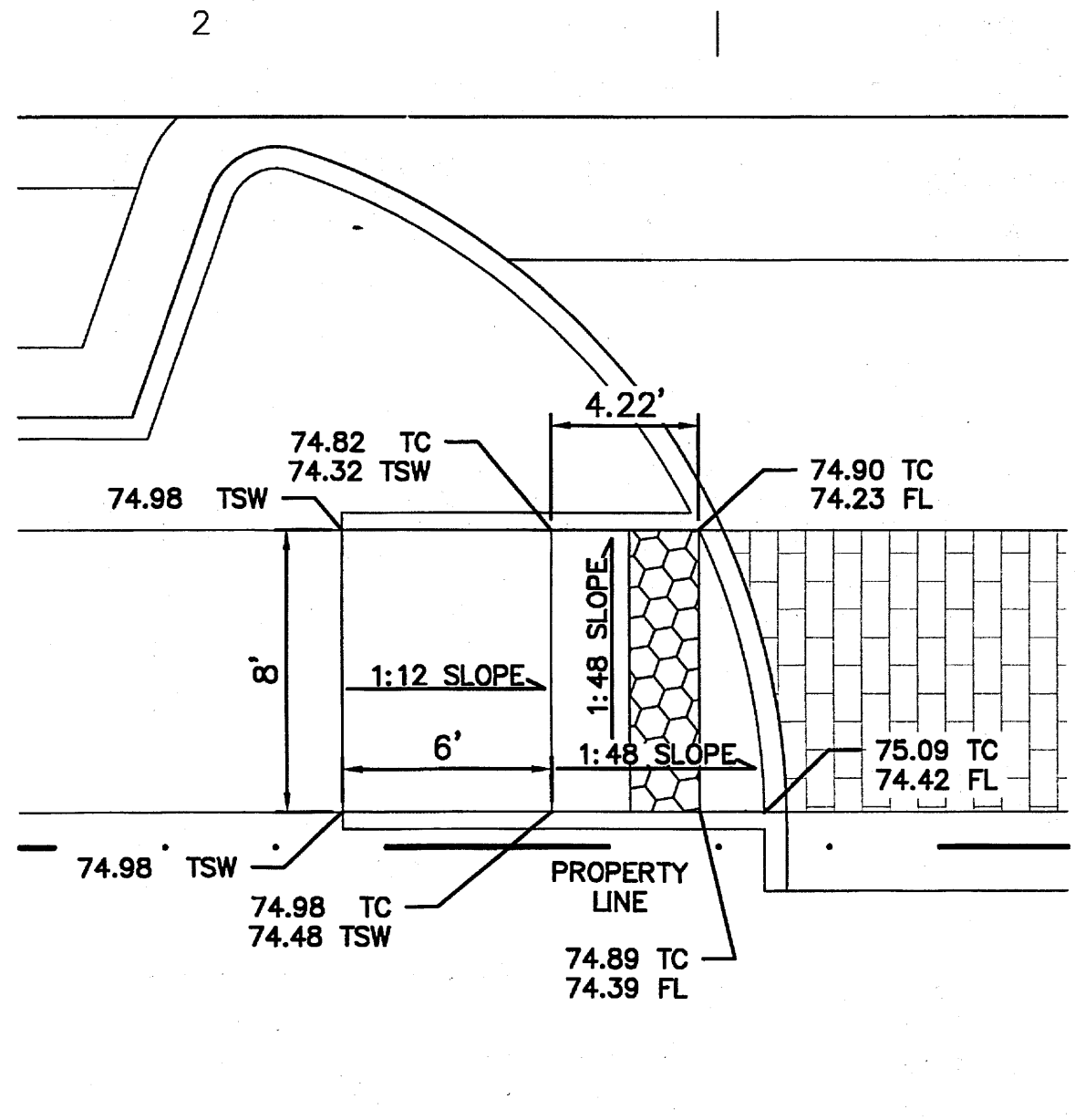
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**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
 ADA CURB ACCESS RAMPS**

SHEET NUMBER:

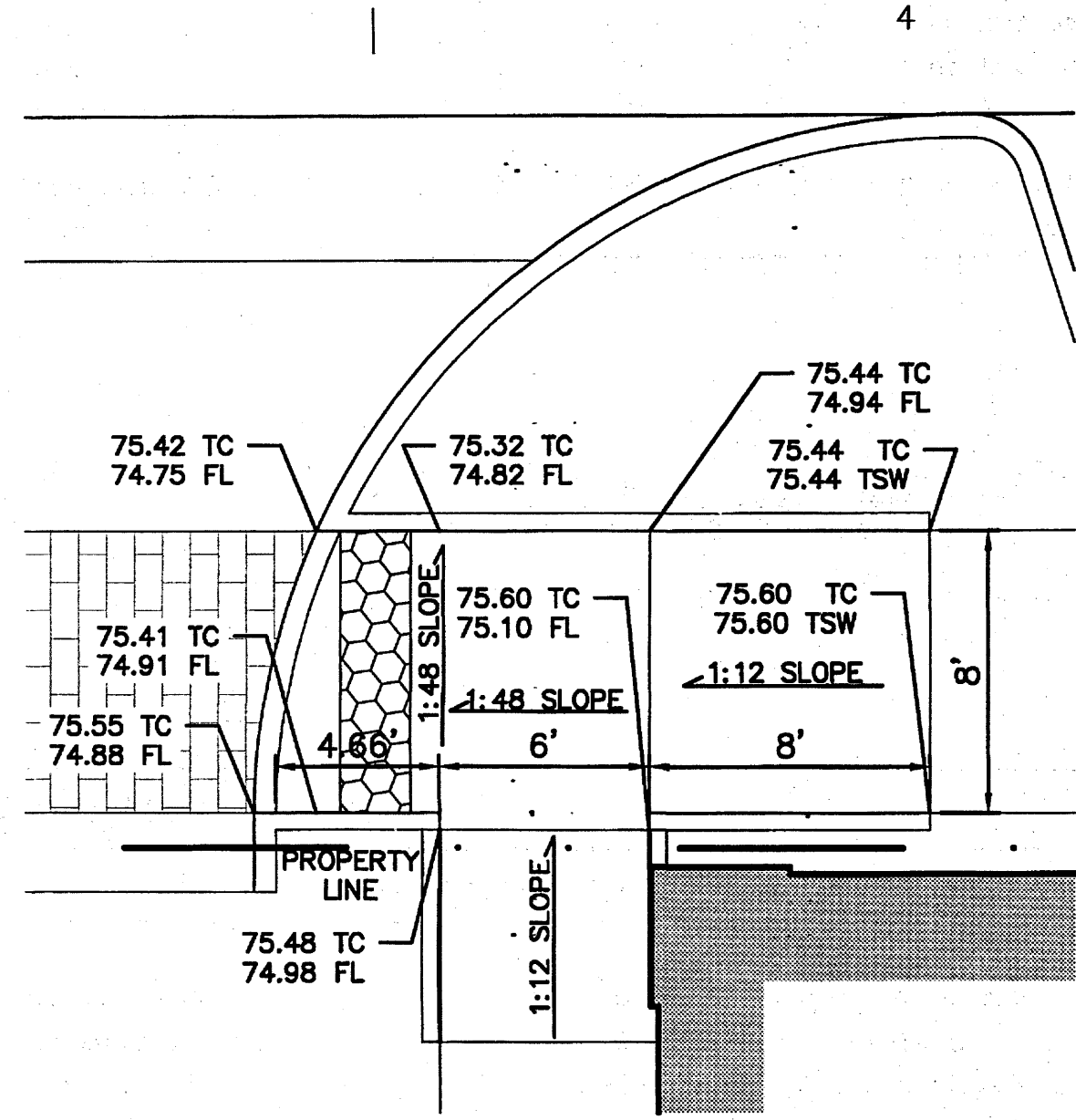
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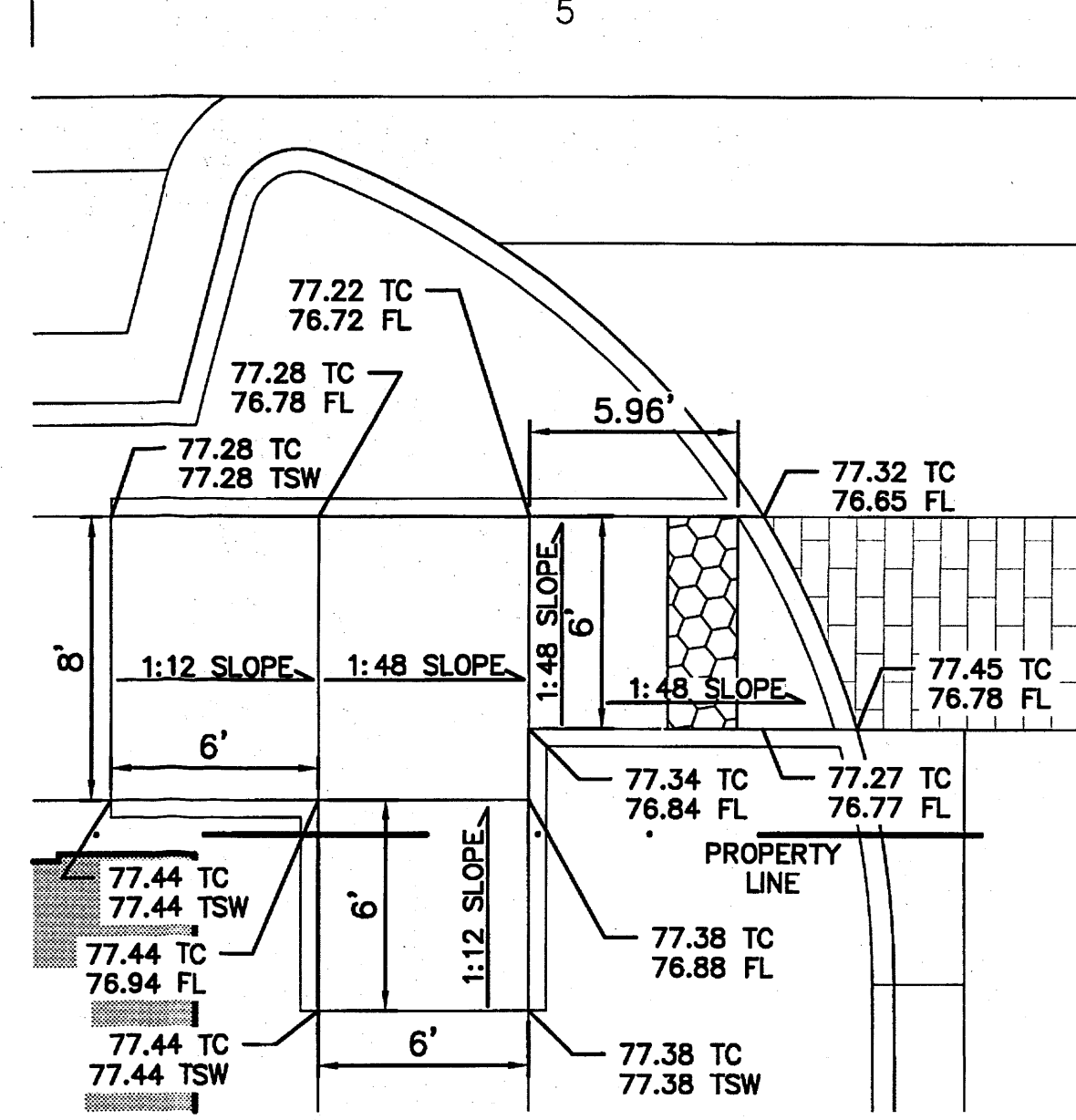
D1 CURB ACCESS RAMP DETAIL
 SCALE: 1" = 5'-0"



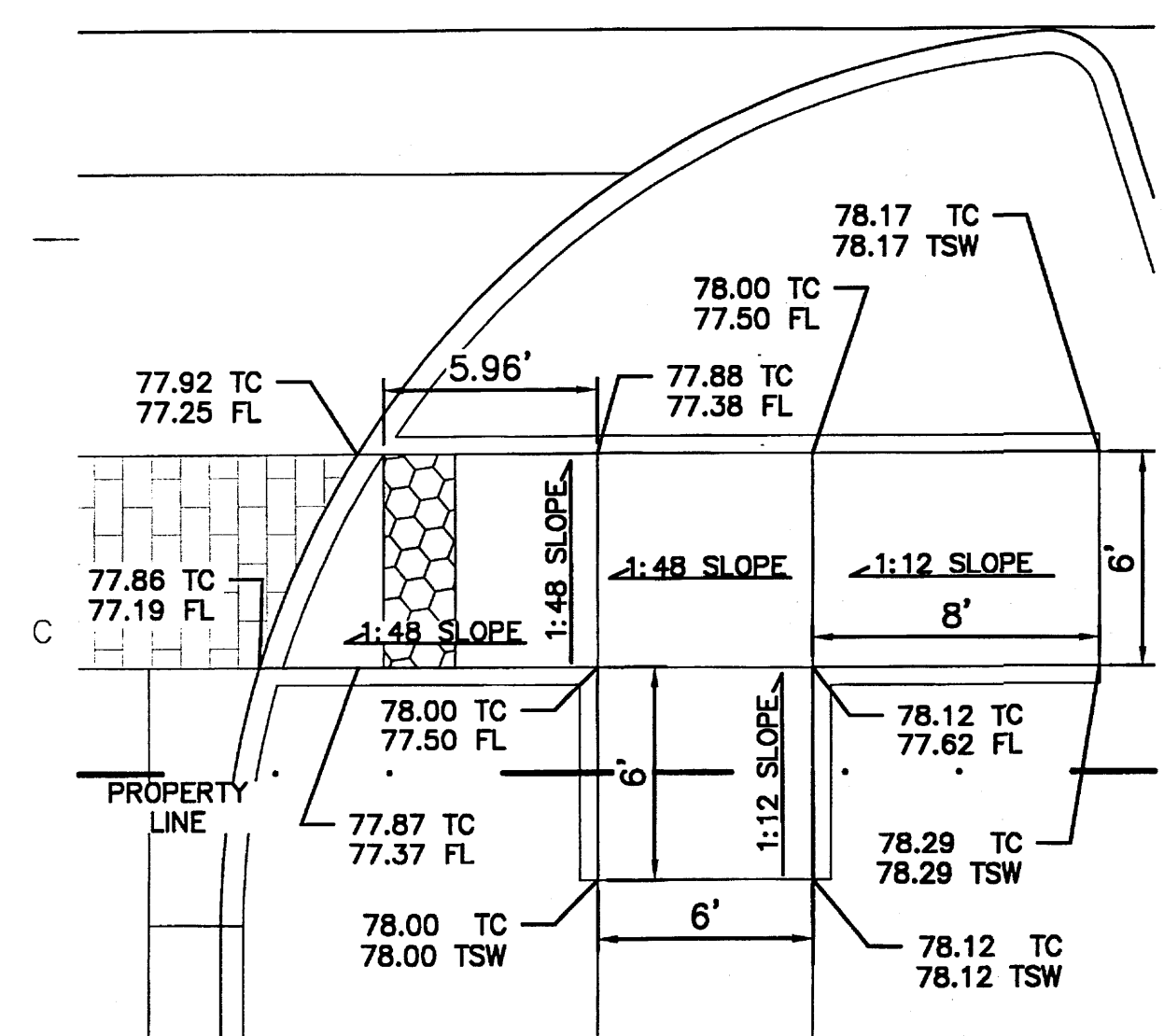
D2 CURB ACCESS RAMP DETAIL
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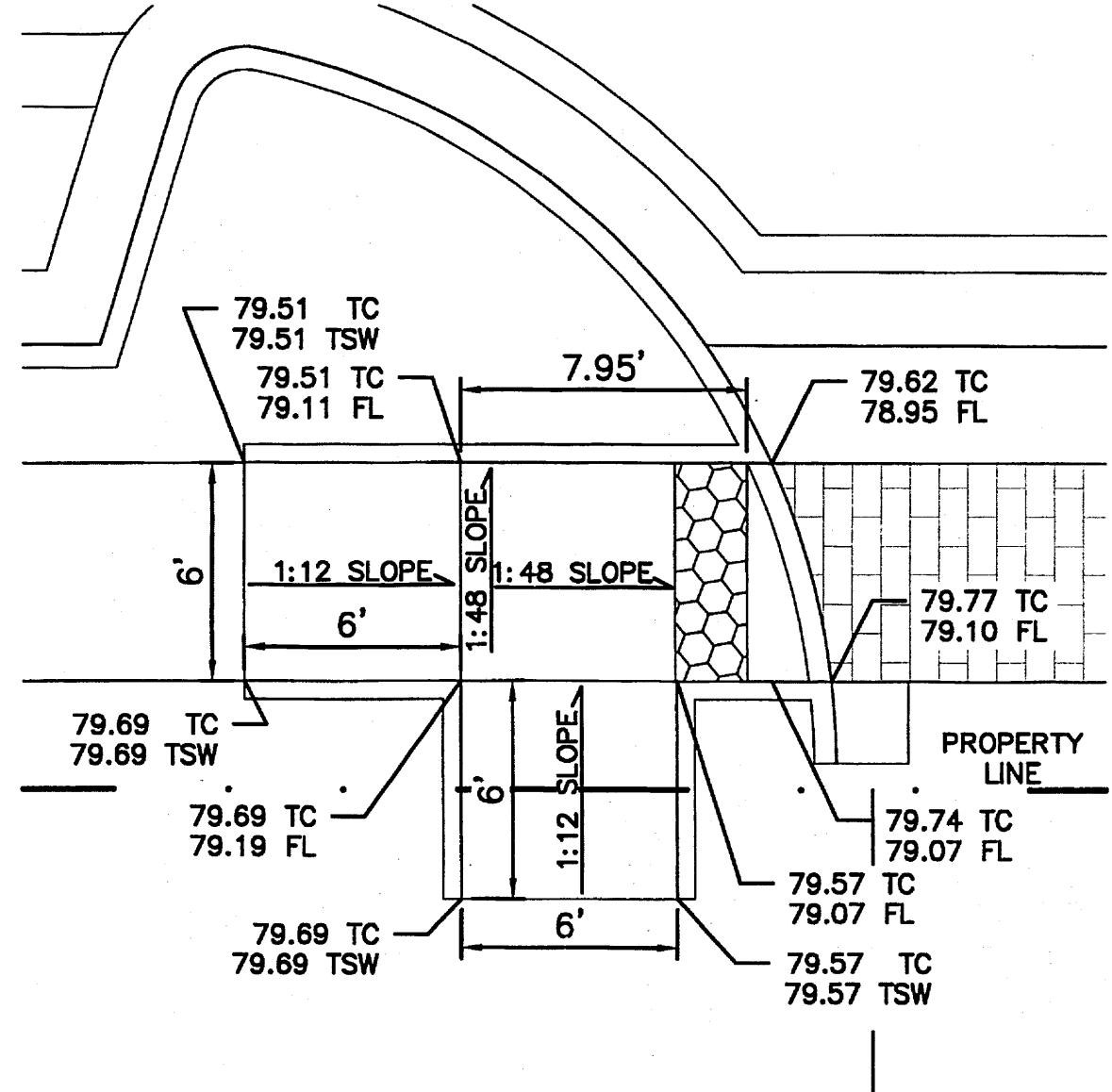
D3 CURB ACCESS RAMP DETAIL
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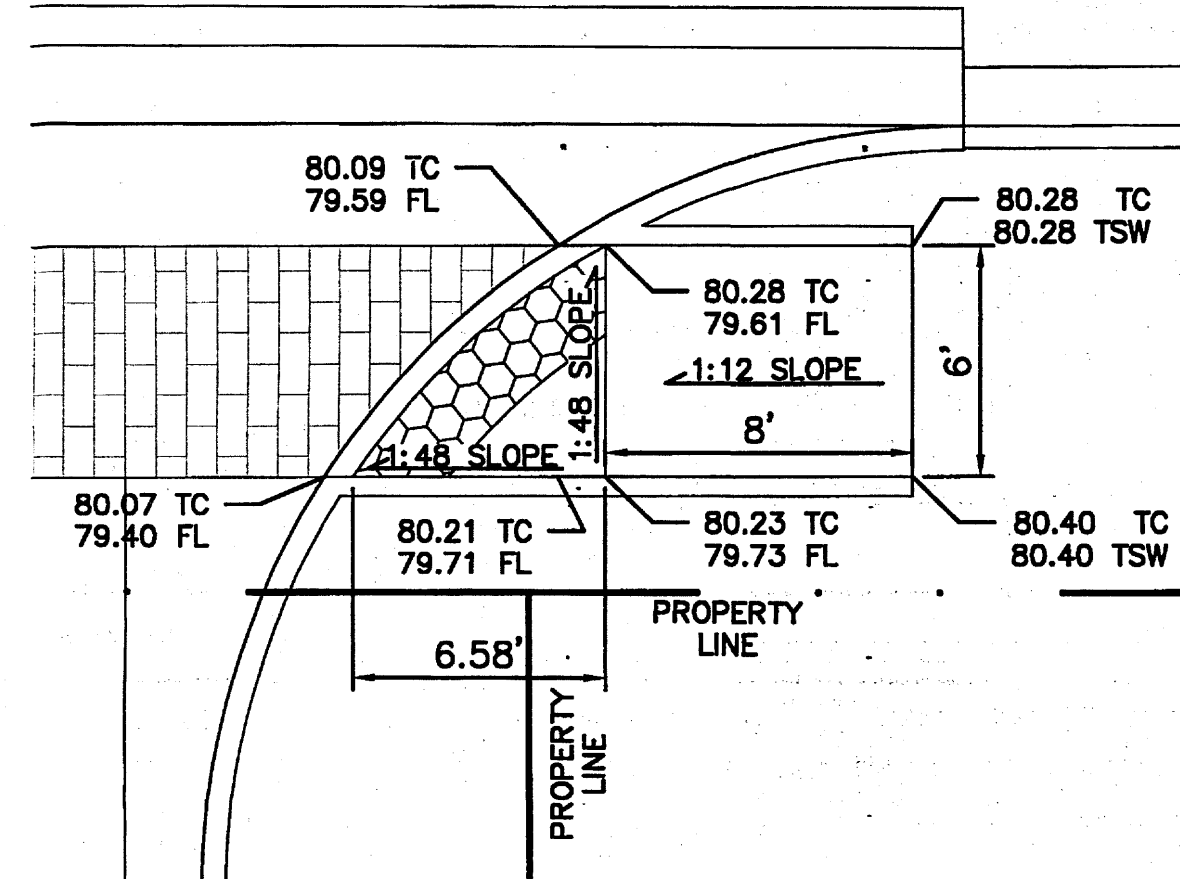
D5 CURB ACCESS RAMP DETAIL
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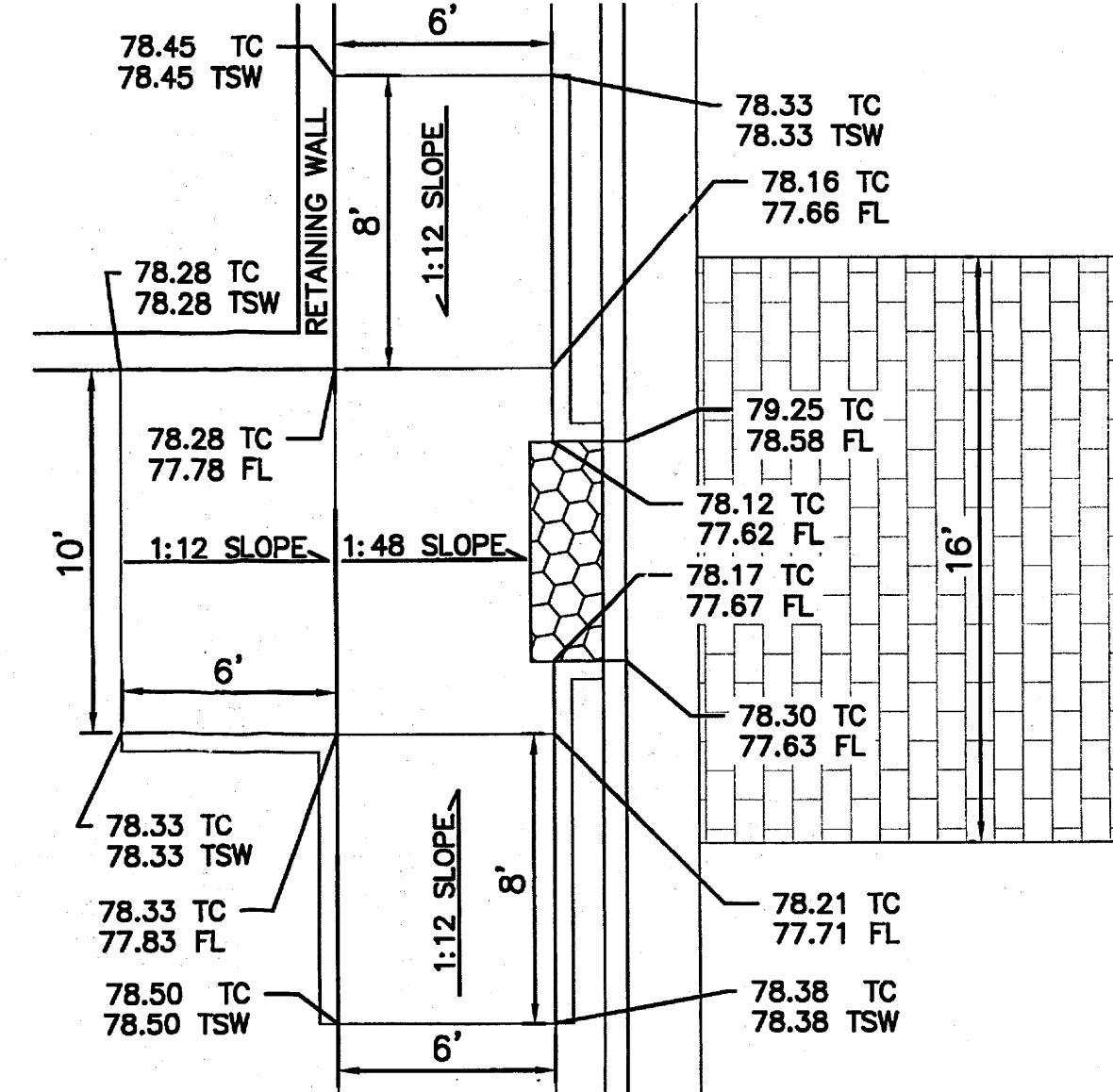
B1 CURB ACCESS RAMP DETAIL
 SCALE: 1" = 5'-0"



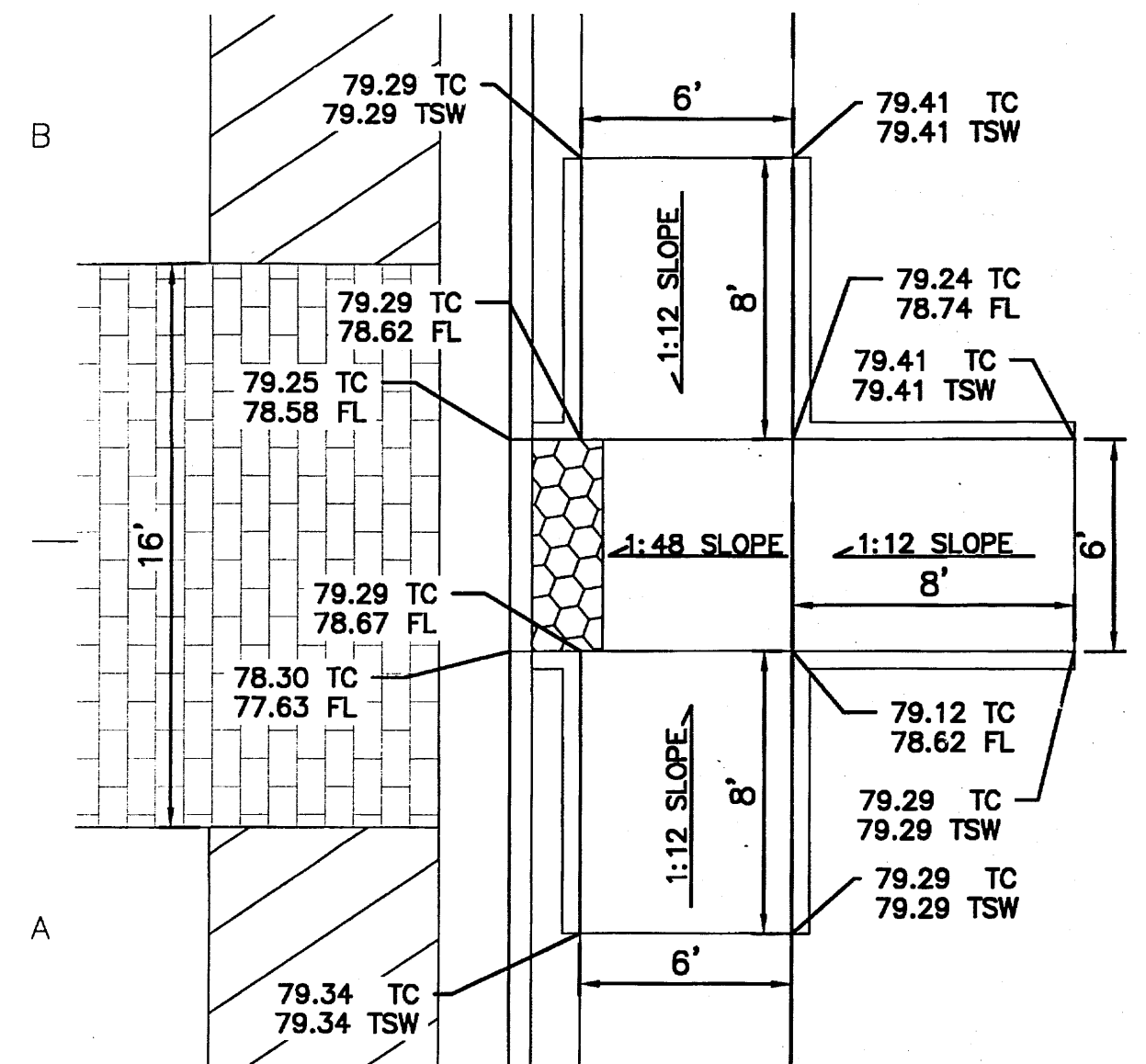
B2 CURB ACCESS RAMP DETAIL
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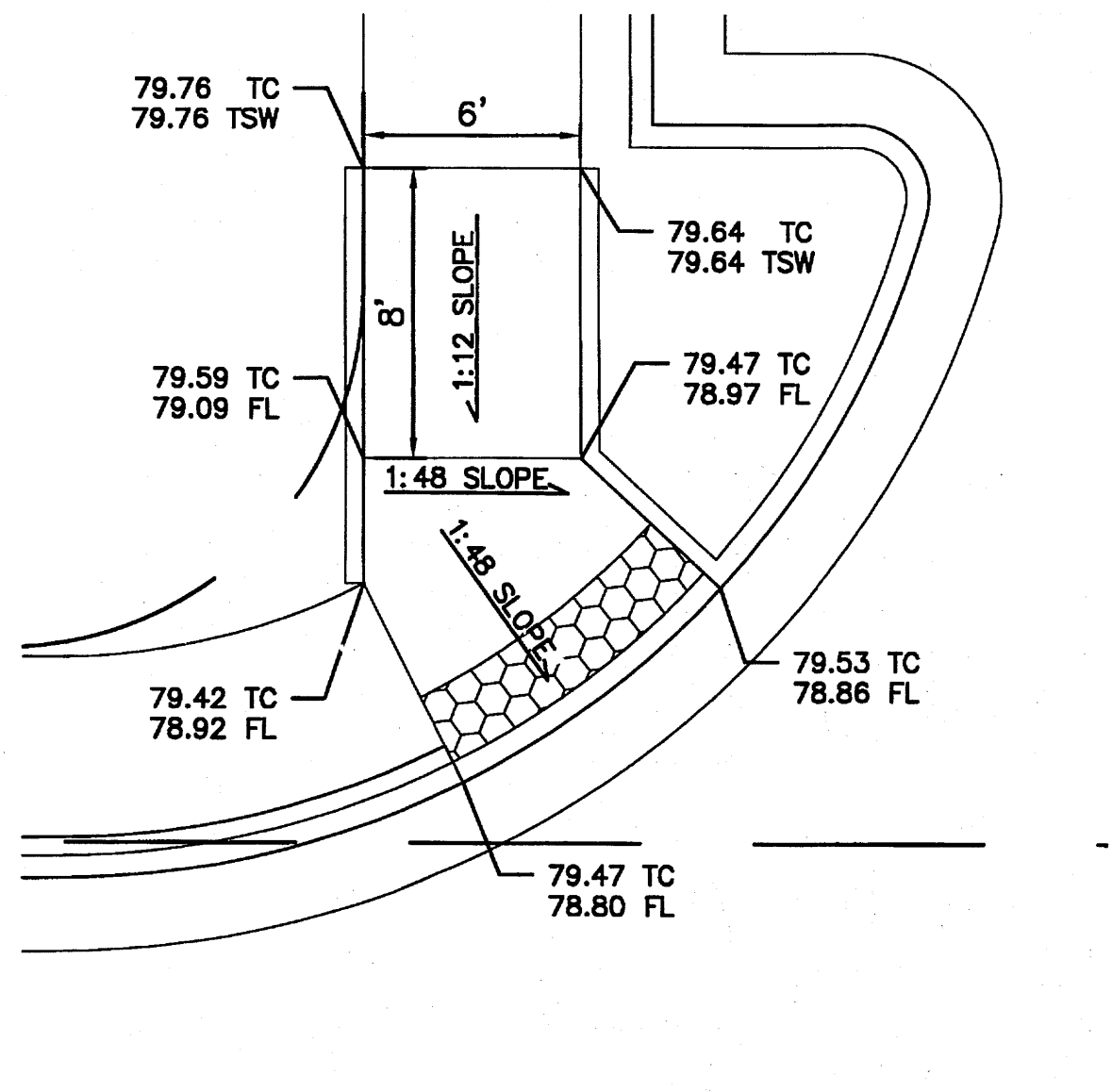
B3 CURB ACCESS RAMP DETAIL
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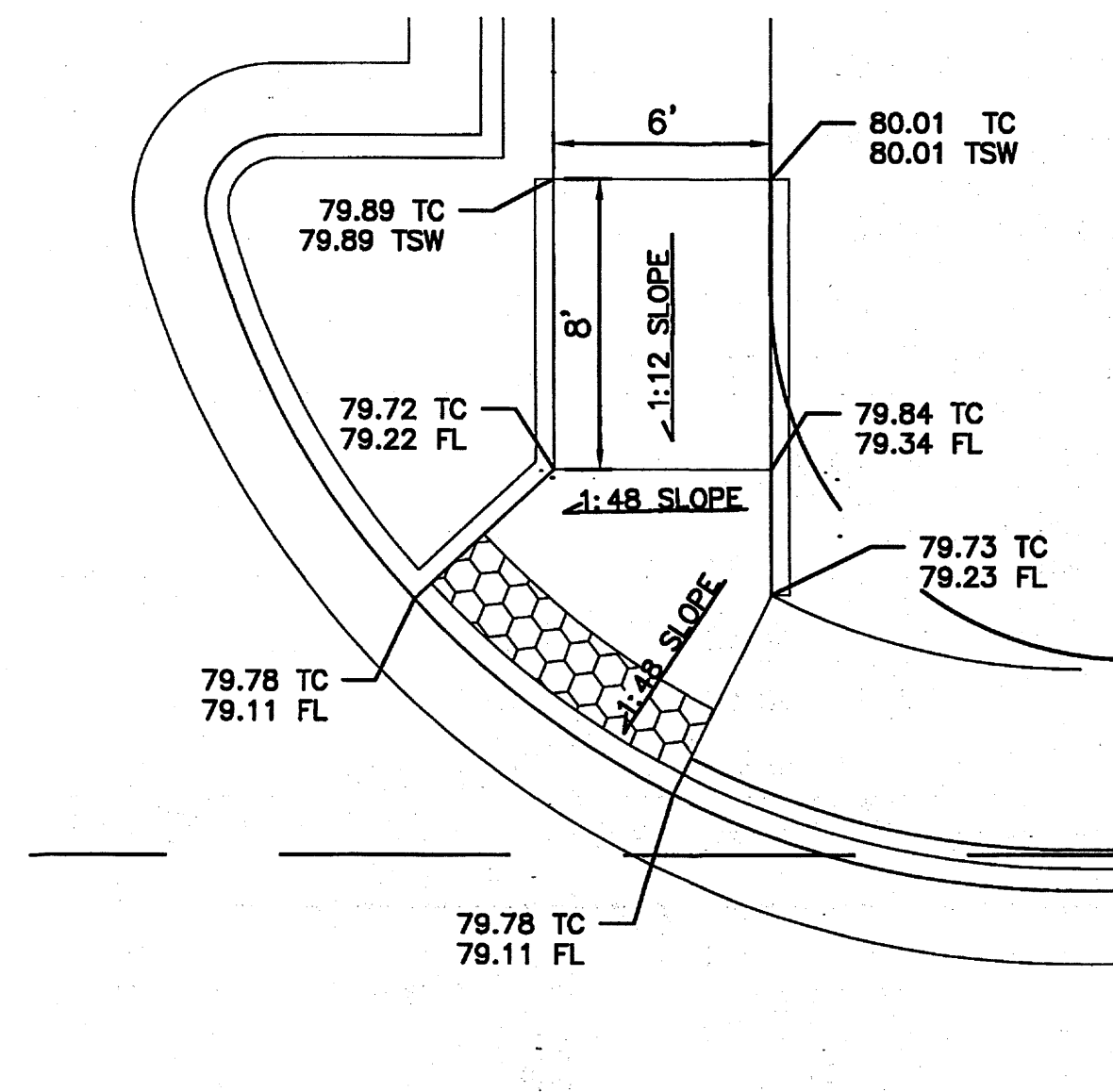
B5 CURB ACCESS RAMP DETAIL
 SCALE: 1" = 5'-0"



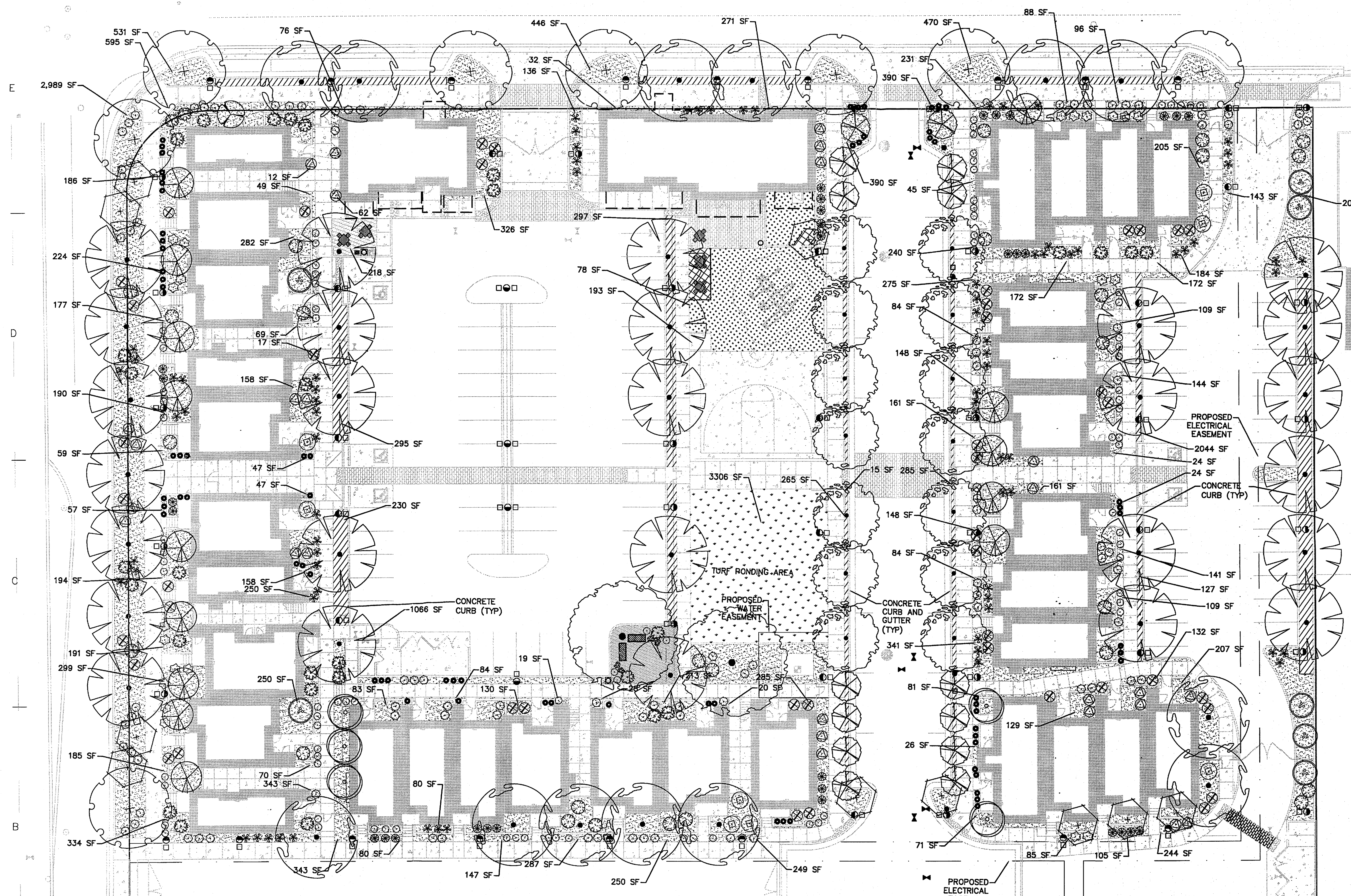
A1 CURB ACCESS RAMP DETAIL
 SCALE: 1" = 5'-0"



A2 CURB ACCESS RAMP DETAIL
 SCALE: 1" = 5'-0"



A3 CURB ACCESS RAMP DETAIL
 SCALE: 1" = 5'-0"



HATCH LEGEND

- 3" DEPTH OF 1" BUILDLOGY BROWN GRAVEL MULCH, (OR APPROVED EQUAL), AVAILABLE FROM BUILDLOGY (505) 344-6626.
- 3" DEPTH OF 1" BUILDLOGY BROWN GRAVEL MULCH, (OR APPROVED EQUAL), AVAILABLE FROM BUILDLOGY (505) 344-6626. TREES PLANTED IN THIS AREA SHALL BE PER TRENCH PLANTING DETAIL A3/L-501.
- PARK BLEND TURF- SOD (2,818 SF) TOP OF SOD TO BE 1" BELOW TOP OF ADJACENT PAVED SURFACE.
- ENGINEERED WOOD FIBER PLAY SURFACE. SEE KEYED NOTE #5.
- ENGINEERED WOOD FIBER PLAY SURFACE. SEE KEYED NOTE #4.
- BUILDLOGY BROWN CRUSHER FINES AVAILABLE FROM BUILDLOGY (505) 344-6626, OR APPROVED EQUAL. CONTRACTOR TO SUBMIT SAMPLE TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
- CONCRETE. SEE CIVIL.

GENERAL NOTES

1. MULCH IN TREE AND SHRUB BEDS SHALL BE 3" DEPTH OF 1" BROWN CRUSHED GRAVEL WITH FILTER FABRIC UNDER.
2. THIS PLAN IN COMPLIANCE WITH THE CITY OF ALBUQUERQUE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE, ENACTMENT NO. 18-1995.

IRRIGATION SYSTEM

ALL PLANTING IMPROVEMENTS WILL BE WATERED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. TREES, SHRUBS AND PERENNIALS WILL BE WATERED BY LOW PRECIPITATION RATE BUBBLER HEADS. TURF WILL BE WATERED BY SPRAY OR ROTOR HEADS. BACKFLOW PREVENTION WILL BE PROVIDED AT POINT OF CONNECTION TO SERVE AS THE MEANS OF WATER CONTAMINATION PROTECTION. IRRIGATION WILL BE OPERATED BY AUTOMATIC CONTROLLER.

LANDSCAPE MAINTENANCE

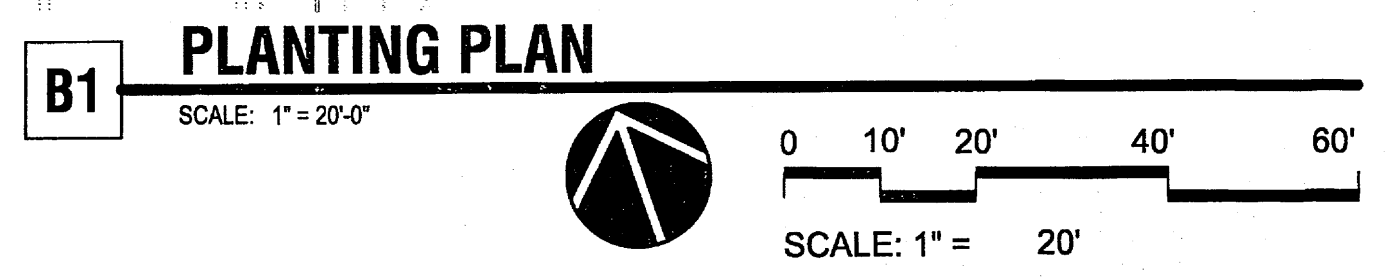
THE OWNER WILL RESUME RESPONSIBILITY FOR MAINTENANCE OF THE LANDSCAPE AND IRRIGATION SYSTEM.

LANDSCAPE AREA REQUIREMENTS

TOTAL LOT AREA: 140,719 S.F.
 BUILDING AREA: 27,738 S.F.
 NET LOT AREA: 112,981 S.F. (TOTAL - BUILDING = NET)
 TOTAL LANDSCAPE AREA REQUIRED: 16,947 S.F. (15% OF NET LOT AREA)
 TOTAL LANDSCAPE AREA PROVIDED: 25,489 S.F. (22.5% OF NET LOT AREA)

LANDSCAPE AREAS

LANDSCAPE TYPE	SQUARE FOOTAGE
HIGH WATER USE TURF	1,943 S.F. (7.6% OF LANDSCAPED AREA)
TREES AND SHRUB BEDS WITH GRAVEL OR CRUSHER FINE MULCH	23,546 S.F. (92.4% OF LANDSCAPED AREA)

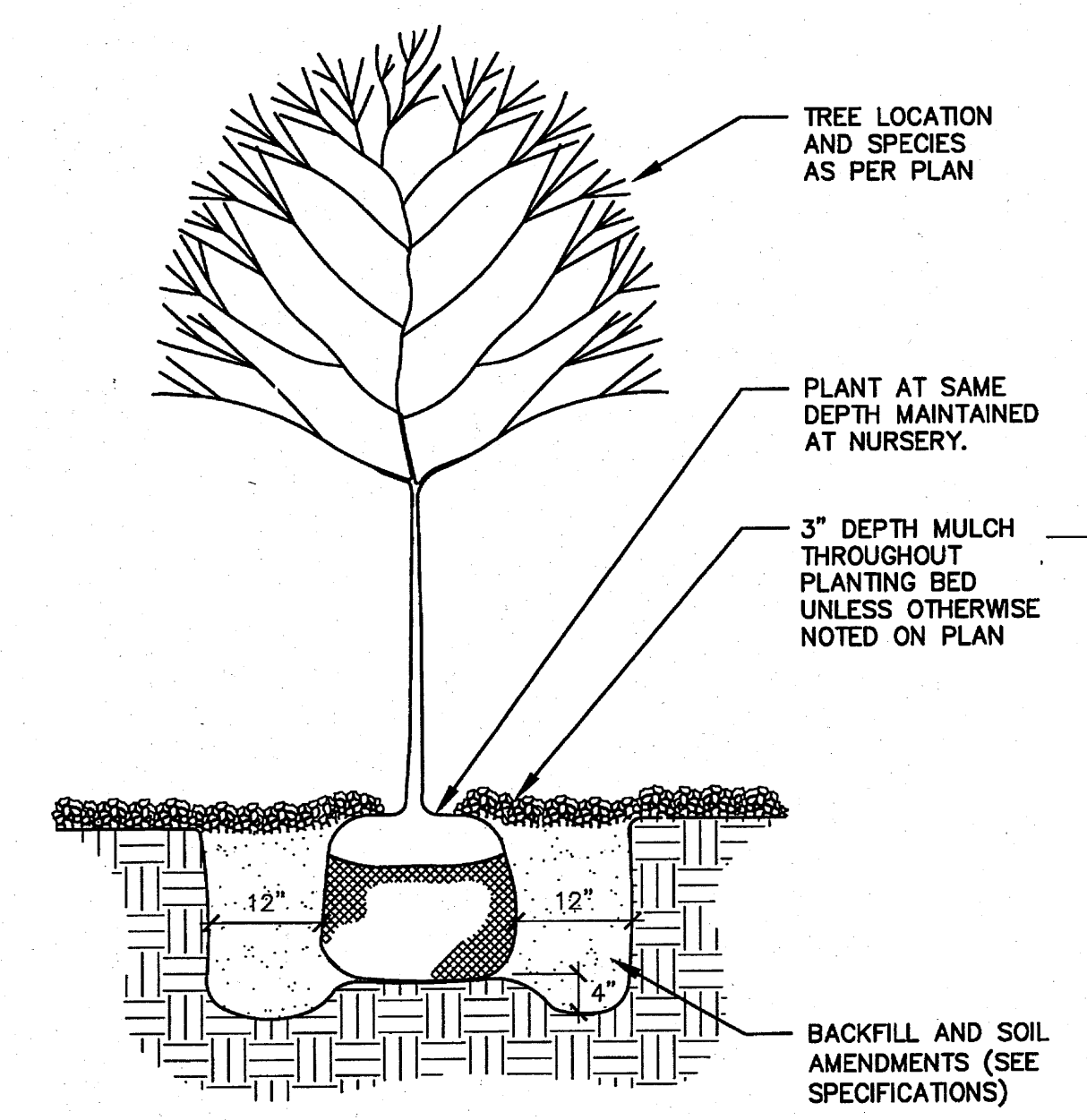


PLANT SCHEDULE

KEY	COMMON NAME	BOTANICAL NAME	QUANTITY	INSTALLED SIZE	MATURE SIZE	CONDITION
TREES						
UA	Urbanite Ash	<i>Fraxinus pennsylvanica</i> 'Urbanite'	13	2" cal., 12'-14'ht.	40' ht. & 25' spd.	30" box
CP	Chinese Platanoche	<i>Platanus chinensis</i>	8	2 cal., 10'-12'ht.	40' ht. & 25' spd.	30" box
LP	Landon Plane Tree	<i>Platanus acerifolia</i>	2	2" cal., 12'-14'ht.	50' ht. & 30' spd.	30" box
AP	Aristocrat Pear	<i>Pyrus calleryana</i> 'Aristocrat'	14	2" cal., 10'-12'ht.	25' ht. & 20' spd.	30" box
LE	Lacebark Elm	<i>Ulmus parvifolia</i>	27	2" cal., 12'-14'ht.	30' ht. & 25' spd.	30" box
ACCENT TREES						
NMO	New Mexico Olive	<i>Forestiera neomexicana</i>	33	Min. 4' ht.	18' ht. & 15' spd.	15-Gal.
WH	Washington Hawthorne	<i>Crataegus phaenopyrum</i>	24	1.5" cal., 6'-8'ht.	25' ht. & 20' spd.	15-Gal.
RC	Radiant Crabapple	<i>Malus 'Radiant'</i>	10	2" cal., 8'-10'ht.	24' ht. & 20' spd.	30" Box
VX	Vitex	<i>Vitex angus-castus</i>	5	Min. 4' ht.	25' ht. & 20' spd.	15-Gal.

PLANT SCHEDULE CONTINUED

KEY	COMMON NAME	BOTANICAL NAME	QUANTITY	INSTALLED SIZE	MATURE SIZE	CONDITION
SHRUBS						
BB	Butterfly Bush	<i>Buddleia davidii</i>	7	1'-6"ht.	9' ht. & spd.	5-Gal.
BM	Blue Mist Spirea	<i>Caryopteris x clandonensis</i>	94	1'-6"ht.	3' ht. & spd.	5-Gal.
FB	Fernbush	<i>Chamaebatia millefolium</i>	21	1'-6"ht.	5' ht. & spd.	5-Gal.
TB	Turpentine Bush	<i>Ericameria laevifolia</i>	48	1'-6"ht.	4' ht. & spd.	5-Gal.
BJ	Buffalo Juniper	<i>Juniperus horizontalis</i> 'Buffalo'	8	6"ht.	1' ht. & 6' spd.	5-Gal.
GLS	Gro-Low Sumac	<i>Rhus aromatic</i> 'Gro-Low'	31	1'ht.	3' ht. & 5' spd.	5-Gal.
LL	Lilac	<i>Syringa vulgaris</i>	1	1'-6"ht.	15' ht. & spd.	5-Gal.
GRASSES AND ACCENTS						
KF	Karl Foester Grass	<i>Calamagrostis x acutiflora</i> 'Karl Foester'	87	1'-6"ht.	2' ht. & spd.	5-Gal.
RY	Red Yucca	<i>Hesperaloe parviflora</i>	31	1'-6"ht.	4' ht. & 3' spd.	5-Gal.
MG	Maiden Grass	<i>Miscanthus sinensis</i> 'Gracillimus'	26	1'-6"ht.	5' ht. & 3' spd.	5-Gal.
SH	Shenandoah Switchgrass	<i>Panicum virgatum</i> 'Shenandoah'	21	1'-6"ht.	4' ht. & spd.	5-Gal.
DF	Dwarf Fountain Grass	<i>Pennisetum alopecuroides</i> 'Hamel'	78	1' ht.	3' ht. & spd.	1-Gal.
BA	Blue Avena	<i>Helictotrichon sempervirens</i>	71	8" ht.	2' ht. & spd.	1-Gal.



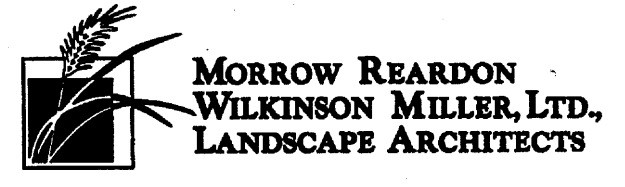
A5 TREE PLANTING DETAIL
 SCALE: N.T.S.



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STAMP

PROJECT NAME

GREATER ALBUQUERQUE HOUSING PARTNERSHIP

FRANCISCAN ACRES SUBDIVISION
 INDIAN SCHOOL AND BROADWAY
 ALBUQUERQUE, NM 87102

REVISIONS:

No.	DATE	DESCRIPTION
1	9/6/2012	DRB COMMENTS
2	9/21/2012	DRB COMMENTS

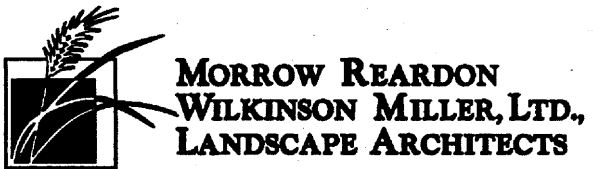
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Checked by	GM
Date	8/6/2012
Project number	2439
Cad file name	

SHEET TITLE:
LANDSCAPE PLANTING PLAN

SHEET NUMBER:

2.1



REVISIONS:		
No.	DATE	DESCRIPTION
	9/6/2012	DRB COMMENTS
	9/21/2012	DRB COMMENTS

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Checked by	GM
Date	8/10/2012
Project number	2439
Cad file name	

SHEET TITLE:
LANDSCAPE IRRIGATION PLAN

SHEET NUMBER:

2.2

IRRIGATION LEGEND

- M** 1.5" WATER METER FOR IRRIGATION.
- ==== MAIN LINE AND LATERAL SLEEVE PIPING, CLASS 200, SDR-21, BELL-END, SOLVENT WELD PVC, SEE IRRIGATION NOTE NO. 2.
- ==== 24-VOLT IRRIGATION WIRE SLEEVE PIPING, CLASS 200, SDR-21, BELL-END, SOLVENT WELD PVC, SEE IRRIGATION NOTE NO. 2.
- IRRIGATION MAIN LINE, SCH. 40, BELL END, SOLVENT WELD PVC, SIZE AS SHOWN ON PLAN. DEPTH OF BURY 18" SIZE 1.5".
- IRRIGATION SERVICE LINE PIPING BETWEEN THE WATER METER AND THE TAP SHALL BE COPPER PIPE. FOR MAINLINE UNDER CONTINUOUS PRESSURE THE DEPTH OF BURY SHALL BE 28", SIZE 1.5".
- LATERAL PIPING, SCH. 40, BELL END, SOLVENT WELD PVC. SIZE AS SHOWN ON PLAN. DEPTH OF BURY, 18" EXCEPT WHERE LATERALS ARE LOCATED UNDER GRAVEL VEHICULAR AREAS. DEPTH OF BURY IN THESE LOCATIONS SHALL BE 24". PIPE CONVEYING LESS THAN 5 GPM SHALL BE 3/4".
- ✂ ISOLATION GATE VALVE ASSEMBLY SHALL BE SPEARS SCH. 80 PVC BALL VALVE WITH UNIONS, MATCH LINE SIZE. INSTALL PER DETAIL A4/L-502.
- ⊕ FERCO B25Y, 1.5" REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTER ASSEMBLY, IN HOT BOX, MODEL # HB1.5, COLOR: TAN, HEATED AND INSULATED BACKFLOW ENCLOSURE. WITH RAINBIRD 1.5" PEB SERIES PLASTIC BODY 24-VOLT AUTOMATIC MASTER VALVE ASSEMBLY. INSTALL PER DETAIL D2/L-502.
- ⊕ REMOTE CONTROL VALVE ASSEMBLY. RAINBIRD PEB SERIES PLASTIC BODY 24-VOLT AUTOMATIC VALVE. SIZE AS SHOWN ON PLANS. INSTALL VALVES PER DETAIL B4/L-502.
- SOLVENT WELD CAP, SCH. 40 PVC, LINE SIZE.
- ⊕ PRESSURE COMPENSATING BUBBLER ASSEMBLIES, RAIN BIRD 1400 SERIES, AS FOLLOWS (INSTALL PER DETAIL A2/L-502):

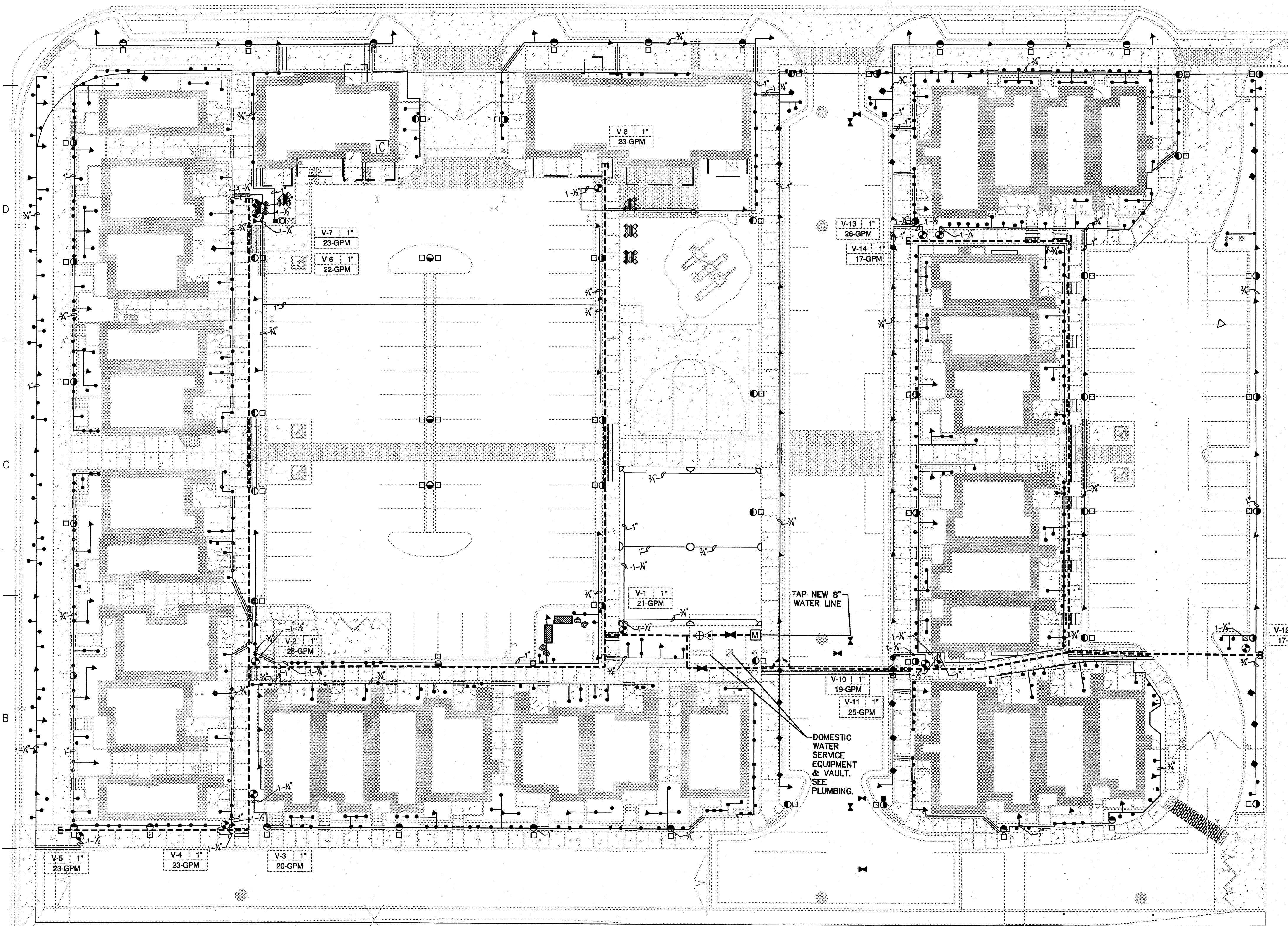
MODEL NO.	GPM	PSI
1401 (1 PER SHRUB)	.25 EA.	30
1401 (1 PER SHRUB)	.5 EA.	30
1404 (1 PER TREE)	1 EA.	30
RWS-1402 (2 PER TREE IN GRAVEL VEHICULAR AREAS. INSTALL PER MANUFACTURER'S INSTRUCTIONS.)	.5 EA.	30

- ⊕ IRRIGATION CONTROLLER, RAINBIRD ESP-MC WALL MOUNT (24) TWENTY-FOUR STATION CONTROLLER. INSTALL AND GROUND PER MANUFACTURER'S INSTRUCTIONS.
- ⊕ ROTARY POP-UP SPRINKLER ASSEMBLIES, RAINBIRD, 5000/5000 PLUS MPR GREEN NOZZLES AS FOLLOWS: SEE DETAIL D4/L-502.

MODEL NO.	RADIUS	GPM	PSI	PR
5000-MPR-30-Q	30'	1.4	45	.60
5000-MPR-30-H	30'	2.96	45	.63
5000-MPR-30-F	30'	5.78	45	.62

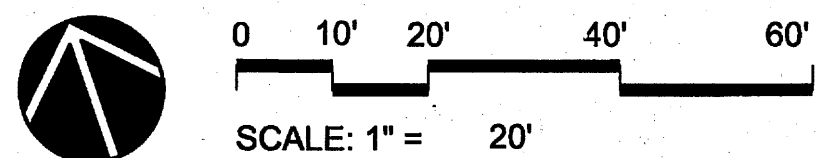
IRRIGATION NOTES

- THIS SYSTEM WAS DESIGNED AT A MINIMUM STATIC PRESSURE OF 65 PSI AT THE POINT OF CONNECTION. CONTRACTOR SHALL VERIFY ACTUAL PSI AND DELIVER RESULTS TO LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION. IN THE EVENT THE ACTUAL PSI IS LESS THAN 65 PSI THE CONTRACTOR SHALL RECEIVE DIRECTION FROM LANDSCAPE ARCHITECT REGARDING DESIGN MODIFICATIONS IF NECESSARY. THE PRESSURE READING SHALL BE PERFORMED IN THE PRESENCE OF THE OWNER'S AUTHORIZED REPRESENTATIVE. RESULTS SHALL BE INCLUDED IN THE CONTRACTOR'S IRRIGATION EQUIPMENT SUBMITTAL INDICATING DATE AND TIME OF PRESSURE READING AND THE NAME OF ATTENDING OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL PROVIDE SLEEVING AS DESCRIBED IN SPECIFICATIONS FOR ALL PIPING AND WIRING INSTALLED UNDER SIDEWALKS, ROADWAYS, PARKING LOTS, SITE WALLS, RETAINING WALLS, ETC. INSTALLATION SHALL BE COORDINATED WITH ALL TRADES TO ENSURE THAT SLEEVES ARE INSTALLED PRIOR TO INSTALLATION OF CURB AND GUTTER, ASPHALT PAVEMENT, SIDEWALKS, SLABS, ETC. SLEEVE LOCATIONS UNDER SITE WALLS, RETAINING WALLS, AND CURB AND GUTTER ARE NOT SHOWN FOR GRAPHIC CLARITY BUT SHALL BE INSTALLED AS DESCRIBED IN THE PLANS AND SPECIFICATIONS.
- CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY TO CONSTRUCT PROPOSED IRRIGATION SYSTEM IN ACCORDANCE WITH PLANS, WRITTEN SPECIFICATIONS AND DETAILS.
- THE CONTRACTOR SHALL PROVIDE ONE (1) 120-VOLT, 20 AMP CIRCUIT FROM ELECTRICAL PANEL TO EACH THE IRRIGATION CONTROLLER AND THE BACKFLOW PREVENTER ENCLOSURE. REFERENCE SHEET ES-101. ALL WORK AND MATERIALS SHALL MEET LOCAL CODES AND THE NATIONAL ELECTRIC CODE (N.E.C.).
- FOR PVC IRRIGATION PIPING AND EQUIPMENT REFERENCE IRRIGATION SPECIFICATION SECTION.
- ALL VALVE BOXES AND LIDS SHALL BE THE COLOR TAN.
- PRIOR TO TRENCHING FOR IRRIGATION LINES THE CONTRACTOR SHALL CONTACT NEW MEXICO ONE CALL TO LOCATE ALL UNDERGROUND UTILITIES. IF ANY EXISTING UTILITY LINES CONFLICT WITH PROPOSED IRRIGATION LINES THE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT. ANY UTILITY LINES THAT ARE DAMAGED DUE TO



A1 IRRIGATION PLAN

SCALE: 1" = 20'-0"





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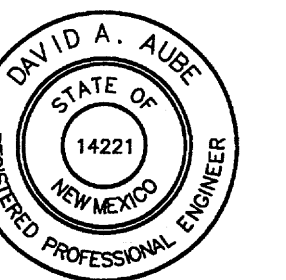
DESIGN GROUP

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120 VASSAR DRIVE SE SUITE 100
ALBUQUERQUE, NEW MEXICO 87106
PHONE: 505.242.6880 FAX: 505.242.6881

CONSULTANT

STAMP



PROJECT NAME

GREATER ALBUQUERQUE HOUSING PARTNERSHIP

FRANCISCAN ACRES SUBDIVISION
INDIAN SCHOOL AND BROADWAY
ALBUQUERQUE, NM 87102

REVISIONS:

No.	DATE	DESCRIPTION
1	9/7/12	DRB COMMENTS

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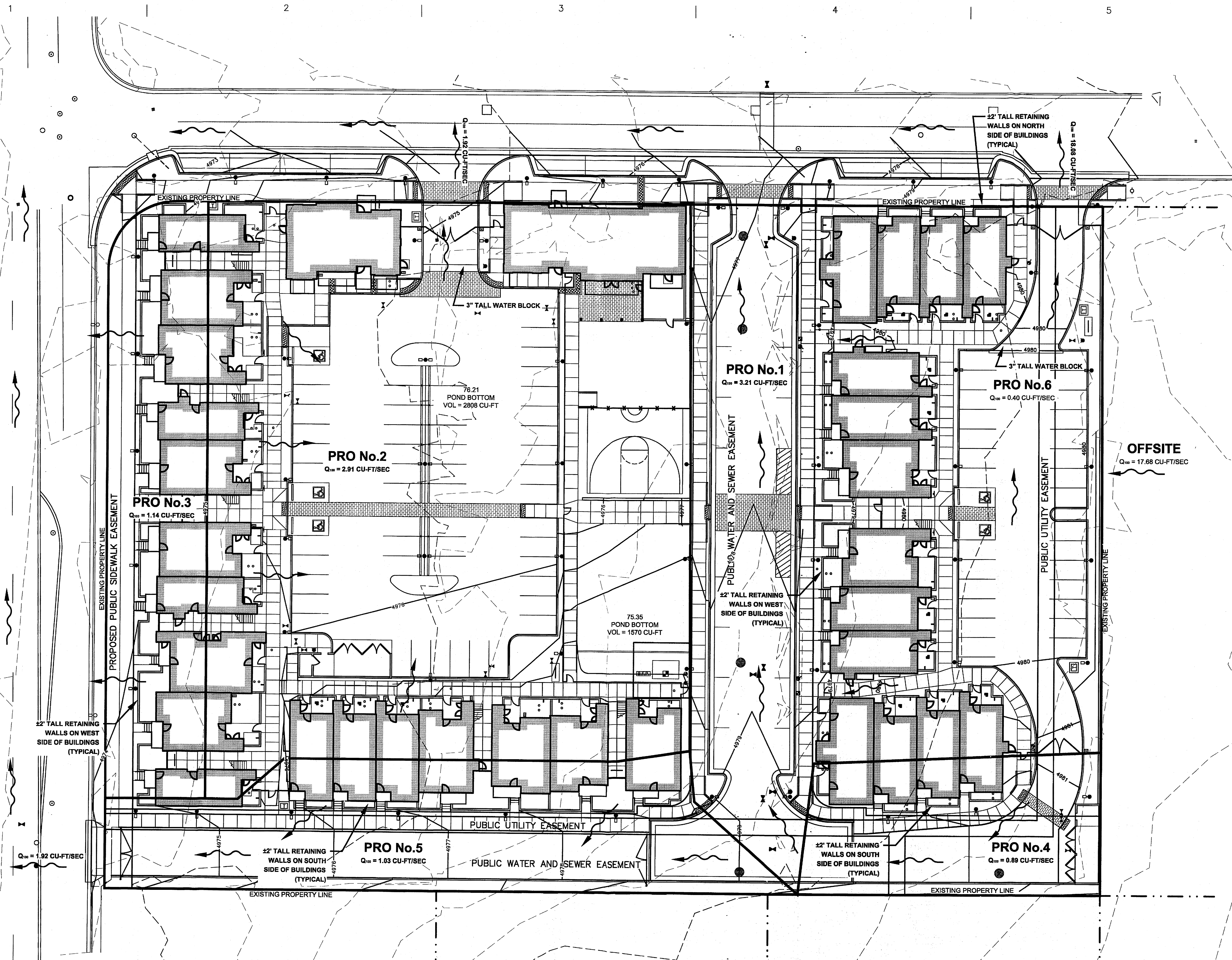
Drawn by	JRP
Checked by	DA
Date	9/7/2012
Project number	2439
Cad file name	

SHEET TITLE:

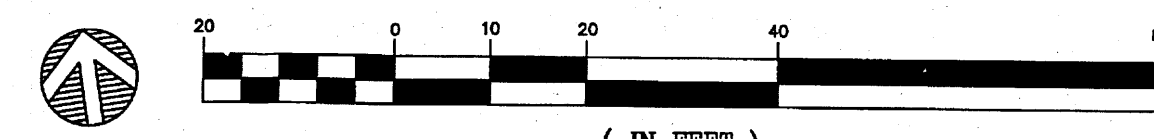
CONCEPTUAL GRADING PLAN

SHEET NUMBER:

3.1



GRAPHIC SCALE



A1 CONCEPTUAL GRADING PLAN
SCALE: 1" = 20'-0"

I. PURPOSE AND SCOPE

THE PURPOSE OF THIS DRAINAGE PLAN IS TO PRESENT THE EXISTING AND PROPOSED DRAINAGE MANAGEMENT PLANS FOR THE GREATER ALBUQUERQUE HOUSING PROJECT AT BROADWAY.

II. SITE DESCRIPTION AND HISTORY

THE PROJECT SITE IS LOCATED AT THE SOUTH-EAST CORNER OF BROADWAY BLVD NE AND INDIAN SCHOOL ROAD NE.

THE SITE IS CURRENTLY COMPOSED OF THREE LOTS. ALL OF THE LOTS ARE APPROXIMATELY 1 ACRE IN SIZE FOR A TOTAL PROJECT SITE SIZE OF THREE ACRES. THE WESTERN AND CENTER LOTS CONTAIN EXISTING RESIDENTIAL STRUCTURES AND VARIOUS CONCRETE SIDEWALKS AND DRIVEWAYS. THE RESIDENCE IN THE CENTER LOT DOUBLES AS A AUTOMOTIVE MECHANIC BUSINESS WITH A VEHICLE STORAGE YARD LOCATED IN THE SOUTHERN HALF OF THE LOT. THE EASTERN LOT IS EMPTY WITH NO STRUCTURES.

III. COMPUTATIONAL PROCEDURES

HYDROLOGIC ANALYSIS WAS PERFORMED UTILIZING THE DESIGN CRITERIA BASED ON SECTION 22.2, HYDROLOGY, OF THE DEVELOPMENT PROCESS MANUAL.

IV. PRECIPITATION

THE STORM EVENT USED FOR THE FOLLOWING CALCULATIONS IS THE 100YR-6HR STORM. THE PROJECT SITE IS LOCATED IN ZONE 2.

V. EXISTING DRAINAGE CONDITIONS

CURRENTLY THE STORM WATER RUN-OFF DRAINS FROM EAST TO WEST ACROSS THE SITE BEFORE FLOWING ONTO BROADWAY BLVD NE. RUN-OFF FROM THE ADJACENT LOTS (APPROXIMATELY 5 ACRES) ENTERS THE SITE FROM THE EAST AS IT FLOWS TOWARDS BROADWAY BLVD NE. RUN-OFF FROM THE NORTH FLOWS ONTO INDIAN SCHOOL ROAD NE ON ITS WAY TO BROADWAY AND IS THUS PREVENTED FROM ENTERING THE SITE. RUN-OFF FROM THE SOUTH FLOWS EAST TO WEST AND WITH A NEGLIGIBLE AMOUNT FLOWING INTO THE SITE.

THERE ARE CURRENTLY A NUMBER OF RESIDENTIAL STRUCTURES WITH CONCRETE SIDEWALKS ON THE TWO MOST WESTERN LOTS. THE EASTERN LOT IS EMPTY. THESE WILL BE DEMOLISHED TO MAKE ROOM FOR THE PROPOSED DEVELOPMENT.

FOR A 100YR-6HR STORM EVENT THE SITE'S STORM WATER RUN-OFF VOLUME IS 0.24 AC-FT WITH A PEAK DISCHARGE OF 7.94 CFS.

VI. PROPOSED DRAINAGE CONDITIONS (REFER TO CD2)

THIS PROJECT IS PROPOSING TO ADD SIXTY-EIGHT (68) HOUSING UNITS IN THE FORM OF MULTI-STORY STRUCTURES. THERE WILL ALSO BE INTERNAL AGGREGATE PARKING LOTS, CONCRETE SIDEWALKS, LANDSCAPING AREAS, AND A RECREATIONAL PARK. THE SITE IS SPLIT INTO TWO DRAIN DISTINCT AREAS SEPARATED BY AN INTERNAL ROADWAY THAT RUNS SOUTH TO NORTH.

THE CITY OF ALBUQUERQUE HAS REQUIRED THIS PROJECT, DUE TO ITS LOCATION WITHIN THE MARTINEZTOWN NEIGHBORHOOD, TO RELEASE A MAXIMUM FLOWRATE OF 2.75 CU-FT/SEC PER ACRE OF STORM WATER RUN-OFF.

THE EASTERN PARKING LOT (WITHIN BASIN PRO No. 1) IS COMPOSED OF AGGREGATE RATHER THAN ASPHALT PAVEMENT. THE AGGREGATE HAS A STORAGE CAPACITY OF APPROXIMATELY 2.6 INCHES BEFORE IT WOULD BEGIN TO POOL ABOVE THE UPPER MOST SURFACE. DUE TO THE TOTAL STORAGE CAPACITY (1633 CU-FT) AND AN INFILTRATION RATE OF 0.5 INCHES THE STORM WATER RUN-OFF GENERATED FROM THE PARKING LOT (670 CU-FT AT 0.52 CU-FT/SEC) WILL BE CONTAINED WITHIN THE PARKING LOT. RUNOFF FROM THIS AREAS WILL BE VERY LIMITED BUT WILL BE UTILIZED AS A PONDING AREA AND DETENTION BASIN FOR OFFSITE FLOWS FROM THE EAST. EXCESS RUNOFF FROM THE EAST WILL BE DETAINED IN THIS PONDING AREA AND WILL OVERFLOW INTO INDIAN SCHOOL.

THE MAJORITY OF THE EASTERN HALF OF THE SITE (PRO BASIN No.1) WILL DRAIN INTO THE PARKING LOT ON THE EASTERN SIDE OF THE UNITS. THE WESTERN PORTION OF THE BUILDING AND BASIN WILL FLOW INTO THE PRIVATE DRIVE THAT HAS BEEN DESIGNED FOR POSSIBLE FUTURE DEDICATIONS. EXCESS FLOWS FROM THIS BASIN WILL FLOW NORTH TOWARD INDIAN SCHOOL RD.

THE WEST (PRO BASIN No.2), CONTAINS BOTH PARKING AREAS AND UNITS WITH ASSOCIATED LANDSCAPING BUFFERS. THE WESTERN PARKING LOT WILL ALSO BE A THICK PERVIOUS PAVEMENT (1" ANGULAR GRAVEL WITH STORAGE CAPACITY OF 2.6" OF WATER) WILL BE DESIGNED FOR A RUN-OFF STORAGE CAPACITY OF (2808 CU-FT). THE PARKING LOT WILL ACHIEVE THIS CAPACITY AT TWO INCHES OF STORM WATER DEPTH ABOVE THE UPPER MOST SURFACE BEFORE FLOWING THROUGH THE DRIVE ENTRANCE OF THE PARKING LOT--IN THIS CASE, ACTING AS A BROAD CRESTED WEIR--AS THE RUN-OFF (1.55 CU-FT/SEC) LEAVES THE PROJECT SITE ONTO INDIAN SCHOOL ROAD NE.

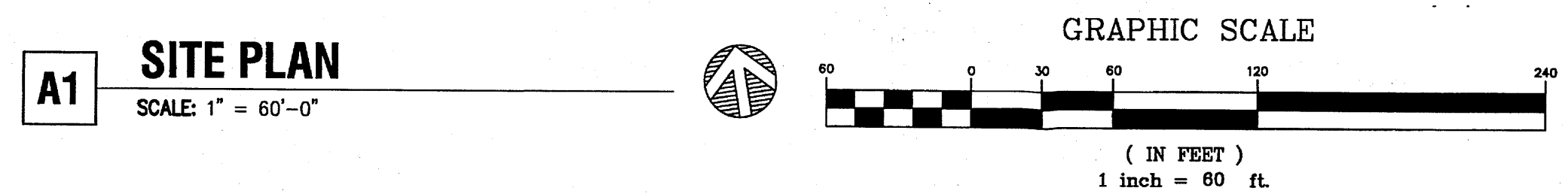
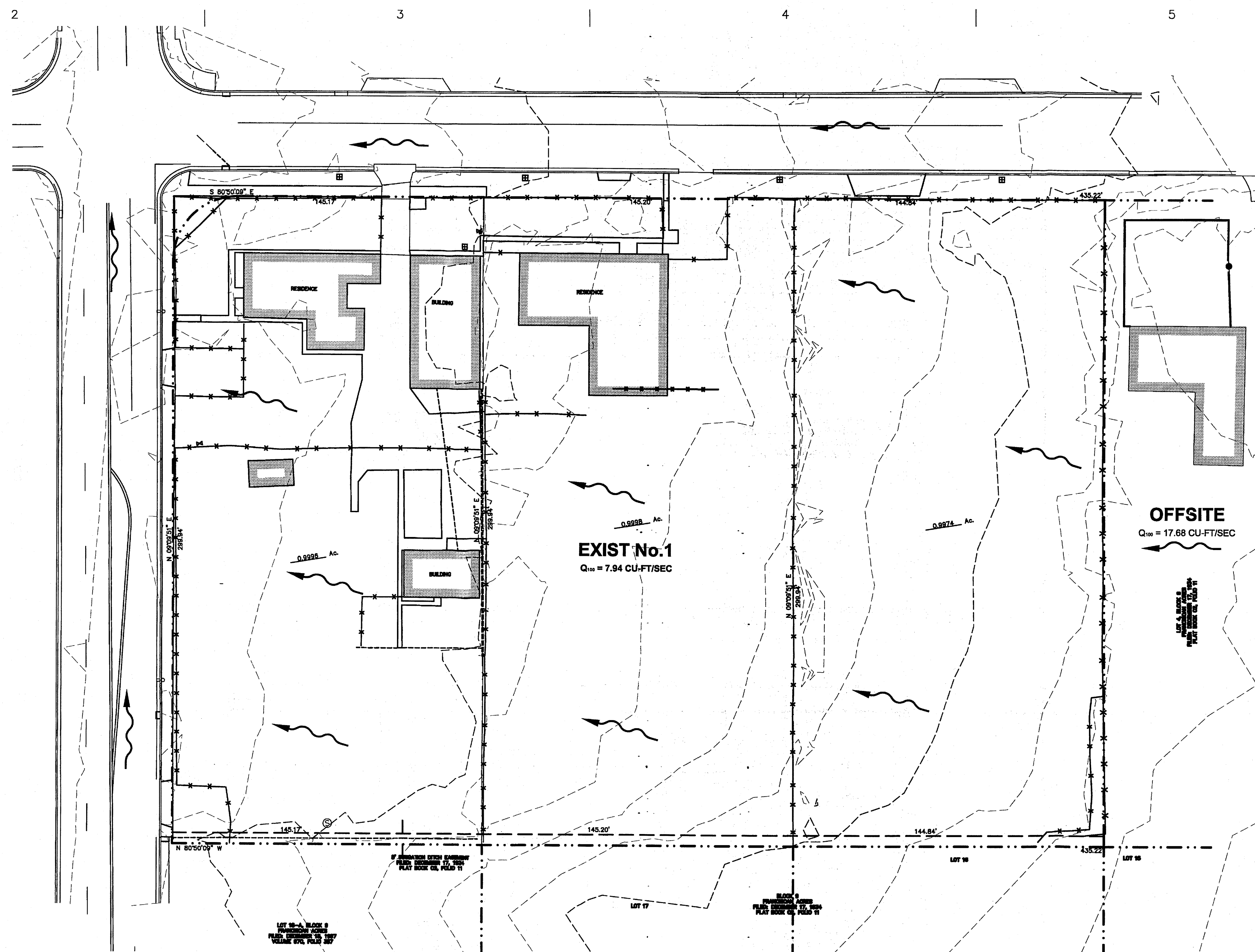
THERE WILL BE A NUMBER OF METHODS TO MITIGATE THE IMPACT OF THE OFFSITE FLOW ENTERING THE SITE (PRO BASIN No.6) FROM THE EAST. ONE IS TO CHANNEL TWO-THIRDS OF THE RUN-OFF INTO A CONCRETE CHANNEL RUNNING PARALLEL TO THE PROPERTY LINE BEFORE DISCHARGING ONTO INDIAN SCHOOL ROAD NE. THE OTHER IS TO CHANNEL THE RUN-OFF INTO A SWALE THAT WILL DIRECT THE RUN-OFF SOUTH BEFORE TURNING AND RUNNING PARALLEL TO THE SOUTH PROPERTY LINE BEFORE DISCHARGING ONTO BROADWAY BLVD NE THROUGH A NUMBER OF SIDEWALK CULVERTS.

VII. CONCLUSIONS

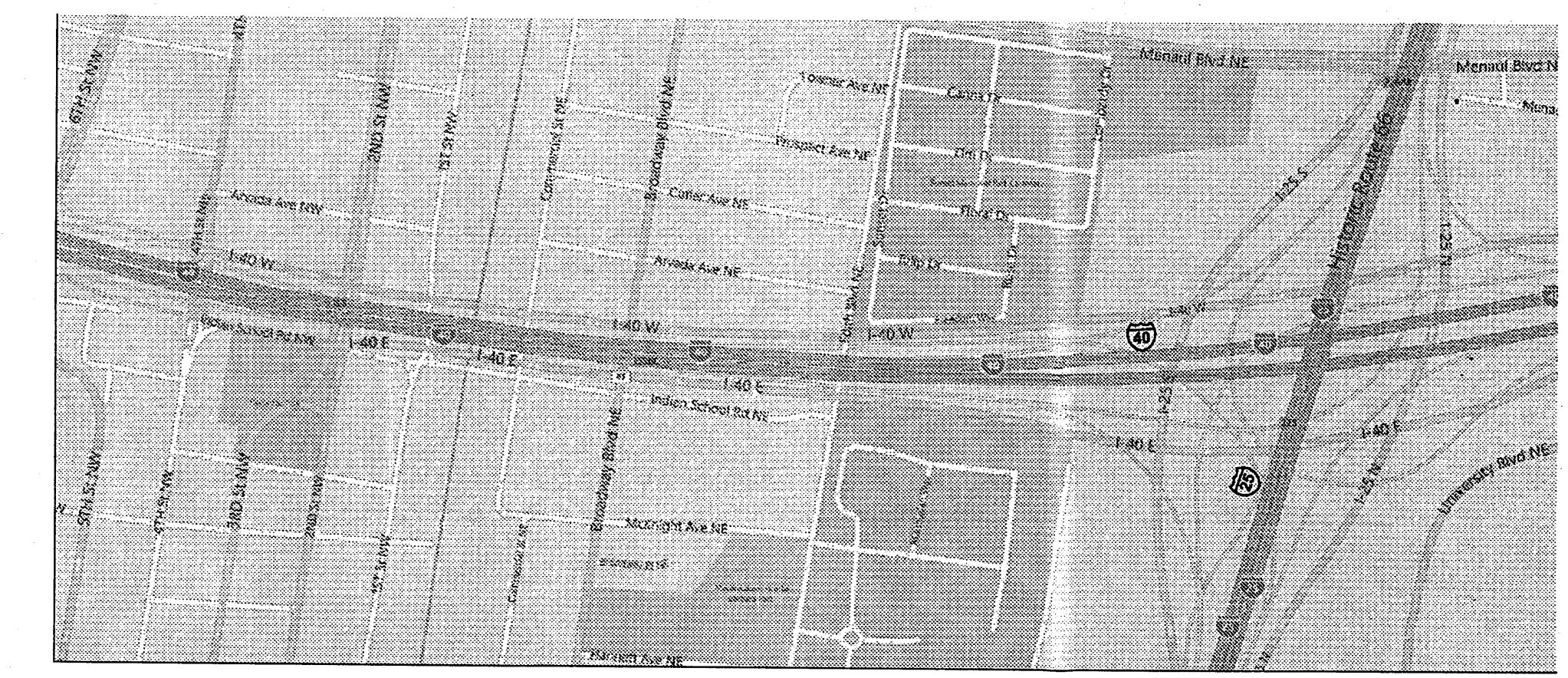
AS A RESULT OF THE PROPOSED CONSTRUCTION THERE WILL BE THE FOLLOWING FLOWRATES:

PRO BASIN No.1 - 0.80 CU-FT/SEC
 PRO BASIN No.2 - 0.75 CU-FT/SEC
 PRO BASIN No.3 - 1.14 CU-FT/SEC
 PRO BASIN No.4 - 0.89 CU-FT/SEC
 PRO BASIN No.5 - 1.03 CU-FT/SEC

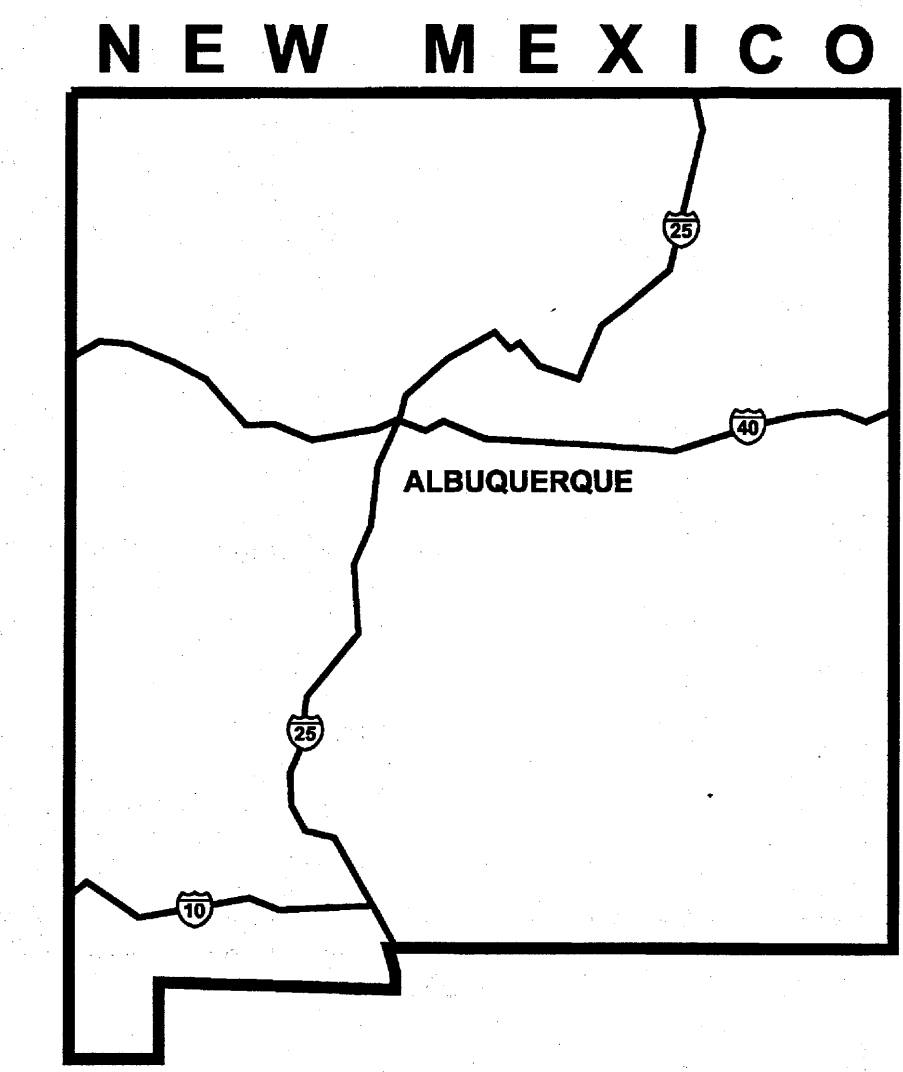
FOR AN AVERAGE RUN-OFF FLOWRATE OF 1.67 CU-FT/SEC PER ACRE, WHICH IS BELOW THE 2.75 CU-FT/SEC PER ACRE DESIGN LIMIT SET FORTH BY THE CITY OF ALBUQUERQUE HYDROLOGY DEPARTMENT.



A1 SITE PLAN
SCALE: 1" = 60'-0"



A4 VICINITY MAPS
SCALE: NOT TO SCALE

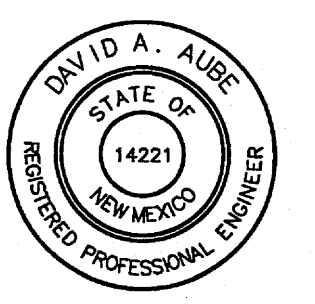


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 ALBUQUERQUE, NEW MEXICO 87106
 PHONE: 505.242.6880 FAX: 505.242.6881

CONSULTANT

STAMP



PROJECT NAME
**GREATER ALBUQUERQUE
 HOUSING PARTNERSHIP**

FRANCISCAN ACRES SUBDIVISION
 INDIAN SCHOOL AND BROADWAY
 ALBUQUERQUE, NM 87102

REVISIONS:		
No.	DATE	DESCRIPTION
1	9/7/12	DRB COMMENTS

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 Drawn by: JRG
 Checked by: OAA
 Date: 9/7/2012
 Project number: 2439
 Cad file name:

SHEET TITLE:
**CONCEPTUAL
 DRAINAGE
 PLAN**

SHEET NUMBER:

3.2

I. PURPOSE AND SCOPE

THE PURPOSE OF THIS DRAINAGE PLAN IS TO PRESENT THE EXISTING AND PROPOSED DRAINAGE MANAGEMENT PLANS FOR THE GREATER ALBUQUERQUE HOUSING PROJECT AT BROADWAY.

II. SITE DESCRIPTION AND HISTORY

THE PROJECT SITE IS LOCATED AT THE SOUTH-EAST CORNER OF BROADWAY BLVD NE AND INDIAN SCHOOL ROAD NE.

THE SITE IS CURRENTLY COMPOSED OF THREE LOTS. ALL OF THE LOTS ARE APPROXIMATELY 1 ACRE IN SIZE FOR A TOTAL PROJECT SITE SIZE OF APPROXIMATELY THREE ACRES. THE WESTERN AND CENTER LOTS CONTAIN EXISTING RESIDENTIAL STRUCTURES AND VARIOUS CONCRETE SIDEWALKS AND DRIVEWAYS. THE RESIDENCE IN THE CENTER LOT DOUBLES AS A AUTOMOTIVE MECHANIC BUSINESS WITH A VEHICLE STORAGE YARD LOCATED IN THE SOUTHERN HALF OF THE LOT. THE EASTERN LOT IS EMPTY WITH NO STRUCTURES.

III. COMPUTATIONAL PROCEDURES

HYDROLOGIC ANALYSIS WAS PERFORMED UTILIZING THE DESIGN CRITERIA BASED ON SECTION 22.2, HYDROLOGY, OF THE DEVELOPMENT PROCESS MANUAL.

IV. PRECIPITATION

THE STORM EVENT USED FOR THE FOLLOWING CALCULATIONS IS THE 100YR-6HR STORM. THE PROJECT SITE IS LOCATED IN ZONE 2.

V. EXISTING DRAINAGE CONDITIONS (REFER TO CD2)

CURRENTLY THE STORM WATER RUN-OFF DRAINS FROM EAST TO WEST ACROSS THE SITE BEFORE FLOWING ONTO BROADWAY BLVD NE. RUN-OFF FROM THE ADJACENT LOTS (APPROXIMATELY 5 ACRES) ENTERS THE SITE FROM THE EAST AS IT FLOWS TOWARDS BROADWAY BLVD NE. RUN-OFF FROM THE NORTH PARTS OF THE SITE FLOW ONTO INDIAN SCHOOL ROAD NE ON ITS WAY TO BROADWAY AND IS THUS PREVENTED FROM ENTERING THE SITE. RUN-OFF FROM THE SOUTH FLOWS EAST TO WEST BYPASSING THE SITE AND THEREFORE ONLY A NEGLIGIBLE AMOUNT FLOWING INTO THE SITE.

THERE ARE CURRENTLY A NUMBER OF RESIDENTIAL STRUCTURES WITH CONCRETE SIDEWALKS ON THE TWO MOST WESTERN LOTS. THE EASTERN LOT IS EMPTY. THESE WILL BE DEMOLISHED TO MAKE ROOM FOR THE PROPOSED DEVELOPMENT.

FOR A 100YR-6HR STORM EVENT THE SITE'S STORM WATER RUN-OFF VOLUME IS 0.24 AC-FT WITH A PEAK DISCHARGE OF 7.35 CFS.

VI. PROPOSED DRAINAGE CONDITIONS (REFER TO CD3)

THIS PROJECT IS PROPOSING TO ADD SIXTY-EIGHT (68) HOUSING UNITS IN THE FORM OF MULTI-STORY STRUCTURES. THERE WILL ALSO BE INTERNAL AGGREGATE (PERVIOUS) PARKING LOTS, CONCRETE SIDEWALKS, LANDSCAPING AREAS, AND A RECREATIONAL PARK. THE SITE IS SPLIT INTO TWO DRAIN DISTINCT AREAS SEPARATED BY AN NEW ROADWAY THAT RUNS SOUTH TO NORTH.

THE CITY OF ALBUQUERQUE HAS REQUIRED THIS PROJECT, DUE TO ITS LOCATION WITHIN THE MARTINEZTOWN NEIGHBORHOOD, TO RELEASE A MAXIMUM FLOWRATE OF 2.75 CU-FT/SEC PER ACRE OF STORM WATER RUN-OFF. THE OFFSITE BASIN TO THE EAST WILL BE ROUTED THROUGH A DETENTION/RETENTION BASIN TO REDUCE THE OFFSITE FLOWS TO ASSIST IN THE OVERALL REDUCTION IN DISCHARGE TO ACHIEVE THE LIMIT OF 2.75 CFS PER ACRE. THIS OFFSITE BASIN WILL ENTER PRO No.1 INTO A PONDING AREA ON THE EAST SIDE OF THE SITE. ONCE THE STORM WATER PONDS IN EXCESS OF 2" DEEP IN THE PARKING AREA IT WILL DRAIN DOWN THE DRIVEWAY INTO INDIAN SCHOOL. A NEGLIGIBLE AMOUNT OF THE OFFSITE RUNOFF WILL ENTER AT THE SOUTH EAST CORNER OF THE SITE AND WILL DRAIN DOWN THE FIRE LANE LOCATED ALONG THE SOUTHERN BOUNDARY OF THE PROJECT.

THE EASTERN PARKING LOT (WITHIN BASIN PRO No. 1) IS COMPOSED OF AGGREGATE RATHER THAN ASPHALT PAVEMENT. THE PARKING AREA (7800 SF) HAS A POROSITY THAT ALLOW FOR STORAGE OF 2.6 INCHES BEFORE IT WOULD BEGIN TO POOL ABOVE THE UPPER MOST SURFACE. THIS AREA HAS BEEN TREATED AS SOIL TREATMENT C FOR CALCULATIONS OF EXCESS PRECIPITATION AND PEAK DISCHARGE RATES. THE PARKING LOT IS ALSO DESIGNED TO POND WATER 2" DEEP ACROSS THE 7800 SQUARE FOOT AREA. THIS WILL PROVIDE A PONDING VOLUME OF 1300 CUBIC FEET. NO PONDING VOLUME FOR THE POROSITY WITHIN THE GRAVEL SECTION WAS USED TO REDUCE THE DISCHARGE RATES OR ACCOUNTED FOR IN PONDING VOLUMES.

PRO No.1 WILL DRAIN DOWN THE NORTH ENTRANCE INTO INDIAN SCHOOL. AFTER THE ROUTING THROUGH THE PARKING LOT PONDING AREA THE PEAK DISCHARGE RATE IS REDUCED FROM 19.79 CFS (17.68 OFFSITE AND 2.11 CFS FOR PRO No. 1) TO 16.66 CFS. THE REDUCTION IN FLOW RATE OF 3.13 CFS WILL BE USED TO HELP ACHIEVE THE MAXIMUM PEAK DISCHARGE RATE OF 2.75 CFS PER ACRE.

PROPOSED BASIN PRO No.2 CONTAINS THE NEW STRUCTURES AND LANDSCAPING ON THE EAST SIDE OF THE NEW ROADWAY. THIS BASIN WILL CREATE A PEAK DISCHARGE RATE OF 0.92 CFS. DUE TO ITS LOCATION SO CLOSE TO THE ROADWAY AND THE REQUIREMENT TO DRAIN THE NEW ROADWAY TO INDIAN SCHOOL, NO PONDING IN THIS BASIN IS PROPOSED.

PROPOSED BASIN PRO No.3 CONTAINS THE NEW ROADWAY AND THE SURROUNDING SIDEWALKS. THIS BASIN WILL CREATE A PEAK DISCHARGE RATE OF 1.42 CFS. WHEN COMBINED WITH PRO No.2 THE PEAK DISCHARGE RATE INTO INDIAN SCHOOL ALONG THIS ROADWAY IS 2.34 CFS.

BASIN PRO No.4 IS SIMILAR TO PRO No.1 WHERE THE GRAVEL PARKING AREA IS UTILIZED AS A PONDING AND INFILTRATION AREA. THE PARKING AREA IS 14,798 SF AND HAS A POROSITY THAT WILL ALLOW FOR 2.6" OF RAIN TO BE STORED WITHIN THE GRAVEL SURFACE PRIOR TO EXCESS RUNOFF OVERFLOWING INTO INDIAN SCHOOL. BASIN PRO No.3 HAS A PEAK RUNOFF RATE OF 4.68 CFS AFTER THE PARKING AREA IS ANALYZED AS SOIL TREATMENT TYPE C. THE PARKING LOT IS DESIGNED TO RETAIN THE FIRST 2" OF EXCESS RUNOFF ABOVE THE TOP OF GRAVEL SURFACE. THE PONDING VOLUME AVAILABLE IN THIS 2" OF DEPTH IS 2466 CUBIC FEET AND THEREFORE REDUCES THE DISCHARGE INTO INDIAN SCHOOL FROM THIS BASIN TO 3.05 CFS. THIS PROVIDES A REDUCTION IN DISCHARGE OF 1.63 CFS.

BASIN PRO No.5 WILL COMBINE WITH THE DISCHARGE FROM BASIN PRO No. 4 AND ADD THE 0.15 CFS TO CREATE A TOTAL DISCHARGE THROUGH THE DRIVEWAY INTO INDIAN SCHOOL OF 3.20 CFS.

BASIN PRO No. 6 AND No. 7 ARE LOCATED ON THE WEST AND SOUTH SIDES OF THE PROPOSED BUILDINGS. THE PEAK DISCHARGE FROM THE BASIN IS 1.41 AND 0.81 CFS RESPECTIVELY. BOTH OF THESE BASINS WILL DISCHARGE DIRECTLY INTO BROADWAY.

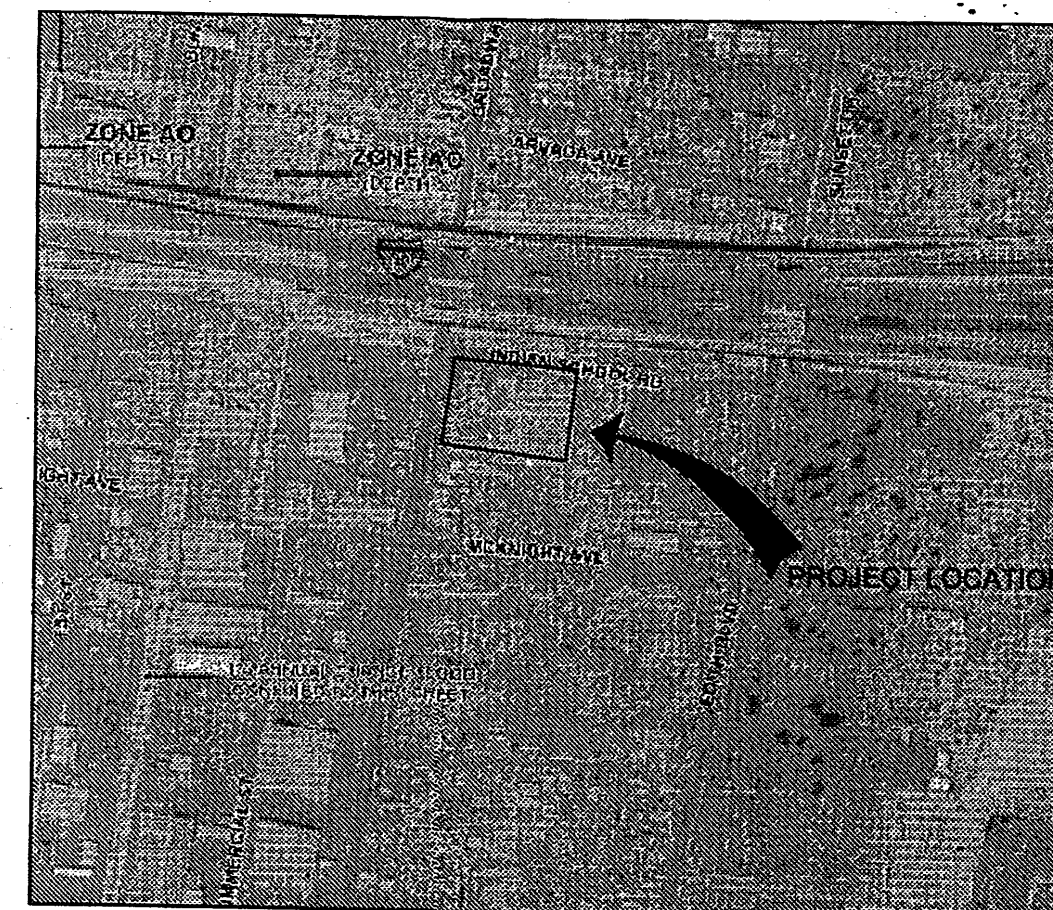
THE COMBINED DISCHARGE FROM THE PROPOSED AND OFFSITE BASINS IS 24.42 CFS. ONCE THE 17.68 CFS FROM OFFSITE FLOWS IS REMOVED THE REMAINING FLOW WILL BE 6.74 CFS FROM THE 3 ACRE SITE. THIS GIVES A PEAK FLOWRATE FROM THE SITE EQUAL TO 2.25 CFS WHICH IS LESS THAN THE 2.75 CFS RESTRICTION REQUIRED BY HYDROLOGY.

VII. CONCLUSIONS

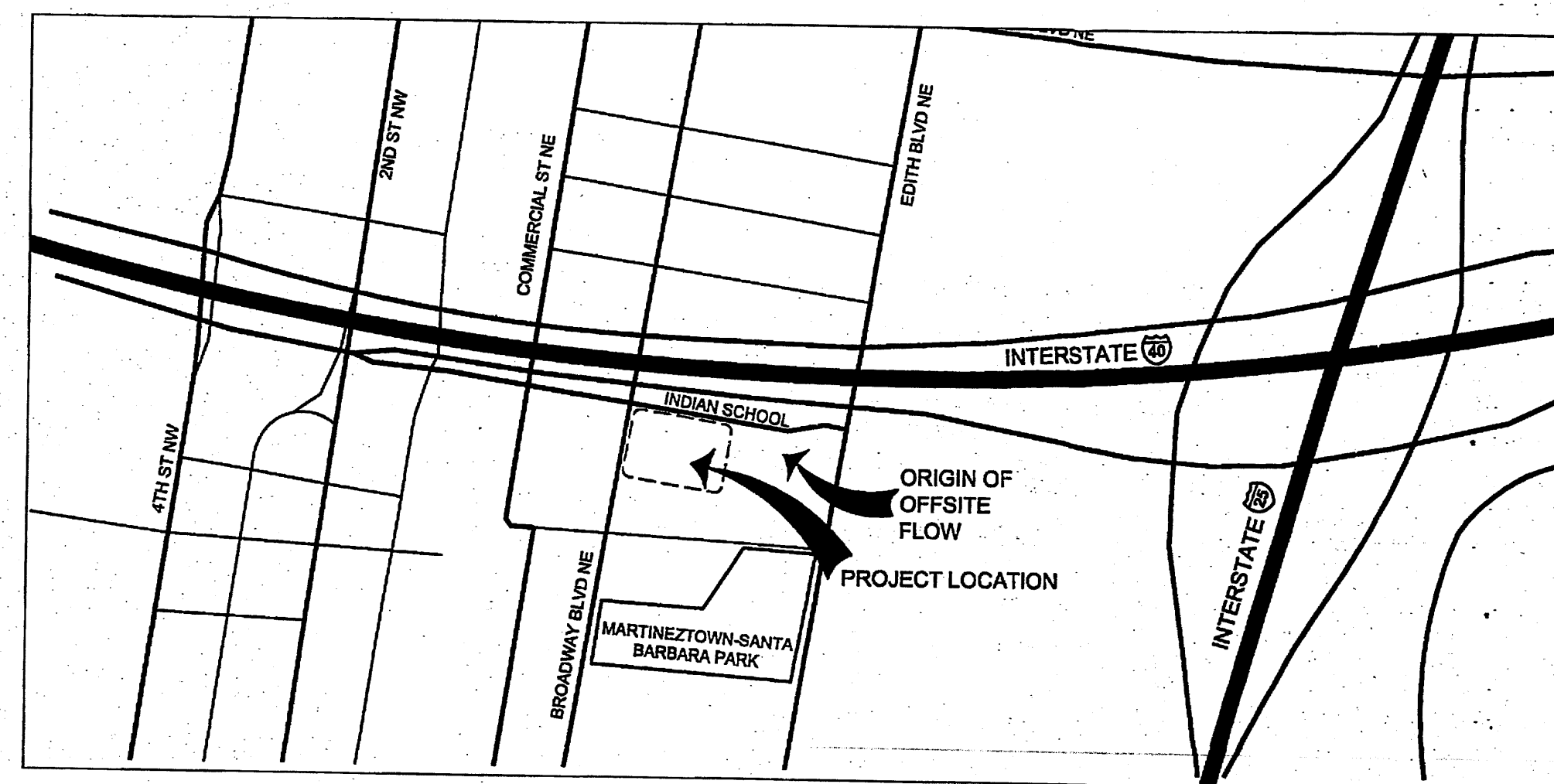
AS A RESULT OF THE PROPOSED CONSTRUCTION THERE WILL BE THE FOLLOWING FLOWRATES:

PRO BASIN No.1 - 2.11 CU-FT/SEC
 PRO BASIN No.2 - 0.92 CU-FT/SEC
 PRO BASIN No.3 - 1.42 CU-FT/SEC
 PRO BASIN No.4 - 4.68 CU-FT/SEC
 PRO BASIN No.5 - 0.15 CU-FT/SEC
 PRO BASIN No.6 - 1.41 CU-FT/SEC
 PRO BASIN No.7 - 0.81 CU-FT/SEC

FOR AN AVERAGE RUN-OFF FLOWRATE OF 2.25 CU-FT/SEC PER ACRE, WHICH IS BELOW THE 2.75 CU-FT/SEC PER ACRE DESIGN LIMIT SET FORTH BY THE CITY OF ALBUQUERQUE HYDROLOGY DEPARTMENT.

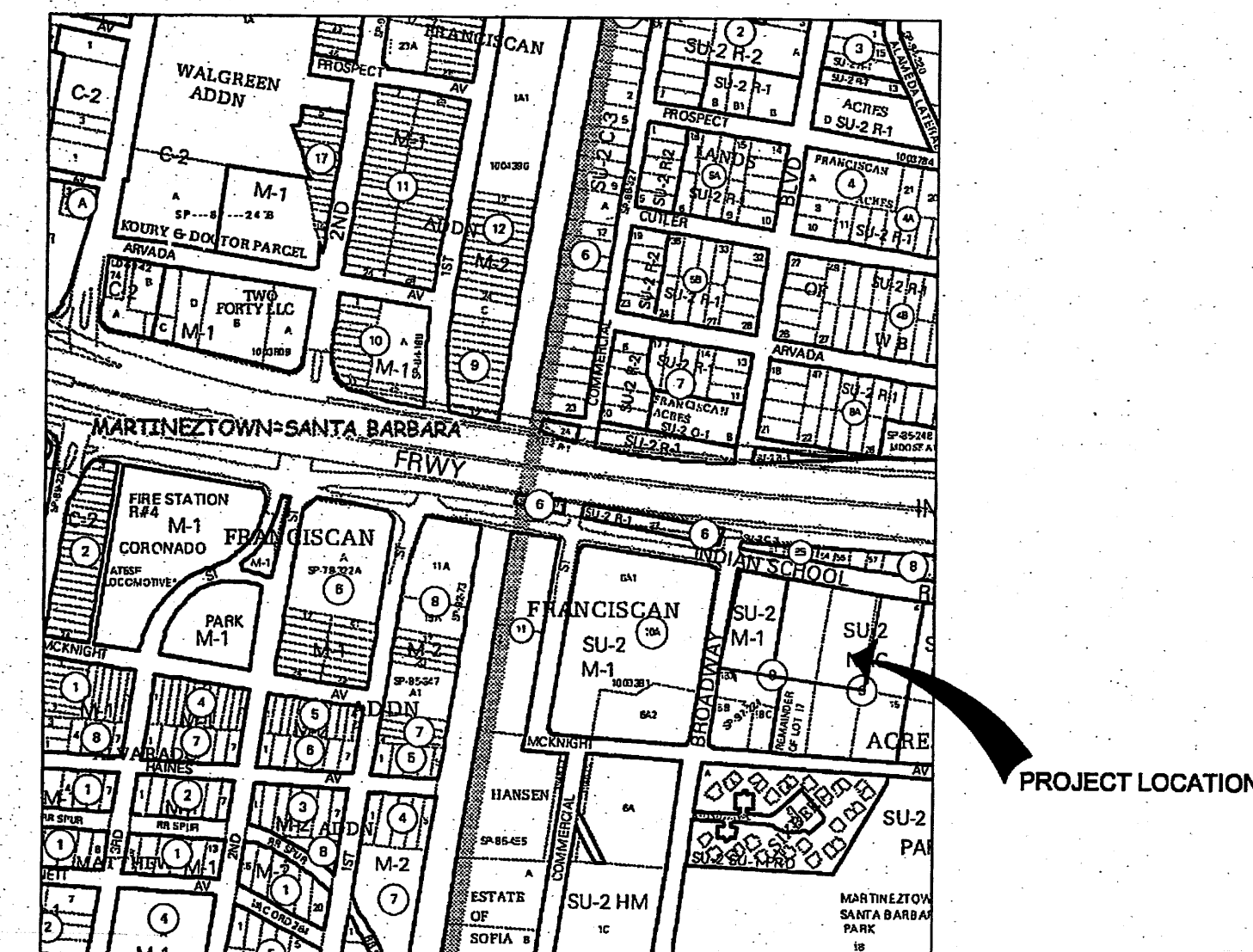


A4 FIMA FLOOD MAP
SCALE: NOT TO SCALE



A2 VICINITY MAPS
SCALE: NOT TO SCALE

Drainage Summary									
Project:	Greater Albuquerque Housing Partnership								
Project Number:	2439								
Date:	08/15/12								
By:	Date A								
Site Location:									
Precipitation Zone:	2 Per Table A-1 COA DPM Section 22.2								
Existing summary									
Basin Name:	Ex 1	Off Ex #1							
Area (ac)	120805	213444							
Area (acres)	2.77	4.90							
%A Land treatment	0	0							
%B Land treatment	75	0							
%C Land treatment	15	70							
%D Land treatment	10	30							
Soil Treatment (acres)									
Area "A"	0.00	0.00							
Area "B"	2.08	0.00							
Area "C"	0.42	3.43							
Area "D"	0.28	1.47							
Excess Runoff (acre-feet)									
100yr. 6hr.	0.2234	0.5827							
10yr. 6hr.	0.0975	0.3128							
2yr. 6hr.	0.0289	0.1097							
100yr. 24hr.	0.2326	0.6317							
Peak Discharge (cfs)									
100 yr.	7.35	17.68							
10yr.	3.56	10.48							
2yr.	0.93	4.79							
Proposed summary									
Basin Name:	Pro 1	Pro 2	Pro 3	Pro 4	Pro 5	Pro 6	Pro 7	Off Ex #1	
Area (sf)	21788	10597	13905	83600	1571	19134	9451.6	213444	
Area (acres)	0.50	0.24	0.32	1.24	0.04	0.44	0.22	4.90	
%A Land treatment	0	0	0	0	0	0	0	0	
%B Land treatment	20	15	10	15	20	20	40	0	
%C Land treatment	0	35	0	35	0	65	0	70	
%D Land treatment	80	50	90	50	80	15	60	30	
Soil Treatment (acres)									
Area "A"	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	
Area "B"	0.10	0.04	0.03	0.19	0.01	0.09	0.09	0.00	
Area "C"	0.60	0.09	0.00	0.43	0.00	0.29	0.00	3.43	
Area "D"	0.40	0.12	0.29	0.62	0.03	0.07	0.13	1.47	
Excess Runoff (acre-feet)									
100yr. 6hr.	0.0772	0.0319	0.0528	0.1618	0.0056	0.0442	0.0298	0.5827	
10yr. 6hr.	0.0470	0.0191	0.0328	0.0520	0.0034	0.0218	0.0168	0.3128	
2yr. 6hr.	0.0265	0.0091	0.0180	0.0464	0.0019	0.0081	0.0067	0.1097	
100yr. 24hr.	0.0508	0.0359	0.0624	0.1824	0.0085	0.0464	0.0350	0.6317	
Peak Discharge (cfs)									
100 yr.	2.11	0.92	1.42	4.68	0.15	1.41	0.81	17.68	
10yr.	1.35	0.56	0.83	2.85	0.10	0.78	0.49	10.48	
2yr.	0.75	0.28	0.54	1.42	0.05	0.30	0.25	4.79	



A4 H-14-Z ZONE ATLAS PAGE
SCALE: NOT TO SCALE

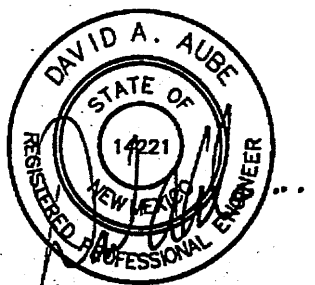


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 ALBUQUERQUE, NEW MEXICO 87106
 PHONE : 505.242.6880 FAX : 505.242.6681

CONSULTANT

STAMP



8-31-12

PROJECT NAME
**GREATER ALBUQUERQUE
 HOUSING PARTNERSHIP**

FRANCISCAN ACRES SUBDIVISION
 INDIAN SCHOOL AND BROADWAY
 ALBUQUERQUE, NM 87102

REVISIONS:		
No.	DATE	DESCRIPTION
1	9/7/12	DRB COMMENTS

Copyright: Design Group
 Drawn by: JRP
 Checked by: DMA
 Date: 9/7/2012
 Project number: 2439
 Cad file name:

SHEET TITLE:
**SITE CONCEPTUAL
 DRAINAGE
 PLAN**

SHEET NUMBER:

CD1



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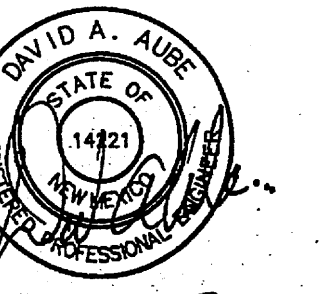
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8-31-12

PROJECT NAME

GREATER ALBUQUERQUE
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FRANCISCAN ACRES SUBDIVISION
INDIAN SCHOOL AND BROADWAY
ALBUQUERQUE, NM 87102

REVISIONS:

No.	DATE	DESCRIPTION
1	9/7/12	DRB COMMENTS

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Drawn by JRP

Checked by DM

Date 9/7/2012

Project number 2439

Cad file name

SHEET TITLE:

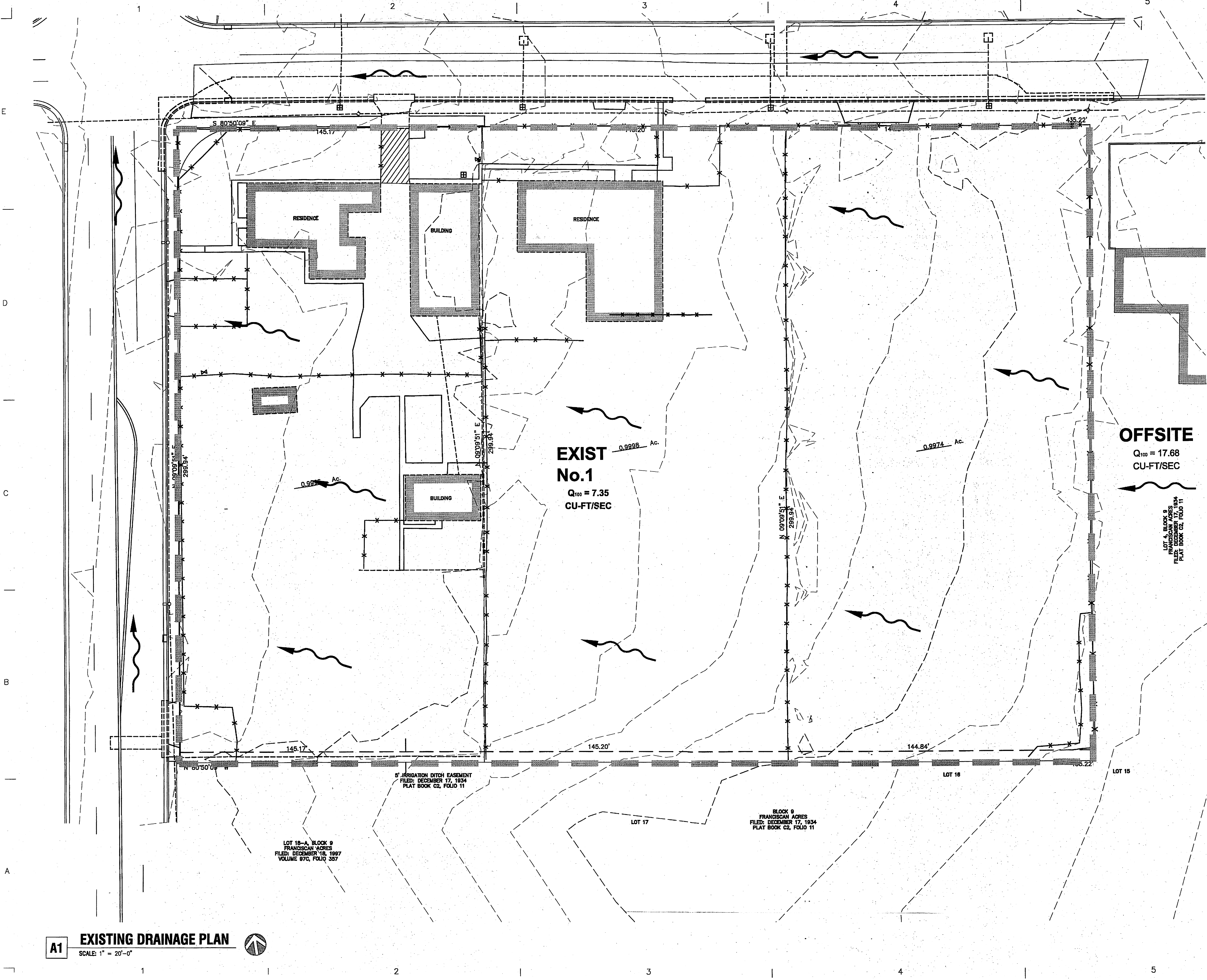
SITE CONCEPTUAL

DRAINAGE

PLAN

SHEET NUMBER:

CD2



A1 EXISTING DRAINAGE PLAN
SCALE: 1" = 20'-0"



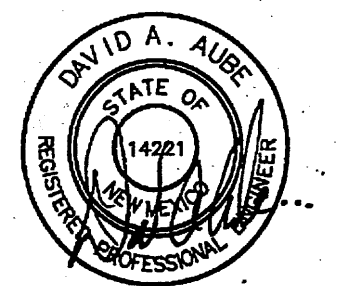
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SHEET TITLE:

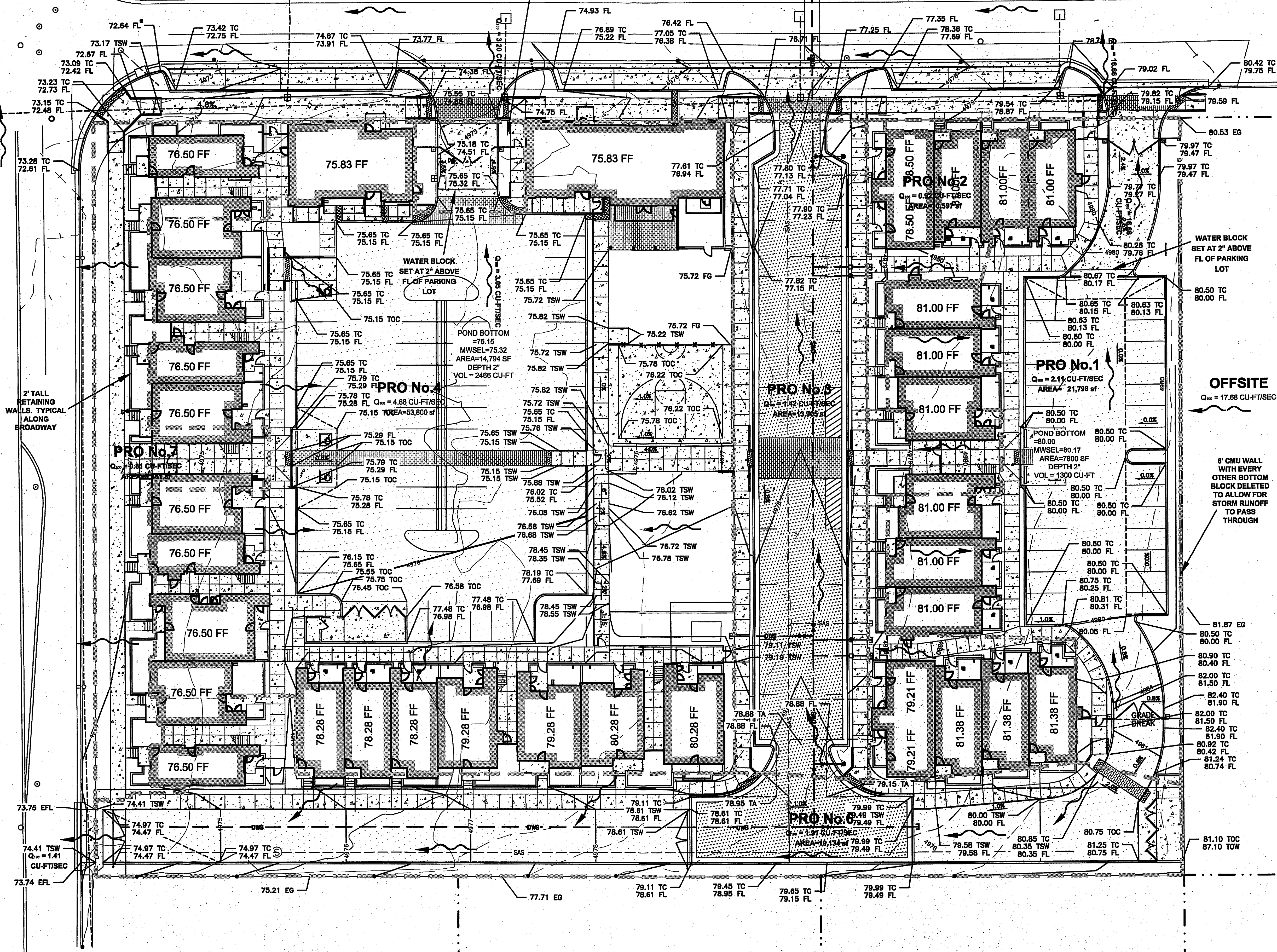
GRADING AND
DRAINAGE
PLAN

SHEET NUMBER:

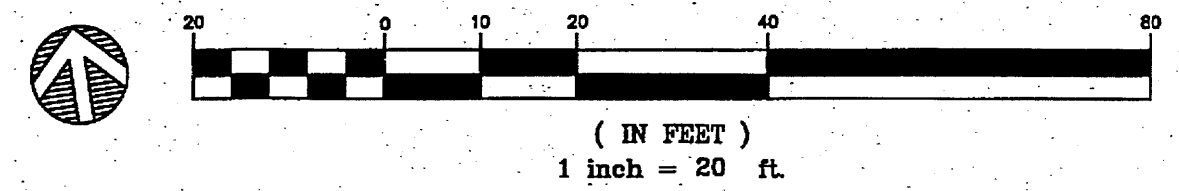
CD3

PRO No.5

Q₁₀₀ = 0.15 CU-F/SEC
AREA=1,571 sf



GRAPHIC SCALE



A1 GRADING AND DRAINAGE PLAN

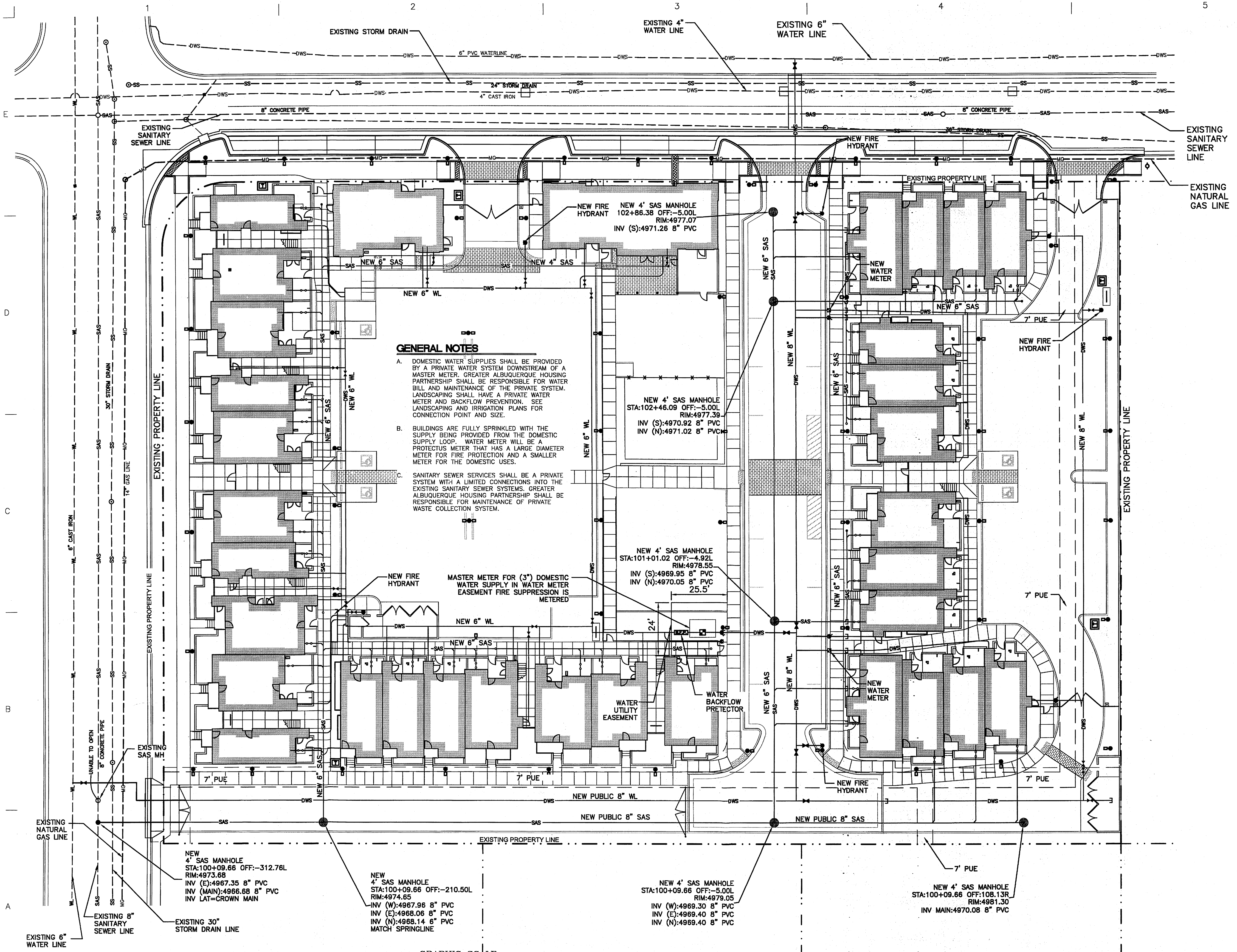
SCALE: 1" = 20'-0"



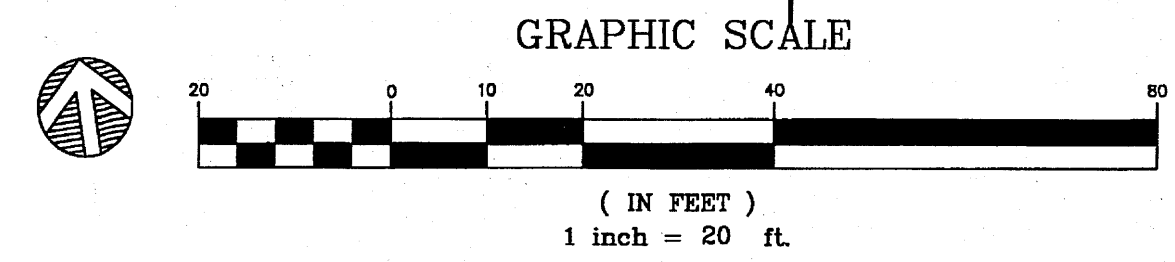
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SHEET TITLE:
**SITE CONCEPTUAL
 UTILITY
 PLAN**

SHEET NUMBER:



A1 CONCEPTUAL UTILITY PLAN
 SCALE: 1" = 20'-0"





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No.	Date	Description
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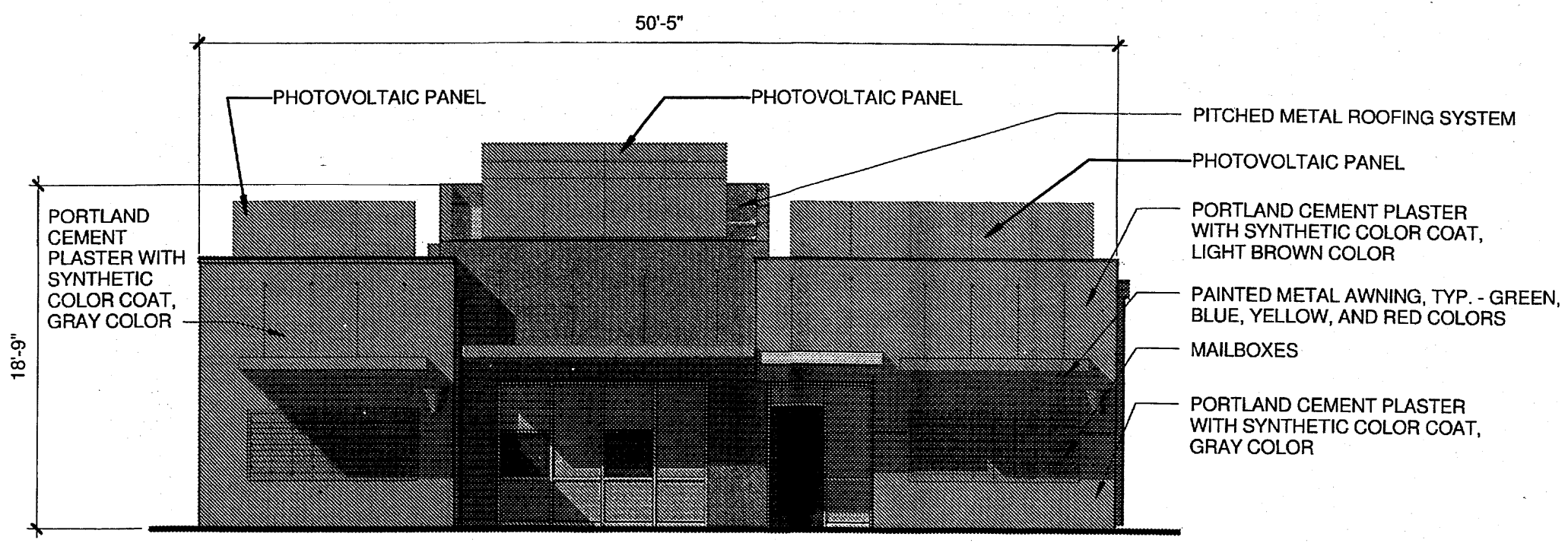
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Checked by	Checker
Date	AUG 13, 2012
Project number	2439
CAD file name	

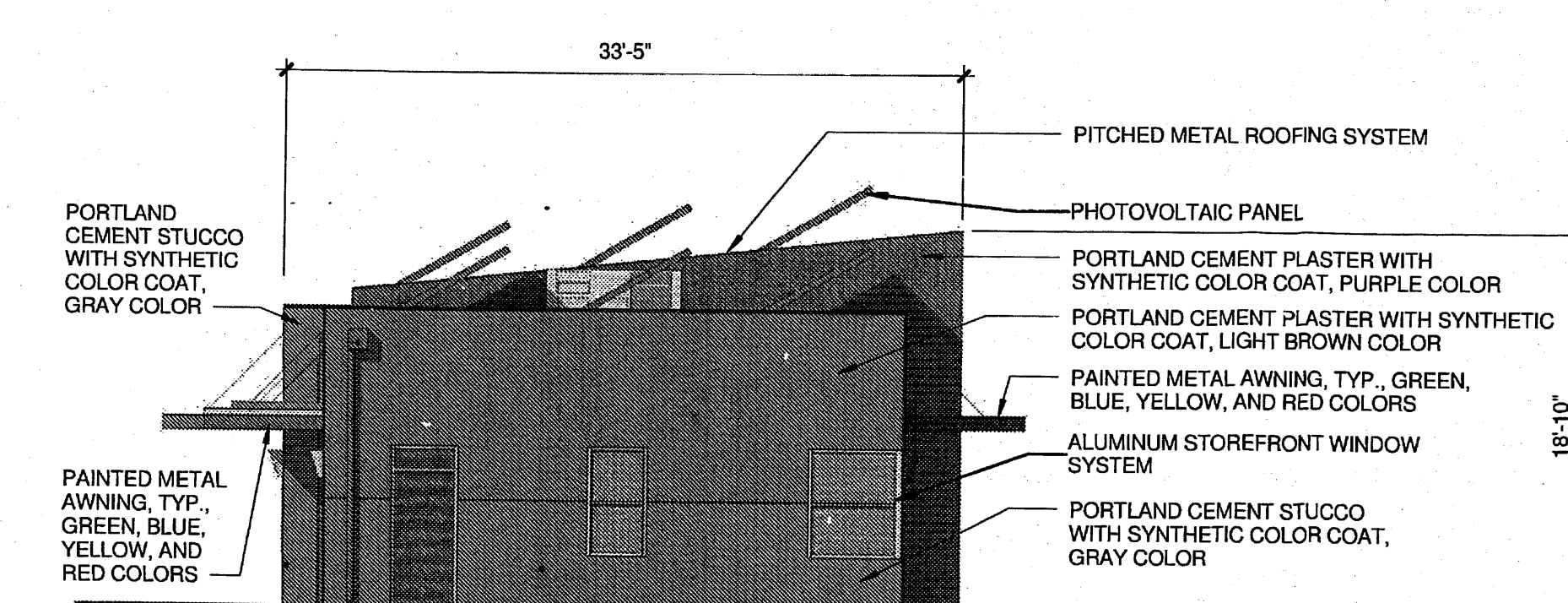
SHEET TITLE
**BUILDING AND STRUCTURE ELEVATIONS
 BUILDINGS A AND B**

SHEET NUMBER

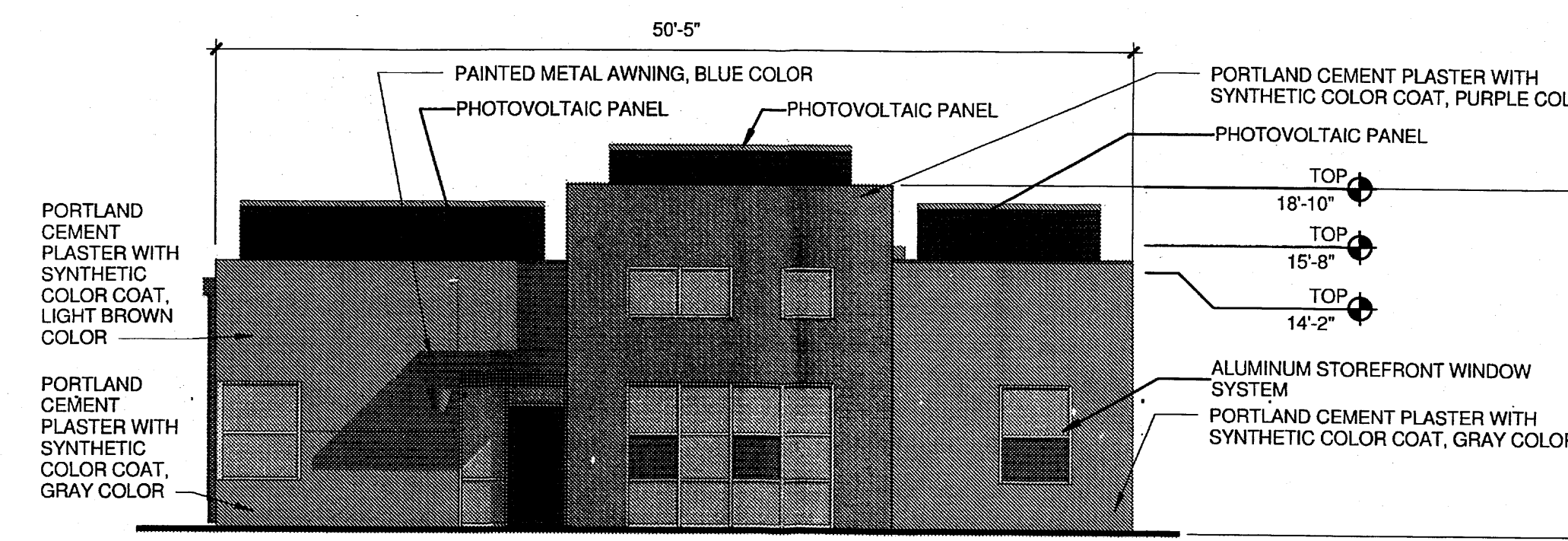
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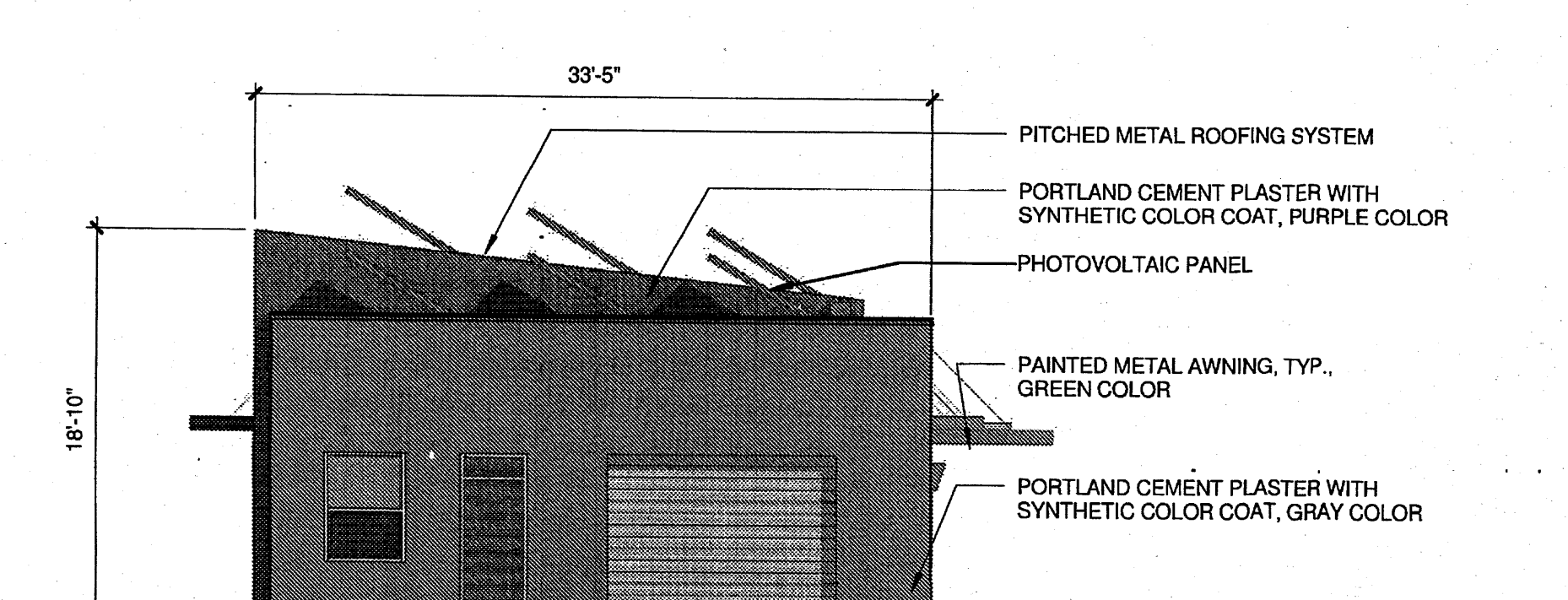
7 BUILDING B - ELEVATION SOUTH
 1/8" = 1'-0"



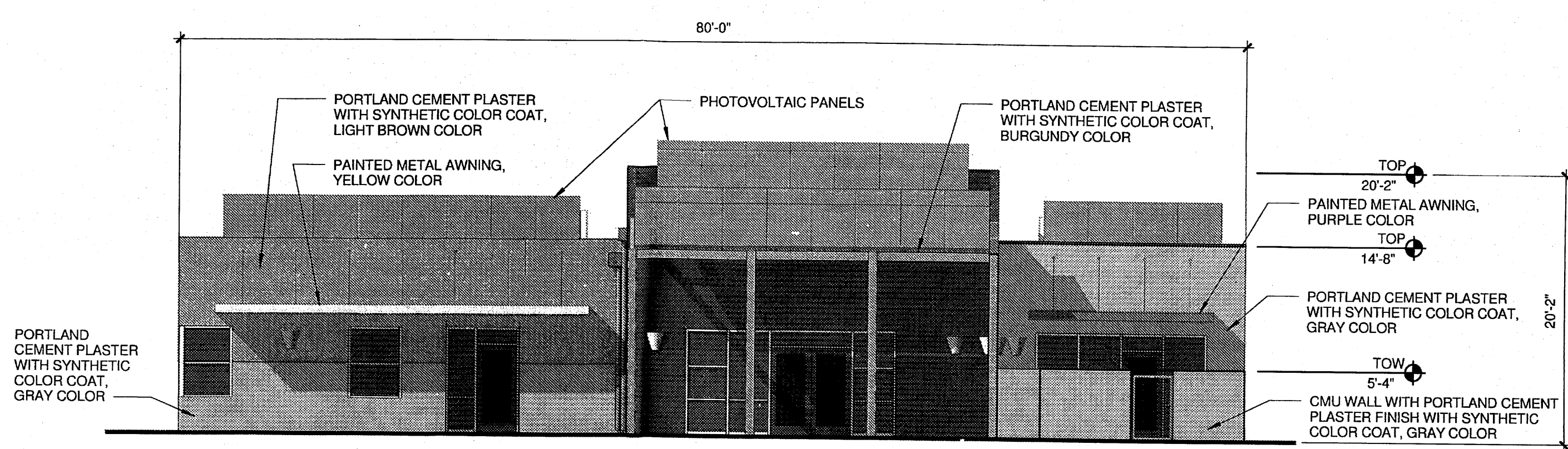
8 BUILDING B - ELEVATION EAST
 1/8" = 1'-0"



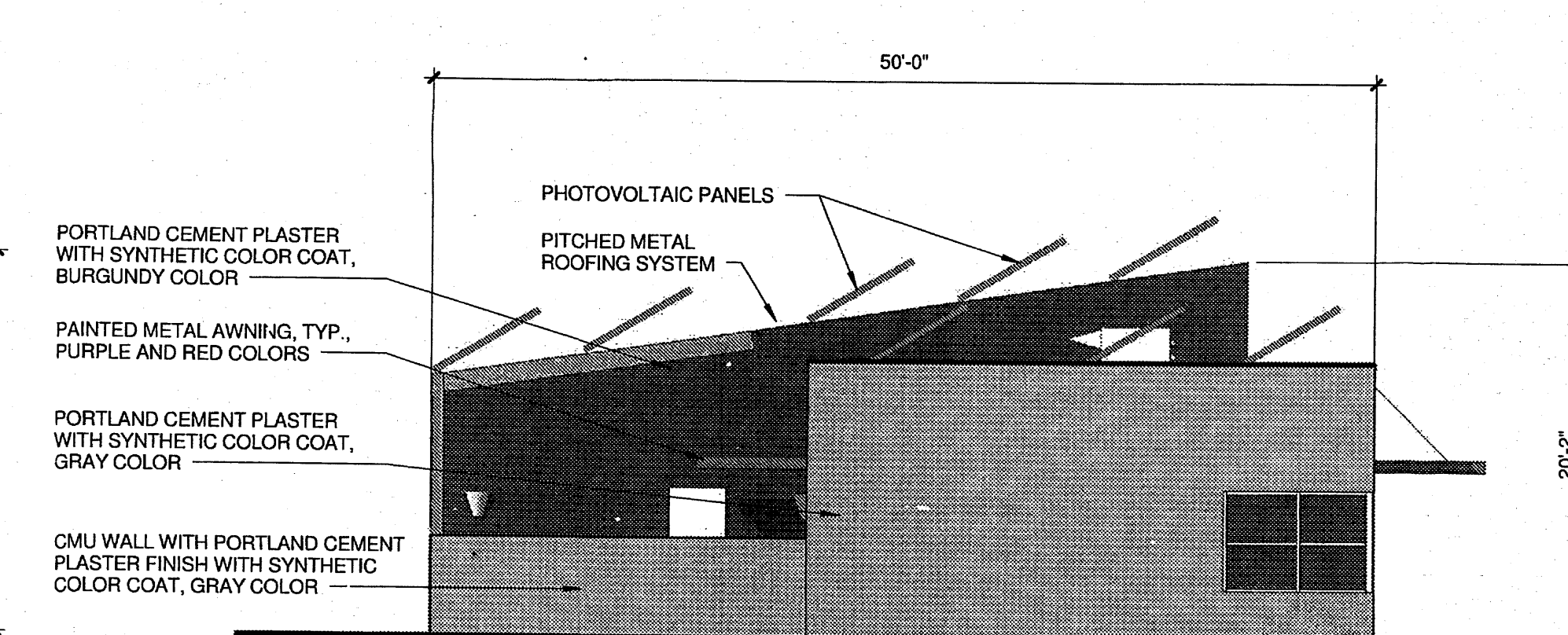
5 BUILDING B - ELEVATION NORTH
 1/8" = 1'-0"



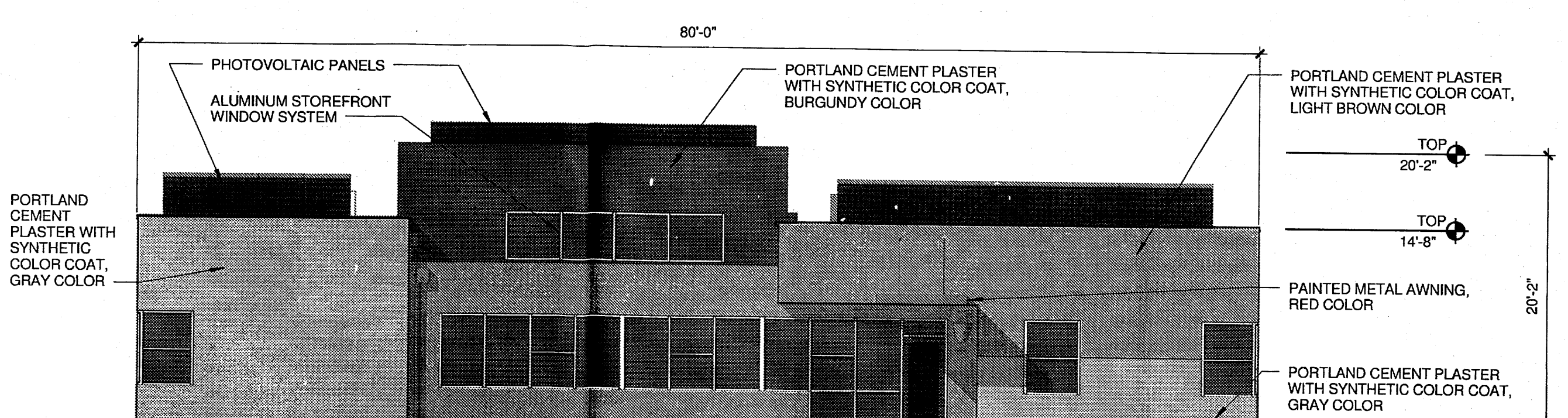
6 BUILDING B - ELEVATION WEST
 1/8" = 1'-0"



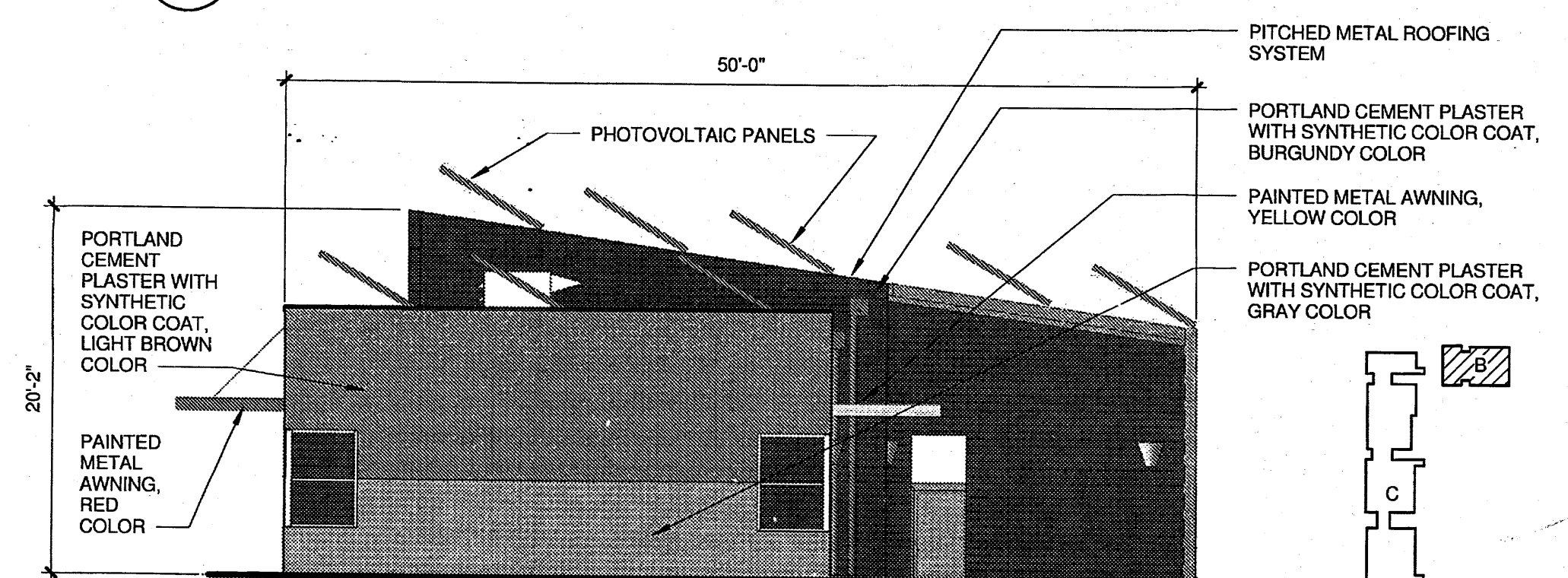
3 BUILDING A - ELEVATION SOUTH
 1/8" = 1'-0"



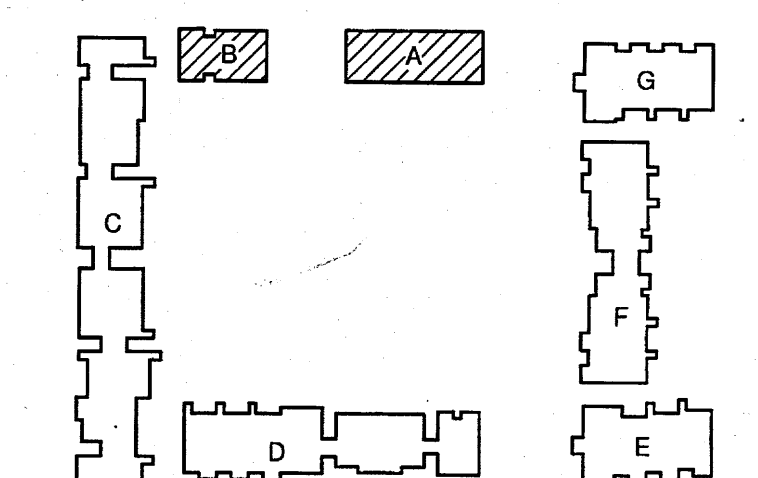
4 BUILDING A - ELEVATION EAST
 1/8" = 1'-0"



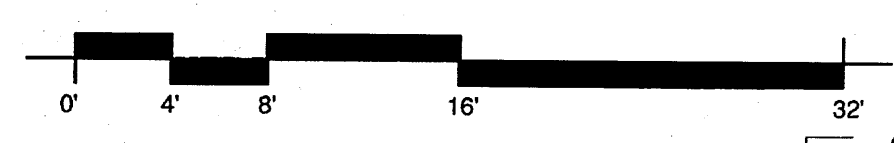
1 BUILDING A - ELEVATION NORTH
 1/8" = 1'-0"



2 BUILDING A - ELEVATION WEST
 1/8" = 1'-0"



KEY PLAN





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REVISIONS

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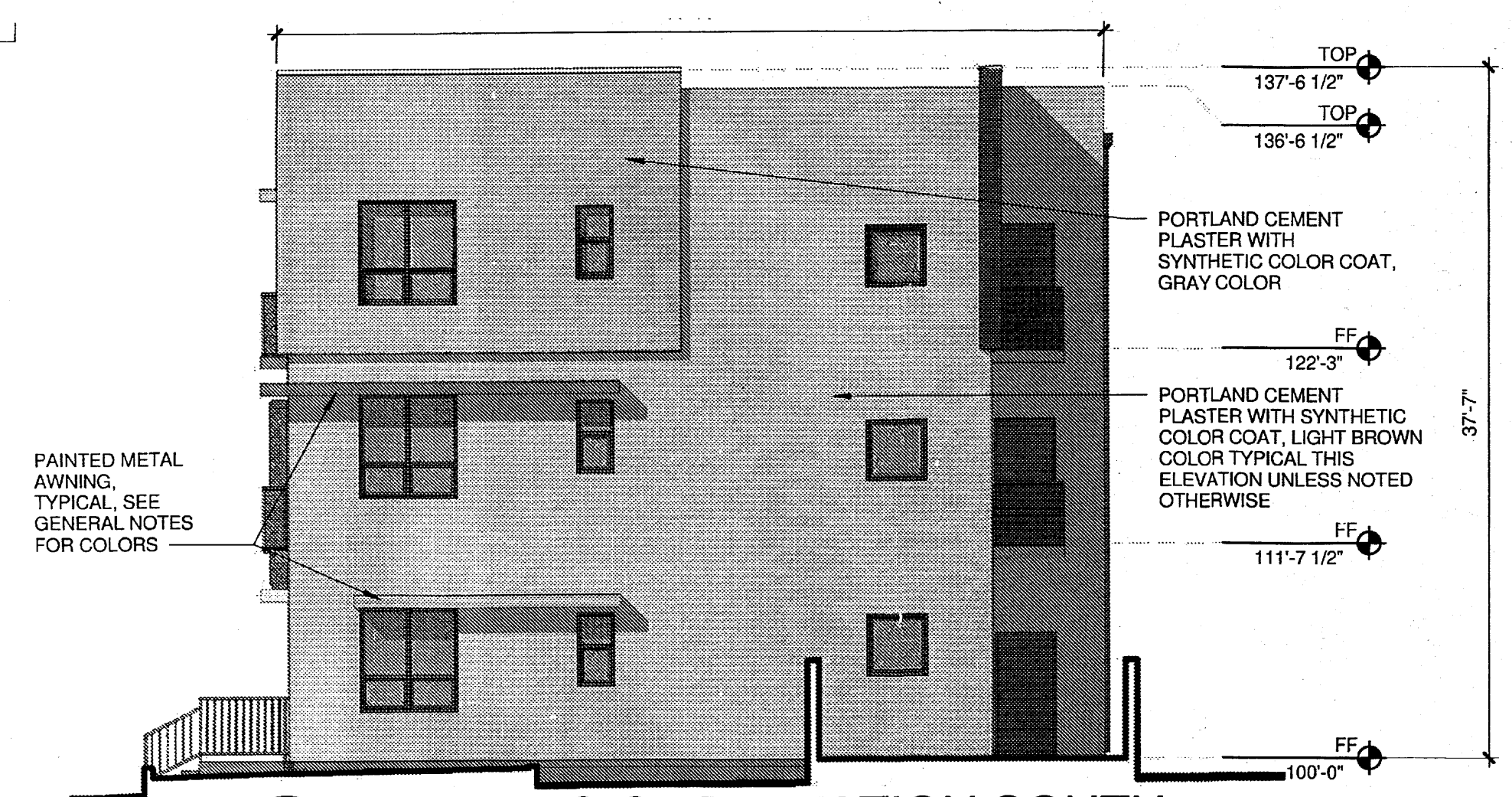
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Project number	2439
CAD file name	

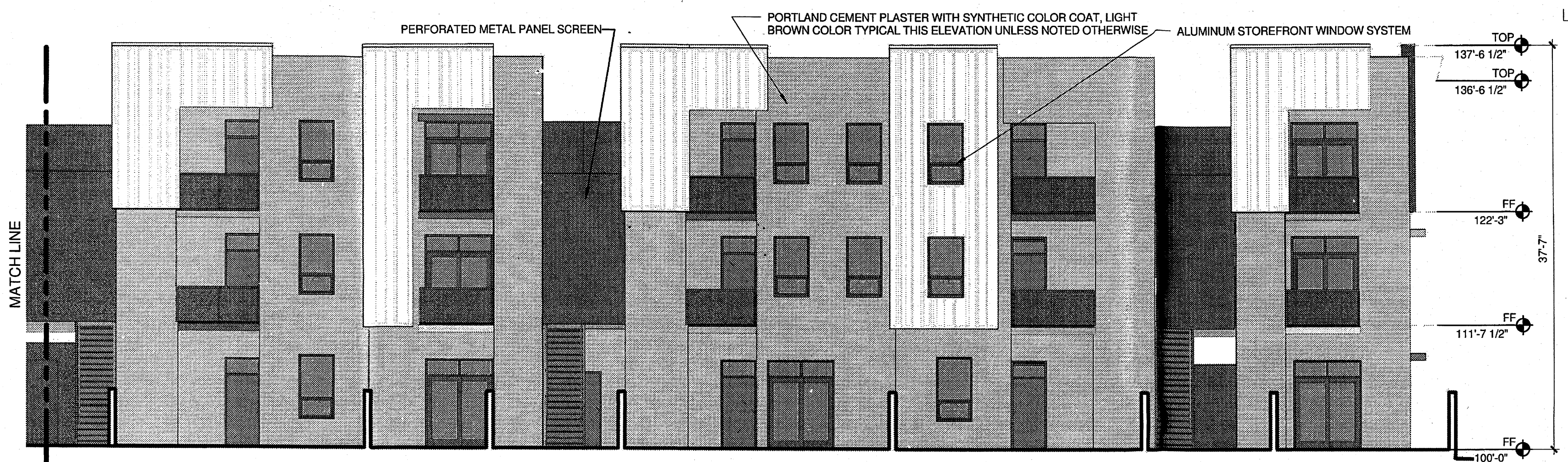
SHEET TITLE
 BUILDING AND STRUCTURE ELEVATIONS
 BUILDING C

SHEET NUMBER

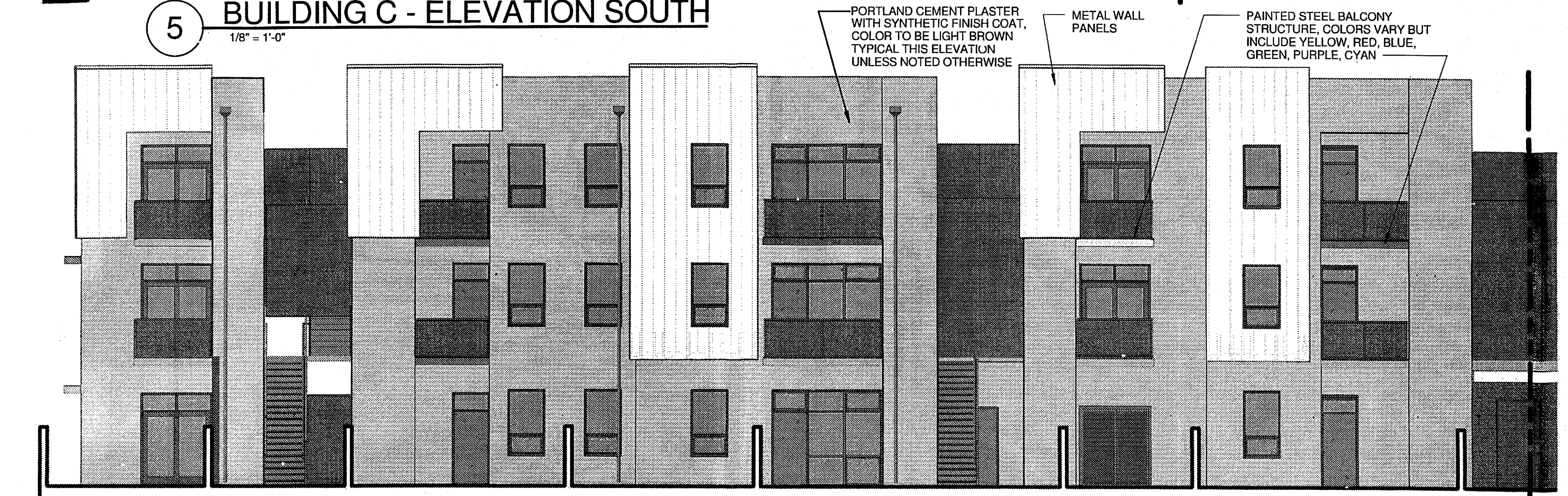
5.2



5 BUILDING C - ELEVATION SOUTH
 1/8" = 1'-0"

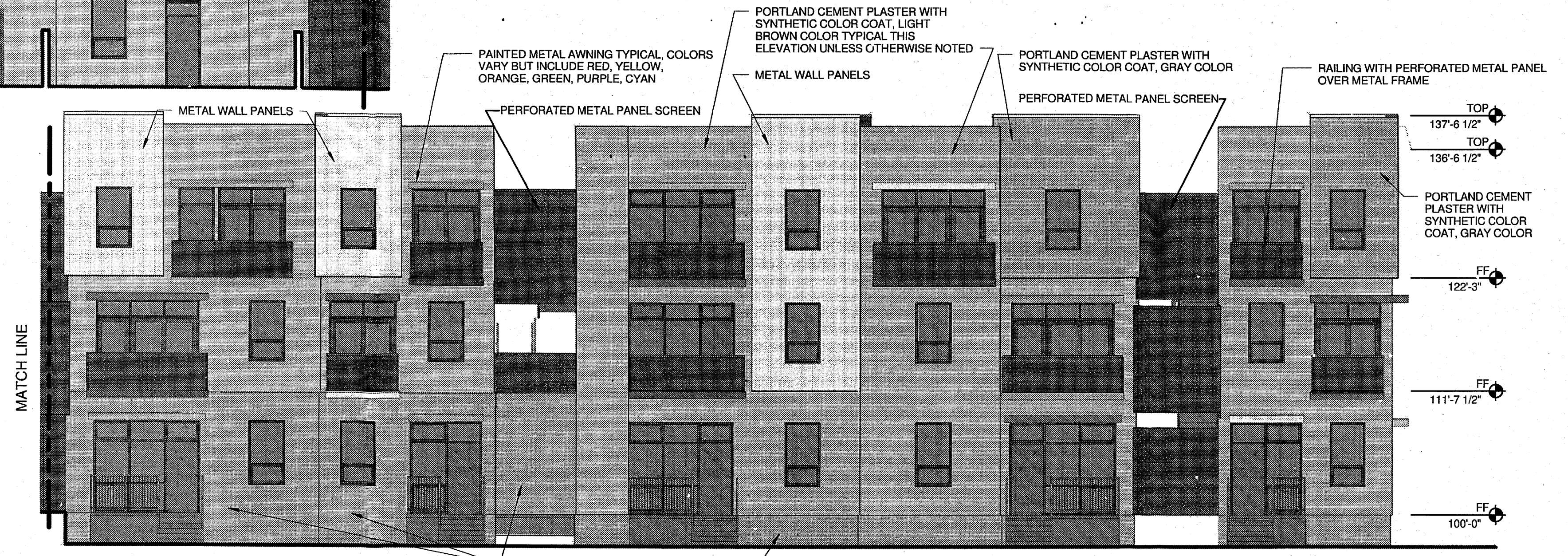


6 BUILDING C - ELEVATION EAST - NORTH
 1/8" = 1'-0"

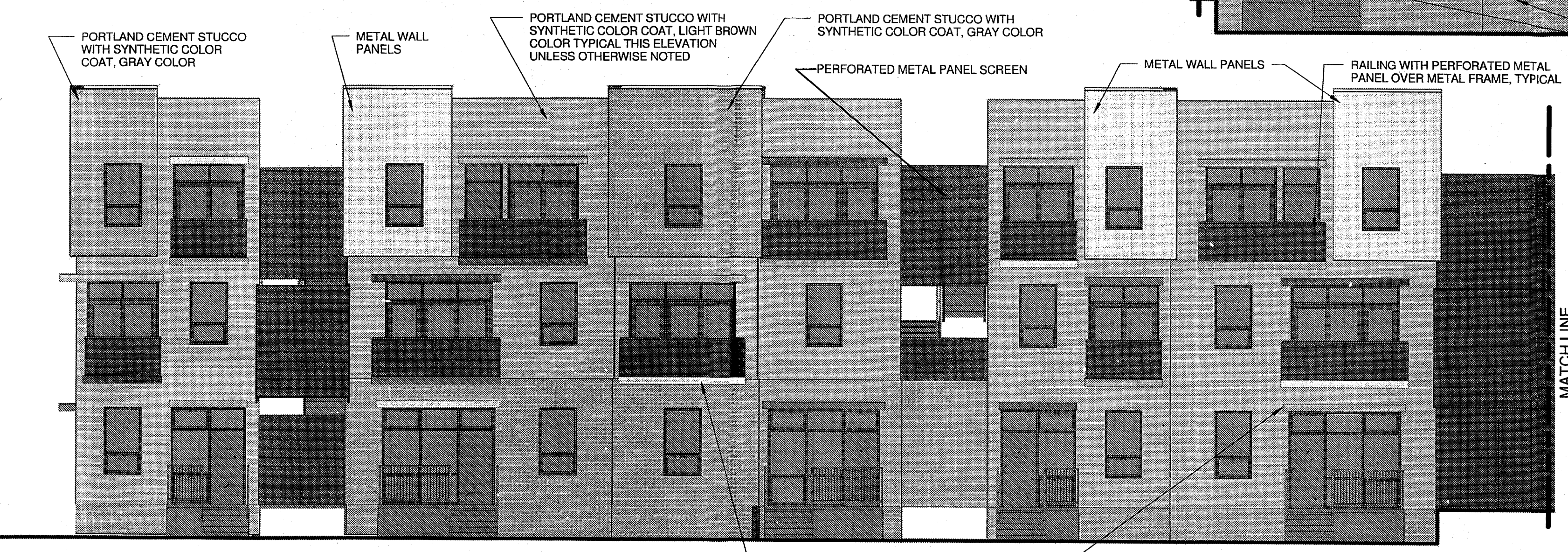


4 BUILDING C - ELEVATION EAST - SOUTH
 1/8" = 1'-0"

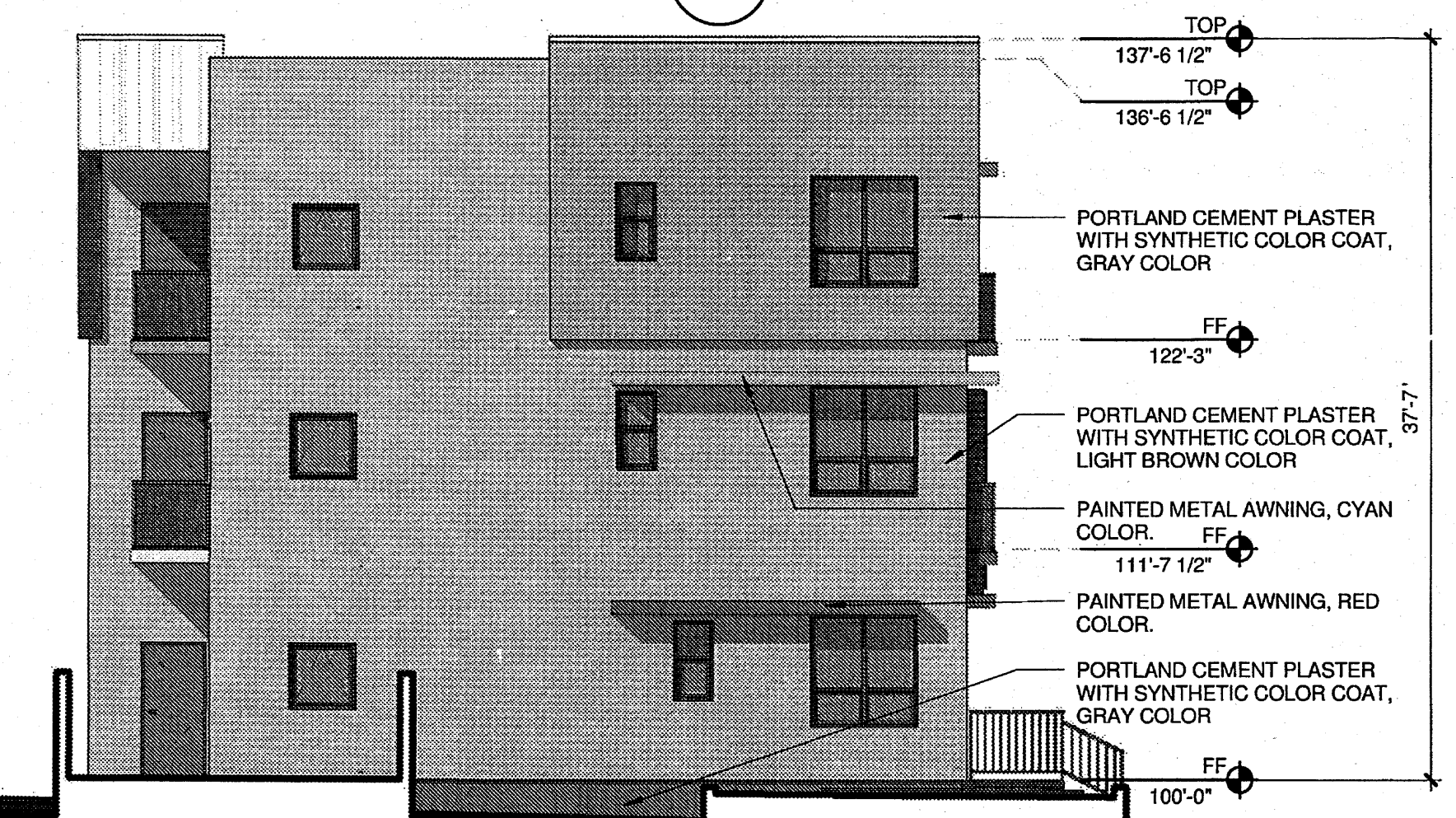
- GENERAL NOTES SHEETS 5.2 - 5.5
1. ALL EXTERIOR WALL MATERIALS ARE STUCCO UNLESS NOTED OTHERWISE.
 2. ALL CMU WALLS SHALL HAVE A STUCCO FINISH.
 3. ALL NON-PERFORATED METAL PANELS SHALL BE METALLIC GRAY COLOR.
 4. PAINTED METAL AWNINGS SHALL BE BLUE, GREEN, YELLOW, RED, ORANGE, CYAN, AND PURPLE.
 5. ALL PERFORATED WALL PANELS SHALL BE BROWN.



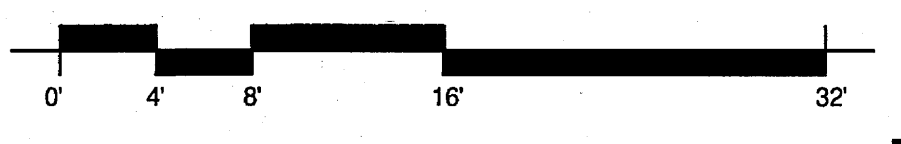
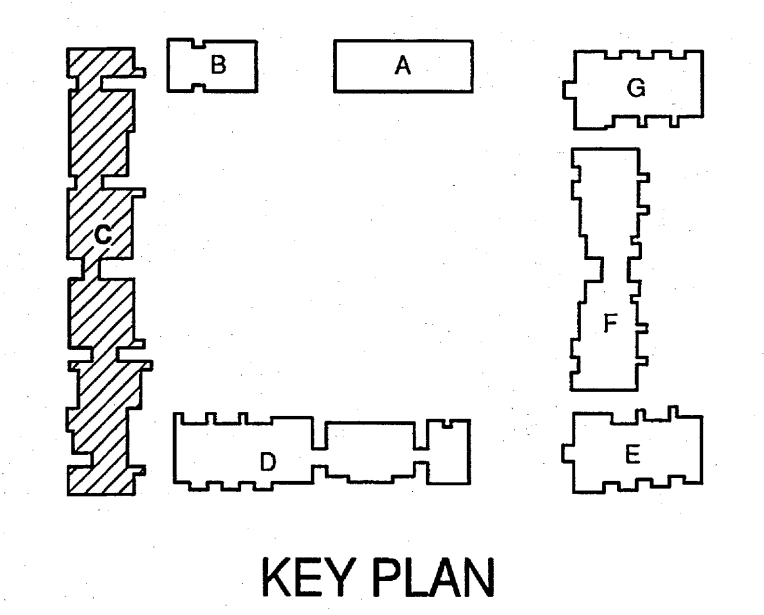
3 BUILDING C - ELEVATION WEST - SOUTH
 1/8" = 1'-0"

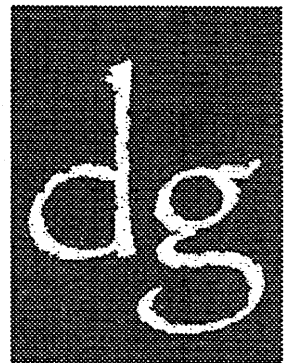


1 BUILDING C - ELEVATION WEST - NORTH
 1/8" = 1'-0"



2 BUILDING C - ELEVATION NORTH
 1/8" = 1'-0"





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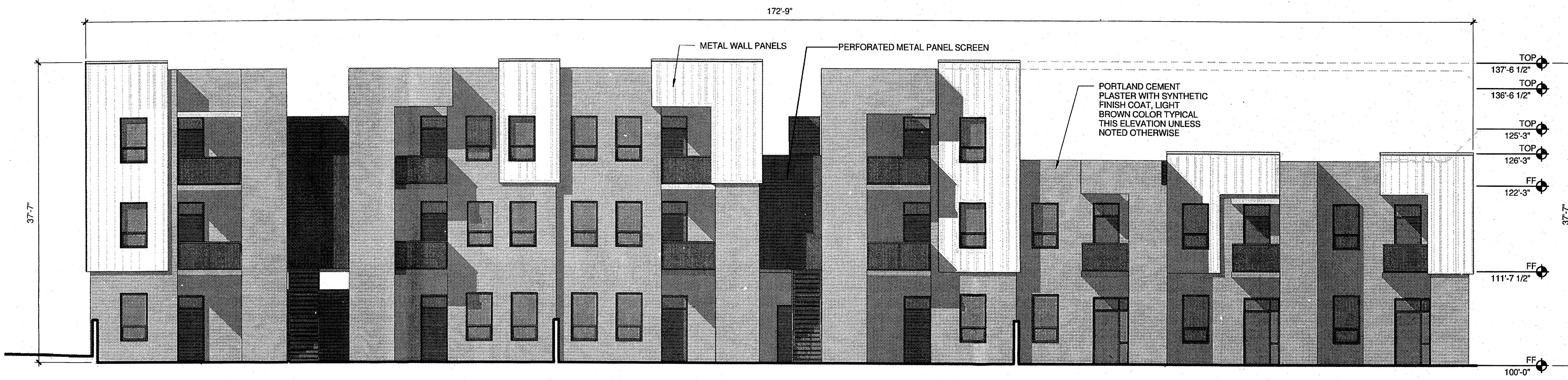
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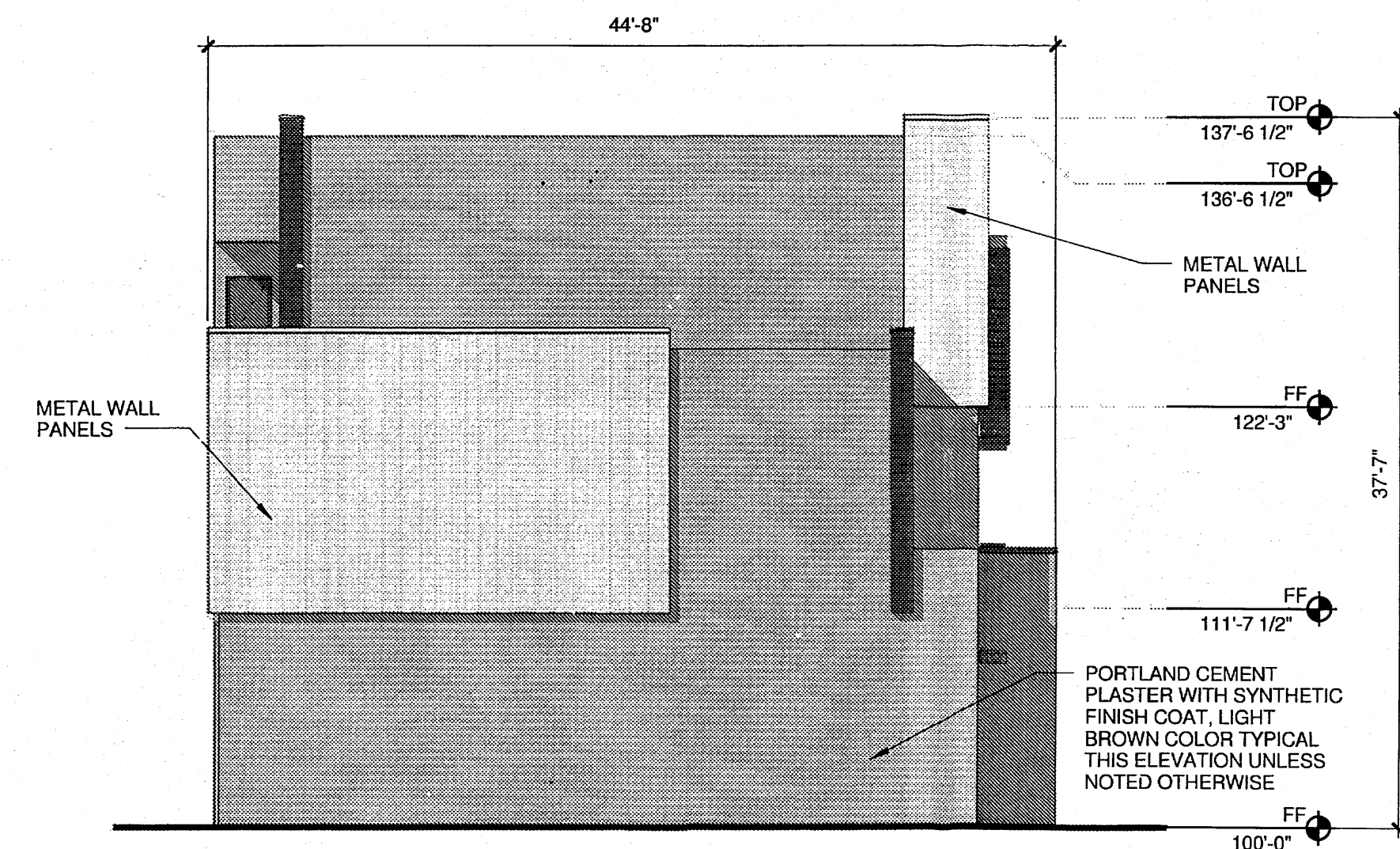
SHEET TITLE
 BUILDING AND STRUCTURE ELEVATIONS
 BUILDING D

SHEET NUMBER

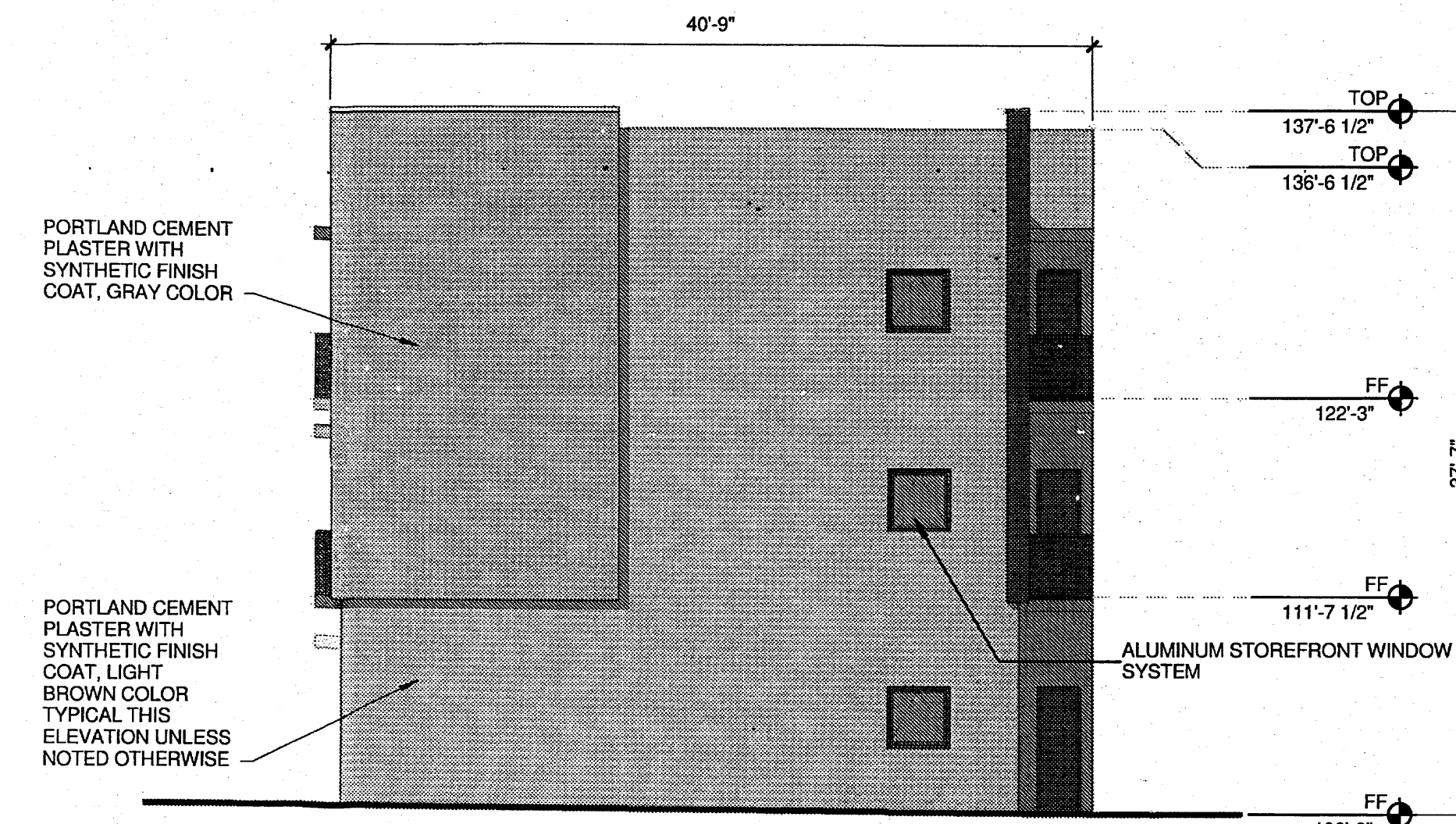
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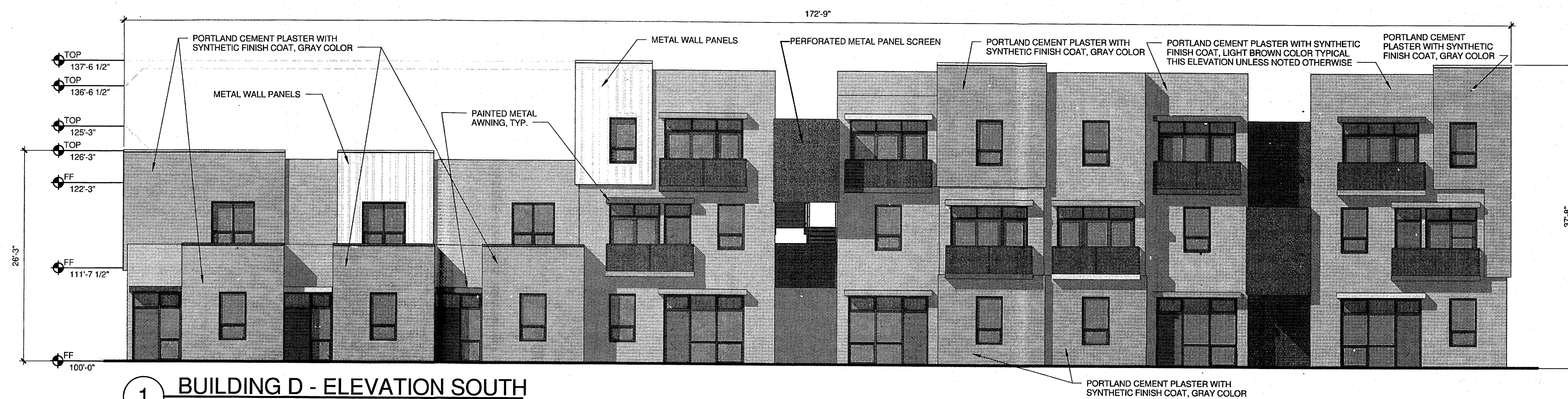
4 BUILDING D - ELEVATION NORTH
 1/8" = 1'-0"



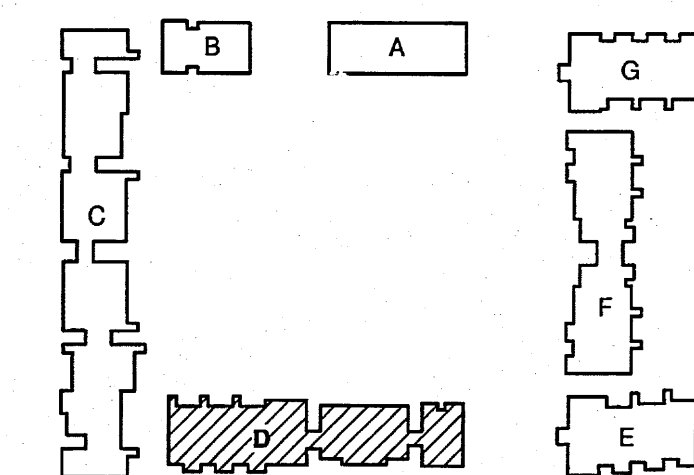
2 BUILDING D - ELEVATION WEST
 1/8" = 1'-0"



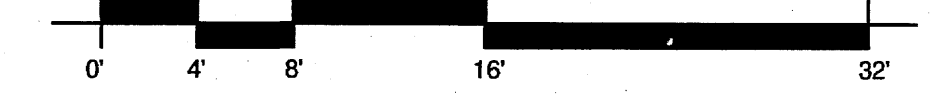
3 BUILDING D - ELEVATION EAST
 1/8" = 1'-0"



1 BUILDING D - ELEVATION SOUTH
 1/8" = 1'-0"



KEY PLAN

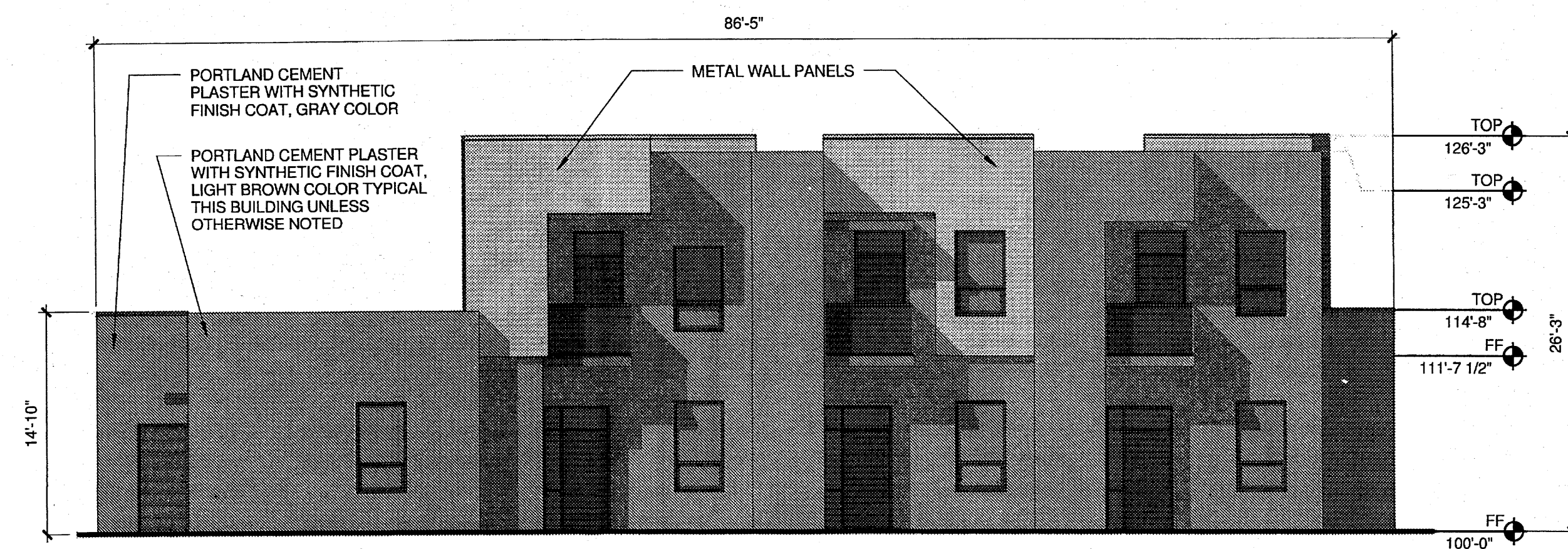




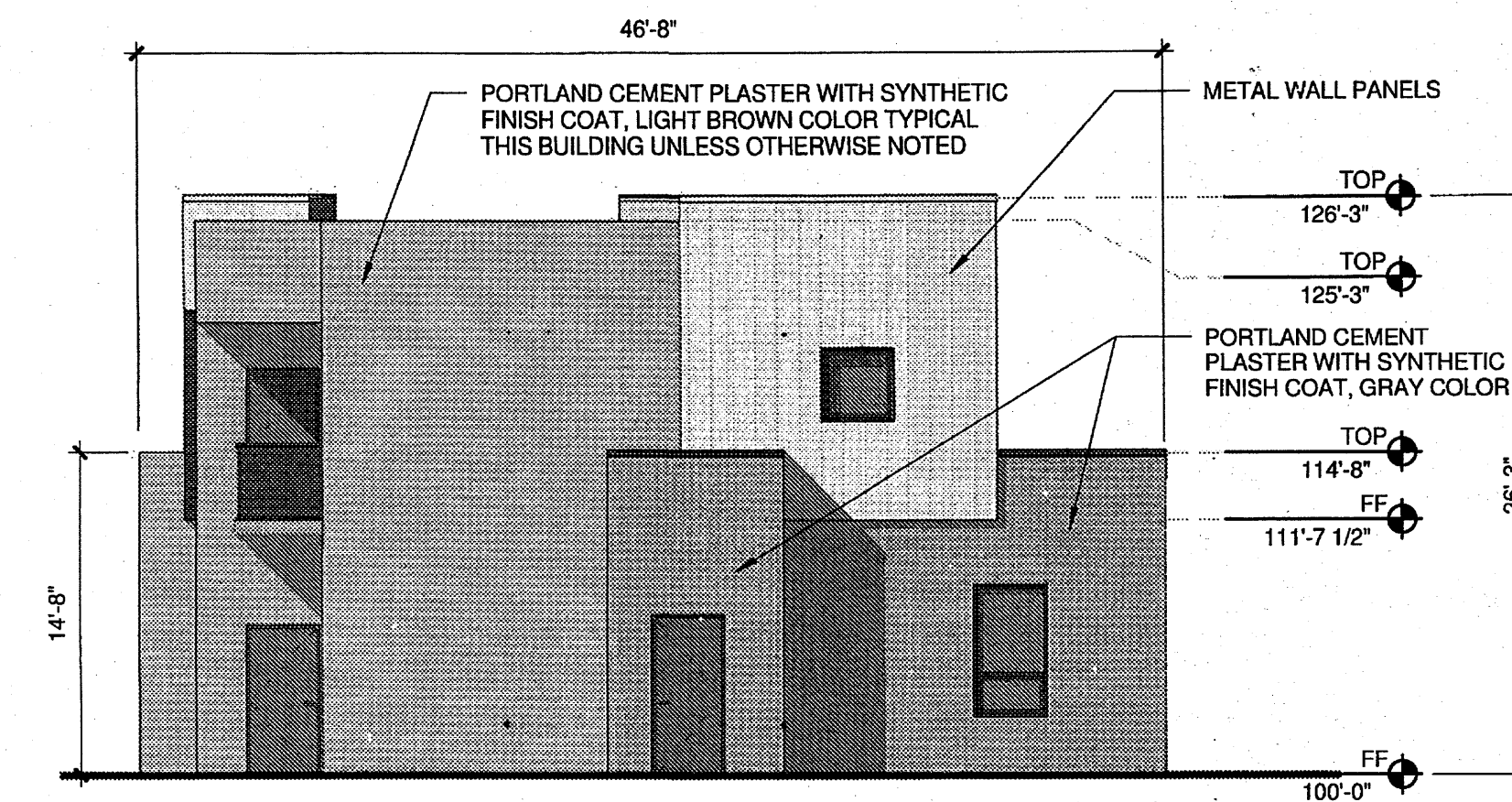
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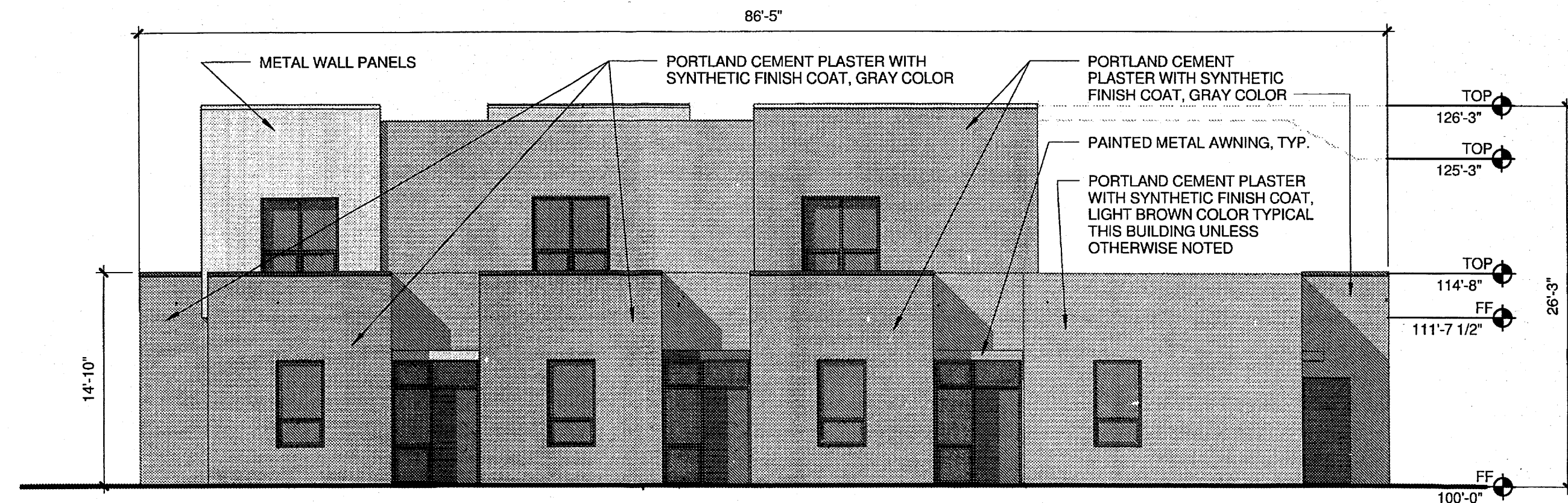
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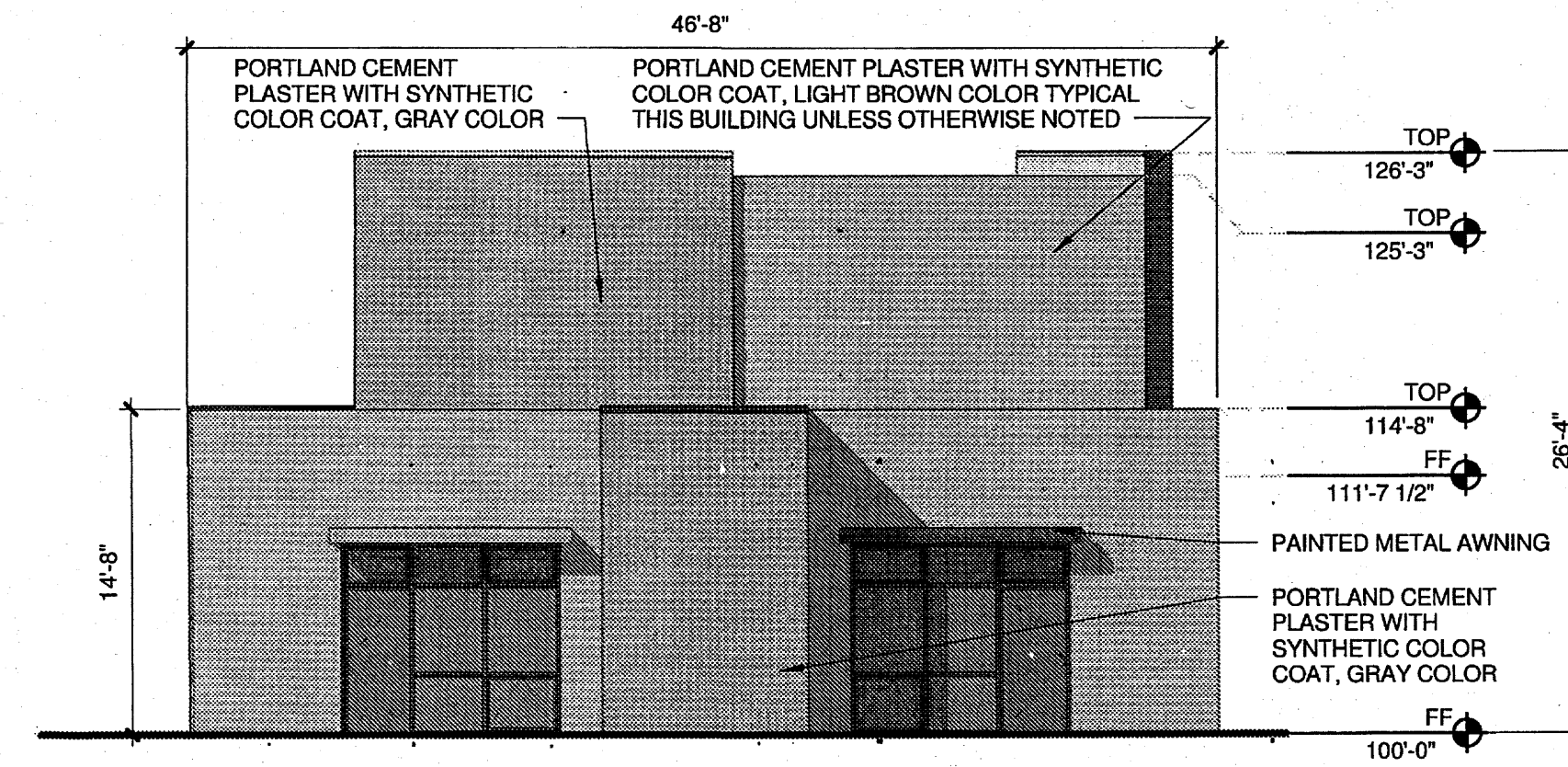
7 BUILDING G - ELEVATION SOUTH
 1/8" = 1'-0"



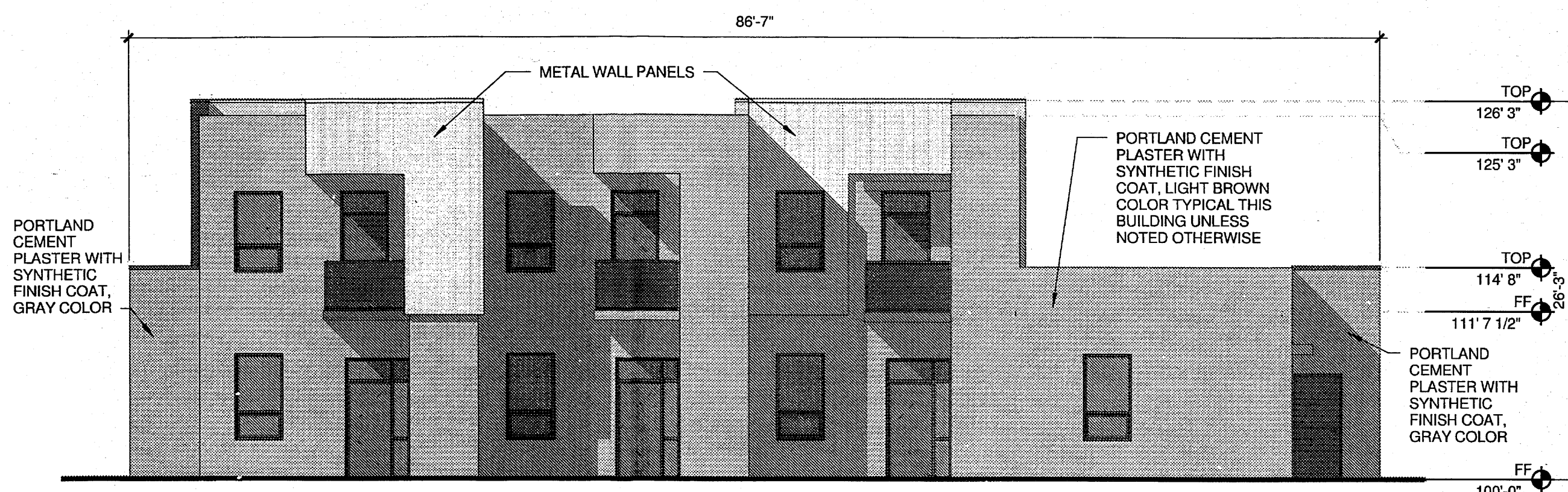
8 BUILDING G - ELEVATION EAST
 1/8" = 1'-0"



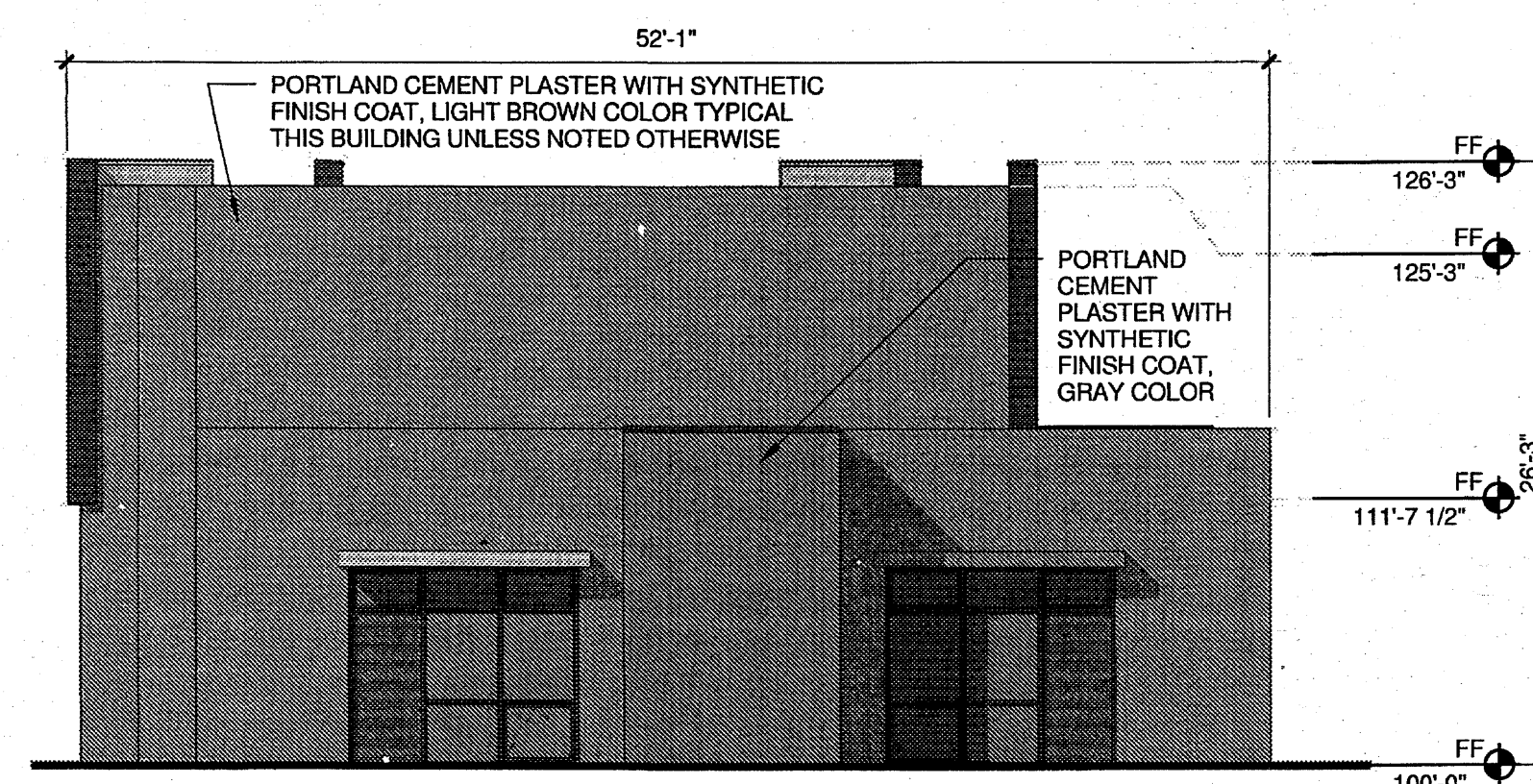
5 BUILDING G - ELEVATION NORTH
 1/8" = 1'-0"



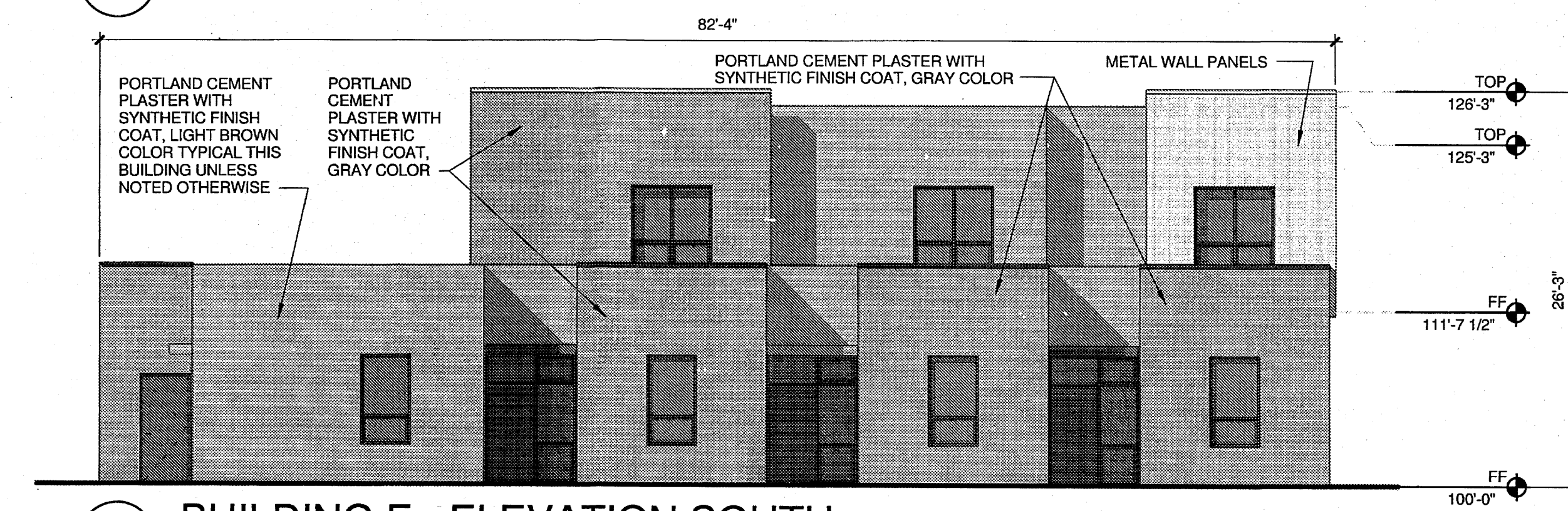
6 BUILDING G - ELEVATION WEST
 1/8" = 1'-0"



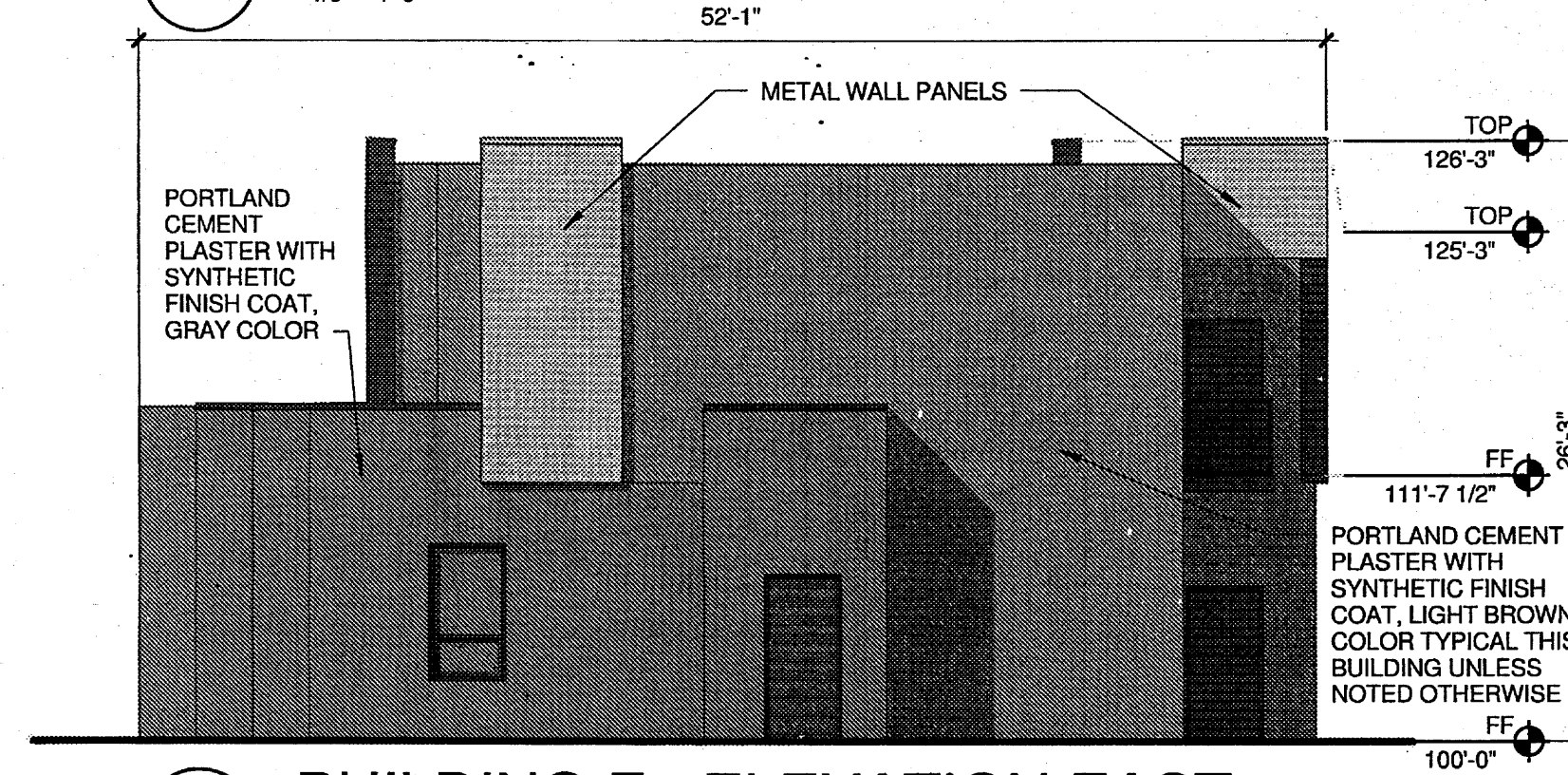
3 BUILDING E - ELEVATION NORTH
 1/8" = 1'-0"



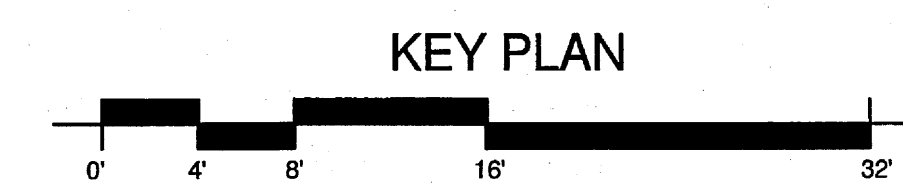
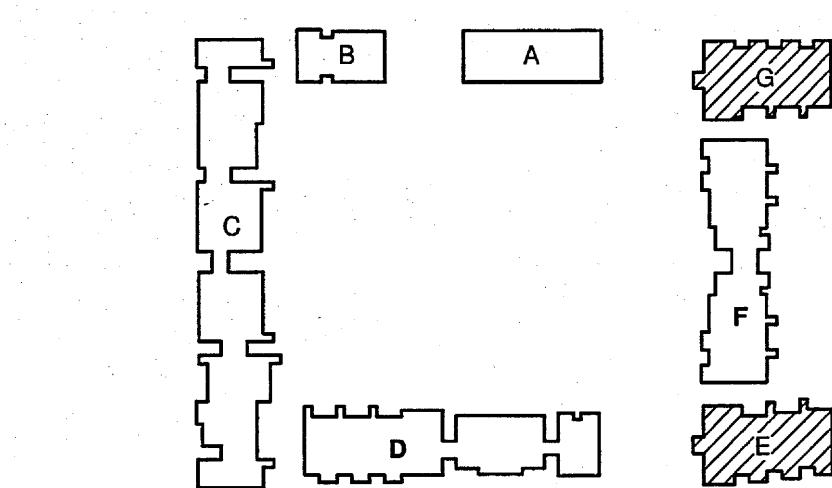
4 BUILDING E - ELEVATION WEST
 1/8" = 1'-0"



1 BUILDING E - ELEVATION SOUTH
 1/8" = 1'-0"



2 BUILDING E - ELEVATION EAST
 1/8" = 1'-0"



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SHEET TITLE
 BUILDING AND STRUCTURE ELEVATIONS
 BUILDINGS E AND G

SHEET NUMBER

5.4



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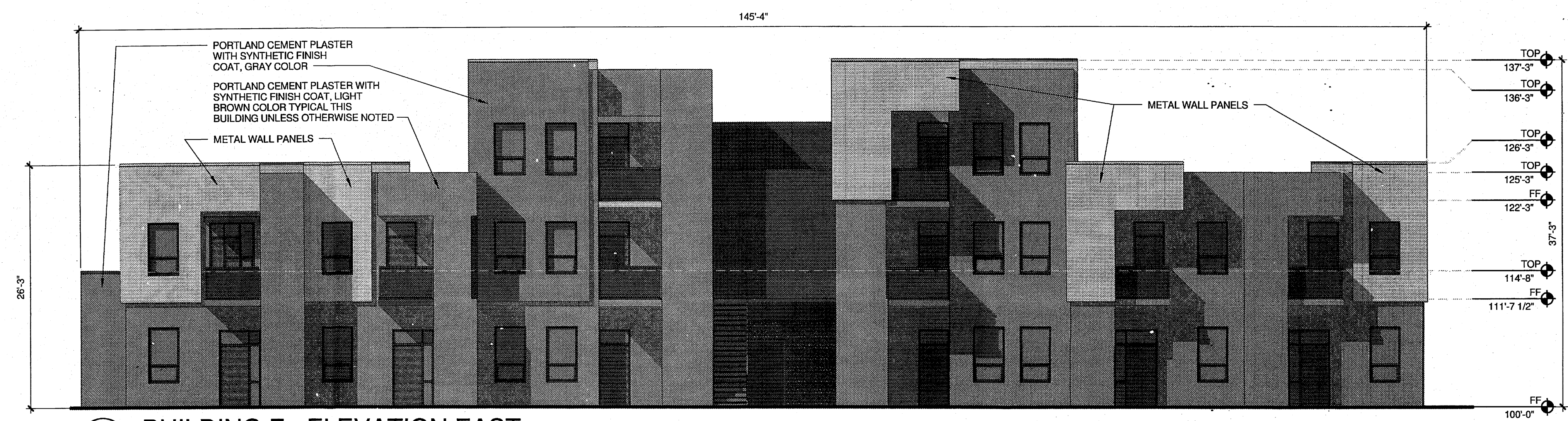
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No.	Date	Description
1	9/21/2012	DRB COMMENTS

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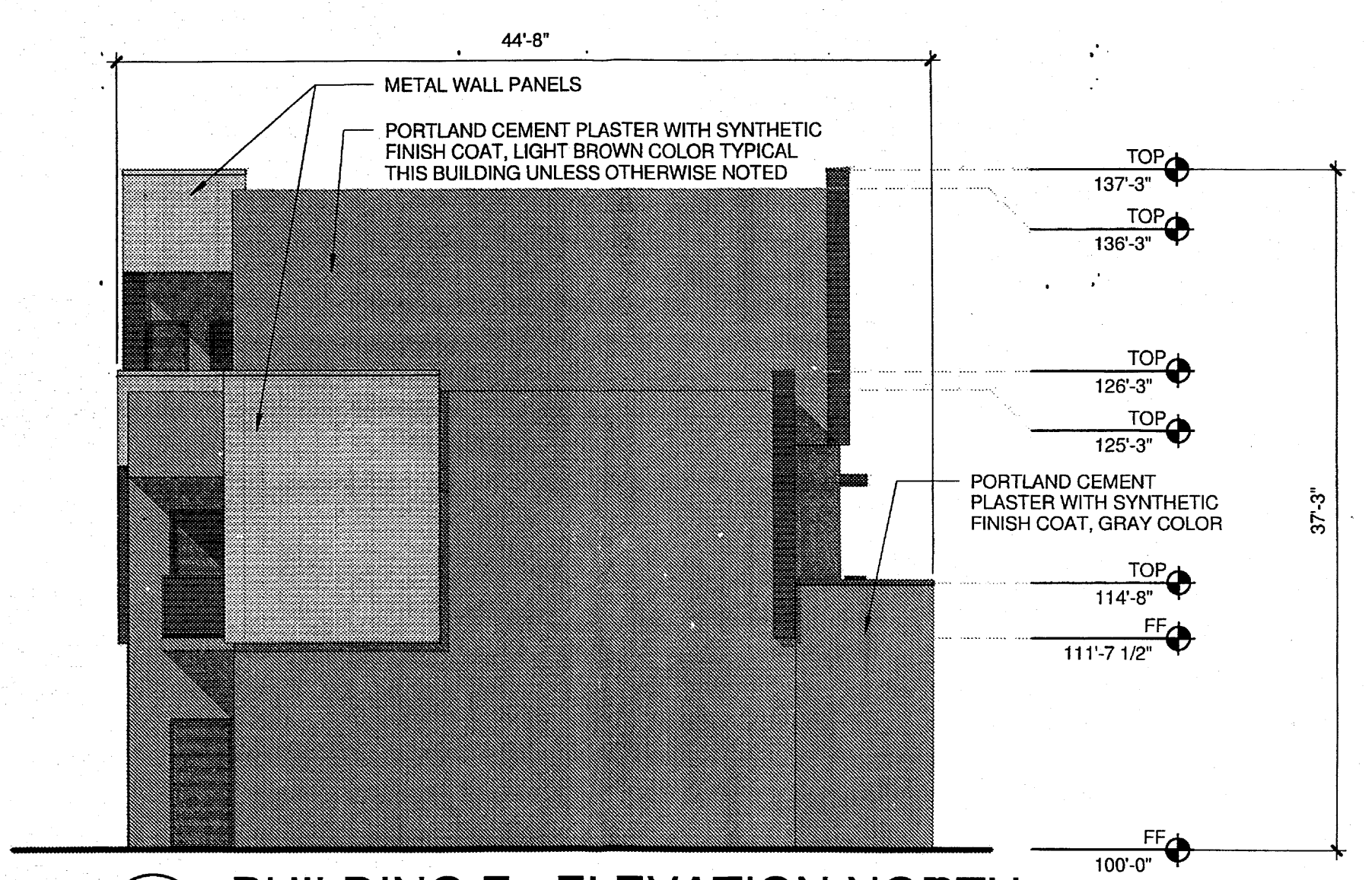
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**BUILDING AND STRUCTURE ELEVATIONS
 BUILDING F**

SHEET NUMBER

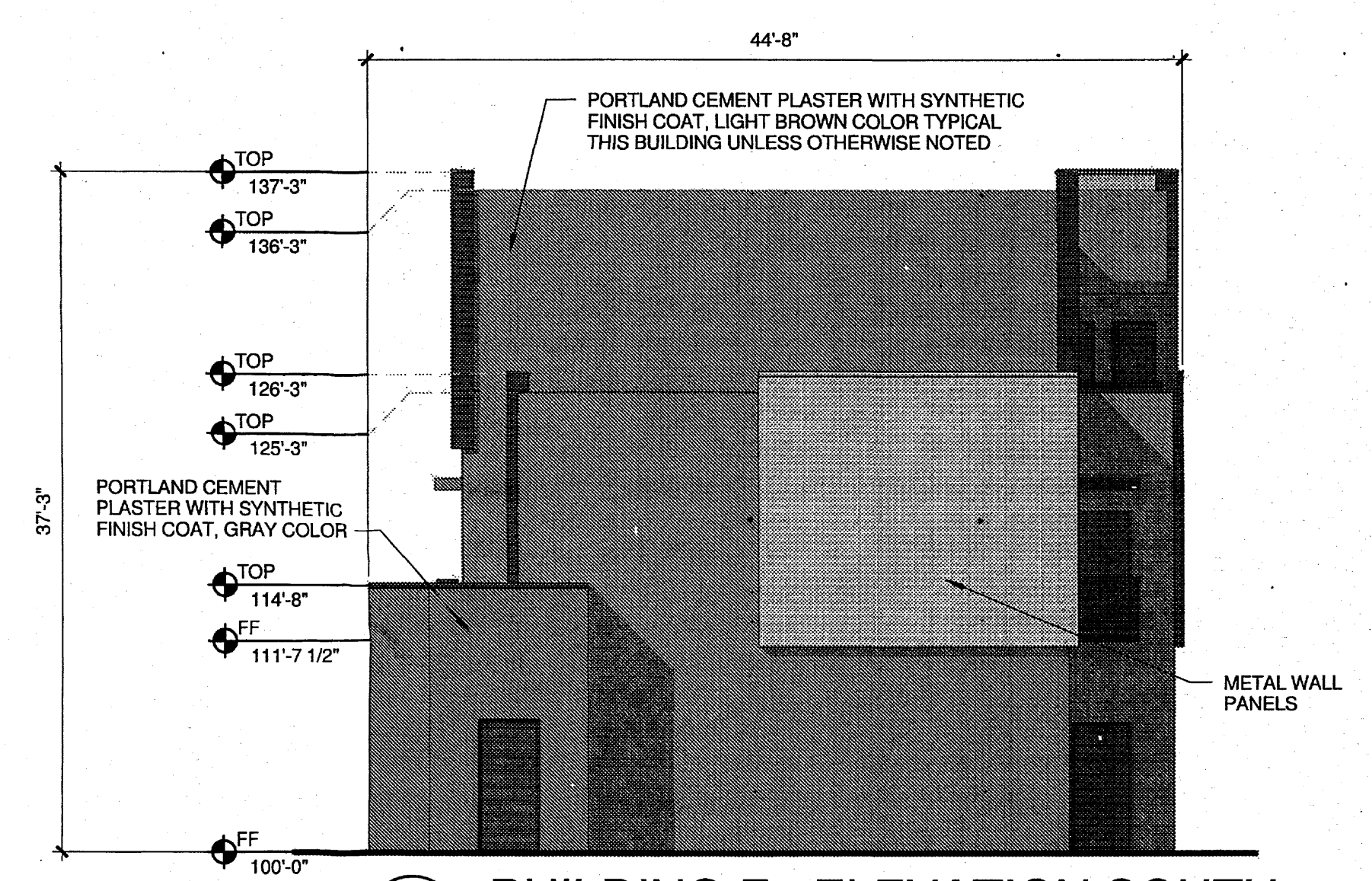
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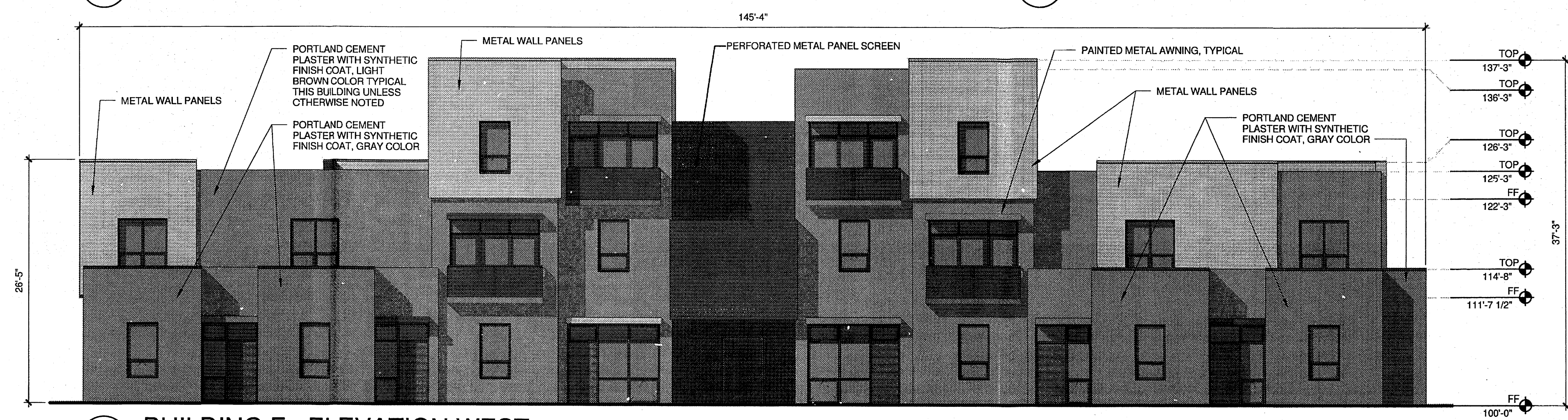
4 BUILDING F - ELEVATION EAST
 1/8" = 1'-0"



2 BUILDING F - ELEVATION NORTH
 1/8" = 1'-0"



3 BUILDING F - ELEVATION SOUTH
 1/8" = 1'-0"



1 BUILDING F - ELEVATION WEST
 1/8" = 1'-0"

